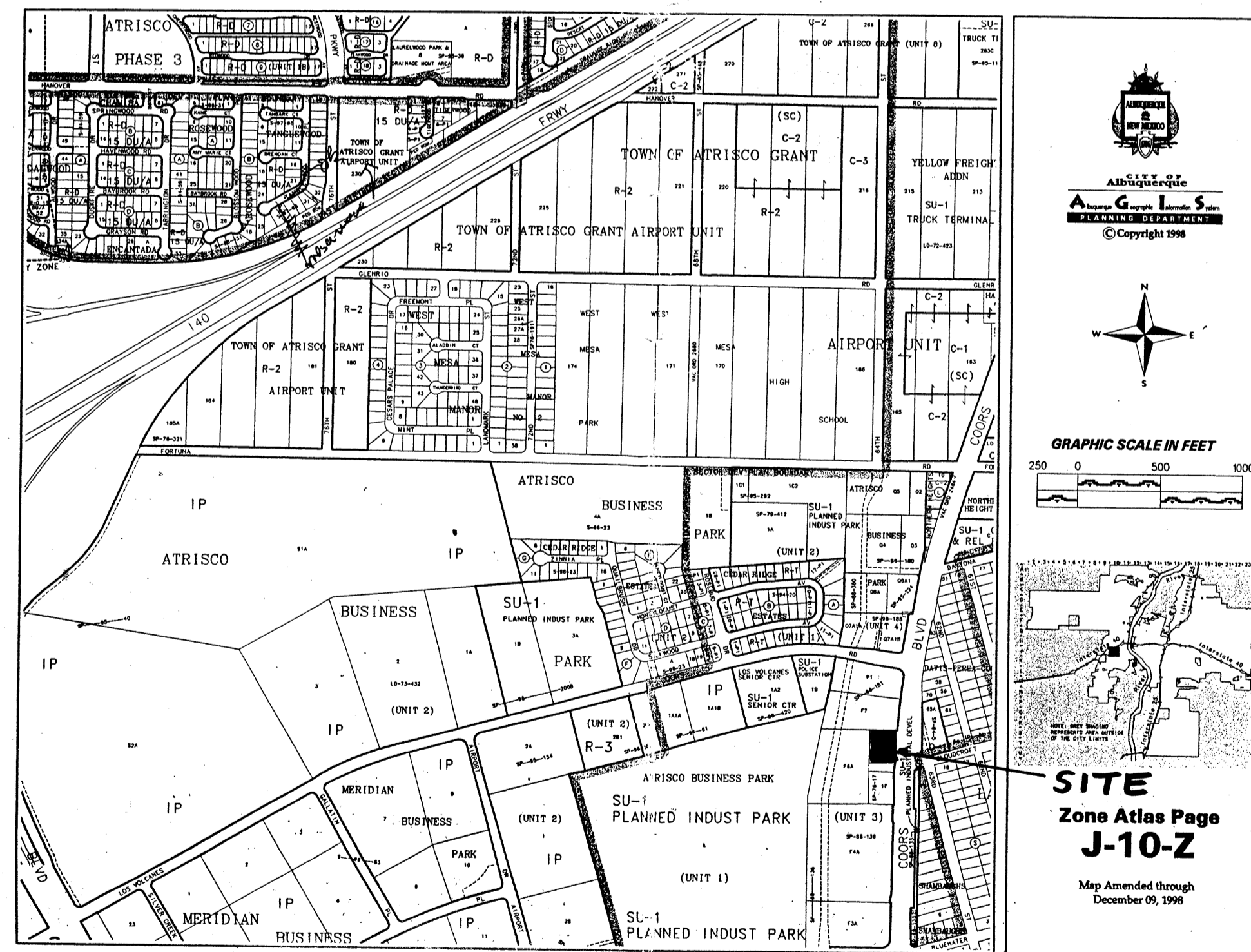


# COVER SHEET

ADDRESS 465 COORS BLVD. N.W

LEGAL DESCRIPTION LOT 2-F-1  
ATRISCO BUSINESS PARK  
UNIT I

PROJECT # 1001771



**MASTER DEVELOPMENT PLAN CHECKLIST**

THE CITY OF ALBUQUERQUE ENVIRONMENTAL PLANNING COMMISSION SHALL DELEGATE INDIVIDUAL SITE PLAN AND DEVELOPMENT REVIEW TO THE DEVELOPMENT REVIEW BOARD (DRB) BASED UPON THIS CHECKLIST. THE FOLLOWING CONDITIONS MUST BE COMPLIED WITH PRIOR TO SITE PLAN APPROVAL PRIOR TO SITE PLAN APPROVAL BY DRB.

A. COMPLIANCE WITH MASTER DEVELOPMENT PLAN	SHEET
1. INTENSITY FLOOR AREA RATIO, MAXIMUM AVERAGE 0.3	3,4 of 10
2. SETBACKS	3 of 10
3. ARCHITECTURE	5 of 10
4. LANDSCAPING	3 of 10
5. PARKING	3,4 of 10
6. LIGHTING	4 of 10
7. SIGNAGE	4 of 10
8. SCREENING, REFUSE, STORAGE	4 of 10
9. GRADING AND DRAINAGE	6,8,9 of 10

**INDEX TO DRAWINGS**

CS-	COVER SHEET
C-1	SITE PLAN AND LANDSCAPING PLAN
10F 1-	GRADING AND DRAINAGE PLAN
S-1	FOUNDATION PLAN AND DETAILS
S-2	CANOPY FRAMING AND DETAILS
A-1	Floor plan and schedules
A-2	EXTERIOR ELEVATIONS
A-3	SECTIONS AND DETAILS
E-1	ELECTRICAL ROUGH IN PLAN
M-1	HVAC ROUGH IN PLAN
P-1	PLUMBING ROUGH IN PLAN

PROJECT NUMBER: 1001771  
APPLICATION NUMBER: 02 DRB-00339

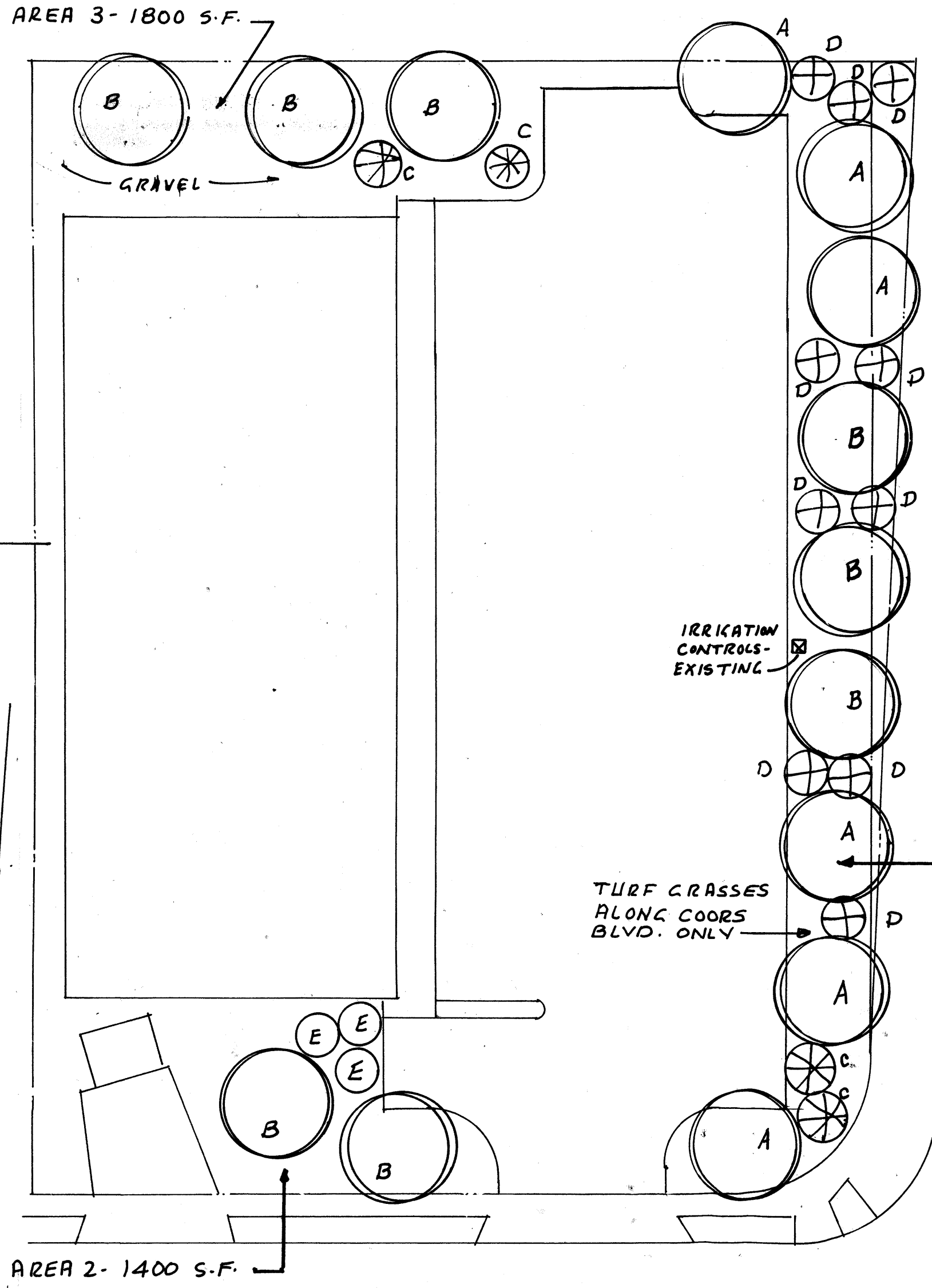
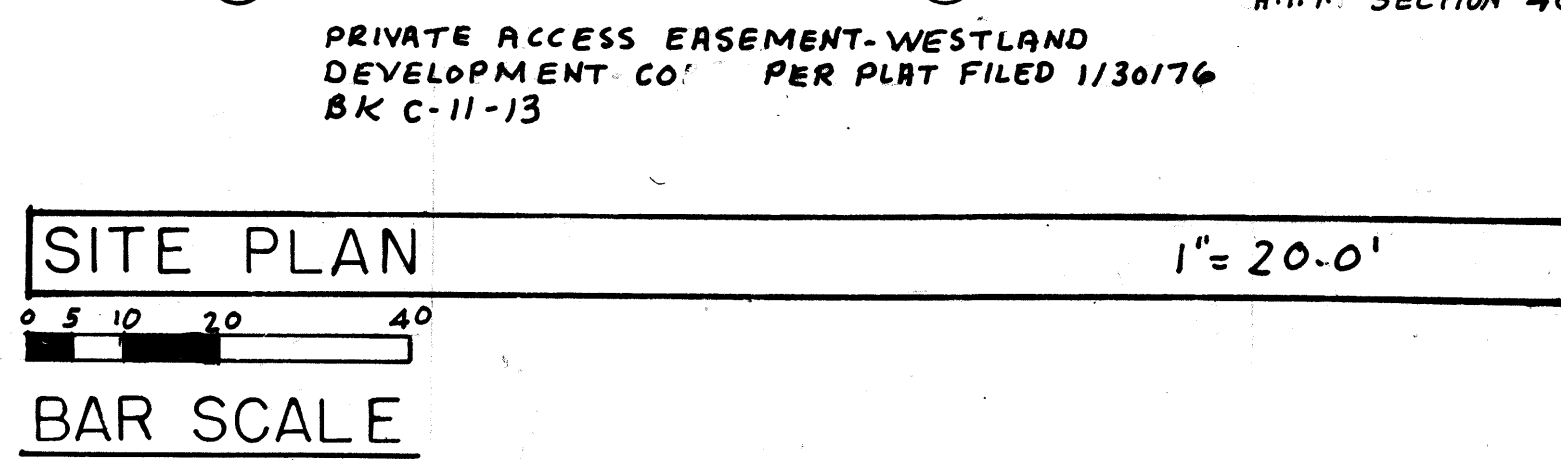
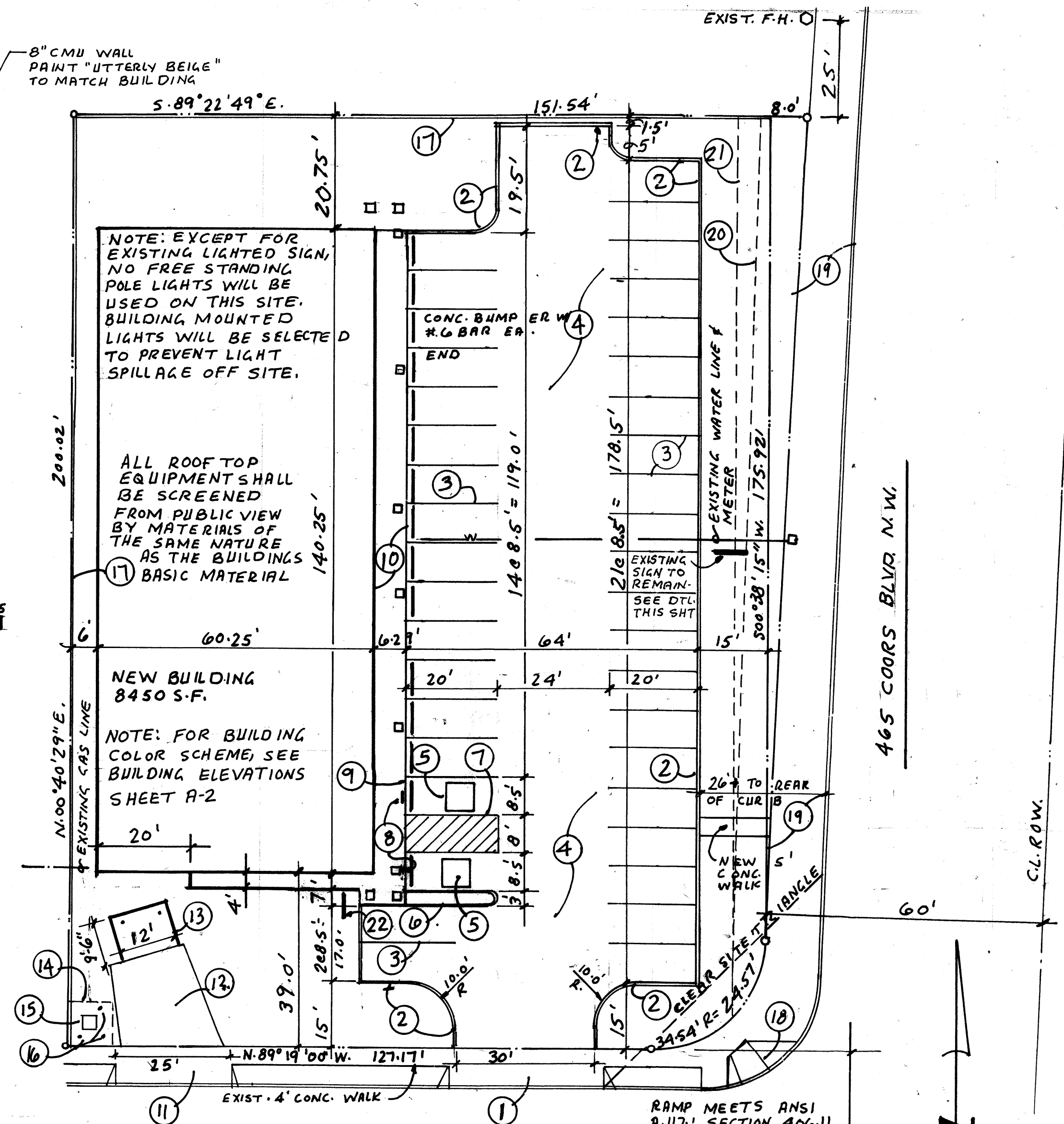
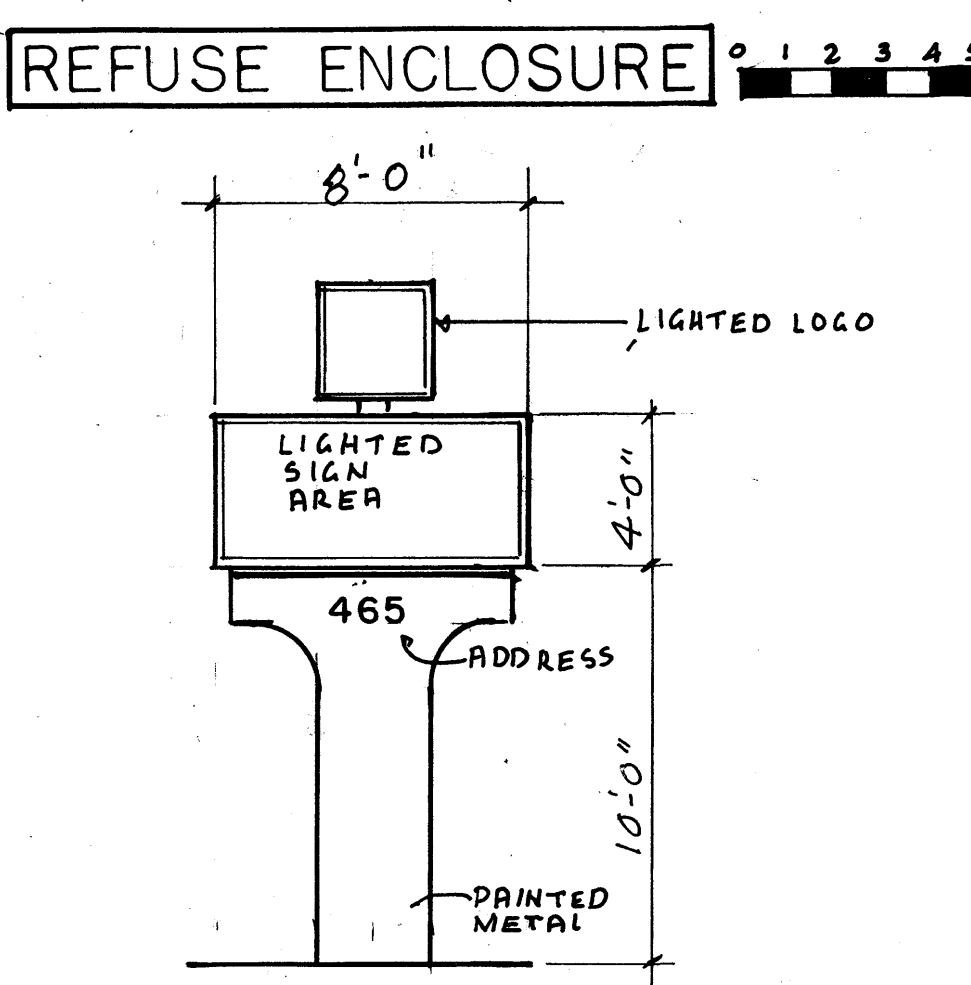
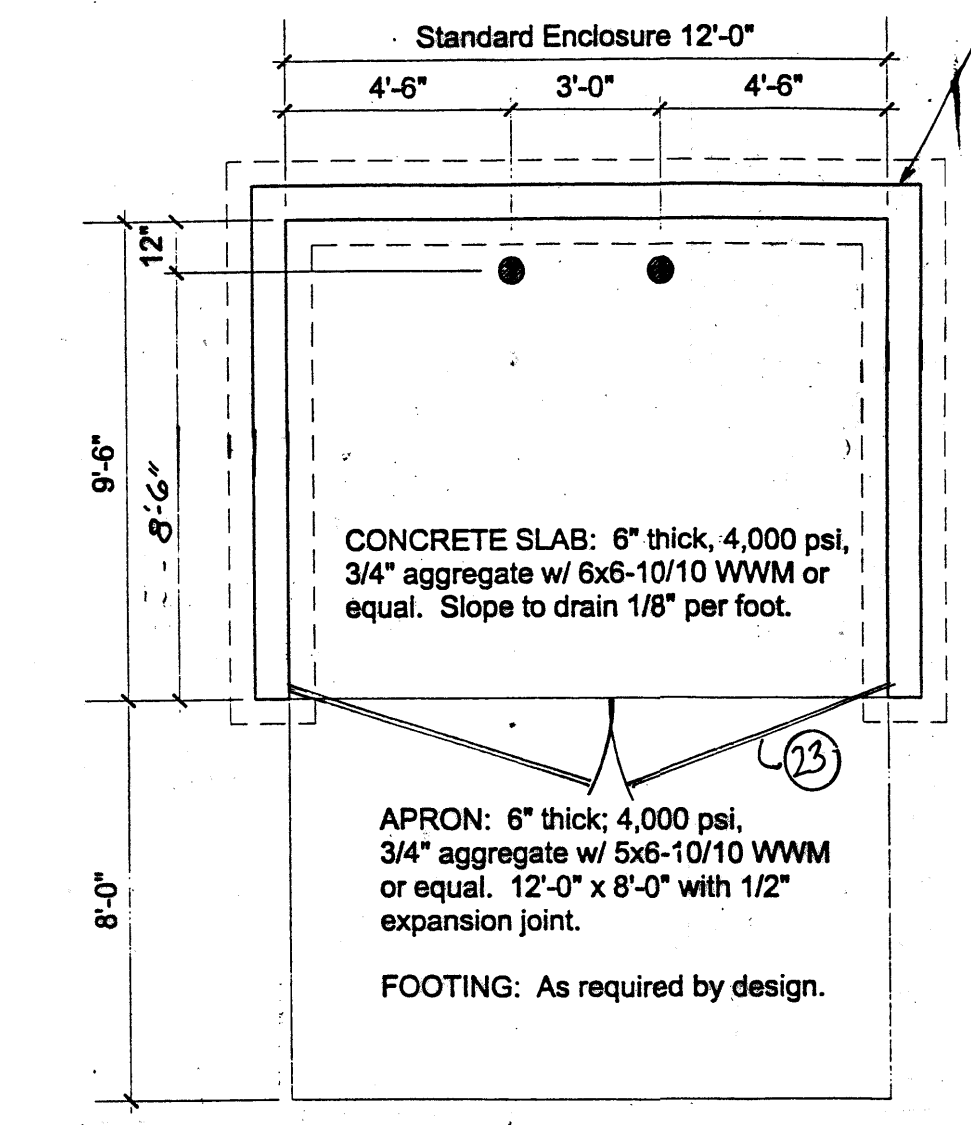
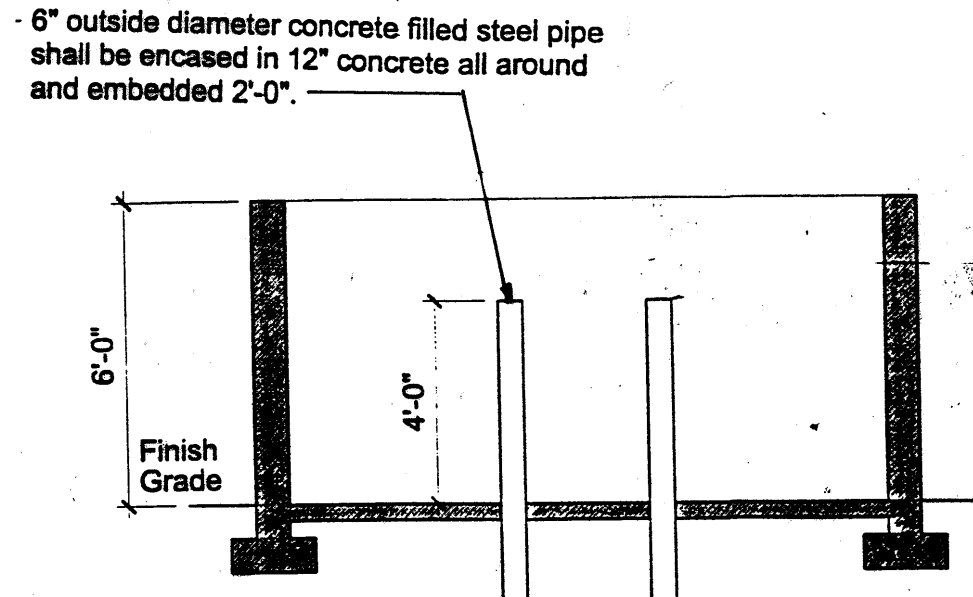
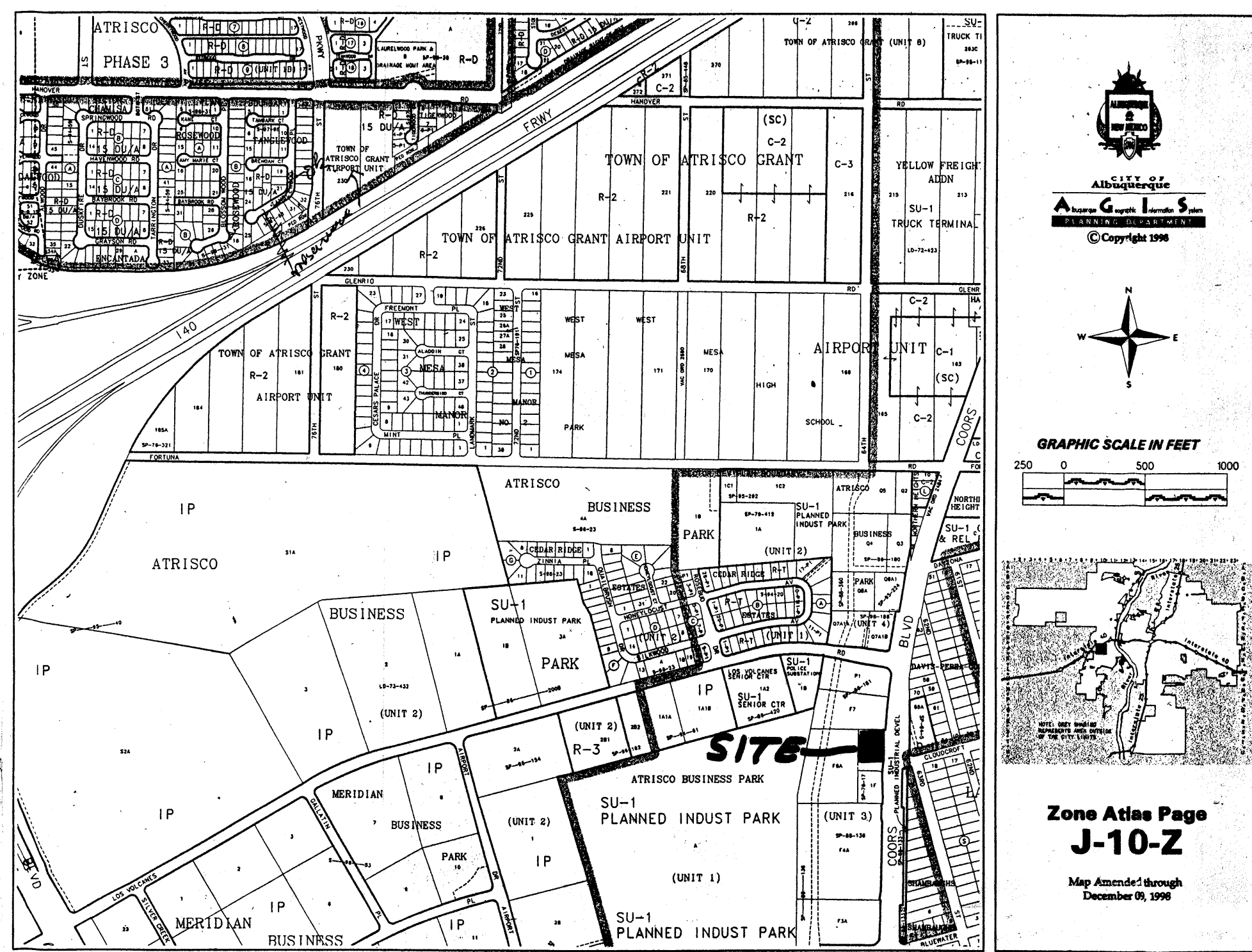
<i>[Signature]</i> SOLID WASTE DEPARTMENT	<u>3-20-2002</u> DATE
<i>[Signature]</i> ENVIRONMENTAL HEALTH DEPT Traffic Engineer, Transportation Division	<u>4-17-02</u> DATE
<i>[Signature]</i> Parks & Recreation Department	<u>4-17-02</u> DATE
<i>[Signature]</i> Public Works, Water Utilities Division	<u>4-17-02</u> DATE
<i>[Signature]</i> City Engineer, Engineering Division / AMAFCA	<u>4-17-02</u> DATE

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

*[Signature]* 6/24/02  
City Planner, Albuquerque DATE

BUILDING SHELL FOR MR. FRANK BARELA  
LOT 2-F-1, ATRISCO BUSINESS PARK UNIT I  
465 COORS BLVD., N.W.  
ALBUQUERQUE, NEW MEXICO

COVER SHEET	
PROJECT	DATE
0201	10/01/02
BY	
RBM	
RICHARD B. MOELLER ARCHITECT 3737 BIG BEND RD. N.E. ALBUQUERQUE, NEW MEXICO 87111 - 4361 (505) 294-2891	SHEET NO. <b>CS</b>



**LANDSCAPING PLAN** 1" = 20'-0"

LOT AREA- 30,181 S.F. = 0.6929 AC±  
 BUILDING AREA- 8450 S.F.  
 NET LOT- 21,731 S.F. X 20% = 4346 S.F. REQUIRED LANDSCAPING  
 LANDSCAPING PROVIDED- 5975 S.F. X .75 = 4481 S.F. PLANTING REQUIRED

PLANTING LEGEND	
A. MODESTO ASH - EXISTING	6 @ 250 S.F. EA = 1500 S.F.
B. MODESTO ASH - NEW, 2"	8 @ 250 S.F. EA = 2000 S.F.
C. LAMBER PINE - 2" - 4"	4 @ 200 S.F. = 800 S.F.
D. DESERT SAGE - 10 @ 20 S.F. =	200 S.F.
E. APACHE PLUME - 3 @ 20 S.F. =	60 S.F.
<b>TOTAL AREA ALL PLANTINGS</b>	<b>4660 S.F.</b>
<b>REQUIRED PLANTING AREA</b>	<b>4481 S.F.</b>

ALL AREAS TO RECEIVE GRAVEL GROUND COVER, EXCEPT AS NOTED.  
 DRIP IRRIGATION SYSTEM TO BE INSTALLED.  
 ALL LANDSCAPING MAINTENANCE TO BE OWNERS RESPONSIBILITY.

- LEGAL DESCRIPTION:**  
 LOT 2-F-1  
 ATRISCO BUSINESS PARK  
 UNIT 1  
 465 Coors Blvd., N.W.  
 ALBUQUERQUE, NEW MEXICO
- PARKING COUNT:**  
 8450/200= 42.5 SPACES REQUIRED.  
 LESS 10% BUS LINE CREDIT 4.25 SPACES  
**TOTAL REQUIRED- 38.25 SPACES**  
**SPACES PROVIDED- 39**  
**HANDICAPPED SPACES PROVIDED AND REQUIRED- 2 SPACES**
- KEYED NOTES**
- EXISTING CURB CUT TO BE REUSED AS IS.
  - CONC. CURB, REUSE EXISTING WHERE POSSIBLE.
  - 4" WIDE WHITE PARKING STRIPE.
  - ASPHALT PAVING, EXISTING TO BE REUSED OR REMOVED DEPENDING ON SITE CONDITIONS.
  - HANDICAPPED PARKING SYMBOL PAINTED ON ASPHALT.
  - ISLAND WITH CURB ALL SIDES.
  - BLUE STRIPED HANDICAPPED ACCESS ATISLE.
  - HANDICAPPED PARKING SIGN, 48" HIGH, ADD WORDS "VAN ACCESSIBLE"
  - TOP OF PAVING AT HANDICAPPED SPACES FLUSH WITH TOP OF CONC. WALK.
  - NEW CONC. WALK.
  - EXISTING CURB CUT TO REFUSE AREA.
  - EXISTING REFUSE ACCESS DRIVE, REUSE OR REPLACE.
  - NEW REFUSE BIN ENCLOSURE TO CITY OF ALBUQUERQUE STANDARDS.
  - UNDERGROUND ELECTRIC EASEMENT.
  - EXISTING TRANSFORMER.
  - EXISTING STEEL PIPE BOLLARDS.
  - EXISTING PERIMETER BLOCK WALL TO REMAIN.
  - EXISTING HANDICAPPED ACCESS RAMP TO REMAIN.
  - EXISTING WALK TO REMAIN, WIDTH VARIES 8'-0" TO 11'-0".
  - EXISTING 7'-0" WIDE EASEMENT.
  - EXISTING 7'-0" WIDE UTILITY EASEMENT.
  - EXISTING 7'-0" WIDE UTILITY EASEMENT.
  - STEEL PIPE BIKE RACK, 4 SPACES.
  - 2'-6" X 5'-0" WOOD GATES, STEEL OR WOOD FRAME, PAINT "REALT BEGE"

**SPECIAL NOTES-TRANSPORTATION**

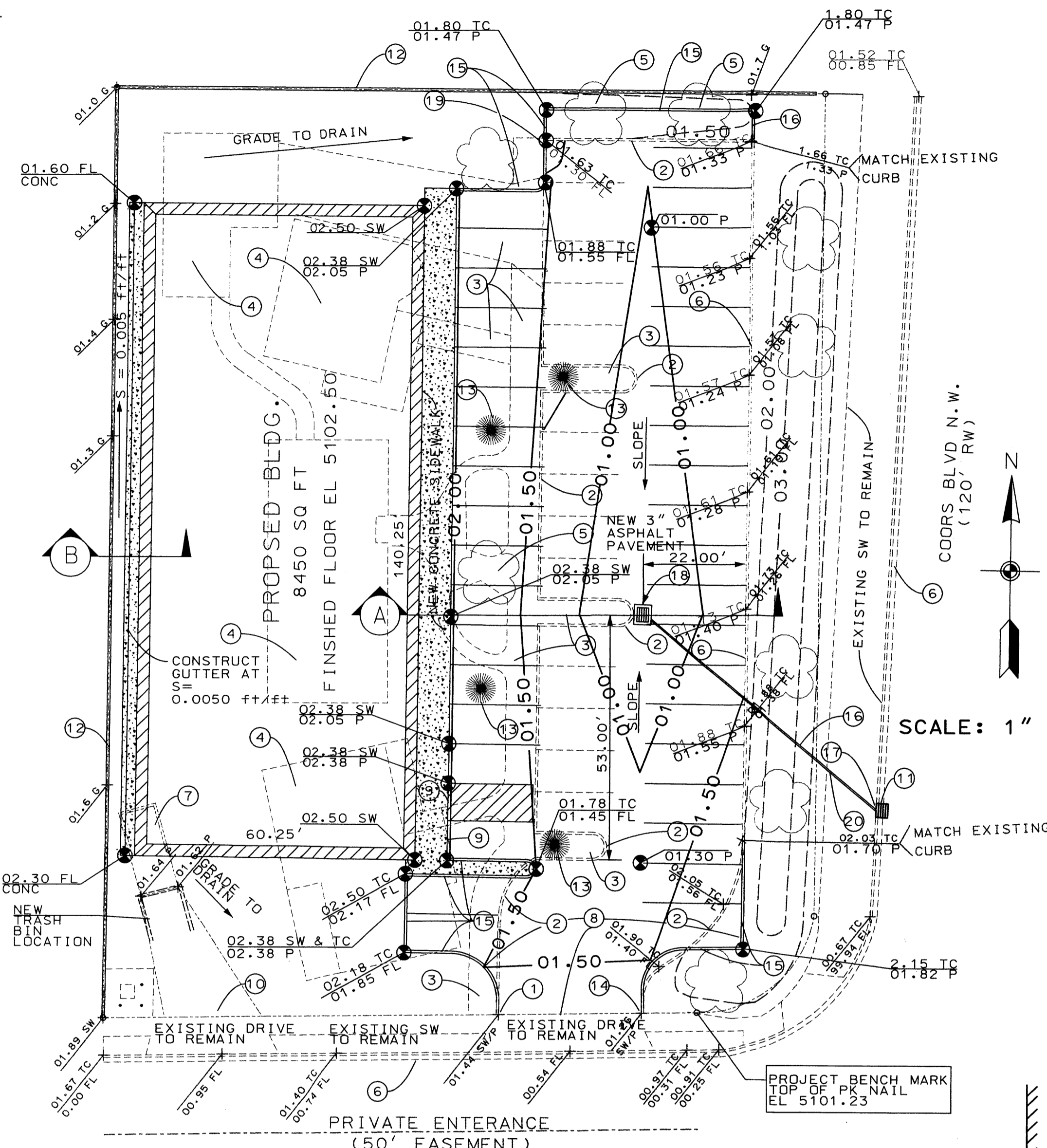
AN AS BUILT COPY OF THE APPROVED TCL MUST BE SUBMITTED BY THE DESIGNER OF RECORD AS REQUIRED BY TRANSPORTATION DEVELOPMENT, INCLUDING A LETTER OF CERTIFICATION THAT THE SITE HAS BEEN CONSTRUCTED IN ACCORDANCE WITH THE TCL. VERIFICATION OF THE TCL CERTIFICABILITY INCLUDING RANDOM FIELD CHECKS WILL BE MADE BEFORE A FINAL CERTIFICATE OF OCCUPANCY WILL BE ISSUED. PLEASE CALL TRANSPORTATION OFFICE TO OBTAIN A TEMPORARY C.O.

SELECTED CONTRACTOR SHALL BE AWARE THAT THAT ANY AGREEMENT WITH THE OWNER STATING THAT PORTIONS OF PERMIT WORK CHOSEN TO BE COMPLETED BY THE OWNER HIS SELECTED REPRESENTATIVE OTHER THAN THE SELECTED CONTRACTOR WILL MOST LIKELY RESULT IN DELAY. THEREFORE, IF THIS APPLIES, CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL TRANSPORTATION WORK IS FINISHED.

THE RESPONSIBILITY FOR UNAUTHORIZED FIELD CHANGES WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND HIS CHOSEN SUBCONTRACTOR. THE RESPONSIBLE PARTY MUST CORRECT ALL UNAPPROVED CONSTRUCTION RESULTING FROM ERRORS ON THE APPROVED SITE PLAN UNLESS FIRST APPROVED BY THE ARCHITECT AND TRAFFIC ENGINEER.

THIS SITE PLAN HAS BEEN ACCEPTED AND APPROVED BY ALL PARTIES. ANY FIELD CHANGES NOT APPROVED BY TRAFFIC ENGINEER AFTER APPROVAL FOR BUILDING PERMIT WILL RESULT IN UNTIMELY DELAY FOR APPROVAL FOR FINAL CERTIFICATE OF OCCUPANCY IN ORDER TO CORRECT UNAPPROVED WORK AND INCREASE IN CONSTRUCTION COST TO RESPONSIBLE PARTIES.

BUILDING SHELL FOR MR. FRANK BARELA LOT 2-F-1; ATRISCO BUSINESS PARK UNIT 1 465 COORS BLVD., N.W. ALBUQUERQUE, NEW MEXICO	
SHEET	
SITE PLAN	
PROJECT	DATE
0201	10/01/02
BY	
RBM	
RICHARD B. MOELLER ARCHITECT	SHEET NO
3737 BIG BEND RD. N.E. ALBUQUERQUE, NEW MEXICO 87111 - 4361 (505) 294-2891	C-1



**GENERAL CONSTRUCTION NOTES:**

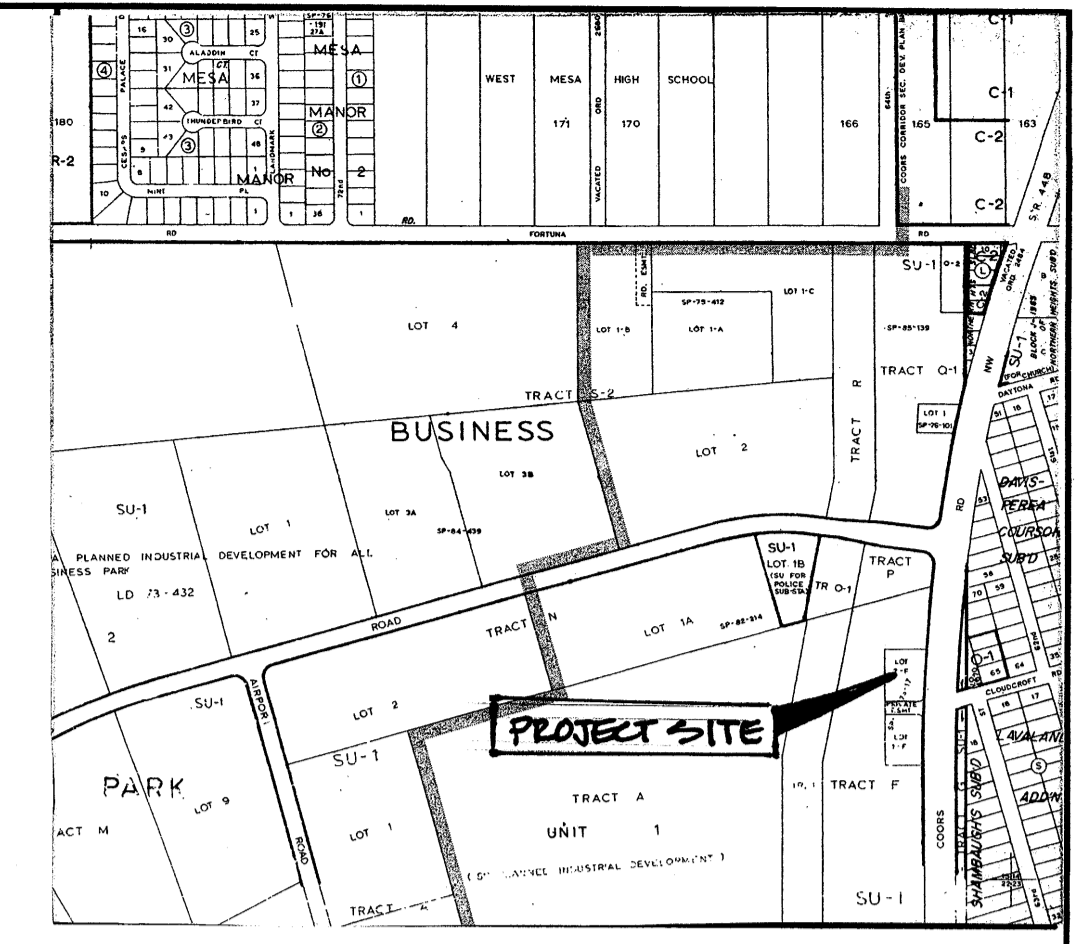
- 1 EXISTING HOUSES AND GARAGE TO BE REMOVED BY OTHERS.
- 2 EXISTING CURB AND SIDEWALK TO BE REMOVED AT LOCATIONS DESIGNATED.
- 3 EXISTING PAVEMENT TO BE REMOVED AND DISPOSED OF.
- 4 SOFT DEFORMED AREAS IN EXISTING SUBGRADE TO BE REPAIRED BEFORE APPLICATION OF NEW PAVEMENT.
- 5 NEW PAVEMENT TO BE 3" OF ASPHALT CONSTRUCTED TO GRADES SHOWN. SUBGRADE TO BE COMPACTED TO 95% OF MAXIMUM DENSITY.
- 6 EXISTING YARD LIGHTS AND UNDERGROUND ELECTRICAL ARE TO BE REMOVED OR ABANDONED.
- 7 CONSTRUCT 4" CONCRETE GUTTER AS DETAILED AND TO GRADES SHOWN.
- 8 SEE SITE PLAN FOR PARKING SPACE STRIPING AND SIGNING REQUIREMENTS.
- 9 EXISTING SPRINKLER SYSTEM TO BE ADJUSTED OR REMOVED AS REQUIRED.

**KEYED NOTES:**

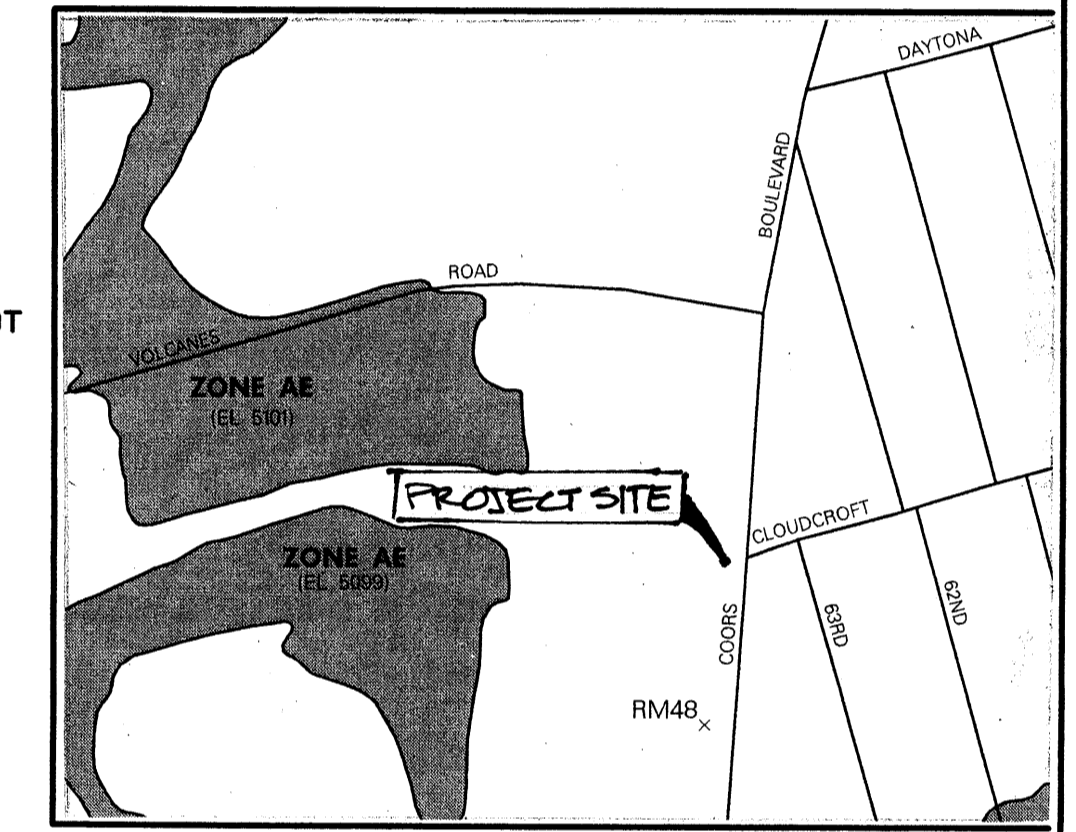
- 1 MATCH EXISTING SIDEWALK WITH TOP OF CURB. TRANSITION TO 4" CURB HEIGHT IN 4'.
- 2 REMOVE EXISTING CURB
- 3 REMOVE EXISTING SIDEWALK
- 4 EXISTING HOUSE TO BE REMOVED BY OTHERS.
- 5 REMOVE EXISTING TREE.
- 6 EXISTING CURB TO REMAIN.
- 7 REMOVE EXISTING TRASH BIN.
- 8 REMOVE EXISTING PAVEMENT.
- 9 PAVEMENT SURFACE TO MATCH SIDEWALK IN THIS AREA.
- 10 ADJUST PAVEMENT APPROACH TO NEW TRASH BIN LOCATION.
- 11 EXISTING SINGLE "C" CATCH BASIN TO REMAIN. TC EL. = 00.76. GRATE EL. = 99.88
- 12 EXISTING CMU WALL ON PROPERTY LINE TO REMAIN.
- 13 REMOVE EXISTING YARD LIGHT.
- 14 MATCH EXISTING SIDEWALK WITH TOP OF CURB AND TRANSITION TO 4" CURB HEIGHT IN 4'.
- 15 CONSTRUCT NEW HEADER CURB.
- 16 BUILD 65' OF 12" DIAMETER SCHEDULE 40 PVC PIPE FROM EXISTING CATCH BASIN TO NEW CATCH BASIN W/ S=0.0070 ft/ft
- 17 CORE DRILL INTO BACK OF EXISTING CATCH BASIN AND CONNECT 12" PVC PIPE PER COA STD DWG 2237 INV EL 12" PVC = 97.88 ± (VERIFY)
- 18 BUILD SINGLE "D" CATCH BASIN PER COA STD DWG NO. 2206 INV EL 12" PVC = 98.33 GRATE EL = 00.50 INV EL OF INLET = 98.33. CONSTRUCT 1'-0" WIDE X 6" THICK APRON AROUND NEW CATCH BASIN SLOPE TO INLET @ 2%.
- 19 CUT 6" WIDE NOTCH IN HEADER CURB THEORETICAL TC EL = 01.63. PAVEMENT EL = 01.30
- 20 REMOVE AND REPLACE EXISTING SIDEWALK AS REQUIRED TO INSTALL NEW 12" SD LINE. NO DIAGONAL CUTS WILL BE ALLOWED

**DRAINAGE NOTES:**

- 1. THIS SITE IS DESIGNATED AS SUB BASIN 18 IN THE ATRISCO BUSINESS PARK MASTER DRAINAGE PLAN PROPOSED FOR WESTLAND DEVELOPMENT COMPANY INC. IN JUNE 1980 BY FRED DEMY INC. AND ADOPTED BY EASTERLING AND ASSOCIATES.
- 2. IN ACCORDANCE WITH ABOVE SAID MASTER PLAN AND PER MEETING WITH BRADLEY BINGHAM, PE CITY OF ALBUQUERQUE THE RUNOFF GENERATED ON SITE FOR DEVELOPED CONDITIONS WILL BE DISCHARGED TO THE EXISTING STORM DRAIN IN COORS ROAD. CONNECTION OF 12" PVC LINE WILL BE MADE TO THE BACK OF AN EXISTING CATCH BASIN ON THE WEST SIDE OF COORS ROAD.
- 3. RUNOFF CALCULATIONS ARE BASED ON CITY OF ALBUQUERQUE DPM CHAPTER 22. FOR 100 YEAR, 6 HOUR STORM, ZONE 1.
- 4. THERE IS NO OFF SITE RUNOFF ENTERING THIS SITE. THE SITE FENCED ON NORTH AND WEST SIDES WITH CMU WALL. SITE IS BOUNDED ON THE EAST BY COORS ROAD AND ON THE SOUTH BY A PAVED PRIVATE ENTRANCE.
- 5. TOTAL PLATTED AREA OF SITE IS 0.689 ACERS.
- 6. BOUNDARY INFORMATION TAKEN FROM A.L.T.A./A.C.S.M. SURVEY BY MARQUEZ SURVEYING CO., INC. DATE JULY 17, 2001
- 7. TOPOGRAPHY SURVEY PERFORMED BY CMS&CE ON JANUARY 12, 2002
- 8. BENCH MARK USED IS CITY OF ALBUQUERQUE CONTROL STATION 2-J10. EL = 5100.44.
- 9. PROJECT BENCH MARK ESTABLISHED TOP OF PK NAIL AT S.E. PROPERTY CORNER EL = 5101.23 (SEE PLAN)



VICINITY MAP  
J-10-2



FLOOD MAP 35001C0329 D  
SEPTEMBER 20, 1996

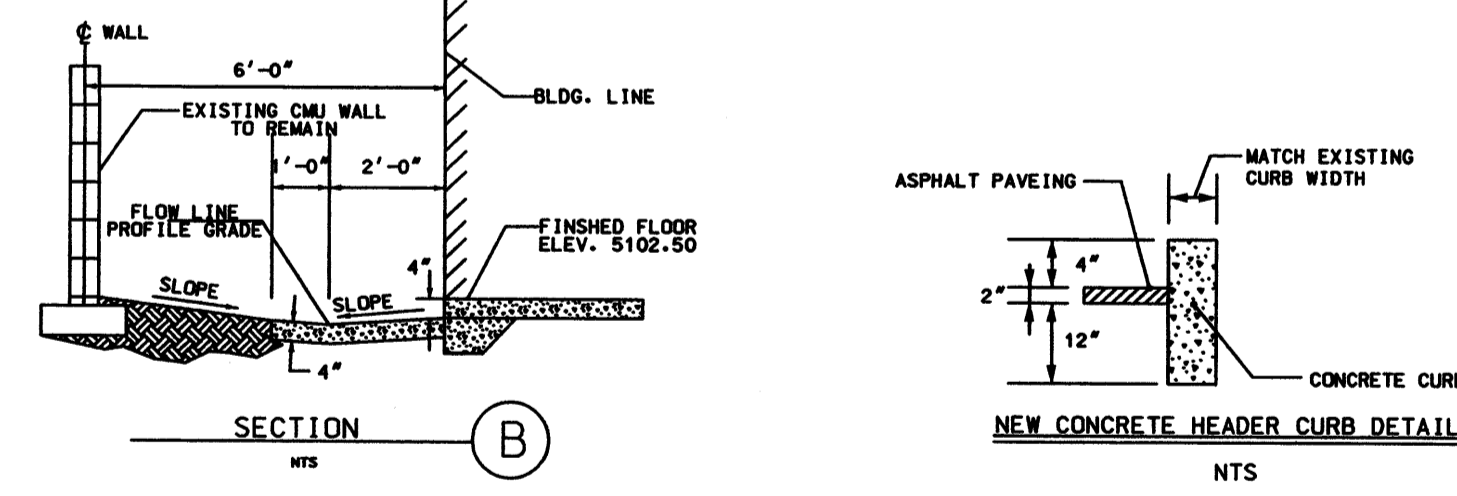
**LEGEND**

- PROPERTY/ LOTLINE
- - - EXISTING GROUND CONTOUR
- 01.67 TC  
00.00 FL
- EXISTING SPOT ELEVATION
- FINISHED GRADE CONTOUR
- EXISTING POWER POLE
- NEW HEADER CURB 6" X 18"
- EXISTING HEADER CURB 6" X 18"
- EXISTING TREE
- 01.67 TC  
01.17 P
- NEW SPOT ELEVATION
- NEW CONC SLAB/SIDEWALK
- NEW BUILDING LIMITS
- EXISTING CMU WALL
- EXISTING YARD LIGHT

**ABBREVIATIONS**

- TC = TOP OF CURB
- SW = SIDEWALK
- EL = ELEVATION
- P = PAVEMENT
- FL = FLOWLINE
- C = CENTERLINE
- S = SLOPE
- FT/FT = FEET PER FOOT
- G = GROUND
- FT = CUBIC FT

**GRADING & DRAINAGE PLAN**



**Drainage facilities within City Right-of-way**  
notice to contractor

- 1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATION SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITHIN A MINIMUM AMOUNT OF DELAY.
- 5. BACKFILL COMPACTION SHALL BE ACCORDING TO COLLECTOR STREET USE.
- 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- 7. PROOF OF ACCEPTANCE WILL BE REQUIRED PRIOR TO SIGN OFF FOR CERTIFICATE OF OCCUPANCY (C.O.).

DESCRIPTION	LAND USE				TOTAL	REMARKS
	A	B	C	D		
EXCESS PRECIPITATION INCHES	0.44	0.67	0.90	1.97		
PEAK DISCHARGE (CFS/ACRE)	1.29	2.03	2.87	4.37		
DEVELOPED CONDITIONS		7.565 ft <sup>2</sup> 0.174 AC		22.435 ft <sup>2</sup> 0.515 AC	30.000 ft <sup>2</sup> 0.689 AC	
Q <sub>100</sub> (CFS)		0.35 cfs		2.25 cfs	2.60 cfs	

NOTE:  
LAND USE B LANDSCAPING  
LAND USE D PAVED

THIS IS TO CERTIFY THAT I INSPECTED AND PERFORMED A TOPOGRAPHY SURVEY ON THE SUBJECT SITE ON JANUARY 25, 2002 AND THAT NO GRADING, FILLING OR EXCAVATION HAS OCCURRED SINCE THE PREPARATION OF THE TOPOGRAPHY SHOWN ON THIS PLAN.

*Richard Lovato* 3/6/02  
RICHARD LOVATO-NMPE NO 6823

02-0003.G&D

LOT 2-F-1  
ATRISCO BUSINESS PARK  
UNIT 1  
465 COORS BLVD. N.W.  
GRADING & DRAINAGE PLAN

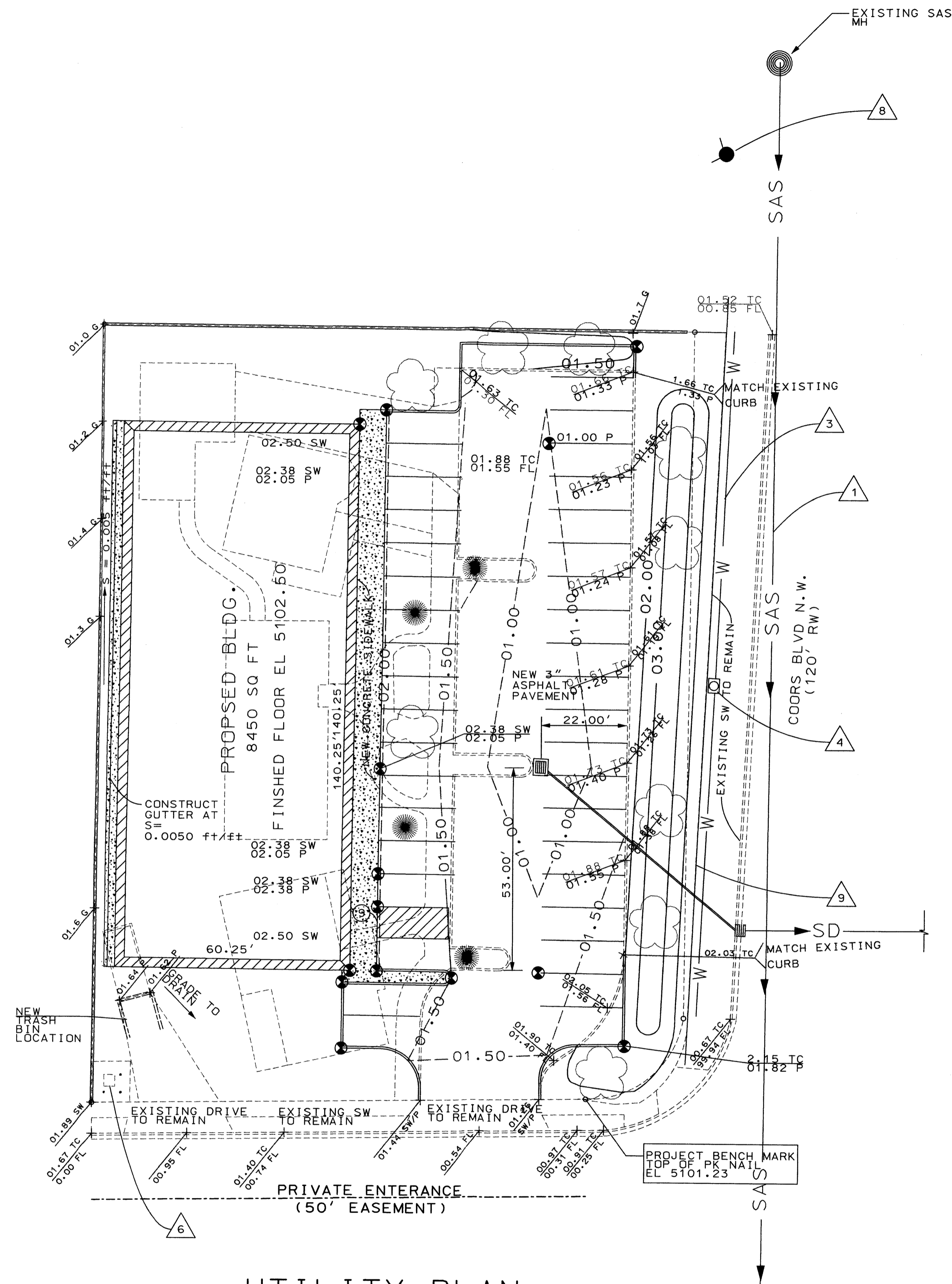
NM QUALITY CMS & CE  
CONSULTANTS

1020 SAN PEDRO NE  
ALBUQUERQUE, NM 87110  
PHONE: 505-710-3099 FAX: 505-254-4952

MARCH 6, 2002

SHEET 1 OF 2

INSPECTION APPROVAL: \_\_\_\_\_  
CONSTRUCTION SECTION DATE \_\_\_\_\_



UTILITY PLAN

UTILITY NOTES

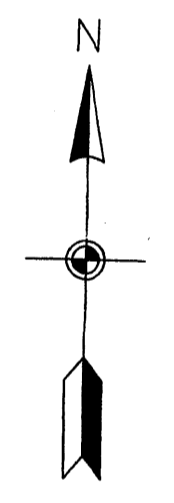
- 1 EXISTING 8" VCP SANITARY SEWER LINE
- 2 THERE IS EXISTING SANITARY SEWER SERVICE LINE TO THIS SITE. THE CONTRACTOR SHALL EXPLORE AND DETERMINE LOCATION OF EXISTING SEWER LINE AND UTILIZE FOR NEW BUILDING. THE LOCATION OF THE EXISTING SERVICE LINE CONNECTION TO THE SANITARY SEWER MAIN IN COORS WAS NOT EVIDENT. TWO WAY CLEAN OUTS ARE TO BE PROVIDED ON NEW 4" SANITARY SEWER LINE TO NEW BUILDING.
- 3 EXISTING 6" CAST IRON WATER LINE
- 4 EXISTING WATER METER BOX. METER GONE. USE EXISTING 6 1/4" WATER METER SERVICE LINE TO SERVICE NEW BUILDING.
- 5 THERE IS EXISTING GAS SERVICE TO THIS SITE. THIS SERVICE IS TO BE UTILIZED TO SERVICE NEW BUILDING.
- 6 EXISTING TRANSFORMER TO REMAIN.
- 7 SEE GRADING AND DRAINAGE PLAN FOR STORM DRAIN IMPROVEMENTS ASSOCIATED WITH THIS SITE.
- 8 EXISTING FIRE HYDRANT TO REMAIN.
- 9 EXISTING 2" PVC TRAFFIC SIGNAL CONDUIT TO REMAIN.

LEGEND

- PROPERTY/ LOTLINE
- - - - - EXISTING GROUND CONTOUR
- 01.67 TC  
00.00 FL+ EXISTING SPOT ELEVATION
- FINISHED GRADE CONTOUR
- EXISTING POWER POLE
- ===== NEW HEADER CURB 6" X 18"
- ..... EXISTING HEADER CURB 6" X 18"
- ☼ EXISTING TREE
- 01.67 TC  
01.17 P NEW SPOT ELEVATION
- ===== NEW CONC SLAB/SIDEWALK
- ===== NEW BUILDING LIMITS
- ===== EXISTING CMU WALL
- EXISTING YARD LIGHT

ABBREVIATIONS

- SAS = SANITARY SEWER LINE
- W = WATER LINE
- TC = TOP OF CURB
- SW = SIDEWALK
- EL = ELEVATION
- PL = PAVEMENT
- FL = FLOWLINE
- CL = CENTERLINE
- S = SLOPE
- FT/FT = FEET PER FOOT
- G = GROUND
- TC = CUBIC FT



SCALE: 1" = 20'

*Richard Lovato* 3/6/02  
RICHARD LOVATO NMPE NO 6823

	<p>LOT 2-F-1 ATRISCO BUSINESS PARK UNIT 1 465 COORS BLVD. N.W. UTILITY PLAN</p>
	<p>NM QUALITY CMS &amp; CE CONSULTANTS</p> <p>1020 SAN PEDRO NE ALBUQUERQUE, NM 87110 PHONE: 505-710-3099 FAX: 505-254-4952</p>
<p>RL MARCH 6, 2002</p>	<p>SHEET 2 OF 2</p>

**KEYED NOTES**

1. MAINFRAME COLUMN LOCATION, SEE STEEL DRAWINGS.
2. LOCATION OF FUTURE REAR EXIT DOOR, INSTALL ONLY IF REQUIRED BY CHAPTER 10, UBC OR TENANT REQUIREMENTS.
3. END WALL COLUMN LOCATION.
4. ALUMINUM OR STEEL STOREFRONT, SEE DETAIL ABOVE.
5. STEEL FRAMED COLUMN, STUCCO FINISH.
6. STEEL OR ALUMINUM STOREFRONT FRAME.
7. DOUBLE PANE TEMPERED GLASS PANELS.
8. DOUBLE PANE INSULATING GLASS.
9. DOUBLE PANE DOOR GLAZING.
10. INSULATED STEEL DOOR.

**HARDWARE NOTES:**

DOOR "A"- EXTERIOR KEUED DEAD BOLT LOCK AND PULL HANDLE, INTERIOR PUSH PLATE, ADA APPROVED CLOSER, PROVIDE SIGN IN 1" MIN. LETTERS THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS\* NOTE: IF TENANT SPACE INCLUDED MORE THAN ONE DOOR, ONLY ONE DOOR MAY BE AS NOTED, OTHER DOORS MUST HAVE NEW HARDWARE INSTALLED AS PART OF TENANT IMPROVEMENT.

DOOR "B"- EXTERIOR KEUED LOCKSET AND PULL HANDLE, INTERIOR PUSH BOTTON LOCK WITH LEVER TYPE RELEASE. ADA APPROVED CLOSER.

**CODE ANALYSIS:**

CODE- UNIFORM BUILDING CODE, 1997 EDITION.

OCCUPANCY GROUP-B

TYPE OF CONSTRUCTION- V-N

ALLOWABLE AREA 8,000 S.F. BASIC.  
ALLOWABLE INCREASE, BUILDING OPEN ON TWO SIDES- 1.25% FOR EACH FOOT OVER 20'.

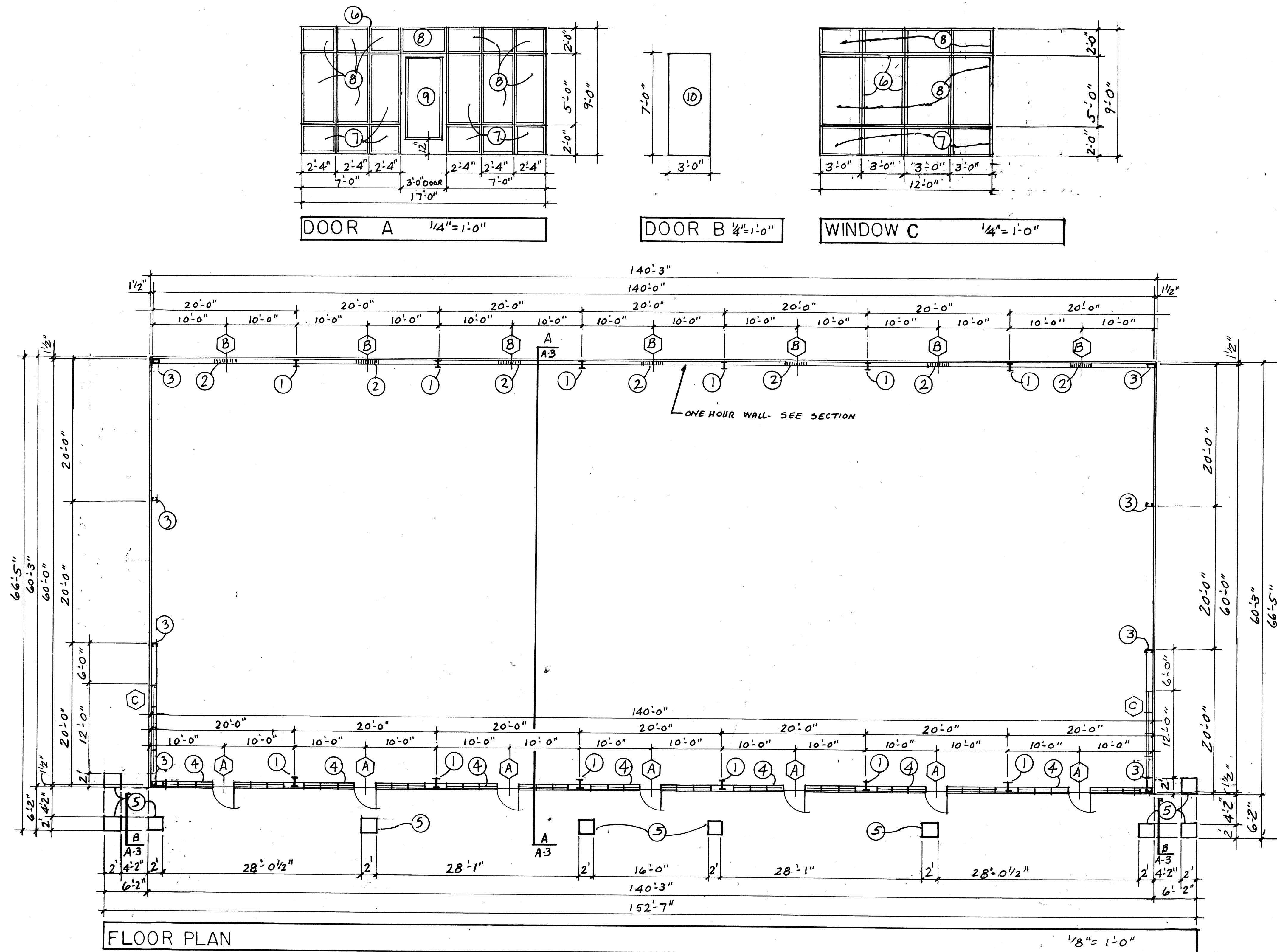
MIN. YARD SIZE- 35'.

ALLOWABLE INCREASE- 1.25% X 15= 18.75% OR 1,500 S.F.

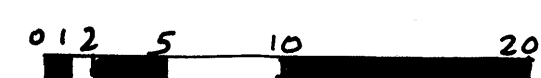
ALLOWABLE MAXIMUM AREA- 9500 S.F.

ACTUAL BUILDING AREA- 8,450 S.F.

EXITING TO BE DETERMINED AT TENANT IMPROVEMENT STAGE.

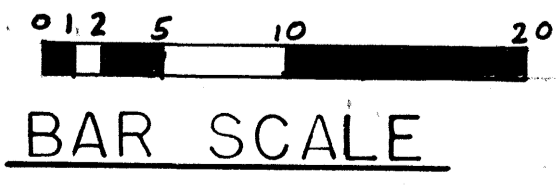
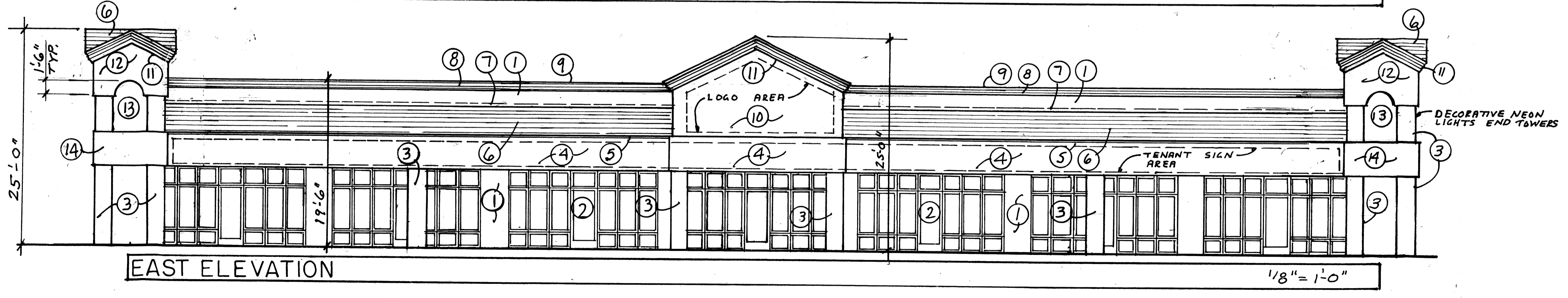
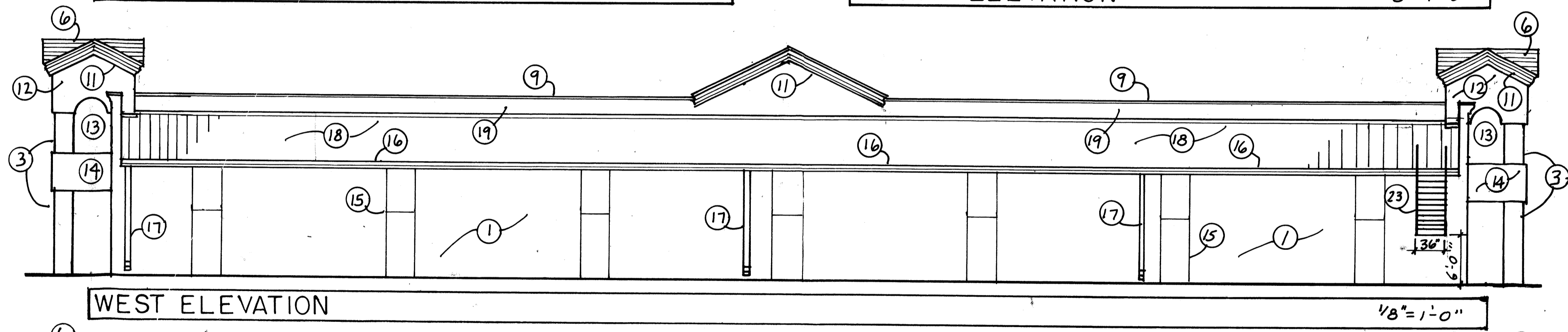
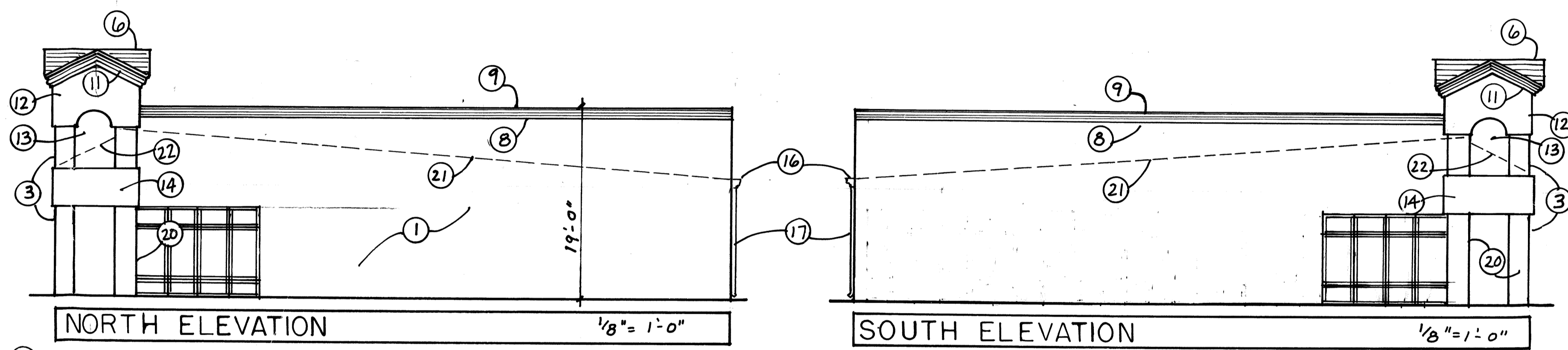


**FLOOR PLAN**



**BAR SCALE**

BUILDING SHELL FOR MR. FRANK BARELA LOT 2-F-1, ATRISCO BUSINESS PARK UNIT 1 465 COORS BLVD., N.W. ALBUQUERQUE, NEW MEXICO			
SHEET		FLOOR PLAN	
PROJECT	0201	DATE	10/01/02
BY	RBM		
RICHARD B. MOELLER ARCHITECT 3737 BIG BEND RD. N.E. ALBUQUERQUE, NEW MEXICO 87111 - 4361 (505) 294-2891			SHEET NO. <b>A-1</b>



- KEYED NOTES**
1. STUCCO FINISH ON BUILDING PAPER OVER 7/16" OSB SHEATHING ATTACHED TO STEEL WALL PANELS.
  2. STOREFRONT DOORS AND WINDOWS, SEE FLOOR PLAN FOR DIMENSIONS.
  3. STEEL FRAMED COLUMN, STUCCO FINISH.
  4. SIGN BAND EXTENDS 3-1/2" IN FRONT OF COLUMNS, STUCCO FINISH.
  5. EDGE FLASHING, PAINT.
  6. TILE ROOF, TO BE SELECTED.
  7. G.I. FLASHING.
  8. PARAPET TRIM, WOOD OR FOAM, STUCCO FINISH.
  9. CAP FLASHING, PAINT.
  10. LOCATION OF BUILDING LOGO, STUCCO FINISH.
  11. ROOF EDGE TRIM, FOAM OR WOOD, STUCCO FINISH.
  12. TOP OF TOWER FURRED OUT 3-1/2" FROM FACE OF COLUMNS.
  13. OPENING ON TWO SIDES OF TOWER.
  14. BAND AT TOWERS EXTENDS 5-1/2" FROM FACE OF COLUMNS.
  15. PROVIDE STUCCO CONTROL JOINTS AT LOCATION OF FUTURE DOORS.
  16. GUTTER, PAINT.
  17. DOWNSPOUT LOCATION.
  18. CORRUGATED STEEL ROOF PANELS.
  19. METAL FLASHING AT REAR OF PARAPET.
  20. STUCCO COLUMN ATTACHED TO BUILDING.
  21. LINE OF ROOF PANELS AT METAL BUILDING.
  22. LINE OF TILE ROOF AT PORTAL.
  23. ROOF ACCESS LADDER.

**EXTERIOR COLORS**

MAIN STUCCO COLOR- UTTERLY BEIGE  
 METAL ROOF- BEIGE  
 TRIM- REALIST BEIGE  
 STUCCO ACCENTS, COLUMNS - ARRESTING AUBURN  
 ROOF TILE- RED CLAY

BUILDING SHELL FOR MR. FRANK BARELA LOT 2-F-1, ATRISCO BUSINESS PARK UNIT 1 465 COORS BLVD., N.W. ALBUQUERQUE, NEW MEXICO		
SHEET EXTERIOR ELEVATIONS		
PROJECT 0201	DATE 10/01/02	
BY RBM	SHEET NO. A-2	
RICHARD B. MOELLER ARCHITECT 3737 BIG BEND RD. N.E. ALBUQUERQUE, NEW MEXICO 87111 - 4361 (505) 294-2891		