

#16



COMPLETED 06/27/05 *stt*

DRB CASE ACTION LOG (FINAL PLAT)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04DRB01136 (FP)

Project # 1001763

Project Name: ALBUQUERQUE WEST

Agent: Surveys Southwest Ltd

Phone No.: 998-0303

Your request for (SDP for SUB), (SDP for BPL), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 5/25/05 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____

- UTILITIES: *Need off-site Sewer Easement recorded and information put on plat.*
- _____
- _____

- CITY ENGINEER / AMAFCA: _____
- _____
- _____

- PARKS / CIP: _____
- _____
- _____

- PLANNING (has to sign): _____
- _____
- _____

Call me 10/27/06

See me 10/27/06

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.

- Include 3 copies of the approved site plan along with the originals.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

Project Number 1001763

#16



DRB CASE ACTION LOG (FINAL PLAT)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: <u>04DRB01136 (FP)</u>	Project # <u>1001763</u>
Project Name: <u>ALBUQUERQUE WEST</u>	
Agent: <u>Surveys Southwest Ltd</u>	Phone No.: <u>998-0303</u>

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 6/25/05 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
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- Property Management's signature must be obtained prior to Planning Department's signature.**
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- Copy of recorded plat for Planning.**

Project Number 1001763



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

May 25, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 11:30 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1001140**
05DRB-00717 Major-Two Year SIA
SCOTT COLE request(s) the above action(s) for all or a portion of Lot(s) 21, Block(s) 26, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 FOR IP, located on EAGLE ROCK RD NE, between SAN PEDRO NE and LOUISIANA NE containing approximately 1 acre(s). [REF: 01DRB00391, 03DRB00557, DRB-97-52, AA-99-17] (C-18) **A TWO-YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. **Project # 1003011**
05DRB-00439 Major-Vacation of Pub
Right-of-Way

CITY OF ALBUQUERQUE agent(s) for BRAKE MASTERS, INC. request(s) the above action(s) for all or a portion of Block(s) 4 & 5, Tract(s) A, **INEZ ADDITION**, zoned C-2, located on WYOMING BLVD NE, between PROSPECT AVE NE and MENAUL BLVD NE containing approximately 5 acre(s). [REF: 03DRB02088, 03DRB02089] [Deferred from 4/13/05 & 5/11/05 & 5/25/05] (H-19) **DEFERRED AT THE AGENT'S REQUEST TO 6/8/05.**

3. **Project # 1003445**
05DRB-00724 Major-Vacation of Pub
Right-of-Way
05DRB-00725 Major-Vacation of
Public Easements
05DRB-00726 Minor-Prelim&Final Plat
Approval

ISAACSON & ARFMAN PA agent(s) for AMERICAN EAGLE L.P., c/o R. J. SCHAEFER REALTY request(s) the above action(s) for all or a portion of Tract(s) B-1, C-1 & D-1, Lot(s) 6-A-1, **ALBUQUERQUE WEST, UNIT 1**, zoned SU-1 PDA TO INCLUDE C-3 USES, located on NUNZIO AVE NW, between PARADISE BLVD NW and EAGLE RANCH RD NW containing approximately 27 acre(s). [REF: DRB-94-132, DRB-94-512, Z-83-89, 04DRB00751, 04DRB00752, 04DRB00753] (C-12) **VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PROPERTY MANAGEMENT SIGNATURE AND 15-DAY APPEAL PERIOD.**

4. **Project # 1003655**
05DRB-00661 Major-Vacation of
Public Easements
05DRB-00660 Major-Vacation of Pub
Right-of-Way
05DRB-00659 Major-Preliminary Plat
Approval
05DRB-00663 Minor-Temp Defer
SDWK

DAVID A AUBE agent(s) for ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 15, 16, 17 and a portion of 18, Block(s) 1, Tract(s) 2, **NORTH ALBUQUERQUE ACRES, UNIT 3**, (to be known as **LA VISTA @ DESERT RIDGE TRAILS**) zoned R-D, located on WYOMING NE, between EAGLE ROCK NE and MODESTO NE containing approximately 3 acre(s). [REF: 04DRB01373] [Deferred from 5/11/05 & 5/18/05] (C-19) **THE VACATION OF PUBLIC**

FOR LOTS AND GET TAPPING PERMITS,
RECOMMEND CHANGING ADDRESS ALSO.

15. **Project # 1004183**
05DRB-00809 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for LAURIE HICKS request(s) the above action(s) for all or a portion of Lot(s) B, Block(s) 7, **PERFECTO, MARIANO & JESUS ARMIJO ADDITION**, zoned SU-2, located on 8TH STREET NW and MARQUETTE AVE NW and containing approximately 1 acre(s). [REF: ZA-85-456] [*Deferred from 5/25/05*] (J-14) **DEFERRED AT THE AGENT'S REQUEST TO 6/1/05.**

16. ~~Project # 1001763~~
04DRB-01136 Minor- Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for J. HOWARD MOCK, LAVA PARTNERS request(s) the above action(s) for all or a portion of Tract(s) C-1, **ALBUQUERQUE WEST**, zoned SU-1 FOR C-1 PERMISSIVE USES, located on 57TH ST NW, between QUAIL RD NW and OURAY RD NW containing approximately 2 acre(s). [REF:DRB-96-279, 02DRB00308, 309, 02DRB00856] (*Indef Deferred from 7/28/04 & Final plat indef deferred 1/19/05 for the SIA*) (H-11) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR OFFSITE SEWER EASEMENT.**

17. **Project # 1003759**
05DRB-00294 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for KEN BALIZER request(s) the above action(s) for all or a portion of Tract(s) 173A and 174, MRGCD MAP 31, (to be known as **LANDS OF KEN BALIZER**, zoned

12. **Project # 1003672**
05DRB-00704 Minor-Prelim&Final Plat
Approval
05DRB-00705 Minor-Temp Defer
SDWK

RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES LTD request(s) the above action(s) for all or a portion of Lot(s) 6 & 7, Block(s) 3, Tract(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **ESTRADA COURT**) zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF: 04DRB01423] (*Deferred from 5/4/05 & 5/18/05 & 5/25/05*) (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 6/8/05.**

13. **Project # 1003738**
05DRB-00824 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for TOM WELCH request(s) the above action(s) for all or a portion of Tract(s) A, Block(s) 13, **TIJERAS PLACE ADDITION**, zoned C-1 & O-1, located on SAN MATEO BLVD NE, between COPPER AVE NE and ORTIZ DR NE containing approximately 1 acre(s). [REF: 04ZHE01621] (K-18) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR A 4 FOOT RIGHT-OF-WAY EASEMENT ALONG TRACT A-1.**

14. **Project # 1004145**
05DRB-00825 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for JUNCTION PARTNER II, JIM PERNER request(s) the above action(s) for all or a portion of Lot(s) 19-A-1-B, **MONTGOMERY BUSINESS PARK**, zoned SU-1 PRD, located on LAGRIMA DE ORO NE, between MONTGOMERY BLVD NE and MONTGOMERY PARKWAY LOOP NE containing approximately 2 acre(s). [REF: V-86-102, Z-87-107, Z-78-69-12, DRB-97-410, 05AA00679] (F-21) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO APPLY FOR A NEW WATER/SEWER ACCOUNT**

**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001763

AGENDA ITEM NO: 16

SUBJECT:

Final Plat

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:(x) EXTN:() AMEND:()

ENGINEERING COMMENTS:

An executed Subdivision Improvements Agreement with financial guarantees is on file for Final Plat sign-off.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: May 25, 2005

**CITY OF ALUBQUERQUE
PLANNING DEPARTMENT
May 25, 2005
DRB Comments**

ITEM # 16

PROJECT # 1001763

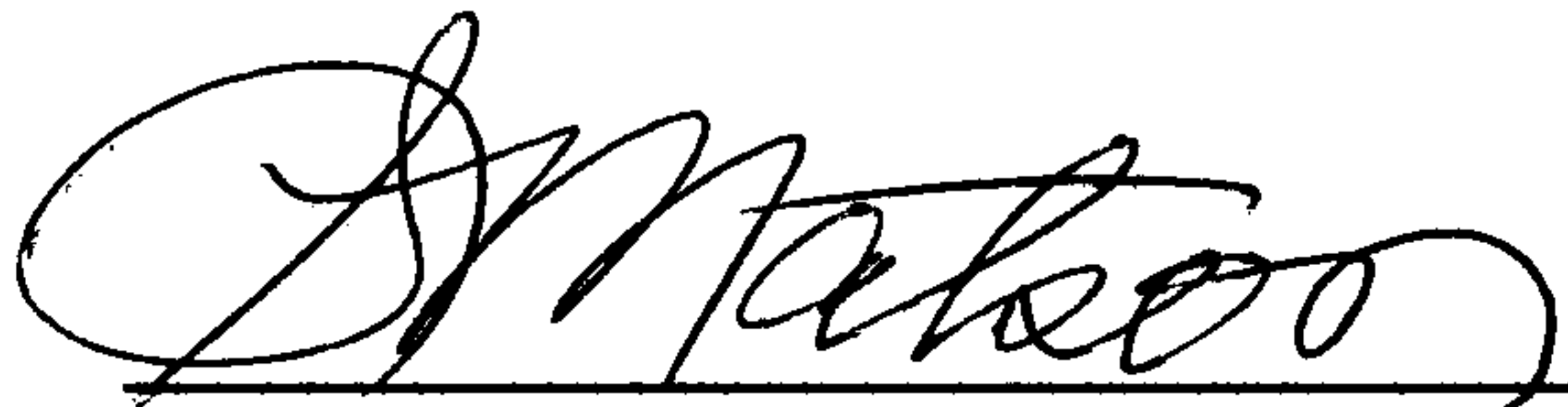
APPLICATION # 04-01136

RE: Tract C-1, Albuquerque West/final plat.

No objection to the replat.

AGIS dxf is approved.

Applicant may file the plat provided Planning receives one paper copy to close the file.



Sheran Matson, AICP DRB Chair
924-3880 Fax 924-3864 smatson@cabq.gov

2. **Project # 1003004**
04DRB-01974 Major-Preliminary Plat
Approval
04DRB-01975 Minor-Temp Defer
SDWK

RIO GRANDE ENGINEERING agent(s) for ALBUQUERQUE EXCAVATORS request(s) the above action(s) for all or a portion of Tract(s) 414, 415B, 415C, 415D & 416, LANDS OF ATRISCO GRANT UNIT 3, (to be known as **STINSON PARK**), zoned RD, located on STINSON ST SW, between TOWER RD SW and SAN YGNACIO RD SW containing approximately 15 acre(s). [REF: DRB-98-320, 03EPC01644, 04EPC00132] *[Deferred from 1/19/05]* (L-10) **DEFERRED AT THE AGENT'S REQUEST TO 1/26/05.**

SITE DEVELOPMENT PLANS, AMENDED PLANS, AND MASTER DEVELOPMENT PLANS

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THE REQUEST MAY BE INDEFINITELY DEFERRED.

3. **Project # 1001763**
05DRB-00053 Minor-SiteDev Plan
Subd/EPC
05DRB-00054 Minor-SiteDev Plan
BldPermit/EPC

CONSENSUS PLANNING agent(s) for AUTO ZONE INC request(s) the above action(s) for all or a portion of Tract(s) C-1, **ALBUQUERQUE WEST SUBDIVISION**, zoned SU-1 PRD AND C-1, located on 57TH ST NW, between QUAIL RD NW and OURAY RD NW containing approximately 2 acre(s). [REF: 04EPC01716, 04EPC01717, Z-74-118, AX-74-22, Z-95-18] **[Carmen Marrone, EPC Case Planner]** *[Deferred from 1/19/05]* (L-10) (H-11) **DEFERRED AT THE AGENT'S REQUEST TO 1/26/05.**

- 04DRB-01136 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for J. HOWARD MOCK, LAVA PARTNERS request(s) the above action(s) for all or a portion of Tract(s) C-1, **ALBUQUERQUE WEST**, zoned SU-1 FOR C-1 PERMISSIVE USES, located on 57TH ST NW, between QUAIL RD NW and OURAY RD NW containing approximately 2 acre(s). [REF:DRB-96-279, 02DRB00308, 309, 02DRB00856] *(Indef. Deferred from 7/28/04 & 1/19/05)* (H-11) **DEFERRED AT THE AGENT'S REQUEST TO 1/26/05.**



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

January 19, 2005 9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

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- A. Call to Order: 9:00 a.m. Adjourned: 10:50 a.m.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000045**
04DRB-01978 Major-SiteDev Plan
BldPermit

TIERRA WEST LLC agent(s) for SAMS EAST INC request(s) the above action(s) for all or a portion of Tract(s) 3A4A, 3B2A, **RENAISSANCE CENTER**, zoned SU-1 FOR C-2 AND SU-1 FOR IP, located on RENAISSANCE BLVD NE, between ALEXANDER BLVD NE and CULTURE DR NE containing approximately 15 acre(s). [REF: Z-98-22, Z-99-3, Z-84-13-1, S-99-16] *[Deferred from 1/19/05]* (F-16)
DEFERRED AT THE AGENT'S REQUEST TO 1/26/05.



Completed
5/2/05
C.B.

DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 2/5/04

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DRB Application No.: 05DRB-00054 (SBP)
Project Name ALBUQUERQUE WEST SUBD.

Project #: 1001763

Agent: Consensus Planning

Phone No.: 764-9801

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOPMENT PLAN), was approved on 1/26/05 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: SIA (OK) BLB

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
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- Include 3 copies of the approved site plan along with the originals.**
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- AGIS DXF File approval required.**
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Project Number

1001763

Completed 2-7-05 Ag



DRB CASE ACTION LOG (SITE PLAN SUBD.)

REVISED 2/5/04

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DRB Application No.: **05DRB-00053 (SPS)**

Project # **1001763**

Project Name: **ALBUQUERQUE WEST SUBD**

Agent: Consensus Planning

Phone No.: 764-9801

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- UTILITIES: _____
- _____
- _____
- _____

- CITY ENGINEER / AMAFCA: _____
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9



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 2/5/04

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Project #: **1001763**

Project Name **ALBUQUERQUE WEST SUBD.**

Agent: **Consensus Planning**

Phone No.: **764-9801**

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Project Name: **ALBUQUERQUE WEST SUBD**
Agent: Consensus Planning

Project # **1001763**
Phone No.: 764-9801

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Project Number

1001763



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

January 26, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

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- A. Call to Order: 9:00 a.m. Adjourned: 11:50 a.m.
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- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. **Project # 1002330**
04DRB-01985 Major-Two Year SIA

JAMES & JACKLYN HAKEEM request(s) the above action(s) for all or a portion of Tract(s) G-1 & G-2, **MONTGOMERY COMPLEX**, zoned SU-1 FOR C-2, located on MONTGOMERY BLVD NE, between CARLISLE NE and MONTGOMERY NE containing approximately 3 acre(s). [REF: 03DRB00401, 03DRB00402, 03DRB00347] (F-16) **TWO-YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. **Project # 1002632**
04DRB-01991 Major-Preliminary Plat Approval
04DRB-01992 Major-Vacation of Pub Right-of-Way
04DRB-01993 Major-Vacation of Public Easements
04DRB-01994 Minor-Temp Defer SDWK

TIERRA WEST LLC agent(s) for CAPITAL ALLIANCE INVESTMENTS LLC request(s) the above action(s) for all or a portion of Tract(s) 4, 5 and 6, **SUNDANCE ESTATES, UNIT 1**, zoned R-D FOR R-LT, located on PARADISE BLVD NW, between LYONS BLVD NW and UNSER BLVD NW containing approximately 32 acre(s). [REF: 03EPC00690, 03DRB01306, 04DRB00760, 04DRB00761, 04DRB01761] [Deferred from 1/26/05] (B-10) **DEFERRED AT THE AGENT'S REQUEST TO 2/2/05.**

3. **Project # 1003429**
04DRB-01950 Major-Preliminary Plat Approval
04DRB-01951 Major-Vacation of Pub Right-of-Way
04DRB-01952 Major-Vacation of Public Easements
04DRB-01953 Minor-Sidewalk Waiver
04DRB-01954 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 16B & 16C EL RANCHO GRANDE, (to be known as **SIERRA RANCH SUBDIVISION**, zoned R-LT & RD, located on GIBSON BLVD SW, between MESSINA SW and GIBSON SW containing approximately 62 acre(s). [REF: 04DRB-01891, 04DRB00717] [Deferred from 1/12/05] (N-8) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1/26/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 1/25/05 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT. THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

05DRB-00090 Minor-SiteDev Plan Subd

BOHANNAN HUSTON INC agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 16B & 16C, EL RANCHO GRANDE, (to be known as **SIERRA RANCH SUBDIVISION**) zoned R-LT & RD, located on GIBSON BLVD SW, between MESSINA SW and GIBSON SW containing approximately 62 acre(s). [REF: 04DRB01891, 04DRB00717] (N-8) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD.**

SITE DEVELOPMENT PLANS, AMENDED PLANS, AND MASTER DEVELOPMENT PLANS

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THE REQUEST MAY BE INDEFINITELY DEFERRED.

8. **Project # 1000816**
05DRB-00005 Minor-SiteDev Plan
Bld/Permit/EPC

TFAZZUL HUSSAIN agent(s) for ALEEM & FAIZEL KASSAM request(s) the above action(s) for all or a portion of Block(s) 4B, Tract(s) 1A, **SUNPORT PARK**, zoned IP, located on UNIVERSITY BLVD SE, between SUNPORT BLVD SE and WOODWARD RD SE containing approximately 3 acre(s). [REF: 04EPC00293] [Chris Hyer, EPC Case Planner] [Deferred from 1/12/05, 1/19/05 & 1/26/05] (M-15) **DEFERRED AT THE AGENT'S REQUEST TO 2/2/05.**

9. ~~Project # 1001763~~
05DRB-00053 Minor-SiteDev Plan
Subd/EPC
05DRB-00054 Minor-SiteDev Plan
BldPermit/EPC

CONSENSUS PLANNING agent(s) for AUTO ZONE INC request(s) the above action(s) for all or a portion of Tract(s) C-1, **ALBUQUERQUE WEST SUBDIVISION**, zoned SU-1 PRD AND C-1, located on 57TH ST NW, between QUAIL RD NW and OURAY RD NW containing approximately 2 acre(s). [REF: 04EPC01716, 04EPC01717, Z-74-118, AX-74-22, Z-95-18] [Carmen Marrone, EPC Case Planner] [Deferred from 1/19/05] (L-10) (H-11) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1/26/05 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGNOFF DELEGATED TO CITY ENGINEER FOR SIA.**

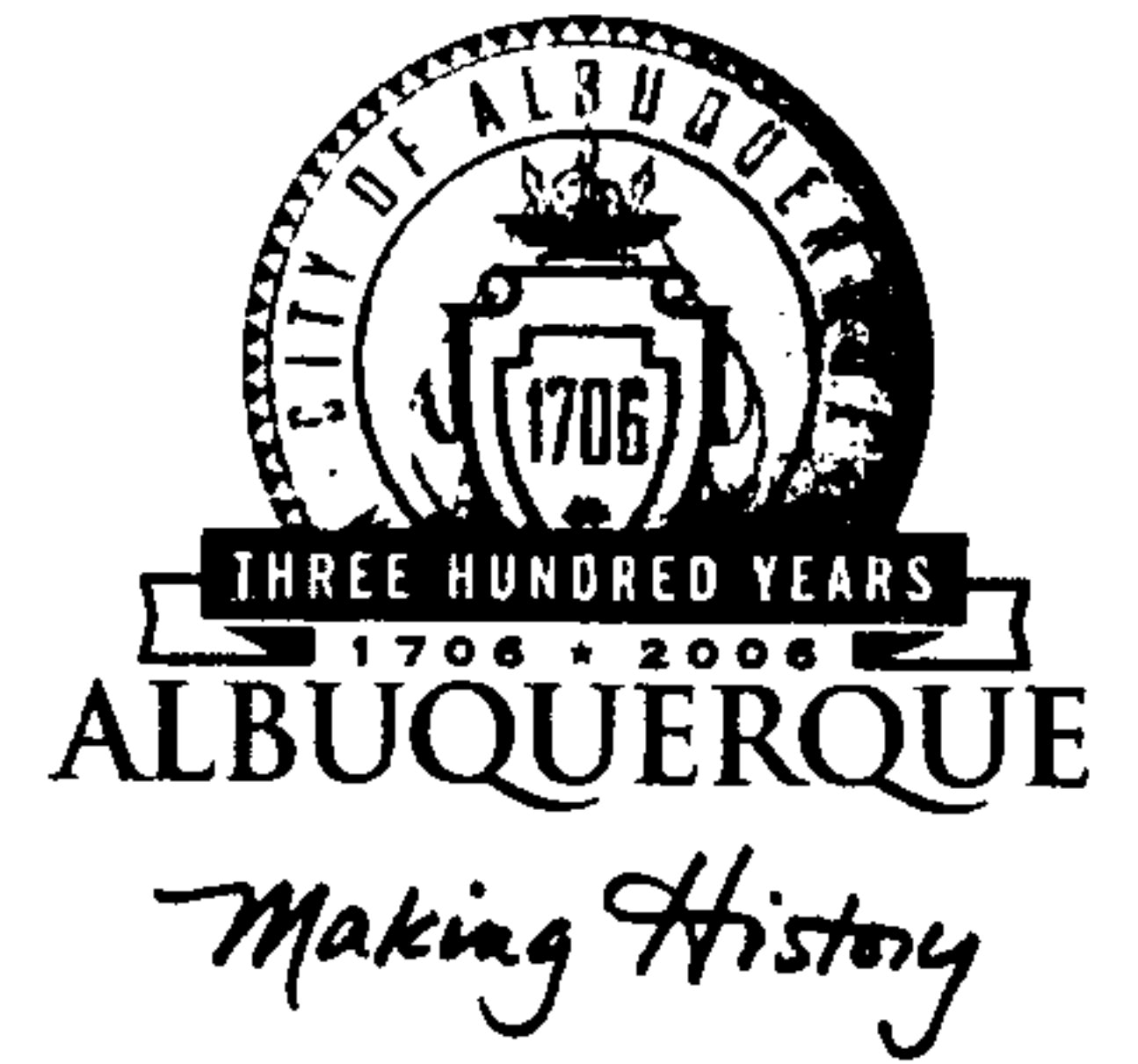
04DRB-01136 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for J. HOWARD MOCK, LAVA PARTNERS request(s) the above action(s) for all or a portion of Tract(s) C-1, **ALBUQUERQUE WEST**, zoned SU-1 FOR C-1 PERMISSIVE USES, located on 57TH ST NW, between QUAIL RD NW and OURAY RD NW containing approximately 2 acre(s). [REF:DRB-96-279, 02DRB00308, 309, 02DRB00856] (Indef. Deferred from 7/28/04 & 1/19/05) (H-11) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 1/26/05 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

10. **Project # 1003871**
05DRB-00019 Minor-Prelim&Final Plat Approval
- SANDIA LAND SURVEYING LLC agent(s) for RICHARD BERRY request(s) the above action(s) for all or a portion of Tract(s) B-1-A & B-1-B, Block(s) 3 & 4, **LA CUESTA SUBDIVISION**, zoned C-3, located on PAISANO ST NE, between I-40 and CENTRAL NE containing approximately 2 acre(s). [REF: DRB-94-317, V-94-60, V-85-36] *[Was Indef. Deferred on a no show 1/19/05] [Deferred from 1/26/05] (K-22)* **DEFERRED AT THE AGENT'S REQUEST TO 2/2/05.**
11. **Project # 1002051**
05DRB-00091 Minor-Sidewalk Waiver
- TIERRA WEST LLC agent(s) for GELTMORE LAND LTD CO request(s) the above action(s) for all or a portion of Tract(s) A, **CHIMISA RIDGE, UNIT 1**, zoned R-LT, located on PARADISE BLVD NW, between BIG SAGE DR NW and CONEFLOWER DR NW containing approximately 18 acre(s). [REF: DRB-94-20, 02DRB00973, 03DRB02008, 03DRB02011] (D-10) **A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**
12. **Project # 1002473**
05DRB-00092 Major-Final Plat Approval
- TIERRA WEST LLC agent(s) for D R HORTON INC request(s) the above action(s) for all or a portion of Lot(s) 9-20 and 15-18, Block(s) 5 & 6, NORTH ALBUQUERQUE ACRES, TRACT 3, UNIT 3 (to be known as **DESERT VISTA SUBDIVISION**) zoned R-D, located on SIGNAL AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 15 acre(s). [REF: 03DRB00207, 04DRB00921, 04DRB01254, 04DRB01258, 04DRB01257] (C-20) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PROPERTY MANAGEMENT'S SIGNATURE.**

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001763

AGENDA ITEM NO: 9

SUBJECT:

- | | | |
|-------------------------|--------------------------|---------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Dev. Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Cost Allocation Plan |

ACTION REQUESTED:

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

Albuquerque

An executed Subdivision Improvements Agreement with financial guarantees is required for Final Plat and Site plan sign-off.

New Mexico 87103

RESOLUTION:

Indef for SIA

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

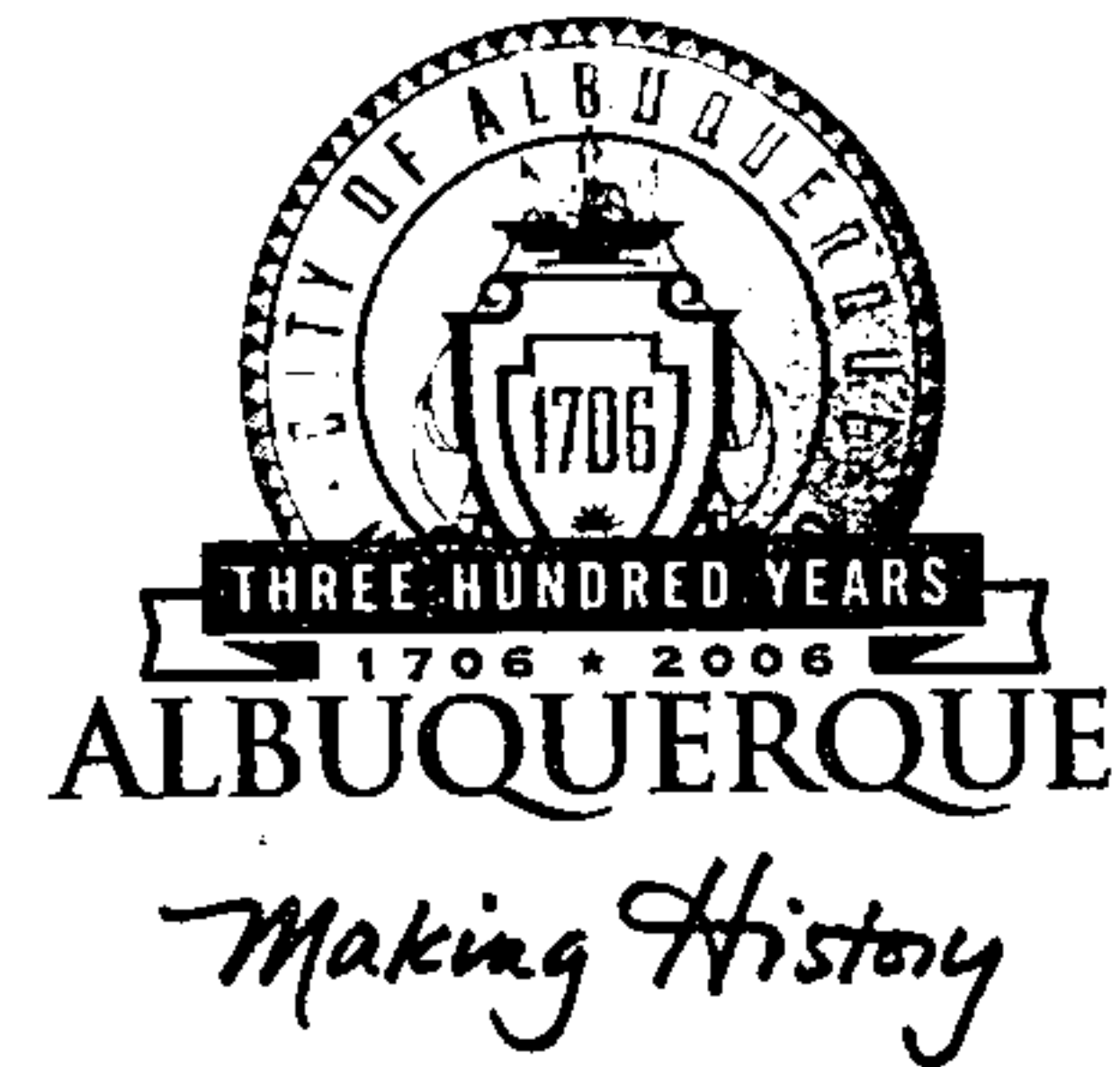
DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: January 26, 2005

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001763

AGENDA ITEM NO: 3

SUBJECT:

- | | | |
|-------------------------|--------------------------|---------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Dev. Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Cost Allocation Plan |

ACTION REQUESTED:

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

Albuquerque

No adverse comments on plat or site plan.
An executed Subdivision Improvements Agreement with financial guarantees is required for Final Plat sign-off and Site Development Plan sign-off.

New Mexico 87103

RESOLUTION:

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED 1-26-05 X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: January 19, 2005

DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT
Standard Comment Sheet

DRB- 1001763 Item No. 3 Zone Atlas H-11

DATE ON AGENDA 1-19-05

INFRASTRUCTURE REQUIRED YES () NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- () SKETCH PLAT (X) PRELIMINARY PLAT (X) FINAL PLAT
() SITE PLAN REVIEW AND COMMENT (X) SITE PLAN FOR SUBDIVISION
(X) SITE PLAN FOR BUILDING PERMIT

No. Comment

- 1) Radii on streets should be 25'.
- 2) Unidirectional ramps should be used at entrances.
- 3) Dedication is required on Quail. (9' from face of curb)
- 4) Infrastructure list needs to call out a 6' sidewalk.
- 5) Internal radii need to be 15' minimum or 25' for vehicle delivery.
- 6) Unsure of how the 6' bike lane is accommodated without dedication and movement of the current curb line on 57th.
- 7) Does the offset of Quail at 57th work?
- 8) Identify the City Standard Drawings used for work within the public right-of-way.

If you have any questions or comments please call Wilfred Gallegos at 924-3991. Meeting notes:



RB

FILE

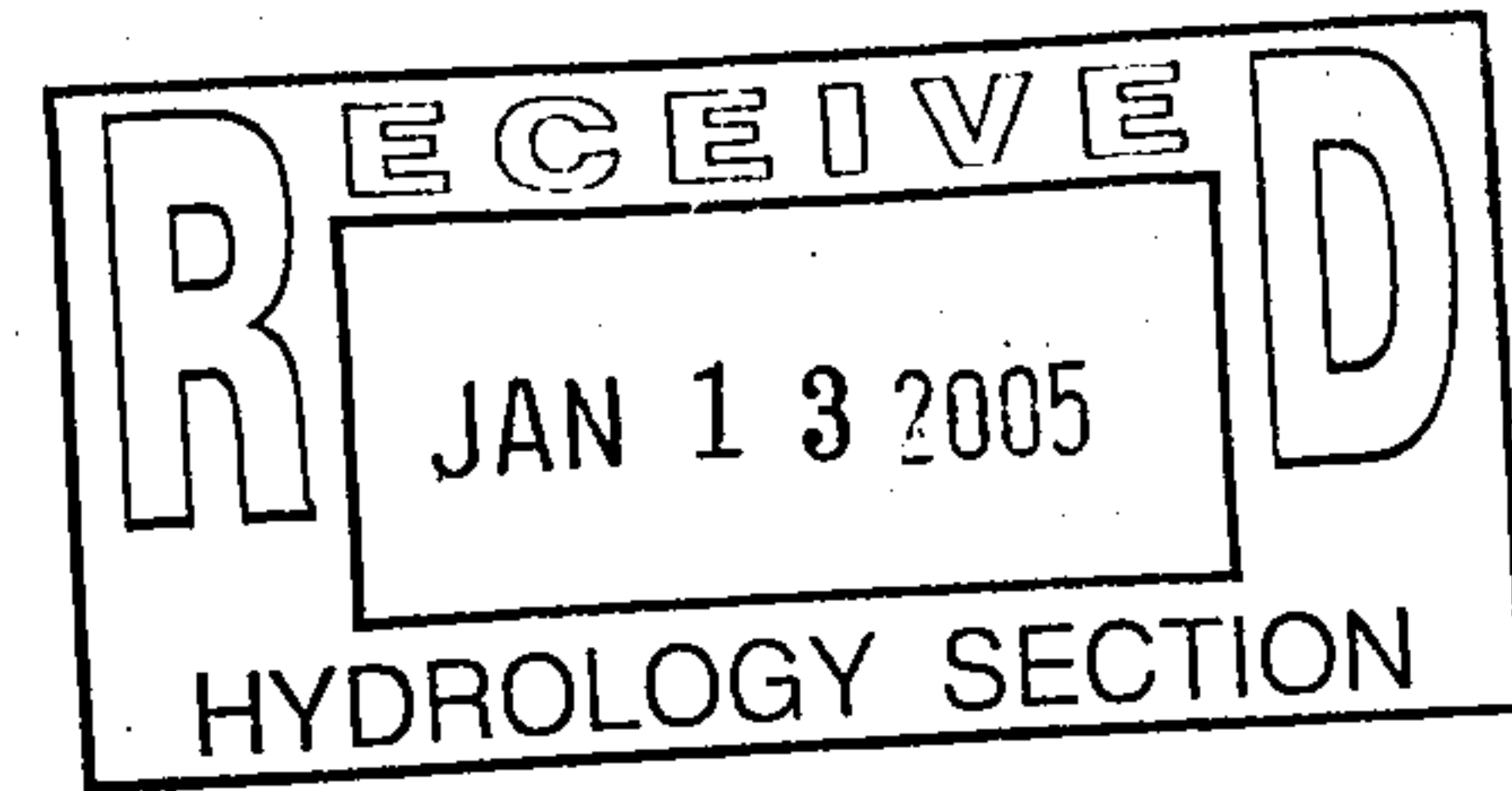
Memorandum

To: Ms. Sheran Matson, DRB Chair
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87103

From: Rob Zuccaro

Date: January 13, 2005

Re: 1001763, 05DRB-00053/00054



Please include the attached site plans in the above referenced case file, which is scheduled to be heard January 19, 2005. The drawing shows the approved signal plan for the intersection of 57th Street and Quail Road. The site plan further addresses condition 4(e) for the Site Plan for Subdivision and 9(e) for the Site Plan for Building Permit requiring that the site plan for subdivision allow for the traffic signal geometry.

Condition: The applicant will need to provide a financial guarantee for one fourth of the future traffic signal at Quail/57th and demonstrate that their site plan for subdivision, as shown allows for this traffic signal geometrically.

The site plan shows that the traffic signal geometry does not interfere with the development of the site as proposed.

Please feel free to contact us at 764-9801 if you have any questions or require any additional information.

c: Wilfred Gallegos with 11" x 17" reduction of site plan

Encl: five 11" x 17" reductions of site plan

2. **Project # 1003004**
04DRB-01974 Major-Preliminary Plat
Approval
04DRB-01975 Minor-Temp Defer
SDWK

RIO GRANDE ENGINEERING agent(s) for
ALBUQUERQUE EXCAVATORS request(s) the
above action(s) for all or a portion of Tract(s) 414,
415B, 415C, 415D & 416, LANDS OF ATRISCO
GRANT UNIT 3, (to be known as **STINSON PARK**),
zoned RD, located on STINSON ST SW, between
TOWER RD SW and SAN YGNACIO RD SW
containing approximately 15 acre(s). [REF: DRB-98-
320, 03EPC01644, 04EPC00132] [*Deferred from*
1/19/05] (L-10) **DEFERRED AT THE AGENT'S**
REQUEST TO 1/26/05.

SITE DEVELOPMENT PLANS, AMENDED PLANS, AND MASTER DEVELOPMENT PLANS

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THE REQUEST MAY BE INDEFINITELY DEFERRED.

3. **Project # 1001763**
05DRB-00053 Minor-SiteDev Plan
Subd/EPC
05DRB-00054 Minor-SiteDev Plan
BldPermit/EPC
- 04DRB-01136 Minor-Prelim&Final Plat
Approval

CONSENSUS PLANNING agent(s) for AUTO ZONE
INC request(s) the above action(s) for all or a portion
of Tract(s) C-1, **ALBUQUERQUE WEST**
SUBDIVISION, zoned SU-1 PRD AND C-1, located
on 57TH ST NW, between QUAIL RD NW and OURAY
RD NW containing approximately 2 acre(s). [REF:
04EPC01716, 04EPC01717, Z-74-118, AX-74-22, Z-
95-18] [**Carmen Marrone, EPC Case Planner**]
[*Deferred from 1/19/05*] (L-10) (H-11) **DEFERRED AT**
THE AGENT'S REQUEST TO 1/26/05.

SURVEYS SOUTHWEST LTD agent(s) for J.
HOWARD MOCK, LAVA PARTNERS request(s) the
above action(s) for all or a portion of Tract(s) C-1,
ALBUQUERQUE WEST, zoned SU-1 FOR C-1
PERMISSIVE USES, located on 57TH ST NW,
between QUAIL RD NW and OURAY RD NW
containing approximately 2 acre(s). [REF:DRB-96-
279, 02DRB00308, 309, 02DRB00856] (*Indef.*
Deferred from 7/28/04 & 1/19/05) (H-11) **DEFERRED**
AT THE AGENT'S REQUEST TO 1/26/05.



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

January 19, 2005 9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- | | |
|---|-----------------------|
| A. Call to Order: 9:00 a.m. | Adjourned: 10:50 a.m. |
| B. Changes and/or Additions to the Agenda | |
| C. New or Old Business | |

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- | | |
|--|---|
| 1. Project # 1000045
04DRB-01978 Major-SiteDev Plan
BldPermit | TIERRA WEST LLC agent(s) for SAMS EAST INC request(s) the above action(s) for all or a portion of Tract(s) 3A4A, 3B2A, RENAISSANCE CENTER , zoned SU-1 FOR C-2 AND SU-1 FOR IP, located on RENAISSANCE BLVD NE, between ALEXANDER BLVD NE and CULTURE DR NE containing approximately 15 acre(s). [REF: Z-98-22, Z-99-3, Z-84-13-1, S-99-16] [Deferred from 1/19/05] (F-16)
DEFERRED AT THE AGENT'S REQUEST TO 1/26/05. |
|--|---|

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT**

#3

INTER-OFFICE MEMO

January 18, 2005

TO: Sheran Matson, DRB Chair
FROM: Carmen Marrone, Senior Planner
RE: **Project #1001763, Auto Zone
Site Plan for Subdivision and Site Plan for Building Permit**

On December 16, 2004, the EPC approved a Site Plan for Subdivision and a Site Plan for Building Permit for Tract C-1, Albuquerque West Subdivision. The tract is zoned SU-1 PRD & C-1 Permissive Uses and is located on 57th Street between Quail Road and Ouray Road NW. The applicant proposes to subdivide the existing tract into two tracts and to construct an Auto Zone on the northerly tract.

The DRB submittal for Site Plan for Subdivision meets all of the EPC conditions. However, there are a couple of misspellings that I would like to point out:

Condition 2: replace "planed" with "planted"

Condition 3: replace "faades" with "facades"

The Site Plan for Building Permit generally meets the EPC conditions except for the following:

Condition 3: The proposed screen wall will hide the landscaping along Quail Road which is contrary to the intent of the screen wall. The screen wall should be relocated behind the landscaping, directly in front of the proposed parking spaces.

Condition 6:

- a. Note 3 on the Site Plan should include the following language: "Maximum height of light poles = 20 feet". The pole height on Detail 10, Sheet C1.A should be changed from 25' to 20'.
- b. Note 10 on Sheet PS2 shall add the following: "The wall-mounted sign on the north elevation will not be illuminated."

If you have any questions regarding this case, please call me at 924-3814.

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
January 19,2005
DRB Comments**

ITEM # 3

PROJECT # 1001763 APPLICATION # 05-01136

RE: Tract C-1, Albuquerque West/minor plat

No objections to plat.

**Need to address EPC Case Planner's comments regarding the
Site Plans.**

ORIGINAL
14

Current DRC
Project Number: _____

FIGURE 12

INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Date Submitted: 6-19-02
Date Site Plan Approved: 6/19/02
Date Preliminary Plat Approved: 6/19/02
Date Preliminary Plat Expires: 6/19/03
DRB Project No.: 1001763
DRB Application No.: 02 DRB-00861 MSDPS
02 DRB-00862 MSDPBP

Janet

Carwash/Laudromat at 57th and Quail
PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN for SubD & Bldg permit
Tract C-1, Unit 8 Town of Atrisco Grant
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
			Sidewalk (West Side Only)	57th Street	Quail Road	South Property Line	/	/	/
		25%	Traffic Signal #21,000.00 FEA	Quail and 57th Street			/	/	/
			Certified Grading and Drainage with Private Walls and Private Drainage (Non- work order item) Required for SIA/Financial Guarantee Release.						

NOTES

- 1 _____
- 2 _____
- 3 _____

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS		
<u>Ronald R. Bohanan</u> NAME (print)	<u>Janet L. Cuning</u> DRB CHAIR - date <u>6/19/02</u>	<u>Christina Sandoval</u> PARKS & GENERAL SERVICES - date <u>6/19/02</u>	
<u>Tierra West LLC</u> FIRM	<u>Witt</u> TRANSPORTATION DEVELOPMENT - date <u>6/19/02</u>	<u>N/A</u> RECREATION - date	
<u>[Signature]</u> SIGNATURE - date	<u>Danney</u> UTILITY DEVELOPMENT - date <u>6/19/02</u>		
MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: <u>6-19-04</u>	<u>Bradley D. Blyler</u> CITY ENGINEER - date <u>6/19/02</u>		

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



14

1001763

DRB CASE TRACKING LOG

REVISED 5/18/2000

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

Application No. 02DRB-00861 (SPS) 00862 (SBP) 00856 (P&F) Project #1001763
 Project Name: ALBUQUERQUE WEST Fee:
 Agent: Claudio Vigil Architects & Surveys Southwest (P&F) Phone No.# 414-6303
 Your request for (SDP for SUB), (SDP for BP), (PREL/FINAL PLATS), (MASTER DEVELOP. PLAN),
 was approved on 4/19/02 by the DRB with delegation of signature(s) to the following
 Departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: SIA for Signal
- UTILITIES: Needs a separate "Shared Sewer Service" Agreement
- CITY ENGINEER / AMAFCA: _____
- PARKS / CIP: _____
- PLANNING (Last to sign): EPL (R. Duto) see plat comments

prior to -
 planning
 signing
 Final Plat
 JM
 6/19/02

- **Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- **Include 3 copies of the approved site plan along with the originals.**
- **County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- **Property Management's signature must be obtained prior to Planning Department's signature.**

CASE TRACKING LOG FOR DRB DELEGATED SIGN-OFF

• TRANSPORTATION	Dates: Routed: _____	Disapproved: _____	Approved: _____
• UTILITIES	Dates: Routed: _____	Disapproved: _____	Approved: _____
• CITY ENGINEER / AMAFCA	Dates: Routed: _____	Disapproved: _____	Approved: _____
• PARKS / CIP	Dates: Routed: _____	Disapproved: _____	Approved: _____
• PLANNING (Last to sign)	Dates: Routed: _____	Disapproved: _____	Approved: _____

PLANS RELEASED TO APPLICANT OR AGENT

Date Released: _____	Date Returned: _____
Print Name: _____	Firm: _____
Signed: _____	
Date Released: _____	Date Returned: _____
Print Name: _____	Firm: _____
Signed: _____	

14. **Project # 1001763**
02DRB-00861 Minor-SiteDev Plan
Subd/EPC
02DRB-00862 Minor-SiteDev Plan
BldPermit/EPC

02DRB-00856 Minor-Prelim&Final Plat
Approval

CLAUDIO VIGIL ARCHITECTS agent(s) for HOWARD MOCK request(s) the above action(s) for all or a portion of Tract(s) C1, **ALBUQUERQUE WEST SUBDIVISION**, zoned SU-1 for PRD & C-1 Permissive Uses, located on 57th ST NW, between QUAIL RD NW and OURAY RD NW containing approximately 2 acre(s). [REF: Z-74-118, 02EPC 00308/309] [**Russell Brito for Lola Bird EPC Case Planner**] [Deferred from 6/12/02] (H-11)

SURVEYS SOUTHWEST, LTD. agent(s) for HOWARD MOCK request(s) the above action(s) for all or a portion of Tract(s) C-1, **ALBUQUERQUE WEST**, zoned SU-1, PRD (MAX. 288 DU'S) & C-1 PERMISSIVE USES, located on 57th ST NW, between QUAIL RD NW and OURAY RD NW containing approximately 2 acre(s). [REF: DRB-96-279, 02DRB-00309 & 309, SDP 4 BP&SD] [Deferred from 6/12/02] (H-11) **SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT AND PLANNING. SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT AND PLANNING. THE PRELIMINARY PLAT ES APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING. THIS INCLUDES APPROVAL OF THE INFRASTRUCTURE LIST DATED 6/19/02.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

15. **Project # 1001112**
02DRB-00898 Minor-Prelim&Final Plat
Approval

RICHARD HALL agent(s) for JOHN SPARKS request(s) the above action(s) for all or a portion of Tract(s) S1/2 OF 33, **ALVARADO GARDENS ADDITION**, zoned RA-2, located on RIO GRANDE BLVD. NW, between CANDELARIA NW and GRIEGOS NW. (G-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/19/02 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED.**

12. **Project # 1001150**
02DRB-00693 Minor-SiteDev Plan
Subd/EPC

TIERRA WEST LLC agent(s) for SUNSET WEST request(s) the above action(s) for all or a portion of Tract(s) J-1 and a portion of Tract M, Vista Del Norte Subdivision (to be known as **RANCHO MIRAGE @ VISTA DEL NORTE**) zoned R-2 residential zone, located on OSUNA RD NE, between VISTA DEL NORTE DR NE and NORTH DIVERSION CHANNEL NE containing approximately 22 acre(s). [REF: 01450-00411, 02128-00136, 02110-00138] [Deferred from 6/5/02, 6/19/02] [**Russell Brito, EPC Case Planner**] (E-16) **DEFERRED AT THE AGENT'S REQUEST TO 7/10/02.**

13. **Project # 1001719**
02DRB-00735 Minor-SiteDev Plan
BldPermit/EPC

JLS ARCHITECTS, agent(s) for AMC DEVELOPMENT SERVICES request(s) the above action(s) for all or a portion of Lot(s) 1-3, Block(s) 1 also Lots 7 and 8A (to be known as K-Tech Bldg), **SANDIA RESEARCH PARK**, zoned SU-1/IP uses, located on EUBANK BLVD SE, between GIBSON BLVD SE and DEVELOPMENT RD SE containing approximately 5 acre(s). [REF: 02128-00147, 02EPC-00298, 02EPC-00299] [**DEBBIE STOVER, EPC CASE PLANNER**] [Deferred from 5/22/02] (M-21) **SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER AND PLANNING.**

M E M O

#5

Date: 11 June 2002
To: Janet Stephens, DRB Chair
From: Russell Brito, Senior Planner *RSB*
RE: Project # 1001763: 02DRB-00861 / 00862 (02EPC 00308 / 00309)

It appears that the applicant has fulfilled all of the Environmental Planning Commission Conditions of Approval for both the Site Development Plan for Subdivision and the Site Development Plan for Building Permit.

Please ensure that the Public Works Department Conditions of Approval have been addressed and met to the satisfaction of the Development Review Board.

DEVELOPMENT REVIEW BOARD (DRB)
CITY OF ALBUQUERQUE

REVIEW COMMENTS

By the

UTILITY DEVELOPMENT SECTION (WATER & SEWER)

DEVELOPMENT & BUILDING SERVICES DIVISION

PUBLIC WORKS DEPARTMENT

PHONE 924-3989

D.R.B. CASE NO.: 1001763 DATE: 6/12/02 ITEM NO.: #5

ZONE ATLAS PAGE: H-11 LOCATION: Quail, 57th,

REQUEST FOR: Site Plan / PLAT away.

COMMENTS:

① Site Plan shows a 5' PNM easement which is not shown on plat.

② Sanitary Sewer Service Easement (Private) can not be same area as PNM easement.

③ The Large Dia Storm Drain in Quail prevents a sewer service from going north to serve Tract C-1-A.

④ Need beneficiary and Maintenance Note called out on plat for Private Sewer Easement.

⑤ Need a separate recorded "Shared Sewer Service" Agreement prior to final Plat approval.

SIGNED: Robert Green

DATE: 6/12/02



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DEVELOPMENT REVIEW BOARD TRANSPORTATION DEVELOPMENT Standard Comment Sheet

DRB-1001763

Item No. 5

Zone Atlas H-11

DATE ON AGENDA 6-12-02

INFRASTRUCTURE REQUIRED () YES (x) NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- () SKETCH PLAT (x) PRELIMINARY PLAT (x) FINAL PLAT
() SITE PLAN REVIEW AND COMMENT (x) SITE PLAN FOR SUBDIVISION
(x) SITE PLAN FOR BUILDING PERMIT

No. Comment

- The plat needs to correctly show and call-out the cross access easement.
- 15ft radii are needed at aisle intersections.
- Correctly identify the cross access easement.
- A complete set of the EPC findings and conditions is needed.

If you have any questions or comments please call Richard Dourte at 924-3990. Meeting notes:



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001763

AGENDA ITEM NO: 5

SUBJECT:

- | | | |
|------------------------------|--------------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

No adverse comments on preliminary.
 Must take delegation on site plan.

RESOLUTION:

6-19-02

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: June 12, 2002

13. **Project # 1002584**
04DRB-01068 Minor-SiteDev Plan
BldPermit/EPC

THE DESIGN GROUP, ERIK HAGEN, agent(s) for ARDENT HEALTH SERVICES dba SANDIA HEALTH SYSTEMS, request(s) the above action(s) for all or a portion of Tract(s) 1-A, **ST JOSEPH WEST MESA HOSPITAL, PARADISE HEIGHTS**, zoned SU-1 special use zone, located on GOLF COURSE RD NW, between MCMAHON BLVD NW and GOLF COURSE RD NW containing approximately 20 acre(s). [REF: Z-88-90, 03AA00579, 04EPC00696] [**Carmen Marrone, EPC Case Planner**] [*Deferred from 7/14/04 & Indef deferred 7/21/04*] (A-12) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/28/04 THE SITE PLAN FOR BUILDING PERMIT WS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

14. **Project # 1001096**
04DRB-01127 Minor-Extension of
Preliminary Plat

SURV-TEK, INC agent(s) for STUART HARROUN request(s) the above action(s) for all or a portion of Tract(s) A-1, **LANDS OF LLOYD LUZES GOFF**, zoned RO-1 rural and open zone, located on EDITH BLVD NE, between TYLER RD NE and LAS COLINAS DR NE containing approximately 15 acre(s). [REF: 01410-0000-00294, DRB 96-40, 02DRB01421/03DRB01273] (E-16) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED TO SEPTEMBER 12, 2005.**

15. **Project # 1003175**
04DRB-01126 Minor-Sidewalk Waiver

BOHANNAN HUSTON, INC. agent(s) for CURB. INC. request(s) the above action(s) for all or a portion of Tract(s) 33C-1-A, **SUNGATE SUBDIVISION**, zoned R-2 residential zone, located on GIBSON BLVD SW, between BLAKE RD SW and MESA ARENOSA DR SW containing approximately 21 acre(s). [REF: 04DRB-00010, 04DRB-00011, 00012] (N-9) **A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALK WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

16. **Project # 1000184**
04DRB-01111 Minor-Prelim&Final Plat Approval
04DRB-01112 Minor-Vacation of Private Easements

SURVEYS SOUTHWEST LTD agent(s) for ROB DICKSON request(s) the above action(s) for all or a portion of Tract(s) A-1-A & A-7-A, **BANNER SQUARE ADDITION**, zoned SU-2/SU-1, located on BROADWAY BLVD NE, between CENTRAL AVE NE and ARNO ST NE containing approximately 3 acre(s). [REF: 03DRB00442] (K-14) **THE PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

17. **Project # 1001763**
04DRB-01136 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for J. HOWARD MOCK, LAVA PARTNERS request(s) the above action(s) for all or a portion of Tract(s) C-1, **ALBUQUERQUE WEST**, zoned SU-1 FOR C-1 PERMISSIVE USES, located on 57TH ST NW, between QUAIL RD NW and OURAY RD NW containing approximately 2 acre(s). [REF: DRB96-279, 02DRB00308, 309, 02DRB00856] (*Deferred from 7/28/04*) (H-11) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

2. **Project # 1003531**
 04DRB-01034 Major-Street Name Change

AFRICAN AMERICAN ALLIANCE OF ALBUQUERQUE request(s) the above action(s) for a Street Name Change from **BASEHART AVENUE SE TO OWEN SMAULDING ROAD SE**, zoned SU-1, PDA, located on UNIVERSITY BLVD SE, between AVENIDA CESAR CHAVEZ SE and COAL AVE SE. (L-15) **DENIED.**

3. **Project # 1002529**
 04DRB-01059 Major-Preliminary Plat Approval
 04DRB-01060 Minor-SiteDev Plan Subd/EPC

CONSENSUS PLANNING INC agent(s) for RANDY EASTBURG, CAS, LLC request(s) the above action(s) for all or a portion of Tract(s) 6-B, Lot(s) 1 thru 5, **PARTITION OF BLACK RANCH**, zoned SU-1 special use zone for C-1, located on COORS BLVD NW, between WESTSIDE DR NW and CALABACILLAS ARROYO containing approximately 6 acre(s). [REF: 03EPC02058,03EPC 02059,03EPC 02060, Z- 93-115] **[Makita Hill, EPC Case Planner]** [Deferred from 7/28/04] (B-13) **DEFERRED AT THE AGENT'S REQUEST TO 8/4/04.**

4. **Project # 1003417**
 04DRB-01056 Major-Preliminary Plat Approval
 04DRB-01057 Minor-Subd Design (DPM) Variance
 04DRB-01058 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES, PA agent(s) for ALPHA EQUITIES, LLC request(s) the above action(s) for all or a portion of Lot(s) 22-30, Block(s) 11, Tract(s) 1, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **MOUNTAIN RIDGE SUBDIVISION**), zoned R-D residential and related uses zone, developing area, (3DU/A) located on GLENDALE AVE NE, between WYOMING BLVD NE and BARSTOW ST NE containing approximately 10 acre(s). [REF: 04DRB00671] [Deferred from 7/28/04] (B-19) **DEFERRED AT THE AGENT'S REQUEST TO 8/4/04.**



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

July 28, 2004

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 12:35 P.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000583**
04DRB-01016 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES PA agent(s) for PEGGY DASKALOS request(s) the above action(s) for all or a portion of Block(s) 1, Tract(s) B-1-A AND B-1-B, **FOOTHILLS NORTH**, zoned C-2 community commercial zone, located on LOMAS BLVD NE, between TRAMWAY BLVD NE and CUMBRES ST NE containing approximately 4 acre(s). [REF: 02DRB-01022, 04DRB-01707, 04DRB-01652, 04DRB-01618, 04DRB-00772] (K-23) A **TWO-YEAR EXTENSION OF THE SIA WAS APPROVED.**

AGIS ELECTRONIC PLAT APPROVAL FORM

DRB Project Case # 1001763

Subdivision Name Albuquerque West - trs CIA & CIB

Surveyor Gary Gritsko

Company/Agent Surveys Southwest

Contact Person Sarah Amato Phone # _____ email _____

DXF Received Date: 7/21/04

Hard-Copy Date: 7/21/04

Coordinate system: NMSP Grid (NAD 83) NMSP Grid (NAD 27) Ground rotated to NMSP Grid Other

[Signature]

7/22/04

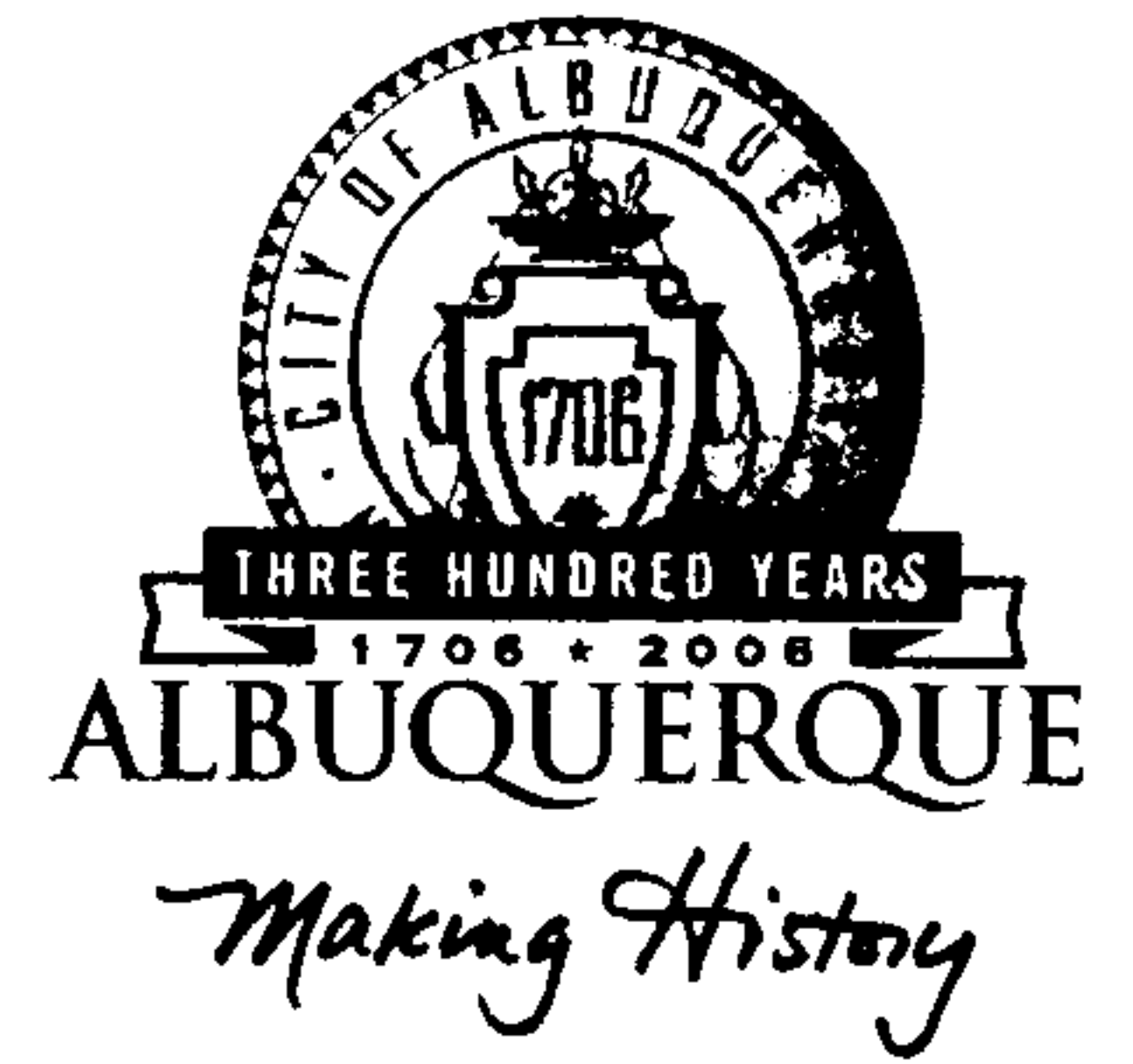
Approved

Date

*The dxf file cannot be accepted at this time for the following reason(s):

AGIS Use Only		
Copied cov <u>1763</u> to agiscov.	Date: <u>7/22/04</u>	Contact person Notified on: <u>7/22/04</u>

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001763

AGENDA ITEM NO: 17

SUBJECT:

- | | | |
|------------------------------|----------------------------|---------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Dev. Plan |
| <u>(04) Preliminary Plat</u> | (09) Infrastructure List | (14) Cost Allocation Plan |

ACTION REQUESTED:

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

Albuquerque

ENGINEERING COMMENTS:

No adverse comments.

New Mexico 87103

RESOLUTION:

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED X *Indef*; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: July 28, 2004

V

**DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT
Standard Comment Sheet**

DRB- 1001763 Item No. 17 Zone Atlas H-11

DATE ON AGENDA 7-28-04

INFRASTRUCTURE REQUIRED (X)YES ()NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- () SKETCH PLAT (X) PRELIMINARY PLAT (X) FINAL PLAT
- () SITE PLAN REVIEW AND COMMENT (X) SITE PLAN FOR SUBDIVISION
- () SITE PLAN FOR BUILDING PERMIT

<u>No.</u>	<u>Comment</u>
------------	----------------

- 1) Need sketch of x-sections of Quail and 57th.
- 2) Is face of curb 10' from property line?
- 3) Is the sidewalk and permanent pavement in place?
- 4) Is there an existing curb cut where the 24' cross-access easement is being platted?

If you have any questions or comments please call Wilfred Gallegos at 924-3991. Meeting notes:

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
7/22/04
Development Review Board
Comments**

ITEM # 17

PROJECT # 1001763

APPLICATION # 04-01136

RE: Tract C-1, Albuquerque West/minor plat

Because this property is zoned SU1 for C1, a site plan for subdivision and building permit is required before replatting can occur per Section 14-14-2-2(B)(2) of the Subdivision Ordinance.

The previously approved EPC site plans were approved by DRB but never completely signed by the Board.

Agent told Planning that the current plans for the site are different from those shown on the previous site plan. So, that being the case, the applicant will have to re-submit for EPC site plan approval prior to approval of this plat.

Ind. Referred

Matson

Sheran Matson, AICP DRB Chair
924-3880 Fax 924-3864 smatson@cabq.gov



#14

DRB CASE TRACKING LOG

REVISED 5/18/2000

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

Application No.: 02-00856 Project #: 1091763
 Project Name: Albuquerque, NM Fee: \$
 Agent: Bohannon-Huston, Inc. Phone No.: 98-0305
 Your request for (SDP for SUB), (SDP for BP), (PREL/FINAL PLATS), (MASTER DEVELOP. PLAN),
 was approved on 4/18/01 by the DRB with delegation of signature(s) to the following
 departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- 9 TRANSPORTATION: _____
- 9 UTILITIES: _____
- 9 CITY ENGINEER / AMAFCA: _____
- 9 PARKS / CIP: _____
- ~~9~~ PLANNING (Last to sign): see comment

- 9 **Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 9 **Include 3 copies of the approved site plan along with the originals.**
- 9 **County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- 9 **Property Management's signature must be obtained prior to Planning Department's signature.**

CASE TRACKING LOG FOR DRB DELEGATED SIGN-OFF

9	TRANSPORTATION	Dates: Routed: _____	Disapproved: _____	Approved: _____
9	UTILITIES	Dates: Routed: _____	Disapproved: _____	Approved: _____
9	CITY ENGINEER / AMAFCA	Dates: Routed: _____	Disapproved: _____	Approved: _____
9	PARKS / CIP	Dates: Routed: _____	Disapproved: _____	Approved: _____
9	PLANNING (Last to sign)	Dates: Routed: _____	Disapproved: _____	Approved: _____

PLANS RELEASED TO APPLICANT OR AGENT

Date Released: _____	Date Returned: _____
Print Name: _____	Firm: _____
Signed: _____	
Date Released: _____	Date Returned: _____
Print Name: _____	Firm: _____
Signed: _____	



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

June 19, 2002

**14. Project #1001763
Application # 02DRB-00856
Albuquerque West Subdivision**

1. Include the Project # and Application # on the plat.
2. Planning signs last. All other City agencies and public utilities must sign off prior to requesting final signature by Planning.
3. Minor subdivision plats and those not completing vacation actions may be recorded by the applicant/agent. A copy of the recorded plat must be forwarded to Planning in order to close the case file.
4. Please provide a digital dxf file showing right-of-way, parcel and easement lines shown on the final plat, in New Mexico State Plane Feet, NAD 1927. This information will be provided to AGIS.



Janet Cunningham-Stephens, DRB Chair
Planning Manager, Land Development Coordination
Tel: 505-924-3880 FAX: 505-924-3864

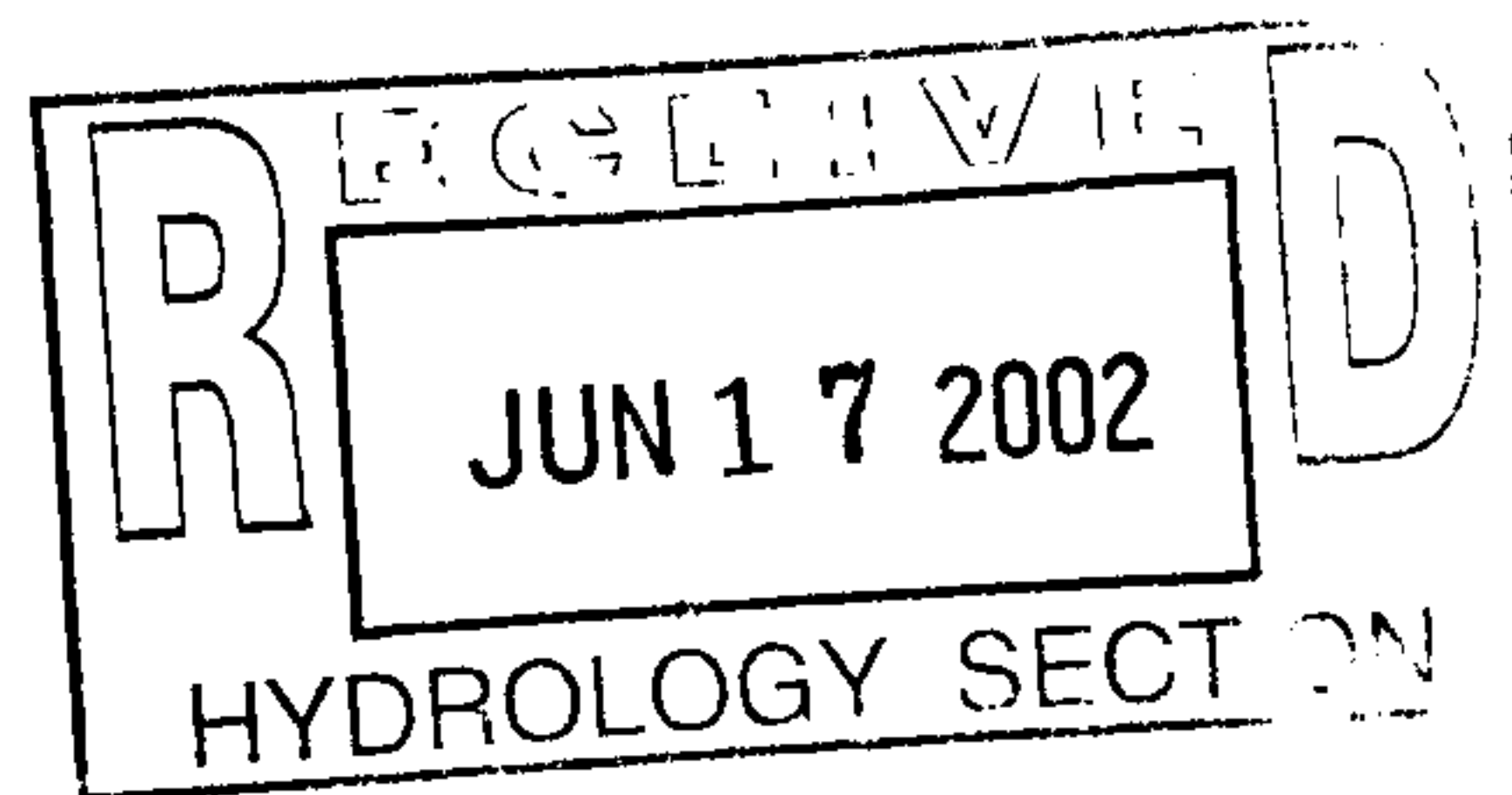


June 17, 2002

#14

Ms. Janet Stephens, DRB Chair
Design Review Board, Planning Department
City of Albuquerque
PO Box 1293
Albuquerque, New Mexico 87102

RE: EPC File # 1001763
02EPC-00308 SDP-Subdivision
02EPC00309 SDP-Building Permit
June 12, 2002 DRB Agenda Item #5



Dear Ms. Stephens,

In regards to the above referenced project and the comments made at the hearing on June 12, 2002, we submit the attached revised site development plan for your review and comment. We have provided (6) copies for review by the board members. The revisions are as follows: 1) The curb radii at aisle intersections have been changed to 15ft radii. 2) A new 5ft private sewer line easement has been added at the east end of the property adjacent to 57th street. 3) The cross access agreement & private sewer line easement have been noted on the revised plat plan. A extra copy of the EPC findings and conditions of approval has also been included for Transportation as requested. It is our intention to have this current information reviewed before the June 19th meeting.

If you have any questions or comments, please do not hesitate to call.

Sincerely,

Edward Avila
Project Manager

EA/ea



City of Albuquerque
CITY OF ALBUQUERQUE
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001763

AGENDA ITEM NO: 14

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

No adverse comments on site plan.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: June 19, 2002



**DEVELOPMENT REVIEW BOARD
ACTION SHEET
Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

June 19, 2002

9:00 a.m.

MEMBERS:

Janet Stephens, DRB Chair
Claire Senova, Administrative Assistant

Richard Dourte, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946 (VOICE) OR TELETYPEWRITER (TTY) 924-3361 - TTY USERS MAY ALSO ACCESS THE VOICE NUMBER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE: 1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE BOARD SECRETARY MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order
- B. Changes and/or Additions to the Agenda
- C. Announcements

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000044**
02DRB-00786 Major-Vacation of Pub
Right-of-Way
02DRB-00787 Major-Vacation of
Public Easements
02DRB-00788 Minor-Sketch Plat or
Plan

JEFF MORTENSEN & ASSOCIATES agent(s) for APS REAL ESTATE request(s) the above action(s) for all or a portion of Lot(s) 2 & 3, Block(s) 10, Tract(s) A-1, **DOLORES GONZALES ELEMENTARY SCHOOL**, zoned R-1, located on ATLANTIC AVE. SW, between 8TH ST. SW and 10TH ST. SW containing approximately 5 acre(s). [REF: V-99-102] (K-13) **VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

SIGNAL NOTES

- LOCATIONS OF CONDUITS, FOUNDATIONS, CONTROL CABINETS, POLES, PULL BOXES, MANHOLES, AND SPLICE CABINETS SHOWN ON THE PLANS ARE SCHEMATIC AND SHALL BE ADJUSTED IN THE FIELD TO MAXIMIZE CLEAR SPACE AVAILABLE FOR PEDESTRIANS AND WHEELCHAIRS TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT. THE CONTRACTOR SHALL MEET WITH THE CITY'S TRAFFIC ENGINEERING OPERATIONS PERSONNEL IN THE FIELD AT ALL LOCATIONS TO SPOT EQUIPMENT BEFORE BEGINNING THE WORK. ALL SUCH EQUIPMENT SHALL BE INSTALLED WITHIN THE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL BORE, DRILL, OR PUSH WHEN CROSSING EXISTING PAVEMENTS AND ANY DRIVEWAYS FOR SIDE STREET CROSSINGS. BEFORE CONDUIT CAN BE BORED, DRILLED, OR PUSHED THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES. THE CONTRACTOR SHALL LOCATE AND EXPOSE GAS LINES WHICH CROSS ANY PROPOSED BORES. THESE EXCAVATIONS SHALL REMAIN OPEN UNTIL AFTER THE BORE IS COMPLETE. CONTRACTOR SHALL REMOVE AND REPLACE IN KIND ANY SIDEWALK OR PAVEMENT REQUIRED TO EXPOSE SUCH LINES. THE CONTRACTOR MAY CUT, TRENCH, AND REPLACE EXISTING PAVEMENT ONLY WHEN APPROVED BY THE PROJECT MANAGER.
- ALL PULL BOXES SHALL BE REINFORCED POLYMER MORTAR HEAVY DUTY TYPE WITH REINFORCED POLYMER MORTAR HEAVY DUTY COVERS. CONCRETE COVERS, STEEL COVERS, AND CONCRETE PULL BOXES WILL NOT BE ACCEPTABLE.
- IF TRENCH WIDTHS LESS THAN 12" ARE PROPOSED BY THE CONTRACTOR, APPROVED COMPACTION METHODS SHALL BE USED DURING BACKFILL TO PREVENT LATENT TRENCH FAILURES. THE CONTRACTOR SHALL USE GROUT OR LEAN FILL AS APPROVED BY THE PROJECT MANAGER IN LIEU OF EARTH BACKFILL.
- ALL DATA SHOWN HEREIN CONCERNING EXISTING UTILITIES HAS BEEN OBTAINED FROM "AS-BUILT" DRAWINGS AND FROM FIELD OBSERVATIONS WHICH MAY OR MAY NOT BE ACCURATE. THE CONTRACTOR WILL BE RESPONSIBLE FOR EXPLORATORY TRENCHING. IF NECESSARY, TO MORE SPECIFICALLY LOCATE UTILITY LINES. COST OF LOCATING UTILITY LINES INCLUDING EXPLORATORY TRENCHING WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- PULL BOXES LABELED; PB1 THRU PB8 ARE LARGE PULL BOXES, AND PB9 THRU PB16 ARE SMALL PULL BOXES.

INCIDENTAL ITEMS *

- BORING, DRILLING, PUSHING, AND TRENCHING, INCLUDING REMOVAL AND REPLACEMENT OF PAVEMENT, SIDEWALKS, DRIVEPADS, VALLEY GUTTERS, WHEELCHAIR RAMPS, CURB & GUTTER, AND LANDSCAPING (INCLUDING SPRINKLERS), FOR INSTALLATION OF PULL BOXES, CONDUITS, AND SIGNAL FOUNDATIONS, EXCEPT AS NOTED ON THE PLANS.
 - LOCATION OF UTILITY LINES INCLUDING EXPLORATORY TRENCHING AND EXPOSING OF GAS LINES WHEN BORING.
 - DESIGN, MATERIALS, INSTALLATION AND REMOVAL OF SAFETY BARRIER FOR SHIELDING EQUIPMENT OR MATERIAL.
 - HAULING OF MATERIAL TO BE DISPOSED TO CITY LANDFILL.
 - LEAN FILL FOR CONDUIT TRENCHES.
 - PULL BOX ADJUSTMENT TO GRADE.
 - REMOVAL AND REPLACEMENT IN KIND OF BETTER OF LANDSCAPING INCLUDING SPRINKLERS, FOR INSTALLATION OF PULL BOXES, CONDUITS AND SIGNAL FOUNDATIONS.
- * ITEMS LISTED ARE ONLY A GENERAL DESCRIPTION OF THE REQUIRED WORK AND MATERIALS, AND MAY NOT BE COMPLETE. THIS LIST DOES NOT INCLUDE ANY INCIDENTAL WORK OR MATERIALS REQUIRED BY THE SPECIAL PROVISIONS SERIALS (STANDARD DETAILS), SUPPLEMENTAL SPECIFICATIONS, OR THE STANDARD SPECIFICATIONS.

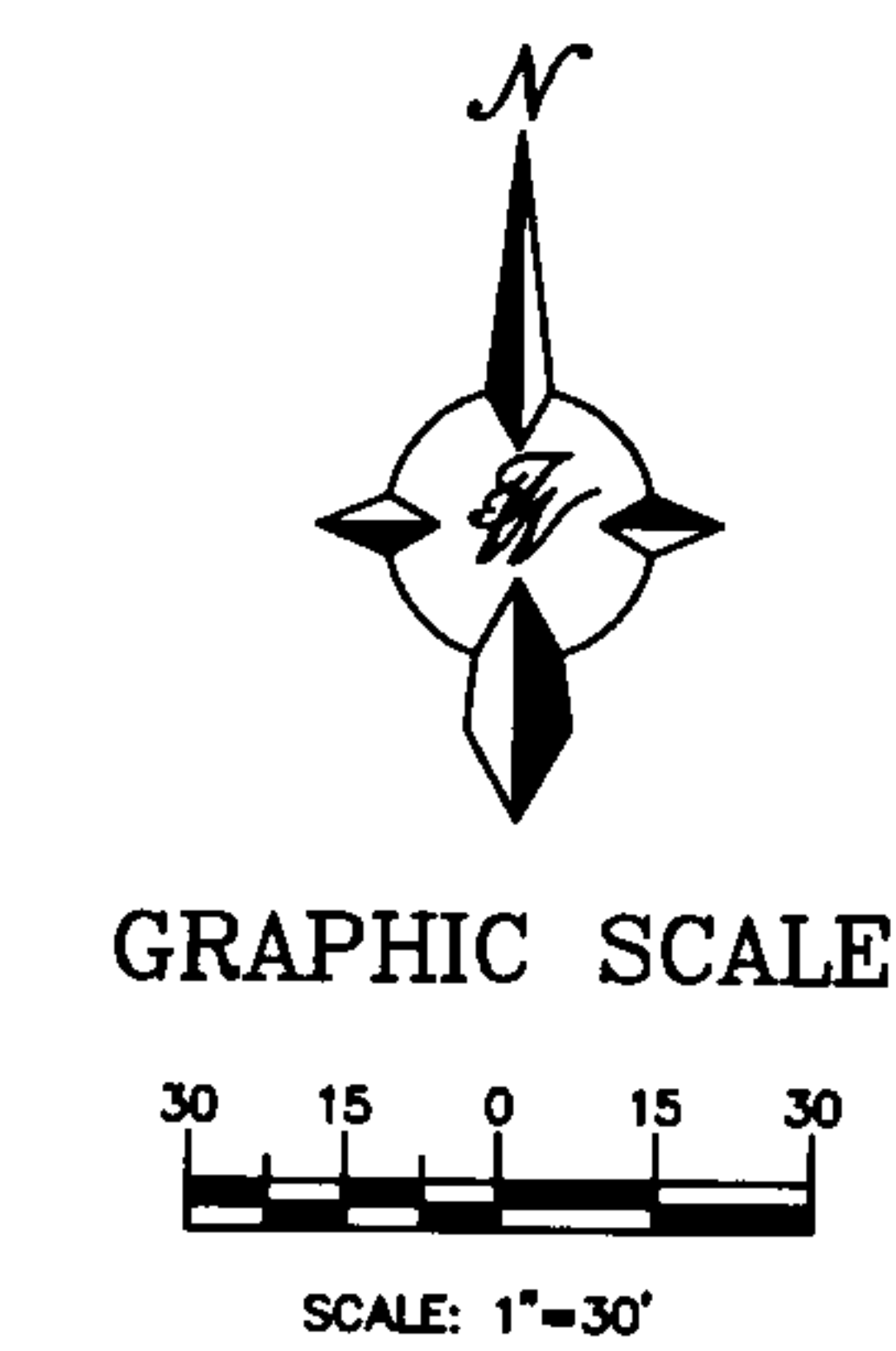
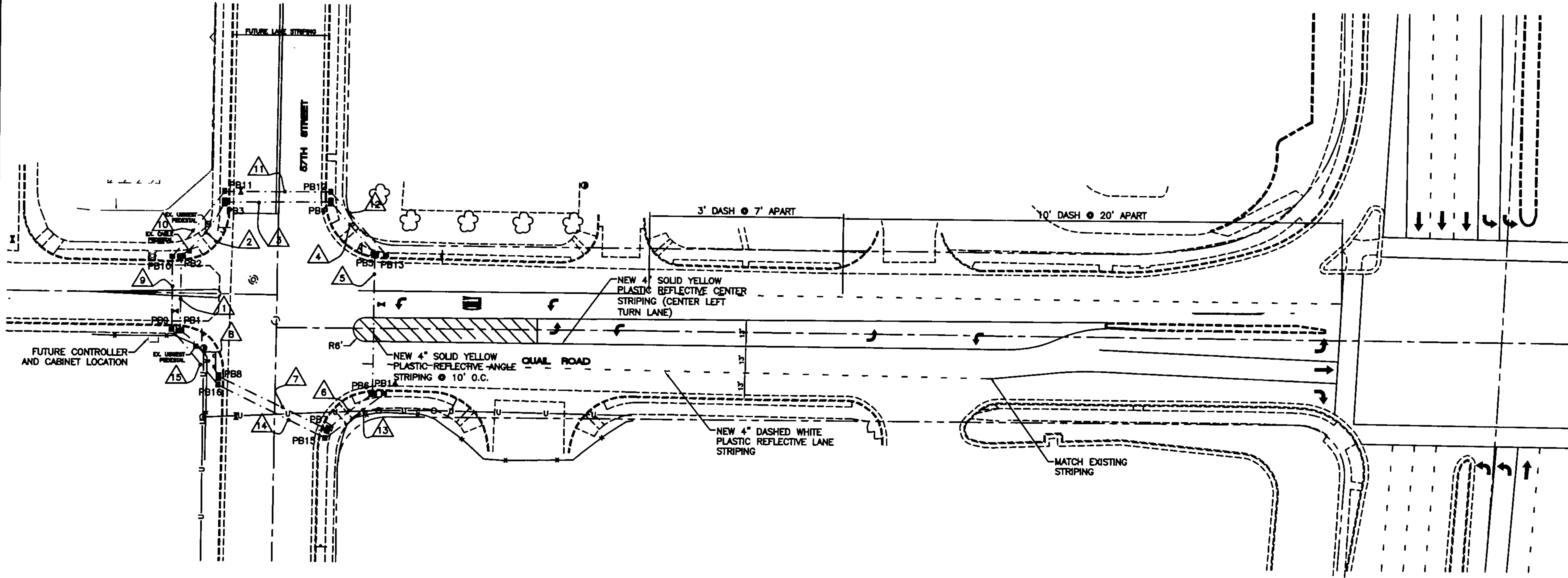
ABBREVIATIONS

MA	MASTARM NUMBER
PP1	PEDESTAL POLE NUMBER
PPB1	PEDESTRIAN PUSH BUTTON NUMBER
CC1	CONTROL CABINET NUMBER
SC1	SPLICE CABINET NUMBER
PB1	PULL BOX NUMBER (SIGNALS)
PBS1	PULL BOX NUMBER (POWER)
PBC1	PULL BOX NUMBER (INTERCONNECT)
DL1(1)	DETECTOR LOOP PHASE # (LOOP #)
JA	SIGNAL HEAD NUMBER
P1	PEDESTRIAN SIGNAL NUMBER
BP	BACK PLATE
EC	EXTENDED CALL LOOP DETECTOR
SD	SYSTEM LOOP DETECTOR
EMH	EXISTING TRAFFIC MANHOLE
EPB	EXISTING PULL BOX
ESL1	EXISTING STREET LIGHT
SL1	STREET LIGHT

LEGEND

---	FUTURE SIGNAL
- - - - -	PROPOSED CONDUIT
■	SMALL PULL BOX
■	LARGE PULL BOX

CONDUIT RUNS		
ID NO.	SIZE	LENGTH
1	2" & 3"	38'
2	2" & 3"	35'
3	2" & 3"	54'
4	2" & 3"	35'
5	2" & 3"	71'
6	2" & 3"	30'
7	2" & 3"	60'
8	2" & 3"	30'
9	2"	38'
10	2"	42'
11	2"	54'
12	2"	42'
13	2"	38'
14	2"	60'
15	2"	36'



TIERRA WEST, LLC
 8509 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)858-3100

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING GROUP

TITLE: **WEST BLUFF**
 SIGNAL IMPROVEMENTS
 INTERSECTION OF 57TH STREET AND QUAIL ROAD

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	A.C.S. MONUMENT "12-111"	CENTRAL STATION DATA	NO.	DATE	REMARKS	BY
			NM STATE PLANE COORDINATES				
			Central Zone				
			X=385,168.46				
			Y=1,497,456.42				
			G-G=0.99987688				
			Do=-0°15'34"				
			EL=-5102.169				

None

Date Submitted: 1/17/05
 Date Site Plan Approved: 1/26/05
 Date Preliminary Plat Approved: 1/26/05
 Date Preliminary Plat Expires: 1/26/06
 DRB Project No.: 1001163
 DRB Application No.: 04DRB-01136

ORIGINAL

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

TRACTS C-1-A & C-1-B, ALBUQUERQUE WEST

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

TRACT C-1, ALBUQUERQUE WEST

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	City Inspector	City Engineer
		① 14	C-modified OF FUTURE TRAFFIC	QUAIL & 57 th STREET NW				
		6'	SIGNAL					
		INCREASE 2'	PUBLIC SIDEWALK	ALONG 57 th STREET R-O-W, NORTH SIDE OF LOT C-1-A TO SOUTH SIDE OF LOT C-1-B				
		FOR TOTAL OF 6'						
		4' MH	Installation of New public SAS Manhole & replacement of exist. 6" stub to 8" within new public SAS esuit.	Quail & 57 th st NW	@ South	property line		

None

01/27/05

all

* Added 1-19-05 *[Signature]*

ORIGINAL

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Crst Engineer
							/	/	/
							/	/	/
							/	/	/
							/	/	/

NOTES

1 _____

2 _____

3 _____

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS
---------------	---

Dan Graney
NAME (print)

[Signature] 1/26/05
DRB CHAIR - date

Christina Sandoval 1/26/05
PARKS & GENERAL SERVICES - date

Surveys Southwest, Ltd.
FIRM

[Signature] 1-26-05
TRANSPORTATION DEVELOPMENT - date

AMAFCA - date

[Signature] 1-10-05
SIGNATURE - date

[Signature] 1-26-05
UTILITY DEVELOPMENT - date

- date

MAXIMUM TIME ALLOWED TO CONSTRUCT
THE IMPROVEMENTS WITHOUT A DRB
EXTENSION: _____

Bradley L. Bingham 1-26-05
CITY ENGINEER - date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER
A	3-11-05	<u>[Signature]</u>	<u>[Signature]</u>	<u>[Signature]</u>

Claire

ORIGINAL

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Date Submitted: 1/17/05
Date Site Plan Approved: 1/26/05
Date Preliminary Plat Approved: 1/26/05
Date Preliminary Plat Expires: 1/26/06
DRB Project No.: 1001103
DRB Application No.: 04DRB-01130

TRACTS C-1-A & C-1-B, ALBUQUERQUE WEST

TRACT C-1, ALBUQUERQUE WEST

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		1/4	OF FUTURE TRAFFIC	QUAIL & 57 TH STREET NW			/	/	/
		6'	SIGNAL				/	/	/
		INCREASE 2'	PUBLIC SIDEWALK	ALONG 57 TH STREET R-O-W, NORTH			/	/	/
		FOR TOTAL OF 6'		SIDE OF LOT C-1-A TO SOUTH SIDE OF			/	/	/
				LOT C-1-B			/	/	/
		4' MH	Installation of New public SAS Manhole & replacement of exist. 6" stub to 8" within new private SAS esuit. public	Quail & 57 th st NW @ South Property line			/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

*Added 1-19-05 *[Signature]*

SIA Sequence #	COA DRC Project #

Size	Type of Improvement	Location	From	To

ORIGINAL

Private Inspector	City Inspector	City Cnst Engineer
/	/	/
/	/	/
/	/	/
/	/	/

NOTES

2 _____

3 _____

AGENT / OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Dan Graney
NAME (print)

Surveys Southwest, Ltd.
FIRM

Dan Graney 1-10-05
SIGNATURE - date

[Signature] 1-26-05
DRB CHAIR - date

[Signature] 1-26-05
TRANSPORTATION DEVELOPMENT - date

[Signature] 1-26-05
UTILITY DEVELOPMENT - date

Bradley L. Bingham 1-26-05
CITY ENGINEER - date

Christina Dandoval 1/26/05
PARKS & GENERAL SERVICES - date

AMAFCA - date

- date

- date

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Don Graney survey SW Plat to be heard concu. w/ this case

SUBDIVISION		Supplemental form		S Z ZONING & PLANNING	
<input type="checkbox"/>	Major Subdivision action	<input type="checkbox"/>	Annexation	<input type="checkbox"/>	County Submittal
<input type="checkbox"/>	Minor Subdivision action	<input type="checkbox"/>		<input type="checkbox"/>	EPC Submittal
<input type="checkbox"/>	Vacation	V		<input type="checkbox"/>	Zone Map Amendment (Establish or Change Zoning)
<input type="checkbox"/>	Variance (Non-Zoning)	<input type="checkbox"/>		<input type="checkbox"/>	Sector Plan (Phase I, II, III)
SITE DEVELOPMENT PLAN (DRB Sign-Off)		P		<input type="checkbox"/>	Amendment to Sector, Area, Facility or Comprehensive Plan
<input checked="" type="checkbox"/>	for Subdivision Purposes	<input type="checkbox"/>		<input type="checkbox"/>	Text Amendment (Zoning Code/Sub Regs)
<input checked="" type="checkbox"/>	for Building Permit	L A	APPEAL / PROTEST of...	<input type="checkbox"/>	Street Name Change (Local & Collector)
<input type="checkbox"/>	IP Master Development Plan	D		<input type="checkbox"/>	Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
<input type="checkbox"/>	Cert. of Appropriateness (LUCC)				
STORM DRAINAGE					
<input type="checkbox"/>	Storm Drainage Cost Allocation Plan				

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: AutoZone, Inc. PHONE: 901-495-8726
 ADDRESS: Design Department 8320, 123 S. Front St. FAX: _____
 CITY: Memphis STATE TN ZIP 38103 E-MAIL: _____
 Proprietary interest in site: Contract Purchaser List all owners: Lara Partners
 AGENT (if any): Consensus Planning PHONE: 764-9801
 ADDRESS: 924 Park Avenue SW FAX: 842-5495
 CITY: Albuquerque STATE NM ZIP 87102 E-MAIL: cp@consensusplanning.com

DESCRIPTION OF REQUEST: DRB Sign-Off on Site Development Plan for Subdivision and Site Development Plan for Building Permit for Tract C-1-A

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. C-1 Block: _____ Unit: _____
 Subdiv. / Addn. Albuquerque West Subdivision
 Current Zoning: SU-1 PRD & C-1 Perm. Uses Proposed zoning: N/A
 Zone Atlas page(s): H-11 No. of existing lots: 1 No. of proposed lots: 2
 Total area of site (acres): 1.47 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No _____, but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No
 UPC No. 101105916848520705 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: 57th Street
 Between: Quail Road and Ouray Road

CASE HISTORY: James Maxzone EPC Case Planner
 List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): Project # 1001763
04EPC-01716, 04EPC-01717; Z-74-118; AX-74-22; Z-95-18

Check-off if project was previously reviewed by Sketch Plat/Plan ?, or Pre-application Review Team ? . Date of review: _____

SIGNATURE _____ DATE 1/11/05
 (Print) James K. Strozier, AICP _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

<input type="checkbox"/>	INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/>	All checklists are complete	<u>05DRB- .00053</u>	<u>SPS</u>	<u>PC3</u>	<u>\$ -</u>
<input checked="" type="checkbox"/>	All fees have been collected	<u>05DRB- .00054</u>	<u>SBP</u>	<u>PC3</u>	<u>\$ -</u>
<input checked="" type="checkbox"/>	All case #s are assigned	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/>	AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/>	Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/>	Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/>	F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/>	F.H.D.P. fee rebate	_____	_____	_____	\$ _____
		Hearing date <u>1-19-05</u>			Total <u>\$ 20.00</u>

James K. Strozier 1-11-05 Project # 1001763

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6** copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Blue-line copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

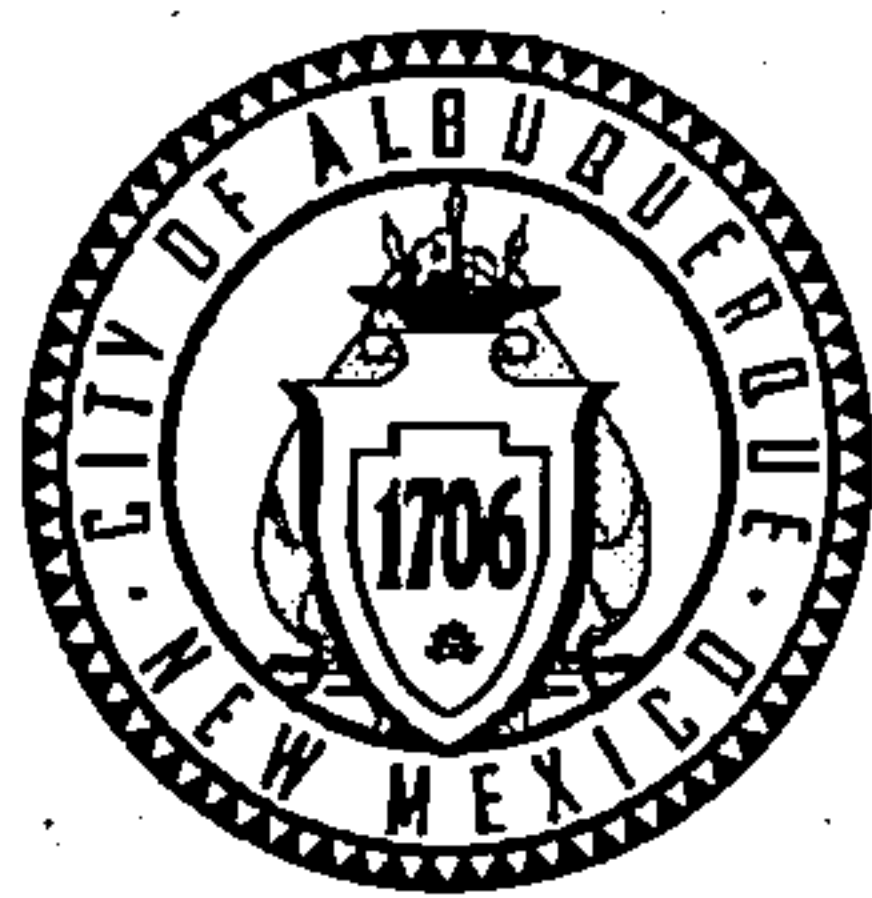
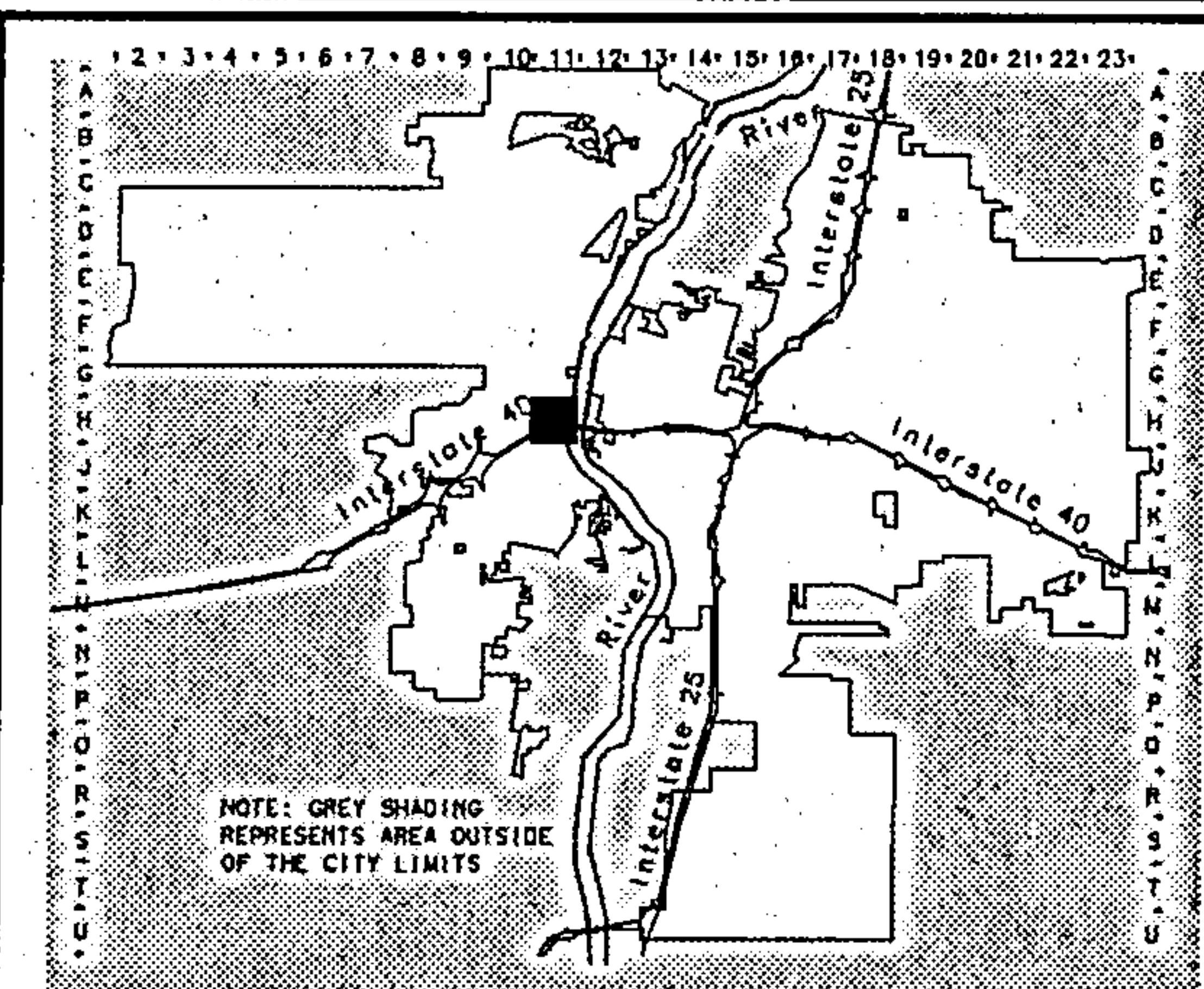
James K. Strozic, AICP
Applicant name (print)
[Signature] 1/11/05
Applicant signature / date



Form revised October 2004

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- | | |
|--------------------------|--------|
| Application case numbers | |
| 05DRB- _____ | -00053 |
| _____ | _____ |
| _____ | _____ |

[Signature] 1-11-05
Planner signature / date
Project # 1001763



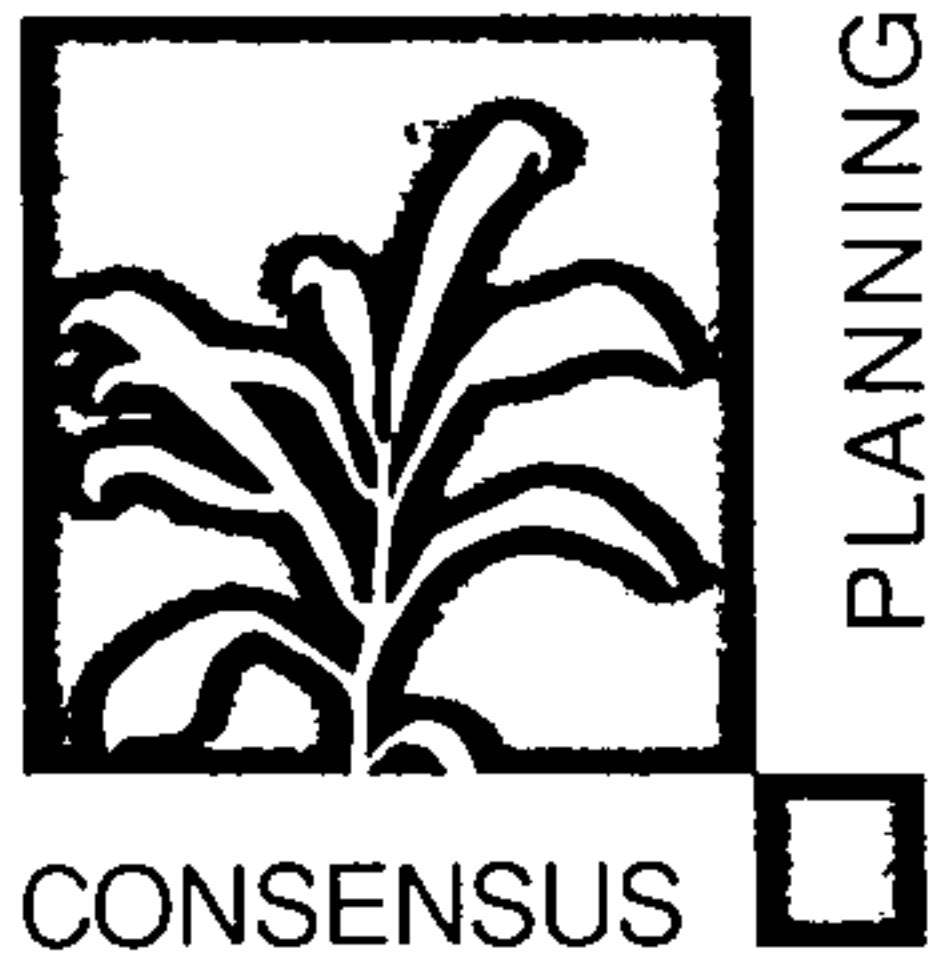
A G I S
 Albuquerque Geographic Information System
 PLANNING DEPARTMENT

© Copyright 2004

Zone Atlas Page

H-11-Z

Map Amended through January 04, 2005



January 11, 2005

Ms. Sheran Matson, DRB Chair
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87103

RE: Project # 1001763/04EPC-01716, 04EPC-01717

Dear Ms. Matson:

Landscape Architecture
Urban Design
Planning Services

924 Park Avenue SW
Albuquerque, NM 87102

(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

The purpose of this letter is to demonstrate compliance with the findings and conditions set forth in the Notice of Decision dated December 17, 2004. The EPC approved the Site Development Plan for Subdivision and Site Development Plan for Building Permit at the December 16, 2004 hearing. The Site Plan for Building Permit is for the north lot only and is proposed as an AutoZone auto parts store. This request is being submitted in conjunction with the preliminary plat. The subject property is located at the southwest corner 57th Street NW and Quail Road NW.

EPC Conditions for Site Development Plan for Subdivision

1. *The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.*

This letter is intended to meet this condition.

2. *The 3rd bullet of the Landscape Standards on Sheet 2 should add further language to read, "except where trees are planted, then they shall be a minimum of 36 square feet and a minimum width of 6 feet."*

This bullet has been changed to add the above language.

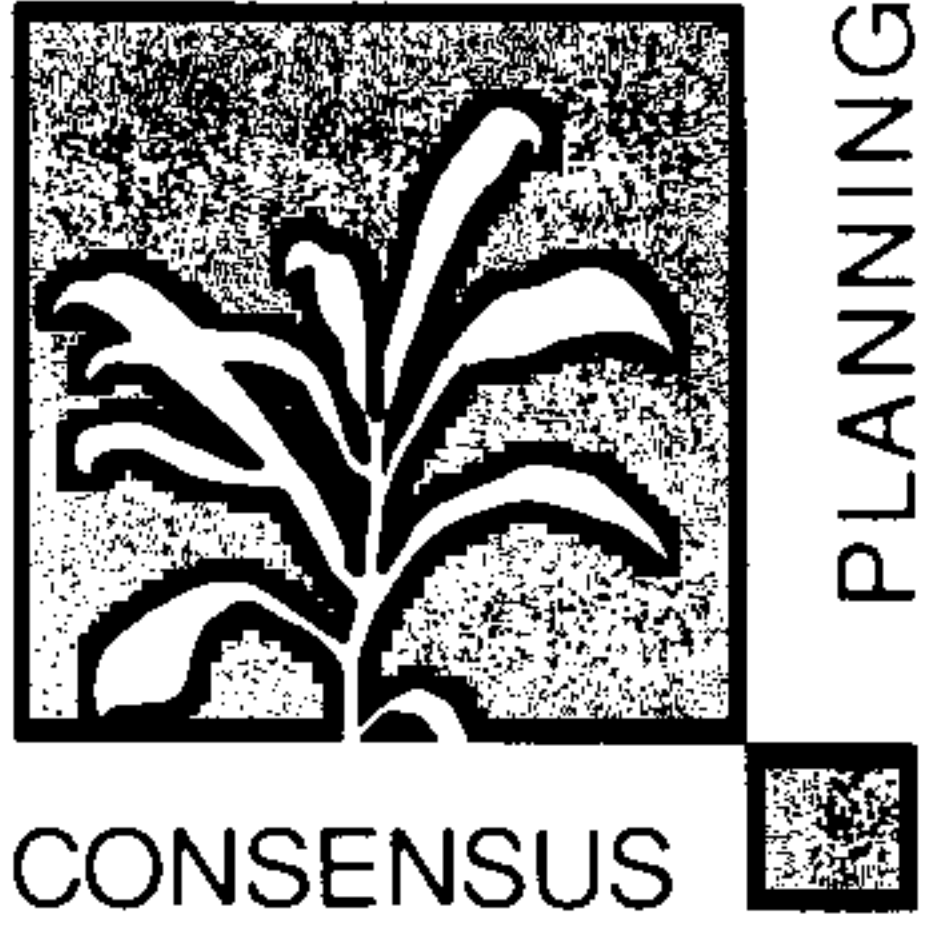
3. *The last bullet of the signage standards on Sheet 2 shall be revised to read, "No lighted signs shall be placed on facades that are visible from residential areas."*

This bullet has been replaced with the above language.

PRINCIPALS

Karen R. Marcotte, AICP
James K. Strozier, AICP
Christopher J. Green, ASLA

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4. **RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, PUBLIC WORKS, WATER AUTHORITY, and NMDOT:**

- a. *All the requirements of previous actions taken by the EPC and/or DRB must be completed and/or provided for, if applicable.*

There are no other applicable actions by the EPC and/or DRB impacting this submittal.

- b. *The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within the public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).*

We are in agreement with this condition. The infrastructure list is being reviewed concurrently with this request and the subdivision plat.

- c. *A new TIS determination will be required if the applicant deviates from the trip generation provided for the remaining tract.*

We are in agreement with this condition.

- d. *Per DPM: unless drives on opposite sides of the street are offset 50' or more, the centerlines need to be within 15' of each other.*

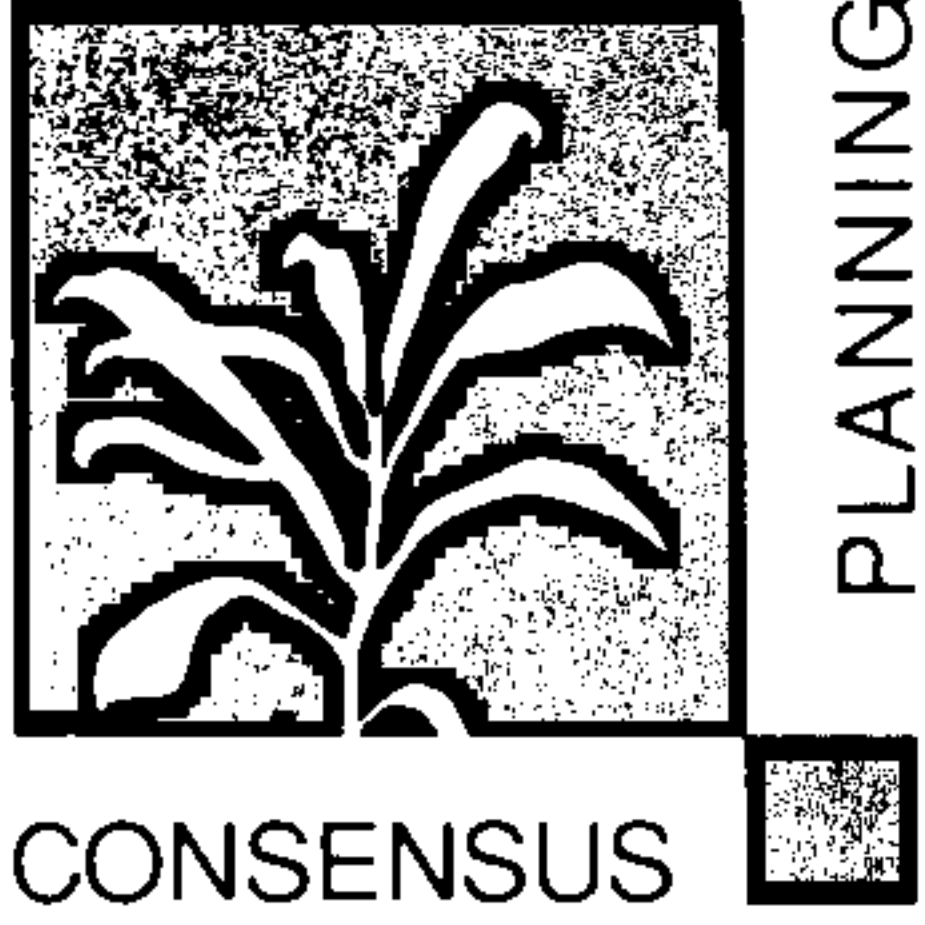
The centerlines of drives on Quail Road and 57th Steet are offset greater then 50' from the centerlines of drives on opposite sides of the street in compliance with this condition.

- e. *The applicant will need to provide a financial guarantee for one fourth of the future traffic signal at Quail/57th and demonstrate that their site plan for subdivision, as shown allows for this traffic signal geometrically.*

This is addressed in the infrastructure list submitted simultaneously with this request.

- f. *Site plan shall comply and be designed per DPM standards.*

We are in agreement with this condition.



g. Platting must be a concurrent DRB action.

Preliminary plat was submitted and is to be heard concurrently with this request.

h. Dedication of a minimum 34 feet of right-of-way from the centerline of 57th Street a collector street as designated on the Long Range Roadway System.

A minimum of 34 feet of right-of-way has been provided for.

i. Dedication of an additional 6 feet of right-of-way along 57th Street as required by the City Engineer to provide for on-street bicycle lanes as designated on Long Range Bikeway System.

The existing right-of-way is adequate to provide for an on-street bicycle lane on 57th Street.

EPC Conditions for Site Development Plan for Building Permit

- 1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.*

This letter is intended to meet this condition.

- 2. The eighth bullet under Site Planning and Architecture in the Design Standards shall be rewritten as follows: "Parking areas shall be screened from adjacent streets and properties by providing a landscape strip between parking lots and rights-of-way. The landscape strip along the front of the property shall be a minimum of 10 feet in width. The landscape strip along the side of the property shall have an average width of six feet. Front and side landscape strips shall be designed with a combination of plant materials, walls or fences, and or earthen berming".*

This bullet has been changed to include the above language.



PLANNING

CONSENSUS

3. *A screen wall shall be placed in front of the parking strip along Quail Road. This wall shall be a minimum of 30" and a maximum of 36" in height.*

A 36" screen wall has been added to the Site Plan for Building Permit and has been designed and integrated into the Landscape Plan for the site.

4. *The Site Development Plan for Building Permit and Landscape Plan shall be amended to include a 36 inch screening wall along the sidewalk adjacent to Quail Road and landscaped triangular bump-outs shall be added to the off-street parking stalls along the north end of the site adjacent to Quail Road.*

A 36" screen wall has been added to the Site Plan for Building Permit and Landscape Plan and triangular bump-outs have been added to the off-street parking stalls adjacent to Quail Road.

5. **PEDESTRIAN CONNECTIONS**

- *Connect the east/west sidewalk from the front entrance of the building to the public sidewalk along 57th Street.*
- *Widen the public sidewalk along 57th Street from 4' to 6'.*
- *A separate pedestrian access shall be provided from the public sidewalk along Quail road to the north façade of the building. In addition, the sidewalk adjacent to the north façade of the building shall be extended further west to meet up with the pedestrian connection from Quail Road.*

The east/west sidewalk from the front entrance has been connected to the sidewalk along 57th on the Site Plan for Building Permit and Landscape Plan. The public sidewalk along 57th Street has been changed from 4' to 6' on the Site Plan for Building Permit and Landscape Plan. A separate pedestrian connection has been added from the public sidewalk along Quail Road to the North façade of the building on the Site Plan for Building Permit and Landscape Plan.

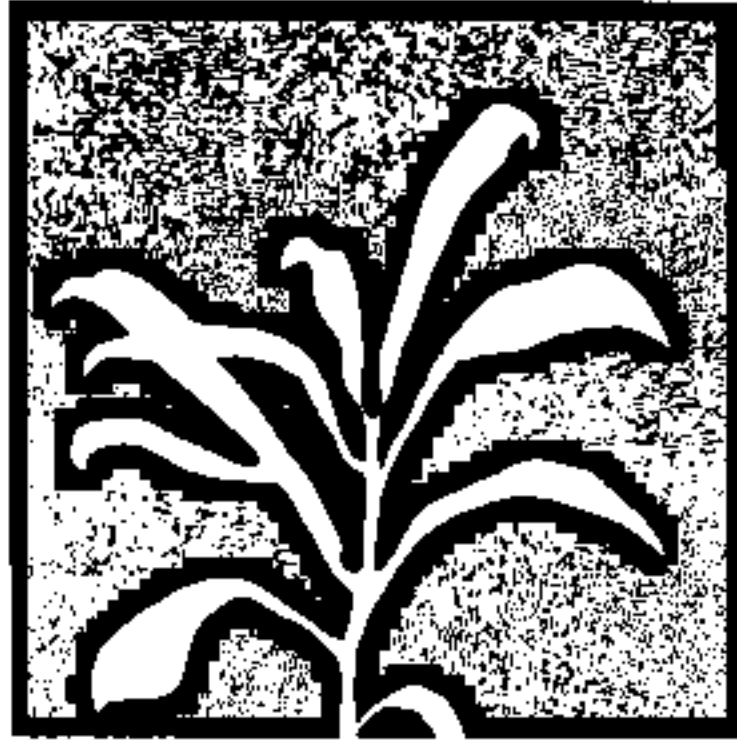
6. **LIGHTING**

- a. *The maximum height of the light poles shall be 20'.*
- b. *The wall-mounted sign on the north elevation shall not be illuminated.*

We are in agreement with these conditions.

7. *The ponding areas along 57th Street should be noted on the site plan and the landscape plan since they affect development of the site.*

The ponding areas along 57th are noted on the Grading and Drainage Plan and the Landscape Plan.



PLANNING

CONSENSUS

8. *A more common color should be used for the roof tile since it is unclear what color "casa grande blend" really is.*

Key note #9 on sheet 6 has been changed to read "terra cotta" rather than "casa grande blend".

9. *RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, PUBLIC WORKS, WATER AUTHORITY, and NMDOT:*

- a. *All the requirements of previous actions taken by the EPC and/or DRB must be completed and/or provided for, if applicable.*

There are no other applicable actions by the EPC and/or DRB impacting this submittal.

- b. *The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within the public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).*

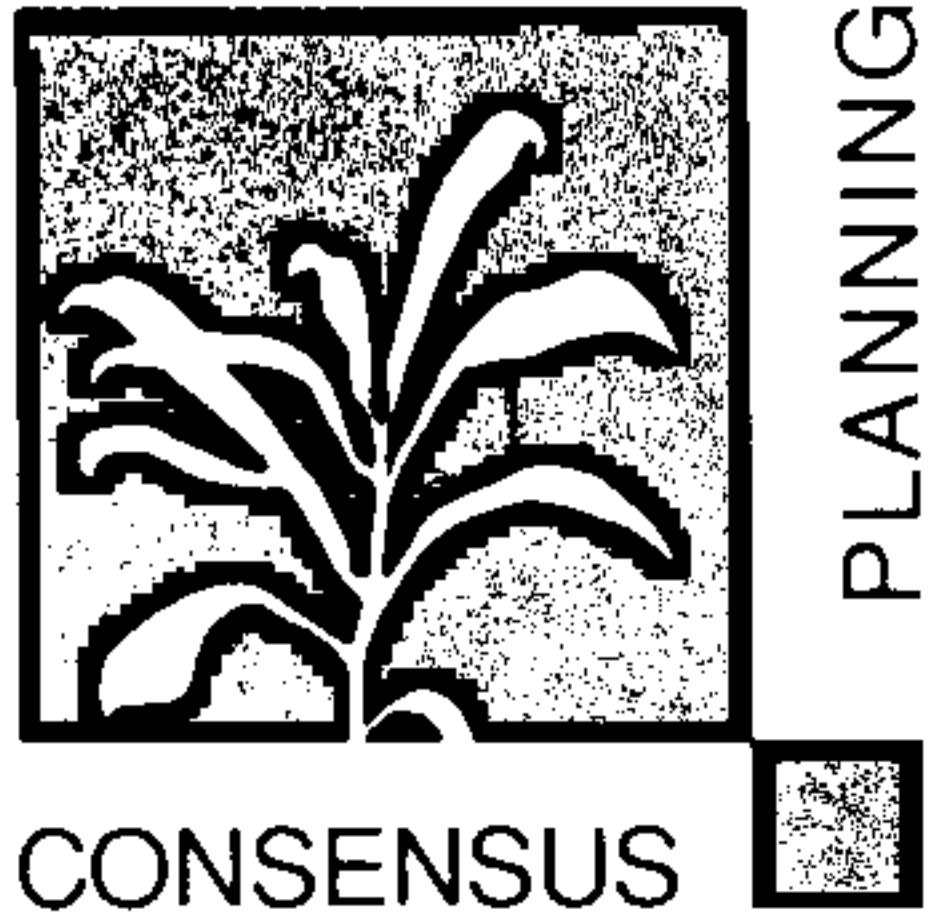
We are in agreement with this condition. The infrastructure list is being reviewed concurrently with this request and the subdivision plat.

- c. *A new TIS determination will be required if the applicant deviates from the trip generation provided for the remaining tract.*

We are in agreement with this condition.

- d. *Per DPM: unless drives on opposite sides of the street are offset 50' or more, the centerlines need to be within 15' of each other.*

The centerlines of drives on Quail Road and 57th Street are offset greater than 50' from the centerlines of drives on opposite sides of the street in compliance with this condition.



- e. *The applicant will need to provide a financial guarantee for one fourth of the future traffic signal at Quail/57th and demonstrate that their site plan for subdivision, as shown allows for this traffic signal geometrically.*

This is addressed in the infrastructure list submitted simultaneously with this request.

- f. *Site plan shall comply and be designed per DPM standards.*

We are in agreement with this condition.

- g. *Platting must be a concurrent DRB action.*

Preliminary plat was submitted and is to be heard concurrently with this request.

- h. *Dedication of a minimum 34 feet of right-of-way from the centerline of 57th Street a collector street as designated on the Long Range Roadway System.*

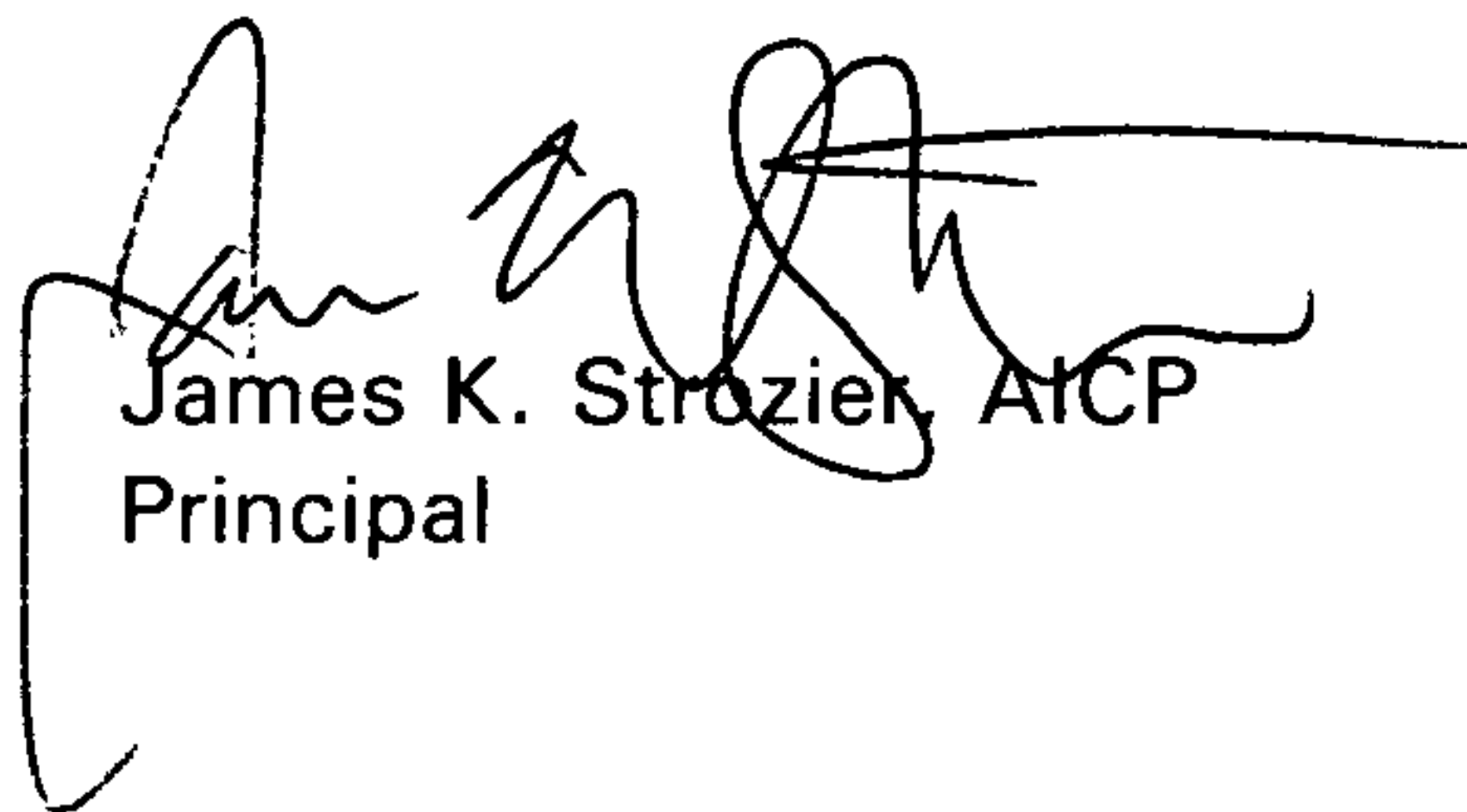
A minimum of 34 feet of right-of-way has been provided for.

- i. *Dedication of an additional 6 feet of right-of-way along 57th Street as required by the City Engineer to provide for on-street bicycle lanes as designated on Long Range Bikeway System.*

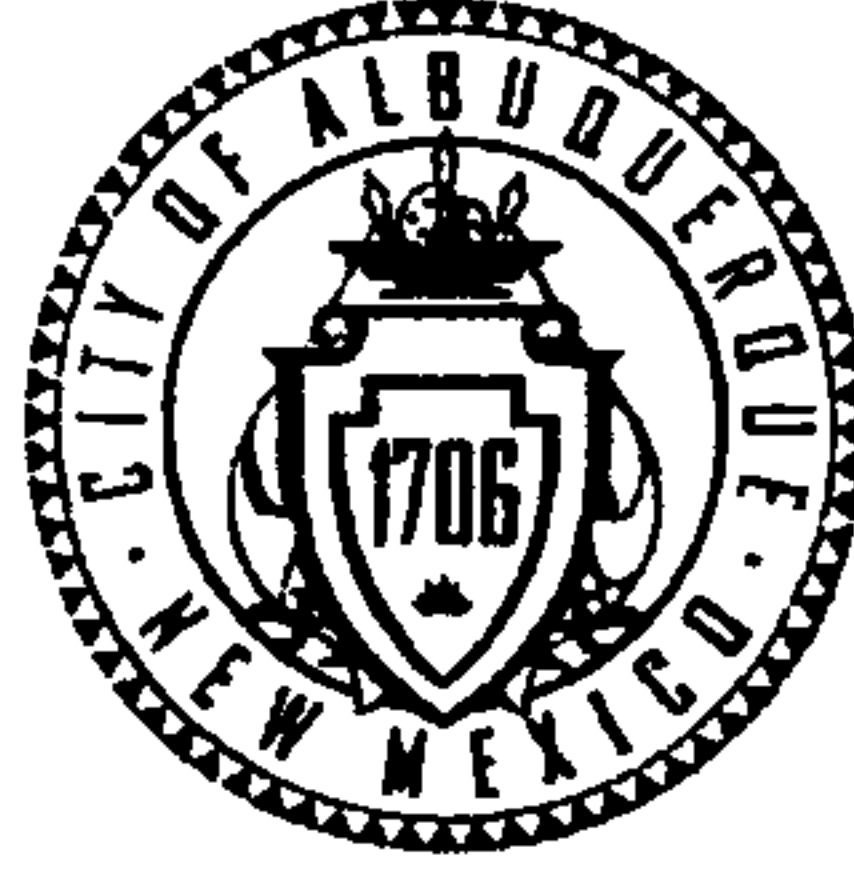
The existing right-of-way is adequate to provide for an on-street bicycle lane on 57th Street.

Given the information and material contained in this letter and submittal, we respectfully request that you approve the site plan for subdivision. Please feel free to contact me if you have any questions or require any additional information.

Sincerely,



James K. Strozier, AICP
Principal



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: December 17, 2004

OFFICIAL NOTIFICATION OF DECISION

FILE: Project # 1001763*
04EPC-01716 EPC Site Development Plan-
Subdivision
04EPC-01717 EPC Site Development Plan-
Building Permit

AutoZone, Inc., Design Department #8320
123 S. Front St.
Memphis, TN 38103

LEGAL DESCRIPTION: for all or a portion of Tract C-1, **Albuquerque West Subdivision**, zoned SU-1 PRD & C-1 Permissive Uses, located on 57TH ST NW, between QUAIL RD NW and OURAY RD NW, containing approximately 1.5 acres. (H-11) Carmen Marrone, Staff Planner

On December 16, 2004 the Environmental Planning Commission voted to approve Project 1001763/ 04EPC 01716, a request for a Site Plan for Subdivision for Tract C-1, Albuquerque West Subdivision, zoned SU-1 PRD & C-1 Permissive Uses, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of a site plan for subdivision for Tract C-1, Albuquerque West Subdivision. The site is located at the southwest corner of 57th Street and Quail Road NW and contains approximately 1.5 acres. The applicant proposes to subdivide the property into two tracts, Tract C-1-A and C-1-B, and to develop an Auto Zone Retail Store on the northerly tract, Tract C-1-A. The use of the southern tract is as yet undetermined.
2. In 2002, the EPC approved a site plan for subdivision to subdivide the subject site into two tracts (02EPC-00308). The site plan for subdivision was never signed off by the DRB. Approval of the proposed site plan for subdivision will void the 2002 EPC approved site plan for subdivision.

3. The subject site is within the Established Urban Area of the *Comprehensive Plan*. The proposed development furthers the applicable goals and policies for Established Urban Areas by accommodating development in an area where vacant land is contiguous to existing facilities and services and by allowing for a location, intensity, and design that respects existing neighborhood conditions (Policies 5d, 5e). In addition, this request proposes a retail use, which is located to complement residential areas in an area zoned for commercial uses and with a design that is compatible with the area (Policies 5i, 5j, 5l).
4. The site plan for subdivision includes a set of Design Standards to guide development of both of the newly created tracts. These Design Standards address applicable policies of the *Coors Corridor Plan* related to building height and setback (Policy 2), screening of mechanical equipment and service areas (Policy 4), lighting (Policy 9), and signage (Section D, Policy 1).
5. The site plan for subdivision meets the requirements of §14-16-1-5 of the Zoning Code. The site plan specifies the site, proposed use, vehicular ingress and egress, internal circulation requirements, building height and setbacks, and floor area ratio.
6. There is no known neighborhood opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The 3rd bullet of the Landscape Standards on Sheet 2 should add further language to read, "*except where trees are planted, then they shall be a minimum of 36 sf and a minimum width of 6 feet.*"
3. The last bullet of the signage standards on Sheet 2 shall be revised to read, "No lighted signs shall be placed on facades that are visible from residential areas."
4. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, PUBLIC WORKS, WATER AUTHORITY and NMDOT:
 - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for, if applicable.

- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - c. A new TIS determination will be required if the applicant deviates from the trip generation provided for the remaining tract.
 - d. Per DPM: unless drives on opposite sides of the street are offset 50' or more, the centerlines need to be within 15' of each other.
 - e. The applicant will need to provide a financial guarantee for one fourth of the future traffic signal at Quail/57th and demonstrate that their site plan for subdivision, as shown, allows for this traffic signal geometrically.
 - f. Site plan shall comply and be designed per DPM Standards.
 - g. Platting must be a concurrent DRB action.
 - h. Dedication of a *minimum* 34 feet of right-of-way from the centerline of 57th Street a collector street as designated on the Long Range Roadway System.
 - i. Dedication of an additional 6 feet of right-of-way along 57th Street as required by the City Engineer to provide for on-street bicycle lanes as designated on Long Range Bikeways System.
-

On December 16, 2004 the Environmental Planning Commission voted to approve Project 1001763/04EPC 01717, a request for a Site Plan for Building Permit for the north .826 acres of Tract C-1, Albuquerque West Subdivision, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of a site plan for building permit for a 6,816 sf Auto Zone Retail Store on the northerly portion of Tract C-1 (Tract C-1-A) Albuquerque West Subdivision. The proposed use is allowed by the site's SU-1 PRD and C-1 Permissive Uses zoning.
2. In 2002, the EPC approved a site plan for building permit to develop a laurdromat/car wash/ apartment facility on the southern portion of Tract C-1 (02EPC-00309). This site plan was never signed off by the DRB. Approval of the proposed site plan for building permit will void the 2002 EPC approved site plan for building permit.

3. The proposed development furthers the applicable goals and policies of the *Comprehensive Plan* by: locating a use with a design and intensity that respects the existing neighborhood conditions (Policy 5d); accommodating development in an area where vacant land is contiguous to existing facilities and services (Policy 5e); locating a retail and service use to complement residential areas (Policy 5i); locating new commercial development in an existing commercially zoned area (Policy 5j); and by proposing a design which is appropriate to the area (Policy 5l).
4. This request furthers Policy 3.25 of the *West Side Strategic Plan* by undergoing careful analysis and public scrutiny of the proposed site plan in order to address the design and site layout implications on the surrounding properties.
5. This request generally complies with the goal of the *Coors Corridor Plan* that new development be designed to be compatible with the natural landscape and the built environment in accordance with the design regulations and guidelines (*Issue 4, Visual Impressions and Urban Design Overlay Zone*).
6. In general, the site plan for building permit meets the applicable regulations pertaining to C-1 zoned sites and only requires slight modification prior to DRB final sign-off.
7. There is no known neighborhood opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The eighth bullet under Site Planning and Architecture in the Design Standards shall be rewritten as follows: "Parking areas shall be screened from adjacent streets and properties by providing a landscape strip between parking lots and rights-of-way. The landscape strip along the front of the property shall be a minimum of 10 feet in width. The landscape strip along the side of the property shall have an acreage width of six feet. Front and side landscape strips shall be designed with a combination of plant materials, walls or fences, and or earthen berming".
3. A screen wall shall be placed in front of the parking strip along Quail Road. This wall shall be a minimum of 30" and a maximum of 36" in height.

4. The Site Development Plan for Building Permit and Landscape Plan shall be amended to include a 36 inch screening wall along the sidewalk adjacent to Quail Road and landscaped triangular bumpouts shall be added to the off-street parking stalls along the north end of the site adjacent to Quail Road.
5. **PEDESTRIAN CONNECTIONS:**
 - Connect the east/west sidewalk from the front entrance of the building to the public sidewalk along 57th Street.
 - Widen the public sidewalk along 57th Street from 4' to 6'.
 - A separate pedestrian access shall be provided from the public sidewalk along Quail Road to the north façade of the building. In addition, the sidewalk adjacent to the north façade of the building shall be extended further west to meet up with the pedestrian connection from Quail Road.
6. **LIGHTING:**
 - a. The maximum height of the light poles shall be 20'.
 - b. The wall-mounted sign on the north elevation shall not be illuminated.
7. The ponding areas along 57th Street should be noted on the site plan and the landscape plan since they affect development of the site.
8. A more common color should be used for the roof tile since it is unclear what color "casa grande blend" really is.
9. **RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, PUBLIC WORKS, WATER AUTHORITY and NMDOT:**
 - a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for, if applicable.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - c. A new TIS determination will be required if the applicant deviates from the trip generation provided for the remaining tract.
 - d. Per DPM: unless drives on opposite sides of the street are offset 50' or more, the centerlines need to be within 15' of each other.
 - e. The applicant will need to provide a financial guarantee for one fourth of the future traffic signal at Quail/57th and demonstrate that their site plan for subdivision, as shown, allows for this traffic signal geometrically.
 - f. Site plan shall comply and be designed per DPM Standards.
 - g. Platting must be a concurrent DRB action.

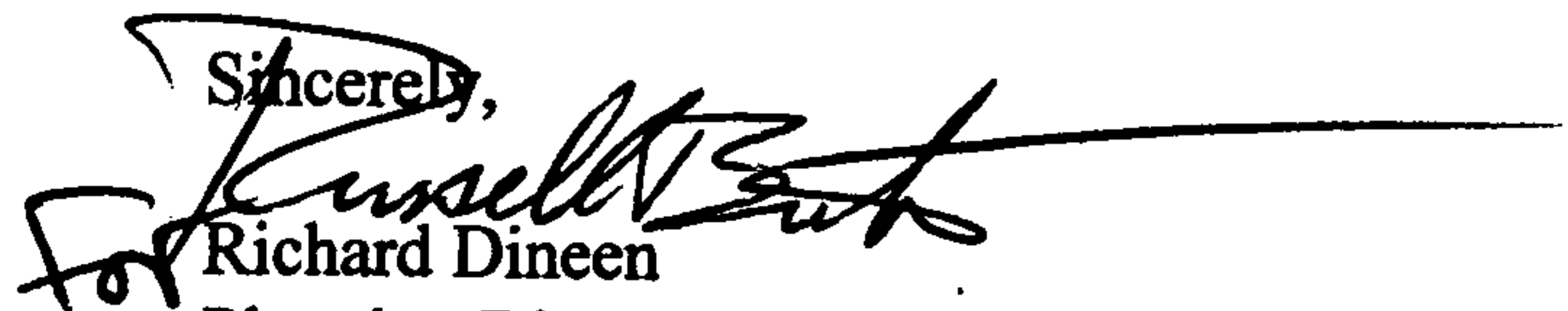
- h. Dedication of a *minimum* 34 feet of right-of-way from the centerline of 57th Street a collector street as designated on the Long Range Roadway System.
- i. Dedication of an additional 6 feet of right-of-way along 57th Street as required by the City Engineer to provide for on-street bicycle lanes as designated on Long Range Bikeways System.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY JANUARY 3, 2005 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

Richard Dineen
Planning Director

RD/CM/ac

cc: Consensus Planning, Inc., 924 Park Ave. SW, Albuquerque, NM 87102

Date Submitted: _____

Date Site Plan Approved: 7/29/04

Date Preliminary Plat Approved: _____

Date Preliminary Plat Expires: _____

DRB Project No.: 1001163

DRB Application No.: 04DRB-01130

INFRASTRUCTURE LIST

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

TRACTS C-1A & C-1B, ALBUQUERQUE WEST

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

TRACT C-1, ALBUQUERQUE WEST

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and a sign-off. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Enst Engineer
		1/4	OF FUTURE TRAFFIC SIGN	QUAIL & 57 th STREET		SW	/	/	/
		INCREASE FOR TOTAL OF 1/4	PUBLIC SIDEWALK	ALONG 57 th STREET		R-O-W NORTH SIDE OF LOT C-1-A TO SOUTH SIDE OF LOT C-1-B	/	/	/
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SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Engr Engineer
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<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

NOTES

1 _____

2 _____

3 _____

AGENT / OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Dan Craney
 NAME (print)

Surveys Southwest, Ltd.
 FIRM

Dan Craney 1.10.05
 SIGNATURE - date

_____ PARKS & GENERAL SERVICES - date

_____ ANAFCA - date

_____ - date

_____ DRB CHAIR - date

_____ TRANSPORTATION DEVELOPMENT - date

_____ UTILITY DEVELOPMENT - date

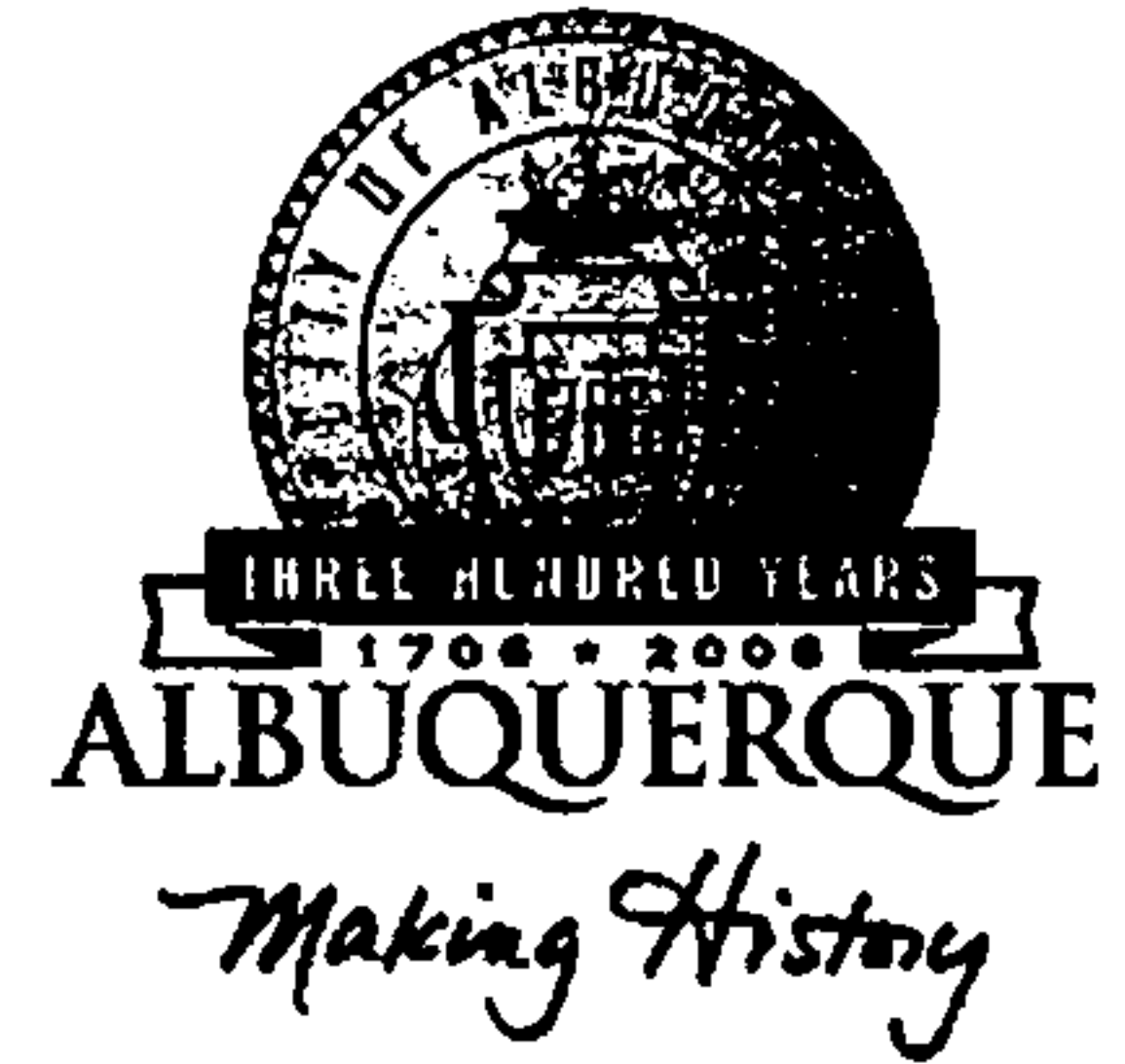
_____ CITY ENGINEER - date

MAXIMUM TIME ALLOWED TO CONSTRUCT
 THE IMPROVEMENTS WITHOUT A DRB
 EXTENSION: _____

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

CITY OF ALBUQUERQUE



December 20, 2004

Guy Jackson, PE
BPLW
6200 Uptown Blvd, Ste 400
Albuquerque, NM 87110

**Re: Autozone at 57th/Quail Conceptual Grading and Drainage Plan
Engineer's Stamp dated 11-8-04 (H11/D65)**

Dear Mr. Jackson,

Based upon the information provided in your submittal dated 11-8-04, the above referenced plan is approved for Site Plan for Subdivision and Site Plan for Building Permit action by the DRB. Prior to Building Permit approval, please resubmit a bound (stapled) set of the calculations, stamped and signed by the engineer of record, and a more comprehensive grading plan with all critical spot elevations, build notes and details needed to construct this project. An SO#19 Permit would be needed as well.

If you have any questions, you can contact me at 924-3986

Sincerely,

Bradley L. Bingham
Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: file

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

**FIRE HYDRANT AND INSTANTANEOUS
FIRE FLOW REQUIREMENTS**

ALBUQUERQUE FIRE DEPARTMENT
FIRE MARSHAL'S PLAN CHECKING OFFICE
600 2ND ST N.W, 8TH Floor, Plaza del Sol
Albuquerque, New Mexico 87102
(505) 924-3611 / FAX (505) 924-3619

ZONE MAP NUMBER _____

REFERRAL # _____

SITE ADDRESS 57th + Oval Rd NW

LEGAL DESCRIPTION: SUBJECT TRACT C-1A OF Plat of Tract A-land ct
albuquerque west

NUMBER HYDRANTS REQUIRED FOR THE LARGEST BUILDING 2

INSTANTANEOUS FLOW REQUIRED 2229

SQUARE FOOTAGE - LARGEST BUILDING _____

TYPE CONSTRUCTION W

PERTINENT DATA FOR DETERMINATION AND LOCATION OF FIRE HYDRANTS

ALL REQUIRED HYDRANTS SHALL BE INSTALLED AND OPERABLE PRIOR TO CONSTRUCTION

ALL REQUIRED HYDRANTS SHALL BE WITHIN 450 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

ALL REQUIRED HYDRANTS SHALL BE WITHIN 300 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

TOTAL NUMBER HYDRANTS REQUIRED FOR THIS PHASE OF CONSTRUCTION OR SITE 2

DATE: 1.10.05

FIRE DEPARTMENT INSPECTOR: Stacy

RECEIVED BY: Robert Juarez TELEPHONE: 764-9801

NOTES:

1. ALL HYDRANTS NEEDED TO PROTECT AN INDIVIDUAL BUILDING MUST BE ABLE TO PROVIDE A MINIMUM RESIDUAL OF 20 PSI, UNDER REQUIRED FIRE FLOW CONDITIONS.
2. DETERMINATION OF THE WATER SYSTEM CAPASITY TO PROVIDE REQUIRED FIRE FLOW SHALL BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION (924-3987), BASED ON PEAK DAY CRITERIA.
3. DESIGN OF PRIVATE FIRE PROTECTION SYSTEMS IS THE RESPOSIBILITY OF THE DEVELOPER'S CONSULTANT. APPROVAL OF DESIGN MUST BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION.

WHITE - INDIVIDUAL

YELLOW - FILE

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Auto Zone INC
AGENT Consensus Planning
ADDRESS 924 Park Av SW
PROJECT & APP # 1001763/05DRB00053/00054
PROJECT NAME _____

\$ 20.00 441032/3424000 Conflict Management Fee

\$ _____ 441006/4983000 DRB Actions

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 20.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City Of Albuquerque
Treasury Division

1/11/2005 10:17AM LUC: ANNX
RECEIPT# 00036882 WS# 007 TRANS# 0018
Account 441032 Fund 0110
Activity 3424000 TRSLJS
Trans Amt \$20.00
J24 Misc \$20.00
VI \$20.00
CHANGE \$0.00

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form Supplemental form

<p>SUBDIVISION S</p> <p><input checked="" type="checkbox"/> Major Subdivision action</p> <p><input checked="" type="checkbox"/> Minor Subdivision action</p> <p><input type="checkbox"/> Vacation V</p> <p><input type="checkbox"/> Variance (Non-Zoning)</p> <p>SITE DEVELOPMENT PLAN P</p> <p><input type="checkbox"/> ...for Subdivision Purposes</p> <p><input type="checkbox"/> ...for Building Permit</p> <p><input type="checkbox"/> IP Master Development Plan</p> <p><input type="checkbox"/> Cert. of Appropriateness (LUCC)</p>	<p>ZONING & PLANNING Z</p> <p><input type="checkbox"/> Annexation</p> <p><input type="checkbox"/> County Submittal</p> <p><input type="checkbox"/> EPC Submittal</p> <p><input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)</p> <p><input type="checkbox"/> Sector Plan (Phase I, II, III)</p> <p><input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan</p> <p><input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)</p> <p>APPEAL / PROTEST of... A</p> <p><input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals</p>
--	---

Submitted 10/27/04

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: J. HOWARD MOCK, LAYA PARTNERS PHONE: 345-8591

ADDRESS: 2906 BROADWAY BLDG NE FAX: _____

CITY: ALBU STATE NM ZIP 87125 E-MAIL: _____

Proprietary interest in site: OWNER List all owners: N/A

AGENT (if any): SURVELLS SOUTHWEST, LTD PHONE: 998-0303

ADDRESS: 333 LOMAS BLDG NE FAX: 998-0306

CITY: ALBU STATE NM ZIP 87102 E-MAIL: _____

DESCRIPTION OF REQUEST: DIVIDE ONE EXISTING TRACT INTO TWO NEW TRACTS & TO GRANT ADDITIONAL EASEMENTS (PRELIM & FINAL)

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT C-1 Block: N/A Unit: N/A

Subdiv. / Addn. ALBU - WEST

Current Zoning: SU-1 (C-1 PERMISSIVE USES) & PD (MAX 288 DU) Proposed zoning: _____

Zone Atlas page(s): H-11-7 No. of existing lots: 1 No. of proposed lots: 2

Total area of site (acres): 1.4726 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO

UPC No. 1-011-059-168-485-20705 MRGCD Map No. N/A

LOCATION OF PROPERTY BY STREETS: On or Near: 57th STREET NW

Between: QUAIL RD NW and DURAY RD NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): DRB 96-279

02DRB-00308 & 00309, EPC, SDP FOR B/P & S/D 02DRB-00856, 1001763

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Dan Craney DATE 7.19.04

(Print) Dan Craney _____ Applicant Agent

FOR OFFICIAL USE ONLY Form revised 9/01, 3/03, 7/03, 10/03, 3/04

<p><input type="checkbox"/> INTERNAL ROUTING</p> <p><input type="checkbox"/> All checklists are complete</p> <p><input type="checkbox"/> All fees have been collected</p> <p><input type="checkbox"/> All case #s are assigned</p> <p><input type="checkbox"/> AGIS copy has been sent</p> <p><input type="checkbox"/> Case history #s are listed</p> <p><input type="checkbox"/> Site is within 1000ft of a landfill</p> <p><input type="checkbox"/> F.H.D.P. density bonus</p> <p><input type="checkbox"/> F.H.D.P. fee rebate</p>	<p>Application case numbers</p> <p><u>04DRB - 01136</u></p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Hearing date <u>7-28-04</u></p>	<p>Action</p> <p><u>PEF</u></p> <p><u>CMF</u></p> <p>_____</p> <p>_____</p> <p>S.F.</p> <p><u>SL3</u></p> <p>_____</p> <p>Fees</p> <p>\$ <u>285.00</u></p> <p>\$ <u>20.00</u></p> <p>\$ _____</p> <p>\$ _____</p> <p>\$ _____</p> <p>Total</p> <p>\$ <u>305.00</u></p>
--	---	--

Babel 7-20-04 Planner signature / date **Project # 1001763**

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- ___ Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- ___ Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- ___ Preliminary Plat reduced to 8.5" x 11"
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Copy of previous D.R.B. approved infrastructure list
- ___ Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
- ___ Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.
Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- ___ Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- ___ Design elevations & cross sections of perimeter walls
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- ___ Property owner's and City Surveyor's signatures on the Mylar drawing
- ___ SIA financial guaranty verification
- ___ Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- ___ Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- ___ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - ___ Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - ___ Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - ___ Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Dan Craney
Applicant name (print)

Dan Craney
Applicant signature / date

7-19-04
Applicant signature / date



Form revised 3/03, 8/03 and 11/03

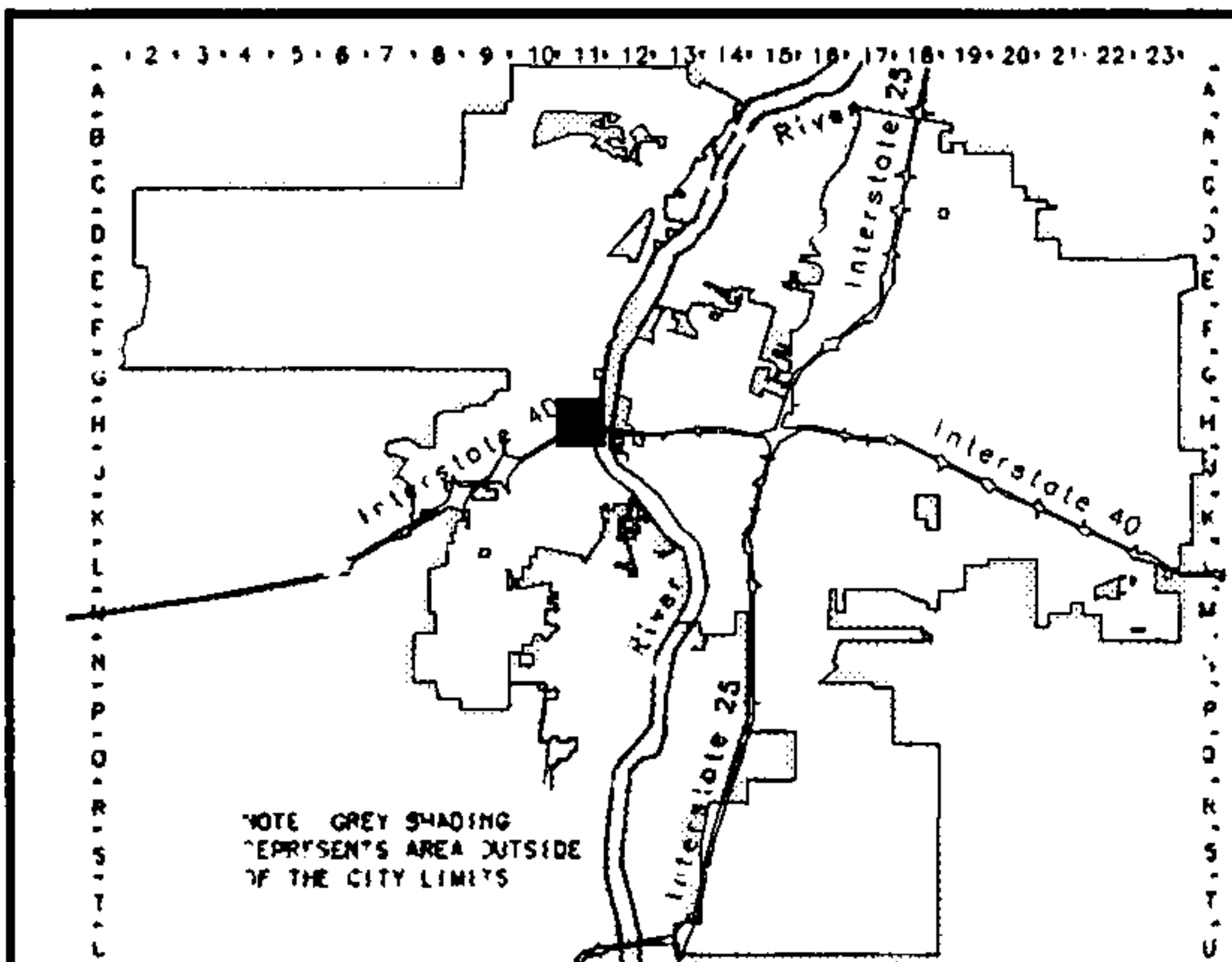
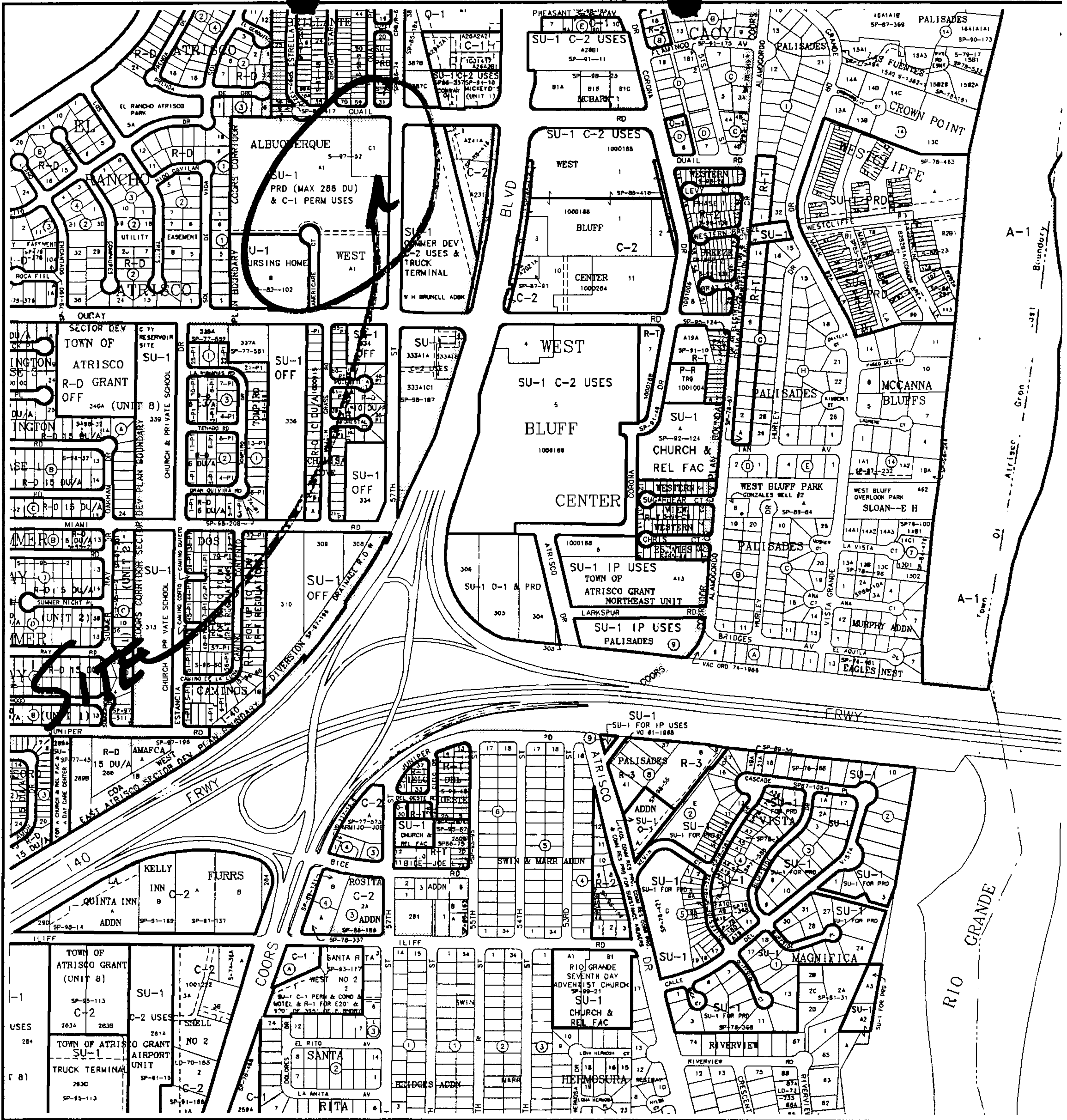
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
04BRB - 01136

[Signature]
Planner signature / date

7-20-04
Planner signature / date

Project # 1001763



CITY OF
Albuquerque

Albuquerque **G**eographic **I**nformation **S**ystem
PLANNING DEPARTMENT

© Copyright 2003



Zone Atlas Page

H-11-Z

Map Amended through August 01, 2003

Surveys Southwest, LTD

*333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306*

July 19, 2004

DEVELOPMENT REVIEW BOARD MEMBERS
PLAZA DEL SOL
600 SECOND STREET NW
ALBUQUERQUE, NM 87102

REF: TRACTS C-1-A & C-1-B, ALBUQUERQUE WEST

Dear Board Members:

The purpose of this replat is to create Two (2) buildings sites and access for development and sale of the above referenced property.

If you have any questions please feel free to contact me.

Sincerely,

Dan Graney
President

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME J. Howard Mock, LAVA Partners
AGENT Surveys SW
ADDRESS 333 Lomas Blvd NE # 87102
PROJECT & APP # Albq West Tr C-1
PROJECT NAME 1001763/04 DRB 01136

\$ 20.00 441032/3424000 Conflict Management Fee
\$ 285.00 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 305.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

PARTNERS PROPERTIES 2-94
P.O. BOX 26841
ALBUQUERQUE, NM 87125
PH. 505-345-8591

FIRST STATE BANK
ALBUQUERQUE, NM
95-145/1070 - 32

1834

7/19/2004

PAY TO THE ORDER OF City of Albuquerque
DUPLICATE***
DUPLICATE
\$ 305.00

Three Hundred Five and 00/100*****

DOLLARS
Security features included. Details on back.

City of Albuquerque 10144A
RECEIPT# 00025305
Account# 441032
Activity# 3424000
Trans Amt \$305.00
Planning Fee - 57th & Quail \$285.00

7/20/2004 10:43AM
RECEIPT# 00025305
Account# 441032 Fund# 0110
Activity# 3424000
Trans Amt \$305.00

J. Howard Mock
Thank You

CHANGE #001834# 1070014521 32004966#

A City of Albuquerque



DEVELOPMENT REVIEW APPLICATION

Supplemental form 10/27/06

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

Supplemental form

S

ZONING

- Annexation & Zone Establishment
- Sector Plan
- Zone Change
- Text Amendment

Supplemental form

Z

SITE DEVELOPMENT PLAN

- ...for Subdivision Purposes
- ...for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC) L

P

APPEAL / PROTEST of...

A

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: HOWARD MOCK PHONE: 345-8591
 ADDRESS: 2906 BROADWAY BLVD NE FAX: _____
 CITY: ALBU. STATE N.M. ZIP 87107 E-MAIL: _____
 Proprietary interest in site: OWNER
 AGENT (if any): SURVEYS SOUTHWEST, LTD PHONE: 998-0303
 ADDRESS: 333 LOMAS BLVD NE FAX: 998-0306
 CITY: ALBU. STATE NM ZIP 87102 E-MAIL: _____

DESCRIPTION OF REQUEST: DIVIDE ONE EXISTING TRACT INTO TWO NEW TRACTS OF LAND.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT C-1 Block: 1 Unit: 1
 Subdiv. / Adn. ALBUQUERQUE WEST
 Current Zoning: SU-1 *C-1 uses *PRD Proposed zoning: _____
 Zone Atlas page(s): H-11-Z (max 28800) No. of existing lots: 1 No. of proposed lots: 2
 Total area of site (acres): 1.4726 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO
 UPC No. 1-011-059-168-485-20705 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: 57th STREET NW
 Between: QUAIL RID NW and OURAY RID NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): DRB-96-279
02DRB-00308 & 309 EPC, SDP FOR B/P & S/D

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Dan Graney DATE 6-3-02
 (Print) Dan Graney _____ Applicant Agent

FOR OFFICIAL USE ONLY

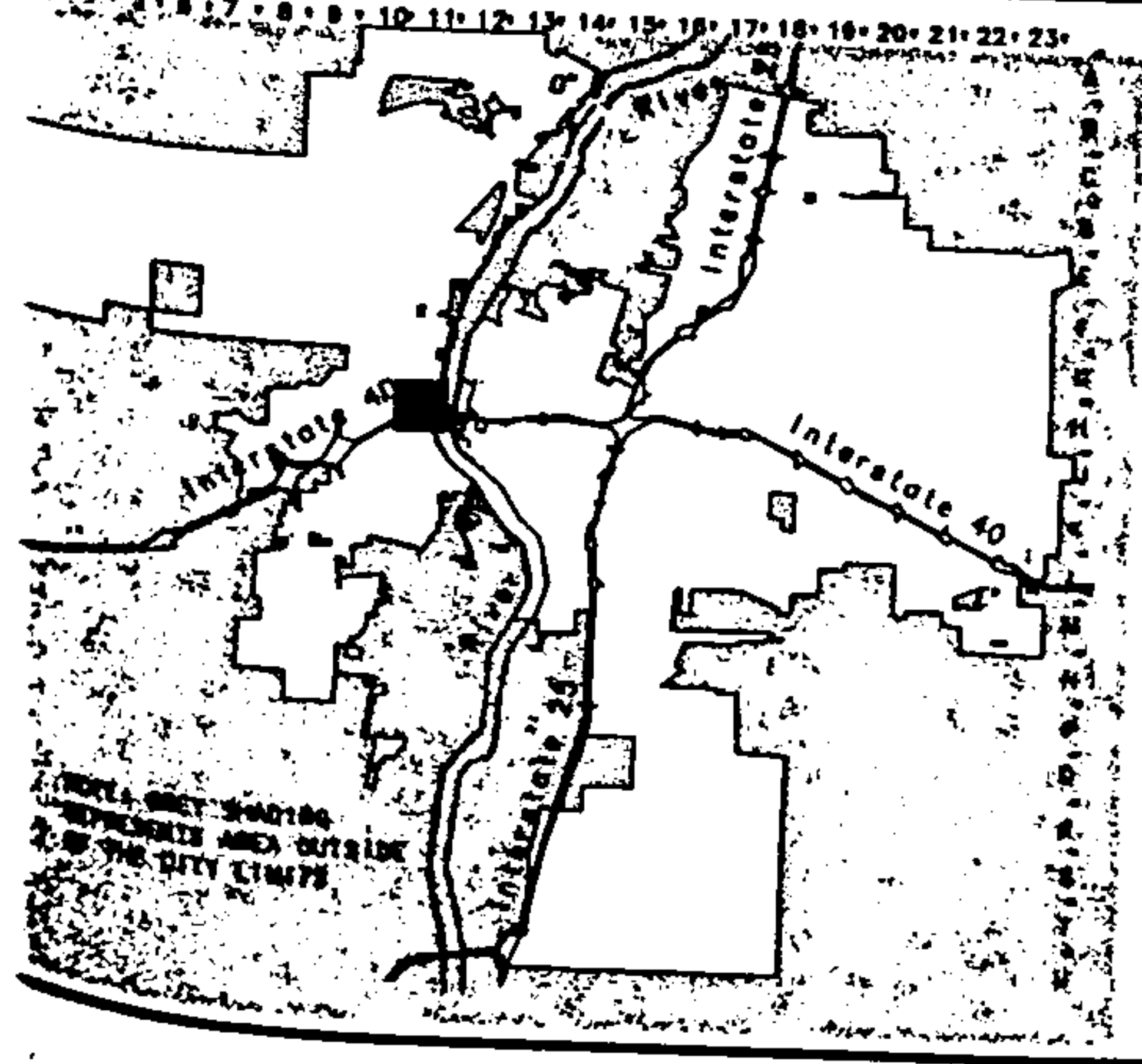
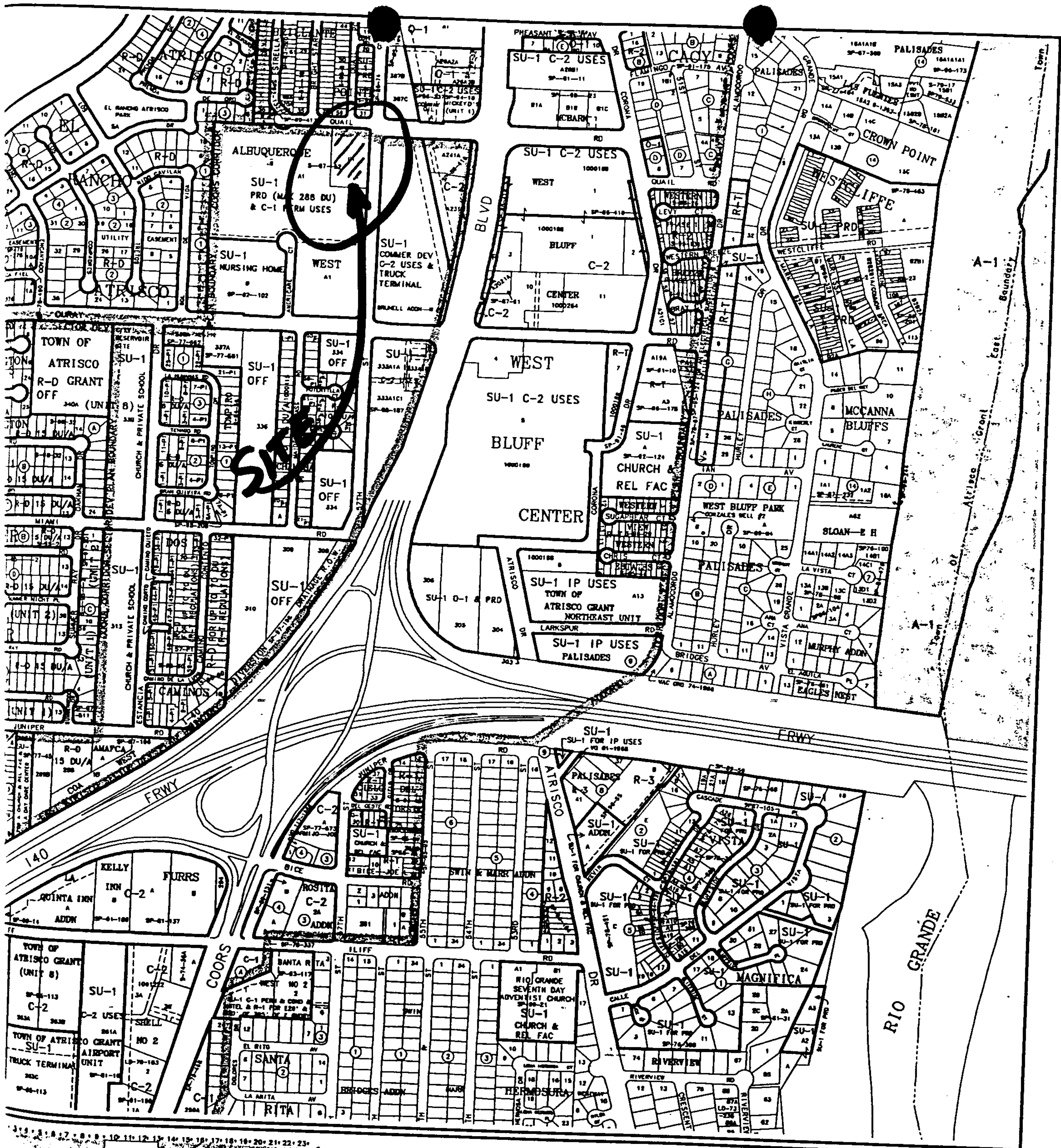
Form revised September 2001

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- E.H.D.P. density bonus
- E.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>02DRB - 00856</u>	<u>P&FPA</u>	<u>98</u>	<u>\$ 260⁰⁰</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>6/12/02</u>			Total <u>\$ 260⁰⁰</u>

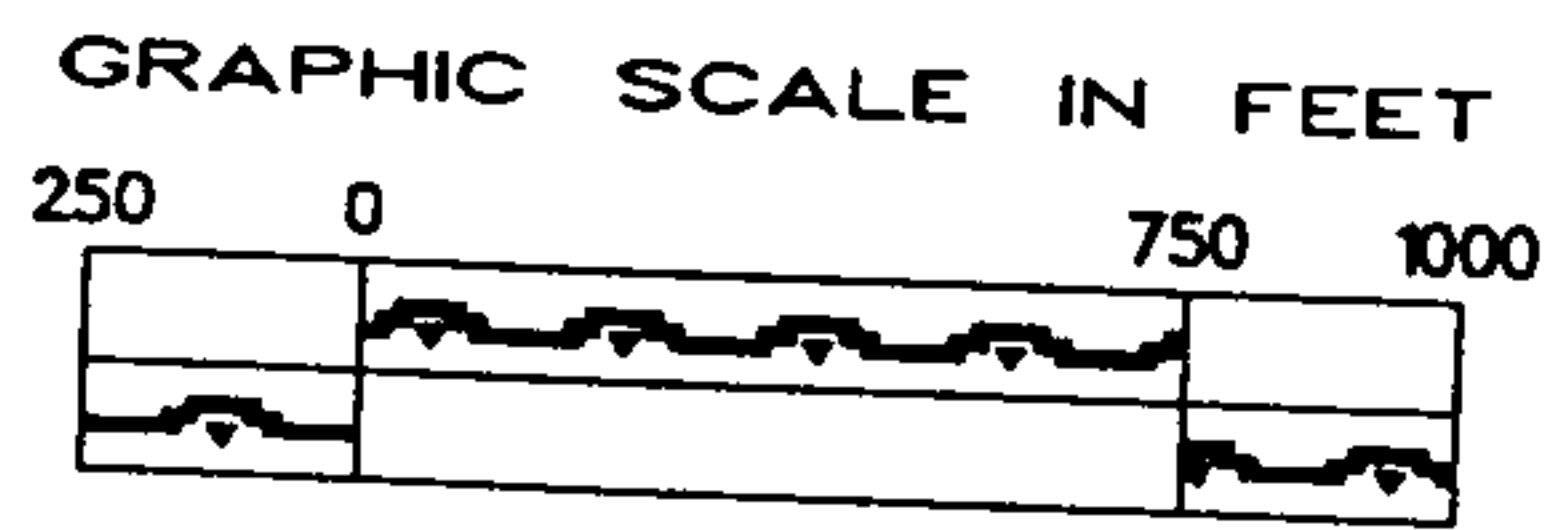
6/14/02 Project # 1001763
 Planner signature / date



CITY OF Albuquerque

Albuquerque Geographic Information System
PLANNING DEPARTMENT

© Copyright 2001



Zone Atlas Page

H-11-Z

Map Amended through July 19, 2001

Surveys Southwest, LTD

*333 Lomas Blvd., NE * Albuquerque, New Mexico 87102 * 998-0303 * Fax 998-0306*

June 3, 2002

DEVELOPMENT REVIEW BOARD MEMBERS
PLAZA DEL SOL
600 SECOND STREET NW
ALBUQUERQUE, NM 87102

REF: TRACTS C-1-A & C-1-B, ALBUQUERQUE WEST

Dear Board Members:

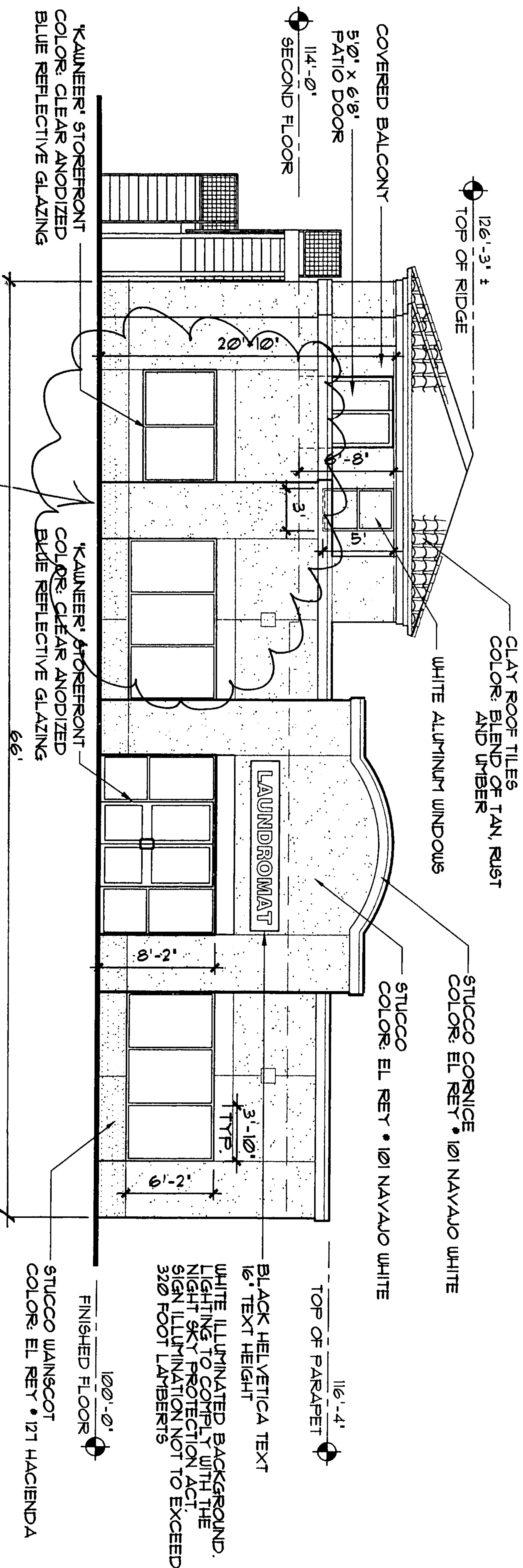
Surveys Southwest, LTD is requesting to divide One (1) existing tract into Two (2) new tracts of land.

If you have any questions please feel free to contact me.

Sincerely,



Dan Graney
President



*Added the
spaces pilaster*

*PHS
10/17/03*

*Received
6/12/02*

ONE STOP SHOP . . . FRONT COUNTER

LAND DEVELOPMENT COORDINATION DIVISION (LDC) / PLANNING
DEVELOPMENT & BUILDING SERVICES (D&B Svcs) / PUBLIC WORKS
Plaza Del Sol -2nd Floor West - 600 2nd St NW
Land Development / Planning - Main Fax (505) 924-3685
Development Services / Public Works - Main Fax (505) 924-3864

PAID RECEIPT

APPLICANT NAME HOWARD MOCK
AGENT SURVEYS S/W LTD
ADDRESS (w/zipCode) 333 LOMAS BLVD. NE
PROJECT NO. 1005763
APPLICATION NO. 02DRB-00856

\$ 260⁰⁰ 441006 / 4981000 (City Cases)

~~\$ _____ 441018 / 4981000 (County)~~

\$ _____ 441011 / 7000110 (LUCC)

\$ _____ 441018 / 4981000 (Notification)

\$ 260⁰⁰ Total amount due

Wells Fargo check stub for J. HOWARD OR JUDY L. MOCK, dated 3-27-02, payable to the City of Albuquerque for \$260.00. Includes bank logo, signature, and MICR line.

RECEIPT# 00016171 WSH 007 TRANSH 0025
Account 441006 Fund 0110
Activity 4981000 TRSCCS
Trans Amt \$260.00
J24 Misc \$260.00
CK 9/25/01 \$260.00
CHANGE \$0.00

City of Albuquerque



DEVELOPMENT REVIEW APPLICATION

Summer 10/27/06

Supplemental form **S**

SUBDIVISION

___ Major Subdivision action

___ Minor Subdivision action

___ Vacation **V**

___ Variance (Non-Zoning)

Supplemental form **Z**

ZONING

___ Annexation & Zone Establishment

___ Sector Plan

___ Zone Change

___ Text Amendment

SITE DEVELOPMENT PLAN **P**

___ ...for Subdivision Purposes

___ ...for Building Permit

___ IP Master Development Plan

___ Cert. of Appropriateness (LUCC) **L**

APPEAL / PROTEST of... **A**

___ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Howard Mock PHONE: 345-8591

ADDRESS: 2906 BROADWAY NE FAX: _____

CITY: Albuquerque STATE NM ZIP 87107 E-MAIL: _____

Proprietary interest in site: OWNER

AGENT (if any): CLAUDIO VIGIL ARCHITECTS PHONE: 842-1113

ADDRESS: 1801 RIO GRANDE BLVD. NW, SUITE 2 FAX: 842-1330

CITY: Albuquerque STATE NM ZIP 87104 E-MAIL: _____

DESCRIPTION OF REQUEST: FINAL FOR E.P.C FOR S.D.P for Subdivision & S.O.P. FOR BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT C1 Block: _____ Unit: _____

Subdiv. / Addn. Albuquerque West subdivision

Current Zoning: Su-1 For Prop: C-1 permission uses Proposed zoning: NO CHANGE

Zone Atlas page(s): H-11-2 No. of existing lots: 1 No. of proposed lots: 2

Total area of site (acres): 1.5 Total Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO

UPC No. 101105914848520705 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: 57th STREET

Between: QUAIL and OURA

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 2-74-118, AX-74-22, Project # 1001763 02EPC 00308/00309

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 4-4-02

SIGNATURE Edward Avila DATE _____

(Print) Edward Avila ___ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised September 2001

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>02DRB-00861</u>	<u>P(3)</u>	<u>P(3)</u>	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected	<u>02DRB-00862</u>	<u>750 BP</u>	<u>P(3)</u>	\$ <u>0</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
Hearing date <u>June 12, 2002</u>				Total \$ <u>0</u>

Paul Cardenas 6/4/02 Project # 1001763

Planner signature / date

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - ___ Blue-line copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision) *In file*
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Edward Avil
Applicant name (print)

Edward Avil
Applicant signature / date



Form revised September 2001

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
02DRB - 00861
02DRB - 00862

Paul Ponder 6/14/02
Planner signature / date

Project # 1001763



June 4, 2002
Ms. Janet Stephens, DRB Chair
Design Review Board, Planning Department
City of Albuquerque
PO Box 1293
Albuquerque, New Mexico 87102

RE: EPC File # 1001763
02EPC-00308 SDP-Subdivision
02EPC00309 SDP-Building Permit

Dear Ms. Stephens and Review Board Members:

This DRB submittal addresses the EPC findings and conditions of approval based on our initial EPC submittal for Site Development Plan for Subdivision and for Building Permit. The purpose of this letter is to address each EPC condition of approval in writing that are otherwise indicated on the DRB drawings. Our responses are as follows:

Site Development Plan for Subdivision:

Item #1:

This letter and its contents address the modifications that have been made in order to comply with the EPC conditions of approval.

Item #2:

Design development standards for the future development of the adjoining site have been outlined and noted on the site plan. A 6'-0" wide concrete pedestrian crosswalk was added north of the laundromat to maintain connectivity to the adjacent site.

Item #3a:

The developer agrees to contribute financially to the future traffic signal at Quail and 57th. Fees have not been identified and are pending feedback from the city of Albuquerque.

Item #3b:

A replat has been concurrently submitted with this DRB submittal by Surveys Southwest.

Item #3c:

The curb and gutter along 57th street is existing. Sidewalks, curb cuts, and drive apron will be added per the City of Albuquerque standards.

Ms. Janet Stephens, DRB Chair
Design Review Board, Planning Department

June 4, 2001
Page-2

Item #3d:

A cross access agreement shall be included as a part of the replat submittal.

Item #3e:

The site design shall comply with the DPM Standards.

Item #3f:

A 6'-0" sidewalk has been provided along 57th street.

Item #3g:

The main driveway between the Laundromat and the carwash has been increased to 36'-0".

Item #3h:

A conceptual grading and drainage plan has been submitted to the City of Albuquerque and is pending approval.

Item#3i:

A 4'-0" right-of-way has been previously dedicated to the City of Albuquerque which had established a 34' min. from the street centerline to the new property line. The new Plat was recorded on July 25, 1997 vol 97c 232. In light of the recent information obtained from the developer, the right-of-way information as previously submitted to EPC was incorrect and has subsequently been revised with this DRB submittal.

Site Development Plan for Building Permit:

Item #1:

This letter and its contents address the modifications that have been made in order to comply with the EPC conditions of approval.

Item #2:

A 5' min. wide landscape buffer has been provide along the west property line. A 3'-6" wide landscape buffer with a mix of deciduous and evergreen trees at 25'-0" o.c. has been provided along the south property line.

Ms. Janet Stephens, DRB Chair
Design Review Board, Planning Department

June 4, 2001
Page-3

Item #3:

See sheet L-1 for the additional of plant material as outlined in the conditions of approval.

Item #4:

The landscape plan has been revised to indicate a concrete surface at the bike rack location.

Item #5:

Columnar elements were added to the north elevation of the laundromat as required by the conditions of approval.

Item #6:

A trash enclosure detail was added to the site development plan and indicates height, color and materials.

Item #7:

The location of the monument sign has been identified on the site plan and landscape plan.

Item #8:

The sidewalk along 57th street has been located at the backside of the curb to align with the existing sidewalk located at the adjacent apartment complex and to be consistent with the sidewalks north and south of the site.

Item #9:

See comments as noted under Site Plan for Subdivision Items #3a thru #3j.

Additional revisions:

1. The 4-bay carwash structure, closest to 57th street, has been modified. The clearance height was increased to allow for more automobile types.
2. The South Laundromat Elevation has been modified to include a covered balcony area and storage at the second floor apartment unit. A sliding patio door has been added and the window previously shown has been repositioned.

3. The East Laundromat Elevation has been modified to include a covered balcony area and storage at the second floor apartment unit.
4. The North Laundromat Elevation has been modified in include the columnar elements and the window configuration has been revised at the second floor apartment. Additional building signage is proposed for this elevation.
5. The West Laundromat Elevation has been modified as follows:
 - a. The door located on the first floor has been relocated and an additional storefront window has been added to correspond to the developed floor plan.
 - b. The door and windows at the second floor apartment have been repositioned to correspond to the developed floor plan.
 - c. The stairs have been modified from a linear stair to switch back stair to correspond to the developed floor plan.

As always we appreciate your time and consideration of this submittal and respectfully request your approval.

Sincerely,

Edward Avila
Project Manager



City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: April 19, 2002

OFFICIAL NOTIFICATION OF DECISION

Howard Mock
2906 Broadway, NE
Albuquerque, NM 87107

FILE: **Project # 1001763**
02EPC-00308 SDP-Subdivision
02EPC-00309 SDP-Building Permit

LEGAL DESCRIPTION: Tract C1, Albuquerque West Subdivision, zoned SU-1 for PRD & C-1 Permissive Uses and located on 57th Street NW between Quail NW and Ouray NW, containing approximately 1.5 acres. (H-11) (Lola Bird, Staff Planner)

On April 18, 2002, the Environmental Planning Commission voted to Approve Project 1001763 / 02EPC-00308, a Site Development Plan for Subdivision, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of a site plan for subdivision for an approximately 1.5 acre site located on 57th Street at Quail Road NW.
2. The applicant is requesting to subdivide the subject site into two tracts.
3. The proposed development furthers the applicable goals and policies of the *Comprehensive Plan* by accommodating development in an area where vacant land is contiguous to existing facilities and services and by allowing for a location, intensity, and design that respects existing neighborhood conditions (Policies d, e). In addition, this request proposes a service use which is located to complement residential areas in an area zoned for commercial uses with a design which is compatible with the plan area (Policies i, j, l, Established Urban Area).
4. This request is supported by the policies of the *West Side Strategic Plan* by proposing a neighborhood commercial use for a commercially zoned site located within a designated community adjacent area. Community Core Areas and Community Adjacent Areas are appropriate locations for high density and non-residential development (Policy 1.1).

EPC OFFICIAL NOTIFICATION OF DECISION

Project 1001763 / 02EPC-00308 & 02EPC-00309

April 18, 2002

Page 2

5. This request is also supported by the *East Atrisco Sector Development Plan* which references the goals and policies of the *Comprehensive Plan* as governing concepts for development of the East Atrisco area. This request supports the Plan's goals to provide a quality urban environment and to minimize transportation requirements through efficient placement of employment and services (page 6).
6. This request generally complies with the goal of the *Coors Corridor Plan* that new development be designed to be compatible with the natural landscape and the built environment in accordance with the design regulations and guidelines (*Issue 4, visual impressions and urban design overlay zone, General Policy 3.*)
7. The submitted site plan meets the requirements of the *Zoning Code* for site development plan for subdivision. The site plan provides a scale of at least 1 inch to 100 feet, which covers at least one lot and specifies the site, proposed use, pedestrian and vehicular ingress and egress, internal circulation requirements. (Section 14-16-1-5 Definitions)

CONDITIONS:

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
 2. Notes shall be added to the plan ensuring pedestrian connectivity and the integration of architectural design and building materials for the two lots.
 3. Transportation Development Services Conditions of approval:
 - a. Traffic Impact Study (TIS) may be required depending on how north end of property develops. Trip generation is required. However, in lieu of a full traffic impact study (Transportation has a current TIS for the West bluff Development), the developer shall contribute financially to the future traffic signal at Quail and 57th consistent with other developments in the area.
 - b. Re-plat required.
 - c. Provide permanent improvements (pavement, curb & gutter and sidewalk) along 57th street where applicable.
 - d. Provide cross access agreement.
 - e. Site shall comply and be designed per DPM Standards.
 - f. Sidewalk on 57th street to be 6'.
 - g. The main driveway on 57th Street to be 36' wide and needs to be aligned with main drive aisle.
 - h. An approved conceptual grading and drainage plan is required for Site Plan sign-off by the City Engineer. Approval of drainage plan required prior to placement on DRB agenda.
 - i. Approval should be conditioned on the dedication of rights-of-way for 57th Street, a collector street, 34 feet minimum from the street centerline and dedication of an additional 6 feet of right-of-way along 57th Street as required by the City Engineer to provide for on-street bicycle lanes.
-

EPC OFFICIAL NOTIFICATION OF DECISION

Project 1001763 / 02EPC-00308 & 02EPC-00309

April 18, 2002

Page 3

On April 18, 2002, the Environmental Planning Commission voted to Approve Project 1001763 / 02EPC-00309, a Site Development Plan for Building Permit, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of a site plan for building permit for an approximately 0.83 acre site located on 57th Street NW between Quail and Ouray.
2. The proposed development furthers the applicable goals and policies of the *Comprehensive Plan* by: locating a use with a design and intensity that respects the existing neighborhood conditions (Policy d); accommodating development in an area where vacant land is contiguous to existing facilities and services, and where the integrity of existing neighborhoods can be ensured (Policy e); locating employment and service uses to complement residential areas (Policy i); locating new commercial development in existing commercially zoned areas (Policy j); and by proposing a design which is appropriate to the plan area (Policy l).
3. This request is supported by the policies of the *West Side Strategic Plan* by proposing a neighborhood commercial use for a commercially zoned site located within a designated community adjacent area. Community Core Areas and Community Adjacent Areas are appropriate locations for high density and non-residential development (Policy 1.1).
4. This request is also supported by the *East Atrisco Sector Development Plan* which references the goals and policies of the *Comprehensive Plan* as governing concepts for development of the East Atrisco area. This request supports the Plan's goals to provide a quality urban environment and to minimize transportation requirements through efficient placement of employment and services (page 6).
5. This request generally complies with the goal of the *Coors Corridor Plan* that new development be designed to be compatible with the natural landscape and the built environment in accordance with the design regulations and guidelines (*Issue 4, visual impressions and urban design overlay zone, General Policy 3.*)
6. With some changes and additions this request will be adequate.

CONDITIONS:

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. A minimum 5' wide landscape buffer shall be provided along the site's west side and planted with a mix of deciduous and evergreen trees. A minimum of a 2 foot wide landscape buffer shall be provided along the south side planted with a mix of deciduous and evergreen trees and tree wells of at least 25 square feet at 25 foot intervals.

EPC OFFICIAL NOTIFICATION OF DECISION

Project 1001763 / 02EPC-00308 & 02EPC-00309

April 18, 2002

Page 4

3. Additional living, vegetative material shall be added to all planting beds larger than 36 sf to meet the 75% live ground cover at maturity requirement.
4. The landscape plan shall be modified to show the concrete surfacing in the area of the bike rack as indicated on the site plan.
5. Additional articulation of the north elevation of the laundromat/apt-unit building wall shall be provided through, for example, windows or columnar elements.
6. The site plan shall provide a detail of the trash enclosure, including its height, color and material.
7. The location of the monument sign shall be specified on the site plan and landscaping plan.
8. The location of the sidewalk along 57th Street shall comply with the Sidewalk Ordinance
9. Transportation Development Services Conditions of approval:
 - a. Traffic Impact Study (TIS) may be required depending on how north end of property develops. Trip generation is required. However, in lieu of a full traffic impact study (Transportation has a current TIS for the West bluff Development), the developer shall contribute financially to the future traffic signal at Quail and 57th consistent with other developments in the area.
 - b. Re-plat required.
 - c. Provide permanent improvements (pavement, curb & gutter and sidewalk) along 57th street where applicable.
 - d. Provide cross access agreement.
 - e. Site shall comply and be designed per DPM Standards.
 - f. Sidewalk on 57th street to be 6'.
 - g. The main driveway on 57th Street to be 36' wide and needs to be aligned with main drive aisle.
 - h. An approved conceptual grading and drainage plan is required for Site Plan sign-off by the City Engineer. Approval of drainage plan required prior to placement on DRB agenda.
 - i. Approval should be conditioned on the dedication of rights-of-way for 57th Street, a collector street, 34 feet minimum from the street centerline and dedication of an additional 6 feet of right-of-way along 57th Street as required by the City Engineer to provide for on-street bicycle lanes.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY MAY 3, 2002 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATOR COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday,

EPC OFFICIAL NOTIFICATION OF DECISION

Project 1001763 / 02EPC-00308 & 02EPC-00309

April 18, 2002

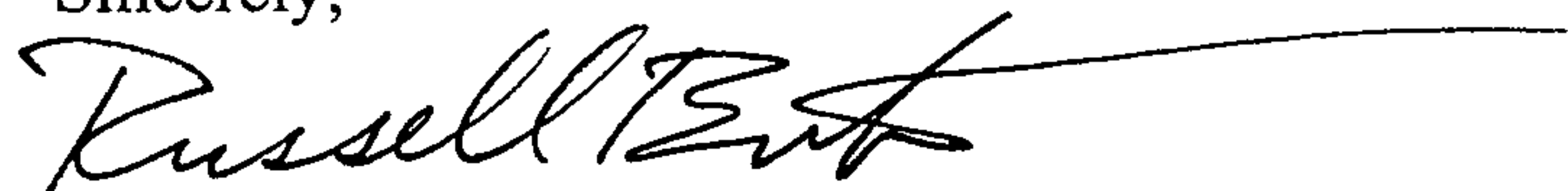
Page 5

Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

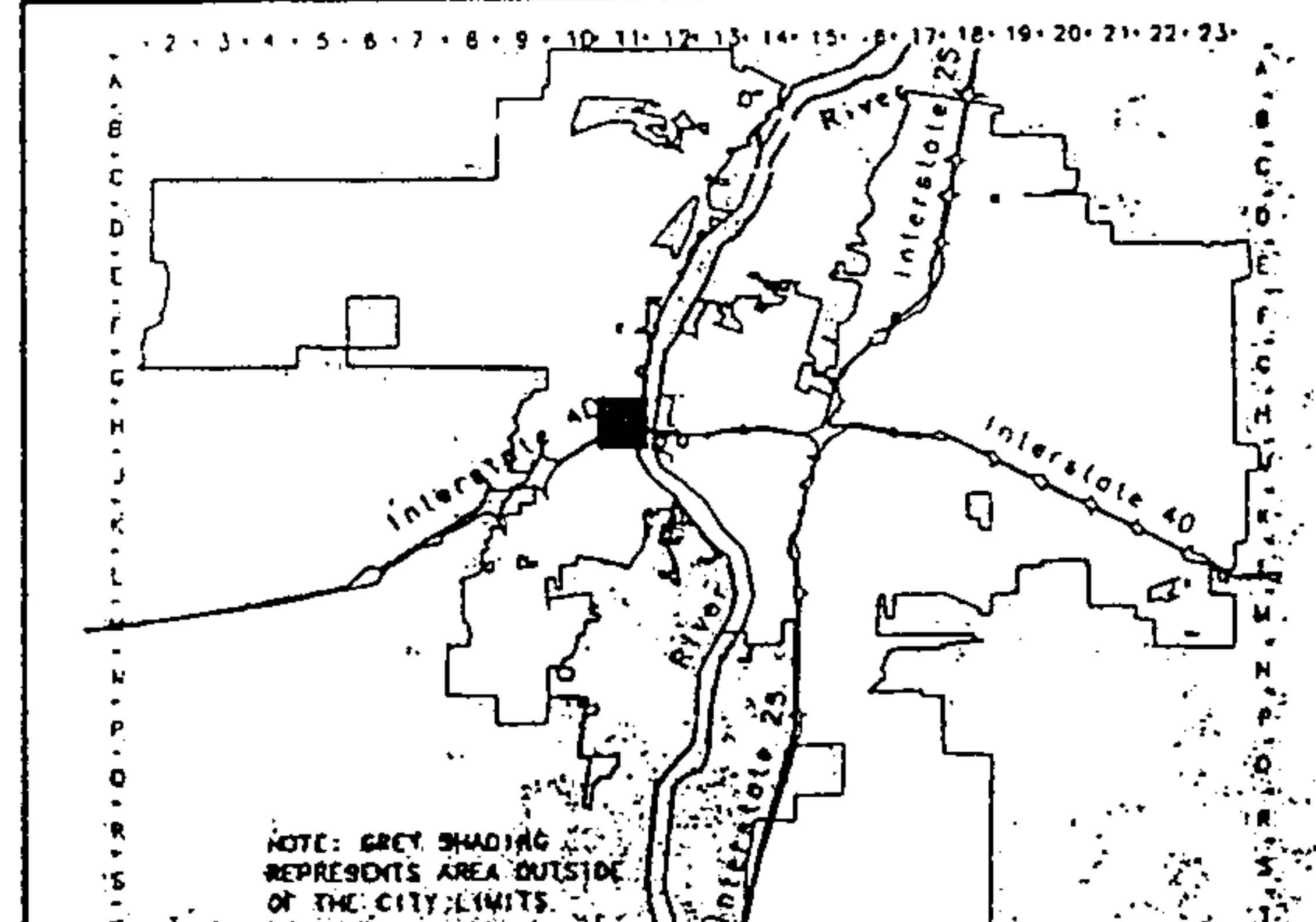
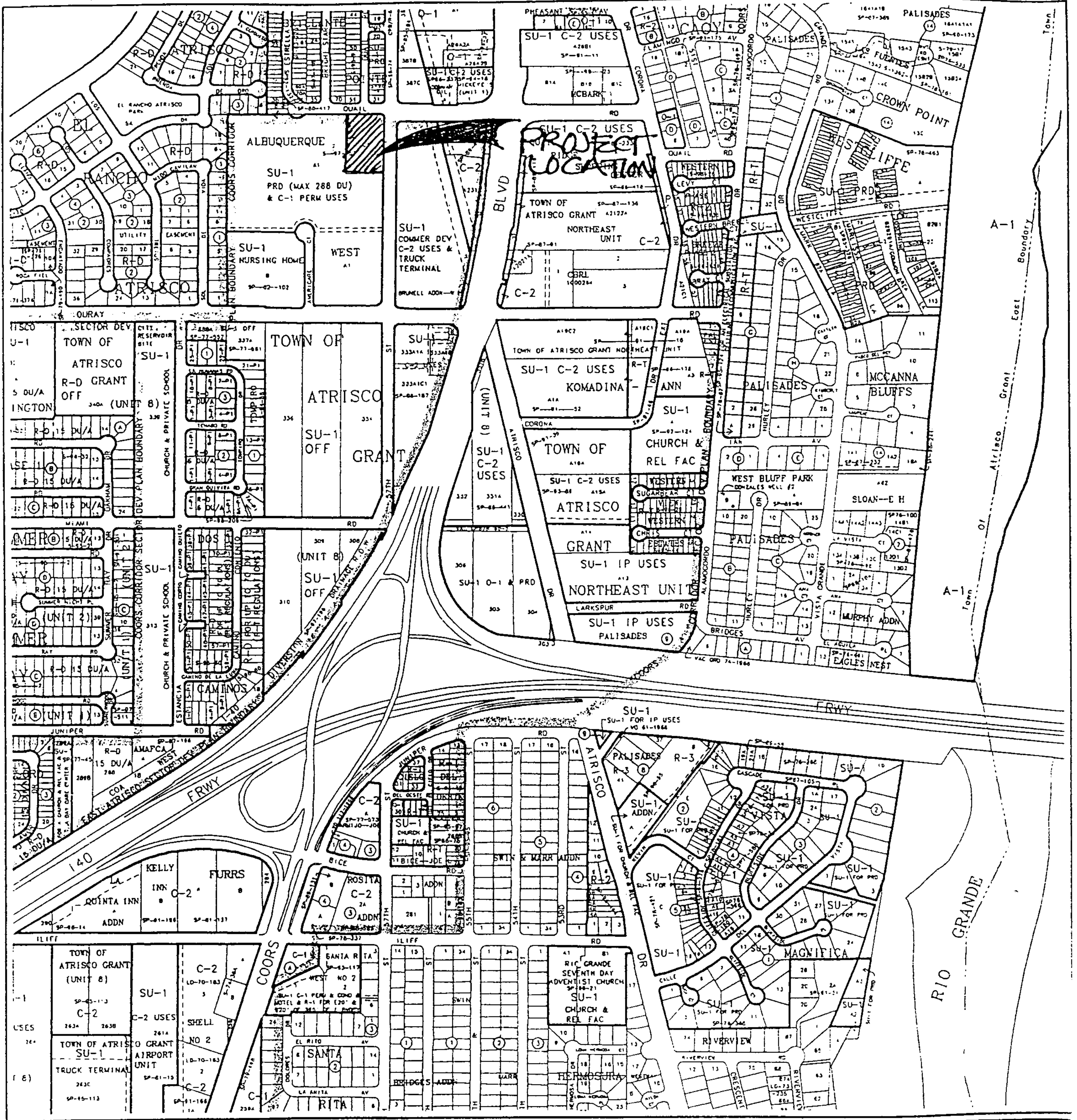
Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC.

Sincerely,

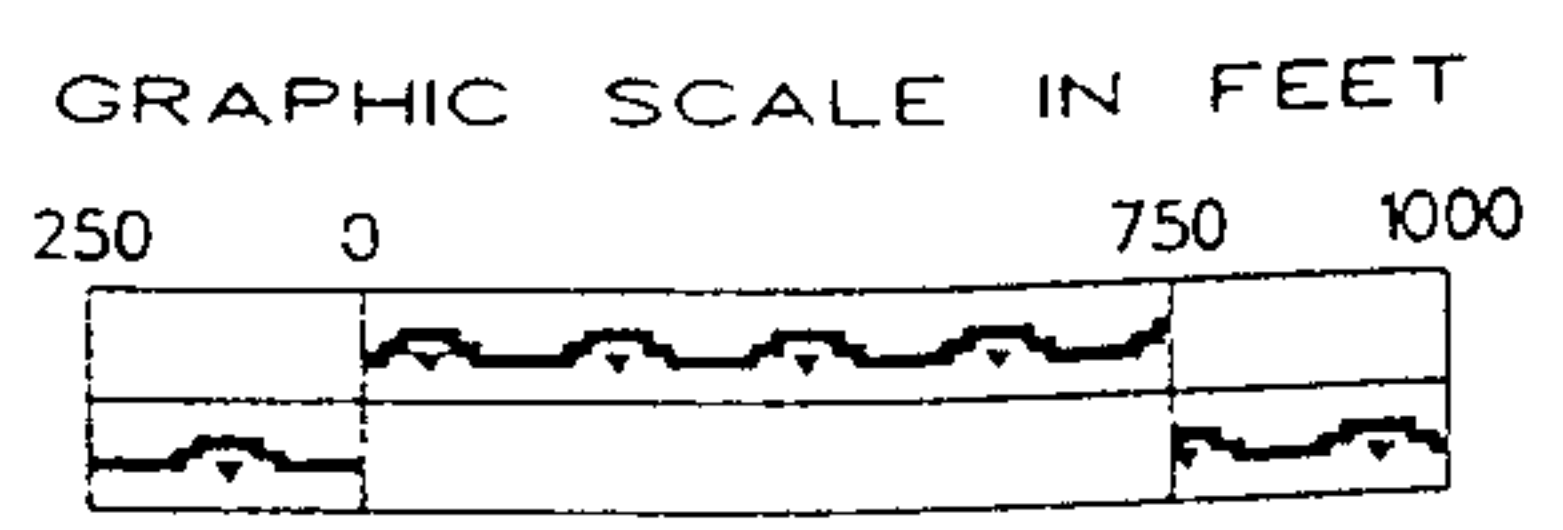
for 
Victor J. Chavez
Planning Director

VJC/LB/nat

cc: Claudio Vigil Architects, 1801 Rio Grande Blvd. NW, Suite 2, Albuquerque, NM 87104



CITY OF
Albuquerque
A Geographic Information System
PLANNING DEPARTMENT
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Zone Atlas Page

H-11-Z

Map Amended through July 28, 2000