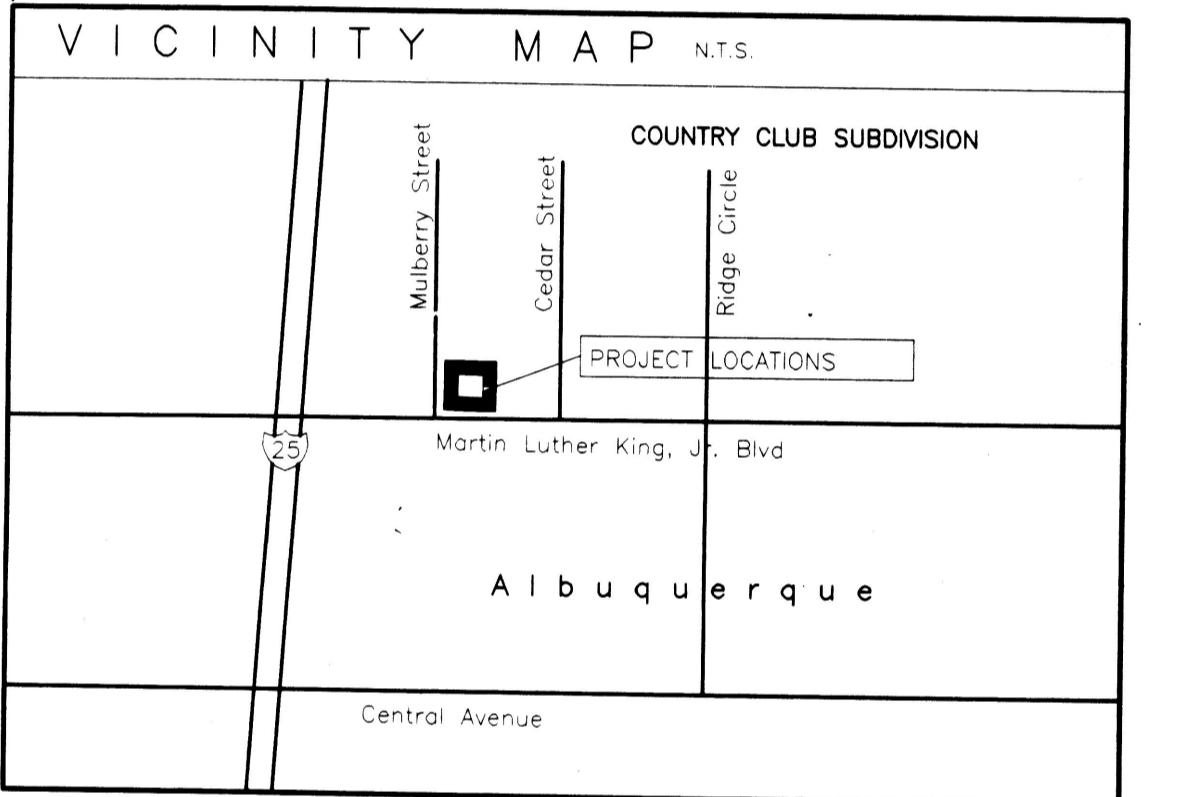


BUILDING DATA	
LOCATION:	LOT F-1 ALBUQUERQUE, NEW MEXICO
ZONING:	SU-2 MD-1
ZONING ATLAS PAGE:	
SUBDIVISION SETBACKS:	10'-0" SIDE SETBACK 10'-0" FRONT SETBACK 15'-0" REAR SETBACK
HEIGHT:	26'-0"
OCCUPANCY:	RESIDENTIAL
U.B.C.:	R-3 (SINGLE FAMILY RESIDENTIAL)
CONSTRUCTION:	TYPE V ONE

PARKING DATA	
13 UNITS	1.5 PARKING SPACES PER UNIT REQUIRED = 19.5 OR 20 SPACES W/ 1.4% HANDICAPPED SPACE
	2.4 PARKING SPACES PROVIDED
13 UNITS	.5 BICYCLE PER UNIT = 6.5 OR 7 BICYCLES

LOT F-1	
AREA:	5261 ACRES 22,916 SQ. FT.
ZONE:	SU-2 MD-1

SQUARE FOOTAGES	
13 residences	
<b>UNIT A - 2 UNITS</b>	
FIRST FLOOR PLAN	482 SQ. FT.
SECOND FLOOR PLAN	482 SQ. FT.
TOTAL HEATED	964 SQ. FT.
<b>UNIT B - 2 UNITS</b>	
FIRST FLOOR PLAN	458 SQ. FT.
SECOND FLOOR PLAN	458 SQ. FT.
TOTAL HEATED	916 SQ. FT.
<b>UNIT C - 4 UNITS</b>	
FIRST FLOOR PLAN	491 SQ. FT.
SECOND FLOOR PLAN	491 SQ. FT.
TOTAL HEATED	982 SQ. FT.
<b>UNIT D - 2 UNITS</b>	
FIRST FLOOR PLAN	400 SQ. FT.
SECOND FLOOR PLAN	400 SQ. FT.
TOTAL HEATED	800 SQ. FT.
<b>UNIT E - 3 UNITS</b>	
FIRST FLOOR PLAN	710 SQ. FT.
SECOND FLOOR PLAN	710 SQ. FT.
TOTAL HEATED	1420 SQ. FT.
<b>PROJECT TOTALS - 13 UNITS</b>	
FIRST FLOOR PLAN	4664 SQ. FT.
SECOND FLOOR PLAN	4664 SQ. FT.
TOTAL HEATED	9328 SQ. FT.
TOTAL GARAGE	2,000 SQ. FT.



SHEET INDEX	
A.1	SITE PLAN / BUILDING & SITE DATA
C.102+103	CIVIL - GRADING
L.1	LANDSCAPE PLAN
A.3	FIRST FLOOR PLAN
A.4	SECOND FLOOR PLAN
A.5	EXTERIOR ELEVATIONS
P.L.O.I.A. (SITE UTILITIES)	

PROJECT NUMBER: 1001864  
 APPLICATION NUMBER: 03DRB-01229  
 This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_ and the Findings and Conditions in the Official Notification of Decision are satisfied.  
 DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

*Will Sun*  
 Traffic Engineering, Transportation Division  
 Date: 10/21/03

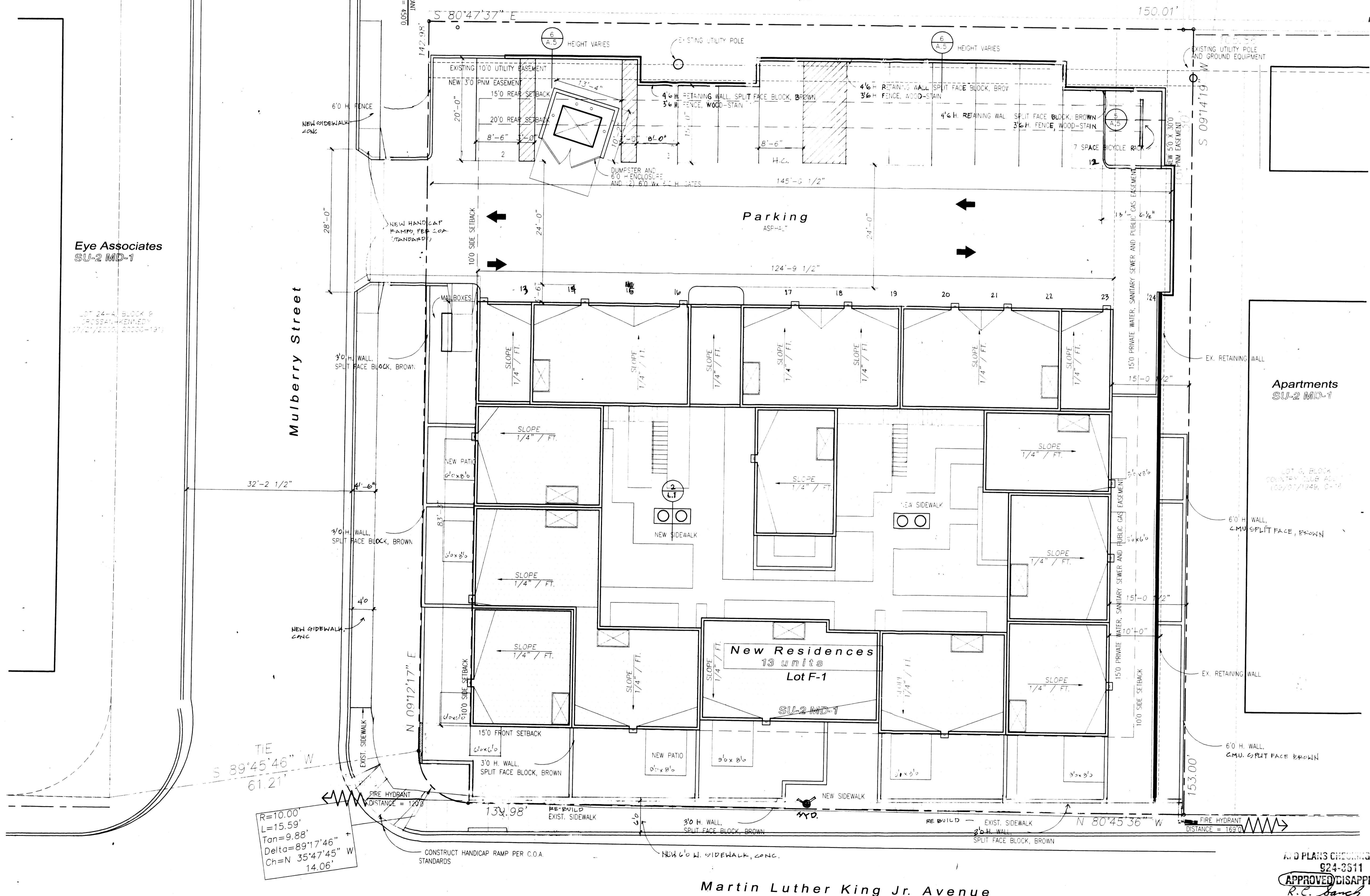
*Roger A. Green*  
 Utilities Department  
 Date: 10/29/03

*Christina Sandoval*  
 Parks and Recreation Department  
 Date: 11/14/04

*David L. Byham*  
 City Engineer  
 Date: 10/29/03

*NA*  
 Environmental Health Department (conditional)  
 Date: \_\_\_\_\_

*Sharon Watson*  
 DRB Chairperson, Planning Department  
 Date: 12/4/03



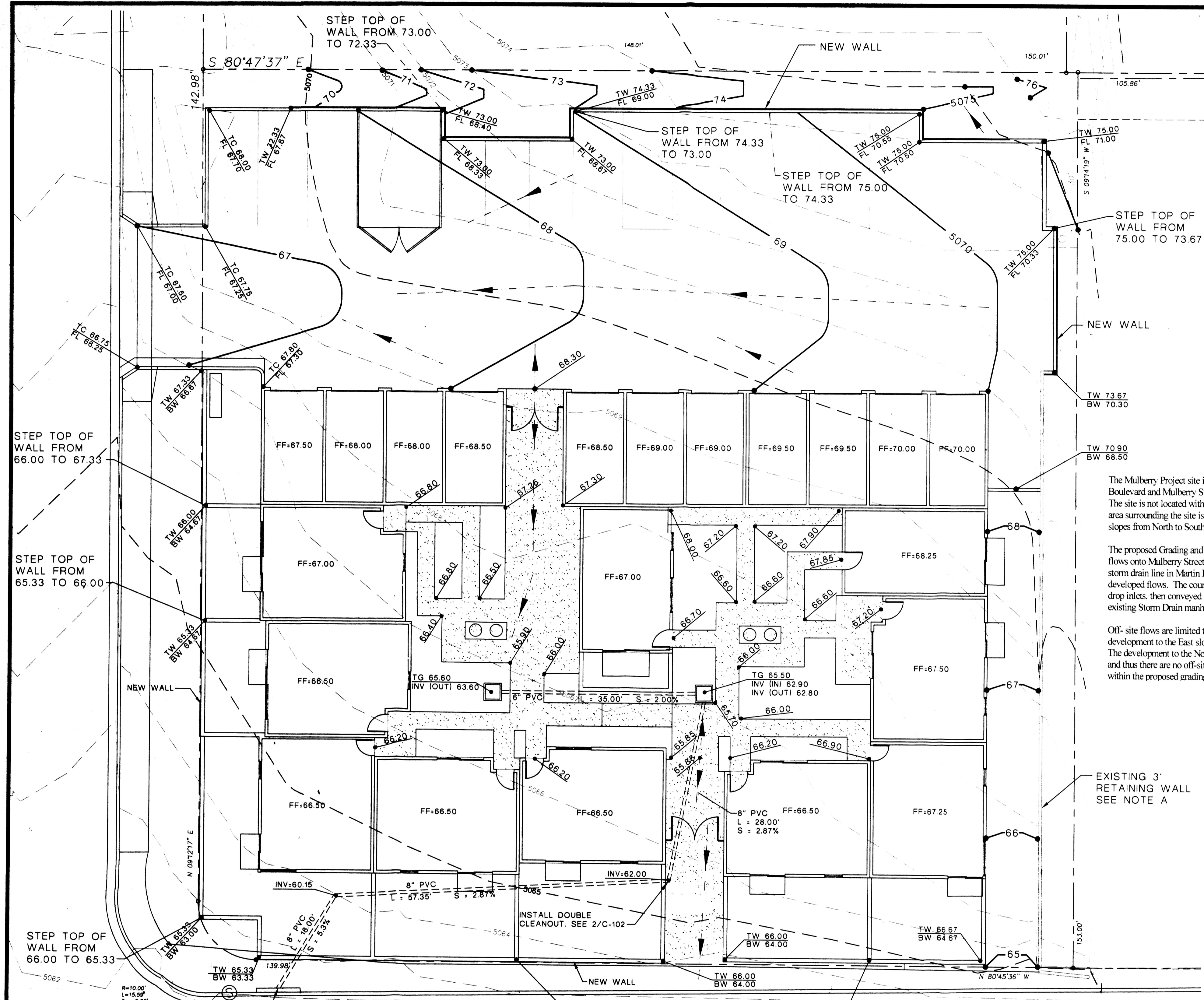
1 SITE PLAN  
 A2 SCALE: 1" = 10' 0"

date: 7.17.03  
 no. 1012.03  
 issue 1012.03  
 file name: mul

Mulberry Street Residences  
 SGC Properties LLC  
 420 Mulberry Street  
 Albuquerque, New Mexico

Juniper Design  
 505.982.7878 Phone/Fax  
 Juniper@cybermesa.com

sheet: a.1  
 site



**GRADING PLAN**  
 SCALE: 1" = 10'  
 NORTH

**Legend**

---5073---	EXISTING CONTOUR
—69—	PROPOSED CONTOUR
FF=67.50	FINISH FLOOR ELEVATION
TC	TOP OF CURB
FL	FLOWLINE
TW	TOP OF WALL
BW	BOTTOM OF WALL
---	NEW SIDEWALK

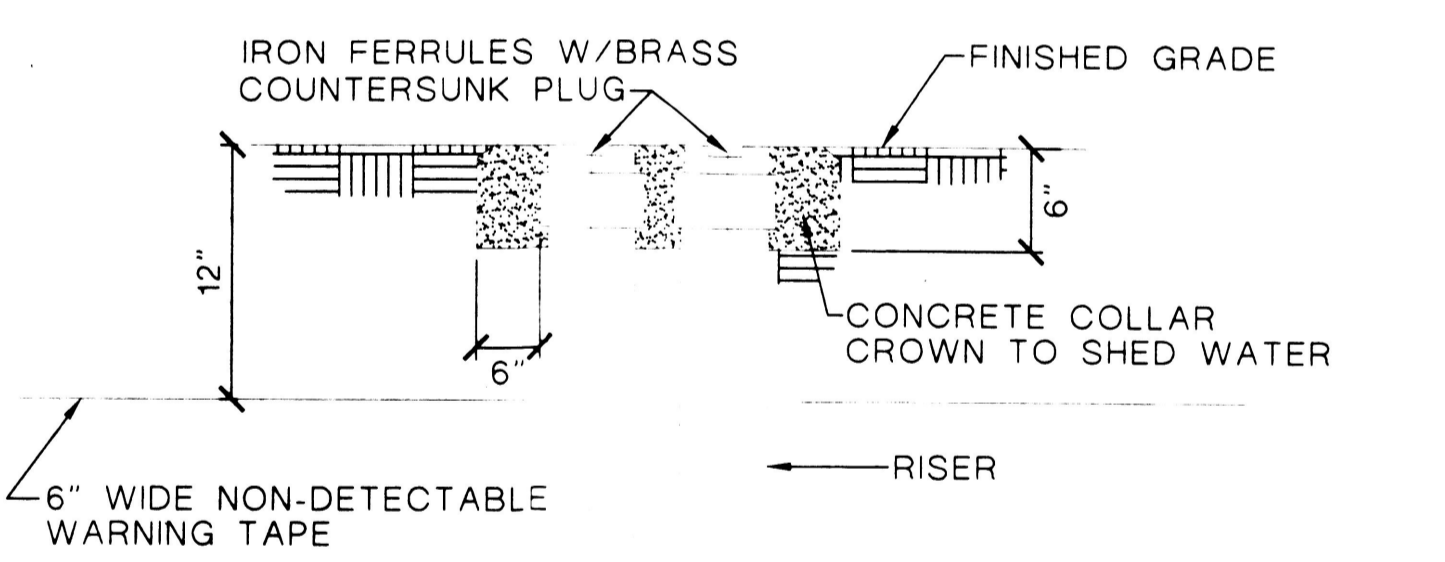
**NOTICE TO CONTRACTOR**

**SO-19 FORM** THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

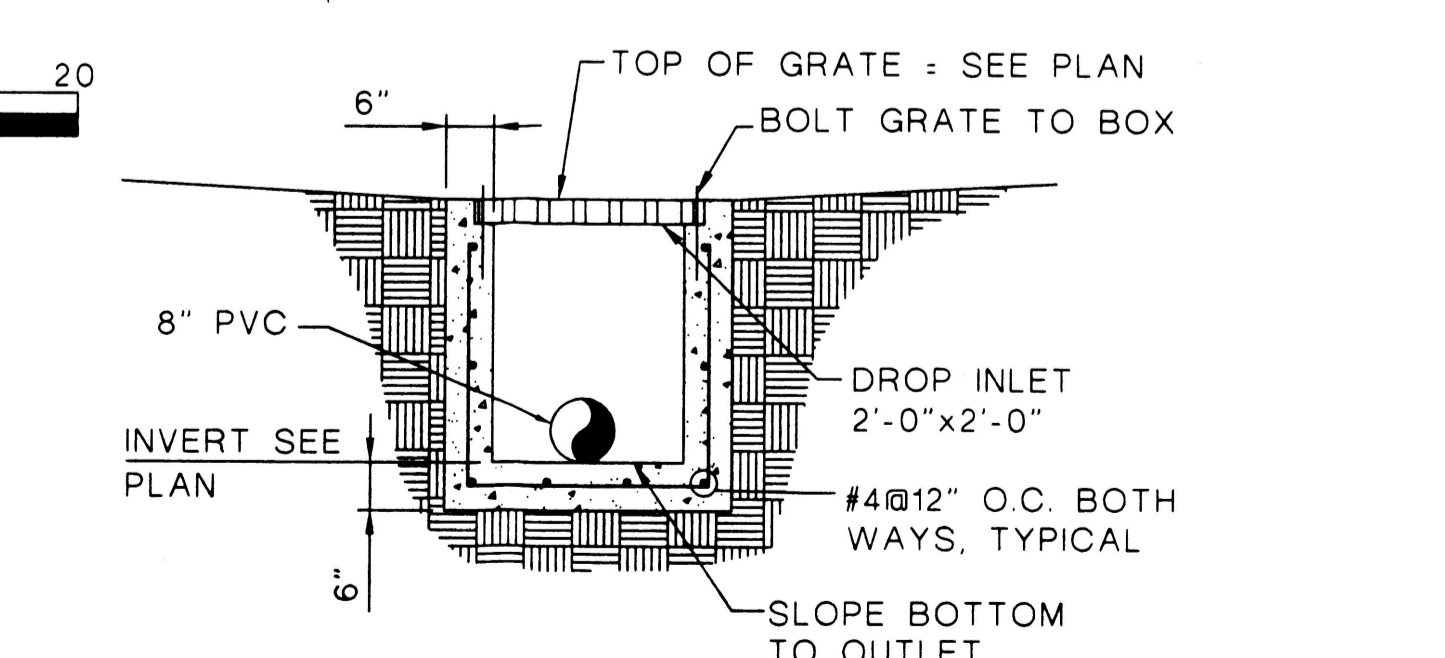
- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED WITHIN THE CITY RIGHT-OF-WAY SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH C.O.A. STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER SERVED.

ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.  
 BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.  
 TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.  
 SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.  
 IF CURB IS DEPRESSED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.  
 ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED, INSPECTED AND APPROVED PRIOR TO FINAL ACCEPTANCE.

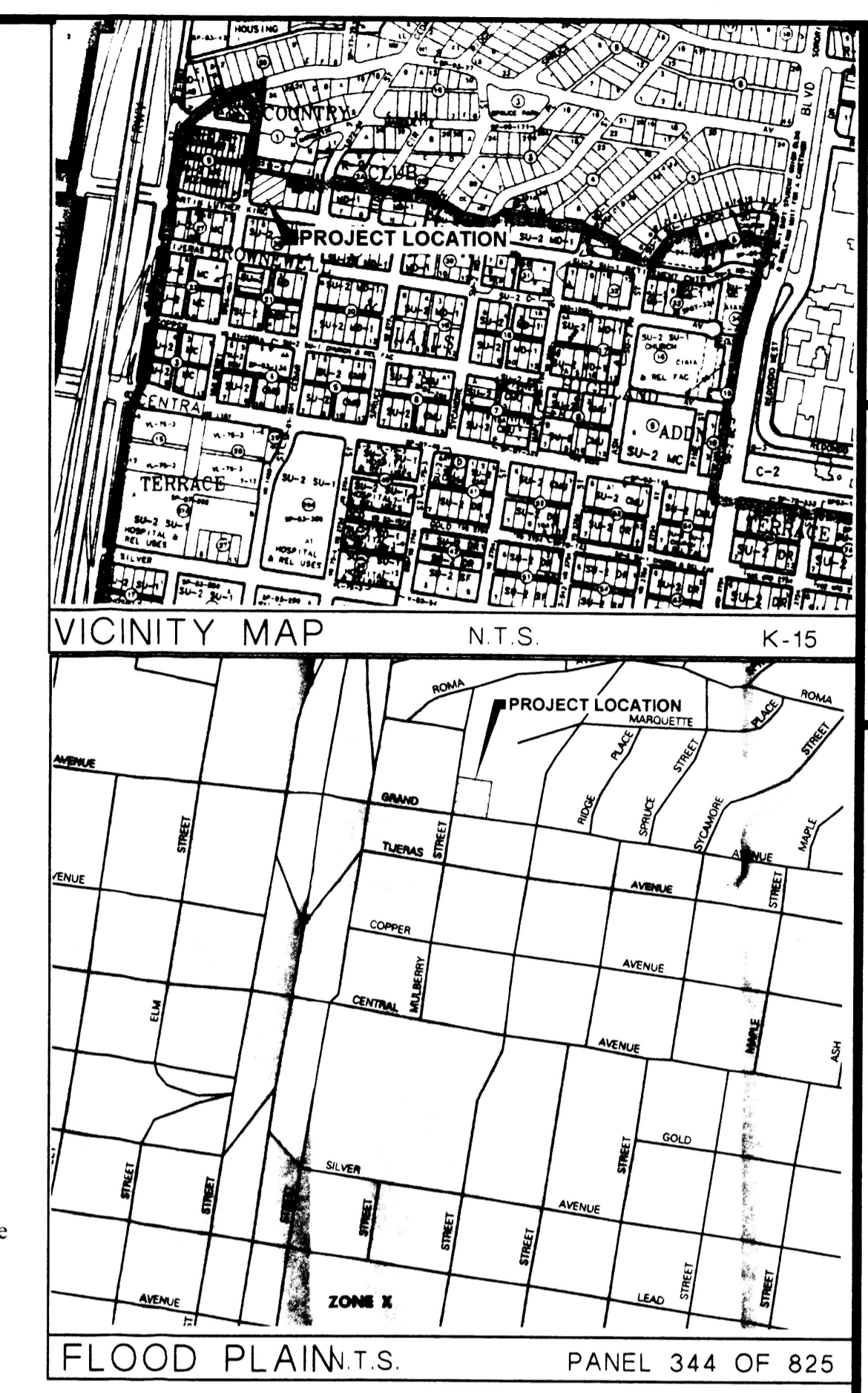
APPROVALS	ENGINEERS	DATE
A.C.E./DESIGN		
INSPECTOR		
A.C.E./FIELD		



**DOUBLE CLEANOUT DETAIL**  
 NO SCALE  
 2  
 C-102



**DROP INLET DETAIL**  
 SCALE: 1/2" = 1'-0"  
 1  
 C-102



**General Notes**

A. IT IS UNDERSTOOD THAT THE EXISTING RETAINING WALL IS 3'-0" HIGH IN IT'S ENTIRE LENGTH. CONTRACTOR TO VERIFY.

The Mulberry Project site is located at the Northeast Corner of Martin Luther King Boulevard and Mulberry Street, in the City of Albuquerque, NM, County of Bernalillo. The site is not located within a 100yr designated Floodplain (see Panel 334 of 825). The area surrounding the site is developed with single-family housing. The site currently slopes from North to South and East to West.

The proposed Grading and Drainage Plan provides for free discharge of all developed flows onto Mulberry Street and Martin Luther King Boulevard. There is a 15" RCP storm drain line in Martin Luther King Boulevard that has enough capacity to accept the developed flows. The courtyard area of this development will be graded to drain into two drop inlets, then conveyed by an 8" PVC storm drain line that will connect into the existing Storm Drain manhole on Martin Luther King Boulevard.

Off-site flows are limited to the areas adjacent to the property boundaries. The development to the East slopes toward the South and thus minimal runoff enters this site. The development to the North has a 6 ft. high retaining wall along the southern boundary and thus there are no off-site flows from the North. All off-site flows can be conveyed within the proposed grading scheme included in this plan.

**ABQ ENGINEERING, INC.**  
 1631 EUBANK BLVD NE  
 ALBUQUERQUE, NM 87112  
 505-265-7602  
 \*Engineers \* Planners  
 \*Construction Services

**REGISTERED PROFESSIONAL ENGINEER**  
 M. GARCIA  
 11787  
 7/11/03

**SG PROPERTIES, LLC**  
**MULBERRY PROJECT**  
 ALBUQUERQUE, NEW MEXICO

PROJECT NUMBER: 23057  
 DATE: JULY 10, 2003  
 DESIGNED BY: M. GARCIA  
 DRAWN BY: F. PHILLIPS  
 CHECKED BY: S. KNEE  
 CAD FILE NAME: 57GRADING.DWG

REV NO | REV DATE | DESCRIPTION

SHEET TITLE: **GRADING PLAN**

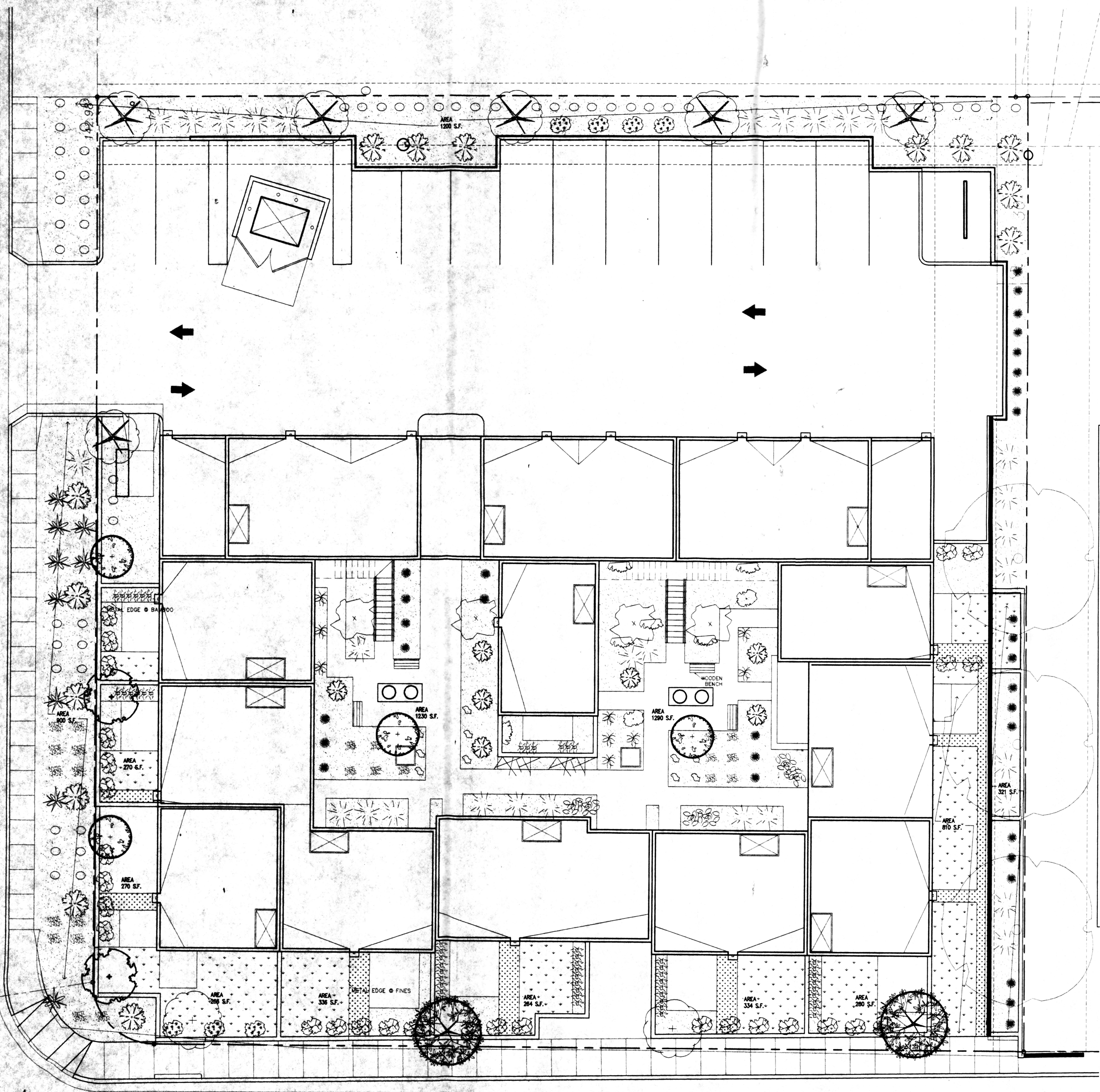
**C-102**

SHEET of



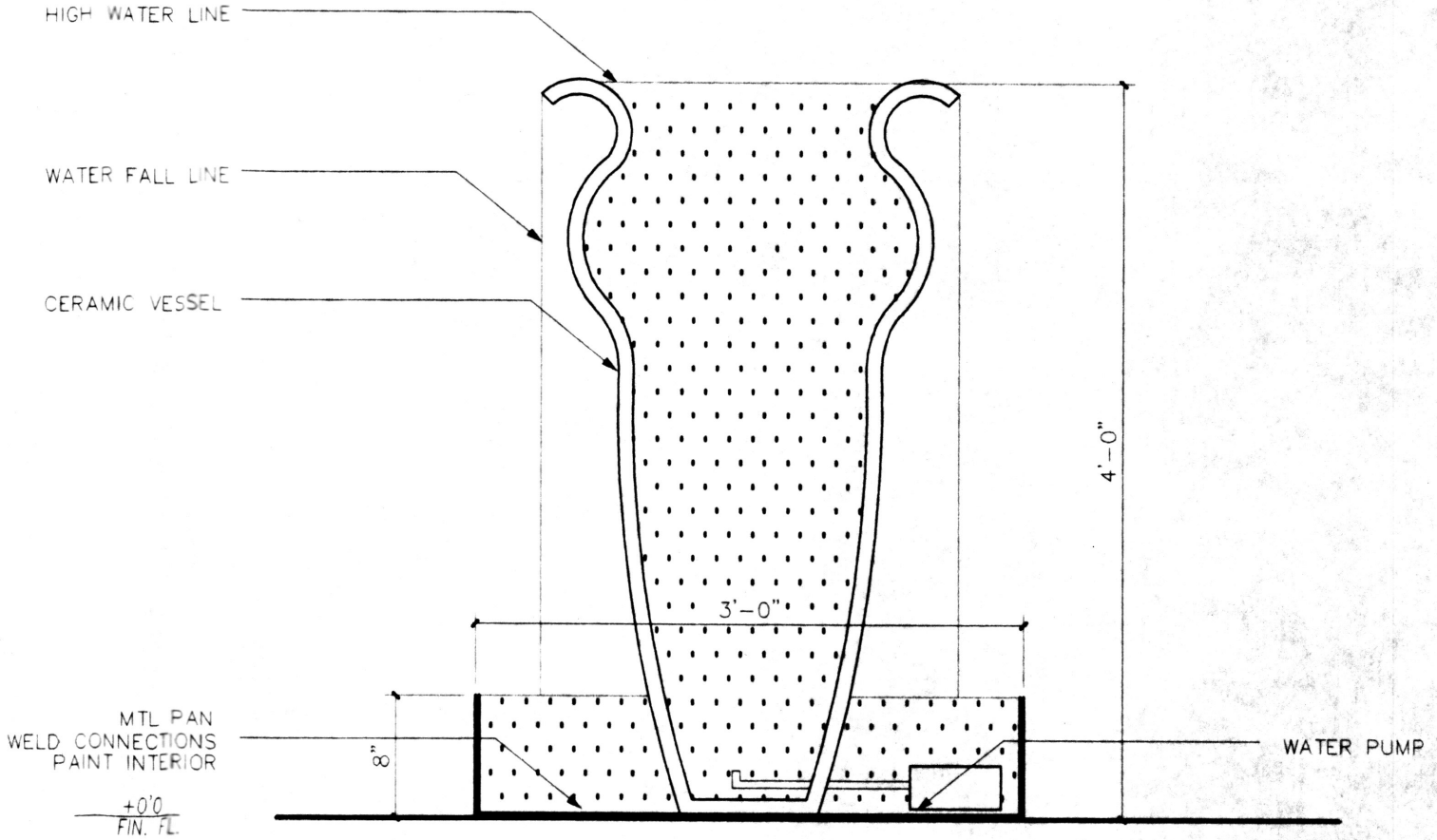
**LOT F-1**  
 AREA: .5261 ACRES 22,916 SQ. FT.  
**Landscape**  
 LANDSCAPE AREA PROVIDED: .1760 ACRES 7600 SQ. FT.  
 33% LANDSCAPE AREA

- LANDSCAPE NOTES**
1. IRRIGATION TO BE DRIP SYSTEM INSTALLED AT THE TIME OF CONSTRUCTION
  2. LANDSCAPE MAINTENANCE SHALL BE PROVIDED BY THE OWNER AND TRANSFERRED TO THE CONDOMINIUM ASSOCIATION UPON COMPLETION OF THE PROJECT.
  3. THERE WILL BE NO TURF AREA DURING CONSTRUCTION AND IT WILL NOT EXCEED 20% OF LANDSCAPED AREA.
  4. THIS PROJECT WILL COMPLY WITH THE WASTE WATER AND WATER CONSERVATION ORDINANCE.



QUANTITY	SYMBOL	TYPE	DESCRIPTION	SIZE	CONDITION
4	(Symbol)	JAPANESE MAPLE (Acer palmatum)	exotic mid-high water excellent in shade good patio tree	1 1/2"-2' CAL.	Bound & Buried
4	(Symbol)	VITEX (Vitex agnus-castus)	naturalized exotic purple flowers in summer and fall good patio tree (drought tolerant)	1 1/2"-2' CAL.	Bound & Buried
0	(Symbol)	NEW MEXICO LOCUST (Robinia neomexicana)	low to moderate water pink blossoms in spring and summer 20' tall, 15' wide	1 1/2"-2' CAL.	Bound & Buried
6	(Symbol)	FLOWERING CRAB APPLE (Malus)	moderate water white to bright red flowers in spring good specimen tree 15'-20' tall, equally wide	2 1/2"-3' CAL.	Bound & Buried
2	(Symbol)	HONEY LOCUST (Gleditsia triacanthos inermis)	moderate water native species 30'-50' tall, 20-40' wide brilliant yellow leaves in autumn	2 1/2"-3' CAL.	Bound & Buried
2	(Symbol)	ARIZONA WALNUT (Juglans major)	moderate water fast growing native, 30' tall	2 1/2"-3' CAL.	Bound & Buried
2	(Symbol)	CHITALPA (Ligularia major)	moderate water pink to wine colored flowers in summer 20' tall, equally wide	2 1/2"-3' CAL.	Bound & Buried
0	(Symbol)	DESERT WILLOW (Chilopsis taxovetensis)	low to moderate native species abundant flowers in summer 10'-15' tall, equally wide	5 GAL.	CONTAINER
10	(Symbol)	COLORADO BARBERY (Ribeira fendleri)	Moderate water this spp. shade tolerant red leaves and berries 4-5' tall, equally wide	5 GAL.	CONTAINER
29	(Symbol)	MAIDEN GRASS (Miscanthus sinensis)	moderate water composted soil 4-6' tall, 2-3' wide	1 GAL.	CONTAINER
21	(Symbol)	BUTTERFLY BUSH (B. davidii var. nanaensis)	'Nanho Purple' or 'Petite Plum' profuse flowers 4-5' tall, equally wide	5 GAL.	
07	(Symbol)	THREAD GRASS (Stipa tenuissima)	low to moderate water 1-2' tall, 1' wide threadlike green and gold leaves	1 GAL.	CONTAINER
9	(Symbol)	AGAVE (Agave parryi)	low water native succulent 2-4' tall, equally wide	1 GAL.	
4	(Symbol)	TRUMPET VINE (Lonicera radicans)	low water rapid grower orange trumpet shaped flowers	5 GAL.	
16	(Symbol)	GOLDEN BAMBOO	low to moderate water 1-2' tall, 1' wide threadlike green and gold leaves	3 GAL.	
10	(Symbol)	GREEK GERMANDER (Teucrium chamaedrye)	'Prostratum'	1 GAL.	
28	(Symbol)	SILVERBERRY (Elaeagnus pungens)	moderate water Evergreen, silver leaves 6'-10' tall, 4-5' wide	5 GAL.	
0	(Symbol)	HONESUCKLE (Elaeagnus pungens)	low to moderate water Evergreen, fragrant flowers 4-8' tall, 4-5' wide	5 GAL.	
5	(Symbol)	ENDUSH VIV	low to moderate water 1-2' tall, 1' wide threadlike green and gold leaves	5 GAL.	
2	(Symbol)	CURRY PLANT (Helichrysum angustifolium)	low water Evergreen, mound silver leaves 1' tall, 1' wide	1 GAL.	
11	(Symbol)	MULHY GRASS (Muhlenbergia capillaris)	low water turns red in fall 2' tall, 3' wide	1 GAL.	
3	(Symbol)	GOLD DUST PLANT (Acuba japonica)	Evergreen, shade loving exotic, high water compost soil 6"-8" tall, 4"-6" wide	5 GAL.	
1	(Symbol)	APACHE PLUME (Fallopia paradoxica)	native, low water fast growing, good hedge plant pink flowers in fall 10' tall, 5-10' wide	5 GAL.	
9	(Symbol)	SALVIA (Salvia species and cultivars)	x superba 'Rose Queen' 1-2' tall, 1' wide	5 GAL.	
	(Symbol)	BROWN CRUSHER FINES	3/4" - 1 1/2" ± (2-3" DEEP)		
	(Symbol)	SOD: LOW WATER SEED MIX			
	(Symbol)	RIVER ROCK	1"-6" BASHED ROUND ± (2-3" DEEP)		

NOTE: METAL EDGE BETWEEN CRUSHER FINES, RIVER ROCK AND BAMBOO PLANTS



**2 FOUNTAIN SECTION**  
 1.1 SCALE: 1" = 1' 0"

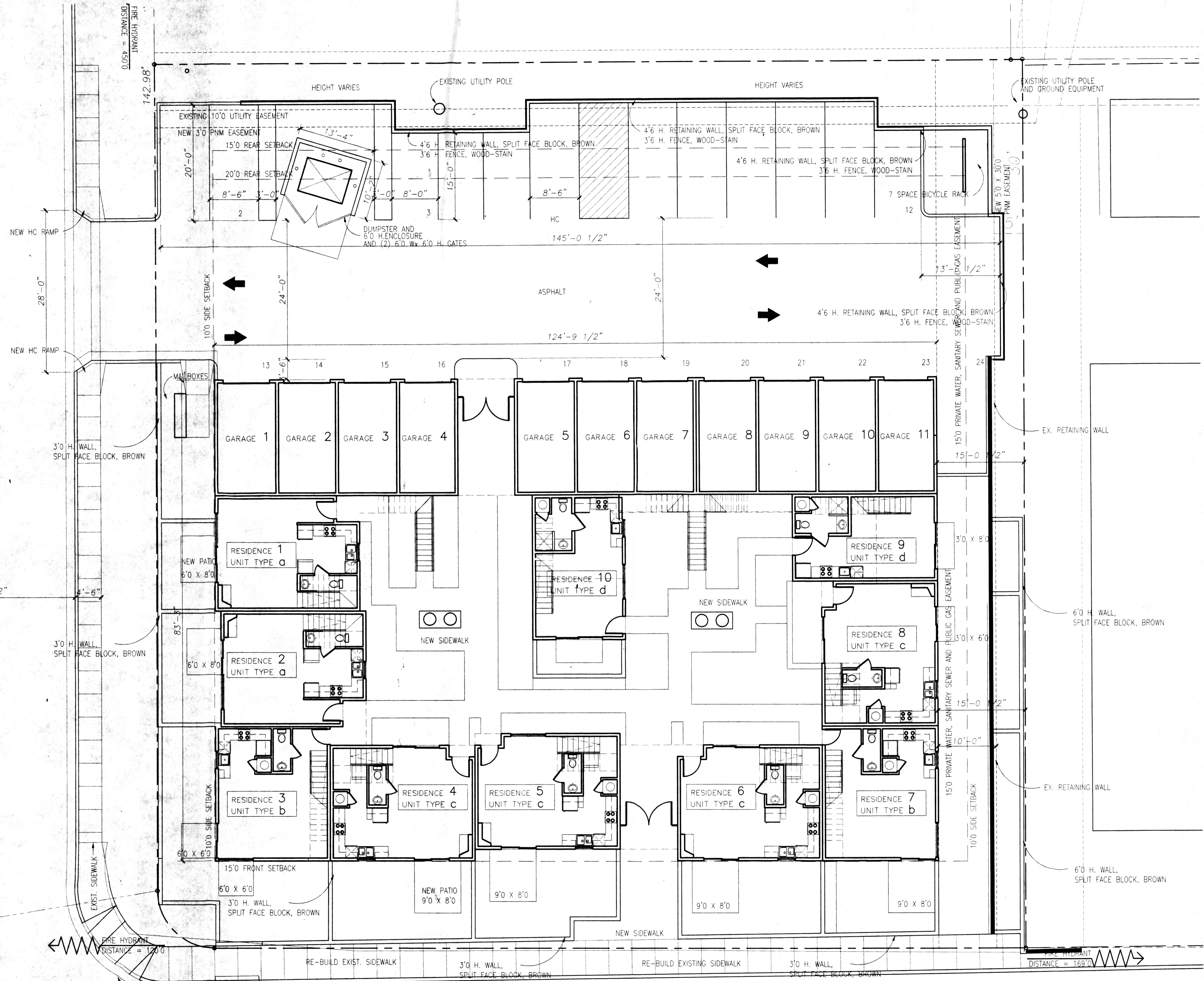
**1 LANDSCAPE PLAN**  
 1.1 SCALE: 1" = 10' 0"

date: 7.17.03  
 no. +  
 issue date  
 file name: mul

Mulberry Street Residences  
 SG Properties LLC  
 420 Mulberry Street  
 Albuquerque, New Mexico

Juniper Design  
 505.982.7878 Phone/Fax  
 juniper@cybermesa.com

L.1  
 sheet:  
 site



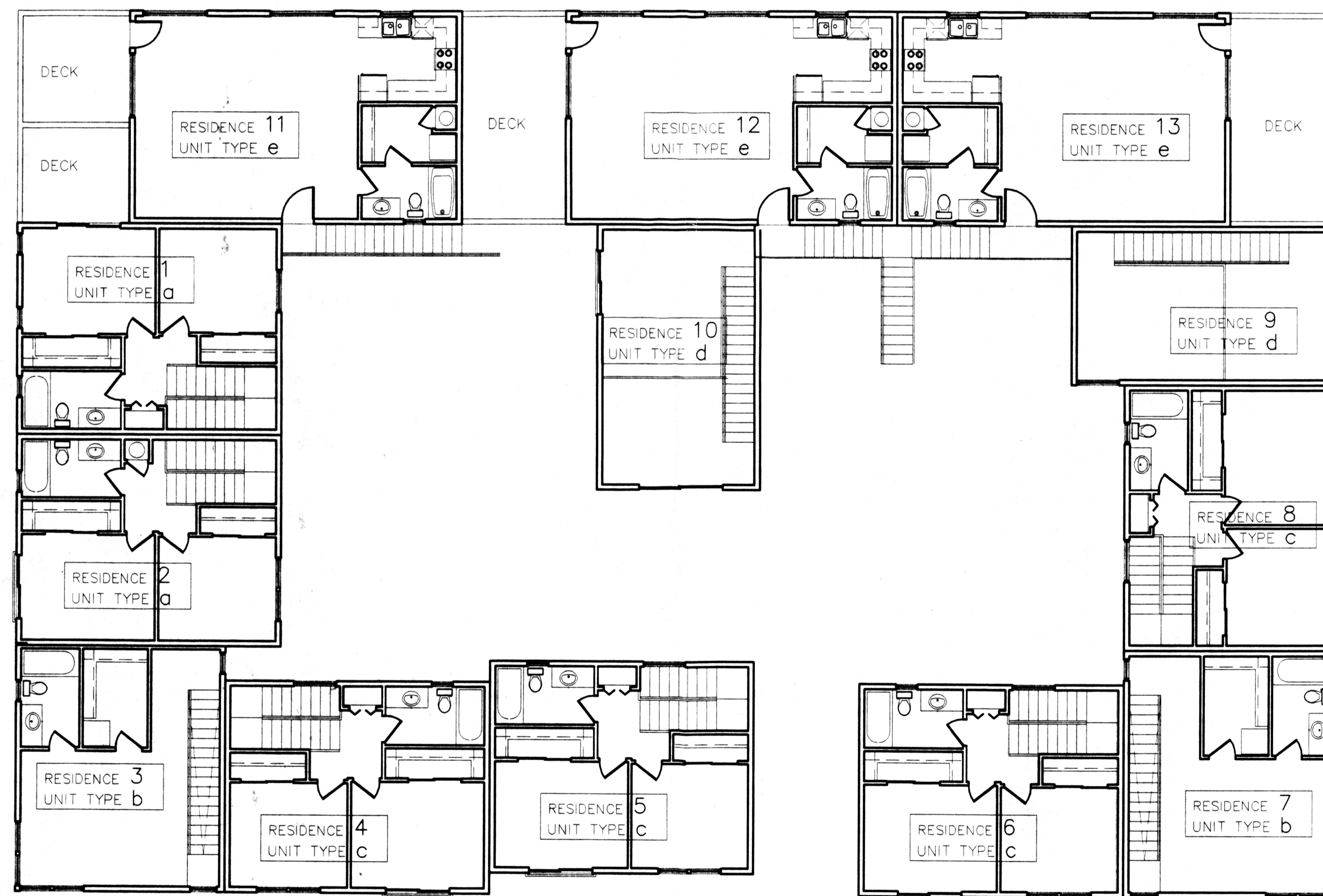
1 FIRST FLOOR PLAN  
 a3 SCALE: 1/8" = 1'0"

date: 7.17.03  
 no. +  
 date issue  
 file name: mul

Mulberry Street Residences  
 +SG Properties LLC  
 420 Mulberry Street  
 Albuquerque, New Mexico

Juniper Design  
 505.982.7878 Phone/Fax  
 juniper@cybermesa.com

a.3  
 sheet:  
 site



1 SECOND FLOOR PLAN  
 a4 SCALE: 1/8" = 1'-0"

date: 7.17.03  
 file name: mul  
 no. +  
 date  
 issue

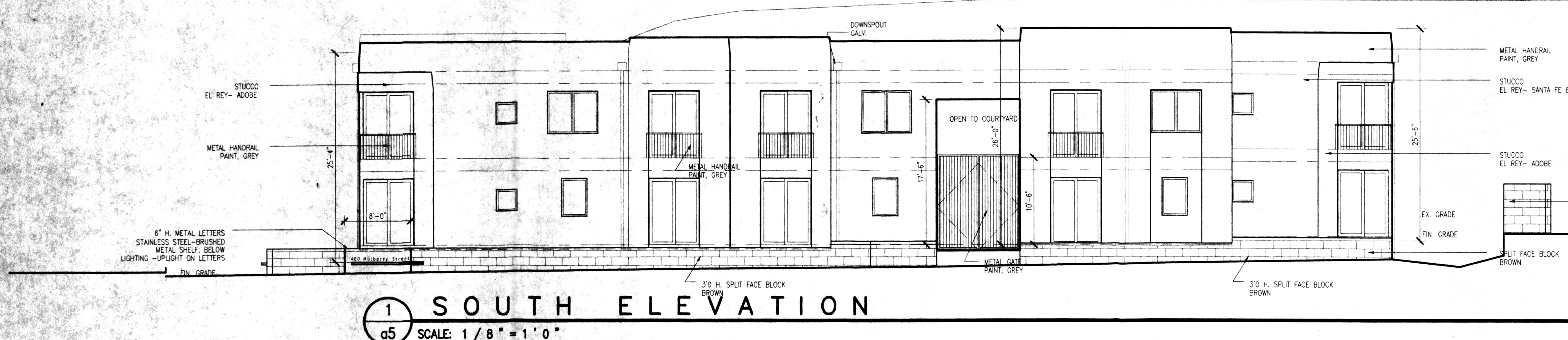
+ Mulberry Street Residences  
 + SG Properties LLC  
 420 Mulberry Street  
 Albuquerque, New Mexico

Juniper Design  
 505.982.7878 Phone / Fax  
 juniper@cybermesa.com

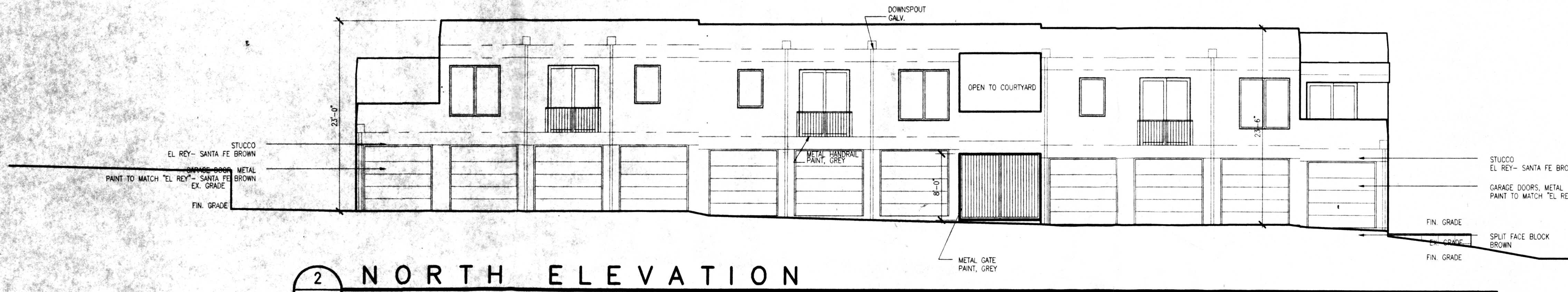
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 sheet:  
 site: +

**NOTES**

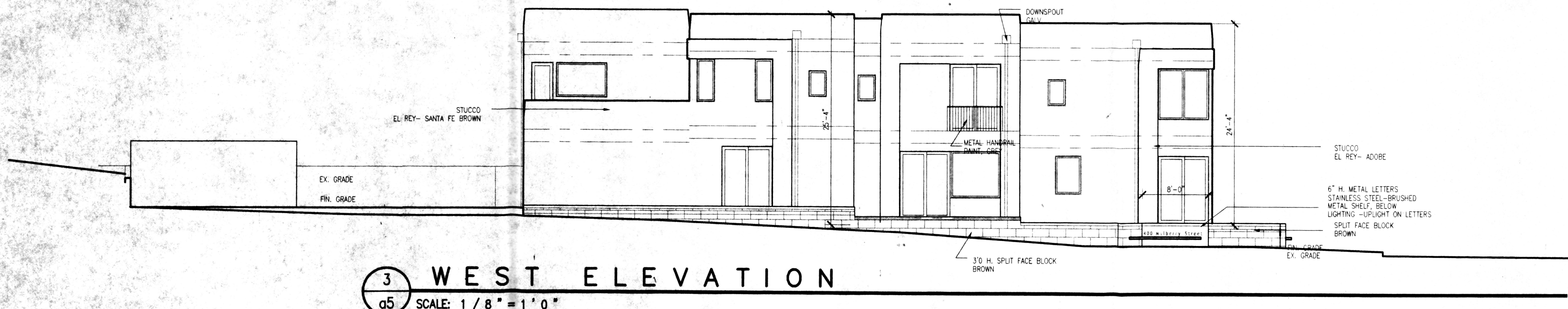
1. SITE LIGHTING WILL BE WALL SCONCES (DOWNLIGHT) ATTACHED TO THE BUILDING AND RETAINING WALLS
2. ALL WINDOWS WILL BE VINYL-WHITE



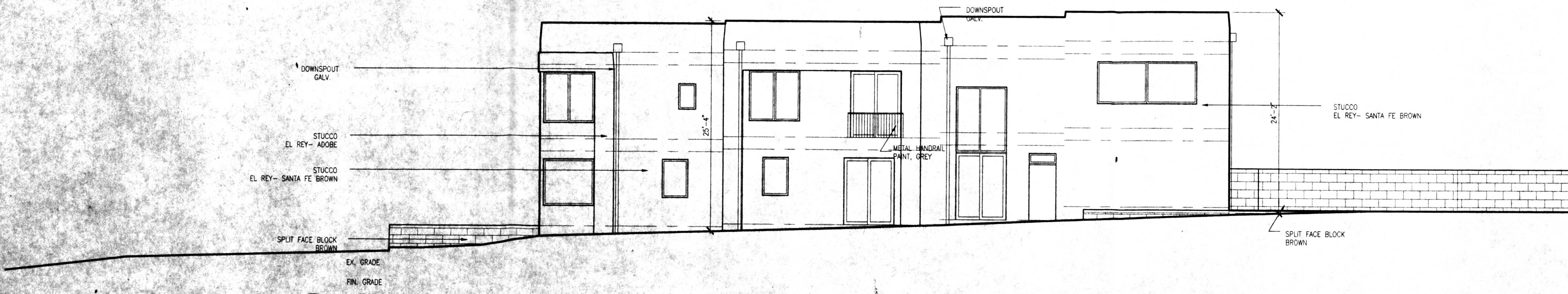
**1 SOUTH ELEVATION**  
a5 SCALE: 1/8" = 1'0"



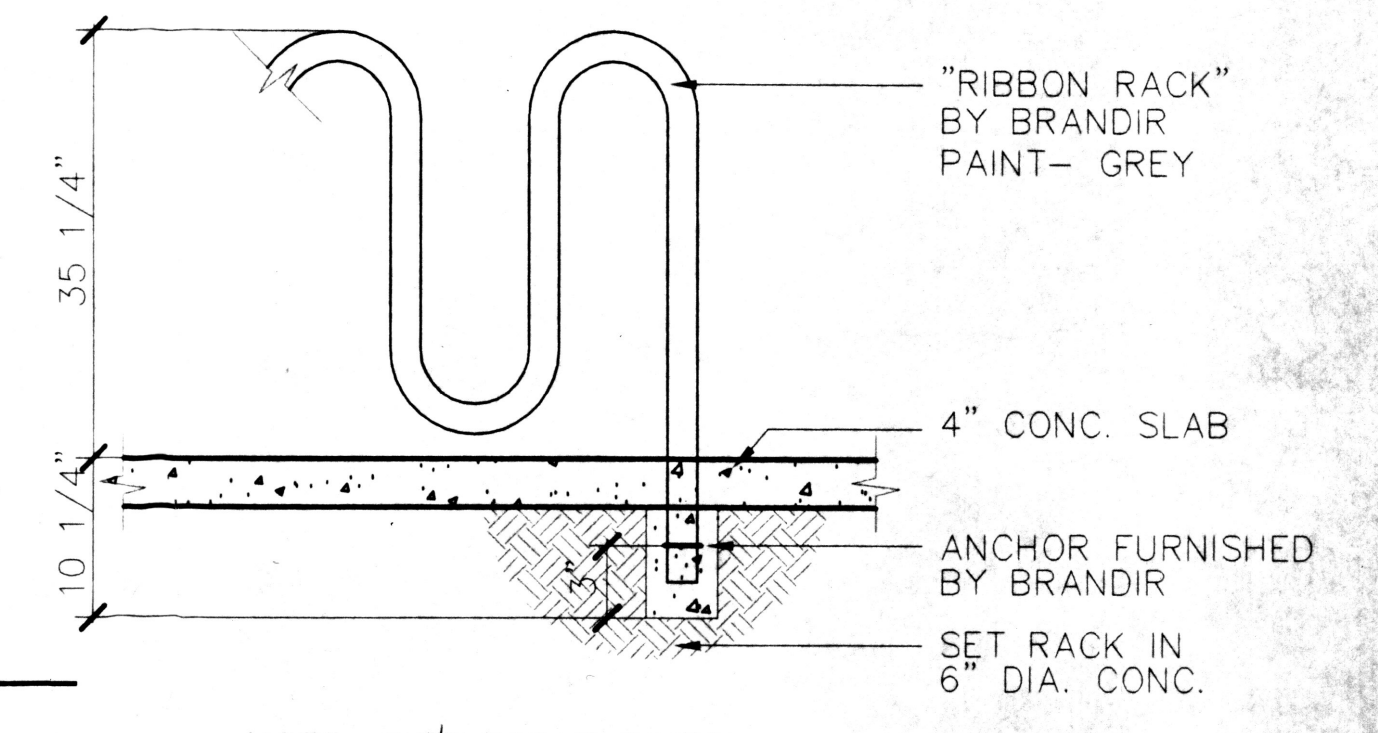
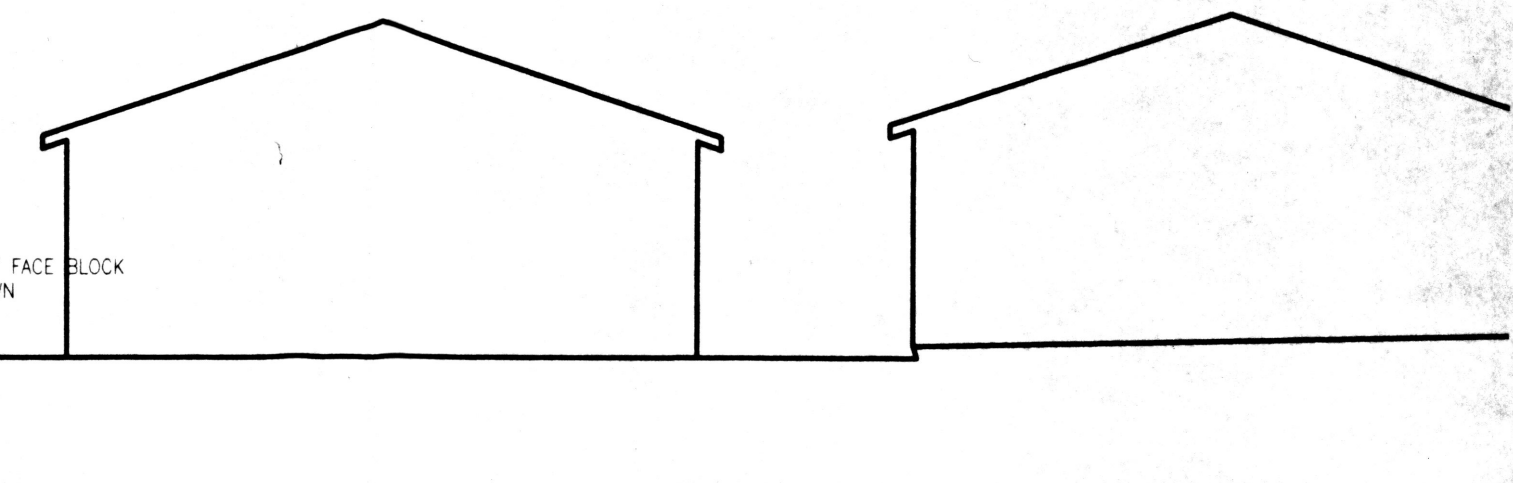
**2 NORTH ELEVATION**  
a5 SCALE: 1/8" = 1'0"



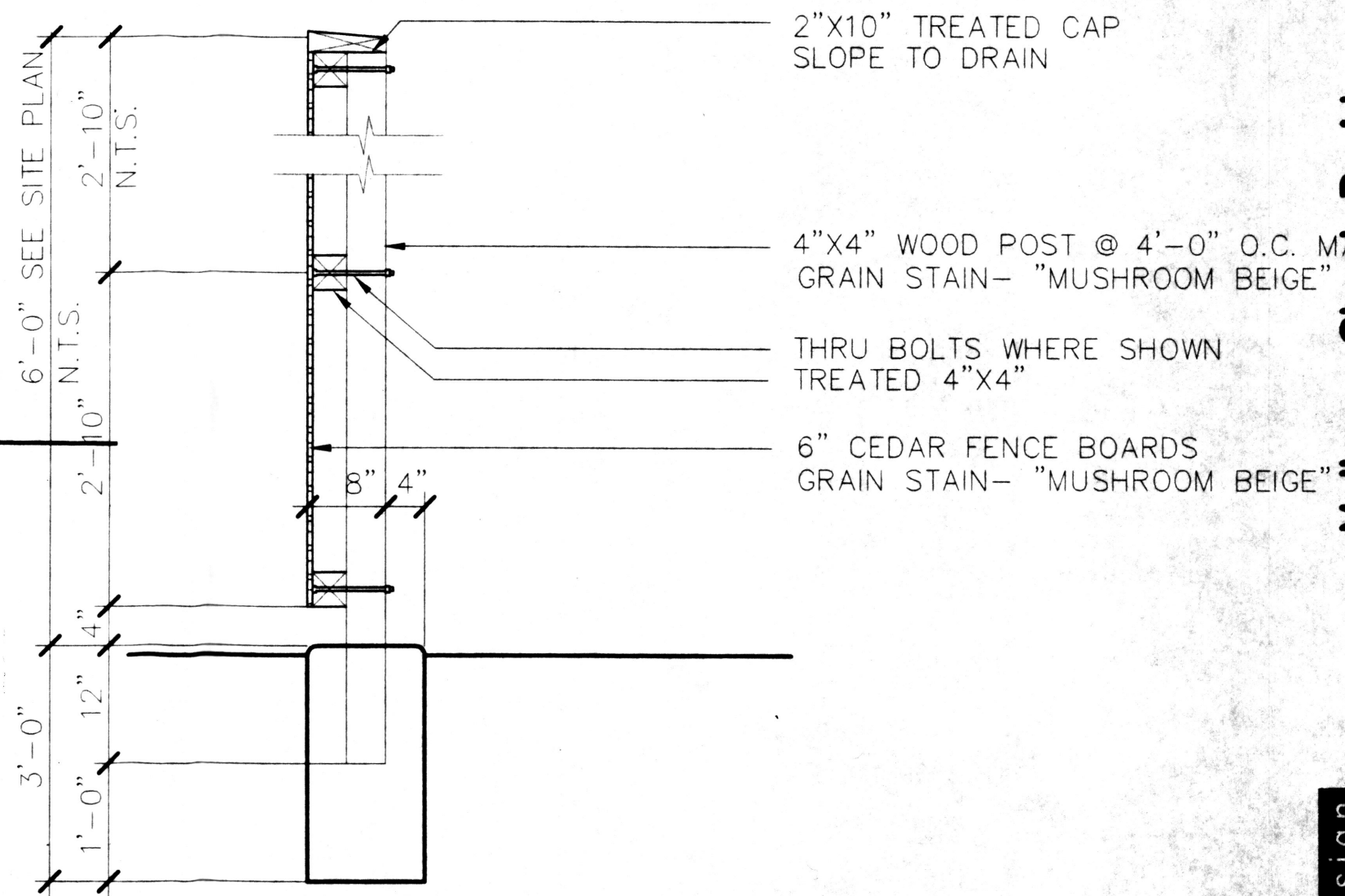
**3 WEST ELEVATION**  
a5 SCALE: 1/8" = 1'0"



**4 EAST ELEVATION**  
a5 SCALE: 1/8" = 1'0"



**5 BIKE RACK DETAIL**  
a5 SCALE: 3/4" = 1'0"



**6 FENCE DETAIL**  
a5 SCALE: 3/4" = 1'0"

issue  
date  
no. +  
date: 7.17.03  
file name: mul

Mulberry Street Residences  
+SG Properties LLC  
420 Mulberry Street  
Albuquerque, New Mexico

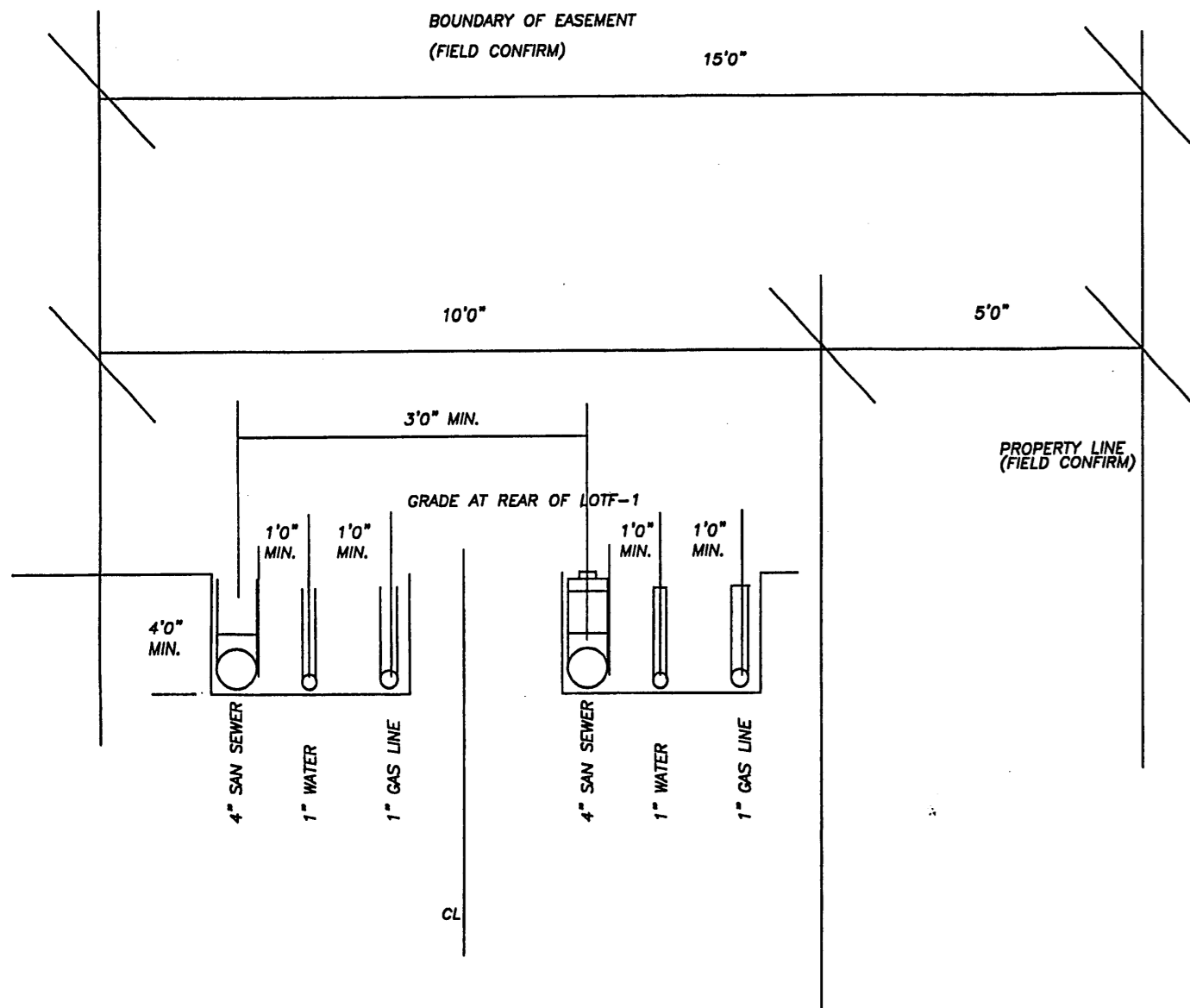
Juniper Design  
505.982.7878 Phone/Fax  
juniper@cybermesa.com

a.5  
sheet: +  
site





SEWER SHALL BE 4" PVC-ABS  
 WATER SHALL BE 1" SOFT L COPPER  
 GAS SHALL BE 1" YELLOW GAS PLASTIC  
 TYP. FOR 2-LINES IN SEPARATE TRENCHES  
 SEPARATE GAS BY 1'0" FROM WATER/SEWER  
 SEPARATE WATER BY 0'6" FROM SEWER  
 STACKING IS NOT ALLOWED  
 SLOPE SS AT 1/4" PER 1'0"  
 APPROX FALL IS 55"



5' PNM EASTMENT GRANTED BY THIS PLAT (161.84')

LOT M, BLOCK 1  
 COUNTRY CLUB ADDITION  
 (09/07/1949, C-160)

REMAINING WESTERLY PORTION  
 LOT J, BLOCK 1-COUNTRY CLUB ADDITION  
 (09/07/1949, C-160)  
 AS DESCRIBED IN QUITCLAIM DEED FILED  
 JUNE 27, 1972

32-A

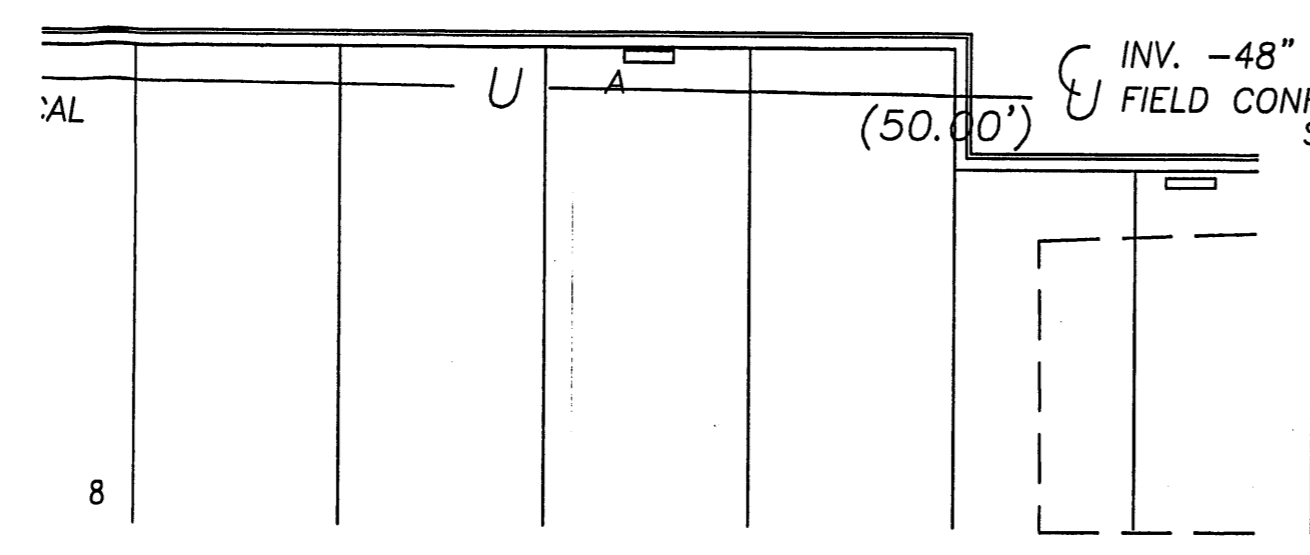
NEW SERVICES TO SINGLE FAMILY RESIDENCE  
 WATER, SEWER, GAS  
 CAP AT GRADE FOR FUTURE CONNECTION  
 TERMINATE 5'-0" INSIDE OF PROPERTY LINE

SEWER SHALL BE 4" PVC-ABS  
 WATER SHALL BE 1" SOFT L COPPER  
 GAS SHALL BE 1" YELLOW GAS PLASTIC  
 TYP. FOR 2-LINES IN SEPARATE TRENCHES  
 SEPARATE EACH LINE BY 1'0" MIN.  
 SEPARATE WATER BY 0'6" FROM SEWER  
 STACKING IS NOT ALLOWED  
 SLOPE SS AT 1/4" PER 1'0"  
 APPROX FALL IS 55"

10' PUBLIC STORM SEWER EASEMENT GRANTED BY THIS PLAT  
 EXISTING 10' EASEMENT USE/BENEFICIARY NOT STATED (09/07/1949, C-160)

Former Westerly Portion Lot J  
 AS DESCRIBED IN REAL ESTATE CONTRACT FILED  
 NOVEMBER 12, 1971 IN BOOK MISC. 236, PGS. 896-900

Lot J-1



EXISTING UTILITY POLE AND GROUND EQUIPMENT

NEW 5'0" X 3'0" PNM EASEMENT

SITE UTILITIES

SCALE : 1/8" = 1'0"

SEE SHEET P1-01-A FOR CONTINUATION

CCI - ENGINEERING  
 1000 S. 24th Street, Suite 100  
 Albuquerque, NM 87106  
 WWW.CCI-ENGINEERING.COM PH-242-8600

JOHN G. ROSANOVICH  
 NEW MEXICO  
 12480  
 REGISTERED PROFESSIONAL ENGINEER  
 10-2703

date: 5.9.03  
 no. +  
 file name: mulberry.mxd

Mulberry Project  
 Mulberry Properties, LLC  
 4200 Mulberry Street  
 Albuquerque, New Mexico

505.982.7878 Phone/Fax  
 juniper@cybermesa.com