

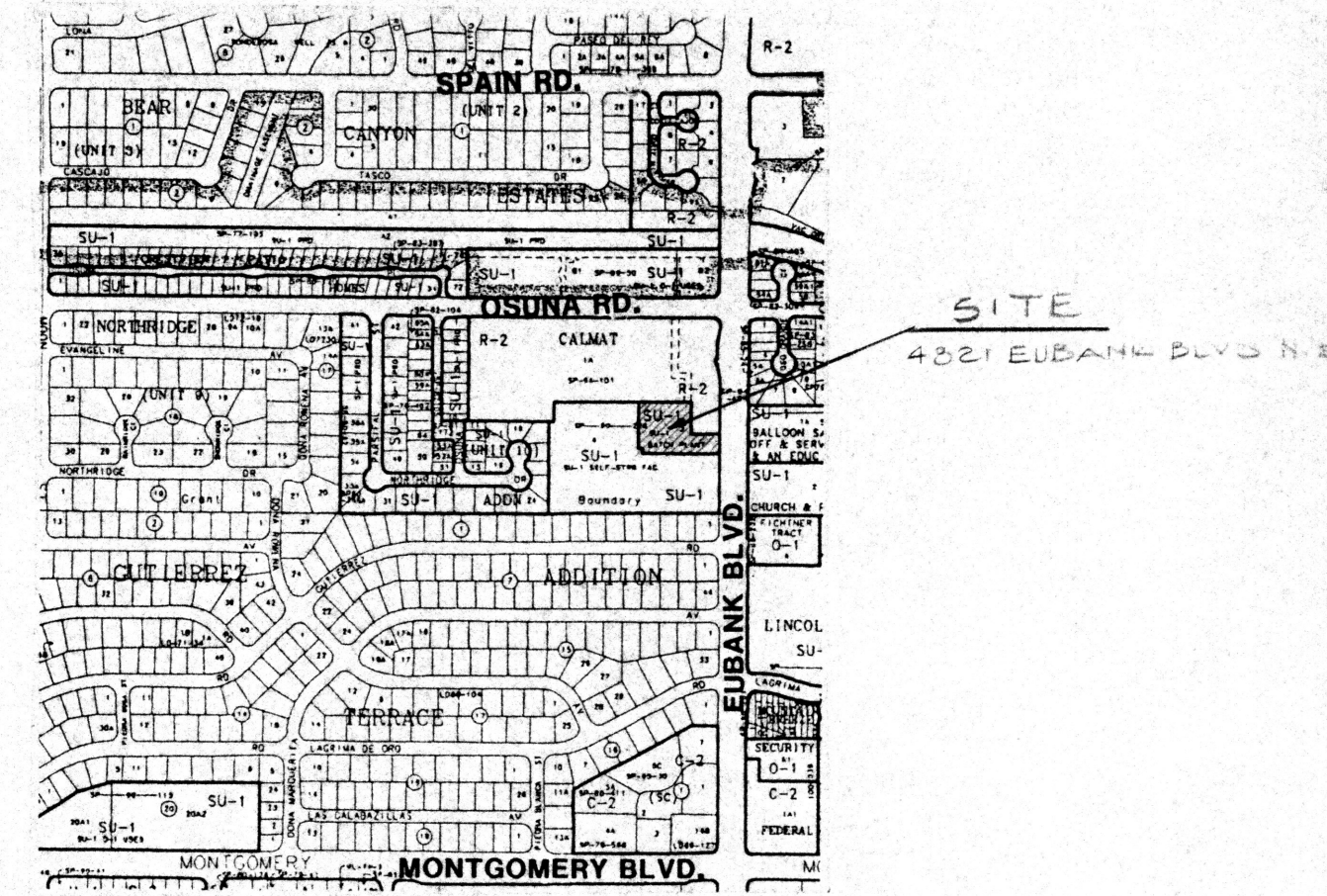
**APPROVALS**

PROJECT # 1001756 APPLICATION # 02 EPC-00284

02-083-01793

I CERTIFY THAT THIS PLAN IS GENERALLY CONSISTENT WITH THE PLAN THAT WAS APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON APRIL 18, 2002

|                                                                       |                     |                                                                   |                         |
|-----------------------------------------------------------------------|---------------------|-------------------------------------------------------------------|-------------------------|
| <i>[Signature]</i><br>PLANNING DIRECTOR, CITY OF ALBUQUERQUE          | DATE <u>9/24/02</u> | <i>[Signature]</i><br>PARKS AND RECREATION, CITY OF ALBUQUERQUE   | DATE <u>9/18/02</u>     |
| <i>[Signature]</i><br>TRANSPORTATION DEVELOPMENT, CITY OF ALBUQUERQUE | DATE <u>9/18/02</u> | <i>[Signature]</i><br>EPC CASE PLANNER, CITY OF ALBUQUERQUE       | DATE <u>20 Sept '02</u> |
| <i>[Signature]</i><br>CITY ENGINEER, CITY OF ALBUQUERQUE              | DATE <u>9/18/02</u> | <i>[Signature]</i><br>SOLID WASTE DEPARTMENT, CITY OF ALBUQUERQUE | DATE <u>9-10-02</u>     |
| <i>[Signature]</i><br>UTILITY DEVELOPMENT, CITY OF ALBUQUERQUE        | DATE <u>9-18-02</u> |                                                                   |                         |



**BUILDING INFORMATION**

OWNER: Verizon Wireless  
4821 Eubank Blvd. N.E.  
Albuquerque, NM 87111  
Tel. (505) 332-6024

ADDRESS: 4821 Eubank Blvd. N.E., Albuquerque, NM 87111

ZONING: SU-1

OCCUPANCY: Group B

USE: Utility (Wireless Telephone Switching Center)

CONSTRUCTION: Existing Building-Type IIN  
New Addition - Type IIN

BUILDING AREA: Existing Building = 5,186  
Addition Area = 4,791  
Total = 10,177 sq. ft.

LOT AREA: 46,143 sq. ft. +/-

LOT COVERAGE:  $10,177 / 46,143 = 0.221 = 22.1\%$

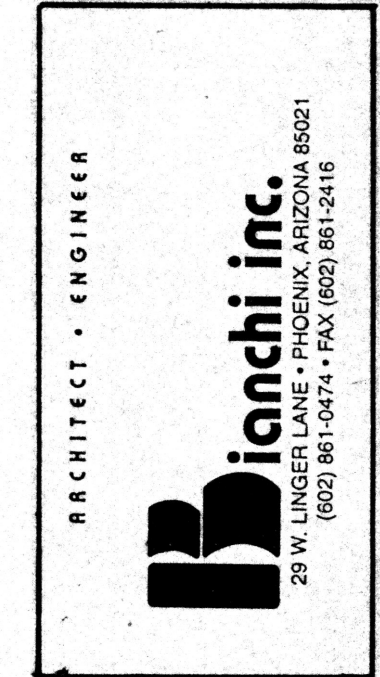
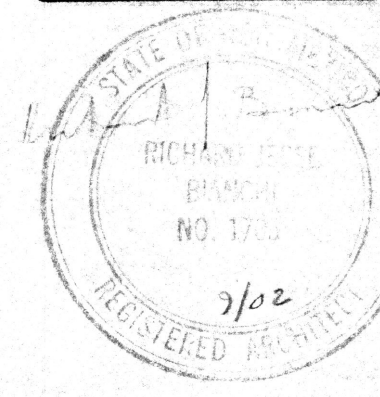
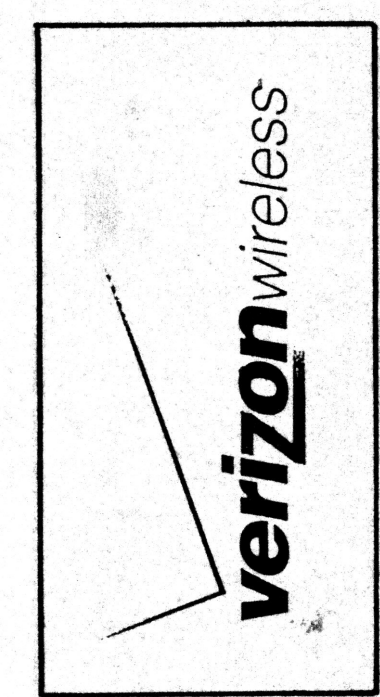
PARKING SPACES: Required (Office) = 2,600/200 = 13  
Provided = 13 spaces

SETBACKS: Front - None  
Side - None  
Rear - None

BUILDING HEIGHT: Required = None  
Existing Building = 18 ft. high  
Existing Tower = 100 ft. high  
Addition = 18 ft. high

LANDSCAPING: Existing - front 20 ft +/- green area (2,975 sq. ft.)  
south side 18/35 ft +/- green area (6,697 sq. ft.)  
north side 20/70 ft +/- green area (4164 sq. ft.)  
rear 13 ft +/- green area (702 sq. ft.)

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ADDITION TO ALBUQUERQUE "MSC" 4821 EUBANK BLVD., ALBQ., NM AMENDED SITE PLAN

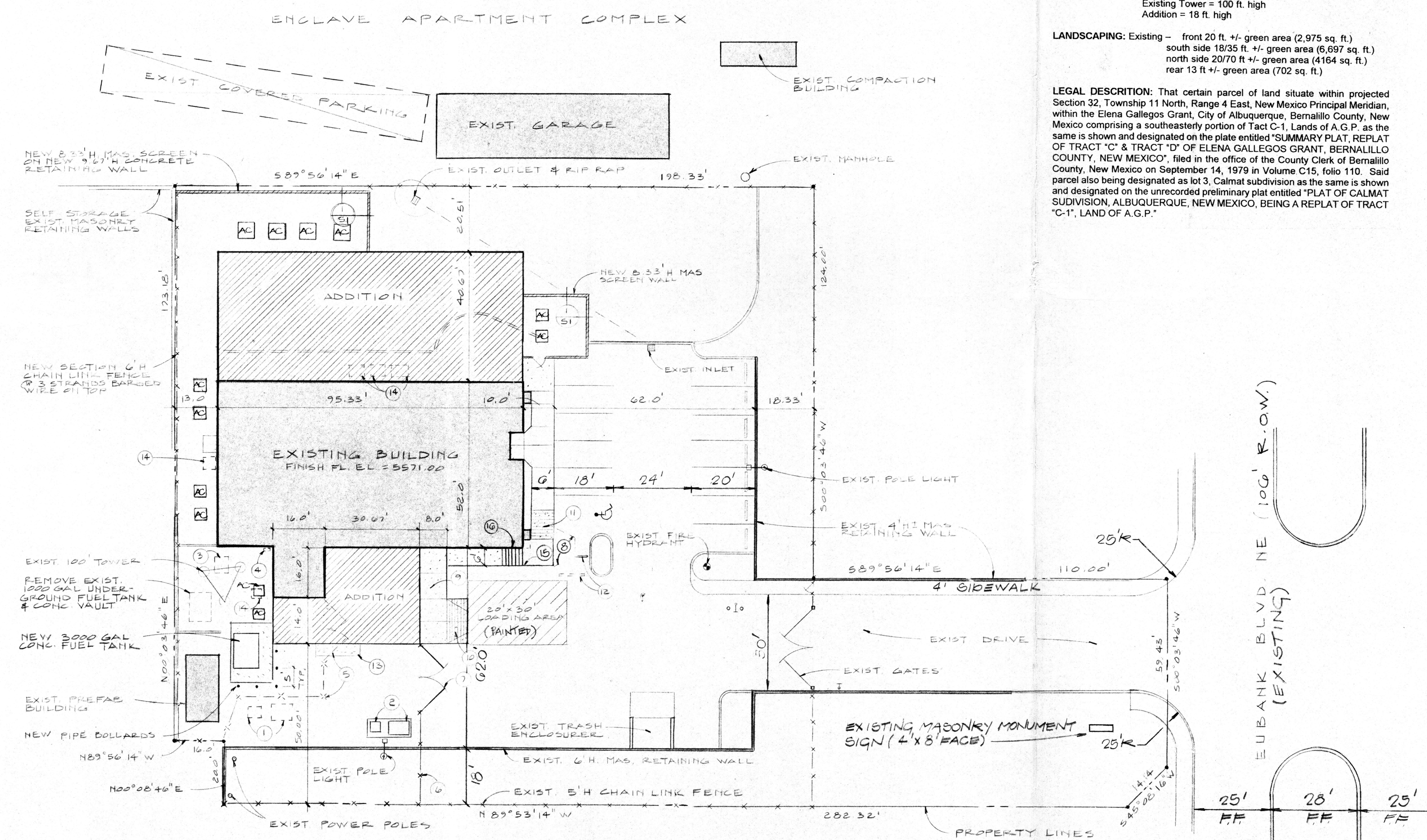
Project # 2001.6  
Drawn RJB  
Checked  
Date SEPT. 4, 02

Sheet # A1

PROJ 1001756

**SITE PLAN NOTES**

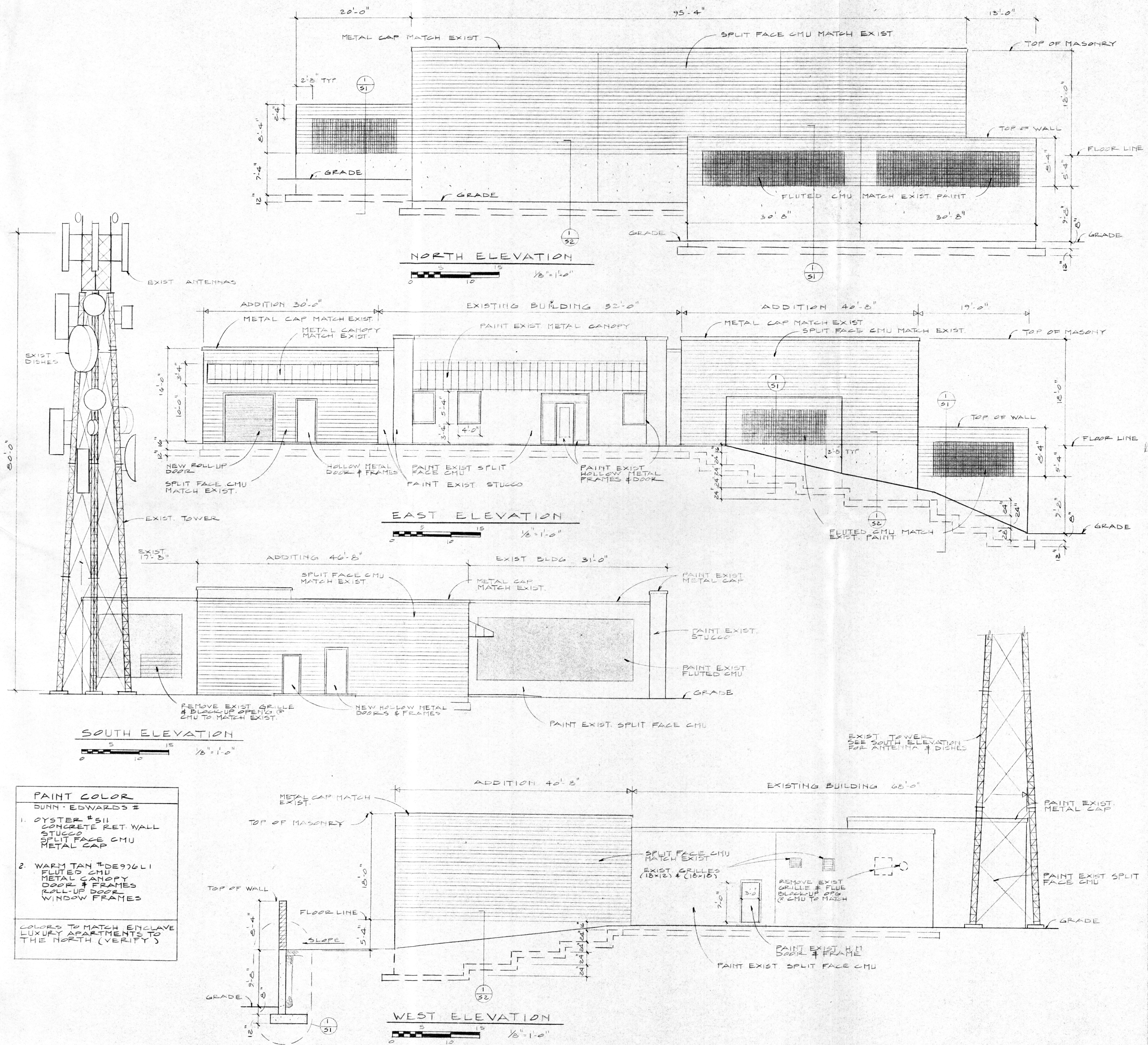
- REMOVE EXISTING PNM TRANSFORMER, CT CABINET & CONC SLAB AFTER ALL ELECTRIC SERVICE IS ENERGIZED.
- NEW PNM TRANSFORMER, CT CABINET & CONCRETE SLAB PER PNM REQUIREMENTS.
- REMOVE EXIST. GENERATOR, RADIATOR & CONC. SLAB AFTER NEW GENERATOR IS ENERGIZED.
- REMOVE EXISTING MAIN SERVICE DISCONNECT AFTER NEW ELECTRICAL SERVICE IS ENERGIZED.
- REMOVE EXIST. SECTION OF CHAIN LINK FENCE & 20' WIDE SWINGING GATES.
- NEW 6' HIGH CHAIN LINK FENCE WITH 3 STRANDS OF BARBED WIRE ON TOP.
- NEW 20' WIDE CHAIN LINK SWINGING GATE WITH 3 STRANDS OF BARBED WIRE ON TOP.
- REMOVE EXIST. SECTION OF CONC. SIDEWALK & REPLACE WITH ASPHALTIC PAVEMENT TO MATCH EXISTING.
- NEW 8' x 30' x 6" THK CONCRETE SLAB FOR LOADING AREA.
- NEW 6' x 15' x 6" THK CONCRETE LOADING RAMP, MAX. SLOPE 1 TO 12.
- NEW 7'4" x 8' x 6" THK CONCRETE HANDICAP CURB RAMP, MAX. SLOPE 1 TO 12.
- REMOVE & RELOCATE EXIST. 5 UNIT BICYCLE RACK. REPAIR & PAINT AS REQUIRED.
- NEW 4' x 14' x 6" THK CONCRETE SLAB/STOOP.
- REMOVE EXIST. AC COND. UNIT & CONCRETE PAD.
- FLUSH CONCRETE LANDING.
- NEW 6' x 6' x 6" THK CONCRETE HANDICAP CURB RAMP, MAX. SLOPE 1 TO 12.



**SITE PLAN**  
Scale: 1" = 20.0'

APPROVED  
JUL 9-10-02





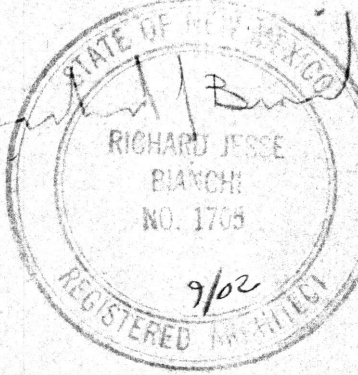
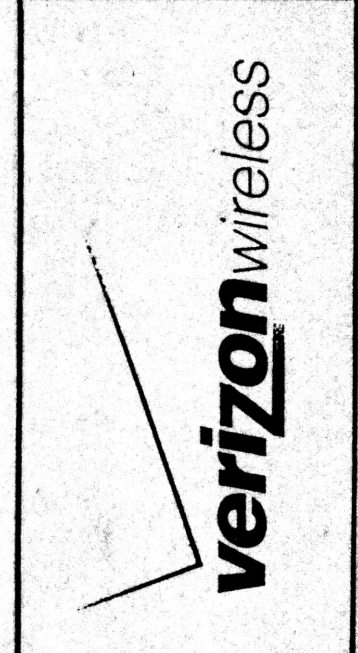
**PAINT COLOR**  
 DUNN-EDWARDS #

- OYSTER #511  
 CONCRETE RET. WALL  
 STUCCO  
 SPLIT FACE CMU  
 METAL CAP
- WARM TAN #DE976L1  
 FLUTED CMU  
 METAL CANOPY  
 DOOR & FRAMES  
 ROLL-UP DOOR  
 WINDOW FRAMES

COLORS TO MATCH ENCLAVE LUXURY APARTMENTS TO THE NORTH (VERIFY)

| Rev | Date |
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ARCHITECT • ENGINEER

**Bianchi inc.**  
 23 W. LINCOLN LANE • PHOENIX, ARIZONA 85021  
 (602) 961-0474 • FAX (602) 961-2416

ADDITION TO "MSC"  
 ALBUQUERQUE BLVD., ALBQ., NM  
 ELEVATIONS

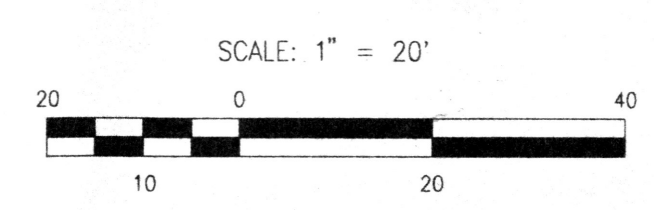
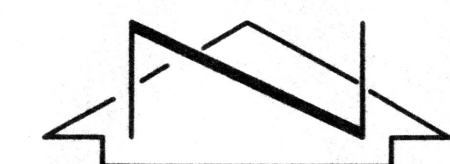
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Sheet #

**A4**

of





**EROSION CONTROL MEASURES:**

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. THE CONTRACTOR SHALL SECURE "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.
4. ANY AREAS OF EXCESS DISTURBANCE (TRAFFIC ACCESS, STORAGE YARD, EXCAVATED MATERIAL, ETC.) SHALL BE RE-SEEDING ACCORDING TO C.O.A. SPECIFICATION 1012 "NATIVE GRASS SEEDING". THIS WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION, THEREFORE, NO SEPARATE PAYMENT WILL BE MADE.

**PROJECT BENCHMARK**

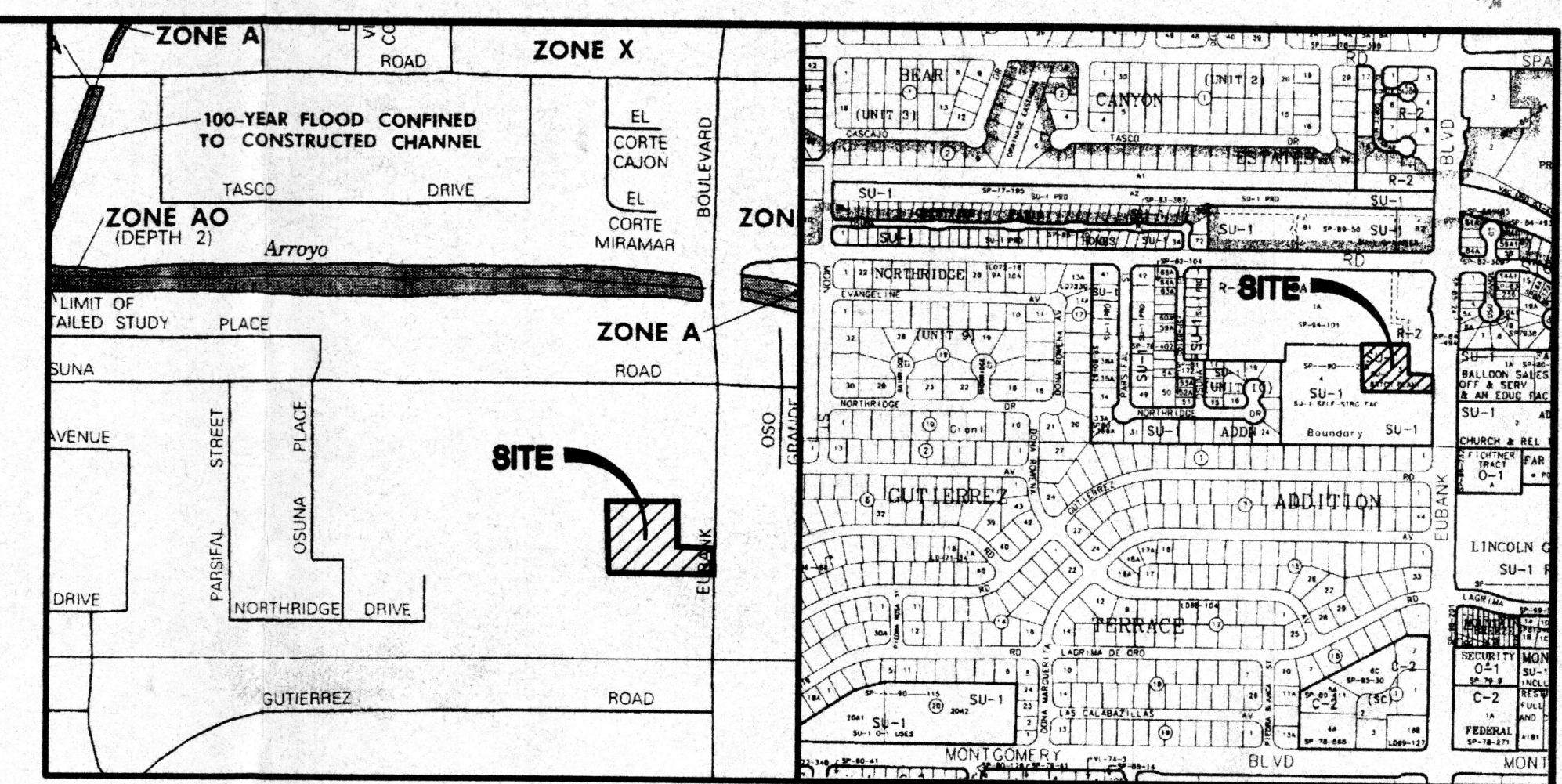
TBM: A  $\boxtimes$  CUT ON THE TOP OF THE CONCRETE CURB AT THE WSW CURB RETURN LOCATED AT THE INTERSECTION OF OSUNA ROAD N.E. AND EUBANK BOULEVARD N.E.  
ELEVATION = 5561.21 (NGVD-29)

**LEGAL DESCRIPTION**

LOT 3, CALMAT SUBDIVISION

**LEGEND**

- CONC CONCRETE
- FF FINISH FLOOR
- FL FLOWLINE
- INV INVERT
- PVC POLYCHLORIDE
- SDR STORM DRAIN
- TC TOP OF CURB
- TG TOP OF GRATE
- TW TOP WALL
- CONTOURS SPOT ELEVATION
- RETAINING WALL HIGH POINT
- PROPOSED SPOT ELEVATION

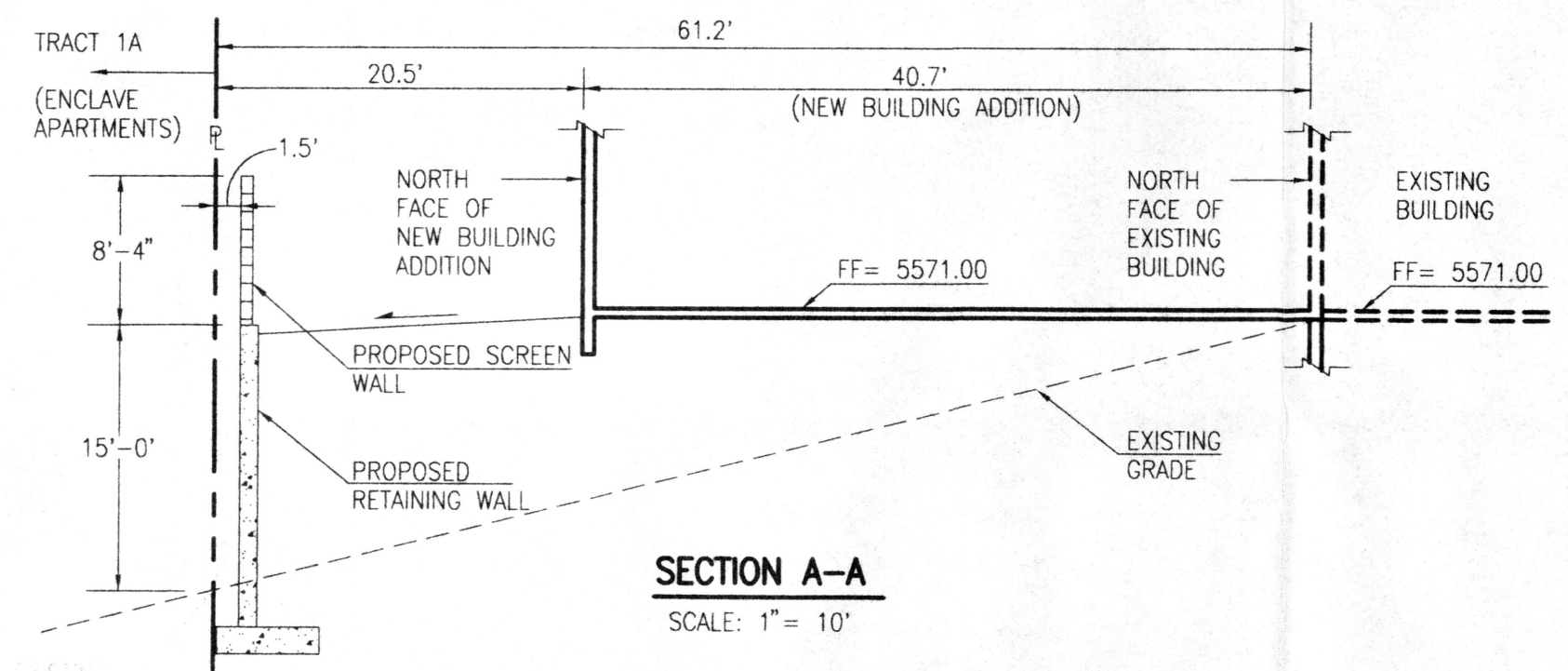


F.I.R.M. SCALE: 1" = 500'

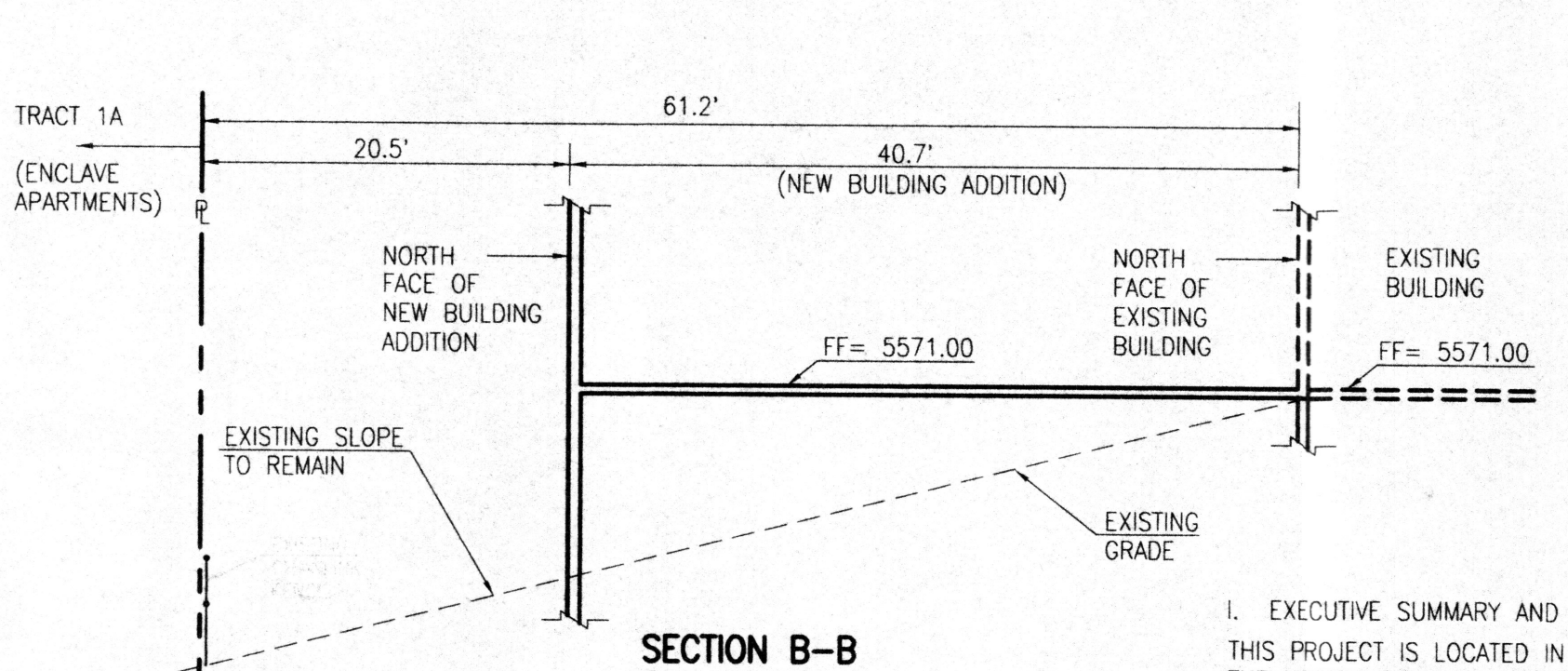
PANAL 143 OF 825

VICINITY MAP SCALE: 1" = 750'

F-20

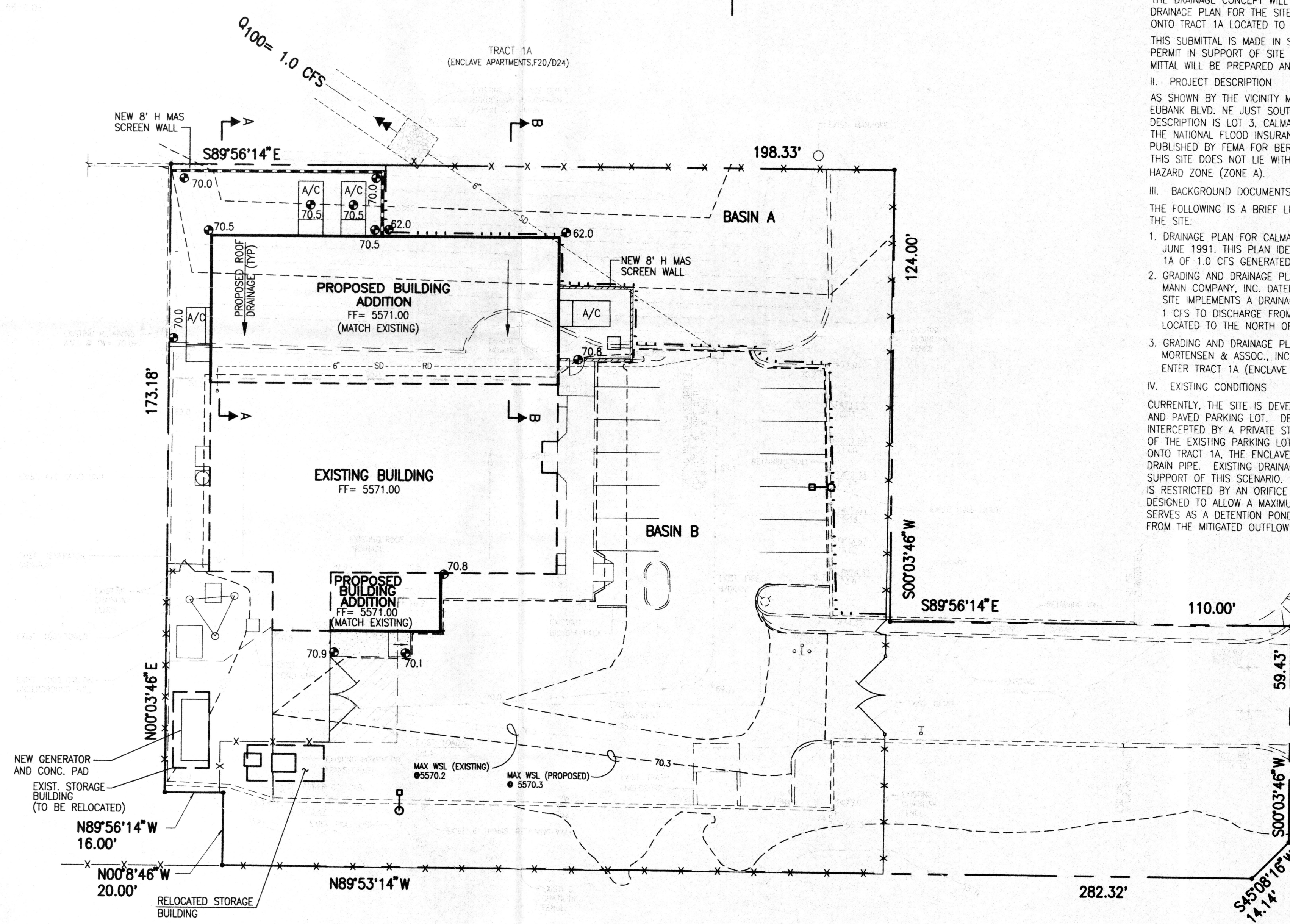


SECTION A-A SCALE: 1" = 10'



SECTION B-B SCALE: 1" = 10'

DRAINAGE PLAN



1. EXECUTIVE SUMMARY AND INTRODUCTION  
THIS PROJECT IS LOCATED IN NORTHEAST ALBUQUERQUE AND WILL CONSIST OF THE MODIFICATION TO AN EXISTING DEVELOPED SITE WITHIN AN INFILL AREA. THE DRAINAGE CONCEPT WILL BE CONSISTENT WITH THE PREVIOUSLY APPROVED DRAINAGE PLAN FOR THE SITE WHICH ALLOWS A MAXIMUM DISCHARGE OF 1 CFS ONTO TRACT 1A LOCATED TO THE NORTH OF THE SITE.  
THIS SUBMITTAL IS MADE IN SUPPORT OF SITE DEVELOPMENT PLAN FOR BUILDING PERMIT IN SUPPORT OF SITE PLAN APPROVAL BY THE EPC AND DRB. A SEPARATE SUBMITTAL WILL BE PREPARED AND SUBMITTED ACTUAL FOR BUILDING PERMIT APPROVAL.
2. PROJECT DESCRIPTION  
AS SHOWN BY THE VICINITY MAP, THE SITE IS LOCATED ON THE WEST SIDE OF EUBANK BLVD. NE JUST SOUTH OF OSUNA RD NE. THE CURRENT LEGAL DESCRIPTION IS LOT 3, CALMAT SUBDIVISION. AS SHOWN BY PANEL 143 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS PUBLISHED BY FEMA FOR BERNALILLO COUNTY, NEW MEXICO, SEPTEMBER 20, 1996, THIS SITE DOES NOT LIE WITHIN NOR ADVERSELY IMPACT A DESIGNATED FLOOD HAZARD ZONE (ZONE A).
3. BACKGROUND DOCUMENTS  
THE FOLLOWING IS A BRIEF LIST OF APPROVED DRAINAGE PLANS RELEVANT TO THE SITE:  
1. DRAINAGE PLAN FOR CALMAT SUBDIVISION, PREPARED BY VICTOR J. CHAVEZ, JUNE 1991. THIS PLAN IDENTIFIES AN OFFSITE FLOWRATE ENTERING TRACT 1A OF 1.0 CFS GENERATED BY LOT 3.  
2. GRADING AND DRAINAGE PLAN FOR US WEST MTX FACILITY PREPARED BY THE MANN COMPANY, INC. DATED JANUARY 1991. THIS APPROVED PLAN FOR THE SITE IMPLEMENTS A DRAINAGE CONCEPT ALLOWING A MAXIMUM FLOWRATE OF 1 CFS TO DISCHARGE FROM THE SITE TO TRACT 1A (ENCLAVE APARTMENTS) LOCATED TO THE NORTH OF THE SITE.  
3. GRADING AND DRAINAGE PLAN FOR ENCLAVE APARTMENTS, PREPARED BY JEFF MORTENSEN & ASSOC., INC., DATED JUNE 1994. THIS PLAN ALLOWS 1 CFS TO ENTER TRACT 1A (ENCLAVE APARTMENTS) FROM THE PROJECT SITE.
4. EXISTING CONDITIONS  
CURRENTLY, THE SITE IS DEVELOPED AND CONSISTS OF A PERMANENT BUILDING AND PAVED PARKING LOT. DEVELOPED RUNOFF GENERATED BY THE SITE IS INTERCEPTED BY A PRIVATE STORM INLET LOCATED IN THE NORTHERN PORTION OF THE EXISTING PARKING LOT. THE INLET DISCHARGES TOWARD THE NORTH AND ONTO TRACT 1A, THE ENCLAVE APARTMENT COMPLEX, VIA A PRIVATE STORM DRAIN PIPE. EXISTING DRAINAGE EASEMENTS ARE CURRENTLY IN PLACE IN SUPPORT OF THIS SCENARIO. THE FLOWRATE WITHIN THE PRIVATE STORM DRAIN IS RESTRICTED BY AN ORIFICE PLATE WITHIN THE EXISTING INLET WHICH IS DESIGNED TO ALLOW A MAXIMUM DISCHARGE OF 1 CFS. THE PAVED PARKING LOT SERVES AS A DETENTION POND WHICH STORES THE EXCESS RUNOFF RESULTING FROM THE MITIGATED OUTFLOW FROM THE INLET.

5. DEVELOPED CONDITIONS  
THE PROPOSED DEVELOPMENT WILL CONSIST OF THE CONSTRUCTION OF A NEW BUILDING ADDITION. THE DRAINAGE CONCEPT WILL REMAIN THE SAME AND WILL UTILIZE THE EXISTING PARKING LOT FOR STORMWATER DETENTION PONDING AS WELL AS THE EXISTING PRIVATE STORM INLET/ORIFICE PLATE SYSTEM FOR OUTFLOW RESTRICTION. THE MAXIMUM DISCHARGE RATE FROM THE PRIVATE STORM DRAIN SYSTEM WILL NOT BE ALTERED BY THE PROPOSED IMPROVEMENTS AND WILL AGAIN BE RESTRICTED TO 1 CFS.
6. GRADING PLAN  
THE GRADING PLAN SHOWS: 1) EXISTING GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS AS TAKEN FROM THE PROPOSED GRADES AND SPOT ELEVATIONS SHOWN ON THE GRADING PLAN PREPARED BY THE MANN COMPANY, DATED JANUARY 1991, 2) PROPOSED GRADES INDICATED BY SPOT ELEVATIONS AND CONTOURS AT 1'-0" INTERVALS, 3) THE LIMIT AND CHARACTER OF THE EXISTING IMPROVEMENTS, AND 4) CONTINUITY BETWEEN EXISTING AND PROPOSED GRADES.
7. CALCULATIONS  
THE CALCULATIONS CONTAINED HEREIN ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED.
8. CONCLUSION  
THE CONTINUED CONTROLLED DISCHARGE OF RUNOFF ONTO TRACT 1A LOCATED NORTH OF THE SITE IS APPROPRIATE DUE TO THE FOLLOWING:  
1. THE PROPOSED IMPROVEMENTS REPRESENT A MODIFICATION TO AN EXISTING DEVELOPED SITE WITHIN AN INFILL AREA.  
2. THE MAXIMUM DISCHARGE RATE ONTO TRACT 1A WILL NOT BE INCREASED THEREBY CONFORMING WITH THE PREVIOUSLY APPROVED DRAINAGE PLANS FOR THE SITE AND ADJACENT TRACT 1A TO WHICH THE PROJECT SITE DRAINS.  
3. THE PROPOSED IMPROVEMENTS WILL NOT ADVERSELY IMPACT DOWNSTREAM FLOOD HAZARD ZONES.  
THE ONSITE STORM DRAIN SYSTEM IS PRIVATELY OWNED, OPERATED AND MAINTAINED BY THE OWNER OF LOT 3.

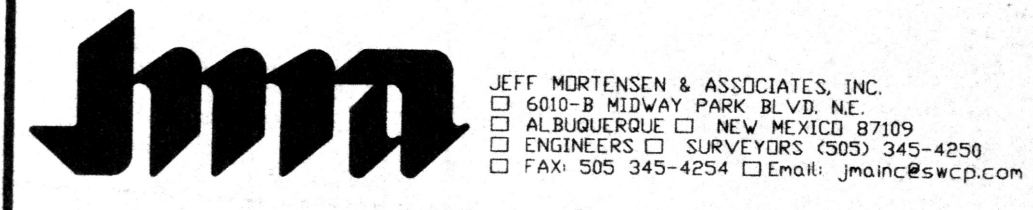
**CALCULATIONS**

1. PRECIPITATION ZONE = 3
  2.  $P_{360} = 2.60$  IN
  3. TOTAL AREA ( $A_t$ ) = 45,580 SF/1.05 AC
  4. EXISTING LAND TREATMENT
 

| TREATMENT AREA (SF/AC)         | %           |
|--------------------------------|-------------|
| A. BASIN A (12,290 SF/0.28 AC) |             |
| C                              | 12,290/0.28 |
| B. BASIN B (33,290 SF/0.76 AC) |             |
| TREATMENT AREA (SF/AC)         | %           |
| B                              | 8,300/0.19  |
| D                              | 24,990/0.57 |
  5. DEVELOPED LAND TREATMENT
 

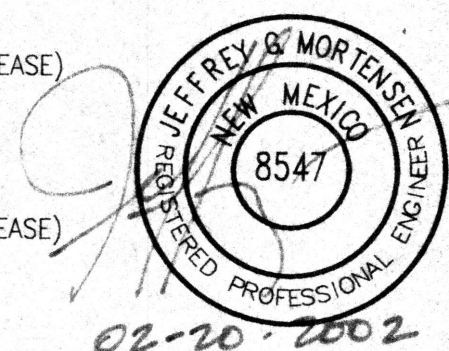
| TREATMENT AREA (SF/AC)         | %           |
|--------------------------------|-------------|
| A. BASIN A (6,240 SF/0.14 AC)  |             |
| C                              | 6,240/0.14  |
| B. BASIN B (39,340 SF/0.90 AC) |             |
| TREATMENT AREA (SF/AC)         | %           |
| B                              | 9,970/0.23  |
| D                              | 29,370/0.67 |
  6. EXISTING CONDITION
    - A. BASIN A
      1. VOLUME  
 $E_w = E_{A^A} + E_{B^B} + E_{C^C} + E_{D^D} / A_t$   
 $E_w = 1.29(0.28) / 0.28 = 1.29$  IN  
 $V_{100,6-HR} = (E_w/12)A_t$   
 $V_{100,6-HR} = (1.29/12)0.28 = 0.0301$  AC-FT = 1,310 CF
  - B. BASIN B (CONTROLLED DISCHARGE)
    1. VOLUME  
 $E_w = E_{A^A} + E_{B^B} + E_{C^C} + E_{D^D} / A_t$   
 $E_w = [0.92(0.23) + 2.36(0.67)] / 0.90 = 1.99$  IN  
 $V_{100,6-HR} = (E_w/12)A_t$   
 $V_{100,6-HR} = (1.99/12)0.90 = 0.1494$  AC-FT = 6,510 CF
7. REQUIRED POND VOLUME  
 $V_{POND, REQ} = V_{100} - V_{OUT} = 6510 - 2470 = 4,040$  CF <  $V_{POND} = 4,190$  CF
8. COMPARISON
  - A. BASIN A (SHEET FLOW)
    - $\Delta V_{100,6-HR} = 660 - 1,310 = -650$  CF (DECREASE)
    - $\Delta Q_{100} = 0.5 - 1.0 = -0.5$  CFS (DECREASE)
  - B. BASIN B (CONTROLLED DISCHARGE)
    - $\Delta V_{100,6-HR} = 6,510 - 5,200 = 990$  CF (INCREASE)
    - $\Delta Q_{100} = 1.0 - 1.0 = 0.0$  CFS (NO CHANGE)

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 Plot Time: 10:11:0 am



**CONCEPTUAL GRADING AND DRAINAGE PLAN**  
**VERIZON WIRELESS**

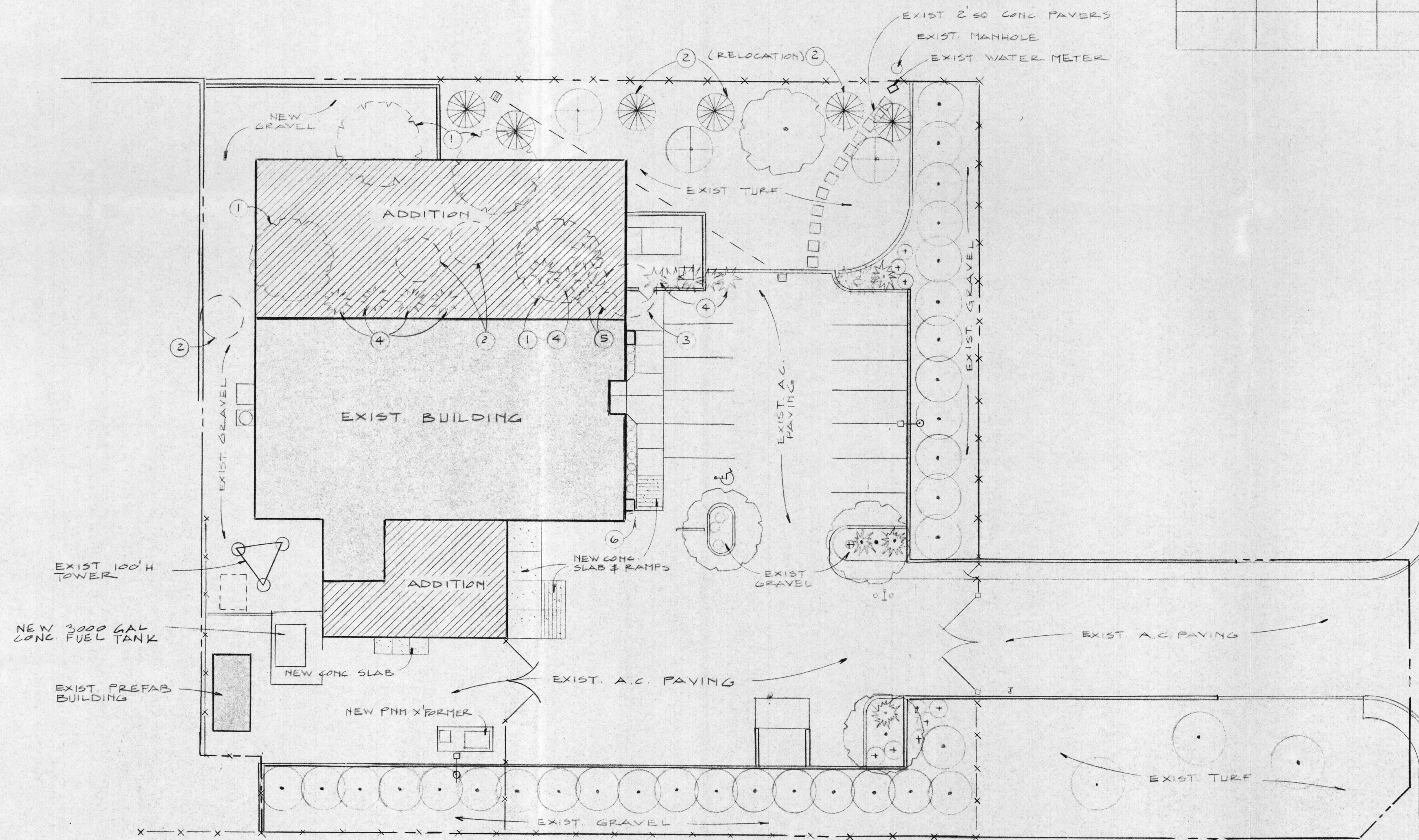
| DESIGNED BY | NO. | DATE | BY | REVISIONS | JOB NO.    |
|-------------|-----|------|----|-----------|------------|
| C.J.S.      |     |      |    |           | 2002.008.1 |
| DRAWN BY    |     |      |    |           | DATE       |
| J.L.P.J.R.  |     |      |    |           | 02-2002    |
| APPROVED BY |     |      |    |           | SHEET      |
| J.G.M.      |     |      |    |           | C1 OF 1    |





| EXIST PLANT LIST |       |      |                  |  |         |
|------------------|-------|------|------------------|--|---------|
| SYMBOL           | QUANT | SIZE | COMMON NAME      |  | REMARKS |
| ●                | 34    |      | PINON PINE       |  |         |
| ⊗                | 4     |      | MODESTO ASH      |  |         |
| ⊕                | 4     |      | AUSTRIAN PINE    |  |         |
| ⊛                | 6     |      | SEAGREEN JUNIPER |  |         |
| ⊙                | 9     |      | FORSYTHIA        |  |         |
| ○                | 11    |      | FLOWERING QUINCE |  |         |

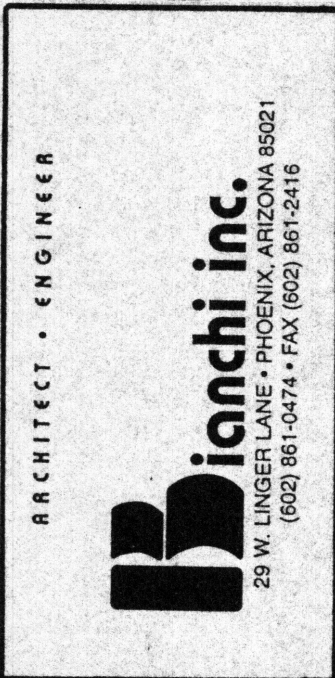
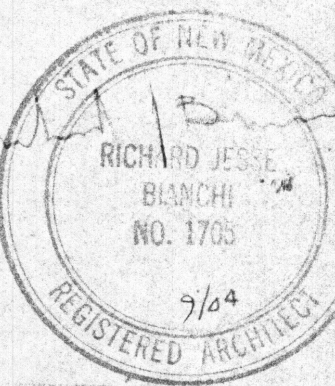
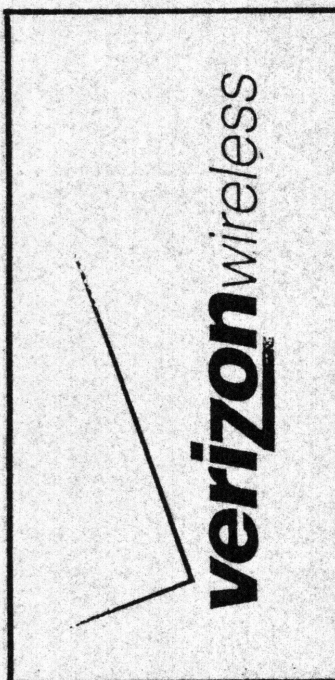
| NEW PLANT LIST |       |        |               |                |         |
|----------------|-------|--------|---------------|----------------|---------|
| SYMBOL         | QUANT | SIZE   | COMMON NAME   | BOTANICAL NAME | REMARKS |
| ⊗              | 6     | 15 GAL | AUSTRIAN PINE | PINUS NIGRA    |         |
|                |       |        |               |                |         |
|                |       |        |               |                |         |
|                |       |        |               |                |         |
|                |       |        |               |                |         |



DEMOLITION NOTES

1. REMOVE 4 EXIST. MODESTO ASH TREES.
2. REMOVE 3 EXIST. AUSTRIAN PINE TREES & RELOCATE (IF POSSIBLE).
3. REMOVE EXIST. PURPLE LEAF PLUM TREE.
4. REMOVE 12 EXIST. SEAGREEN JUNIPER SHRUBS.
5. REMOVE 3 EXIST. FORSYTHIA SHRUBS.
6. REMOVE 1 EXIST. FLOWERING QUINCE.

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ADDITION TO  
ALBUQUERQUE "MSC"  
4821 EUBANK BLVD., ALBUQ., NM  
LANDSCAPE PLAN

|           |             |
|-----------|-------------|
| Project # | 2001.6      |
| Drawn     | RJB         |
| Checked   |             |
| Date      | SEPT. 4, 02 |

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