



*Examined
all & passed 1/22/09*

**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

October 19, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 11:36 A.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. **Project # 1003238**
05DRB-01489 Major-Preliminary Plat
Approval

TIERRA WEST LLC agent(s) for EVERGREEN DURANES LTD CO LLC, request(s) the above action(s) for , Lot(s) 42-P1 and 44-P1 through 57-P1, **FLORAL MEADOWS**, zoned R-LT residential zone, located on MONTROYA ST NW, between FLORAL NW and INTERSTATE 40, containing approximately 2 acre(s). [REF: Z-71-118, 04EPC-00156,04EPC-00157, 04DRB-00661, 04DRB-01227] (H-12/13) **PRELIMINARY PLAT WAS APPROVED.**

2. **Project # 1000788**
05DRB-01491 Major-Vacation of Pub
Right-of-Way

RICHARD EVANS & KELLY CONABOY, request(s) the above action(s) for all or a portion of Block(s) P & R, **PARADISE SKIES, UNIT 9**, zoned R-T, located on SKY WATCHER ST NW, between CELESTIAL AVE NW and MCMAHON BLVD NW. [REF: 05DRB-00508] (A-11) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH AN ADDITIONAL CONDITION.**

3. **Project # 1004454**
05DRB-01499 Major-Vacation of Pub
Right-of-Way

PRECISION SURVEYS agent(s) for TIMOTHY & LORIE DROPPS request(s) the above action(s) for all or a portion of Lot(s) 7, Block(s) B **SOUTH BROADWAY ACRES, UNIT 1**, zoned SU-2 MR, located on JOHN ST SE, between BETHEL SE AND WOODWARD ST SE and containing approximately 1 acre(s). (M-14) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

4. **Project # 1004478**
05DRB-01581 Minor-SiteDev Plan
BldPermit

SANDERS & ASSOCIATES ARCHITECTS agent(s) for JON MITOVICH request(s) the above action(s) for all or a portion of Tract(s) 59, **ALAMEDA BUSINESS PARK**, zoned SU-2, IP-EP, located on CALLE ALAMEDA NE, between PASSEO ALAMEDA NE and VISTA ALAMEDA NE containing approximately 1 acre(s). [REF: DRB-98-223] (C-16) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

5. **Project # 1001831**
05DRB-01588 Minor-SiteDev Plan
BldPermit

CLAUDIO VIGIL ARCHITECTS agent(s) for WRANGLER PROPERTIES request(s) the above action(s) for all or a portion of Block(s) 000, Tract(s) G-1A-2C, **SEVEN BAR RANCH**, zoned SU-1 FOR C-2 USES, located on COTTONWOOD PARK NW, between ELLISON DR NW and SEVEN BAR LOOP NW containing approximately 2 acre(s). [REF: 02DRB-00879] (A-14) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR RADII, SMALL CAR STALLS AND CROSS ACCESS AND TO PLANNING FOR REPLACEMENT OF TAM JUNIPER WITH ALTERNATE GROUND COVER & 3 COPIES OF THE SITE PLAN.**

6. **Project # 1004364**
05DRB-01585 Minor-SiteDev Plan
Subd/EPC
05DRB-01586 Minor-SiteDev Plan
BldPermit/EPC
05DRB-01587 Minor-Prelim&Final Plat
Approval

BRASHER & LORENZ INC agent(s) for VALUE PLACE LLC request(s) the above action(s) for all or a portion of Tract(s) E-1 & E-2, CANYON ACRES SUBDIVISION, (to be known as **VALUE PLACE HOTEL**) zoned C-2 (SC), located on CENTRAL NE, between DORADO NE and TRAMWAY NE containing approximately 4 acre(s). [REF: 05EPC-01252, 05EPC-01253] [David Stallworth, EPC Case Planner] (L-22) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR DAVID STALLWORTH'S INITIALS. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/19/05 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR DAVID STALLWORTH'S INITIALS AND 3 COPIES OF THE SITE PLAN. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL PLAT SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND A COPY OF THE RECORDED PLAT.**

7. **Project # 1004097**
05DRB-01590 Minor-SiteDev Plan
Subd/EPC

MYERS, OLIVER & PRICE PC agent(s) for FOREST CITY COVINGTON NM, LLC and THE REGENTS OF UNM request(s) the above action(s) for Section(s) 15, 16, 21 and 22, **MESA DEL SOL**, zoned SU-1 FOR IP, located on UNIVERSITY BLVD SE, between LA SEMILLA WAY SE and LOS PICAROS RD SE containing approximately 208 acre(s). [REF: 05EPC-00576, 05EPC-00579] [Russell Brito, EPC Case Planner] (R-16/Q-16) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR EPC STAFF COMMENTS, FOR A PLAT TO COME BEFORE DRB AND 3 COPIES OF THE SITE PLAN.**

8. **Project # 1001685**
05DRB01349 Minor-SiteDev Plan
Subd/EPC
05DRB01350 Minor-SiteDev Plan
BldPermit/EPC

GREAT BASIN ENGINEERING agent(s) for SMITH'S FOOD & DRUG CENTERS request(s) the above action(s) for all or a portion of Tract(s) 1B, PARADISE NORTH (to be known as **GOLF COURSE MARKET PLACE**) zoned SU-1 for IP, located on GOLF COURSE RD NW and MCMAHON RD NW containing approximately 23.4 acre(s). [REF: Z-85-19, 04EPC-01348, 04EPC-01349, 04EPC-01590] [Carmen Marrone, EPC Case Planner] [Was Indef deferred 8/31/05 for platting action] (A-12) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/19/95 THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR 3 COPIES OF THE SITE PLAN.**

05DRB-01582 Minor-Prelim&Final Plat
Approval

WILSON & COMPANY agent(s) for CITY OF ALBUQUERQUE, ANNETTE MONTOYA and GOLF COURSE & MCMAHON LLC request(s) the above action(s) for all or a portion of Tract(s) 1B, PARADISE NORTH (to be known as **GOLF COURSE MARKETPLACE**) zoned SU-1 FOR IP, located on GOLF COURSE RD NW, between MCMAHON BLVD NW and IRVING BLVD NW containing approximately 23.4acre(s).[REF:04DRB-01566,04DRB-01741](A-12) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR CROSS LOT DRAINAGE EASEMENT 1B-2 THRU 1B-5, AMAFCA'S SIGNATURE, STORM**

#5



COMPLETED 10/24/05 SH DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-01588 (SBP)
Project Name: SEVEN BAR RANCH
Agent: Claudio Vigil Architects

Project # 1001831
Phone No.: 842-1113

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 10/19/05 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: X RADII
- X SMALL CAR SPACES
- X ACCESS
-
-

- UTILITIES:
-
-
-

- CITY ENGINEER / AMAFCA:
-
-
-

- PARKS / CIP:
-
-
-

- PLANNING (Last to sign): Replace Tam Juniper with alternate ground cover
-
-
-

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1001831

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#5



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This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

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Project Name: SEVEN BAR RANCH

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OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: X ROAD
- X SMALL CAN SPACES
- X ACCESS
-
-

- UTILITIES: _____
-
-
-

- CITY ENGINEER / AMAFCA: _____
-
-
-

- PARKS / CIP: _____
-
-
-

- PLANNING (Last to sign): Replace Tam Juniper with alternate ground cover
-
-
-

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- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF file approval required.**
- Copy of recorded plat for Planning.**

Project Number 1001831

City Of Albuquerque
PLANNING DEPARTMENT
October 19, 2005
DRB Comments

Item # 5

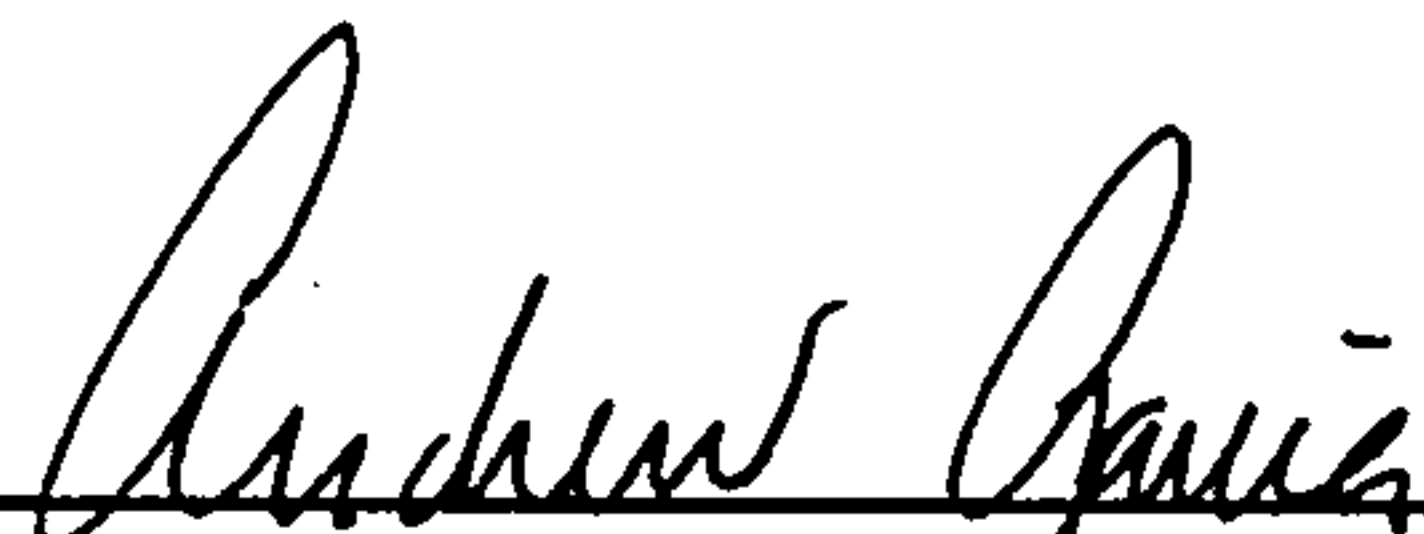
Project # 1001831

Application # 05-01588

RE: Seven Bar Ranch/SBP

Replace Tam Juniper with a different Ground cover/shrub.

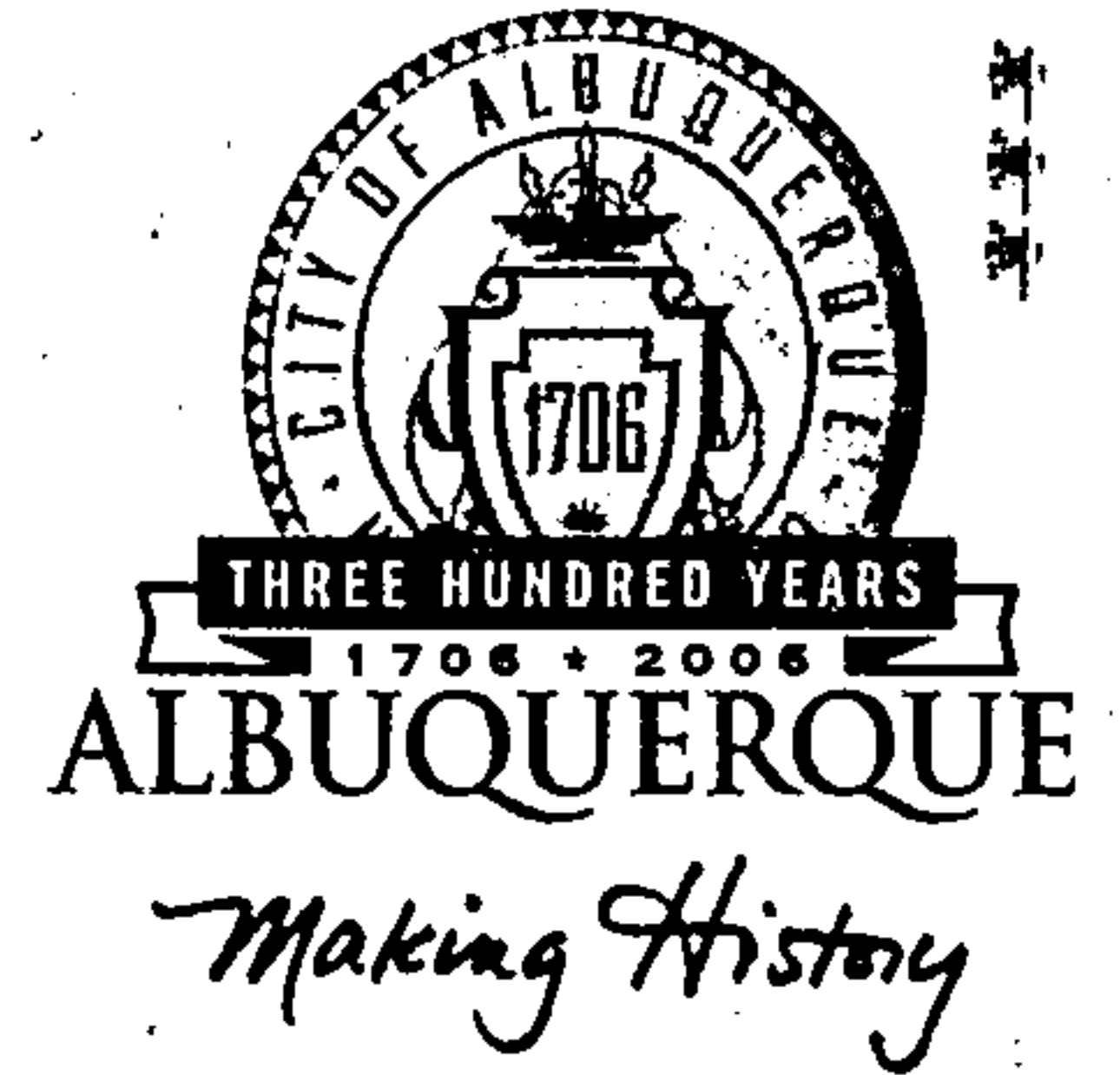
No objection to this request.



Andrew Garcia, DRB Planning Alternate
924-3858 Fax 924-3864 agarcia@cabq.gov



CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001831

AGENDA ITEM NO: 5

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: October 19, 2005



OFFICIAL NOTICE

18. Project # 1001831

02DRB-00879 Minor-Vacation of Private Easements

SURV-TEK, INC. agent(s) for BLACK RANCH DEVELOPMENT & WRANGLER PROPERTIES. request(s) the above action(s) for all or a portion of Tract(s) G-1A-1 and Tract G-1A2C, **SEVEN BAR RANCH SUBDIVISION**, zoned C-1, located on COTTONWOOD PARK NW, between COTTONWOOD PARK NW and COTTONWOOD DRIVE NW containing approximately 3 acre(s). [REF: Z-96-92, CSU-70-62] (A-14)

At the June 19, 2002, Development Review Board meeting, the Vacation was approved as shown on Exhibit B in the Planning file, subject to the Findings and Conditions of the Subdivision Ordinance as follows:

FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. Final disposition shall be through the City Real Estate Office.
2. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.
3. Affected utility companies shall acknowledge the vacation by their signatures on the replat.

If you wish to appeal this decision, you must do so by July 5, 2002 (due to holiday), in the manner described below.

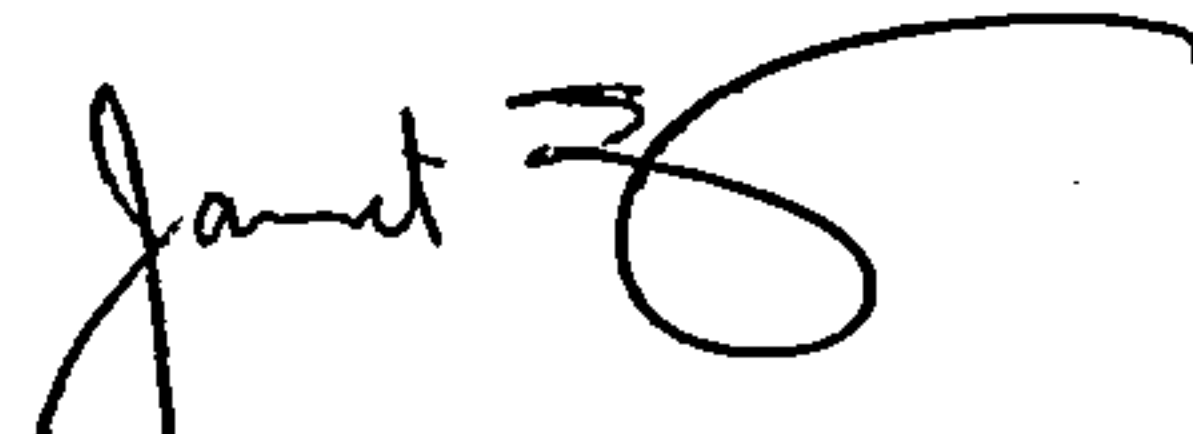
Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal; If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.



**OFFICIAL NOTICE
PAGE TWO**

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)


Janet Stephens
DRB Chair

cc: Surv-Tek Inc., 5643 Paradise Blvd NW, 87114
Black Development One LLC, 3613 NM State Rd 528 NW, Suite H, 87114
Wrangler Properties LLC, 2600 American Road SE, Rio Rancho, NM 87124
Loren Hines, Property Management, Legal Dept./4th Flr, City/County Bldg.
Arlene Portillo, Public Works Department, 2nd Floor, Plaza del Sol Bldg.
File



City of Albuquerque
CITY OF ALBUQUERQUE
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001831

AGENDA ITEM NO: 18

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

The Hydrology Section has no objection to the vacation request.

RESOLUTION:

APPROVED X; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: June 19, 2002



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

11-11-02

DEVELOPMENT REVIEW BOARD TRANSPORTATION DEVELOPMENT Standard Comment Sheet

DRB-1001831

Item No. 18

Zone Atlas A-14

DATE ON AGENDA 6-19-02

INFRASTRUCTURE REQUIRED (?) YES () NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- () SKETCH PLAT () PRELIMINARY PLAT () FINAL PLAT
- () SITE PLAN REVIEW AND COMMENT () SITE PLAN FOR SUBDIVISION
- () SITE PLAN FOR BUILDING PERMIT (x) VACATION OF PRIVATE ESMT.

| No. | Comment |
|--------------------------|---|
| <input type="checkbox"/> | A site sketch is needed, showing the street improvements with respect to the property line. |

If you have any questions or comments please call Richard Dourte at 924-3990. Meeting notes:

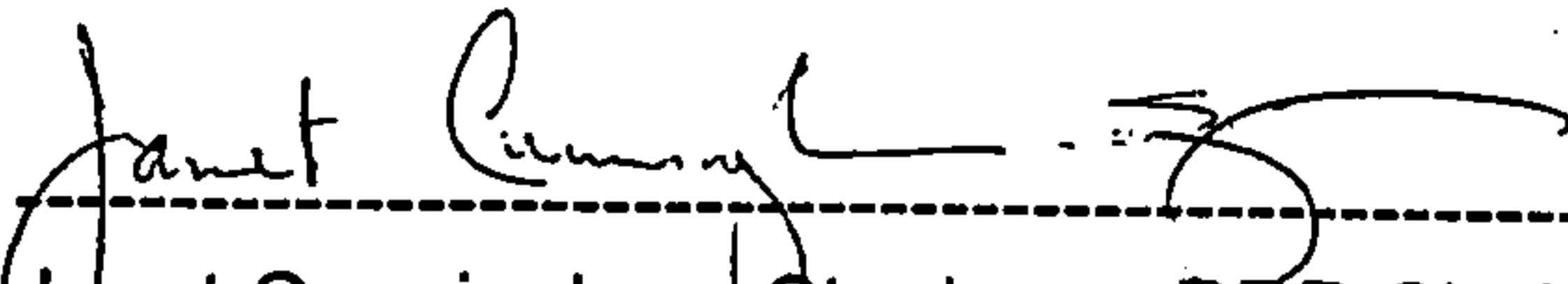


CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

June 19, 2002

**18. Project #1001831
Application # 02DRB-00879
Seven Bar Ranch Subdivision, Tract G-1A-1 & Tract G-1A-2C**

1. No objection to the proposed vacation request. Defer to Public Works and those entities having an interest in the easements.
2. A plat incorporating the vacated property must be approved by the DRB and recorded at the County Clerk's Office within one year or the vacation will expire. If the vacation expires and the applicant wishes to pursue the action, a new application must be filed.



Janet Cunningham-Stephens, DRB Chair
Planning Manager, Land Development Coordination
Tel: 505-924-3880 FAX: 505-924-3864



**DEVELOPMENT REVIEW BOARD
ACTION SHEET
Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

June 19, 2002

9:00 a.m.

MEMBERS:

Janet Stephens, DRB Chair
Claire Senova, Administrative Assistant

Richard Dourte, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

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- A. Call to Order
- B. Changes and/or Additions to the Agenda
- C. Announcements

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000044**
02DRB-00786 Major-Vacation of Pub
Right-of-Way
02DRB-00787 Major-Vacation of
Public Easements
02DRB-00788 Minor-Sketch Plat or
Plan

JEFF MORTENSEN & ASSOCIATES agent(s) for APS REAL ESTATE request(s) the above action(s) for all or a portion of Lot(s) 2 & 3, Block(s) 10, Tract(s) A-1, DOLORES GONZALES ELEMENTARY SCHOOL, zoned R-1, located on ATLANTIC AVE. SW, between 8TH ST. SW and 10TH ST. SW containing approximately 5 acre(s). [REF: V-99-102] (K-13) VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.

16. **Project # 1001226**
02DRB-00888 Minor-Final Plat
Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for VISTA DEL NORTE DEV. LLC request(s) the above action(s) for all or a portion of Tract(s) C, **BERNARDO TRAILS, UNIT 2**, zoned R-2 residential zone, located NORTH OF VISTA DEL NORTE DR NE, between LAS LOMITAS DR. NE and NO. DIVERSION CHANNEL NE containing approximately 16 acre(s). [REF: 01410-00605, 02500-00700] (D-16) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING.**

17. **Project # 1001349**
02DRB-00900 Minor-Final Plat
Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for ALPHA EQUITIES LLC request(s) the above action(s) for all or a portion of Lot(s) 7A, **CALLE TRANQUILO SUBDIVISION**, zoned RA-2, located on CAMPBELL ROAD NW, between TRELIS RD. NW and GLENWOOD RD. NW containing approximately 5 acre(s). [REF: ZA-81-308] (G-12) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS AND PLANNING.**

18. **Project # 1001831**
02DRB-00879 Minor-Vacation of
Private Easements

SURV-TEK, INC. agent(s) for BLACK RANCH DEVELOPMENT & WRANGER PROP. request(s) the above action(s) for all or a portion of Tract(s) G-1A-1 and Tract G-1A2C, **SEVEN BAR RANCH SUBDIVISION**, zoned C-1, located on COTTONWOOD PARK NW, between COTTONWOOD PARK NW and COTTONWOOD DRIVE NW containing approximately 3 acre(s). [REF: Z-96-92, CSU-70-62] (A-14) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

NO ACTION IS TAKEN ON THESE CASES:
IF APPLICANT IS NOT PRESENT, COMMENTS WILL BE FORWARDED

19. **Project # 1002002**
02DRB-00889 Minor-Sketch Plat or
Plan

JEFF HENRY request(s) the above action(s) for all or a portion of Tract(s) N/A, **BEAR CANYON ARROYO DRAINAGE EASEMENT**, zoned C-3, located on SAN MATEO NE, between I-25 and ACADEMY NE containing approximately 5 acre(s). (E-17) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

20. **Project # 1002009**
02DRB-00891 Minor-Sketch Plat or
Plan

MARK D. CHAVEZ request(s) the above action(s) for all or a portion of Lot(s) N, **INDUSTRIAL REALTY**, zoned RO-1 rural and open zone, located on the NORTH SIDE OF GUN CLUB RD SW, between STANDFIER CT. SW and LAKEVIEW PL. SW containing approximately 1 acre(s). [REF: Z-77-123, Z-88-43] (Q-10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

21. **Project # 1002011**
02DRB-00895 Minor-Sketch Plat or
Plan

WAGONWHEEL LLC agent(s) for GEORGE CLARK request(s) the above action(s) for all or a portion of Lot(s) 5 & 6, **THE LUNA PLACE ADDITION**, zoned SU-2 SF, located on FRUIT NW, between 10TH ST NW and 11TH ST NW (J-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. **ADJOURNED: 11:34 A.M.**

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

| | | | |
|---|---------------------------------------|----------------------------|---|
| <input type="checkbox"/> SUBDIVISION | <input type="checkbox"/> S | <input type="checkbox"/> Z | <input type="checkbox"/> ZONING & PLANNING |
| Major Subdivision action | | | Annexation |
| Minor Subdivision action | | | County Submittal |
| Vacation | | | EPC Submittal |
| Variance (Non-Zoning) | <input checked="" type="checkbox"/> V | | Zone Map Amendment (Establish or Change Zoning) |
| | | | Sector Plan (Phase I, II, III) |
| <input type="checkbox"/> SITE DEVELOPMENT PLAN | <input type="checkbox"/> P | | Amendment to Sector, Area, Facility or Comprehensive Plan |
| for Subdivision Purposes | | | Text Amendment (Zoning Code/Sub Regs) |
| <input checked="" type="checkbox"/> for Building Permit | | | Street Name Change (Local & Collector) |
| IP Master Development Plan | | | <input type="checkbox"/> L <input type="checkbox"/> A <input type="checkbox"/> APPEAL / PROTEST of... |
| Cert. of Appropriateness (LUCC) | <input type="checkbox"/> L | <input type="checkbox"/> A | Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals |
| <input type="checkbox"/> STORM DRAINAGE | <input type="checkbox"/> D | | |
| Storm Drainage Cost Allocation Plan | | | |

Planned
 Permitted
 1/27/07
 OS

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: WRANGLER PROPERTIES PHONE: 890-2110
 ADDRESS: 3777 The AMERICAN ROAD Ste. 200 FAX: 890-2119
 CITY: ALBUQUERQUE STATE NM ZIP 87114 E-MAIL: _____
 Proprietary interest in site: _____ List all owners: _____
 AGENT (if any): CLAUDIO VIGI ARCHITECTS PHONE: 842-1113
 ADDRESS: 1801 RIO GRANDE BLVD FAX: 842-1330
 CITY: ALBUQUERQUE STATE NM ZIP 87104 E-MAIL: cvarch@aol.com

DESCRIPTION OF REQUEST:

SITE PLAN FOR BUILDING PERMIT.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. G-1A-2C Block: 000 Unit: _____
 Subdiv. / Addn. Seven Bar Ranch
 Current Zoning: SU-1 for C-2 uses Proposed zoning: _____
 Zone Atlas page(s): A-14-2 No. of existing lots: 1 No. of proposed lots: _____
 Total area of site (acres): 1.29 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 100FT of a landfill? NO
 UPC No. 101406605504230131 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: ELLISON/COTTONWOOD 10300 Cottonwood Pk NW
 Between: Ellison DR and Seven Bar Loop

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.):
1001831

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Louise Hollesen DATE 10/11/05
 (Print) LOUISE HOLLESEN _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

| | | | | |
|---|------------------------------|------------|------------|------------------|
| <input checked="" type="checkbox"/> INTERNAL ROUTING | Application case numbers | Action | S.F. | Fees |
| <input checked="" type="checkbox"/> All checklists are complete | <u>05DRB-01588</u> | <u>SBP</u> | <u>PL3</u> | \$ <u>385.00</u> |
| <input checked="" type="checkbox"/> All fees have been collected | _____ | <u>CMF</u> | _____ | \$ <u>20.00</u> |
| <input checked="" type="checkbox"/> All case #s are assigned | _____ | _____ | _____ | \$ _____ |
| <input checked="" type="checkbox"/> AGIS copy has been sent | _____ | _____ | _____ | \$ _____ |
| <input checked="" type="checkbox"/> Case history #s are listed | _____ | _____ | _____ | \$ _____ |
| <input checked="" type="checkbox"/> Site is within 1000ft of a landfill | _____ | _____ | _____ | \$ _____ |
| <input checked="" type="checkbox"/> F.H.D.P. density bonus | _____ | _____ | _____ | Total |
| <input checked="" type="checkbox"/> F.H.D.P. fee rebate | Hearing date <u>10/19/05</u> | _____ | _____ | \$ <u>405.00</u> |

Sandy Handley 10/11/05
 Planner signature / date

Project # 1001831

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - N/A Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - N/A Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Blue-line copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

LOUISE HOLLESEN
 Applicant name (print)
LOUISE HOLLESEN 10/11/05
 Applicant signature / date



Form revised October 2004

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
05DRB - -01588

Sandy Handley 10/11/05
 Planner signature / date
Project # 1001831

Wrangler Properties Limited Liability Company

3777 The American Road, Ste 200
Albuquerque, New Mexico 87114-1338
Phone (505) 890-2110
FAX (505) 890-2119

October 10, 2005

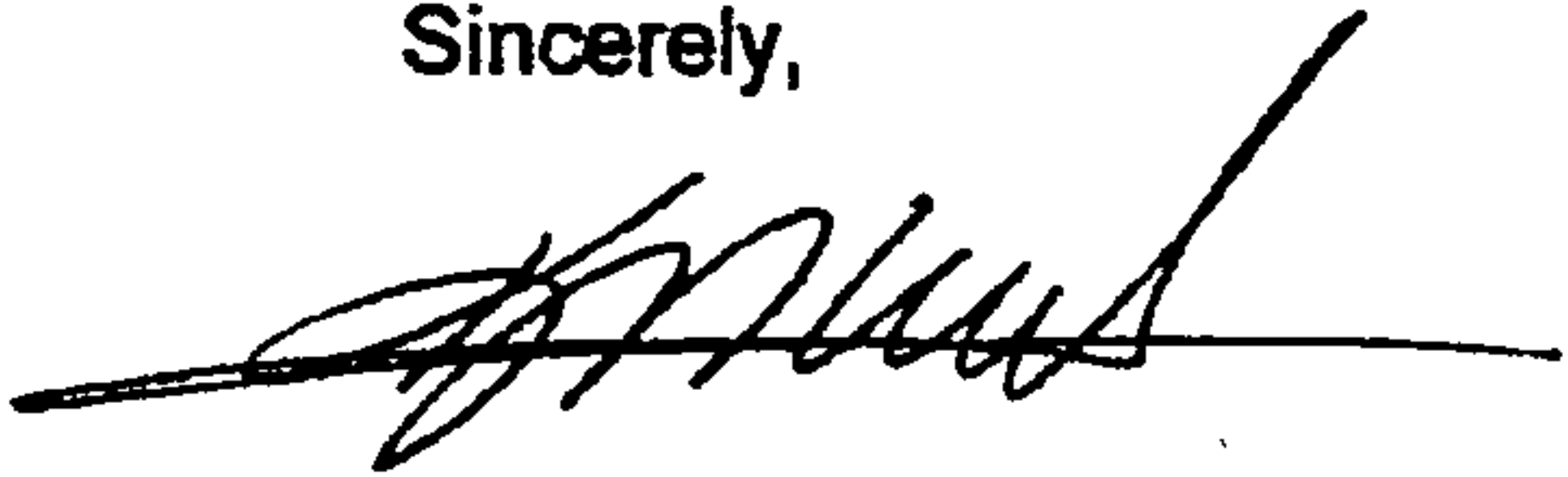
RE: Authorization for Owner Agent

To Whom it May Concern:

As Owner of the property known as *Tract G-1A-2C of Seven Bar Ranch*, I hereby authorize the firm of Claudio Vigil Architects to be the agent for the Owner. This is the property located at 10300 Cottonwood Park NW, Albuquerque, New Mexico 87114.

Please contact me at 505-890-2110 if you have any questions.

Sincerely,



Kerry J West
Owner/Managing Member

October 10, 2005

Ms. Sheran Matson, DRB Chair
Design Review Board, Planning Department
City of Albuquerque
PO Box 1293

RE: Tract G-1A-2C, Cottonwood Park
Site Development Plan for Building Permit

Dear Ms. Sheran Matson and Review Board Members:

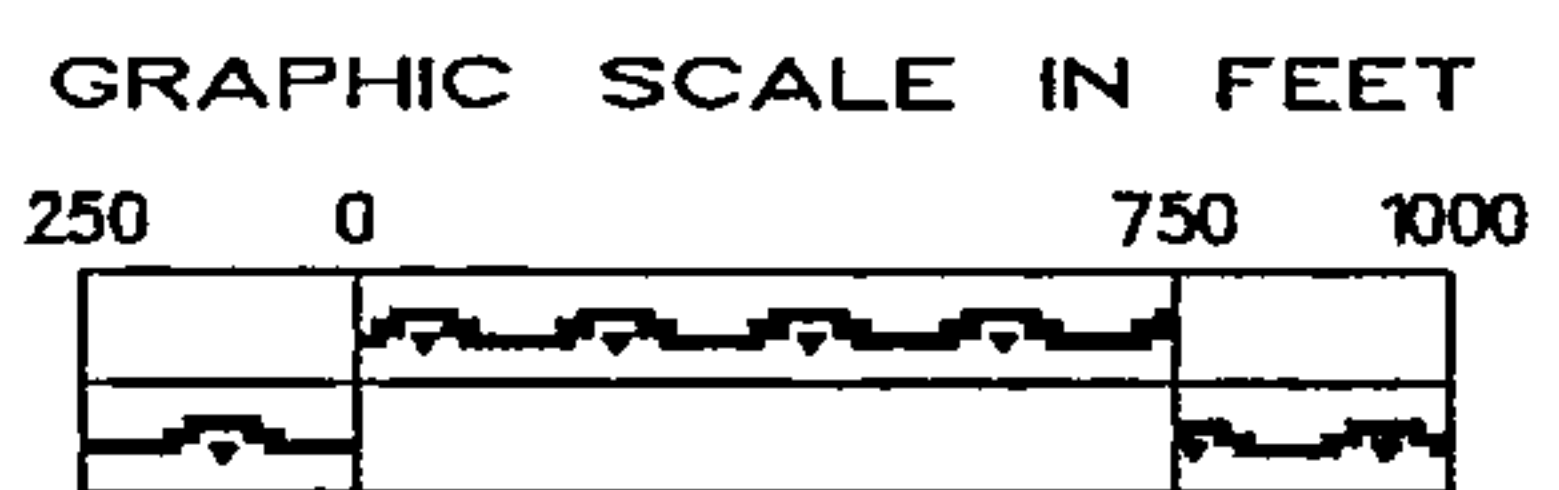
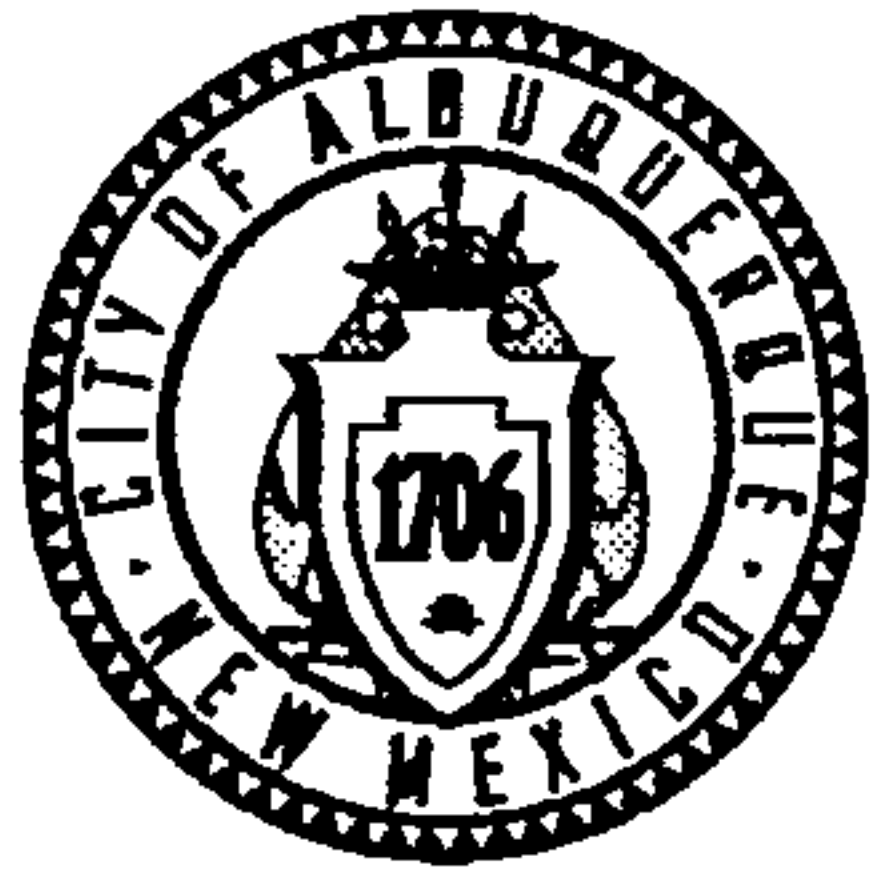
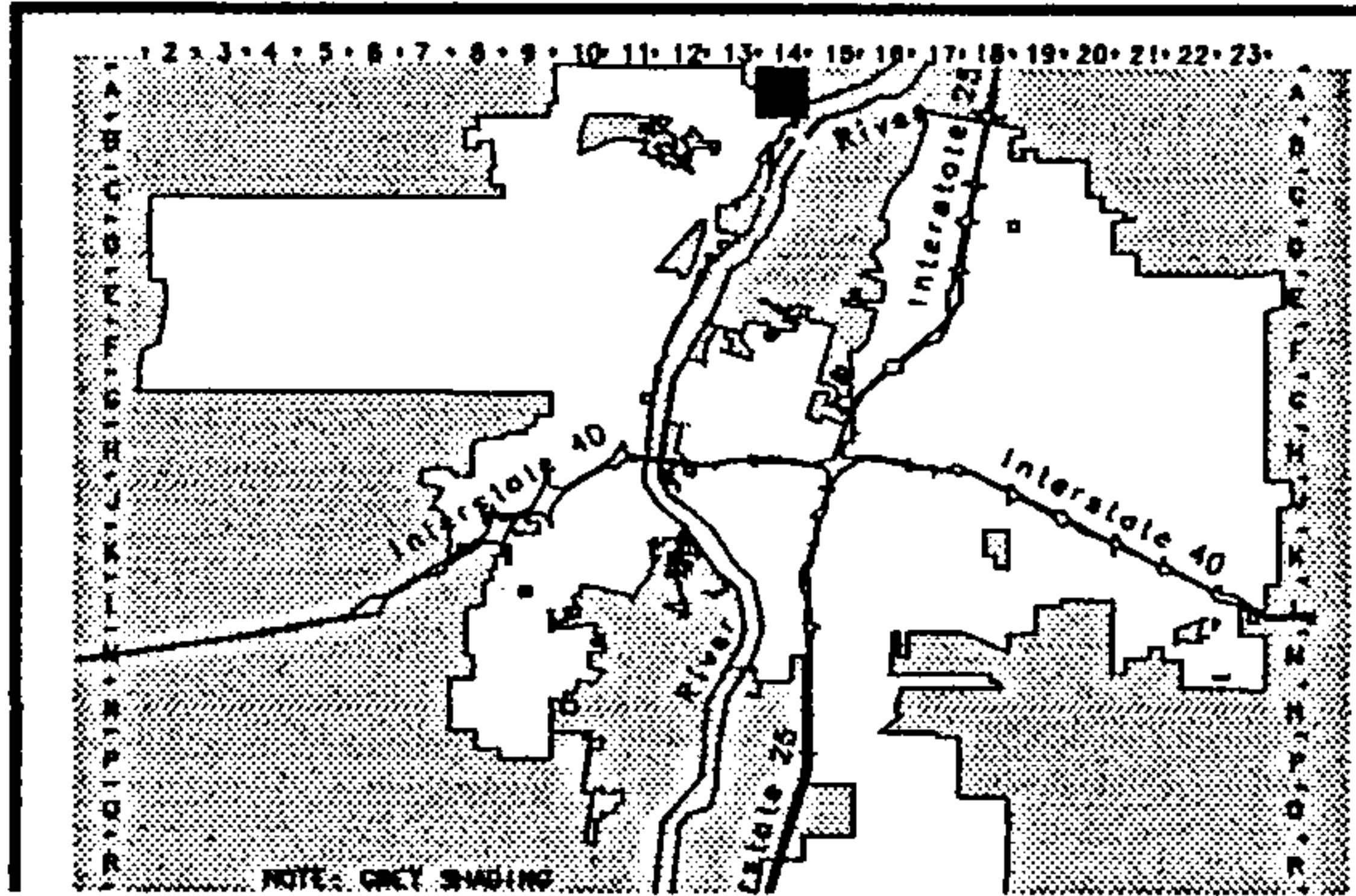
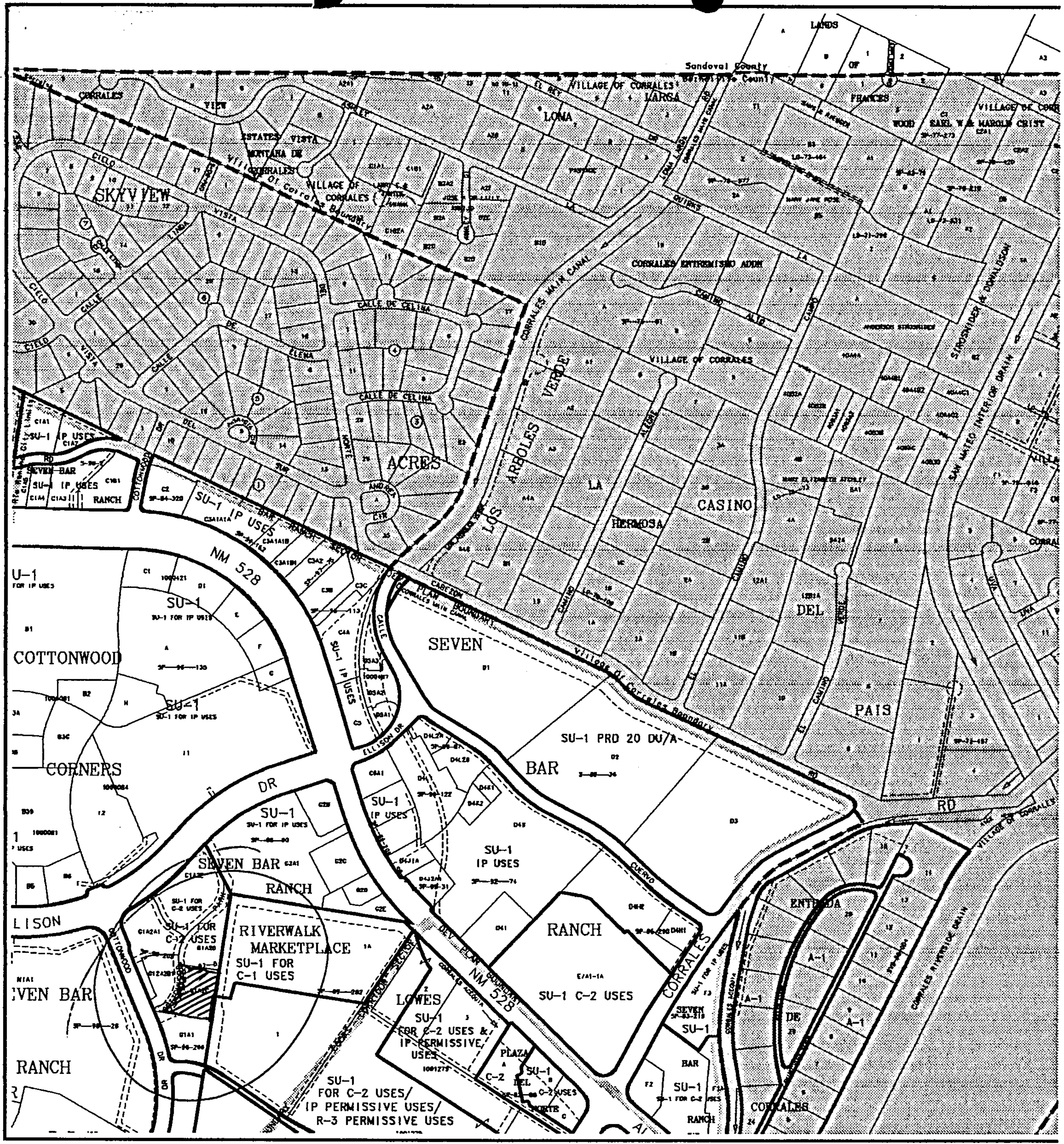
This is a Site Development Plan for Building Permit application for an unadvertised Design Review Meeting. The proposed project, zoned SU-1 for C-1 uses, will provide a total of 13,237 square feet of office space.

The proposed building's exterior architecture consists of stucco clad horizontal bands along all four elevations. The street facing west elevation as well as the parking lot facing south elevation are broken up into smaller sections by shallow protrusions, serving to break up the façade and add interest and shadow lines. The proposed colors are dark and light tan, with dark tan forming the base of the building. The protruding entrance canopy would provide street visibility, and the glass entrance would anchor the building. The parking layout and traffic circulation would ensure easy access to and from the building and the site. We believe that the proposed project would serve to maintain the architectural continuity and unity established by the existing buildings in the development.

Sincerely,



Louise Hollesen, Agent
Claudio Vigil Architects



Zone Atlas Page

A-14-Z

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures ✓
- B. Square footage of each structure and building footprint (if different from total square footage) ✓
- C. Proposed use of each structure ✓
- D. Temporary structures, signs and other improvements ✓
- E. Walls, fences, and screening: indicate height, length, color and materials ✓
- F. Dimensions of all principal site elements or typical dimensions thereof ✓
- N/A G. Loading facilities
- H. Site lighting (indicate height & fixture type) ✓
- N/A I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, including location. ✓

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 66 provided: 69
Handicapped spaces required: 4 provided: 4
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 3 provided: 4
 - N/A 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions ✓
 - 2. Drive aisle locations, including width and curve radii dimensions ✓
 - 3. End aisle locations, including width and curve radii dimensions ✓
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths ✓
 - 2. Location and dimension of drive aisle crossings, including paving treatment ✓
 - 3. Location and description of amenities, including patios, benches, tables, etc. ✓

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii ✓
 - N/A 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - N/A 3. Location of traffic signs and signals related to the functioning of the proposal
 - N/A 4. Identify existing and proposed medians and median cuts
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - N/A 3. Bus facilities, including routes, bays and shelters existing or required

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

4. Utilities

- 1. Property lines
- 2. Building Footprint
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Fire hydrant locations, existing and proposed.
- 5. Distribution lines
- 6. Existing and proposed water, sewer, storm drainage facilities (public and/or private).

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan ✓
- 2. Bar Scale ✓
- 3. North Arrow ✓
- 4. Property Lines ✓
- 5. Existing and proposed easements ✓
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.) ✓
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.) ✓
 - C. Ponding areas either for drainage or landscaping/recreational use ✓
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping. ✓
 - C. Proposed, to be established for screening/buffering. ✓
- 8. Describe irrigation system ✓
- 9. Planting Beds, indicating square footage of each bed ✓
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage. ✓
- 11. Responsibility for Maintenance (statement) ✓
- 12. Method for meeting Water Conservation...Ordinance, see article 6-1-1-1. ✓
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan) ✓
- 14. Landscaped area provided; square footage and percent (specify clearly on plan) ✓

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location and detail of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations and/or contour lines (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

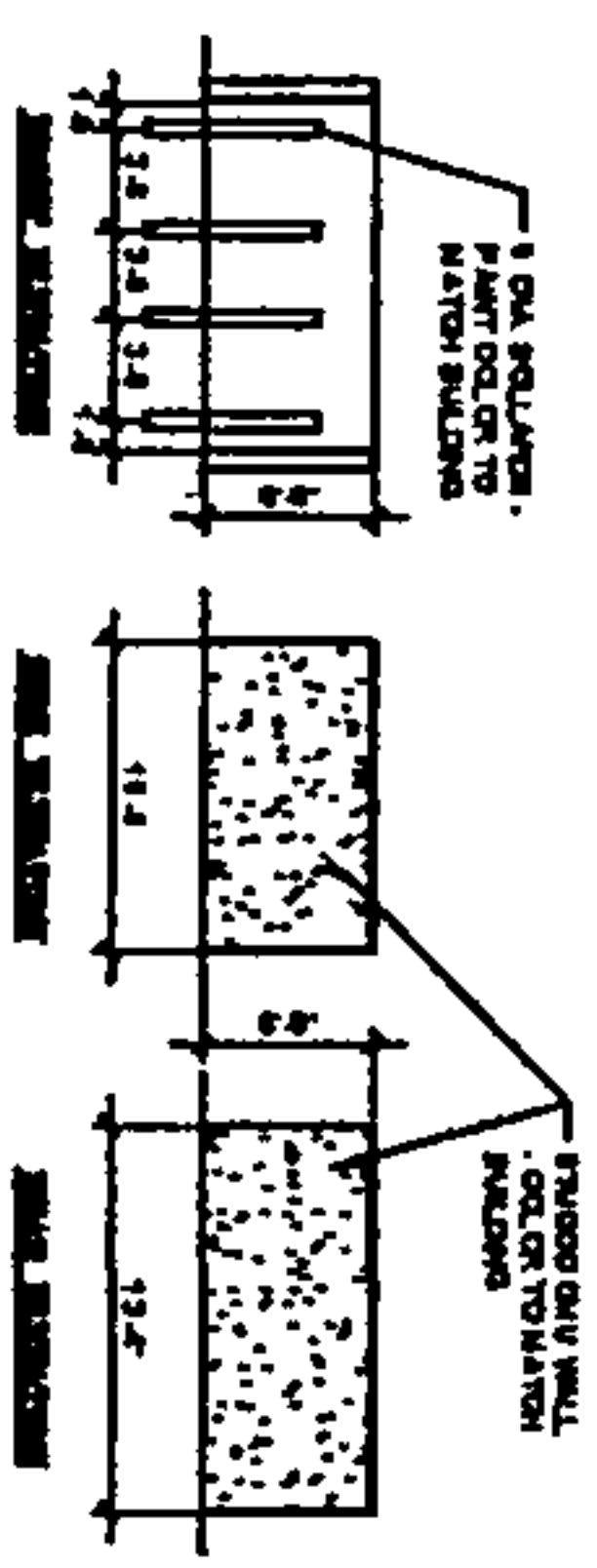
A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff). ✓
- B. Bar Scale ✓
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation ✓
 - 2. Dimensions of facade elements, including overall height and width ✓
 - 3. Location, material and colors of windows, doors and framing ✓
 - 4. Materials and "common name" colors of all building elements and structures ✓
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

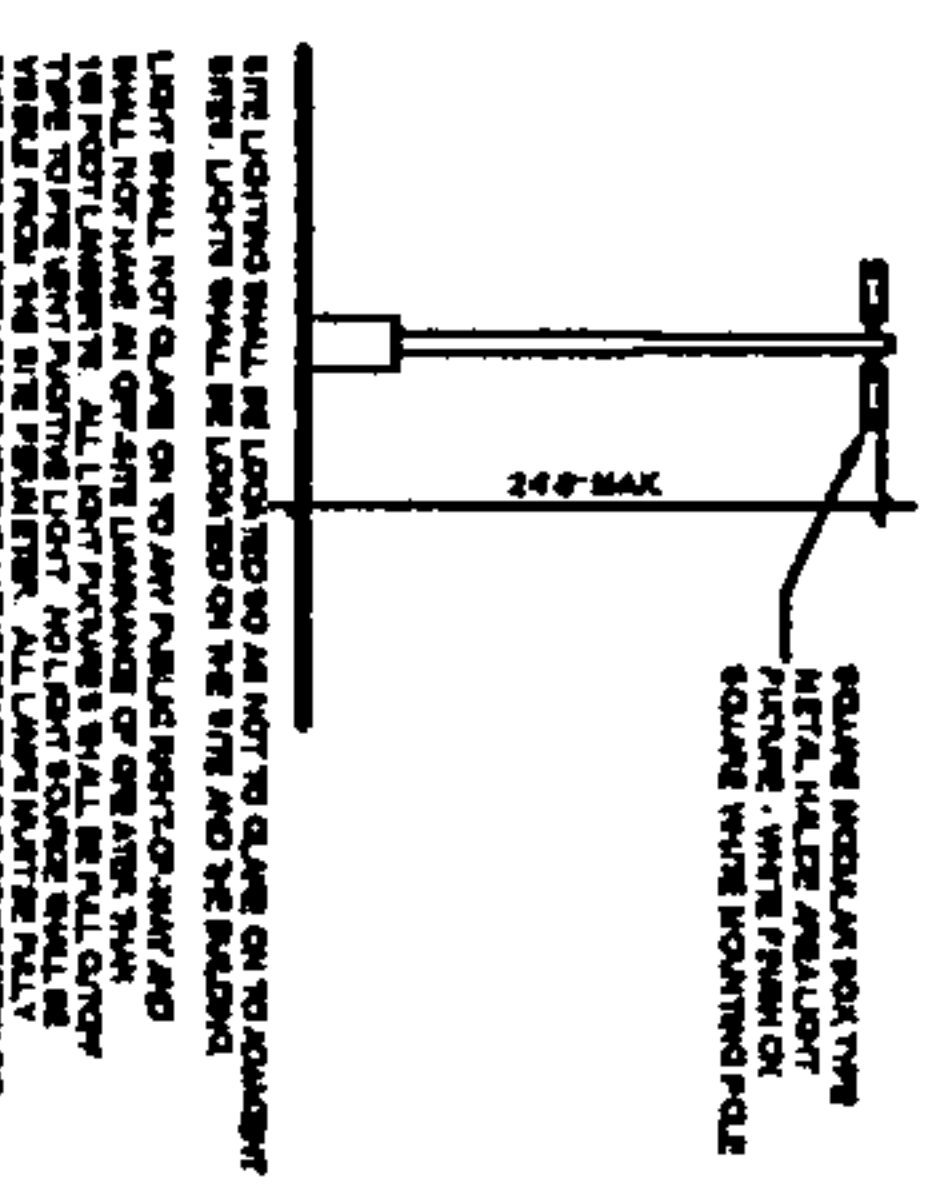
B. Signage

- 1. Site location(s) ✓
- 2. Sign elevations to scale ✓
- 3. Dimensions, including height and width ✓
- 4. Sign face area - dimensions and square footage clearly indicated ✓
- 5. Lighting ✓
- 6. Materials and colors for sign face and structural elements. ✓

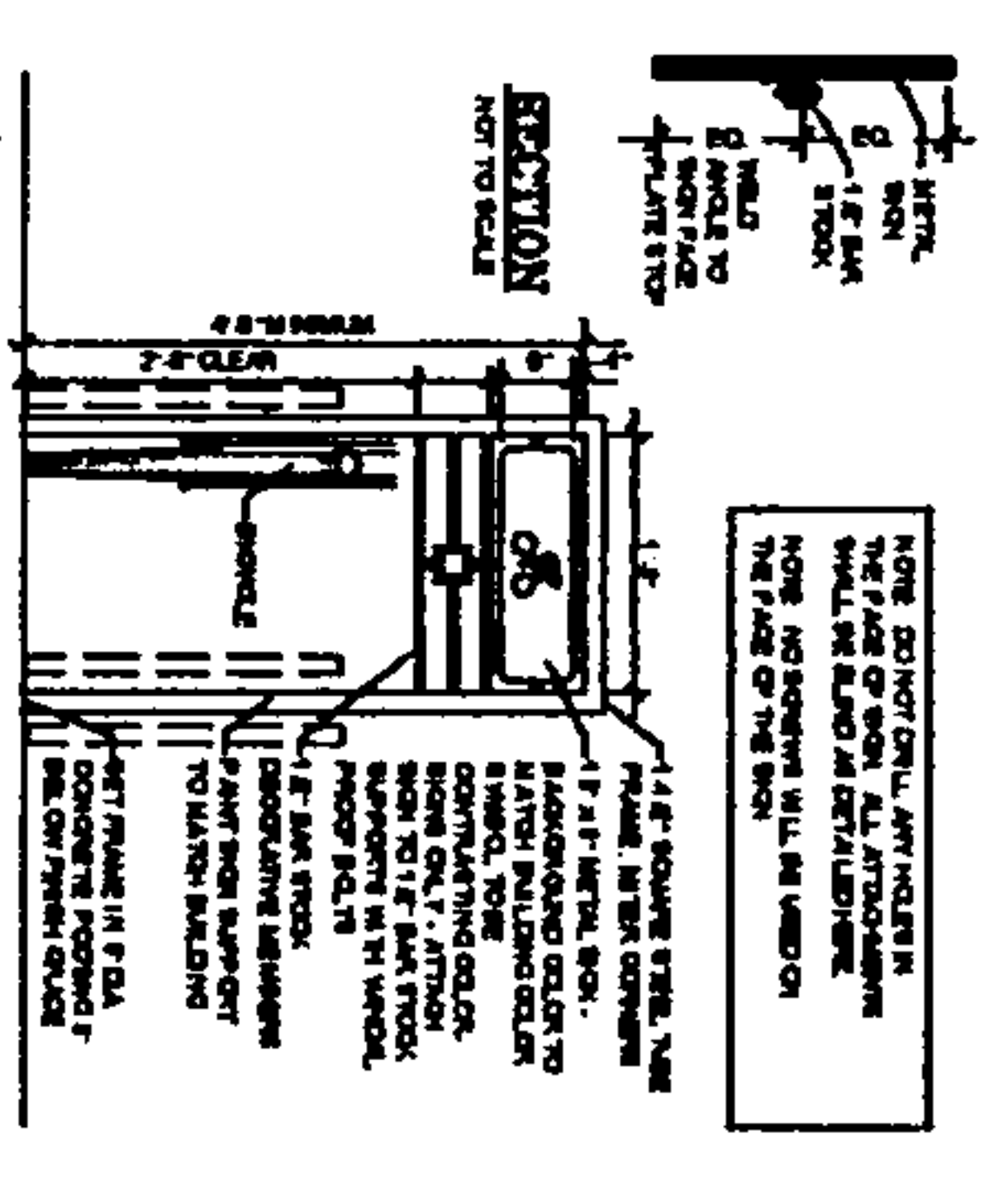
Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.



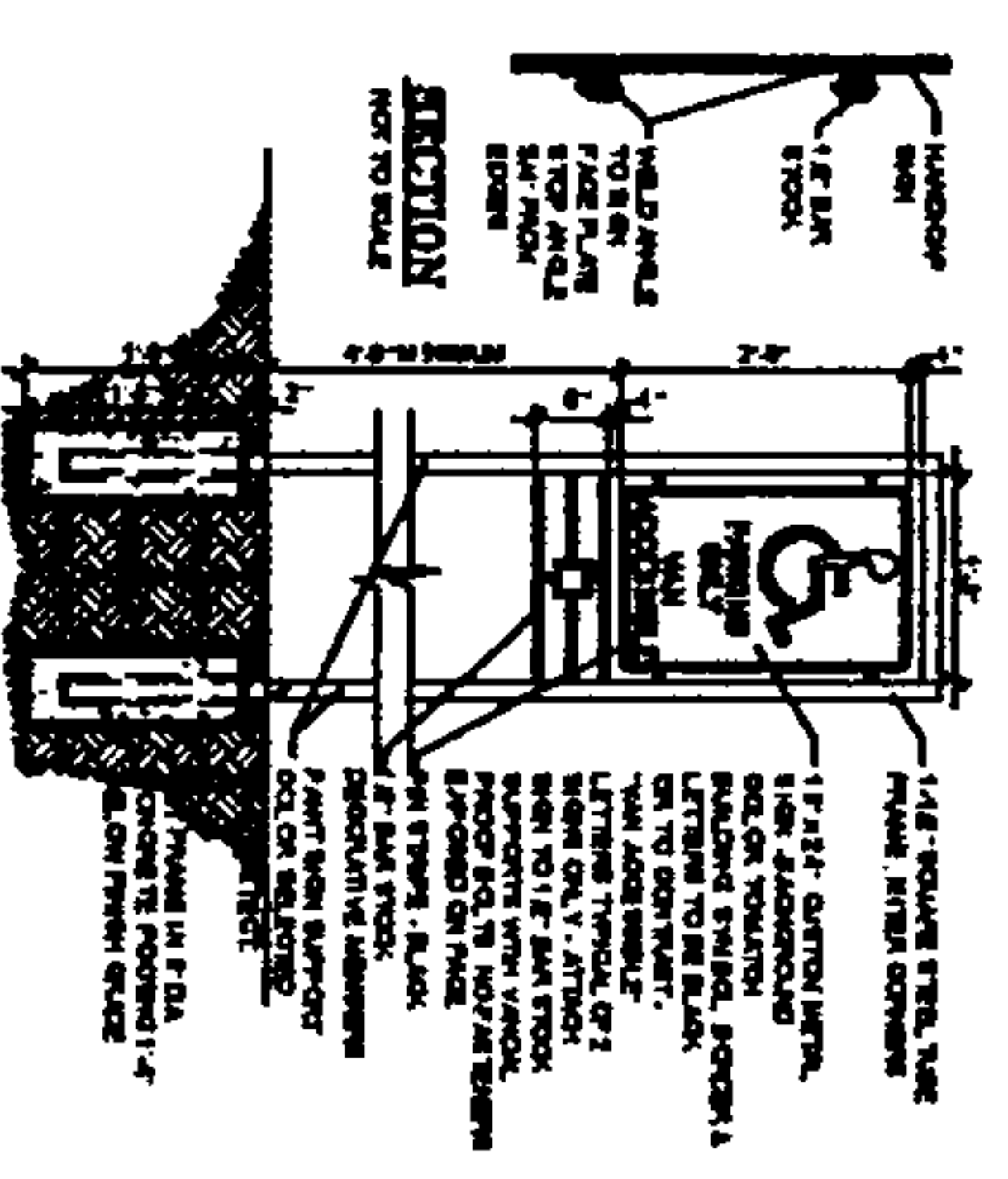
D-1 TRASH ENCLOSURE
SCALE: 1/8\"/>



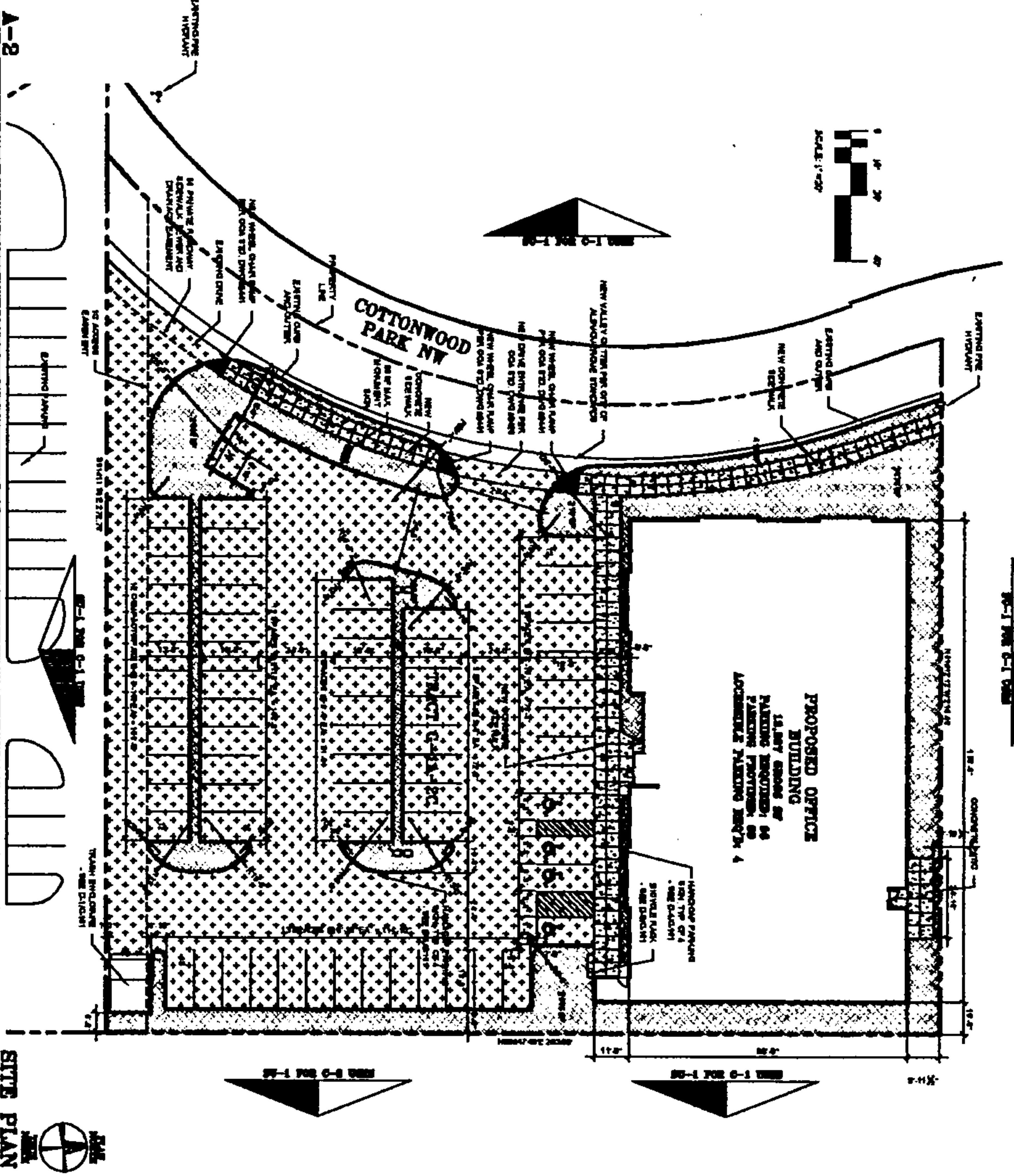
D-2 LIGHTING DETAIL
SCALE: 1/8\"/>



D-3 BIKE RACK
SCALE: 1/8\"/>



D-4 HANDICAP SIGN POST
SCALE: 1/8\"/>



A-2 SITE PLAN
SCALE: 1\"/>

SIGNATURE BLOCK

PROJECT NUMBER: _____

DATE: _____

SCALE: _____

PROJECT LOCATION: _____

PROJECT OWNER: _____

PROJECT ARCHITECT: _____

PROJECT ENGINEER: _____

PROJECT LANDSCAPE ARCHITECT: _____

PROJECT CIVIL ENGINEER: _____

PROJECT ELECTRICAL ENGINEER: _____

PROJECT MECHANICAL ENGINEER: _____

PROJECT PLUMBING ENGINEER: _____

PROJECT STRUCTURAL ENGINEER: _____

PROJECT ENVIRONMENTAL ENGINEER: _____

PROJECT HISTORIC PRESERVATION ARCHITECT: _____

PROJECT TRANSPORTATION ENGINEER: _____

PROJECT WATER RESOURCES ENGINEER: _____

PROJECT WIND ENGINEER: _____

PROJECT SOUND ENGINEER: _____

PROJECT VIBRATION ENGINEER: _____

PROJECT GEOTECHNICAL ENGINEER: _____

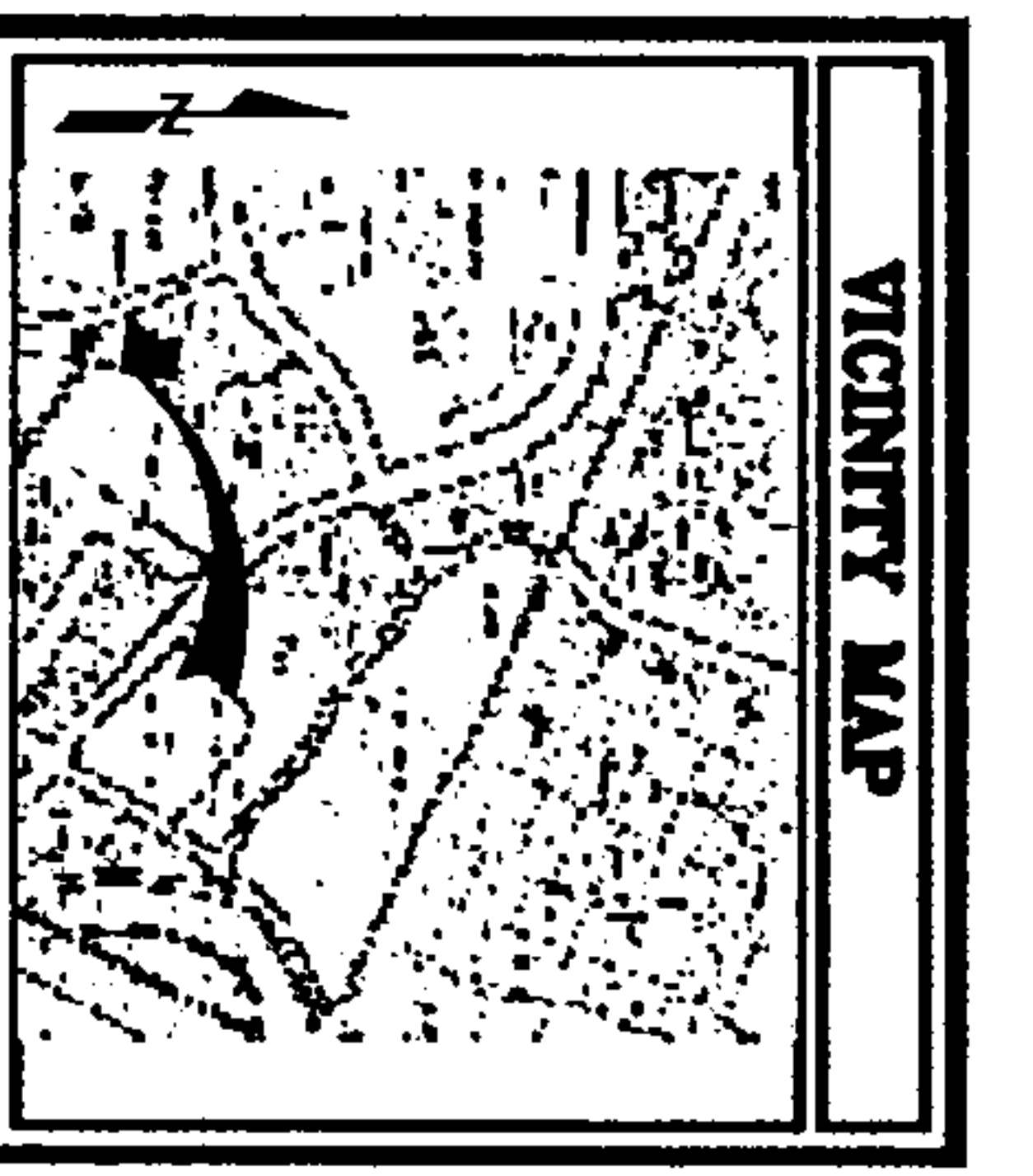
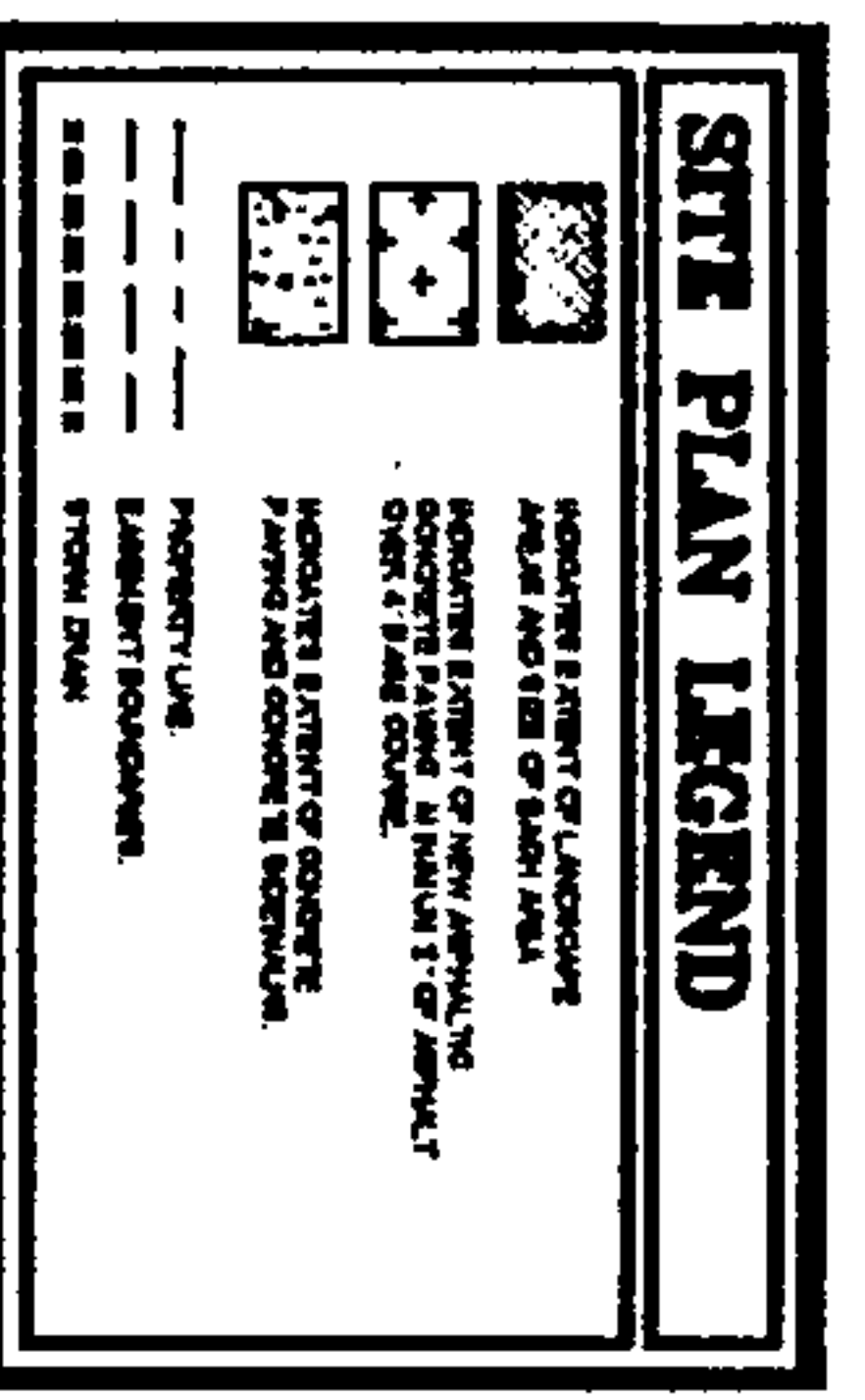
PROJECT MARINE ENGINEER: _____

PROJECT AERONAUTICAL ENGINEER: _____

PROJECT SPACE ENGINEER: _____

PROJECT AERONAUTICAL ENGINEER: _____

PROJECT SPACE ENGINEER: _____



BUILDING CRITERIA

PROJECT: COLDWELL OFFICE BUILDING

LEGAL DESCRIPTION: 10800 COTTONWOOD PARK NW, ALBUQUERQUE, NEW MEXICO

ZONING ATLAS MAP: A12

ZONING CLASSIFICATION: M1

APPLICABLE BUILDING CODE: 2006 IBC

BUILDING TYPE: OFFICE

CONSTRUCTION TYPE: VULNERABLE

OCCUPANT LOAD: 100 PERSONS

NUMBER OF FLOORS: 2

GROSS SQUARE FOOTAGE: 10,000

PARKING ANALYSIS:

REQUIREMENTS: 100 SPACES

PROVIDED: 100 SPACES

PARKING SPACE SIZES:

REQUIREMENTS: 300 SQ FT

PROVIDED: 300 SQ FT

BIKE SPACES: 10 SPACES

TOTAL LOT AREA: 10,000 SQ FT

NET LOT AREA: 8,000 SQ FT

CLAUDIO VIGIL ARCHITECTS

1001 San Geronimo Boulevard, N.W.
Albuquerque, New Mexico
Phone: (505) 846-1118
Fax: (505) 846-1800

CONSULTANTS

10800 COTTONWOOD PARK NW
ALBUQUERQUE, NEW MEXICO

PROFESSIONAL SEAL

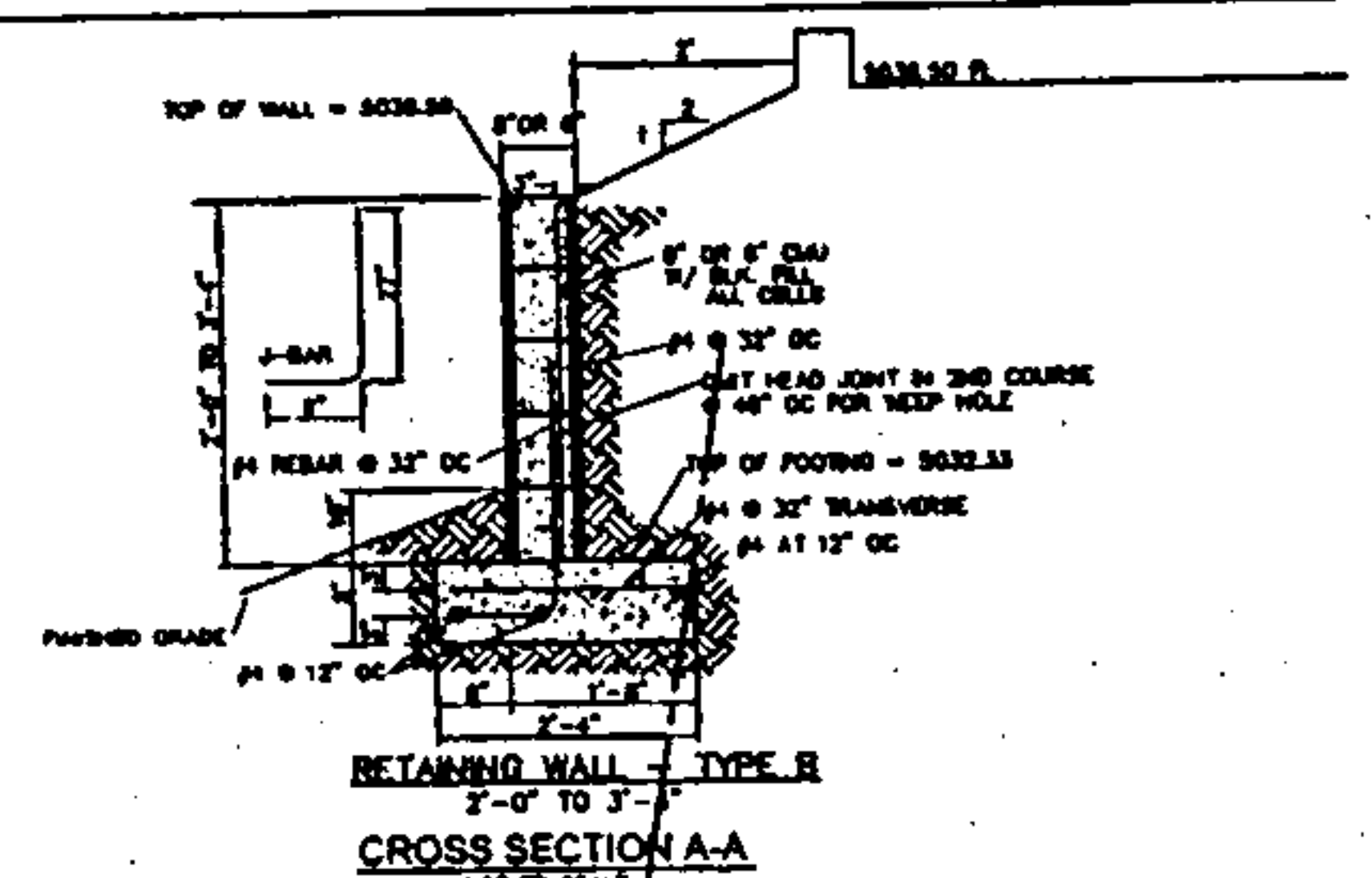
PRELIMINARY

COLDWELL OFFICE BUILDING

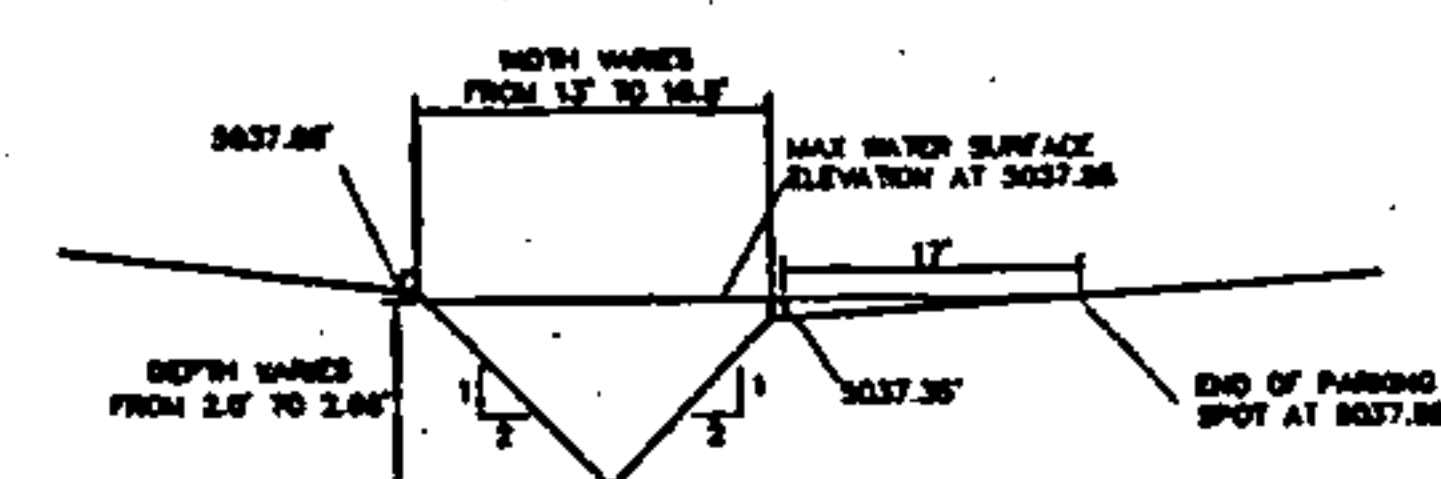
**10800 COTTONWOOD PARK NW
ALBUQUERQUE, NEW MEXICO**

SITE PLAN

C-101

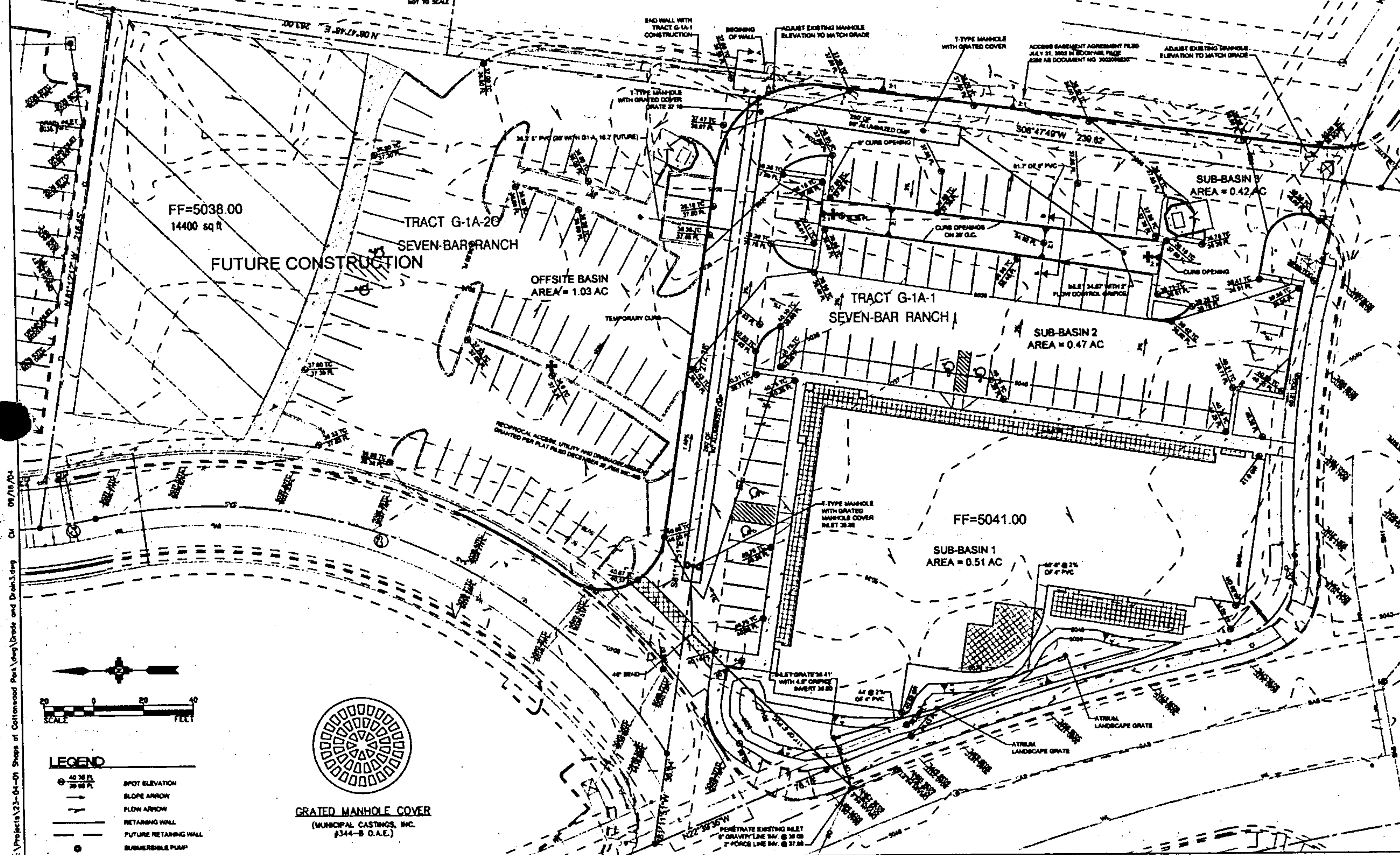


- RETAINING WALL NOTES**
1. Concrete substrate to 600 min. relative density (12" min. depth) per ASTM D1957. If any or more sand is encountered, contact the Engineer before proceeding.
 2. Compact base to 90% min. relative density per ASTM D1557.
 3. Minimum 2" minimum clearance between all reinforcing bars and outside surface of formed concrete. 3" between bars and outside surface of concrete poured against earth.
 4. All block and plaster walls are to be grouted solid with concrete block fill.
 5. Concrete for footings and fill of walls shall meet or exceed 3000 p.s.i. at 28 days, with 3/4" maximum size aggregate, and a maximum slump of 5".
 6. Masonry mortar shall meet or exceed the requirements of ASTM C 270, Type M.
 7. Wall blocks are to be standard masonry units (8" x 16" or as otherwise indicated), and plaster finish are to be placed immediately for the finished application. Color - Smart Tan or as directed by owner.
 8. Install 9 ga. galv. Dur-O-Tite (or equivalent steel) every other course (16" OC), or bond beam with 3-M rebar every third course (24" OC, min.).
 9. Reinforcing steel options shall have 1/2" min. laps.
 10. Concrete finishers of 16" or centers (maximum), and as appropriate for corners, junctions, steps, public end ends.
 11. Drawings for retained earth shall be provided with clean gravel backfill and un-mortared head joints.
 12. The top course of block shall use 2" solid masonry units to cap, unless a 6" party wall is to be installed on top of a retaining wall.
 13. The top of plaster shall have 2" solid masonry units of appropriate stone.
 14. Drain holes for party walls shall consist of standard masonry units formed less down. They shall be located through the 6" party wall (bottom) for retaining wall section after the retaining wall section is complete and backfilled, and of locations specified by the Owner.



CROSS SECTION B-B
NOT TO SCALE

COUNTY MAP - NO FLOOD PLAN PER PANEL 3000100100P



SHOPS AT COTTONWOOD PARK

The project area generally slopes to the north and east, and is comprised of steady, homogeneous soils. It is composed of two separately owned areas, both covered by SAD 221, and that there is a maximum permissible peak flow rate. The first site is designated Tract G-1A-1 Seven Bar Ranch. From "SAD NO 221 Cason Channel Capacity Analysis" (June 1993), prepared by Eastering & Associates, Inc., for COA PWD, the permissible flow rate from TRACT G-1A is 0.73 cfs per acre. Tract G-1A-1 is 1.3166 acres, and thus has a permissible 0.97 cfs discharge. The adjacent site on the north (G-1A-2C) is conditioned to drain to the same system as this site. This adjacent site is only in a conceptual phase and is only being submitted as conceptual grading and drainage plan. All "developed" flow (90% D, 10% C) goes to a shared detention/pump system.

Hydrology calculations were performed based on the Albuquerque DPM Chapter 22.2. The site is in Zone 1 (Figure A-1 of DPM). This a rainfall of 2.66" is used for the 100 yr 24 hr storm. The site is broken into four sub-basins for analysis. The areas and calculated runoff volumes and peak flow rates are shown below:

| HYDROLOGY SUMMARY | Basin | | Lands | | | |
|-------------------|----------|--------|-------|-------|-------|---|
| | NO. OF | AREA | A | B | C | D |
| PROJECT NAME: | 23-04-01 | CONDO. | | | | |
| JOB NUMBER: | 23-04-01 | CONDO. | | | | |
| Sub-basin 1 DEV | 0.51 | 0.04 | 13.01 | 13.01 | 72.54 | |
| Sub-basin 2 DEV | 0.47 | 0.04 | 2.01 | 2.01 | 87.29 | |
| Sub-basin 3 DEV | 0.47 | 0.04 | 0.04 | 1.70 | 94.36 | |
| Off-site 1 DEV | 1.03 | 0.04 | 0.04 | 10.01 | 90.00 | |

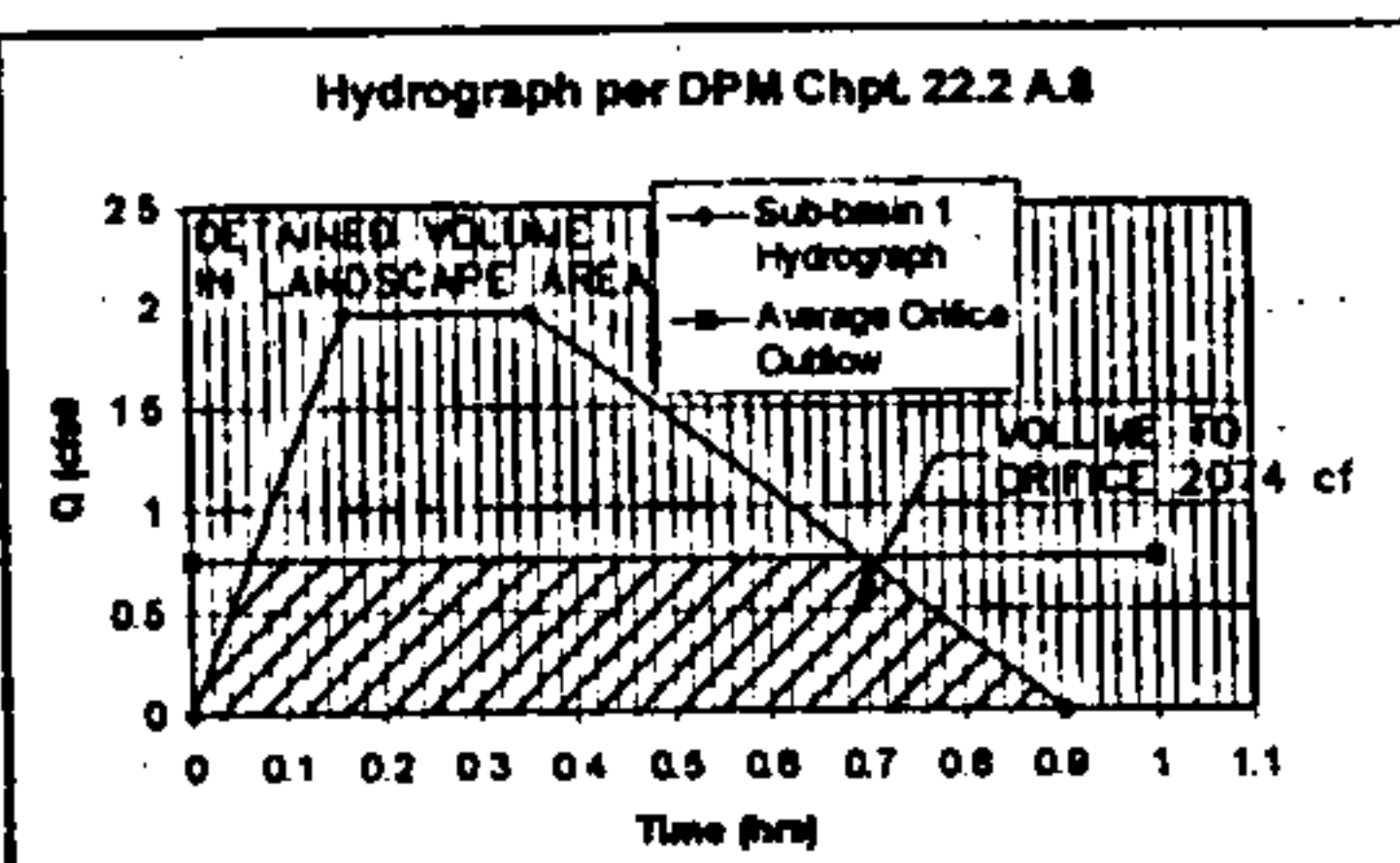
| | 10 YEAR | | 100 YEAR | |
|-------------|---------|------------------|----------|------------------|
| | Q (cfs) | VOLUME (cu. ft.) | Q (cfs) | VOLUME (cu. ft.) |
| Sub-basin 1 | 1.2 | 0.04 | 2.0 | 0.07 |
| Sub-basin 2 | 1.3 | 0.04 | 1.9 | 0.07 |
| Sub-basin 3 | 1.2 | 0.04 | 1.0 | 0.07 |
| Off-site 1 | 2.4 | 0.10 | 4.1 | 0.16 |

The entire site will be drained to the back side of an existing inlet on Cottonwood Drive N.W., as shown on the plan. Two penetrations will be required, one for a 6" gravity line, and another for a force line from the pump.

The gravity line drains Sub-basin 1, which contains the building. Building runoff drains to the western landscape/detention area. A 6" pipe with a 4" offset pipe, will allow 0.43 cfs when the water surface elevation matches the ground elevation and increases to 0.88 cfs as the elevation rises. As can be seen from the hydrograph plot below, the infiltration accounts for 2074 cubic feet of the runoff from Sub-basin 1. The rest of the volume is temporarily detained in the landscape area. This plot was created with a K equal to the maximum and an average outflow flow rate of 0.73 cfs.

The runoff from Sub-basin 2 is collected to the large median on the eastern end of the site (see detail). This median stores 2870 cu. ft. (0.064 ac-ft) and will be controlled by a 1.5" orifice allowing a flow rate less than the pumps 0.09 cfs. This takes the volume out of the storage necessary for the underground pipe. In a 100-yr storm event that storage area will all surface runoff from Sub-basin 2. This runoff, as well as most of Off-Site 1, drains directly to an underground 90" CMP which runs for 280' and provides for 12348 cubic ft (0.283 ac-ft) of storage. Off-site 1 also has a median/parade lot ponding area on the eastern portion of the lot. This area detains 1000 cu. ft. So of a total 19,860 cu. ft. (0.456 ac-ft) of total runoff, 7530 is stored above ground or drains directly to the street inlet. The remaining 12,330 is drained to the 90" CMP and then pumped to the street inlet. The CMP will house two 40 CMP (0.9 cfs) submersible trash pumps (one is backup), which will be connected to the existing inlet in Cottonwood Park by a 24" PVC pressure line. It should be noted that 0.9 cfs (pump flow rate) when combined with the maximum outflow flow rate (0.88 cfs) is equal to the permissible 0.97 cfs for Tract G-1A-1. It should also be noted that in a 100-yr storm the maximum parking lot depth is 0.5', and there is no ponding in the parking lot in a 10-yr storm.

Spot elevations, and contours where necessary, are shown to convey the final grade. The final grade is similar to the existing grades as it falls off from the north and east. A retaining wall is required at the north east corner of the parking area and has a maximum retained height of 3'4" (see accompanying detail).



**SHOPS AT COTTONWOOD PARK
GRADING AND DRAINAGE PLAN**

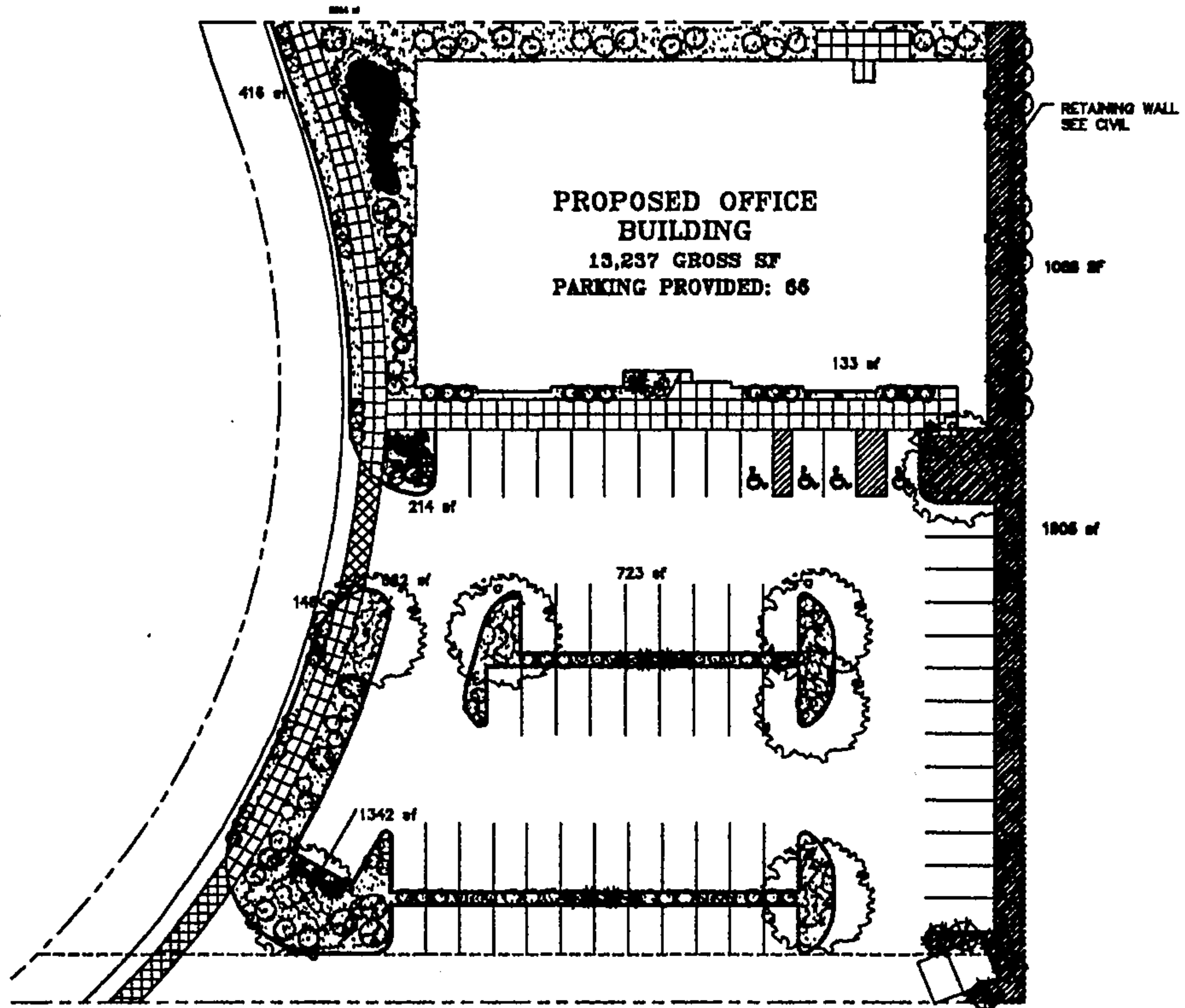
HUGH W. FLOYD
REGISTERED PROFESSIONAL ENGINEER
10633

Easterling Consultants, LLC
CONSULTING ENGINEERS
3613 NW 528 NW, Suite E-2
Albuquerque, New Mexico 87114
(505) 821-8646 FAX (505) 897-2965

DESIGNED BY: HWF
DRAWN BY: HWF
CHECKED BY: CME
DATE: 23-04-01 06 OCTOBER 2004

SDP-3
OF 5

C:\Projects\23-04-01 Shops at Cottonwood Park (Imp) (Grade and Drain).dwg 09/16/04

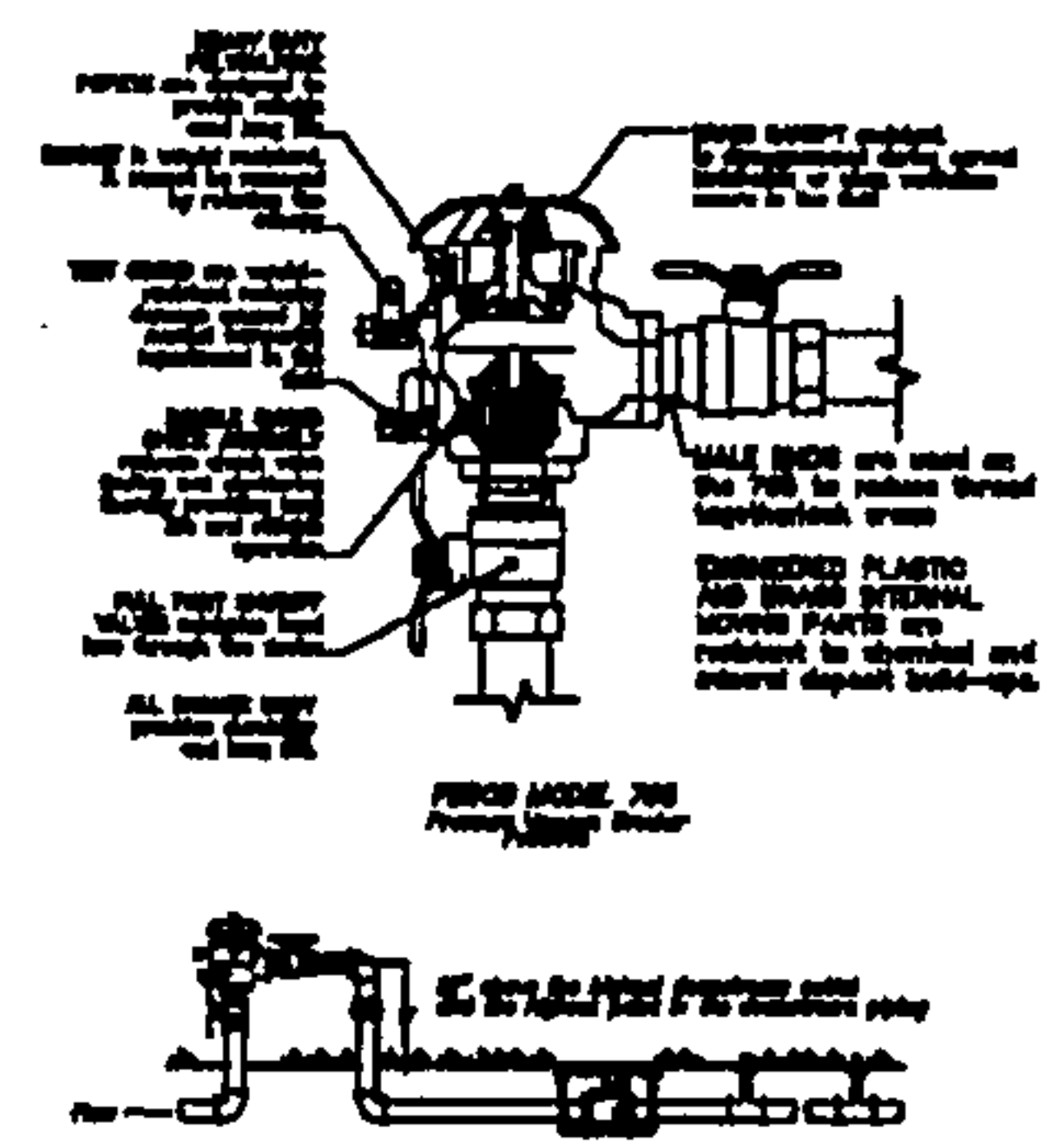


PLANT LEGEND

- ASH (A) OR HONEY LOCUST (O) 7
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal.
- MUGO PINE (O) 1
Pinus mugo
1" Cal.
- SILVERBERRY (A) 8
Elaeagnus argentea
1" Cal.
- RED YUCCA (L) 8
Yucca elata
1" Cal.
- MADEIRAGRASS (M) 7
Stipa sp. var.
1" Cal.
- RUSSIAN SAGE (M) 12
Perovskia atrorubra
1" Cal.
- APACHE PLUME (L) 18
Plumbago auriculata
1" Cal.
- ROSEMARY (M) 32
Rosmarinus officinalis
1" Cal.
- POTENTILLA (M) 22
Potentilla fruticosa
1" Cal.
- AUTUMN SAGE (M) 15
Salvia sp. var.
1" Cal.
- HALLS HONEYBUCKLE (O) 18
Lonicera xylosteum
1" Cal.
- CHAMISA (L) 12
Chrysothamnus nauseosus
1" Cal.
- WILDFLOWER 38
1" Cal.
- TAN JAMPER (O) 8
Lonicera xylosteum
1" Cal.
- OVERSEED GRAVEL
& 3 BOULDERS
- COMMERCIAL GRADE
STEEL EDGING
- 3/4" GRAY GRAVEL
WITH FILTER FABRIC

PONDING AREA

- NEW MEXICO OLIVE (M) 1
Forsythesia neomexicana
18 Cal.
- COYOTE WILLOW (M) 1
Salix elaeagnifolia
18 Cal.
- PAMPAS GRASS (M) 1
Cortaderia selloana
5 Cal.
- CAT TAILS (M) 3
Nyropha spp.
1 Cal.
- MADEIRAGRASS (M) 3
Miscanthus sinensis
8 Cal.
- 3/4" GRAY GRAVEL
WITH WATER HARVESTING
SEED MIX



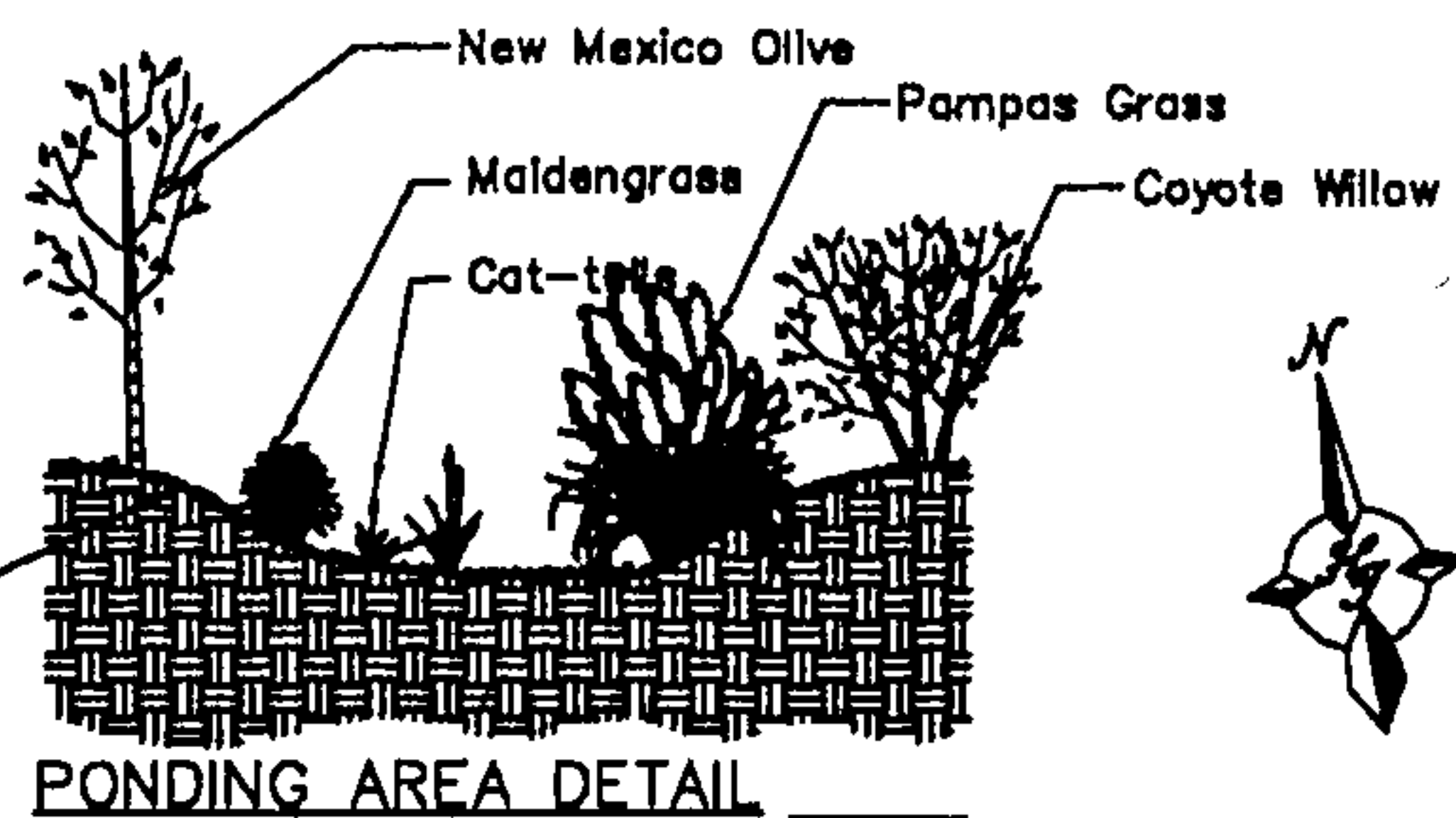
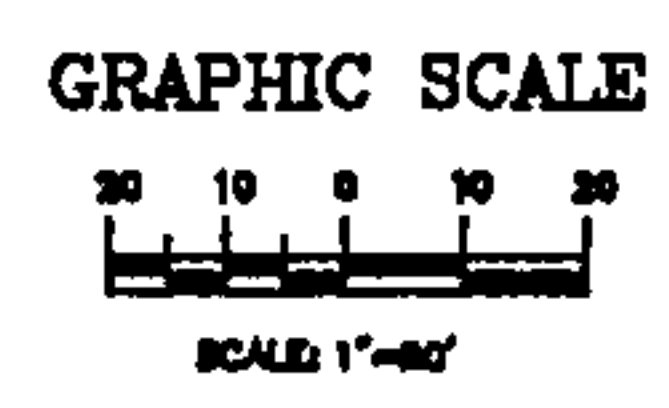
BACKFLOW PREVENTER DETAIL

LANDSCAPE CALCULATIONS

| | | |
|--------------------------------|------------|-------------|
| TOTAL LOT AREA | 58951 | square feet |
| TOTAL BUILDINGS AREA | 13237 | square feet |
| OFFSITE AREA | 0 | square feet |
| NET LOT AREA | 42814 | square feet |
| LANDSCAPE REQUIREMENT | 18% | |
| TOTAL LANDSCAPE REQUIREMENT | 6422 | square feet |
| TOTAL BED PROVIDED | 9978 | square feet |
| GROUND COVER REQ. | 75% | square feet |
| TOTAL GROUND COVER REQUIREMENT | 8929 | square feet |
| TOTAL GROUND COVER PROVIDED | 7058 (77%) | square feet |
| TOTAL LANDSCAPE PROVIDED | 9978 | square feet |

PARKING LOT TREE REQUIREMENTS

Parking Lot trees required under the City of Albuquerque Ordinance are as follows:
 Parking Spaces Provided 73
 Trees Required # 7
 Trees Provided # 7
 Gravel with Water Harvesting Seed Mix and no FF



PONDING AREA DETAIL

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.
 It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply compliance from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.
 Water management is the sole responsibility of the Property Owner. All landscaping will be in accordance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Rain Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.
 Plant beds shall achieve 75% live ground cover at maturity.
 Gray gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (8) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubble systems to be tied to 1/2" polytape with flush caps at each end.
 Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.
 Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.
 Location of controller to be field determined and power source for controller to be provided by others.
 Irrigation maintenance shall be the responsibility of the Property Owner.
 Water and Power source shall be the responsibility of the Developer/Builder.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

CLAUDIO VIGIL ARCHITECTS

1801 Rio Grande Boulevard, N.W.
 Albuquerque, New Mexico
 Phone: (505) 848-1118
 Fax: (505) 848-1808

STATEMENT OF RESPONSIBILITY OF ARCHITECT
 All design concepts, details, specifications, plans, contracts, etc., shall be prepared by Claudio Vigil Architects, P.C. in accordance with the provisions of the Professional Code of Ethics of the State of New Mexico. The Architect shall be responsible for the design and construction of the project and shall retain all rights in the design and construction of the project.

CONSULTANTS

PROFESSIONAL SEAL

PRELIMINARY
 NOT FOR CONSTRUCTION

COLDWELL OFFICE BUILDING

10800 COTTONWOOD PARK NW
 ALBUQUERQUE, NEW MEXICO

| DATE | BY | DESCRIPTION |
|------|----|-------------|
| | | |
| | | |
| | | |
| | | |

The Hilltop
 LANDSCAPE ARCHITECTS & DESIGNERS
 Cont. Lic. 028468
 7101 East N.E.
 Albuquerque, NM 87104
 Ph. (505) 948-7940
 Fax (505) 948-7737
 cl@hilltoplandscaping.com
 All design and construction shall be in accordance with the provisions of the Professional Code of Ethics of the State of New Mexico. The Architect shall be responsible for the design and construction of the project and shall retain all rights in the design and construction of the project.

LANDSCAPE PLAN

PROJECT NUMBER
L-101

CLAUDIO VIGIL ARCHITECTS

1501 Ma. Ozols Boulevard, N.W.
 Albuquerque, New Mexico
 Phone: (505) 244-1118
 Fax: (505) 242-1500

CONSULTANTS

PROFESSIONAL SEAL

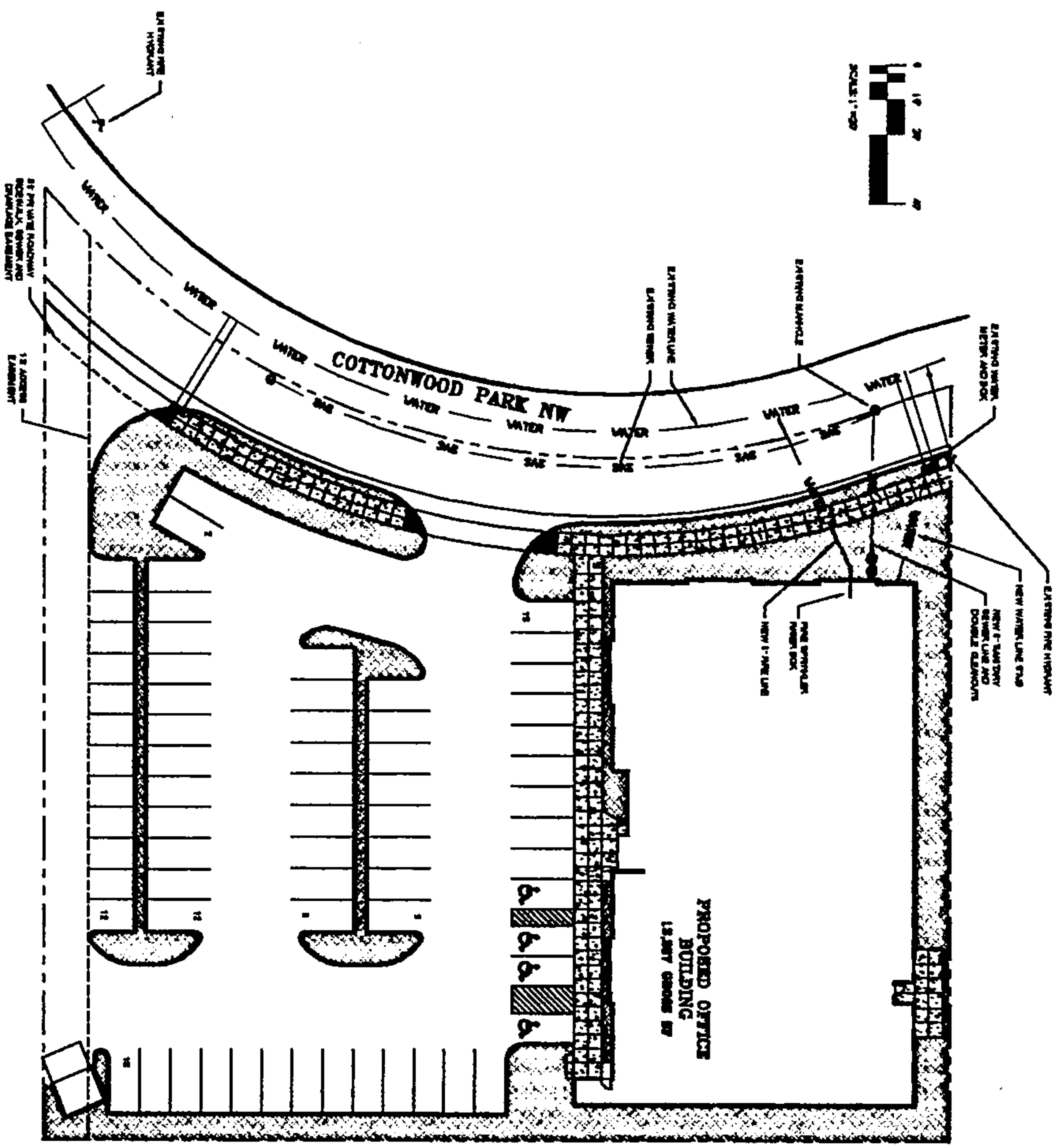
PRELIMINARY

COLDWELL OFFICE BUILDING
 10800 COTTONWOOD PARK NW
 ALBUQUERQUE, NEW MEXICO

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| | | |
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| | | |

CONCEPTUAL UTILITY PLAN
 DWG

C-102



A-3

SITE PLAN

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME WRANGLER PROPERTIES
AGENT LOUISE HOLLESEN - CLAUDIO VIGIL ARCHITECTS
ADDRESS 1801 RIOGRANDE BLVD
PROJECT & APP # 1001831/05DRB 01588
PROJECT NAME COLDWELL OFFICE BLDG.

\$ 20.00 441032/3424000 Conflict Management Fee
\$ 385.00 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 405.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

GERALD MARTIN General Contractor
Gerald A. Martin, Ltd.
P.O. Box 91450
Albuquerque, New Mexico 87199-1450
(505) 828-1144

BANK OF ALBUQUERQUE
ALBUQUERQUE, NEW MEXICO 95-660
1070

529294

City of Albuquerque
Treasury Division

DATE: 10-11-05
CHECK NO.: 529294
AMOUNT: 405.00
LOC: ANH

RECEIPT# 00047162 USH 008 TRAN# 0011
Account 441032 Fund 0110
Activity 342400
Trans Amt J24 Misc

PAY TO THE ORDER OF: City of Albuquerque
Amount: \$405.00
Four hundred and five 00/100

AUTHORIZED SIGNATURE: [Signature]

Thank You