

PLANT LEGEND

YMBOL 	BOTANICAL / COMMON NAME	WATER USE
Trees (2" B\$	B or 8' Height)	
	Cercocarpus ledifolius / Curl-leaf Mtn. Mahogany	Low+
(+)	Forestiera neomexicana / New Mexico Olive	Low+
_	Prunus serrulata / Flowering Cherry	Medium
	Chilopsis linearis 'Luc. Ham.' / Desert Willow	Low+
	Koelreuteria paniculata / Goldenrain Tree	Medium
	Fraxinus velutina 'Modesto' / Modesto Ash	Medium
	Robinia 'Purple Robe' / Purple Robe Locust	Medium
	Platanus occidentalis / Sycamore	Medium
\times	Pinus leucodermis / Bosnian Pine	Medium
(*)	Pinus nigra / Austrian Pine Pinus nigra / Austrian Pine	Medium
	Finds nigra / Adstrian Fine	
Shrubs (1 and	d 5 gallon)	
	Artemesía 'Powis Castle' / Powis Castle Sage	Low+
\bigcap	Oenothera berlandieri / Evening Primrose	Low+
\bigcirc	Rosmarinus officinalis/Rosemary	Low+
	Santolina species / Santolina	Low
€	Caryopteris clandonensis / Blue Mist	Medium
	Salvia greggii / Cherry Sage	Medium
+	Chrysothamnus nauseosus / Chamisa	Low
	Fallugia paradoxa / Apache Plume	Low
Ø 	Berberis species / Barberry	Medium
	Perovskia atriplicifolia / Russian Sage	Medium
	Mahonia aquifolium / Dwarf Mahonia	Medium
	Spartium junceum / Spanish Broom	Medium
	Juniperus sabina 'Buffalo' / Buffalo Juniper (female)	Low+
	Cotoneaster apiculatus / Cranberry Cotoneaster	Medium
Desert Acce	ents (I and 5 gallon)	
*	Dasylirion wheeleri / Desert Spoon	Low+
	Hesperaloe parviflora / Red Yucca	Medium
	Opuntia santorita tupac/Prickley Pear	Low
Ornamental G	rasses (1 and 5 gallon)	
· ·	Stipa tenniussima / Threadgrass	Low+
V.		
*	Muhlenbergia capillaris / Bush Muhly Grass	Medium



Moss Rock Boulder (2' min. dia.)

MULCHES

All shrub planting areas shall be top dressed with 3/4" Santa Fe Brown Rock Mulch and 2" - 4" Santa Ana Tan Cobble (3:1 ratio).

IRRIGATION SYSTEM

Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated irrigation system will be used to irrigate tree, shrub and groundcover planting areas.

MAINTENANCE RESPONSIBILITY

Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the Owner.

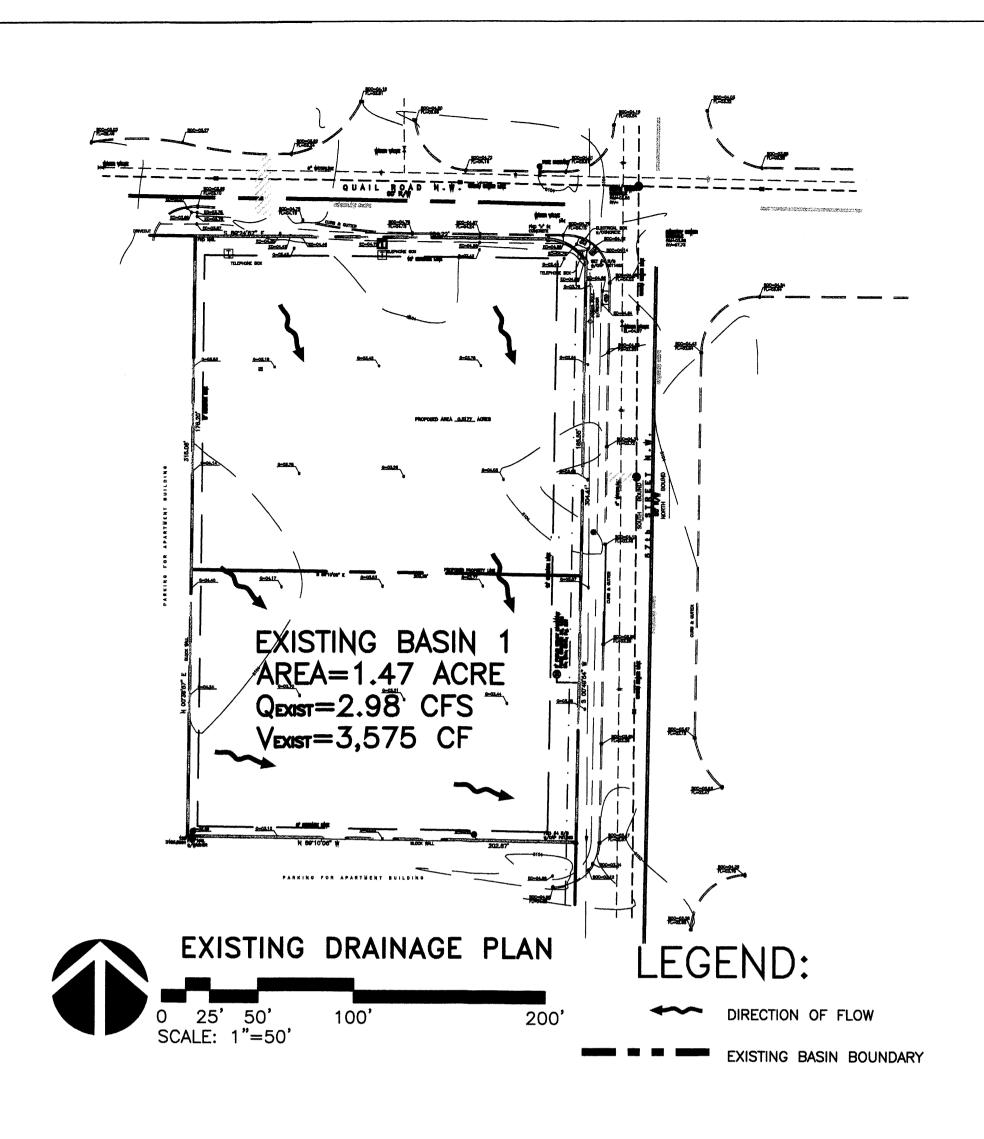
STATEMENT OF WATER WASTE

The Landscape Plan for this site shall limit the provision of high water use turf to a maximum of 20 percent of the required landscape area.

LANDSCAPE REQUIREMENTS

ite Area: 0.82 acres	35,987 SF
Building Footprint:	6,816 SF
otal Area:	29,171 SF
Required Landscape %:	.15
andscape Area Required:	4,375 SF
andscape Area Provided:	(36%) 10,615 SF





DRAINAGE PLAN

EXECUTIVE SUMMARY

THIS PROJECT, LOCATED AT THE SOUTHWEST CORNER OF THE QUAIL RD. NW AND 57TH ST. NW INTERSECTION, CONSISTS OF NEW CONSTRUCTION OF AN 6446 SF, SINGLE STORY -AUTOZONE STORE, PARKING LOT AND ASSOCIATED LANDSCAPING. THE SITE IS CURRENTLY UNDEVELOPED, BUT IS WITHIN A LARGELY DEVELOPED INFILL AREA. THE PURPOSE OF THIS DRAINAGE PLAN IS TO OBTAIN SITE PLAN FOR BUILDING PERMIT APPROVAL.

REFERENCES

THE DRAINAGE ANALYSIS INCLUDES REFERENCES FROM THE DRAINAGE REPORT PREPARED FOR THE VILLA HERMOSA APARTMENT COMPLEX WHICH BOUNDS THE AUTOZONE PROPERTY TO THE WEST AND SOUTH.

PROJECT DESCRIPTION

AS SHOWN ON VICINITY MAP H-11, THE SITE IS LOCATED AT THE SOUTHWEST CORNER OF THE QUAIL RD. NW AND 57TH ST. NW INTERSECTION. ACCORDING TO THE ALTA SURVEY PREPARED BY HARRIS SURVEYING, DATED JUNE 2004, THE SITE IS CURRENTLY ZONED C-1. THE ALTA SURVEY DESCRIBES THE CURRENT LEGAL DESCRIPTION AS: TRACT C-1 OF THE PLAT OF TRACTS A-1 AND C-1, ALBUQUERQUE WEST, BERNALILLO COUNTY, NEW MEXICO.

AS SHOWN BY PANEL 327 OF 825 OF THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAPS, BERNALILLO COUNTY, NEW MEXICO, AND INCORPORATED AREAS, DATED SEPTEMBER 20, 1996, THIS SITE LIES WITHIN DESIGNATED FLOOD HAZARD ZONE X. ZONE X IS CHARACTERIZED BY AREAS WITHIN THE 500-YR FLOOD, AREAS OF 100-YR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE AND AREAS PROTECTED BY LEVEES FROM 100-YR FLOOD.

EXISTING CONDITIONS AND DRAINAGE PATTERNS

THE SITE IS RELATIVELY FLAT WITH SLOPES LESS THAN 1%. THE SITE APPEARS TO MOSTLY DRAIN FROM THE NORTHWEST TO THE SOUTH EAST INTO THE 57TH STREET STORM DRAIN SYSTEM.

ACCORDING TO THE USCS -SOIL SURVEY FOR BERNALILLO COUNTY, THE SITE SOILS ARE MWA (MADUREZ) WHICH ARE CLASSIFIED AS WELL DRAINED SOILS WITH HYDROLOGIC SOIL GROUP 'B'.

THE SITE CONSISTS OF ONE ONSITE BASIN WITH THE COMBINED AREA OF 1.47 ACRES. DUE TO THE EXISTING CURB AND GUTTER IN QUAIL RD. AND 57TH STREET, NO OFFSITE STREET FLOWS ENTER THE SITE. ALSO, THERE IS AN EXISTING BLOCK WALL ON THE WEST AND SOUTH PROPERTY LINES THAT RESTRICT OFFSITE FLOWS FROM ENTERING THE SITE. THE TOTAL HISTORIC UNDEVELOPED ON-SITE 100YR-6HR RUNOFF FROM THE SITE IS 3.0 CFS.

DEVELOPED CONDITIONS AND DRAINAGE PATTERNS

THE PROPOSED SITE WILL BE SPLIT INTO THREE (3) DIFFERENT SUBBASINS. BY USE OF DETENTION PONDS TO BE LOCATED IN THE NORTHEASTERN PORTION OF THE SITE ADJACENT TO 57TH ST. THE TOTAL DEVELOPED DISCHARGE FROM THE SITE WILL BE CONTROLLED TO THE HISTORIC 100YR-6 HOUR EVENT. PROPOSED BASIN 1 WILL CONSIST OF 0.44AC WITH AN ANTICIPATED FLOWRATE OF

1.6 CFS. THIS DISCHARGE WILL BE CONTROLLED TO 0.25 CFS BY THE USE OF DETENTION PONDS, A STANDPIPE AND AN 8-INCH CONNECTION TO THE EXISTING 43" x 68" STORM DRAIN IN 57TH ST. WHICH FLOWS SOUTH.

PROPOSED BASIN 2 WILL CONSIST OF 0.40AC WITH A DISCHARGE RATE OF 1.51 CFS. THESE DEVELOPED FLOWS WILL DRAIN DIRECTLY NORTH INTO THE QUAIL RD. RIGHT-OF-WAY AND EXISTING STORM SYSTEM. THIS EXISTING STORM DRAIN THEN FLOWS EAST WHERE IT JOINS THE EXISTING 43" X 68" STORM DRAIN IN 57TH ST. AS

PROPOSED BASIN 3 HAS A CONTRIBUTING AREA OF 0.63ACRES AND A DISCHARGE RATE OF 1.28 CFS WHICH WILL CONTINUE TO FLOW EAST INTO THE 57TH ST. RIGHT-OF-WAY. IT IS ANTICIPATED THAT THIS BASIN WILL REMAIN UNDEVELOPED DURING THE CONSTRUCTION OF THE AUTOZONE SITE.

CALCULATIONS

THE CALCULATIONS, WHICH ARE ATTACHED, ANALYZE BOTH THE EXISTING AND DEVELOPED CONDITIONS FOR THE 100-YEAR, 6-HOUR RAINFALL EVENT. THE PROCEDURE FOR 40-ACRE AND SMALLER BASINS, AS SET FORTH IN THE REVISION OF SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA, DATED JANUARY, 1993, HAS BEEN USED TO QUANTIFY THE PEAK RATE OF DISCHARGE AND VOLUME OF RUNOFF GENERATED.

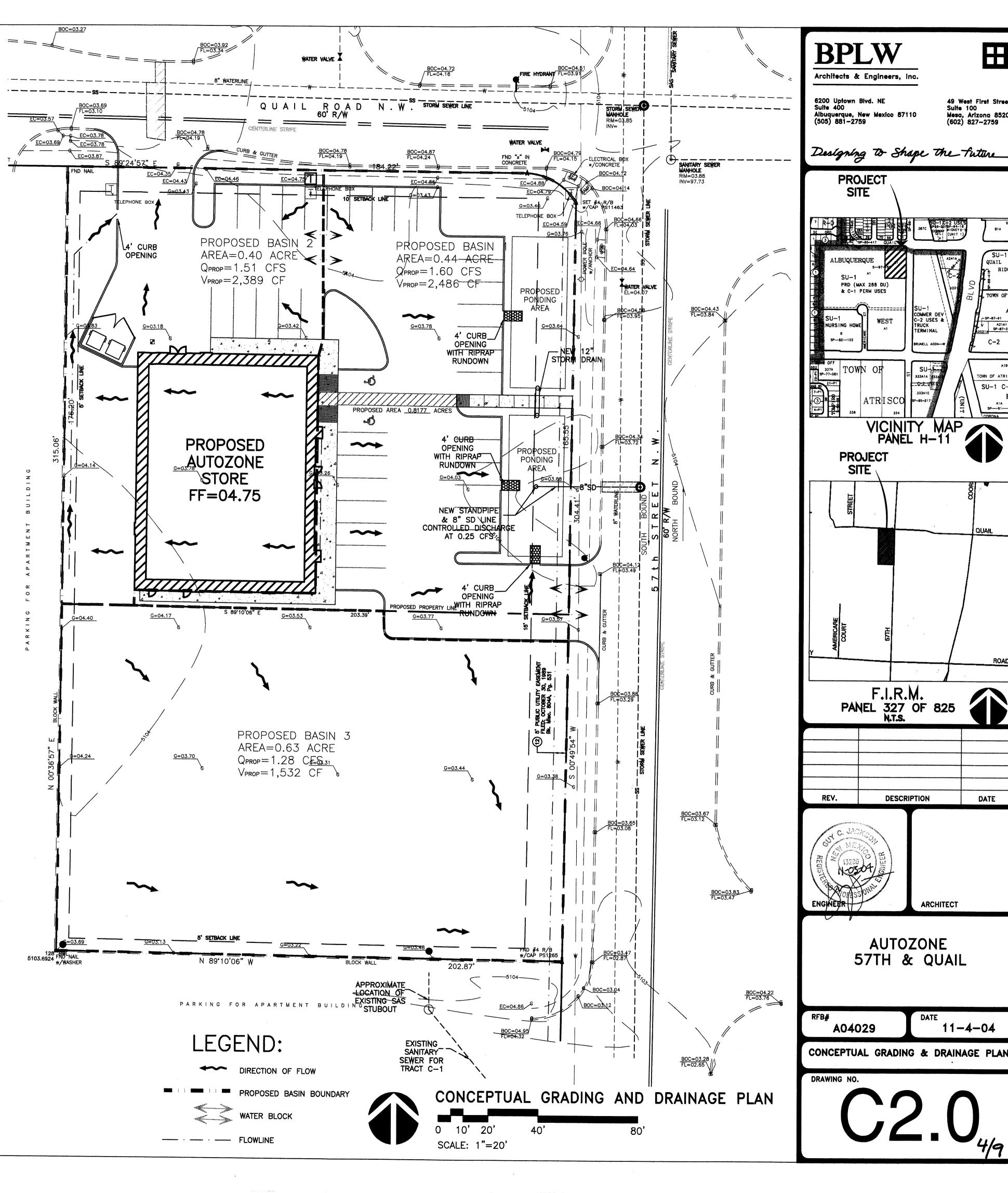
CONCLUSION

AS STATED ABOVE, THE NET DEVELOPED FLOWS FROM THE PROPOSED THREE BASINS (0.25CFS + 1.51CFS +1.28CFS = 3.0CFS), WHICH EQUALS THE HISTORIC DISCHARGE RATE DESCRIBED IN THE EXISTING CONDITIONS.

LEGAL DESCRIPTION

TRACT LETTERED C-ONE (C-1), OF THE PLAT OF TRACTS A-1 AND C-1, ALBUQUERQUE WEST, A SUBDIVISION IN ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 25, 1997 IN PLAT BOOK 97C, FOLIO

BENCH MARK ALBUQUERQUE CONTROL MONUMENT "12-H11" ELEV=5102.17



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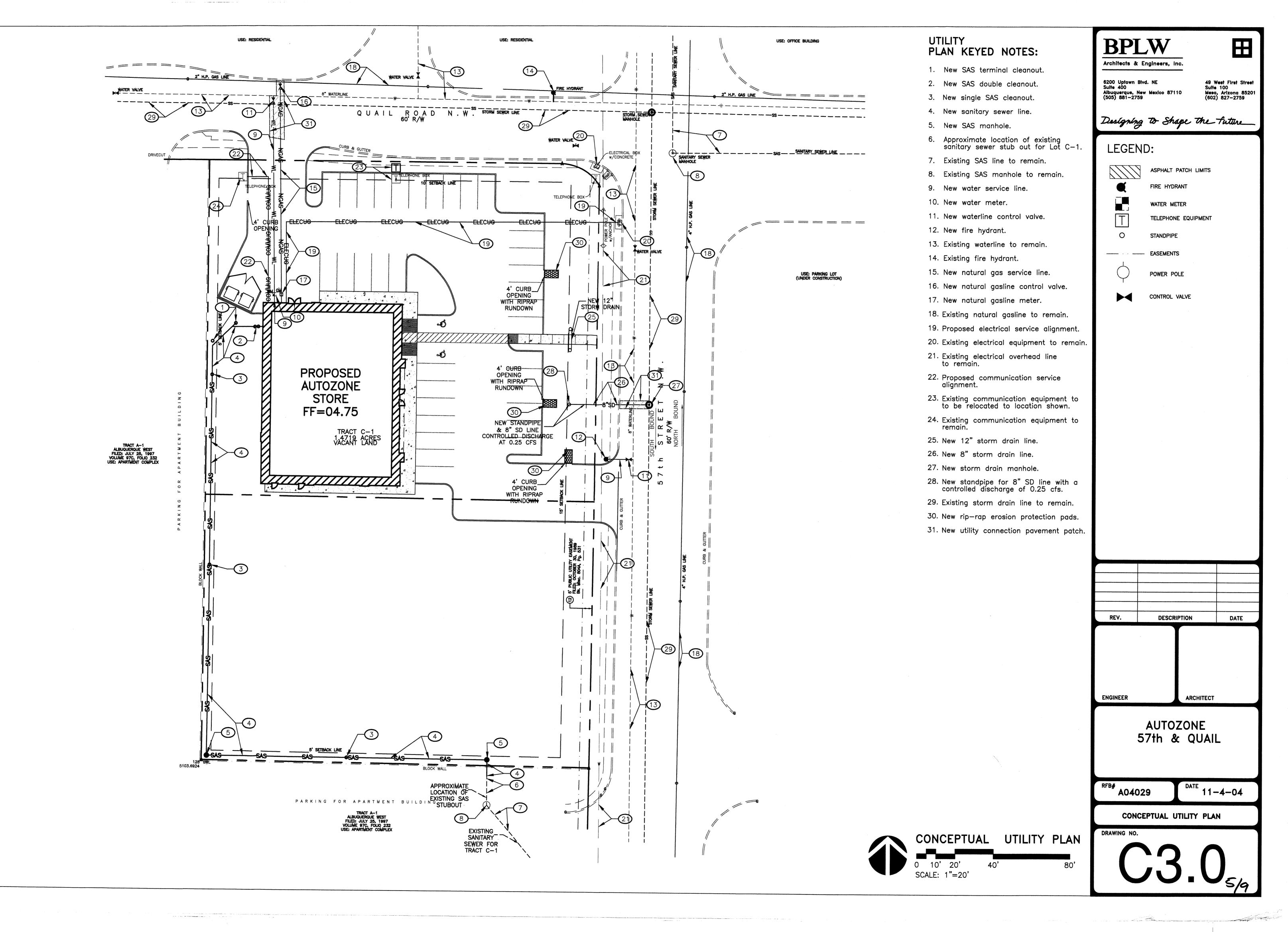
49 West First Street Suite 100 Mesa, Arizona 85201 (602) 827—2759

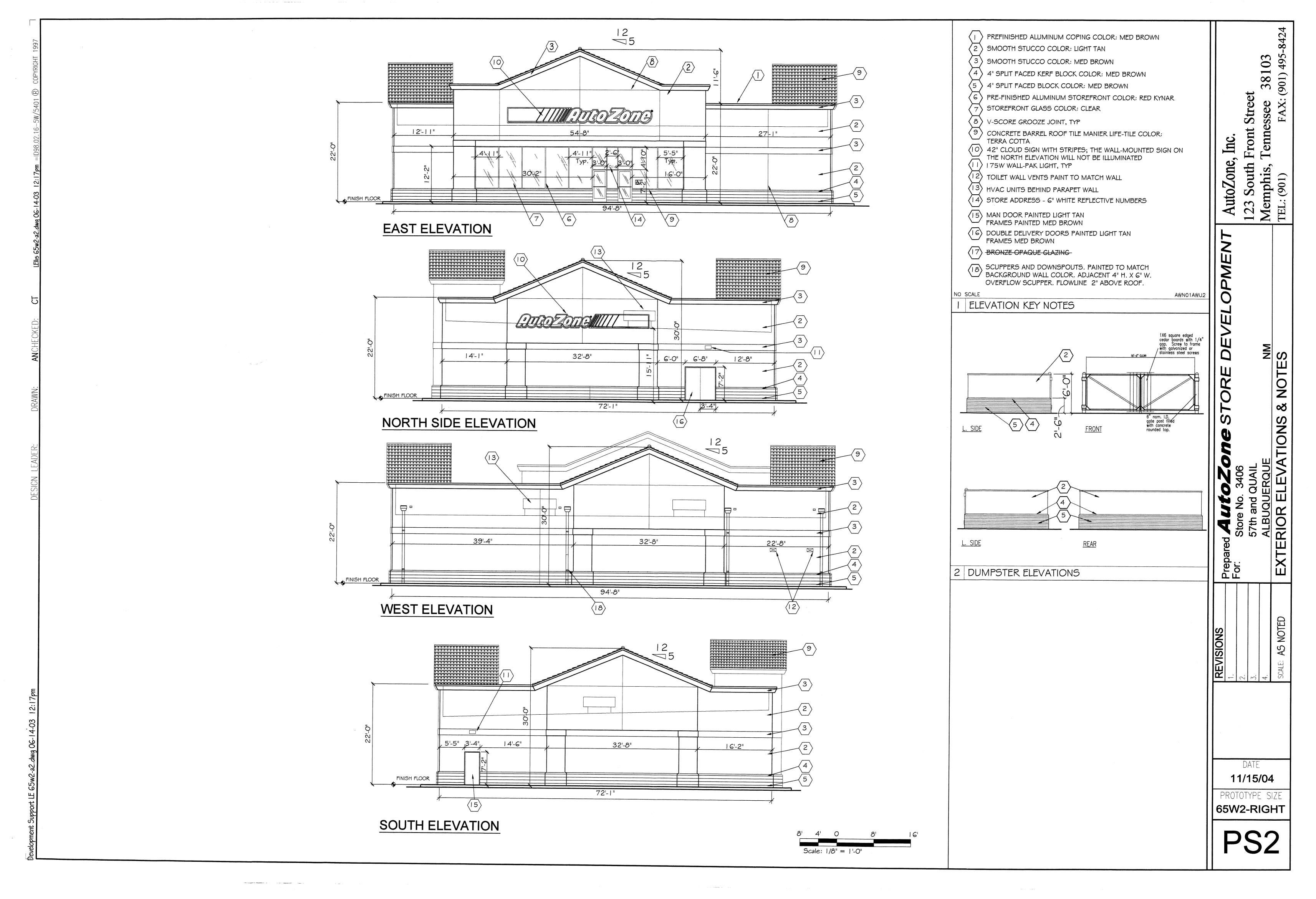
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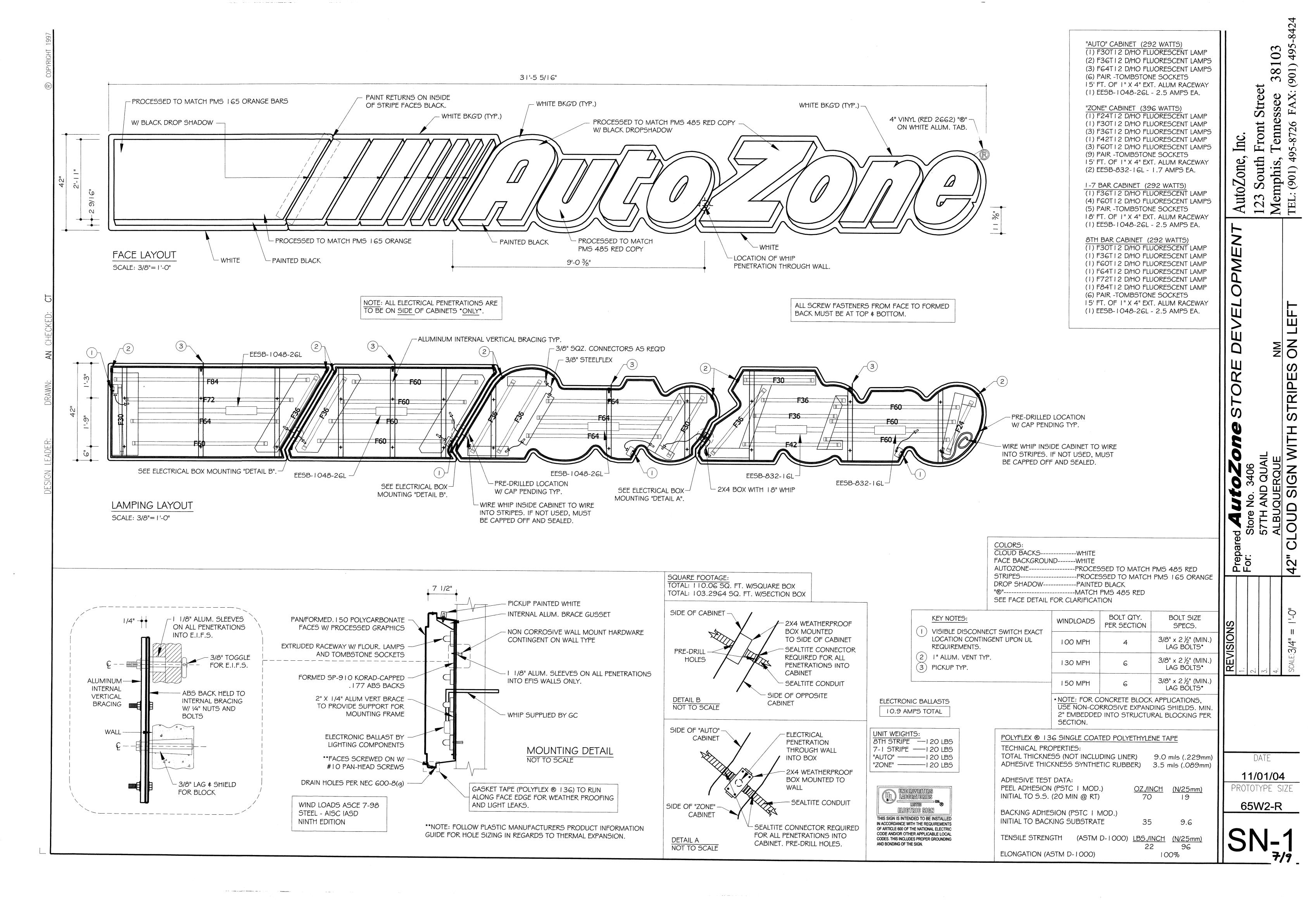
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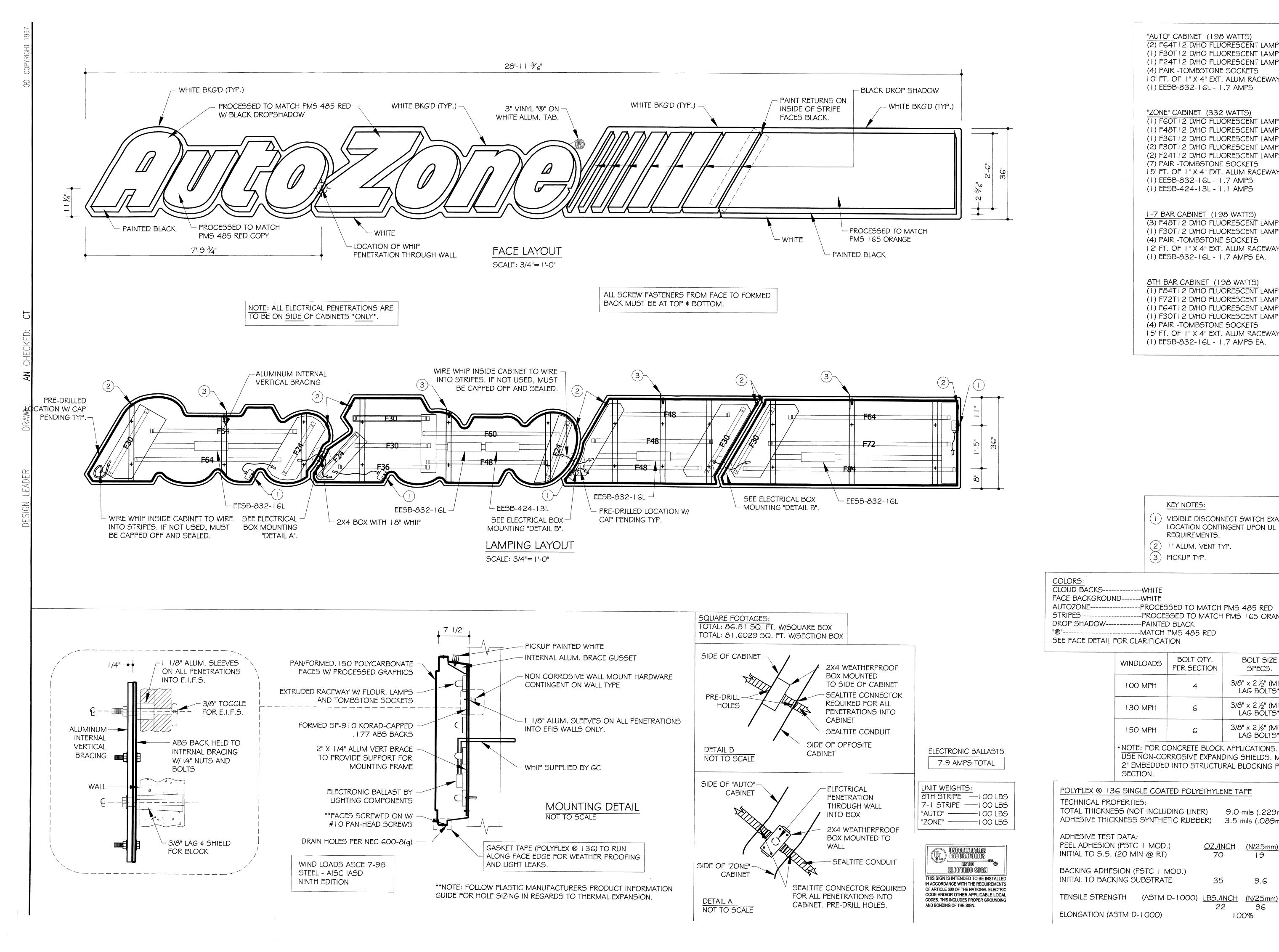
ARCHITECT

11-4-04









"AUTO" CABINET (198 WATTS) (901) 495-38103 (2) F64T12 D/HO FLUORESCENT LAMPS (1) F30T12 D/HO FLUORESCENT LAMP (1) F24T12 D/HO FLUORESCENT LAMP (4) PAIR -TOMBSTONE SOCKETS 10' FT. OF 1" X 4" EXT. ALUM RACEWAY Street Tennessee 95-8726 FAX: ((1) EESB-832-16L - 1.7 AMPS "ZONE" CABINET (332 WATTS) (1) F60T12 D/HO FLUORESCENT LAMP Front 495-8726 (1) F48T12 D/HO FLUORESCENT LAMP (1) F36T12 D/HO FLUORESCENT LAMP (2) F30T12 D/HO FLUORESCENT LAMPS (2) F24T12 D/HO FLUORESCENT LAMPS 123 South Memphis, TEL: (901) 49 South (7) PAIR -TOMBSTONE SOCKETS AutoZone 15' FT. OF I" X 4" EXT. ALUM RACEWAY (1) EESB-832-16L - 1.7 AMPS (1) EESB-424-13L - 1.1 AMPS 1-7 BAR CABINET (198 WATTS) (3) F48T12 D/HO FLUORESCENT LAMPS (1) F30T12 D/HO FLUORESCENT LAMP (4) PAIR -TOMBSTONE SOCKETS 12' FT. OF I" X 4" EXT. ALUM RACEWAY (1) EESB-832-16L - 1.7 AMPS EA. 8TH BAR CABINET (198 WATTS) (1) F84T12 D/HO FLUORESCENT LAMP (1) F72T12 D/HO FLUORESCENT LAMP (1) F64T12 D/HO FLUORESCENT LAMP ON RIGHT (1) F30T12 D/HO FLUORESCENT LAMP (4) PAIR -TOMBSTONE SOCKETS 15' FT. OF 1" X 4" EXT. ALUM RACEWAY (1) EESB-832-16L - 1.7 AMPS EA. DE STRIPES WITH Store No. 3406
37TH AND QUAIL
LEUQUERQUE
JUD SIGN W KEY NOTES: VISIBLE DISCONNECT SWITCH EXACT LOCATION CONTINGENT UPON UL REQUIREMENTS. (2) I" ALUM. VENT TYP. (3) PICKUP TYP. Sto STO STI ALE --WHITE -PROCESSED TO MATCH PMS 485 RED --PROCESSED TO MATCH PMS 165 ORANGE DROP SHADOW------PAINTED BLACK ---MATCH PMS 485 RED BOLT QTY. **BOLT SIZE** WINDLOADS PER SECTION SPECS. 3/8" x 2 ½" (MIN.) 100 MPH LAG BOLTS* 3/8" x 2 1/2" (MIN.) 130 MPH LAG BOLTS* 3/8" x 2 ½" (MIN.) 150 MPH LAG BOLTS* * NOTE: FOR CONCRETE BLOCK APPLICATIONS. USE NON-CORROSIVE EXPANDING SHIELDS. MIN. 2" EMBEDDED INTO STRUCTURAL BLOCKING PER SECTION. POLYFLEX ® 136 SINGLE COATED POLYETHYLENE TAPE TOTAL THICKNESS (NOT INCLUDING LINER) 9.0 mils (.229mm) DATE ADHESIVE THICKNESS SYNTHETIC RUBBER) 3.5 mils (.089mm)

<u>OZ./INCH</u> (N/25mm)

100%

9.6

35

22

36

11/01/04

PROTOTYPE SIZE

65W2-R

