



2884156888
 6169586
 Page: 1 of 2
 11/85/2884 02 28P
 Bk-2884C Pg-353
 Mary Herrera Bern. Co. PLAT R 12 98

Plat of
 Lot 12-A, Block 54
 New Mexico Town Company's
 Original Townsite
 Being a Replat of
 Lots 10, 11 & 12 and
 Vacated Right-of-Way, Block 54
 New Mexico Town Company's
 Original Townsite
 within
 Town of Albuquerque Grant
 Projected Section 7, T.10N., R.3E., N.M.P.M.
 Albuquerque, Bernalillo County, New Mexico
 October 2004

LEGAL DESCRIPTION

Lots 10, 11 and 12, and vacated right-of-way, Block 54 New Mexico Town Company's Original Townsite as the same is shown and designated on the plat entitled "MAP OF ALBUQUERQUE, N.M. SHOWING SUBDIVISION OF BLOCK 6", filed in the office of the County Clerk of Bernalillo County, New Mexico on December 29, 1882 in Volume D, Folio 140.

The purpose of this plat is to consolidate Lots 10-12 and vacated right-of-way into one (1) lot and to grant the easements as shown hereon.

Project #1001816

FREE CONSENT AND DEDICATION

The platting of the land comprising Lot 12-A as shown hereon, and all easements shown hereon are with the free consent of and in accordance with the wishes and desires of the undersigned owners and proprietors thereof. Said owners do hereby grant all easements shown hereon, including the right of ingress and egress and the right to trim interfering trees. Said owners warrant that they hold among them complete and indefeasible title in fee simple to the land subdivided.

Johnny Carlton
 Johnny Carlton

E. Jane Carlton
 E. Jane Carlton

APPROVED AND ACCEPTED BY:

Sharon Matson 11/02/04
 PLANNING DEPARTMENT, DRB CHAIR DATE

Bradley L. Bingham 10/27/04
 CITY ENGINEER/HYDROLOGIST DATE

Christina Sandoval 10/27/04
 PARKS & RECREATION DATE

John A. ... 10-27-04
 TRANSPORTATION DEVELOPMENT DATE

John B. ... 10-12-04
 CITY SURVEYOR DATE

Scott M. ... 11-01-04
 REAL PROPERTY DATE

Ronald A. ... Nov 1, 2004
 UTILITY DEVELOPMENT DATE

Bradley L. Bingham 10/27/04
 A.M.A.F.C.A. DATE

ACKNOWLEDGMENT

OFFICIAL SEAL
 Teresa Forstbauer
 NOTARY PUBLIC - STATE OF NEW MEXICO
 My Commission Expires August 2, 2006

State of New Mexico)
 County of Bernalillo) SS

This instrument was acknowledged before me this 12 day of October, 2004 by Johnny Carlton.

Notary Public *Teresa Forstbauer* My Commission expires August 2, 2006

ACKNOWLEDGMENT

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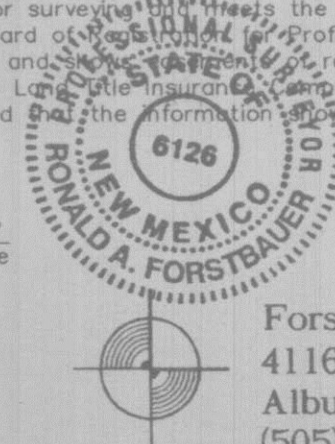
This instrument was acknowledged before me this 12 day of October, 2004 by E. Jane Carlton.

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SURVEYOR'S AFFIDAVIT

I, Ronald A. Forstbauer, licensed New Mexico Land Surveyor No. 6126, do hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance and the City Detailed Design Standards for Surveying, which meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico Board of Professional Engineers and Professional Land Surveyors effective October 1, 2000 and the State of New Mexico Professional Engineers and Professional Land Surveyors effective October 1, 2000 and the information shown hereon is true and correct to the best of my knowledge and belief.

Ronald A. Forstbauer 10/12/04
 Ronald A. Forstbauer Date
 NMPS No. 6126



Forstbauer Surveying, L.L.C.
 4116 Lomas Boulevard NE
 Albuquerque, New Mexico 87110
 (505) 268-2112 Fax 268-2032

Talos Log Number 2004382615
 Zone Atlas Page Number J13

Subdivision Data

- Total gross acreage of the lot shown hereon is 0.2797 acres.
- Total number of lots created by this plat is 0.
- Case Number of plat 03DRB-01640
- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- The purpose of this plat is to consolidate lots 10-12 and vacated right-of-way into one (1) lot and to grant the easements as shown hereon.
- () - indicates record distances. There are no bearings shown on the plat of New Mexico Town Company's Original Townsite.
- Date of fieldwork: October 08, 2004.
- Documents used:
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 - Release of Deed of Trust filed December 15, 1987 Book Misc. 568A, Page 476.
 - Title Policy File No. 115-060641, issued by Commonwealth Land Title Insurance Company on August 02, 1985 as updated by endorsement provided 10/12/2004.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- The Public Service Co. of NM - Electric Services Division for the installation, maintenance, and service of overhead and underground electric lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- The Public Service Co. of NM - Gas Services Division for the installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.
- Qwest for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Comcast Cable for the installation, maintenance and service of such lines, cable and related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction or pools, decking, or any structures adjacent to, within, or near easements shown on this plat.

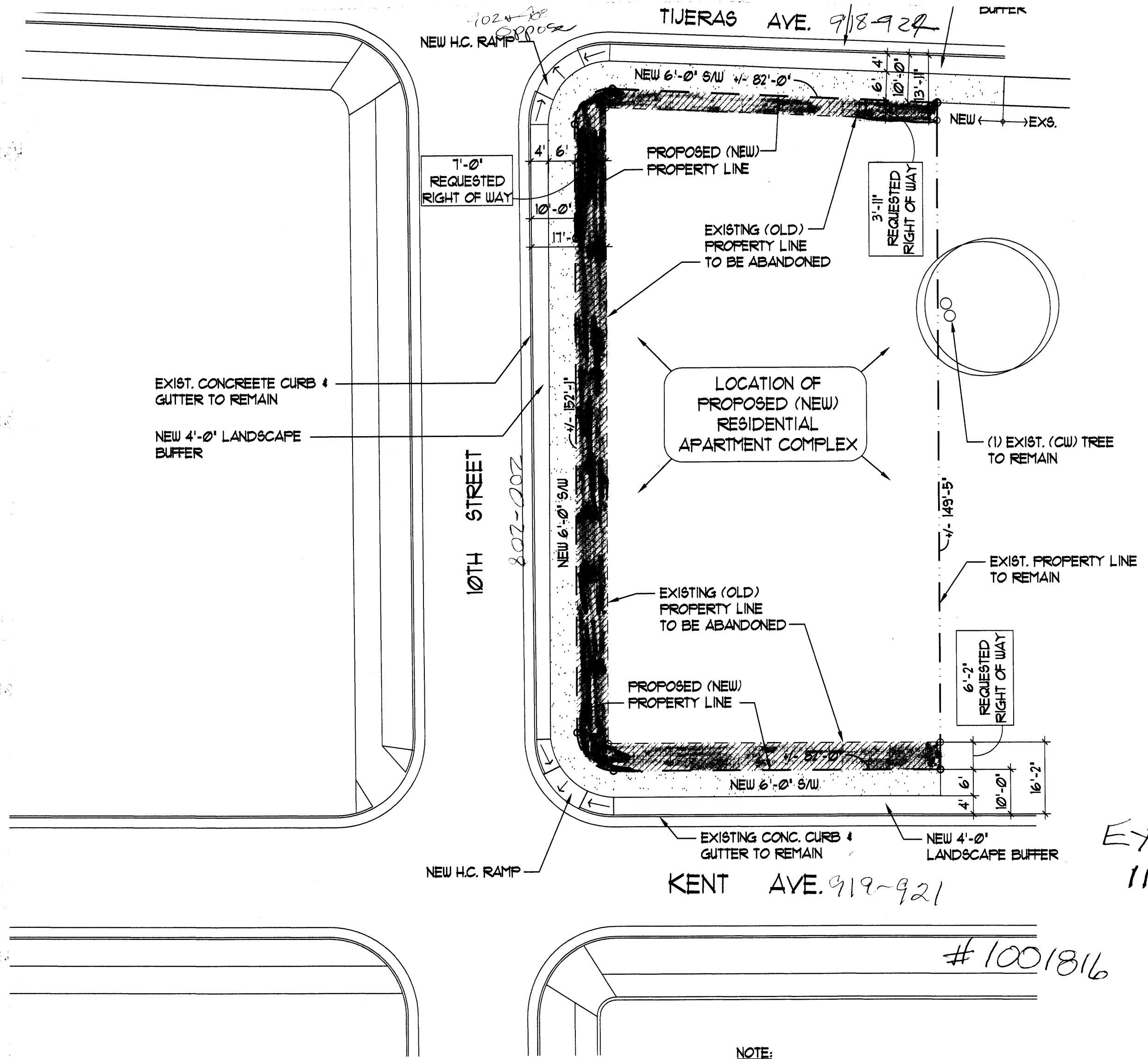
PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST COMMUNICATIONS	DATE
COMCAST CABLE	DATE

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

1013-058-495013-405-01

Johnny Carlton + E Jane Carlton
 Grant date 11-05-04

CARLTON APARTMENTS
JOHNNY AND JANE CARLTON
 KENT AVENUE AND TENTH STREET
 ALBUQUERQUE, NEW MEXICO



KENT AVE. 919-921

#1001816

NOTE:
 PROPOSED (NEW) PROPERTY AREA
 APPROXIMATELY .284 ACRES

PROPOSED CITY ROW. ACQUISITION AREA
 APPROXIMATELY 1,800 SQ. FT.

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 1999 ALL RIGHTS RESERVED

CAD FILENAME
 SERVER/2838.00/A101DWG

SHEET TITLE
 EXISTING SITE PLAN /
 PROPOSED SITE PLAN



PRELIMINARY PLAN
APPROVED BY DRB
ON 10.27.04
lgz

Plat of
Lot 12-A, Block 54
New Mexico Town Company's
Original Townsite
Being a Replat of
Lots 10, 11 & 12 and
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Albuquerque, Bernalillo County, New Mexico
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Project #1001816

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Johnny Carlton
Johnny Carlton

Jane Carlton
Jane Carlton

APPROVED AND ACCEPTED BY:

PLANNING DEPARTMENT, DRB CHAIR DATE

CITY ENGINEER, HYDROLOGY DATE

PARKS & RECREATION DATE

TRANSPORTATION DEVELOPMENT DATE

J. B. Faust 10-12-04
CITY SURVEYOR DATE

REAL PROPERTY DATE

UTILITY DEVELOPMENT DATE

A.M.A.F.C.A. DATE

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PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST COMMUNICATIONS	DATE
COMCAST CABLE	DATE

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OFFICIAL SEAL
Teresse Forstbauer
NOTARY PUBLIC - STATE OF NEW MEXICO
My Commission Expires August 2, 2006

ACKNOWLEDGMENT

State of New Mexico)
County of Bernalillo) SS
This instrument was acknowledged before me this 12 day of October, 2004 by Johnny Carlton.

Notary Public *Teresse Forstbauer* My Commission expires August 2, 2006

OFFICIAL SEAL
Teresse Forstbauer
NOTARY PUBLIC - STATE OF NEW MEXICO
My Commission Expires August 2, 2006

ACKNOWLEDGMENT

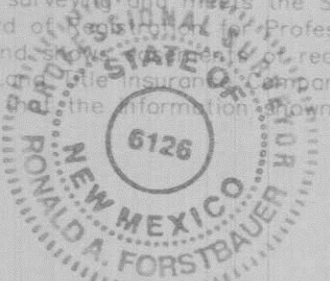
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County of Bernalillo) SS
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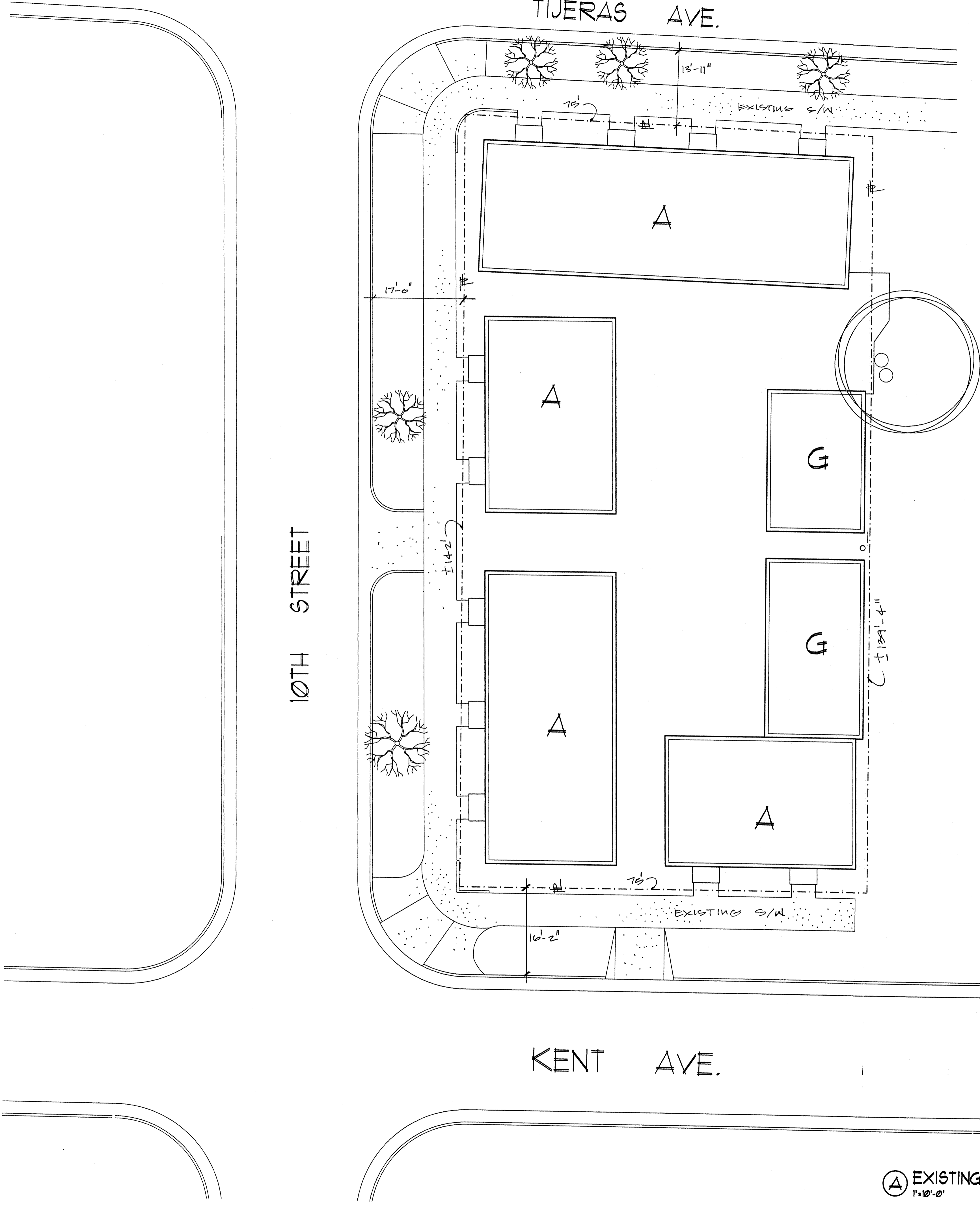
SURVEYOR'S AFFIDAVIT

I, Ronald A. Forstbauer, licensed New Mexico Land Surveyor No. 6126, do hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance and the City Detailed Design Standards for surveying and the Standards for Land Surveys in New Mexico as adopted by the New Mexico Board of Professional Engineers and Professional Land Surveyors effective October 1, 2000 and the State Surveyors' Record as indicated on Title Policy No. 115-060641 issued by Commonwealth Land Title Insurance Company, on August 02, 1985, as updated by endorsement provided 10/12/2004, and the information shown hereon is true and correct to the best of my knowledge and belief.

Ronald A. Forstbauer
Ronald A. Forstbauer
MPS No. 6126
10/12/04 Date



Forstbauer Surveying, L.L.C.
4116 Lomas Boulevard NE
Albuquerque, New Mexico 87110
(505) 268-2112 Fax 268-2032

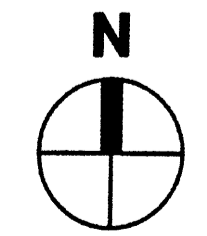


10TH STREET

TIJERAS AVE.

KENT AVE.

Ⓐ EXISTING SITE PLAN
1"=10'-0"



THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED, AND DATED ABOVE

1717 LOUISIANA NE, SUITE 205
ALBUQUERQUE, NM 87110-7027
806.821.0235 FAX 806.821.0348

3005 NORTHRIDGE DR., SUITE C
FARMINGTON, NM 87402-2085
505.325.7475 FAX 505.325.6464

ARCHITECTURE
ENGINEERING
PLANNING
INTERIOR DESIGN



CARLTON APARTMENTS
JOHNNY AND JANE CARLTON
KENT AVENUE AND TENTH STREET
ALBUQUERQUE, NEW MEXICO

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CAD FILENAME
SERVER/2838/00/A11.DWG

SHEET TITLE
EXISTING SITE PLAN

REVISION	DATE
Ⓐ	
Ⓐ	
Ⓐ	

DATE
AUGUST 25, 2003

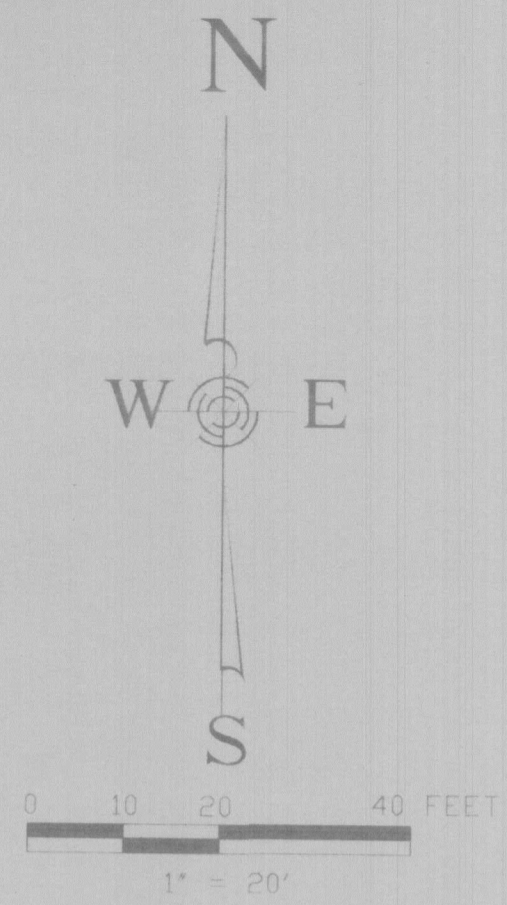
PROJECT NO.
283800

DRAWING SHEET
A11

Plat of
 Lot 12-A, Block 54
 New Mexico Town Company's
 Original Townsite
 Being a Replat of
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 New Mexico Town Company's
 Original Townsite
 within
 Town of Albuquerque Grant
 Projected Section 7, T.10N., R.3E., N.M.P.M.
 Albuquerque, Bernalillo County, New Mexico
 October 2004
 Project #1001816

**PRELIMINARY PLAT
 APPROVED BY DRB
 ON 10-27-04
 2 of 2**

The purpose of this plat is to consolidate Lots 10-12 and vacated right-of-way into one (1) lot and to grant the easements as shown hereon.

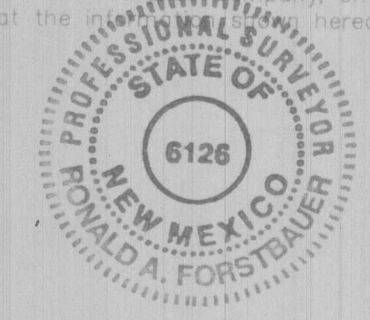


Albuquerque Control
 Survey Monument 17-J14
 New Mexico State Plane
 Grid Coordinates
 Central Zone, NAD 1927
 X=378,903.40
 Y=1,488,804.10
 Ground/Grid Factor 0.9996799
 Δκ = -00'13.58"
 NAD 1929 Elevation 4954.83



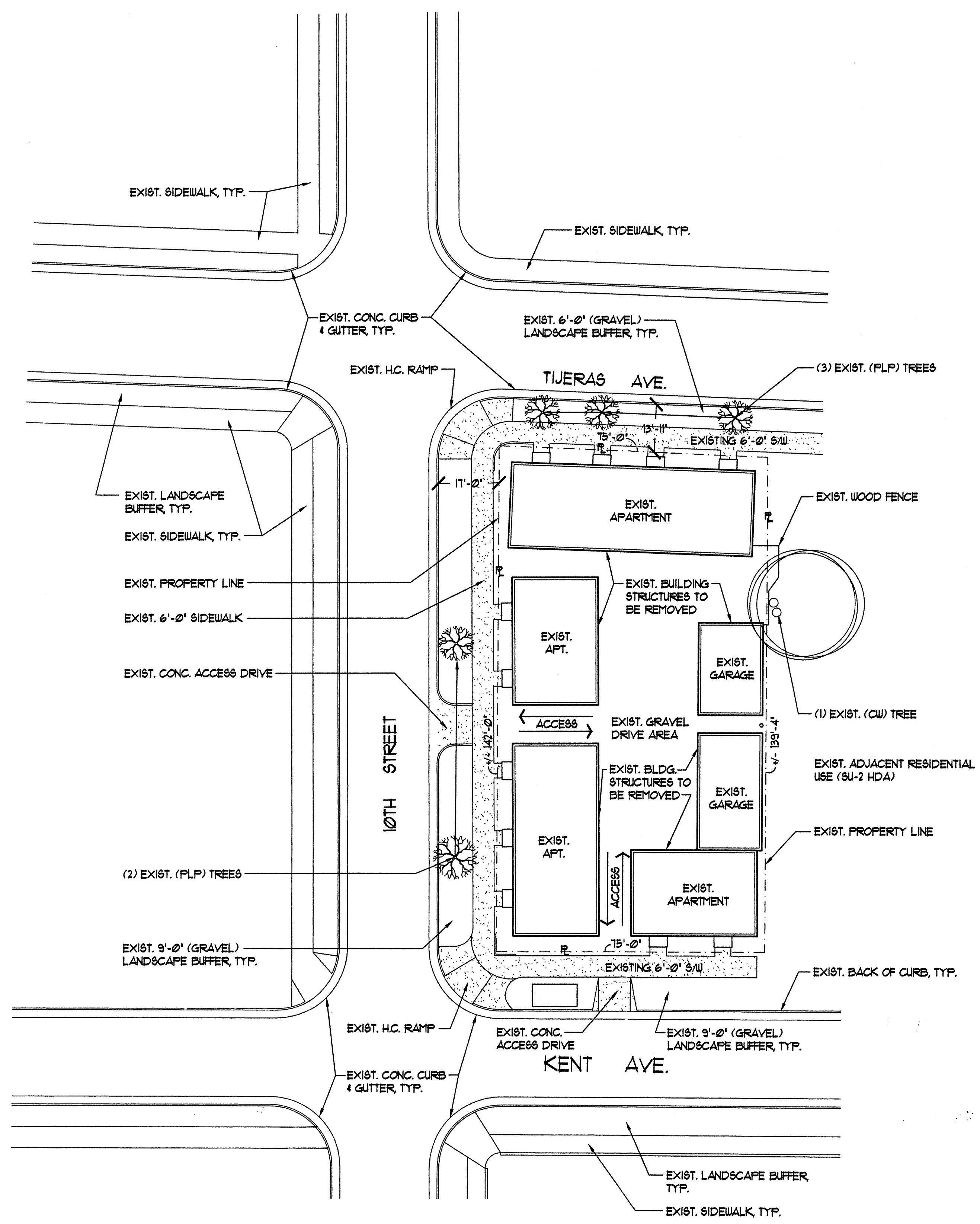
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Ronald A. Forstbauer
 Ronald A. Forstbauer Date
 NMPS No. 6126



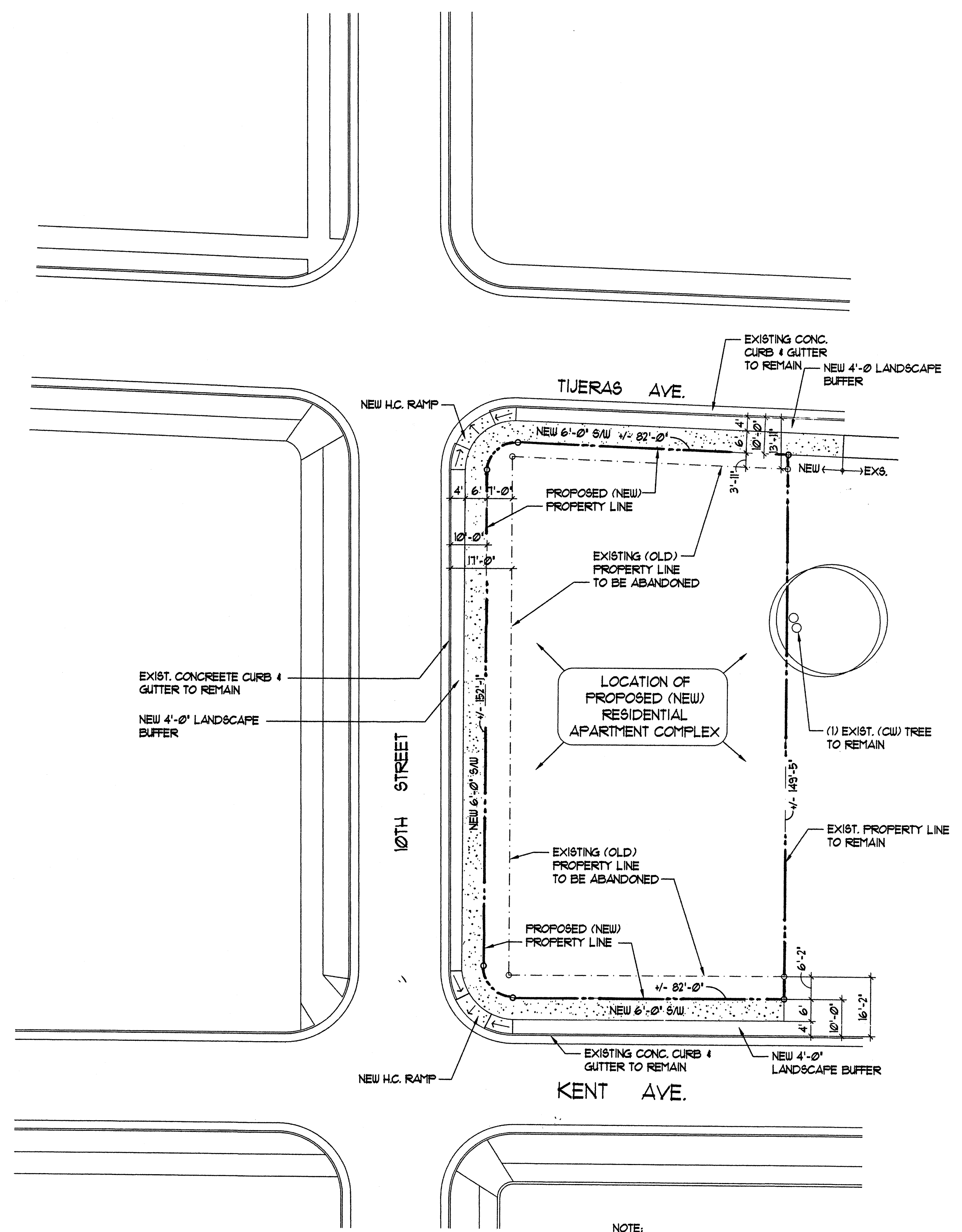
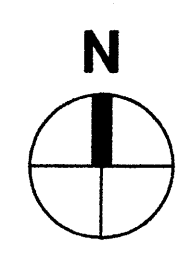
Forstbauer Surveying, L.L.C.
 4116 Lomas Boulevard NE
 Albuquerque, New Mexico 87110
 (505) 268-2112 Fax 268-2032

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NOTE:
EXISTING PROPERTY AREA
APPROXIMATELY .243 ACRES

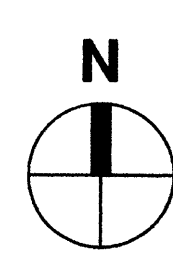
ZONING: SU-2 HDA
EXISTING SITE PLAN
 1" = 20'-0" 9-24-03



NOTE:
PROPOSED (NEW) PROPERTY AREA
APPROXIMATELY .284 ACRES

 PROPOSED CITY ROW ACQUISITION AREA
APPROXIMATELY 1800 SQ. FT.

ZONING: SU-2 HDA
PROPOSED SITE PLAN
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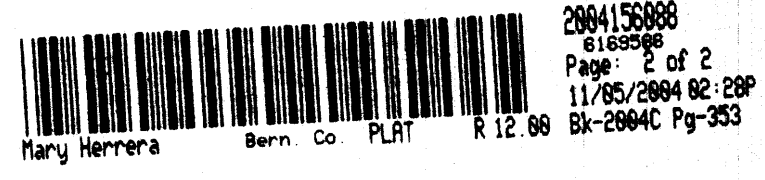
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 ENGINEERING 3005 NORTHRIDGE DR., SUITE C FARMINGTON, NM 87402-2085 505.325.7475 FAX 505.325.6464
 PLANNING INTERIOR DESIGN

GREER STAFFORD SJCF

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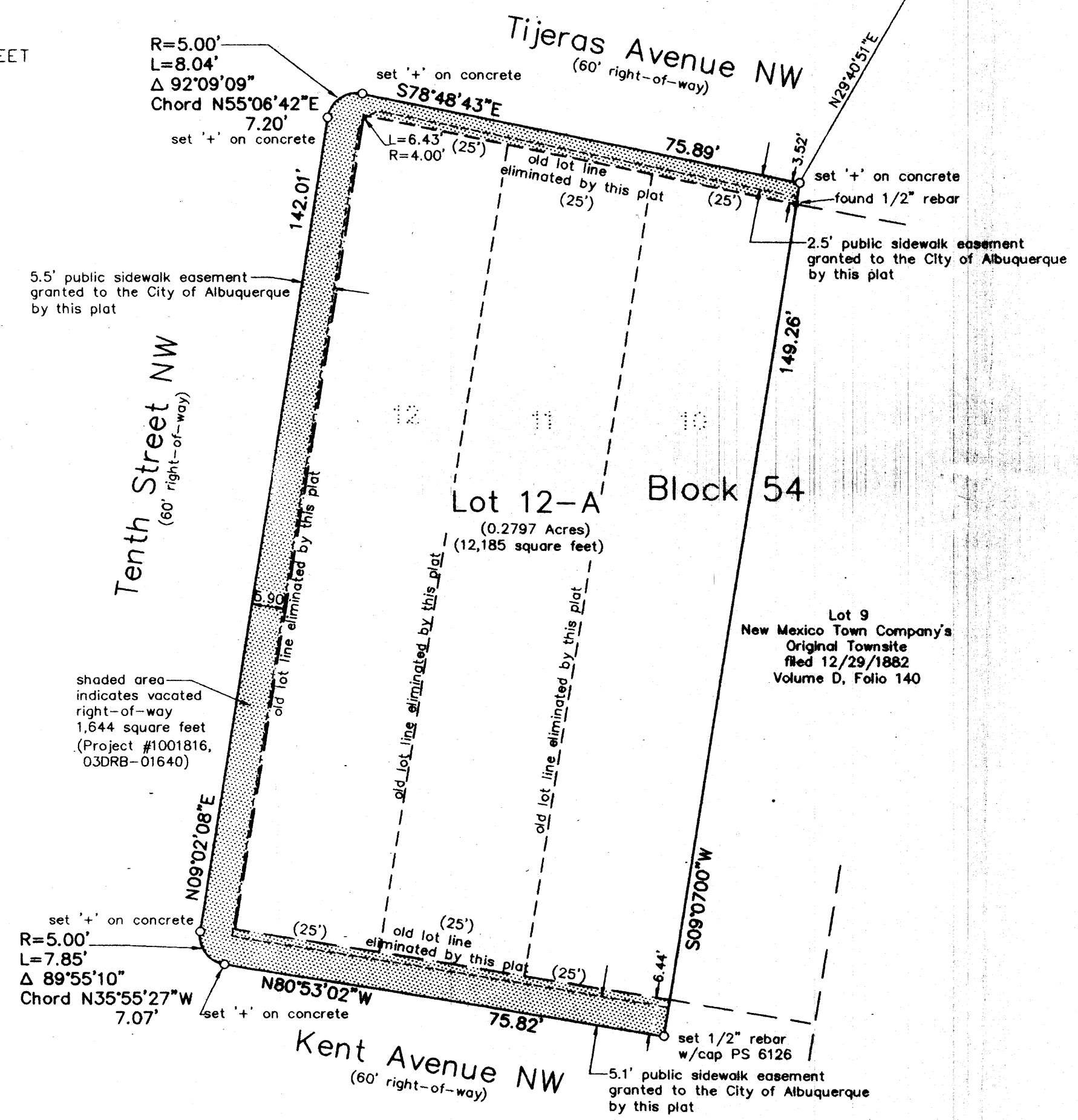
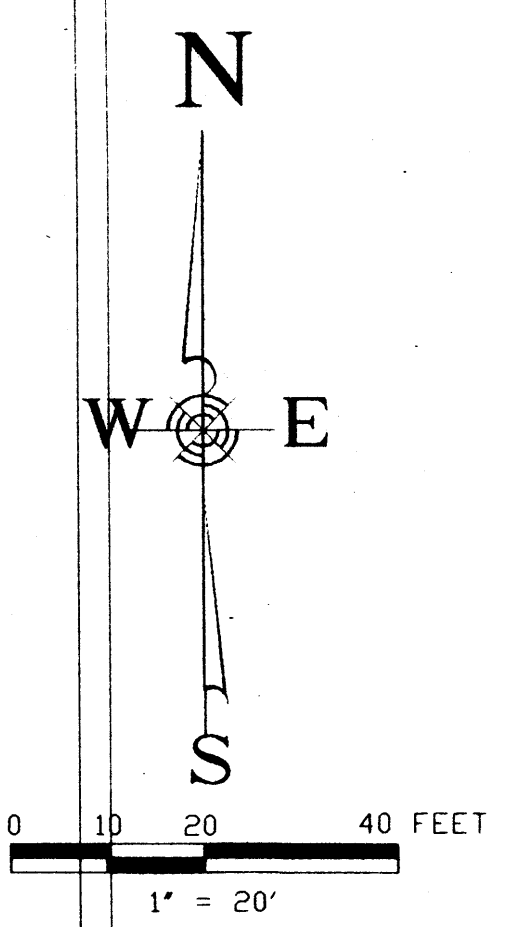
© GREER STAFFORD / SJCF, INC. 1999 ALL RIGHTS RESERVED

CAD FILENAME SERVER/2838.00/A101DWG	
SHEET TITLE EXISTING SITE PLAN / PROPOSED SITE PLAN	
REVISION	DATE
▲	
▲	
▲	
DATE	SEPTEMBER 24, 2003
PROJECT NO.	2838.00
DRAWING SHEET	
A11	



Plat of
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 Original Townsite
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 Sheet 2 of 2



2004156888
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Page: 1 of 2
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 Johnny Carlton

E. Jane Carlton
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Sheran Matson 11/02/04
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Danny S. Shuman Nov 1, 2004
 UTILITY DEVELOPMENT DATE

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- Quest for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- Comcast Cable for the installation, maintenance and service of such lines, cable and related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction or pools, decking, or any structures adjacent to, within, or near easements shown on this plat.

NA Sandoval 11/5/04
 PNM ELECTRIC SERVICES DATE

NA E. Carlton 11/5/04
 PNM GAS SERVICES DATE

NA E. Carlton 11/5/04
 QUEST COMMUNICATIONS DATE

NA E. Carlton 11/5/04
 COMCAST CABLE DATE

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.



OFFICIAL SEAL
 Notary Public - STATE OF NEW MEXICO
 My Commission Expires August 2, 2006

ACKNOWLEDGMENT

State of New Mexico)
 County of Bernalillo) SS
 This instrument was acknowledged before me this 12 day of October, 2004 by Johnny Carlton.

Notary Public *Kassee Forstbauer* My Commission expires August 2, 2006



OFFICIAL SEAL
 Notary Public - STATE OF NEW MEXICO
 My Commission Expires August 2, 2006

ACKNOWLEDGMENT

State of New Mexico)
 County of Bernalillo) SS
 This instrument was acknowledged before me this 12 day of October, 2004 by E. Jane Carlton.

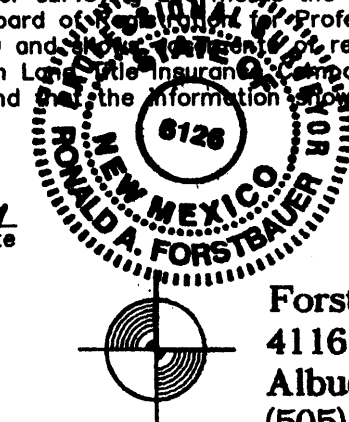
Notary Public *Kassee Forstbauer* My Commission expires August 2, 2006

1013-058-4950B.405-01
Carlton, Johnny + E Jane
 - grants release 11-05-04

SURVEYOR'S AFFIDAVIT

I, Ronald A. Forstbauer, licensed New Mexico Land Surveyor No. 6126, do hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance and the City Detailed Design Standards for Surveying, the Standards for Land Surveys in New Mexico as adopted by the New Mexico Board of Professional Engineers and Professional Land Surveyors effective October 1, 2000 and the Title Insurance Company, on August 02, 1985, as updated by endorsement provided 10/12/2004, and that the information shown hereon is true and correct to the best of my knowledge and belief.

Ronald A. Forstbauer 10/12/04
 Ronald A. Forstbauer Date
 NMPS No. 6126



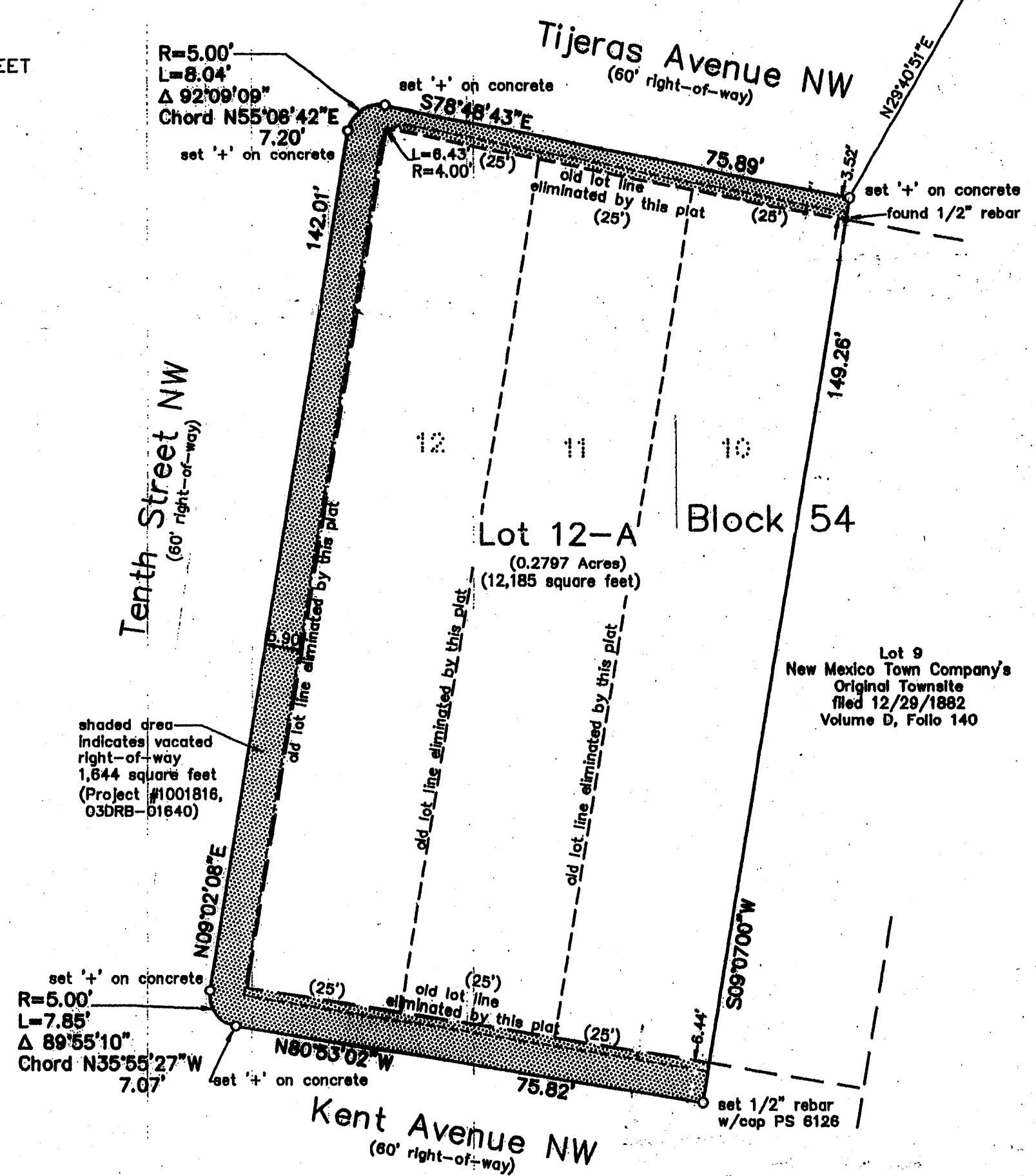
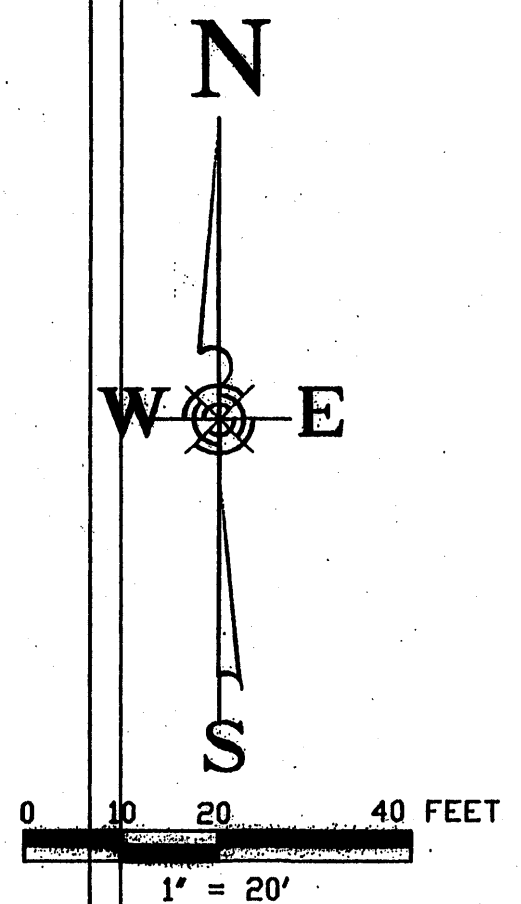
Forstbauer Surveying, L.L.C.
 4116 Lomas Boulevard NE
 Albuquerque, New Mexico 87110
 (505) 268-2112 Fax 268-2032

Plat of
 Lot 12-A, Block 54
 New Mexico Town Company's
 Original Townsite
 Being a Replat of
 Lots 10, 11 & 12 and
 Vacated Right-of-Way, Block 54
 New Mexico Town Company's
 Original Townsite
 within
 Town of Albuquerque Grant
 Projected Section 7, T.10N., R.3E., N.M.P.M.
 Albuquerque, Bernalillo County, New Mexico
 October 2004
 Project #1001816

The purpose of this plat is to consolidate Lots 10-12 and vacated right-of-way into one (1) lot and to grant the easements as shown hereon.

2004156998
 6169998
 Page: 2 of 2
 11/05/2004 02:28P
 BK-2804C Pg-353
 Harry Herrera Bern. Co. PLH R 12.00

Albuquerque Control
 Survey Monument 17-J14
 New Mexico State Plane
 Grid Coordinates
 Central Zone, NAD 1927
 X=378,903.40
 Y=1,488,804.10
 Ground/Grid Factor 0.9996799
 Δα = -00'13"58"
 NGVD 1929 Elevation 4954.83



SURVEYOR'S AFFIDAVIT

I, Ronald A. Forstbauer, licensed New Mexico Land Surveyor No. 6126, do hereby certify that the plat shown hereon was prepared by me or under my direct supervision from an actual field survey and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance and the City Detailed Design Standards for surveying and meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico Board of Registration for Professional Engineers and Professional Land Surveyors effective October 1, 2000 and shows easements of record as indicated on Title Policy No. 115-060841 issued by Commonwealth Land Title Insurance Company, on August 02, 1985, as updated by endorsement provided 10/12/2004, and that the information shown hereon is true and correct to the best of my knowledge and belief.

Ronald A. Forstbauer
 Ronald A. Forstbauer
 NMPS No. 6126
 Date

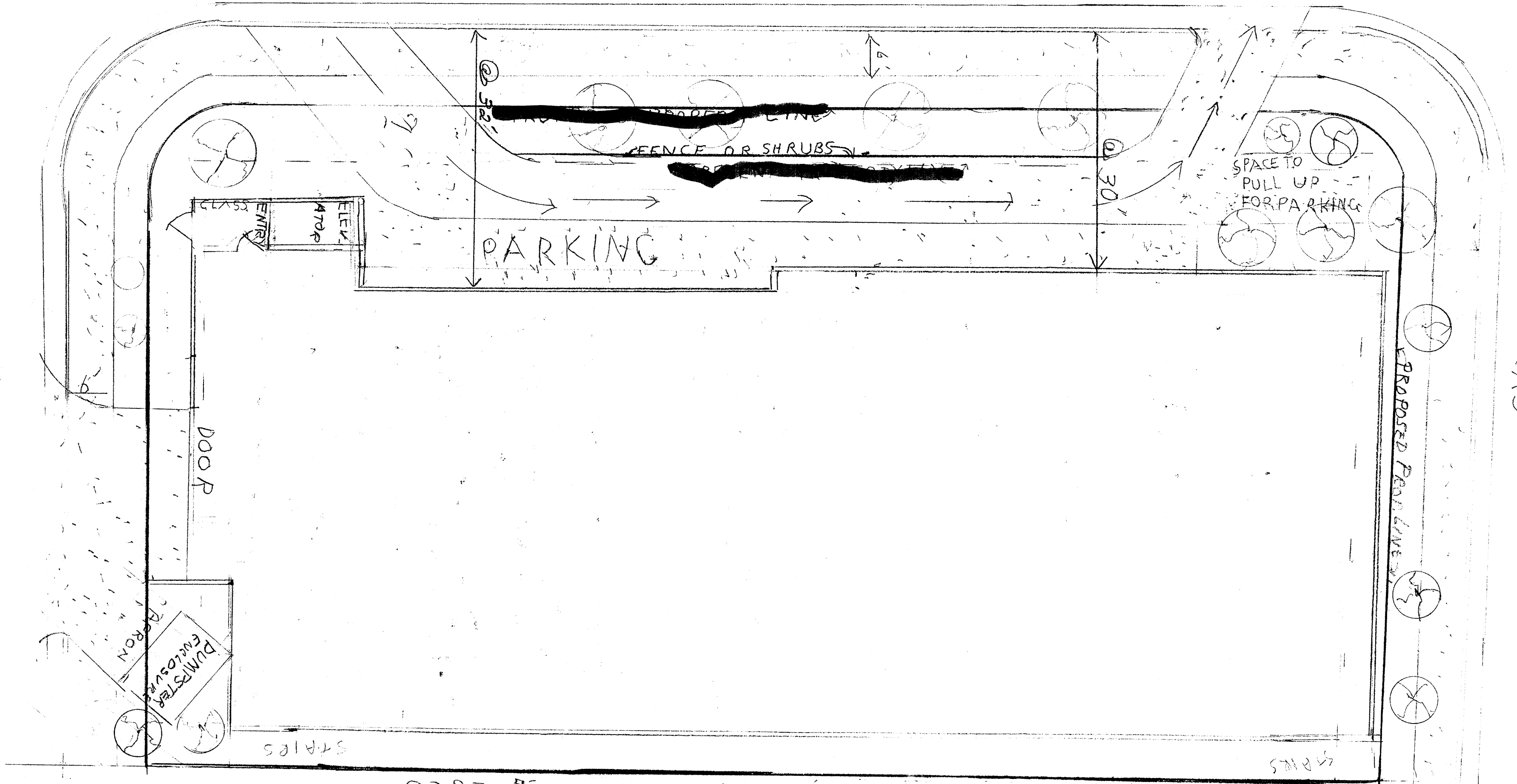


Forstbauer Surveying, L.L.C.
 4116 Lomas Boulevard NE
 Albuquerque, New Mexico 87110
 (505) 268-2112 Fax 268-2032
 Sheet 2 of 2

10TH

KENT

TIERAS



@3935' OPEN SPACE ON GROUND

HEAVY LINE = PROPOSED PROPERTY LINE
 DOUBLE LINE BOUNDING EDGE
 DASHED LINE PRESENT PROP. LINE

CARLTON APARTMENTS

JOHNNY AND JANE CARLTON

TIJERAS AVENUE AND TENTH STREET NW

ALBUQUERQUE, NEW MEXICO

REVISED MAY 17, 2006

Approved as per requirements and conditions as established within the Certificate of Appropriateness, Landmarks and Urban Conservation Commission.

CERTIFICATE OF APPROPRIATENESS
 Approved by LUCG Date 11/22/05
 Case # 04-LUC-0182

Signature: *[Signature]* Date: 5/17/06
 Signature: *[Signature]* Date: 5-17-2006
 for 40-2/HDA Zone
 Downtown Neighborhood Area Sector Development Plan
 Streets, Height, Spacing, and Open Space
 A.S.A.C.

THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED, AND DATED ABOVE

1777 LOUISIANA NE, SUITE 205
 ALBUQUERQUE, NM 87110-7027
 505.921.0235 FAX 505.921.0348

3005 NORTHRIDGE DR., SUITE C
 FARMINGTON, NM 87402-2085
 505.325.7475 FAX 505.325.6464

ARCHITECTURE
 ENGINEERING
 PLANNING
 INTERIOR DESIGN

GREER STAFFORD SJCF

SITE DEVELOPMENT PLAN / PROJECT INFORMATION

DRAWING INDEX

- A1.1 SITE / ROOF PLAN AND PROJECT INFORMATION
- A1.2 LANDSCAPE PLAN AND GROUND FLOOR PLAN
- A1.3 FLOOR PLANS / 1ST THRU 3RD
- A1.4 FLOOR PLAN / 4TH AND EXTERIOR SIGNAGE
- A1.5 EXTERIOR ELEVATIONS / BUILDING SECTION
- A1.6 EXTERIOR ELEVATIONS
- P1.1 PLAT OF LOT 12-A, BLOCK 54

GENERAL NOTES:

1. LUCG PRE-APPLICATION CONFERENCES HAVE BEEN HELD BETWEEN THE DESIGNATED LUCG PLANNER AND THE AGENT / APPLICANT, ON JANUARY 26, 2004 AND OCTOBER 19, 2004, PURSUANT TO SUBMITTAL OF APPLICATION. STAFF'S LISTING OF (ADDITIONAL REQUIRED SUPPORTING DOCUMENTATION IS INCLUDED WITHIN THIS APPLICATION.
2. TWO HEIGHT VARIANCES REQUESTED WITH THIS ORIGINAL APPLICATION ARE NO LONGER REQUIRED:
 - A. A HEIGHT VARIANCE TO ALLOW FOR ONE (1) ELEVATOR SHAFT AT 14'-2" ABOVE THE ALLOWABLE HEIGHT OF 40', PROVIDING A MAXIMUM (PARAPET) HEIGHT OF 63'-2" ABOVE FINISH FLOOR.
 - B. A HEIGHT VARIANCE TO ALLOW FOR TWO (2) STAIR WELL ENCLOSURES AT 9'-6" ABOVE THE ALLOWABLE HEIGHT OF 40', PROVIDING A MAXIMUM (PARAPET) HEIGHT OF 49'-6" ABOVE FINISH FLOOR.
3. AN LUCG PRE-APPLICATION CONFERENCE HAS BEEN HELD BETWEEN THE CITY SOLID WASTE MANAGEMENT CODE ENFORCER AND THE AGENT / APPLICANT, ON OCTOBER 26, 2004, PURSUANT TO SUBMITTAL OF APPLICATION. PER STAFF'S REQUEST, THE APPLICANT AGREES TO PROVIDE, IN ADDITION TO REFUSE ENCLOSURE CONFIGURATIONS AS SUBMITTED, ONE (1) DEDICATED REFUSE "OVERFLOW" ROOM (AS DELINEATED ON SHEET A1.2).
4. ALL EXISTING STRUCTURES AND MISCELLANEOUS IMPROVEMENTS SHALL BE DEMOLISHED AND REMOVED IN THEIR ENTIRETY, PRIOR TO CONSTRUCTION OF THE PROPOSED APARTMENT BUILDING.
5. DWELLING UNIT EXTERIOR DOOR AND WINDOW ASSEMBLIES SHALL BE OF ALUMINUM CONSTRUCTION, WITH DIVIDED MULLION INSERTS, POWDER COAT PAINT FINISH, WHITE IN COLOR, AS MANUFACTURED BY PEERLESS PRODUCTS, INC. OR EQUAL.
6. THREE (3) ROOFTOP-MOUNTED MECHANICAL COOLING UNITS ARE PROPOSED; ALL ROOFTOP MECHANICAL UNITS SHALL BE PROVIDED WITH VISUAL SCREENING SYSTEMS.
7. EXTERIOR LIGHTING SHALL BE SURFACE MOUNTED ON THE BUILDING EXTERIORS. ALL LIGHTING SHALL BE FULLY SHIELDED, PROVIDING NO UPLIGHTING AND AS IN ACCORDANCE WITH "DARK SKY" REQUIREMENTS.

DESCRIPTION OF REQUEST:

A variance for height (for (1) elevator shaft and (2) stairwell enclosures) is requested for the development of a new multi-family apartment structure, to be located on the south side of Tijeras Avenue NW and within the northeast quadrant of the intersection of 10th Street and Kent Avenue NW.

Approval is also requested for the demolition of eleven (11) existing ("noncontributing") residential apartment units on the same site. These aging residential facilities are non-historical structures.

The proposed new four-story residential structure with parking garage shall consist of thirty-five one and two-bedroom apartment units, each with an exterior balcony, and distributed on four floors. Ancillary amenities shall include recreational space, general storage areas, maintenance and mechanical/electrical rooms. The lower ground floor shall be comprised of a covered, naturally ventilated parking garage containing 28 secured parking stalls, with two additional parking stalls on the exterior.

Structural elements shall be of concrete and steel construction. Exterior building surfaces shall include stucco, tile accents and a synthetic tile roofing system. The facility shall be accessible to the handicapped and fully fire-sprinklered.

The new residential facility shall be constructed in one single phase of construction.

ZONING ANALYSIS:

Note: The north facade facing Tijeras Avenue, shall be considered the "front" of the building.

COMPREHENSIVE CITY ZONING CODE:

Zoning setback requirements:

Junction of driveway and public sidewalk: eleven feet, minimum
 Front yard (to adjacent SU-2/MDA zone): ten feet, minimum (along Tijeras Ave.)
 Side yard (street): five feet, minimum
 Side yard (internal): no setback requirement
 Rear yard: no setback requirement

Floor area ratio: 3.0 FAR maximum / 2.8 FAR provided
 Gross floor area allowed: 36,555 GSF heated (12,185 SF x 3)
 Gross floor area provided: 33,640 GSF heated

Usable open space: 150 square feet per one-bedroom DU
 200 square feet per two-bedroom DU

Usable open space required: 5,550 square feet (150 SF x 29 + 200 SF x 6)
 Usable open space provided: 5,946 square feet

DOWNTOWN NEIGHBORHOOD AREA SECTOR DEVELOPMENT PLAN ZONING GUIDELINES (HDA):

Off-street parking required: one space per dwelling unit
 Structure height: 40 feet, maximum; calculated to the average height between the plate and the ridge.

Proposed structure to be constructed as a "gambrel" roof, as defined within Section 14-16-1-5 Definitions (page 9).

FOURTH WARD HISTORIC OVERLAY ZONE DESIGN GUIDELINES:

Window and door openings: 50% ground-floor front facade, minimum openings required : 355 sq. ft.
 openings provided : 355 sq. ft.

PARKING ANALYSIS:

Parking shall be provided at a ratio of one space per each of (35) dwelling units. A bus shelter, per City requirements, shall be provided by the Applicant.

Parking requirements shall be reduced by 10% (<300') per Section 14-16-3-1 Off-Street Parking Regulations, and reduced an additional 5% per approved City transit ride shelter.

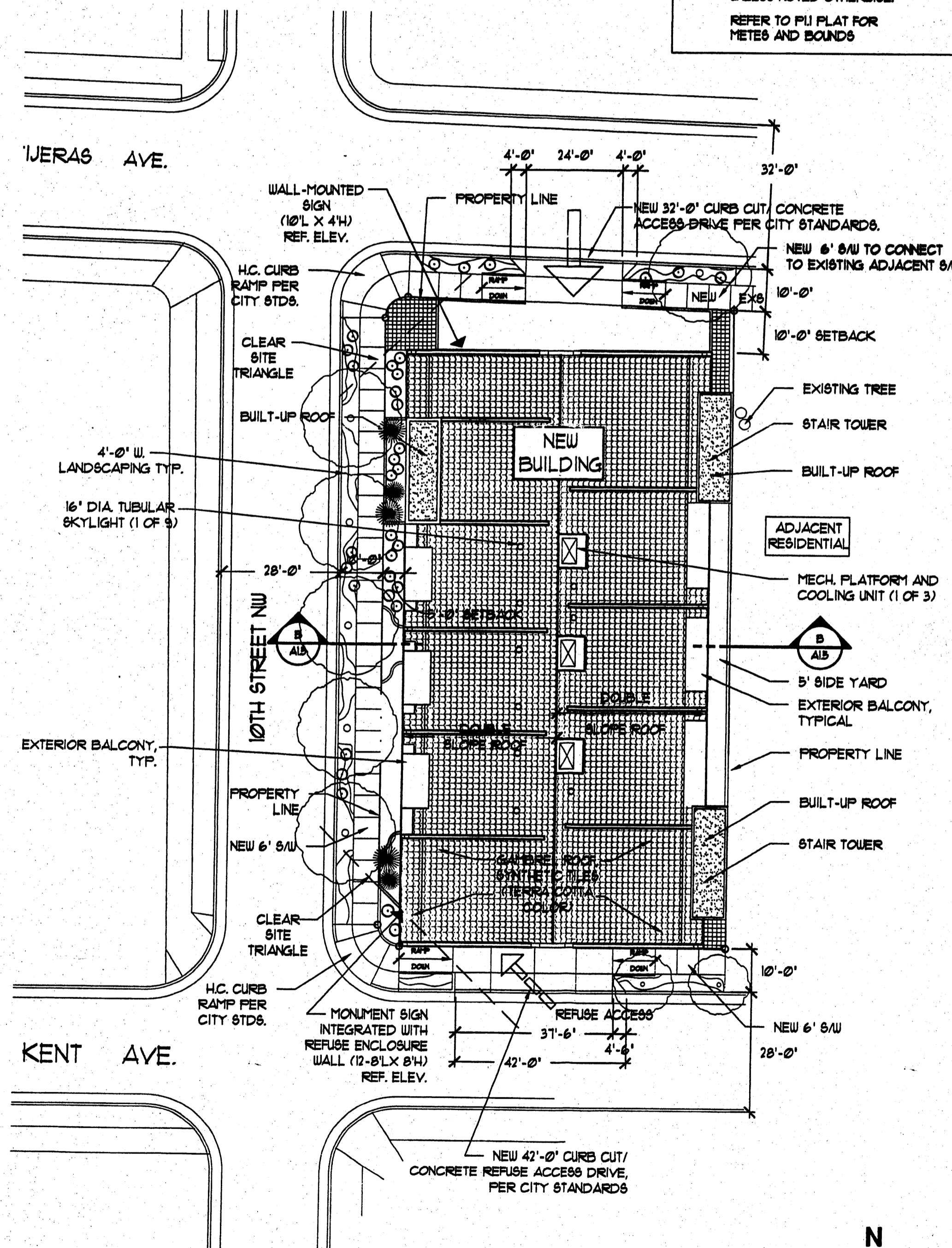
Parking requirement calculations are as follows:
 35 DU's = 35 P/S - 5 P/S (15% transit reductions) = 30 P/S required.

Summary

Total parking spaces required:	30 P/S
Total parking spaces provided:	30 P/S
Small car parking allowed (25%):	7 P/S (8' x 15' minimum)
Small car parking provided:	7 P/S
Standard car parking required:	21 P/S (8.5' x 20' minimum)
Standard car parking provided:	21 P/S
Disabled parking required:	1 P/S (8.5' x 20' W/ 3.5' aisle)
Disabled parking provided:	1 P/S
Disabled van parking required:	1 P/S (9' x 20' W/ 8' aisle)
Disabled van parking provided:	1 P/S
Grand total parking spaces provided	30 P/S

One joint-use bicycle parking rack shall be provided on-site.

NOTE: ALL DIMENSIONS TO BACK OF CURB UNLESS NOTED OTHERWISE. REFER TO P11 PLAT FOR METES AND BOUNDS



SITE DATA:

Lot or Tract No: Lot 12-A
 Block: Block 54
 Subdivision: NM Town Company's Original Townsite

Current zoning: SU-2 Special Neighborhood Zone (with R-4 provisions), High Density Apartments (HDA)

Downtown Neighborhood Area Sector Development Plan
 Fourth Ward Historic Overlay Zone, ("Noncontributing" Building)

Proposed zoning: SU-2 Special Neighborhood Zone (HDA) High Density Apartments (R-4)

Zone Atlas page: Map No. J-13
 MRGCD Map No: Map No. 38
 Encroachments: none
 UPC No: # 1 013 058 495 013 40501

Number of existing lots: one (1) lot
 Number of proposed lots: one (1) lot
 Total area net of site: 28 acres (12,185 sq.ft.) net
 Total area gross of site: 49 acres (21,230 sq.ft.) gross

Number of proposed dwelling units: 35 DU's
 Density / dwellings per net acre: 35 DU/28 acre = 125 DU/acre net
 Density / dwellings per gross acre: 35 DU/49 acre = 71.43 DU/acre gross

Number of one-bedroom dwelling units: 29 DU's
 Number of two-bedroom dwelling units: 6 DU's

BUILDING AREA CALCULATIONS:

Total gross heated area of building: 33,640 gr.sq.ft. (35 dwelling units)

First floor gross heated area: 8,345 gr.sq.ft. (9 dwelling units)
 Second floor gross heated area: 8,500 gr.sq.ft. (10 dwelling units)
 Third floor gross heated area: 8,500 gr.sq.ft. (9 dwelling units)
 Fourth floor gross heated area: 8,295 gr.sq.ft. (7 dwelling units)

Total (non-heated) garage area: 10,128 gr.sq.ft.

A SITE PLAN / ROOF PLAN

CARLTON APARTMENTS
 REVISED MAY 17, 2006
 JOHNNY AND JANE CARLTON
 TIJERAS AVENUE AND TENTH STREET NW
 ALBUQUERQUE, NEW MEXICO

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CAD FILENAME
 SERVER/2838.00/A11.DWG

SHEET TITLE
 SITE PLAN / ROOF PLAN
 PROJECT INFORMATION

REVISION	DATE
▲	SEPTEMBER 30, 2005
▲	JANUARY 31, 2005
▲	NOVEMBER 24, 2004

DATE
 MAY 17, 2006

PROJECT NO.
 2838.00

DRAWING SHEET

A11