

VICINITY MAP SCALE: 1"=750' ZONE ATLAS: E-12

SUBDIVISION DATA

GROSS ACREAGE 6.7266 Acres
 ZONE ATLAS NO. E-12-Z
 NO. OF EXISTING TRACTS 2
 NO. OF LOTS/TRACTS/PARCELS CREATED 2 TRACTS
 NO. OF TRACTS ELIMINATED 2
 MILES OF FULL WIDTH STREETS CREATED 0.00
 AREA DEDICATED TO CITY OF ALBUQUERQUE 0.0000 Acres
 DATE OF SURVEY MAY, 2005
 ZONING C-2
 UTILITY CONTROL LOCATION SYSTEM LOG NUMBER 2004402871

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power, water, sewer and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNER: Walgreens Hastings Co.
 BY: Robert M. Silverman
 TITLE: Vice-president

Robert M. Silverman

 DATE

OWNER'S ACKNOWLEDGMENT

STATE OF ILLINOIS
 COUNTY OF SS

This instrument was acknowledged before me on July 25th 2005
 By Robert M. Silverman, Vice-President, Walgreens Hastings Co. a Nebraska Corporation on behalf of said corporation

Stephane A. Collins

 NOTARY PUBLIC 3/26/05 MY COMMISSION EXPIRES

"OFFICIAL SEAL"
 SUZANNE L. COLLINS
 NOTARY PUBLIC, STATE OF ILLINOIS
 MY COMMISSION EXPIRES 3/25/2006

PURPOSE OF PLAT

- To adjust lot lines as shown hereon.
- To vacate easements as shown hereon.
- To grant easements as shown hereon.

DESCRIPTION

A tract of land within Section 25, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of of PARCEL 5-A1-B, LANDS OF JOEL P. TAYLOR as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 13, 2003 in Book 2003C Page 132 together with all of PARCEL 5-A2-A, LANDS OF JOEL P. TAYLOR as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 29, 2001 in Book 2001C Page 183 and containing 6.7266 acres more or less.

NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:
 PLAT OF "LANDS OF JOEL P. TAYLOR, PARCELS 5-A1-A & 5-A1-B", (05-13-03, 03C-132)
 PLAT OF "LANDS OF JOEL P. TAYLOR, PARCELS 4-A1, 5-A1 & 5-A2", (12-30-87, C35-107)
 PLAT OF "LANDS OF JOEL P. TAYLOR, PARCEL 5-A2-A", (06-29-01, 01C-183)
 all being records of Bernalillo County, New Mexico.
- Field Survey performed on August, 2001.
- UTILITY COUNCIL LOCATION SYSTEM LOG NO.: 2004402871
- Title Report: prepared by LandAmerica Albuquerque Title, File No. 25158BB (effective date 03-08-05).
- City of Albuquerque, New Mexico Zone: C-2 (SC)
- Flood Zone Designation: Zone X, as shown on Panel 118 of 825, Flood Insurance Rate Map, City of Albuquerque, Bernalillo County, New Mexico, dated September 20, 1996. (This Property does not lie within the 100 Year Flood Plain.)

OWNER: JPS LLC
 BY: Steve Maestas
 TITLE: Manager

Steve Maestas

 DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on 5/18/05
 By Steve Maestas, Manager, JPS LLC
 A New Mexico Corporation on behalf of said corporation

Christina M. Dylski

 NOTARY PUBLIC 9-29-08 MY COMMISSION EXPIRES

OFFICIAL SEAL
 CHRISTINA M. DYLSKI
 Notary Public
 State of New Mexico
 My Commission Expires 9/29/08

ALDRICH LAND SURVEYING

P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990
 F:\A04\JOBS\A4028\plat\base.dwg - COVER (05/17/05) SPS

*Reviewed & Signed
 PROJ
 1001770*

LANDS OF JOEL P. TAYLOR
 TRACTS 5-A1-B-1 AND 5-A2-A-1
 WITHIN
 SECTION 25
 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2005

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: _____

Application Number: _____

PLAT APPROVAL

Utility Approvals:

PRELIMINARY PLAT
 APPROVED BY DRB
 ON _____

PNM Electric Services _____ Date _____

PNM Gas Services _____ Date _____

Qwest _____ Date 7-13-05

Comcast _____ Date 7-13-05

City Approvals:

 City Surveyor _____ Date 7-28-05

Real Property Division _____ Date _____

Traffic Engineering, Transportation Division _____ Date _____

Albuquerque-Bernalillo County Water Utility Authority _____ Date _____

Parks and Recreation Department _____ Date _____

AMAFCA _____ Date _____

City Engineer _____ Date _____

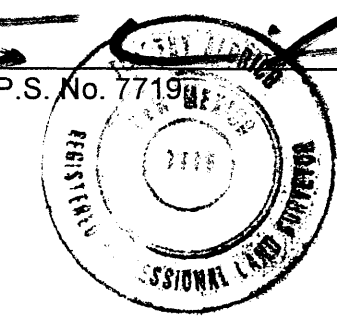
DRB Chairperson, Planning Department _____ Date _____

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich

 Timothy Aldrich P.S. No. 7719 _____ Date 07-13-05



Dwg: base.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 1 of 2
Scale: N/A	Date: 05/17/05	Job: A04028	

LANDS OF JOEL P. TAYLOR
TRACTS 5-A1-B-1 AND 5-A2-A-1

WITHIN
SECTION 25
TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY, 2005

ACS MONUMENT
"NM448-N6-A"
Y=1,507,308.30
X=366640.72
G-G=0.9996784
 $\Delta\alpha=-00^{\circ}15'24''$
CENTRAL ZONE
(NAD 1927/SLD 1929)
ELEVATION=5058.889

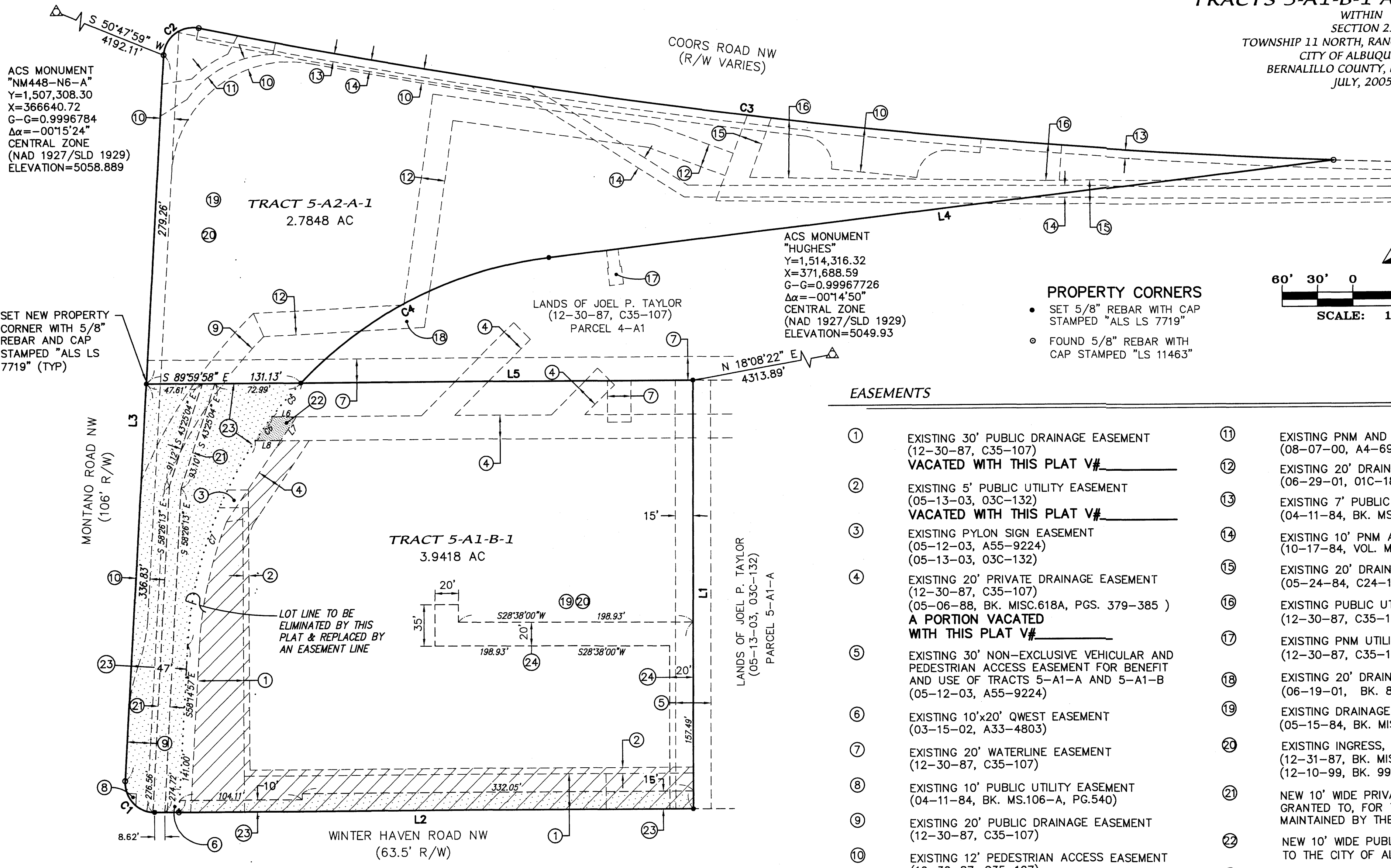
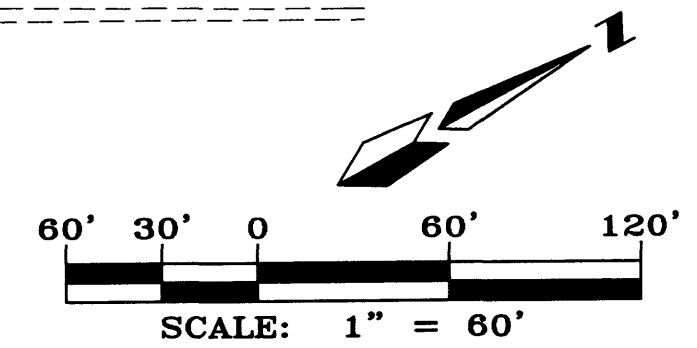
COORS ROAD NW
(R/W VARIES)

SET NEW PROPERTY
CORNER WITH 5/8"
REBAR AND CAP
STAMPED "ALS LS
7719" (TYP)

ACS MONUMENT
"HUGHES"
Y=1,514,316.32
X=371,688.59
G-G=0.99967726
 $\Delta\alpha=-00^{\circ}14'50''$
CENTRAL ZONE
(NAD 1927/SLD 1929)
ELEVATION=5049.93

PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP STAMPED "ALS LS 7719"
- FOUND 5/8" REBAR WITH CAP STAMPED "LS 11463"



EASEMENTS

- | | | | |
|---|--|---|---|
| ① | EXISTING 30' PUBLIC DRAINAGE EASEMENT (12-30-87, C35-107)
VACATED WITH THIS PLAT V# _____ | ⑪ | EXISTING PNM AND GAS EASEMENT (08-07-00, A4-696) |
| ② | EXISTING 5' PUBLIC UTILITY EASEMENT (05-13-03, O3C-132)
VACATED WITH THIS PLAT V# _____ | ⑫ | EXISTING 20' DRAINAGE EASEMENT (06-29-01, O1C-183) |
| ③ | EXISTING PYLON SIGN EASEMENT (05-12-03, A55-9224)
(05-13-03, O3C-132) | ⑬ | EXISTING 7' PUBLIC UTILITY EASEMENT (04-11-84, BK. MS.106-A, PGS.538-539) |
| ④ | EXISTING 20' PRIVATE DRAINAGE EASEMENT (12-30-87, C35-107)
(05-06-88, BK. MISC.618A, PGS. 379-385)
A PORTION VACATED WITH THIS PLAT V# _____ | ⑭ | EXISTING 10' PNM AND MOUNTAIN BELL EASEMENT (10-17-84, VOL. MS.165-A, FOL.400-401) |
| ⑤ | EXISTING 30' NON-EXCLUSIVE VEHICULAR AND PEDESTRIAN ACCESS EASEMENT FOR BENEFIT AND USE OF TRACTS 5-A1-A AND 5-A1-B (05-12-03, A55-9224) | ⑮ | EXISTING 20' DRAINAGE EASEMENT (05-24-84, C24-18) |
| ⑥ | EXISTING 10'x20' QWEST EASEMENT (03-15-02, A33-4803) | ⑯ | EXISTING PUBLIC UTILITY EASEMENT (12-30-87, C35-107) |
| ⑦ | EXISTING 20' WATERLINE EASEMENT (12-30-87, C35-107) | ⑰ | EXISTING PNM UTILITY EASEMENT (12-30-87, C35-107) |
| ⑧ | EXISTING 10' PUBLIC UTILITY EASEMENT (04-11-84, BK. MS.106-A, PG.540) | ⑱ | EXISTING 20' DRAINAGE EASEMENT (06-19-01, BK. 820, PG. 8688 DOC. 2001070305) |
| ⑨ | EXISTING 20' PUBLIC DRAINAGE EASEMENT (12-30-87, C35-107) | ⑳ | EXISTING DRAINAGE COVENANT (05-15-84, BK. MISC. 116A, PG. 326-329) |
| ⑩ | EXISTING 12' PEDESTRIAN ACCESS EASEMENT (12-30-87, C35-107)
(08-07-00, A8-6622) | ㉑ | EXISTING INGRESS, EGRESS AND PARKING EASEMENT (12-31-87, BK. MISC. 573A, PG. 242-256)
(12-10-99, BK. 9916, PG. 1453) |
| | | ㉒ | NEW 10' WIDE PRIVATE SANITARY SEWER EASEMENT GRANTED TO, FOR THE BENEFIT OF, AND TO BE MAINTAINED BY THE OWNER OF TRACT 5-A2-A-1. |
| | | ㉓ | NEW 10' WIDE PUBLIC DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT. |
| | | ㉔ | NEW PUBLIC DRAINAGE EASEMENT GRANTED TO THE C.O.A. BY THIS PLAT. |
| | | | NEW PUBLIC WATERLINE EASEMENT GRANTED TO THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY (A.B.C.W.U.A.). BY THIS PLAT. |

CURVE DATA

NUMBER	ARC LENGTH	RADIUS	DELTA ANGLE	TANGENT	CHORD DIRECTION	CHORD LENGTH
C1	40.75'	25.00'	93°23'15"	26.52'	S 75°03'12" W	36.38'
C2	42.92'	25.00'	98°22'33"	28.95'	N 09°03'54" W	37.84'
C3	971.05'	5807.58'	09°34'48"	486.66'	N 35°19'58" E	969.92'
C4	240.31'	350.00'	39°20'23"	125.11'	S 01°55'34" W	235.62'
C5	38.01'	350.00'	6°13'22"	19.02'	S 20°51'19" E	37.99'
C6	24.62'	350.00'	4°01'49"	12.32'	S 25°58'54" E	24.62'
C7	184.80'	350.00'	30°15'08"	94.61'	S 43°07'23" E	182.66'

LINE DATA

NUMBER	DIRECTION	DISTANCE
L1	S 61°23'55" E	362.72'
L2	S 28°21'34" W	457.25'
L3	N 58°15'11" W	616.09'
L4	S 21°35'45" W	671.86'
L5	N 28°21'34" E	346.28'
L6	N 28°21'34" E	21.04'
L7	S 27°27'26" E	24.18'
L8	S 28°21'34" W	21.81'

- ⑳ AREA OF NEW PRIVATE DRAINAGE EASEMENT TO BE MAINTAINED BY THE OWNERS OF TRACT 5-A1-B-1
- ㉑ AREA OF NEW PUBLIC DRAINAGE EASEMENT GRANTED TO C.O.A. BY THIS PLAT.
- ㉒ AREA OF VACATION



P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

Dwg: base.dwg	Drawn: RICHARD	Checked: ALS	Sheet 2 of 2
Scale: AS SHOWN	Date: 07/27/05	Job: A04028	

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REDIVISION OF PARCELS "4-A" AND "5-A"
 (NOW COMPRISING PARCELS "4-A1", "5-A1" & "5-A2")
LANDS OF JOEL P. TAYLOR
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 MARCH, 1987

356 DEC 30 1987

RESERVED FOR COUNTY CLERK

DEDICATION AND CONSENT STATEMENT

The undersigned owners of the tract of land hereon shown: Parcels "4-A" and "5-A", LANDS OF JOEL P. TAYLOR, as said Parcels "4-A" and "5-A" are shown and designated on "Summary Replat showing Parcels "1-A", "2-A", "3-A", "4-A" and "5-A" of the Plat of LANDS OF JOEL P. TAYLOR situate within Section 25, T 11 N, R 2 E, N.M.P.M., Bernalillo County, New Mexico, April 1984", plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on May 24, 1984, in Volume C24, Folio 18 (NOW COMPRISING PARCELS "4-A1", "5-A1" & "5-A2"); do hereby consent to the redivision shown; in the manner hereon shown; grant any easement shown (for the purpose shown and noted), including rights of ingress and egress for construction, installation, and maintenance of service lines; and the right to trim interfering trees and shrubs; and hereby certify that this redivision is their free act and deed.

FOR PARCELS "4-A1", "5-A1" & "5-A2"

Joel P. Taylor
 JOEL P. TAYLOR

Nina Mae Taylor
 NINA MAE TAYLOR (HIS WIFE)

Don L. Killough
 DON L. KILLOUGH

Steve Johnson
 JOHNSON PROPERTIES, LTD.
 STEVE JOHNSON

NOTARY:
 STATE OF New Mexico)
 COUNTY OF Bernalillo) SS

The foregoing instrument was acknowledged before me a Notary Public in and for said County and State by the person(s) noted in the Affidavit appearing hereon on the

15th day of April, 1987
 YVONNE M. VILLES-CAS
 NOTARY PUBLIC
 STATE OF NEW MEXICO
 My Commission Expires: 8-24-87
 My Commission Expires

Yvonne M. Villescás
 Notary Public

<u>SP-87-430</u> Subdivision Plat No.	<u>DRB-87-202</u> DRB Case No.	<u>E-12</u> Zone Atlas Map No.	<u>✓</u> City County
<u>Jack Cloud</u> Chairman, Albuquerque/Bernalillo County Development Review Board	<u>12/30/87</u> Date	<u>Fred Vergara</u> A.M.A.F.C.A.	<u>12/30/87</u> Date
<u>Daniel W. Hama</u> Traffic Engineer	<u>12/4/87</u> Date	<u>Fred Vergara</u> City Engineer	<u>12/30/87</u> Date
<u>Jon E. Ertsgaard</u> Utilities Development Division City of Albuquerque Public Works	<u>5/5/87</u> Date	<u>John H. Stone</u> Parks & Recreation	<u>5-5-87</u> Date
<u>Walt Clark</u> City Surveyor	<u>042887</u> Date	<u>Rose Ellwell</u> Property Management	<u>5/5/87</u> Date
<u>John</u> Public Service Co. of N.M.	<u>12-3-87</u> Date	<u>Brent Hunt</u> Mountain States Telephone & Telegraph Co.	<u>5-6-87</u> Date
<u>Joe Dunlap</u> Gas Company of N.M.	<u>11-19-87</u> Date		

SURVEYOR'S CERTIFICATION

I, FRED SANCHEZ, a duly qualified land surveyor registered under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my direct supervision, shows all easements made known to me by the owner, utility companies, or other parties expressing an interest and that the survey meets the minimum requirements for monumentation and surveys of the City of Albuquerque Subdivision Ordinance and is true and correct to the best of my knowledge and belief.

Fred Sanchez
 FRED SANCHEZ, N.M.L.S. NO. 4078

2-5-87
 DATE

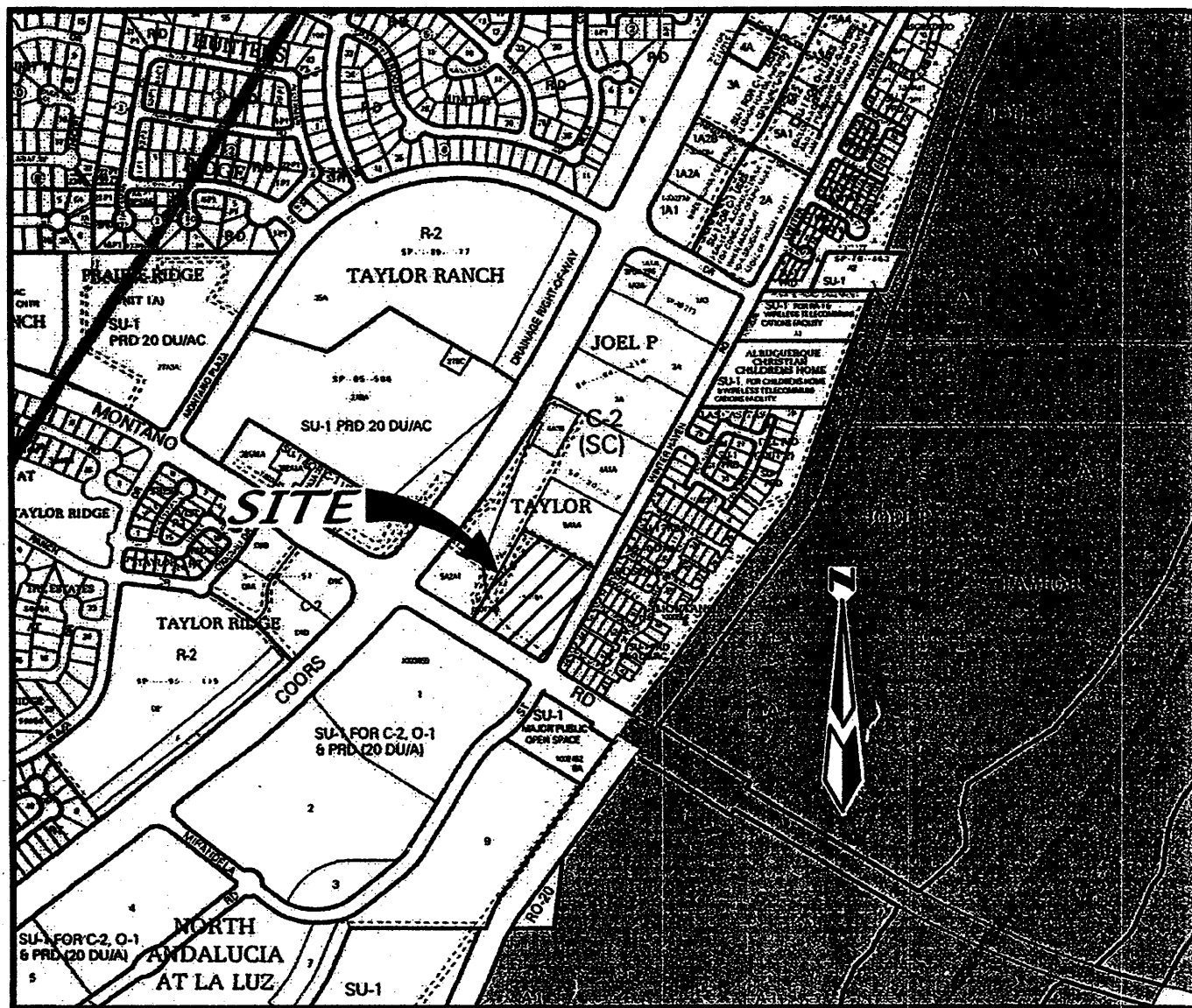


NOTARY:
 STATE OF New Mexico) SS
 COUNTY OF Bernalillo)

The foregoing instrument was acknowledged before me a Notary Public in and for said County and State by the person(s) noted in the Affidavit appearing hereon on the 15th day of April, 1987

Yvonne M. Villescás
 NOTARY PUBLIC
 STATE OF NEW MEXICO
 My Commission Expires: 8-24-87
 My Commission Expires

Yvonne M. Villescás
 Notary Public



VICINITY MAP SCALE: 1"=750' ZONE ATLAS: E-12

SUBDIVISION DATA

GROSS ACREAGE 3.9418 Acres
 ZONE ATLAS NO. E-12-Z
 NO. OF EXISTING TRACTS 1 TRACT
 NO. OF TRACTS CREATED 2
 NO. OF TRACTS ELIMINATED 1
 MILES OF FULL WIDTH STREETS CREATED 0.0
 AREA DEDICATED TO CITY OF ALBUQUERQUE 0.0016 Acres
 DATE OF SURVEY May, 2008
 ZONING C-2(SC)
 UTILITY CONTROL LOCATION SYSTEM LOG NUMBER 2008301948

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional public right of way shown hereon to the City of Albuquerque in fee simple with warranty covenants and said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNER: JPS LLC
 BY: Steve Maestas
 TITLE: Managing Member

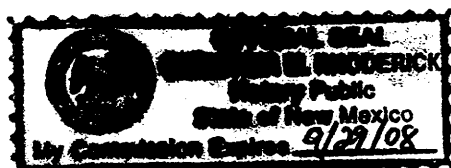
[Signature]
 8/1/08
 DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on August 7, 2008
 By Steve Maestas, Managing Member, JPS LLC
 A New Mexico Corporation on behalf of said corporation

Christina M. Rhodrich 9/29/08
 NOTARY PUBLIC MY COMMISSION EXPIRES



LEGAL DESCRIPTION

Tract 5-A1-B-1, Lands of Joel P. Taylor, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 22, 2005 in Book 2005C, Page 405 and containing 3.9418 acres more or less.

PURPOSE OF PLAT

1. SUBDIVIDE ONE (1) TRACT INTO TWO (2) TRACTS.
2. DEDICATE RIGHT-OF-WAY.

NOTES (SEE SHEET 2 OF 2)

PLAT FOR
 LANDS OF JOEL P. TAYLOR
 TRACTS 5-A1-B-1-A AND 5-A1-B-1-B
 WITHIN
 SECTION 25
 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 August, 2008

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1001770

Application Number: 08DRB-70389

PLAT APPROVAL

Utility Approvals:

<i>[Signature]</i> PNM Electric Services	8-13-08 Date
<i>[Signature]</i> PNM Gas Services	8-13-08 Date
<i>[Signature]</i> Qwest Telecommunications	8/14/08 Date
<i>[Signature]</i> Comcast	8-13-08 Date

City Approvals:

<i>[Signature]</i> City Surveyor	8-13-08 Date
N/A Real Property Division	Date
<i>[Signature]</i> Traffic Engineering, Transportation Division	9/24/08 Date
<i>[Signature]</i> Albuquerque Bernalillo Water Utility Authority	10-2-08 Date
<i>[Signature]</i> Parks and Recreation Department	9/24/08 Date
<i>[Signature]</i> AMAFCA	9/24/08 Date
<i>[Signature]</i> City Engineer	9/24/08 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	10-2-08 Date

SURVEYOR'S CERTIFICATION:

"I, Will W. Plotner Jr., a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

[Signature]
 Will W. Plotner Jr. R.P.S. No. 14271 8/13/08
 Date



CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244

Dwg: A08031_FP.dwg	Drawn: Stephen	Checked: WWP	Sheet 1 of 2
Scale: AS SHOWN	Date: 8/1/2008	Job: A08031	

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 10/07/2008 10:06 AM Page: 1 of 2
 ityPLAT R:512.00 B: 2005C P: 0219 M. Toulouse Olivere, Bernalillo Cou

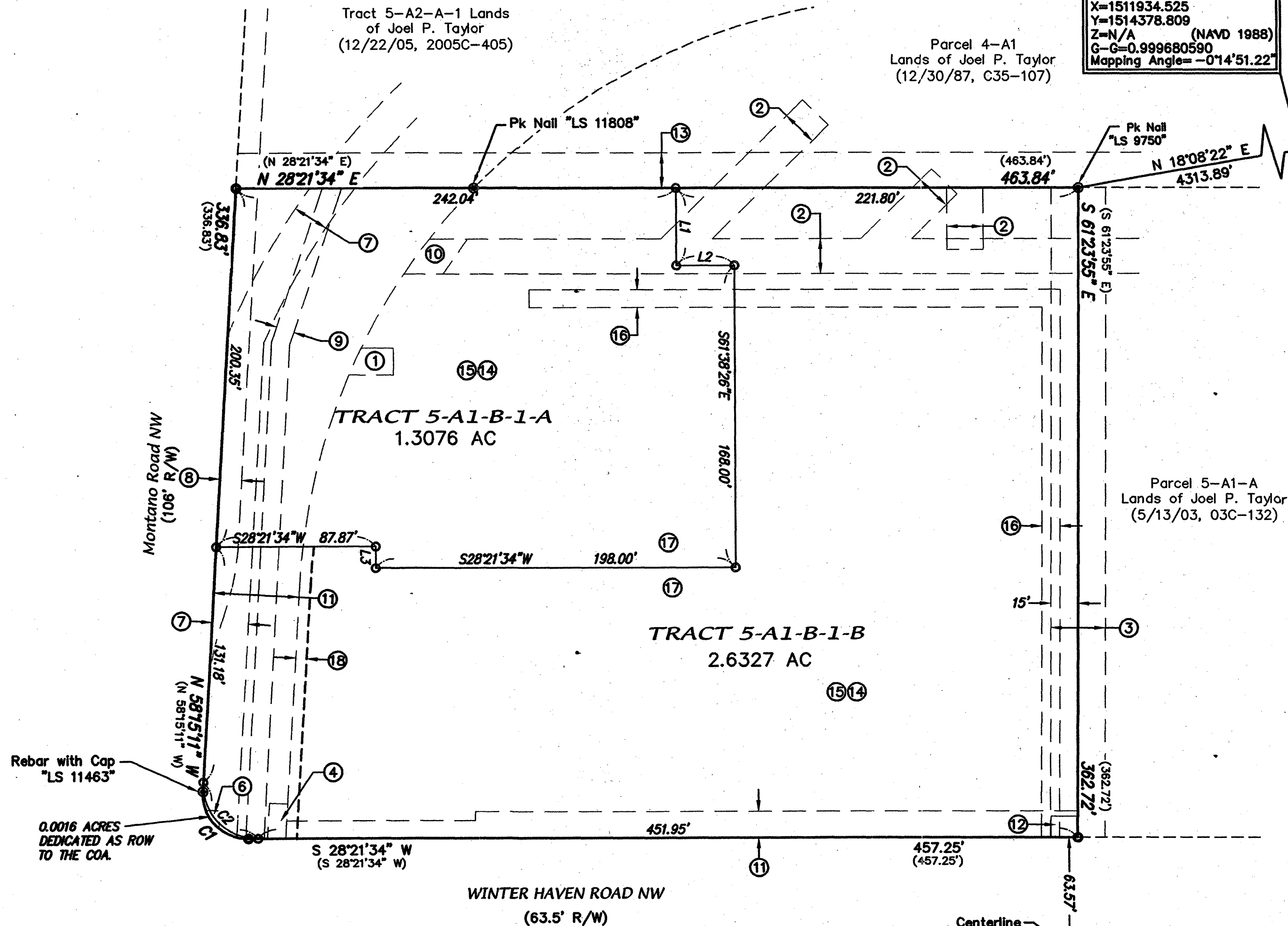
PLAT FOR
LANDS OF JOEL P. TAYLOR
TRACTS 5-A1-B-1-A AND 5-A1-B-1-B
 WITHIN
 SECTION 25
 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 October, 2008

NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- All Distances are ground distances: U.S. Survey Foot.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:
 PLAT OF "LANDS OF JOEL P. TAYLOR, TRACTS 5-A1-B-1 AND 5-A2-A-1", (12-22-05, 2005C-405)
 PLAT OF "LANDS OF JOEL P. TAYLOR, PARCELS 5-A1-A & 5-A1-B", (05-13-03, 03C-132)
 PLAT OF "LANDS OF JOEL P. TAYLOR, PARCELS 4-A1, 5-A1 & 5-A2", (12-30-87, C35-107)
 PLAT OF "LANDS OF JOEL P. TAYLOR, PARCEL 5-A2-A", (06-29-01, 01C-183)
 all being records of Bernalillo County, New Mexico.
- Field Survey performed on May, 2008.
- Utility Council Location System Log No.: 2008301948
- City of Albuquerque, New Mexico Zone: C-2 (SC)
- SOLAR NOTE:** No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat.

Easement Notes

- EXISTING PYLON SIGN EASEMENT (5/12/03, A55-9224) (5/13/03, 03C-132)
- EXISTING 20' PRIVATE DRAINAGE EASEMENT (12/30/87, C35-107) (5/6/88, BK. MISC. 618A, PG. 379-385)
- EXISTING 30' NON-EXCLUSIVE VEHICULAR AND PEDESTRIAN ACCESS EASEMENT FOR BENEFIT AND USE OF TRACTS 5-A1-A AND 5-A1-B (5/12/03, A55-9224)
- EXISTING 10' X 20' QWEST EASEMENT (3/15/02, A33-4803)
- EXISTING 20' WATERLINE EASEMENT (12/30/87, C35-107)
- EXISTING 10' PUBLIC UTILITY EASEMENT (4/11/84, BK. MISC. 106-A, PG. 540)
- EXISTING 20' PUBLIC DRAINAGE EASEMENT (12/30/87, C35-107)
- EXISTING 12' PEDESTRIAN ACCESS EASEMENT (12/30/87, C35-107) (8/7/00, A8-6622)
- EXISTING 10' PRIVATE SANITARY SEWER EASEMENT FOR THE BENEFIT OF AND TO BE MAINTAINED BY THE OWNER OF TRACT 5-A2-A-1 (12/22/05, 2005C-405)
- EXISTING 10' PRIVATE DRAINAGE EASEMENT, TO BE OWNED AND MAINTAINED BY THE OWNERS OF TRACT 5-A1-B-1 (12/22/05, 2005C-405)
- EXISTING PUBLIC DRAINAGE EASEMENT (12/22/05, 2005C-405)
- EXISTING 12' X 14.7' PEDESTRIAN ACCESS EASEMENT (12/22/05, 2005C-405)
- EXISTING 20' WATERLINE EASEMENT (12/30/87, C35-107)
- ACCESS AND DEVELOPMENT AGREEMENTS (5/15/91, BK. BCR91-8, PG. 4301, DOC. NO. 91038173)
- MUTUAL, NON-EXCLUSIVE, INGRESS AND EGRESS EASEMENTS (12/31/87, BK. MISC. 573A, PG. 242, DOC. NO. 87-130544) AND REFLECTED IN THE INGRESS, EGRESS AND PARKING EASEMENT (8/23/83, BK. MISC. 41-A, PG. 509-528, DOC. NO. 83-57013)
- EXISTING 10' PNM, GAS & ELECTRIC EASEMENT (8/18/06, DOC. NO. 2006125208) (8/18/06, DOC. NO. 2006125219)
- NEW RECIPROCAL CROSS LOT ACCESS AND DRAINAGE EASEMENT SHALL BE GRANTED TO TRACTS 5-A1-B-1-A AND 5-A1-B-1-B BY THIS PLAT.
- NEW 6' PRIVATE WATER AND SEWER EASEMENT GRANTED TO AND TO BE MAINTAINED BY TRACT 5-A1-B-1-A BY THIS PLAT.

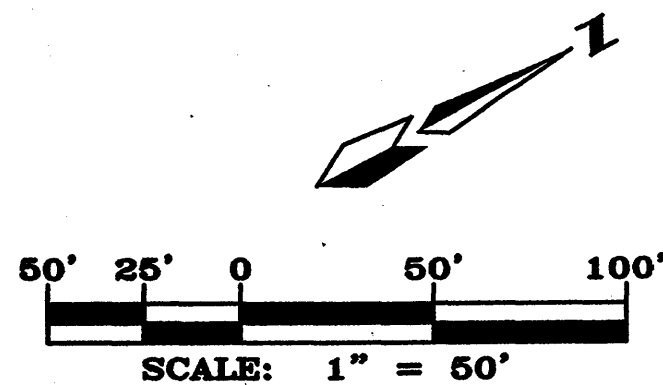


CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING=	CH-DIST=
C1	40.75(40.75')	25.00 (25.00')	93°23'15"	26.41	S75°03'11"W	36.38
C2	48.90	30.00	93°23'16"	31.83	S75°03'12"W	43.66

LINE TABLE		
LINE	BEARING	LENGTH
L1	S61°38'26"E	44.00
L2	N28°21'34"E	32.00
L3	N61°38'26"W	12.00

LEGEND

- MONUMENT FOUND AS INDICATED
- CORNER SET PK NAIL WITH TAG "14271"

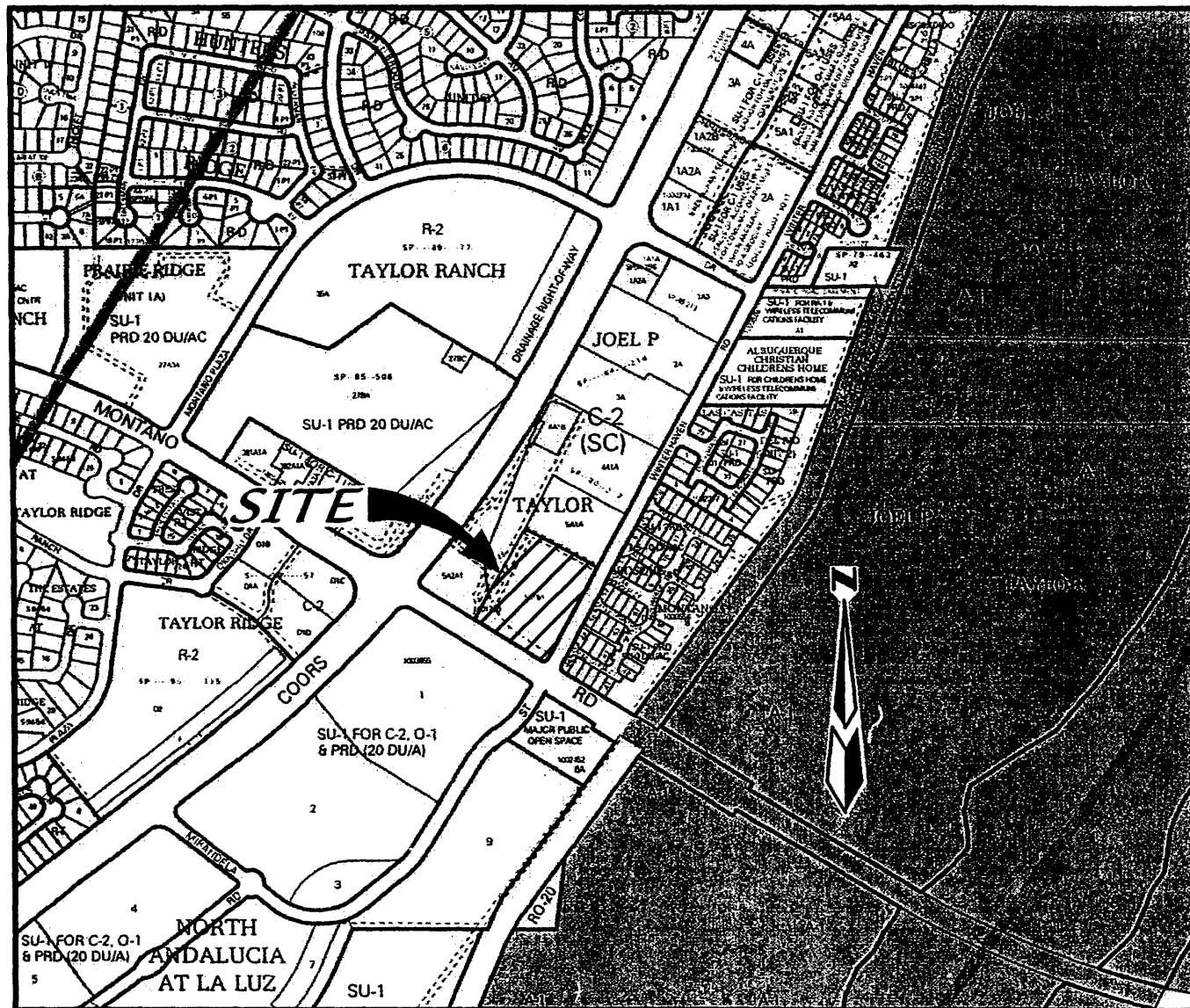


DOC# 2008110257
 10/07/2008 10:06 AM Page: 2 of 2
 City: PLAT 5-12-08 B. 2008C P. 0219 N. Toulouse Olivere, Bernalillo Cour



CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244



VICINITY MAP SCALE: 1" = 750' ZONE ATLAS: E-12

SUBDIVISION DATA

GROSS ACREAGE	3.9418 Acres
ZONE ATLAS NO.	E-12-Z
NO. OF EXISTING TRACTS	1 TRACT
NO. OF TRACTS CREATED	2
NO. OF TRACTS ELIMINATED	1
MILES OF FULL WIDTH STREETS CREATED	0.0
AREA DEDICATED TO CITY OF ALBUQUERQUE	0.0016 Acres
DATE OF SURVEY	May, 2008
ZONING	C-2(SC)
UTILITY CONTROL LOCATION SYSTEM LOG NUMBER	2008301948

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional public right of way shown hereon to the City of Albuquerque in fee simple with warranty covenants and said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNER: JPS LLC
 BY: Steve Maestas
 TITLE: Managing Member

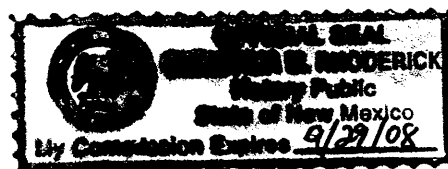
8/1/08
 DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on August 7, 2008
 By Steve Maestas, Managing Member, JPS LLC
 A New Mexico Corporation on behalf of said corporation

Christina M. Rhodnick 9/29/08
 NOTARY PUBLIC MY COMMISSION EXPIRES



LEGAL DESCRIPTION

Tract 5-A1-B-1, Lands of Joel P. Taylor, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 22, 2005 in Book 2005C, Page 405 and containing 3.9418 acres more or less.

PURPOSE OF PLAT

1. SUBDIVIDE ONE (1) TRACT INTO TWO (2) TRACTS.
2. DEDICATE RIGHT-OF-WAY.

NOTES (SEE SHEET 2 OF 2)

PLAT FOR
 LANDS OF JOEL P. TAYLOR
 TRACTS 5-A1-B-1-A AND 5-A1-B-1-B
 WITHIN
 SECTION 25
 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 August, 2008

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: _____

Application Number: _____

PLAT APPROVAL

Utility Approvals:

	8-13-08
PNM Electric Services	Date
	8-13-08
PNM Gas Services	Date
	8/14/08
Qwest Telecommunications	Date
	8-13-08
Comcast	Date

City Approvals:

 City Surveyor 8-13-08
 Date

Real Property Division	Date
Traffic Engineering, Transportation Division	Date
Albuquerque Bernalillo Water Utility Authority	Date
Parks and Recreation Department	Date
AMAFCA	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date

SURVEYOR'S CERTIFICATION:

"I, Will W. Plotner Jr., a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

8/13/08
 Will W. Plotner Jr. R.P.S. No. 14271 Date



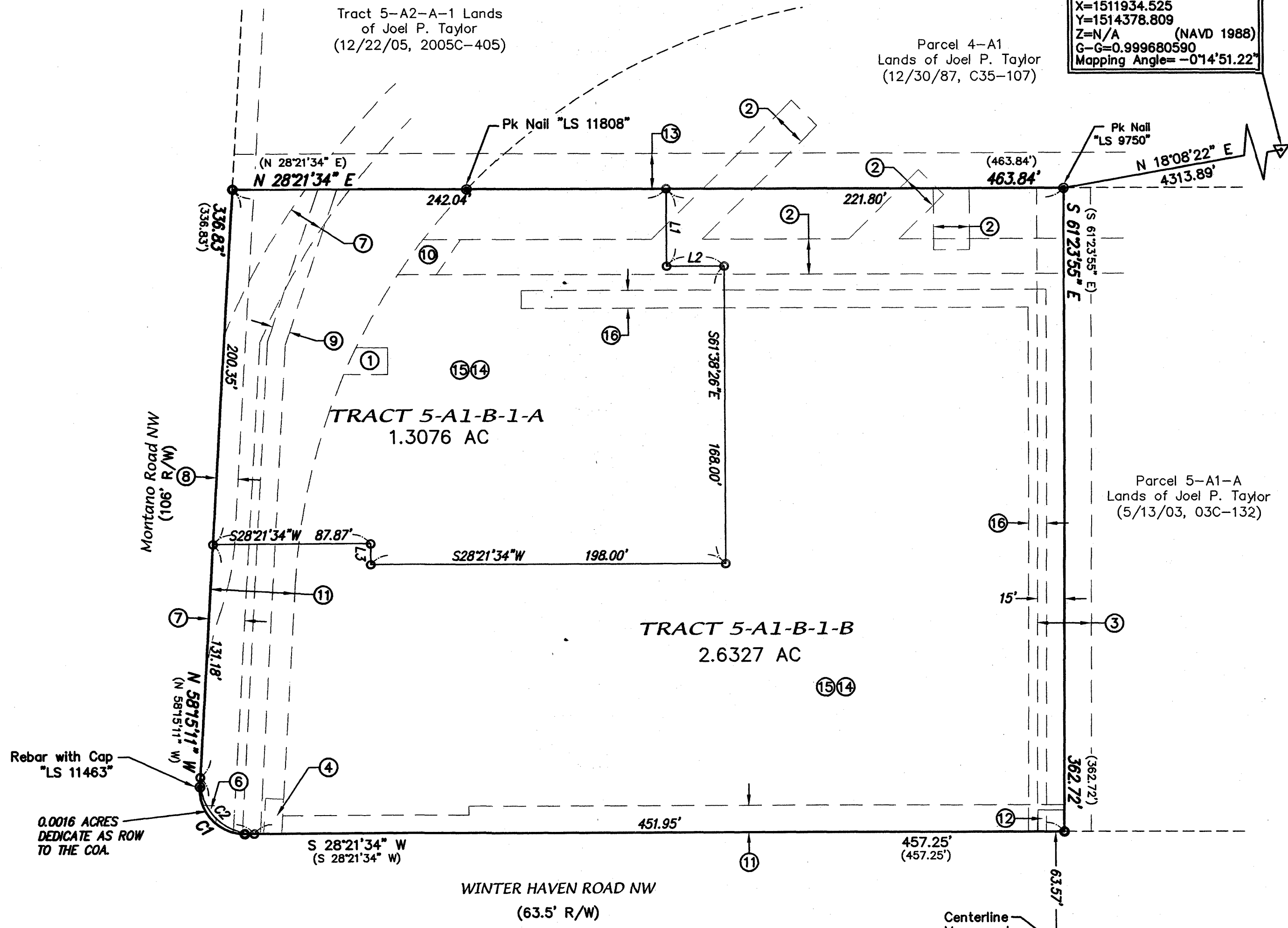
CARTESIAN SURVEYS INC.

P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244

Dwg: A08031_FP.dwg	Drawn: Stephen	Checked: WWP	Sheet 1 of 2
Scale: AS SHOWN	Date: 8/1/2008	Job: A08031	

PLAT FOR
 LANDS OF JOEL P. TAYLOR
 TRACTS 5-A1-B-1-A AND 5-A1-B-1-B
 WITHIN
 SECTION 25
 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 August, 2008

ACS Monument "HUGHES"
 NAD 1983 CENTRAL ZONE
 X=1511934.525
 Y=1514378.809
 Z=N/A (NAVD 1988)
 G=0.999680590
 Mapping Angle=-0°14'51.22"



NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- All Distances are ground distances: U.S. Survey Foot.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:
 PLAT OF "LANDS OF JOEL P. TAYLOR, TRACTS 5-A1-B-1 AND 5-A2-A-1", (12-22-05, 2005C-405)
 PLAT OF "LANDS OF JOEL P. TAYLOR, PARCELS 5-A1-A & 5-A1-B", (05-13-03, 03C-132)
 PLAT OF "LANDS OF JOEL P. TAYLOR, PARCELS 4-A1, 5-A1 & 5-A2", (12-30-87, C35-107)
 PLAT OF "LANDS OF JOEL P. TAYLOR, PARCEL 5-A2-A", (06-29-01, 01C-183)
 all being records of Bernalillo County, New Mexico.
- Field Survey performed on May, 2008.
- Utility Council Location System Log No.: 2008301948
- City of Albuquerque, New Mexico Zone: C-2 (SC)

Easement Notes

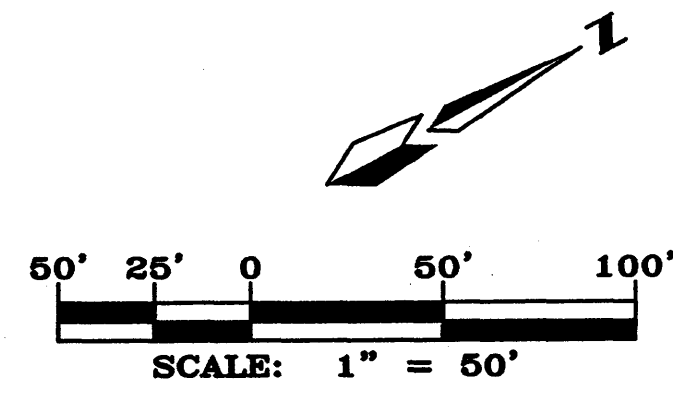
- EXISTING PYLON SIGN EASEMENT (5/12/03, A55-9224) (5/13/03, 03C-132)
- EXISTING 20' PRIVATE DRAINAGE EASEMENT (12/30/87, C35-107) (5/6/88, BK. MISC. 618A, PG. 379-385)
- EXISTING 30' NON-EXCLUSIVE VEHICULAR AND PEDESTRIAN ACCESS EASEMENT FOR BENEFIT AND USE OF TRACTS 5-A1-A AND 5-A1-B (5/12/03, A55-9224)
- EXISTING 10' X 20' QWEST EASEMENT (3/15/02, A33-4803)
- EXISTING 20' WATERLINE EASEMENT (12/30/87, C35-107)
- EXISTING 10' PUBLIC UTILITY EASEMENT (4/11/84, BK. MISC. 106-A, PG. 540)
- EXISTING 20' PUBLIC DRAINAGE EASEMENT (12/30/87, C35-107)
- EXISTING 12' PEDESTRIAN ACCESS EASEMENT (12/30/87, C35-107) (8/7/00, A8-6622)
- EXISTING 10' PRIVATE SANITARY SEWER EASEMENT FOR THE BENEFIT OF AND TO BE MAINTAINED BY THE OWNER OF TRACT 5-A2-A-1 (12/22/05, 2005C-405)
- EXISTING 10' PRIVATE DRAINAGE EASEMENT, TO BE OWNED AND MAINTAINED BY THE OWNERS OF TRACT 5-A1-B-1 (12/22/05, 2005C-405)
- EXISTING PUBLIC DRAINAGE EASEMENT (12/22/05, 2005C-405)
- EXISTING 12' X 14.7' PEDESTRIAN ACCESS EASEMENT (12/22/05, 2005C-405)
- EXISTING 20' WATERLINE EASEMENT (12/30/87, C35-107)
- ACCESS AND DEVELOPMENT AGREEMENTS (5/15/91, BK. BCR91-8, PG. 4301, DOC. NO. 91038173)
- MUTUAL, NON-EXCLUSIVE, INGRESS AND EGRESS EASEMENTS (12/31/87, BK. MISC. 573A, PG. 242, DOC. NO. 87-130544) AND REFLECTED IN THE INGRESS, EGRESS AND PARKING EASEMENT (8/23/83, BK. MISC. 41-A, PG. 509-528, DOC. NO. 83-57013)
- EXISTING 10' PNM, GAS & ELECTRIC EASEMENT (8/18/06, DOC. NO. 2006125208) (8/18/06, DOC. NO. 2006125219)

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING=	CH-DIST=
C1	40.75(40.75)	25.00 (25.00)	93°23'15"	26.41	S75°03'11"W	36.38
C2	48.90	30.00	93°23'16"	31.83	S75°03'12"W	43.66

LINE TABLE		
LINE	BEARING	LENGTH
L1	S61°38'26"E	44.00
L2	N28°21'34"E	32.00
L3	N61°38'26"W	12.00

LEGEND

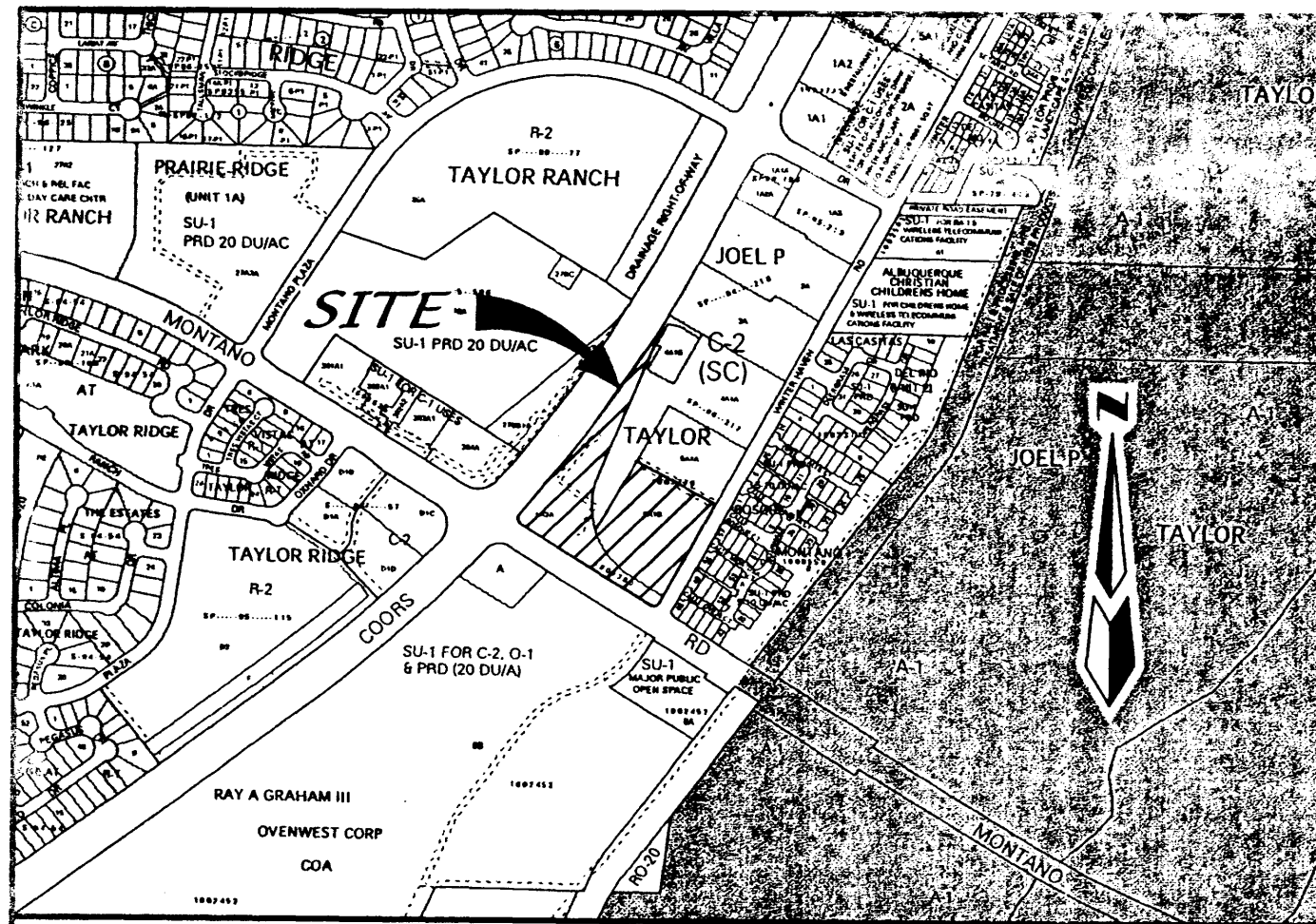
- MONUMENT FOUND AS INDICATED
- CORNER SET PK NAIL WITH TAG "14271"



CARTESIAN SURVEYS INC.
 P.O. BOX 44414 RIO RANCHO, N.M. 87174
 Phone (505) 896-3050 Fax (505) 891-0244

Dwg: A08031_FP.dwg	Drawn: Stephen	Checked: WWP	Sheet 2 of 2
Scale: AS SHOWN	Date: 8/1/2008	Job: A08031	

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PURPOSE OF PLAT

1. To adjust lot lines as shown hereon.
2. To vacate easements as shown hereon.
3. To grant easements as shown hereon.

DESCRIPTION

A tract of land within Section 25, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of of PARCEL 5-A1-B, LANDS OF JOEL P. TAYLOR as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 13, 2003 in Book 2003C Page 132 together with all of PARCEL 5-A2-A, LANDS OF JOEL P. TAYLOR as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 29, 2001 in Book 2001C Page 183 and containing 6.7266 acres more or less.

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary are the following plats of record entitled:
 PLAT OF "LANDS OF JOEL P. TAYLOR, PARCELS 5-A1-A & 5-A1-B", (05-13-03, 03C-132)
 PLAT OF "LANDS OF JOEL P. TAYLOR, PARCELS 4-A1, 5-A1 & 5-A2", (12-30-87, C35-107)
 PLAT OF "LANDS OF JOEL P. TAYLOR, PARCEL 5-A2-A", (06-29-01, 01C-183)
 all being records of Bernalillo County, New Mexico.
5. Field Survey performed on August, 2001.
6. UTILITY COUNCIL LOCATION SYSTEM LOG NO.: 2004402871
7. Title Report: prepared by LandAmerica Albuquerque Title, File No. 25158BB (effective date 03-08-05).
8. City of Albuquerque, New Mexico Zone: C-2 (SC)
9. Flood Zone Designation: Zone X, as shown on Panel 118 of 825, Flood Insurance Rate Map, City of Albuquerque, Bernalillo County, New Mexico, dated September 20, 1996. (This Property does not lie within the 100 Year Flood Plain.)

VICINITY MAP SCALE: 1"=750' ZONE ATLAS: E-12

SUBDIVISION DATA

GROSS ACREAGE	6.7266 Acres
ZONE ATLAS NO.	E-12-Z
NO. OF EXISTING TRACTS	2
NO. OF LOTS/TRACTS/PARCELS CREATED	2 TRACTS
NO. OF TRACTS ELIMINATED	2
MILES OF FULL WIDTH STREETS CREATED	0.00
AREA DEDICATED TO CITY OF ALBUQUERQUE	0.0000 Acres
DATE OF SURVEY	MAY, 2005
ZONING	C-2
UTILITY CONTROL LOCATION SYSTEM LOG NUMBER	2004402871

FREE CONSENT AND DEDICATION

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power, water, sewer and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

OWNER: Walgreens Hastings Co.
 BY: Robert M. Silverman
 TITLE: Vice-president

Robert M. Silverman

 DATE

OWNER'S ACKNOWLEDGMENT

STATE OF ILLINOIS
 COUNTY OF SS

This instrument was acknowledged before me on July 25th 2005
 By Robert M. Silverman, Vice-President, Walgreens Hastings Co. a Nebraska Corporation on behalf of said corporation

Stephanie Collins

 NOTARY PUBLIC MY COMMISSION EXPIRES 3/26/05



OWNER: JPS LLC
 BY: Steve Maestas
 TITLE: Manager

Steve Maestas

 DATE 5-18-2005

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on 5/18/05
 By Steve Maestas, Manager, JPS LLC
 A New Mexico Corporation on behalf of said corporation

Christina M. Dylski

 NOTARY PUBLIC MY COMMISSION EXPIRES 9-29-08



P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990
 F:\A04\JOBS\A4028\plat\base.dwg - COVER (05/17/05) SPS

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 10120622121604208/101206225515840210
 City of Albuquerque
 Walgreen Hastings Co.
 Bernalillo County Treasurer's Office
 Francisco Juarez 12/4/05

LANDS OF JOEL P. TAYLOR
 TRACTS 5-A1-B1 AND 5-A2-A1
 WITHIN SECTION 25
 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY, 2005

PROJ 1001770
 Planned & Filed
 10/30/06

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1001770
 Application Number: 05DRB-01232

PLAT APPROVAL

Utility Approvals:

<i>Leard D. Matus</i> PNM Electric Services	9-13-05 Date
<i>Leard D. Matus</i> PNM Gas Services	9-13-05 Date
<i>Marked by J</i> Qwest	7-13-05 Date
<i>Steve Barber</i> Comcast	7-13-05 Date

City Approvals:

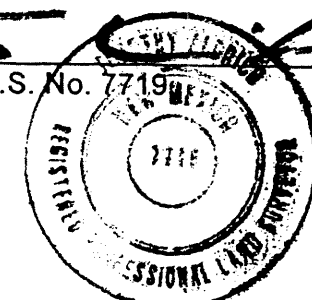
<i>M. B. Jant</i> City Surveyor	7-28-05 Date
<i>N/A</i> Real Property Division	12/21/06 Date
<i>Walt Soy</i> Traffic Engineering, Transportation Division	12-14-05 Date
<i>William J. Balch</i> Albuquerque-Bernalillo County Water Utility Authority	12/14/05 Date
<i>Christina Dandora</i> Parks and Recreation Department	12/14/05 Date
<i>Bradley D. Bingham</i> AMAFC	12/14/05 Date
<i>Bradley D. Bingham</i> City Engineer	12/21/05 Date
<i>Sherran Matson</i> DRB Chairperson, Planning Department	12/21/05 Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich

 Timothy Aldrich P.S. No. 7719
 07-13-05
 Date



Dwg: base.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 1 of 2
Scale: N/A	Date: 05/17/05	Job: A04028	

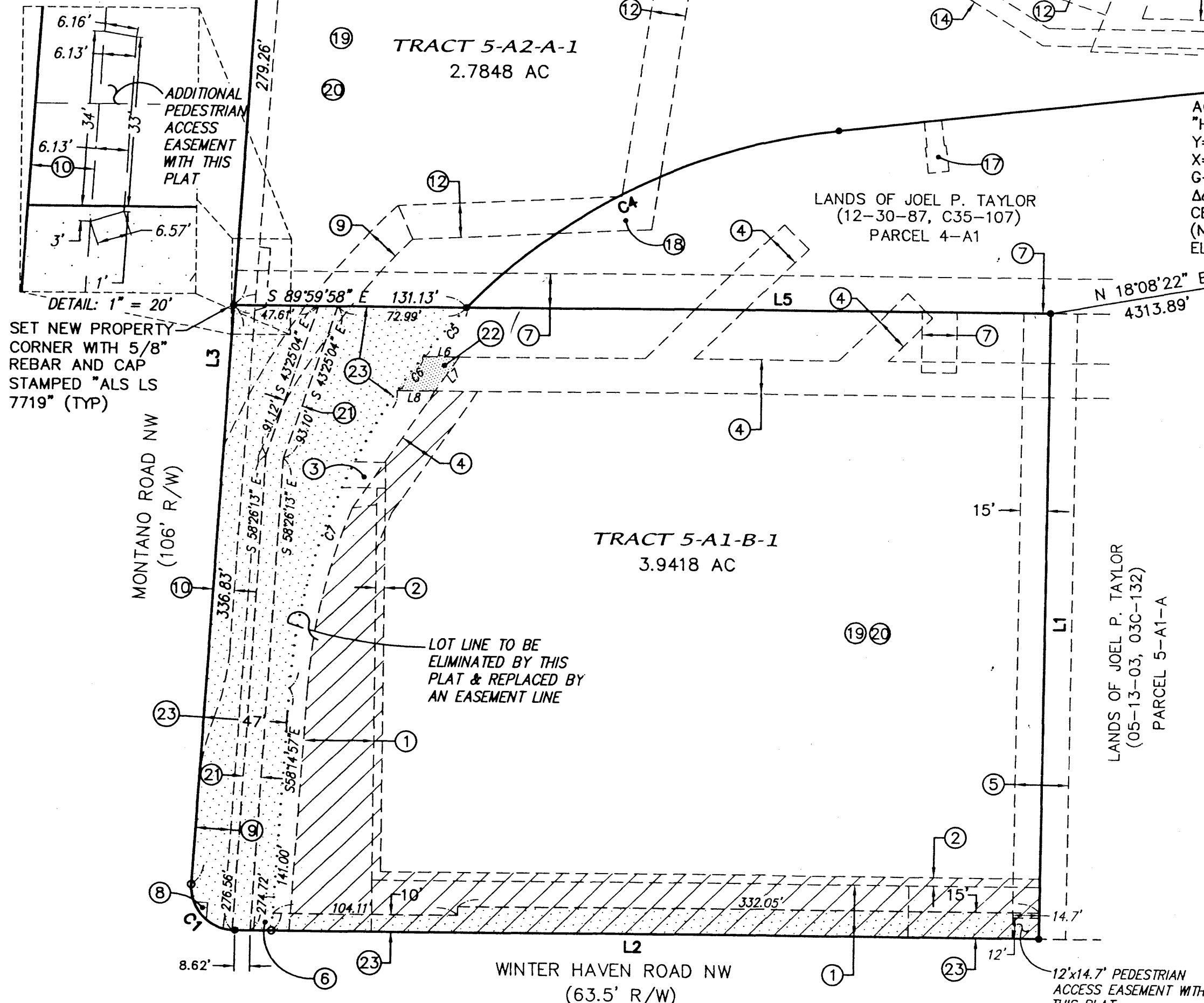
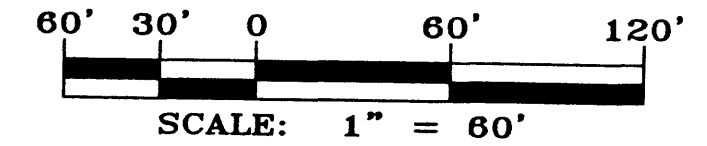
PLAT FOR
LANDS OF JOEL P. TAYLOR
TRACTS 5-A1-B-1 AND 5-A2-A-1
 WITHIN
 SECTION 25
 TOWNSHIP 11 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2005

ACS MONUMENT
 "NM448-N6-A"
 Y=1,507,308.30
 X=366640.72
 G-G=0.9996784
 $\Delta\alpha=-00^{\circ}15'24"$
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5058.889

ACS MONUMENT
 "HUGHES"
 Y=1,514,316.32
 X=371,688.59
 G-G=0.99967726
 $\Delta\alpha=-00^{\circ}14'50"$
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION=5049.93

PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP STAMPED "ALS LS 7719"
- FOUND 5/8" REBAR WITH CAP STAMPED "LS 11463"



EASEMENTS

- | | |
|---|---|
| <p>① EXISTING 30' PUBLIC DRAINAGE EASEMENT (12-30-87, C35-107)
VACATED 05DRB-01232</p> <p>② EXISTING 5' PUBLIC UTILITY EASEMENT (05-13-03, 03C-132)
VACATED 05DRB-01232</p> <p>③ EXISTING PYLON SIGN EASEMENT (05-12-03, A55-9224)
(05-13-03, 03C-132)</p> <p>④ EXISTING 20' PRIVATE DRAINAGE EASEMENT (12-30-87, C35-107)
(05-06-88, BK. MISC.618A, PGS. 379-385)
A PORTION VACATED
VACATED 05DRB-01232</p> <p>⑤ EXISTING 30' NON-EXCLUSIVE VEHICULAR AND PEDESTRIAN ACCESS EASEMENT FOR BENEFIT AND USE OF TRACTS 5-A1-A AND 5-A1-B (05-12-03, A55-9224)</p> <p>⑥ EXISTING 10'x20' QWEST EASEMENT (03-15-02, A33-4803)</p> <p>⑦ EXISTING 20' WATERLINE EASEMENT (12-30-87, C35-107)</p> <p>⑧ EXISTING 10' PUBLIC UTILITY EASEMENT (04-11-84, BK. MS.106-A, PG.540)</p> <p>⑨ EXISTING 20' PUBLIC DRAINAGE EASEMENT (12-30-87, C35-107)</p> <p>⑩ EXISTING 12' PEDESTRIAN ACCESS EASEMENT (12-30-87, C35-107)
(08-07-00, A8-6622)</p> | <p>⑪ EXISTING PNM AND GAS EASEMENT (08-07-00, A4-696)</p> <p>⑫ EXISTING 20' DRAINAGE EASEMENT (06-29-01, 01C-183)</p> <p>⑬ EXISTING 7' PUBLIC UTILITY EASEMENT (04-11-84, BK. MS.106-A, PGS.538-539)</p> <p>⑭ EXISTING 10' PNM AND MOUNTAIN BELL EASEMENT (10-17-84, VOL. MS.165-A, FOL.400-401)</p> <p>⑮ EXISTING 20' DRAINAGE EASEMENT (05-24-84, C24-18)</p> <p>⑯ EXISTING PUBLIC UTILITY EASEMENT (12-30-87, C35-107)</p> <p>⑰ EXISTING PNM UTILITY EASEMENT (12-30-87, C35-107)</p> <p>⑱ EXISTING 20' DRAINAGE EASEMENT (06-19-01, BK. 820, PG. 8688 DOC. 2001070305)</p> <p>⑲ EXISTING DRAINAGE COVENANT (05-15-84, BK. MISC. 116A, PG. 326-329)</p> <p>⑳ EXISTING INGRESS, EGRESS AND PARKING EASEMENT (12-31-87, BK. MISC. 573A, PG. 242-256)
(12-10-99, BK. 9916, PG. 1453)</p> <p>㉑ NEW 10' WIDE PRIVATE SANITARY SEWER EASEMENT GRANTED TO, FOR THE BENEFIT OF, AND TO BE MAINTAINED BY THE OWNER OF TRACT 5-A2-A-1.</p> <p>㉒ NEW 10' WIDE PRIVATE DRAINAGE EASEMENT GRANTED BY THIS PLAT TO BE OWNED AND MAINTAINED BY THE OWNERS OF TRACT 5-A1-B-1</p> <p>㉓ NEW PUBLIC DRAINAGE EASEMENT GRANTED TO THE C.O.A. BY THIS PLAT.</p> |
|---|---|

CURVE DATA

NUMBER	ARC LENGTH	RADIUS	DELTA ANGLE	TANGENT	CHORD DIRECTION	CHORD LENGTH
C1	40.75'	25.00'	93°23'15"	26.52'	S 75°03'12" W	36.38'
C2	42.92'	25.00'	98°22'33"	28.95'	N 09°03'54" W	37.84'
C3	971.05'	5807.58'	09°34'48"	486.66'	N 35°19'58" E	969.92'
C4	240.31'	350.00'	39°20'23"	125.11'	S 01°55'34" W	235.62'
C5	38.01'	350.00'	6°13'22"	19.02'	S 20°51'19" E	37.99'
C6	24.62'	350.00'	4°01'49"	12.32'	S 25°58'54" E	24.62'
C7	184.80'	350.00'	30°15'08"	94.61'	S 43°07'23" E	182.66'

LINE DATA

NUMBER	DIRECTION	DISTANCE
L1	S 61°23'55" E	362.72'
L2	S 28°21'34" W	457.25'
L3	N 58°15'11" W	616.09'
L4	S 21°35'45" W	671.86'
L5	N 28°21'34" E	346.28'
L6	N 28°21'34" E	21.04'
L7	S 27°27'26" E	24.18'
L8	S 28°21'34" W	21.81'

- ㉒ AREA OF NEW PRIVATE DRAINAGE EASEMENT TO BE MAINTAINED BY THE OWNERS OF TRACT 5-A1-B-1
- ㉓ AREA OF NEW PUBLIC DRAINAGE EASEMENT GRANTED TO C.O.A. BY THIS PLAT.
- AREA OF VACATION



2863879487
5862498
Page: 1 of 3
05/13/2003 08:36A
BK-2863C Pg-132
Mary Herrera Bern. Co. PLAT R 17.00

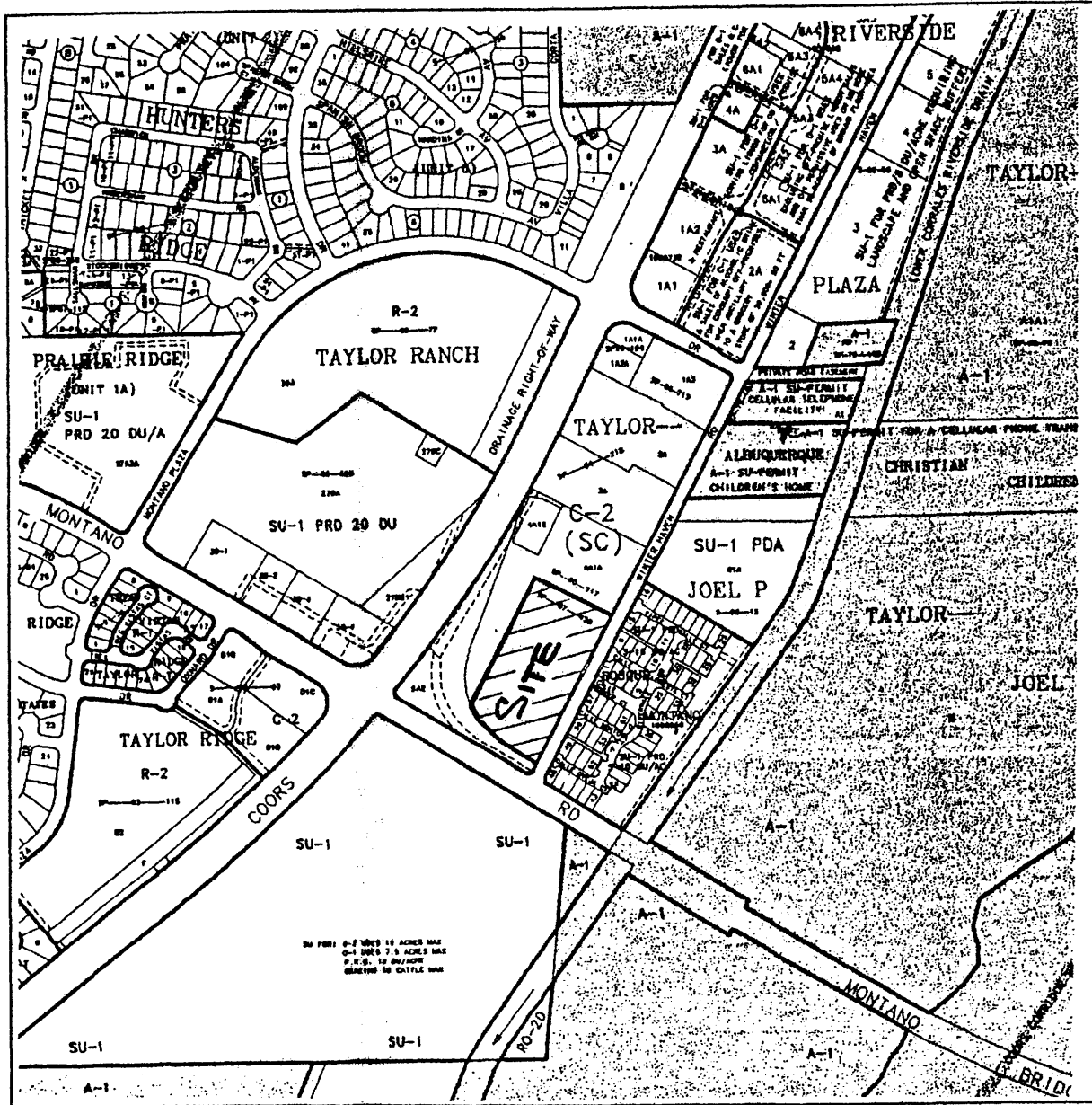
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1001770
Scanned & Posted
10/30/06

**PARCELS 5-A1-A AND 5-A1-B
LANDS OF JOEL P. TAYLOR**

WITHIN
SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN

**CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO**

MARCH, 2003



VICINITY MAP
N.T.S.

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

Bernalillo County Treasurer Date

APPROVALS

Leonard D. Marks 4-24-03
PNM Gas Services Date

Leonard D. Marks 4-24-03
PNM Electric Services Date

David R. Muller 7-28-03
QWest Corporation Date

Rita E. Sinks 4-24-03
Comcast Cable Date

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
2. PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. QWest Corporation for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
4. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

APPROVALS

Richard D. Danks 5-07-03
Traffic Engineer, City of Albuquerque
Public Works Department Date

W.B. Hat 4-21-03
City Surveyor, City of Albuquerque
Public Works Department Date

Roger A. Green 5-7-03
Utility Development Division, City of
Albuquerque Public Works Department Date

Richard D. Danks 5-07-03
Albuquerque Metropolitan Arroyo Flood
Control Authority Date

Buddy A. Bigham 5/7/03
City Engineer, City of Albuquerque
Public Works Department Date

N/A
Property Management, City of Albuquerque Date

Christina Sandoval 5/7/03
Parks and Recreation, City of Albuquerque

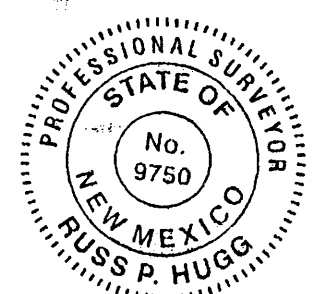
Sheren Matson 5/12/03
APPROVAL as specified by the Albuquerque Subdivision Ordinance.
Chair, Albuquerque Development Review Board Date

Project No. 1001770
Application No. 03DRB-00639

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Bernalillo County and City of Albuquerque Subdivision Ordinances; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

Russ P. Hugg
Russ P. Hugg
NMPS No. 9750
March 4, 2003



SHEET 1 OF 3

SURVOTEK, INC.

Consulting Surveyors
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

GENERAL NOTES

1. Bearings are grid based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 27). Grid bearings for this project are based upon a GPS Real Time Kinematic (RTK) calibration utilizing the following published Albuquerque Control Monuments: "NM-44B-NB", "NM-44B-N6A", "14-F13", "6-E13", "15-F13" and "7-E12".
- Project surface coordinates were derived by applying the published Combined ground to grid factor at "NM-44B-NB" of 0.99967854.
2. Distances are ground.
3. Distances along curved lines are arc lengths.
4. Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ().
5. All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
6. All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
7. City of Albuquerque Zone Atlas Page: E-12-Z
8. U.C.L.S. Log Number 2003110724.
9. Documents used in the preparation of this survey are as follows:
 - A. Plat entitled "REDIVISION OF PARCELS "4-A" AND "5-A" (COMPRISING PARCELS "4-A1", "5-A1" & "5-A2") LANDS OF JOEL P. TAYLOR", filed in the office of the County Clerk of Bernalillo County, New Mexico on December 30, 1987 in Volume C35, Folio 107.
 - B. Plat entitled "CORRECTED PLAT OF BOSQUE MONTANO SUBDIVISION" filed in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 2001 in Plat Book 2001C, Page 57.

DISCLOSURE STATEMENT

The Purpose of this replat is to: Divide existing Parcel 5-A1 into two (2) new tracts as shown hereon in conformance with the Site Plan for Subdivision; and grant the public utility easements as shown hereon.

LEGAL DESCRIPTION

That certain parcel of land situate within Section 25, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico comprising all of Parcel 5-A1, Lands of Joel P. Taylor as the same is shown and designated on the plat entitled "REDIVISION OF PARCELS "4-A" AND "5-A" (COMPRISING PARCELS "4-A1", "5-A1" & "5-A2") LANDS OF JOEL P. TAYLOR", filed in the office of the County Clerk of Bernalillo County, New Mexico on December 30, 1987 in Volume C35, Folio 107.

Said Parcel contains 5.6612 acres, more or less.

**PARCELS 5-A1-A AND 5-A1-B
LANDS OF JOEL P. TAYLOR**

WITHIN
SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN

**CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO**

MARCH, 2003

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now PARCELS 5-A1-A AND 5-A1-B, LANDS OF JOEL P. TAYLOR, WITHIN SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby grant to the use of the public forever the public utility easements as shown hereon (if any). Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNERS

Wells Fargo Bank New Mexico, N.A.,
Trustee of the Joel P. Taylor and Nina
Mae Taylor Trust under Trust Agreement
dated April 24, 1979, as to an undivided
Forty six percent (46%).

By: Patrick M. Butler 18 April 2003
Date

Taylor Family LLC Number 2, a New Mexico
limited liability company, as to an undivided
Fifty four percent (54%).

By: Patrick M. Butler 18 April 2003
Date
Patrick M. Butler under POA for Mary Wanda Taylor, Manager
By: Taylor Family LLC No. 2 18 April 2003
Date

NOTE:
Tracts 5-A1-A and 5-A1-B as created hereon are subject to the terms, conditions, covenants and easements contained in that certain "Grant of Easements" filed in the office of the County Clerk of Bernalillo County, New Mexico on December 31, 1987 in Book Misc. 573A, page 242 and that certain "Second Grant of Easements" filed in the office of the County Clerk of Bernalillo County, New Mexico on December 10, 1999 in Book 9916, page 1453.

LINE TABLE

LINE	DIRECTION	LENGTH
L1	S28°21'34"W	20.00
L2	N28°21'34"E	70.00
L3	N28°21'34"E	93.45
L4	N73°21'34"E	120.18
L5	N28°21'34"E	113.55
L6	N28°21'34"E	116.45
L7	N28°21'34"E	110.00
L8	N28°21'34"E	105.00
L9	N16°38'26"W	59.86
L10	S16°38'26"E	115.00
L11	S61°38'26"E	35.00
L12	N29°28'34"E	103.16
L13	S42°04'26"E	307.98
L14	N27°27'26"W	91.11
L15	S19°11'36"W	14.12
L16	S28°35'12"W	18.02
L17	S61°24'48"E	15.00
L18	S28°35'12"W	24.77

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	350.00'	247.96'	129.44'	242.81'	S38°04'39"E	40°35'32"
C2	330.00'	0.93'	0.46'	0.93'	S38°04'55"E	0°09'41"
C3	350.00'	16.45'	8.23'	16.45'	S37°10'49"E	2°41'35"

ACKNOWLEDGEMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on this 18 day
of April, 2003, by Patrick M. Butler

Janice Halowell
Notary Public
OFFICIAL SEAL
Janice Halowell
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires 4-7-05

ACKNOWLEDGEMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on this 18 day
of April, 2003, by William Brennan

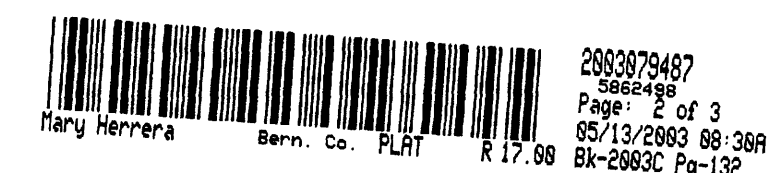
Janice Halowell
Notary Public
OFFICIAL SEAL
Janice Halowell
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires 4-7-05

ACKNOWLEDGEMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on this 18 day
of April, 2003, by Patrick M. Butler, POA for
Mary Wanda Taylor

Janice Halowell
Notary Public
OFFICIAL SEAL
Janice Halowell
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires 4-7-05



SHEET 2 OF 3

SURV+TEK, INC.

Consulting Surveyors
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

002772P. DWG

**PARCELS 5-A1-A AND 5-A1-B
LANDS OF JOEL P. TAYLOR**

WITHIN
SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN

**CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO**

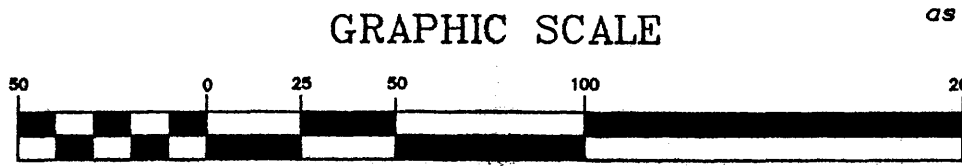
MARCH, 2003

NOTE:
Tracts 5-A1-A and 5-A1-B as created hereon are subject to the terms, conditions, covenants and easements contained in that certain "Grant of Easements" filed in the office of the County Clerk of Bernalillo County, New Mexico on December 31, 1987 in Book Misc. 573A, page 242 and that certain "Second Grant of Easements" filed in the office of the County Clerk of Bernalillo County, New Mexico on December 10, 1999 in Book 9916, page 1453.
And
That certain "EASEMENT AND MAINTENANCE AGREEMENT" filed ~~April 5, 2003~~ **5/12, 2003** in Book ~~855~~ **855**, page ~~9224~~ **9224** as Document number ~~2003079387~~ **2003079387**

2003079487
5862498
Page: 3 of 3
65/13/2003 08:36A
BK-2893C Pg-132
Mary Herrera Bern. Co. PLRT R 17.00

Albuquerque Control Survey Monument "NM448-N5A"
New Mexico State Plane Coordinates, Central Zone (NAD 27) as published:
Y= 1507308.30
X= 369840.72
Elevation= 5058.889 (SLD 1929)
Delta Alpha= -00'15"24"
Combined ground to grid factor= 0.9996784

Albuquerque Control Survey Monument "NM448-NB"
New Mexico State Plane Coordinates, Central Zone (NAD 27) as published:
Y= 1514838.11
X= 372524.25
Elevation= 5018.922 (SLD 1929)
Delta Alpha= -00'14"44"
Combined ground to grid factor= 0.99967354



PARCEL 5-A2
LANDS OF JOEL P. TAYLOR
Filed- December 30, 1987 in Volume C35, Folio 107

PARCEL 4-A1
Filed- December 30, 1987 in Volume C35, Folio 107

PARCEL 5-A1-B
3.4202 Ac.

PARCEL 5-A1
LANDS OF JOEL P. TAYLOR
Filed- December 30, 1987 in Volume C35, Folio 107

PARCEL 5-A1-A
2.2410 Ac.

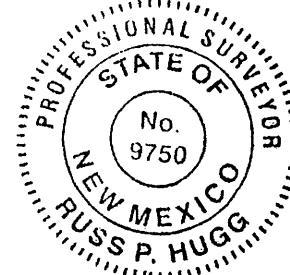
PARCEL 4-A1
LANDS OF JOEL P. TAYLOR
Filed- December 30, 1987 in Volume C35, Folio 107

MONTANO ROAD
(Existing 100' R/W)
N.W.

WINTER HAVEN ROAD
Existing 63.50' R/W
N.W.

BOSQUE MONTANO SUBDIVISION
Filed September 10, 2001 in Plat Book 2001G, Page 267

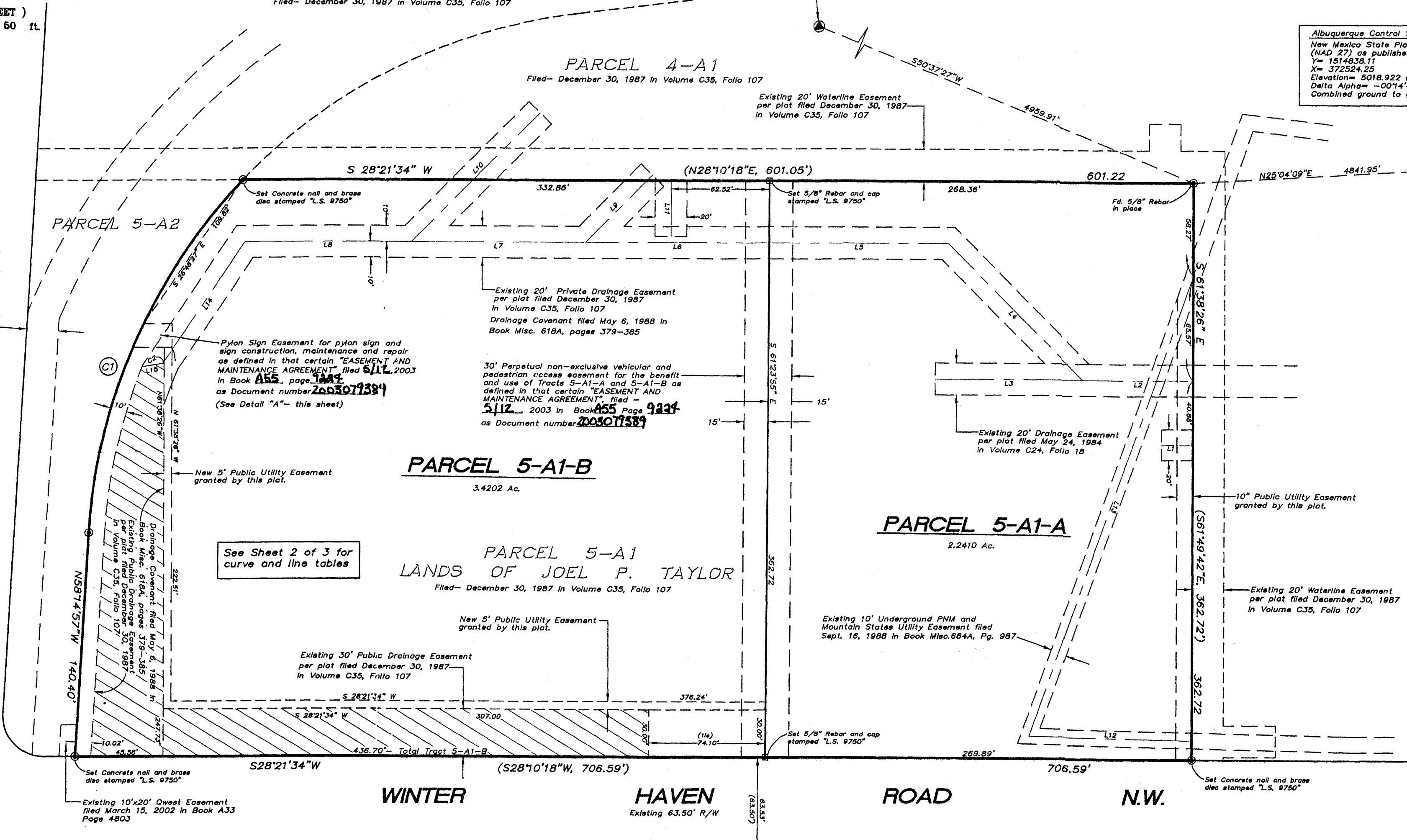
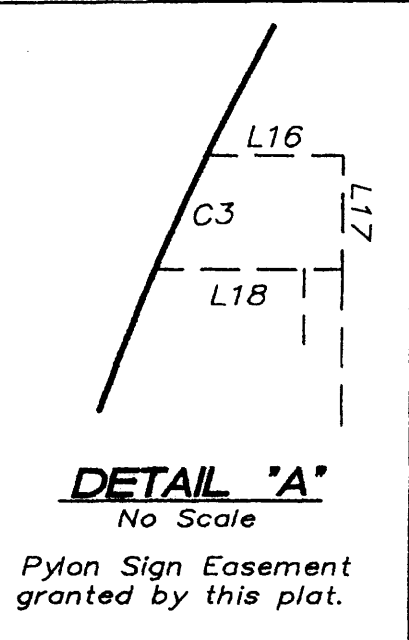
BOSQUE MONTANO SUBDIVISION
Filed September 10, 2001 in Plat Book 2001G, Page 267



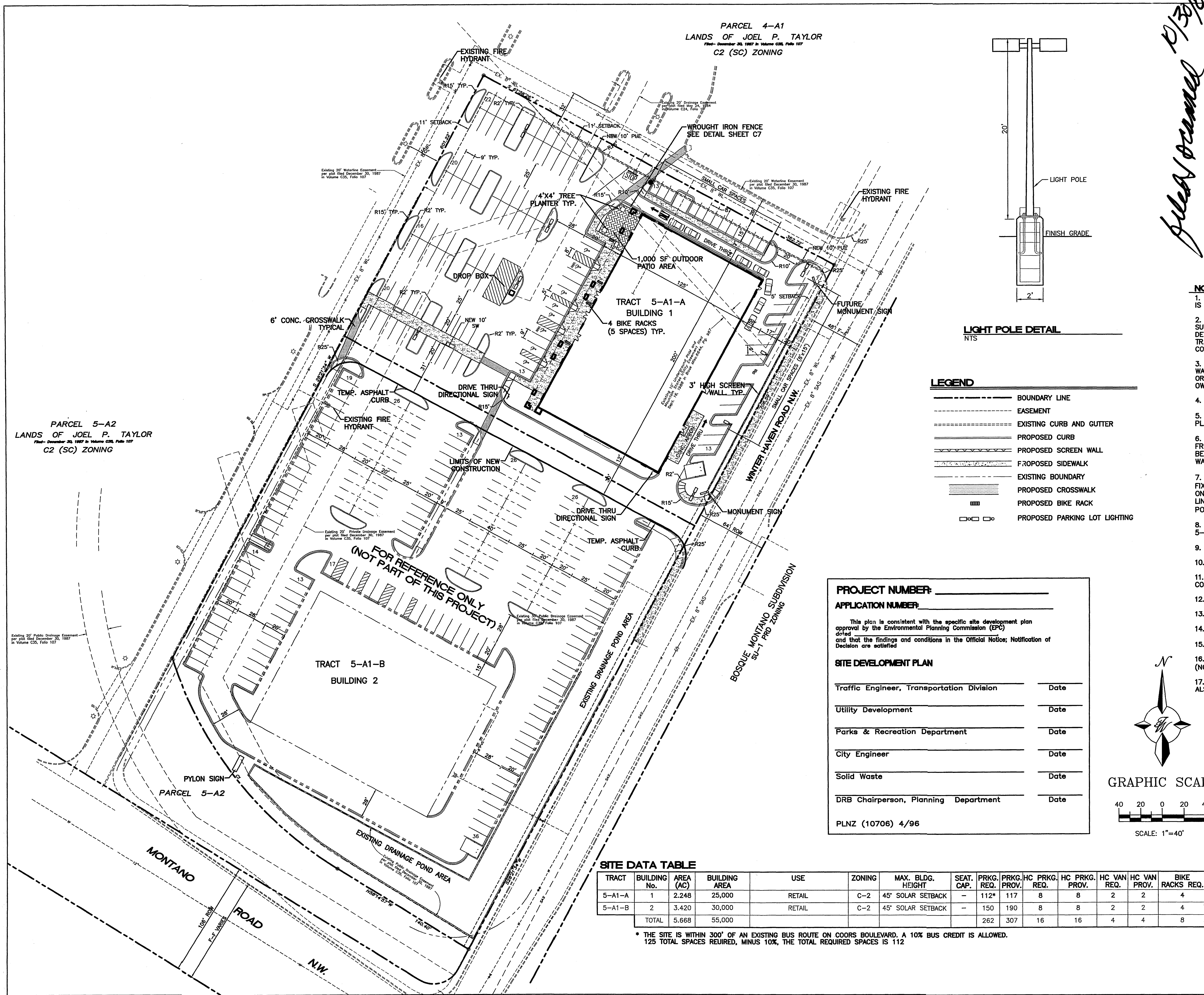
SHEET 3 OF 3

SURV TEK, INC.

Consulting Surveyors
5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114
Phone: 505-897-3366
Fax: 505-897-3377

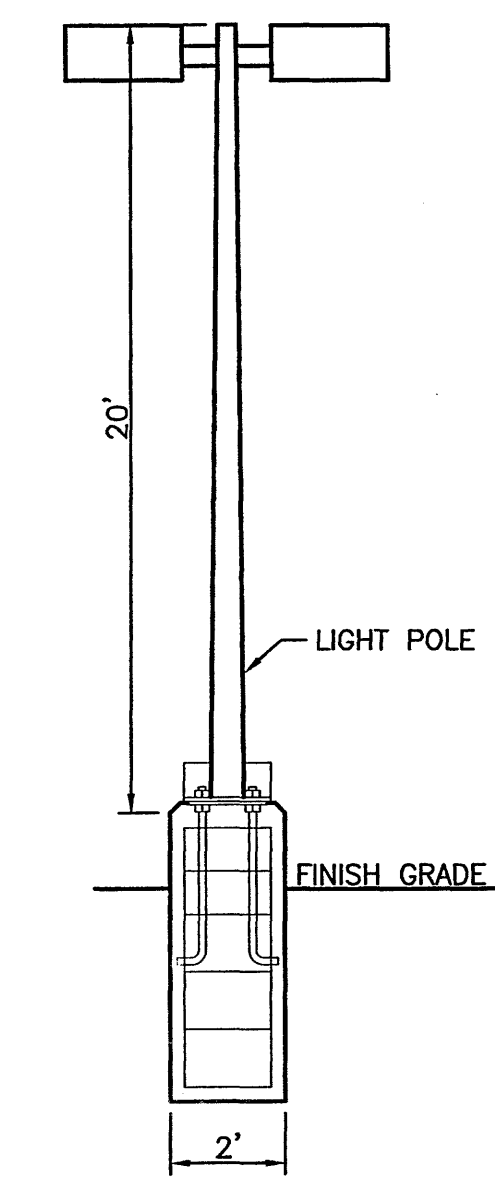


PROJECT 1001770
files scanned 10/30/06



PARCEL 5-A2
 LANDS OF JOEL P. TAYLOR
 C2 (SC) ZONING

PARCEL 4-A1
 LANDS OF JOEL P. TAYLOR
 C2 (SC) ZONING



LIGHT POLE DETAIL
 NTS

LEGEND

- BOUNDARY LINE
- - - - - EASEMENT
- ===== EXISTING CURB AND GUTTER
- ===== PROPOSED CURB
- ===== PROPOSED SCREEN WALL
- ===== PROPOSED SIDEWALK
- EXISTING BOUNDARY
- ===== PROPOSED CROSSWALK
- ===== PROPOSED BIKE RACK
- □ □ PROPOSED PARKING LOT LIGHTING

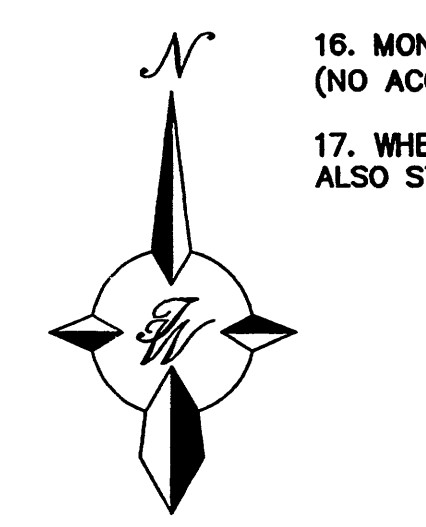
PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) dated _____ and that the findings and conditions in the Official Notice; Notification of Decision are satisfied.

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	Date
Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
Solid Waste	Date
DRB Chairperson, Planning Department	Date

PLNZ (10706) 4/96



GRAPHIC SCALE
 SCALE: 1"=40'

SITE DATA TABLE

TRACT	BUILDING No.	AREA (AC)	BUILDING AREA	USE	ZONING	MAX. BLDG. HEIGHT	SEAT. CAP.	PRKG. REQ.	PRKG. PROV.	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE RACKS REQ.
5-A1-A	1	2.248	25,000	RETAIL	C-2	45' SOLAR SETBACK	-	112*	117	8	8	2	2	4
5-A1-B	2	3.420	30,000	RETAIL	C-2	45' SOLAR SETBACK	-	150	190	8	8	2	2	4
TOTAL		5.668	55,000					262	307	16	16	4	4	8

* THE SITE IS WITHIN 300' OF AN EXISTING BUS ROUTE ON COORS BOULEVARD. A 10% BUS CREDIT IS ALLOWED. 125 TOTAL SPACES REQUIRED, MINUS 10%, THE TOTAL REQUIRED SPACES IS 112

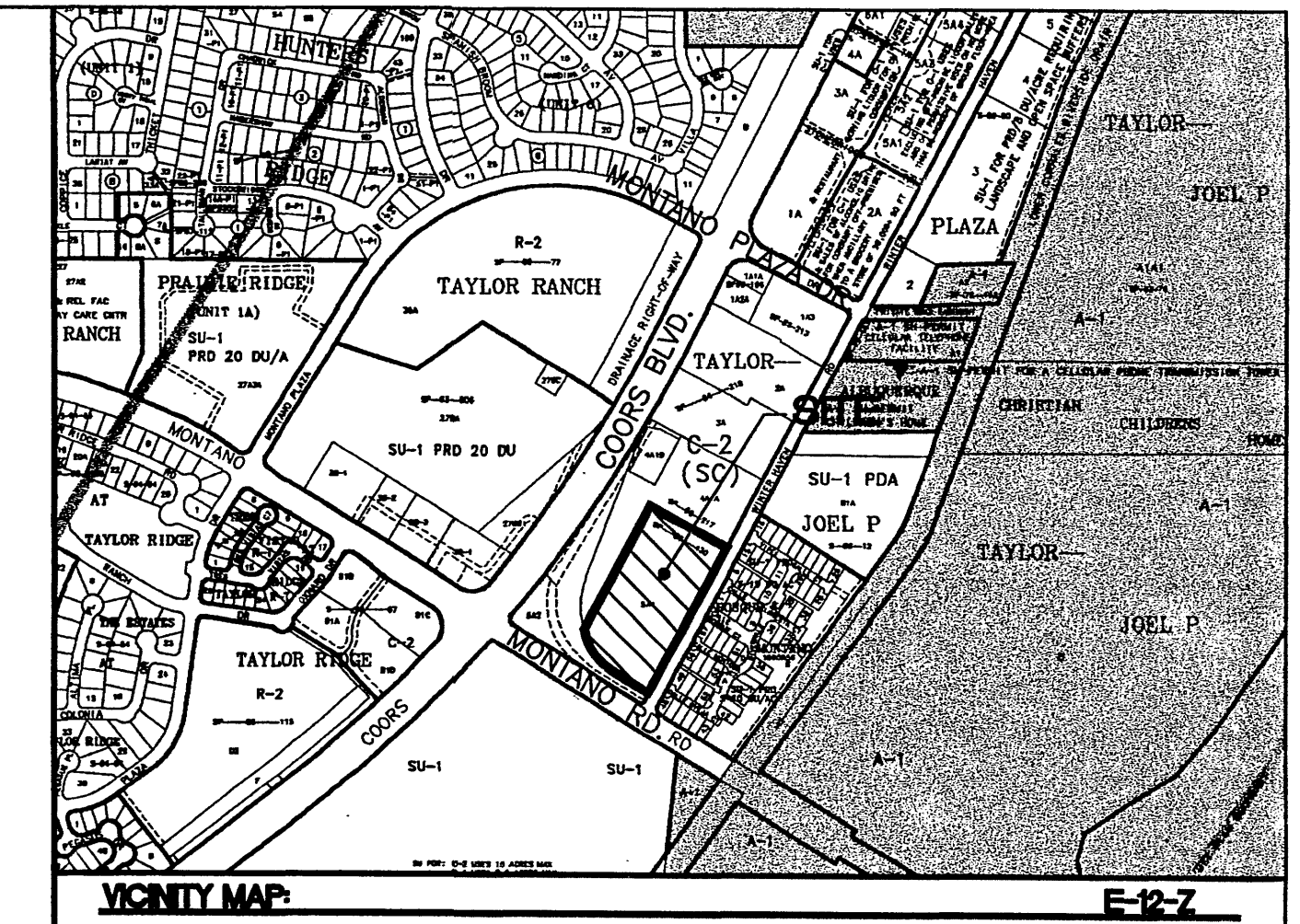
- NOTES:**
- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
 - ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED TRACTS THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD IN CONJUNCTION WITH REVIEW BY EPC STAFF.
 - APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
 - LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
 - MONUMENT SIGN MATERIALS/COLORS/SIZE SHALL COMPLY WITH THE MONTANO PLAZA MASTER PLAN. MATCH BUILDING COLORS AND MATERIAL.
 - ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
 - LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
 - THERE SHALL BE NO ILLUMINATED SIGNAGE ON THE EAST FACADE OF TRACT 5-A1-A.
 - SEE SHEET C3 FOR WALL DETAILS.
 - SEE SHEET C5 FOR REFUSE ENCLOSURE.
 - NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
 - SEE SHEET C5 FOR HC RAMP DETAILS.
 - SEE SHEET C5 FOR HC PARKING DETAILS.
 - SEE SHEET C5 FOR PAVING DETAILS.
 - THE SITE IS WITHIN 300' OF BUS ROUTE #90 ON COORS BOULEVARD.
 - MONTANO ROAD IS PROPOSED TO BE GRADE SEPARATED FROM WINTER HAVEN ROAD (NO ACCESS) IN THE FUTURE.
 - WHEN TRACT 5-A1-B IS CONSTRUCTED, SIDEWALKS WILL CONNECT TO TRACT 5-A1-A. ALSO STREET TREES ALONG MONTANO AND A PLANTING STRIPE WILL BE CONSTRUCTED.

INDEX TO DRAWINGS

- C1. SITE PLAN FOR SUBDIVISION
- C2. SITE PLAN FOR BUILDING PERMIT
- C3. LANDSCAPING PLAN
- C4. GRADING AND DRAINAGE PLAN
- C5. MASTER UTILITY PLAN
- C6. ELEVATIONS
- C7. DETAILS

ENGINEER'S SEAL RONALD R. BOHANNON P.E. #7868	MONTANO PLAZA	DRAWN BY BDG
	SITE PLAN FOR SUBDIVISION	DATE 05/06/03
TIERRA WEST, LLC 8508 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	SHEET # C1	JOB # 220085

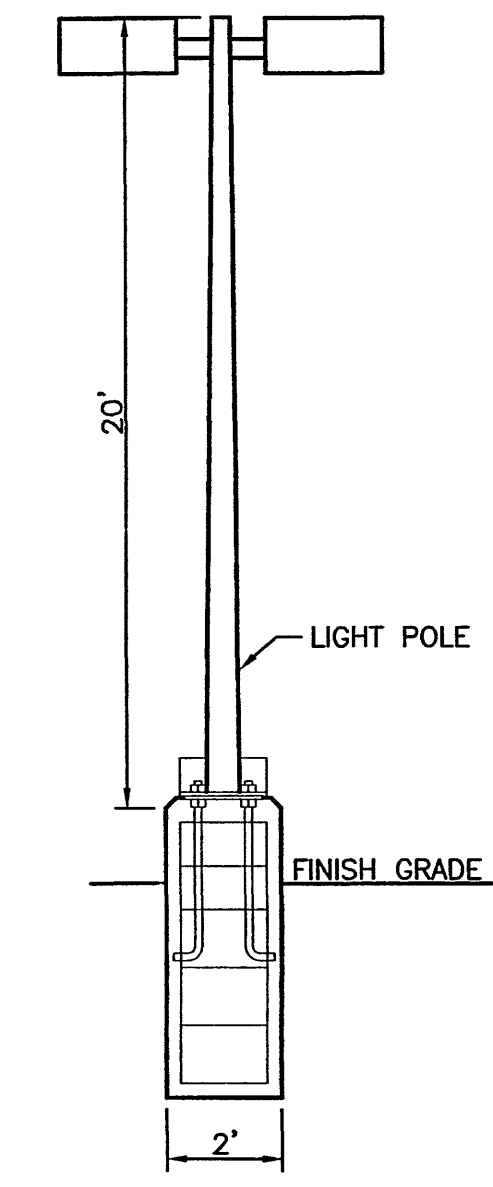
PARCEL 4-A1
LANDS OF JOEL P. TAYLOR
Filed - December 30, 1987 in Volume C35, Folio 107
C2 (SC) ZONING



LEGAL DESCRIPTION
PARCEL 5-A1, LANDS OF JOEL P. TAYLOR, CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

NOTES

- COMMON STORM DRAINAGE, PEDESTRIAN, AND VEHICULAR ACCESS ACROSS NEW TRACTS IS GRANTED BY THIS SITE PLAN AND WILL BE GRANTED ON THE REPLAT.
- ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN AND THAT SITE DEVELOPMENT PLAN FOR BUILDING PURPOSES WILL BE REQUIRED FOR THE PROPOSED TRACTS THROUGH A PUBLIC HEARING AT THE DEVELOPMENT REVIEW BOARD IN CONJUNCTION WITH REVIEW BY EPC STAFF.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
- MONUMENT SIGN MATERIALS/COLORS/SIZE SHALL COMPLY WITH THE MONTANO PLAZA MASTER PLAN. MATCH BUILDING COLORS AND MATERIAL.
- ROOF EQUIPMENT SHALL BE BELOW PARAPET HEIGHT AND SCREENED FROM VIEW FROM THE PROPERTY LINES OF THIS SITE. ALL GROUND MOUNTED EQUIPMENT SHALL BE SCREENED BY SCREEN WALLS WITH TOP OF EQUIPMENT BELOW TOP OF SCREEN WALL.
- LIGHT POLES SHALL BE A MAXIMUM OF 20' FEET WITH FULL CUT OFF LIGHT FIXTURES. LIGHT FIXTURES SHALL BE A MAXIMUM OF 20' WITH FULL CUT OFF SHIELDS ON FIXTURES SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED WITH HORIZONTAL LAMPS. LIGHT POLES WITHIN 100' OF RESIDENTIAL ZONING SHALL BE LIMITED TO 16' HIGH.
- THERE SHALL BE NO ILLUMINATED SIGNAGE ON THE EAST FACADE OF TRACT 5-A1-A.
- SEE SHEET C3 FOR WALL DETAILS.
- SEE SHEET C5 FOR REFUSE ENCLOSURE.
- NO FREESTANDING CELL TOWERS OR ANTENNA SHALL BE PERMITTED. ANY WIRELESS COMMUNICATIONS FACILITIES SHALL BE INTEGRATED INTO THE BUILDING ARCHITECTURE.
- SEE SHEET C5 FOR HC RAMP DETAILS.
- SEE SHEET C5 FOR HC PARKING DETAILS.
- SEE SHEET C5 FOR PAVING DETAILS.
- THE SITE IS WITHIN 300' OF BUS ROUTE #90 ON COORS BOULEVARD.
- MONTANO ROAD IS PROPOSED TO BE GRADE SEPARATED FROM WINTER HAVEN ROAD (NO ACCESS) IN THE FUTURE.
- WHEN TRACT 5-A1-B IS CONSTRUCTED, SIDEWALKS WILL CONNECT TO TRACT 5-A1-A. ALSO STREET TREES ALONG MONTANO AND A PLANTING STRIPE WILL BE CONSTRUCTED.



LIGHT POLE DETAIL
NTS

LEGEND

- BOUNDARY LINE
- - - EASEMENT
- - - - - EXISTING CURB AND GUTTER
- - - - - PROPOSED CURB
- - - - - PROPOSED SCREEN WALL
- - - - - PROPOSED SIDEWALK
- - - - - EXISTING BOUNDARY
- - - - - PROPOSED CROSSWALK
- PROPOSED FIRE HYDRANT
- PROPOSED BIKE RACK
- PROPOSED PARKING LOT LIGHTING

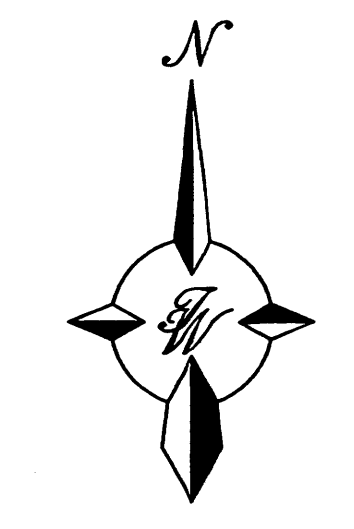
PROJECT NUMBER: _____
APPLICATION NUMBER: _____

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) dated _____ and that the findings and conditions in the Official Notice, Notification of Decision are satisfied.

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	Date
Utility Development	Date
Parks & Recreation Department	Date
City Engineer	Date
Solid Waste	Date
DRB Chairperson, Planning Department	Date

PLNZ (10706) 4/96



GRAPHIC SCALE
SCALE: 1"=30'

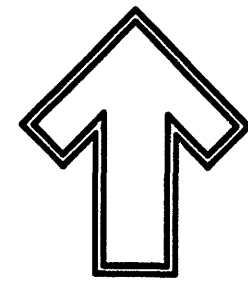
SITE DATA TABLE

TRACT	BUILDING No.	AREA (AC)	BUILDING AREA	USE	ZONING	MAX. BLDG. HEIGHT	SEAT. CAP.	PRKG. REQ.	HC PRKG. REQ.	HC PRKG. PROV.	HC VAN REQ.	HC VAN PROV.	BIKE RACKS REQ.	
5-A1-A	1	2.248	25,000	RETAIL	C-2	45' SOLAR SETBACK	-	112*	117	8	8	2	2	4

* THE SITE IS WITHIN 300' OF AN EXISTING BUS ROUTE ON COORS BOULEVARD. A 10% BUS CREDIT IS ALLOWED. 125 TOTAL SPACES REQUIRED, MINUS 10%, THE TOTAL REQUIRED SPACES IS 112

FIRE MARSHALL'S STAMP

ENGINEER'S SEAL 	MONTANO PLAZA	DRAWN BY: BDG
	SITE PLAN FOR BUILDING PERMIT	DATE: 05/06/03
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)958-3100	22855P.DWG
		SHEET # C2
		JOB # 220085



Cont. Lic. #26458
7009 Edith N.W.
Albuquerque, NM 87184
Ph: (505) 898-0600
Fax: (505) 898-7737
thehilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL

JAMES DE FLON #007

HASTINGS MONTANO PLAZA
LANDSCAPE PLAN

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The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS

DRAWN BY
CND
REVISION #
2
DATE
5-19-10

SHEET #
L1 of L1

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

SFBrown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

PLANT LEGEND

- ASH (H) AND HONEY LOCUST (H) 17
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal.
- AUSTRIAN PINE (H) 2
Pinus nigra
6"-8"
- FLOWERING PEAR (H) 2
Pyrus calleryana
2" Cal.
- NEW MEXICO OLIVE (M) 1
Forestiera neomexicana
15 Gal.
- PALM YUCCA (L) 4
- PHOTINIA (L) 9
Photinia fraseri
5 Gal. 36sf
- MAIDENGRASS (M) 22
Miscanthus sinensis
5 Gal. 16sf
- INDIAN HAWTHORN (M) 23
Raphiolepis indica
5 Gal.
- ROSEMARY (M) 17
Rosmarinus officinalis
2 Gal. 36sf
- POTENTILLA (M) 12
Potentilla fruticosa
2 Gal.
- HONEYSUCKLE (M) 29
Lonicera sempervirens
1 Gal. 200sf
Unstaked-Groundcover
- WILDFLOWER 32
1 Gal. 4sf
- BUFFALO JUNIPER/
GREYLEAF COTONEASTER 27
Juniperus sabinia/
Cotoneaster buxifolius
5 Gal. 225sf
Symbol indicates 3 plants
- OVERSIZED GRAVEL
& 6 BOULDERS
- SANTA FE BROWN GRAVEL
WITH FILTER FABRIC

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

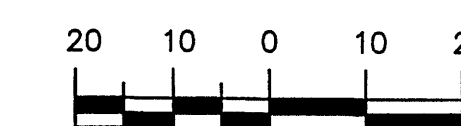
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

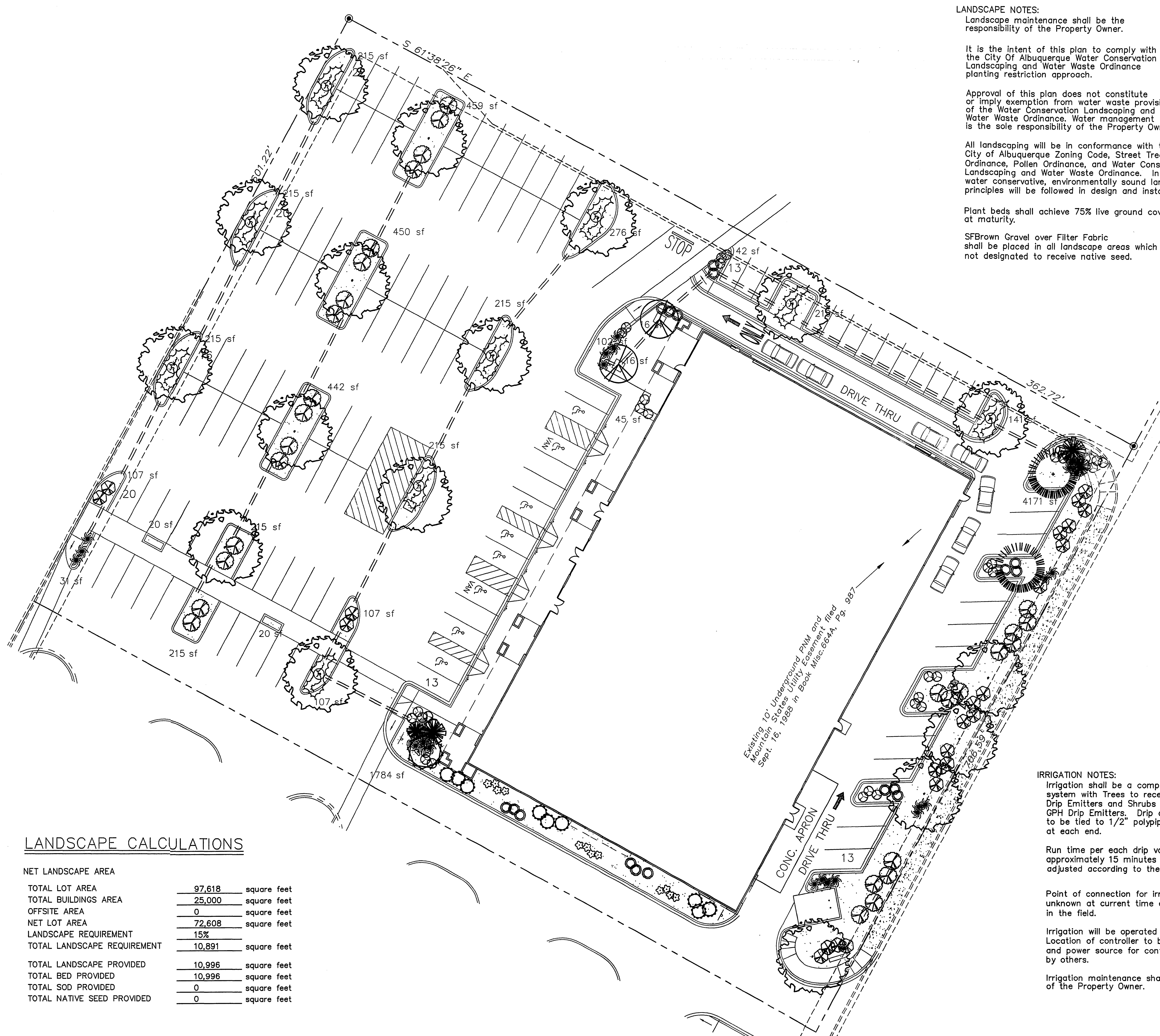
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

GRAPHIC SCALE



SCALE: 1"=20'

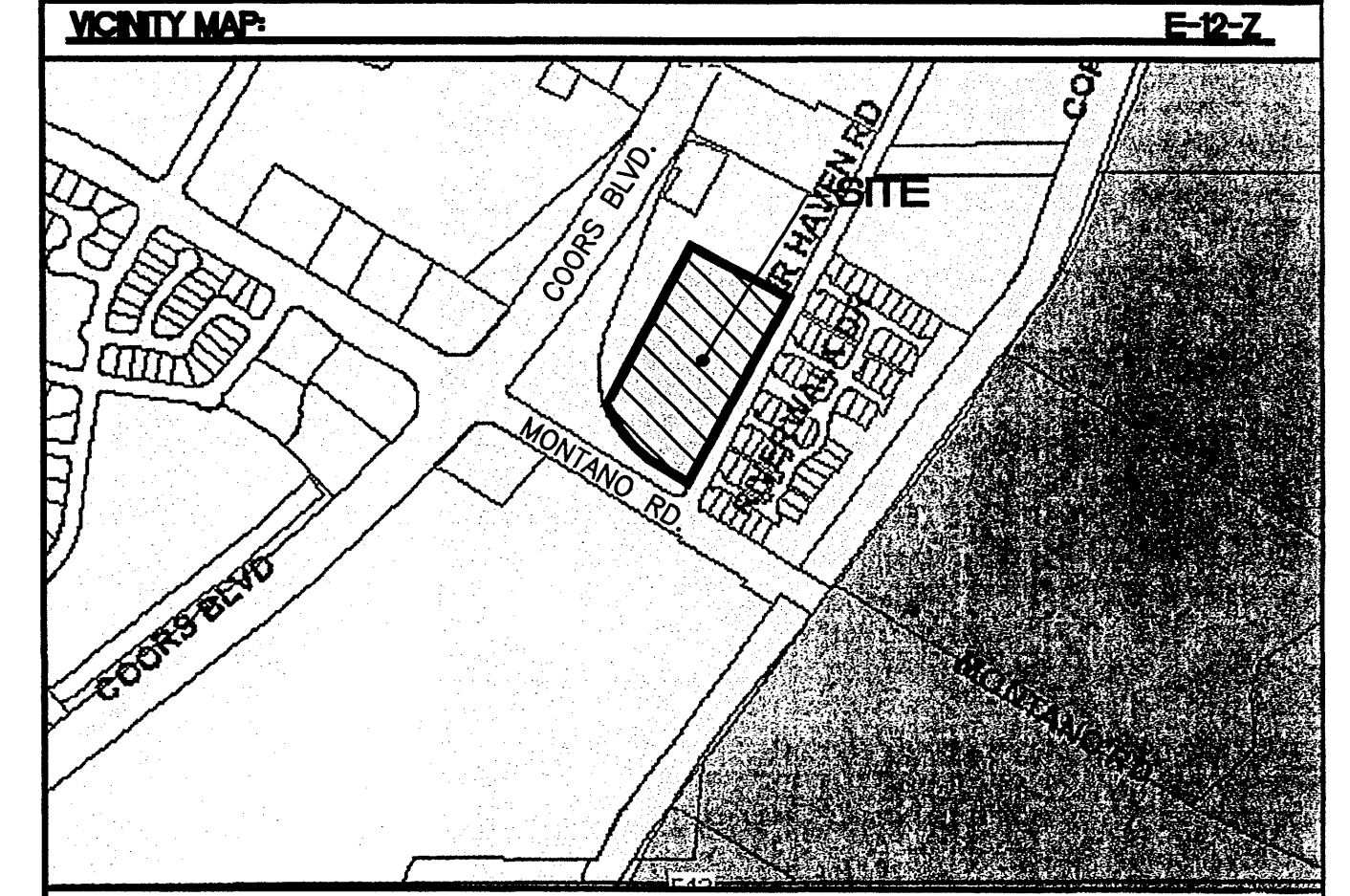
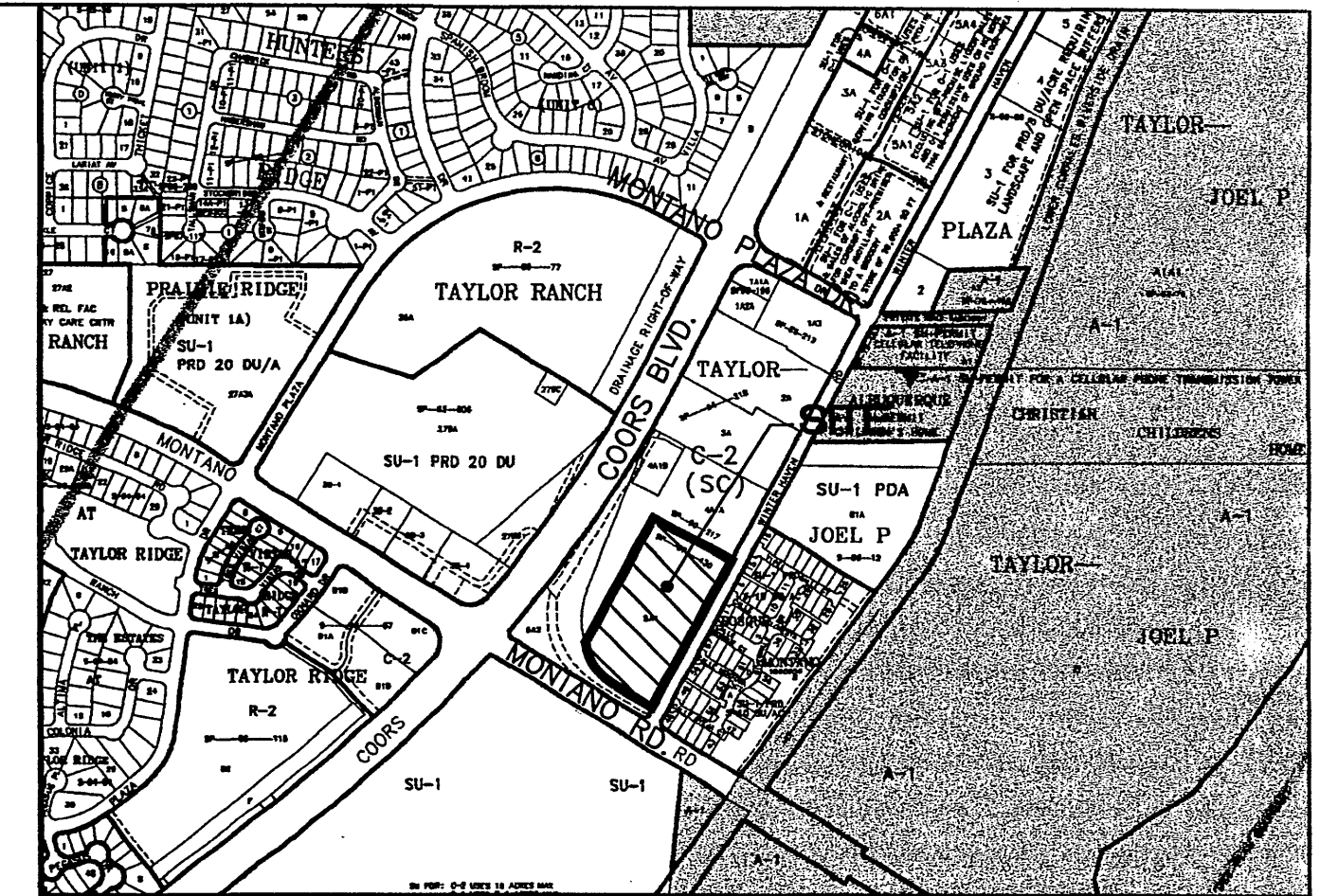


LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA		
TOTAL LOT AREA	97,618	square feet
TOTAL BUILDINGS AREA	25,000	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	72,608	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	10,891	square feet
TOTAL LANDSCAPE PROVIDED	10,996	square feet
TOTAL BED PROVIDED	10,996	square feet
TOTAL SOD PROVIDED	0	square feet
TOTAL NATIVE SEED PROVIDED	0	square feet

Existing 10' Underground PNM and Mountain States Utility Easement filed Sept. 19, 1988 in Book Misc. 684A, Pg. 987

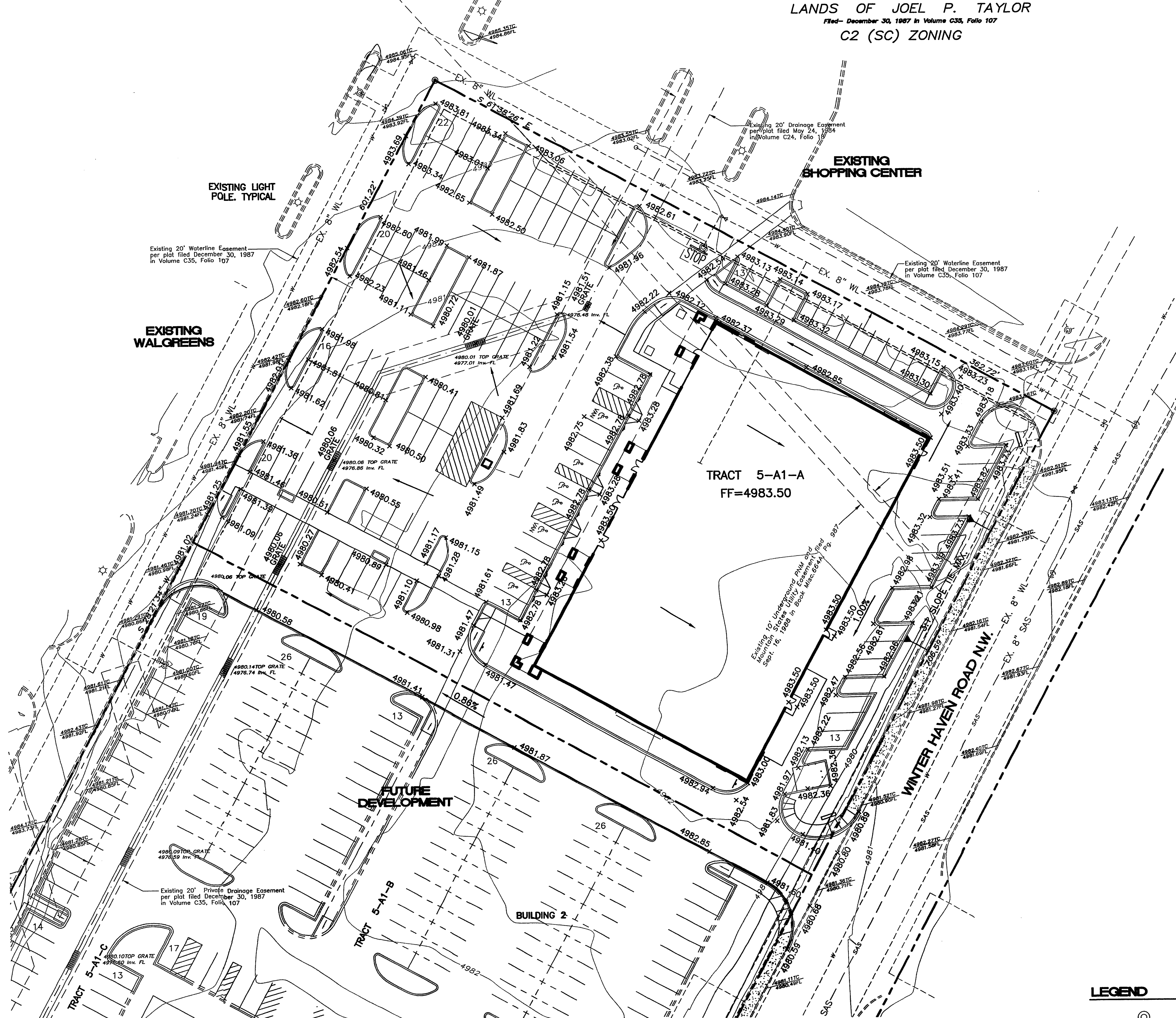
PARCEL 4-A1
 LANDS OF JOEL P. TAYLOR
 Filed- December 30, 1987 in Volume C35, Folio 107
 C2 (SC) ZONING



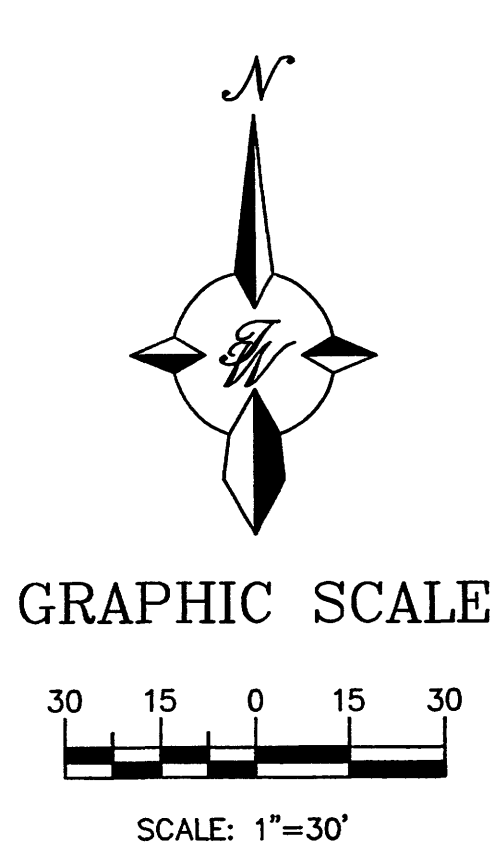
LEGAL DESCRIPTION
 PARCEL 5-A1, LANDS OF JOEL P. TAYLOR, CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

NOTES
 1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

- EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
 3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
 4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
 6. CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE.



- LEGEND**
- ⊙ EXISTING STORM SEWER MANHOLE
 - - - - - EXISTING STORM SEWER LINE
 - ⊙ PROPOSED STORM SEWER MANHOLE
 - PROPOSED STORM SEWER LINE
 - ===== EXISTING CURB & GUTTER
 - EXISTING CONTOUR (MAJOR)
 - EXISTING CONTOUR (MINOR)
 - BOUNDARY LINE
 - EASEMENT
 - PROPOSED SIDEWALK
 - ===== NEW CURB

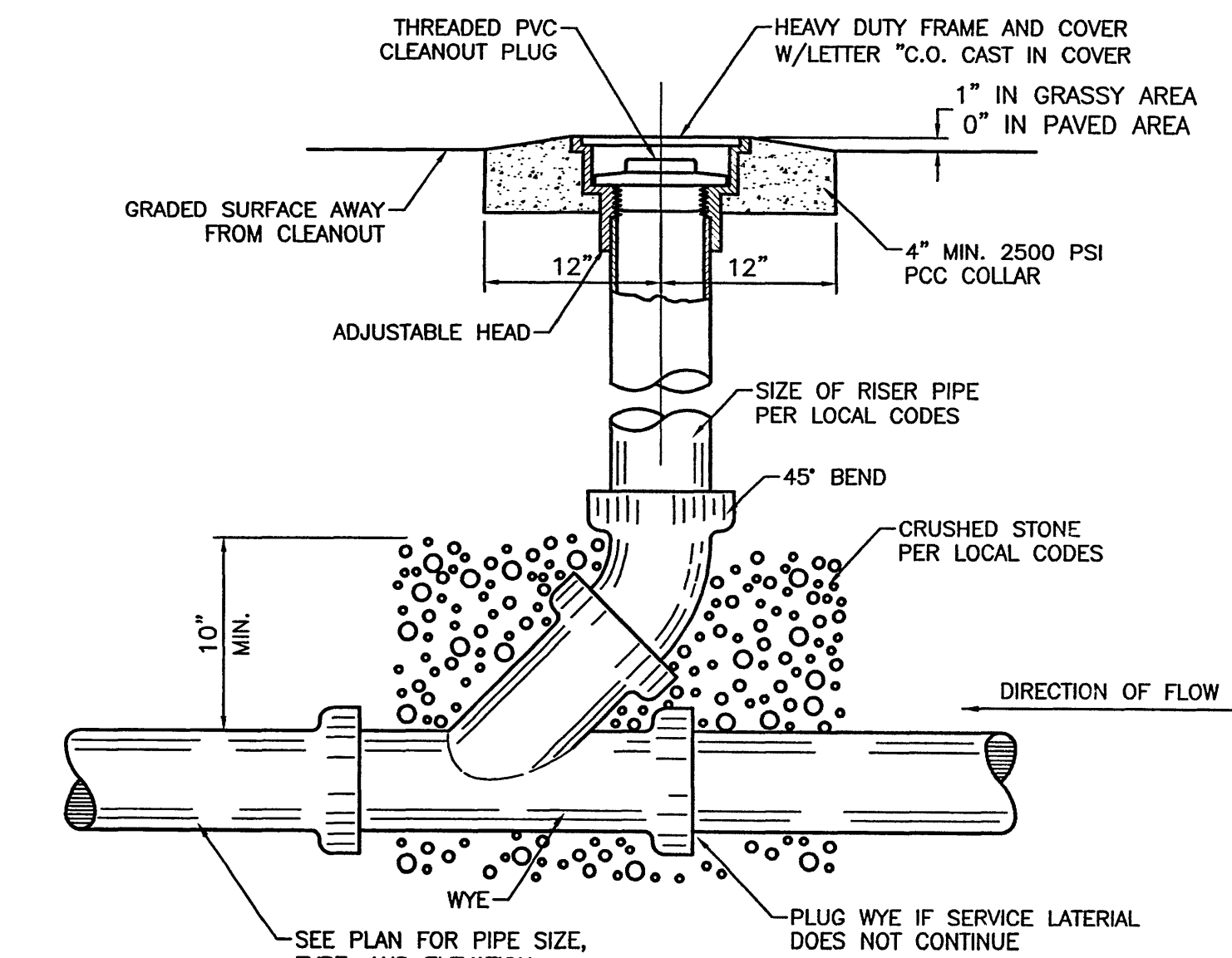
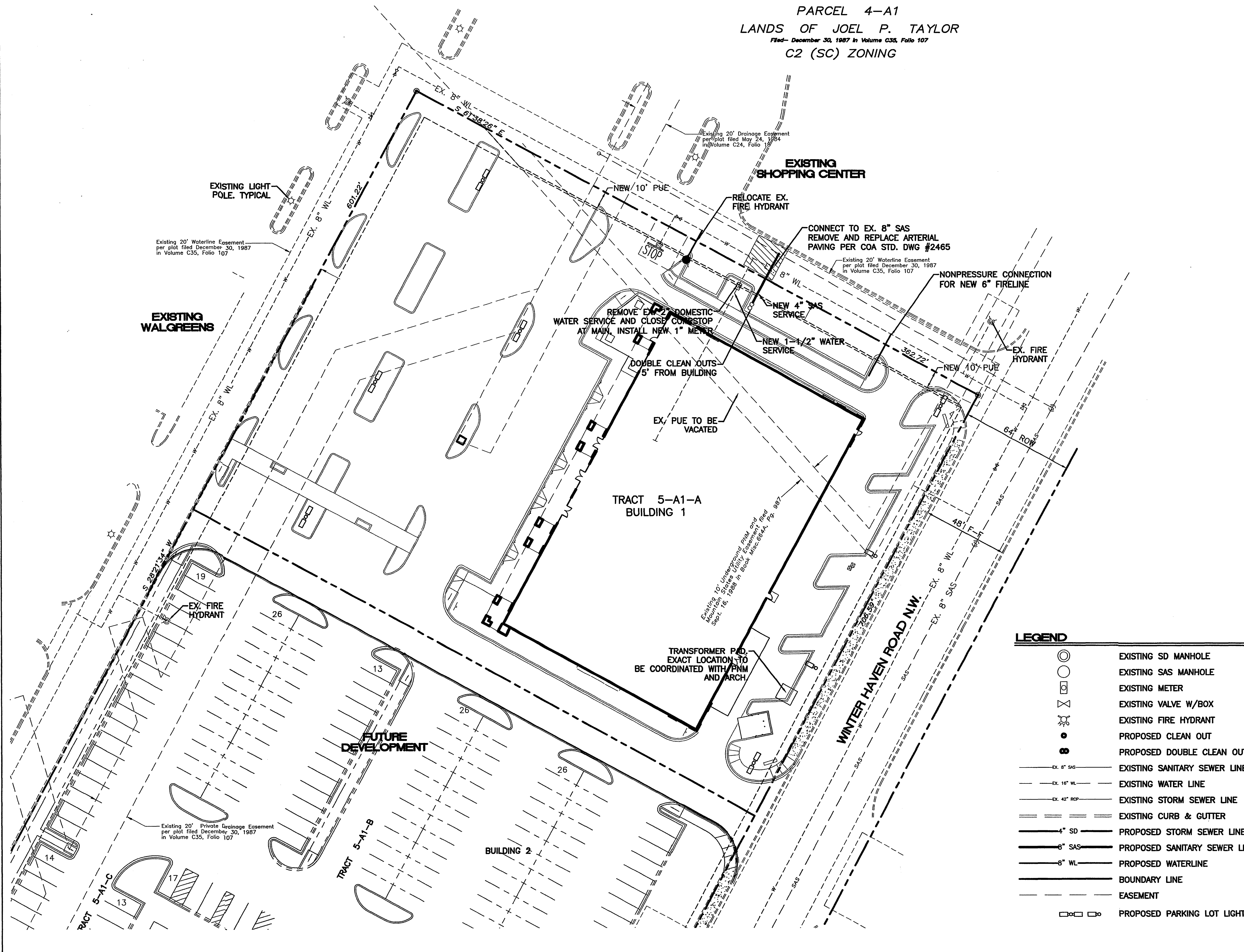


ROUGH GRADING APPROVAL		ENGINEER'S SEAL	DRAWN BY BDG
	MONTANO PLAZA		DATE
	GRADING AND DRAINAGE PLAN		05/06/03
		2285GR.DWG	
TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100		SHEET #	
RONALD R. BOHANNAN P.E. #7868		C4	
		JOB #	
		220085	

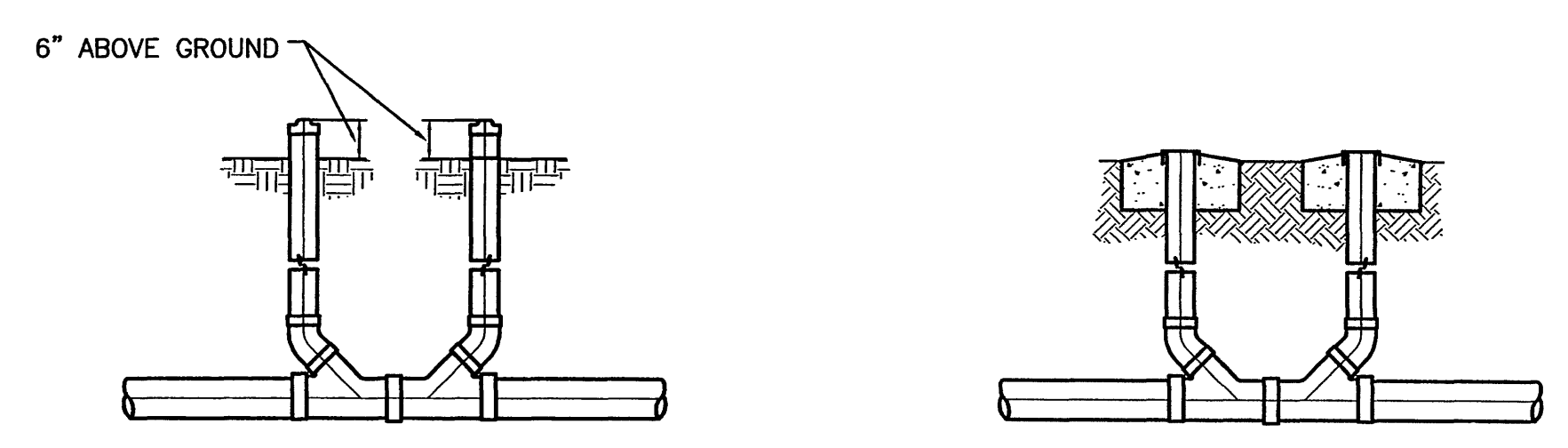
PARCEL 4-A1
LANDS OF JOEL P. TAYLOR
Filed- December 30, 1987 in Volume C35, Folio 107
C2 (SC) ZONING

NOTICE TO CONTRACTORS

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.
2. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (505)765-1234, FOR LOCATION OF EXISTING UTILITIES.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
5. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
6. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



SANITARY SEWER CLEAN-OUT
NTS



SANITARY SEWER DOUBLE CLEAN-OUTS
NTS

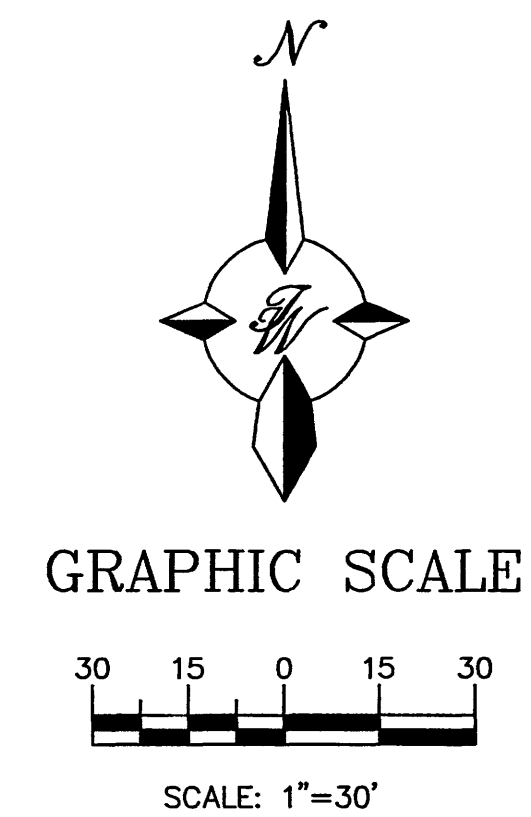
LEGEND

	EXISTING SD MANHOLE
	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	PROPOSED CLEAN OUT
	PROPOSED DOUBLE CLEAN OUT
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	EXISTING CURB & GUTTER
	PROPOSED STORM SEWER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATERLINE
	BOUNDARY LINE
	EASEMENT
	PROPOSED PARKING LOT LIGHTING

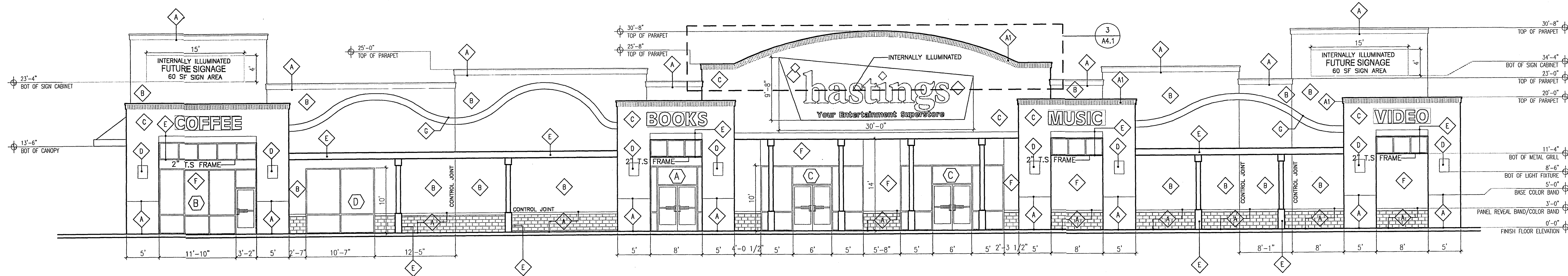
GENERAL NOTES:

1. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.

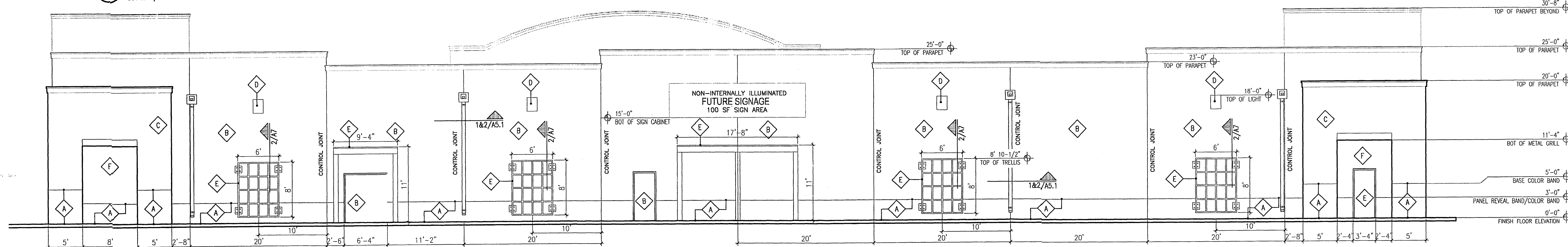
CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.



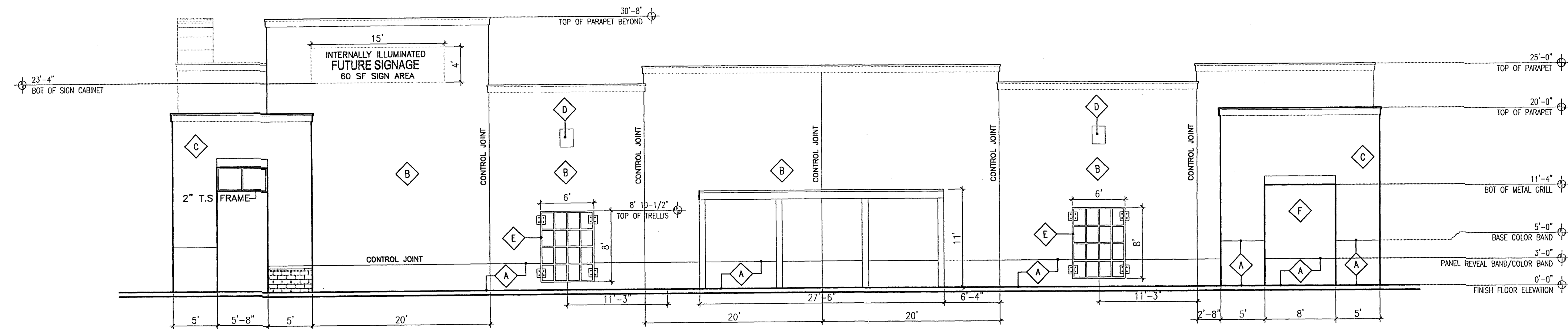
ENGINEER'S SEAL	MONTANO PLAZA	DRAWN BY BDG
	MASTER UTILITY PLAN	DATE 05/06/03
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	2285MU.DWG
RONALD R. BOHANNAN P.E. #7868		SHEET # C5
		JOB # 220085



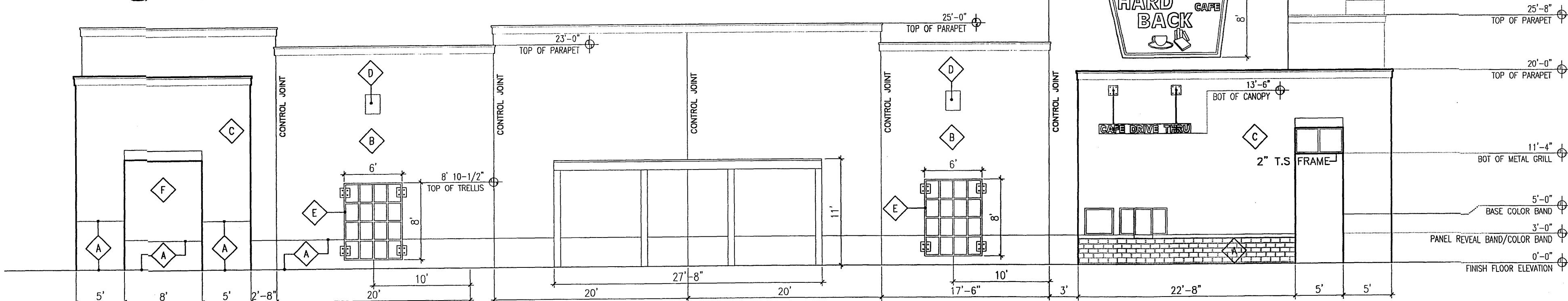
1 WEST ELEV.
Scale: 1/8"=1'-0"



2 EAST ELEV.
Scale: 1/8"=1'-0"

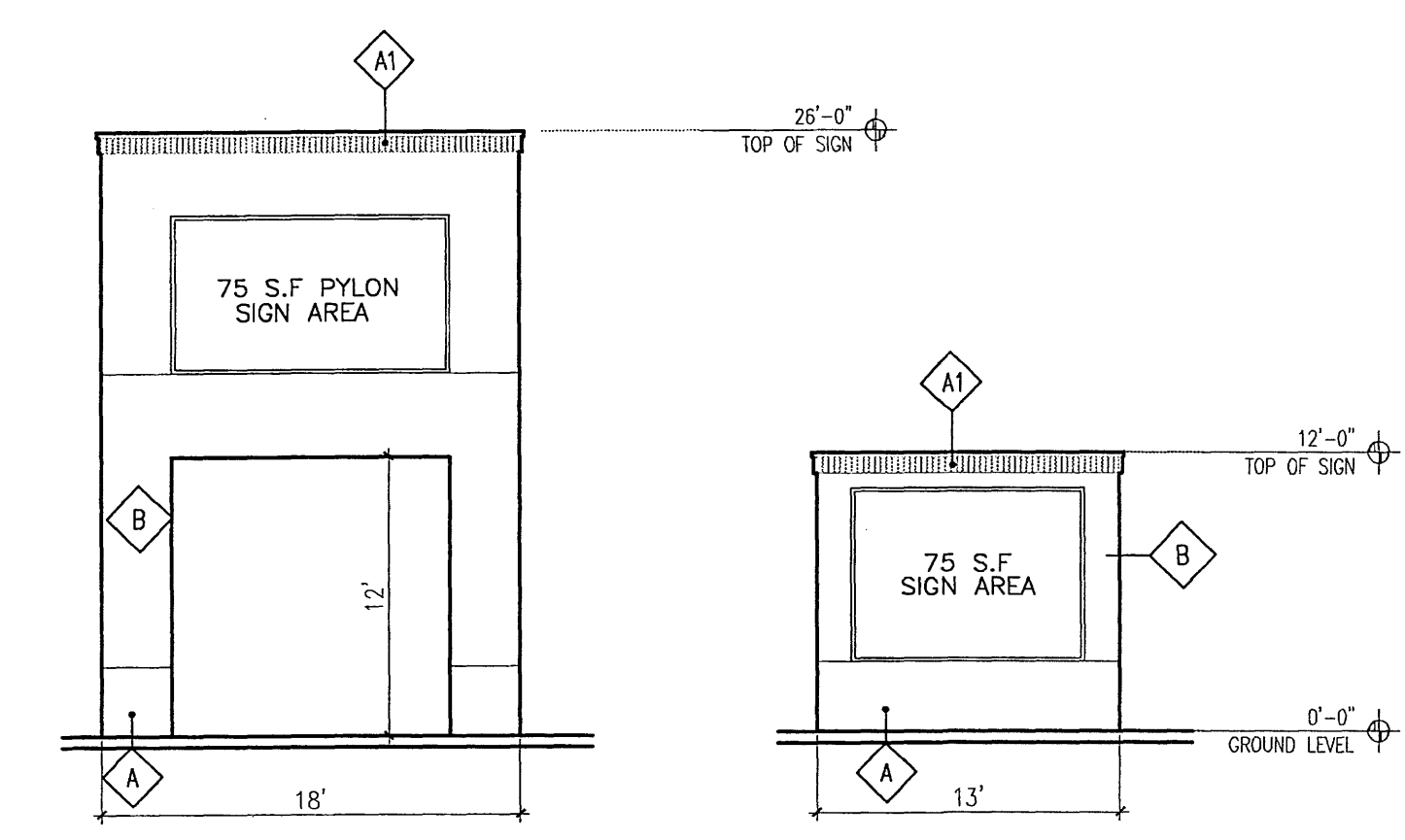


3 SOUTH ELEV.
Scale: 1/8"=1'-0"



4 NORTH ELEV.
Scale: 1/8"=1'-0"

Keyed Color / Material Schedule		
A	STUCCO BASE/BAND / CORNICE/ CMU SPLIT FACE BASE	ALLSPICE SW 2725
A1	CORNICE(BRICK)	COLOR TO MATCH ALLSPICE SW 2725
B	STUCCO	BASKET BEIGE SW6143
C	STUCCO	WOOL SKEIN SW6148
D	LIGHTING/WIN. MULLION DOWNSPOUTS	BRONZE ANODIZED FINISH
E	PORTAL BEAMS/COLUMNS DOORS	PURE WHITE SW 7005
F	STUCCO	PACER WHITE SW 6098
G	ILLUMINATED LIGHT STRIP BY TENANT SIGN CONTRACTOR	RED DOOR 2910



5 MONUMENT/PYLON SIGN DET.
Scale: 1/8"=1'-0"

Reid & Associates inc.
Design Builders
6300 Riverside Plaza Lane
Suite 220
Albuquerque, NM 87120
(505) 891-2528

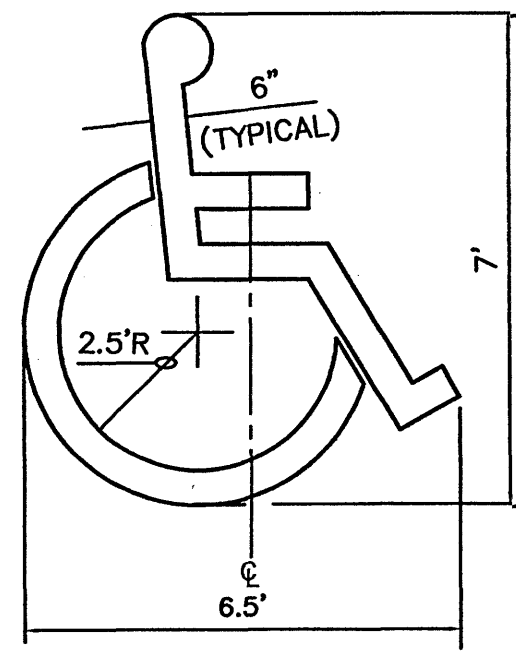
REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

GEORGE RAINHART ARCHITECT AND ASSOCIATES P
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110
FAX (505) 837-9877

PROJECT TITLE
HASTINGS
COORS AND MONTANO
ALBUQUERQUE, NEW MEXICO

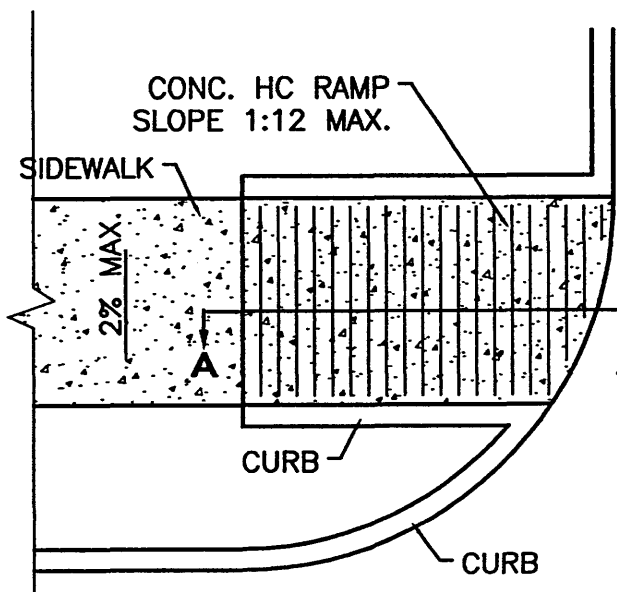
JOB NO. 0255
PROJECT MANAGER Stephen Dunbar
DRAWN BY: SD
SHEET TITLE
ELEVATIONS

DATE: 3/25/03
SCALE: 1/8"=1'-0"
sheet: **A3** of



ACCESSIBLE PARKING SYMBOL

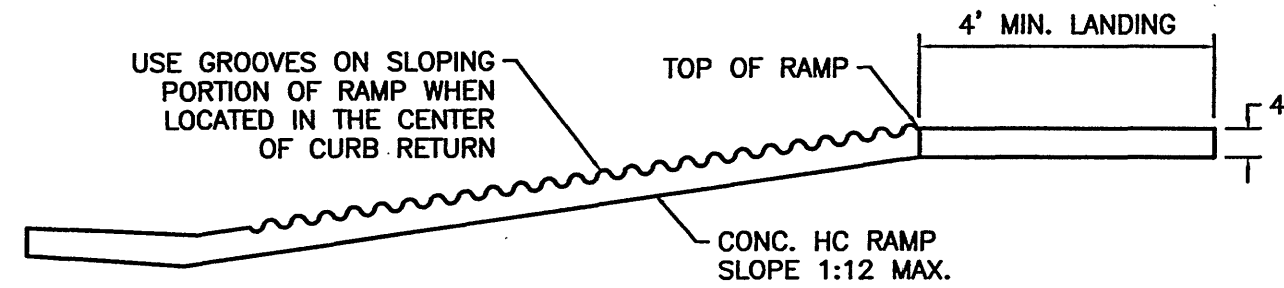
SCALE: NTS
 LOCATE AT EDGE OF PARKING SPACE UNLESS ACCOMPANIED BY "VAN" LETTERING



PLAN

NOTES:

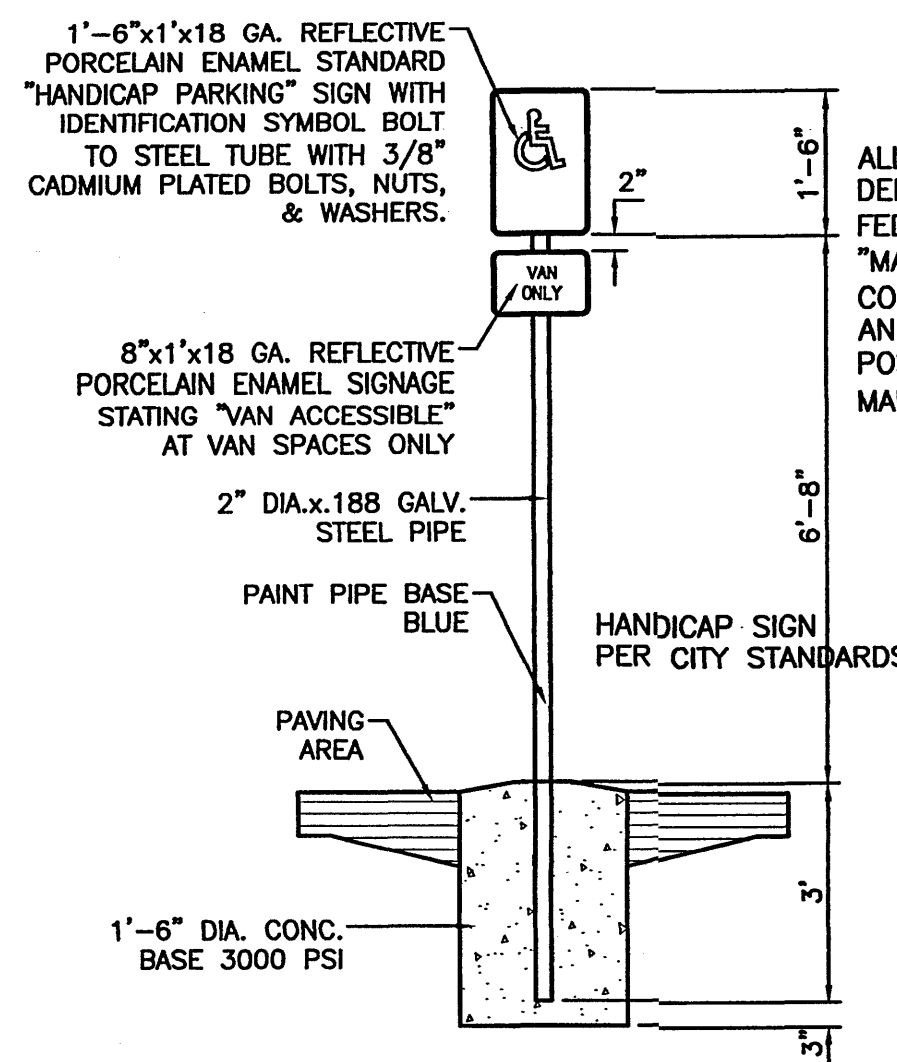
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. THE RAMP SHALL BE GROOVED IN A TRANSVERSE PATTERN WITH 1/4" GROOVES APPROXIMATELY 1-1/2" O.C. SEE SECTION A-A.
3. THE BOTTOM OF THE RAMP SHALL HAVE A 1/4" LIP OF 45°.
4. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
5. CONSTRUCT PER A.D.A. STANDARDS.



SECTION A-A

UNIDIRECTIONAL HC RAMP

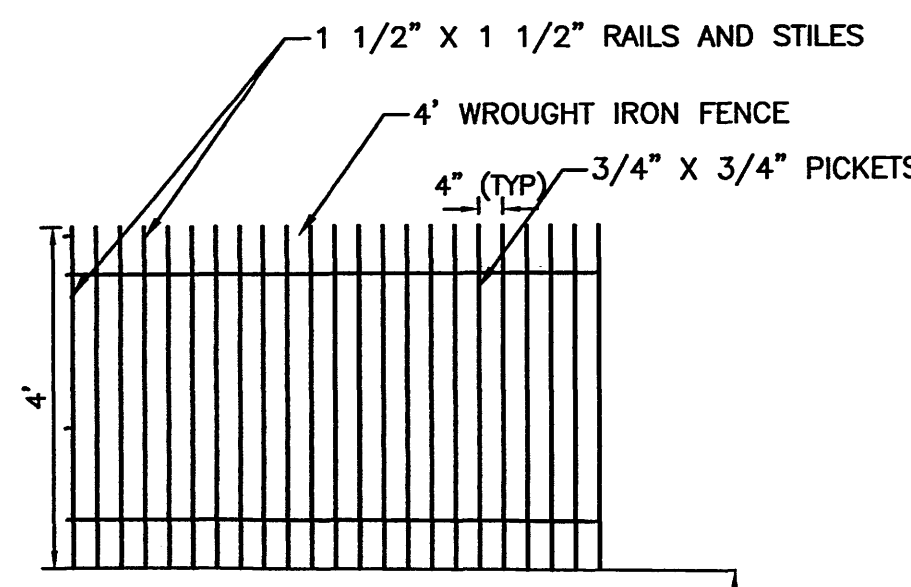
SCALE: NTS



HANDICAP SIGN

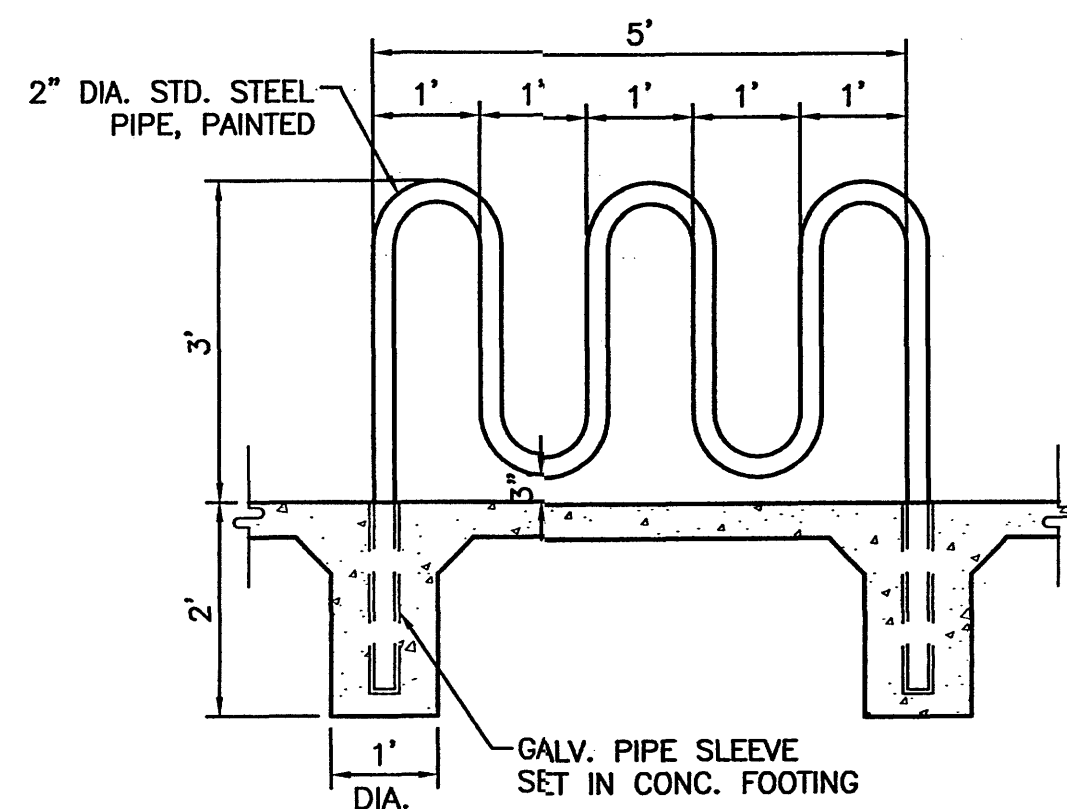
SCALE: 1/2"=1'

ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.



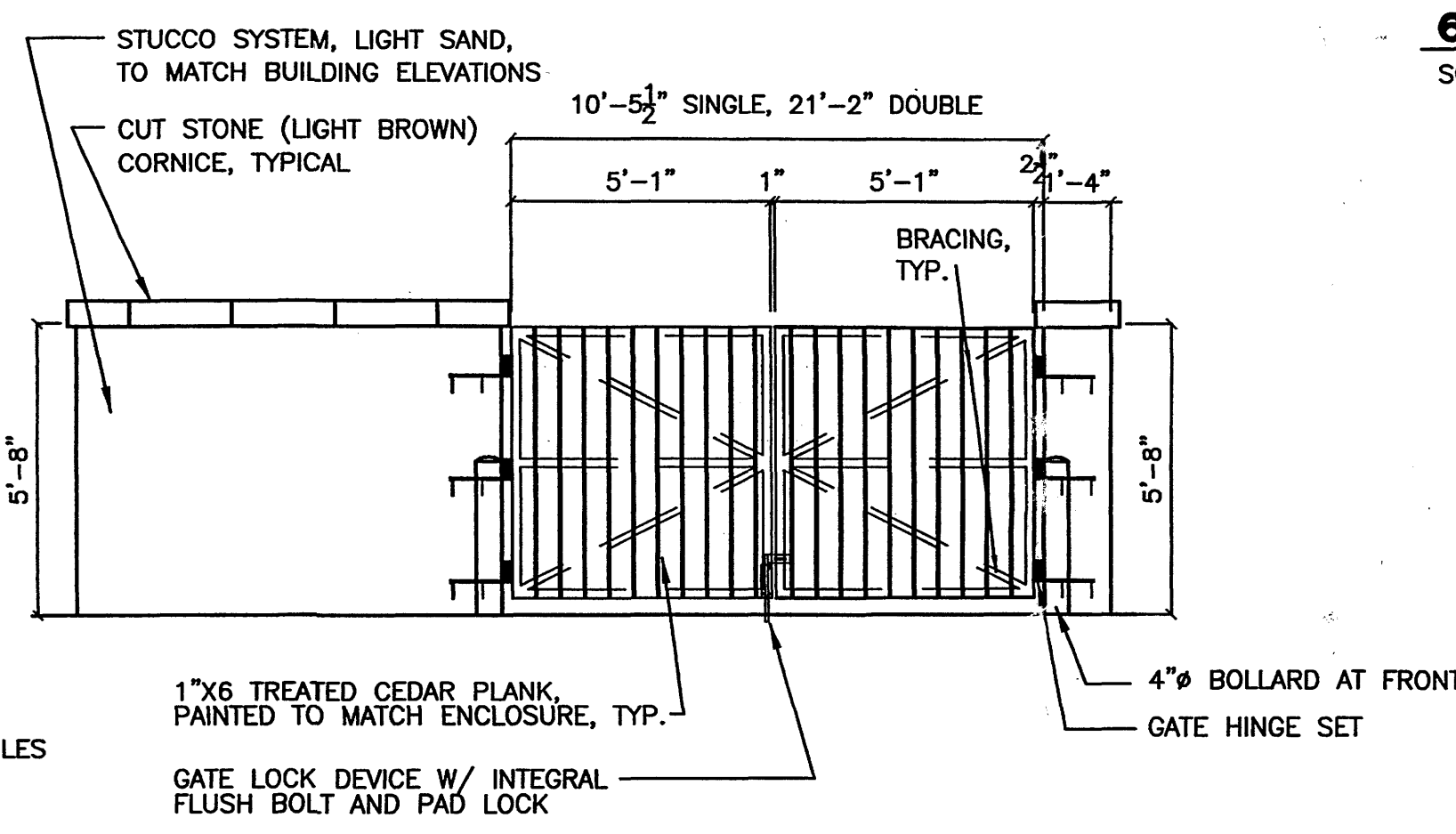
WROUGHT IRON FENCE DETAIL

NTS



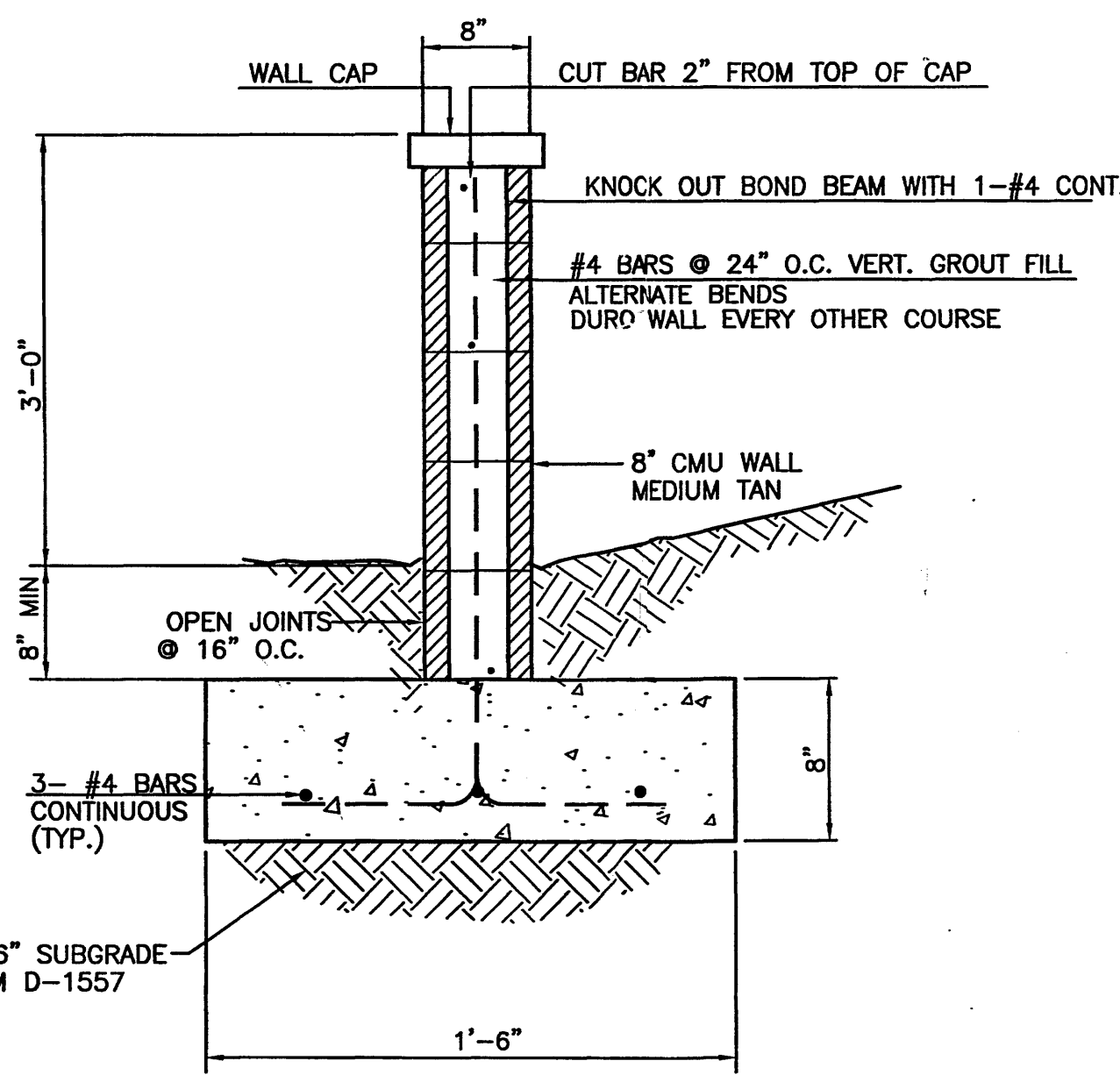
BIKE RACK DETAIL

SCALE: 1/2"=1'



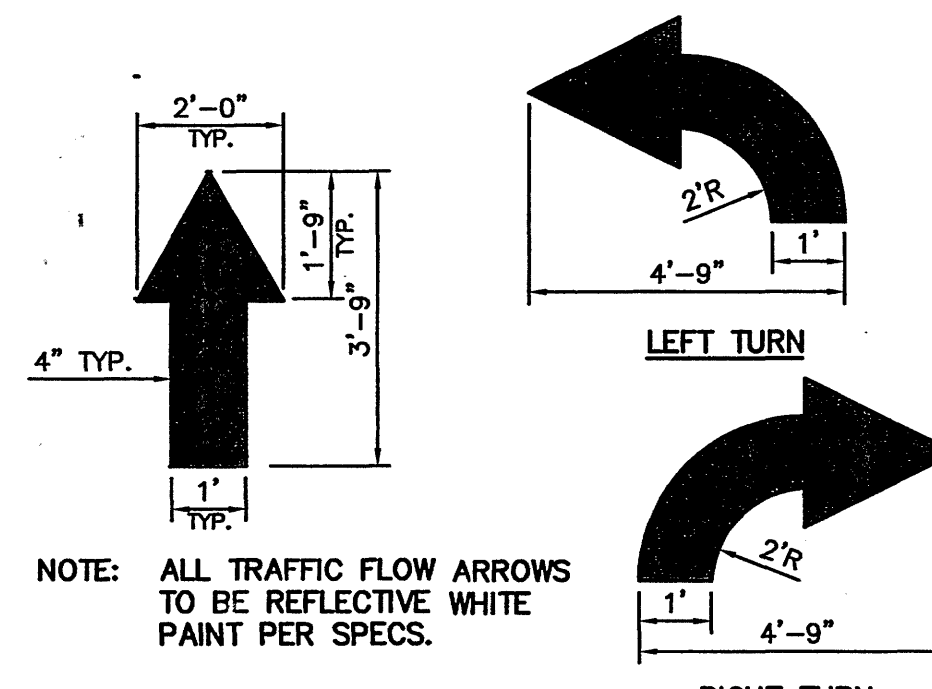
REFUSE ENCLOSURE ELEVATION

SCALE: 1"=10'



3' SCREEN WALL SECTION

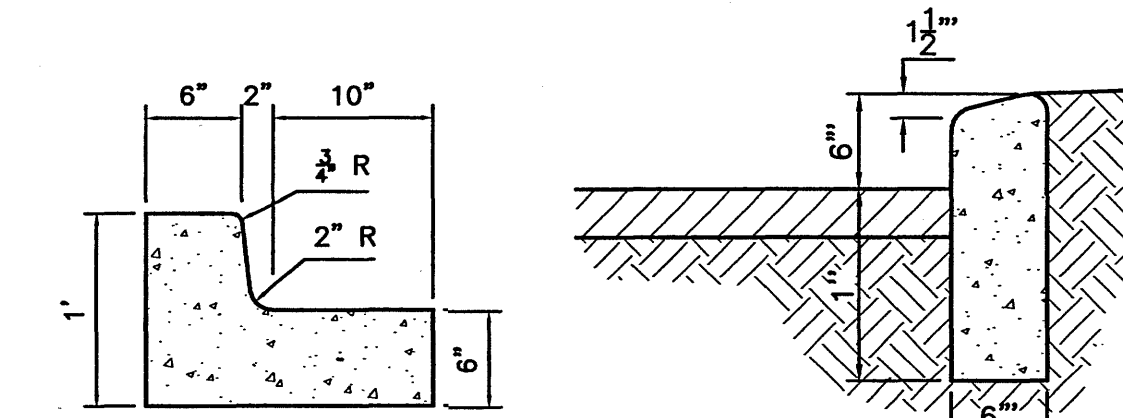
NTS



NOTE: ALL TRAFFIC FLOW ARROWS TO BE REFLECTIVE WHITE PAINT PER SPECS.

DIRECTIONAL ARROWS

NTS



6 IN. CURB AND GUTTER

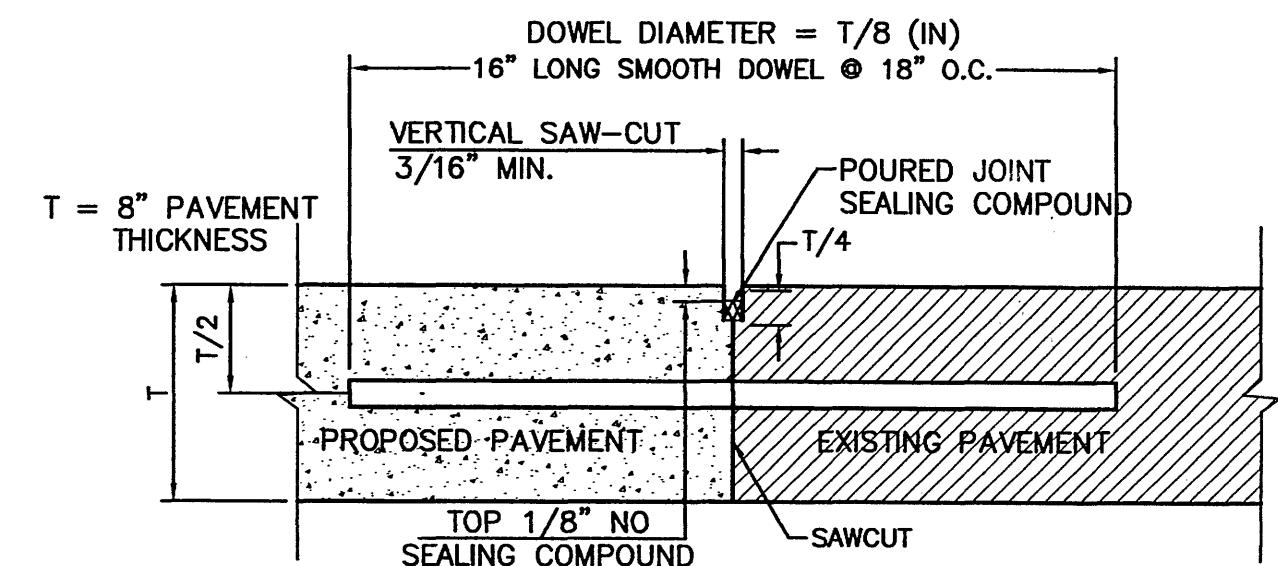
SCALE: 1"=1'

CURB GENERAL NOTES:

1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WAL-MART SPECIFICATIONS.
2. PROVIDE CONTRACTION JTS. 12' MAX. SPACING, 1/2" EXP. JTS. AT CURB RETURNS AND AT A MAX. SPACING OF 120' BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JTS. SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

6" HEADER CURB DETAIL

1"=1'

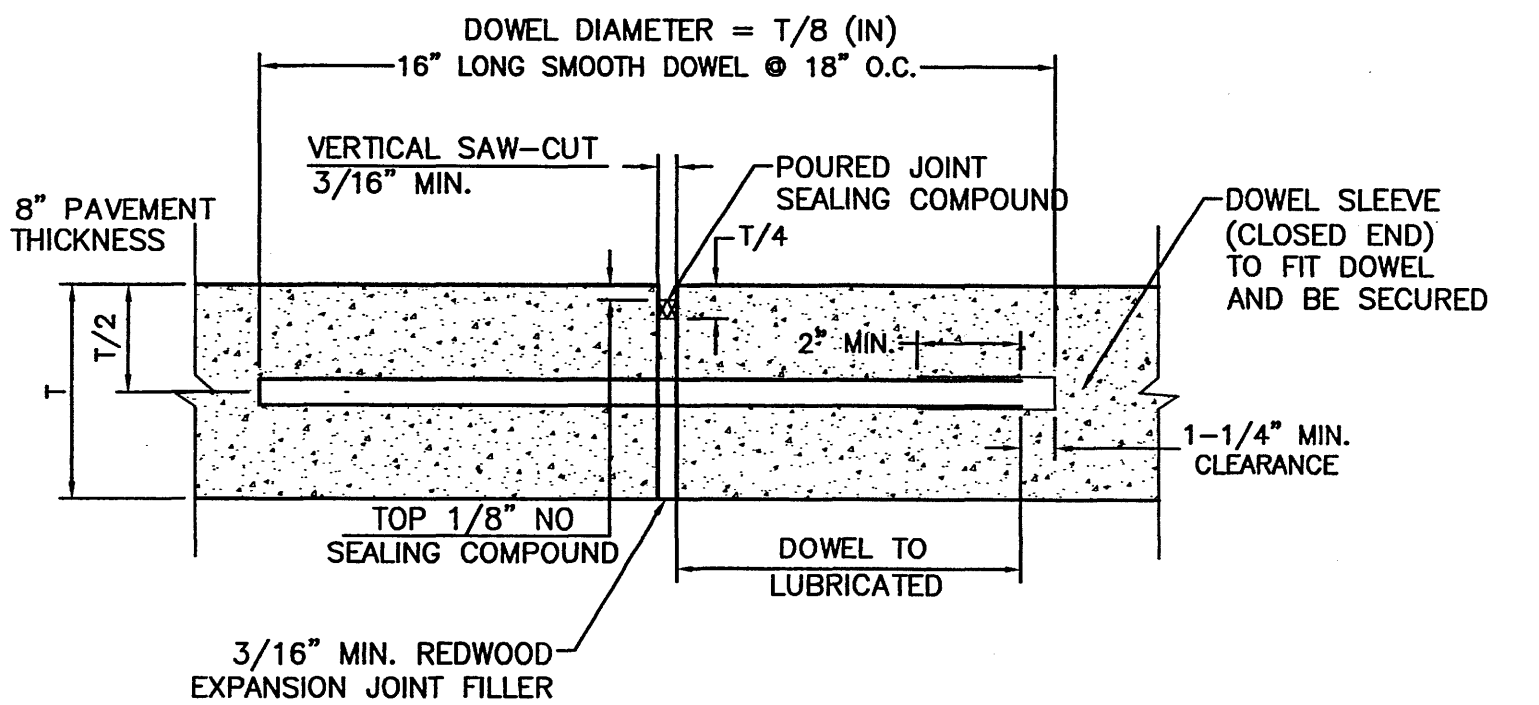


- NOTE:
1. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL RIG.
 2. DRILLING BY HAND IS NOT ACCEPTABLE, PUSHING DOWEL BARS INTO GREEN CONCRETE IS NOT ACCEPTABLE.

BUTT JOINT

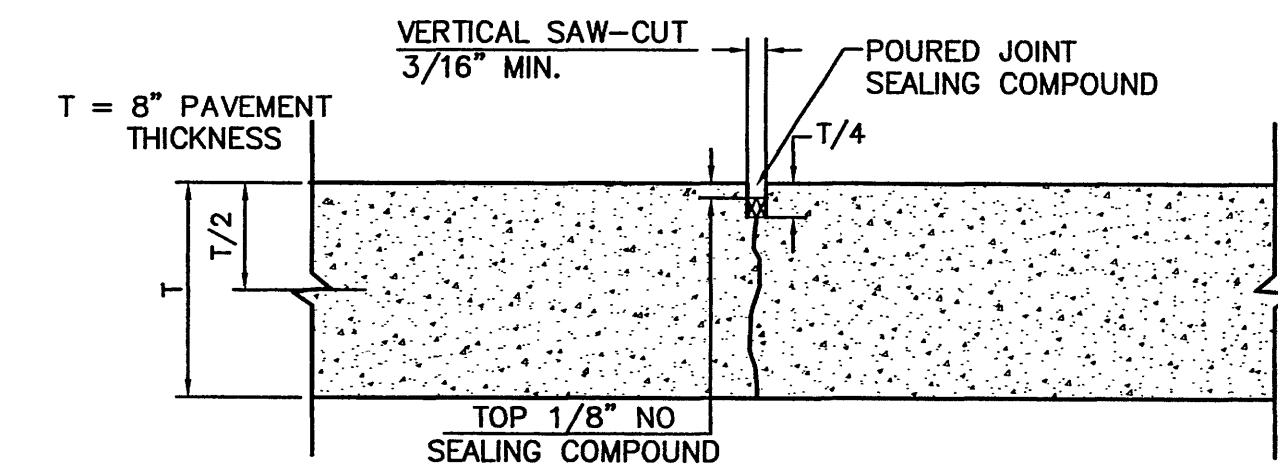
CONCRETE JOINT DETAILS

NTS

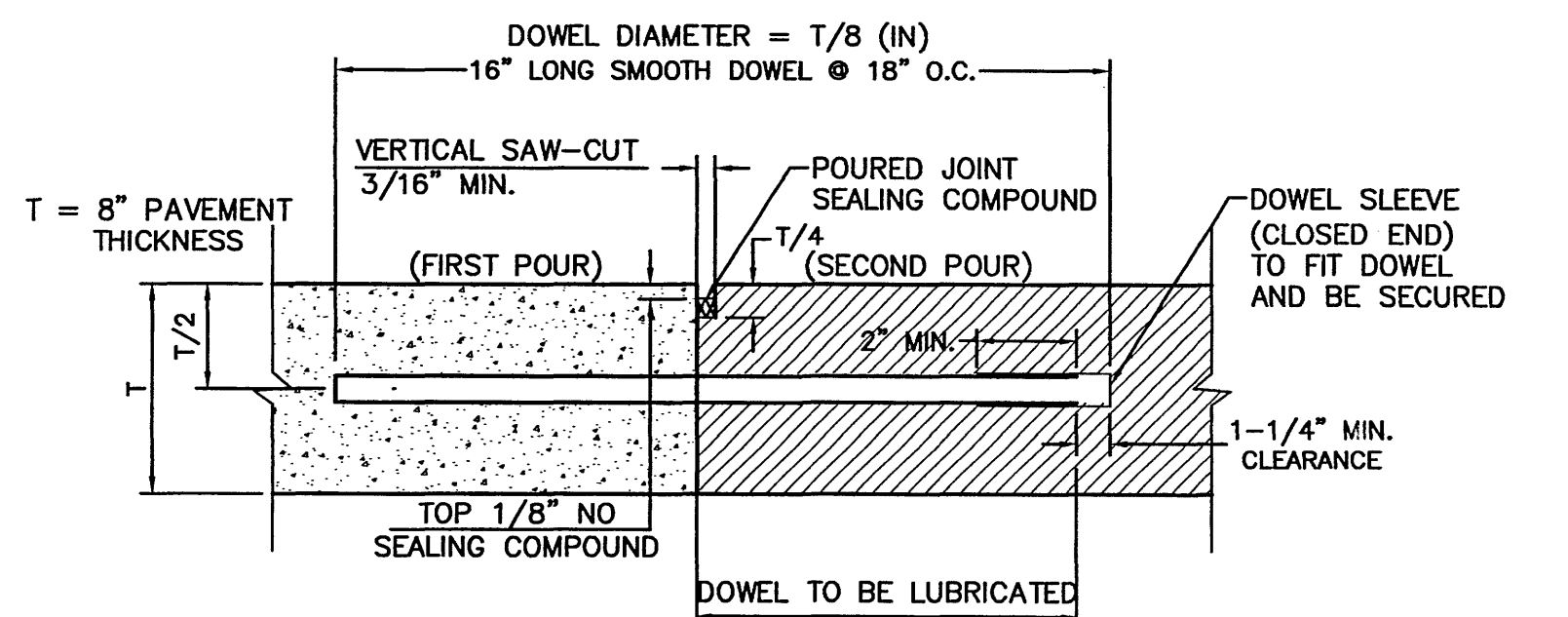


- NOTE:
1. DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

TRANSVERSE EXPANSION JOINT



CONTRACTION JOINT

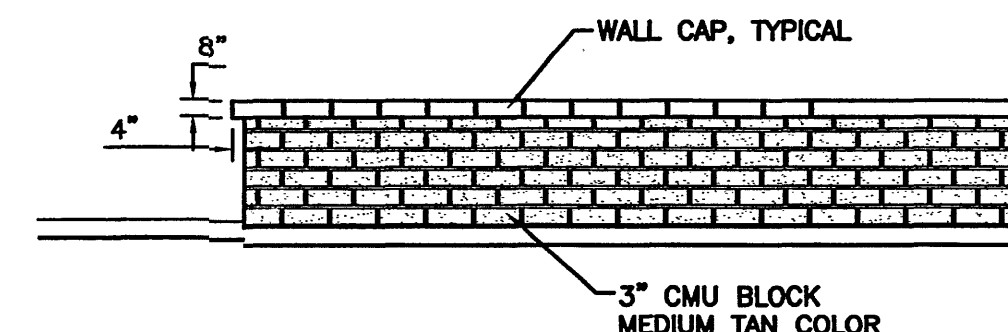


- NOTE:
1. DOWELS SHALL BE SUPPORTED BY AN APPROVED DEVICE.

CONSTRUCTION JOINT

GENERAL NOTES:

1. ALL CONCRETE IS TO BE 3000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.



SCREEN WALL DETAIL (TYP.)

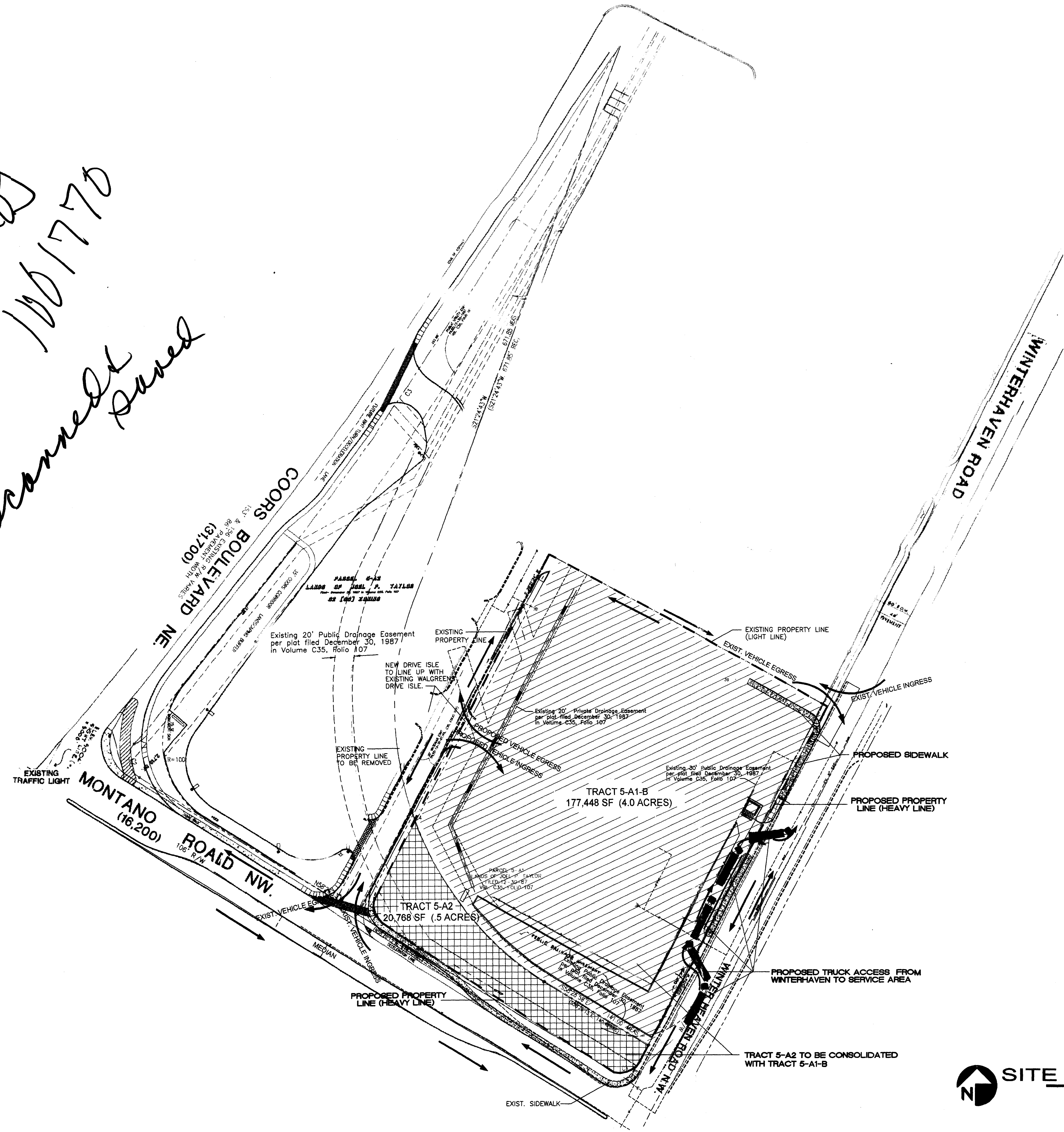
NTS

SEE SITE PLAN FOR HEIGHT OF WALL

ENGINEER'S SEAL	MONTANO PLAZA	DRAWN BY
	DETAILS	DATE 11/19/02
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	DETAILS.DWG
RONALD R. BOHANNAN P.E. #7868		SHEET # C7
		JOB # 220093

*Steel
Cutline*

PROJ
1001770
Scanned
Saved



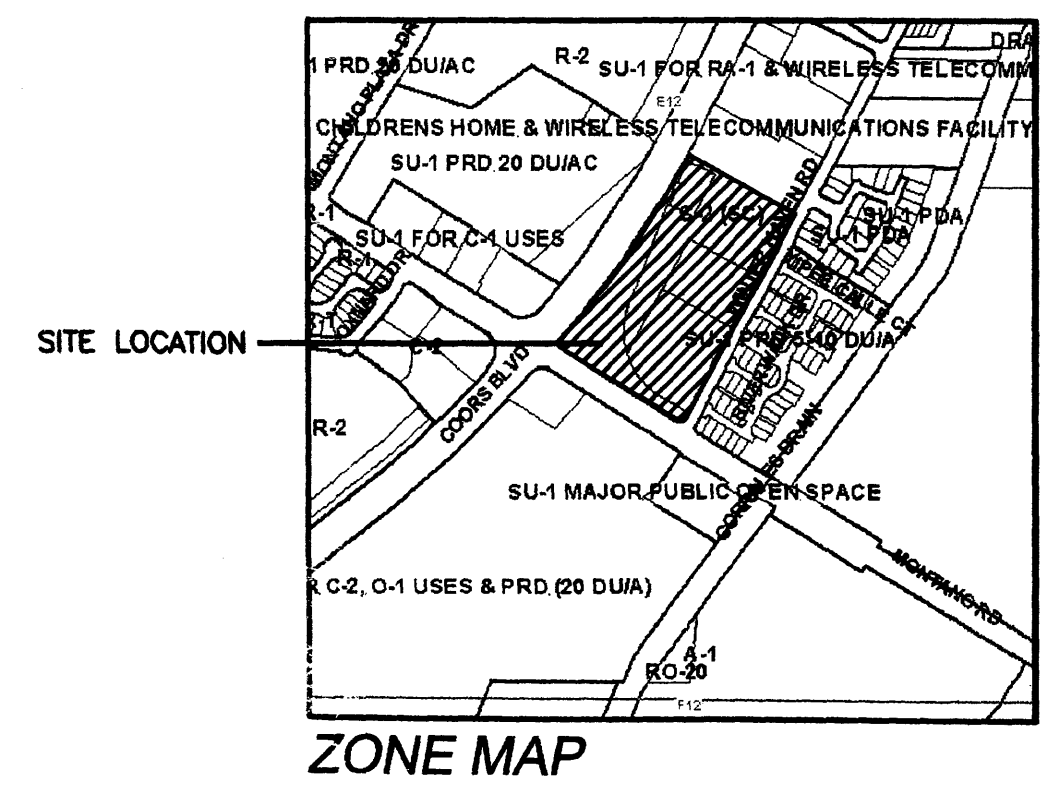
PRELIMINARY PLAT
APPROVED BY DRB
ON 8/16/05

EPC CASE # _____ DRB CASE # SPD
 This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on _____ and that the findings and conditions in the Official Notice of Decision have been complied with:
SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division _____ Date _____
 Parks and General Services Department _____ Date _____
 Public Works, Water Utilities Division _____ Date _____
 City Engineer, Engineering Division / AMAFCA _____ Date _____

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo County Planning Division _____ Date _____
See Website 8-16-05
 Solid Waste



LEGEND

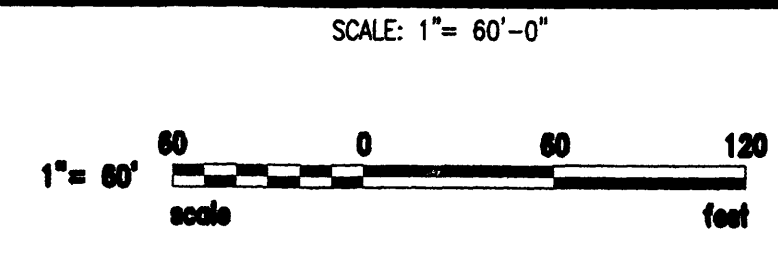
- EXISTING PROPERTY LINE
- - - PROPOSED PROPERTY LINE
- CURB
- ▨ EXISTING TRACT 5-A1-A
- ▩ EXISTING 5-A2 TO BE CONSOLIDATED WITH 5-A1-A
- ▤ EXISTING SIDEWALK
- ▥ PROPOSED SIDEWALK
- ▧ EXISTING CROSSWALK
- ▨ TRUCK TRAFFIC

SITE DATA TABLE

PROPOSED TRACT	USE	ZONING	MAX. BLDG. HEIGHT	SEAT. CAPACITY	F.A.R.
5-A1-B	RETAIL + BANK	C-2	30 FEET	120	.32

- NOTES:**
- PEDESTRIAN CONNECTIONS SHALL BE PER THE OFF-STREET PARKING REQUIREMENTS OF THE ZONING CODE.
 - MINIMUM BUILDING SETBACKS ARE DESIGNATED ON THE SITE PLAN FOR BUILDING PERMIT.

SITE PLAN FOR SUBDIVISION



AFD PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED
 HYDRANT(S) ONLY
 8/16/05
 SIGNATURE & DATE

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

PRELIMINARY NOT FOR CONSTRUCTION

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY NOT FOR CONSTRUCTION

PROJECT TITLE
MONTANO PLAZA SHOPS
 COORS AND MONTANO

PROJECT MANAGER
 William Sutilles

DRAWN BY
 WRS

JOB NO.
 0413

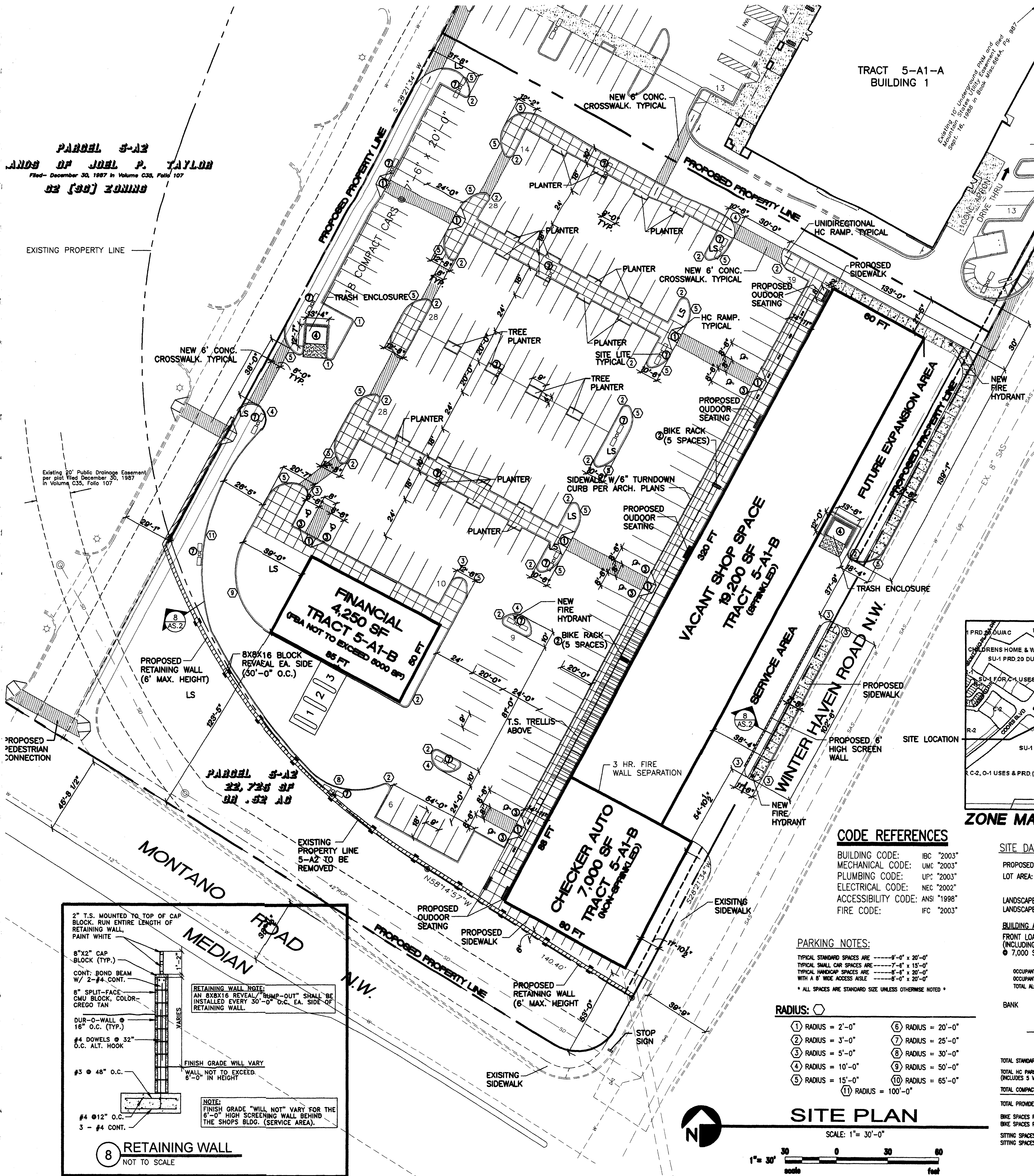
SHEET TITLE
SITE PLAN FOR SUBDIVISION

DATE:
 8.16.2005

SCALE:
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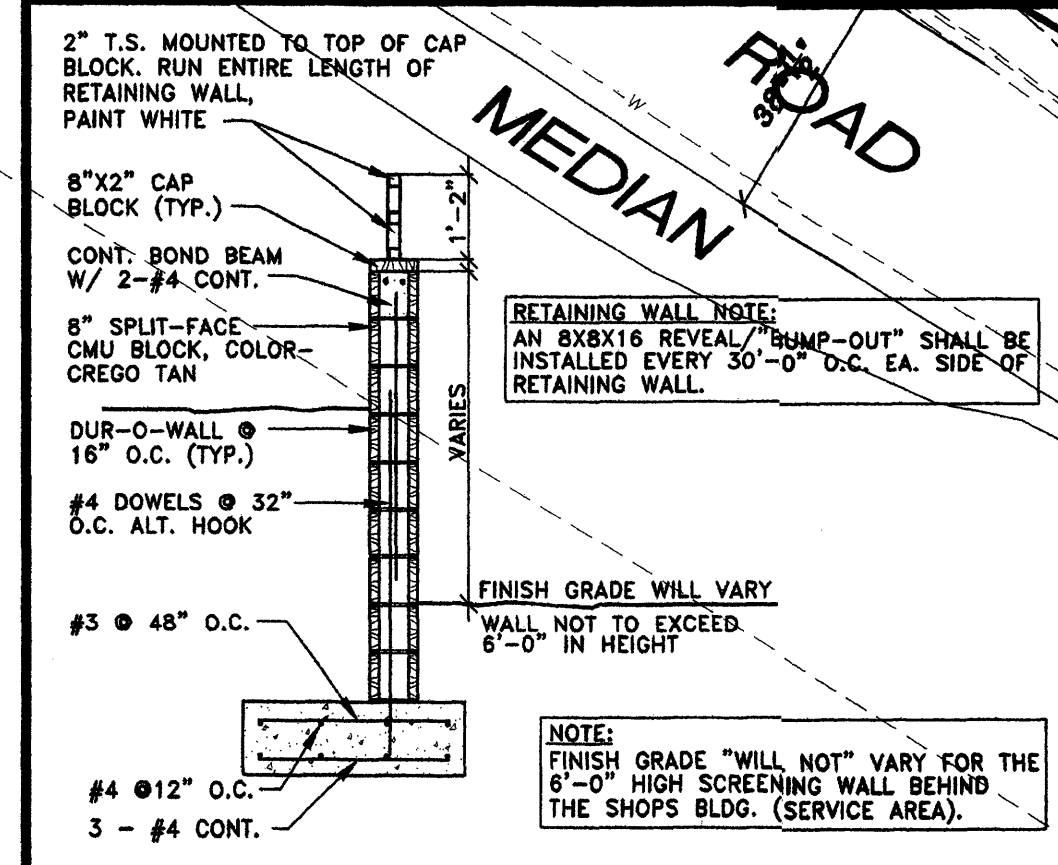
sheet:
AS.1

PARCEL 5-A2
LANDS OF JOEL P. TAYLOR
 Filed December 30, 1987 in Volume C35, Folio 107
02 (98) ZONING



TRACT 5-A1-A
 BUILDING 1

8 RETAINING WALL
 NOT TO SCALE

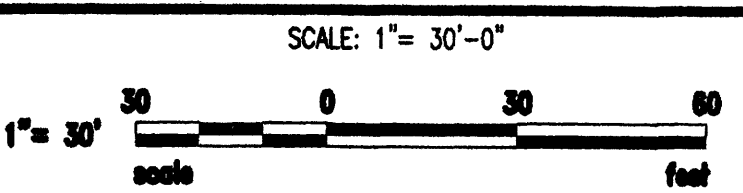


CODE REFERENCES
 BUILDING CODE: IBC "2003"
 MECHANICAL CODE: UMC "2003"
 PLUMBING CODE: UPC "2003"
 ELECTRICAL CODE: NEC "2002"
 ACCESSIBILITY CODE: ANSI "1998"
 FIRE CODE: IFC "2003"

PARKING NOTES:
 TYPICAL STANDARD SPACES ARE 9'-0" x 20'-0"
 TYPICAL SMALL CAR SPACES ARE 7'-4" x 15'-0"
 TYPICAL HANDICAP SPACES ARE 8'-6" x 20'-0"
 WITH A 6' WIDE ACCESS AISLE
 8'-0" x 20'-0"
 * ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED *

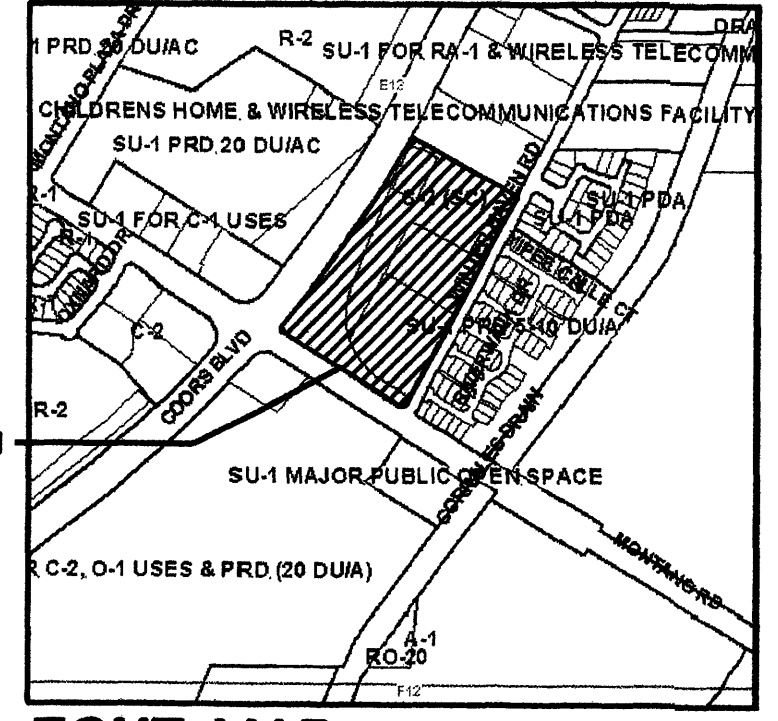
- RADIUS:**
- (1) RADIUS = 2'-0"
 - (2) RADIUS = 3'-0"
 - (3) RADIUS = 5'-0"
 - (4) RADIUS = 10'-0"
 - (5) RADIUS = 15'-0"
 - (6) RADIUS = 20'-0"
 - (7) RADIUS = 25'-0"
 - (8) RADIUS = 30'-0"
 - (9) RADIUS = 50'-0"
 - (10) RADIUS = 65'-0"
 - (11) RADIUS = 100'-0"

SITE PLAN



CODE DATA

ADDRESS: 6000 COORS NW
 ZONING: C2
 OCCUPANCY: M
 BUILDING TYPE: TYPE IIB
 SEISMIC ZONE: 2B
 ALLOWABLE AREA: 6,000 SF
 # OF STORIES: ONE
 FIRE PROTECTION: SHOPS BLDG. SPRINKLED, CHECKER, NON-SPRINKLED
 NOTE: A 3HR. FIRE WALL ASSEMBLY WILL BE ERRECTED BETWEEN CHECKER AND THE SHOPS BUILDING.



SITE DATA:
 PROPOSED USAGE: C-2 USE
 LOT AREA: 177,448 SF (4.0 ACRES)
 LANDSCAPE REQUIRED: 20,050 SF
 LANDSCAPE PROVIDED: 48,971 SF

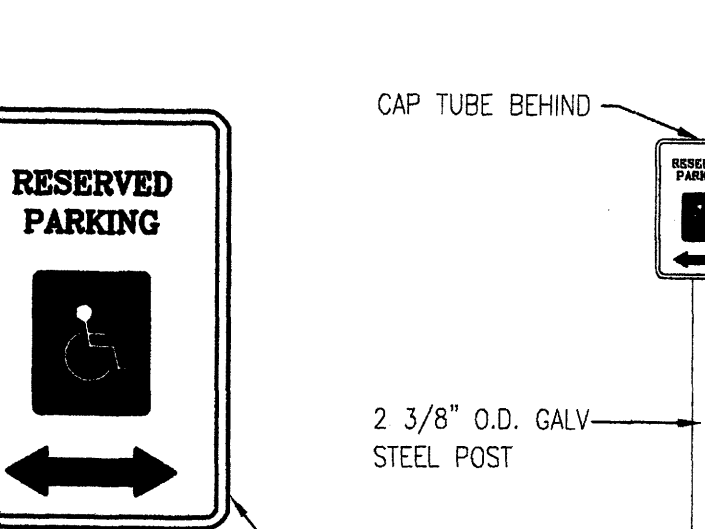
BUILDING AREA:
 FRONT LOAD SHOPS (INCLUDING CHECKER @ 7,000 SF) 26,200 SF. BUILDING SPACES PROVIDED 131 SPACES
 CHECKER @ 7,000 SF 7,000/15 = 467
 OCCUPANT LOAD (CHECKER @ 7,000SF) 19,200/15 = 1,280
 OCCUPANT LOAD (SHOPS @ 19,200SF) 19,200/15 = 1,280
 TOTAL ALLOWABLE AREA: 6,000SF

BANK: 4,250 SF. BUILDING SPACES PROVIDED 22 SPACES
 CHECKER @ 7,000 SF 7,000/15 = 467
 OCCUPANT LOAD (CHECKER @ 7,000SF) 19,200/15 = 1,280
 OCCUPANT LOAD (SHOPS @ 19,200SF) 19,200/15 = 1,280
 TOTAL ALLOWABLE AREA: 6,000SF

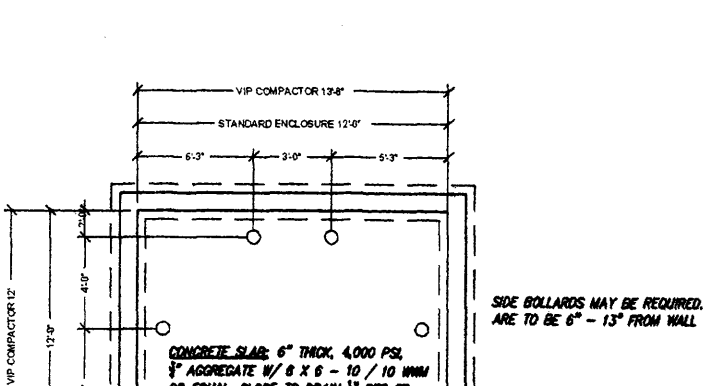
TOTAL STANDARD PARKING SPACES PROVIDED: 154 SPACES
 TOTAL HC PARKING SPACES PROVIDED (INCLUDES 5 VAN SPACES): 8 SPACES
 TOTAL COMPACT PARKING SPACES PROVIDED: 19 SPACES
 TOTAL PROVIDED: 181 SPACES

BIKE SPACES REQUIRED: 9 SPACES
 BIKE SPACES PROVIDED: 10 SPACES
SITTING SPACES REQUIRED: 17 SPACES
 SITTING SPACES PROVIDED: 20 SPACES

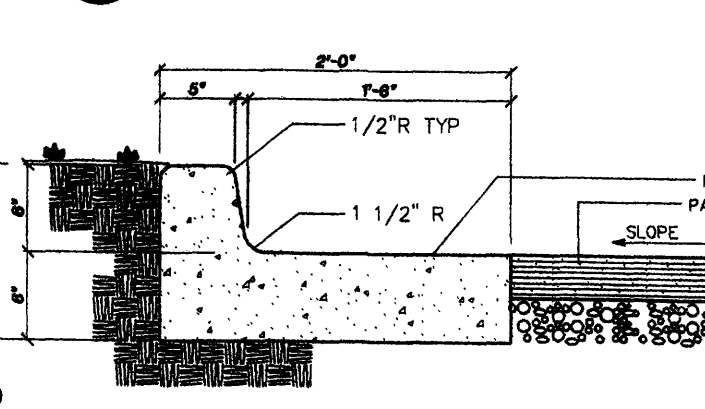
1 HANDICAP RAMP DETAIL
 NOT TO SCALE



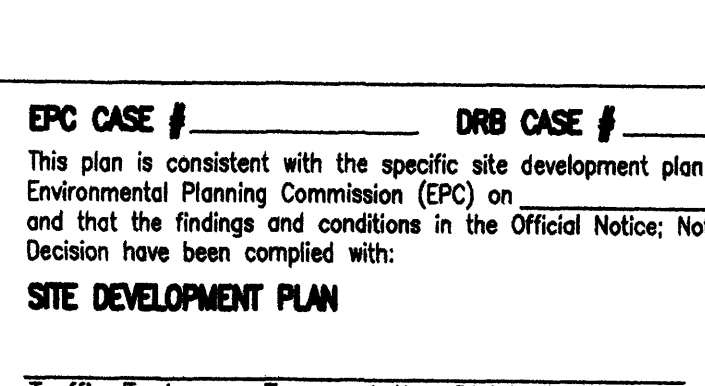
2 BIKE RACK DETAIL
 NOT TO SCALE



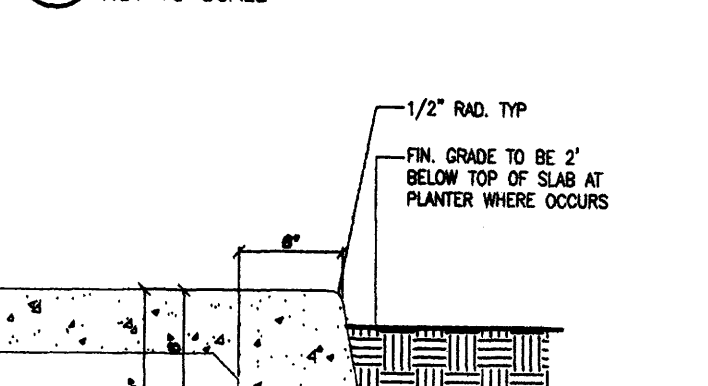
3 ACCESSIBLE PARKING SIGN
 NOT TO SCALE



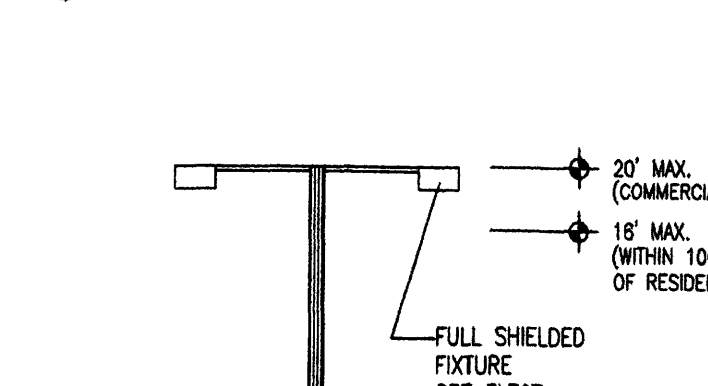
5 CURB & GUTTER
 NOT TO SCALE



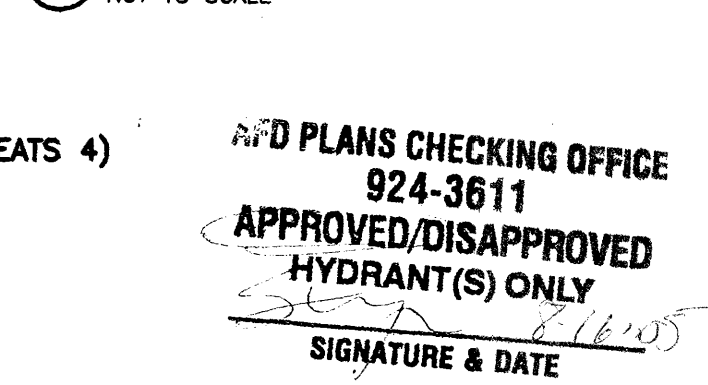
4 TRASH ENCLOSURE
 NOT TO SCALE



6 CURB DETAIL
 NOT TO SCALE



7 SITE LIGHTING DETAIL
 NOT TO SCALE



LEGEND

- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- EXISTING CURB AND GUTTER
- PROPOSED SCREEN WALL
- PROPOSED CURB
- PROPOSED SIDEWALK
- PROPOSED CROSSWALK-STAMPED PATTERN CONCRETE
- PROPOSED FIRE HYDRANT
- PROPOSED BIKE RACK
- PROPOSED PARKING LOT LIGHTING
- PROPOSED OUTDOOR SEATING (EA. SEATS 4)
- PROPOSED LANDSCAPING

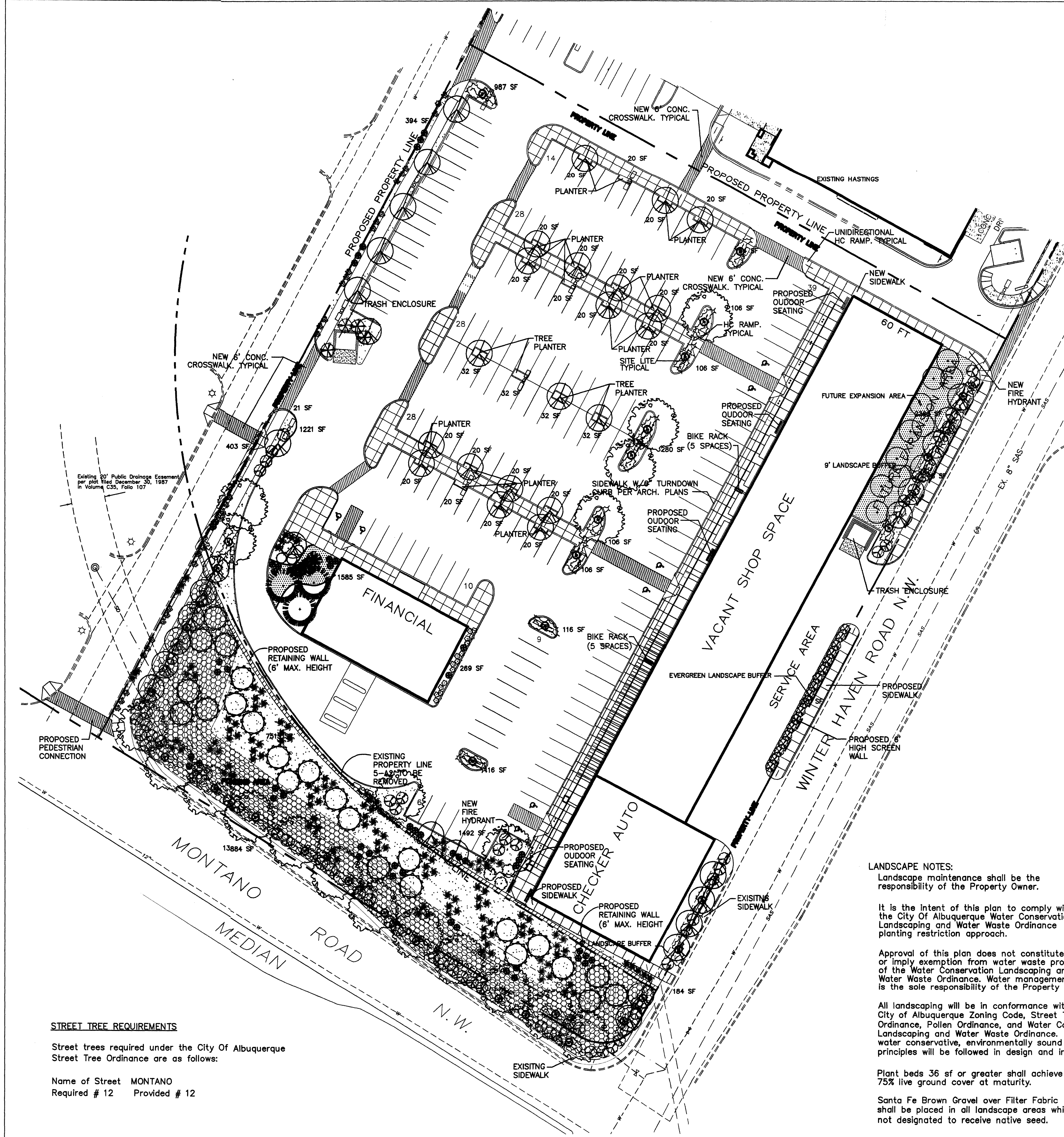
RD PLANS CHECKING OFFICE
 924-3611
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 SIGNATURE & DATE

REV	DATE	BY	REVISION
1			
2			
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GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
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 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY NOT FOR CONSTRUCTION

PROJECT TITLE MONTANO PLAZA SHOPS COORS AND MONTANO	DRAWN BY: WRS
PROJECT MANAGER William Suttles	JOB NO. 0413
SHEET TITLE SITE PLAN	DATE: 8.16.2005
SCALE: 1" = 30'	sheet: AS.2

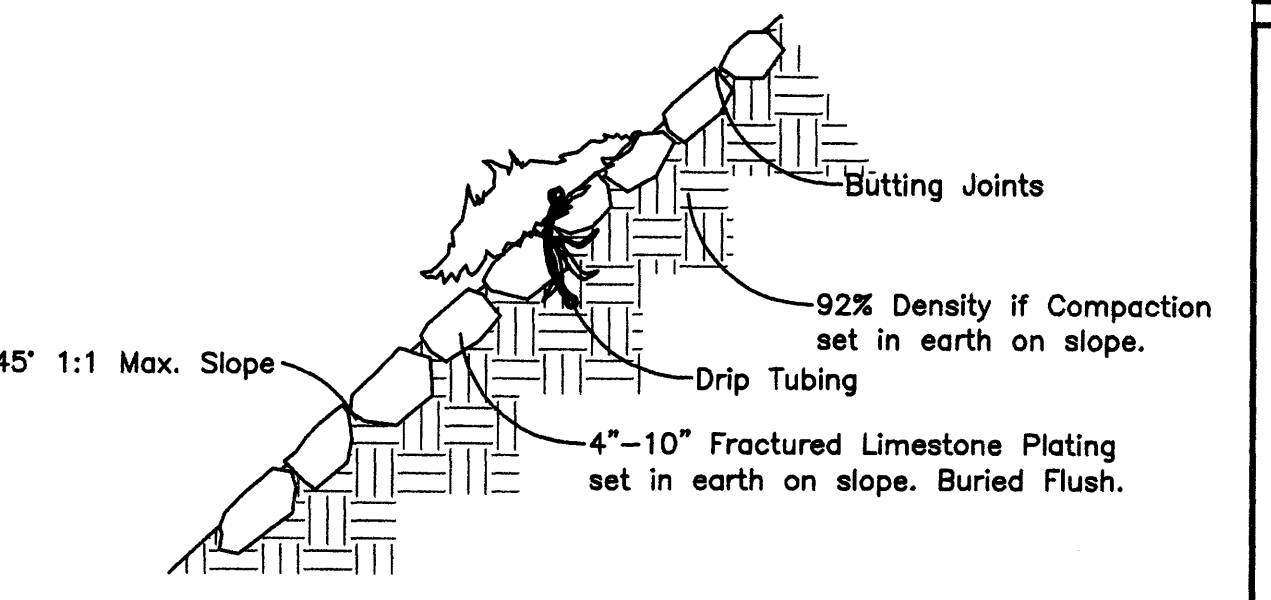


PLANT LEGEND

- ASH (H) OR HONEY LOCUST (M) 20
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal.
- AUSTRIAN PINE (M) 3
Pinus nigra
6'-8'
- FLOWERING PEAR (M+) 48
Pyrus calleryana
2" Cal.
- NEW MEXICO OLIVE (L) 26
Forestiera neomexicana
15 Gal.
- DESERT WILLOW (L) 11
Chilopsis linearis
5 Gal. 225sf
- PALM YUCCA (L) 1
- SILVERBERRY (M) 6
Elaeagnus pungens
5 Gal. 81sf
- BIRD OF PARADISE (L) 5
Caesalpinia gilliesii
5 Gal. 100sf
- BUTTERFLY BUSH (M) 3
Buddleia davidii
5 Gal. 100sf
- INDIAN HAWTHORN (M) 18
Raphiolepis indica
5 Gal. 36sf
- MAIDENGRASS (M) 128
Miscanthus sinensis
5 Gal. 16sf
- REGAL MIST (M) 53
Muhlenbergia capillaris
5 Gal. 9sf
- THREADGRASS (M) 30
Stipa tenuissima
1 Gal. 2sf
- POTENTILLA (M) 15
Potentilla fruticosa
2 Gal. 4sf
- HALL'S HONEYSUCKLE (M) 68
Japonica 'Halliana'
1 Gal. 144sf
Unstaked-Groundcover
- CREEPING ROSEMARY (L) 96
Rosmarinus officinalis 'Prostrata'
1 Gal. 36sf
Symbol indicates 3 plants
- OVERSIZED GRAVEL & 3 BOULDERS
- SANTA FE BROWN CRUSHER FINES
- SANTA FE BROWN GRAVEL
- RIP RAP
- COMMERCIAL GRADE STEEL EDGING

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	196020	square feet
TOTAL BUILDINGS AREA	30450	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	165570	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	24836	square feet
TOTAL BED PROVIDED	20288	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	15216	square feet
TOTAL GROUNDCOVER PROVIDED	20302 (100%)	square feet
TOTAL PONDING AREA	13884	square feet
TOTAL LANDSCAPE PROVIDED	34172 (20%)	square feet



RIP RAP PLATING DETAIL
Grey Limestone

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds 36 sf or greater shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

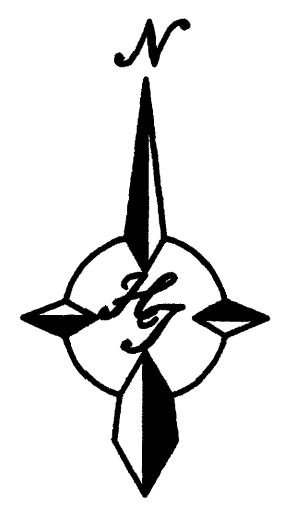
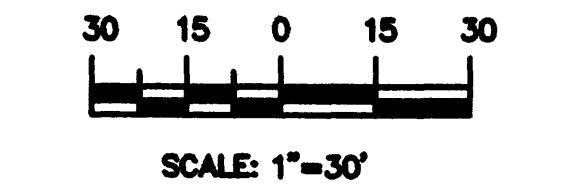
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

GRAPHIC SCALE



LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmd@hilltoplandscaping.com

STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Name of Street	MONTANO
Required #	12
Provided #	12

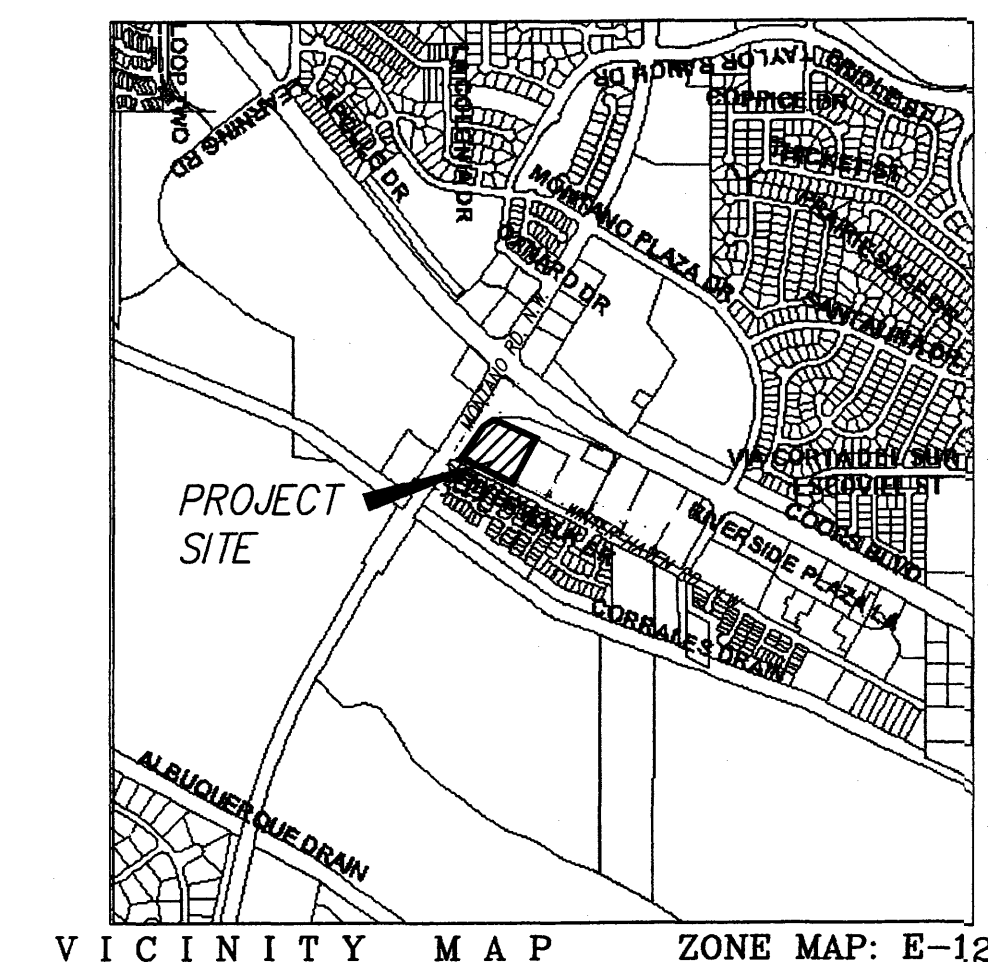
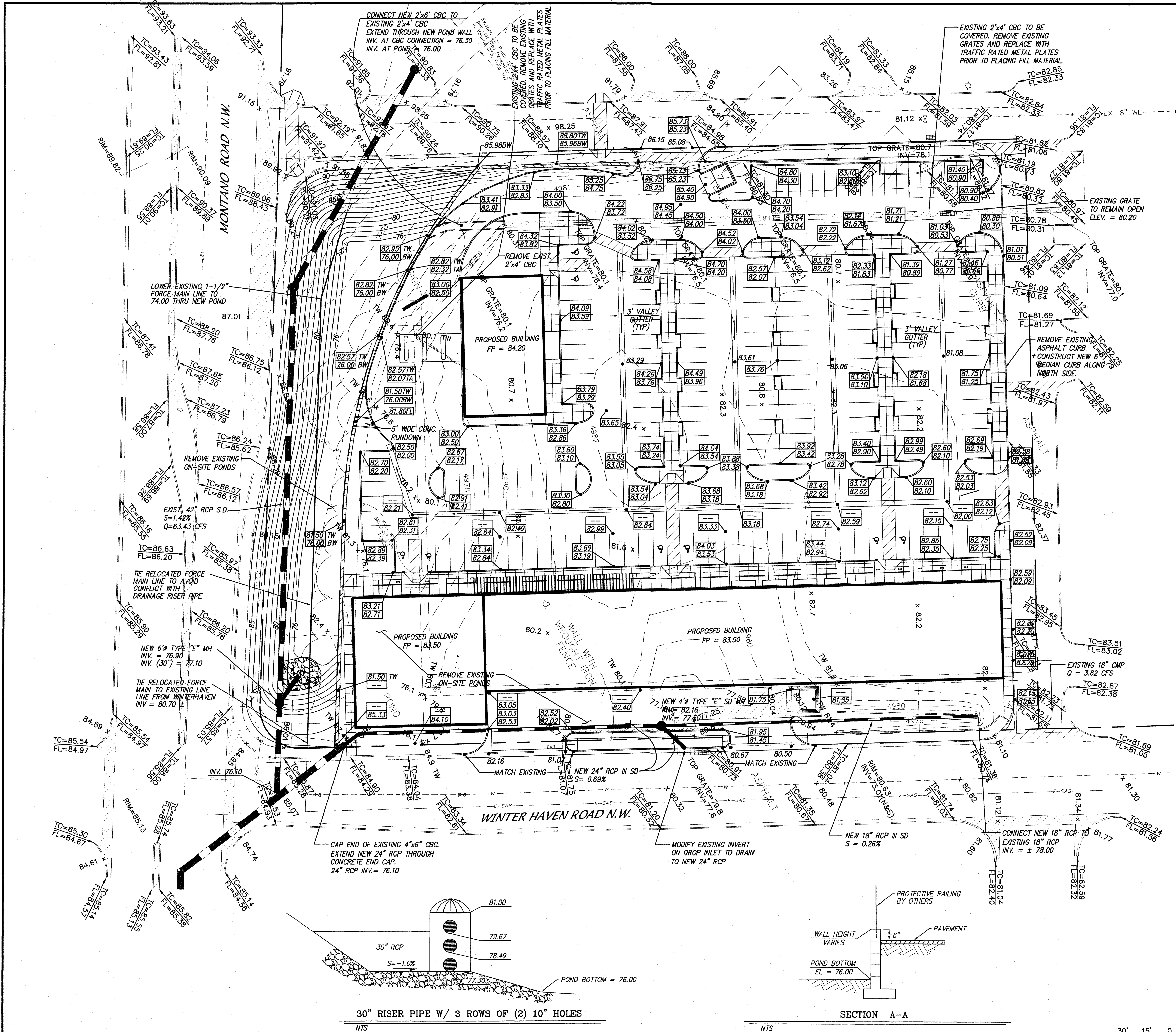
REV	DATE	BY	COMMENTS
1	5-23-05	drr	revised site plan/planters
2	5-14-05	drr	revised site plan
3	2-21-05	drr	add gift and sidewalks
4	11/02/04		

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY NOT FOR CONSTRUCTION

PROJECT TITLE: **MONTANO PLAZA SHOPS**
COORS AND MONTANO ALBUQUERQUE, NM
DRAWN BY: drr
JOB NO.: 0413
PROJECT MANAGER: William Suttles
SHEET TITLE: **Landscape plan**

DATE:	8.16.2005	SHEET:	1
SCALE:	1"=30'	OF:	1



VICINITY MAP ZONE MAP: E-12

NOTES

ACS BENCHMARK

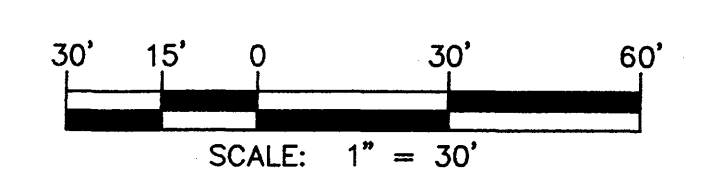
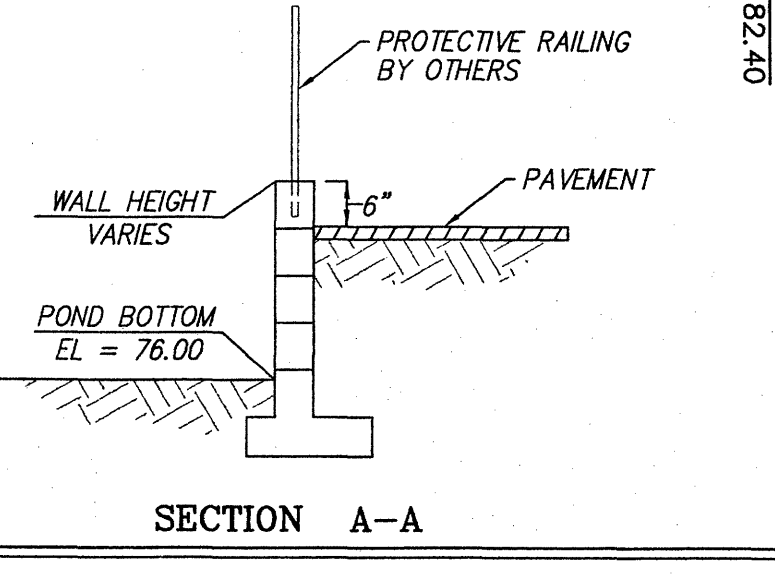
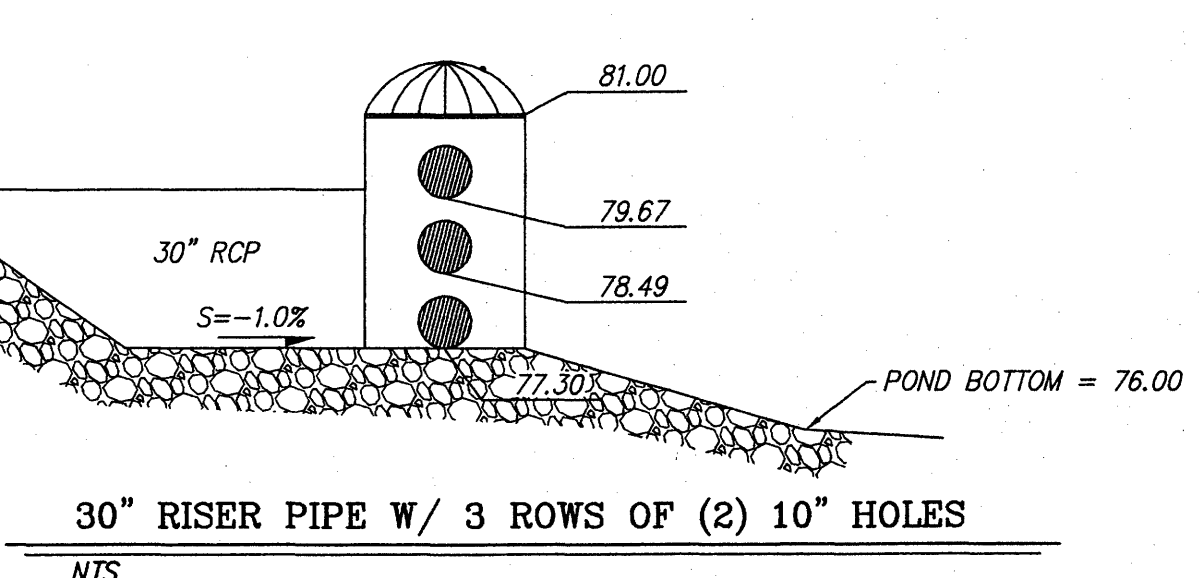
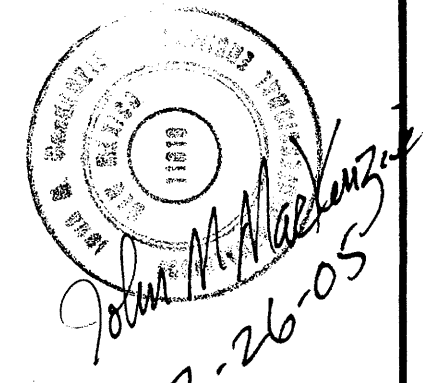
LEGAL DESCRIPTION

TRACT 5A (MONTANO RETAIL)

LEGEND

- 5'00 — EXISTING CONTOUR MAJOR
- 04 — EXISTING CONTOUR MINOR
- 83.78 EXISTING SPOT ELEVATION
- TC=84.83 EXISTING TOP CURB ELEVATION
- FL=83.75 EXISTING FLOWLINE ELEVATION
- — — EXISTING CONCRETE CURB
- — — EXISTING FENCE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING LIGHT POLE
- 02.65 • PROPOSED SPOT ELEVATION
- 03.00 • PROPOSED TOP OF CURB ELEVATION
- 02.50 • PROPOSED FLOWLINE ELEVATION
- — — PROPOSED SWALE
- FLOW ARROW
- FF= 02.50 PROPOSED FINISHED FLOOR ELEVATION
- ▬▬▬▬▬ PROPOSED RETAINING WALL
- ▬▬▬▬▬ PROPOSED GARDEN WALL
- ▬▬▬▬▬ PROPOSED CONCRETE CURB

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE
WORKED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
INSPECTED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
PERFORMANCE BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
VERIFICATION BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
CORRECTED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
MICRO-FILM INFORMATION	DATE	NO.	DATE	NO.	DATE	NO.	DATE
RECORDED BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE



dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

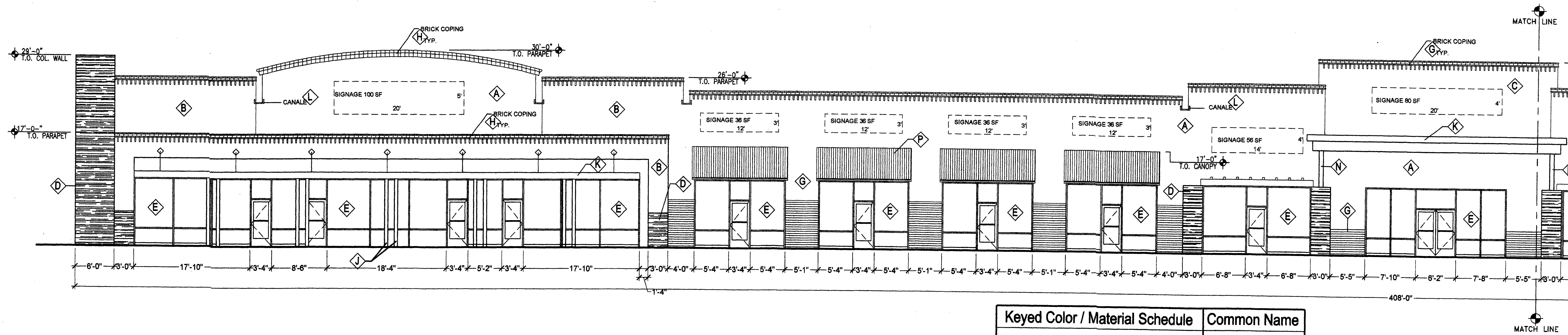
**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

TITLE: **MONTANO RETAIL
GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

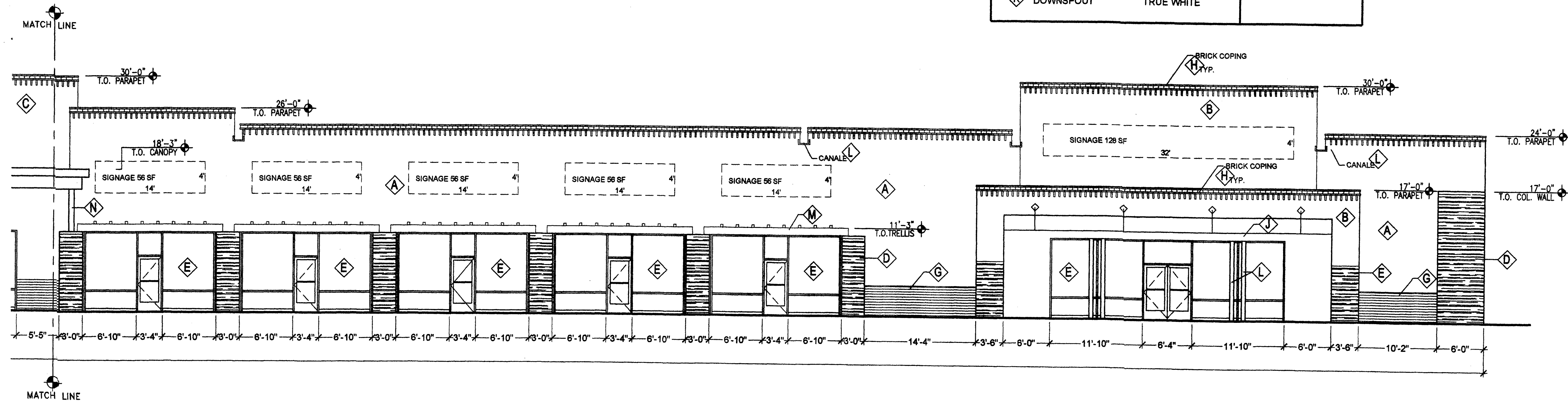
CITY PROJECT NO. _____ ZONE MAP NO. **E-12-Z** SHEET **1** OF **1**

DESIGNED BY **DMG** DATE **08/04**
DRAWN BY **R/S** DATE **09/04**
CHECKED BY **DMG** DATE **09/04**



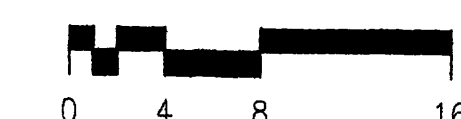
NOTES:
 ALL MECH. EQUIP. SHALL BE SHIELDED
 ALUM. STOREFRONT SHALL BE RECESSED 2"
 FROM FACE OF STUCCO.
 SIGN AREA TO BE DETERMINED BY LOCAL
 CODE.

Keyed Color / Material Schedule		Common Name
Ⓐ	STUCCO EL REY 821 LARIAT	OFF WHITE/LT.TAN
Ⓑ	STUCCO EL REY 817 DRY RIVER	MED. TAN
Ⓒ	STUCCO EL REY 1570 VEGA	LT. BROWN
Ⓓ	DRystack LEDGESTONE HARRISTONE CHABLIS	
Ⓔ	ALUM. STOREFRONT BRONZE	
Ⓕ	STEEL DOOR & RAINLEADER PAINT TO MATCH ADJACENT FINISH	
Ⓖ	BRICK ANTIQUE RED GROUT TO MATCH	
Ⓗ	BRICK COPING ANTIQUE RED	
Ⓙ	TUBE STEEL COL. TRUE WHITE	
Ⓚ	TUBE STEEL CANOPY TRUE WHITE	
Ⓛ	CANALE PAINT TO MATCH ADJACENT FINISH	
Ⓜ	WOOD TRELLIS TRUE WHITE	
Ⓟ	STANDING SEAM CANOPY LT. SILVER	
Ⓠ	LIGHT FIXTURE LT. SILVER	
Ⓡ	DOWNSPOUT TRUE WHITE	



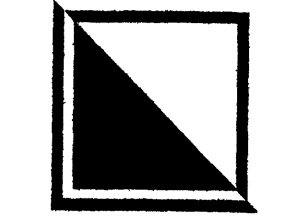
WEST ELEVATION

SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			



GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
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PRELIMINARY
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MONTANO PLAZA SHOPS
 COORS AND MONTANO

PROJECT MANAGER
 William Suttles

JOB NO.
 0413

DATE:
 8.16.2005

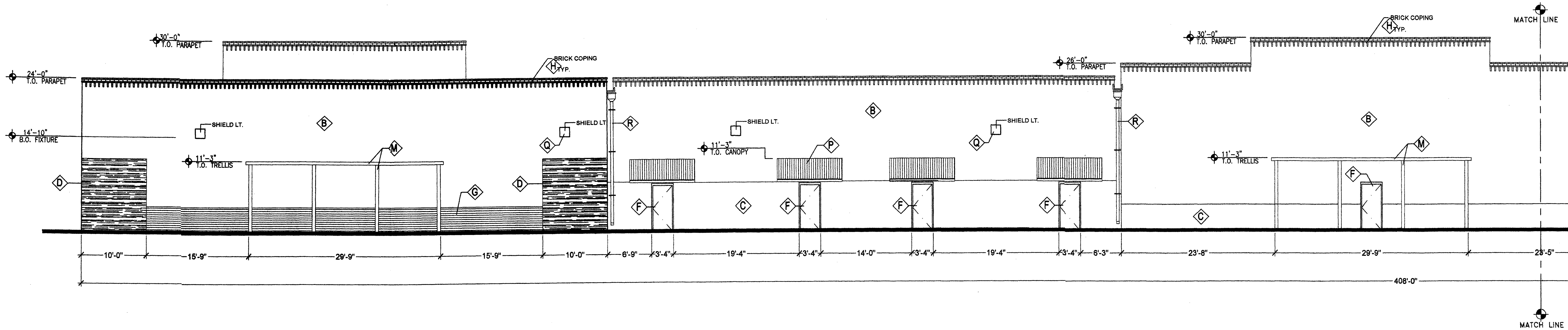
SCALE:
 AS NOTED

DRAWN BY:
 WRS

SHEET TITLE
ELEVATIONS - SHOPS

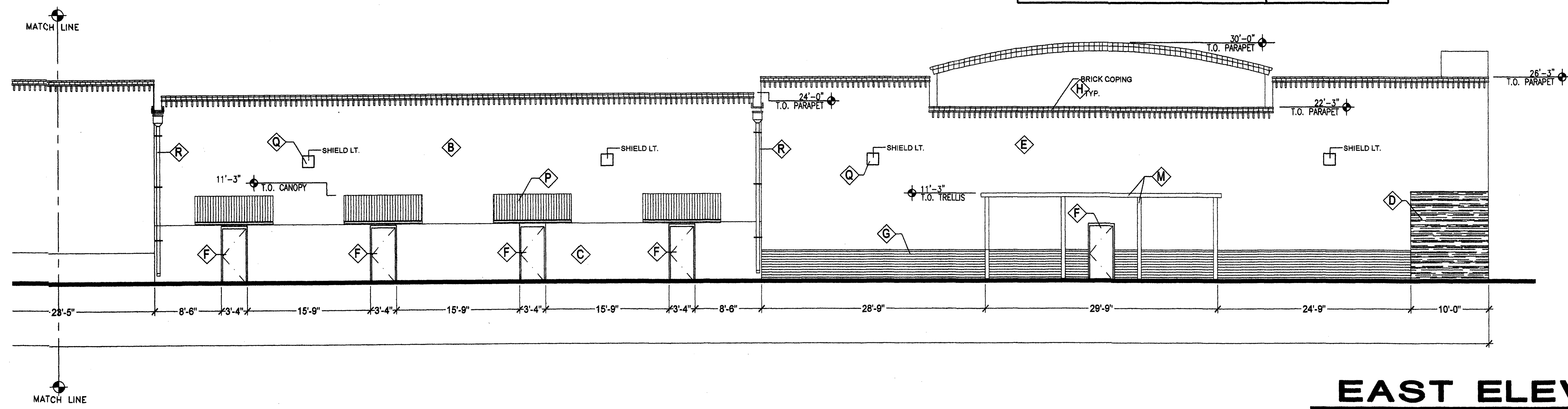
sheet:
A2

of:



NOTES:
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 ALUM. STOREFRONT SHALL BE RECESSED 2"
 FROM FACE OF STUCCO.
 SIGN AREA TO BE DETERMINED BY LOCAL
 CODE.

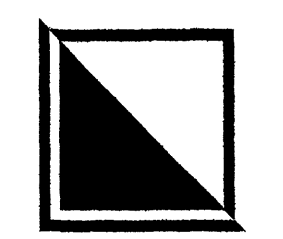
Keyed Color / Material Schedule		Common Name
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Ⓜ	WOOD TRELLIS TRUE WHITE	
Ⓟ	STANDING SEAM CANOPY LT. SILVER	
Ⓠ	LIGHT FIXTURE LT. SILVER	
Ⓡ	DOWNSPOUT TRUE WHITE	



EAST ELEVATION

SCALE: 1/8" = 1'-0"
 0 4 8 16
 SCALE: 1/8" = 1'-0"

REV	DATE	BY	REVISION
1			
2			
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5			

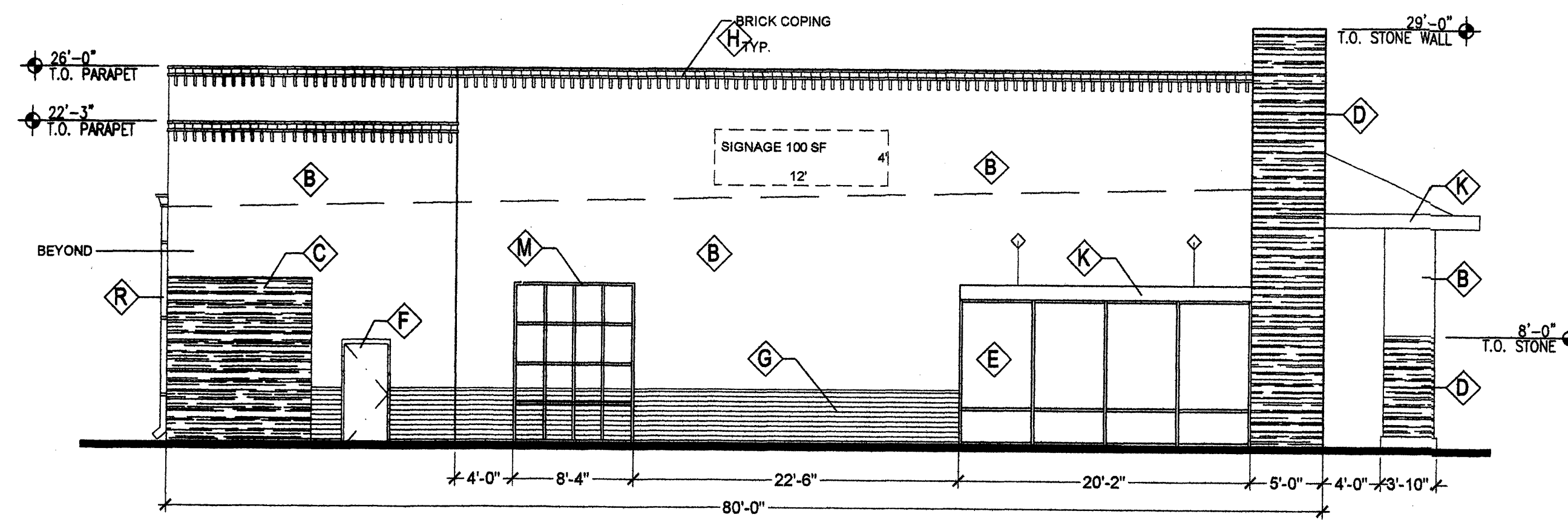


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**PRELIMINARY
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 COORS AND MONTANO
 PROJECT MANAGER
 William Suttles
 SHEET TITLE
ELEVATIONS - SHOPS
 DRAWN BY:
 WRS
 JOB NO.
 0413

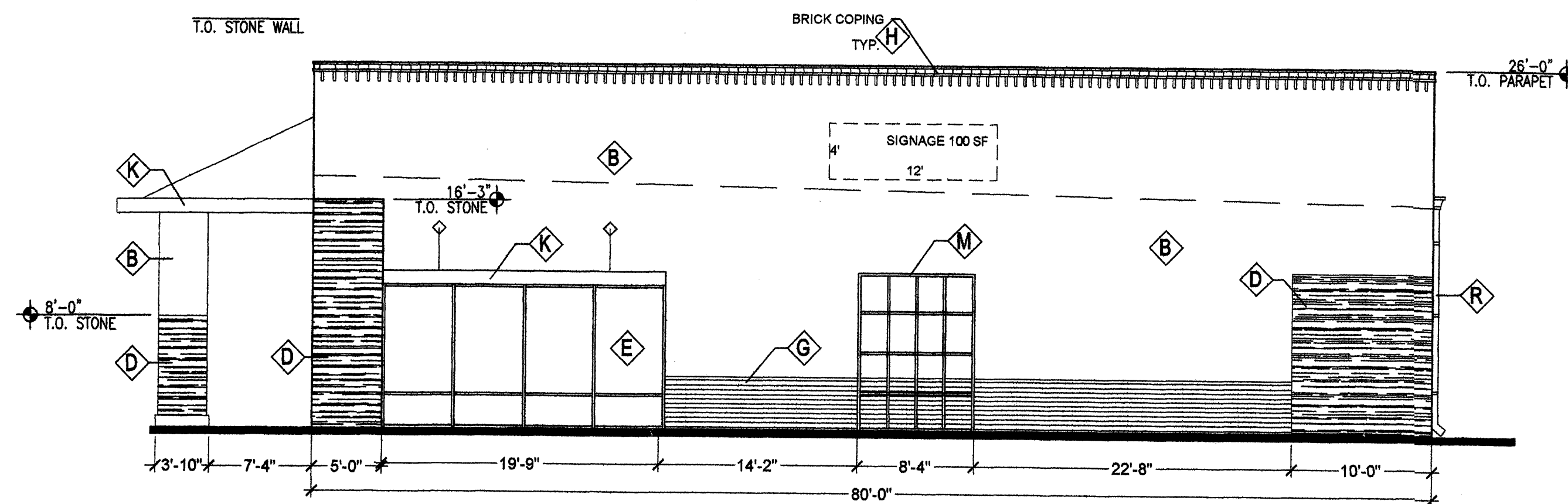
DATE:
 8.16.2005
 SCALE:
 AS NOTED
 sheet
A2.1
 of.



NORTH ELEVATION

NOTES:
 ALL MECH. EQUIP. SHALL BE SHIELDED
 ALUM. STOREFRONT SHALL BE RECESSED 2"
 FROM FACE OF STUCCO.
 SIGN AREA TO BE DETERMINED BY LOCAL
 CODE.

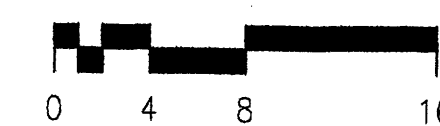
Keyed Color / Material Schedule		Common Name
⬡	STUCCO EL REY 821 LARIAT	OFF WHITE/ LT.TAN
⬢	STUCCO EL REY 817 DRY RIVER	MED. TAN
⬣	STUCCO EL REY 1570 VEGA	LT. BROWN
⬤	DRystack LEDGESTONE HARRISTONE CHABLIS	
⬥	ALUM. STOREFRONT BRONZE	
⬦	STEEL DOOR & RAINLEADER PAINT TO MATCH ADJACENT FINISH	
⬧	BRICK ANTIQUE RED GROUT TO MATCH	
⬨	BRICK COPING ANTIQUE RED	
⬩	TUBE STEEL COL. TRUE WHITE	
⬪	TUBE STEEL CANOPY TRUE WHITE	
⬫	CANALE PAINT TO MATCH ADJACENT FINISH	
⬬	WOOD TRELLIS TRUE WHITE	
⬭	STANDING SEAM CANOPY LT. SILVER	
⬮	LIGHT FIXTURE LT. SILVER	
⬯	DOWNSPOUT TRUE WHITE	



SOUTH ELEVATION

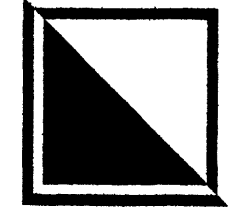
ELEVATIONS

SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			



GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

**PRELIMINARY
 NOT FOR
 CONSTRUCTION**

PROJECT TITLE
MONTANO PLAZA SHOPS
 COORS AND MONTANO

PROJECT MANAGER
 William Suttles

JOB NO.
 0413

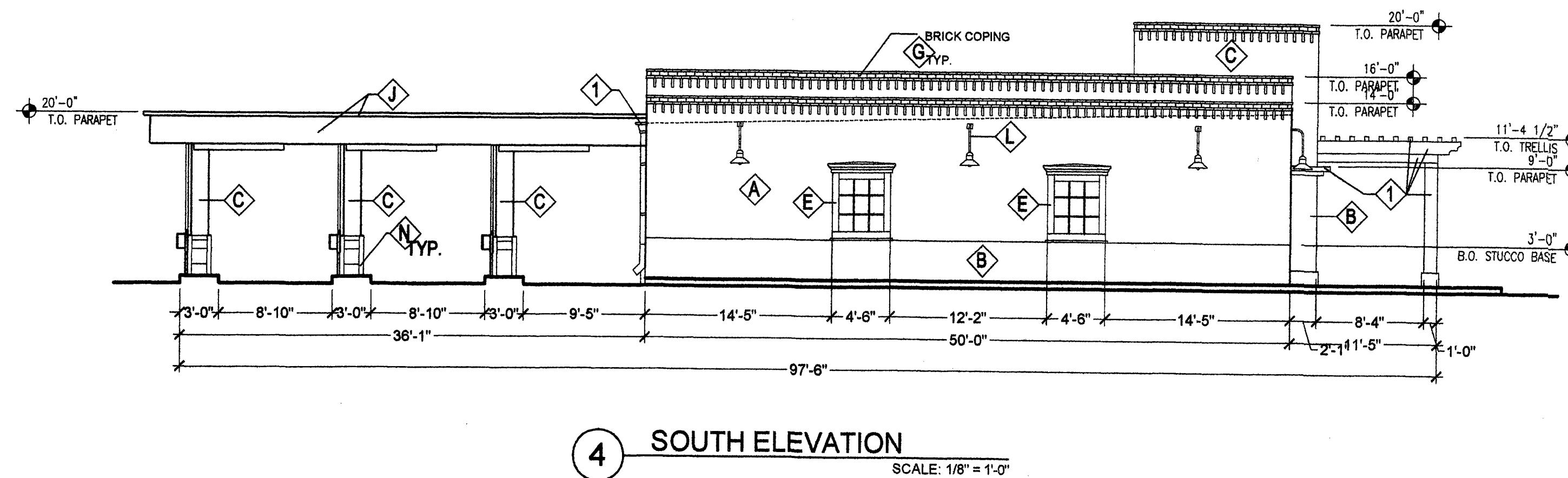
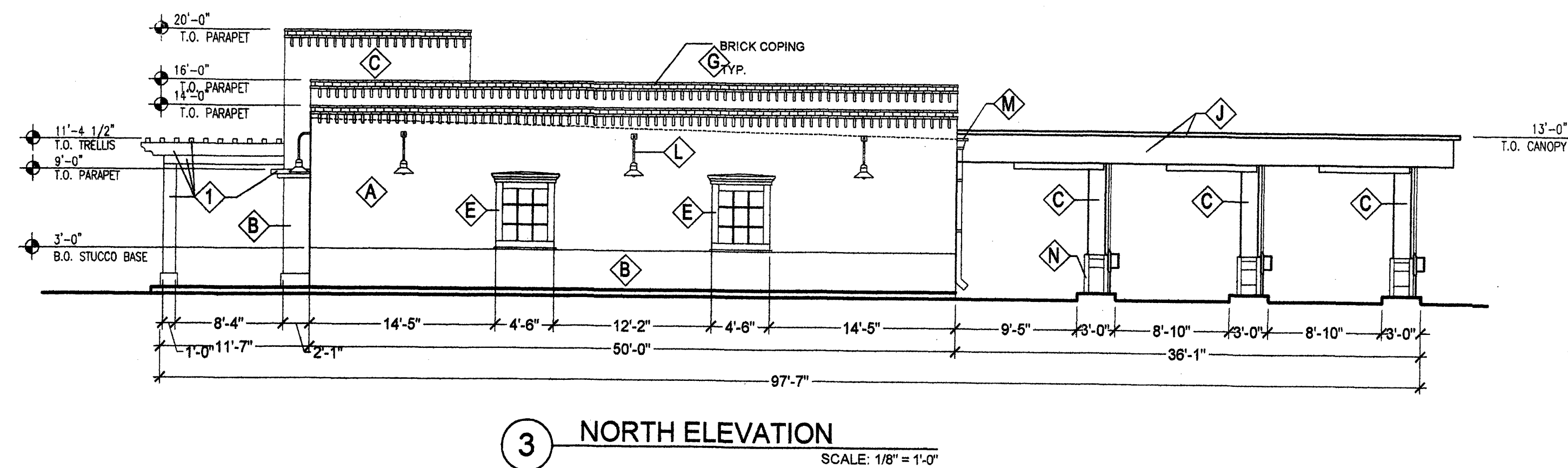
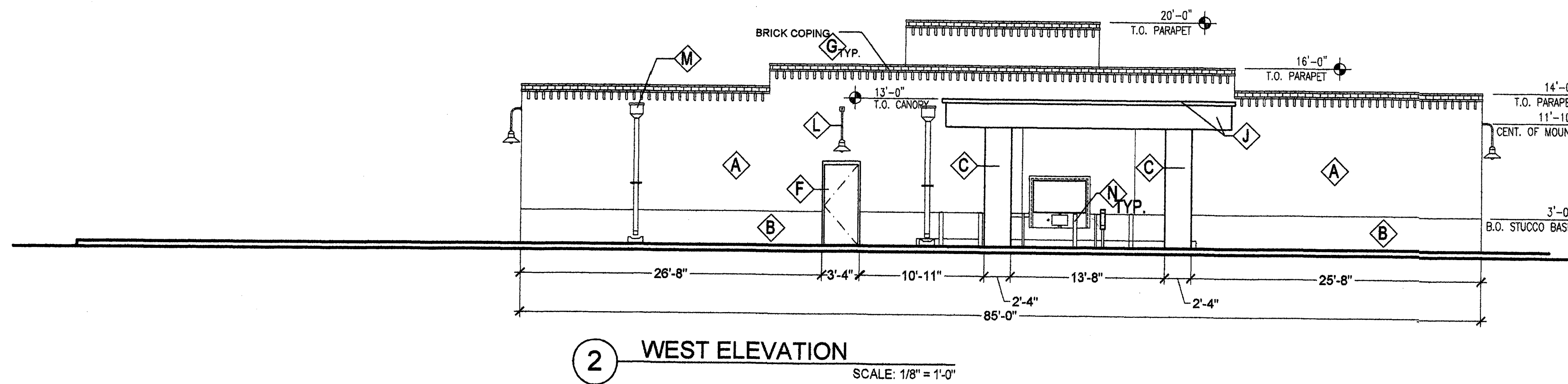
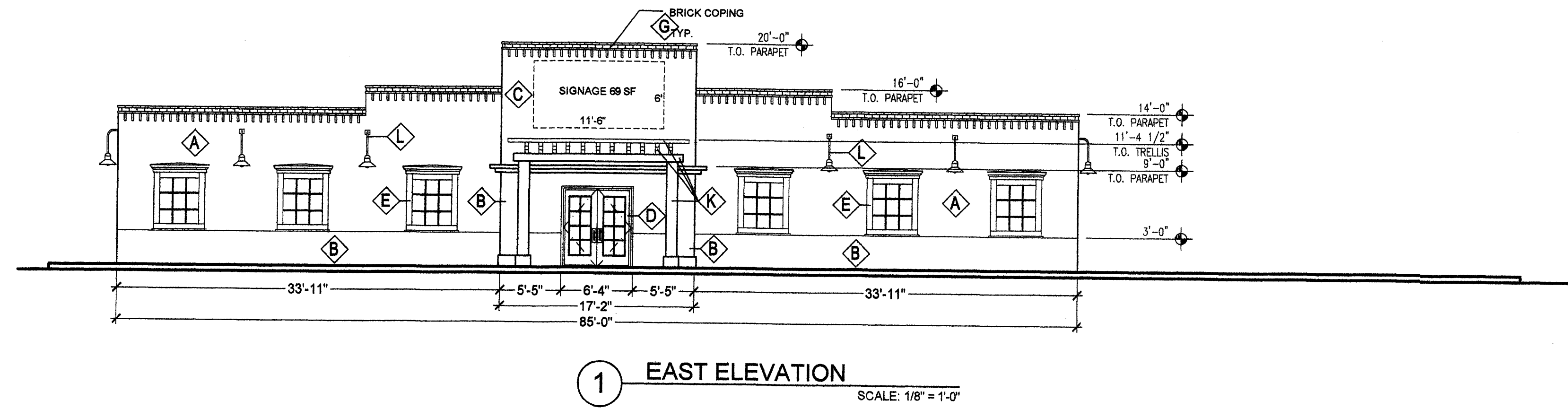
DRAWN BY:
 WRS

SHEET TITLE
ELEVATIONS - SHOPS

DATE:
 8.16.2005

SCALE:
 AS NOTED

sheet-
A2.2
 of



Keyed Color / Material Schedule		Common Name
◇	STUCCO EL REY 821 LARIAT	OFF WHITE/LT.TAN
◇	STUCCO EL REY 817 DRY RIVER	MED. TAN
◇	STUCCO EL REY 1570 VEGA	LT. BROWN
◇	FRONT ENTRY DOORS	TRUE WHITE
◇	WOOD WIND. FRAME	TRUE WHITE
◇	STEEL DOOR & RAINLEADER	PAINT TO MATCH ADJACENT FINISH
◇	BRICK COPING	ANTIQUE RED
◇	TUBE STEEL COL.	TRUE WHITE
◇	TUBE STEEL CANOPY	TRUE WHITE
◇	WOOD TRELLIS	TRUE WHITE
◇	LIGHT FIXTURE	DK. OLIVE GREEN
◇	DOWNSPOUT	DK. OLIVE GREEN
◇	CONC. BOLLARD	TRUE WHITE

NOTES:
ALL MECH. EQUIP. SHALL BE SHIELDED
ALUM. STOREFRONT SHALL BE RECESSED 2" FROM FACE OF STUCCO.
SIGN AREA TO BE DETERMINED BY LOCAL CODE.

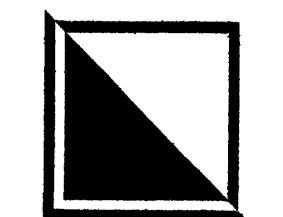
ELEVATIONS

SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			



GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

**PRELIMINARY
NOT FOR
CONSTRUCTION**

PROJECT TITLE
MONTANO PLAZA SHOPS
COORS AND MONTANO

PROJECT MANAGER
William Suttles

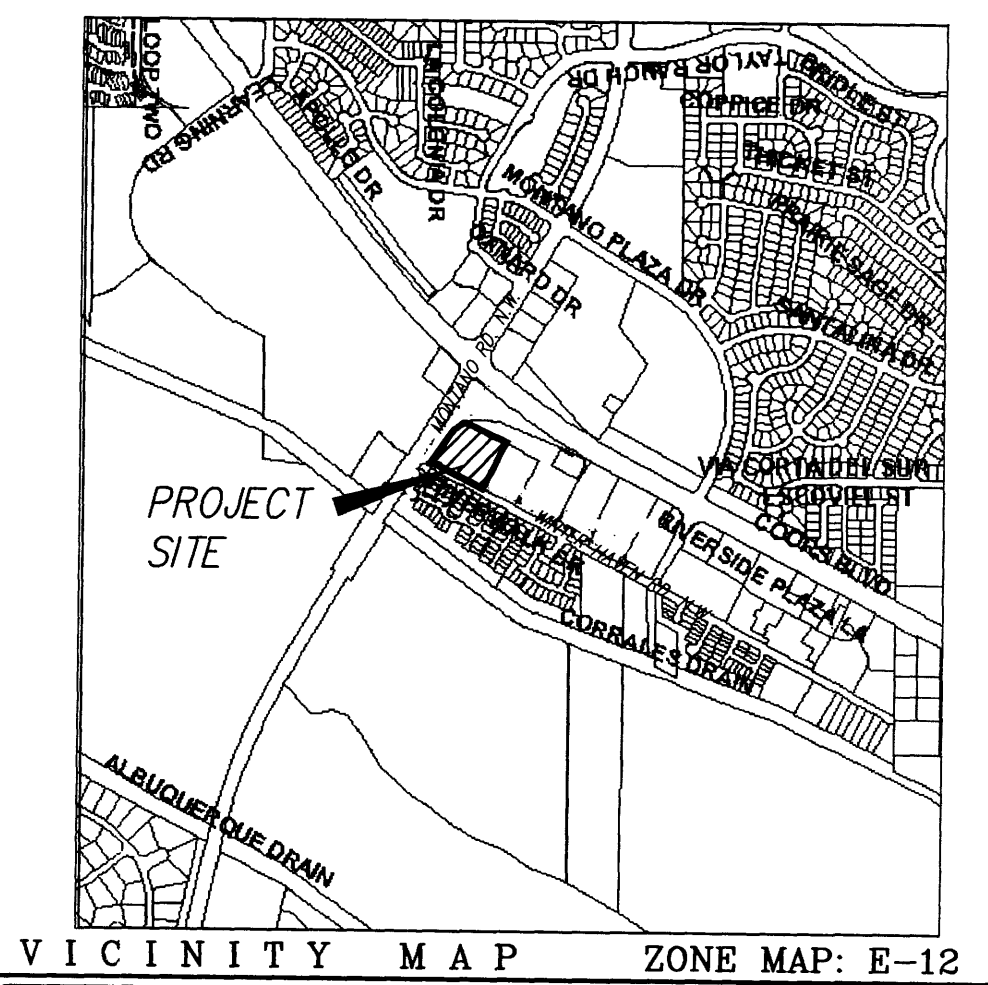
JOB NO.
0413

DRAWN BY
WRS

SHEET TITLE
ELEVATIONS - BANK

DATE: 8.16.2005 sheet
SCALE: AS NOTED of
A3

PROJ 1001770 scanned & saved
10/30/06



VICINITY MAP ZONE MAP: E-12

NOTES

ACS BENCHMARK

LEGAL DESCRIPTION

TRACT 5A (MONTANO RETAIL)

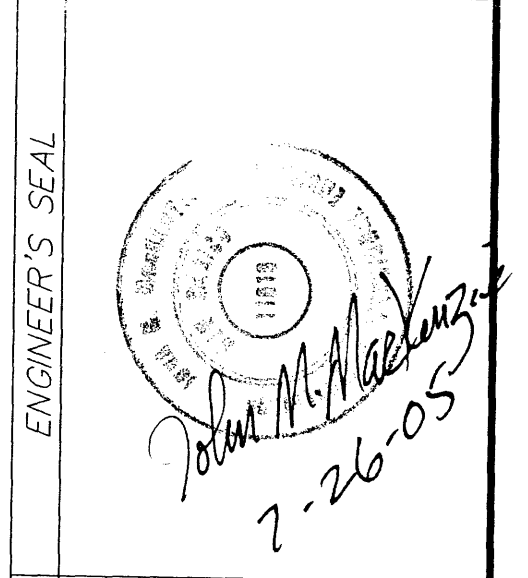
LEGEND

- 10.05 --- EXISTING CONTOUR MAJOR
- 04 --- EXISTING CONTOUR MINOR
- 08.78 --- EXISTING SPOT ELEVATION
- TC 04.83 FL 03.75 --- EXISTING TOP CURB ELEVATION
- --- EXISTING FLOWLINE ELEVATION
- --- EXISTING CONCRETE CURB
- --- EXISTING FENCE
- EXISTING SANITARY SEWER MANHOLE
- ⊕ EXISTING FIRE HYDRANT
- ⊙ EXISTING LIGHT POLE
- 02.65 ○ PROPOSED SPOT ELEVATION
- 03.00 □ PROPOSED TOP OF CURB ELEVATION
- ▭ 02.50 ▭ PROPOSED FLOWLINE ELEVATION
- PROPOSED SWALE
- FF = 02.50 → PROPOSED FINISHED FLOOR ELEVATION
- ▨ PROPOSED RETAINING WALL
- ▩ PROPOSED GARDEN WALL
- ▬ PROPOSED CONCRETE CURB

AS BUILT INFORMATION	
CONTRACTOR	DATE

BENCH MARKS	
NO.	DATE

SURVEY INFORMATION	
NO.	DATE



NO.	DATE	REMARKS	BY

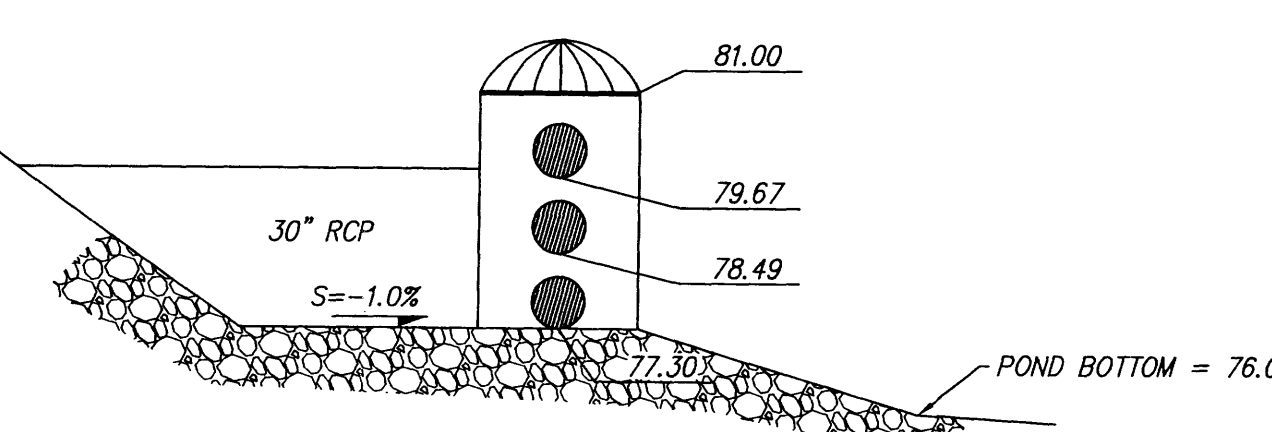
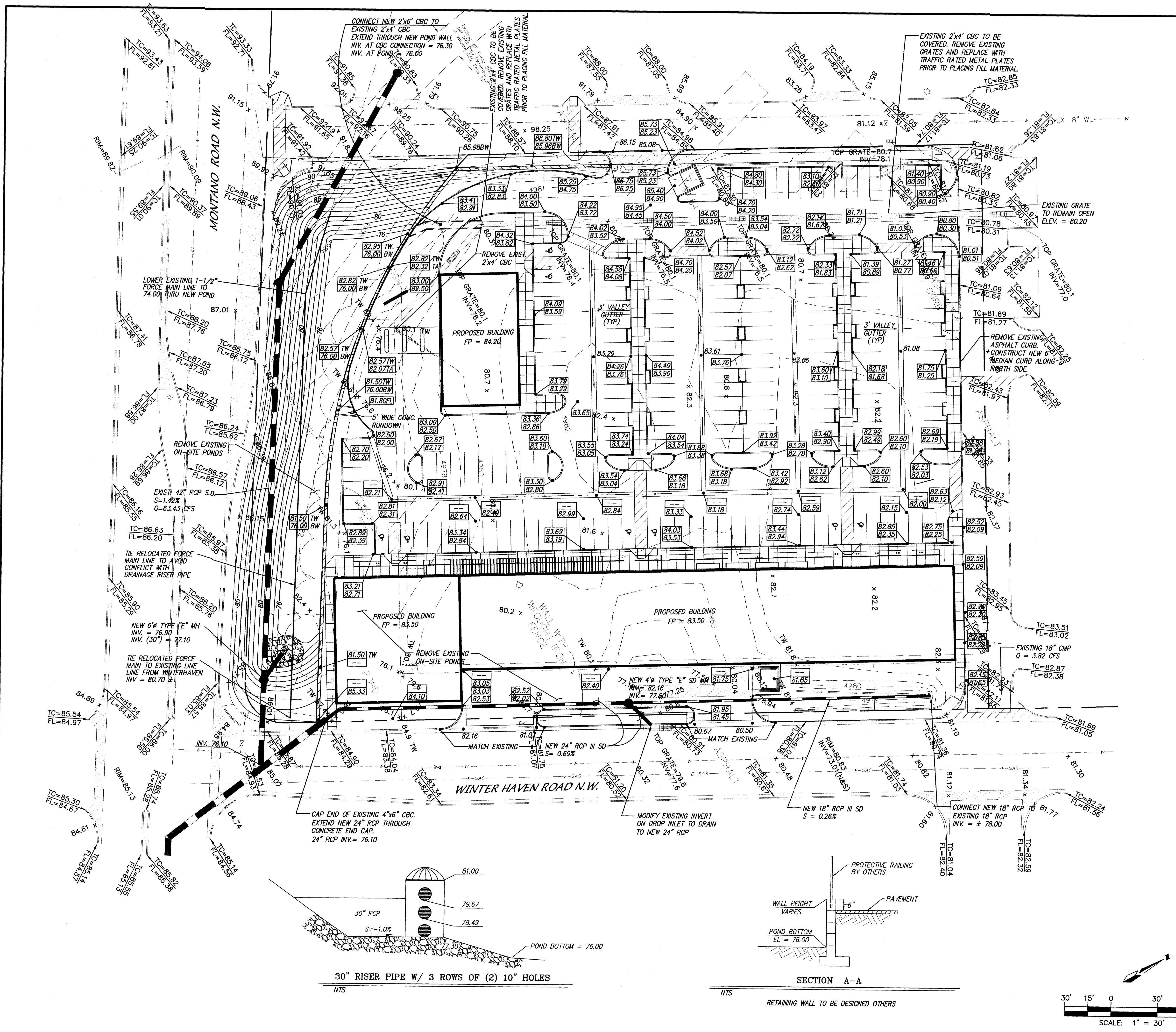
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90806
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

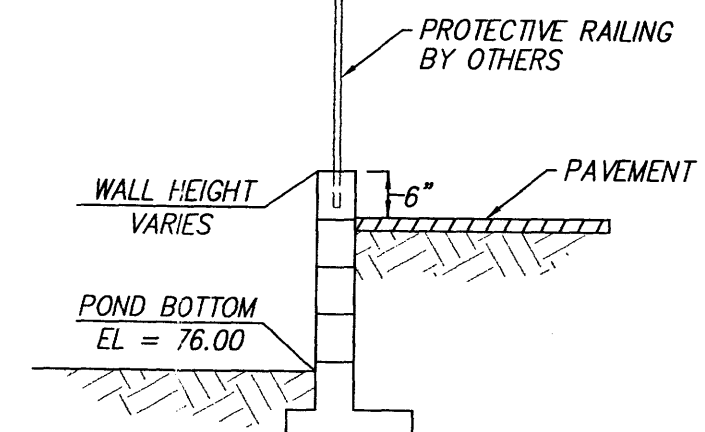
TITLE: **MONTANO RETAIL
GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

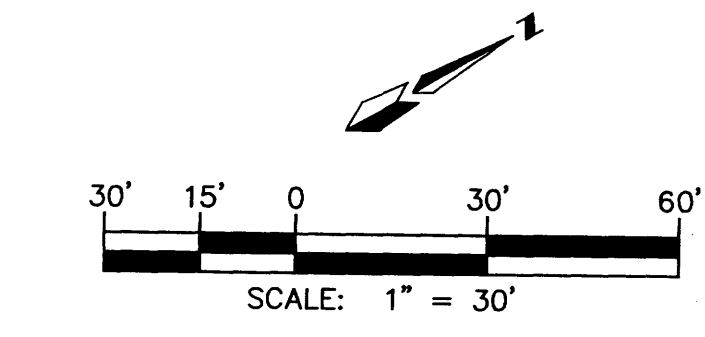
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
	E-12-Z	1	1



30" RISER PIPE W/ 3 ROWS OF (2) 10" HOLES
NTS

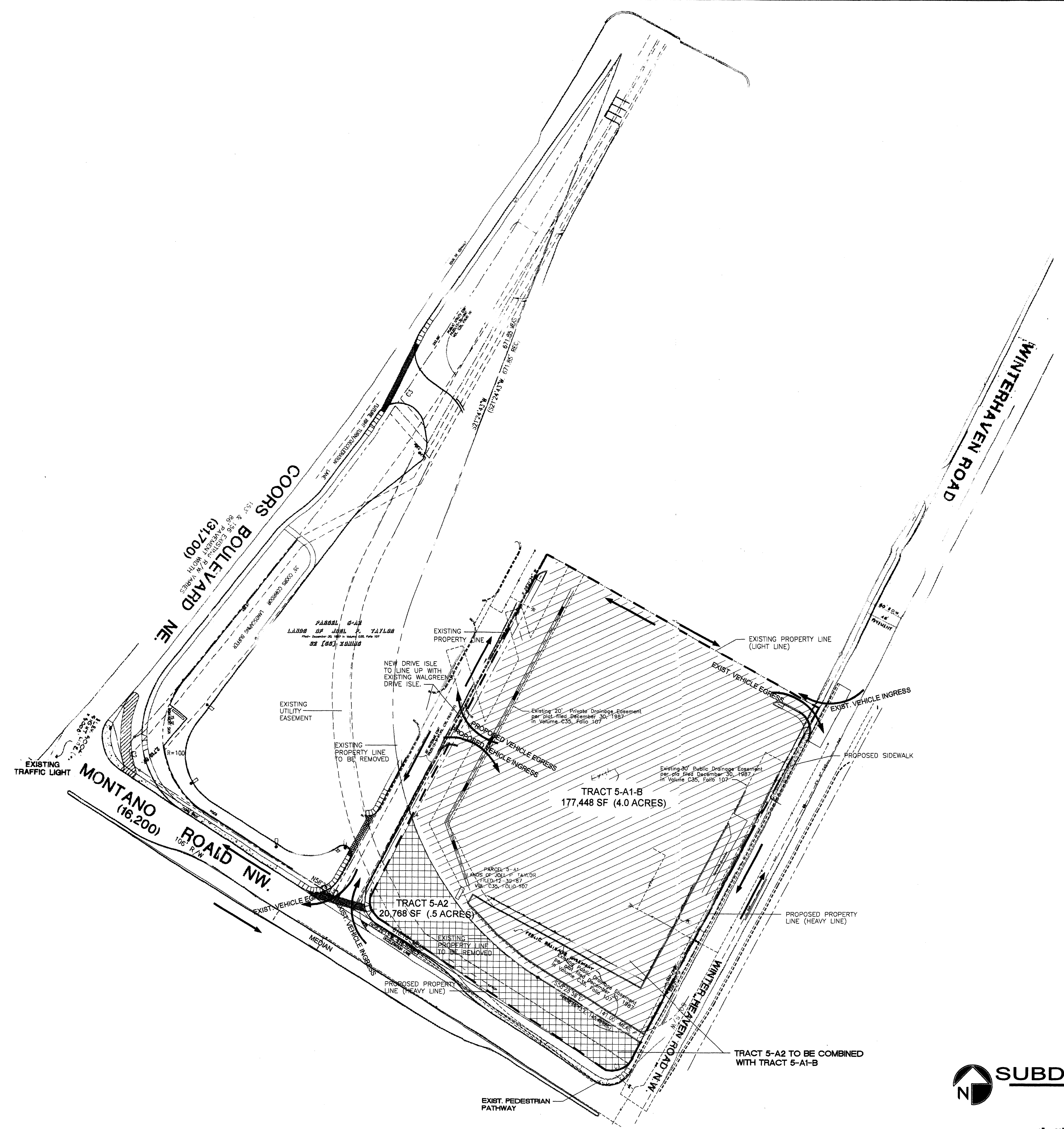


SECTION A-A
RETAINING WALL TO BE DESIGNED OTHERS
NTS



SCALE: 1" = 30'

*Approved and
Proj 1001770*



EPC CASE # _____ DRB CASE # _____

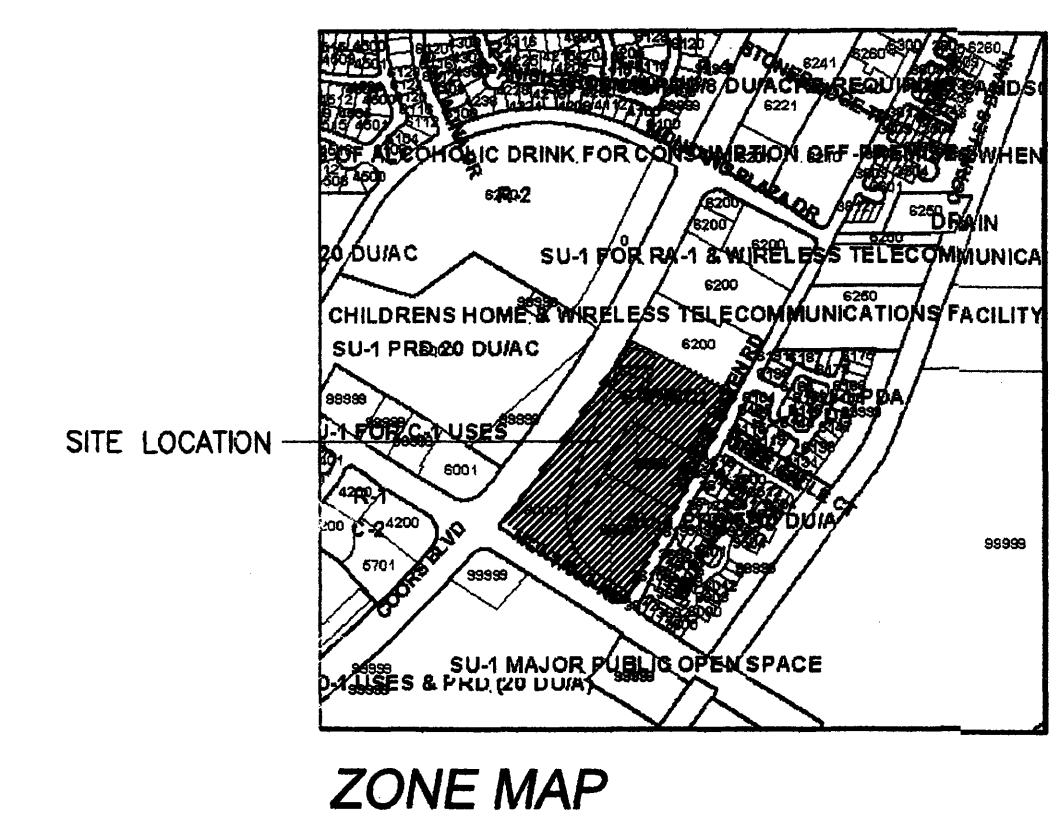
This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on _____ and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	Date
Parks and General Services Department	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMAFCA	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo County Planning Division	Date
<i>Michael Holton 2-22-05</i>	
Solid Waste	



LEGEND

	EXISTING BOUNDARY
	PROPOSED BOUNDARY LINE
	CURB
	PROPOSED TRACT 5-A1-A
	TRACT 5-A2 TO BE COMBINED WITH 5-A1-A
	SIDEWALK
	CROSSWALK

SITE DATA TABLE

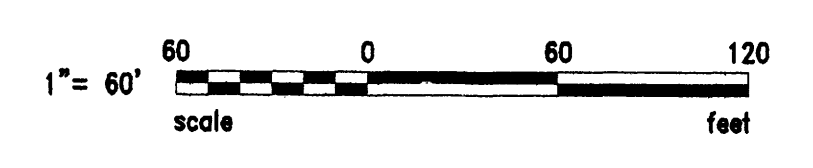
PROPOSED TRACT	USE	ZONING	MAX. BLDG. HEIGHT	SEAT CAPACITY	F.A.R.
5-A1-B	RETAIL + BANK	C-2	30 FEET	120	.132

NOTES

- PEDESTRIAN CONNECTIONS SHALL BE PER THE OFF-STREET PARKING REQUIREMENTS OF THE ZONING CODE.
- MINIMUM BUILDING SETBACKS ARE DESIGNATED ON THE SITE PLAN FOR BUILDING PERMIT.

SUBDIVISION SITE PLAN

SCALE: 1" = 60'-0"



REV	DATE	BY	REVISION

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY
 NOT FOR
 CONSTRUCTION

PROJECT TITLE
MONTANO PLAZA SHOPS
 COORS AND MONTANO

PROJECT MANAGER
 William Suttles

JOB NO.
 0413

DRAWN BY
 WRS

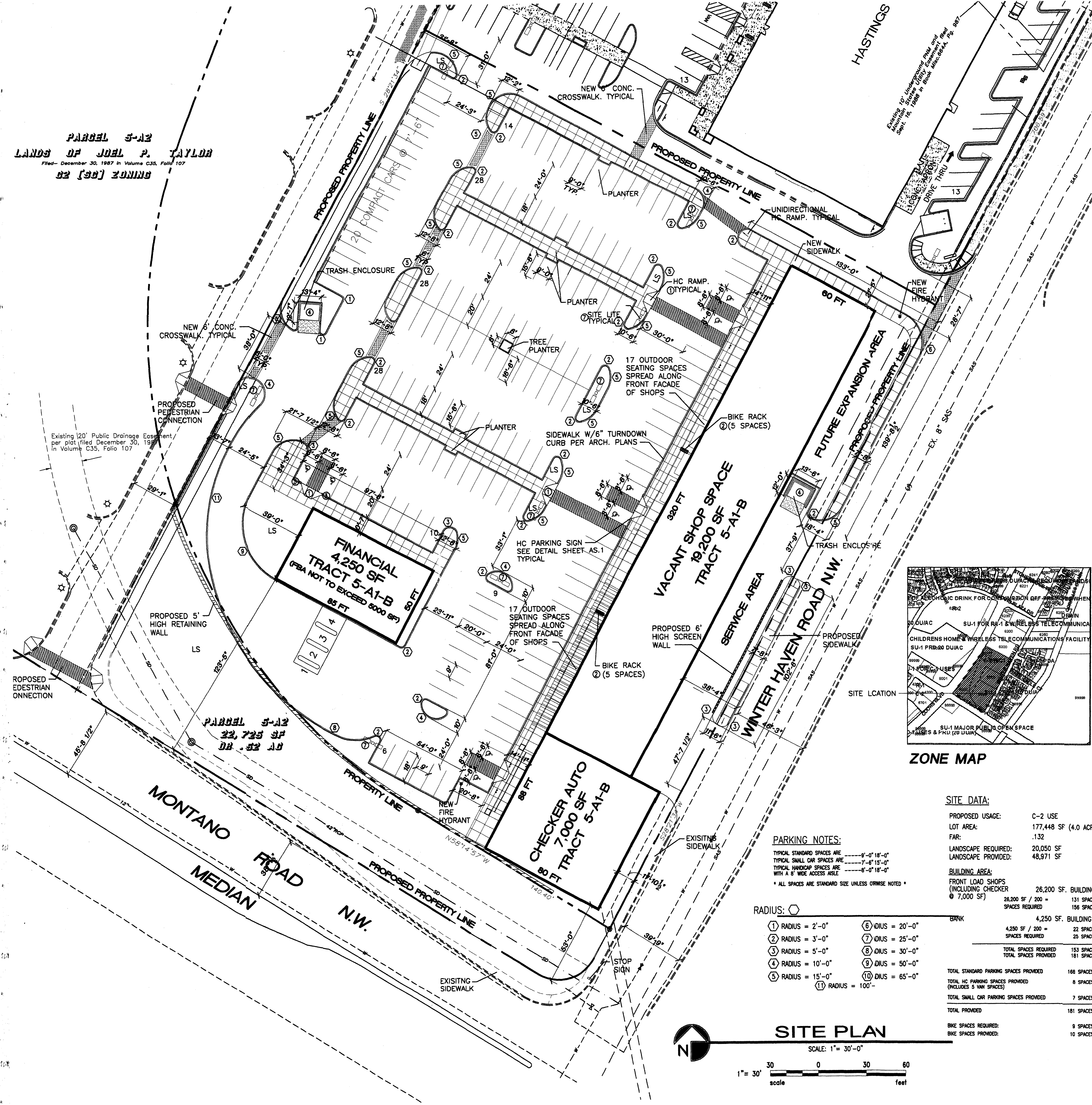
SHEET TITLE
SUBDIVISION SITE PLAN

DATE:
 2.22.2005

SCALE:
 1" = 60'

sheet
AS.1
 of.

PARCEL 5-A2
LANDS OF JOEL P. TAYLOR
 Filed- December 30, 1987 in Volume C35, Folio 107
02 (00) ZONING



PARCEL 5-A2
22,725 SF
02 .52 AB



ZONE MAP

SITE DATA:

PROPOSED USAGE:	C-2 USE
LOT AREA:	177,448 SF (4.0 ACRES)
FAR:	.132
LANDSCAPE REQUIRED:	20,050 SF
LANDSCAPE PROVIDED:	48,971 SF

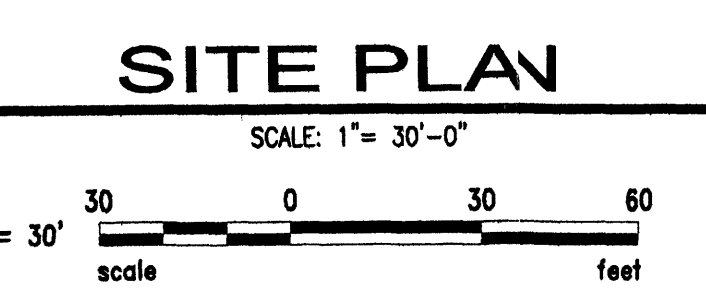
BUILDING AREA:

FRONT LOAD SHOPS (INCLUDING CHECKER @ 7,000 SF)	26,200 SF. BUILDING	131 SPACES REQUIRED
BANK	4,250 SF. BUILDING	22 SPACES REQUIRED
TOTAL SPACES REQUIRED		153 SPACES
TOTAL SPACES PROVIDED		181 SPACES

PARKING NOTES:
 TYPICAL STANDARD SPACES ARE 9'-0" x 18'-0"
 TYPICAL SMALL CAR SPACES ARE 7'-6" x 15'-0"
 TYPICAL HANDICAP SPACES ARE 8'-0" x 18'-0"
 WITH A 6' WIDE ACCESS AISLE.
 * ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED *

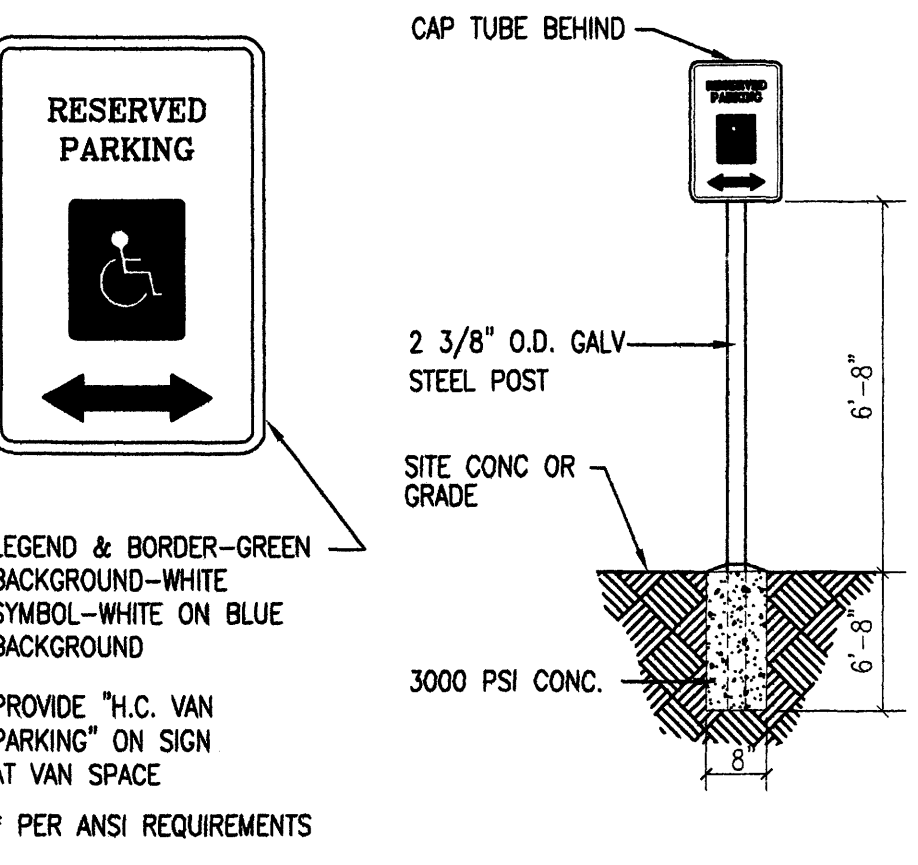
RADIUS:

① RADIUS = 2'-0"	⑥ DIUS = 20'-0"
② RADIUS = 3'-0"	⑦ DIUS = 25'-0"
③ RADIUS = 5'-0"	⑧ DIUS = 30'-0"
④ RADIUS = 10'-0"	⑨ DIUS = 50'-0"
⑤ RADIUS = 15'-0"	⑩ DIUS = 65'-0"
⑪ RADIUS = 100'-0"	

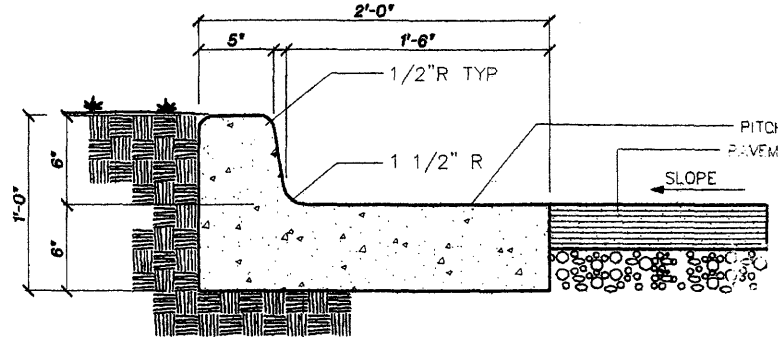


SITE PLAN

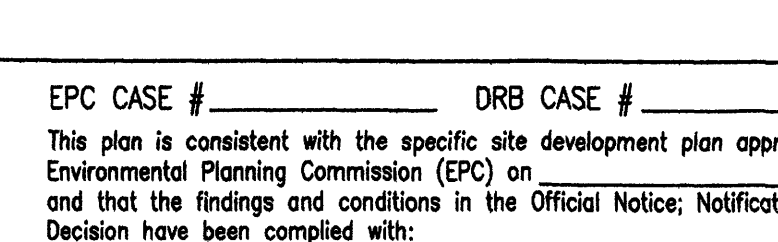
1 HANDICAP RAMP DETAIL
 NOT TO SCALE



3 ACCESSIBLE PARKING SIGN
 NOT TO SCALE



5 CURB & GUTTER
 NOT TO SCALE



EPC CASE # _____ DRB CASE # _____
 This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on _____ and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:
 SITE DEVELOPMENT PLAN

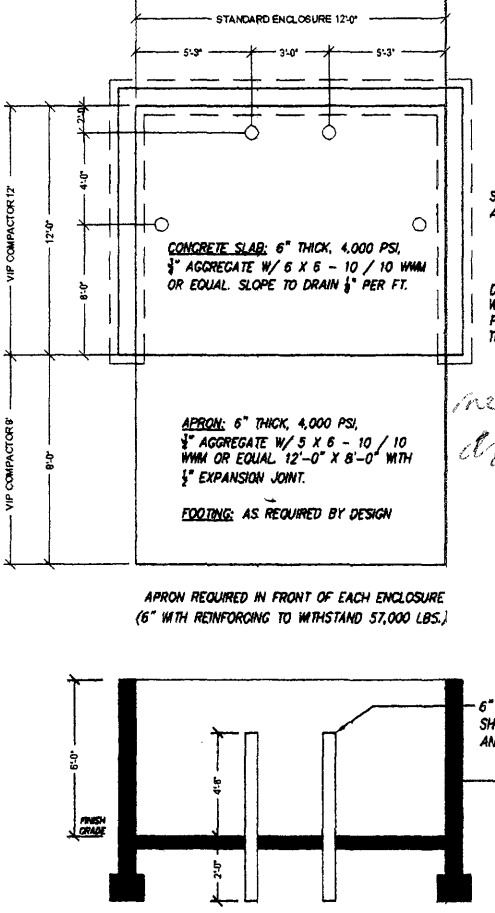
Traffic Engineer, Transportation Division	Date
Parks and General Services Department	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMAFCA	Date
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	
City Planner, Albuquerque / Bernalillo County Planning Division	Date

William Suttles 2-22-05
 Solid Waste

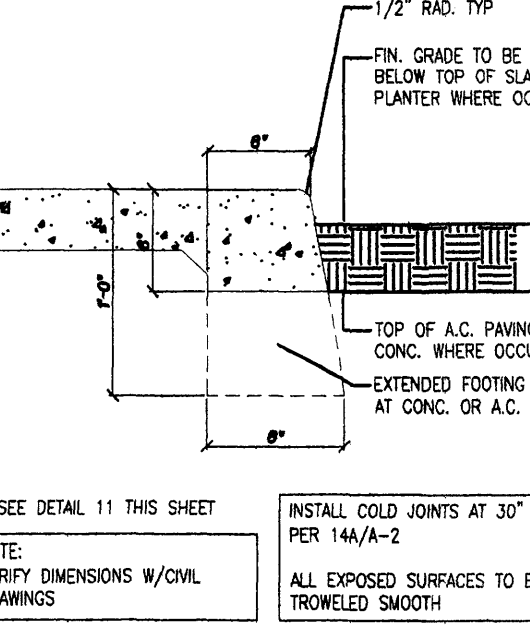
LEGEND

- PROPOSED BOUNDARY LINE
- - - - - EXISTING CURB AND GUTTER
- PROPOSED SCREEN WALL
- PROPOSED CURB
- PROPOSED SIDEWALK
- PROPOSED CROSSWALK
- PROPOSED FIRE HYDRANT
- PROPOSED BIKE RACK
- PROPOSED PARKING LOT LIGHTING
- LS PROPOSED LANDSCAPING

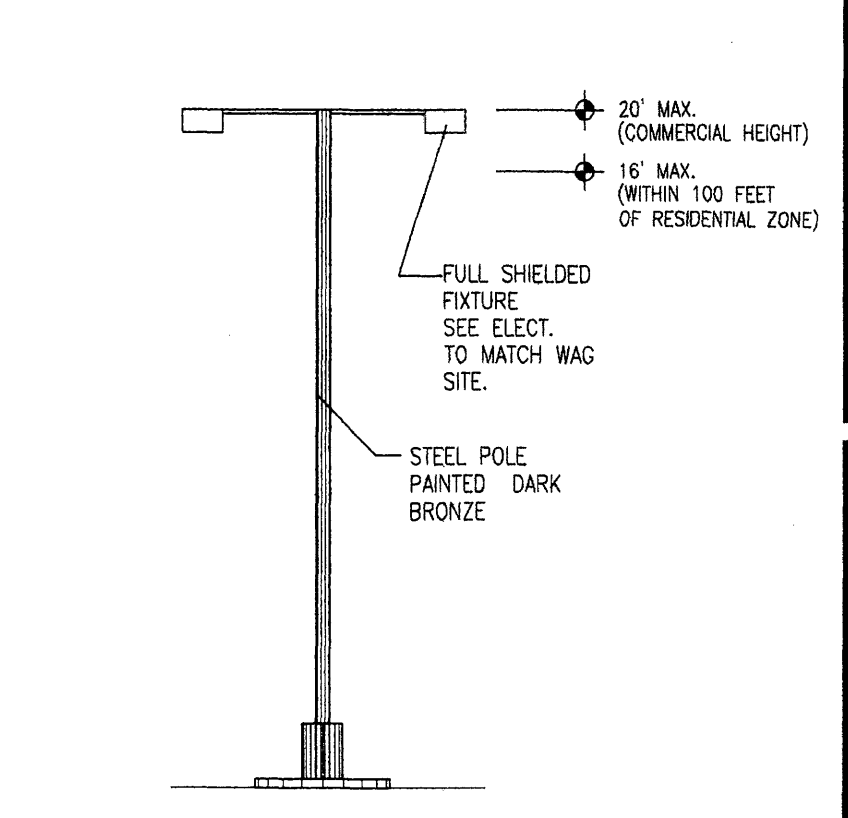
2 BIKE RACK DETAIL
 NOT TO SCALE



4 TRASH ENCLOSURE
 NOT TO SCALE



6 CURB DETAIL
 NOT TO SCALE



7 SITE LIGHTING DETAIL
 NOT TO SCALE

APPROVED FOR CHECKING OFFICE
 9-24-05
 APPROVED FOR APPROVED
 HYDRANT(S) ONLY
William Suttles 2-22-05

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY
NOT FOR
CONSTRUCTION

PROJECT TITLE
MONTANO PLAZA SHOPS
 COORS AND MONTANO

DRAWN BY:
 WRS

JOB NO.

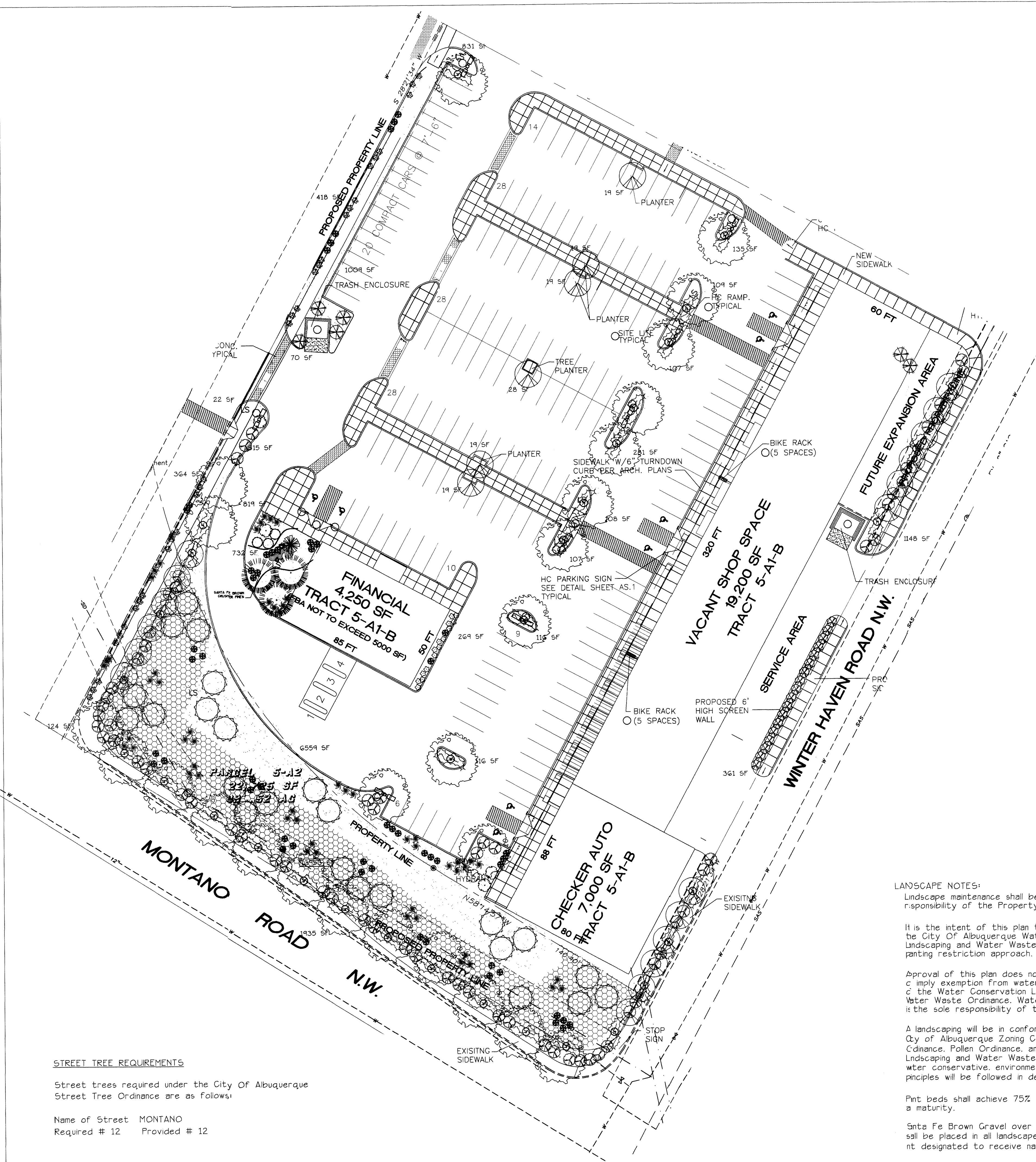
PROJECT MANAGER
 William Suttles

SHEET TITLE
SITE PLAN

DATE:
 2.22.2005

SCALE:
 1"=30'

sheet:
AS.2
 of _____

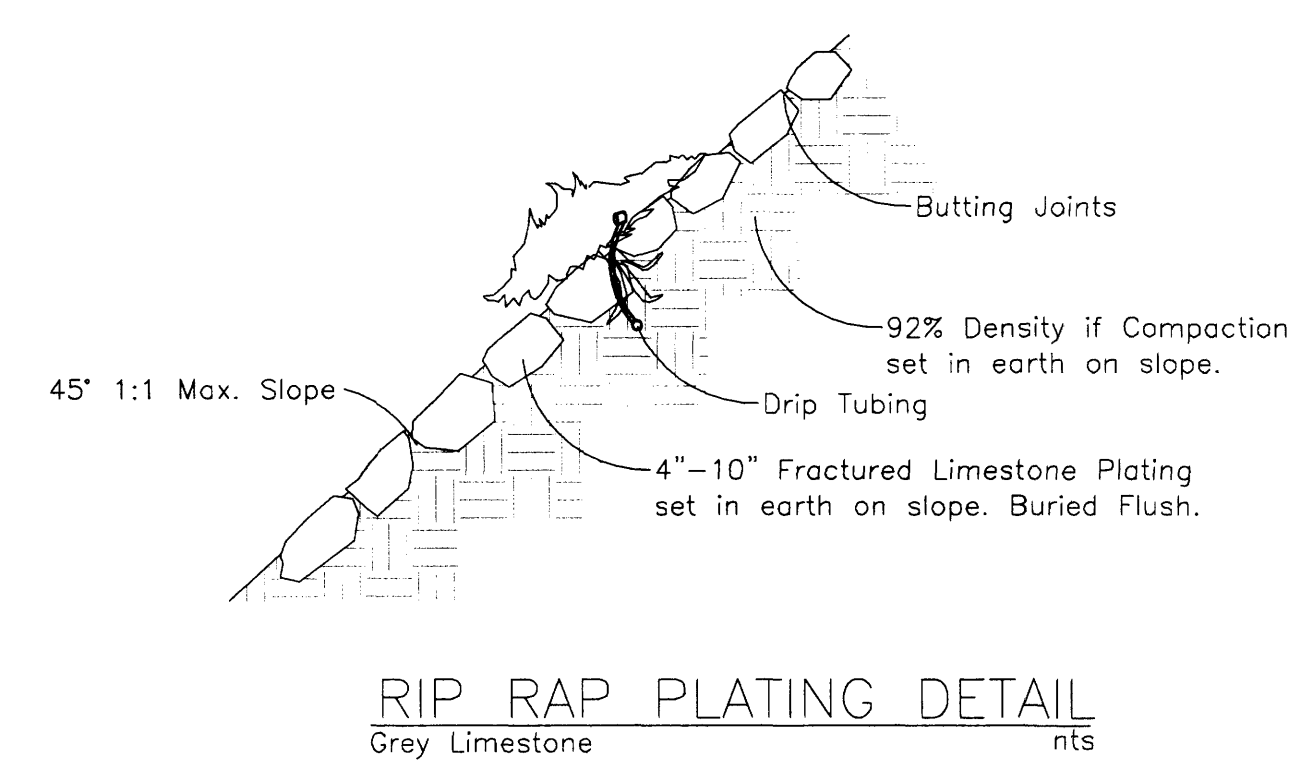


PLANT LEGEND

- ASH (H) OR HONEY LOCUST (M) 26
Fraxinus pennsylvanica
Gleditsia triacanthos
2' Cal.
- AUSTRIAN PINE (M) 3
Pinus nigra
6"-8"
- FLOWERING PEAR (M+) 24
Pyrus calleryana
2' Cal.
- NEW MEXICO OLIVE (L) 26
Forestiera neomexicana
15 Gal.
- PALM YUCCA (L) 1
- SILVERBERRY (M) 6
Elaeagnus pungens
5 Gal. 81sf
- BIRD OF PARADISE (L) 5
Caesalpinia gillesii
5 Gal. 100sf
- BUTTERFLY BUSH (M) 3
Buddleia davidii
5 Gal. 100sf
- INDIAN HAWTHORN (M) 18
Raphiolepis indica
5 Gal. 36sf
- MAIDENGRASS (M) 55
Miscanthus sinensis
5 Gal. 16sf
- REGAL MIST (M) 53
Muhlenbergia capillaris
5 Gal. 9sf
- THREADGRASS (M) 30
Stipa tenuissima
1 Gal. 2sf
- POTENTILLA (M) 15
Potentilla fruticosa
2 Gal. 4sf
- HONEYSUCKLE (M) 68
Lonicera sempervirens
1 Gal. 144sf
Unstaked-Groundcover
- CREEPING ROSEMARY (L) 96
Rosmarinus officinalis Prostrata
1 Gal. 36sf
Symbol indicates 3 plants
- OVERSIZED GRAVEL
+ 3 BOULDERS
- SANTA FE BROWN CRUSHER FINES
- SANTA FE BROWN GRAVEL
- RIP RAP
- COMMERCIAL GRADE STEEL EDGING

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	196020	square feet
TOTAL BUILDINGS AREA	30450	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	165570	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	24836	square feet
TOTAL BED PROVIDED	16678	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	12509	square feet
TOTAL GROUNDCOVER PROVIDED	16659	square feet
TOTAL PONDING AREA	13953	square feet
TOTAL NON-PUBLIC SIDEWALK	16678	square feet
TOTAL NON-PUBLIC SIDEWALK TO COUNT AS LANDSCAPING (max. 33% of landscape required)	8196	square feet
TOTAL LANDSCAPE PROVIDED	38808	square feet



LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute a complete exemption from water waste provisions of the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

A landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

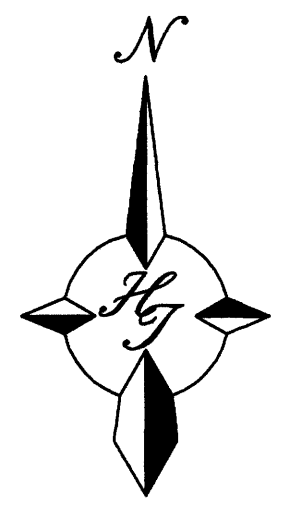
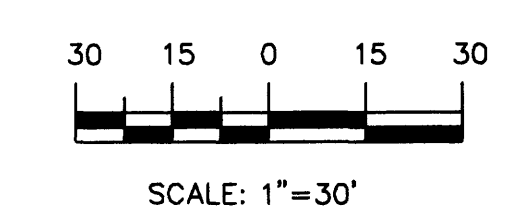
Irrigation maintenance shall be the responsibility of the Property Owner.

STREET TREE REQUIREMENTS

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street	MONTANO
Required #	12
Provided #	12

GRAPHIC SCALE



The Hilltop
LANDSCAPE ARCHITECTS + CONTRACTORS

Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmd@hilltoplandscaping.com

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be re-used or copied unless applicable laws have been read and approved.

REV	DATE	BY	REVISION
1	2-21-05	dir	revised site plan
2	11/03/04	dir	add gfp and sidewalks

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
2325 SAN PEDRO N.E., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

PROJECT TITLE
MONTANO PLAZA
CORP. AND MONTANO
ALBUQUERQUE, NM

PROJECT MANAGER
William Suttles

DRAWN BY:
dir

JOB NO.

SHEET TITLE
Landscape plan

DATE:
10-24-04

SCALE:
1"=30'

Sheet
1

L1
of 1

Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

EPC CASE # 1001770 DRB CASE # 1001770

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on 8/21/05 and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

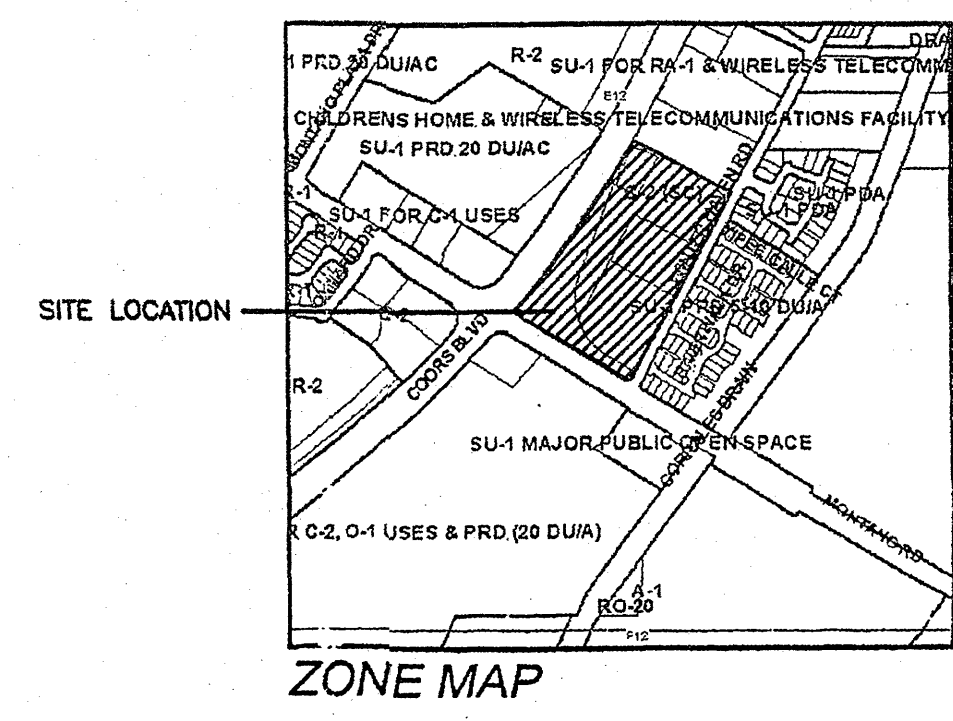
Traffic Engineer, Transportation Division	8-21-05
Date	
Christina Gonzalez	8/21/05
Parks and General Services Department	Date
8-21-05	
Water Utilities Division	Date
8/21/05	
City Engineer, Engineering Division	8/21/05
Date	

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo County Planning Division

8/21/05

8-16-05



LEGEND

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- CURB
- EXISTING TRACT 5-A1-A
- EXISTING 5-A2 TO BE CONSOLIDATED WITH 5-A1-A
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- EXISTING CROSSWALK
- TRUCK TRAFFIC

SITE DATA TABLE

PROPOSED TRACT	USE	ZONING	MAX. BLDG. HEIGHT	SEAT CAPACITY	F.A.R.
5-A1-B	RETAIL + BANK	C-2	30 FEET	120	.32

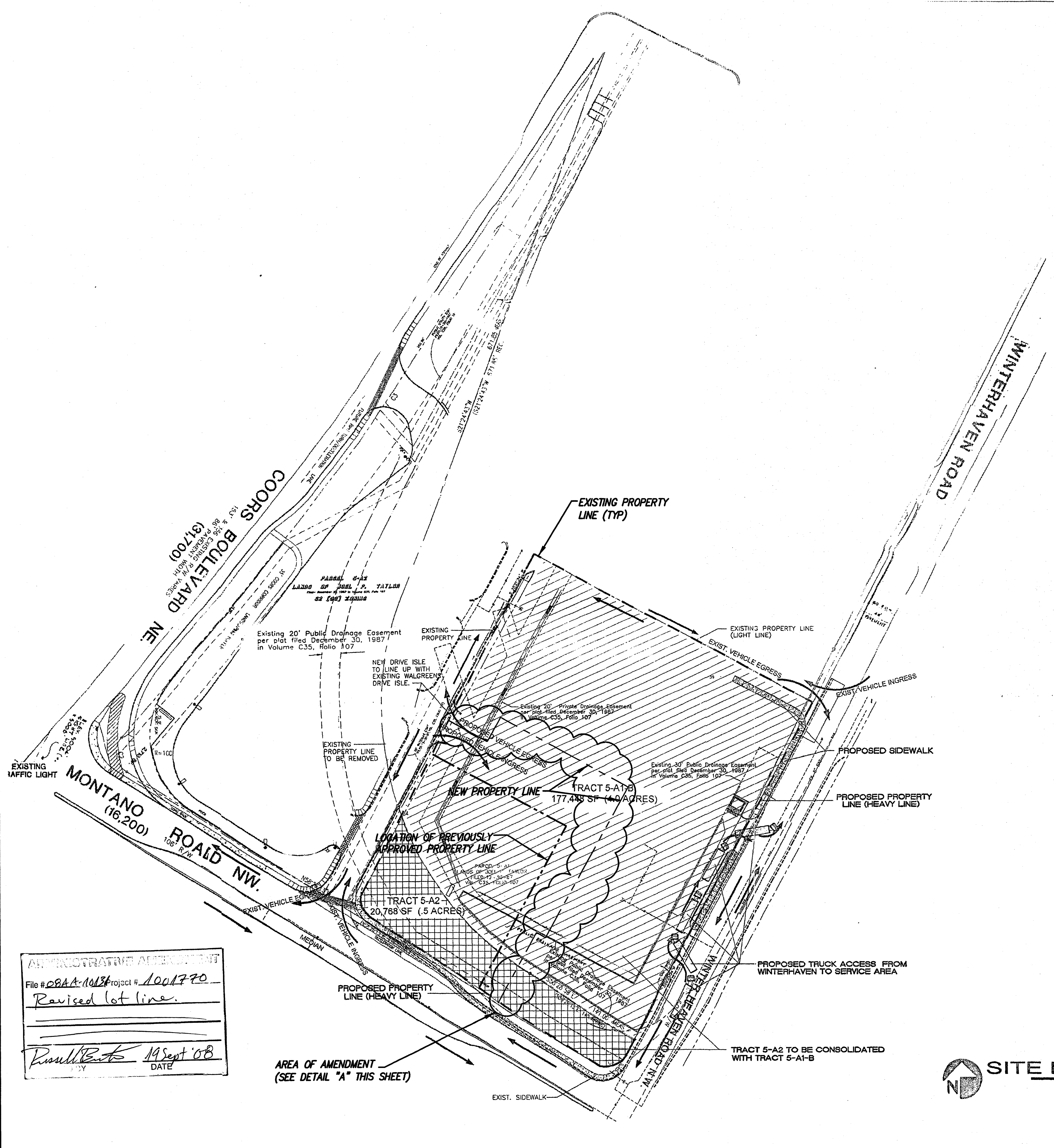
- NOTES:**
- PEDESTRIAN CONNECTIONS SHALL BE PER THE OFF-STREET PARKING REQUIREMENTS OF THE ZONING CODE.
 - MINIMUM BUILDING SETBACKS ARE DESIGNATED ON THE SITE PLAN FOR BUILDING PERMIT.

SITE PLAN FOR SUBDIVISION

SCALE: 1" = 60'-0"

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/BISAPPROVED
FLYBRANT(S) ONLY

8/21/05



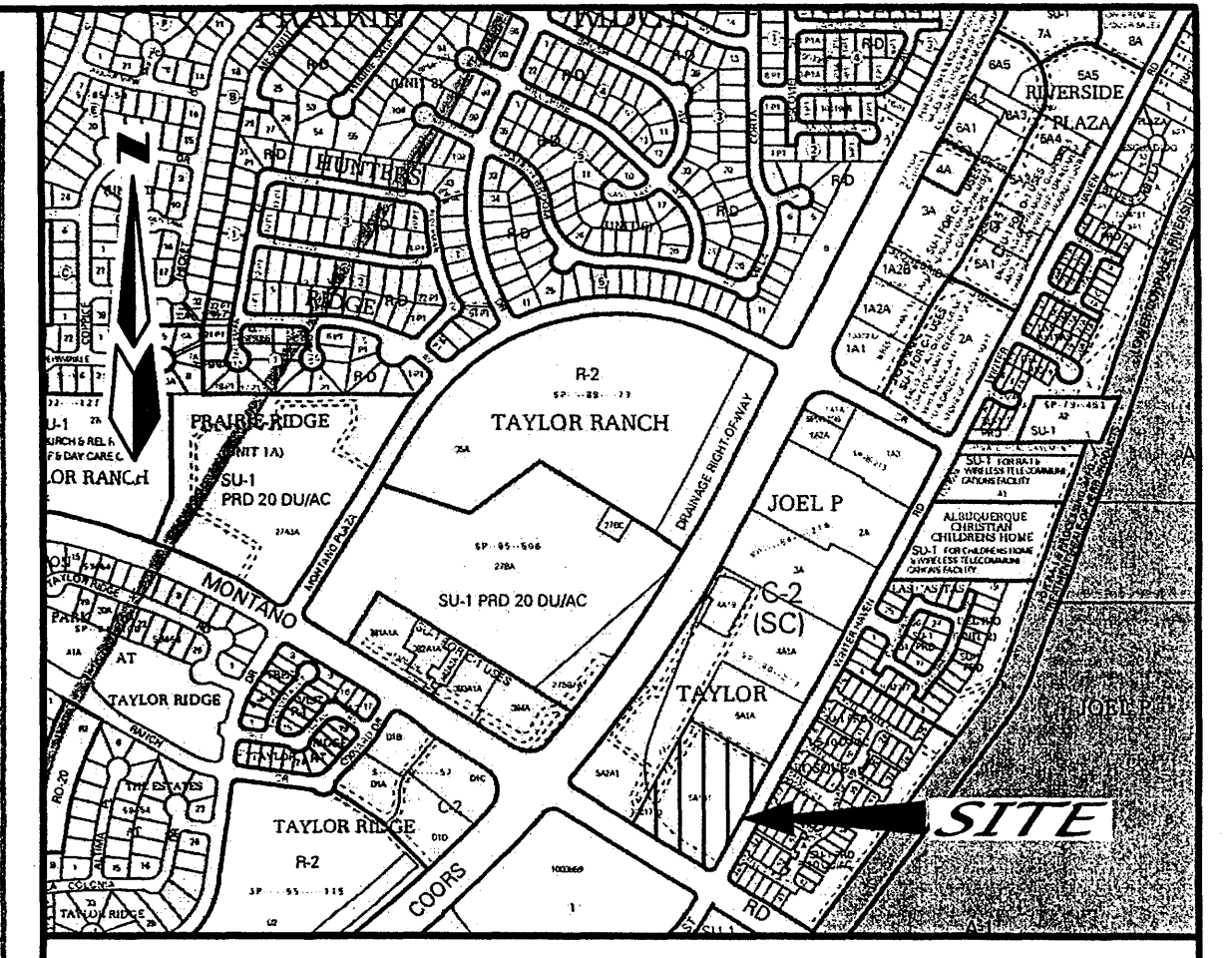
ADMINISTRATIVE AMENDMENT

File # 08AA-10184 Project # 1001770

Revised lot line.

19 Sept '08

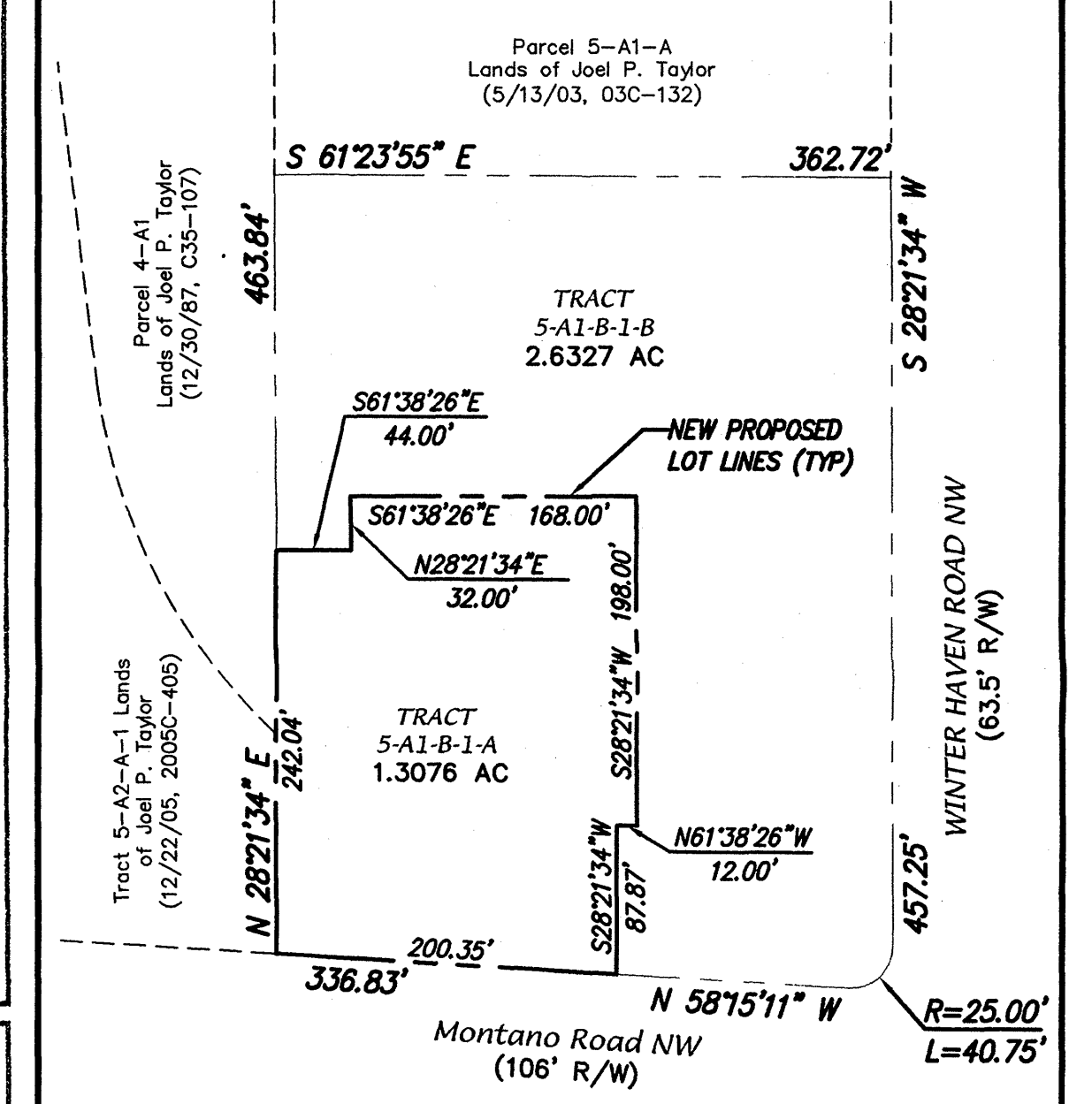
AREA OF AMENDMENT
(SEE DETAIL "A" THIS SHEET)



VICINITY MAP (NTS) ZONE ATLAS MAP E-12

LEGAL DESCRIPTION OF TRACTS TO BE AMENDED

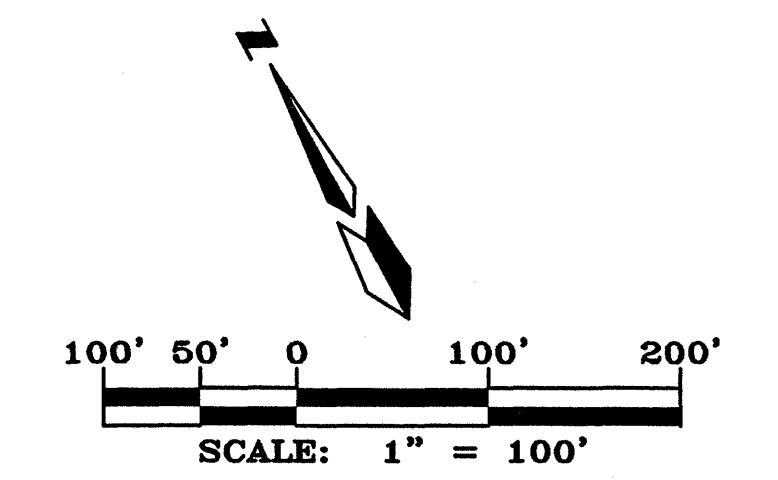
TRACT 5-A1-B-1, OF TAYLOR JOEL SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 22, 2005 IN BOOK 2005C, PAGE 405.



DETAIL "A"

NOTE:

All the provisions of the existing site plan for subdivision shall also apply to the new Tract 5-A1-B-1-A that has been created by this amendment.



SECOND AMENDED SITE PLAN FOR SUBDIVISION

THE SHOPS AT MONTANO

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS

P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JM	Drawn: SPS	Checked: DMG	Sheet 1 of 2
Scale: AS SHOWN	Date: 6/12/2008	Job: A08031	

ORIGINAL SITE PLAN FOR SUBDIVISION

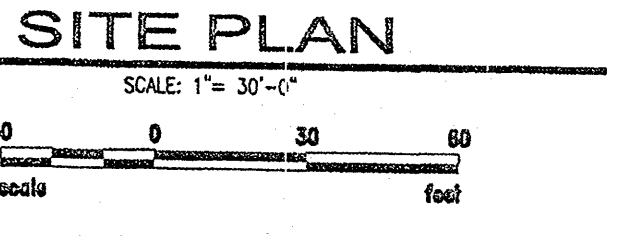
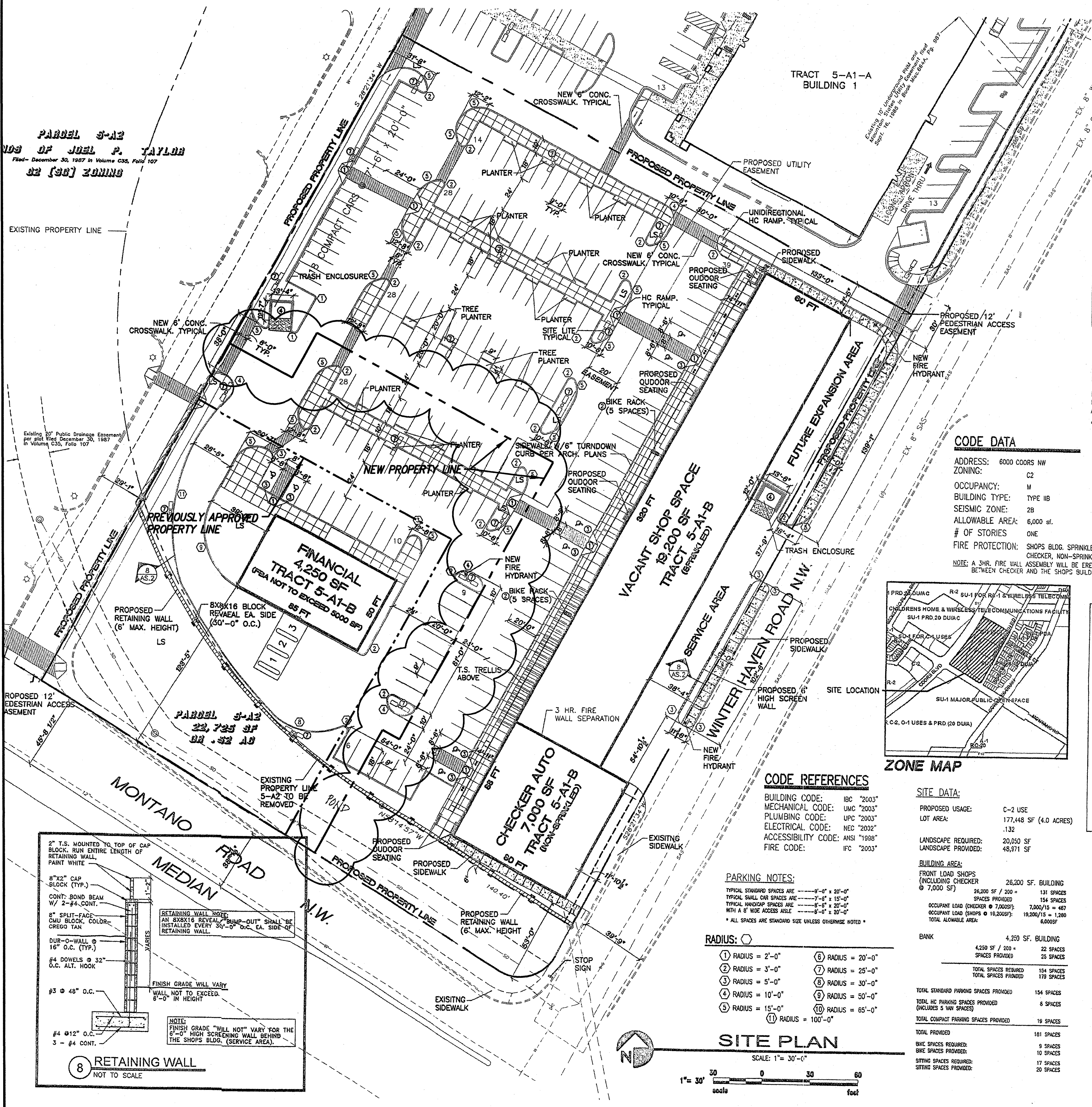
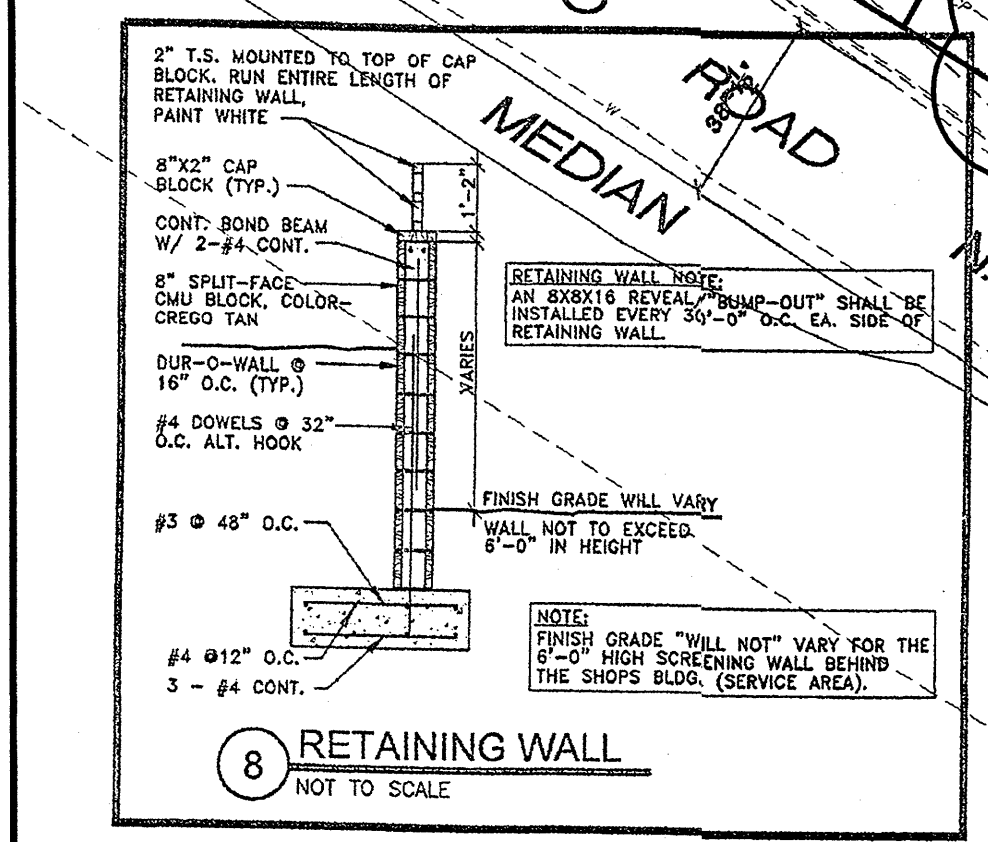
THE SHOPS AT MONTANO

PARCEL S-12
W.D. OF JUEL P. TAYLOR
 Filed - December 30, 1987 in Volume 030, Page 107
32 (98) ZONING

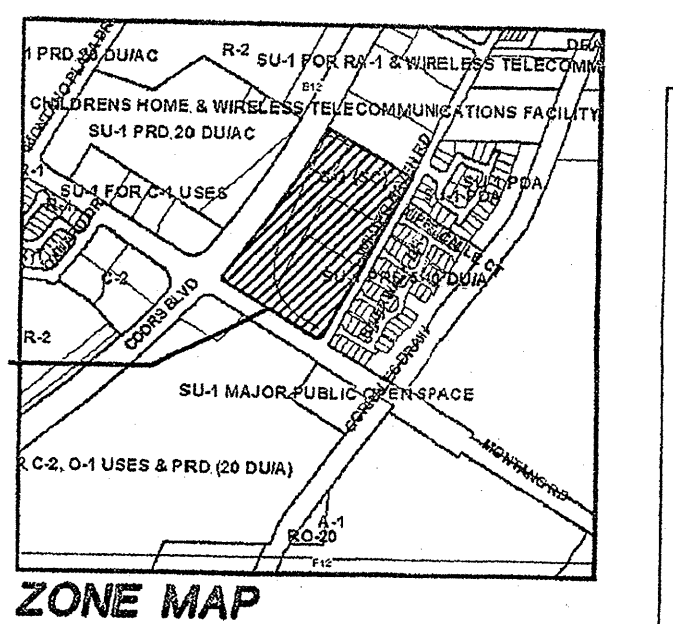
EXISTING PROPERTY LINE

Existing 12' Public Right-of-Way Easement per plat filed December 30, 1987 in Volume 030, Page 107

PROPOSED 12' PEDESTRIAN ACCESS EASEMENT



CODE DATA
 ADDRESS: 6000 COORS NW
 ZONING: C2
 OCCUPANCY: M
 BUILDING TYPE: TYPE IIB
 SEISMIC ZONE: 2B
 ALLOWABLE AREA: 6,000 sf.
 # OF STORIES: ONE
 FIRE PROTECTION: SHOPS BLDG. SPRINKLED CHECKER, NON-SPRINKLED
 NOTE: A 3HR. FIRE WALL ASSEMBLY WILL BE ERRECTED BETWEEN CHECKER AND THE SHOPS BUILDING.



CODE REFERENCES
 BUILDING CODE: IBC "2003"
 MECHANICAL CODE: UMC "2003"
 PLUMBING CODE: UPC "2003"
 ELECTRICAL CODE: NEC "2002"
 ACCESSIBILITY CODE: ANSI "1998"
 FIRE CODE: IFC "2003"

PARKING NOTES:
 TYPICAL STANDARD SPACES ARE 9'-0" x 30'-0"
 TYPICAL SMALL CAR SPACES ARE 7'-0" x 15'-0"
 TYPICAL HANDICAP SPACES ARE 8'-0" x 20'-0"
 MIN. 4' WIDE ACCESS AISLE 8'-0" x 20'-0"
 * ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED *

- RADIUS: ○**
- ① RADIUS = 2'-0"
 - ② RADIUS = 3'-0"
 - ③ RADIUS = 5'-0"
 - ④ RADIUS = 10'-0"
 - ⑤ RADIUS = 15'-0"
 - ⑥ RADIUS = 20'-0"
 - ⑦ RADIUS = 25'-0"
 - ⑧ RADIUS = 30'-0"
 - ⑨ RADIUS = 50'-0"
 - ⑩ RADIUS = 65'-0"
 - ⑪ RADIUS = 100'-0"

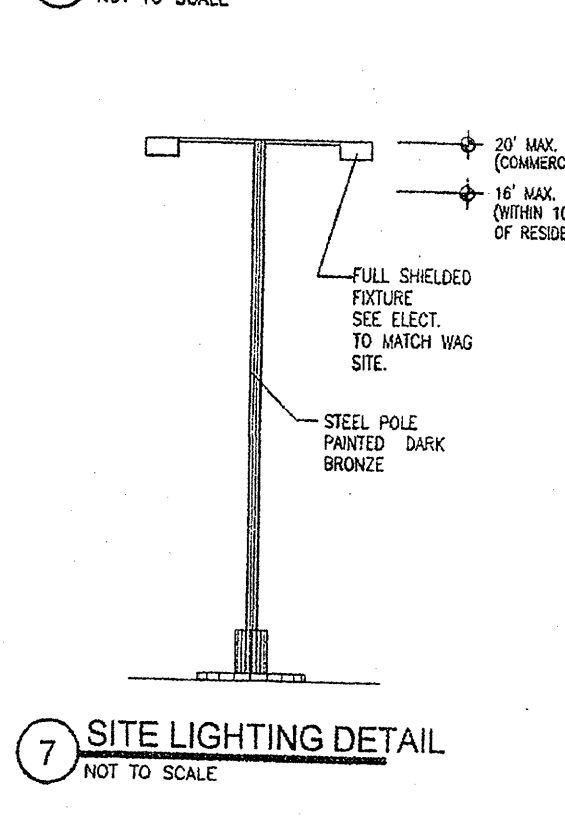
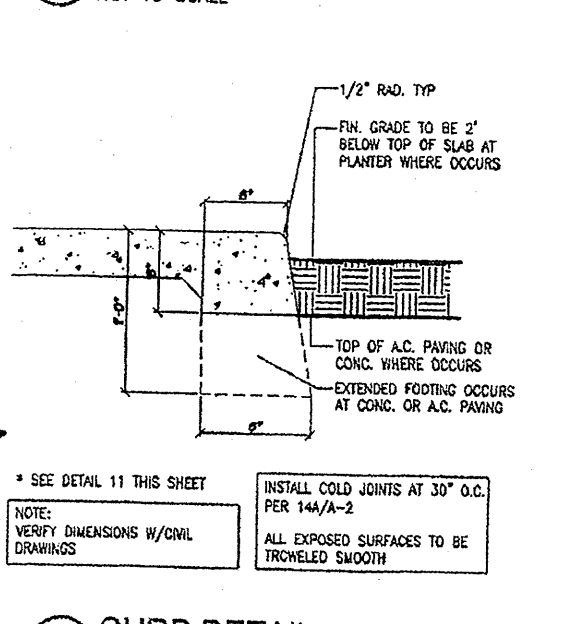
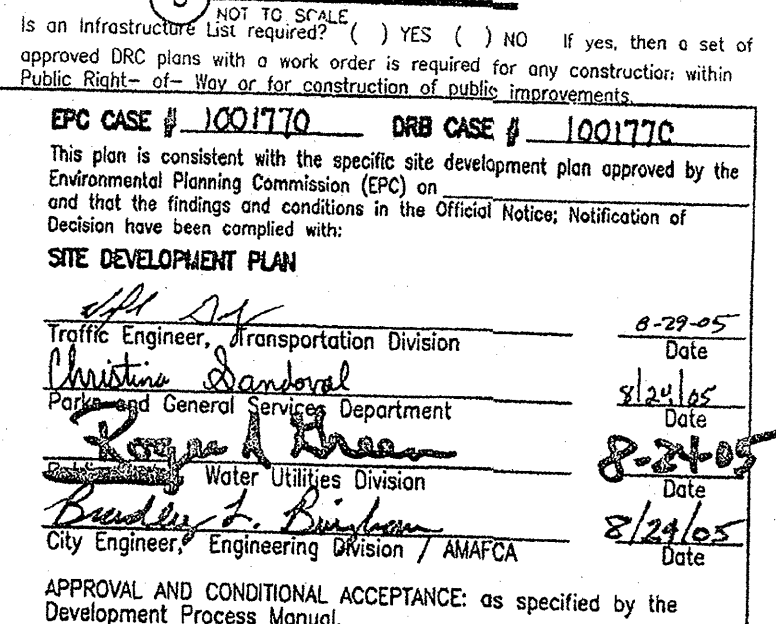
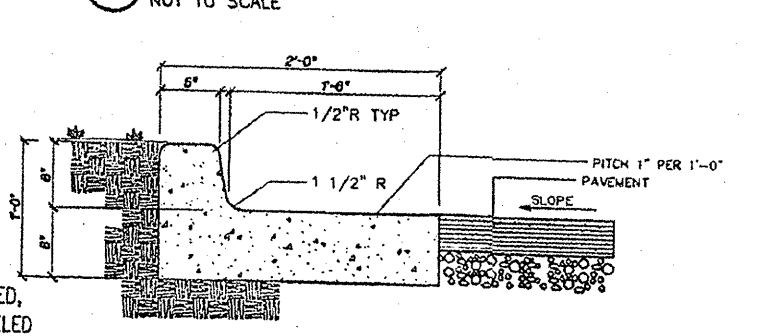
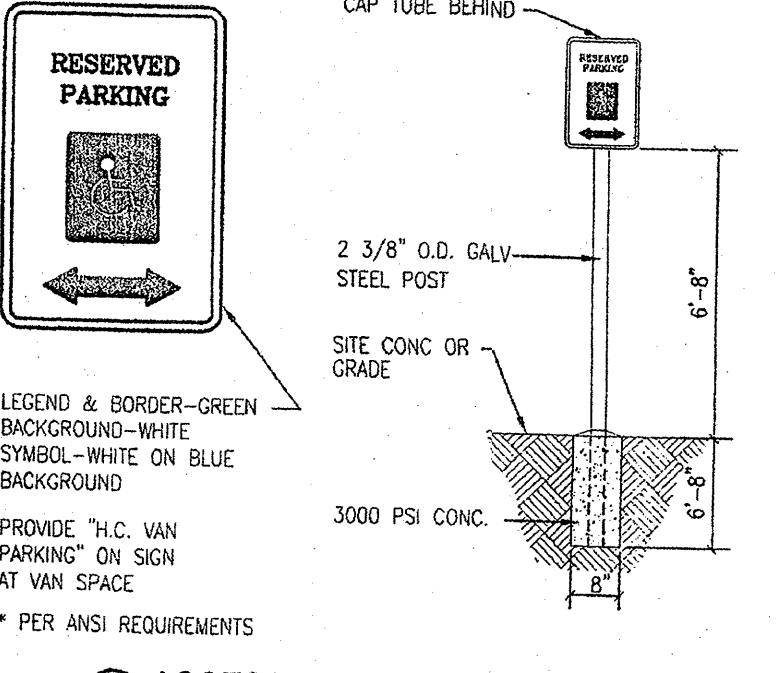
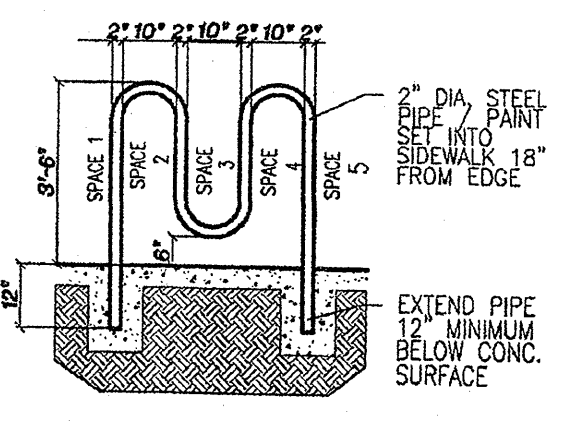
SITE DATA:

PROPOSED USAGE:	C-2 USE
LOT AREA:	177,148 SF (4.0 ACRES)
LANDSCAPE REQUIRED:	20,000 SF
LANDSCAPE PROVIDED:	49,171 SF

BUILDING AREA:

FRONT LOAD SHOPS (INCLUDING CHECKER @ 7,000 SF)	26,200 SF. BUILDING	131 SPACES
		156 SPACES
TOTAL STANDARD PARKING SPACES PROVIDED:		187 SPACES
TOTAL HC PARKING SPACES PROVIDED (INCLUDES 5 VAN SPACES)		4 SPACES
TOTAL COMPACT PARKING SPACES PROVIDED:		19 SPACES
TOTAL PROVIDED:		161 SPACES
Bike Spaces Required:		9 SPACES
UNIC Spaces Provided:		10 SPACES
Spring Spaces Required:		17 SPACES
Spring Spaces Provided:		20 SPACES

- LEGEND**
- PROPOSED PROPERTY LINE
 - - - EXISTING PROPERTY LINE
 - - - EXISTING CURB AND GUTTER
 - - - PROPOSED SCREEN WALL
 - - - PROPOSED CURB
 - - - PROPOSED SIDEWALK
 - - - PROPOSED CROSSWALK - STAMPED PATTERN CONCRETE
 - PROPOSED FIRE HYDRANT
 - PROPOSED BIKE RACK
 - PROPOSED PARKING LOT LIGHTING
 - PROPOSED OUTDOOR SEATING (EA. SEATS 4)
 - PROPOSED LANDSCAPING



PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED
 HYDRANT(S) ONLY
 SIGNATURE & DATE

REV	DATE	BY	REVISION
1			
2			
3			
4			
5			
6			
7			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY NOT FOR CONSTRUCTION

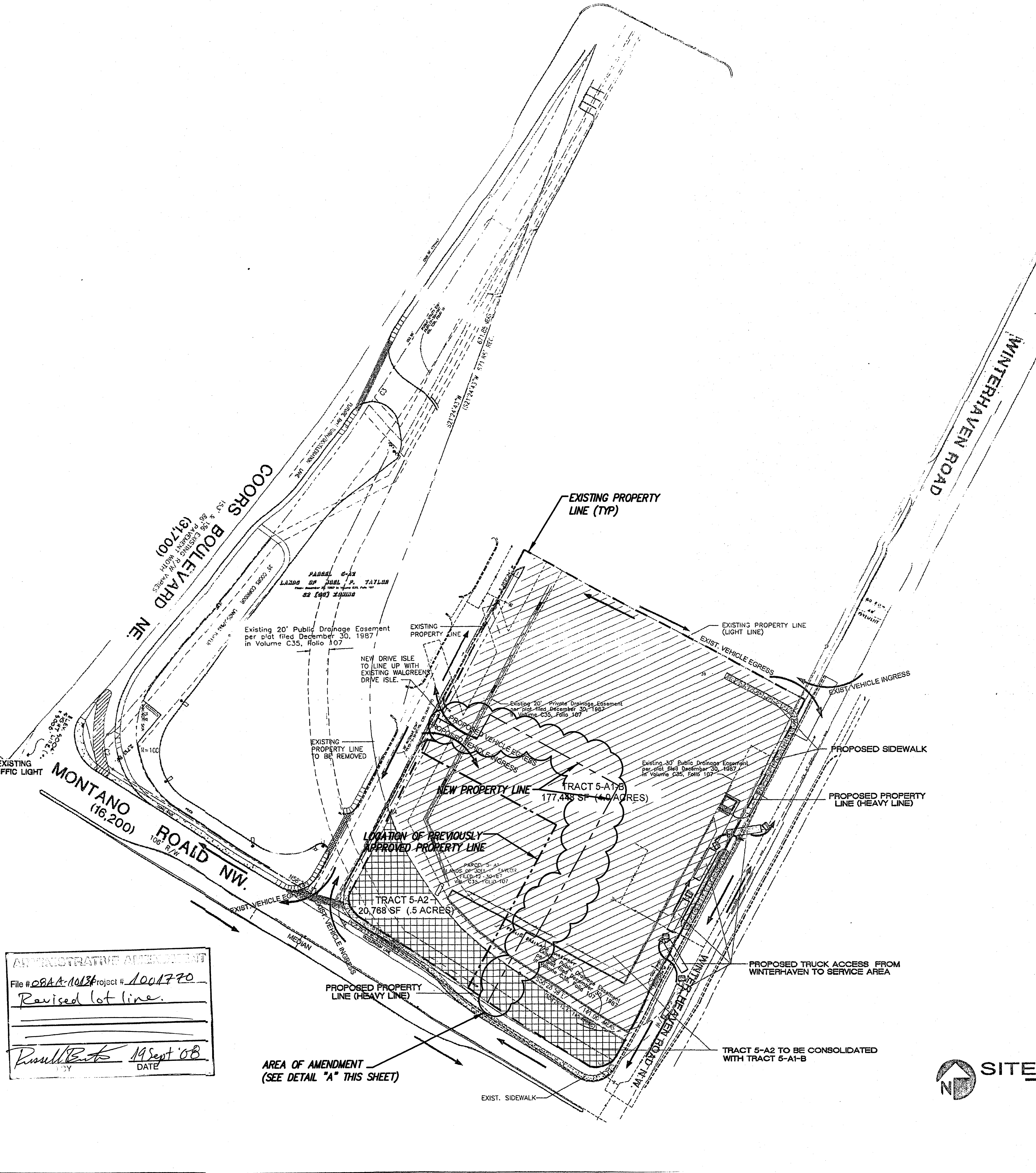
PROJECT TITLE: THE SHOPS AT MONTANO COORS AND MONTANO
PROJECT MANAGER: William Suttles
JOB NO.: 0413
DRAWN BY: WRS
SHEET TITLE: SITE PLAN FOR BLDG. PERMIT

DATE: 8.16.2005
SCALE: 1"=30'
AS.2

ORIGINAL SITE PLAN FOR BUILDING PERMIT (FOR REFERENCE ONLY) THE SHOPS AT MONTANO

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

Designed: JM	Drawn: SPS	Checked: DMG	Sheet 2 of 2
Scale: AS SHOWN	Date: 8/1/2008	Job: A08031	



ADMINISTRATIVE AMENDMENT
 File # 08AA-10134 Project # 1001720
 Revised lot line.
 Russell Bertsch 19 Sept '08
 DATE

is on Infrastructure List required? () YES () NO If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

EPC CASE # 1001720 DRB CASE # 1001720

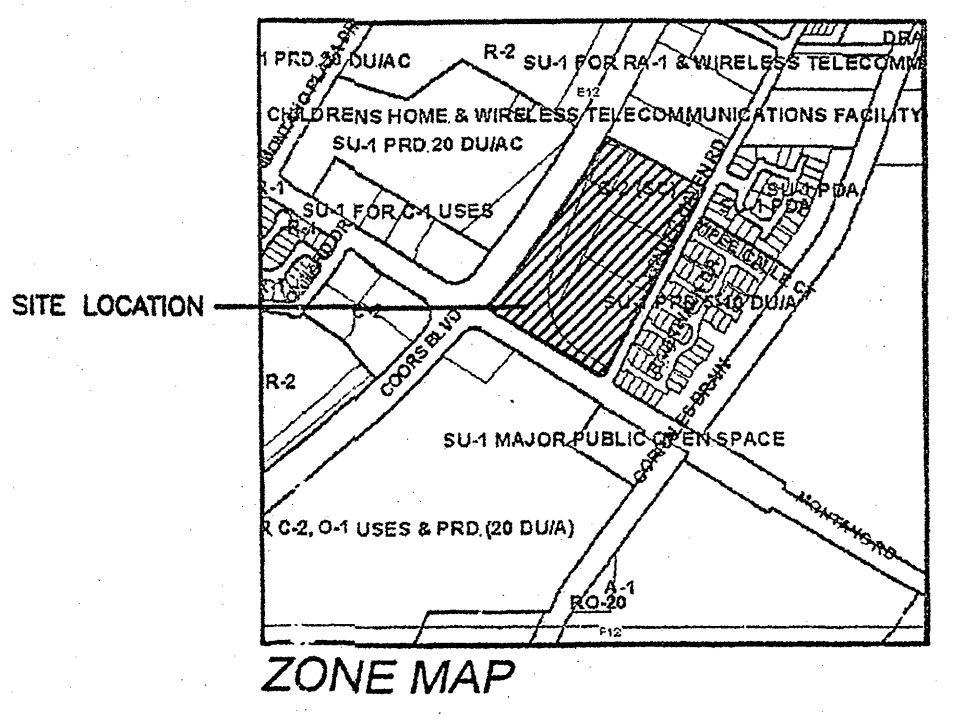
This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on [Date] and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

Traffic Engineer, Transportation Division	8/21/05	Date
Christina Gonzalez	8/24/05	Date
Parks and General Services Department	8/24/05	Date
Water Utilities Division	8/24/05	Date
City Engineer, Engineering Division	8/24/05	Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

City Planner, Albuquerque / Bernalillo County Planning Division



LEGEND

- EXISTING PROPERTY LINE
- PROPOSED PROPERTY LINE
- CURB
- EXISTING TRACT 5-A1-A
- EXISTING 5-A2 TO BE CONSOLIDATED WITH 5-A1-A
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- EXISTING CROSSWALK
- TRUCK TRAFFIC

SITE DATA TABLE

PROPOSED TRACT	USE	ZONING	MAX. BLDG. HEIGHT	SEAT CAPACITY	F.A.R.
5-A1-B	RETAIL + BANK	C-2	30 FEET	120	.32

- NOTES:**
- PEDESTRIAN CONNECTIONS SHALL BE PER THE OFF-STREET PARKING REQUIREMENTS OF THE ZONING CODE.
 - MINIMUM BUILDING SETBACKS ARE DESIGNATED ON THE SITE PLAN FOR BUILDING PERMIT.

SITE PLAN FOR SUBDIVISION
 SCALE: 1" = 60'-0"

AFD PLANS CHECKING OFFICE
 924-3611
 APPROVED/SISAPPROVED
 HYDRANT(S) ONLY

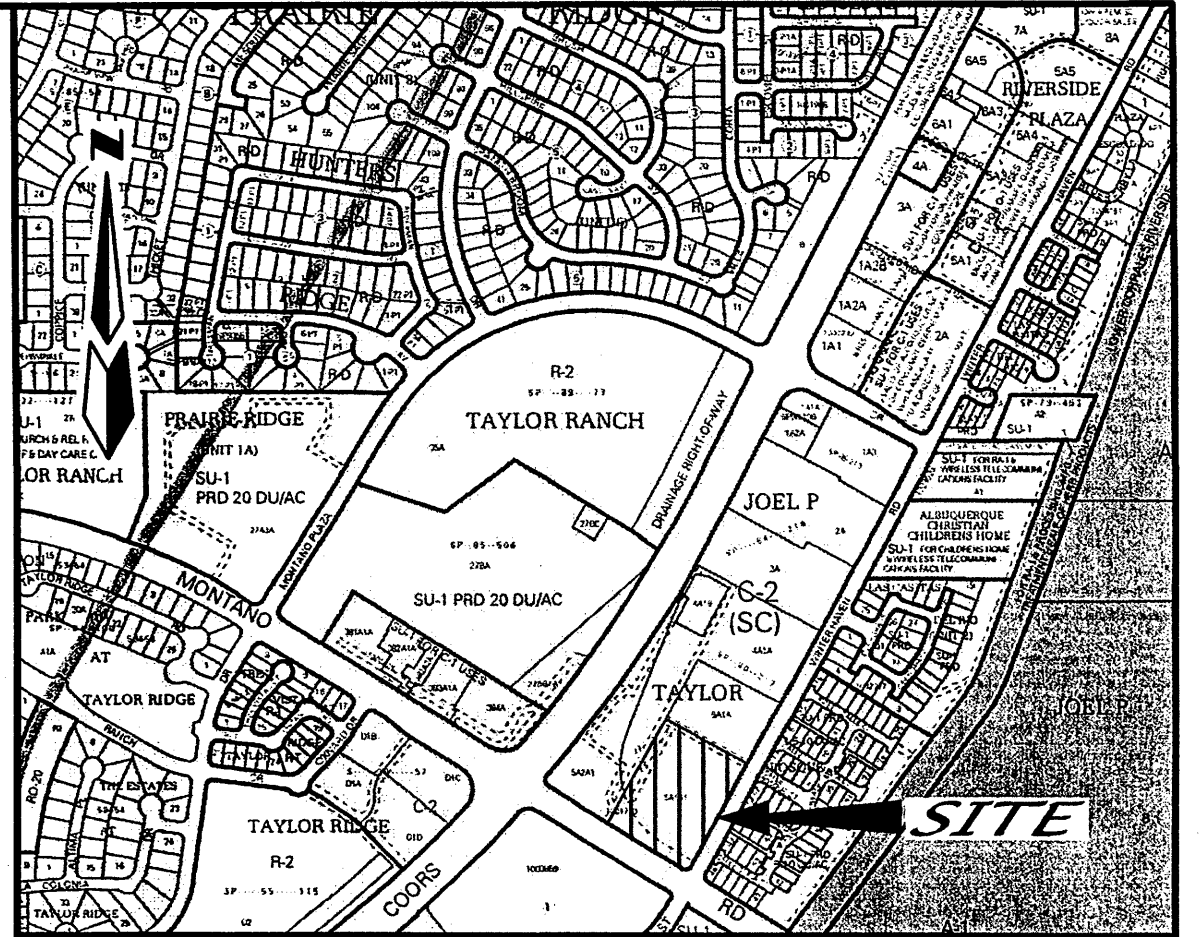
REVISION

REV	DATE	BY

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

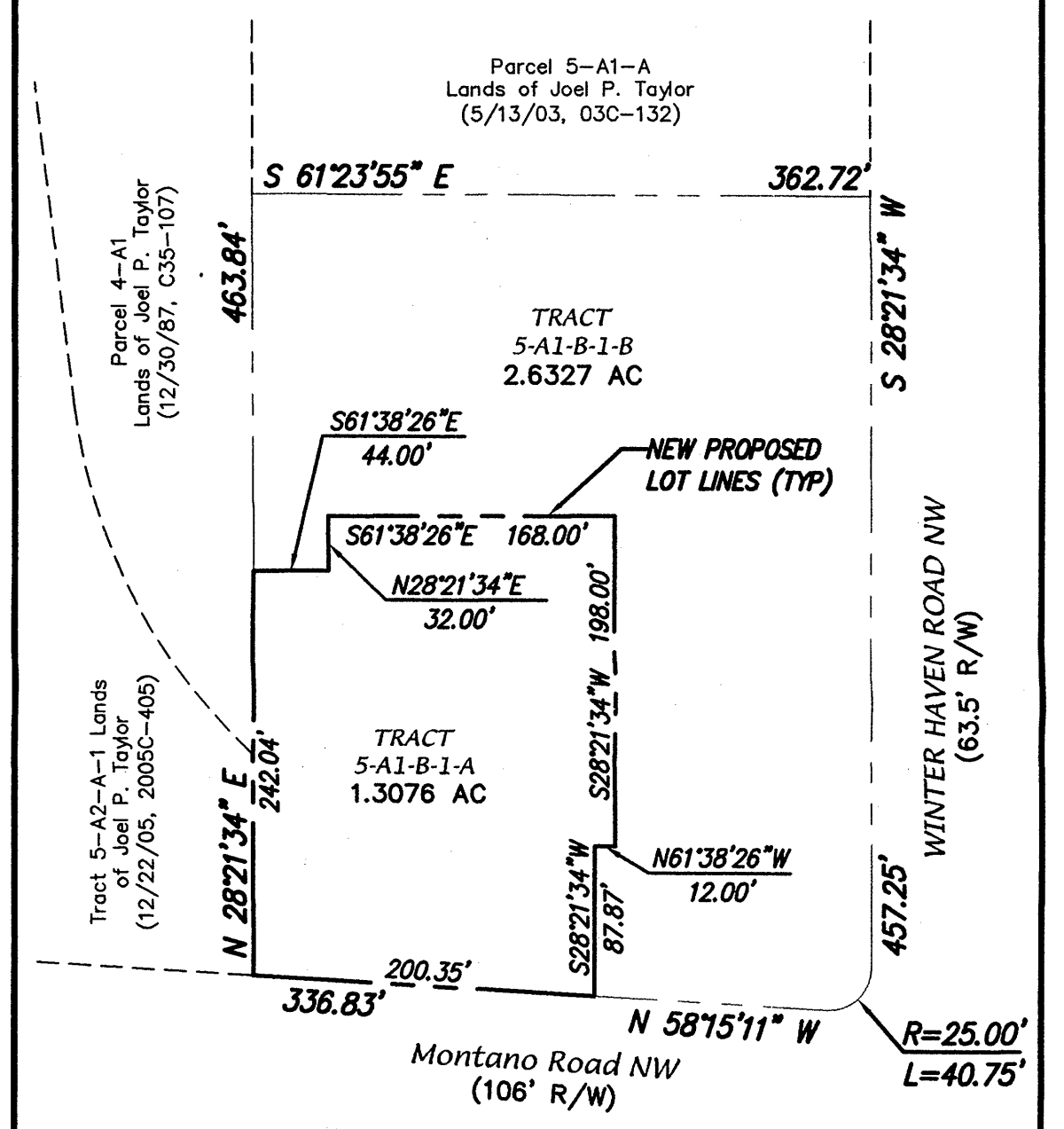
PRELIMINARY NOT FOR CONSTRUCTION

THE SHOPS AT MONTANO
 COORS AND MONTANO
 PROJECT MANAGER: William Shirles
 SHEET TITLE: SITE PLAN FOR SUBDIVISION
 DATE: 8.16.2005
 SCALE: 1" = 60'
 SHEET: AS.1



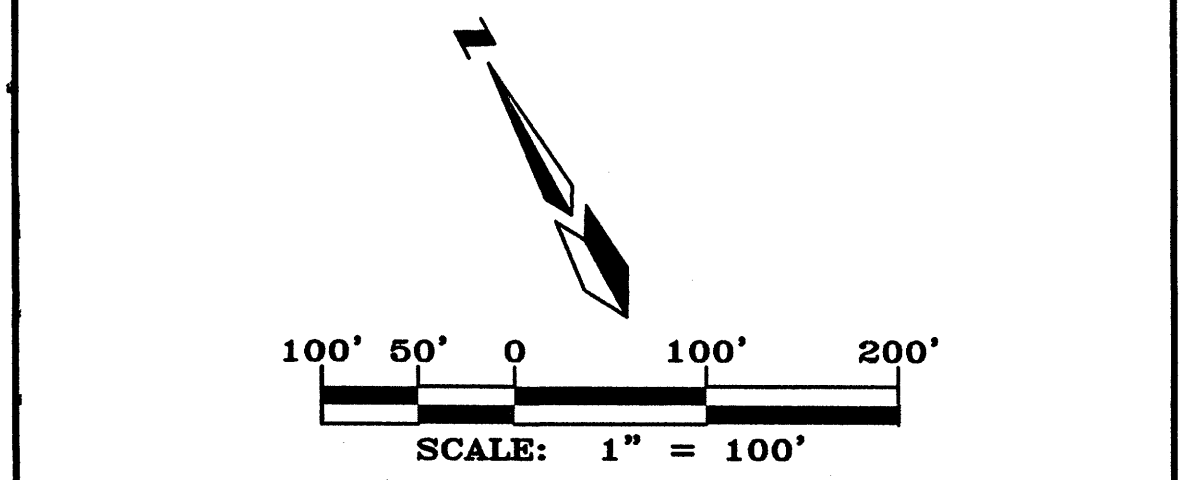
VICINITY MAP (NTS) ZONE ATLAS MAP E-12

LEGAL DESCRIPTION OF TRACTS TO BE AMENDED
 TRACT 5-A1-B-1, OF TAYLOR JOEL SUBDIVISION, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON DECEMBER 22, 2005 IN BOOK 2005C, PAGE 405.



DETAIL "A"

NOTE:
 All the provisions of the existing site plan for subdivision shall also apply to the new Tract 5-A1-B-1-A that has been created by this amendment.



SECOND AMENDED SITE PLAN FOR SUBDIVISION
THE SHOPS AT MONTANO

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

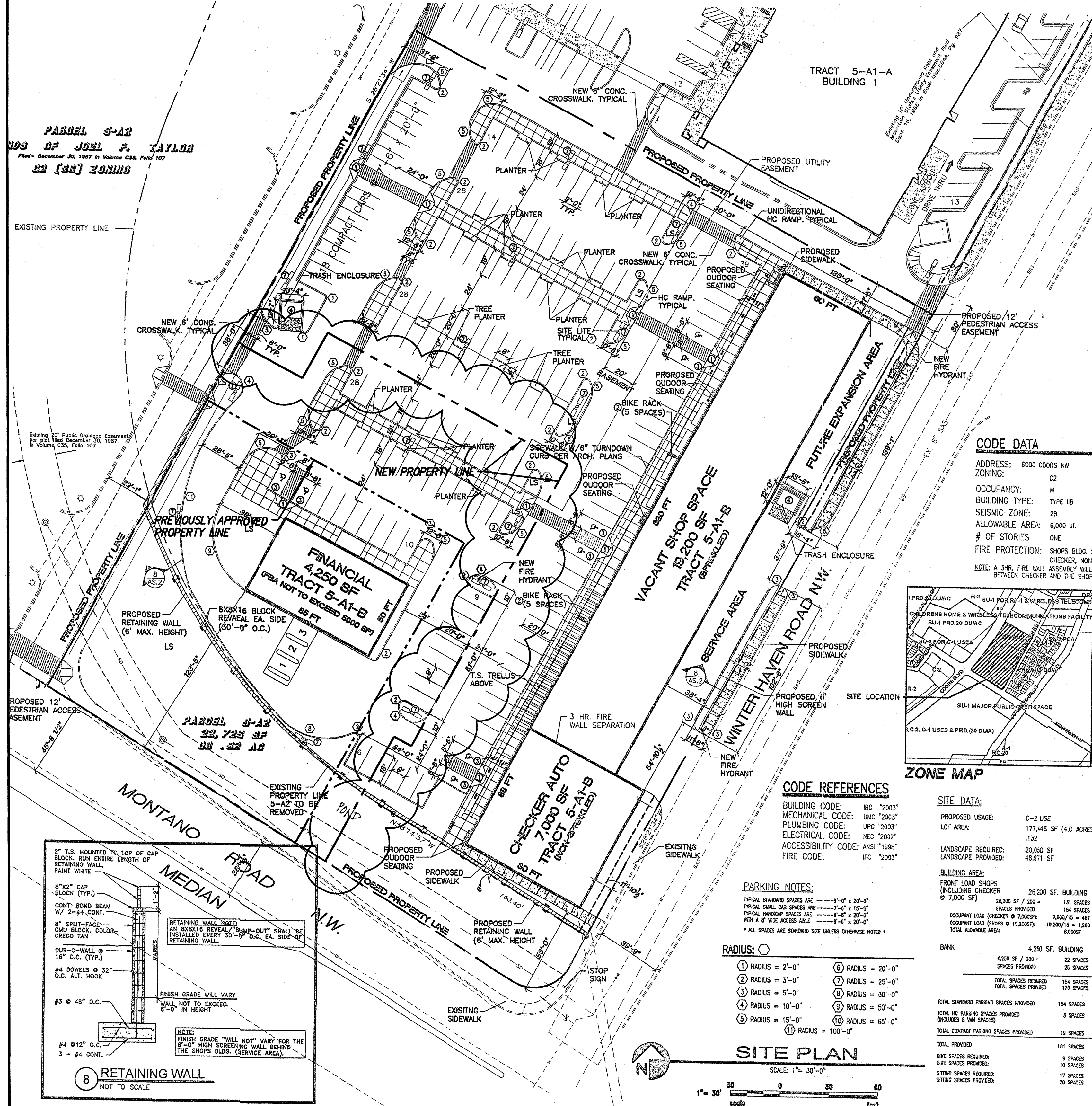
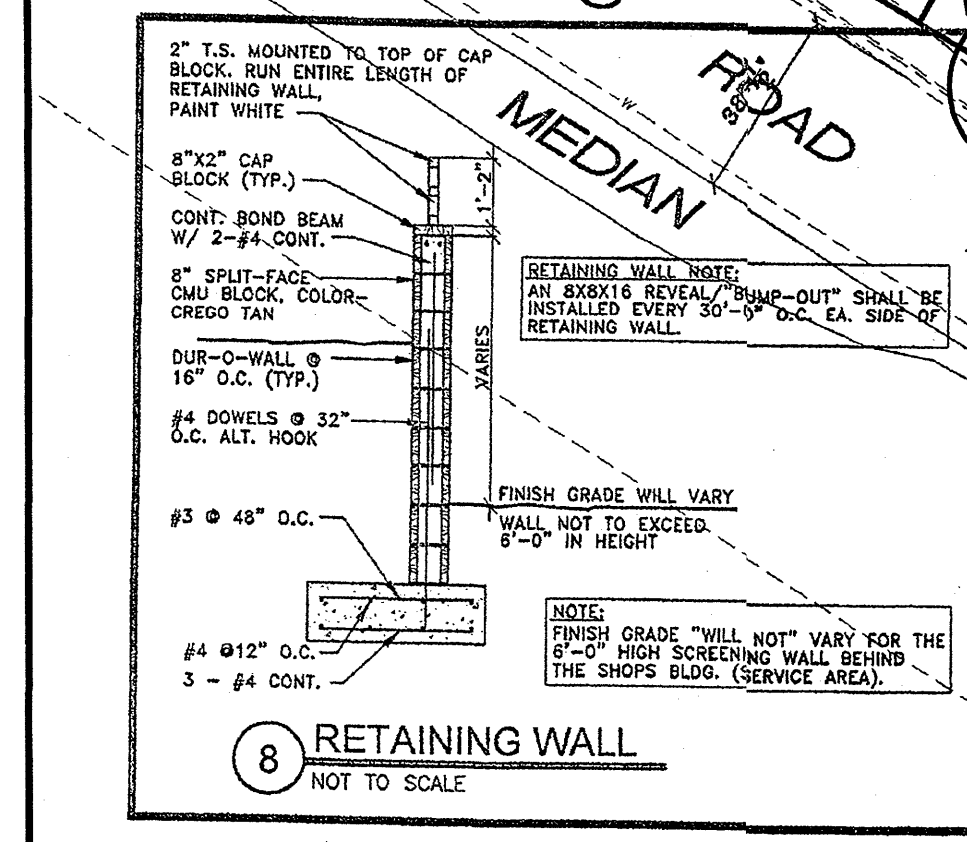
Designed: JM	Drawn: SPS	Checked: DMG	Sheet 1 of 2
Scale: AS SHOWN	Date: 6/12/2008	Job: A08031	

ORIGINAL SITE PLAN FOR SUBDIVISION
THE SHOPS AT MONTANO

PANEL 5-A2
PLANS OF JOEL P. TAYLOR
 Filed - December 30, 1987 in Volume C25, Page 107
22 (30) ZONING

EXISTING PROPERTY LINE

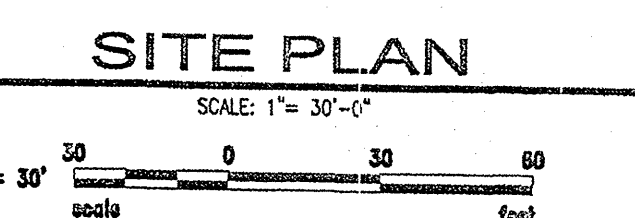
Existing of Public Drainage Easement per 2011 Dec 30, 1987 in Volume C25, Page 107



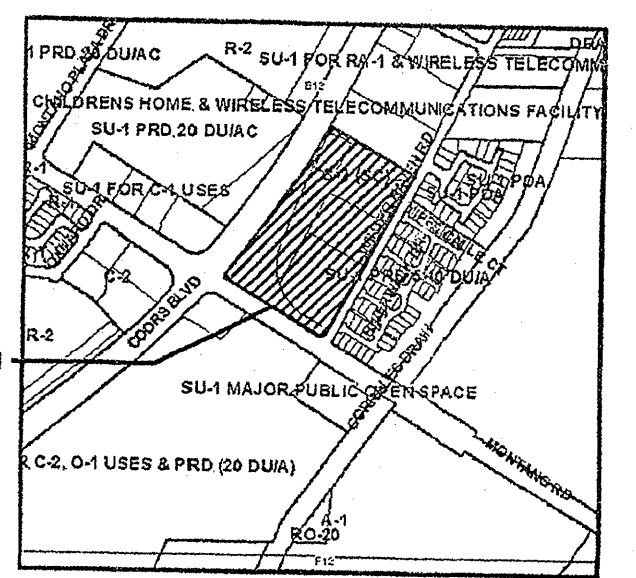
CODE REFERENCES
 BUILDING CODE: IBC "2003"
 MECHANICAL CODE: UMC "2003"
 PLUMBING CODE: UPC "2003"
 ELECTRICAL CODE: NEC "2002"
 ACCESSIBILITY CODE: ANSI "1998"
 FIRE CODE: IFC "2003"

PARKING NOTES:
 TYPICAL STANDARD SPACES ARE 4'-0" x 20'-0"
 TYPICAL SMALL CAR SPACES ARE 7'-0" x 10'-0"
 TYPICAL VAN/SPACES ARE 8'-0" x 20'-0"
 WITH 4' WIDE ACCESS AISLE 8'-0" x 20'-0"
 * ALL SPACES ARE STANDARD SIZE UNLESS OTHERWISE NOTED *

RADIUS:
 ① RADIUS = 2'-0" ⑥ RADIUS = 20'-0"
 ② RADIUS = 3'-0" ⑦ RADIUS = 25'-0"
 ③ RADIUS = 5'-0" ⑧ RADIUS = 30'-0"
 ④ RADIUS = 10'-0" ⑨ RADIUS = 50'-0"
 ⑤ RADIUS = 15'-0" ⑩ RADIUS = 65'-0"
 ⑪ RADIUS = 100'-0"



CODE DATA
 ADDRESS: 6000 COORS NW
 ZONING: C2
 OCCUPANCY: M
 BUILDING TYPE: TYPE IIB
 SEISMIC ZONE: 2B
 ALLOWABLE AREA: 6,000 sf.
 # OF STORIES: ONE
 FIRE PROTECTION: SHOPS BLDG. SPRINKLED, CHECKER, NON-SPRINKLED
 NOTE: A 3HR. FIRE WALL ASSEMBLY WILL BE ERECTED BETWEEN CHECKER AND THE SHOPS BUILDING

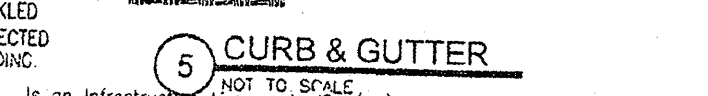
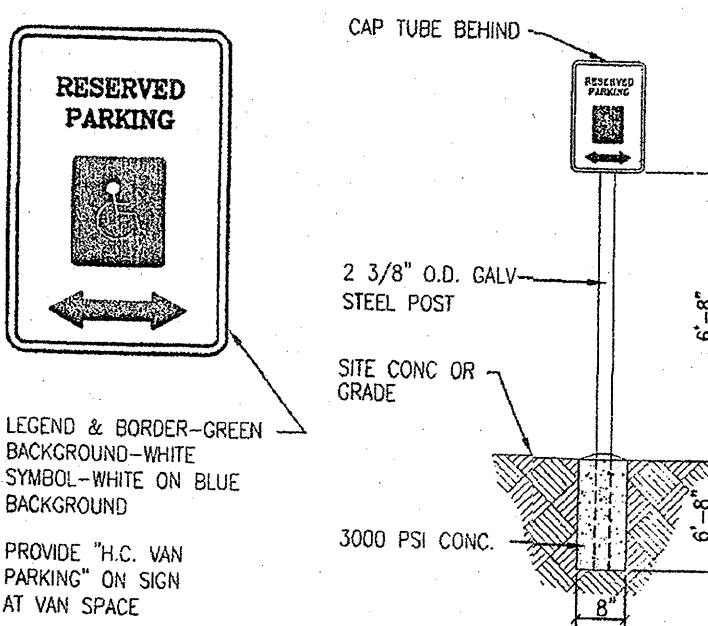


SITE DATA:
 PROPOSED USAGE: C-2 USE
 LOT AREA: 177,148 SF (4.0 ACRES)
 1.32
 LANDSCAPE REQUIRED: 20,050 SF
 LANDSCAPE PROVIDED: 48,971 SF

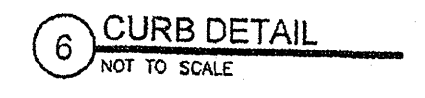
BUILDING AREA:
 FRONT LOAD SHOPS (INCLUDING CHECKER @ 7,000 SF): 26,200 SF. BUILDING 131 SPACES
 26,200 SF / 200 = 131 SPACES
 OCCUPANT LOAD (CHECKER @ 7,000 SF): 7,000/15 = 467
 OCCUPANT LOAD SHOPS @ 19,200 SF: 19,200/15 = 1,280
 TOTAL ALLOWABLE AREA: 8,000 SF

BANK:
 4,250 SF @ 200' = 21 SPACES
 7,000 SF @ 200' = 35 SPACES

TOTAL STANDARD PARKING SPACES PROVIDED: 134 SPACES
TOTAL HC PARKING SPACES PROVIDED (INCLUDES 5 VAN SPACES): 8 SPACES
TOTAL COMPACT PARKING SPACES PROVIDED: 16 SPACES
TOTAL PROVIDED: 158 SPACES
Bike Spaces Required: 9 SPACES
Bike Spaces Provided: 10 SPACES
Sitting Spaces Required: 17 SPACES
Sitting Spaces Provided: 20 SPACES



EPC CASE # 1001770 DRB CASE # 1001770
 This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on 8/24/05 and the findings and conditions in the Official Notice of Decision have been complied with:
SITE DEVELOPMENT PLAN
 Traffic Engineer, Transportation Division Date 8-29-05
 Planning Director Date 8/24/05
 Planning General Services Department Date 8-24-05
 City Engineer, Water Utilities Division Date 8-24-05
 City Engineer, Engineering Division / AM/FCA Date 8/24/05
 APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.
 City Planner, Albuquerque / Bernillo Date 8/23/05
 County Planning Division Date 8/16/05
 Solid Waste



LEGEND
 - - - - - PROPOSED PROPERTY LINE
 - - - - - EXISTING PROPERTY LINE
 - - - - - EXISTING CURB AND GUTTER
 - - - - - PROPOSED SCREEN WALL
 - - - - - PROPOSED CURB
 - - - - - PROPOSED SIDEWALK
 - - - - - PROPOSED CROSSWALK - STAMPED PATTERN CONCRETE
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 - - - - - PROPOSED BIKE RACK
 - - - - - PROPOSED PARKING LOT LIGHTING
 - - - - - PROPOSED OUTDOOR SEATING (EA. SEATS 4)
 - - - - - PROPOSED LANDSCAPING

PLANS CHECKING OFFICE
 924-3611
 APPROVED/DISAPPROVED
 HYDRANT(S) ONLY
 SIGNATURE & DATE

REV.	DATE	BY	REVISION
1			
2			
3			
4			
5			

GEORGE RAINHART ARCHITECT AND ASSOCIATES PC
 2325 SAN PEDRO N.E., SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877

PRELIMINARY NOT FOR CONSTRUCTION

PROJECT TITLE: THE SHOPS AT MONTANO COORS AND MONTANO
DRAWN BY: WRS
JOB NO.: 0413
PROJECT MANAGER: William Suttles
SHEET TITLE: SITE PLAN FOR BLDG. PERMIT

DATE: 8.16.2005 sheet
SCALE: 1"=30' of
AS.2

ORIGINAL SITE PLAN FOR BUILDING PERMIT (FOR REFERENCE ONLY) THE SHOPS AT MONTANO

dmg MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS
 P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505)828-2200, FAX (505)797-9539

Designed: JM	Drawn: SPS	Checked: DMG	Sheet 2 of 2
Scale: AS SHOWN	Date: 8/1/2008	Job: A08031	