

## OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

June 9, 2004

**1. Project # 1001862**  
04DRB-00757 Major-Two Year SIA

LLAVE CONSTRUCTION INC. agent(s) for LLAVE CONSTRUCTION INC request(s) the above action(s) for all or a portion of Lot(s) 1-6 INCLUDE LOTS 1 THRU 6, **OAKLAND COURT SUBDIVISION**, zoned R-D, located on OAKLAND CT NE, between BARSTOW NE and VENTURA NE containing approximately 2 acre(s). [REF: 02DRB-00663] (C-20)

At the June 9, 2004, Development Review Board meeting, a two- year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by June 24, 2004 in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

  
Sheran Matson, AICP, DRB Chair

cc: Bob Keeran, Llave Construction Inc., P.O. Box 93642, 87199  
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.  
Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg  
File

# DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1001862 AGENDA#: 1 DATE: 6-9-04

1. Name: Bob Keenan Address: 8550 Oakwood Ave NE Zip: 87122

2. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

## PLANNING DEPARTMENT DEVELOPMENT AND BUILDING SERVICES HYDROLOGY DEVELOPMENT SECTION

### DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1001862**

**AGENDA ITEM NO: 1**

**SUBJECT:**

- |                         |                          |                              |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan   | (05) Site Plan for Subd  | (10) Sector Dev Plan         |
| (02) Bulk Land Variance | (06) Site Plan for BP    | (11) Grading Plan            |
| (03) Sidewalk Variance  | (07) Vacation            | (12) SIA Extension           |
| (03a) Sidewalk Deferral | (08) Final Plat          | (13) Master Development Plan |
| (04) Preliminary Plat   | (09) Infrastructure List | (14) Other                   |

**ACTION REQUESTED:**

REV/CMT:() APP:() SIGN-OFF:() EXTN:(x) AMEND:()

**ENGINEERING COMMENTS:**

The Hydrology Section has no objection to the extension request.

**RESOLUTION:**

2 yr

APPROVED X; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
City Engineer/AMAFCA Designee

**DATE:** June 9, 2004



CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

June 9, 2004

**Project # 1001862**  
04DRB-00757 Major-Two Year SIA

LLAVE CONSTRUCTION INC. request(s) the above action(s) for all or a portion of Lot(s) 1-6, **OAKLAND COURT SUBDIVISION**, zoned R-D, located on OAKLAND CT NE, between BARSTOW NE and VENTURA NE containing approximately 2 acre(s). [REF: 02DRB-00663] (C-20)

AMAFCA No comment.

COG No comments received.

Transit No comments received.

Zoning Enforcement No comments received.

Neighborhood Coordination

Letter sent to North Albuquerque Acres (R) Neighborhood Association.

APS No comments received.

Police Department

A review of following case(s) indicates the following problems or crimes may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicate that a thorough CPTED evaluation has been done, or that other criminal activities may not occur.

Fire Department No adverse comments.

PNM Electric & Gas PNM approves 2 year SIA.

Comcast No comments received

QWEST No comments received

Environmental Health Site is not within 1000 feet of a landfill. No comment.

M.R.G.C.D. No comments received.

Open Space Division

No adverse comments.

City Engineer

The Hydrology section has no objection to the extension request.

Transportation Development

- 1) No objection.
- 2) What is timing for La Cueva Channel improvements?

Parks & Recreation

No objection.

Utilities Development

No objection to Extension request, defer to Hydrology.

Panning Department

No objection to the requested 2-year extension.

**IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING**

cc: Llave Construction, PO Box 93642, Albuquerque, NM 87199

Bob Keeran, PO Box 93642, Albuquerque, NM 87199

**CITY OF PLANNING  
PLANNING DEPARTMENT  
PROPERTY OWNERSHIP LIST**

**Meeting Date:** JUNE 9, 2004  
**Zone Atlas Page:** C-20-Z  
**Notification Radius:** 100 Ft.

**Project#** 1001862  
**App#** 04DRB-00757

**Cross Reference and Location:**

**Applicant:** LLAVE CONSTRUCTION  
**Address:** PO BOX 93642  
ALBUQUERQUE NM 87199

**Agent:** BOB KEERAN  
**Address:** PO BOX 93642  
ALBUQUERQUE NM 87199

**Special Instructions:**

**Notice must be mailed from the  
City's 15 day prior to the meeting.**

**Date Mailed:** MAY 21, 2004

**Signature:** KYLE TSETHLIKAI

102006401943920435 \*\*\* THIS UPC CODE HAS NO MASTER RECORD ON FILE

102006404044020403 LEGAL: 030 002N ORTH ALBUQ ACRES UN3 TR3 LAND USE:  
 PROPERTY ADDR: 00000 OAKLAND  
 OWNER NAME: ARCHDIOCESE OF SANTA FE  
 OWNER ADDR: 04000 ST JOSEPH PL NW ALBUQUERQUE NM 87120

102006405744020404 LEGAL: 029 002N ORTH ALBUQ ACRES UN3 TR3 LAND USE:  
 PROPERTY ADDR: 00000 OAKLAND  
 OWNER NAME: ARCHDIOCESE OF SANTA FE  
 OWNER ADDR: 04000 ST JOSEPH PL NW ALBUQUERQUE NM 87120

102006407444020405 LEGAL: 028 002N ORTH ALBUQ ACRES UN3 TR3 LAND USE:  
 PROPERTY ADDR: 00000 OAKLAND  
 OWNER NAME: ROMAN CATHOLIC CHURCH  
 OWNER ADDR: 04000 ST JOSEPH PL NW ALBUQUERQUE NM 87120

102006401942720434 \*\*\* THIS UPC CODE HAS NO MASTER RECORD ON FILE

102006402741820344 LEGAL: LT 1 3 RE PLAT OF LOTS 1, 2 & 30 THRU 32 BLOCK 3 NDR LAND USE:  
 PROPERTY ADDR: 00000 PICO LA CUEVA  
 OWNER NAME: MARDONE JAMES P & ROSITA M RYT  
 OWNER ADDR: 08838 PICO LA CUEVA PL NE ALBUQUERQUE NM 87122

102006403645020345 LEGAL: LT 1 BLK 3 PLAT OF OAKLAND COURT SUBDIVISION A REP LAND USE:  
 PROPERTY ADDR: 00000 OAKLAND  
 OWNER NAME: STUHLER JOSEPH L & KIMBERLY A  
 OWNER ADDR: 08839 OAKLAND CT NE ALBUQUERQUE NM 87122

102006405545020350 LEGAL: LT 6 BLK 3 PLAT OF OAKLAND COURT SUBDIVISION A REP LAND USE:  
 PROPERTY ADDR: 00000 OAKLAND  
 OWNER NAME: HOUSTON NEVAREZ ANN  
 OWNER ADDR: 08838 OAKLAND CT NE ALBUQUERQUE NM 87122

102006407441020328 LEGAL: 005 003N ORTH ALBUQ ACRES UN3 TR3 LAND USE:  
 PROPERTY ADDR: 00000 OAKLAND  
 OWNER NAME: KEERAN ROBERT B & CYNTHIA J  
 OWNER ADDR: 00000 ALBUQUERQUE NM 87199

102006403444220346 LEGAL: LT 2 BLK 3 PLAT OF OAKLAND COURT SUBDIVISION A REP LAND USE:  
 PROPERTY ADDR: 00000 OAKLAND  
 OWNER NAME: GRIEGO ERIC E & KELLIE A  
 OWNER ADDR: 08835 OAKLAND AV NE ALBUQUERQUE NM 87122

102006405644220349 LEGAL: LT 5 BLK 3 PLAT OF OAKLAND COURT SUBDIVISION A REP LAND USE:  
 PROPERTY ADDR: 00000 OAKLAND  
 OWNER NAME: SMITH ANTHONY C & CARLA B  
 OWNER ADDR: 08834 OAKLAND CT NE ALBUQUERQUE NM 87122

102006402740620343 LEGAL: LT 1 2 RE PLAT OF LOTS 1, 2 & 30 THRU 32 BLOCK 3 NDR LAND USE:  
 PROPERTY ADDR: 00000 PICO LA CUEVA  
 OWNER NAME: LANDINI LARRY A & PHYLLIS S  
 OWNER ADDR: 08834 PICO LA CUEVA PL NE ALBUQUERQUE NM 87122

102006405143520348 LEGAL: LT 4 BLK 3 PLAT OF OAKLAND COURT SUBDIVISION A REP LAND USE:  
 PROPERTY ADDR: 00000 OAKLAND  
 OWNER NAME: WHITTAKER WILLIAM J & GLENDA M  
 OWNER ADDR: 08830 OAKLAND AV NE ALBUQUERQUE NM 87122

102006403843520347 LEGAL: LT 3 BLK 3 PLAT OF OAKLAND COURT SUBDIVISION A REP LAND USE:  
 PROPERTY ADDR: 00000 OAKLAND  
 OWNER NAME: RODRIGUEZ CHRIS R & SANDY A  
 OWNER ADDR: 08831 OAKLAND AV NE ALBUQUERQUE NM 87122

102006402739620342 LEGAL: LT 1 1 RE PLAT OF LOTS 1, 2 & 30 THRU 32 BLOCK 3 NDR LAND USE:  
 PROPERTY ADDR: 00000 PICO LA CUEVA  
 OWNER NAME: LANDINI LARRY A & PHYLLIS S  
 OWNER ADDR: 08830 PICO LA CUEVA NE ALBUQUERQUE NM 87122

102006403939320341 LEGAL: TR A REP LAT OF LOTS 1, 2 & 30 THRU 32 BLOCK 3 NORT LAND USE:  
 PROPERTY ADDR: 00000  
 OWNER NAME: PICO LLC  
 OWNER ADDR: 02820 BROADBENT PK NE ALBUQUERQUE NM 87107

102006405838620304 LEGAL: 029 003N ORTH ALBUQ ACRES UN3 TR3 LAND USE:  
 PROPERTY ADDR: 00000 ALAMEDA  
 OWNER NAME: SWINGLE STEVE D & KATHLEEN M  
 OWNER ADDR: 08501 ALAMEDA BL NE ALBUQUERQUE NM 87122

102006407338620305 LEGAL: 028 003N ORTH ALBUQ ACRES UN3 TR3 LAND USE:  
 PROPERTY ADDR: 00000 ALAMEDA  
 OWNER NAME: CAMPBELL NOEL WILLIAM  
 OWNER ADDR: 08509 ALAMEDA BL NE ALBUQUERQUE NM 87122

102006404239120340 LEGAL: LT 1 0 RE PLAT OF LOTS 1, 2 & 30 THRU 32 BLOCK 3 NDR LAND USE:  
 PROPERTY ADDR: 00000 PICO LA CUEVA  
 OWNER NAME: NEWSOME JAMES A & C JOAN  
 OWNER ADDR: 08801 PICO LA CUEVA NE ALBUQUERQUE NM 87122

102006402838220337 LEGAL: LT 7 REP LAT OF LOTS 1, 2 & 30 THRU 32 BLOCK 3 NORT LAND USE:  
 PROPERTY ADDR: 00000 PICO LA CUEVA  
 OWNER NAME: MOCK ASSOCIATES INC  
 OWNER ADDR: 02720 BROADBENT PK NE ALBUQUERQUE NM 87107

102006404438120339 LEGAL: LT 9 REP LAT OF LOTS 1, 2 & 30 THRU 32 BLOCK 3 NORT LAND USE:  
 PROPERTY ADDR: 00000 PICO LA CUEVA  
 OWNER NAME: GAFFNEY GREGORY T & LORRI A  
 OWNER ADDR: 08805 PICO LA CUEVA RD NE ALBUQUERQUE NM 87122

102006403638120338 LEGAL: LT 8 REP LAT OF LOTS 1, 2 & 30 THRU 32 BLOCK 3 NORT LAND USE:  
 PROPERTY ADDR: 00000 PICO LA CUEVA  
 OWNER NAME: MOCK ASSOCIATES INC  
 OWNER ADDR: 02820 BROADBENT PK NE ALBUQUERQUE NM 87107



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: May 14, 2004

TO CONTACT NAME: Bob Keeran
COMPANY/AGENCY: Slave Construction, Inc.
ADDRESS/ZIP: PO Box 93642 87199
PHONE/FAX #: 856-4076 / 858-1702

Thank you for your inquiry of 5-14-04 (date) requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at Oakland Ct. Subdivision

zone map page(s) C-00

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

North Albuquerque Area
Neighborhood Association
Contacts: Bonnie Harley
11021 Signal Ave NE 87122
856-0051 (h) 856-1288 (w)
Jackie McDonnell
7820 Beverly Hills Ave. NE
828-2430 (h) 87122

Neighborhood Association
Contacts:

See reverse side for additional Neighborhood Association Information: YES { } NO {X}

Please note that according to O-92 you are required to notify each of these contact persons by CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE the Planning Department will accept your application filing. IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS. If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Dalana & Carmena
OFFICE OF NEIGHBORHOOD COORDINATION

Attention: Both contacts per neighborhood association need to be notified.



# DEVELOPER INQUIRY SHEET

(To be completed prior to application submittal)

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second St. NW, Fax – 924-3913 – will need the following information **BEFORE** neighborhood association information will be released to the applicant / developer on any project being presented to the Planning Department. If you have any questions, please feel free to contact our office at 924-3914. Your request is for the following: Cell Tower [ ] Private Development  City Project [ ] -OR- Other [ ] SIA Extension

(specify)

CONTACT NAME: Bob Keenan  
COMPANY NAME: LAVE CONSTRUCTION, INC  
ADDRESS: PO Box 93642 Alb NM  
ZIP CODE: 87199  
PHONE: (505) 856-4076 CELL: (505) 249-1502  
~~858-1702~~  
X: (505) 858-1702

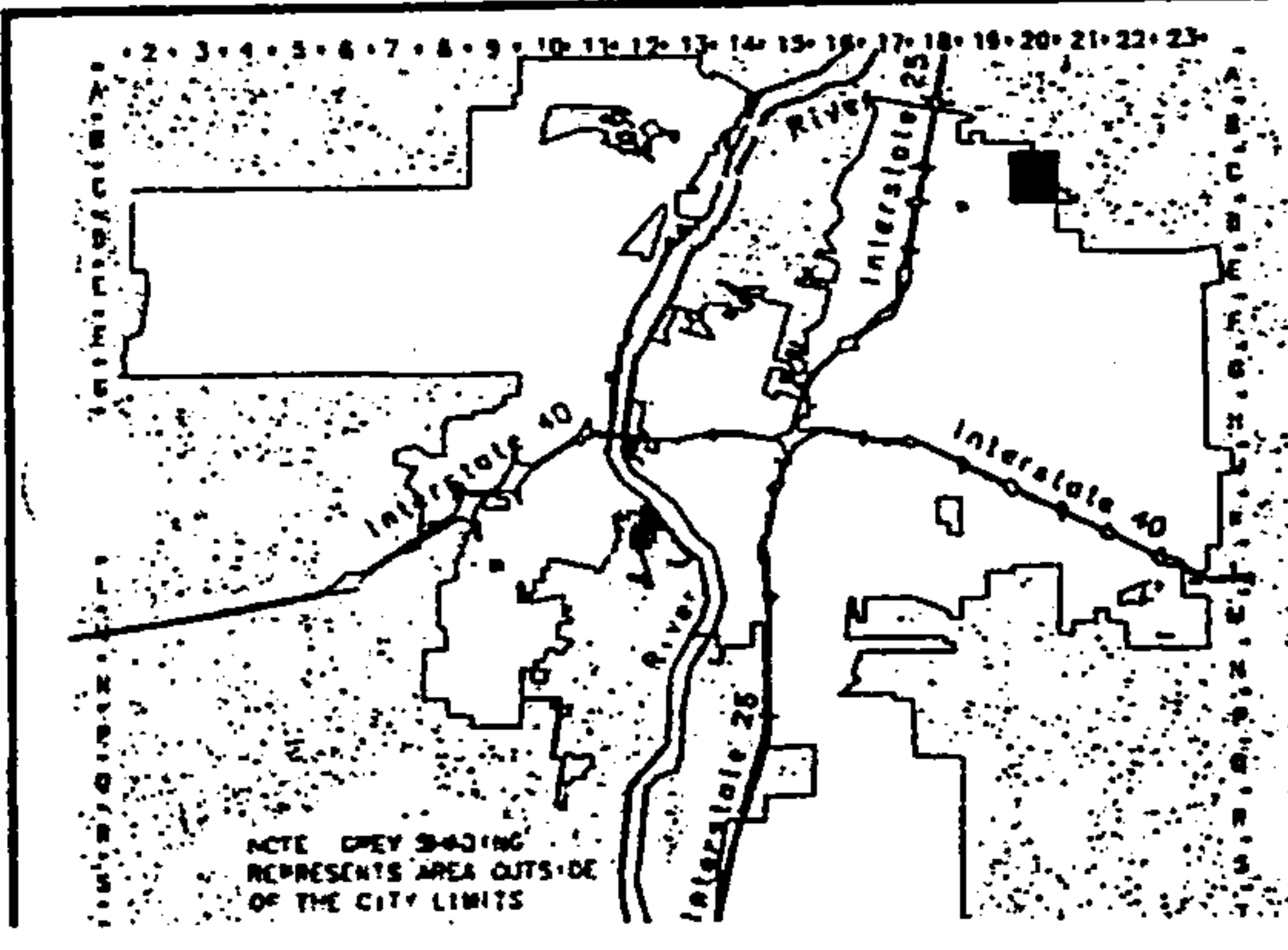
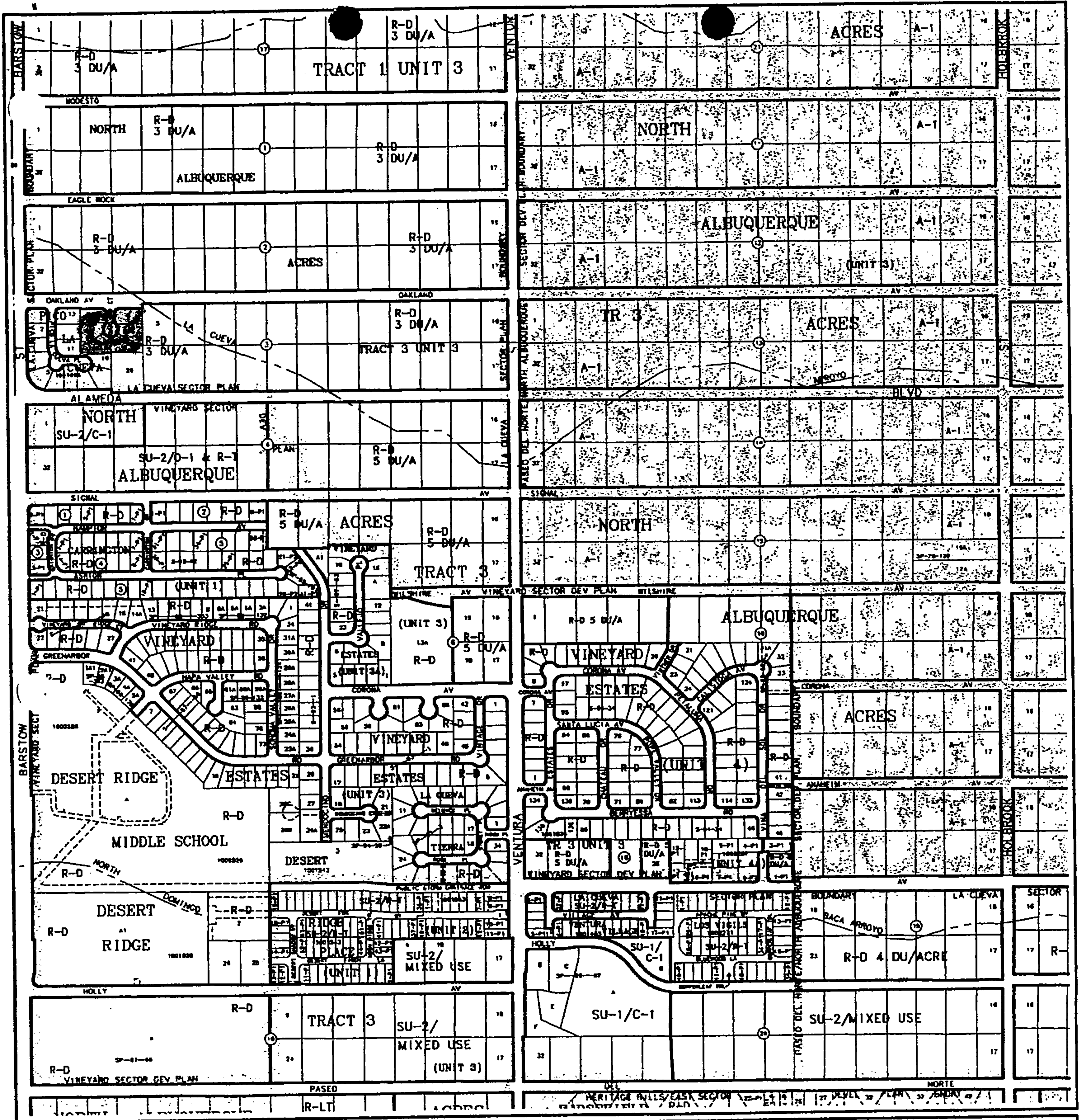
## NEIGHBORHOOD ASSOCIATION INFORMATION

PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD ASSOCIATIONS IN THE AREA OF THE PROPERTY DESCRIBED AS OAKLAND CT  
Subdivision  
(LEGAL DESCRIPTION)

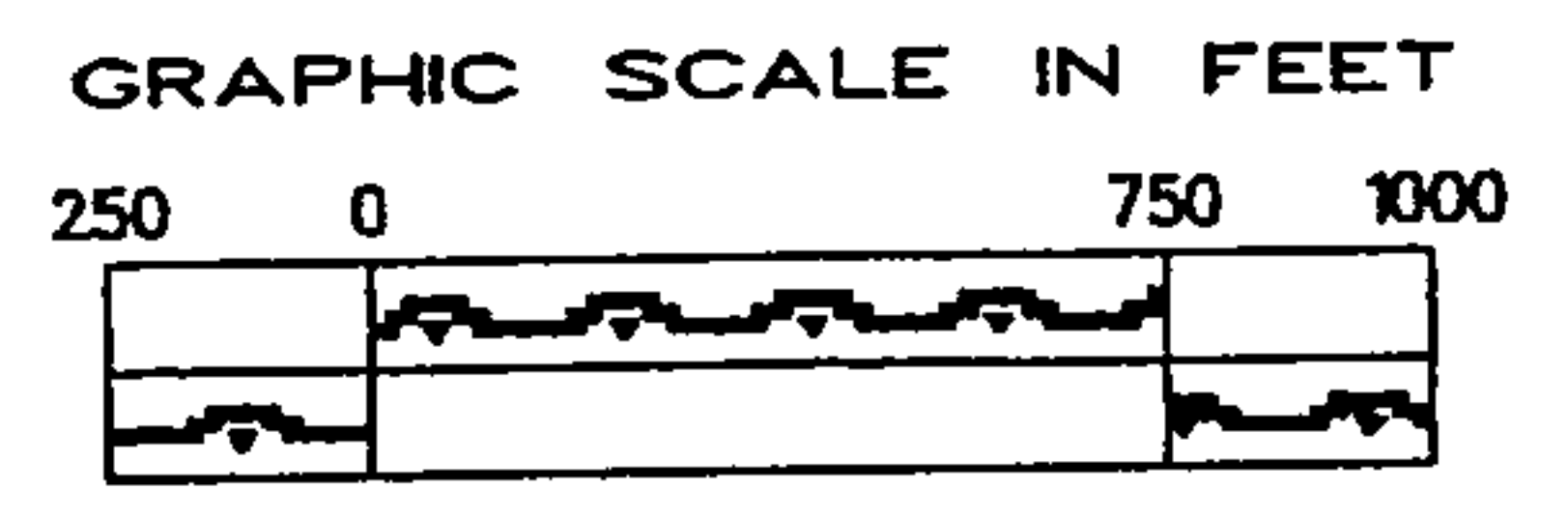
LOCATED ON DAKLANDS  
(STREET NAME OR OTHER IDENTIFYING LANDMARK)  
BETWEEN BANSTAN AND  
(STREET NAME OR OTHER IDENTIFYING LANDMARK)  
VENTURA  
(STREET NAME OR OTHER IDENTIFYING LANDMARK)

THE SITE IS LOCATED ON THE FOLLOWING ZONE ATLAS PAGE(S) (C-20).

**PLEASE HATCH OUT ZONE MAP WHERE PROPERTY IS LOCATED**  
(ZONE MAP **MUST** BE PROVIDED WITH REQUEST)



CITY OF  
Albuquerque  
A Geographic Information System  
PLANNING DEPARTMENT  
© Copyright 2003



**Zone Atlas Page**  
**C-20-Z**  
Map Amended through July 10, 2003

**LLAVE CONSTRUCTION, INC.**  
**P.O. BOX 93642**  
**ALBUQUERQUE, NM 87199**  
**OFFICE: (505) 856-4076**  
**FAX: (505) 858-1702**  
**MOBILE: (505) 249-1502**

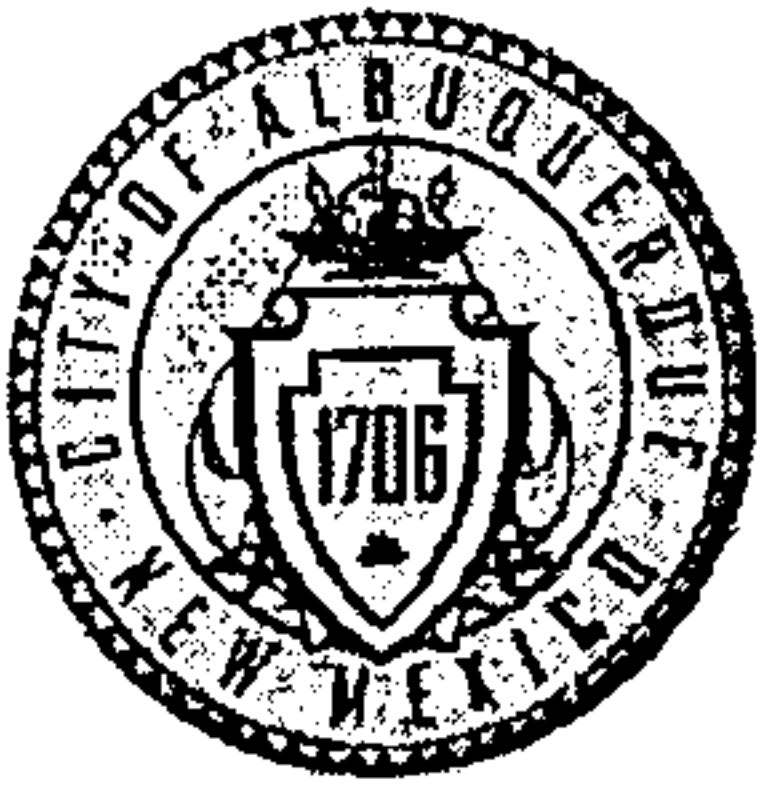
May 14, 2004

Ladies and Gentlemen:

Llave Construction, Inc., developed the property into a six lot subdivision known as Oakland Court. This letter is to notify your neighborhood association that Llave is requesting a 2 year extension of the Modified "B" portion of the SIA (grading, subgrade prep, paving, sidewalk, curb and gutter need to be completed) and is to be heard on June 9, 2004. The improvements have to wait on the proposed La Cueva Channel. The purpose of this letter is to give you the required formal notification. If you have any questions, please don't hesitate to call me at 249-1502.

Sincerely,  
Llave Construction, Inc.

Bob Keeran, President



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, June 9, 2004**, beginning at **9:00 a.m.** for the purpose of considering the following:

**Project # 1001862**  
04DRB-00757 Major-Two Year SIA

LLAVE CONSTRUCTION INC. request(s) the above action(s) for all or a portion of Lot(s) 1-6, **OAKLAND COURT SUBDIVISION**, zoned R-D, located on OAKLAND CT NE, between BARSTOW NE and VENTURA NE containing approximately 2 acre(s). [REF: 02DRB-00663] (C-20)

**Project # 1001916**  
04DRB-00743 Major-Two Year SIA

BOHANNAN HOUSTON INC agent(s) for SANDIA PROPERTIES LTD., CO request(s) the above action(s) for **PINON POINTE SUBDIVISION @ VENTANA RANCH, UNIT 3**, zoned R-LT, located on RAINBOW BLVD NW, between IRVING BLVD NW and LAS VENTANAS RD NW containing approximately 12 acre(s). [REF: 02DRB-01007] (B-9)

**Project # 1002632**  
04DRB-00760 Major-Bulk Land Variance  
04DRB-00761 Minor-Prelim&Final Plat  
Approval

TIERRA WEST, LLC agent(s) for BUILDERS INVESTMENT CO. OF NM request(s) the above action(s) for all or a portion of Lot(s) 1 & 2, **PARAGON RESOURCES INC.** (to be known as **SUNDANCE ESTATES**) zoned R-D residential and related uses zone, developing area for R-LT, located on PARADISE BLVD NW, between LYONS BLVD NW and BLANDA CT NW containing approximately 122 acre(s). (B-10/B-11)

**Project # 1002718**  
04DRB-00758 Major-Preliminary Plat  
Approval  
04DRB-00759 Minor-Temp Defer SDWK

TIERRA WEST, LLC agent(s) for TS MCNANEY & ASSOCIATES request(s) the above action(s) for all or a portion of Tract(s) 334B2A1, 334B2B and 334B1, M.R.G.C.D. MAP 35, **RIVERVIEW ACRES, UNIT 2**, zoned RA-1 residential and agricultural zone, semi-urban area, located on GABALDON RD NW, between the RIVERSIDE DRAIN CANAL and GABALDON RD NW containing approximately 10 acre(s). (H-12)

**SEE PAGE 2 . . .**



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

**PAGE 2**

**Project # 1003445**

04DRB-00750 Major-Bulk Land Variance  
04DRB-00751 Major-Vacation of Pub  
Right-of-Way  
04DRB-00752 Major-Vacation of Public  
Easements  
04DRB-00753 Minor-Prelim&Final Plat  
Approval

ISAACSON & ARFMAN, P A agent(s) for AMERICAN EAGLE L.P.c/o R.J. SCHAEFER REALTY & INVESTMENTS, request(s) the above action(s) for all or a portion of Lot(s) 6-A, Tract(s) B, C & D, **ALBUQUERQUE WEST, UNIT 1**, zoned SU-1 PDA TO INCLUDE C-3 USES, located on NUNZIO AVE NW, between PARADISE BLVD NW and EAGLE RANCH RD NW containing approximately 26 acre(s). [REF: AX-83-13, DRB-94-132, DRB-94-512, Z-83-89] (C-12)

**Project # 1003447**

04DRB-00756 Major-SiteDev Plan  
BldPermit

DORMAN & BREEN ARCHITECTS agent(s) for THE CHAPMAN COMPANIES, INC. request(s) the above action(s) for all or a portion of Lot(s) 11A, **JOURNAL CENTER 2, UNIT 1**, zoned IP industrial park zone, located on WASHINGTON ST NE, between WOLCOTT AVE NE and MASTHEAD ST. NE containing approximately 1 acre(s). [REF: 02DRB-00076, 03DRB-00999] (D-17)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. Individuals with disabilities who need special assistance to participate at this meeting should contact Claire Senova, Planning Department, at 924-3946. Hearing Impaired users may contact her via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.

Sheran Matson, AICP, DRB Chair  
Development Review Board

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, MAY 24, 2004.**

# City of Albuquerque



## DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form		Supplemental form	
<b>SUBDIVISION</b>	<b>S</b>	<b>ZONING &amp; PLANNING</b>	<b>Z</b>
<input checked="" type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation	
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal	
<input type="checkbox"/> Vacation	<b>V</b>	<input type="checkbox"/> EPC Submittal	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)	
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>	<input type="checkbox"/> Sector Plan (Phase I, II, III)	
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan	
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)	
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	<b>L</b>		
<b>STORM DRAINAGE</b>	<b>D</b>	<b>APPEAL / PROTEST of...</b>	<b>A</b>
<input type="checkbox"/> Storm Drainage Cost Allocation Plan		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: LLAVE Construction Inc PHONE: 249-1502  
 ADDRESS: Po Box 93642 FAX: 858-1702  
 CITY: AB STATE NM ZIP 87199 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: Owner List all owners: \_\_\_\_\_  
 AGENT (if any): Bob Keenan PHONE: 249-1502  
 ADDRESS: Po Box 93642 FAX: 858-1702  
 CITY: AB STATE NM ZIP 87199 E-MAIL: \_\_\_\_\_

DESCRIPTION OF REQUEST: SIA Extension

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. OAKLAND CT SUBDIVISION Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv. / Addn. lots 1-6  
 Current Zoning: RD Proposed zoning: RD  
 Zone Atlas page(s): C-70 No. of existing lots: 6 No. of proposed lots: 6  
 Total area of site (acres): 2 Density if applicable: dwellings per gross acre: 3 dwellings per net acre: 3  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? \_\_\_\_\_  
 UPC No. \_\_\_\_\_ MRGCD Map No. \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: OAKLAND NE  
 Between: Banston NE and Ventura NE

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):  
02 DRB 00663 DEC 6878.81

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 5/14/04

SIGNATURE: Bob Keenan DATE: 5/14/04  
 (Print) Bob Keenan  Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised 9/01, 3/03, 7/03, 10/03, 3/04, 4/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>04DRB-00757</u>	<u>SIA</u>		<u>\$ 50.00</u>
<input type="checkbox"/> All fees have been collected	<u>Conf. mgmt. fee</u>	<u>—————</u>		<u>\$ 20.00</u>
<input type="checkbox"/> All case #s are assigned	<u>PRB add. fee</u>	<u>—————</u>		<u>\$ 75.00</u>
<input type="checkbox"/> All case #s are assigned				\$
<input type="checkbox"/> AGIS copy has been sent				\$
<input type="checkbox"/> Case history #s are listed				\$
<input type="checkbox"/> Site is within 1000ft of a landfill				\$
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate				<u>\$ 145.00</u>

Hearing date 6-9-04

Planner signature / date 5-14-04

Project # 1001862

**FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING**

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

**MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL**

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
  - Proposed Infrastructure List
  - Design elevations & cross sections of perimeter walls
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Property owner's and City Surveyor's signature on the proposed plat
  - FORM DRWS Drainage Report, Water & Sewer availability statement filing information
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Preliminary plat approval expires after one year.  
DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

- MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)**

**PLEASE NOTE:** There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
  - Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.  
DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

**MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT**  
(Temporary sidewalk deferral uses FORM-V)

- 1 copy of each of the following items
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. \_\_\_\_\_
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. \_\_\_\_\_
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application
- Fee (see schedule)

**DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Bob Keenan  
Applicant name (print)  
5/14/04  
Applicant signature / date

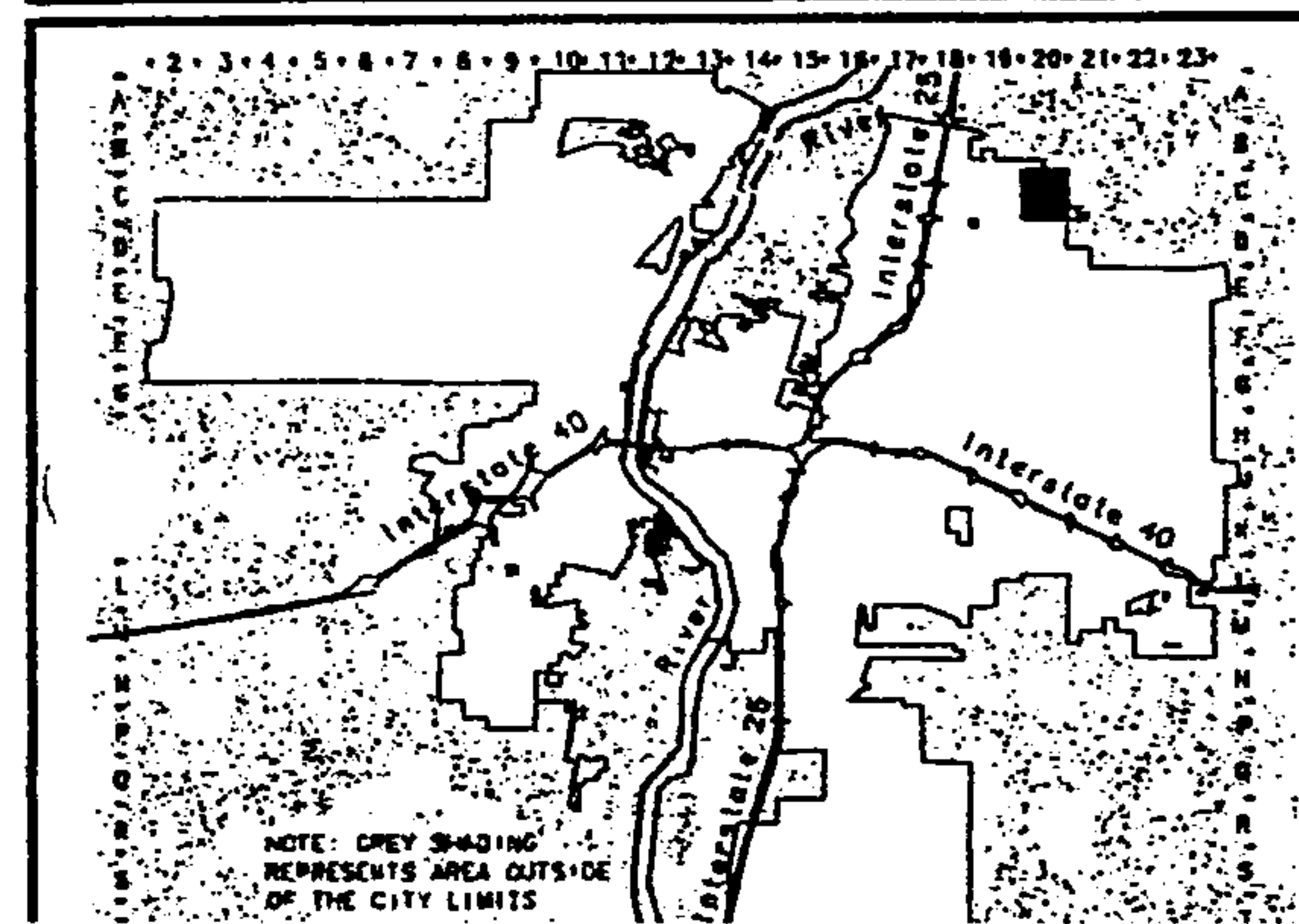
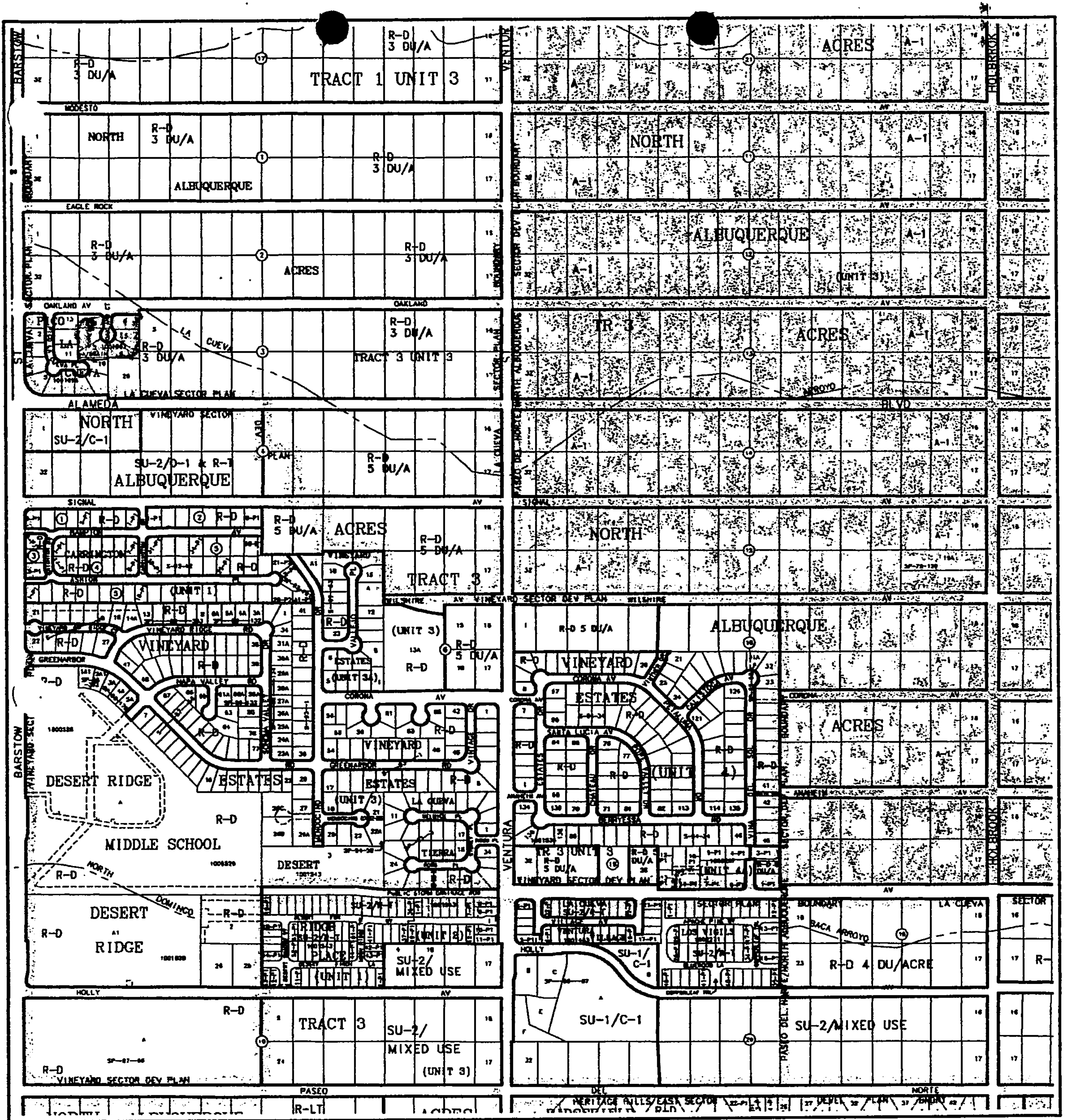


Form revised 9/01, 8/03 and 9/03

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
04DRB-00757

Bob Keenan 5-14-04  
Planner signature / date  
**Project # 1001862**



CITY OF  
Albuquerque  
A lbuquerque Geographic Information System  
PLANNING DEPARTMENT  
© Copyright 2003



**Zone Atlas Page**  
**C-20-Z**  
Map Amended through July 10, 2003



**LLAVE CONSTRUCTION, INC.**  
**P.O. BOX 93642**  
**ALBUQUERQUE, NM 87199**  
**OFFICE: (505) 856-4076**  
**FAX: (505) 858-1702**  
**MOBILE: (505) 249-1502**

May 14, 2004

Ladies and Gentlemen:

Llave Construction, Inc., developed the property into a six lot subdivision known as Oakland Court. This letter is to notify your neighborhood association that Llave is requesting a 2 year extension of the Modified "B" portion of the SIA (grading, subgrade prep, paving, sidewalk, curb and gutter need to be completed) and is to be heard on June 9, 2004. The improvements have to wait on the proposed La Cueva Channel. The purpose of this letter is to give you the required formal notification. If you have any questions, please don't hesitate to call me at 249-1502.

Sincerely,  
Llave Construction, Inc.

Bob Keeran, President

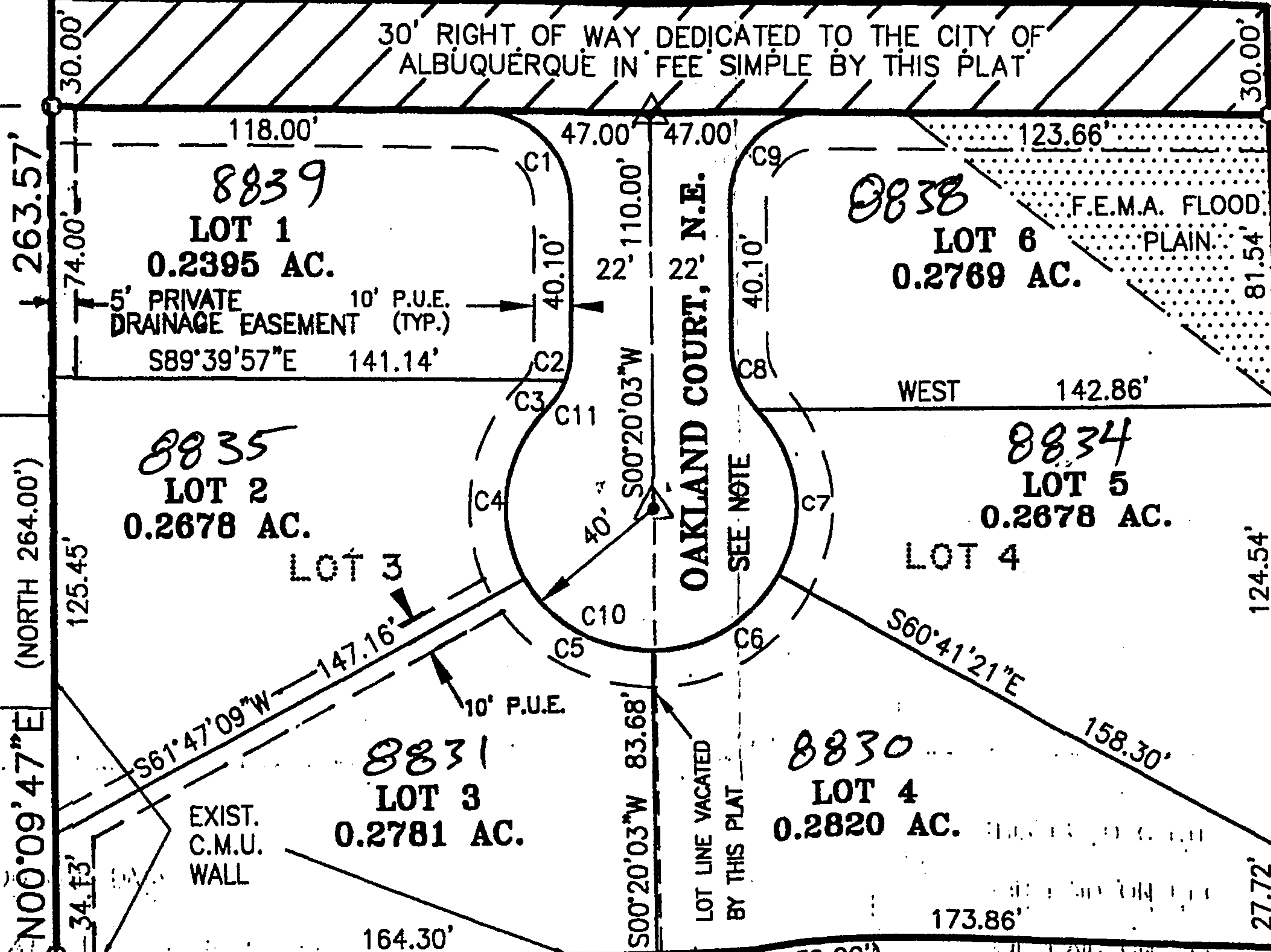


SCALE: 1" = 50'

TIE: N15°19'03"W  
1127.65'

OAKLAND AVENUE, N.E. - 60' R.O.W  
S89°39'57"E (EAST 330.00') 335.34'

30' RIGHT OF WAY DEDICATED TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE BY THIS PLAT



8839  
LOT 1  
0.2395 AC.  
5' PRIVATE DRAINAGE EASEMENT  
10' P.U.E. (TYP.)  
S89°39'57"E 141.14'

8835  
LOT 2  
0.2678 AC.  
LOT 3

8831  
LOT 3  
0.2781 AC.  
EXIST. C.M.U. WALL  
10' P.U.E.

OAKLAND COURT, N.E.  
SEE NOTE  
LOT 4  
LOT 5  
0.2678 AC.

8830  
LOT 4  
0.2820 AC.  
LOT LINE VACATED BY THIS PLAT

8838  
LOT 6  
0.2769 AC.  
F.E.M.A. FLOOD PLAIN

Pico Subd. BK. 29  
LOT 11  
LOT 12  
LOT 13

LOT 5, BLK. 3, TR. 3, UNIT 3  
North Albu. Acres  
BK. D, 121  
FD. #5 REBAR/CAP "ALS 7719"  
LOT 28

S26°16'31"W 820.82'  
N89°37'46"W  
10' P.U.E. CREATED BY THIS PLAT  
LOT 10  
Pico La Cueva Pl. NE  
Subd.

LOT 29, BLK. 3  
TR. 3, UNIT 3, North  
Albu. Acres  
NOTES CONT'D.  
OWNER OF LOT 1 SHALL MAINTAIN THE 5' PRIVATE



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

May 08, 2004

CERTIFIED MAIL/RETURN RECEIPT REQUESTED

Robert Keeran  
LLAVE CONSTRUCTION, INC.  
P.O. Box 93642  
Albuquerque, NM 87199

RE: NOTICE OF FAILURE TO COMPLETE IMPROVEMENTS, DEFAULT AND CITY'S INTENTION  
TO CALL FINANCIAL GUARANTY - SUBDIVISION IMPROVEMENTS AGREEMENT (SIA)B  
MODIFIED NON-WORK ORDER

PROJECT: OAKLAND COURT SUBD.; PROJECT NO.: 687881

Dear Mr. Keeran:

I have been informed that LLAVE CONSTRUCTION, INC. (the "Subdivider") failed to meet the MAY 08, 2004 "Construction Deadline" and failed to obtain timely extension from the Development Review Board ("D.R.B.") before the Construction Deadline. The City previously sent notice to the Subdivider, informing the Subdivider that the Construction Deadline was approaching and the City would call the financial guaranty if, by the Construction Deadline, the construction had not been completed or the Subdivider had not requested and received an extension from the D.R.B. and submitted an extension agreement and related financial guaranty to the Design/Construction Division. The Construction Deadline has passed and the requirements were not met.

THIS LETTER PROVIDES THE REQUIRED NOTICE TO SUBDIVIDER AND THE SURETY NAMED BELOW THAT THE SUBDIVIDER'S AGREEMENT WITH THE CITY IS IN DEFAULT, AND THE CITY HOLDS THE SUBDIVIDER AND THE SURETY JOINTLY AND SEVERALLY LIABLE. THIRTY DAYS AFTER MAILING THIS LETTER THE CITY WILL BE CALLING ON THE FINANCIAL GUARANTY PROVIDED BY THE SURETY, AND THE CITY WILL DEMAND THAT THE SURETY PAY THE CITY 125% OF THE COST OF COMPLETING THE IMPROVEMENTS.

If you have any questions regarding this matter, please contact the Project Administrator Marilyn Maldonado at 924-3997, Design Review Section, Development and Building Services.

Very truly yours,

Kevin J. Curran  
Assistant City Attorney

cc: Bank First, P.O. Box 31670, Albuq., NM 87190-1670

File

THIS LETTER IS SENT TO CONFORM TO THE REQUIREMENTS OF THE SUBDIVISION  
ORDINANCE.

KJC/kj #4

ORIGINAL

**INFRASTRUCTURE LIST**

Date Site Plan Approved: N/A  
 Date Preliminary Plat Approved: 5/08/06  
 Date Preliminary Plat Expires: 5/08/10  
 DRB Project No.: 02 DRB-  
 DRB Application No.: #100186

**EXHIBIT "A"**  
**TO SUBDIVISION IMPROVEMENTS AGREEMENT**  
**DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

OAKLAND COURT SUBDIVISION, LOTS 1 THRU 6  
 PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LOT 3 & 4, BLK. 3, TR. 3, Unit 3, North Albur. Acres  
 EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantees. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		24' x 110'	Permanent COA Residential 1/2 Section w/ st'd Curb/Gutter, 4' sdwk. South Side	OAKLAND AVE	WEST R 300' E of BERSTAD	EAST R 210' East			
		20' x 155'	COA Residential Street w/ mount. C&G, 4' sdwk. Ea. Side	OAKLAND COURT	OAKLAND AVE.	To Cul-de-Sac 150' South			
		8" x 110'	Water line	OAKLAND AVE.	EXIST. 8"	E. R. 210' East			
		6" x 110'	Water line	OAKLAND CT.	OAKLAND AVE.	160' South			
		8" x 120'	Sanitary Sewer line	OAKLAND AVE.	EXIST. 8"	E R 206' East			
		8" x 115'	San. Sewer Line incldg. 6 services	OAKLAND COURT	OAKLAND AVE.	145' South			
		1 ea.	Fire Hydrant	OAKLAND COURT	@ End of Cul-de-Sac.				
			LCMR - F To Remove F. Plain on LOT 6 Prior To Release of Financial Guarantee						
		3'	Conc. Channel (private)						

COA DRC Project #	
Sequence #	

Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Engineer
					/	/	/
					/	/	/
					/	/	/
					/	/	/

Mary Herrera Bern. Co. AGRE R 21.00 BK-A38 Pg-7419



2002087663  
5894893  
Page: 7 of 7  
07/18/2002 03:50P

- NOTES
1. Grading & Drainage Certification for all Private Improvements is required for Release of the SIA & Financial Guarantee.
  2. Water Improvements include all valves, fittings, associated appurtenances, AND Services to ALL LOTS.
  3. Residential Street Lights per DFM
  4. \* (APPROX 124 LF) DEFERRED FROM PT SE CURB RETURN OF OAKLAND CT/OAKLAND AVE INTERSECTION TO EAST

AGENT / OWNER \_\_\_\_\_ DEVELOPMENT REVIEW BOARD MEMBER APPROVALS \_\_\_\_\_

Philip W. Clark  
NAME (print) \_\_\_\_\_  
Signature: *Philip W. Clark* 5/8/02  
FIRM: Clark Consulting Engineers

Signature: *Philip W. Clark* 5/8/02  
SIGNATURE - date

Signature: *James Cunningham* 5/8/02  
DRB CHAIR - date  
FIRM: Parks & General Services - Recreation

Signature: *James Cunningham* 5/8/02  
TRANSPORTATION DEVELOPMENT - date

Signature: *James Cunningham* 5/8/02  
UTILITY DEVELOPMENT - date

Signature: *Bruce L. Blythe* 5/8/02  
CITY ENGINEER - date

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: 5-08-07

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRB CHAIR	USER DEPARTMENT	AGENT / OWNER
1	6/06/02	<i>James Cunningham</i>	<i>James Cunningham</i>	<i>Philip W. Clark</i>

# DEVELOPER INQUIRY SHEET

(To be completed prior to application submittal)

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second St. NW, Fax – 924-3913 – will need the following information **BEFORE** neighborhood association information will be released to the applicant / developer on any project being presented to the Planning Department. If you have any questions, please feel free to contact our office at 924-3914. Your request is for the following: Cell Tower [ ] Private Development  City Project [ ] -OR- Other [ ] SIA Extension

(specify)

CONTACT NAME: Bob Keenan  
COMPANY NAME: LAVE CONSTRUCTION, INC  
ADDRESS: PO BOX 93642 ALB NM  
ZIP CODE: 87199  
PHONE: (505) 856-4076 CELL: (505) 249-1502  
~~858-1702~~  
FAX: (505) 858-1702

## NEIGHBORHOOD ASSOCIATION INFORMATION

PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD ASSOCIATIONS IN THE AREA OF THE PROPERTY DESCRIBED AS OAKLAND CT

Subdivision

(LEGAL DESCRIPTION)

LOCATED ON OAKLAND  
(STREET NAME OR OTHER IDENTIFYING LANDMARK)

BETWEEN BANSTAN AND  
(STREET NAME OR OTHER IDENTIFYING LANDMARK)

VENTURA

(STREET NAME OR OTHER IDENTIFYING LANDMARK)

THE SITE IS LOCATED ON THE FOLLOWING ZONE ATLAS PAGE(S) (C-20).

**PLEASE HATCH OUT ZONE MAP WHERE PROPERTY IS LOCATED**  
(ZONE MAP **MUST** BE PROVIDED WITH REQUEST)



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: May 14, 2004<sup>ce</sup>

TO CONTACT NAME: Bob Keeran  
COMPANY/AGENCY: Glau Construction, Inc.  
ADDRESS/ZIP: PO Box 93642 87199  
PHONE/FAX #: 856-4076 / 858-1702

Thank you for your inquiry of 5-14-04 (date) requesting the names of **Recognized**

**Neighborhood Associations** who would be affected under the provisions of O-92 by your proposed project at Oakland Ct. Subdivision

zone map page(s) C-00

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

North Albuquerque Area  
Neighborhood Association  
Contacts: Bonnie Harley  
11021 Signal Ave NE 87122  
856-0051 (H) 856-1288 (W)  
Jackie McDonald  
7820 Beverly Hills Ave. NE  
828-2430 (H) 87122

\_\_\_\_\_  
Neighborhood Association  
Contacts: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

See reverse side for additional Neighborhood Association Information: YES { } NO {  }

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,  
Delaina G. Carmona  
OFFICE OF NEIGHBORHOOD COORDINATION

.....  
Attention: Both contacts per neighborhood association need to be notified.  
.....

Addition Neighborhood Association Information

\_\_\_\_\_  
Neighborhood Association

Contacts: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Neighborhood Association

Contacts: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Neighborhood Association

Contacts: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
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\_\_\_\_\_  
Neighborhood Association

Contacts: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

As a common courtesy you may notify the surrounding Unrecognized NA(s) for your project.

\_\_\_\_\_  
Neighborhood Association

Contacts: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
Neighborhood Association

Contacts: \_\_\_\_\_

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\_\_\_\_\_  
Neighborhood Association

Contacts: \_\_\_\_\_

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\_\_\_\_\_  
Neighborhood Association

Contacts: \_\_\_\_\_

\_\_\_\_\_  
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\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



# NOTICE TO APPLICANTS

## SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

### WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
  - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
  - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
  - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
5. The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

\*\*\*\*\*

(below this line for OCNC use only)

Date of Inquiry: 5-14-04 Time Entered: 10:30 am ONC Rep. Initials: OC

**LLAVE CONSTRUCTION, INC.  
P.O. BOX 93642  
ALBUQUERQUE, NM 87199  
OFFICE: (505) 856-4076  
FAX: (505) 858-1702  
MOBILE: (505) 249-1502**

May 14, 2004

Bonnie Harley 856-1136  
NORTH ALBUQUERQUE ACRES COMMUNITY ASSOCIATION  
11021 Signal Ave. NE  
Albuquerque, NM 87122

Jackie McDowell 828-2430  
NORTH ALBUQUERQUE ACRES COMMUNITY ASSOCIATION  
7820 Beverly Hills Ave. NE  
Albuquerque, NM 87122

Subject: Oakland Court Subdivision, SIA extension request

Ladies and Gentlemen:

Llave Construction, Inc., developed the property into a six lot subdivision known as Oakland Court. This letter is to notify your neighborhood association that Llave is requesting a 2 year extension of the Modified "B" portion of the SIA (grading, subgrade prep, paving, sidewalk, curb and gutter need to be completed) and is to be heard on June 9, 2004. The improvements have to wait on the proposed La Cueva Channel. The purpose of this letter is to give you the required formal notification. If you have any questions, please don't hesitate to call me at 249-1502.

Sincerely,  
Llave Construction, Inc.

  
Bob Keeran, President

CONSTRUCTION, INC.  
PO BOX 93642  
ALBUQUERQUE NM 87199-3642

Bonnie Harley  
NAA Community Assoc  
11021 Signal Ave NE  
Albuquerque NM 87122

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY	
<ul style="list-style-type: none"><li>Complete Items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.</li><li>Print your name and address on the reverse so that we can return the card to you.</li><li>Attach this card to the back of the mailpiece, or on the front if space permits.</li></ul>	A. Signature <input type="checkbox"/> Agent <b>X</b> <input checked="" type="checkbox"/> Addressee	
1. Article Addressed to: Bonnie Harley NAA Community Assoc. 11021 Signal Ave NE Albuquerque NM 87122	B. Received by ( <i>Printed Name</i> )	C. Date of Delivery
2. Article Number ( <i>Transfer from service label</i> )	D. Is delivery address different from item 1? <input type="checkbox"/> Yes If YES, enter delivery address below: <input type="checkbox"/> No	
PS Form 3811, August 2001	3. Service Type <input type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail <input type="checkbox"/> Registered <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.	
Domestic Return Receipt	4. Restricted Delivery? ( <i>Extra Fee</i> ) <input type="checkbox"/> Yes	

LLAVE CONSTRUCTION, INC.  
PO BOX 93642  
ALBUQUERQUE, NM 87199-3642

Jackie McDowell  
NAA Community Assoc  
7820 Beverly Hills Ave NE  
Albuquerque NM 87122

**SENDER: COMPLETE THIS SECTION**

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Jackie McDowell  
NAA Community Assoc.  
7820 Beverly Hills Ave  
Albuquerque NM  
87122

2. Article Number  
(Transfer from service label)

**COMPLETE THIS SECTION ON DELIVERY**

A. Signature

X

- Agent  
 Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1?  Yes  
If YES, enter delivery address below:  No

3. Service Type

- Certified Mail     Express Mail  
 Registered         Return Receipt for Merchandise  
 Insured Mail        C.O.D.

4. Restricted Delivery? (Extra Fee)

Yes

CLARK CONSULTING ENGINEERS  
505) 281-2444

**OAKLAND COURT SUBDIVISION**  
**For Modified 'B' - SIA, Deferred Infrastructure**  
**LLAVE CONSTRUCTION, INC.**

PROJECT NO. 6878.81  
SHEET: 2B of 5

3-5-02

Item No.	Short Description	Estimated Unit Price	Estimated Quantity	Estimated Amt.	As-Built Quantity	As-Built Amt.
301.01	GRADING <2'	1.62	450 SY	729		
301.02	SUBGRADE PREP, 12"	1.47	413 SY	607		
336.022	RES ASP CONC, TYPE B, 1.5", M	3.36	770 SY	2587		
340.010	SDWK, 4", PCC	21.08	55 SY	1159		
340.050	C&G, STD PCC	11.48	124 LF	1424		
701.01	TRCH, BF, 4-15" SAS	10.45	124 LF	1296		
801.003	8" WL PIPE	14.56	124 LF	1805		
901.03	8" SAS PIPE	6.09	124 LF	755		
<b>SUBTOTAL COST OF CONSTRUCTION</b>				<b>\$ 10362</b>		
<b>CONTIGENCIES 10%</b>				<b>1036</b>		
<b>NM GROSS RECEIPT TAX 5.8125%</b>				<b>663</b>		
<b>DESIGN REVIEW FEE 6.6%</b>				<b>796</b>		
<b>TESTING FEE 2%</b>				<b>241</b>		
<b>TOTAL CONSTRUCTION COST, ESTIMATED</b>				<b>\$ 13,098</b>		
<b>TOTAL FINANCIAL GUARANTEE, 125%</b>				<b>\$ 16,373</b>		

**Oakland Ct. Subdivision  
 For Modified "B" - SIA Deferred Infrastructure  
 Llave Construction, Inc.  
 4-May-04**

**Project No. 6878.81  
 Sheet**

<b>Item No.</b>	<b>Short Description</b>	<b>Estimated Unit Price</b>	<b>Estimated Quantity</b>		<b>Estimated Amount</b>
301.010	Grading < 2'	1.62	450.00	SY	\$729
301.020	Subgrade prep, 12"	1.47	413.00	SY	\$607
336.022	Paving 1&1/2 in Res. "B"	3.36	770.00	SY	\$2,587
340.010	Sidewalk, 4" PCC	21.08	56.00	SY	\$1,180
340.050	C&G, st'd PCC	11.48	124.00	LF	\$1,424
					<b>\$6,527</b>
	Subtotal cost of Construction				<b>\$653</b>
	Contingencies @ 10%				<b>\$372</b>
	NM Gross Receipt Tax @ 5.8125%				<b>\$68</b>
	Design Review Fee @ 6.6%				<b>\$9</b>
	Testing Fee @ 2%				<b>\$7,629</b>
	<b>Total Constuction Cost, Estimated</b>				<b>\$9,536</b>
	<b>Total Financial Guarantee, 125%</b>				

7002 0860 0003 3155 1746

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

**OFFICIAL USE**  
ALBUQUERQUE, NM 87122



Postage	\$ 0.60
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
<b>Total Postage &amp; Fees</b>	<b>\$ 4.65</b>

UNIT ID: 0109  
Postmark Here  
Clerk: KSM4TV  
05/14/04

Sent To: *Bonnie Harley*

Street, Apt. No., or PO Box No.: *11021 Signal Ave NE*

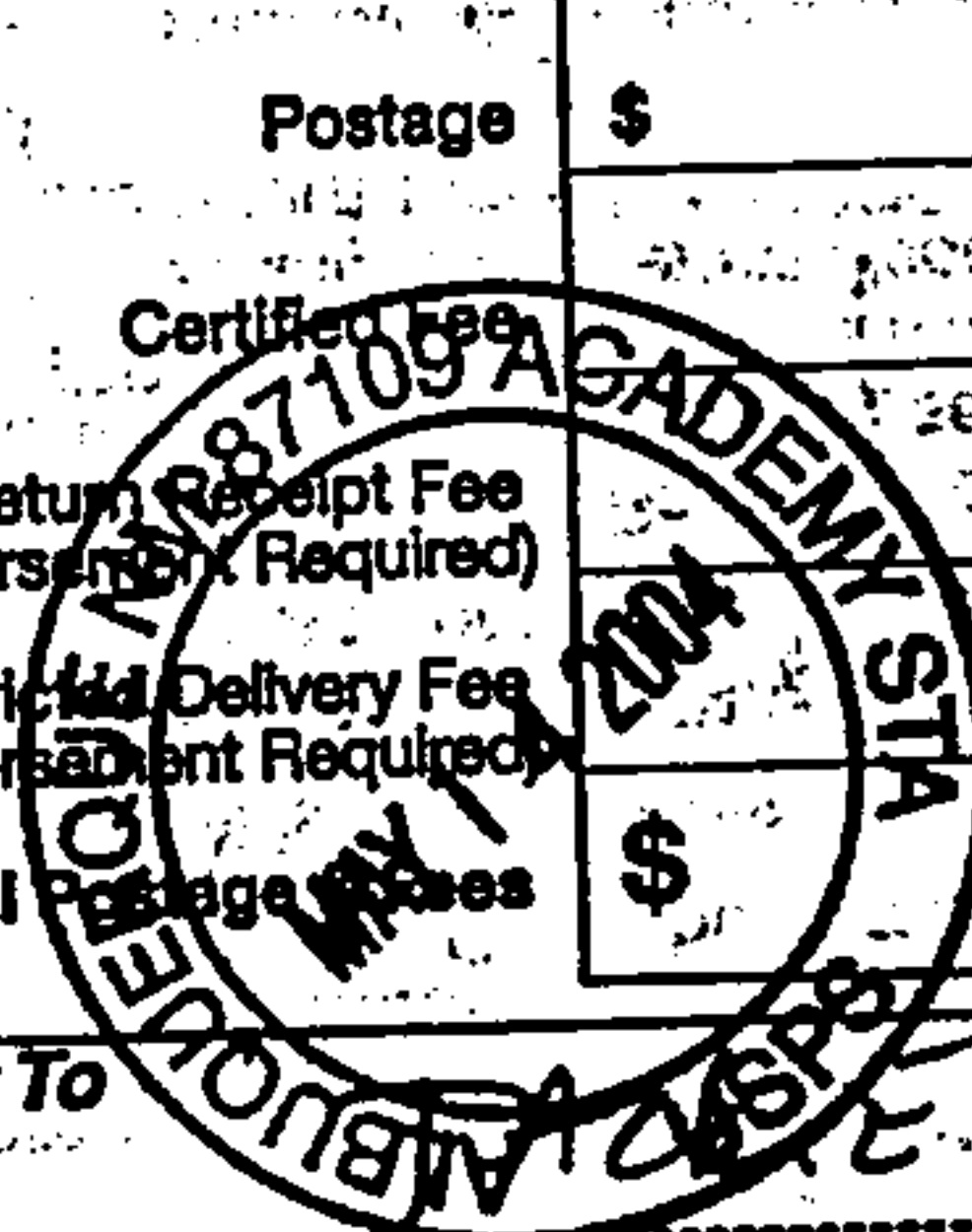
City, State, ZIP+4: *Albuquerque NM 87122*

PS Form 3800, April 2002 See Reverse for Instructions

7002 0860 0003 3155 1753

U.S. Postal Service  
**CERTIFIED MAIL RECEIPT**  
(Domestic Mail Only; No Insurance Coverage Provided)

**OFFICIAL USE**  
ALBUQUERQUE, NM 87122



Postage	\$ 0.60
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
<b>Total Postage &amp; Fees</b>	<b>\$ 4.65</b>

UNIT ID: 0109  
Postmark Here  
Clerk: KSM4TV  
05/14/04

Sent To: *McDowell*

Street, Apt. No., or PO Box No.: *7820 Beverly Hills NE*

City, State, ZIP+4: *Albuquerque NM 87122*

PS Form 3800, April 2002 See Reverse for Instructions

**ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services**

**PAID RECEIPT**

APPLICANT NAME CLAVE Construction  
 AGENT BOB KEERAN  
 ADDRESS POB. 936 42 Alby. 87122  
 PROJECT & APP # 1001862/04 DRB 00757  
 PROJECT NAME Oakland Court Subd

\$ 20.00 469099/4916000 Conflict Management Fee  
 \$ 50.00 441006/4983000 DRB Actions  
 \$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals  
 \$ 75.00 441018/4971000 Public Notification  
 \$ \_\_\_\_\_ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
     ( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
     ( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
     ( ) Traffic Impact Study  
 \$ 145.00 TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City Of Albuquerque  
Treasury Division

05/14/2004 12:35PM LOC: ANN  
 X  
 RECEIPT# 00022694 WSH 006 TRANSH 0021  
 Account 441006 Fund 0110  
 Activity 4983000 TRSEJA  
 Trans Amt \$145.00  
 J24 Misc \$50.00

Thank You

City Of Albuquerque  
Treasury Division

05/14/2004 12:35PM LOC: ANN  
 X  
 RECEIPT# 00022693 WSH 006 TRANSH 0021  
 Account 469099 Fund 0110  
 Activity 4916000 TRSEJA  
 Trans Amt \$145.00  
 J24 Misc \$20.00

Thank You

05/14/2004 12:35PM LOC: ANN  
 X  
 RECEIPT# 00022695 WSH 006 TRANSH 0021  
 Account 441018 Fund 0110  
 Activity 4971000 TRSEJA  
 Trans Amt \$145.00  
 J24 Misc \$75.00  
 CK \$145.00  
 CHANGE \$0.00

City Of Albuquerque  
Treasury Division

Counterreceipt.doc 12/29/03

Thank You



# SIGN POSTING AGREEMENT

## REQUIREMENTS

### POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.50 each.

#### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

#### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

#### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

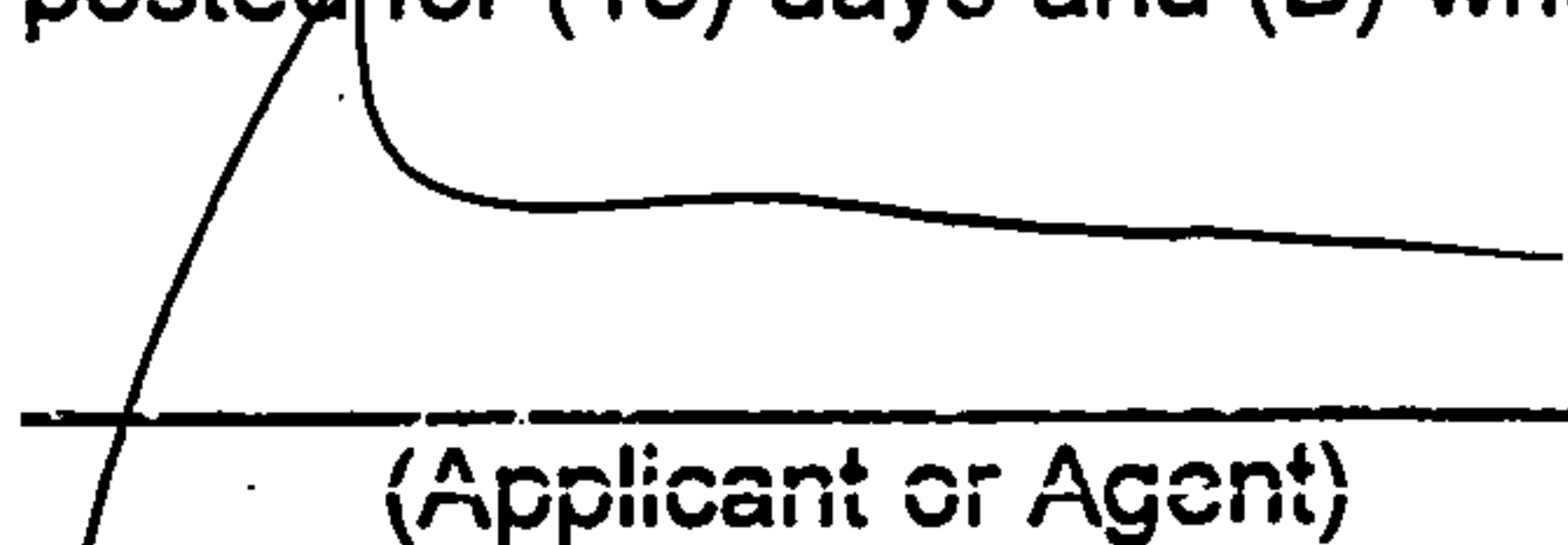
#### 4. TIME

Signs must be posted from 5-25-04 To 6-9-04


#### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

  
 \_\_\_\_\_  
 (Applicant or Agent)

5/14/04  
 \_\_\_\_\_  
 (Date)

I issued 1 signs for this application, 5-14-04,   
 \_\_\_\_\_  
 (Date) (Staff Member)

DRB PROJECT NUMBER: 1001862