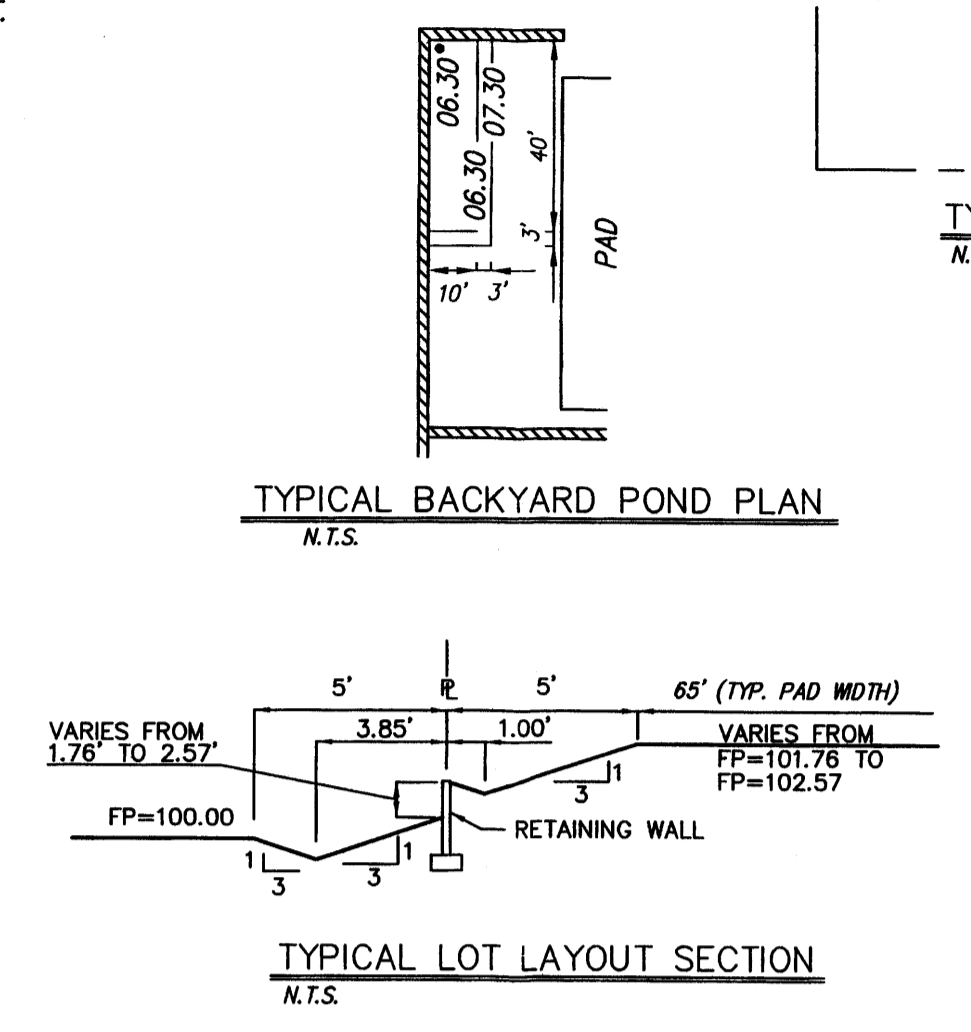
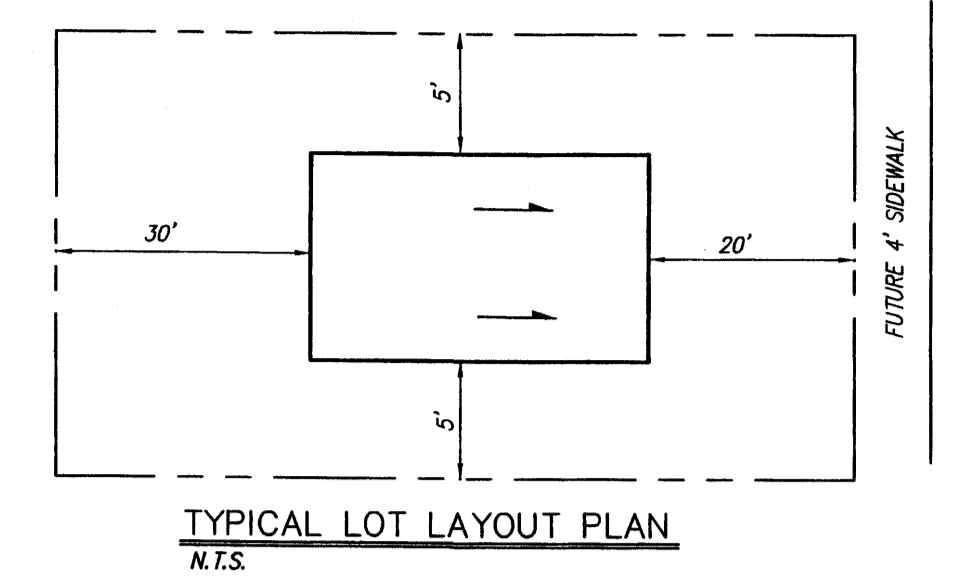
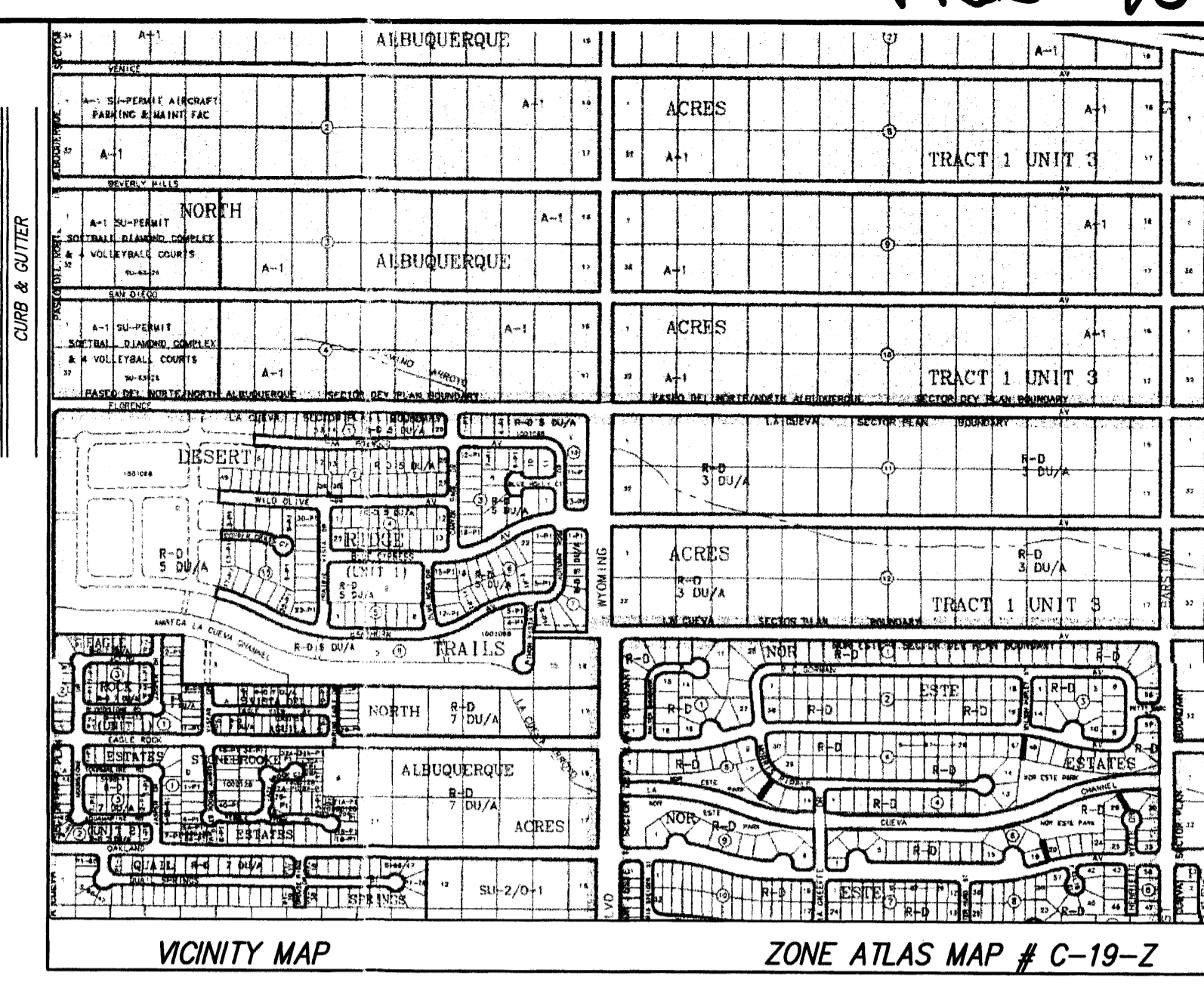


- EROSION CONTROL NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
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- LEGEND**
- MOUNTABLE CURB & GUTTER
  - STANDARD 8" CURB & GUTTER
  - EXTRUDED CONCRETE CURB
  - NEW RETAINING WALL
  - TOP OF WALL
  - BOTTOM OF WALL
  - FINISHED PAD ELEVATION
  - PROPOSED SPOT ELEVATION
  - NEW CONTOUR
  - DRAINAGE FLOW ARROW
  - WATER BLOCK
  - TEMPORARY PAVEMENT



**LEGAL DESCRIPTION**  
NORTH ALBUQUERQUE ACRES, TRACT 1, UNIT 3, BLOCK 12, LOTS 28 & 29.

AS BUILT INFORMATION		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NO.	BY	NO.	BY
WORK BY	DATE	NO.	BY	NO.	BY
INSPECTOR'S ACCEPTANCE BY	DATE	NO.	BY	NO.	BY
VERIFICATION BY	DATE	NO.	BY	NO.	BY
DRAWINGS CORRECTED BY	DATE	NO.	BY	NO.	BY
MICRO-FILM INFORMATION	DATE	NO.	BY	NO.	BY
RECORDED BY	DATE	NO.	BY	NO.	BY
NO.	DATE	NO.	BY	NO.	BY

NO.	DATE	REMARKS
DESIGNED BY	DATE	DESIGN
DRAWN BY	DATE	REVISIONS
CHECKED BY	DATE	REVISIONS

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 9066  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 828-2200, FAX (505) 797-9539

**CITY OF ALBUQUERQUE**  
PUBLIC WORKS DEPARTMENT

TITLE: **DESERT HIGHLANDS AT LA CUEVA**  
GRADING AND DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

APPROVED ROUGH GRADING ±18"  
CITY HYDROLOGY DATE

2047MOE/GD50A/07-23-02 GJK MJR

CITY PROJECT NO. ZONE MAP NO. SHEET OF

B-19 1 1

*Approved & signed 1/26/07*



Scanned  
Date 1/26/07

PLAT FOR  
**DESERT HIGHLANDS AT LA CUEVA**  
**SUBDIVISION**

WITHIN THE  
ELENA GALLEGOS GRANT  
PROJECTED SECTION 7  
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JANUARY, 2003

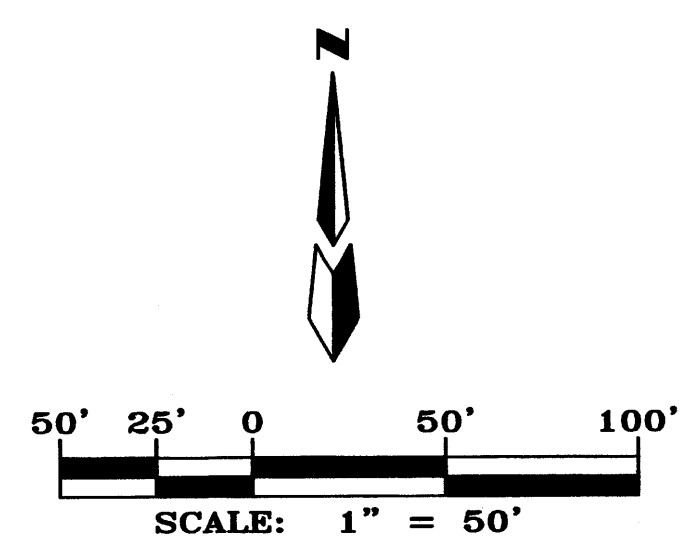
CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CH-BEARING	CHORD
C1	25.00'	39.28'	90°00'48"	25.01'	S44°36'31"E	35.36'
C2	25.00'	39.26'	89°59'12"	24.99'	S45°23'29"W	35.35'
C3	25.00'	22.85'	52°22'12"	12.29'	N25°47'13"W	22.06'
C4	52.00	24.62	27°07'55"	12.55	S38°24'21"E	24.39
C5	52.00	78.84	86°52'06"	49.23	S18°35'39"W	71.50
C6	52.00	78.90	86°56'11"	49.29	N17°56'07"W	71.55
C7	52.00	24.74	27°15'35"	12.61	N39°09'46"E	24.51
C8	25.00'	22.86'	52°23'40"	12.30'	S26°35'43"W	22.07'
C9	52.00'	103.46'	114°00'01"	80.07'	S05°01'41"W	87.22'
C10	52.00'	103.64'	114°11'46"	80.37'	N04°18'19"W	87.32'

LINE TABLE		
LINE	LENGTH	BEARING
L1	18.61'	S29°41'08"W
L2	18.58'	S29°02'38"E
L3	33.83'	S89°42'28"E
L4	33.69'	S89°42'28"E

**ABBREVIATIONS**  
10' PUE = PUBLIC UTILITY EASEMENTS  
GRANTED WITH THIS PLAT  
  
ROW = RIGHT-OF-WAY

ALL STREETS SHOWN  
HEREON ARE HEREBY  
DEDICATED AS PUBLIC  
RIGHT-OF-WAY

**NOTE:** ▲  
CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED  
AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET  
INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR  
INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE",  
"CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

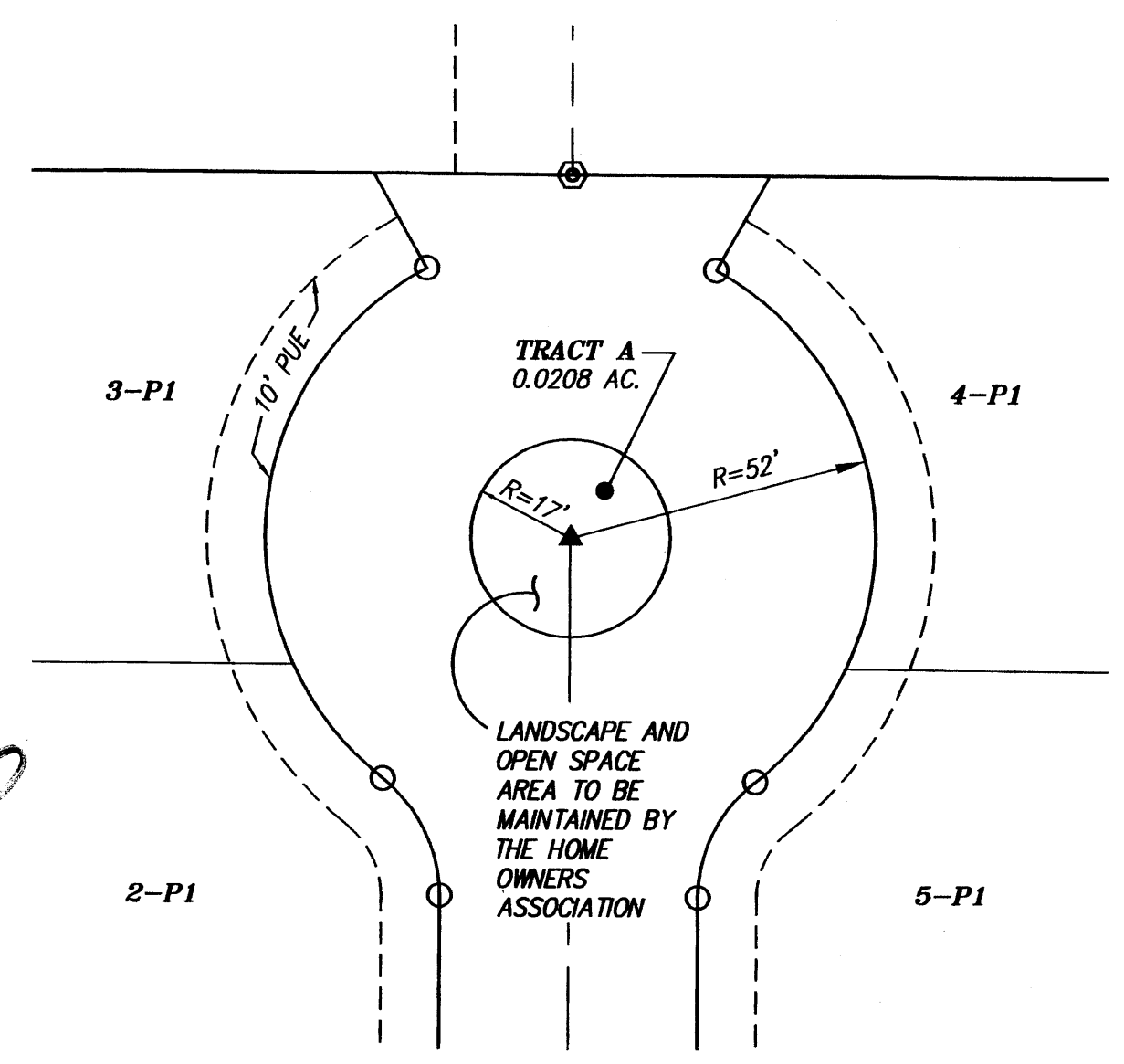
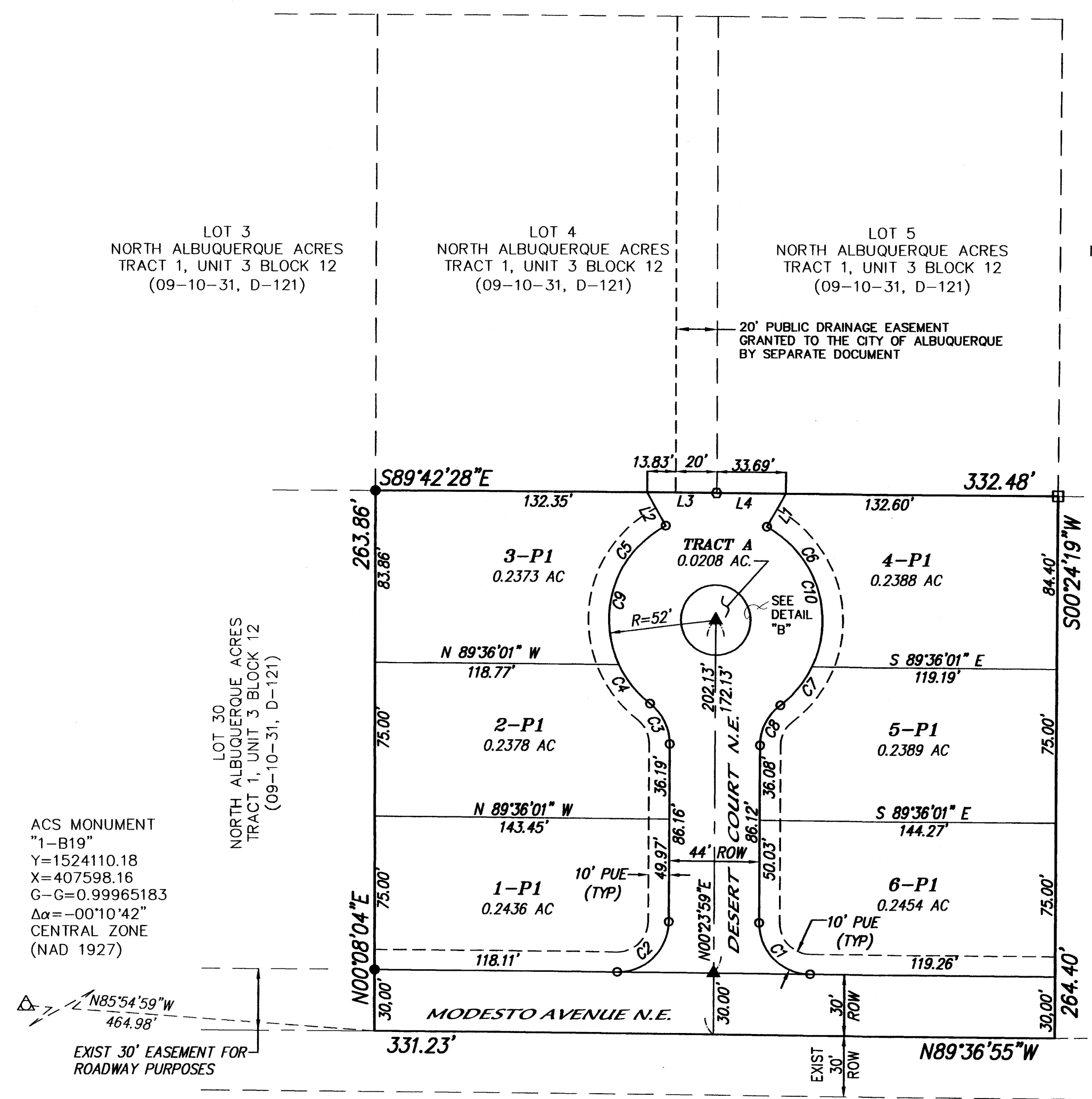


**PROPERTY CORNERS**

- FOUND 1/2" REBAR WITH CAP "LS 7002"
- FOUND 1/2" REBAR WITH CAP "LS 8127"
- FOUND 1/2" REBAR WITH CAP "LS 11463"

**LEGEND**

- 1-P1 LOT NUMBER
- ▲ CENTER LINE MONUMENT
- ROW RIGHT-OF-WAY
- PUE PUBLIC UTILITY EASEMENT



TRACT A, IS TO BE CONVEYED TO THE HOME  
OWNERS ASSOCIATION. ALL LANDSCAPING IN  
THIS TRACT WILL BE MAINTAINED BY THE  
HOME OWNERS ASSOCIATION.

**DETAIL "B"**  
SCALE: 1" = 30'

*Handwritten signature*  
02-11-03

ACS MONUMENT  
"1-B19"  
Y=1524110.18  
X=407598.16  
G-G=0.99965183  
Δα=-00°10'42"  
CENTRAL ZONE  
(NAD 1927)

ACS MONUMENT  
"1-B20"  
Y=1524092.46  
X=410237.56  
G-G=0.99964740  
Δα=-00°10'23"  
CENTRAL ZONE  
(NAD 1927/SLD 1929)  
ELEVATION=5474.533

Dwg: Base2A.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 3 of 3
Scale: 1"=50'	Date: 02/10/03	Job: A02047	

**LEGAL DESCRIPTION**

A tract of land situate, within the Elena Gallegos Grant, projected Section 7, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 28 AND 29, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D, Folio 121 and being more particularly described as follows:

BEGINNING at the southwest corner of the herein described tract, said point being on the centerline of Modesto Avenue N.E. from whence the Albuquerque Control Survey Monument "1-B19" bears N 85°54'59" W, 464.98 feet;

THENCE leaving said centerline N 00°08'04" E, 263.86 feet along a line common with the east line of LOT 30, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES, as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D, Folio 121 to the northwest corner point being common with the northeast corner of said LOT 30;

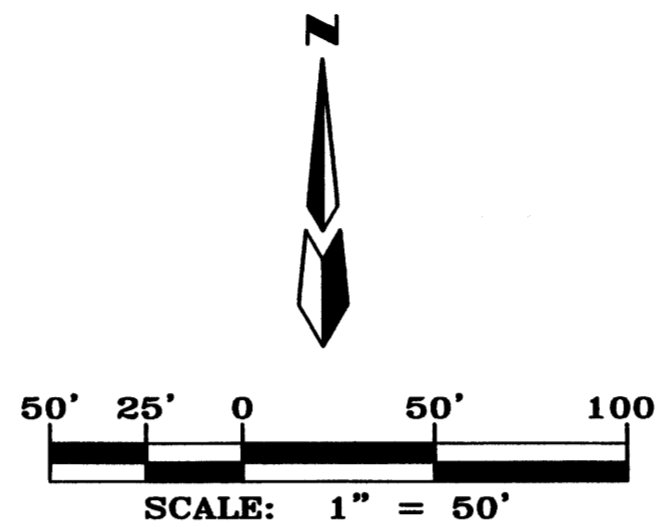
THENCE S 89°42'28" E, 332.48 feet along a line common with the south line of LOT 4 and 5, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES, as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D, Folio 121 to the north east corner point being common with the southeast corner of said LOT 5;

THENCE S 00°24'19" W, 264.40 feet along a line common with the west line of LOT 27, BLOCK 12, TRACT 1, UNIT 3, NORTH ALBUQUERQUE ACRES, to the southeast corner, said point being on the centerline of Modesto Avenue N.E.;

THENCE along said centerline N 89°36'55" W, 331.23 feet to the point of beginning and containing 2.0122 acres more or less.

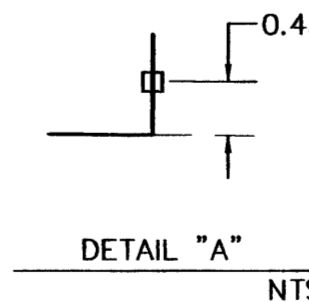
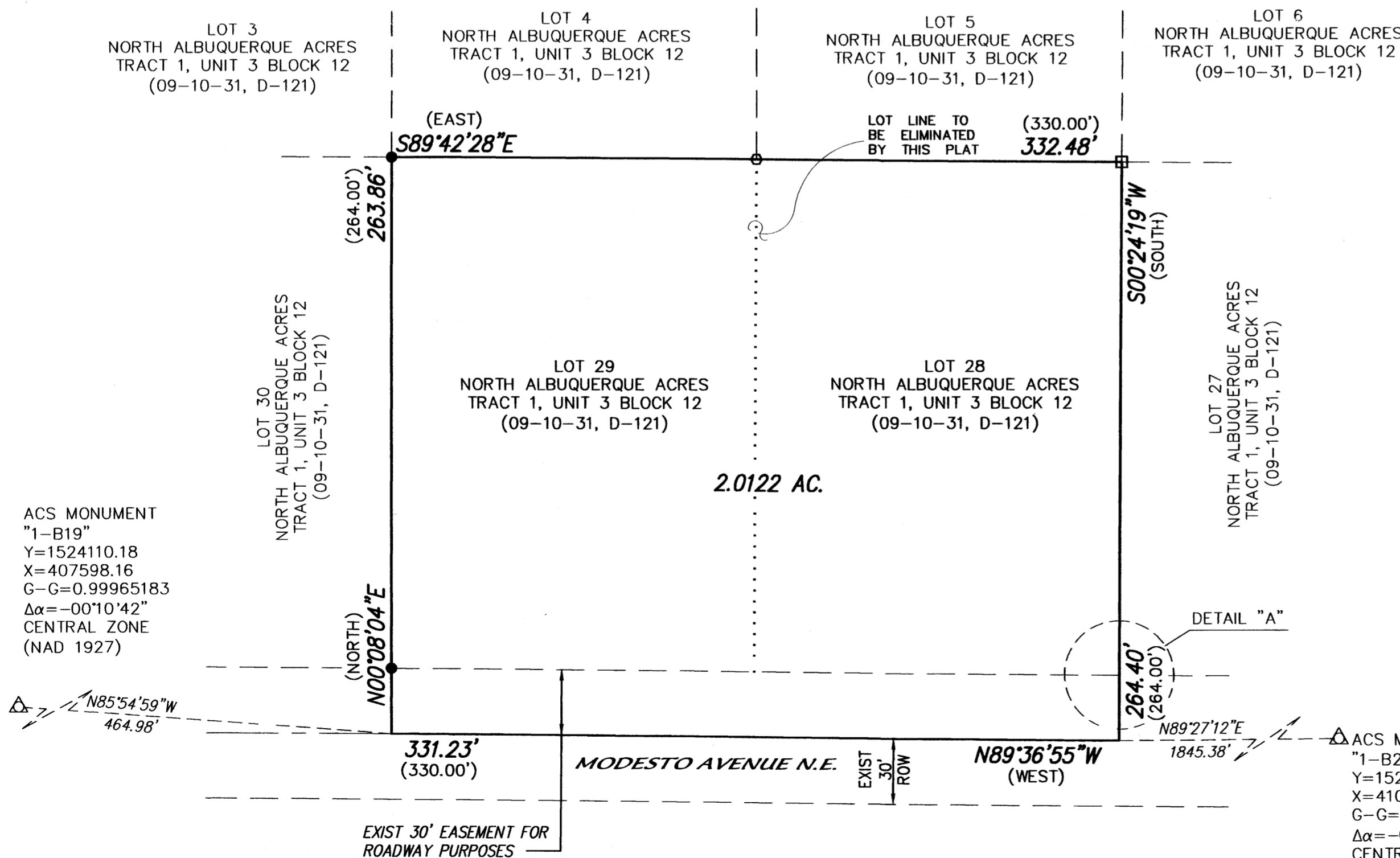
PLAT FOR  
**DESERT HIGHLANDS AT LA CUEVA  
SUBDIVISION**

WITHIN THE  
ELENA GALLEGOS GRANT  
PROJECTED SECTION 7  
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
JANUARY, 2003



**NOTES:**

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary is from the plat of record entitled:  
  
PLAT FOR "NORTH ALBUQUERQUE ACRES, TRACT 1, UNIT 3", (09-10-31, D-121)  
  
all being records of Bernalillo County, New Mexico.
5. Field Survey: performed May, 2002.
6. Title Report: None provided.
7. Address of Property: None provided.
8. City of Albuquerque, New Mexico Zone: R-D
9. 100 Year Flood Zone Designation: ZONE X, Panel 129 of 825, Flood Insurance Rate Map, City of Albuquerque, Bernalillo County, New Mexico, dated September 20, 1996. (NOTE: Panel 129 has been modified by letter effective September 11, 1998).
10. Encroachments: None apparent.
11. Utility Control Location System Log Number: 2002220337
12. Unless otherwise noted, all new corners established by this subdivision will be marked by a #5 rebar w/cap stamped "ALS LS 7719".
13. ALL OPEN SPACE REQUIREMENTS ARE MET ON THE LOT WITH THE DWELLING PER THE PROVISIONS OF SECTION 14-16-3-B(A)(1).



**PROPERTY CORNERS**

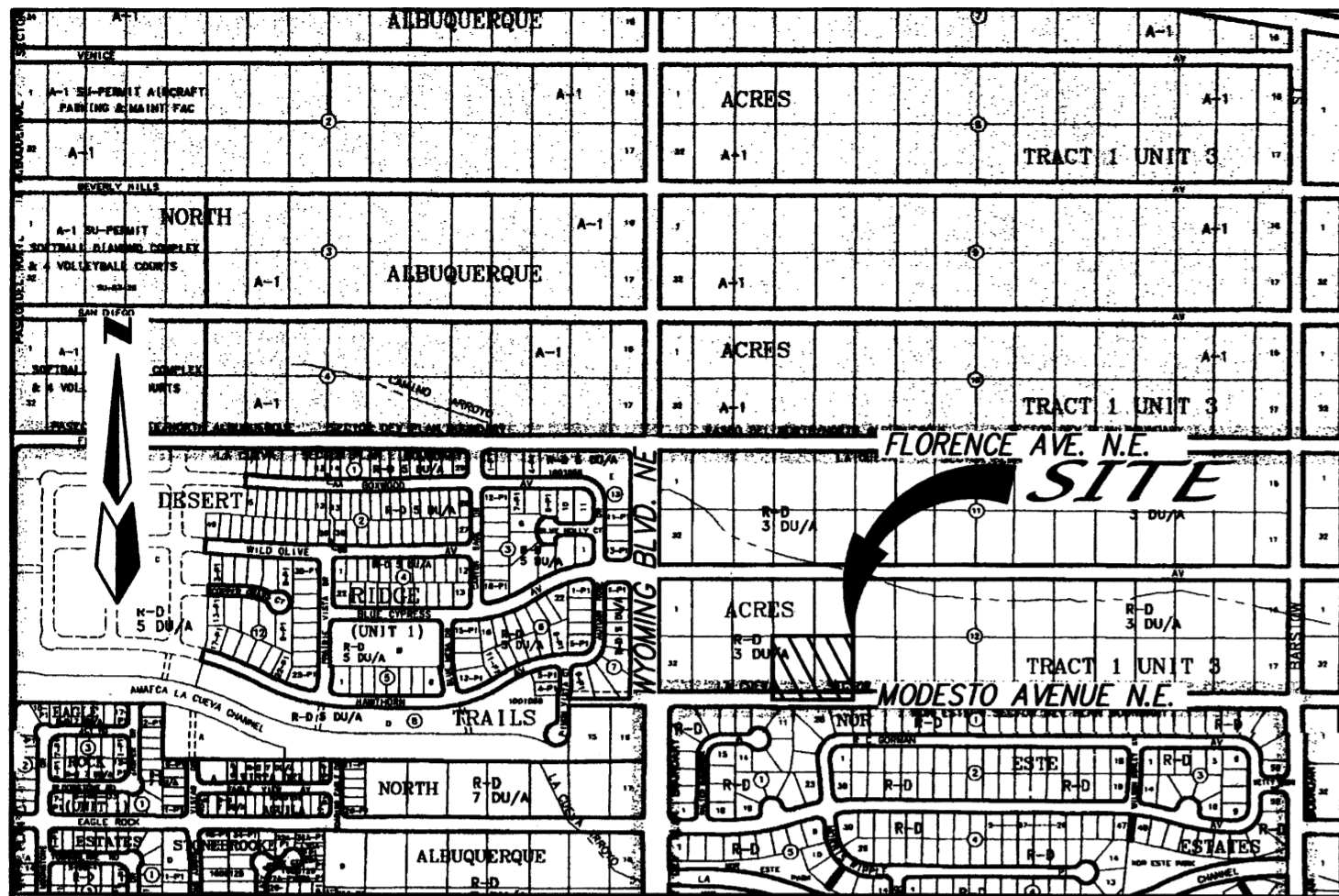
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- FOUND 1/2" REBAR WITH CAP "LS 11463"

*Li-a*  
02-11-03

Mary Herrera  
Bern. Co. PLAT  
R 17.00  
2003055090  
3638193  
Page: 2 of 3  
04/03/2003 03:47P  
Bk-2883C Pg-98

Dwg: Base2A.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 2 of 3
Scale: 1"=50'	Date: 02/10/03	Job: A02047	

CEG



LOCATION MAP ZONE ATLAS C-19-Z SCALE: NONE

SUBDIVISION DATA

Plat Case No's. Project # 1001871 Case # 03DRB-00475
Gross acreage 2.0122 Ac.
Zone Atlas No. C-19-Z
No. of existing Tracts/Lots 2 Lots
No. of Tracts/Lots created 6 Lots
No. of Tracts/Lots eliminated 2 Lots
Miles of full width streets created 0.05 Miles
Miles of half width streets created 0.06 Miles
Area dedicated to the City of Albuquerque 0.5705 Ac.
Date of Survey May, 2002
Utility Control Location System Log Number 2002220337
Zoning R-D (3 DU/A)

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets, public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and a portion of Modesto Avenue in fee simple without warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

OWNER: RANDALL HOMES, LLC
BY: Randall Schmile, Managing Member
Randall Schmile, Managing Member DATE 2-10-03

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
COUNTY OF BERNALILLO

This instrument was acknowledged before me on February 10, 2003
By Randall Schmile, Managing Member of RANDALL HOMES, LLC, a Limited Liability Company on behalf of said Company.

Notary Public: Bernadette Mares, My Commission Expires 12/14/05

LEGAL DESCRIPTION (SEE SHEET 2)

NOTES (SEE SHEET 2)

PURPOSE OF PLAT

- 1. Subdivide two (2) lots into six (6) residential Lots.
2. Dedicate right-of-way as shown.
3. Grant easements as shown hereon

PUBLIC UTILITY EASEMENT

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- 1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

PROJ 1001879

PLAT FOR
DESERT HIGHLANDS AT LA CUEVA
SUBDIVISION
WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTIONS 7
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2003

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

- DRB Project No. 1001871
Application No. 02 DRB-00475
Sharon Matson, Planning Director, City of Albuquerque, N.M. 4/2/03
Brad L. Biken, City Engineer, City of Albuquerque, N.M. 4/2/03
Rubal D. Dault, Albuquerque Metropolitan Arroyo Flood Control Authority 4-02-03
Rubal D. Dault, Transportation Development, City of Albuquerque, N.M. 4-02-03
Roger A. Dean, Utility Development Division, City of Albuquerque, N.M. 4-2-03
Christina Sandoval, Parks and Recreation 4/2/03
M.B. Paul, City Surveyor, City of Albuquerque, N.M. 2-11-03
NA, Property Management, City of Albuquerque, N.M.
Sean D. Mc, PNM Gas 3-18-03
Sean D. Mc, PNM Electric 3-18-03
Greg Hunt, Qwest Telecommunications 3-20-03
Rita Erickson, Comcast Cable 3-19-03

SURVEYOR'S CERTIFICATION

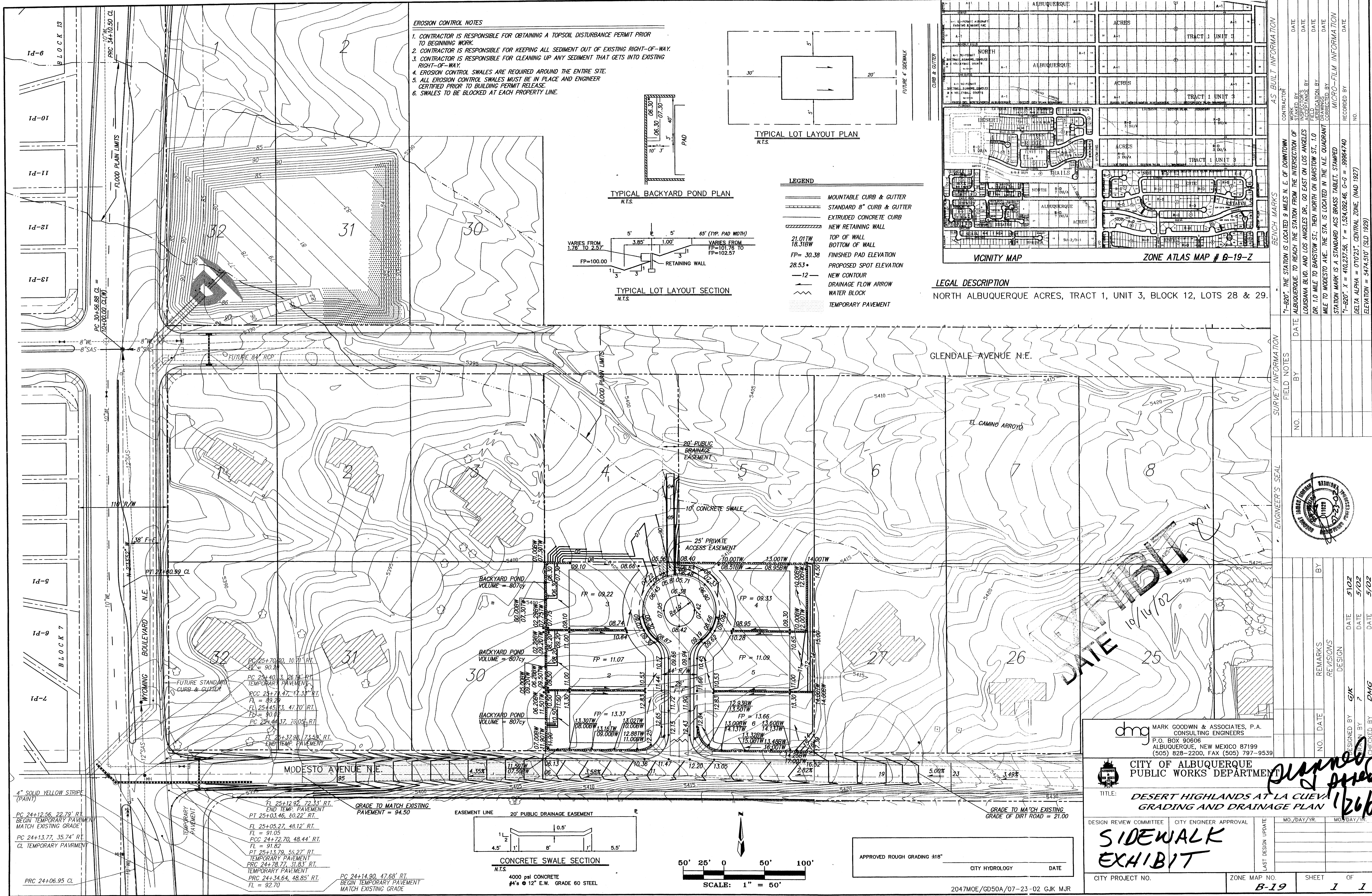
"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich, S. No. 7719 DATE 02-10-03

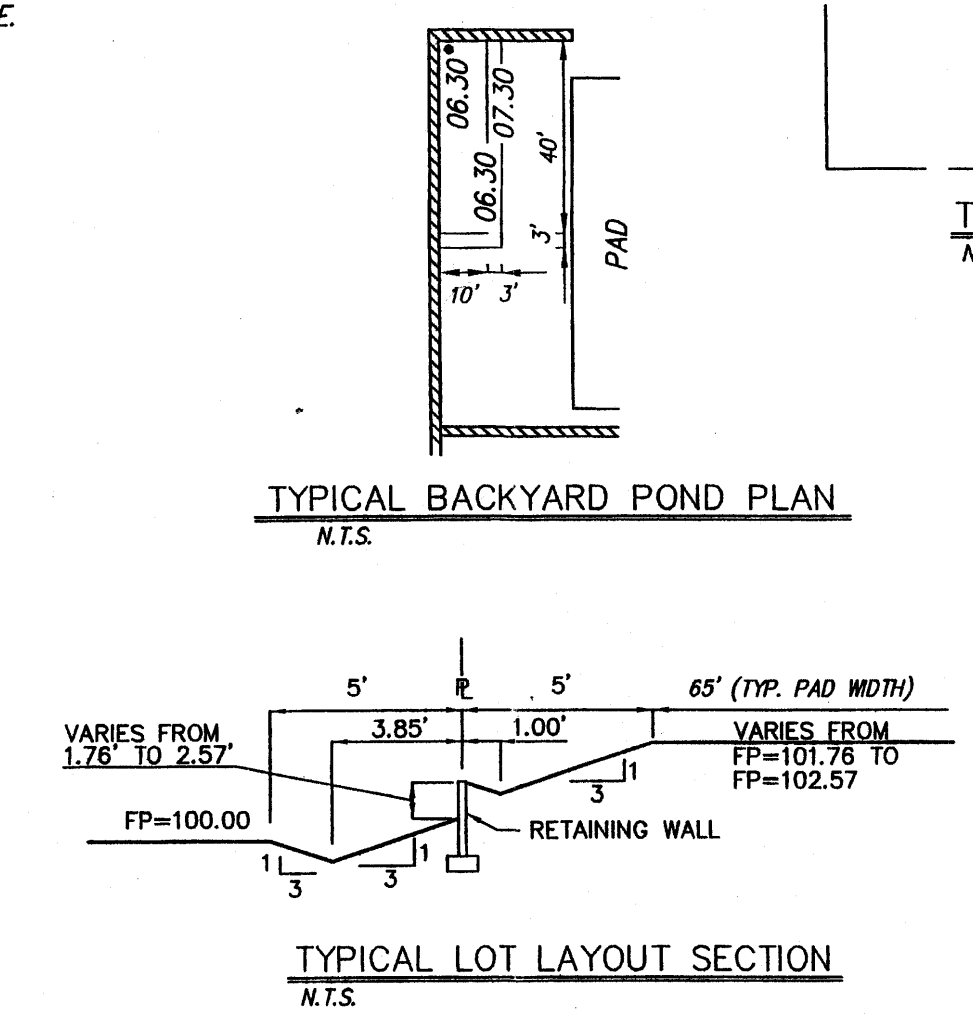
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND
PAID ON MFG # 1-019-065-324-016-40104
PROPERTY OWNER OF RECORD:
Randall Homes Inc.
jessica a calybe 04-03-03



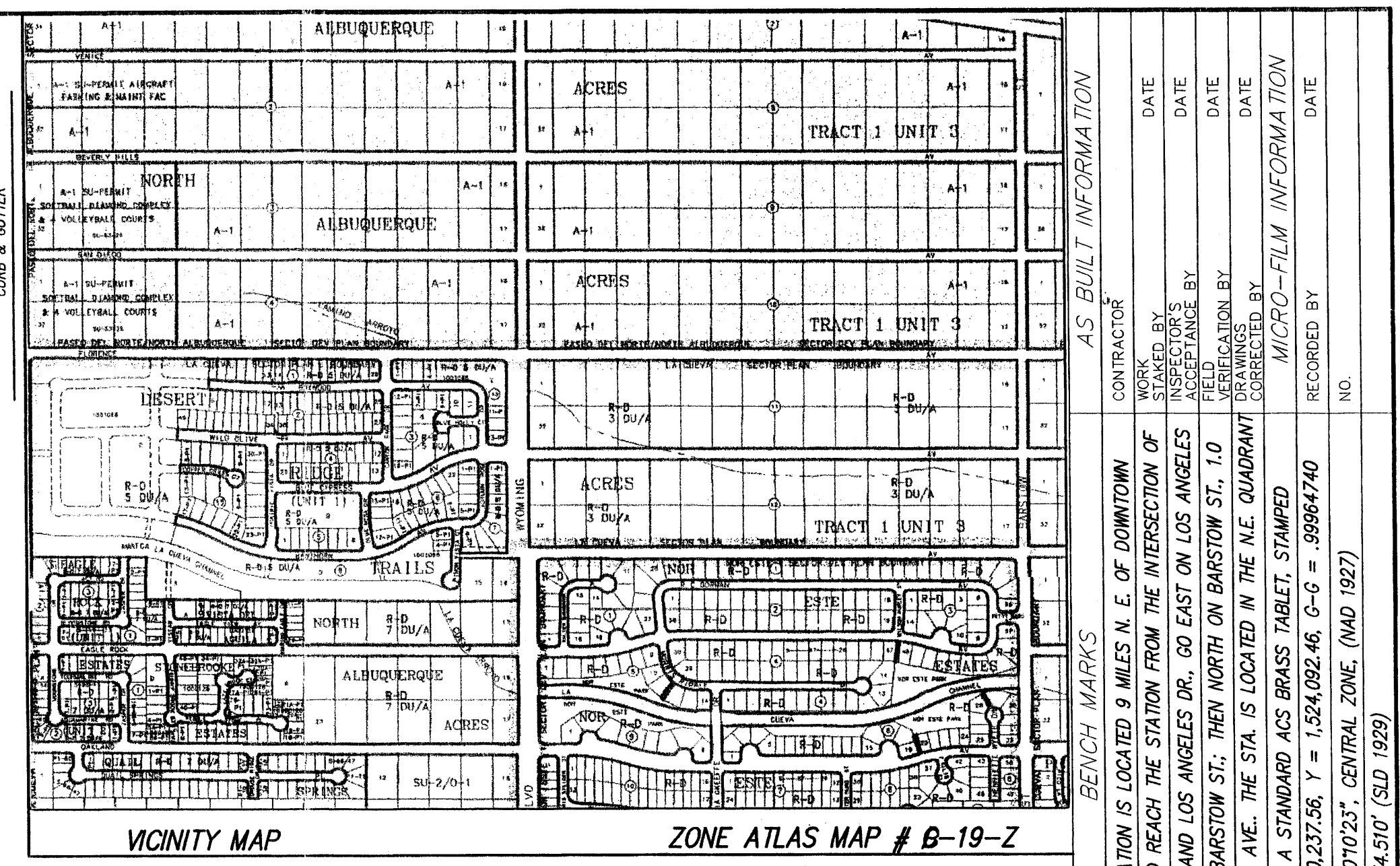




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  - STANDARD 8" CURB & GUTTER
  - EXTRUDED CONCRETE CURB
  - NEW RETAINING WALL
  - 21.01TW TOP OF WALL
  - 18.31BW BOTTOM OF WALL
  - FP= 30.38 FINISHED PAD ELEVATION
  - 28.53\* PROPOSED SPOT ELEVATION
  - 12 NEW CONTOUR
  - DRAINAGE FLOW ARROW
  - WATER BLOCK
  - TEMPORARY PAVEMENT



AS-BUILT INFORMATION	
CONTRACTOR	WORK
STARTED BY	DATE
ACCEPTANCE BY	DATE
FIELD LOCATION BY	DATE
DRAWINGS BY	DATE
CHECKED BY	DATE
RECORDED BY	DATE
NO.	

SURVEY INFORMATION	
FIELD NOTES	DATE
BY	DATE
NO.	

ENGINEER'S SEAL	
DESIGNED BY	GJK
DATE	5/02
DESIGNED BY	DMG
DATE	5/02

**dmg** MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS  
P.O. BOX 90606  
ALBUQUERQUE, NEW MEXICO 87199  
(505) 828-2200, FAX (505) 797-9539

**CITY OF ALBUQUERQUE**  
PUBLIC WORKS DEPARTMENT

TITLE: **DESERT HIGHLANDS AT LA CUEVA**  
GRADING AND DRAINAGE PLAN

**SIDEWALK EXHIBIT**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			

CITY PROJECT NO. \_\_\_\_\_ ZONE MAP NO. **B-19** SHEET **1** OF **1**

62181001 TORD