

### PROJECT DATA

LEGAL DESCRIPTION: PARCEL 1-A-1-A, 1-A-2-A, LANDS OF JOEL P. TAYLOR, CITY OF ALBUQUERQUE, NM

ZONING: C-2(SC)

AREAS:  
 TRACT AREA: 39,537 SF  
 BUILDING FOOTPRINT: 6,475 SF  
 F.A.R.: 0.164

PROPOSED USE: RESTAURANT WITH PATIO DINING

### PARKING ANALYSIS

TOTAL PARKING SPACES  
 REQUIRED = 297 OCCUPANCY/3 = 99 SPACES  
 PROVIDED = 43 SPACES SITE,  
 845 SHARED SPACES PER MONTAÑO PLAZA SITE PLAN DATED 04/06/1988

ADA PARKING SPACES  
 REQUIRED = 4 SPACES  
 PROVIDED = 4 SPACES (INCLUDING 2 VAN ACCESSIBLE)

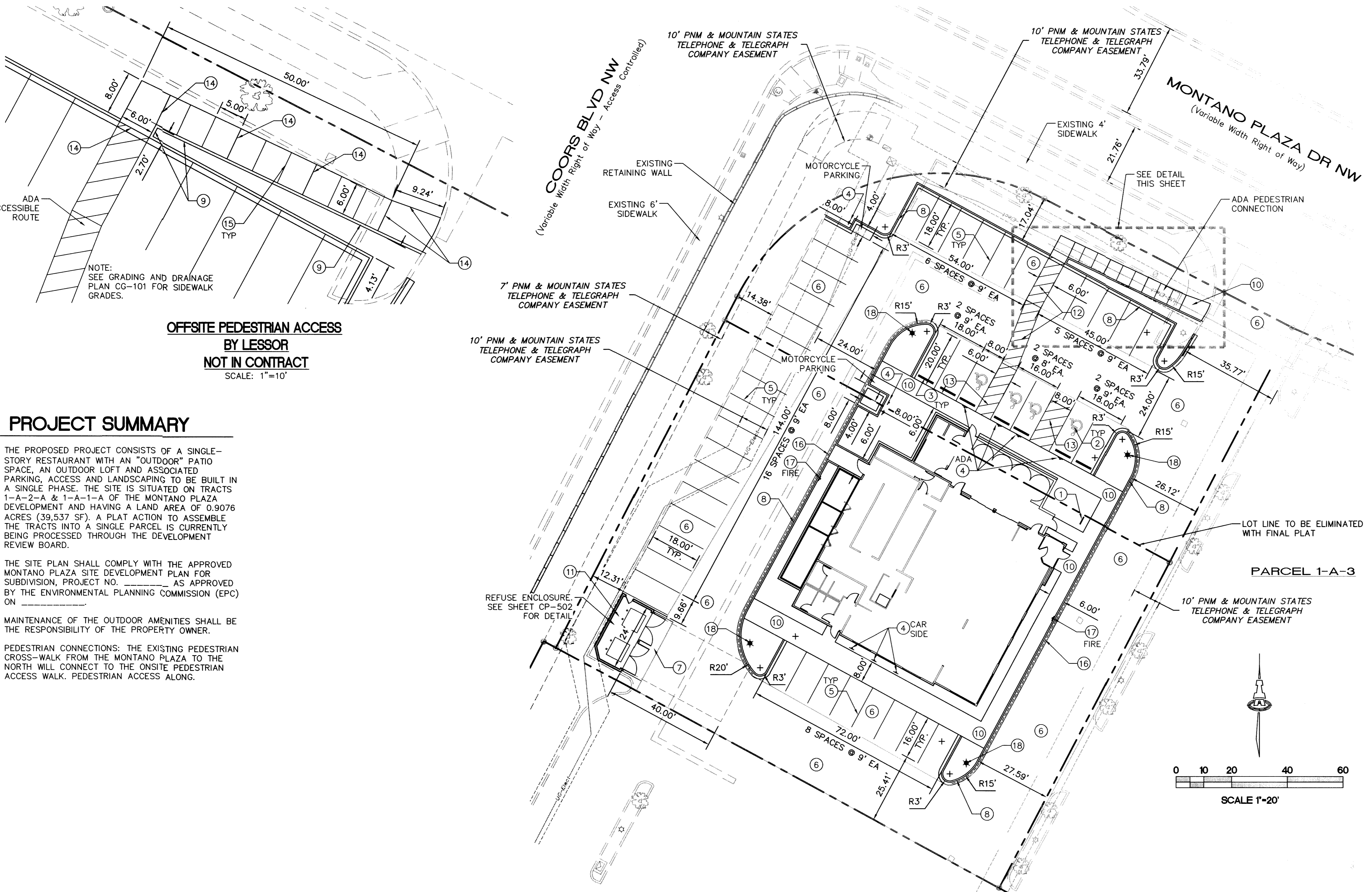
MOTOR CYCLE PARKING SPACES  
 REQUIRED = 3 SPACES  
 PROVIDED = 3 SPACES

BICYCLE PARKING  
 REQUIRED = 97/20 = 5 SPACES  
 PROVIDED = 5 SPACES

THIS DRAWING has been prepared by the Architect, or prepared under his direct supervision or an endorsement of service and is intended for use only on this project. All drawings, specifications, plans and designs, including the overall layout, form, arrangement, and composition of figures and elements prepared, constitute the original, unpublished work of the Architect. Any reproduction, use, or disclosure of the information contained herein without the written consent of the Architect is strictly prohibited.

THE ARCHITECT DISCLAIMS responsibility for the existing building structure, site conditions, existing construction elements, or any documents, drawings or other instruments used for any part of this project which do not bear the Architect's seal. The Architect's services are undertaken only in the interest of the Project Owner. No obligation is assumed by the Architect for the design of any other related documents. This drawing is a single component of an integrated set of Construction Documents. General and Supplementary Conditions of the Contract, General Requirements, Specifications and other drawings may affect the Work described. Failure to review and integrate the design intent of the whole of the Construction Documents does not release the Contractor from providing a complete Project. CONSULT WITH all laws, codes, ordinances and regulations with authorities having jurisdiction and with requirements of the local jurisdiction at all existing conditions. Application of a material or equipment item to work installed by others constitutes acceptance of that Work, and acceptance of responsibility for satisfactory installation.

MEASUREMENTS shown are to finish face of a material unless otherwise noted. (CIRCLES & SQUARES) - 18" MIN. SPACING UNLESS OTHERWISE NOTED.



### PROJECT SUMMARY

THE PROPOSED PROJECT CONSISTS OF A SINGLE-STORY RESTAURANT WITH AN "OUTDOOR" PATIO SPACE, AN OUTDOOR LOFT AND ASSOCIATED PARKING, ACCESS AND LANDSCAPING TO BE BUILT IN A SINGLE PHASE. THE SITE IS SITUATED ON TRACTS 1-A-2-A & 1-A-1-A OF THE MONTAÑO PLAZA DEVELOPMENT AND HAVING A LAND AREA OF 0.9076 ACRES (39,537 SF). A PLAT ACTION TO ASSEMBLE THE TRACTS INTO A SINGLE PARCEL IS CURRENTLY BEING PROCESSED THROUGH THE DEVELOPMENT REVIEW BOARD.

THE SITE PLAN SHALL COMPLY WITH THE APPROVED MONTAÑO PLAZA SITE DEVELOPMENT PLAN FOR SUBDIVISION, PROJECT NO. \_\_\_\_\_ AS APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON \_\_\_\_\_

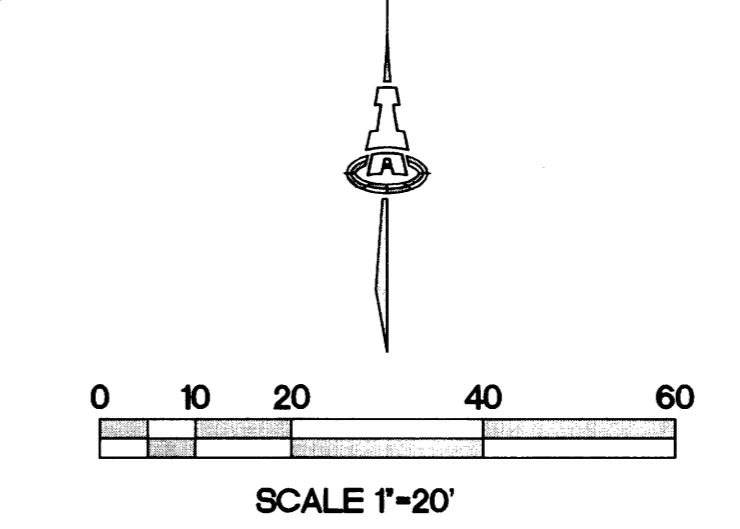
MAINTENANCE OF THE OUTDOOR AMENITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER.

PEDESTRIAN CONNECTIONS: THE EXISTING PEDESTRIAN CROSS-WALK FROM THE MONTAÑO PLAZA TO THE NORTH WILL CONNECT TO THE ONSITE PEDESTRIAN ACCESS WALK. PEDESTRIAN ACCESS ALONG \_\_\_\_\_

**OFFSITE PEDESTRIAN ACCESS  
 BY LESSOR  
 NOT IN CONTRACT  
 SCALE: 1"=10'**

### GENERAL NOTES

- SIGNAGE SHALL COMPLY WITH THE APPROVED SITE PLAN FOR SUBDIVISION DESIGN STANDARDS FOR MONTAÑO PLAZA. ONE MONUMENT SIGN IS PROPOSED ALONG MONTAÑO PLAZA DR. FRONTAGE THAT IS LIMITED TO 20 SF SIGN AREA AND A MAXIMUM HEIGHT OF 4 FEET.
- ALL BUILDING-MOUNTED SIGNAGE SHALL BE INDIVIDUAL TYPE LETTERING NOT TO EXCEED 8% OF EACH BUILDING ELEVATION FACADE.
- ALL LIGHTING SHALL COMPLY WITH THE STANDARDS OF SECTION 14-16-3-9, AREA REGULATIONS OF THE CITY COMPREHENSIVE ZONING CODE, AND THE MONTAÑO PLAZA SITE PLAN FOR SUBDIVISION DESIGN STANDARDS. MAXIMUM HEIGHT OF FIXTURES SHALL BE 20FT, EXCEPT 16FT WITHIN 100FT OF RESIDENTIAL DEVELOPMENT.
- ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED (SEE ARCHITECTS ELEVATIONS)
- THE MECHANICAL SYSTEMS (HEATING AND COOLING) AND BUILDING ENVELOPE (WALLS, ROOF, AND WINDOWS) SHALL BE DESIGNED AND MAINTAINED TO PROMOTE EFFICIENT USE OF ENERGY.
- RAINWATER HARVESTING MEASURES SUCH AS DEPRESSED LANDSCAPE, SHALL BE PROVIDED WHERE PRACTICAL.
- RECYCLING CARTS SHALL BE PROVIDED IN THE BUILDING AND PICKED UP THROUGH A PRIVATE CONTRACTOR.
- ALL SCREENING AND VEGETATION SURROUNDING GROUND-MOUNTED TRANSFORMERS AND UTILITY PADS SHALL ALLOW 10 FEET OF CLEARANCE IN FRONT OF THE EQUIPMENT DOOR AND 5-6 FEET OF CLEARANCE ON THE REMAINING THREE SIDES FOR SAFE OPERATION, MAINTENANCE, AND REPAIR PURPOSES PER PNM DESIGN GUIDELINES.
- PNM COORDINATION: DEVELOPMENT SHALL ABIDE BY ALL CONDITIONS OR TERMS OF UTILITY EASEMENTS PRIOR TO DEVELOPMENT. CONTACT SHALL BE MADE TO PNM'S NEW SERVICE DEPARTMENT TO COORDINATE ELECTRICAL SERVICE AND OPTIONS FOR THE LOCATION OF ELECTRICAL SERVICE CONNECTION.
- FIVE WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (505-260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS, SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ADJUST ALL UTILITY CLEANOUTS & WATER VALVES TO FINAL GRADE.
- SEE CIVIL DETAIL SHEET, CP-501 FOR SITE STRIPING AND ACCESSIBILITY DETAILS.
- ALL STANDARD PARKING SPACES ARE 9'-0" WIDE BY 16'-0", WITH 2' OVERHANG. 2' OVERHAND INTO LANDSCAPE AREA IS NOT PART OF LANDSCAPE CREDIT.
- ALL ACCESSIBLE PARKING SPACES AS DIMENSIONED AND 20'-0" DEEP.
- ALL MOTORCYCLE PARKING SPACES ARE 4'-0" WIDE BY 10'-0" DEEP.
- ALL DIMENSIONING IS TO FACE OF CURB/EDGE OF TURNDOWN SIDEWALKS/ENTRANCE OF PARKING STALLS.
- ALL ONSITE SIDEWALKS ARE 6' IN WIDTH UNLESS OTHERWISE NOTED/DIMENSIONED.
- ALL CURB RADI AT END OF ISLANDS ARE 3'R UNLESS OTHERWISE DIMENSIONED.



PROJECT NUMBER: \_\_\_\_\_

Application Number: \_\_\_\_\_

Is an Infrastructure List required? ( ) Yes ( ) No. If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
*Environmental Health Department (conditional)	Date
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
*Environmental Health, if necessary	

### KEYED NOTES

- BIKE RACK. (MINIMUM 5 SPACES) SEE DETAIL SHEET CP-501.
- REFLECTORIZED PAVEMENT MARKING HANDICAP SYMBOL; SEE DETAIL SHEET CP-501.
- PCC WHEEL STOP; SEE DETAIL SHEET CP-501.
- PARKING SIGNS; SEE DETAIL SHEET CP-501
- REFLECTORIZED PAVEMENT MARKING 4" SOLID WHITE STRIPE.
- ASPHALT PAVING, SEE DETAIL SHEET CP-501.
- CONCRETE PAVING; SEE DETAIL SHEET CP-501.
- PCC CURB AND GUTTER; SEE DETAIL SHEET CP-501.
- PCC HEADER CURB; SEE DETAIL SHEET CP-501.
- PCC SIDEWALK; SEE DETAIL SHEET CP-501.
- DUMPSTER PAD, SEE SHEET CP-502 FOR DETAILS.
- CROSS WALK TO HAVE DIAGONAL 4" WIDE STRIPES AT 4'-0" O.C.
- REFLECTORIZED PAVEMENT MARKING 4" WIDE SOLID BLUE STRIPES AT 4'-0" O.C.
- 1/2" EXPANSION JOINT.
- CONTRACTION JOINT.
- CURB PAINTED RED WITH SAFETY WHITE LETTERING "FIRE LANE-NO PARKING" AT 12'-0" O.C.
- NO PARKING FIRE LANE SIGN.
- SITE LIGHT POLES AND FIXTURES, SEE SHEET CP-501 FOR DETAILS.

PREPARED FOR: APPLE INVESTORS GROUP  
 917 RAVENWOOD WAY  
 CANTON, GA 30115

PREPARED BY: ISAACSON & ARFMAN, P.A.  
 128 MONROE ST NE  
 ALBUQUERQUE, NM 87108

**ISAACSON & ARFMAN, P.A.**  
 Consulting Engineering Associates  
 128 Monroe Street N.E.  
 Albuquerque, New Mexico 87108  
 Ph. 505-268-8828 www.iaacil.com  
 1984 CP-102.dwg May 19, 2014

project title

Applebees

South East Corner of Coors Blvd and Montano Plaza Dr.  
 ALBUQUERQUE, NEW MEXICO, 12345

project number  
 13024.016

drawing issuance  
 BID / PERMIT 05.31.2013

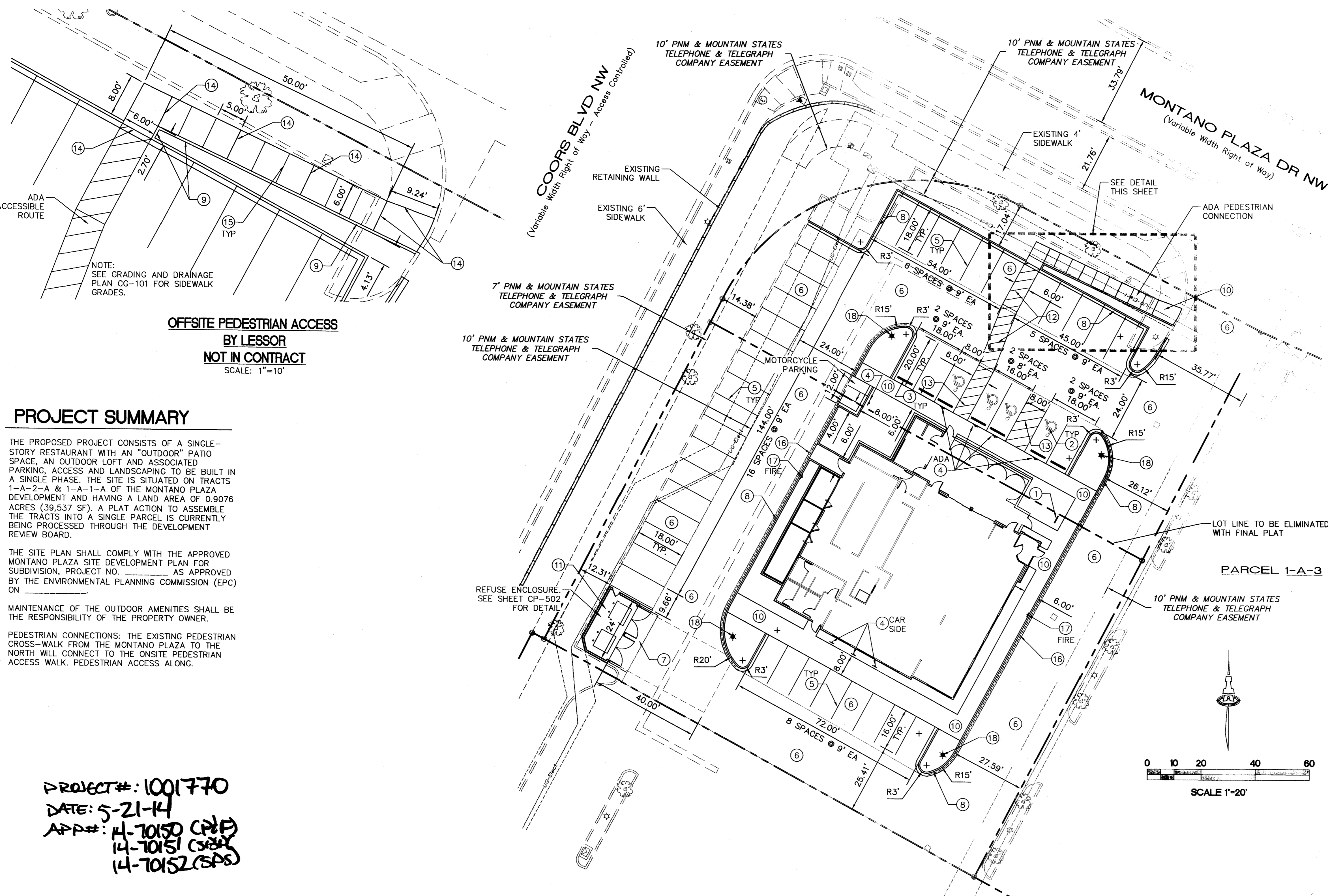
drawing revisions  
 No. Description Date

professional seal

FRED C. ARFMAN  
 NEW MEXICO  
 LICENSED PROFESSIONAL ENGINEER  
 7322  
 05-11-14

site plan for building permit

cp-102



NOTE:  
SEE GRADING AND DRAINAGE  
PLAN CG-101 FOR SIDEWALK  
GRADES.

**OFFSITE PEDESTRIAN ACCESS  
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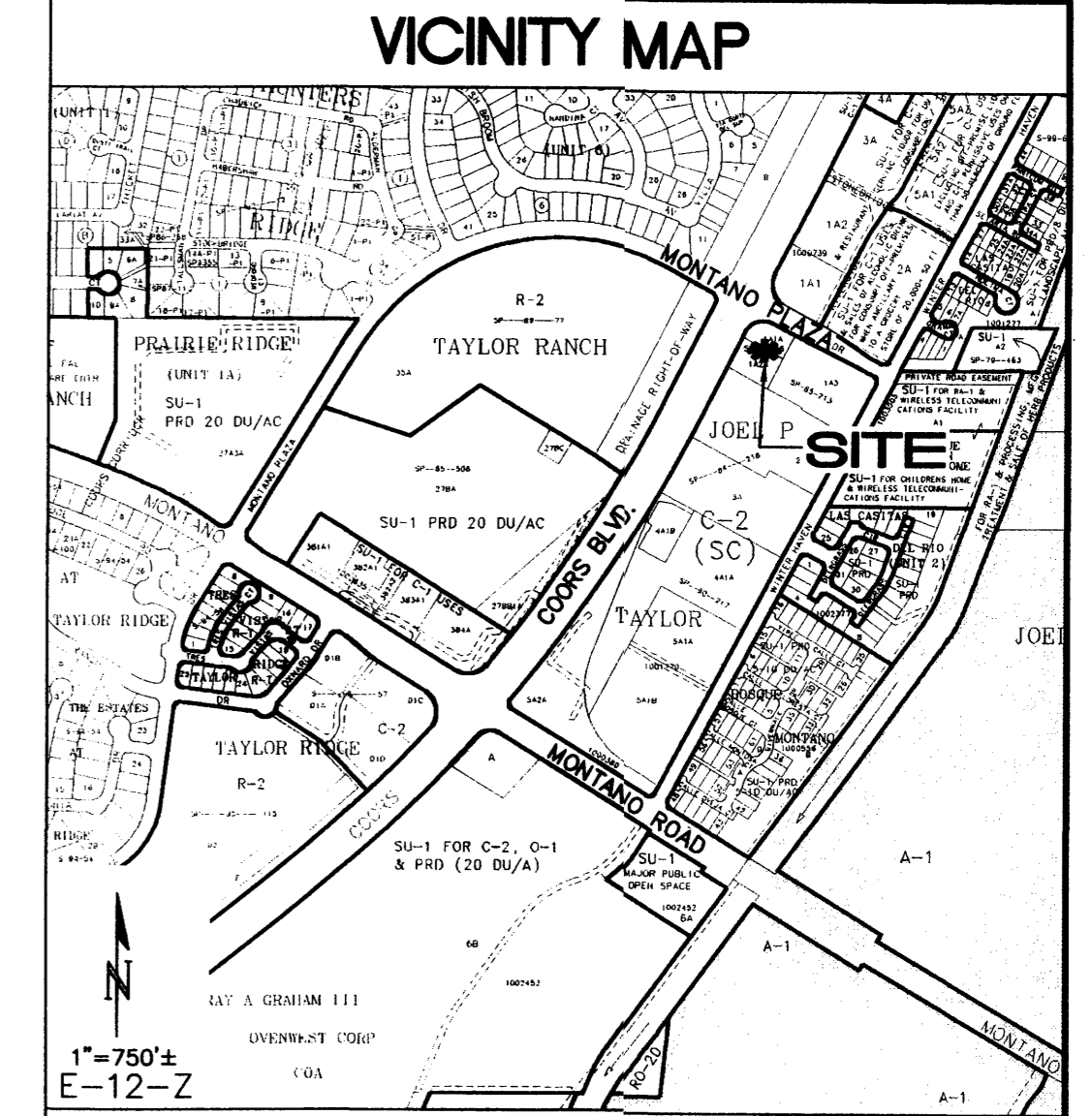
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PROJECT#: 1001770  
DATE: 5-21-14  
APP#: 14-70150 (C/P)  
14-70151 (C/S)  
14-70152 (S/P)

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LEGAL DESCRIPTION: PARCEL 1-A-1-A, 1-A-2-A, LANDS OF JOEL P. TAYLOR, CITY OF ALBUQUERQUE, NM

ZONING: C-2(SC)

AREAS:  
TRACT AREA: 39,537 SF  
BUILDING FOOTPRINT: 6,475 SF  
F.A.R.: 0.164

PROPOSED USE:  
RESTAURANT WITH PATIO DINING

**PARKING ANALYSIS**

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REQUIRED = 297 OCCUPANCY/3 = 99 SPACES  
PROVIDED = 43 SPACES SITE,  
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SITE PLAN DATED 04/06/1988

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Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department (conditional)	Date
<i>Ray Mearns</i> Solid Waste Management	5-6-2014 Date
DRB Chairperson, Planning Department	Date

\*Environmental Health, if necessary

PREPARED FOR: APPLE INVESTORS GROUP  
917 RAVENWOOD WAY  
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PREPARED BY: ISAACSON & ARFMAN, P.A.  
128 MONROE ST NE  
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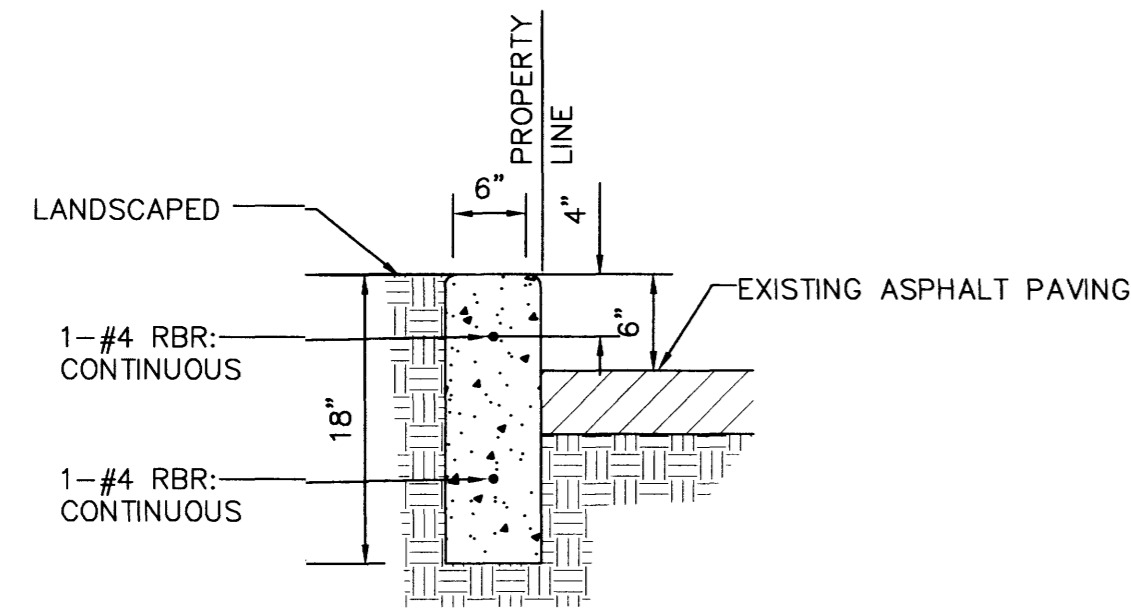
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Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.iaacivil.com  
1984 CP-102.dwg May 05, 2014

**hckloverarchitect**  
10955 LOWELL AVENUE, SUITE 700 • OVERLAND PARK, KS 66210  
ph: 913.649.8181 • fx: 913.649.1275 • www.hcklover.net

**Applebee's**  
South East Corner of Coors Blvd and Montano Plaza Dr.  
ALBUQUERQUE, NEW MEXICO, 12345

project number 13024016  
drawing issuance 05.31.2013  
drawing revisions  
No. Description Date

professional seal  
site plan for building permit  
cp-102

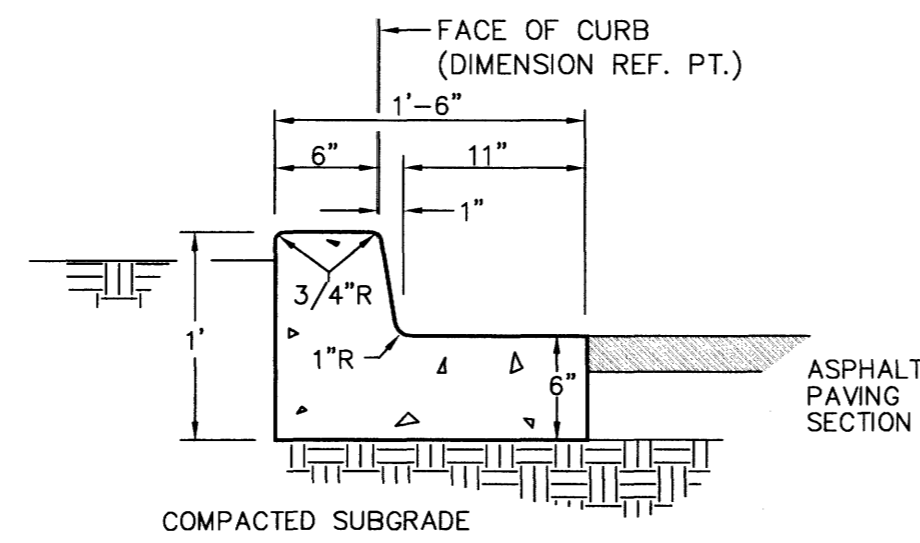


**GENERAL NOTES**

1. PROVIDE CONST. CONTROL JOINTS @ 6' O.C. MAX. AND 1/2" EXPANSION JOINTS @ 48' O.C. MAX.
2. EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL.
3. FULL FORM ON ALL FACES.

**4 HEADER CURB**

SCALE: N.T.S.

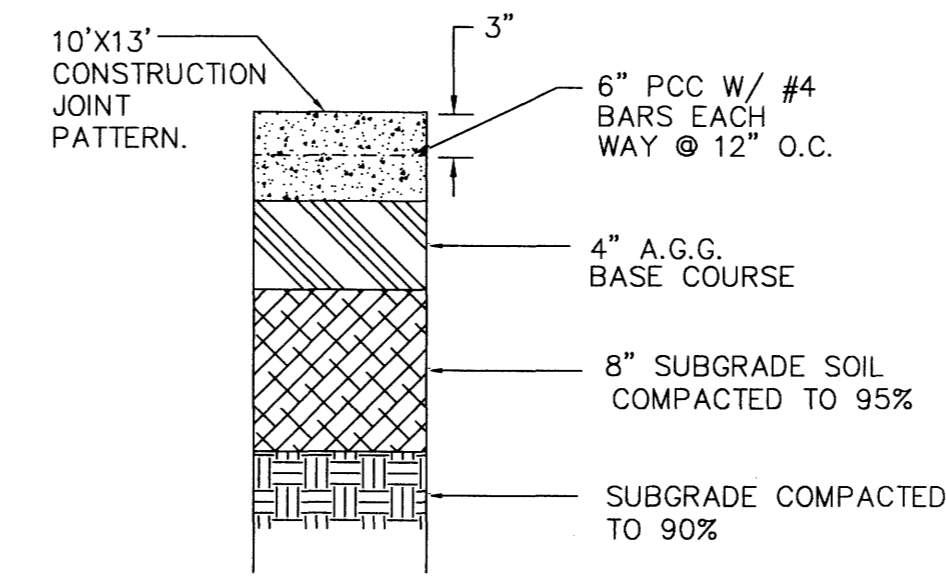


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**3 CURB AND GUTTER**

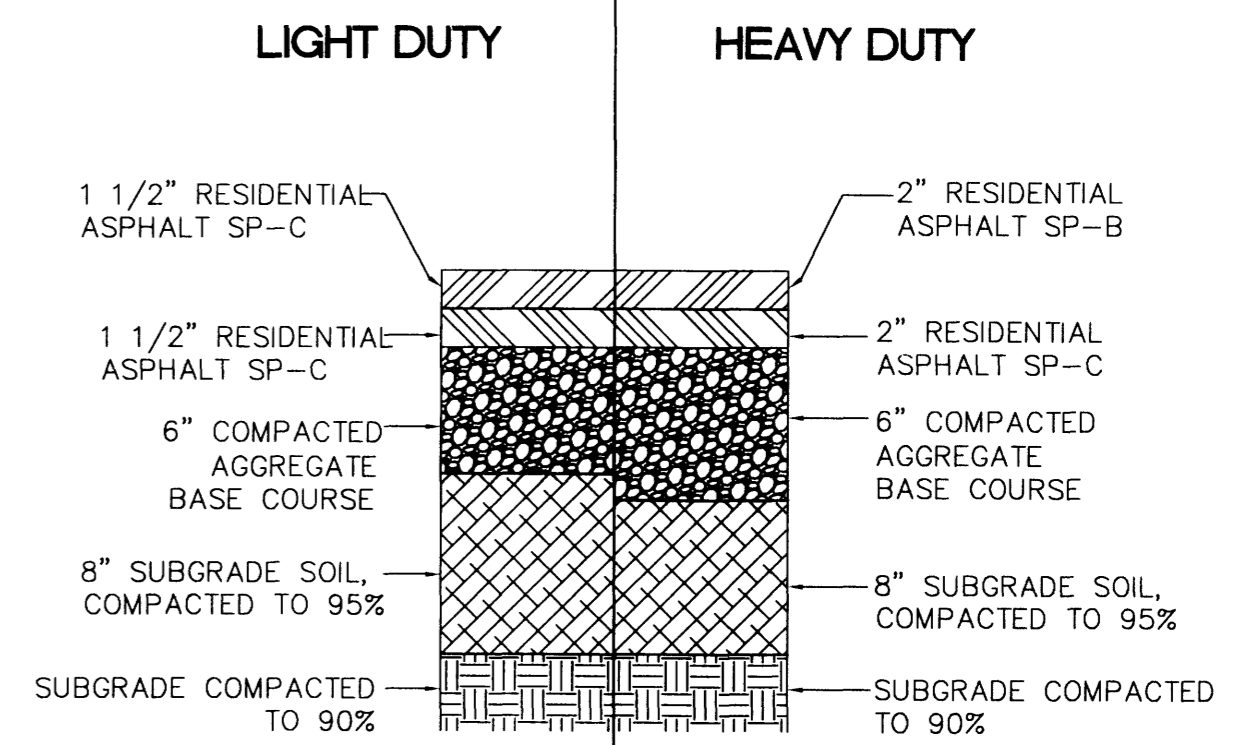
SCALE: N.T.S.



CONSTRUCTION JOINT: TROWELLED 3/8" RADII EDGES 3/4" DEEP

**2 CONCRETE PAVING SECTION**

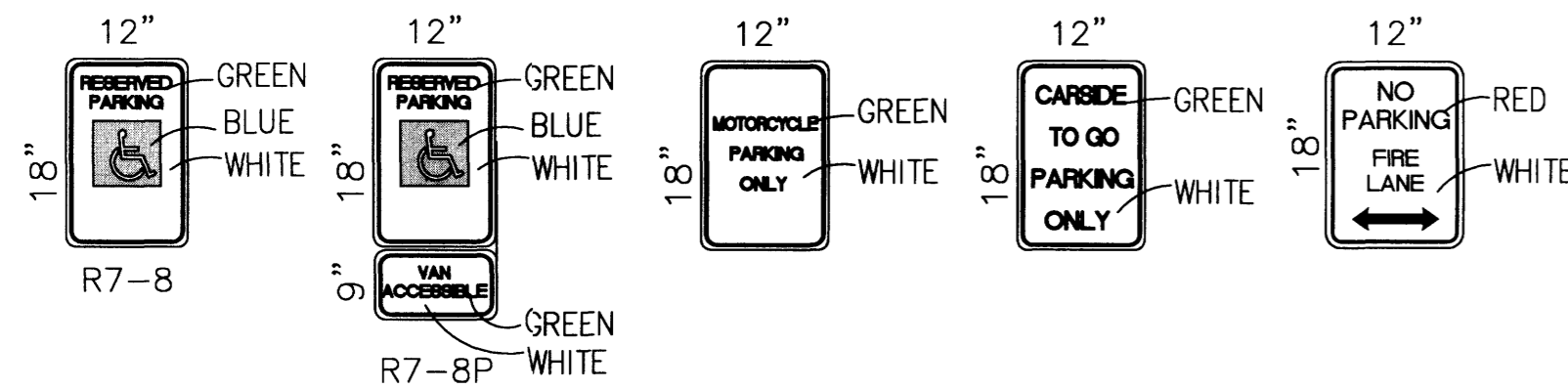
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ALL EARTHWORK, OVER-EXCAVATION, COMPACTION, SUBGRADE PREPARATION ETC. TO BE PER THE GEOTECHNICAL ENGINEERING REPORT PREPARED BY GEO-TEST INC. DATED MAY 31, 2013.

**1 ASPHALT PAVING SECTIONS**

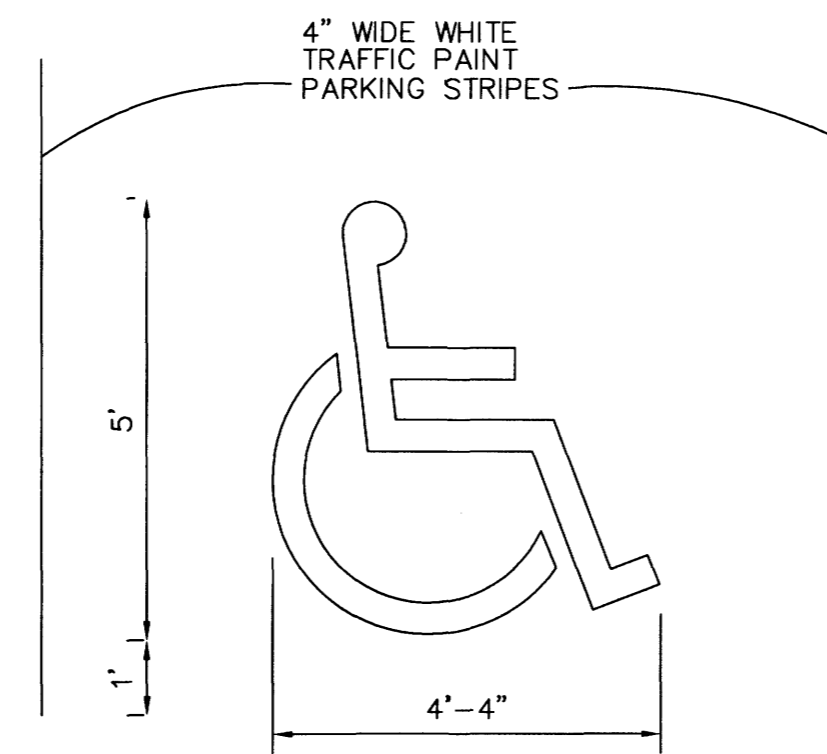
SCALE: N.T.S.



ALL SIGNS SHALL BE INSTALLED ON 2"x2" GALVANIZED STEEL POST 7" FROM GROUND TO BOTTOM OF SIGN VERTICALLY.

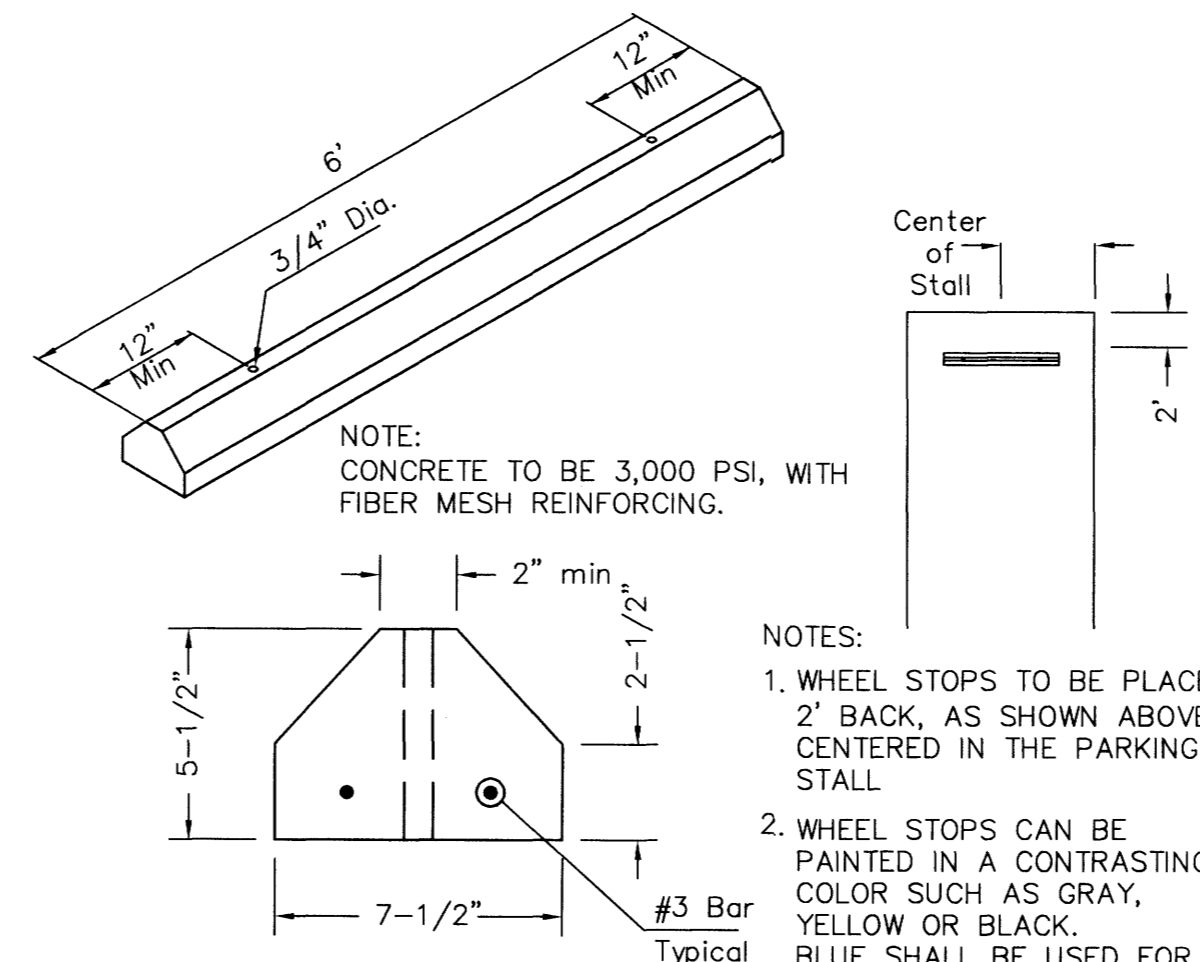
**8 SIGNS**

SCALE: N.T.S.



**7 ACCESSIBILITY SYMBOL DETAIL**

SCALE: N.T.S.



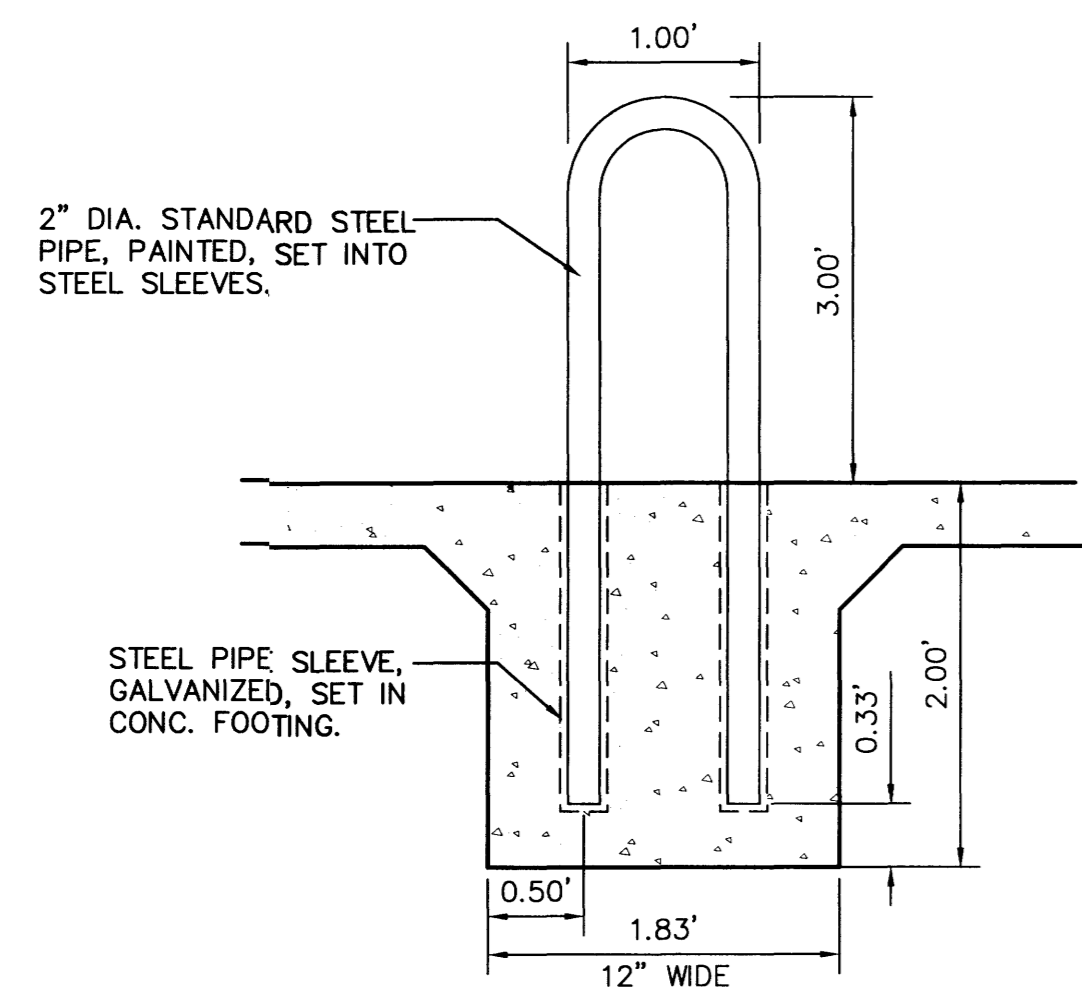
NOTE: CONCRETE TO BE 3,000 PSI, WITH FIBER MESH REINFORCING.

**NOTES:**

1. WHEEL STOPS TO BE PLACED 2' BACK, AS SHOWN ABOVE. CENTERED IN THE PARKING STALL.
2. WHEEL STOPS CAN BE PAINTED IN A CONTRASTING COLOR SUCH AS GRAY, YELLOW OR BLACK. BLUE SHALL BE USED FOR HANDICAP PARKING STALLS.

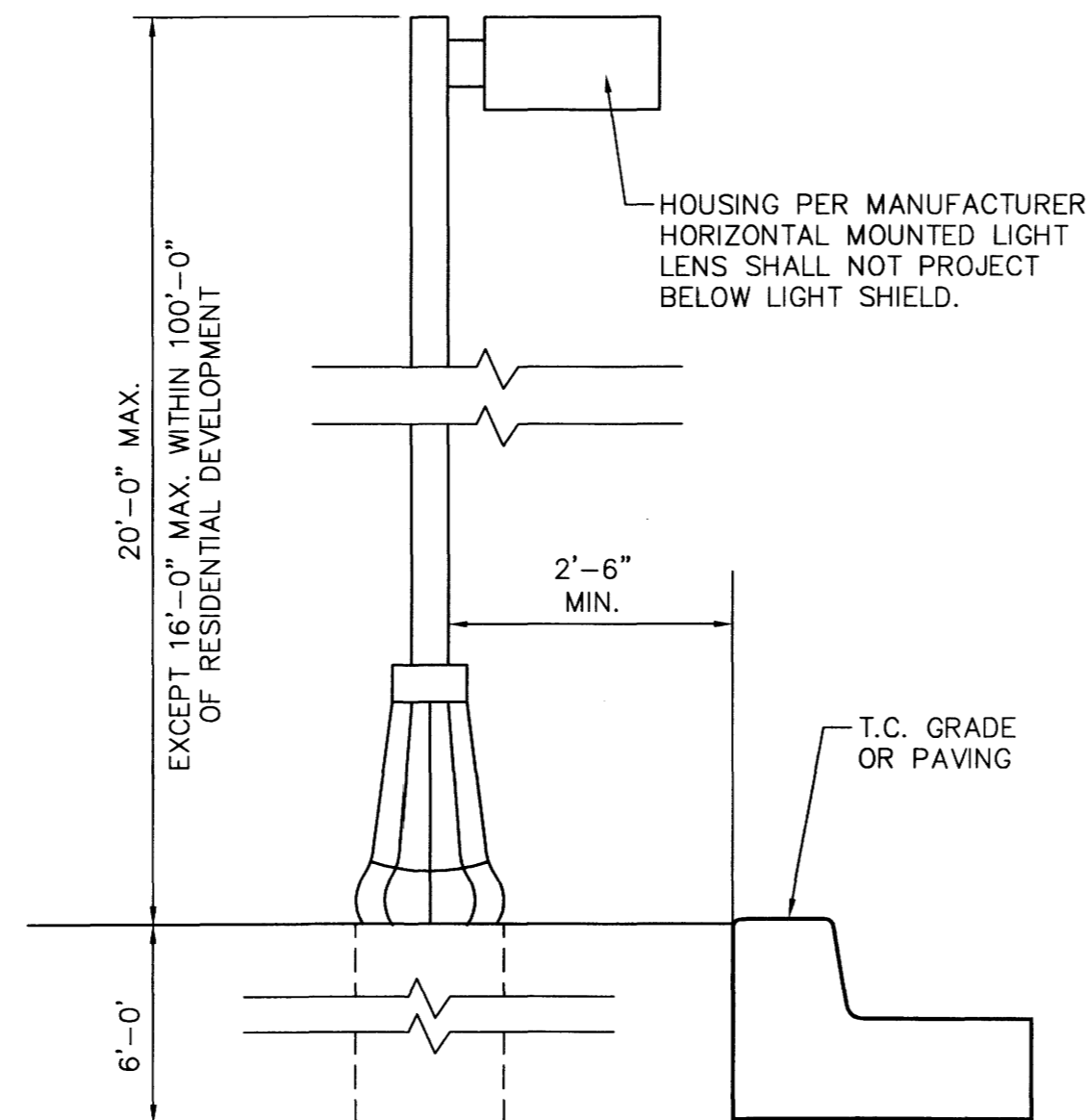
**6 WHEEL STOP DETAIL**

SCALE: N.T.S.



**10 BICYCLE RACK DETAIL**

SCALE: N.T.S.



**9 LIGHT FIXTURE DETAIL**

SCALE: N.T.S.

**5 TYPICAL SIDEWALK**

SCALE: N.T.S.

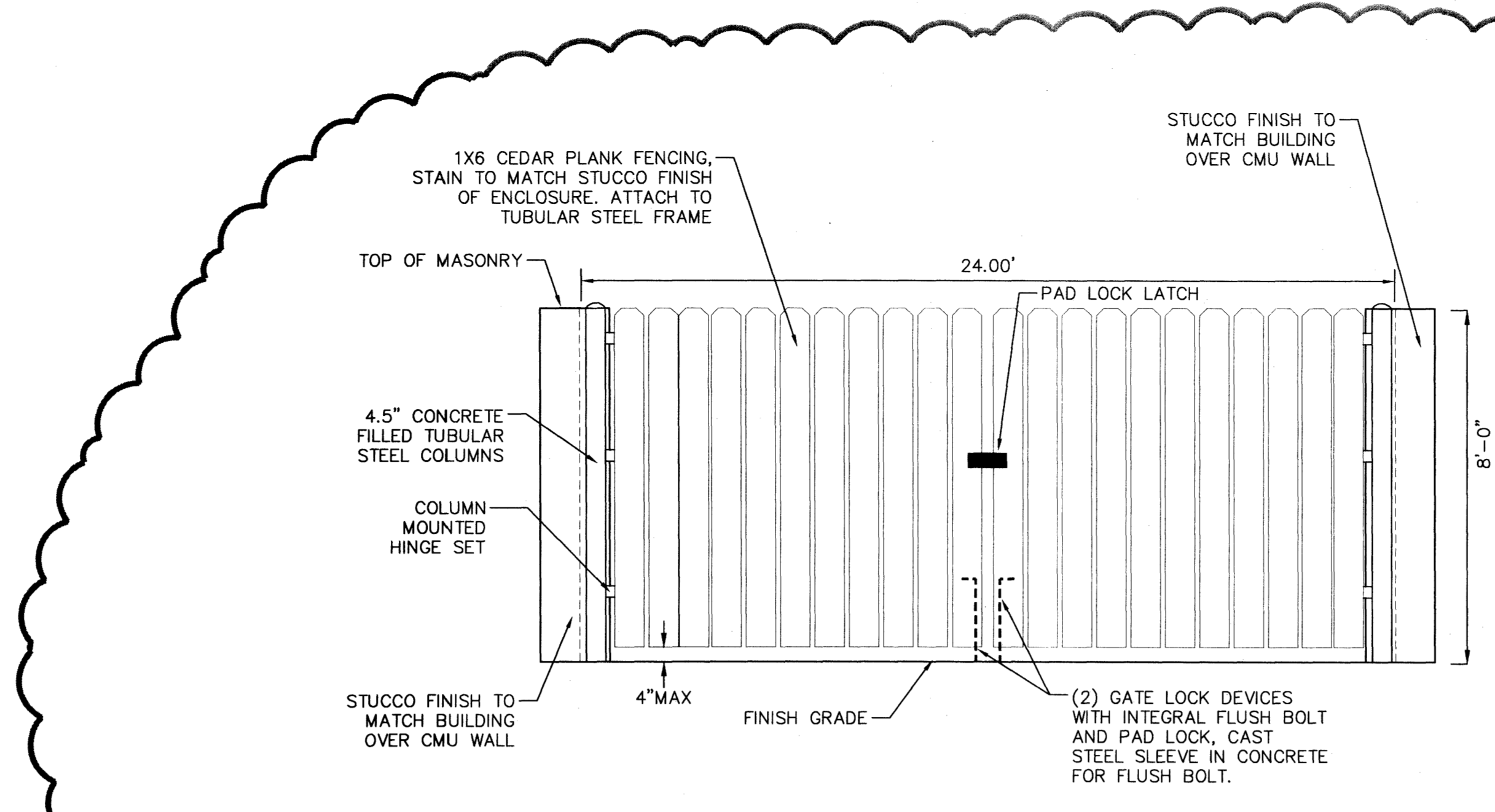
THIS DRAWING HAS BEEN PREPARED BY THE ARCHITECT, OR PREPARED UNDER HIS DIRECT SUPERVISION AND AN INSTRUMENT OF SERVICE AND IS INTENDED FOR USE ONLY ON THIS PROJECT. ALL ERRORS, OMISSIONS, AND/OR DESIGN CHANGES, INCLUDING THE REVISIONS, SHALL BE THE RESPONSIBILITY OF THE ARCHITECT. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT. ANY REVISIONS, OMISSIONS, AND/OR DESIGN CHANGES SHALL BE THE RESPONSIBILITY OF THE ARCHITECT. ANY REVISIONS, OMISSIONS, AND/OR DESIGN CHANGES SHALL BE THE RESPONSIBILITY OF THE ARCHITECT. ANY REVISIONS, OMISSIONS, AND/OR DESIGN CHANGES SHALL BE THE RESPONSIBILITY OF THE ARCHITECT.

project number	13024.016
drawing issuance	BID / PERMIT 05.31.2013
drawing revisions	No. Description Date

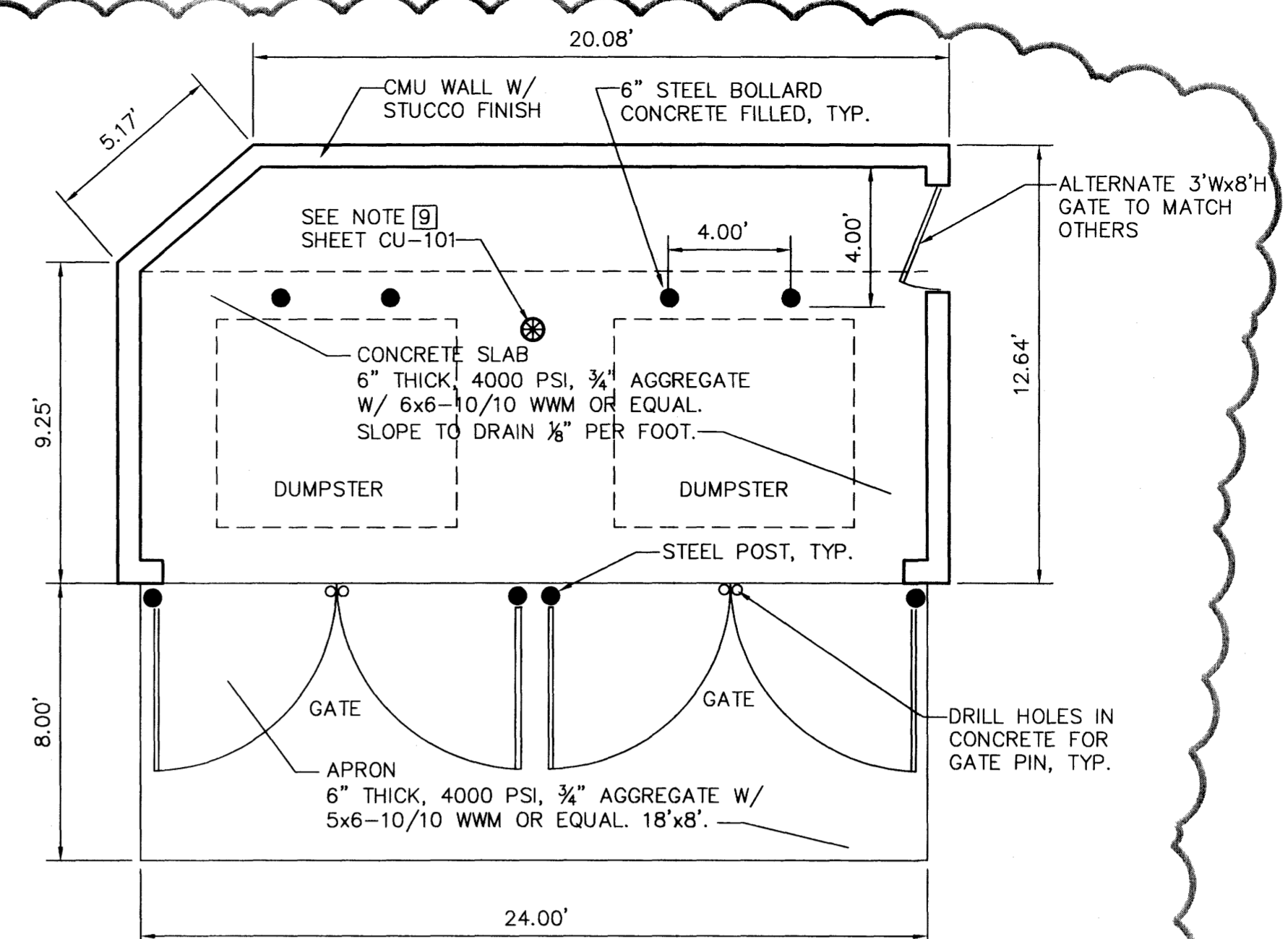
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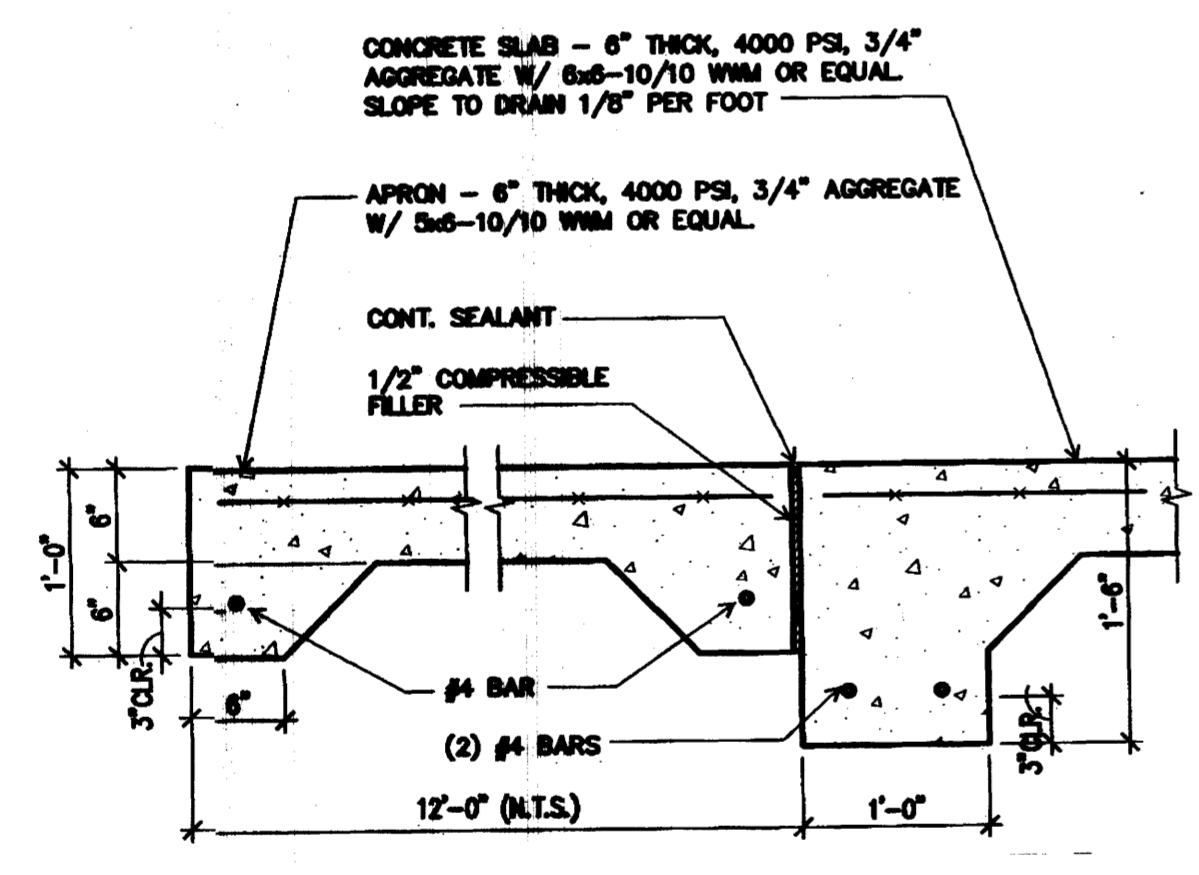
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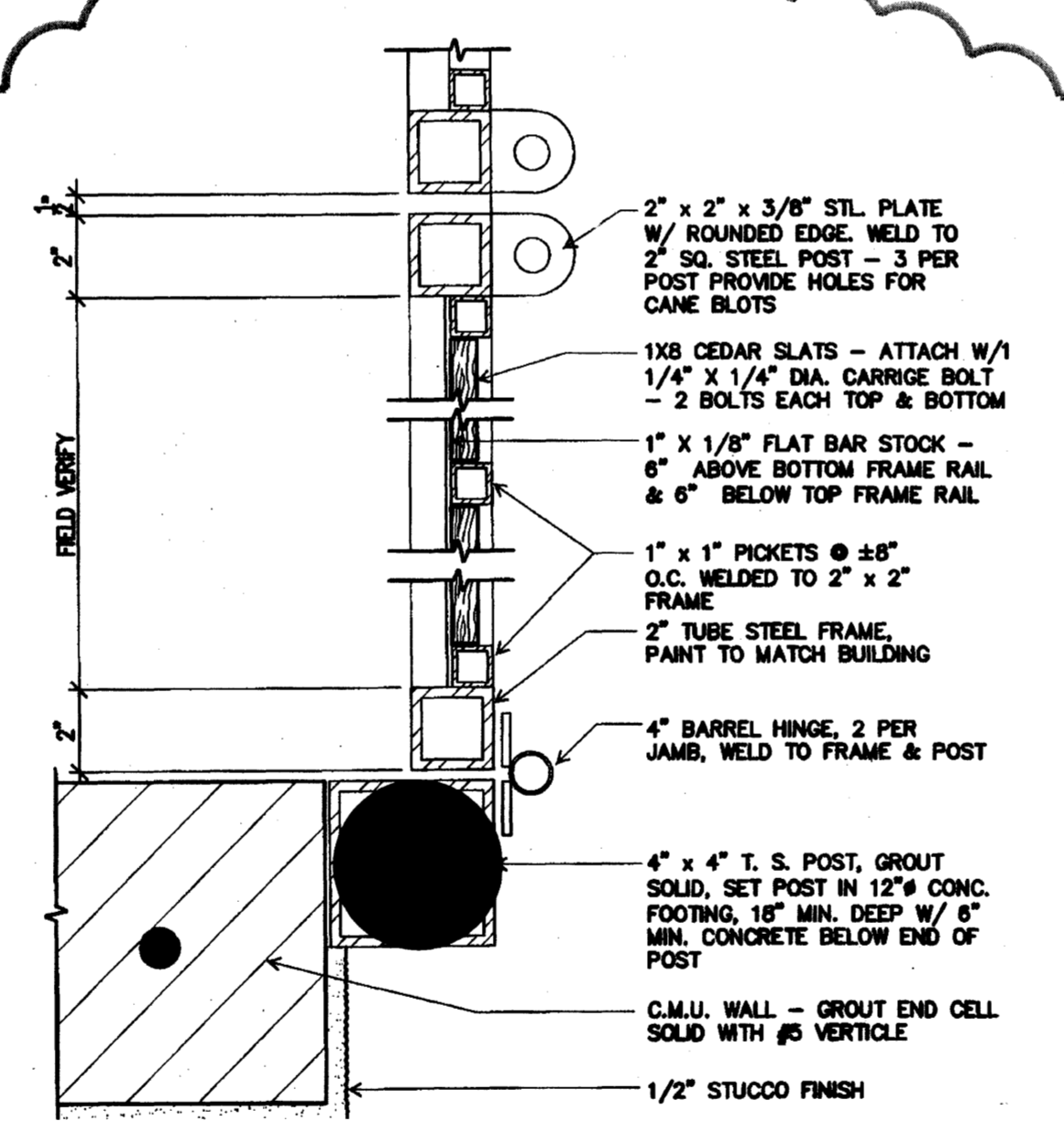
2 REFUSE ENCLOSURE FRONT ELEVATION  
SCALE: N.T.S.



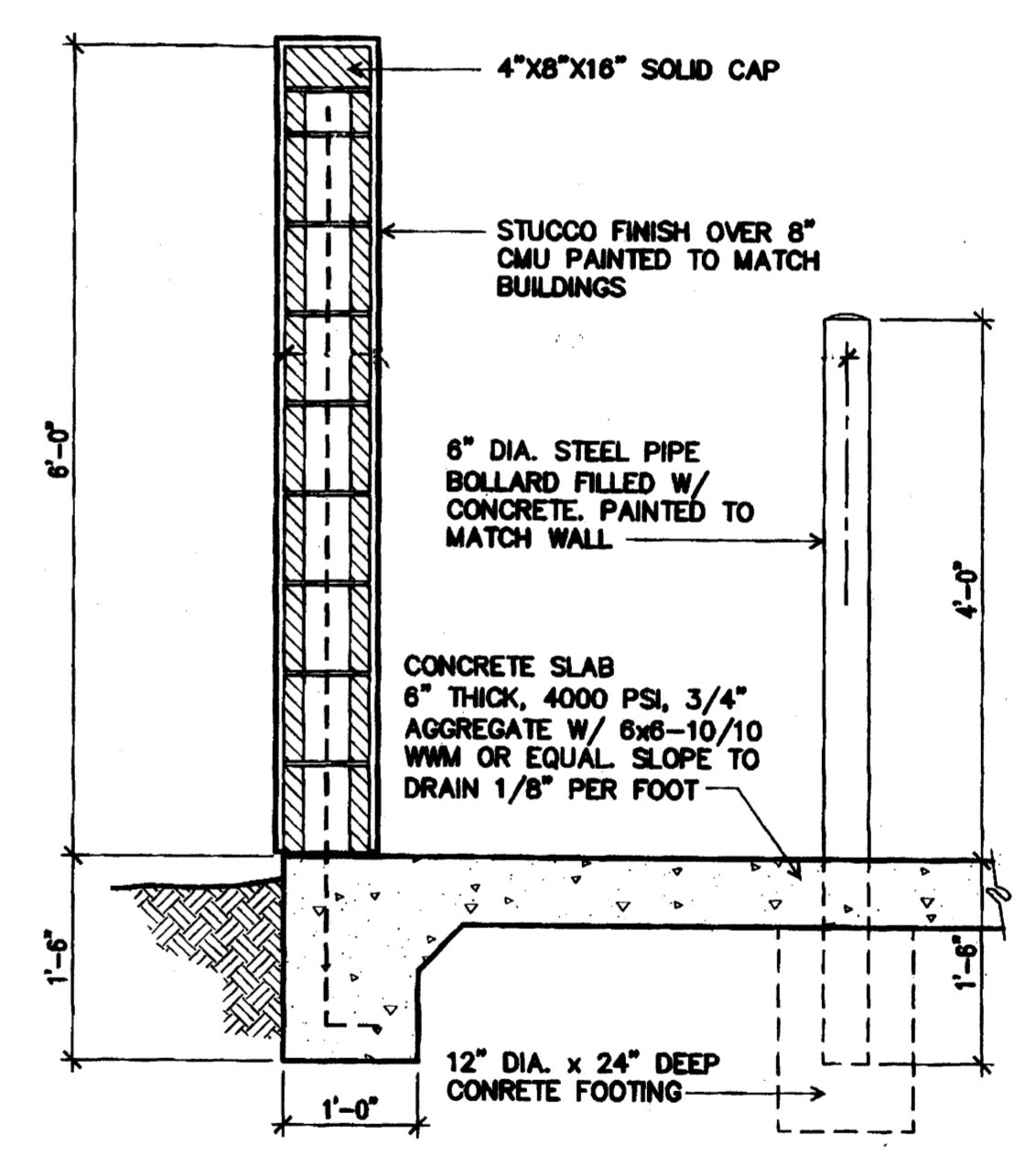
1 REFUSE ENCLOSURE PLAN  
SCALE: N.T.S.



5 REFUSE ENCLOSURE SLAB JOINT  
SCALE: N.T.S.



4 REFUSE ENCLOSURE GATE  
SCALE: N.T.S.



3 REFUSE ENCLOSURE WALL  
SCALE: N.T.S.

THIS DRAWING has been prepared by the Architect, or prepared under his direct supervision as an instrument of service and is intended for use only on the project. All Drawings, Specifications, notes and designs, including the overall layout, form, arrangement, and composition of spaces and elements, portfolios, constitute the original architectural Work of the Architect. Any reproduction, use, or disclosure of this information, contained herein without the written consent of the Architect is strictly prohibited.

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RELATED DOCUMENTS: This drawing is a single component of an integrated set of Construction Documents. General and Supplementary conditions of the Contract, General Requirements, Specifications and other drawings may affect the Work described. Failure to show and interpret the scope of work of the Construction Documents does not release the Contractor from providing a complete Project.

VERIFY WITH local codes, ordinances and regulations with authorities having jurisdiction with requirements of the Contract. It is the Contractor's responsibility to obtain all permits and required approvals are obtained.

VERIFY ALL CONDITIONS and dimensions prior to construction. Commencement of work constitutes verification and acceptance of all existing conditions. Application of a material or equipment item to Work shall be done in accordance with the Plans, and acceptance of responsibility for satisfactory installation.

DIMENSIONS SHOWN on both faces of a material unless otherwise indicated. OCCURENCE & MEASURE dimensions - DO NOT SCALE drawings unless otherwise denoted.

project title

project number  
13024.016

drawing issuance  
BID / PERMIT 05.31.2013

drawing revisions  
No. Description Date

REV. REFUSE DETAIL 9/6/13

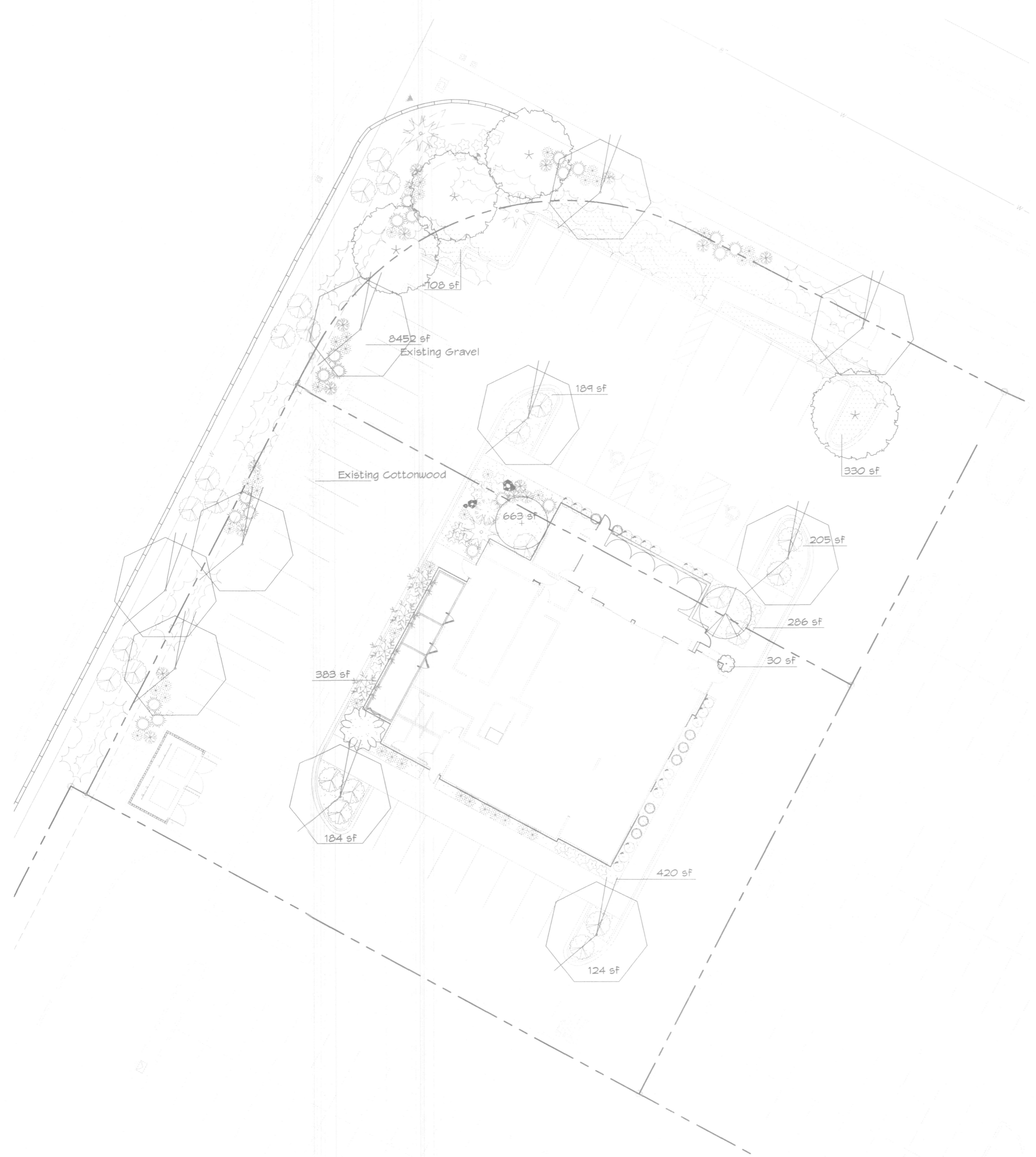
professional seal

paving details  
cp-502

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1984 CP-502.dwg May 05, 2014

**Applebees**  
South East Corner of Coors Blvd and Montana Plaza Dr.  
ALBUQUERQUE, NEW MEXICO, 12345



**PLANT LEGEND**

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

- SHADE TREES**
- AUTUMN BLAZE MAPLE 10  
Acer x Freemanii 'Autumn Blaze'  
2" Gal., 12'-14" Inst./40' x 50' maturity  
Water (M) Allergy (L) 0sf
  - EASTERN REDBUD 4  
Cercis canadensis  
2" Gal., 8'-10" Inst./30' x 30' maturity  
Water (M) Allergy (L) 0sf
- SHRUBS/ORNAMENTAL TREES**
- \* WESTERN RED CEDAR 1  
Thuja plicata 'Green Giant'  
15 Gal., 4'-10" Inst./40' x 15' maturity  
Water (M) Allergy (L) 225sf
  - NEW MEXICO OLIVE 1  
Forestiera neomexicana  
15 Gal., 4'-10" Inst./15' x 15' maturity  
Water (M) Allergy (L) 225sf
  - VITEX 1  
Vitex agnus-castus  
15 Gal., 4'-10" Inst./20' x 20' maturity  
Water (M) Allergy (L) 225sf
- SHRUBS/ORNAMENTAL GRASSES**
- ROSE OF SHARON 3  
Hibiscus syriacus  
5 Gal., 2'-4" Inst./10' x 10' maturity  
Water (M) Allergy (L) 100sf
  - \* SKYROCKET JUNIPER 4  
Juniperus scopulorum  
5 Gal., 2'-4" Inst./15' x 3' maturity  
Water (M) Allergy (M) 4sf
  - \* GREEN MOUND JUNIPER 1  
Juniperus procumbens 'Green Mound'  
1 Gal., 6'-15" Inst./8' x 8' maturity  
Water (L+) Allergy (H) 64sf
  - \* NANDINA 1  
Nandina domestica  
5 Gal., 2'-4" Inst./8' x 5' maturity  
Water (M+) Allergy (L) 25sf
  - \* SCOTCH BROOM 21  
Cytisus scoparius  
5 Gal., 18'-3" Inst./4' x 4' maturity  
Water (M) Allergy (L) 16sf
  - REGAL MIST 15  
Muhlenbergia capillaris  
5 Gal., 12'-3" Inst./3' x 3' maturity  
Water (M) Allergy (L) 4sf
  - POTENTILLA 22  
Potentilla fruticosa  
1 Gal., 3'-15" Inst./3' x 3' maturity  
Water (M+) Allergy (L) 4sf
  - BLUE MIST SPIREA 40  
Caryopteris clandonensis  
5 Gal., 12'-3" Inst./3' x 3' maturity  
Water (M) Allergy (L) 4sf
  - \* OREGON GRAPE 19  
Mahonia aquifolium  
5 Gal., 12'-3" Inst./2' x 3' maturity  
Water (M) Allergy (L) 4sf
  - THREADGRASS 3  
Stipa tenuisima  
1 Gal., 3'-15" Inst./2' x 2' maturity  
Water (L+) Allergy (L) 4sf
  - CATMINT 8  
Nepeta mussini  
1 Gal., 3'-15" Inst./1' x 2' maturity  
Water (M) Allergy (L) 4sf
- GROUNDCOVERS**
- \* HONEYSUCKLE 24  
Lonicera japonica 'Halliana'  
1 Gal., 6'-15" Inst./3' x 12' maturity  
Water (M) Allergy (L) 144sf  
Unstaked-Groundcover  
Symbol indicates 3 plants
  - \* TAM JUNIPER 33  
Juniperus sibirica 'Tamariscifolia'  
1 Gal., 6'-15" Inst./4' x 15' maturity  
Water (L+) Allergy (L) 225sf  
Symbol indicates 3 plants
- \* DENOTES EVERGREEN PLANT MATERIAL

- HARDSCAPES**
- OVERSIZED GRAVEL 4 BOULDERS
  - NEW GRAVEL TO MATCH EXISTING WITH FILTER FABRIC TO A MINIMUM 3" DEPTH
  - 1" SAN LAZARUS GOLD GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	39537	square Feet
TOTAL BUILDINGS AREA	6474	square Feet
NET LOT AREA	33063	square Feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	4959	square Feet
TOTAL BED PROVIDED	3522	square Feet
GROUNDCOVER REQ.	75%	square Feet
TOTAL GROUNDCOVER REQUIREMENT	2641	square Feet
TOTAL GROUNDCOVER PROVIDED	3111	square Feet
TOTAL EXISTING BED AREA	11392	square Feet
GROUNDCOVER REQ.	75%	square Feet
TOTAL GROUNDCOVER REQUIREMENT	8544	square Feet
TOTAL GROUNDCOVER PROVIDED	4968	square Feet
TOTAL LANDSCAPE PROVIDED	14914	square Feet

**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planning restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Landscape, fencing and signing will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in this area.

Existing cottonwoods that have been removed along Coors and Montana Plaza shall be replaced with 2" Caliper cottonless Cottonwood trees.

Plant beds shall achieve 75% live ground cover at maturity.

Gold Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pined in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

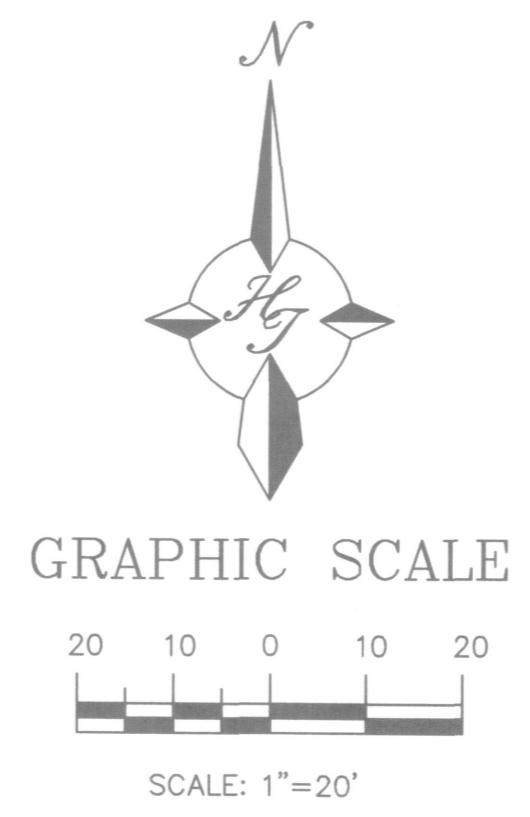
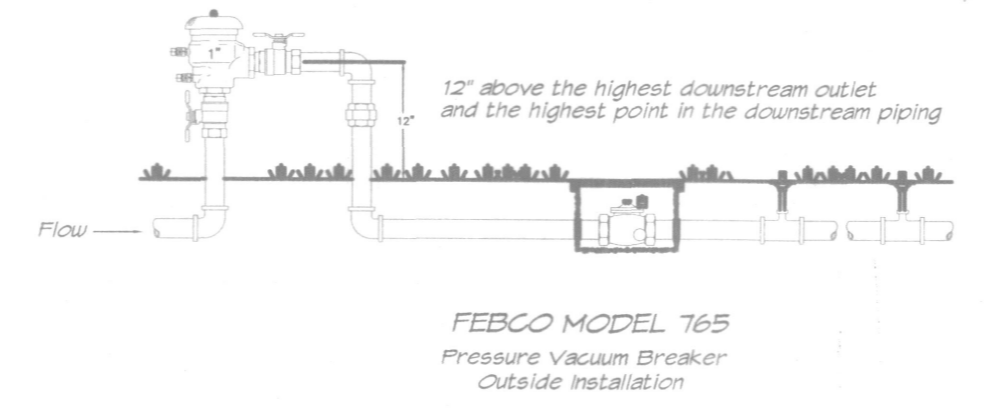
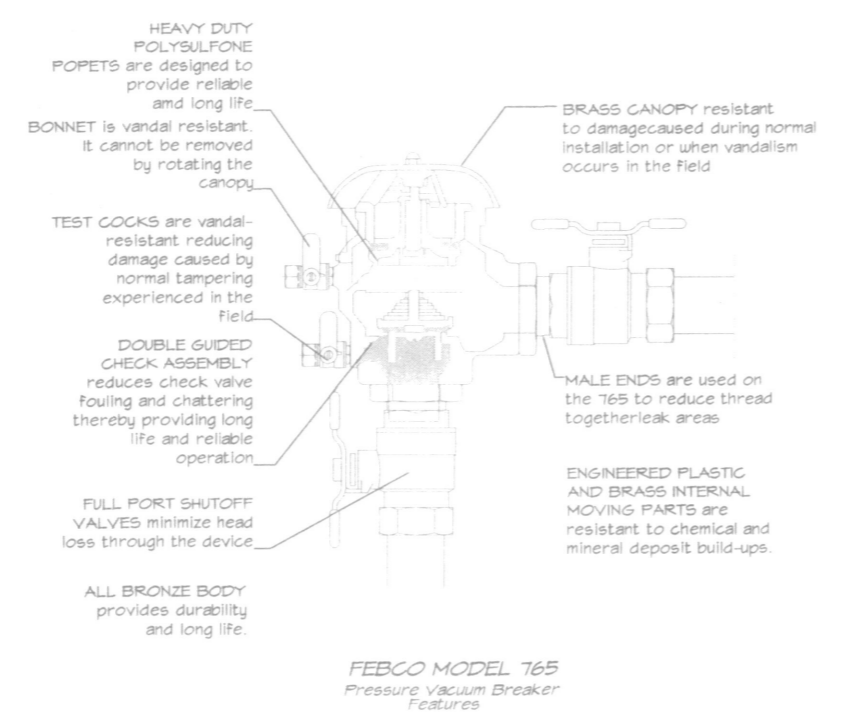
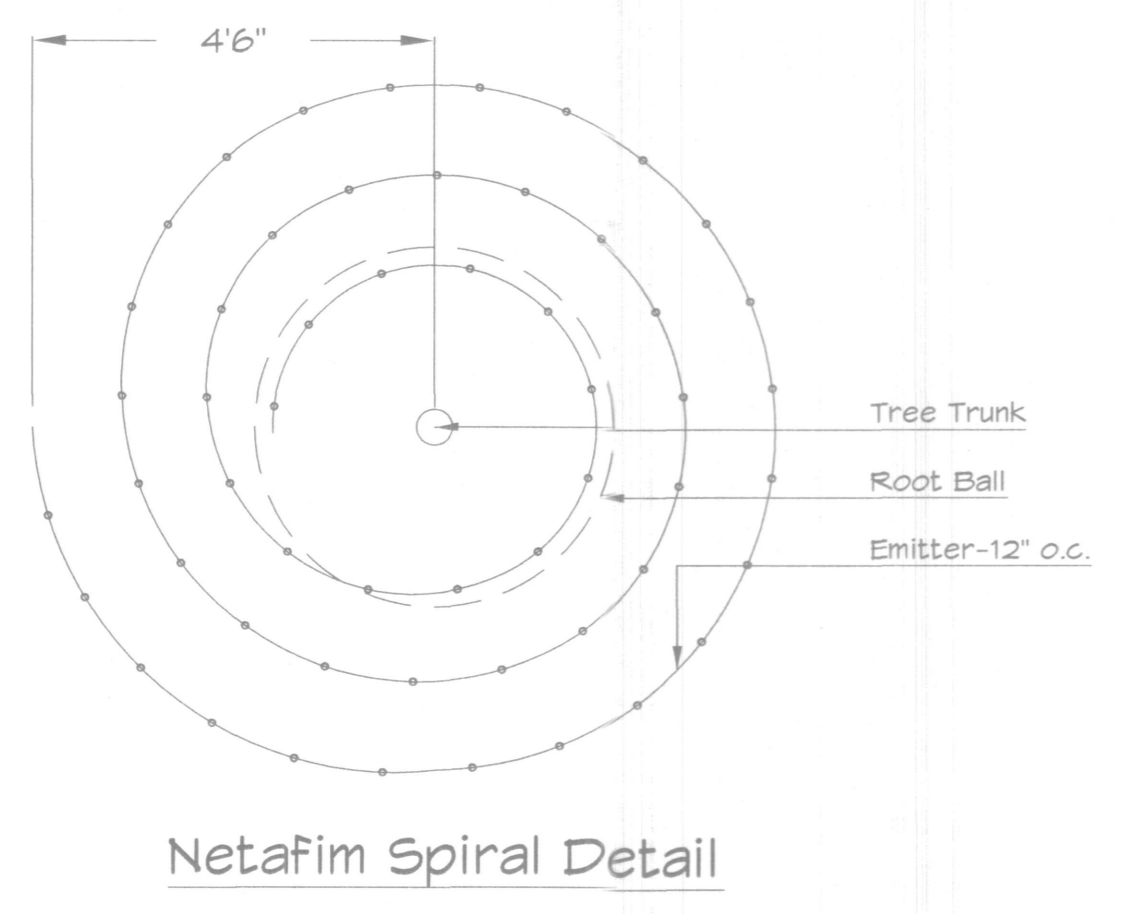
Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

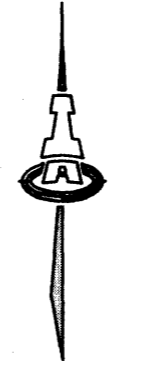
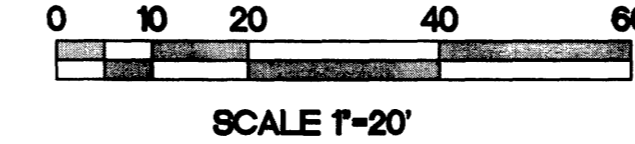
Water and Power source shall be the responsibility of the Developer/Builder.

**NOTE TO CLIENT:**  
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an infield change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.



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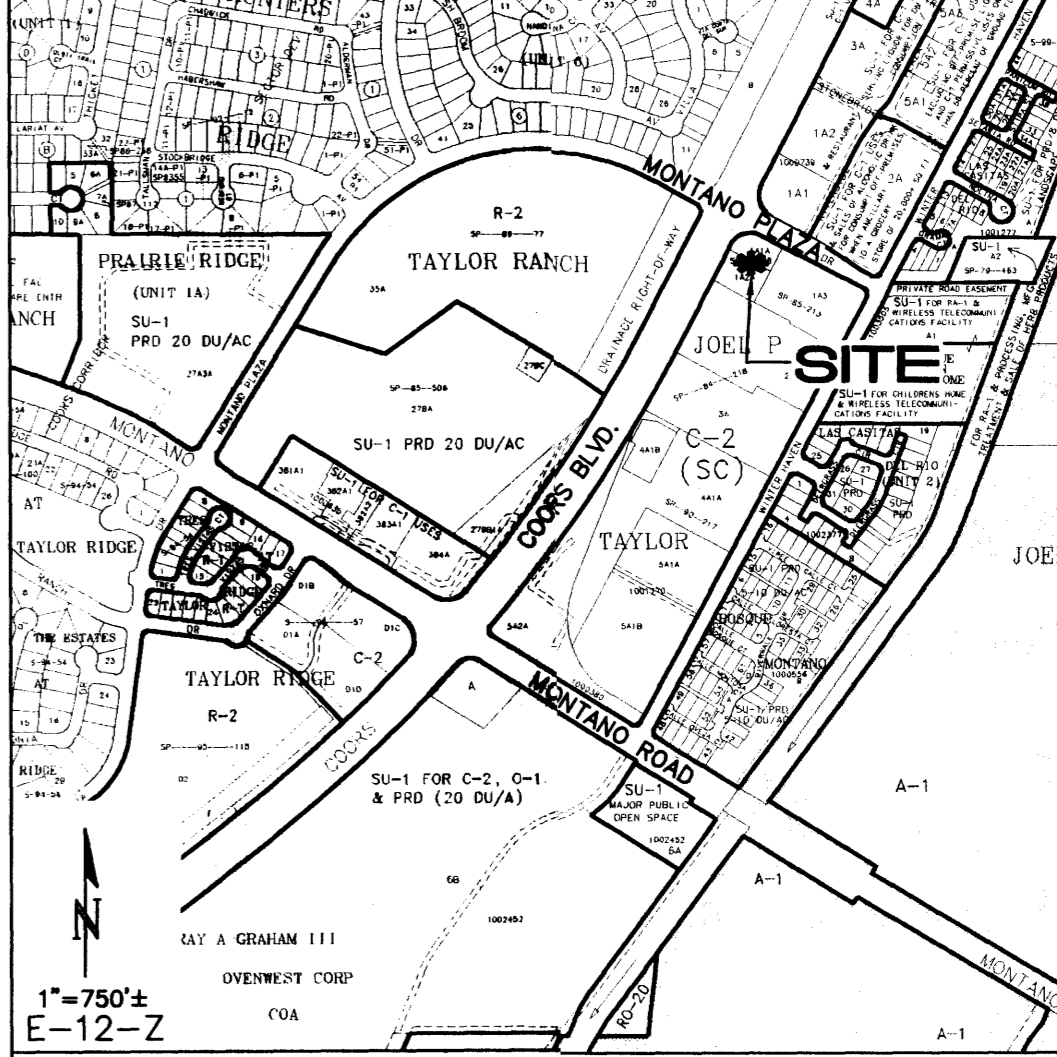
PROJECT BENCHMARK  
5/8" REBAR AND CAP STAMPED  
"SURV-TEK, INC. - CONTROL"  
ELEVATION= 5004.39 (NGVD 88)



### GENERAL NOTES

- A. COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, DEMOLITION PLAN, AND LANDSCAPE PLAN.
- B. ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF.
- C. ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- D. FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- E. MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.
- F. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS TWO WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- G. THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), AN NPDES PERMIT, AND AN EROSION AND SEDIMENT CONTROL (ESC) PERMIT FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES MEET THE EPA THRESHOLD. IF REQUIRED, (SWPPP, NPDES PERMIT, AND ESC PLAN BY OTHERS.) A CITY-APPROVED E.S.C. PERMIT MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING, BUILDING, OR WORK ORDER PERMIT.
- H. ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
- I. ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDING(S) AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS BETWEEN NEW AND EXISTING SHALL BE SMOOTH AND LEVEL.
- J. ALL FRACTURED FACE ROCK (F.F. ROCK) TO BE 6" DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 501 NON-WOVEN GEOTEXTILE (O.E.).
- K. ENGINEER RECOMMENDS THAT OWNER MAINTAIN EROSION PROTECTION ELEMENTS. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

### VICINITY MAP



### PROJECT DATA

PROPERTY: THE SITE IS AN ASPHALT PAVED PAD WITHIN A FULLY DEVELOPED COMMERCIAL PROPERTY LOCATED WITHIN CITY OF ALBUQUERQUE ZONE MAP E-12. THE SITE IS BOUND TO THE WEST BY COORS BLVD. NW, TO THE NORTH BY MONTANO PLAZA DRIVE NW AND TO THE EAST AND SOUTH BY FULLY DEVELOPED COMMERCIAL PROPERTY.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE THE CONSTRUCTION OF NEW RESTAURANT WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

LEGAL: PARCEL 1-A-1-A, 1-A-2-A, LANDS OF JOEL P. TAYLOR, CITY OF ALBUQUERQUE, NM

ADDRESS: 6200 COORS BLVD. NW

AREA: 39,537 SF (0.908 ACRE)

BENCHMARK: VERTICAL DATUM SHOWN HEREON IS BASED UPON THE ALBUQUERQUE CONTROL SURVEY MONUMENT "NM448-NB" HAVING A PUBLISHED ELEVATION OF 5021.65 FEET (NGVD 88)

TEMPORARY BENCHMARKS: 5/8" REBAR AND CAP STAMPED "SURV-TEK, INC. - CONTROL" ELEVATION= 5004.39 (NGVD 88)

OFF-SITE: MINOR OFF-SITE FLOW FROM THE ADJACENT R.O.W. LANDSCAPE SLOPE WILL CONTINUE TO PASS THROUGH THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #35001C0118G, THE SITE IS LOCATED WITHIN FLOODZONE "X" (UNSHADED) DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

SURVEYOR: RUSS P. HUGG  
SURV-TEC INC.  
9384 VALLEY VIEW DRIVE, N.W.  
ALBUQUERQUE, NEW MEXICO 87114  
PHONE: 505-897-3366

DRAINAGE PLAN CONCEPT:  
DISCHARGE FROM THE PROPOSED DEVELOPMENT WILL APPROXIMATE THE CURRENT DRAINAGE PATTERNS AND RATES. ROOF DISCHARGE WILL PASS AS SURFACE FLOW THROUGH CURB OPENINGS ON THE WEST SIDE. ALL FLOW WILL BE DIRECTED AROUND THE PROPOSED STRUCTURE (NOTE HIGH POINT GRADE BREAK AT NORTHWEST END) AND WILL RECOMBINE AT THE SOUTHEAST END OF THE SITE TO RETURN TO SURFACE SHEETFLOW ACROSS THE EXISTING PAVED PARKING LOT. A MINOR DECREASE IN 100-YEAR 6-HOUR PEAK RATES WILL OCCUR DUE TO INCREASED LANDSCAPING.

### KEYED NOTES

1. EXISTING ACCESS DRIVE.
2. EXISTING CURB AND GUTTER TO REMAIN. SEE ARCHITECTURAL FOR EXTENTS OF SITE DEMOLITION.
3. CONSTRUCT NEW PAVEMENT AT ELEVATIONS SHOWN.
4. SPOT ELEVATIONS WITHIN GUTTER AREA REPRESENT FLOWLINE. ADD 0.5" TYPICAL FOR TOP OF ADJACENT CURB OR WALK ELEVATIONS IF NOT SHOWN.
5. SLOPES WITHIN HANDICAP PARKING AREA SHALL MEET ADA REQUIREMENTS. (MAX. SLOPE = 2% IN ANY DIRECTION).
6. ACCESS RAMP FROM PUBLIC WALK TO BE CONSTRUCTED UNDER SEPARATE CONTRACT.
7. TOP OF NEW ASPHALT PAVEMENT SHALL BE FLUSH WITH NEW CONC. SIDEWALK THIS AREA.
8. PROVIDE 18" WIDE CURB OPENING AT EACH ROOF DRAIN LOCATION TO PASS FLOW TO PAVEMENT. SEE DETAIL THIS SHEET.
9. DEPRESS ALL LANDSCAPING FROM FLUSH WITH TOP OF CURB TO 6"± DEPRESSED IN CENTER TO CONTAIN STORMWATER. FLOW IN EXCESS OF CAPACITY WILL OVERFLOW TO PAVEMENT. EXCEPTION: NO STORMWATER STORAGE SHALL OCCUR WITHIN 10' OF BUILDING.
10. INSTALL PRECAST CONCRETE SPLASH PAD AND INSTALL 3" WIDE X 8" DEEP X 4" DEPRESSED FRACTURED FACE ROCK SWALE AT EACH BUILDING ROOF DISCHARGE POINT. EXTEND SWALE TO CURB OPENINGS. SEE DETAIL THIS SHEET.
11. SLOPE DUMPSTER PAD AS SHOWN TO DIRECT STORMWATER TO PROPOSED SANITARY SEWER DRAIN. SEE UTILITY PLAN FOR ADDITIONAL INFORMATION.
12. CONSTRUCT ADA ACCESSIBLE SIDEWALK TO ENTRY DOOR AT ELEVATIONS SHOWN. NOTE: SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION AND DETAILS INCLUDING GUARDRAIL.
13. DASHED LINE REPRESENTS APPROXIMATE SAWCUT LINE FOR REMOVAL OF EXISTING ASPHALT PAVEMENT. TRANSITION BETWEEN NEW AND EXISTING PAVEMENT SHALL BE SMOOTH.
14. SLOPE IN CONCRETE GUTTER (WEST SIDE) = 0.7% AS SHOWN.
15. CONSTRUCT 8" WIDE CONCRETE CURB ADJACENT TO BUILDING THIS AREA TO ACHIEVE GRADES SHOWN. TOP OF CURB AT BUILDING = 98.15.

### CALCULATIONS: Applebee's - Montano Plaza - May 30, 2013

Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan, 1993

ON-SITE CALCULATIONS: 100-YEAR, 6-HOUR STORM

AREA OF SITE:	39537 SF	=	0.9
<b>HISTORIC FLOWS:</b>			
Area A	=	0	0%
Area B	=	3162.96	8%
Area C	=	0	0%
Area D	=	36374.04	92%
Total Area	=	39537	100%
<b>DEVELOPED FLOWS:</b>			
Area A	=	0	0%
Area B	=	0	0%
Area C	=	5931	15%
Area D	=	33606	85%
Total Area	=	39537	100%

EXCESS PRECIP: Precip. Zone 1  
 $E_A = 0.44$   
 $E_B = 0.67$   
 $E_C = 0.99$   
 $E_D = 1.97$

On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)  
 $Weighted E = \frac{E_A A_A + E_B A_B + E_C A_C + E_D A_D}{A_A + A_B + A_C + A_D}$   
 $Weighted E = \frac{0 + 0 + 5931(0.67) + 33606(1.97)}{0 + 0 + 5931 + 33606} = 1.87$  in.

On-Site Volume of Runoff:  $V_{360} = E^* A / 12$   
 $Historic V = 6148$  CF  
 $Developed V_{360} = 6006$  CF

On-Site Peak Discharge Rate:  $Q_p = Q_{pA} A_A + Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D / 43.56C$   
 For Precipitation Z1  
 $Q_{pA} = 1.29$   
 $Q_{pB} = 2.03$   
 $Q_{pC} = 2.87$   
 $Q_{pD} = 4.37$

Historic  $C = 3.8$  CFS  
 $Developed Q_p = 3.8$  CFS

### LEGEND

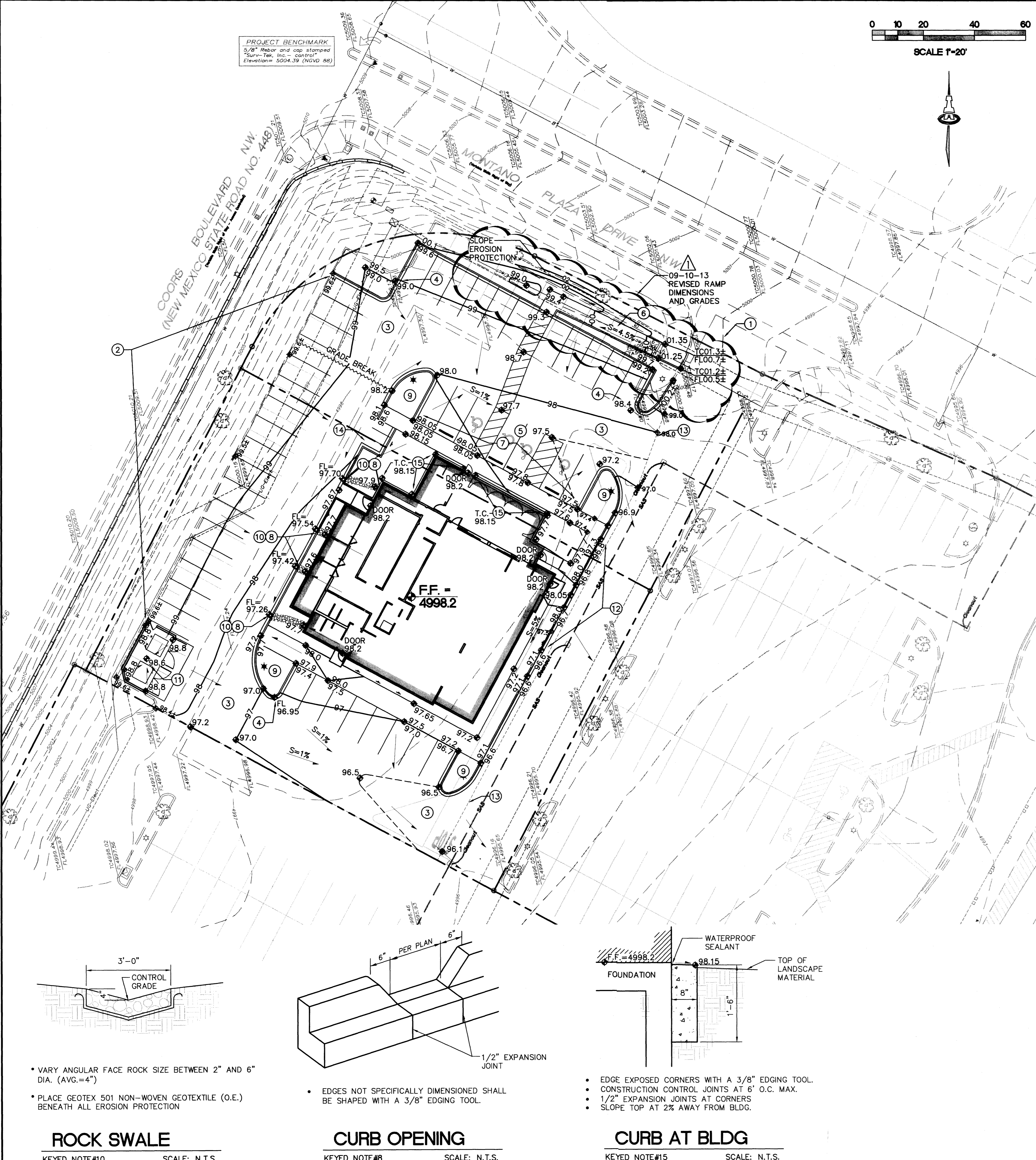
- × 5414.15 EXISTING SPOT ELEVATION
- ◆ 13.6± PROPOSED SPOT ELEVATION AT TRANSITION TO EXISTING
- ◆ 13.6 PROPOSED SPOT ELEVATION
- FLOW DIRECTION
- - - 0.4 PROPOSED 1' CONTOUR
- - - 0.5 PROPOSED 0.5' CONTOUR
- F.F. = FINISH FLOOR ELEVATION
- - - - GRADE BREAK

Historic	=	1.87	in.	Developed	E =	1.82	in.
On-Site Volume of Runoff:	$V_{360} =$	$E^* A / 12$					
Historic	$V =$	6148	CF	Developed	$V_{360} =$	6006	CF
On-Site Peak Discharge Rate:	$Q_p =$	$Q_{pA} A_A + Q_{pB} A_B + Q_{pC} A_C + Q_{pD} A_D / 43.56C$					
For Precipitation Z1							
$Q_{pA} =$	1.29			$Q_{pC} =$	2.87		
$Q_{pB} =$	2.03			$Q_{pD} =$	4.37		
Historic $C =$	3.8	CFS		Developed $Q_p =$	3.8	CFS	

### LEGEND

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1984 CG-101.dwg Sep 10, 2013



- VARY ANGULAR FACE ROCK SIZE BETWEEN 2" AND 6" DIA. (AVG.=4")
- PLACE GEOTEX 501 NON-WOVEN GEOTEXTILE (O.E.) BENEATH ALL EROSION PROTECTION

- EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE SHAPED WITH A 3/8" EDGING TOOL.

- EDGE EXPOSED CORNERS WITH A 3/8" EDGING TOOL.
- CONSTRUCTION CONTROL JOINTS AT 6' O.C. MAX.
- 1/2" EXPANSION JOINTS AT CORNERS
- SLOPE TOP AT 2% AWAY FROM BLDG.

**ROCK SWALE**  
KEYED NOTE#10 SCALE: N.T.S.

**CURB OPENING**  
KEYED NOTE#8 SCALE: N.T.S.

**CURB AT BLDG**  
KEYED NOTE#15 SCALE: N.T.S.

**hckloverarchitect**  
 10855 LOWELL AVENUE, SUITE 700 - OVERLAND PARK, KS 66210  
 ph: 913.649.8181 • fx: 913.649.1275 • www.hcklover.net

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 BID / PERMIT 05.31.2013

drawing revisions  
 No. Description: Date:

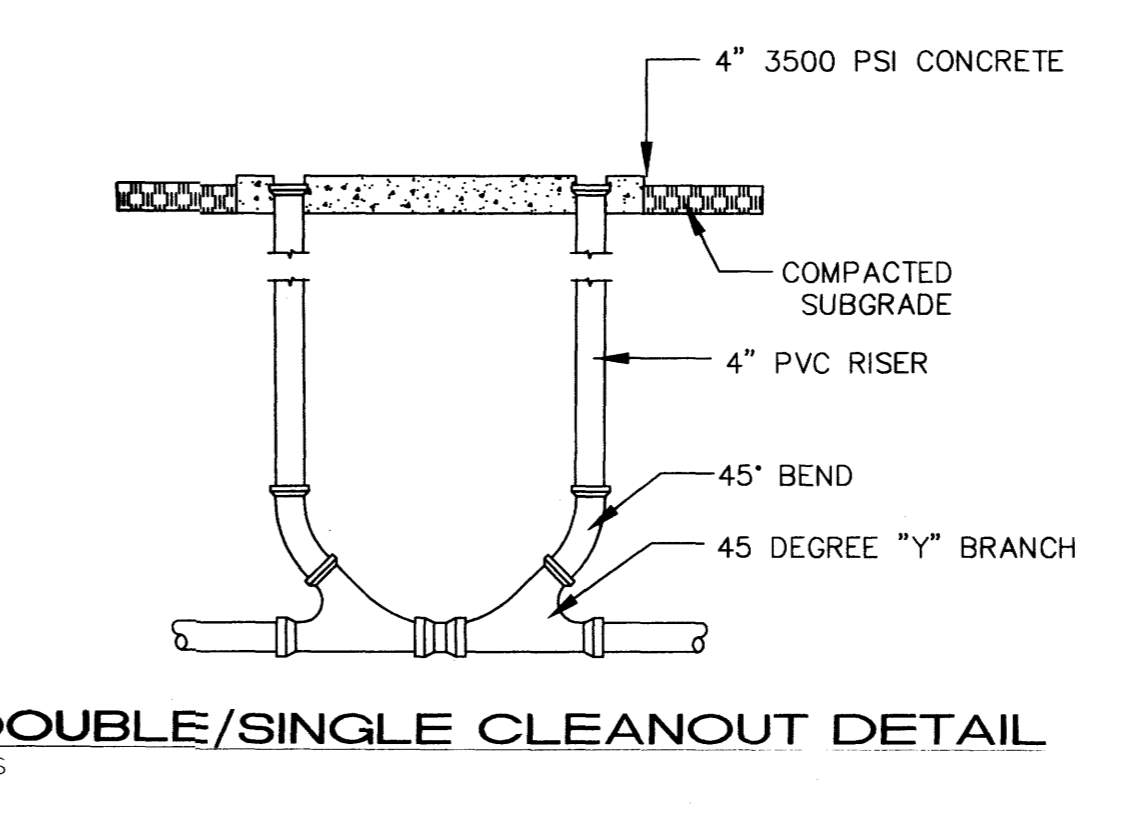
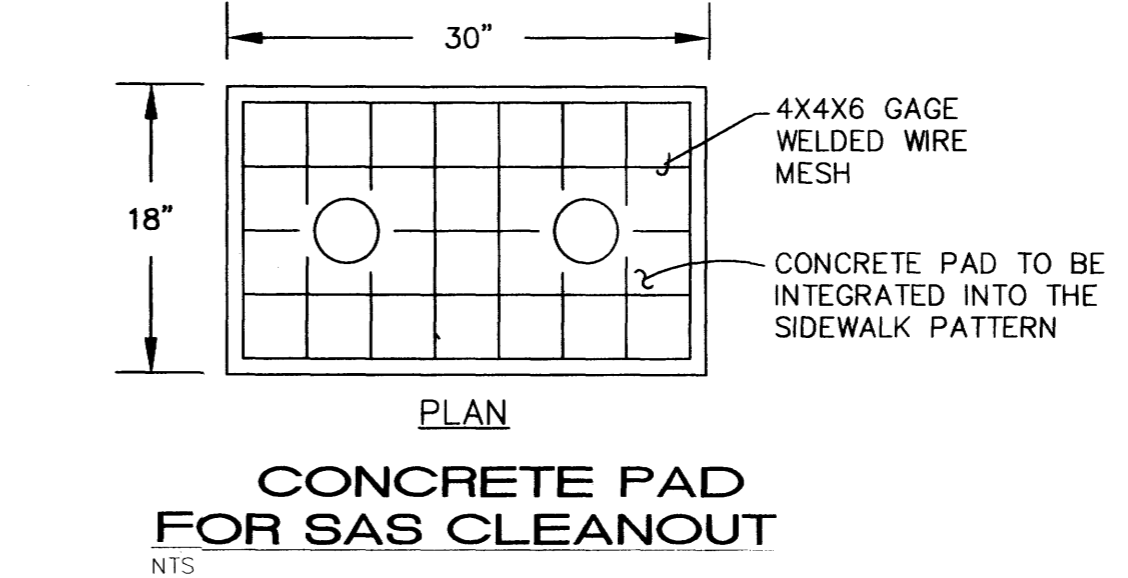
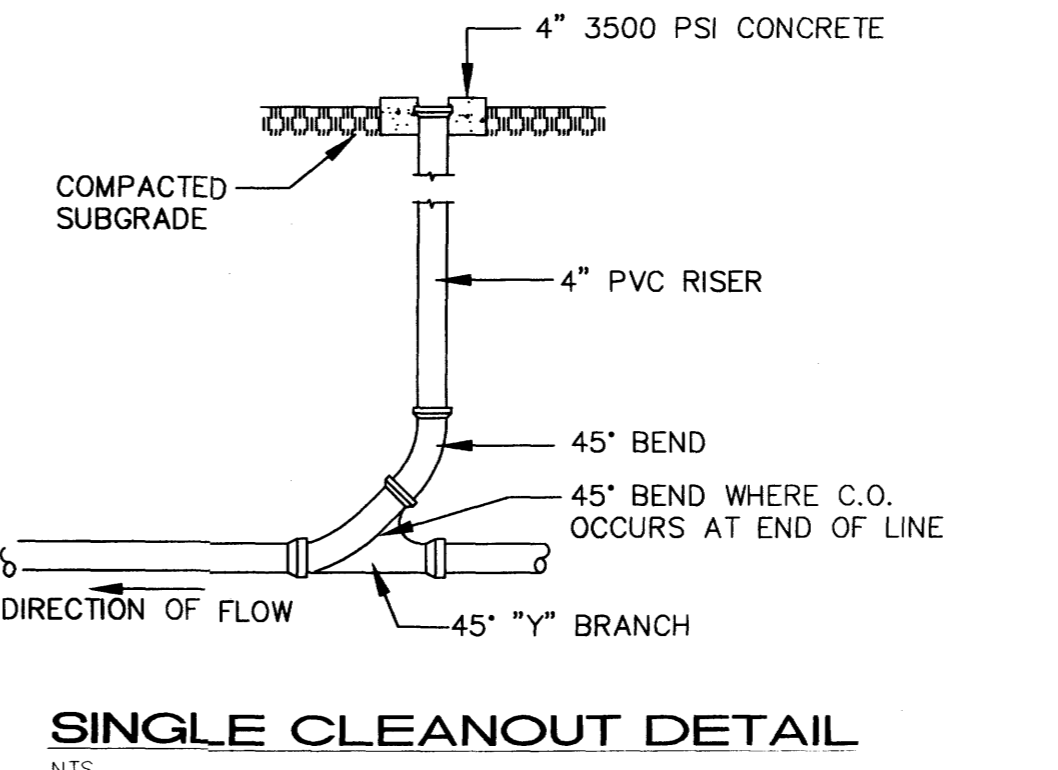
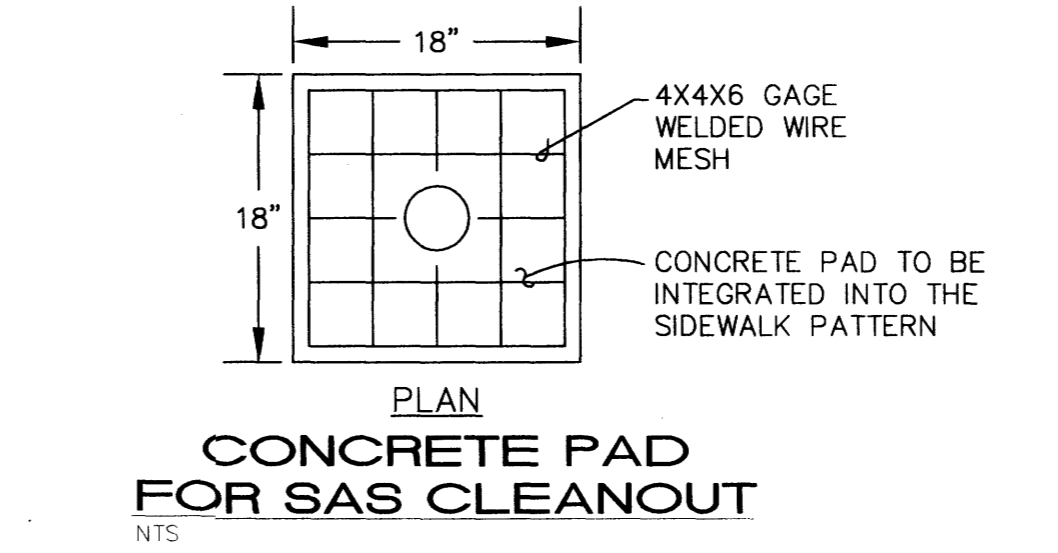
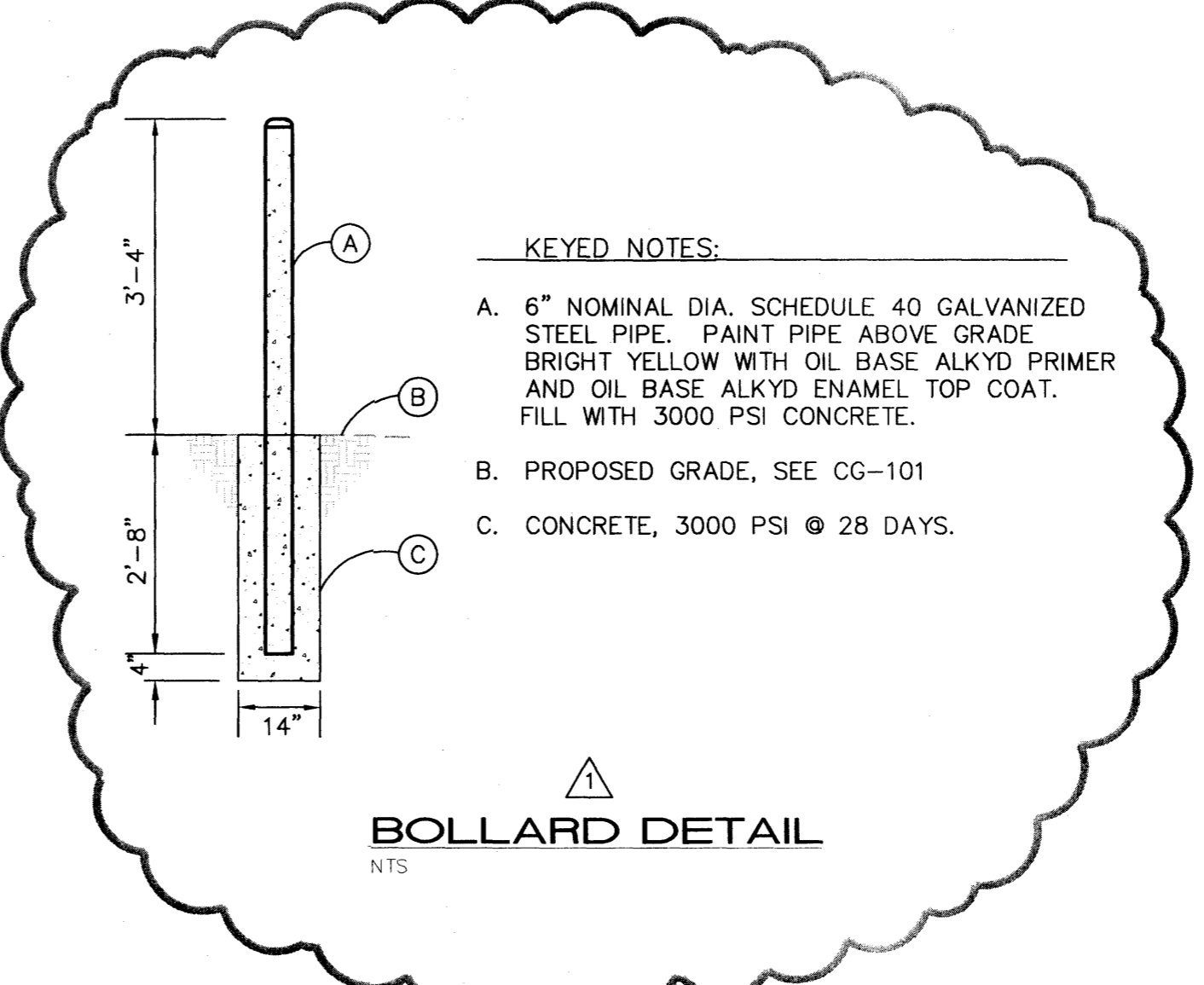
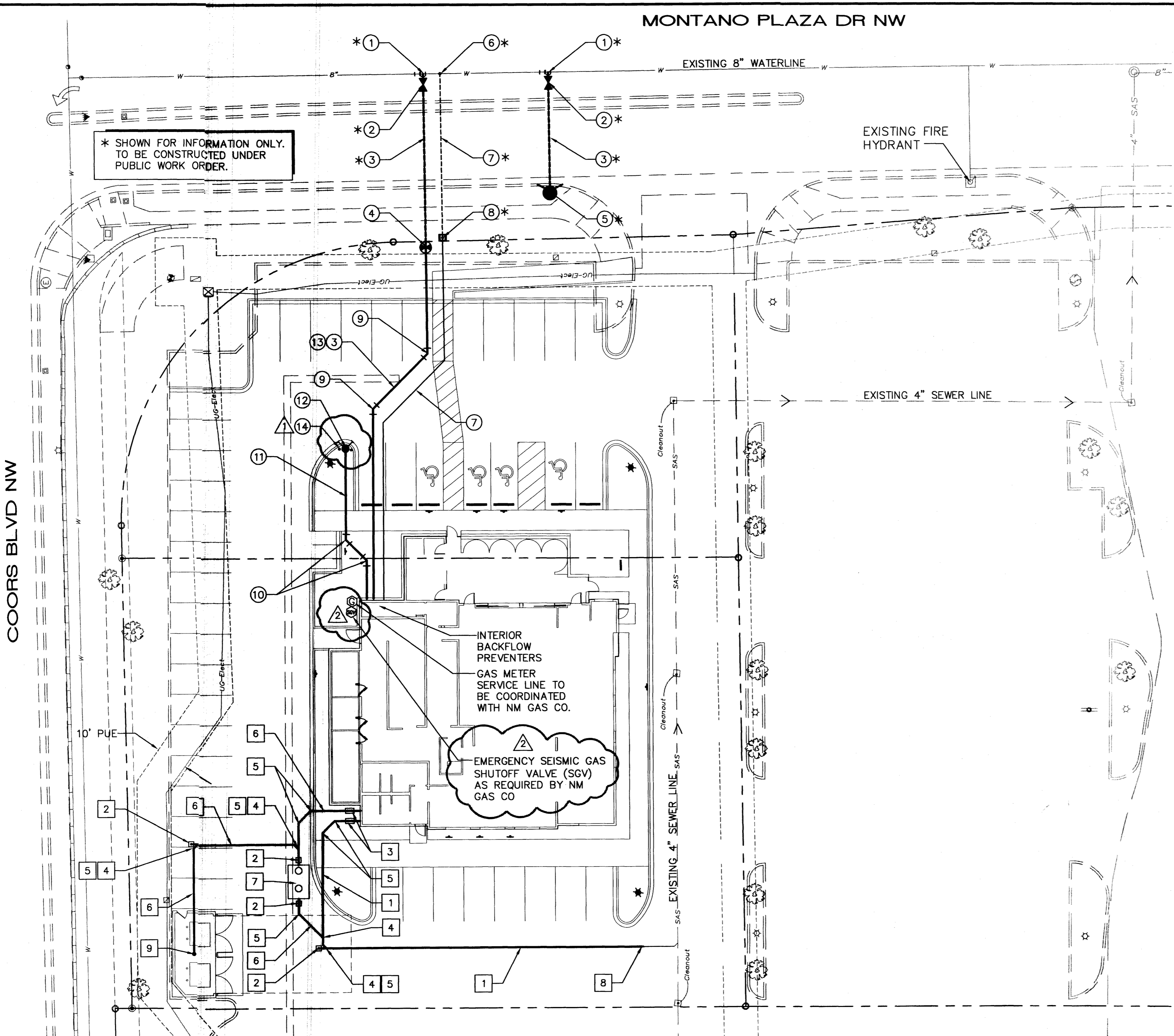
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professional seal

grading & drainage plan

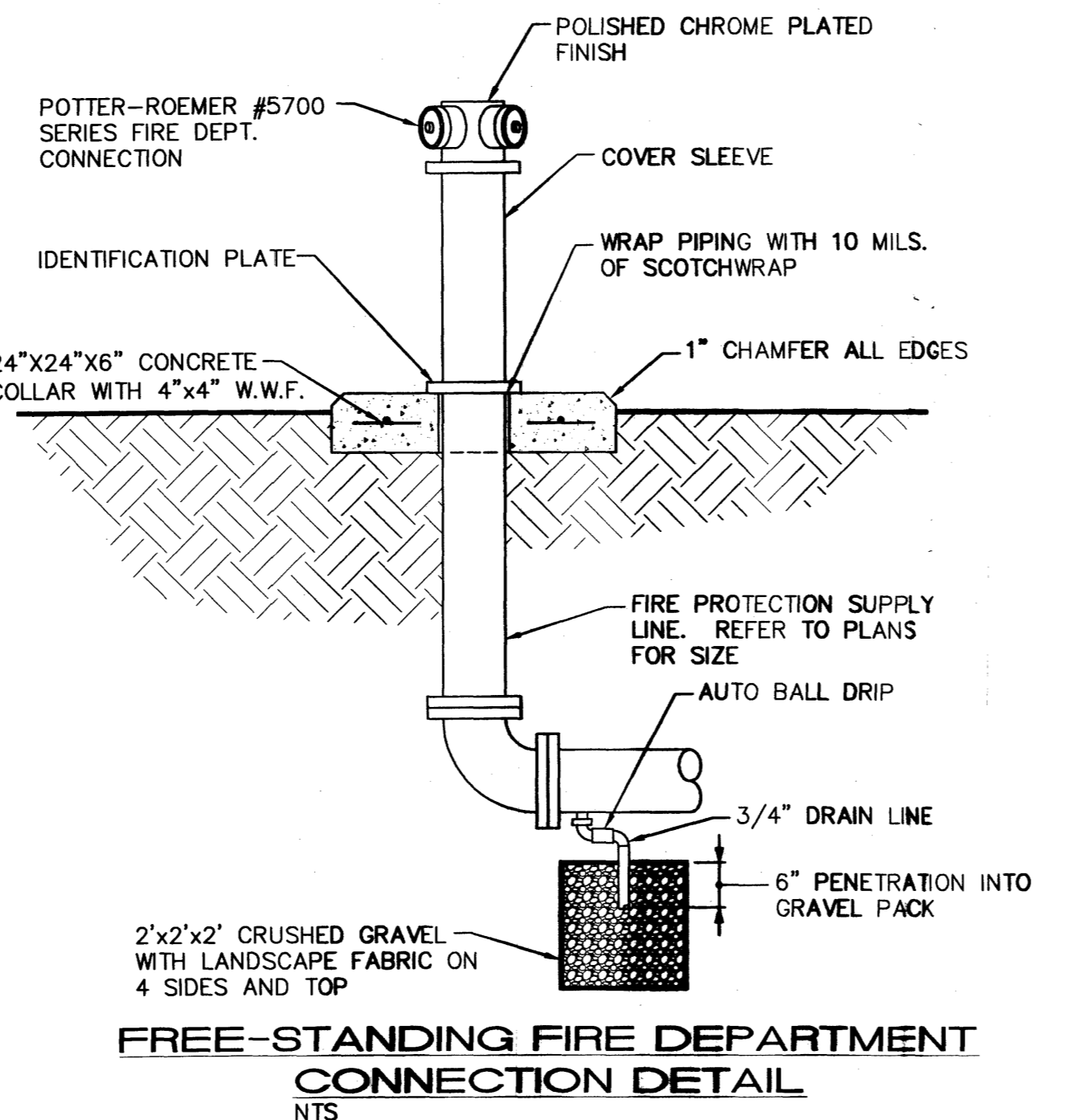
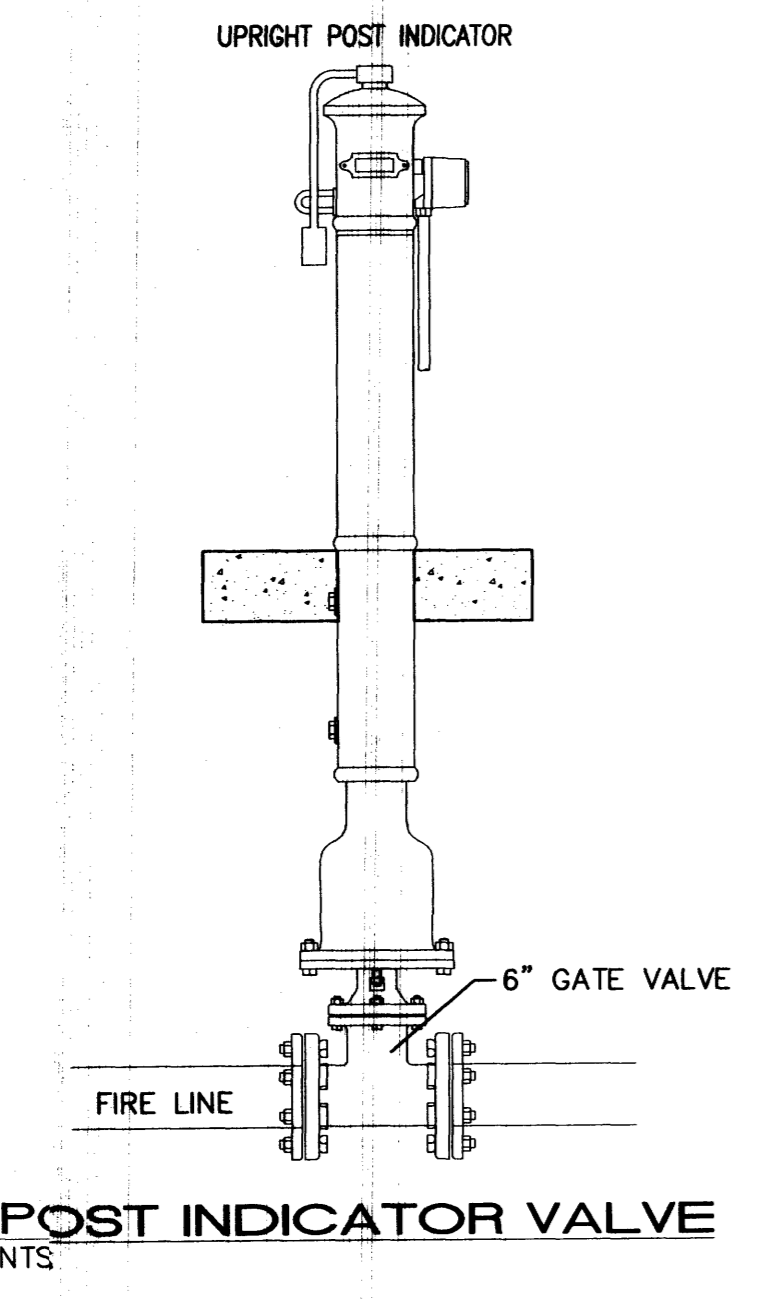
cg-101

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\* SHOWN FOR INFORMATION ONLY. TO BE CONSTRUCTED UNDER PUBLIC WORK ORDER.

INTERIOR BACKFLOW PREVENTERS  
 GAS METER SERVICE LINE TO BE COORDINATED WITH NM GAS CO.  
 EMERGENCY SEISMIC GAS SHUTOFF VALVE (SGV) AS REQUIRED BY NM GAS CO.



**GENERAL NOTES**

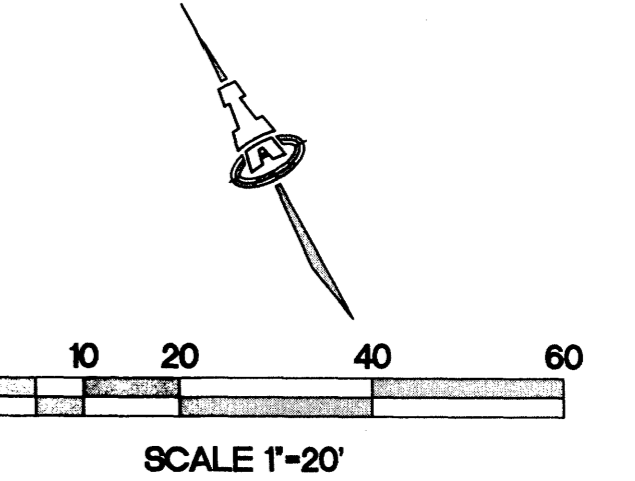
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- WATER AND/OR SANITARY SEWER IMPROVEMENTS WITHIN A PUBLIC EASEMENT OR RIGHT-OF-WAY SHALL BE BUILT BY SEPARATE, PUBLIC WORK ORDER, PLANS.
- CONTRACTOR SHALL NOT USE VIBRATORY COMPACTION EQUIPMENT OR HEAVY VEHICLES OVER EXISTING UTILITIES.
- SITE STORM DRAIN, ELECTRIC AND GAS LINES ARE SHOWN FOR GENERAL INFORMATION ONLY TO PROVIDE AN OVERVIEW OF SITE UTILITIES AND POTENTIAL CONFLICTS. SEE MECHANICAL PLANS FOR GAS LINE SIZING. SEE CG-101 FOR STORM DRAIN DESIGN.
- ALL WATER FITTING SHALL HAVE JOINT RESTRAINTS.

**KEYED NOTES**

- WATER KEYED NOTES**
- NON-PRESSURE CONNECTION W/ 8"x6" TEE AND COUPLING.
  - 6" GATE VALVE W/ BOX PER COA STD. DWGS. 2326 & 2329.
  - 6" FIRE LINE.
  - POST INDICATOR VALVE (PIV).
  - FIRE HYDRANT PER COA STD. DWG 2340.
  - 2" SERVICE PER COA STD. DWG. 2261 & 2363.
  - 2" WATER SERVICE LINE.
  - METER BOX PER COA STD. DWG. 2367.
  - 6" - 45" BEND.
  - 4" - 45" BEND.
  - 4" FIRE LINE.
  - FIRE DEPT. CONNECTION (FDC).
  - 3/4" CONDUIT W/ PULL CORD FOR PIV SENSOR WIRE FROM BUILDING TO PIV PLACED IN SAME TRENCH ABOVE 6" WATERLINE.
- SEWER**
- NEW 4" SAS SERVICE LINE AT 2% MIN. SLOPE.
  - SINGLE CLEANOUT PER DETAIL THIS SHEET.
  - DOUBLE CLEANOUT PER DETAIL THIS SHEET.
  - 4" WYE.
  - 4" 45" BEND.
  - 4" GREASE LINE
  - 1500 GALLON GREASE INTERCEPTOR.
  - CONNECT NEW SEWER LINE TO EXISTING STUB.
  - 4" HEAVY DUTY CAST IRON FLOOR DRAIN W/ P-TRAP.
- BOLLARDS (2), SEE DETAIL 11 SHEET CP-501.**

**LEGEND**

- WATER METER & BOX
- SAS SINGLE CLEANOUT
- SAS DOUBLE CLEANOUT
- NEW GAS METER
- EXISTING WATERLINE
- EXISTING SEWER LINE



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 1984 CU-101.dwg Sep 11, 2013

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**project title**  
 South East Corner of Coors Blvd and Montano Plaza Dr.  
 ALBUQUERQUE, NEW MEXICO, 12345

**project number**  
 13024.016

**drawing issuance**  
 BID / PERMIT 05.31.2013

**drawing revisions**

No.	Description	Date
1	ADD BOLLARDS AT FDC/DETAL	9/6/13
2	ADD GAS SEISMIC SHUTOFF VALVE	9/11/13

**professionalseal**

site utility plan

cu-101

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THE ARCHITECT (HCK) is responsible for the existing building structure, site conditions, existing construction elements, or any documents, drawings or other instruments used for any part of this project which do not bear the Architect's seal. The Architect's services are limited to the extent of the Project. The obligation is assumed by the Architect for the benefit of any other party.

RELATED DOCUMENTS: This Drawing is a single component of a set of documents including the Contract Documents, Specifications, Addendum to the Contract Documents, General and Supplementary Conditions of the Contract, General Requirements, Specifications and other drawings that may be issued from time to time. It is intended to be read in conjunction with the entire set of documents. The Contractor shall be responsible for obtaining all necessary permits and approvals for this project. The Contractor shall be responsible for obtaining all necessary permits and approvals for this project. The Contractor shall be responsible for obtaining all necessary permits and approvals for this project.

VERIFY ALL CONDITIONS and dimensions prior to construction. Measurements of work conditions and dimensions shall be taken by others and shall be the responsibility of the Contractor. The Contractor shall be responsible for obtaining all necessary permits and approvals for this project. The Contractor shall be responsible for obtaining all necessary permits and approvals for this project. The Contractor shall be responsible for obtaining all necessary permits and approvals for this project.

INDICATED DIMENSIONS - TO NOT SCALE. Always refer to drawings.

project title

**Applebees**  
 6200 COORS BLVD. NW  
 ALBUQUERQUE, NEW MEXICO, 87120

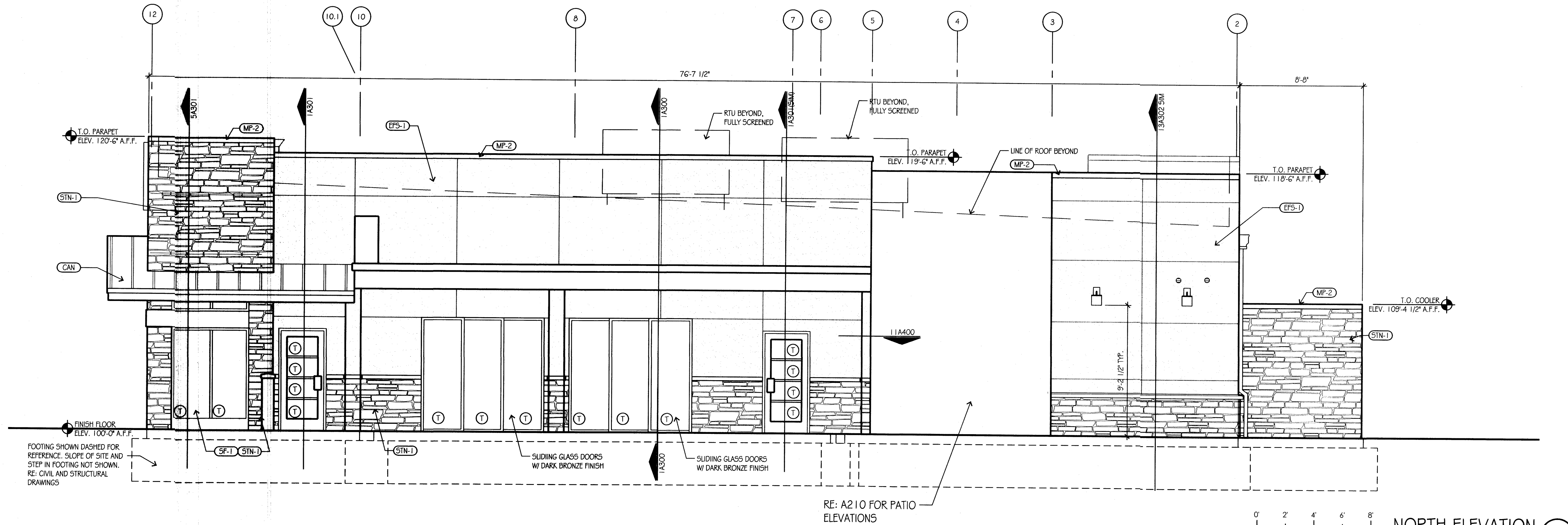
project number  
 13024016  
 drawing issuance  
 BID/PERMIT 06.17.2013  
 drawing revisions  
 No. Description: Date:

professional seal

drawing title  
 EXTERIOR ELEVATIONS  
 OPTION B  
 drawing number  
**A200b**

**KEYNOTES** (NOT ALL NOTES USED)

- 301 CONC FOOTING & FOUNDATION - RE STRUCT
- 302 5-1/2" UNO INCH CONC CURB
- 303 CONC STOOP & 4" DRAIN-FILL
- 305 CONC FORMED MOP-SINK
- 311 4" CONC SLAB ON VD & 4" DRAINAGE-FILL
- 312 CONC TOPPING
- 313 1/2" W STRIP-TOP EJ-FILLER & SEALANT (TYP)
- 4.01 CMU WALL W/ JT-REINF @ 24" OC (WIDTH)
- 4.02 3/8" TYP MASONRY CONTROL JOINT W/ SEAL
- 4.04 2" MIN AIR CAVITY W/ DRAINAGE MESH @ BASE
- 4.23 HARDY BOARD SIDING
- 4.24 1X HARDY BOARD SIDING TRIM
- 4.70 CAST STONE CAP
- 4.71 SIM-STONE VENEER IN MORTAR W/ MTL-LATH ON BLDG-PAPER - ANCHOR LATH @ 6" X 16" TYP
- 4.72 SIM-STONE VENEER SILL-TRIM W/ SUPPORT ANGLE
- 5.01 STEEL COLUMN-RE STRUCTURAL DWGS
- 5.02 STEEL BEAM-RE STRUCT
- 5.05 STEEL ANGLE-RE STRUCT
- 5.06 SILL SUPPORT CLIP
- 5.40 GALV MTL FRAMING (DEPTH)
- 5.50 DOWNSPOUT BOOT WITH GUARD, RE: 15A420
- 5.51 PTD GALV-MTL PIPE COLLARD, RE: 15A420
- 5.52 MTL ROOF-ACCESS LADDER, RE: 7A450
- 5.53 GALV MTL TRASH-GATE
- 5.54 GALV MTL DOWNSPOUT GUARD
- 6.01 2" X WD FRAMING @ 16 INCH OC UNO RE STRUCT
- 6.03 PRESSURE TREATED WOOD BLOCKING
- 6.04 WD-TRUSSES - RE STRUCT
- 6.05 WD-PANEL WALL-SHEATHING, RE STRUCT
- 6.06 1/2" GLASS-MAT ROOF BD SHEATHING
- 6.07 PLYWD ROOF SHEATHING - RE STRUCT
- 6.08 3/8" CDX PLYWD SHEATHING - RE STRUCT
- 6.09 3/4" PLYWD DECKING
- 6.10 PLYWD SHEATHING PER STRUCTURAL
- 6.11 WD BLOCKING
- 6.13 TREATED WD SHIMS (1/4 IN CLR UNO)
- 6.14 PTD 3/4" PLYWD UTIL-PANEL (SIZE)
- 6.15 REDWOOD BLKG @ FSE COOLER/FRZR UNITS
- 6.16 PTD 3/4" FIRE RATED PLYWD BLKG @ DEV EQUIP
- 6.17 1/2" PLYWOOD
- 6.18 1X6 LAMINATED WOOD, STAIN FINISH
- 6.22 1/8" WOOD LAMINATE (PL-1) ON 5/8" GYP NO EXPOSED EDGES
- 6.23 1X HWWD TRIM W/ STAIN FINISH, WS-1
- 6.24 1X HWWD STOOL W/ STAIN FINISH - ROUND OFF ALL EDGES AND VISIBLE CORNERS
- 6.25 TYP HWWD BASE W/ STAIN FINISH
- 6.30 1X METAL WRAPPED FASCIA TRIM BOARDS
- 6.40 SITE-FAB CASEWORK PARTITION
- 6.42 LWF PARTITION WALL BY GC
- 6.61 3/4" CORIAN EARTH WITH BULLNOSE EDGE
- 7.01 DAMP PROOFING @ SLAB EDGE TO FTG BELOW
- 7.20 2 X 24" RIGID PERIMETER INSULATION
- 7.21 5-1/2" 15# FIB BATT INSUL W/ VAPOR BARRIER
- 7.23 2 LAYERS 2" RIGID FLEX-SLAB INSULATION
- 7.24 BATT OR FOAM-INSULATION FILL
- 7.25 1/2" (UNO) WATER DRAINAGE EPS 2/ PRE-WRAPPED EDGE TRIM - WRAPPED EDGE TRIM - MECH ATTACH @ FRT PLYWD
- 7.26 EPS CONTROL-JOINT
- 7.27 AIR-MOISTURE BARRIER (AMB) ON SHEATHING
- 7.28 MULTIPLE LAYER INSUL BOARD WITH KEFED BOTTOM
- 7.40 STAND-SEAM ROOF (SSR) ON UNDERLAYMENT
- 7.50 ROOFING-SYSTEM W/ TRT-WD BLKG @ EDGES
- 7.51 ROOF MEMBRANE FULLY ADHERED TO STRUCTURAL SHEATHING
- 7.52 FULLY-ADHERED ROOF MEMB - EXTEND UP BACK AND OVER TO FRONT OF PARAPET WALL
- 7.53 SCUPPER THRU PARAPET, RE: 15A420 TYP
- 7.54 EMERG SCUPPER 2" ABOVE PRIMARY
- 7.55 TAPERED ROOF-INSUL W/ 1/4 IN/FT SLOPE
- 7.60 SHT-MTL COPING AND CONT. CL-ET
- 7.61 SHT MTL FLASH W/ SEAL & WEEPS @ 24" OC MAX - FORM 2 INCH END-DAM @ ALL SILLS
- 7.62 SHEET METAL EXPANSION JOINT PER SMACNA DETAIL 5.14, DET 2
- 7.63 SHT-MTL COUNTERFLASH
- 7.64 SHT-MTL CONDUCTOR HD
- 7.66 CONT SHT MTL GUTTER
- 7.67 4 X 5" SHT-MTL DOWNSPOUT TO BOOT @ GRADE
- 7.69 CONDENSATE ROOF-PENETRATION, RE: 17A420
- 7.70 30 X 30" ROOF-HATCH POST & RAILING, RE: 7BA450
- 7.90 3/8" CONT SEAL W/ BACKER
- 7.91 3/8" CONT SEAL W/ BACKER & WEEPS @ 24" OC
- 8.40 ALUM STOREFRONT FRAMING-SYSTEM W/ MTL REINF & GLAZING - SEAL ALL AROUND TYP
- 8.41 ALUM BREAK-METAL STOREFRONT TRIM
- 8.70 EXTERIOR THRESHOLD @ DOOR
- 8.80 1" INSULATED LOW-E GLASS TYP
- 8.90 3'-0" X 3'-0" HINGED ACCESS LOUVER, RE: 1A420
- 8.91 SHT-MTL ROOF VENT @ 8 FT OC TYP
- 9.11 PTD 1/2" TYPE-X GYP-BD W/ L/S AT 30" MAX TYP
- 9.12 1/2" TYPE-X GYP-BD W/ L/S AT 30" MAX TYP
- 9.13 DBL-L-HEAD DRYWALL CONTROL-JOINT TYP
- 9.14 PTD 1/2" TYPE-X GYP-BD CEILING/SOFT ON METAL FRAMING W/ BRACES AT 12 FT OC TYP
- 9.15 EXTEND DRYWALL TO ROOF FOR DRAFTSTOP
- 9.20 0312 120 GAIT INT MTL STUDBS @ 16" OC (15/2)
- 9.21 7/8" X 3/8" 125 GAI HAT CHAIR @ 16" OC TYP
- 9.22 1-1/2" X 0.53 1/8 GAI CRCS @ 48" OC TYP
- 9.30 TILE-BASE, RE: FIN SCHED
- 9.31 EXPOXY BASE, RE: FIN SCHED
- 9.32 WD BASE, RE: FIN SCHED
- 10.06 ILLUMINATED BUILDING SIGNAGE
- 10.11 INTERIOR RECESSED LIGHT-BOX
- 10.12 PSV ENTRY-DR SIGNAGE
- 10.13 PSV BLDG ADDRESS NUMBERS, MIN. 10" TALL
- 10.14 PSV SPRINKLER VALVE ACCESS SIGNAGE
- 10.15 PSV SERVICE-DOOR SIGNAGE
- 10.21 TOL-FIN PANEL W/ WD BLKG
- 10.23 S/S GRAB-BAR - MOUNT TO 2X8 WD BLKG
- 10.25 S/S CORNER GUARD FROM 6" - 60" AFF TYP
- 10.26 S/S WALL-PANELING
- 10.40 4A-60BC FE MIN - VERIFY LOCATION W/ AHJ
- 10.41 FE CABINET W/ 4A-60BC FE
- 10.42 CLASS-K-15 LB FE, VERIFY LOCATION W/ AHJ
- 10.80 PTD EXTERIOR GRILLE, RE: MECH
- 11.12 TRASH DUMPSTER
- 11.13 GREASE-CONTAINMENT SYSTEM @ EXHAUST
- 11.14 SELF-CONTAINED STORAGE SHED, BY OWNER
- 11.21 TV-VIDEO-MONITOR
- 11.22 ROOF-MTD SAT-DISH W/ BLKG BELOW
- 11.23 FSE COOLER/FRZR BOX W/ CLOSURE TRIM
- 12.01 MILLWORK PROVIDED BY OWNER
- 12.02 MILLWORK FURNISHED BY OWNER, INSTALLED BY GC
- 12.03 BAR DR BY GC, RE: 1B-100
- 21.11 AUTO-SPRINKLER ACK-FLW UNIT
- 21.12 FIRE-ALARM CONTROL PANEL
- 22.03 WATER HEATER UNIT
- 22.04 HAND-SINK DR LAV W/ TOP @ 32" AFF TYP
- 22.05 4 INCH MIN VENT THROUGH ROOF, REF: 16A420, COORD W/ MEP TYP
- 23.01 ROOFTOP HVAC UNIT
- 23.02 HVAC UNIT ROOF MTD CURB, REF: 18A420
- 23.03 ROOFTOP EXHAUST FAN UNIT
- 23.04 COOLER/FRZR ROOFTOP COMPRESSORS W/ ROOF CURB
- 24.03 ELECTRICAL PANEL
- 25.03 LIGHT SCENES, RE: ELECTRICAL
- 28.01 SECURITY ALARM SYSTEM BY OWNER COORD W/ MEP
- 31.01 LINE OF FINISH GRADE, RE: CIVIL DWGS
- 31.03 COMPACTED BACKFILL
- 32.01 4" CONC PVTMT & 4" DRAINAGE-FILL
- 32.05 8" CONC PVTMT & 4" DRAINAGE-FILL
- 32.07 DETECTABLE-WARNING PANEL @ WALK
- 33.01 TRF-M-DRAIN, RE: CIVIL DWGS



**SIGNAGE SCHEDULE**

SOUTH	ILLUMINATED SIGNAGE BY OWNER	16 SF
WEST ELEVATOR	ILLUMINATED SIGNAGE BY OWNER	16 SF
EAST	ILLUMINATED SIGNAGE BY OWNER	16 SF
TOTAL		48 SF

**EXTERIOR FINISH SCHEDULE**

SEALANT COLORS: MATCH COLOR OF ADJACENT MATERIAL BEING SEALED - WHEN 2 OR MORE COLORS ARE ADJACENT, MATCH LIGHTER-COLORED MATERIAL.

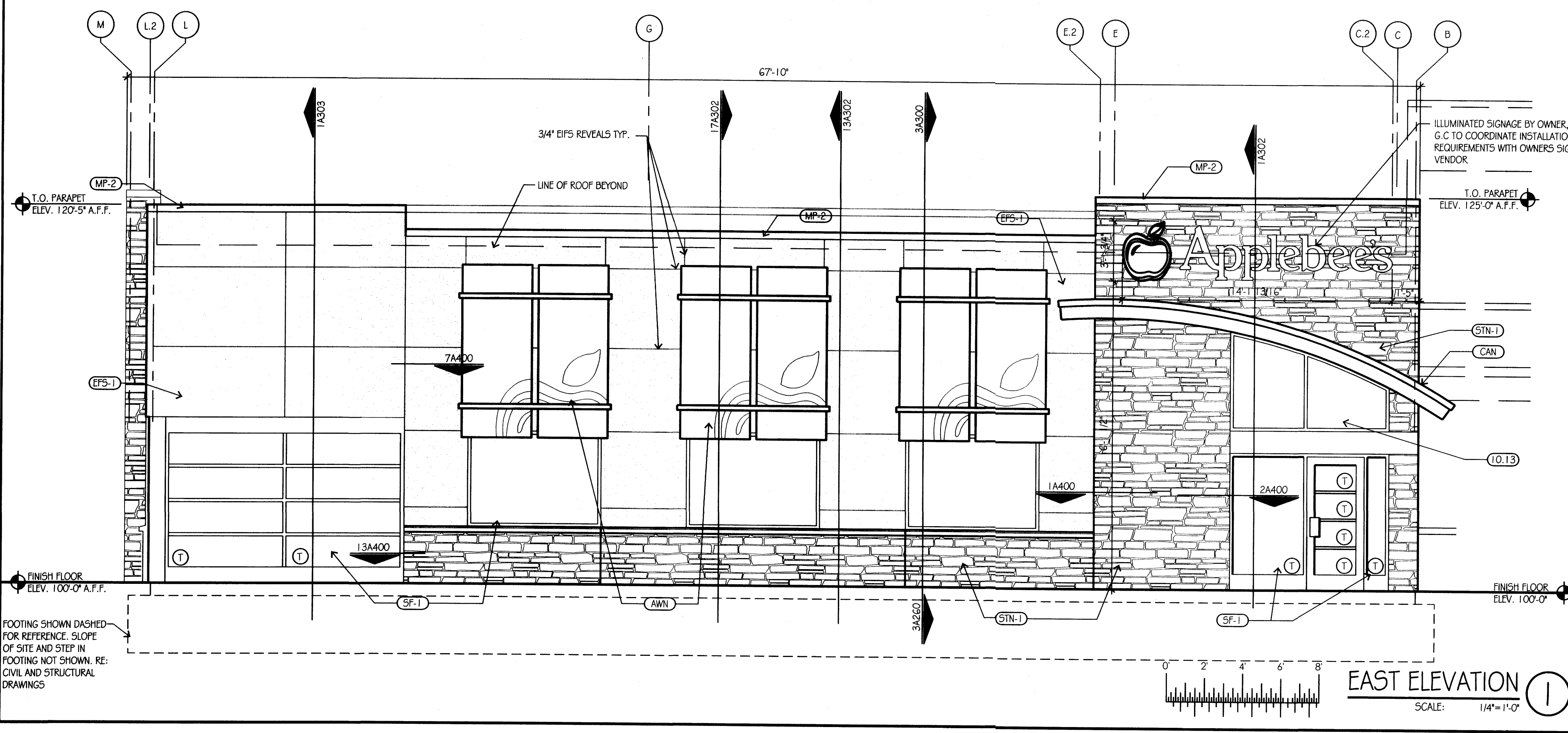
FINISH	MATERIAL	PATTERN
AWN-1	AWNING BY OWNER'S VENDOR, G.C. TO COORDINATE INSTALLATION.	
STN-1	STONE VENEER, CULTURED STONE TO MATCH ADJACENT PROPERTY	
CAN	CANOPY BY OWNER'S VENDOR, G.C. TO COORDINATE INSTALLATION	
EPS-1	EXTERIOR-FINISH SYSTEM - MATCH ADJACENT BUILDING - TAN - SANDBLAST TEXTURE	
PT-1	PAINT AT EXTERIOR GATES AND TRIM - SHERWIN WILLIAMS; COLOR SW 6354 ARMAGNAC CONTACT: STACY STACHLER (216) 341-6444 - REFER TO NOTE 1	
PT-2	CONCRETE MASONRY INTERIOR OF TRASH ENCLOSURE - SHERWIN WILLIAMS; COLOR SW 6100 - PRACTICAL DIBGE - REFER TO NOTE 1	
SF-1	STOREFRONT # ASSOCIATED ALUMINUM BREAMETAL: DARK BRONZE ANODIZED	
CMU-1	SMOOTH FACE, SINGLE SCORED, CMU BLOCK; TRENDSTONE PLUS, COLONIAL RED	

NOTE 1: GC TO VERIFY WITH MANUFACTURER APPROPRIATE PRIMER AND PAINT GRADE FOR SUBSTRATE TO BE PAINTED, UNLESS OTHERWISE SPECIFIED

2. INSTALL CULTURED STONE WITH JOINT.

GENERAL NOTE: ALL SIGNAGE WORK TO BE DONE SEPARATELY UNDER A SEPARATE PERMIT. FINAL CONNECTION BY GC

① = TEMPERED



FOOTING SHOWN DASHED FOR REFERENCE. SLOPE OF SITE AND STEP IN FOOTING NOT SHOWN. RE: CIVIL AND STRUCTURAL DRAWINGS

FOOTING SHOWN DASHED FOR REFERENCE. SLOPE OF SITE AND STEP IN FOOTING NOT SHOWN. RE: CIVIL AND STRUCTURAL DRAWINGS

**NORTH ELEVATION** ③  
 SCALE: 1/4"=1'-0"

**EAST ELEVATION** ①  
 SCALE: 1/4"=1'-0"



**KEYNOTES** (NOT ALL NOTES USED)

- 3.01 CONC FOOTING & FOUNDATION - RE STRUCT
- 3.02 5-1/2" UNOD INCH CONC CURB
- 3.03 CONC STOOD & 4" DRAIN-FILL
- 3.05 CONC FORMED HOP-SINK
- 3.11 4" CONC SLAB ON VB & 4" DRAINAGE-FILL
- 3.12 CONC TOPPING
- 3.13 1/2" W STRIP-TOP E3-FILLER & SEALANT (TYP)
- 4.01 CMU WALL W/ JT-REIN @ 24" OC (W/DT)
- 4.02 3/8" TYP MASONRY CONTROL JOINT W/ SEAL
- 4.04 2" MIN AIR CAVITY W/ DRAINAGE MESH @ BASE
- 4.23 HARDY BOARD SIDING
- 4.24 1X HARDY BOARD SIDING TRIM
- 4.70 CAST STONE CAP
- 4.71 SIM-STONE VENEER IN MORTAR W/ MTL-LATH ON BLDG-PAPER - ANCHOR LATH @ 6" X 16" TYP
- 4.72 SIM-STONE VENEER SILL-TRIM W/ SUPPORT ANGLE
- 5.01 STEEL COLUMN, RE STRUCTURAL DWGS
- 5.02 STEEL BEAM, RE STRUCT
- 5.05 STEEL ANGLE, RE STRUCT
- 5.06 SILL SUPPORT CLIP
- 5.40 GALV MTL FRAMING (DEPTH)
- 5.50 DOWNSPOUT BOOT WITH GUARD, RE 15A420
- 5.51 PTD GALV-MTL PIPE BOLLARD, RE 15A420
- 5.52 MTL ROOF-ACCESS LADDER, RE 17A450
- 5.53 GALV MTL TRASH-GATE
- 5.54 GALV MTL DOWNSPOUT GUARD
- 6.01 2 X WD FRAMING @ 16 INCH OC UNDO RE STRUCT
- 6.03 PRESSURE TREATED WOOD BLOCKING
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- 6.05 WD-PANEL WALL-SHEATHING RE STRUCT
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- 6.07 PLYWD ROOF SHEATHING - RE STRUCT
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- 6.09 3/4" PLYWD DECKING
- 6.10 PLYWD SHEATHING PER STRUCTURAL
- 6.11 WD BLOCKING
- 6.13 TREATED WD SHIMS 1/4" IN CLR UNDO
- 6.14 PTD 3/4" PLYWD UTIL-PANEL (SIZE)
- 6.15 REDWD BLKG @ FSE COOLER/FRZR UNITS
- 6.16 PTD 3/4" FIRE RATED PLYWD BLKG @ BEV EQUIP
- 6.17 1/2" PLYWOOD
- 6.18 1X6 LAMINATED WOOD, STAIN FINISH
- 6.22 1/8" WOOD LAMINATE (PL-1) ON 5/8" GYP. NO EXPOSED EDGES
- 6.23 1X HWND TRIM W/ STAIN FINISH, W5-1
- 6.24 1X HWND STOOL W/ STAIN FIN - ROUND OFF ALL EDGES AND VISIBLE CORNERS
- 6.25 TYP HWND BASE W/ STAIN FINISH
- 6.30 1X METAL WRAPPED FASCIA TRIM BOARDS
- 6.40 SITE-FAB CASEWORK PARTITION
- 6.42 LOW PARTITION WALL BY GC
- 6.61 3/4" CORIAN EARTH WITH BULLNOSE EDGE
- 7.01 DAMP PROOFING @ SLAB EDGE TO FTG BELOW
- 7.20 2 X 2" RIGID PERIMETER INSULATION
- 7.21 5'-12" (R-19) BATT INSUL W/ VAPOR BARRIER
- 7.23 2 LAYERS 2" RIGID FREEZER-SLAB INSULATION
- 7.24 BATT OR FOAM-INSULATION FILL
- 7.25 1/2" UNDO WATER DRAINAGE EFS 2/ PRE-WRAPPED EDGE TRIM - WRAPPED EDGE TRIM - MECH ATTACH @ FRT PLYWD
- 7.26 EPS CONTROL-JOINT
- 7.27 AIR-MOISTURE BARRIER (LAMB) ON SHEATHING
- 7.28 MULTIPLE LAYER INSUL BOARD WITH KERFED BOTTOM
- 7.40 STAND-SEAM ROOF (SSR) ON UNDERLAYMENT
- 7.50 ROOFING-SYSTEM W/ TRT-WD BLKG @ EDGES
- 7.51 ROOF MEMBRANE FULLY ADHERED TO STRUCTURAL SHEATHING
- 7.52 FULLY-ADHERED ROOF MEMB - EXTEND UP BACK AND OVER TO FRONT OF PARAPET WALL
- 7.53 SCUPPER THRU PARAPET, RE 15A420 TYP
- 7.54 EMERG SCUPPER 2" ABOVE PRIMARY
- 7.55 TAPERED ROOF-INSUL W/ 1/4" INVT SLOPE
- 7.60 SHT-MTL COPING AND CONT GLEAT
- 7.61 SHT-MTL FLASH W/ SEAL & WEEPS @ 24" OC MAX - FORM 2 INCH END-DAM @ ALL SILLS
- 7.62 SHEET METAL EXPANSION JOINT PER SHAEENA DETAIL 5.14, DET 7
- 7.63 SHT-MTL COUNTERFLASH
- 7.64 SHT-MTL CONDUCTOR HD
- 7.66 CONT SHT-MTL GUTTER
- 7.67 4 X 5" SHT-MTL DOWNSPOUT TO BOOT @ GRADE
- 7.69 CONDENSATE ROOF-PENETRATION, RE 17A420
- 7.70 30 X 36" ROOF-FLASH POST & RAILING, RE 78A450
- 7.90 3/8" CONT SEAL W/ BACKER
- 7.91 3/8" CONT SEAL W/ BACKER & WEEPS @ 24" OC
- 8.40 ALUM STOREFRONT FRAMING-SYSTEM W/ MTL REIN & GLAZING - SEAL ALL AROUND TYP
- 8.41 ALUM BREAK-METAL STOREFRONT TRIM
- 8.70 EXTERIOR THRESHOLD @ DOOR
- 8.80 1" INSULATED LOW-E GLASS TYP
- 8.90 3'-0" X 3'-0" HINGED ACCESS LOUVER, RE 14A420
- 8.91 SHT-MTL ROOF VENT @ 8 FT OC TYP
- 9.11 PTD 1/2" TYPE-X GYP-BD W/ CFS AT 30" MAX TYP
- 9.12 1/2" TYPE-X GLASS-MAT TILE BACKER-BOARD
- 9.13 DBL L-BEAD DRYWALL CONTROL-JOINT TYP
- 9.14 PTD 1/2" TYPE-X GYP-BD CEILING/SOFFIT ON METAL FRAMING W/ BRACES AT 12 FT OC TYP
- 9.15 EXTEND DRYWALL TO ROOF FOR DRAFTSTOP
- 9.28 032" 120 GA (1/2) MTL STUDS @ 16" OC (S2E)
- 9.21 7/8" X 018" 125 GA (1/2) MTL CHAM @ 16" OC TYP
- 9.22 1-1/2" X 053" 116 GA CRC'S @ 48" OC TYP
- 9.30 TILE-BASE, RE FIN SCHED
- 9.31 EPOXY BASE, RE FIN SCHED
- 9.32 WD BASE, RE FIN SCHED
- 10.00 ILLUMINATED BUILDING SIGNAGE
- 10.10 INTERIOR RECESSED LIGHT-BOX
- 10.12 PSV ENTRY-DR SIGNAGE
- 10.13 PSV BLDG ADDRESS NUMBERS, MIN 10" TALL
- 10.14 PSV SPRINKLER VALVE ACCESS SIGNAGE
- 10.15 PSV SERVICE-DOOR SIGNAGE
- 10.21 TOL-PIN PANEL W/ WD BLKG
- 10.23 S/S GRAB-BAR - MOUNT TO 2X8 WD BLKG
- 10.25 S/S CORNER GUARD FROM 6" - 60" AFF TYP
- 10.26 S/S WALL-PANELING
- 10.40 44-GORE FE MIN - VERIFY LOCATION W/ AHJ
- 10.41 FE CABINET W/ LA-6486 FE
- 10.42 CLASS K-15 LB FE, VERIFY LOCATION W/ AHJ
- 10.80 PTD EXTERIOR GRILLE, RE MECH
- 11.12 TRASH DUMPSTER
- 11.13 GREASE-CONTAINMENT SYSTEM @ EXHAUST
- 11.14 SELF-CONTAINED STORAGE SHED, BY OWNER
- 11.21 TV/VIDEO-MONITOR
- 11.22 ROOF-MTD SAT-DISH W/ BLKG BELOW
- 11.23 FSE COOLER/FRZR BOX W/ CLOSURE TRIM
- 12.01 MILLWORK PROVIDED BY OWNER
- 12.05 MILLWORK FURNISHED BY OWNER, INSTALLED BY GC
- 12.03 BAR DIE BY GC, RE 18100
- 21.11 AUTO-SPRINKLER BACK-FLOW UNIT
- 21.12 FIRE-ALARM CONTROL PANEL
- 22.03 WATER HEATER UNIT
- 22.04 HAND-SINK OR LAV W/ TOP @ 32" AFF TYP
- 22.05 4 INCH MIN VENT THROUGH ROOF, REF 18A420, COORD W/ MEP TYP
- 23.01 ROOFTOP HVAC UNIT
- 23.02 HVAC UNIT ROOF MTD CURB, REF 18A420
- 23.03 ROOFTOP EXHAUST FAN UNIT
- 23.04 COOLER/FRZR ROOFTOP COMPRESSORS W/ ROOF CURB
- 26.02 ELECTRICAL PANEL
- 26.03 LIGHT SCHEME, RE ELECTRICAL
- 28.01 SECURITY ALARM SYSTEM BY OWNER COORD W/ MEP
- 31.01 LINE OF FINISH GRADE, RE CIVIL DWGS
- 31.03 COMPACTED BACKFILL
- 32.04 4" CONC PVMT & 4" DRAINAGE-FILL
- 32.05 6" CONC PVMT & 4" DRAINAGE-FILL
- 32.07 DETECTABLE-WARNING PANEL @ WALK
- 33.01 TREND-DRAIN, RE CIVIL DWGS

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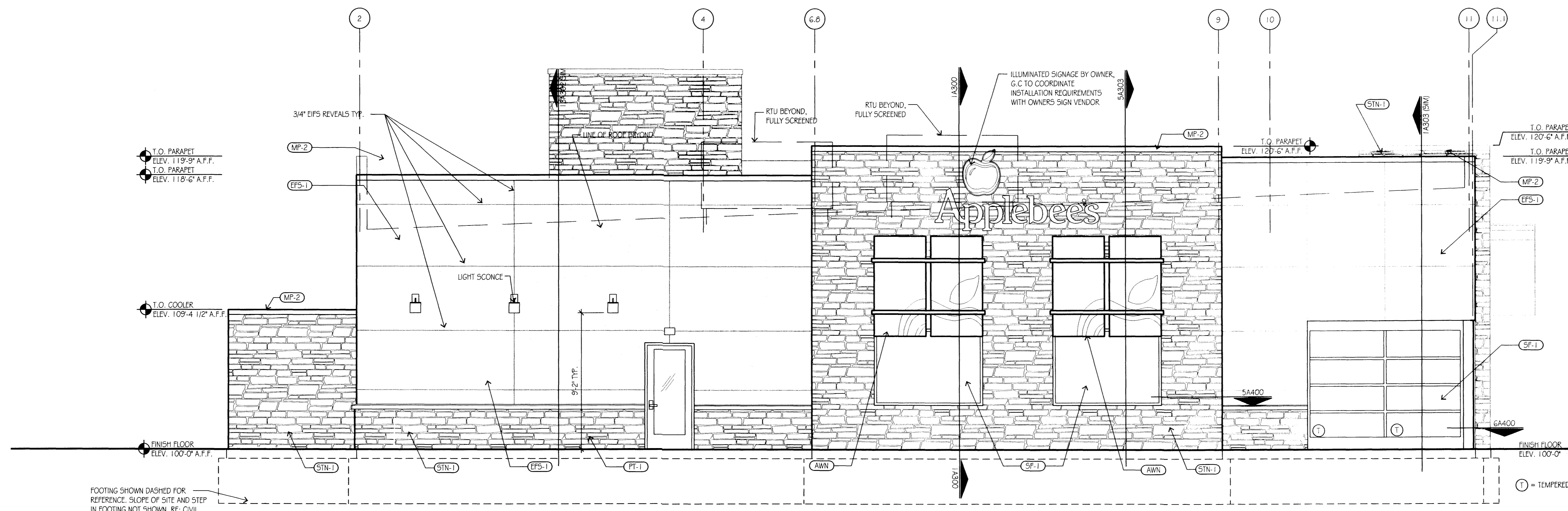
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CONTRACT: All laws, codes, ordinances and regulations which apply to the construction of the Work shall be observed and compliance with such laws, codes, ordinances and regulations shall be the responsibility of the Contractor. Application of a material or equipment item to Work installed by others constitutes acceptance of the Work, and acceptance of responsibility for satisfactory installation.

MEASURING: SHOWN on to finish face of a material unless otherwise indicated. DIMENSIONS & HEIGHTS: TO FINISH UNLESS OTHERWISE INDICATED.

PROJECT TITLE



**SOUTH ELEVATION** ③  
 SCALE: 1/4"=1'-0"

**SIGNAGE SCHEDULE**

SOUTH	ILLUMINATED SIGNAGE BY OWNER	16 SF
WEST ELEVATOR	ILLUMINATED SIGNAGE BY OWNER	16 SF
EAST	ILLUMINATED SIGNAGE BY OWNER	16 SF
TOTAL		48 SF

**EXTERIOR FINISH SCHEDULE**

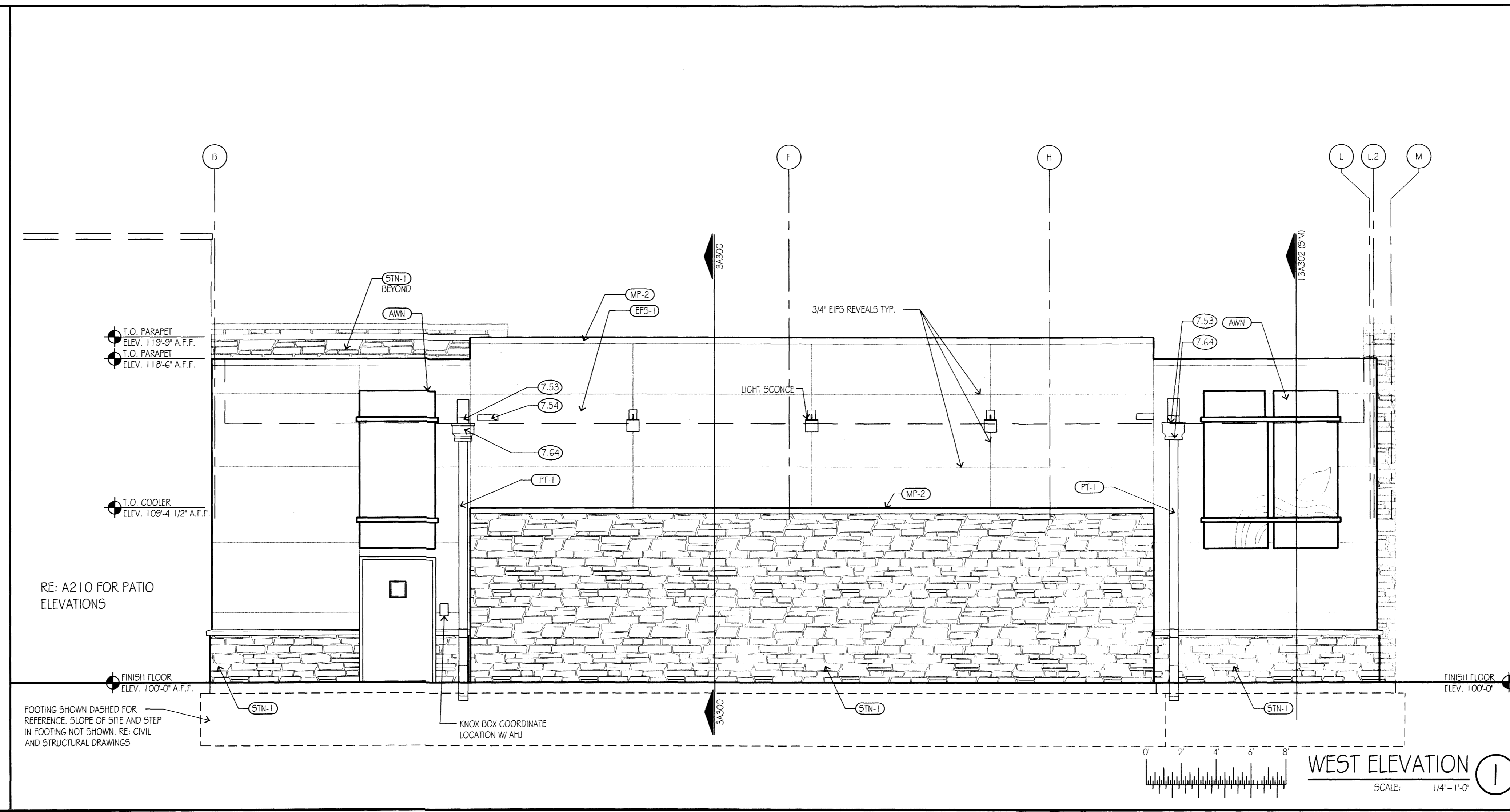
FINISH	MATERIAL	PATTERN
AWN-1	AWNING BY OWNERS VENDOR, G.C. TO COORDINATE INSTALLATION.	
STN-1	STONE VENEER, CULTURED STONE TO MATCH ADJACENT PROPERTY	
CAN	CANOPY BY OWNERS VENDOR, G.C. TO COORDINATE INSTALLATION	
EF5-1	EXTERIOR-FINISH SYSTEM - MATCH ADJACENT BUILDING - TAN - SANDBLAST TEXTURE	
PT-1	PAINT AT EXTERIOR GATES AND TRIM - SHERWIN WILLIAMS, COLOR SW 6354 ARMAGNAC CONTACT: STACY STACHLER (216) 341-6444 - REFER TO NOTE 1	
PT-2	CONCRETE MASONRY INTERIOR OF TRASH ENCLOSURE - SHERWIN WILLIAMS, COLOR SW 6100 - PRACTICAL BEIGE - REFER TO NOTE 1	
SF-1	STOREFRONT 4 ASSOCIATED ALUMINUM BREAKMETAL- DARK BRONZE ANODIZED	
CMU-1	SMOOTH FACE, SINGLE SCORED, CMU BLOCK- TRENDSTONE PLUS, COLONIAL RED	

NOTE 1: GC TO VERIFY WITH MANUFACTURER APPROPRIATE PRIMER AND PAINT GRADE FOR SUBSTRATE TO BE PAINTED, UNLESS OTHERWISE SPECIFIED

2. INSTALL CULTURED STONE WITH JOINT.

GENERAL NOTE: ALL SIGNAGE WORK TO BE DONE SEPARATELY UNDER A SEPARATE PERMIT. FINAL CONNECTION BY GC

① = TEMPERED



**WEST ELEVATION** ①  
 SCALE: 1/4"=1'-0"

project number 13024.016  
 drawing issuance BID/PERMIT 06.17.2013  
 drawing revisions

professionalseal

drawing title EXTERIOR ELEVATIONS OPTION B

drawing number **A201b**

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MARKING SHALL be to finish face of a material unless otherwise indicated. DIMENSIONS SHALL be to finish face of a material unless otherwise indicated. DIMENSIONS SHALL be to finish face of a material unless otherwise indicated.

project title

**Applebees**  
 6200 COORS BLVD, NW  
 ALBUQUERQUE, NEW MEXICO, 87120

project number  
 13024.016

drawing issuance  
 BID / PERMIT 06.17.2013

drawing revisions  
 No. Description: Date:

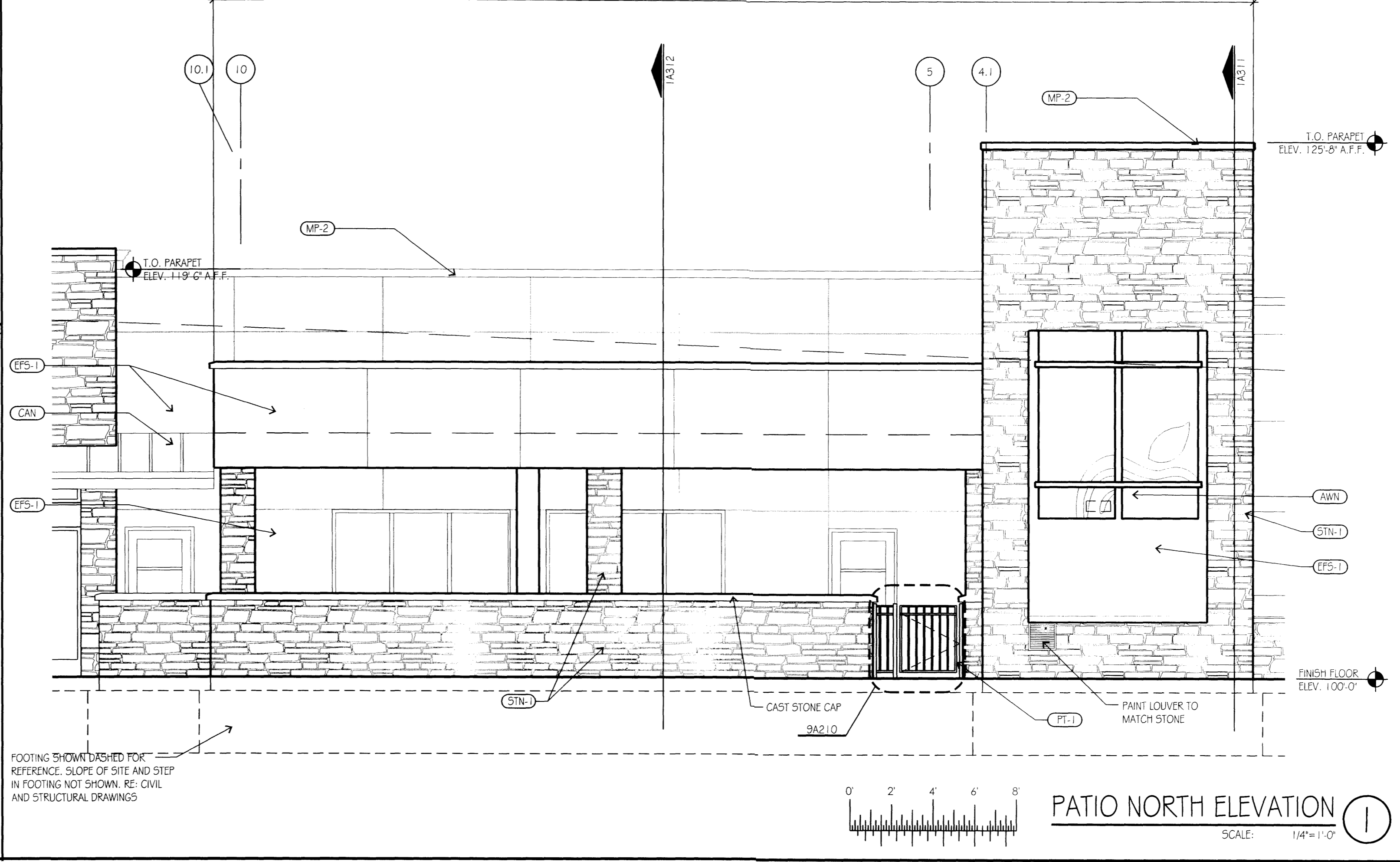
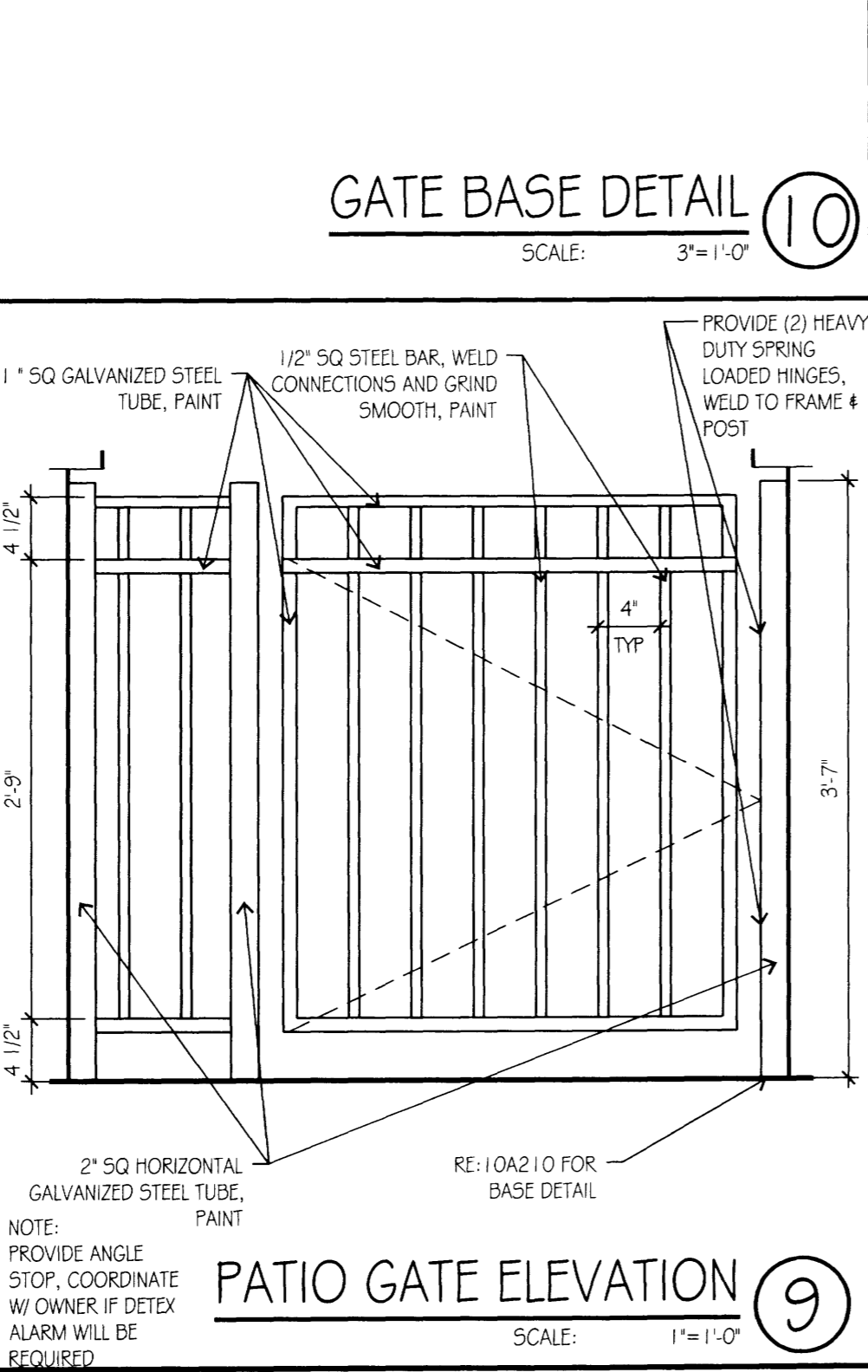
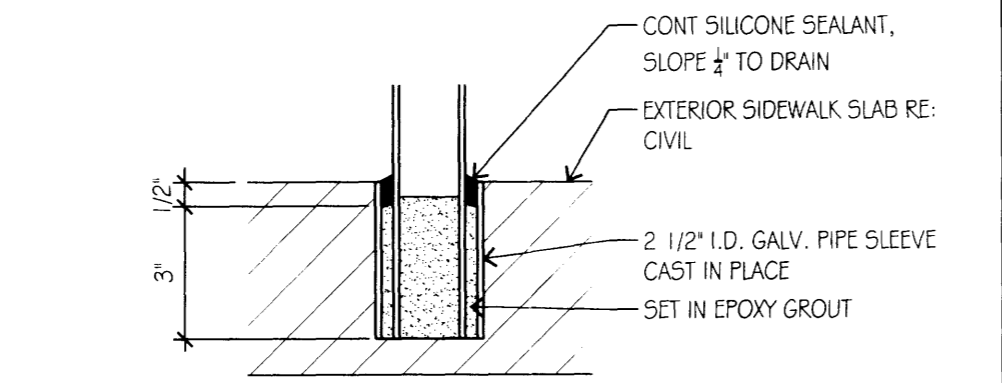
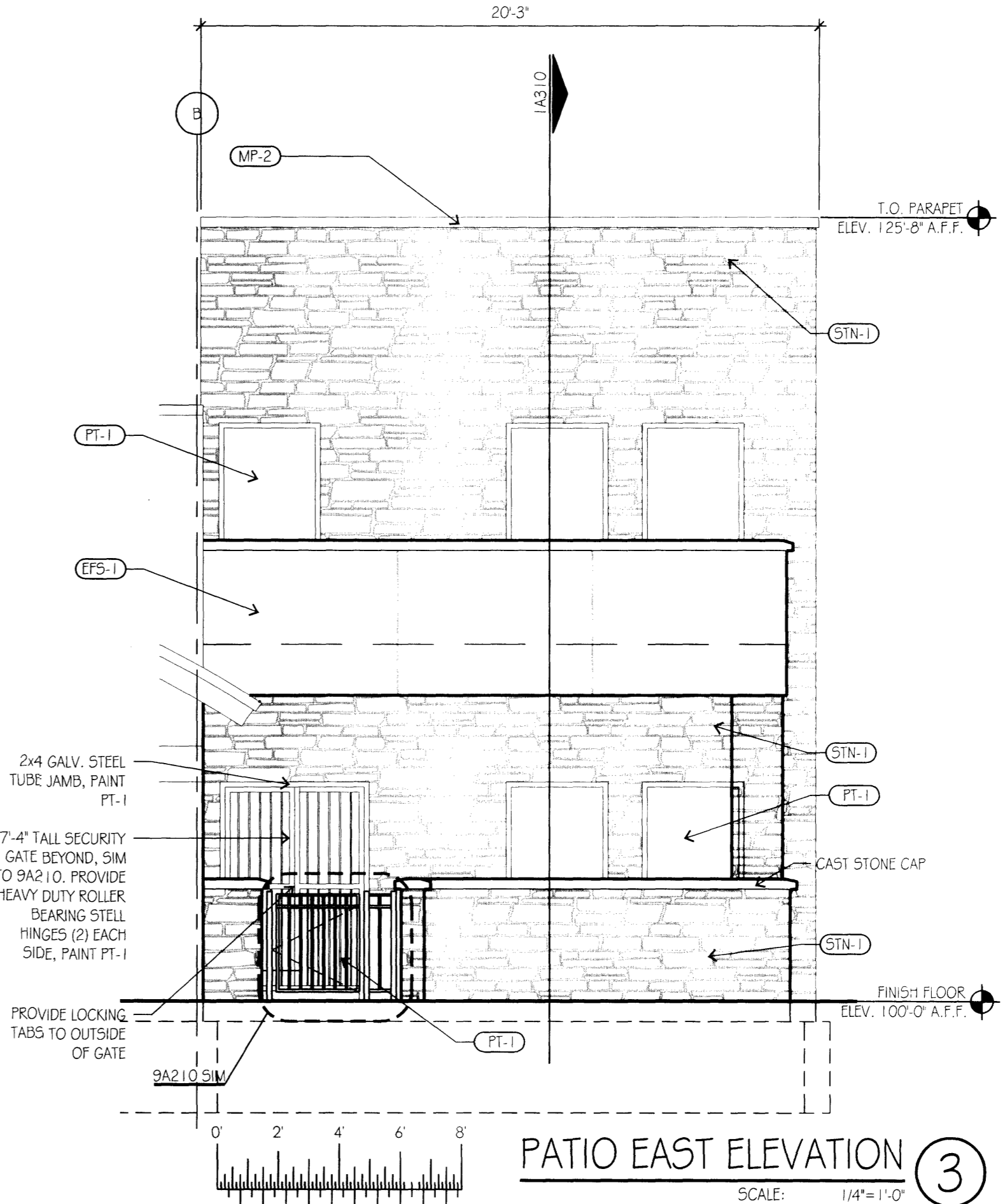
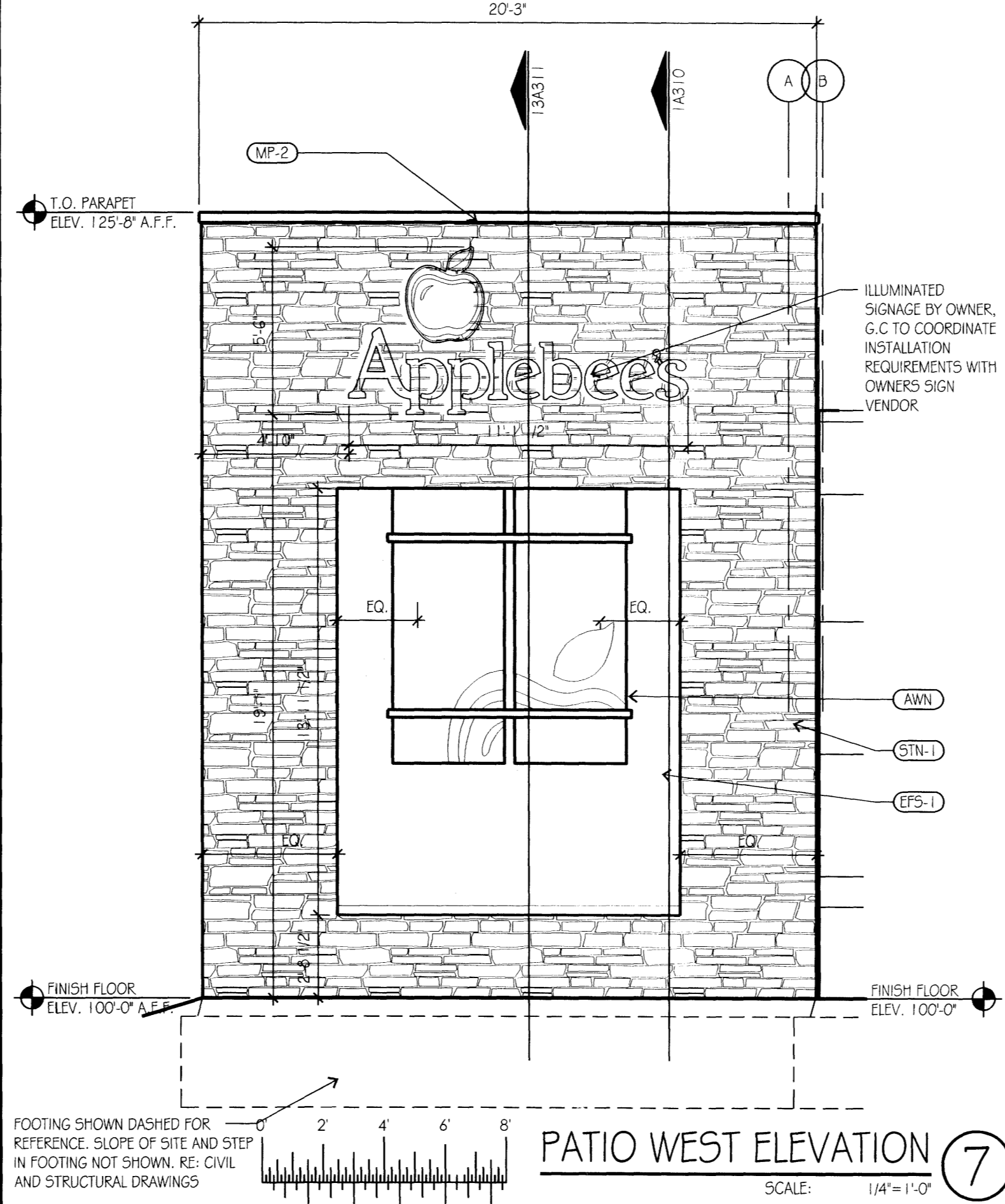
professional seal

drawing title  
 EXTERIOR PATIO ELEVATIONS  
 OPTION B

drawing number  
**A210b**

**KEYNOTES** (NOT ALL NOTES USED)

- 301 CONC FOOTING & FOUNDATION - RE STRUCT
- 302 5-1/2" UNDI INCH H CONC CURB
- 303 CONC STOOD & 4" DRAIN-FILL
- 305 CONC FORMED HOP-SINK
- 311 4" CONC SLAB ON VB & 4" DRAINAGE-FILL
- 312 CONC TOPPING
- 313 1/2" W STRIP-TOP EA-FILLER & SEALANT (TYP)
- 4.01 CMU WALL W/ JT-REINF @ 24" OC (WIDTH)
- 4.02 3/8" TYP MASONRY CONTROL JOINT W/ SEAL
- 4.04 2" MIN AIR CAVITY W/ DRAINAGE MESH @ BASE
- 4.23 HARDY BOARD SIDING
- 4.24 1X HARDY BOARD SIDING TRIM
- 4.70 CAST STONE CAP
- 4.71 SIM-STONE VENEER IN MORTAR W/ MTL-LATH ON BLDG-PAPER - ANCHOR LATH @ 6" X 16" TYP
- 4.72 SIM-STONE VENEER SILL-TRIM W/ SUPPORT ANGLE
- 5.01 STEEL COLUMN, RE STRUCTURAL DWGS
- 5.02 STEEL BEAM, RE STRUCT
- 5.05 STEEL ANGLE, RE STRUCT
- 5.06 SILL SUPPORT CLIP
- 5.40 GALV MTL FRAMING (DEPTH)
- 5.50 DOWNSPOUT, BOOT WITH GUARD, RE 15A420
- 5.51 PTD GALV-MTL PIPE BOLLARD, RE 15A420
- 5.52 MTL ROOF-ACCESS LADDER, RE 15A450
- 5.53 GALV MTL TRASH-GATE
- 5.54 GALV MTL DOWNSPOUT GUARD
- 6.01 2" X WD FRAMING @ 16 INCH OC UNDO RE STRUCT
- 6.03 PRESSURE TREATED WOOD BLOCKING
- 6.04 WD-TRUSSES - RE STRUCT
- 6.05 WD-PANEL WALL-SHEATHING, RE STRUCT
- 6.06 1/2" GLASS-MAT ROOF BD SHEATHING
- 6.07 PLYWD ROOF SHEATHING - RE STRUCT
- 6.08 3/8" CDX PLYWD SHEATHING - RE STRUCT
- 6.09 3/4" PLYWD DECKING
- 6.10 PLYWD SHEATHING PER STRUCTURAL
- 6.11 WD BOCKING
- 6.13 TREATED WD SHIMS (1/4" IN CLR UNDO)
- 6.16 PTD 3/4" PLYWD UTIL-PANEL (SIZE)
- 6.17 REWD BULK & FSE COOLER/FRZR UNITS
- 6.18 PTD 3/4" FIRE RATED PLYWD BULK @ BEV EQUIP
- 6.17 1/2" PLYWOOD
- 6.18 1X6 LAMINATED WOOD, STAIN FINISH
- 6.22 1/8" WOOD LAMINATE (PL-1) ON 5/8" GYP NO EXPOSED EDGES
- 6.23 1X HWWD TRIM W/ STAIN FINISH WS-1
- 6.24 1X HWWD STOOL W/ STAIN FIN - ROUND OFF ALL EDGES AND VISIBLE CORNERS
- 6.25 TYP HWWD BASE W/ STAIN FINISH
- 6.30 1X METAL WRAPPED ASBESTOS TRIM BOARDS
- 6.40 SITE-FAB CASEWORK PARTITION
- 6.42 LOW PARTITION WALL BY GC
- 6.61 3/4" CORIAN EARTH WITH BULLNOSE EDGE
- 7.01 DAMP PROOFING @ SLAB EDGE TO FTG BELOW
- 7.20 2" X 2" RIGID PENETR INSULATION
- 7.21 5" X 12" IR-191 BATT INSUL W/ 1/2" RIGID BARRIER
- 7.23 2 LAYERS 2" RIGID FREEZER-SLAB INSULATION
- 7.24 BATT OR FOAM-INSULATION FILL
- 7.25 1/2" UNDO WATER DRAINAGE EIFS 2" PRE-WRAPPED EDGE TRIM - WRAPPED EDGE TRIM - MECH ATTACH @ FRT PLYWD
- 7.26 EIFS CONTROL JOINT
- 7.27 AIR-MOISTURE BARRIER (AMBI) ON SHEATHING
- 7.28 MULTIPLE LAYER INSUL BOARD WITH KERFED BOTTOM
- 7.40 STAND-SEAM ROOF (SSRI) ON UNDERLAYMENT
- 7.50 ROOFING-SYSTEM W/ TRT-WD BULK @ EDGES
- 7.51 ROOF MEMBRANE FULLY ADHERED TO STRUCTURAL SHEATHING
- 7.52 FULLY-ADHERED ROOF MEMB - EXTEND UP BACK AND OVER TO FRONT OF PARAPET WALL
- 7.53 SCUPPER THRU PARAPET, RE 15A420 TYP
- 7.54 EMERG SCUPPER 2" ABOVE PRIMARY
- 7.55 TAPERED ROOF-INSUL W/ 1/4" INFT SLOPE
- 7.60 SHT-MTL COPING AND CONT CLEAT
- 7.61 SHT MTL FLASH W/ SEAL & WEEPS @ 24" OC MAX - FORM 2 INCH END-DAM @ ALL SILLS
- 7.62 SHEET METAL EXPANSION JOINT PER SHACNA DETAIL 5.14, DET 2
- 7.63 SHT-MTL COUNTERFLASH
- 7.64 SHT-MTL CONDUCTOR HD
- 7.66 CONT SHT MTL GUTTER
- 7.67 4" X 5" SHT-MTL DOWNSPOUT TO BOOT @ GRADE
- 7.69 CONDENSATE ROOF-PENETRATION, RE 17A420
- 7.70 30 X 36" ROOF-HATCH POST & RAILING, RE 18A450
- 7.90 3/8" CONT SEAL W/ BACKER
- 7.91 3/8" CONT SEAL W/ BACKER & WEEPS @ 24" OC
- 8.40 ALUM STOREFRONT FRAMING-SYSTEM W/ MTL REINF & GLAZING - SEAL ALL AROUND TYP
- 8.41 ALUM BREAK-METAL STOREFRONT TRIM
- 8.70 EXTERIOR THRESHOLD @ DOOR
- 8.80 1" INSULATED LOW-E GLASS TYP
- 8.90 3'-0" X 3'-0" HINGED ACCESS LOUVER, RE 14A420
- 8.91 SHT-MTL ROOF VENT @ 8 FT OC TYP
- 8.91 PTD 1/2" TYPE-X GYP-BO W/ JCS AT 30" MAX TYP
- 9.12 1/2" TYPE X GLASS-MAT TILE BACKER-BOARD
- 9.13 DBL L-BEAD DRYWALL CONTROL JOINT TYP
- 9.14 PTD 1/2" TYPE-X GYP-BO CEILING/SOFFIT ON METAL FRAMING W/ BRACES AT 12 FT OC TYP
- 9.15 EXTEND DRYWALL TO ROOF FLOOR DRAFTS TOP
- 9.20 0312" 120 GAI INT MTL STUDS @ 16" OC (SIZE)
- 9.21 7/8" X 018" 125 GAI HAT CHAN @ 16" OC TYP
- 9.22 1-1/2" X 053" 116 GAI CRCS @ 48" OC TYP
- 9.30 TILE-BASE, RE FIN SCHED
- 9.31 EXPOXY BASE, RE FIN SCHED
- 9.32 WD BASE, RE FIN SCHED
- 10.00 ILLUMINATED BUILDING SIGNAGE
- 10.11 INTERIOR RECESSED LIGHT-BOX
- 10.12 PSV ENTRY-DR SIGNAGE
- 10.13 PSV BLDG ADDRESS NUMBERS, MIN 10" TALL
- 10.14 PSV SPRINKLER VALVE ACCESS SIGNAGE
- 10.15 PSV SERVICE-DOOR SIGNAGE
- 10.21 TOL-PTN PANEL W/ WD BULK
- 10.23 S/S GRAB-BAR - MOUNT TO 2X8 WD BULK
- 10.25 S/S CORNER GUARD FROM 6" - 60" AFF TYP
- 10.26 S/S WALL-PANELING
- 10.40 4-A-60BC FE MIN - VERIFY LOCATION W/ AHJ
- 10.41 FE CABINET W/ 4-A-60BC FE
- 10.42 CLASS K-15 LB FE, VERIFY LOCATION W/ AHJ
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- 22.05 4 INCH MIN VENT THROUGH ROOF, RE 16A420, COORD W/ MEP TYP
- 23.01 ROOFTOP HVAC UNIT
- 23.02 HVAC UNIT ROOF MTD CURB, RE 18A420
- 23.03 ROOFTOP EXHAUST FAN UNIT
- 23.04 COOLER/FRZR ROOFTOP COMPRESSORS W/ ROOF CURB
- 26.02 ELECTRICAL PANEL
- 26.03 LIGHT SCENEC, RE ELECTRICAL
- 28.01 SECURITY ALARM SYSTEM BY OWNER COORD W/ MEP
- 31.01 LINE DR FINSH GRADE, RE CIVIL DWGS
- 31.03 COMPACTED BACKFILL
- 32.01 4" CONC PVMT & 4" DRAINAGE-FILL
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- 32.07 DETECTABLE-WARNING PANEL @ WALK
- 33.01 TRENCH-DRAIN, RE CIVIL DWGS



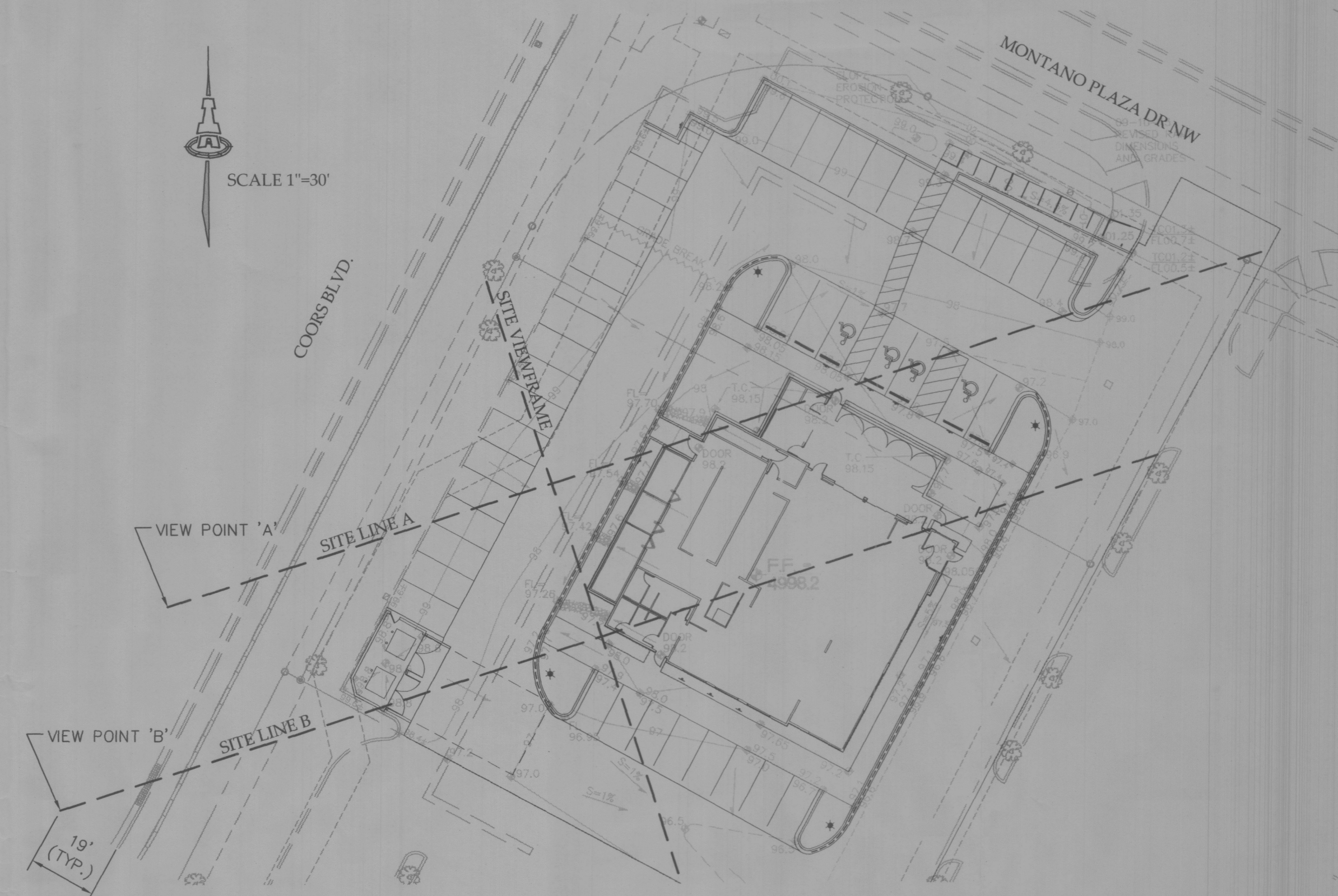
**SIGNAGE SCHEDULE**

SOUTH	ILLUMINATED SIGNAGE BY OWNER	16 SF
WEST ELEVATOR	ILLUMINATED SIGNAGE BY OWNER	16 SF
EAST	ILLUMINATED SIGNAGE BY OWNER	16 SF
TOTAL		48 SF

**EXTERIOR FINISH SCHEDULE**

FINISH	MATERIAL	PATTERN
AWN-1	AWNING BY OWNERS VENDOR. G.C. TO COORDINATE INSTALLATION.	
STN-1	STONE VENEER, CULTURED STONE TO MATCH ADJACENT PROPERTY	
CAN	CANOPY BY OWNERS VENDOR. G.C. TO COORDINATE INSTALLATION	
EF5-1	EXTERIOR-FINISH SYSTEM - MATCH ADJACENT BUILDING - TAN - SANDBLAST TEXTURE	
PT-1	PAINT AT EXTERIOR GATES AND TRIM - SHERWIN WILLIAMS, COLOR SW 6354 ARMAGNAC CONTACT: STACY STACHLER (216) 341-6444 - REFER TO NOTE 1	
PT-2	CONCRETE MASONRY INTERIOR OF TRASH ENCLOSURE - SHERWIN WILLIAMS, COLOR SW 6100 - PRACTICAL BEIGE - REFER TO NOTE 1	
SF-1	STOREFRONT # ASSOCIATED ALUMINUM BREAKMETAL: DARK BRONZE ANODIZED	
CMU-1	SMOOTH FACE, SINGLE SCORED, CMU BLOCK: TRENDSSTONE PLUS, COLONIAL RED	

NOTE 1: GC TO VERIFY WITH MANUFACTURER APPROPRIATE PRIMER AND PAINT GRADE FOR SUBSTRATE TO BE PAINTED, UNLESS OTHERWISE SPECIFIED  
 2. INSTALL CULTURED STONE WITH JOINT.  
 GENERAL NOTE: ALL SIGNAGE WORK TO BE DONE SEPARATELY UNDER A SEPARATE PERMIT. FINAL CONNECTION BY GC  
 (T) = TEMPERED

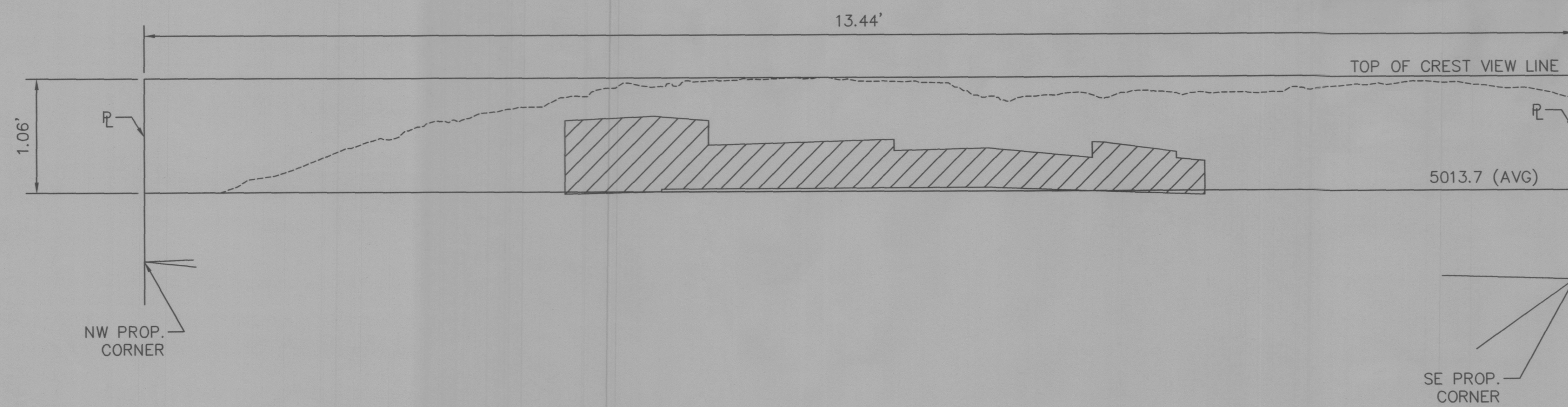


**VIEW MASSING ANALYSIS**

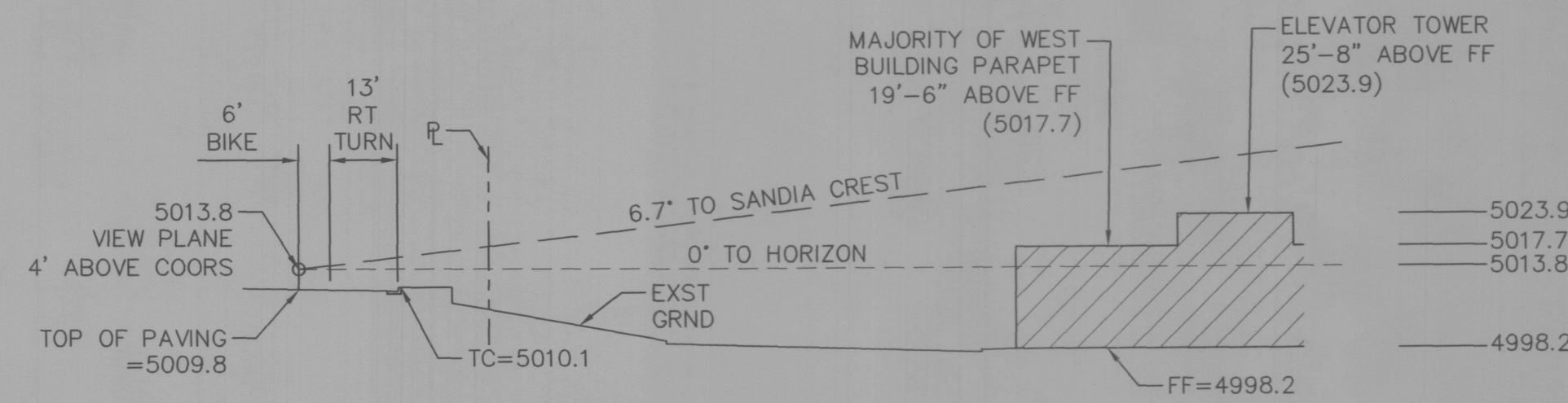
TOTAL VIEW FRAME AREA: AREA FROM THE 0' VERTICAL PLANE TO THE TOP OF THE HIGHEST POINT OF SANDIA CREST AND FROM THE NW PROPERTY CORNER TO THE SE PROPERTY CORNER: 14.31 SQ. IN.

AREA (MASS) OF BUILDING WITHIN THE VIEW FRAME: 2.75 SQ. IN.

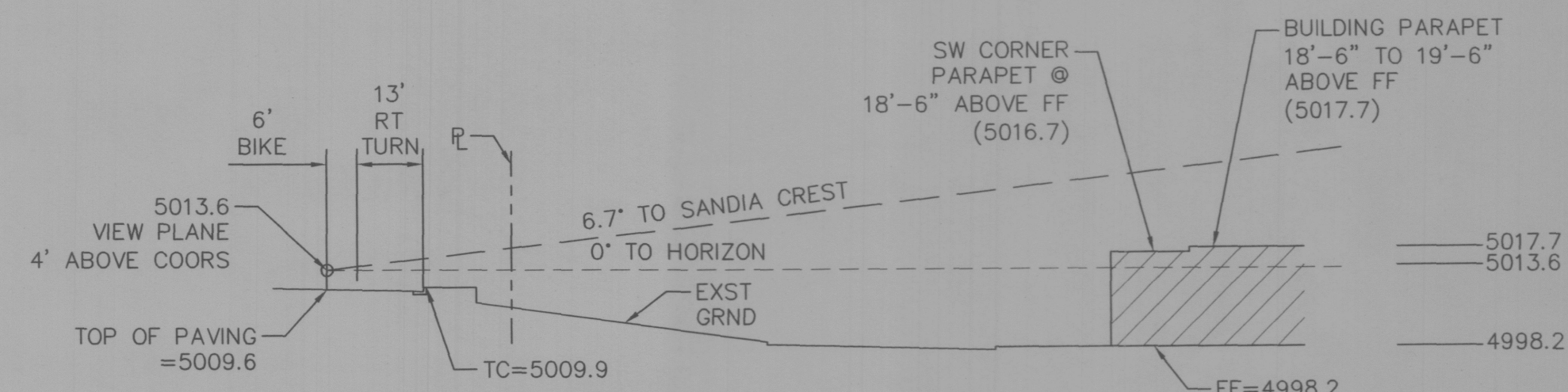
PERCENT OF BUILDING WITHIN THE VIEW FRAME: 19.2%



**SITE VIEWFRAME**



**SITE LINE A**  
SCALE 1"=30'



**SITE LINE B**  
SCALE 1"=30'

**ISAACSON & ARFMAN, P.A.**  
Consulting Engineering Associates  
128 Monroe Street N.E.  
Albuquerque, New Mexico 87108  
Ph. 505-268-8828 www.iaacivil.com  
1984 C-701-SITE LINE EXHIBITS.dwg Apr 29, 2014

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**APPLEBEE'S  
MONTANO PLAZA**  
Apple Investors Group

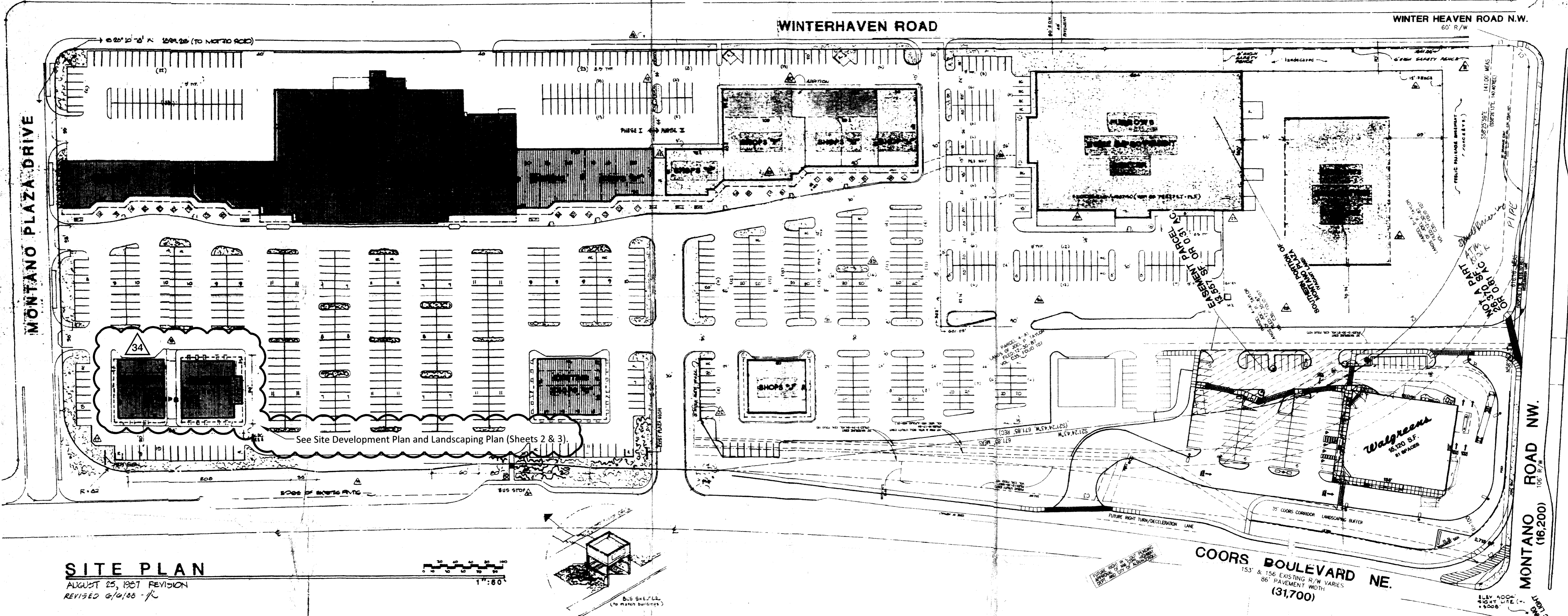
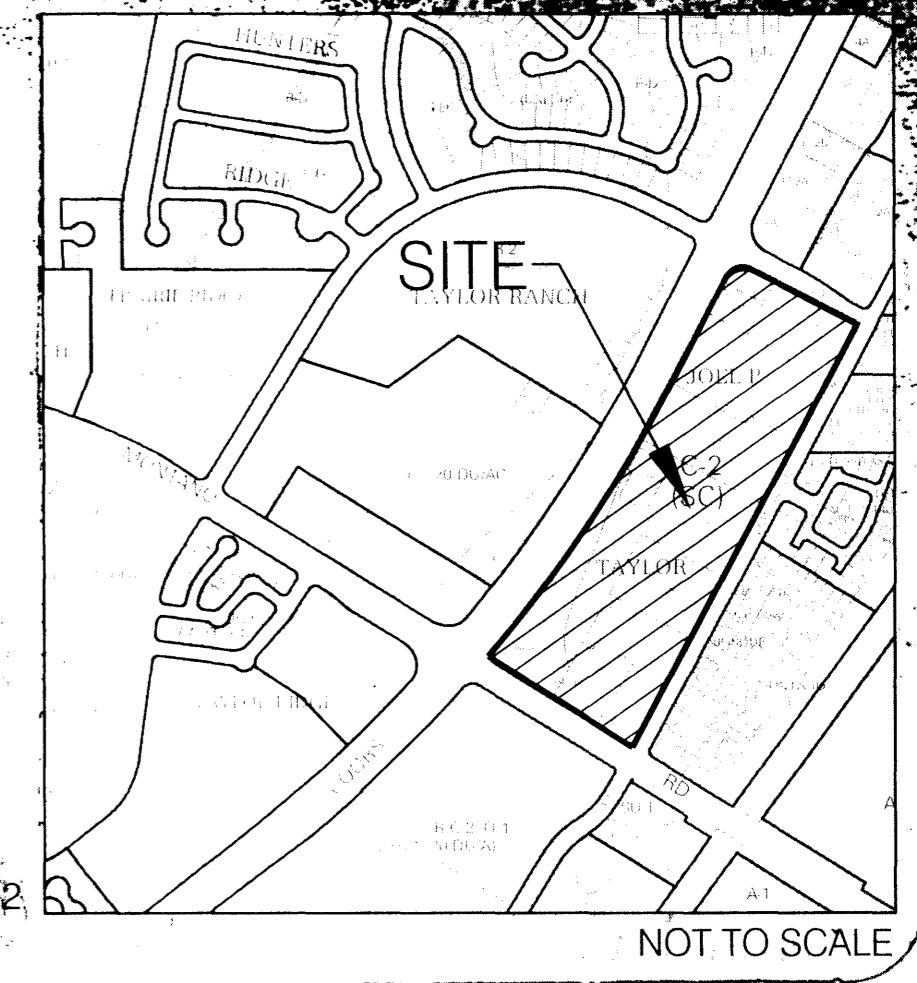
**SITE LINE EXHIBIT**

Date:	04-29-14	No.:	Revisions:	Date:	Job No.:
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Ckd By:	FCA				<b>PAGE</b>
					<b>SH. OF</b>

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 2/1/88  
 6/5/87  
 2/1/88  
 3/1/88  
 5/5/87  
 6/1/87

# MONTAÑO PLAZA

EAST CORNER COORS ROAD AND MONTAÑO ROAD NW  
ALBUQUERQUE, NEW MEXICO



**SITE PLAN**  
AUGUST 25, 1987 REVISION  
REVISED 6/6/88 - JL

- NOTES:**
- ① HEIGHTS NOT TO EXCEED 51' IN PHASE I AND 70' IN PHASE II
  - ② BUILDINGS IN "RED" AREAS - SHOPS "C", "D", BLDG. AREA 3 & BLDG. AREA 4 - NOT TO EXCEED 16' HEIGHT. Height shall be regulated by the Coors Corridor Plan.
  - ③ HEIGHTS OF ALL BUILDINGS SHALL BE BELOW SITE LINE TO MAINTAIN CORNER ELEVATION & COVERED WALKWAY
  - ④ ANY VISIBLE ROOFTOP EQUIPMENT TO BE SCREENED.
  - ⑤ ALL BUILDINGS SHALL CONFORM TO SIMILAR ARCHITECTURAL DESIGN, WITH SAME EXTERIOR COLORS - OFF WHITE TONE, TAN, BROWN, GRAY & RED/BROWN SLATE.

- 34 January, 2014 - Administrative Amendment:
- Replaces 2 buildings at NW corner with proposed Applebees restaurant.
  - Amends height restrictions to allow elevator tower, rooftop patio, and screening of rooftop equipment.
  - Allows minor variation in color and architectural style.

PHASE I		PHASE II	
SHOPS "A"	(EXISTING) 13,230 SF	SHOPS "E"	4,241 SF
ALBERTSONS	44,000 "	SHOPS "F"	12,271 "
REVCO	0,430 "	SHOPS "G"	9,661 "
SHOPS "B"	11,130 "	SHOP "H"	5,012 "
SHOPS "C"	5,800 "	SHOPS "E, F, G & H"	23,992 SF
SHOPS "D" (PROPOSED) (1)	4,990 "	FURROWS HQ	48,000 SF
SHOPS "D" (2)	5,020 "	FURROWS STO	24,000 "
TOTAL AREA	92,600 SF	SHOPS "J"	5,600 "
		SHOPS "K"	4,588 "
		TOTAL AREA	113,849 - 106,700 SF

(TOTAL AREA - PHASE I + PHASE II = 199,360 SF)

**PARKING SPACES**

REQUIRED: 175,360 / 200 = 877  
 14,300 / 100 = 143  
 1,004 / 100 = 10  
 992

CREDITS: BUS STOP (6%) = 53  
 BUS STOP (6%) = 29

TOTAL REQUIRED: (992 - 46) = 946

SPACES SHOWN:  
 2,434 " = 400  
 2,434 " = 300

HANDICAP SPACES: 492 = 20 " SHOWN = 75

ADMINISTRATIVE AMENDMENT 6/6/88

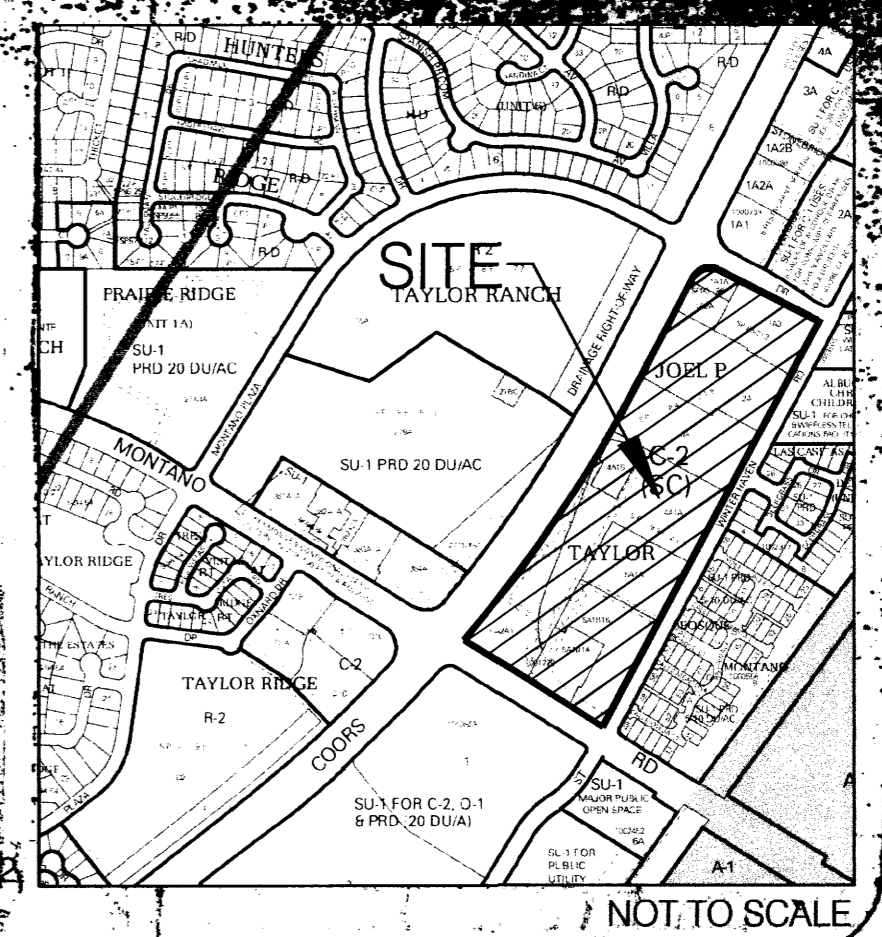
- △ ADDITION - SHOPS "E" - 100' W
- △ GREEN SAFETY FENCE
- △ 6" WOOD CORNER RETAINING WALL, 1/2" PIPE RAILING, 4" PLANTING AREA SIDE WALKS
- △ ADD LANDSCAPED PARKING ISLAND

- REVISIONS PER EPC COMMENTS OF 2-19-87
- △ PARKING ADJUSTED TO ALLOW PEDESTRIAN LINK TO FURROWS
  - △ SHOPS "E" ADJUSTED TO ALLOW PEDESTRIAN PASSAGEWAY
  - △ PEDESTRIAN ACCESS TO WINTERHAVEN ROAD ADDED
  - △ STREET IMPROVEMENTS AND LANDSCAPING TO BE CONSTRUCTED AT INSTRUCTION OF TRAFFIC ENGINEER
  - △ EAD ISLANDS CHANGED TO 8' (TYP.)
  - △ 35' BUFFER @ INTERCHANGE R.O.W. SHOWN. 10' INTERIOR ON INSIDE ONLY
  - △ 12' FENCE TO BE SOLID WOOD, OPAQUE - 1/2" JUMP BLK. PLASTER
  - △ REQUIRED R.O.W. FOR TURN @ MONTAÑO PLAZA DRIVE SHOWN. PROPOSED SIGN RELOCATED
  - △ PEDESTRIAN SURFACE PROVIDED BETWEEN BUILDINGS "D"
  - △ SIDEWALK @ COORS TO BE CONSTRUCTED @ TRAFFIC ENGINEER'S REQUEST
  - △ SHELTER AND BAY PROVIDED BY DEVELOPER
  - △ PARKING SPACES REVISED AS PER CONDITION 8 OF EPC FINDINGS 08-27/87
  - △ ADDITIONAL 5' OF R.O.W. PROVIDED FOR BUS BAY PER TRAFFIC ENGINEER'S REQUEST.

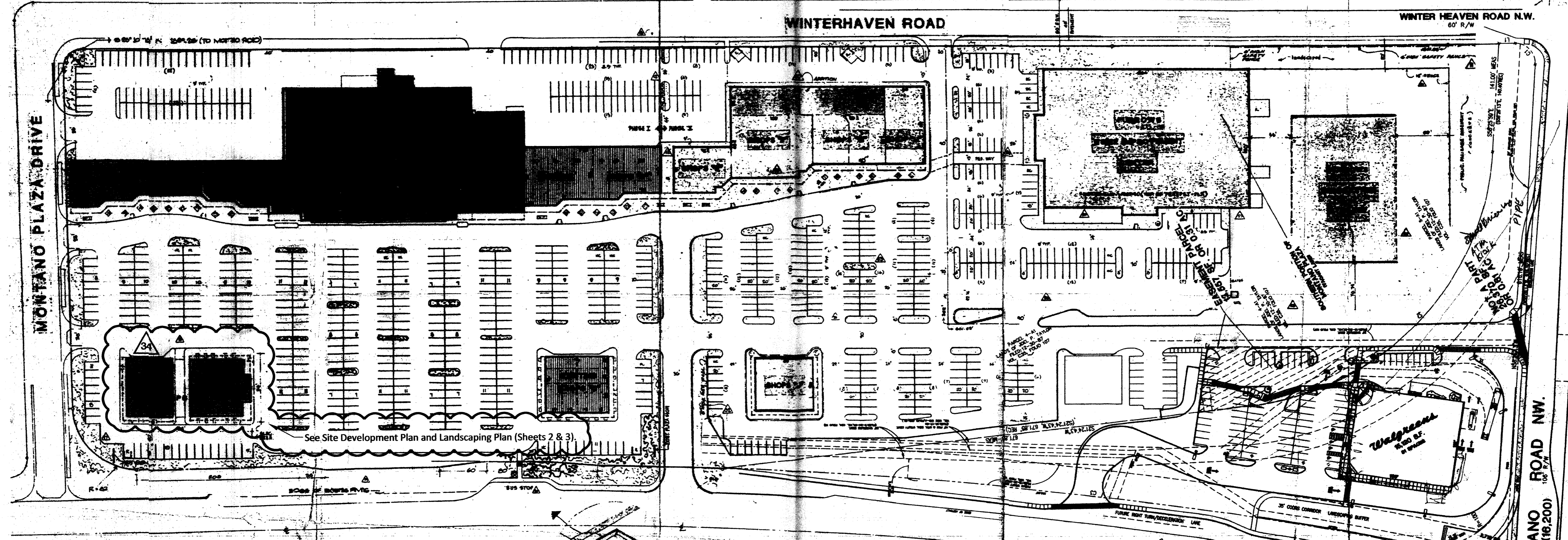
PROJECT#: 100770  
DATE: 5-21-14

# MONTANO PLAZA

EAST CORNER COORS ROAD AND MONTANO ROAD NW  
ALBUQUERQUE, NEW MEXICO



*Handwritten notes and signatures:*  
 3/1/14  
 3/1/14  
 3/1/14  
 3/1/14  
 3/1/14



**SITE PLAN**  
AUGUST 23, 2011 REVISION  
REVISED 6/10/10 - R

- NOTES**
1. SITE NOT TO EXCEED 5' HIGHER THAN 200' SE BENCH
  2. BUILDINGS IN PHASE I - SHOPS #1, #2, BLDG. BRES 3 & BLDG. BRES 4 - NOT TO EXCEED 10' HEIGHT. Height shall be regulated by the Coors Corridor Plan.
  3. HEIGHTS OF ALL BUILDINGS SHALL BE ADJUSTED TO MAINTAIN VISUAL CORRIDOR (SEE CORRIDOR PLAN)
  4. ANY VISIBLE ROOFTOP EQUIPMENT TO BE SCREENED.
  5. ALL BUILDINGS SHALL CONFORM TO SIMILAR ARCHITECTURAL DESIGN, WITH SOME EXTERIOR COLORS - OFF WHITE, TAN, OR BROWN BRICK & ACCENT COLOR.

- 34 January, 2014 - Administrative Amendment; Applies to Pad Sites "D" only.
- Replaces 2 buildings at NW corner with proposed Applebees restaurant.
  - Amends height restrictions to allow elevator tower, rooftop patio, and screening of rooftop equipment.
  - Allows minor variation in color and architectural style.

PHASE I		PHASE II	
SHOPS "A" (EXISTING)	13,230 SF	SHOPS "E"	4,241 SF
ALBERTSONS	44,000 "	SHOPS "F"	12,271 "
REVCO	6,430 "	SHOPS "G"	2,681 "
SHOPS "B"	11,130 "	SHOP "H"	5,012 "
SHOPS "C"	5,800 "	SHOPS "E, G & H"	23,992 SF
SHOPS "D" (PROPOSED) (1)	4,990 "	FURROWS STD	48,600 "
SHOPS "D" (2)	5,020 "	FURROWS STR	24,000 "
TOTAL AREA	92,600 SF	SHOPS "J"	5,600 "
		SHOPS "K"	4,588 "
		TOTAL AREA	113,649 - 106,700 SF

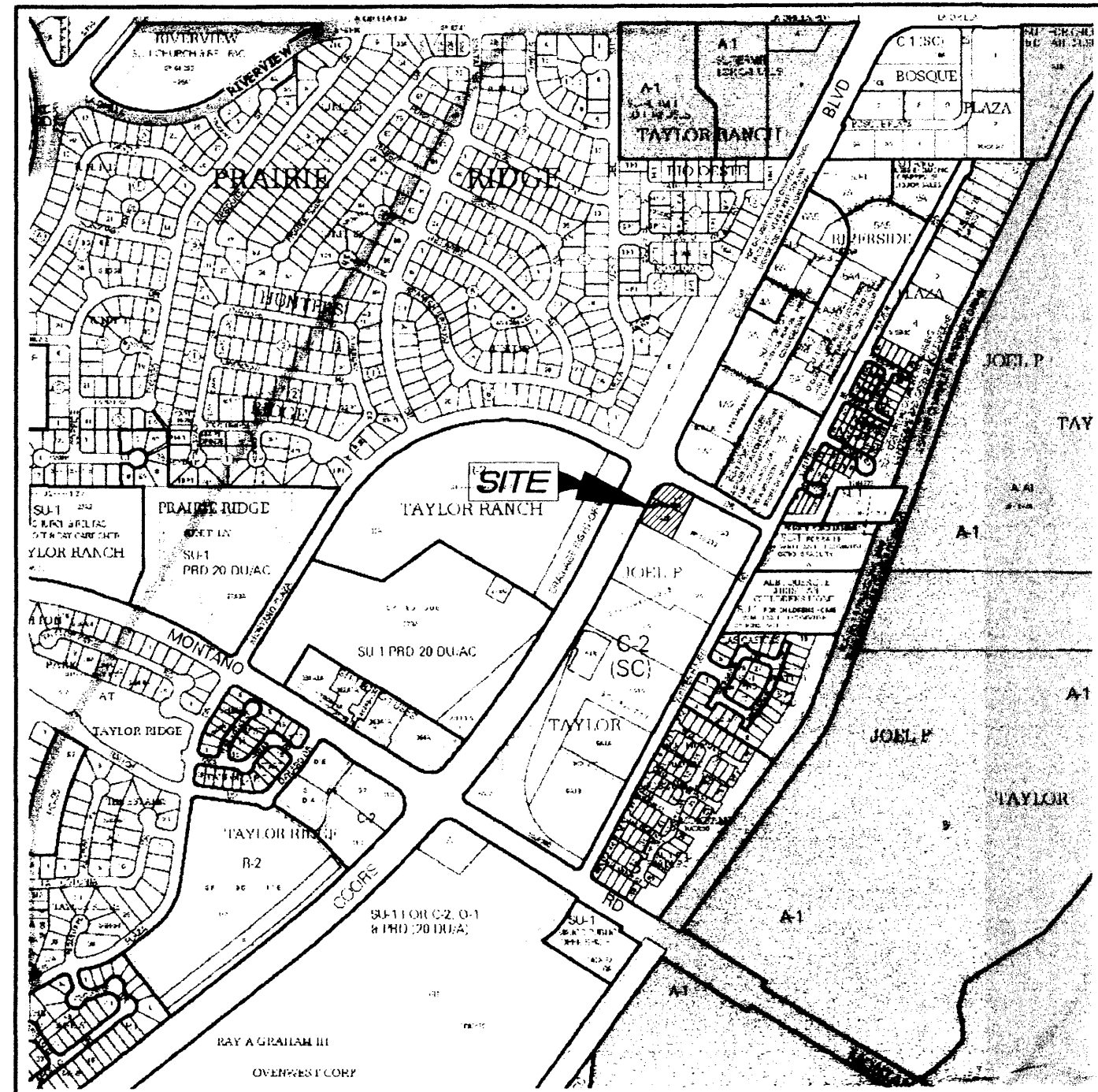
<TOTAL AREA - PHASE I + PHASE II = 199,340 SF>

**PARKING SPACES**  
 REQUIRED: 179,360 / 200 = 897  
 CREDITS: 8.16 LOTS (100) = 816  
 TOTAL REQUIRED: (897 - 816) = 81

**SPACES SHOWN:**  
 PHASE I = 460  
 PHASE II = 360

**ADMINISTRATIVE AMENDMENT CHECK**  
 SHOPS #1 & #2 REPLACED BY 6000 SF LANDSCAPED PARKING. SIDEWALK ADJUSTED ACCORDINGLY. PEDESTRIAN PATHWAY ADDED.  
 CROWN CURBS ADDED, SEE EXHIBITIVES.  
 TRUCK SERVICE LANE ADDED & MARKED.  
 OVERHEAD POLE ADDED, SEE EXHIBITIVES.  
 2' WOOD FENCE CHANGED TO 12"  
 CONFORMANCE WITH THE FOLLOWING: NORTH & SOUTH SIDEWALKS ADDED; SIGNAGE ON BUILDING FRONT.

- REVISIONS PER EPC COMMENTS OF 2-19-14
- ▲ PARKING ADJUSTED TO ALLOW PEDESTRIAN LINK TO PARKING
  - ▲ SHOPS #1 & #2 ADJUSTED TO ALLOW PEDESTRIAN PASSAGEWAY
  - ▲ PEDESTRIAN ACCESS TO WINTERHAVEN ROAD ADDED
  - ▲ STREET IMPROVEMENTS AND LANDSCAPING TO BE CONSTRUCTED AT INTERSECTION OF TRAFFIC ENGINEER
  - ▲ END ISLANDS CHANGED TO 8' (TYP.)
  - ▲ 30' BUFFER @ INTERCHANGE R.O.M. SHOWN. 30' INTERIOR ON INSIDE ONLY
  - ▲ 12' FENCE TO BE SOLID WOOD, 18" HIGH - SEE EXHIBITIVES
  - ▲ REQUIRED R.O.M. FOR TURN @ MONTANO PLAZA DRIVE SHOWN. PROPOSED SIGN RELAYED
  - ▲ PEDESTRIAN SURFACE PROVIDED BETWEEN BUILDINGS "B"
  - ▲ SIDEWALK @ COORS TO BE CONSTRUCTED @ TRAFFIC ENGINEER'S REQUEST
  - ▲ SHELTER AND BAY PROVIDED BY DEVELOPER
  - ▲ PARKING SPACES REVERSED AS PER SUBMITTAL & EPC COMMENTS
  - ▲ ADDITIONAL 2' @ TURN ADJUSTED FOR SIGN SET PER TRAFFIC ENGINEER'S REQUEST.



**VICINITY MAP**  
Not To Scale

**GENERAL NOTES**

- Bearings are grid and based on the New Mexico State Plane Coordinate System, Central Zone (NAD83).
- Distances are ground.
- Distances along curved lines are arc lengths.
- Record Plat or Deed bearings and distances, where they differ from those established by this field survey, are shown in parenthesis ( ).
- All corners found in place and held were tagged with a brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- All corners that were set are either a 5/8" rebar with cap stamped "HUGG L.S. 9750" or a concrete nail with brass disk stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- City of Albuquerque Zone Atlas Page E-12.

**SUBDIVISION DATA**

- Total number of existing Parcels: 2
- Total number of Parcels created: 1
- Gross Subdivision acreage: 0.9076 acres.

**SECTION 14-14-4-7 PROHIBITION ON PRIVATE RESTRICTIONS ON THE INSTALLATION OF SOLAR COLLECTORS**

"No property within the area of this plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat."

**TREASURERS CERTIFICATION**

This is to certify that taxes are current and paid on the following:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Bernalillo County Treasurer \_\_\_\_\_ Date \_\_\_\_\_

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical services.
- New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest d/b/a CenturyLink QC for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services.
- Cable TV for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable services.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, replace, modify, renew, operate and maintain facilities for purposes described above, together with free access to, from, and over said easements, with the right and privilege of going upon, over and across adjoining lands of Grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of Grantee, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformer/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

**DISCLAIMER**

In approving this plat, Public Service Company of New Mexico (PNM), Qwest Corporation d/b/a Centurylink QC and New Mexico Gas Company (NMGC) did not conduct a Title Search of the properties shown hereon. Consequently, PNM, Centurylink and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

**PURPOSE OF PLAT**

The purpose of this plat is to:

Combine two (2) existing parcels into one (1) parcel.

PROJECT #: 1001770  
DATE: 5-21-14  
APP #: 14-70150 (P/F)  
14-70151 (S/B)  
14-70152 (S/P)

PLAT OF  
PARCEL 1-A-1-A-1  
**LANDS OF JOEL P. TAYLOR**  
(BEING A REPLAT OF PARCELS 1-A-1-A AND 1-A-2-A, LANDS OF JOEL P. TAYLOR)  
WITHIN  
SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST  
NEW MEXICO PRINCIPAL MERIDIAN  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
APRIL, 2014

PROJECT NUMBER: \_\_\_\_\_  
Application Number: \_\_\_\_\_

**PLAT APPROVAL**

UTILITY APPROVALS:

*Fernando Vigil* 5-12-14  
Public Service Company of New Mexico Date

*JGH* 5/12/14  
New Mexico Gas Company Date

QWest Corporation d/b/a CenturyLink QC \_\_\_\_\_ Date  
*[Signature]* 5/12/14  
Comcast Date

CITY APPROVALS:  
*[Signature]* 5-12-14  
City Surveyor Date  
Department of Municipal Development

Real Property Division \_\_\_\_\_ Date

Environmental Health Department \_\_\_\_\_ Date

Traffic Engineering, Transportation Division \_\_\_\_\_ Date

ABCWUA \_\_\_\_\_ Date

Parks and Recreation Department \_\_\_\_\_ Date

AMA/CA \_\_\_\_\_ Date

City Engineer \_\_\_\_\_ Date

DRB Chairperson, Planning Department \_\_\_\_\_ Date

**SURVEYORS CERTIFICATION**

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.

*[Signature]*  
Russ P. Hugg  
NMPS No. 9750  
April 28, 2014



PLAT OF  
**PARCEL 1-A-1-A-1**  
**LANDS OF JOEL P. TAYLOR**  
 (BEING A REPLAT OF PARCELS 1-A-1-A AND 1-A-2-A, LANDS OF JOEL P. TAYLOR)  
 WITHIN  
**SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST**  
**NEW MEXICO PRINCIPAL MERIDIAN**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**  
 APRIL, 2014

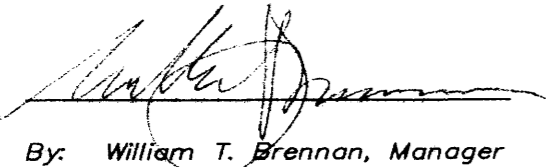
**LEGAL DESCRIPTION**

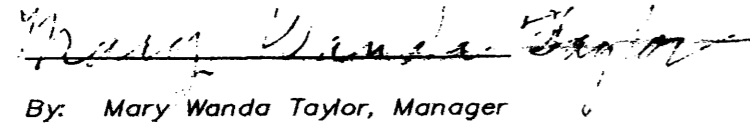
Parcels 1-A-1-A and 1-A-2-A, Lands of Joel P. Taylor, City of Albuquerque, Bernalillo County, New Mexico, as the same are shown and designated on the plat entitled "PLAT OF PARCELS 1-A-1-A AND 1-A-2-A, LANDS OF JOEL P. TAYLOR, ALBUQUERQUE, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on November 21, 1990, in Plat Book 90C, folio 287.

**FREE CONSENT**

SURVEYED AND REPLATTED and now comprising "PLAT OF PARCEL 1-A-1-A-1, LANDS OF JOEL P. TAYLOR (BEING A REPLAT OF PARCELS 1-A-1-A AND 1-A-2-A, LANDS OF JOEL P. TAYLOR) WITHIN SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", is with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s). Said owner(s) and proprietor(s) do hereby warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby certify that they are so authorized to act.

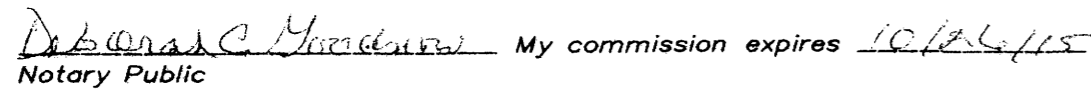
Taylor Family LLC Number 3, a New Mexico limited liability company

  
 By: William T. Brennan, Manager

  
 By: Mary Wanda Taylor, Manager

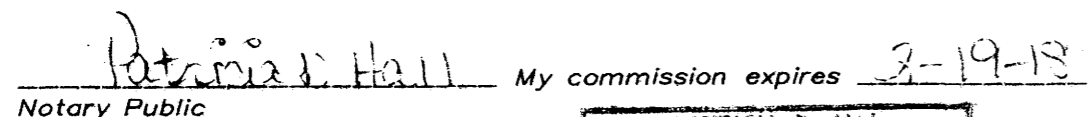
**ACKNOWLEDGMENT**

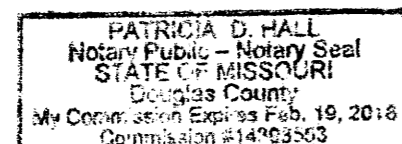
STATE OF New Mexico SS  
 COUNTY OF Bernalillo  
 The foregoing instrument was acknowledged before me this 8th  
 day of May, 2014, by William T. Brennan  
 as Manager of Taylor Family LLC Number 3.

 My commission expires 10/12/15  
 Notary Public

**ACKNOWLEDGMENT**

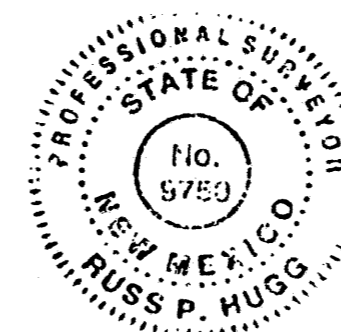
STATE OF Missouri SS  
 COUNTY OF Douglas  
 The foregoing instrument was acknowledged before me this 5  
 day of May, 2014, by Mary Wanda Taylor  
 as Manager of Taylor Family LLC Number 3.

 My commission expires 2-19-18  
 Notary Public



**DOCUMENTS USED IN THE PREPARATION OF THIS SURVEY:**

- A. Plat entitled "SUMMARY REPLAT SHOWING TRACTS A-1-A-1, A-1-A-2 & A-1-A-3, OF THE PLAT OF LANDS OF JOEL P. TAYLOR, SITUATE WITHIN SECTION 25, T11N, R2E, N.M.P.M., BERNALILLO COUNTY, NEW MEXICO, MARCH 1983", filed March 31, 1983, in Volume C21, Page 19, records of Bernalillo County, New Mexico.
- B. Plat entitled "SUMMARY REPLAT SHOWING PARCELS "1", "2", "3" AND "4", OF THE PLAT OF LANDS OF JOEL P. TAYLOR, SITUATE WITHIN SECTION 25, T11N, R2E, N.M.P.M., BERNALILLO COUNTY, NEW MEXICO, AUGUST 1983", filed September 16, 1983, in Volume C22, Page 37, records of Bernalillo County, New Mexico.
- C. Plat entitled "SUMMARY REPLAT SHOWING PARCELS "1-A", "2-A", "3-A", "4-A" AND "5-A", OF THE PLAT OF LANDS OF JOEL P. TAYLOR, SITUATE WITHIN SECTION 25, T11N, R2E, N.M.P.M., BERNALILLO COUNTY, NEW MEXICO, APRIL 1984", filed May 24, 1984, in Volume C24, Page 18, records of Bernalillo County, New Mexico.
- D. Plat entitled "REPLAT SHOWING PARCELS "1-A-1", "1-A-2", AND "1-A-3", OF THE PLAT OF LANDS OF JOEL P. TAYLOR, SITUATE WITHIN SECTION 25, T11N, R2E, N.M.P.M., BERNALILLO COUNTY, NEW MEXICO, APRIL 1985", filed May 22, 1985, in Volume C27, Page 59, records of Bernalillo County, New Mexico.
- E. Plat entitled "REDIVISION OF PARCELS "4-A" AND "5-A", (NOW COMPRISING PARCELS "4-A1", "5-A1" & "5-A2") LANDS OF JOEL P. TAYLOR, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, APRIL 1987", filed December 30, 1987, in Volume C35, Page 107, records of Bernalillo County, New Mexico.
- F. Plat entitled "PLAT OF PARCELS 1-A-1-A AND 1-A-2-A, LANDS OF JOEL P. TAYLOR, ALBUQUERQUE, NEW MEXICO, JUNE 1990", filed November 21, 1990, in Volume 90C, Page 287, records of Bernalillo County, New Mexico.
- G. Plat entitled "PLAT OF PARCELS 4-A-1-A AND 4-A-1-B, LANDS OF JOEL P. TAYLOR, ALBUQUERQUE, NEW MEXICO, APRIL 1990", filed November 28, 1990, in Volume 90C, Page 289, records of Bernalillo County, New Mexico.
- H. Plat entitled "PLAT OF PARCEL 5-A2-A, LANDS OF JOEL P. TAYLOR, WITHIN SECTION 25, TOWNSHIP 11 NORTH, RANGE 2 EAST, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, MARCH 2001", filed June 29, 2001, in Volume 2001C, Page 183, records of Bernalillo County, New Mexico.
- I. Plat entitled "PARCELS 5-A1-A AND 5-A1-B, LANDS OF JOEL P. TAYLOR, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, MARCH 2003", filed May 13, 2003, in Volume 2003C, Page 132, records of Bernalillo County, New Mexico.
- J. Unfiled survey entitled "A.L.T.A./A.C.S.M. LAND TITLE SURVEY OF TRACT PARCEL 5-A1, LANDS OF JOEL P. TAYLOR, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, MARCH, 2003, prepared by Russ P. Hugg, NMPS No. 9750, for SURV-TEK, INC., Albuquerque, New Mexico.
- K. Unfiled survey entitled "A.L.T.A./A.C.S.M. LAND TITLE SURVEY OF TRACT PARCEL 5-A1-A, LANDS OF JOEL P. TAYLOR, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, OCTOBER, 2004, REVISED NOVEMBER 16, 2004, prepared by Russ P. Hugg, NMPS No. 9750, for SURV-TEK, INC., Albuquerque, New Mexico.
- L. Title Report prepared for this property by Commonwealth Land Title Insurance Company and underwritten by LandAmerica Albuquerque Title, Commitment for Title Insurance No. 6212000319, dated January 3, 2006.



SHEET 2 OF 3

**SURV-TEK, INC.**

Consulting Surveyors  
 9384 Valley View Drive, N.W. Albuquerque, New Mexico 87114  
 Phone: 505-897-3368 Fax: 505-897-3377