

SIGNATURE BLOCK	
PROJECT NUMBER:	1001931
APPLICATION NUMBER:	05DRB-01588
IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
<i>Christina Sandoval</i>	10-24-05
TRAFFIC/ENGINEERING TRANSPORTATION DIVISION	DATE
<i>Kate L. Shum</i>	10/19/05
PARKS & RECREATION DEPARTMENT	DATE
<i>Bradley D. Bunker</i>	10/19/05
CITY ENGINEERING DIVISION / AMAPCA	DATE
<i>N/A</i>	10/24/05
UTILITIES DEPARTMENT	DATE
<i>Michael Holton</i>	10/10/05
SOLID WASTE MANAGEMENT	DATE
<i>Andrew Garcia</i>	10/24/05
DEB CHAIRPERSON / PLANNING DEPARTMENT	DATE
PLAN(10706) 12/16/03	



1801 Rio Grande Boulevard, N.W.
Albuquerque, New Mexico
Phone: (505) 842-1113
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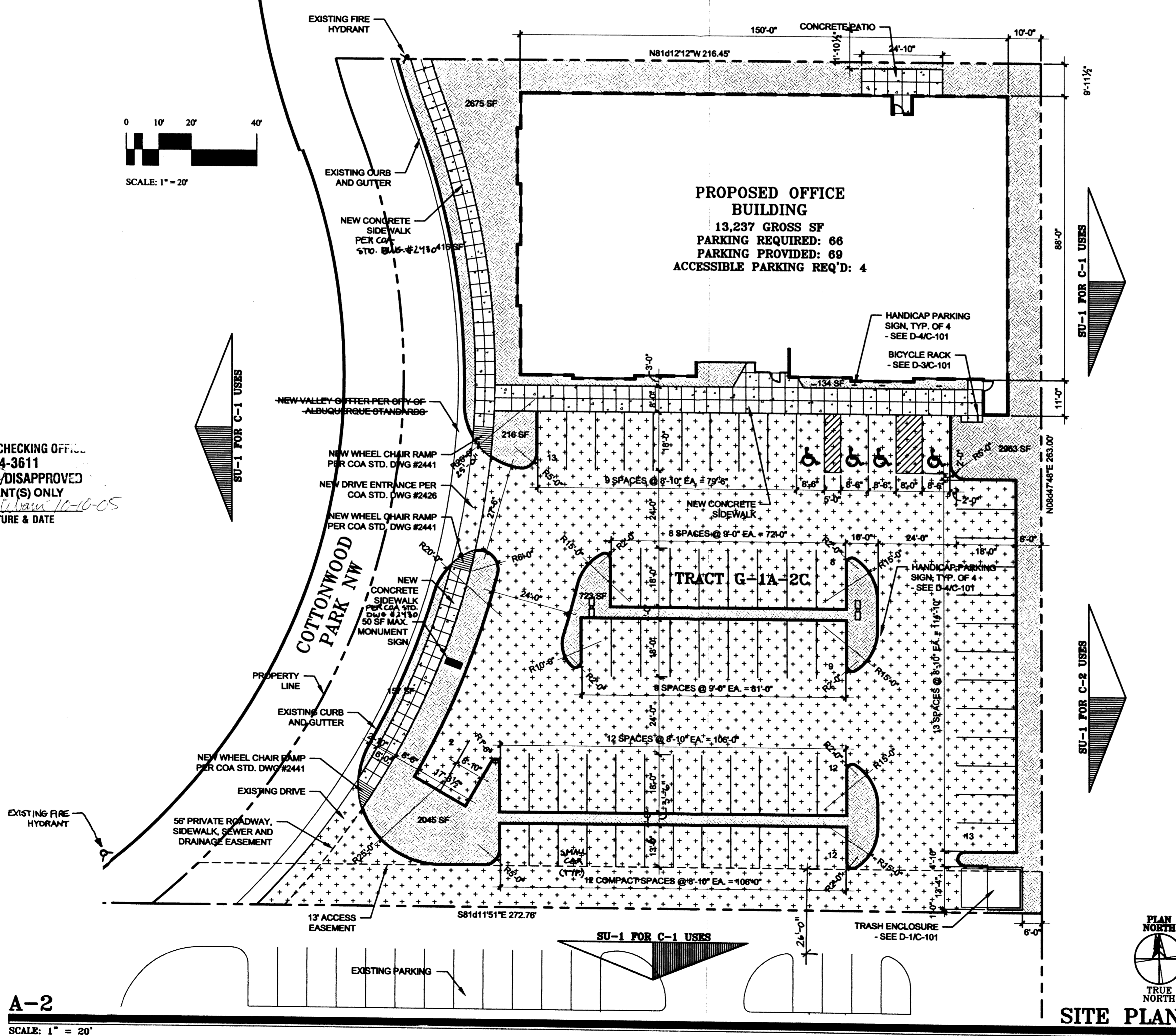
COLDWELL OFFICE BUILDING
10300 COTTONWOOD PARK NW
ALBUQUERQUE, NEW MEXICO

MARK	DATE	DESCRIPTION

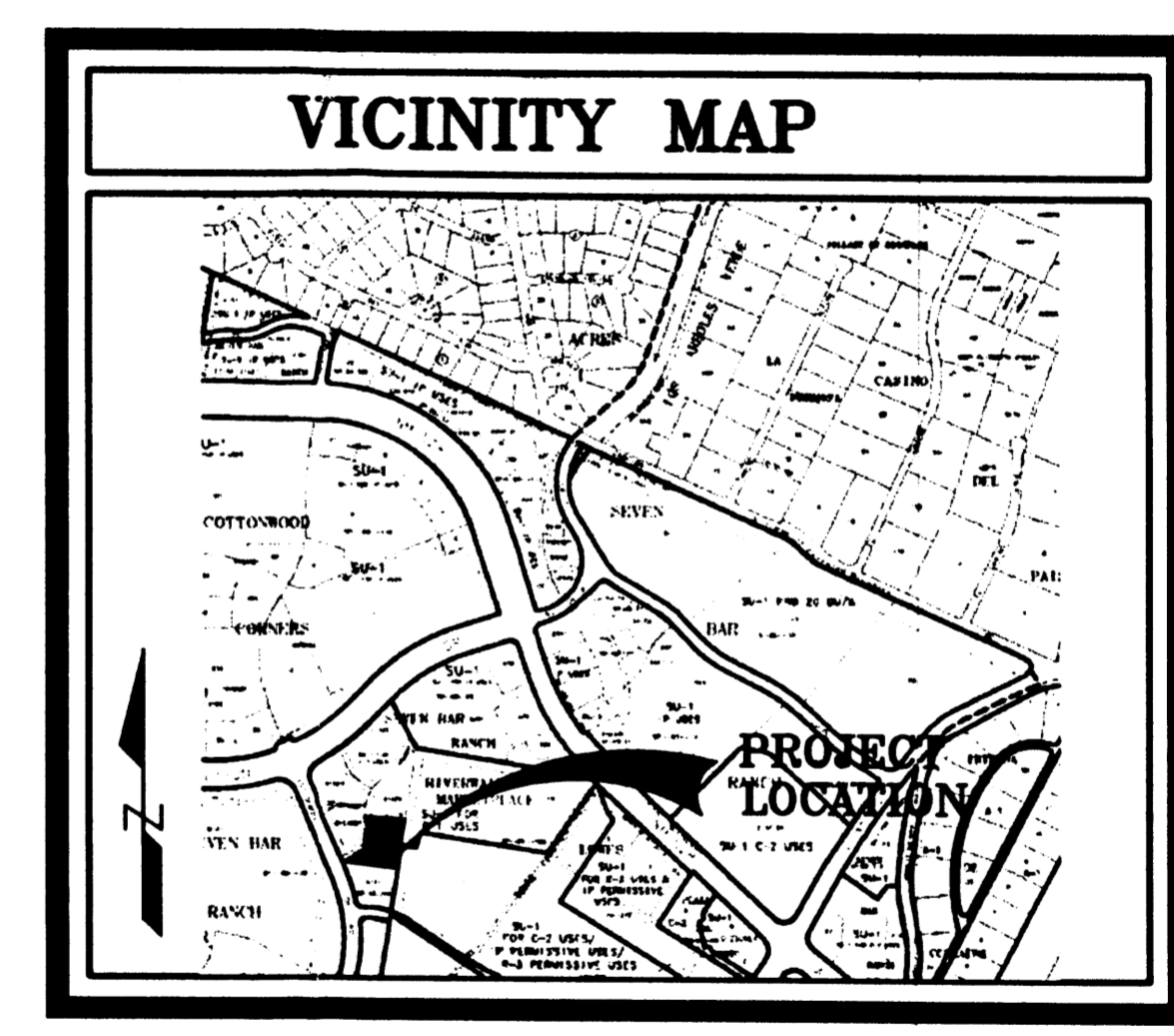
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DATE:	OCTOBER 10, 2005

SHEET TITLE
SITE PLAN

SHEET NUMBER
C-101



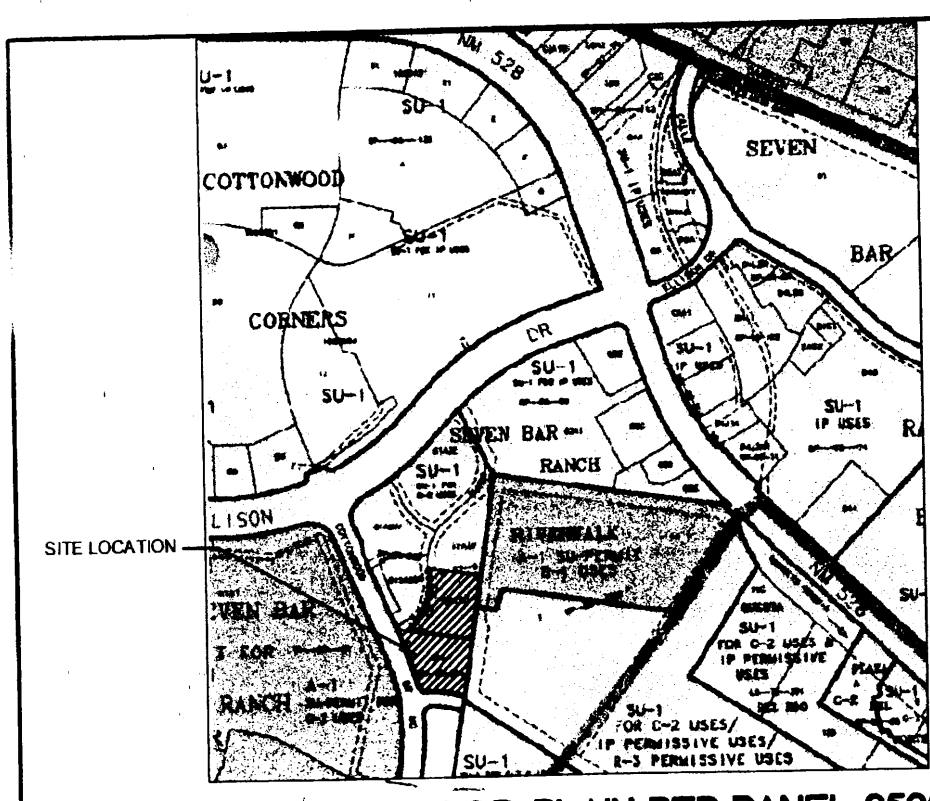
SITE PLAN LEGEND	
[Symbol]	INDICATES EXTENT OF LANDSCAPE AREAS AND SIZE OF EACH AREA
[Symbol]	INDICATES EXTENT OF NEW ASPHALTIC CONCRETE PAVING. MINIMUM 2" OF ASPHALT OVER 4" BASE COURSE.
[Symbol]	INDICATES EXTENT OF CONCRETE PAVING AND CONCRETE SIDEWALKS.
[Symbol]	PROPERTY LINE.
[Symbol]	EASEMENT BOUNDARIES.
[Symbol]	STORM DRAIN



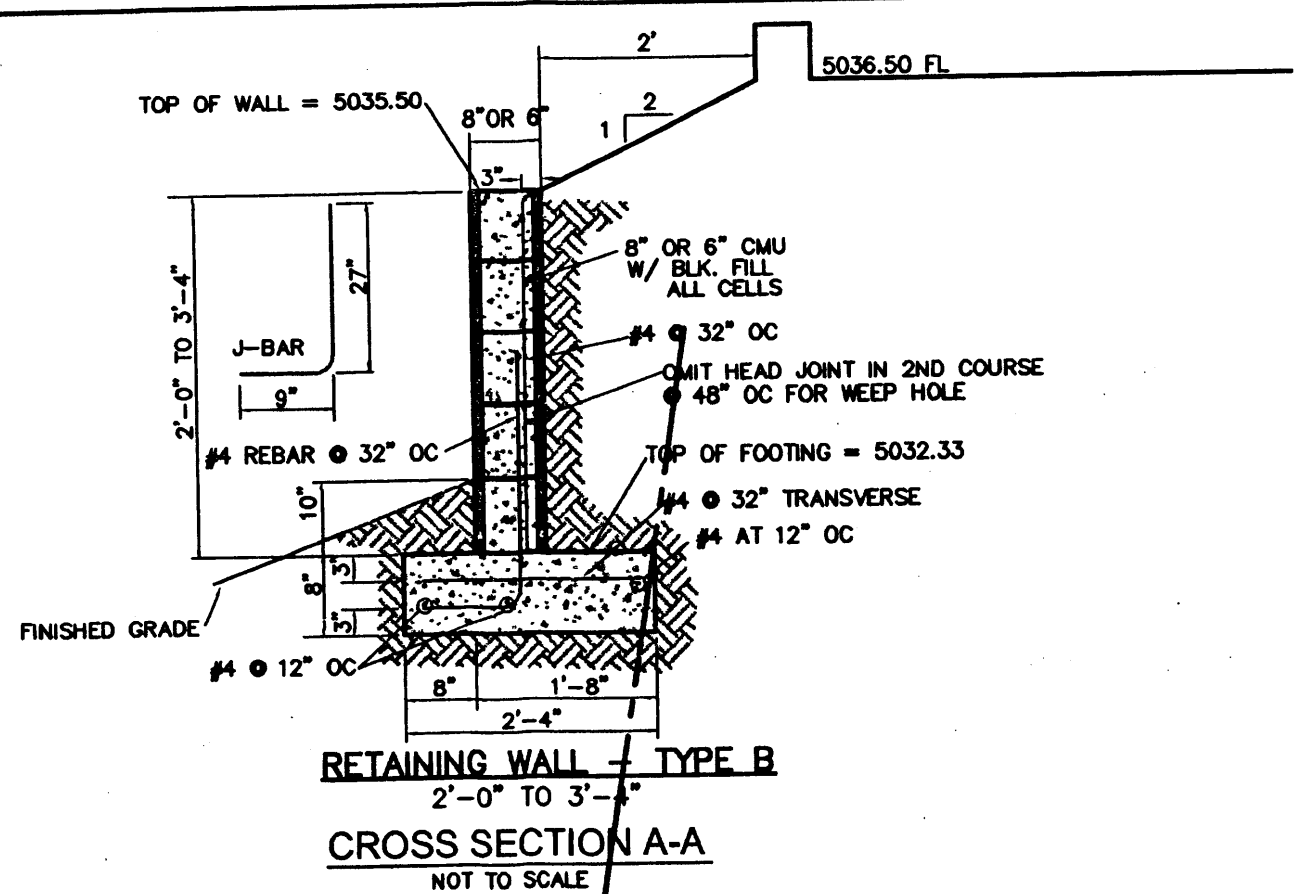
BUILDING CRITERIA	
PROJECT:	COLDWELL OFFICE BUILDING 10300 COTTONWOOD PARK NW
LEGAL DESCRIPTION:	TRACT G-1A-2C OF SEVEN BAR RANCH
ZONING ATLAS MAP:	A-14-Z
ZONING CLASSIFICATION:	SU-1
APPLICABLE BUILDING CODE:	2003 IBC
BUILDING TYPE:	OFFICE
CONSTRUCTION TYPE:	V-8, AUTOMATIC SPRINKLER SYSTEM
OCCUPANT LOAD:	13,237 SF / 100 = 132 OCCUPANTS
OCCUPANCY GROUP:	B
NUMBER OF FLOORS:	ONE
GROSS SQUARE FOOTAGE:	13,237 SF
PARKING ANALYSIS:	
REQUIRED:	13237 / 200 = 66
PROVIDED:	69 INCL. 4 ADA PARKING SPACES (4 REQUIRED)
PARKING SPACE SIZES:	
REGULAR:	8'-10" OR 9'-0" X 18'-0" + 2'-0" OVERHANG
COMPACT:	8'-10" X 13'-6" + 2'-0" OVERHANG
BIKE CYCLE SPACES: REQUIRED: 66 / 20 = 3 PROVIDED: 4	
TOTAL LOT AREA: 56,051 SF	
NET LOT AREA: 56,051 SF - 13,237 SF = 42,814 SF	

AFD PLANS CHECKING OFFICER
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
Juan Williams 10-10-05
SIGNATURE & DATE

PROJECT 1001931



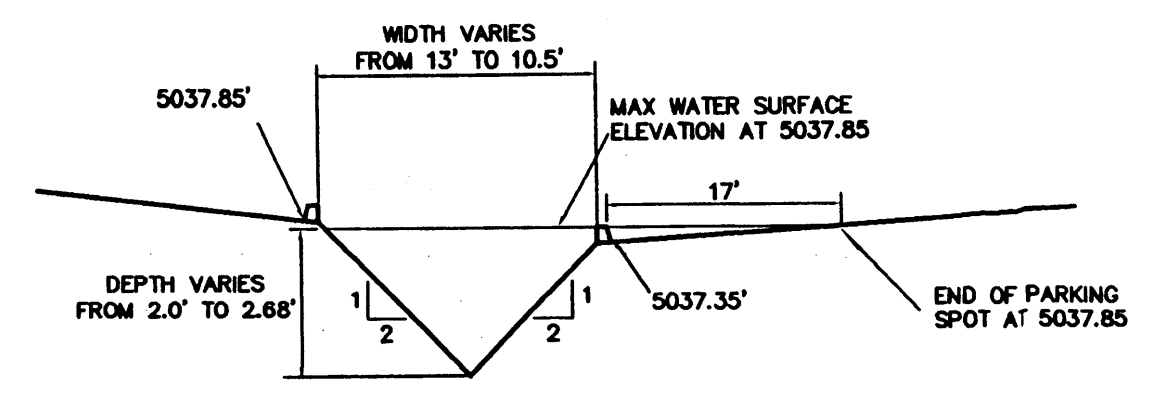
VICINITY MAP - NO FLOOD PLAN PER PANEL 35001C0109F



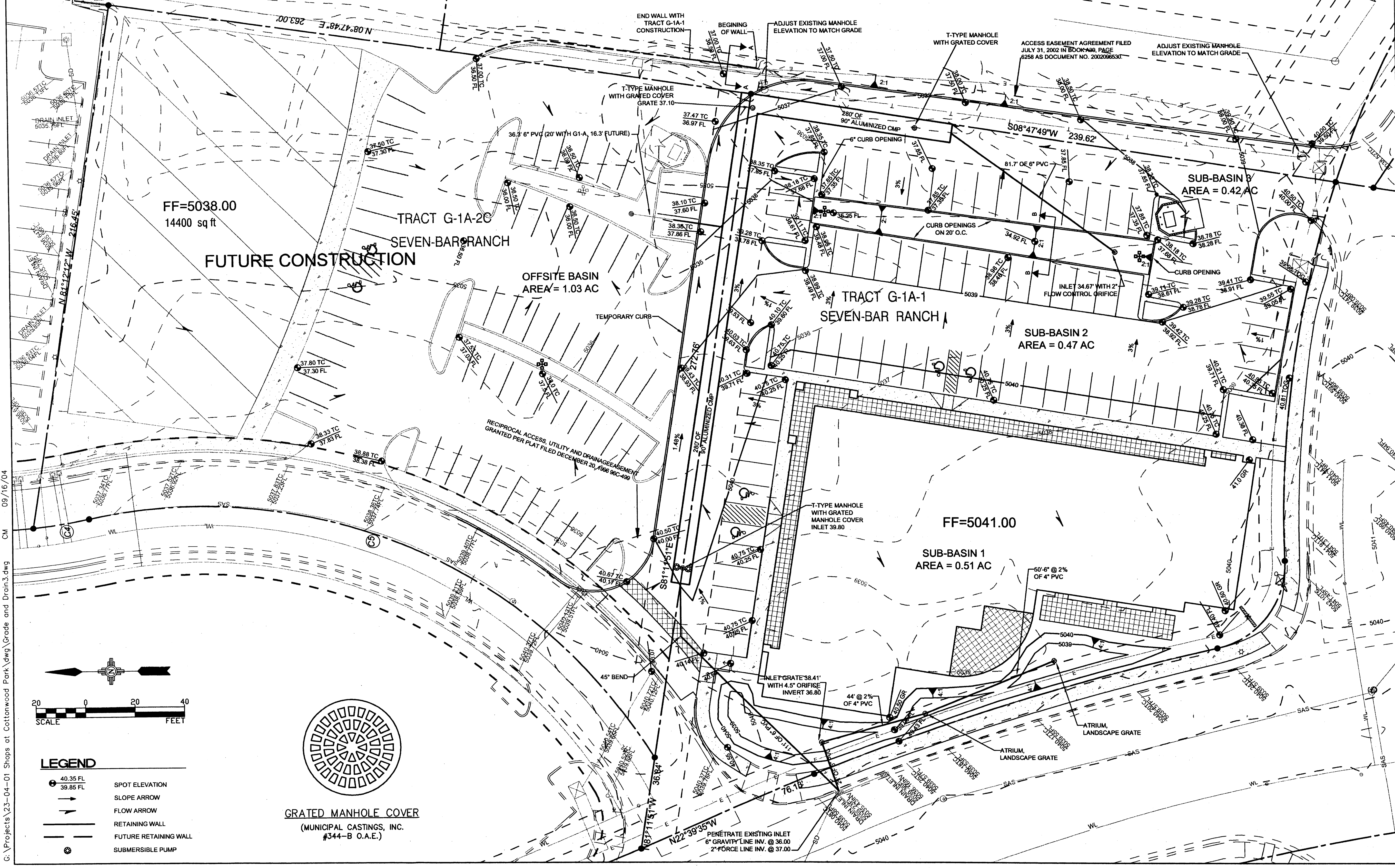
RETAINING WALL - TYPE B

CROSS SECTION A-A

- RETAINING WALL NOTES**
1. Compact subgrade to 95% min. relative density (12" min. depth) per ASTM D1557. If clay or loose sand is encountered, contact the Engineer before proceeding.
 2. Compact backfill to 90% min. relative density per ASTM D1557.
 3. Maintain 2" minimum clearance between all reinforcing bars and outside surface of formed concrete, 3" between bars and outside surface of concrete poured against earth.
 4. All block and plaster cells are to be grouted solid with concrete block fill.
 5. Concrete for footings and filling of cells shall meet or exceed 3,000 p.s.i. at 28 days, with 3/4" maximum size aggregate, and a maximum slump of 5".
 6. Masonry mortar shall meet or exceed the requirements of ASTM C 270, Type M.
 7. Wall blocks are to be standard masonry units (8"X8"X16" or as otherwise indicated), and plaster blocks are to be sized appropriately for the intended application. Color - Desert Tan or as directed by owner.
 8. Install 9 gal. galv. Dur-O-Wal (or approved equal) every other course (16" OC), or bond beam with 2-#4 rebar every third course (24" OC, max.).
 9. Reinforcing steel splices shall have 15" min. laps.
 10. Construct pilasters at 16' on centers (maximum), and as appropriate for corners, junctions, angle points and ends.
 11. Drainage for retained earth shall be provided with clean gravel backfill and un-mortared head joints.
 12. The top course of block shall use 2" solid masonry units as caps, unless a 6" party wall is to be installed on top of a retaining wall.
 13. The top of pilasters shall have 2" solid masonry units of appropriate sizes.
 14. Drain blocks for party walls shall consist of standard masonry units turned face down. They shall be installed through the 6" party wall about the retaining wall section if the retaining wall section is complete and backfilled, and at locations specified by the Owner.



CROSS SECTION B-B
NOT TO SCALE



SHOPS AT COTTONWOOD PARK

The project area generally slopes to the north and east, and is comprised of sandy, hummocky soils. It is comprised of two separately owned sites, both covered by SAD 223, and thus, there is a maximum permissible peak flow rate. The first site is designated Tract G-1A-1 Seven Bar Ranch. From "SAD NO. 223 Cabezon Channel Capacity Analysis" (June 1993), prepared by Easterling & Associates, Inc., for COA PWD, the permissible flow rate from TRACT G-1A-1 is 0.73 cfs per acre. Tract G-1A-1 is 1.3166 acres, and thus has a permissible 0.97 cfs discharge. The adjacent site on the north (G-1A-2C) is coordinated to drain to the same system as this site. This adjacent site is only in a conceptual phase and is only being submitted as conceptual grading and drainage plan. All "developed" flow (90% D, 10% C) goes to a shared detention/pump system.

Hydrology calculations were performed based on the Albuquerque DPM Chapter 22.2. The site is in Zone 1 (Figure A-1 of DPM). Thus a rainfall of 2.66" is used for the 100 yr 24 hr storm. The site is broken into four sub-basins for analysis. The areas and calculated runoff volumes and peak flow rates are shown below.

HYDROLOGY SUMMARY

PROJECT NAME:	Shops at Cottonwood Park		LAND TREATMENTS			
	AREA (acres)	COND.	A	B	C	D
JOB NUMBER:	23-04-01					
Sub-basin 1	DEV	0.51	0.0%	13.8%	13.8%	72.5%
Sub-basin 2	DEV	0.47	0.0%	3.4%	9.4%	87.2%
Sub-basin 3	DEV	0.42	0.0%	0.0%	1.7%	98.3%
Off-site 1	DEV	1.05	0.0%	0.0%	10.0%	90.0%

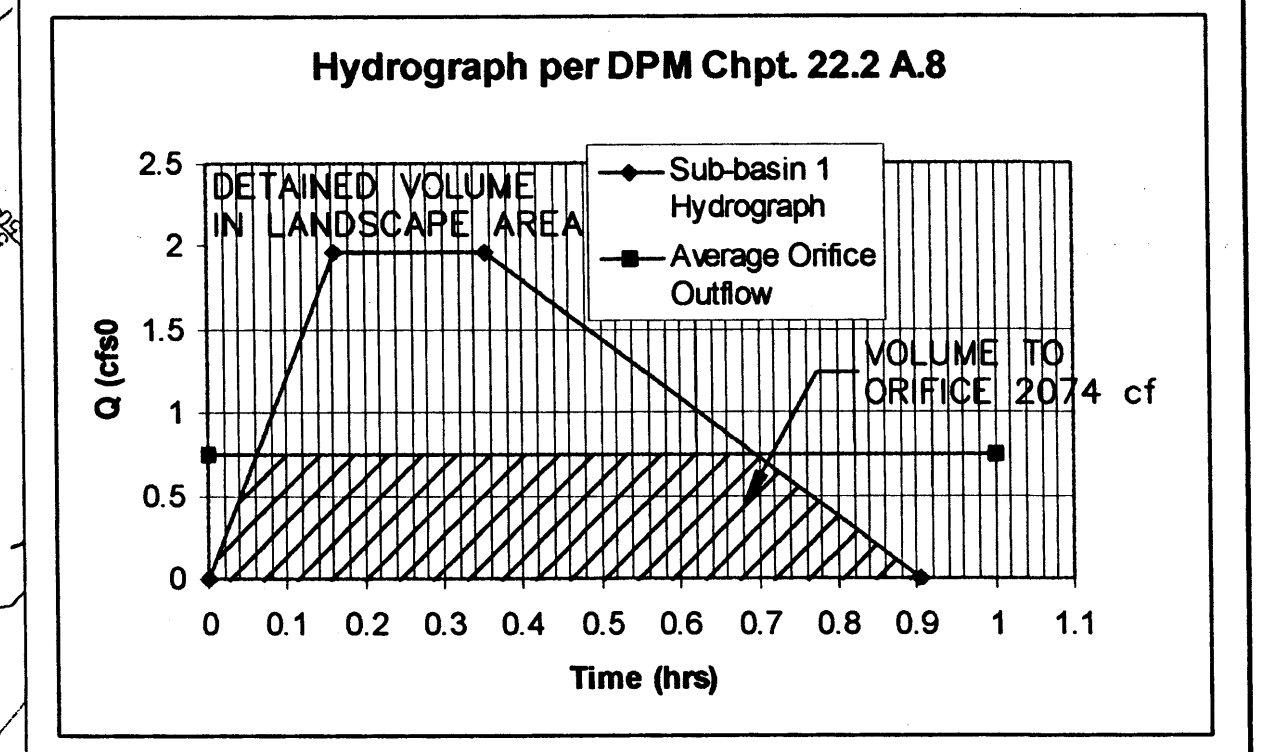
Sub-basin	Q (cfs)	10 YEAR VOLUME (ac.ft.)		100 YEAR VOLUME (ac.ft.)	
		6 HR	24 HR	6 HR	24 HR
Sub-basin 1	1.2	0.04	0.05	2.0	0.07
Sub-basin 2	1.3	0.04	0.05	1.9	0.07
Sub-basin 3	1.2	0.04	0.05	1.8	0.07
Off-site 1	2.9	0.10	0.13	4.4	0.16

The entire site will be drained to the backside of an existing inlet on Cottonwood Drive N.W., as shown on the plan. Two penetrations will be required, one for a 6" gravity line, and another for a force line from the pump.

The gravity line drains Sub-basin 1, which contains the building. Building runoff drains to the western landscape/detention area. A 6" pipe with a 4.5" orifice plate, will allow 0.65 cfs when the water surface elevation matches the grate elevation and increases to 0.88 cfs as the elevation rises. As can be seen from the hydrograph plot below, the inlet/orifice accounts for 2074 cubic feet of the runoff from Sub-basin 1. The rest of the volume is temporarily detained in the landscape area. This plot was created with a tc equal to the minimum and an average orifice flow rate of 0.75 cfs.

The runoff from Sub-basin 2 is collected to the large median on the eastern end of the site (see detail). This median stores 2870 cu. ft. (0.066 ac-ft) and will be controlled by a 1.5" orifice allowing a flow rate less than the pumps 0.09 cfs. This takes this volume out of the storage necessary for the underground pipe. In a 100-yr storm event this storage area will overflow to the inlet in the northeast corner of the site. This inlet also directly receives all surface runoff from Sub-basin 3. This runoff, as well as most of Off-Site 1, drain directly to an underground 90" CMP which runs for 280' and provides for 12348 cubic ft (0.283 ac-ft) of storage. Off-Site 1 also has a median/parking lot ponding area on the eastern portion of the lot. This area detains above ground or drains directly to the street inlet. The remaining 12,310 is drained to the 90" CMP and then pumped to the street inlet. The CMP will house two 40 GMP (0.9 cfs) submersible trash pumps (one is backup), which will be connected to the existing inlet in Cottonwood Park by a PVC pressure line. It should be noted that 0.9 cfs (pump flow rate) when combined with the maximum orifice flow rate (0.88 cfs) is equal to the permissible 0.97 cfs for Tract G-1A-1. It should also be noted that in a 100-yr storm the maximum parking lot depth is 0.5', and there is no ponding in the parking lot in a 10-yr storm.

Spot elevations, and contours where necessary, are shown to convey the final grade. The final grade is similar to the existing grades as it falls off from the north and east. A retaining wall is required at the north east corner of the parking area and has a maximum retained height of 3.4' (see accompanying detail).



**SHOPS AT COTTONWOOD PARK
GRADING AND DRAINAGE PLAN**

Easterling Consultants, LLC
CONSULTING ENGINEERS
3613 NM 528 NW, Suite E-2
Albuquerque, New Mexico 87114
(505) 821-6646 FAX (505) 897-2965

DESIGNED BY: HWF
DRAWN BY: HWF
CHECKED BY: CME
DATE: 23-04-01
DATE: 06 OCTOBER 2004

SDP-3
OF 5

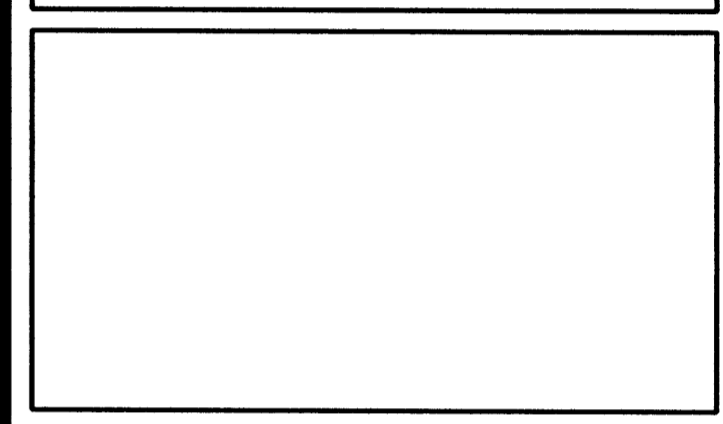


CLAUDIO VIGIL ARCHITECTS

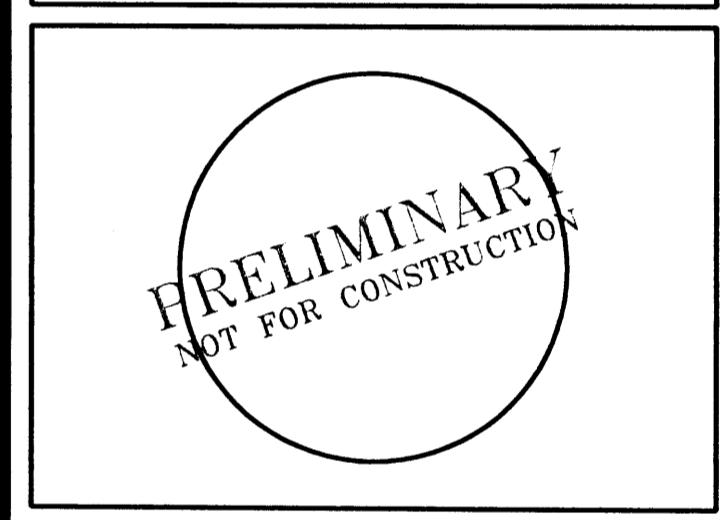
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COLDWELL OFFICE BUILDING

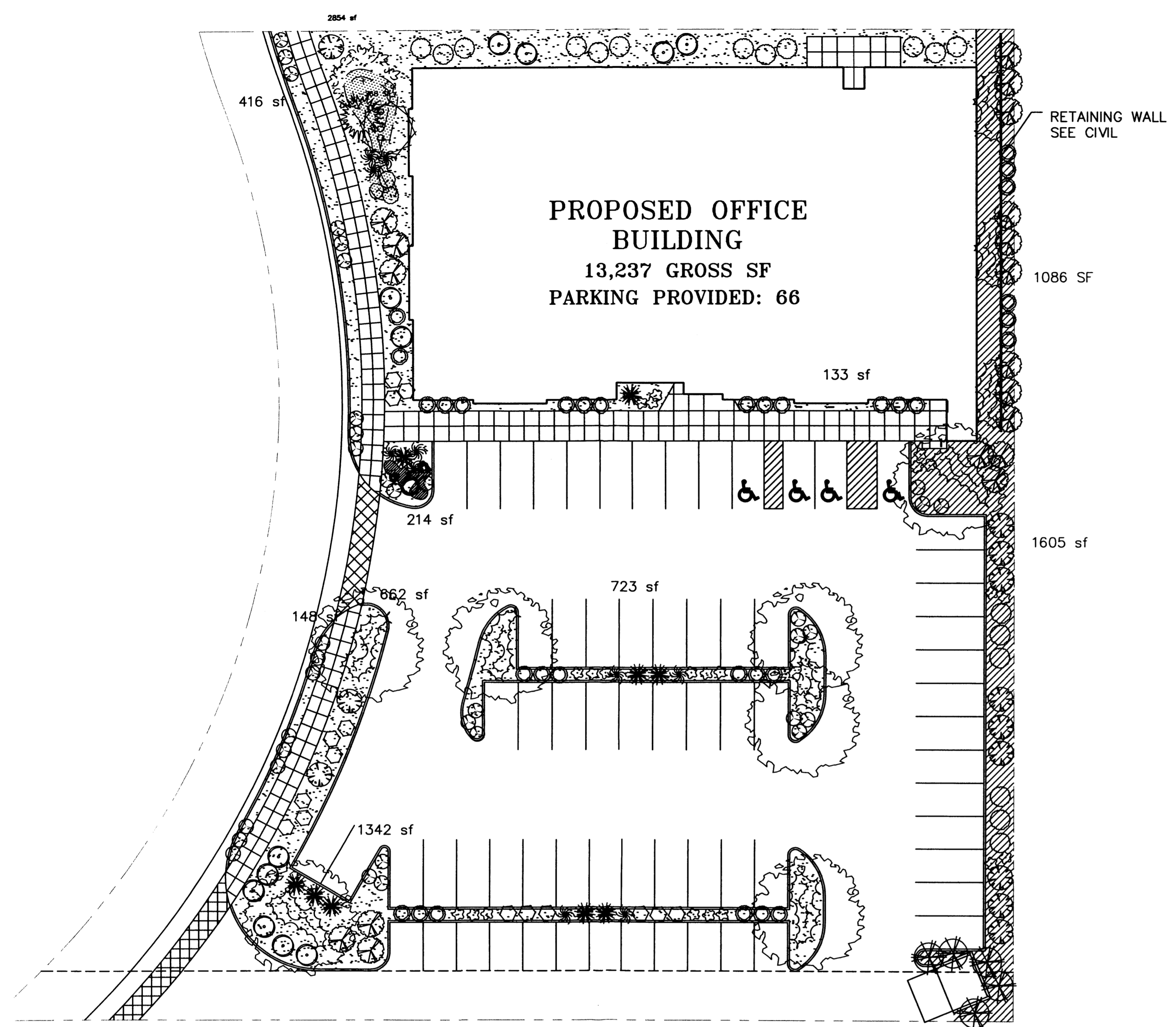
10300 COTTONWOOD PARK NW
ALBUQUERQUE, NEW MEXICO

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PROJECT NUMBER:	05275
DRAWING FILE:	MC-C-101-SP
DRAWN BY:	dj
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DATE:	October 06, 2005

SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER
L-101

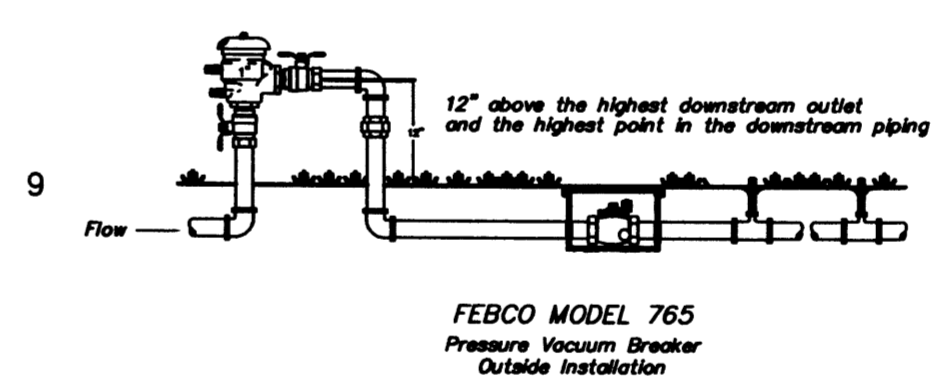
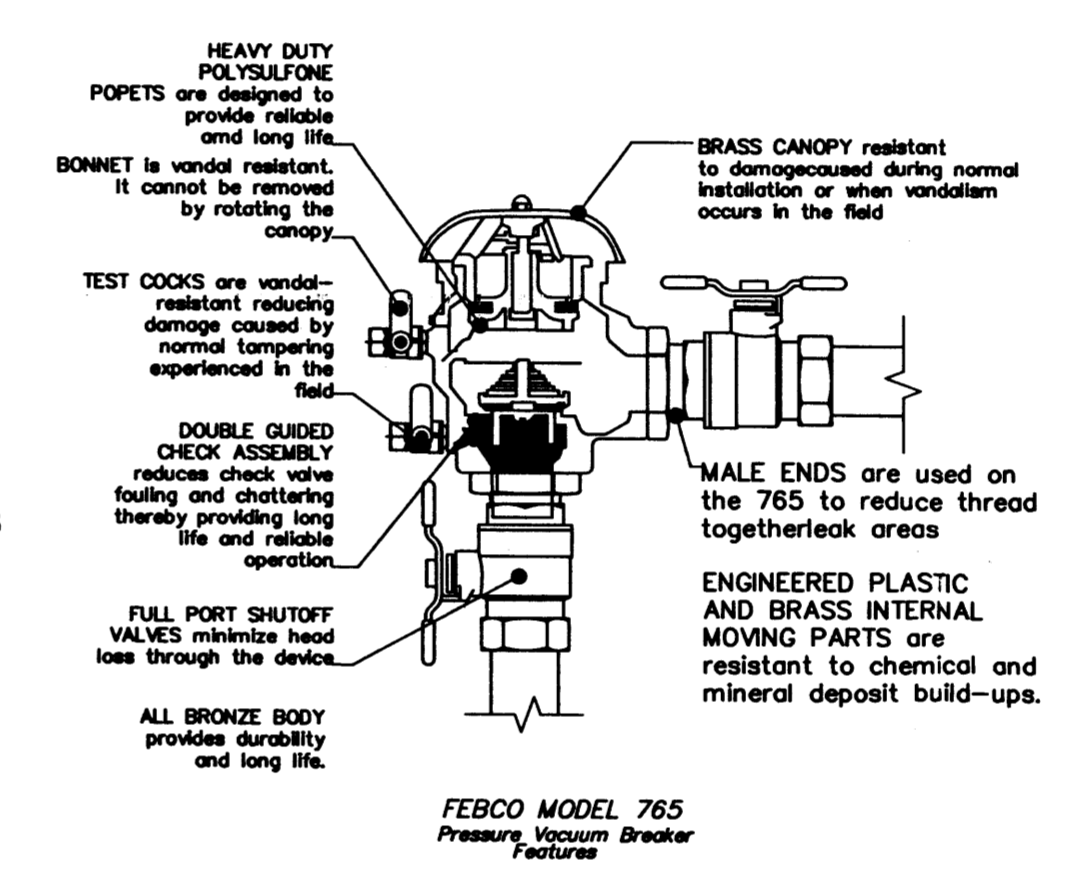


PLANT LEGEND

- ASH (H) OR HONEY LOCUST (M) 7
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal.
- MUGO PINE (M) 1
Pinus mugo
5 Gal.
- SILVERBERRY (M) 5
Elaeagnus pungens
5 Gal. 100sf
- RED YUCCA (L) 9
Hesperaloe parviflora
5 Gal. 9sf
- MAIDENGRASS (M) 7
Miscanthus sinensis
5 Gal. 16sf
- RUSSIAN SAGE (M) 12
Perovskia atriplicifolia
5 Gal. 36sf
- APACHE PLUME (L) 18
Fallugia paradoxa
5 Gal. 25sf
- ROSEMARY (M) 32
Rosmarinus officinalis
2 Gal. 9sf
- POTENTILLA (M) 22
Potentilla fruticosa
2 Gal.
- AUTUMN SAGE (M) 15
Salvia greggii
2 Gal. 9sf
- HALLS HONEYSUCKLE (M) 18
Japonica "Halliana"
1 Gal. 144sf
Unstaked-Groundcover
- CHAMISA (L) 12
Chrysothamnus nauseosus
1 Gal. 25sf
- WILDFLOWER 36
1 Gal. 4sf
- GREYLEAF COTONEASTER (M) 9
Cotoneaster buxifolius
1 Gal. 81sf
Symbol indicates 3 plants
- OVERSIZED GRAVEL & 3 BOULDERS
- COMMERCIAL GRADE STEEL EDGING
- 3/4" GRAY GRAVEL WITH FILTER FABRIC

PONDING AREA

- NEW MEXICO OLIVE (M) 1
Forestiera neomexicana
15 Gal.
- COYOTE WILLOW (M) 1
Salix exigua
15 Gal.
- PAMPAS GRASS (M) 1
Cortaderia selloana
5 Gal.
- CAT TAILS (M) 3
Nympha spp
1 Gal.
- MAIDENGRASS (M) 3
Miscanthus sinensis
5 Gal. 16sf
- 3/4" GRAY GRAVEL with Water Harvesting Seed Mix



BACKFLOW PREVENTER DETAIL

LANDSCAPE CALCULATIONS

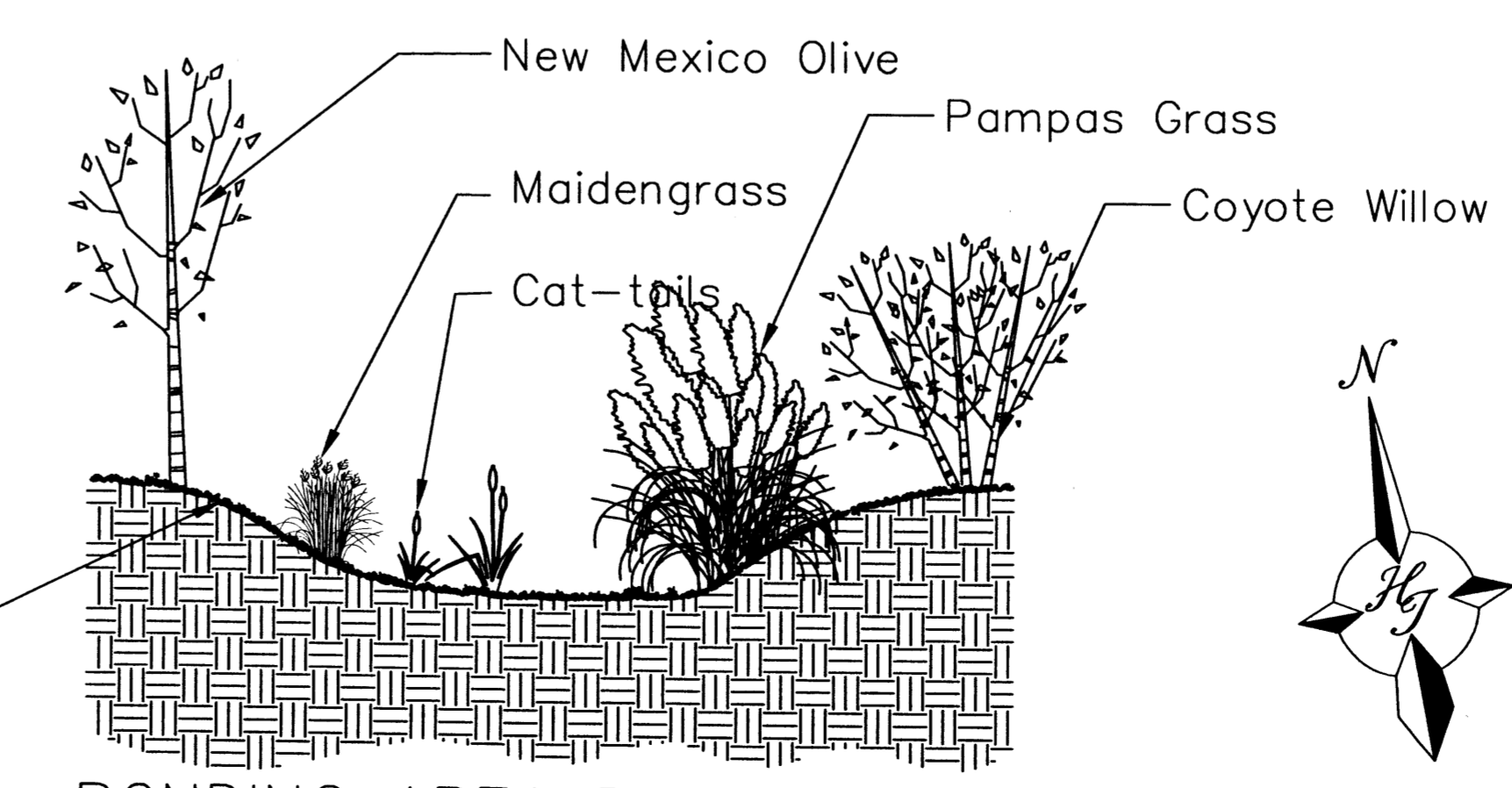
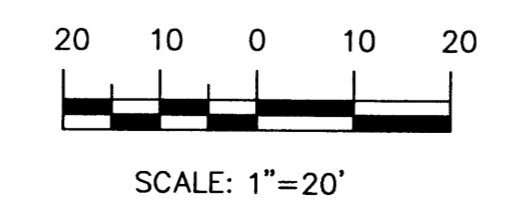
TOTAL LOT AREA	56051	square feet
TOTAL BUILDINGS AREA	13237	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	42814	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	6422	square feet
TOTAL BED PROVIDED	9078	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	6809	square feet
TOTAL GROUNDCOVER PROVIDED	7221 (80%)	square feet
TOTAL LANDSCAPE PROVIDED	9078 (21%)	square feet

PARKING LOT TREE REQUIREMENTS

Parking Lot trees required under the City of Albuquerque Ordinance are as follows:

Parking Spaces Provided 73
Trees Required # 7 Trees Provided # 7 Gravel with Water Harvesting Seed Mix and no FF

GRAPHIC SCALE



PONDING AREA DETAIL

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Grey Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubble systems to be tied to 1/2" poly pipe with flush caps at each end.

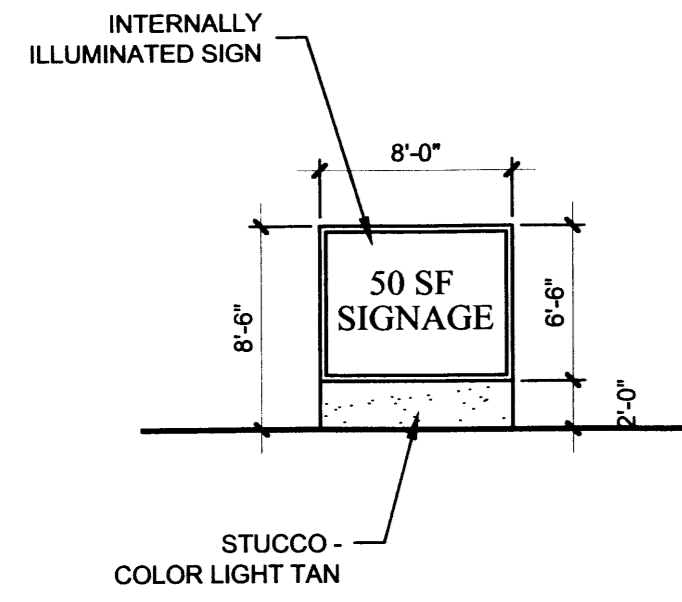
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

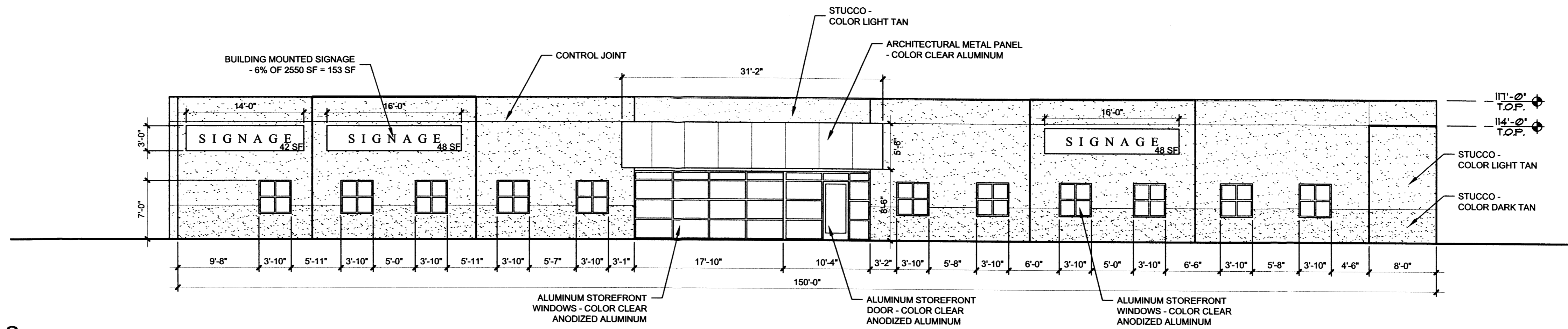
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.



D-1 MONUMENT SIGN

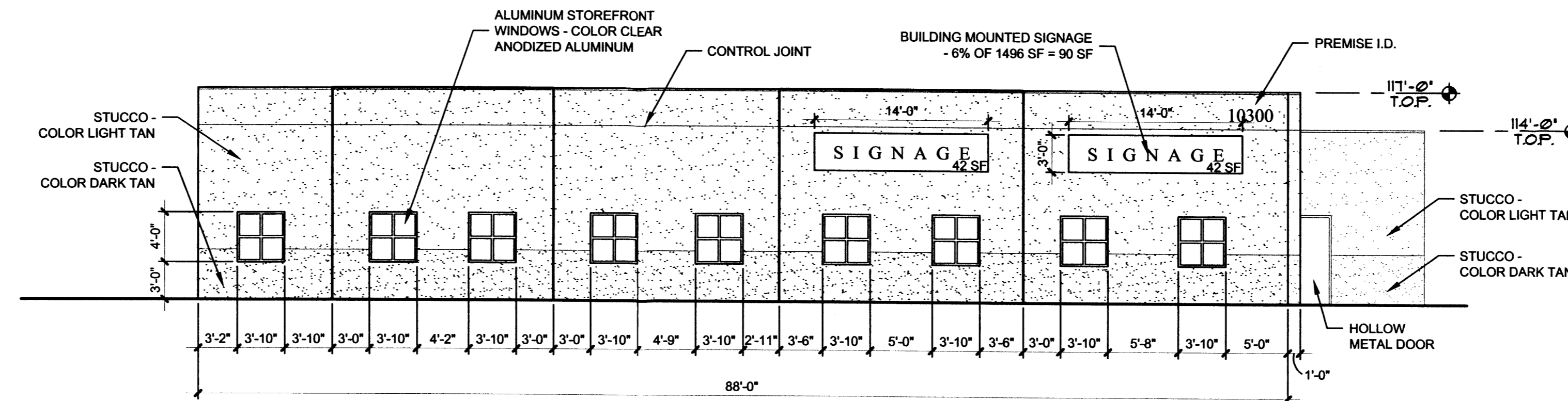
SCALE: 1/8" = 1'-0"



D-2

SCALE: 1/8" = 1'-0"

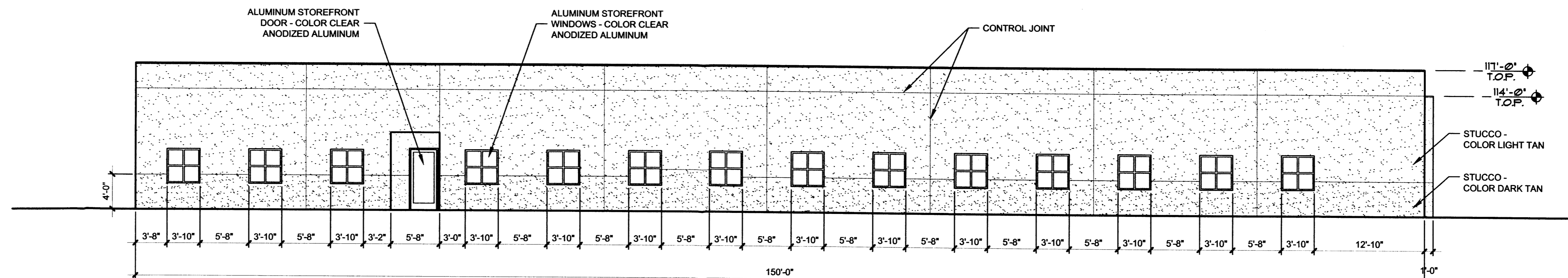
SOUTH ELEVATION



C-2

SCALE: 1/8" = 1'-0"

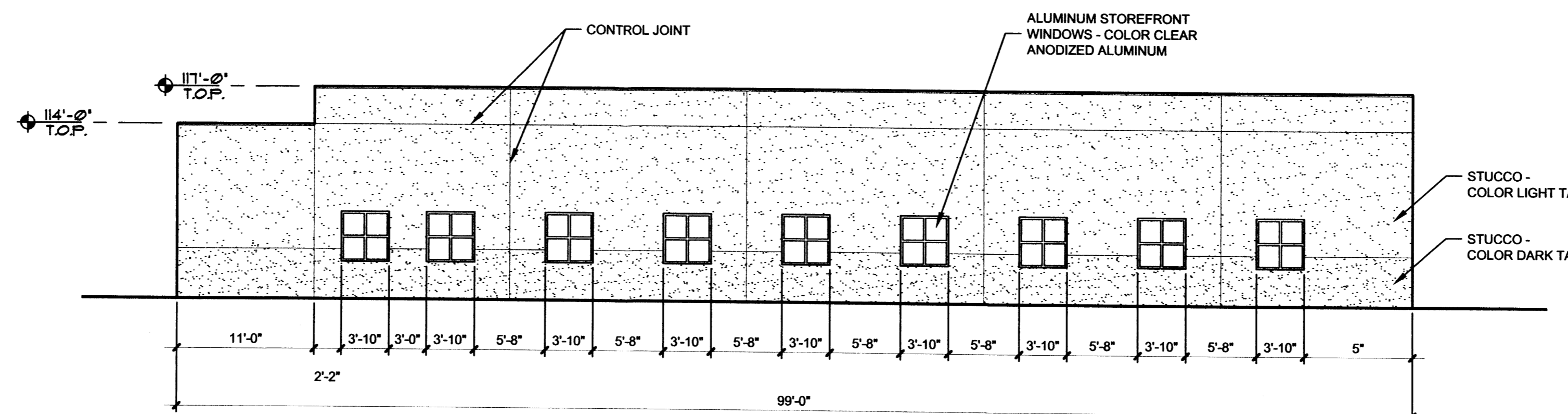
WEST ELEVATION



B-2

SCALE: 1/8" = 1'-0"

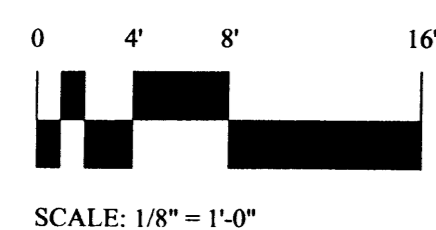
NORTH ELEVATION



A-2

SCALE: 1/8" = 1'-0"

EAST ELEVATION



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COLDWELL OFFICE BUILDING
10300 COTTONWOOD PARK NW
ALBUQUERQUE, NEW MEXICO



MARK	DATE	DESCRIPTION

PROJECT NUMBER: 05275
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DRAWN BY: LH
CHECK BY: XXXX
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DATE: OCTOBER 10, 2005

SHEET TITLE
EXTERIOR ELEVATIONS DRB

SHEET NUMBER
A-201



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10300 COTTONWOOD PARK NW
ALBUQUERQUE, NEW MEXICO



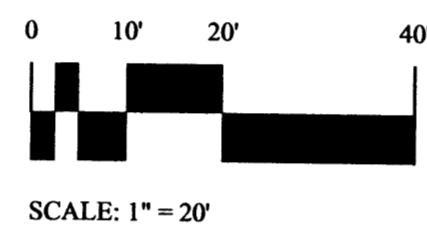
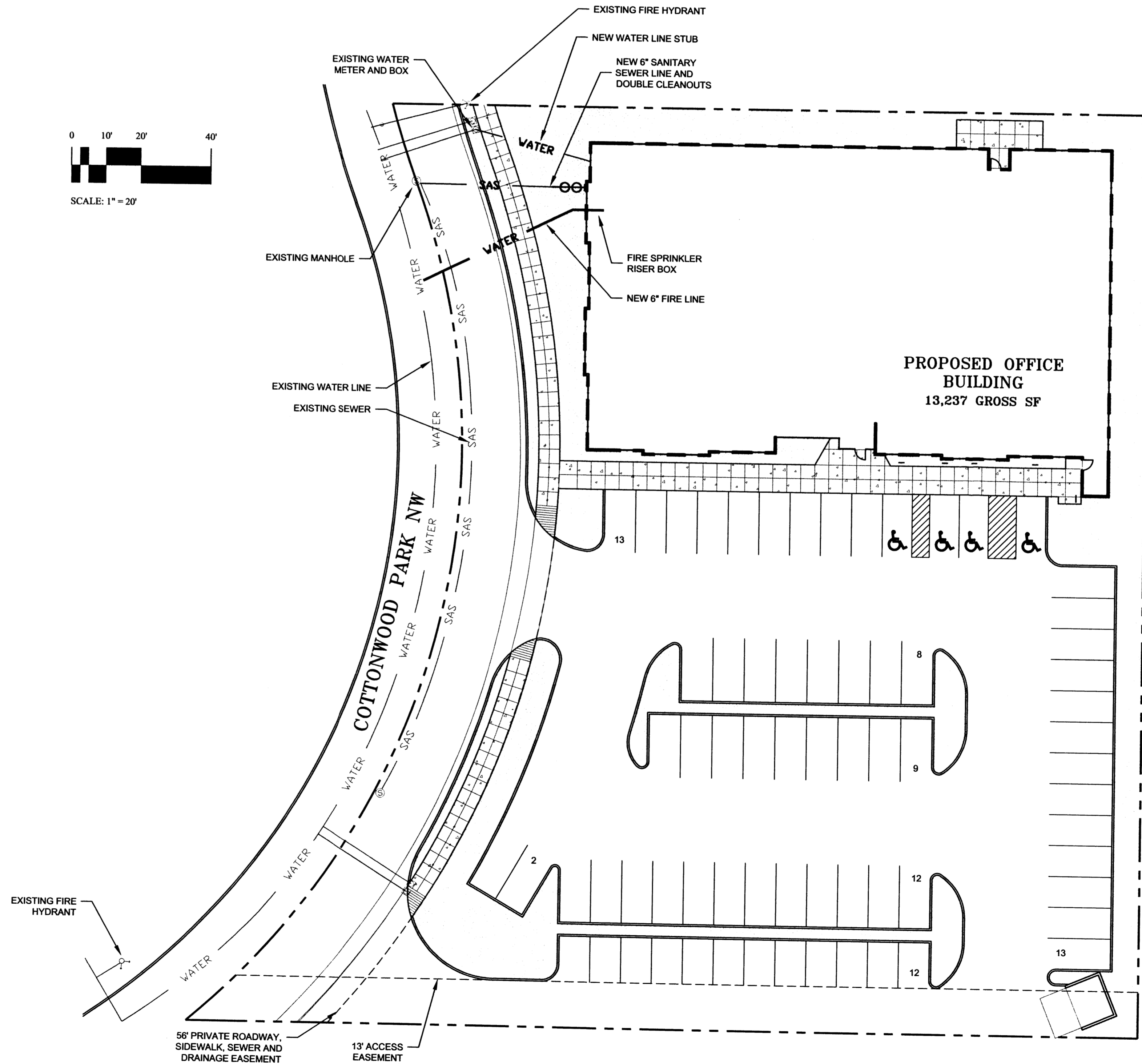
GERALD MARTIN
General Contractor

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PROJECT NUMBER:	05275
DRAWING FILE:	DRBMC-C-102-UTIL
DRAWN BY:	LH
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DATE:	OCTOBER 10, 2005

SHEET TITLE
CONCEPTUAL
UTILITY PLAN
DRB

SHEET NUMBER
C-102



A-3
SCALE: 1" = 20'



SITE PLAN