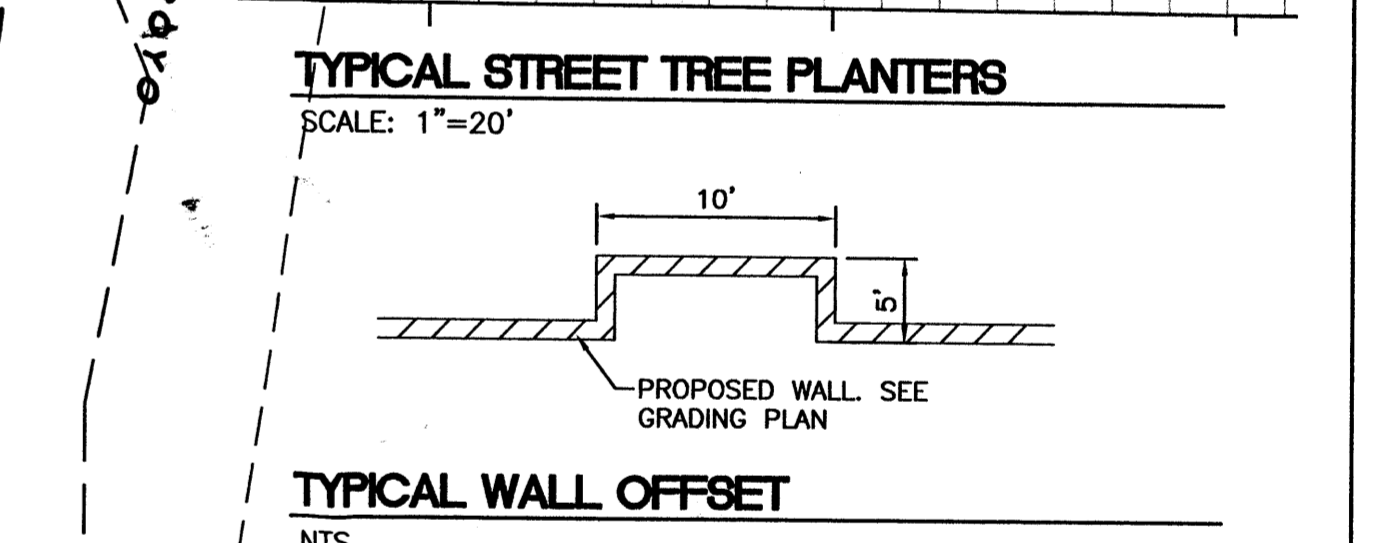
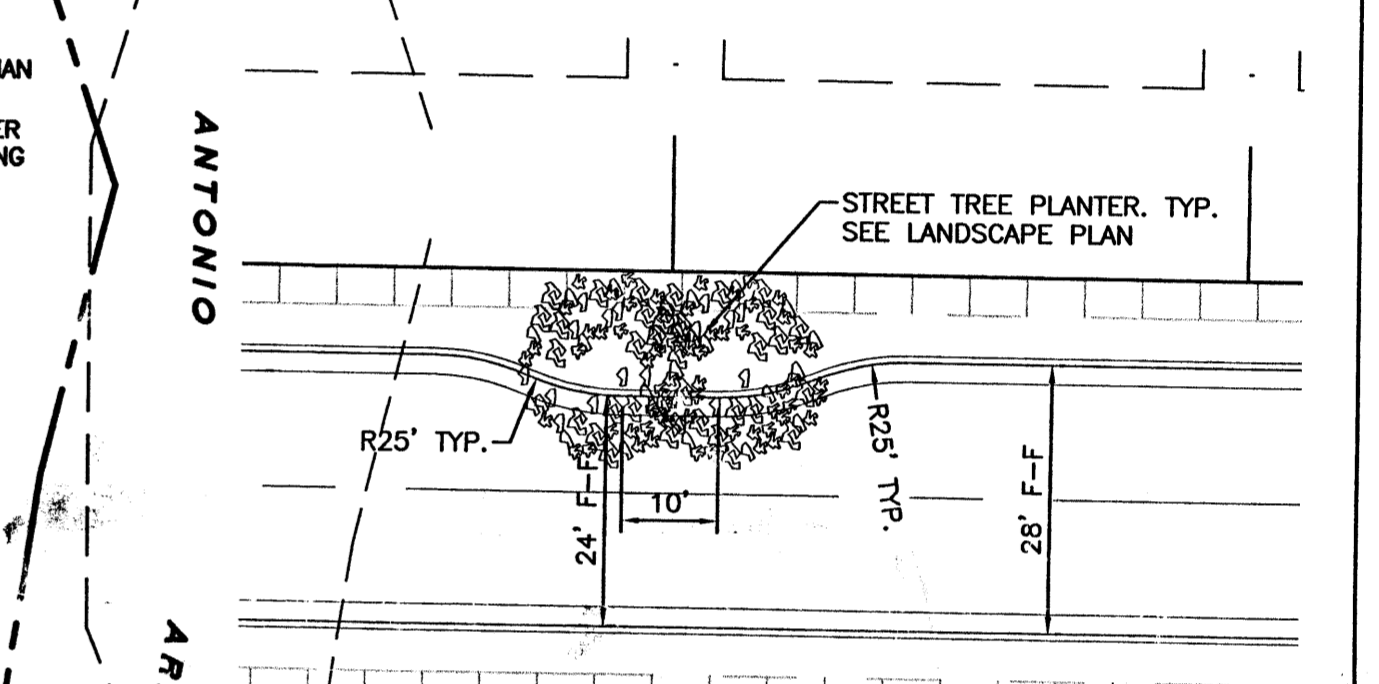


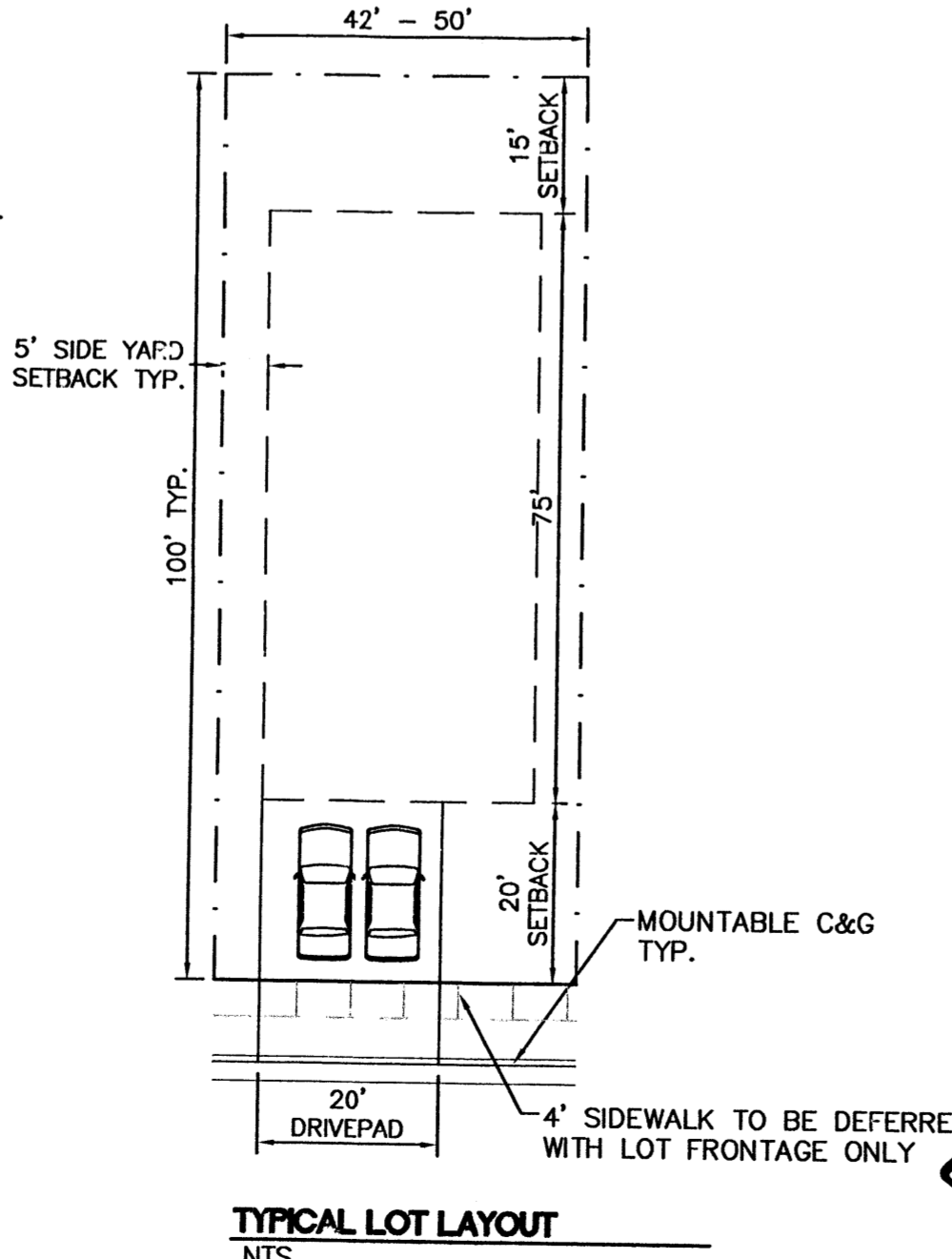
LEGAL DESCRIPTION
TRACT 2, KINSCHERFF LANDS TOGETHER WITH UNPLATTED LANDS OF FRISCO JOINT VENTURE

SITE DATA

PROPOSED USAGE:	SINGLE FAMILY HOUSING
TRACT AREA:	941,856 SF (21.62 ACRES)
NUMBER OF LOTS:	131
DENSITY:	6.06 UNITS PER ACRE
ZONING:	SU-1 FOR PRD



- GENERAL NOTES:**
- WALLS
 - a. WALLS SHALL CONFORM TO CITY'S DESIGN MANUAL FOR SUBDIVISION ACCESS & PERIMETER WALLS.
 - b. A 5" SPLIT CMU BLOCK SCREEN WALL SHALL BE PROVIDED AROUND THE PERIMETER.
 - STRUCTURES SHALL NOT EXCEED 26 FEET IN HEIGHT.
 - ALL STREETS WILL BE PUBLIC.
 - ALL BUILDING PERMIT SUBMITTALS SHALL CONTAIN THE EPC SIGNED OFF SITE PLAN.
 - ALL REAR YARD SETBACKS SHALL BE 15'.
 - STREET LIGHTING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE DPM STANDARDS AND MEET THE NIGHT SKY ORDINANCE.
 - THE PUBLIC WORKS DEPARTMENT COMMENTS AND CONDITIONS SHALL BE ADDRESSED AND ADHERED TO INCLUDING:
 - a. THE SUBDIVISION ACCESS, INTERNAL STREET PATTERNS, STRUCTURE ORIENTATION/DRIVEWAY CONFIGURATIONS MUST BE CONSTRUCTED TO THE SATISFACTION OF THE TRAFFIC ENGINEER.
 - b. PROVISION OF ADEQUATE PEDESTRIAN CIRCULATION WITH HANDICAPPED FEATURES WITHIN THE SITE AND WITH CONNECTIONS TO THE ADJACENT STREETS. THE USE OF APPROPRIATE HANDICAP RAMP AT THE TYPE OF INTERSECTION.
 - c. LOCATION OF WALLS, FENCES AND SIGNS MUST MEET THE CLEAR SIGHT DISTANCE REQUIREMENTS
 - d. PLACEMENT OF LANDSCAPE MATERIALS WITHIN UTILITY EASEMENTS EXCLUDES TREES.
 - e. SECONDARY TRAIL IMPROVEMENTS TO THE SAN ANTONIO ARROYO SHALL BE COORDINATED WITH THE CITY TRAILS COORDINATOR.
 - ALL ROOF PENETRATIONS SHALL BE PAINTED TO MATCH ROOF TILE COLOR.
 - NO ROOF-MOUNTED MECHANICAL EQUIPMENT ARE ALLOWED.
 - ALL STREET IMPROVEMENTS SHALL MEET DPM STANDARDS.
 - IN THE YARDS ABOUT EACH HOUSE, THE DEVELOPER SHALL PLANT TREES NO HIGHER THAN THE ADJACENT AND THEY SHALL BE OF THE FOLLOWING TYPES: VITEX, THREE-LEAF SUMAC, NEW MEXICO OLIVE, AND MEXICAN ELDER.
 - STREET AND HOUSE /GARAGE LIGHTING SHALL BE THE SHOE-BOX, CUT-OFF TYPE THAT DIRECTS LIGHT DOWN.
 - ONLY 1-STORY HOUSES SHALL BE BUILT ON THE FOLLOWING LOTS: 1, 130, 110-123, 98-107, 84-86, AND 60-68, AND 11-13.
 - THE BUILDING'S MASS SHALL BE BROKEN UP BY VERTICAL AND HORIZONTAL OFFSETS TO CREATE INTEREST IN THE BUILDING FORM AND REDUCE THE APPEARANCE OF GARAGE-SCAPE.
 - VARIED SETBACKS AND ELEVATIONS SHALL BE USED WITH EVERY THIRD HOUSE VARYING FROM THE NEXT. ALTERNATIVELY, THE LIVING SPACE OF EVERY ELEVATION SHALL BE BROUGHT FORWARD SO THAT IT IS NO MORE THAN 10 FEET FROM THE FRONT OF THE GARAGE.
 - BUMPOUTS AND WALL OFFSETS SHALL BE TWO TREES OF THE SPECIES RECOMMENDED (VITEX, THREE LEAF SUMAC, NEW MEXICO OLIVE AND MEXICAN ELDER) SHALL BE PLANTED AS SHOWN AND THE SITE PLAN AND LANDSCAPE PLAN.
 - GARAGE DOORS SHALL MATCH THE EXTERIOR WALL COLOR OF THE HOUSE AND SHALL HAVE A ROW OF WINDOWS ALONG THE TOP.
 - ELEVATIONS WHERE THE MAIN ENTRY DOOR IS ON THE SIDE OF THE HOUSE SHALL NOT BE ALLOWED.



02EPC-CO838
APP#02EPC-01507

PROJECT NUMBER: 1001875

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

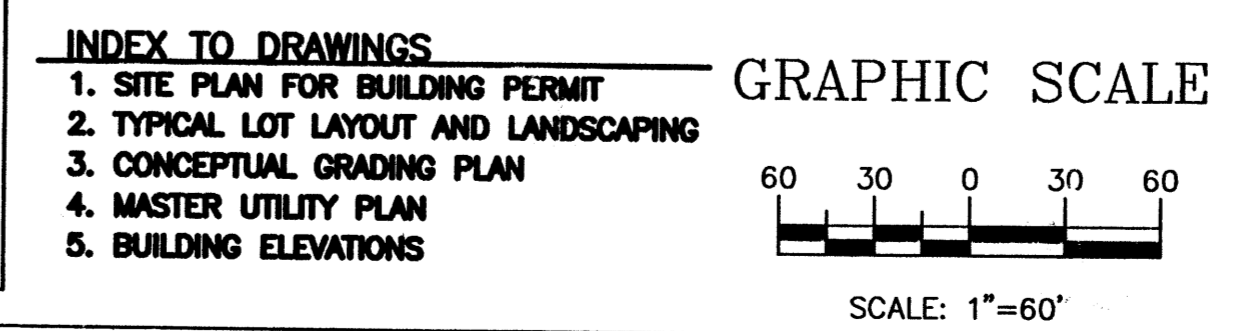
<i>Michael Helton</i> Traffic Engineer, Transportation Division	11/13/02 Date
<i>Christina Sanchez</i> Parks & Recreation Department	11/13/02 Date
<i>Roger A. Green</i> Public Works, Water Utilities Division	11/13/02 Date
<i>Bradley A. Bisher</i> City Engineer, Engineering Division / AMAFCA	11/13/02 Date
<i>Michael Helton</i> Solid Waste	12-4-02 Date

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.

BS
City Planner, Albuquerque / Bernalillo
County Planning Division

12-10-02
Date

PLNZ (10706) 4/5



LEGEND

---	EXISTING SANITARY SEWER LINE
---	EXISTING WATER LINE
---	EXISTING STORM SEWER LINE
---	EXISTING CURB & GUTTER
---	BOUNDARY LINE
---	EASEMENT
---	PROPOSED SIDEWALK
---	SIDEWALKS TO BE DEFERRED
---	PROPOSED RETAINING WALL
---	PROPOSED MOUNTABLE CURB & GUTTER
---	PROPOSED STANDARD CURB & GUTTER

WESTERN TRAILS ESTATES

SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT

TERRA WEST, LLC
8508 JEFFERSON NE
ALBUQUERQUE, NEW MEXICO 87113
(505)858-3100

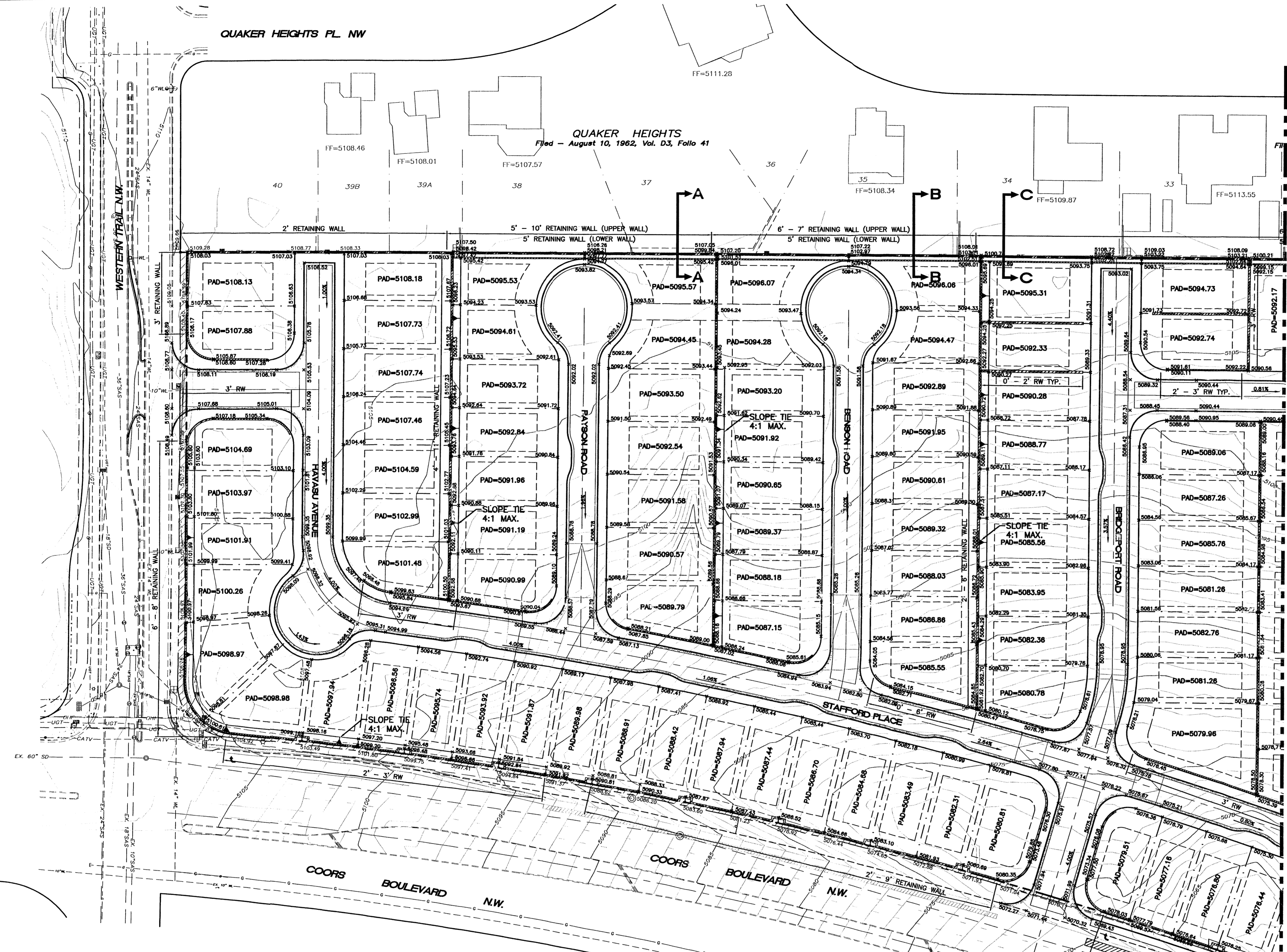
ENGINEER'S SEAL
RONALD R. BOHANNAN
P.E. #7868

DRAWN BY	BDG
DATE	11/13/02
PROJECT	21112SP.DWG
SHEET #	1
JOB #	21112

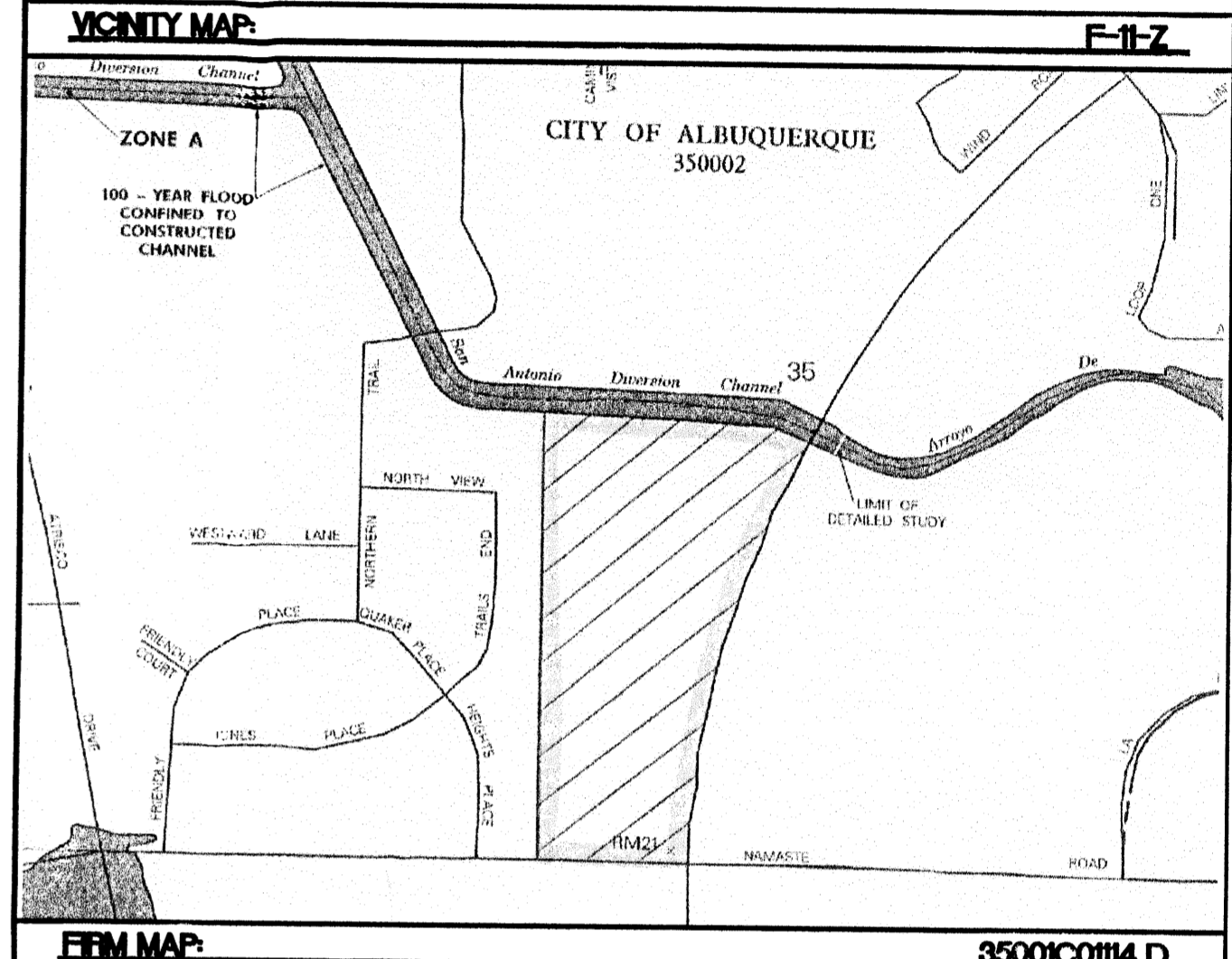
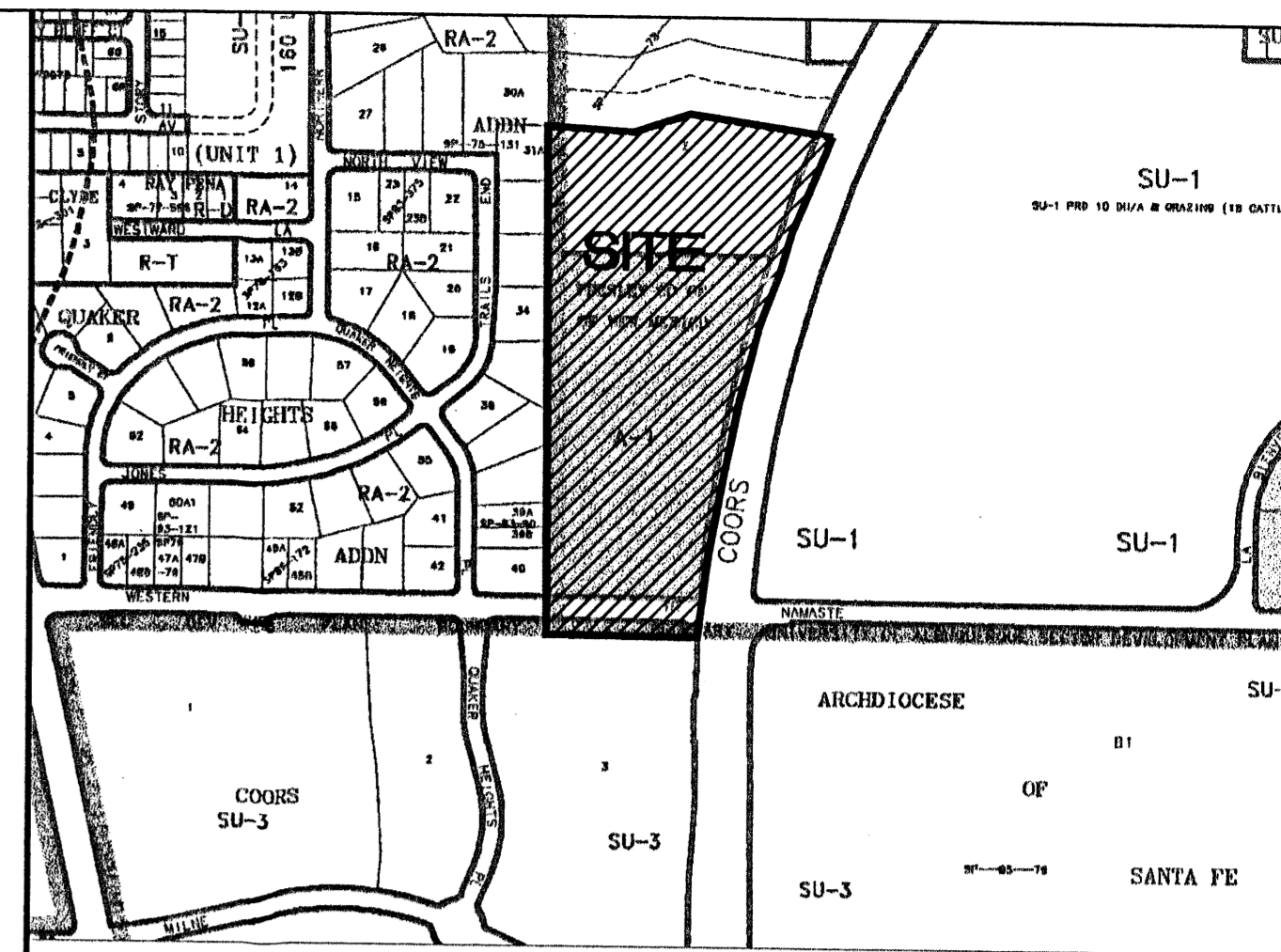
PROJECT # 1001875

QUAKER HEIGHTS PL NW

QUAKER HEIGHTS
Filed - August 10, 1962, Vol. D3, Folio 41



MATCHLINE
SEE SHEET 4



LEGAL DESCRIPTION:
TRACT 2 KINSCHERFF LANDS TOGETHER WITH UNPLATTED LANDS
OF FRISCO JOINT VENTURE

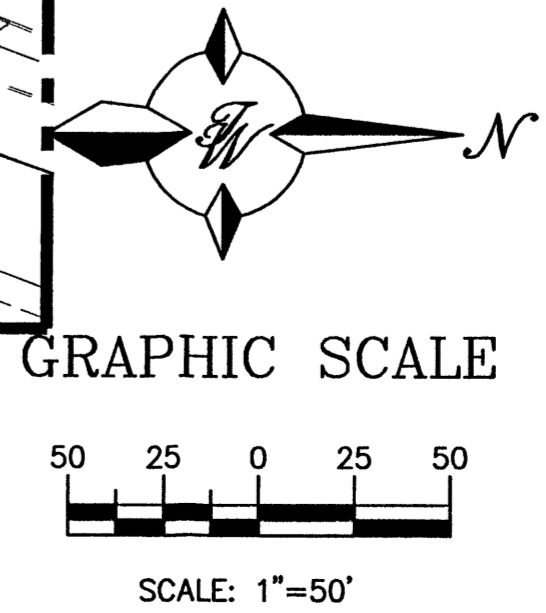
NOTES:
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

LEGEND

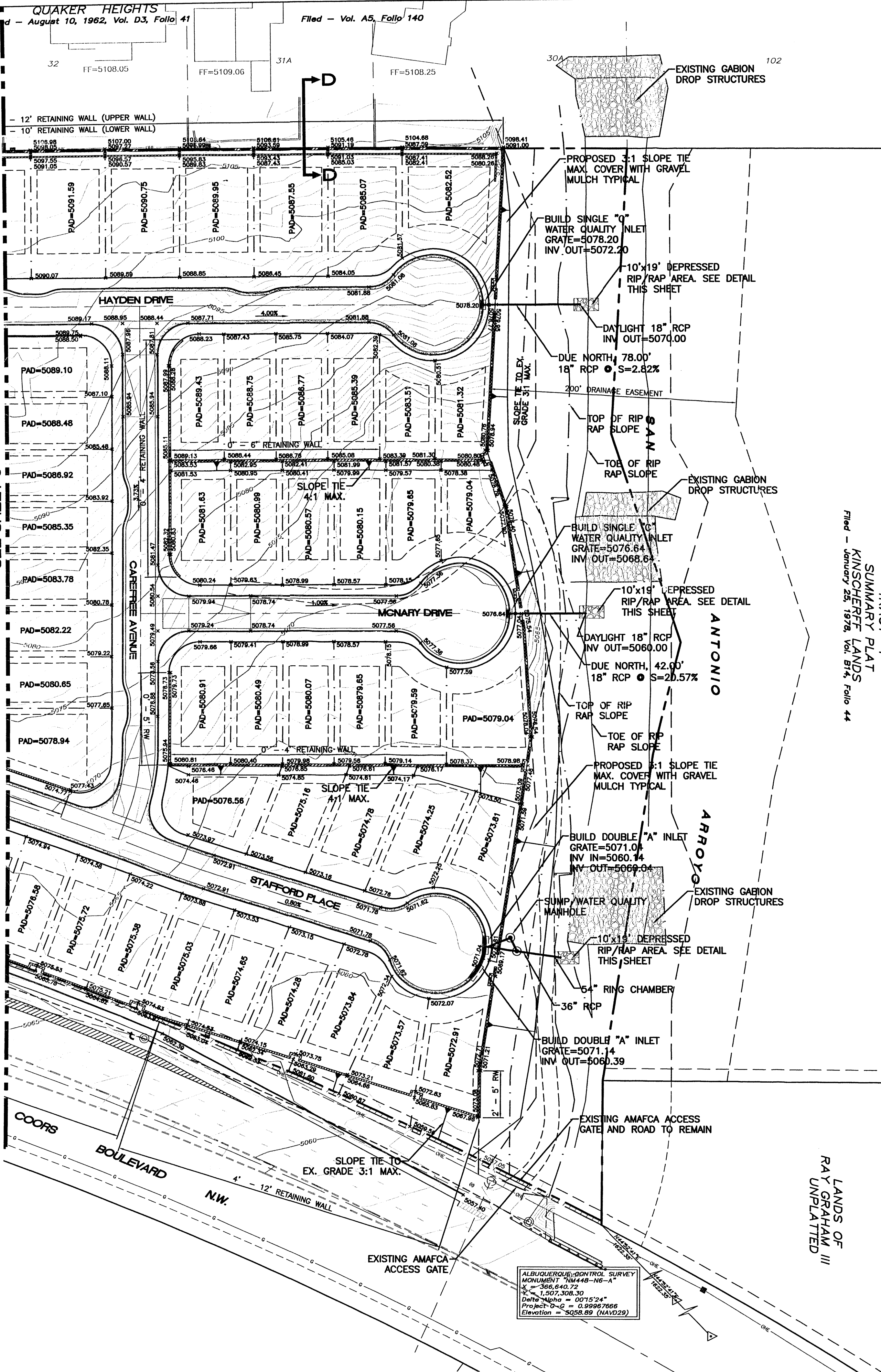
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER LINE
	PROPOSED STORM SEWER MANHOLE
	EXISTING STORM SEWER LINE
	EXISTING CURB & GUTTER
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
	EASEMENT
	PROPOSED FENCE
	EDGE OF NEW PAVING
	PROPOSED TEMPORARY ASPHALT CURB
	PROPOSED MOUNTABLE CURB & GUTTER
	PROPOSED STANDARD CURB & GUTTER

- EROSION CONTROL PLAN, NPDES PERMIT AND POLLUTION PREVENTION NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUN OFF ON SITE.
 - REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
 - CONTRACTOR IS RESPONSIBLE FOR OBTAINING NPDES PERMIT FOR THE SITE

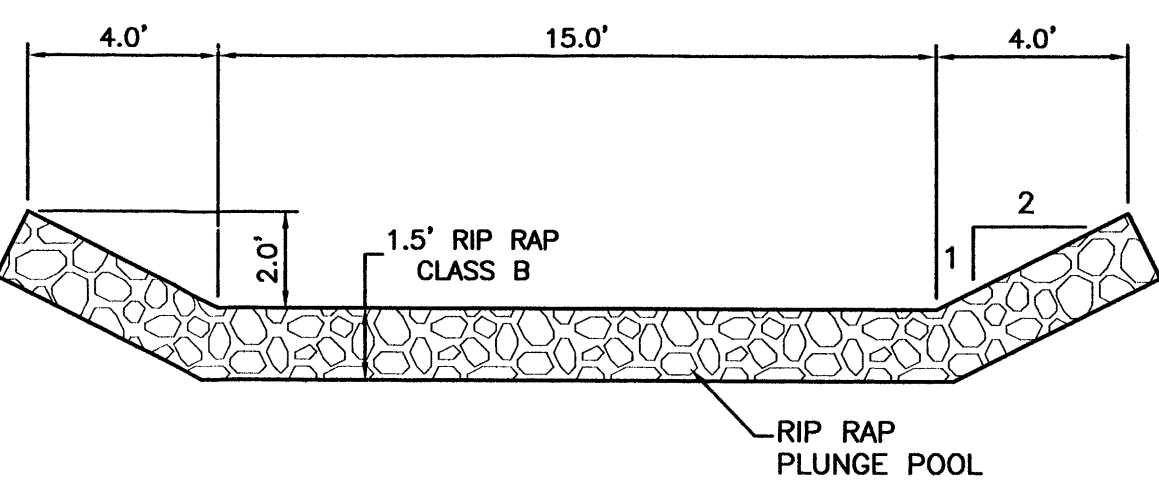
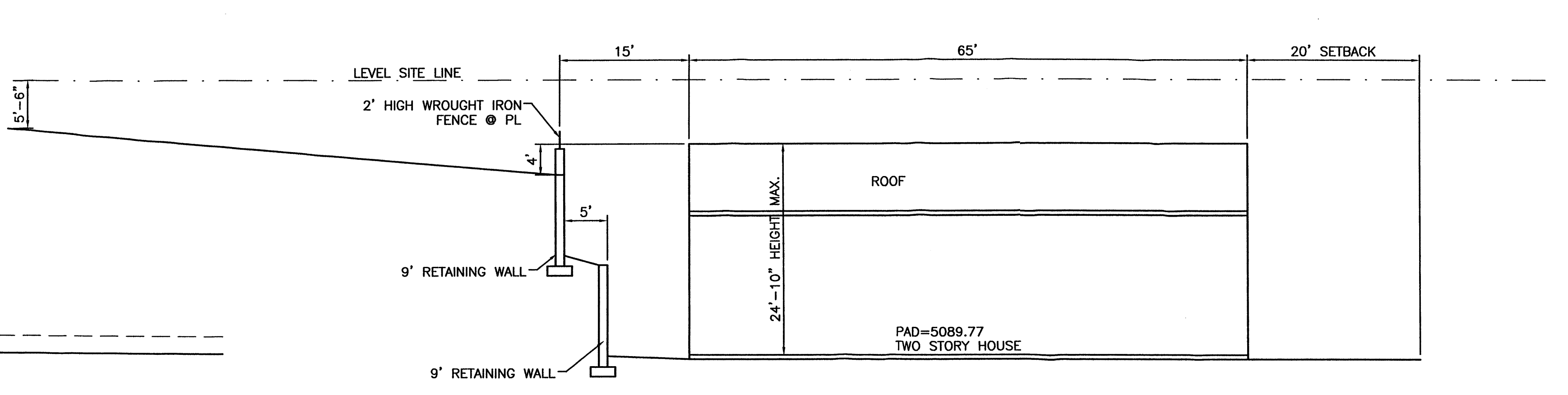
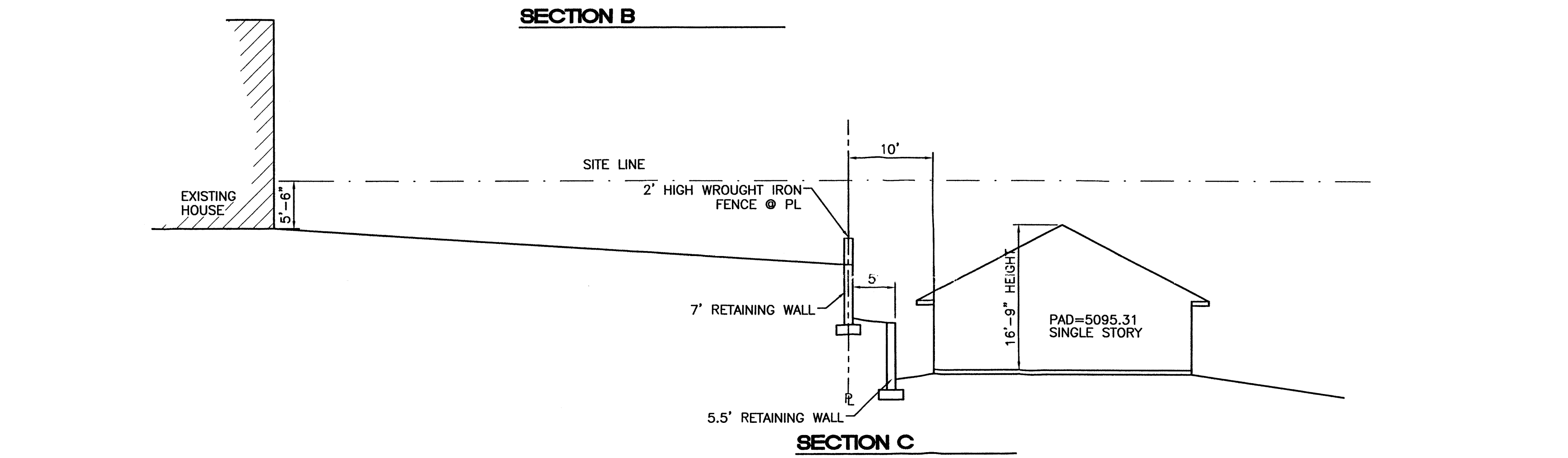
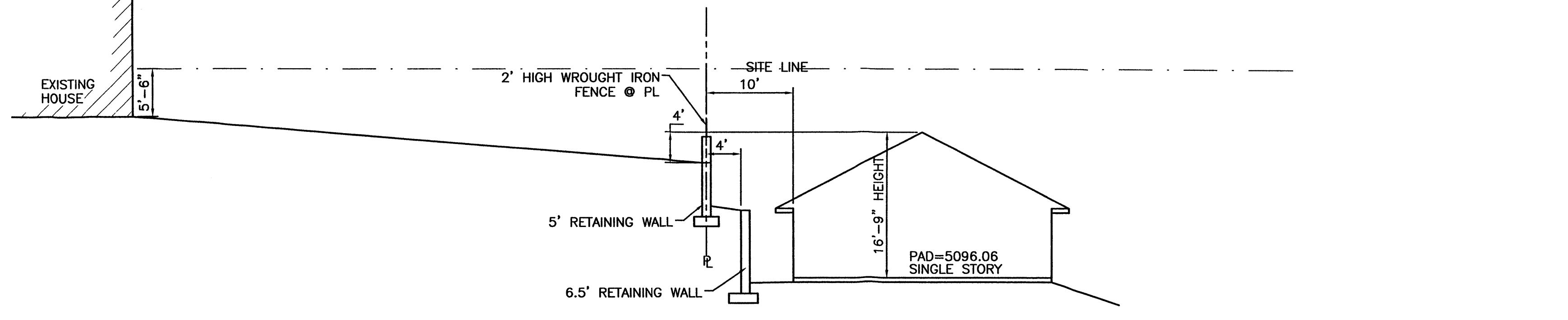
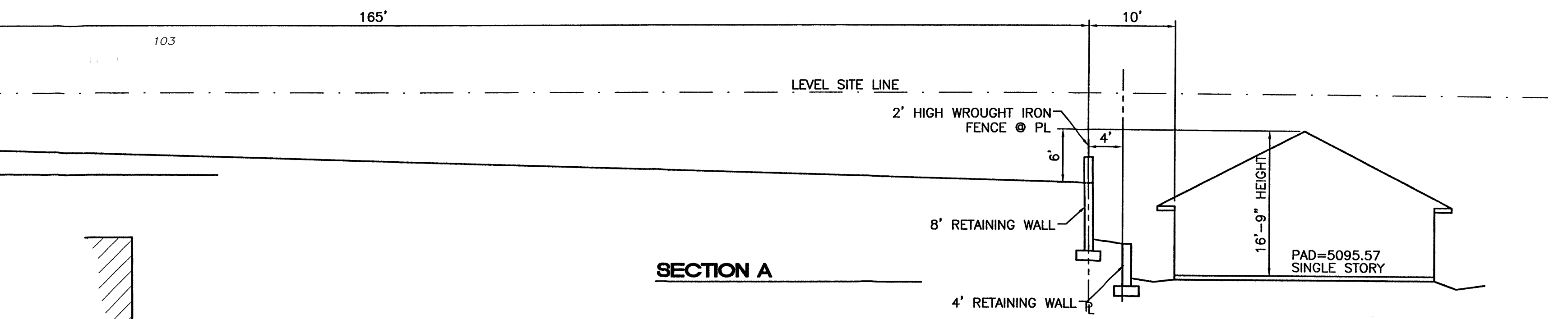
- AMAFCA STANDARD NOTES**
- AMAFCA FIELD ENGINEER SHALL BE NOTIFIED 48-HOURS PRIOR TO ANY WORK WITHIN THE AMAFCA RIGHT OF WAY. TEL 884-2215 JERRY LOVATO.
 - NO WORK WILL BE PERFORMED IN THE AMAFCA RIGHT OF WAY BETWEEN MAY 15 AND OCTOBER 15 WITHOUT WRITTEN PERMISSION FROM AMAFCA.
 - ALL SUBGRADE, BACKFILL AND EMBANKMENT SHALL BE COMPACTED 95% (MODIFIED PROCTOR) WITHIN THE AMAFCA RIGHT OF WAY. TESTING REPORTS SHALL BE PROVIDED TO AMAFCA FIELD ENGINEER.
 - AMAFCA FIELD ENGINEER WILL BE NOTIFIED 48-HOURS PRIOR TO FINAL INSPECTION OF ANY FACILITIES WITHIN THE AMAFCA RIGHT OF WAY.
 - ALL DISTURBED GROUND AREAS SHALL BE REVEGETATED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, SECTION 1012 NATIVE GRASS SEEDING, AS CURRENTLY UPDATED.



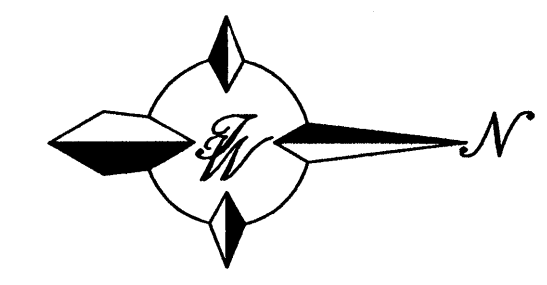
ENGINEER'S SEAL RONALD R. BOHANNAN P.E. #7888	WESTERN TRAILS ESTATES GRADING AND DRAINAGE PLAN	DRAWN BY BDG DATE 10/11/02 21112GR.DWG
	TIERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)850-3100	SHEET # 3 JOB # 220025



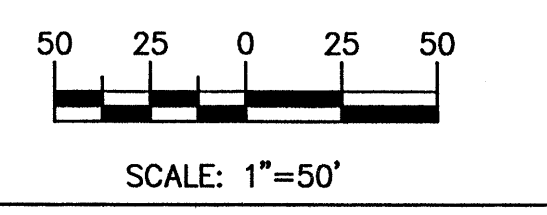
TRACT 1
 SUMMARY PLAT
 KINSCHERFF LANDS
 Filed - January 25, 1978, Vol. 814, Folio 44



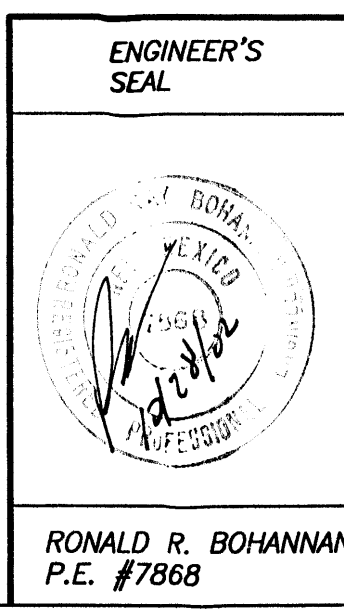
DEPRESSED RIP RAP DETAIL



GRAPHIC SCALE

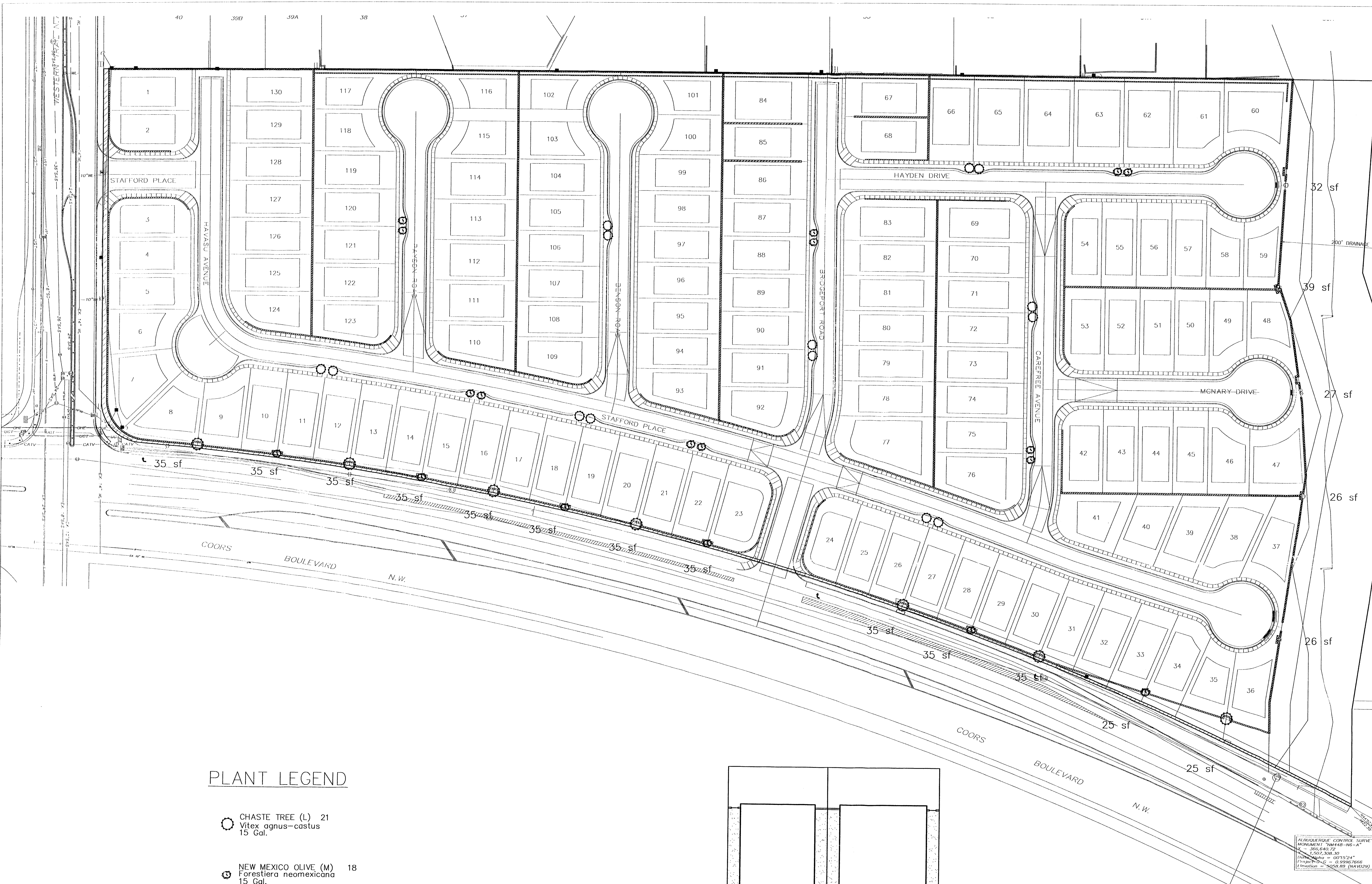


ROUGH GRADING APPROVAL



WESTERN TRAILS ESTATES
GRADING AND DRAINAGE PLAN
 TIERRA WEST, LLC
 8509 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)858-3100

ENGINEER'S SEAL
 DRAWN BY BDG
 DATE 10/29/02
 21112GR1.DWG
 SHEET # **4**
 JOB # 21112



STREET TREE REQUIREMENTS
 Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:
 Coors Boulevard
 Required: 48 Provided: 48

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

LANDSCAPE NOTES:
 Landscape maintenance shall be the responsibility of the Property Owner.
 It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Mesa Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
 Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

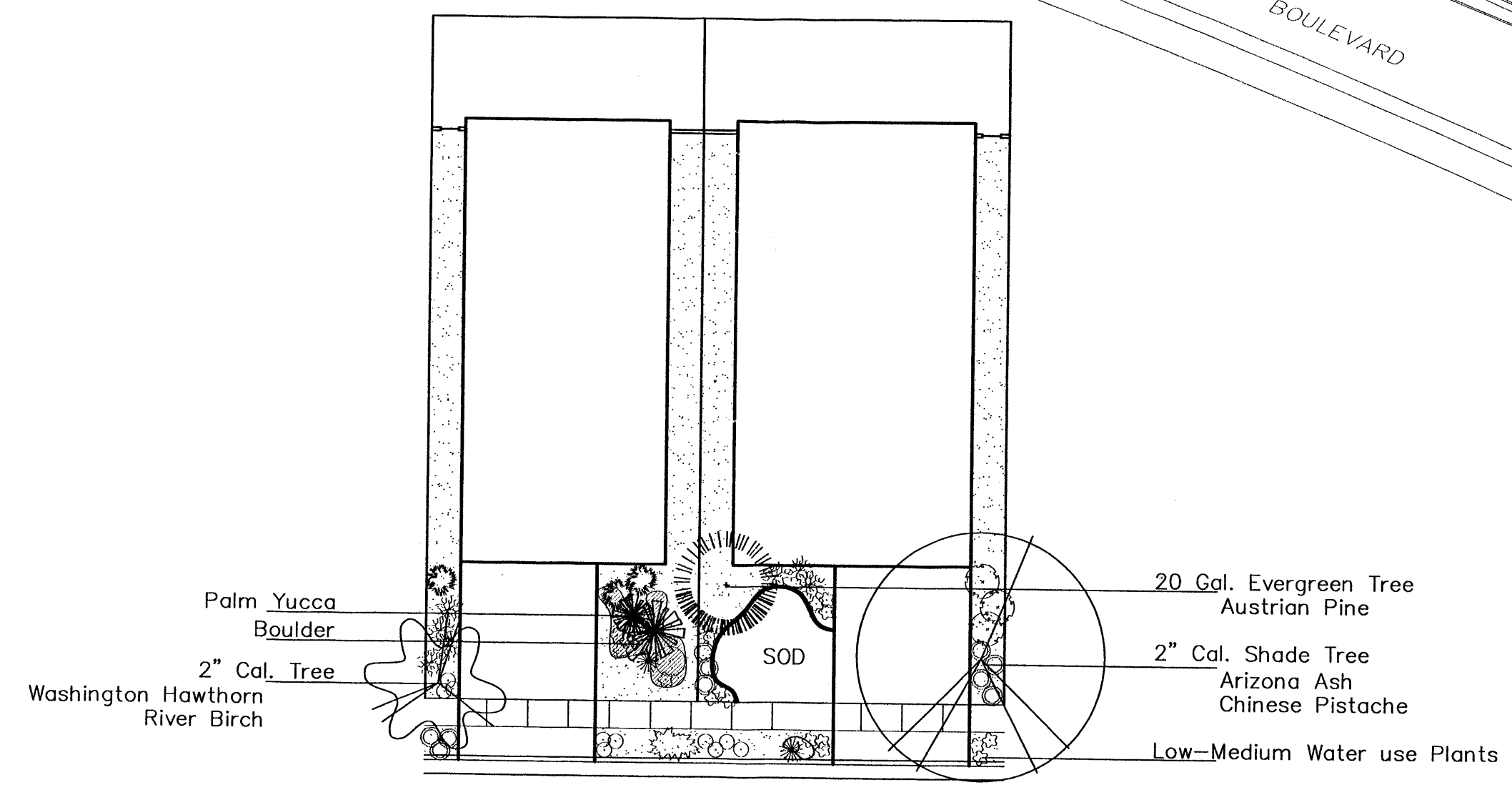
Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

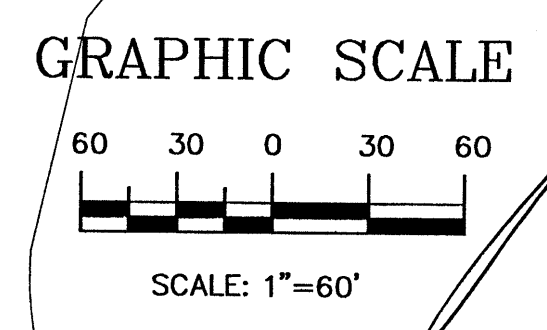
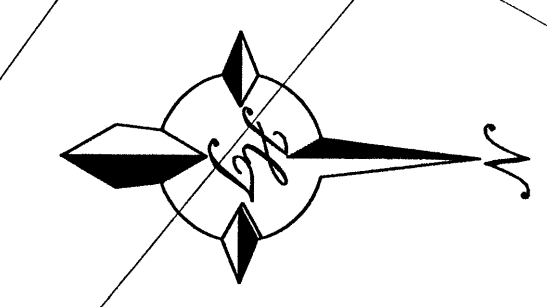
Irrigation maintenance shall be the responsibility of the Property Owner.

PLANT LEGEND

- CHASTE TREE (L) 21
Vitex agnus-castus
15 Gal.
- NEW MEXICO OLIVE (M) 18
Forestiera neomexicana
15 Gal.
- LANAS/ SCOTCH BROOM (M) 3
Cytisus scoparius/
Genista hispanica
5 Gal.
- APACHE PLUME (L) 2
Fallugia paradoxa
5 Gal.
- AUTUMN SAGE (M) 2
Salvia greggii
2 Gal.



Street Trees Shown On Plan Will Be Installed With The Standard Landscape Package And Will Become The Responsibility Of Individual Property Owner To Maintain

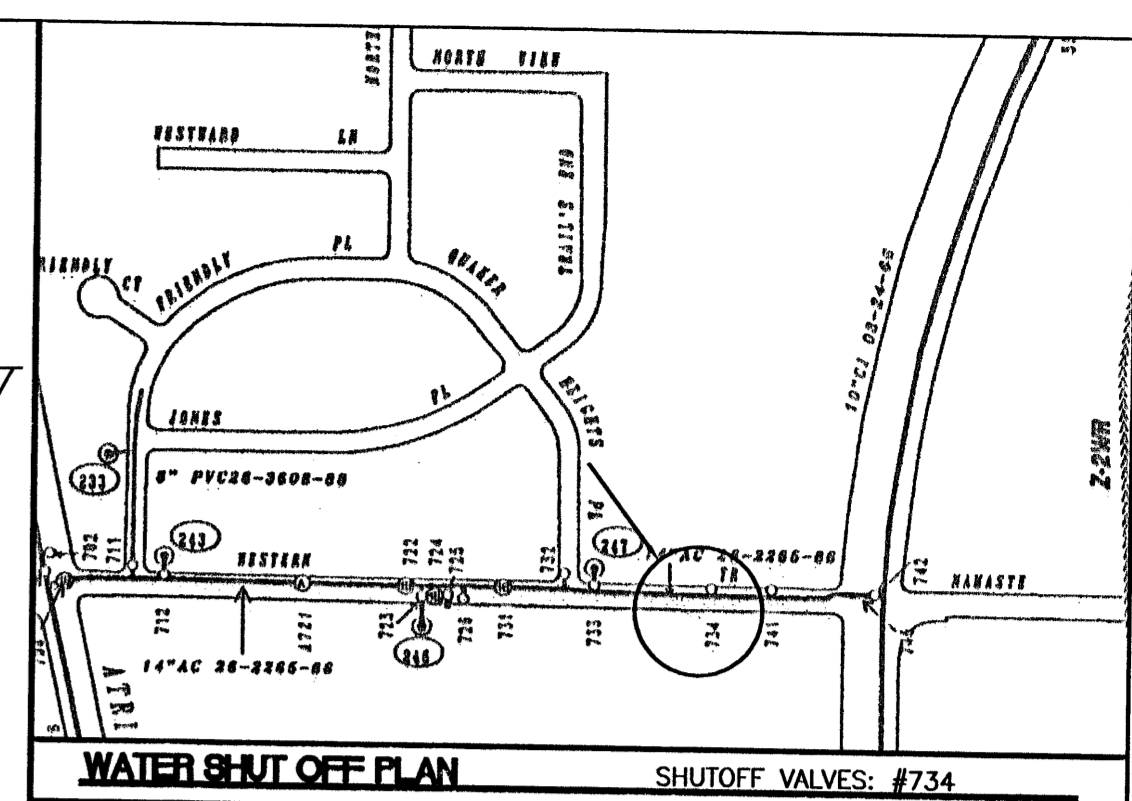


LANDSCAPE ARCHITECT'S SEAL
 STATE OF NEW MEXICO
 JAMES DEFLOM
 0007
 10-30-02
 JAMES DEFLOM
 #0007

WESTERN TRAIL ESTATES
 LANDSCAPE PLAN
 TIERRA WEST, LLC
 8509 JEFFERSON NE
 ALBUQUERQUE, NEW MEXICO 87113
 (505)858-3100

DRAWN BY	CMD
DATE	9/17/02
FILE	HTLS-01.DWG
SHEET #	1
JOB #	21112

△ CMD 10-30-02 Revision per T. West
 △ DLB 9-18-02 Revision Per Tierra West
 △ DLB 9-11-02 Revision Per Tierra West

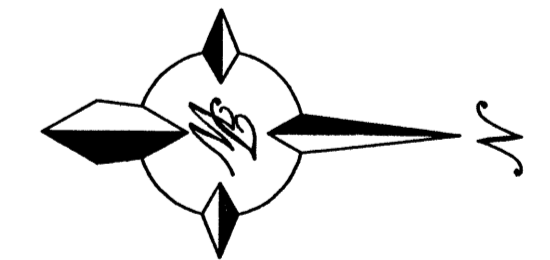


WATER SHUT OFF PLAN SHUTOFF VALVES: #734

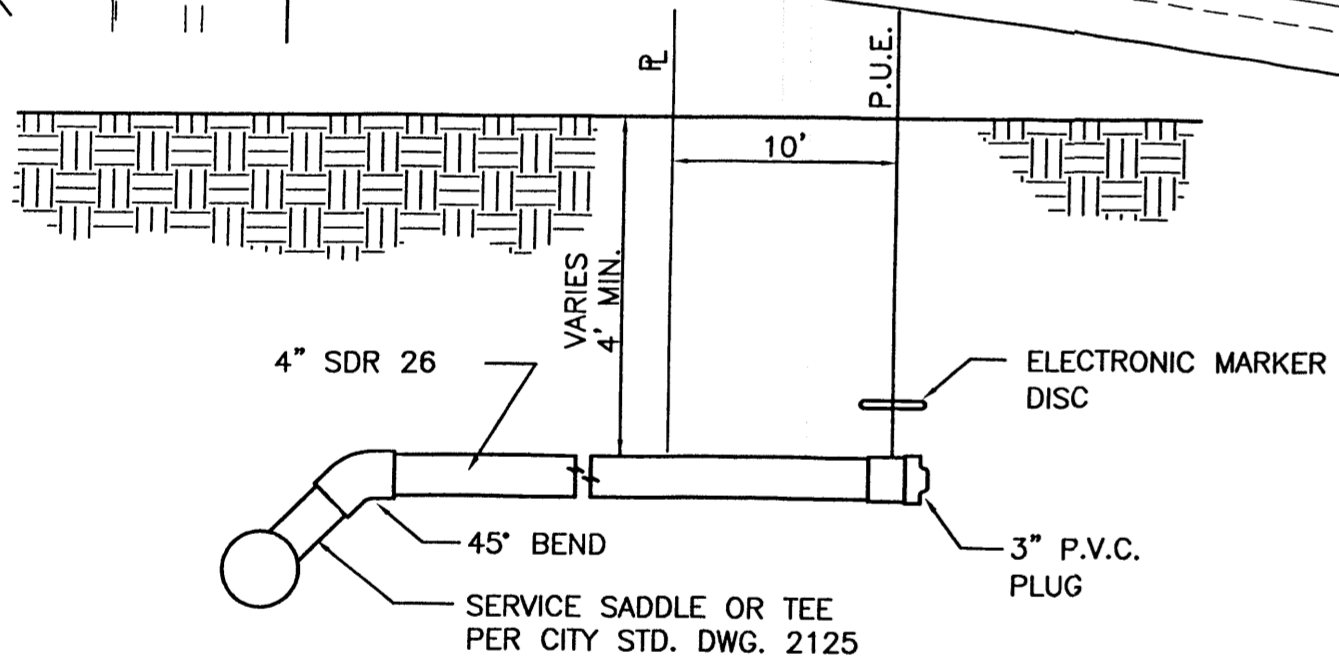
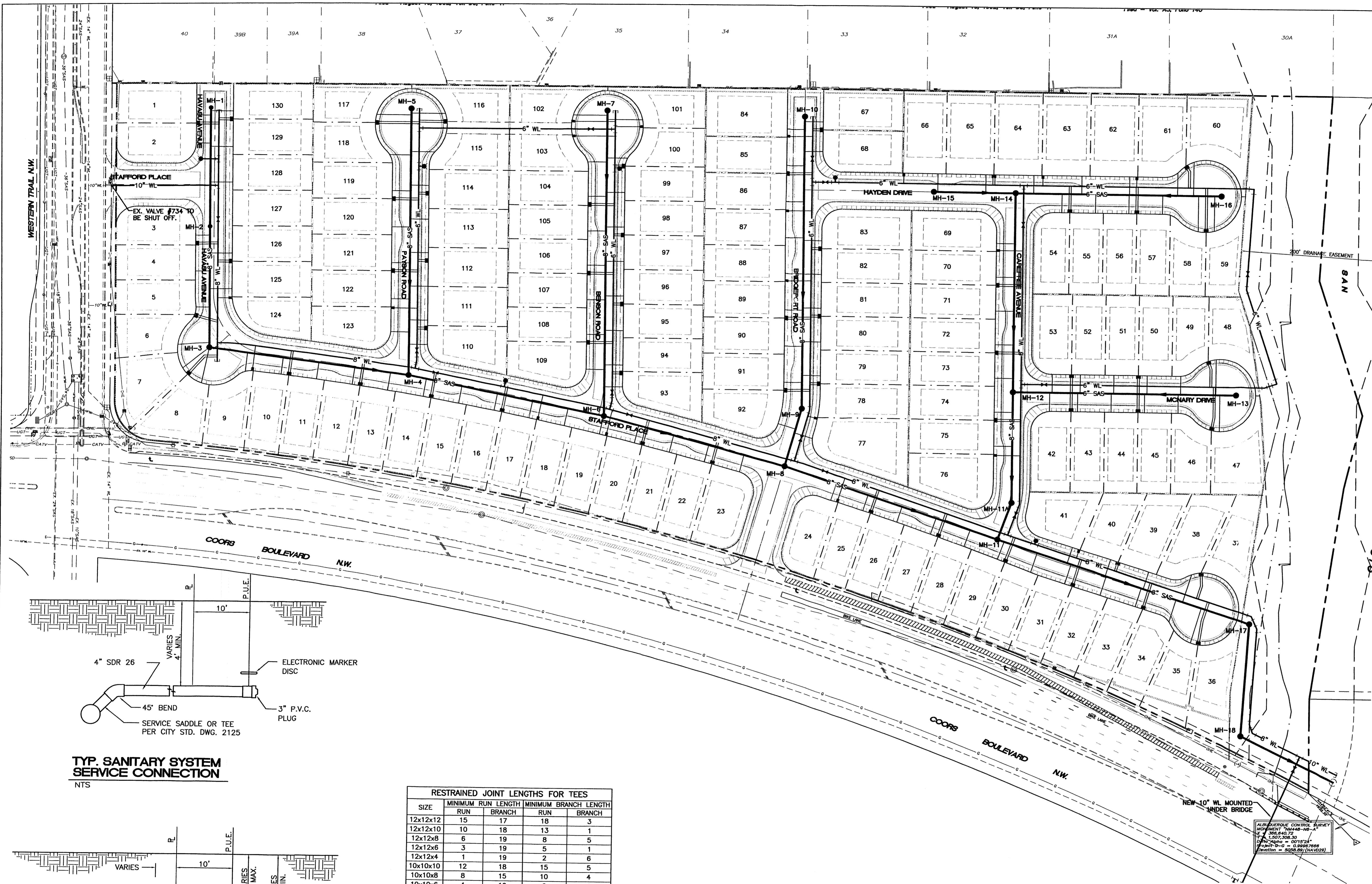
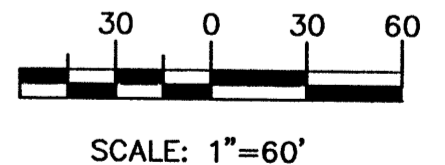
1. ONLY WATER SYSTEMS PERSONNEL ARE AUTHORIZED TO OPERATE VALVES.
2. NOTIFY CITY OF ALBUQUERQUE, WATER SYSTEMS DIVISION (PHONE 857-8200) FIVE (5) WORKING DAYS IN ADVANCE OF NEEDING EXECUTION OF THE WATER SHUT OFF PLAN
3. APPROXIMATE SHUT OFF TIME WILL BE 24 HOURS.
4. SHUTOFF THE VALVES INDICATED IN THE PLAN ABOVE.

CAUTION
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

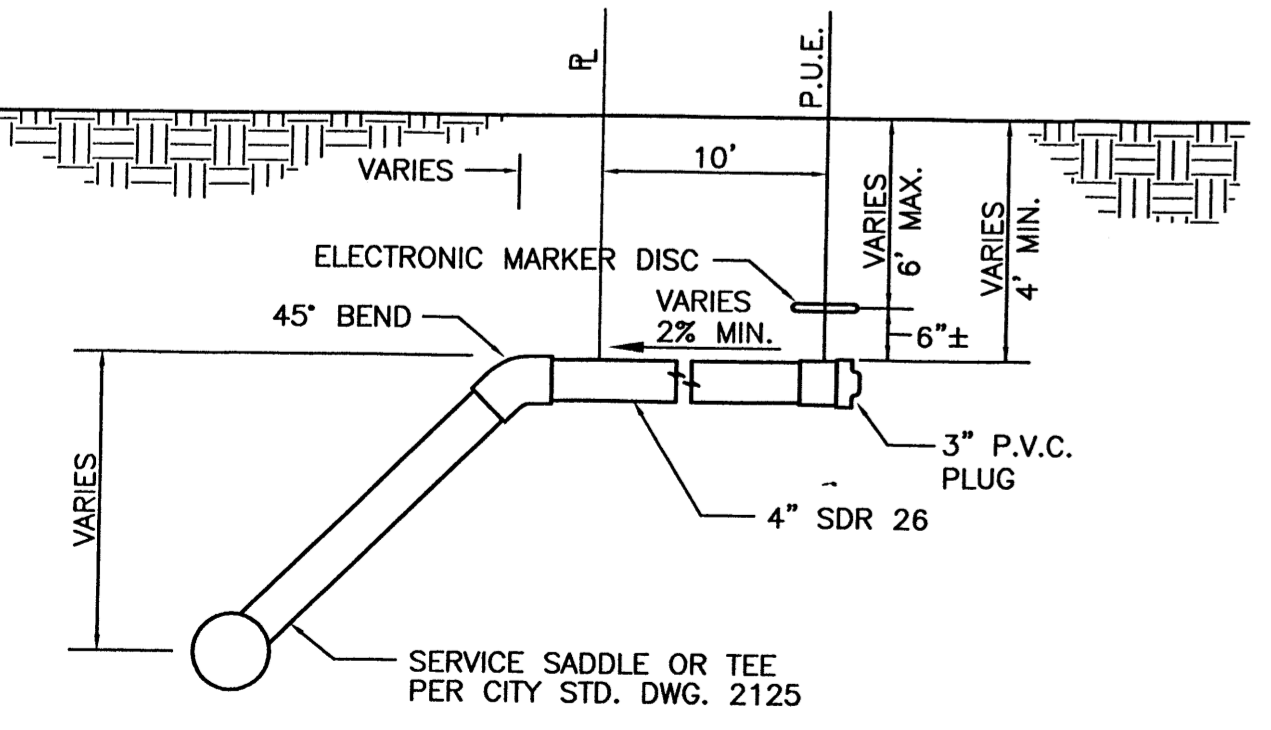
- LEGEND**
- EXISTING SD MANHOLE
 - EXISTING SAS MANHOLE
 - EXISTING METER
 - EXISTING VALVE W/BOX
 - EXISTING FIRE HYDRANT
 - PROPOSED CLEAN OUT
 - PROPOSED DOUBLE CLEAN OUT
 - EX. 8" SAS
 - EX. 16" WL
 - EXISTING WATER LINE
 - EXISTING CURB & GUTTER
 - PROPOSED STORM DRAIN
 - PROPOSED SANITARY SEWER LINE
 - PROPOSED WATERLINE
 - BOUNDARY LINE



GRAPHIC SCALE



TYP. SANITARY SYSTEM SERVICE CONNECTION
NTS



TYP. SANITARY SYSTEM SERVICE CONNECTION FOR DEEP SANITARY SEWERS
NTS

RESTRAINED JOINT LENGTHS FOR TEES

SIZE	MINIMUM RUN LENGTH		MINIMUM BRANCH LENGTH	
	RUN	BRANCH	RUN	BRANCH
12x12x12	15	17	18	3
12x12x10	10	18	13	1
12x12x8	6	19	8	5
12x12x6	3	19	5	1
12x12x4	1	19	2	6
10x10x10	12	18	15	5
10x10x8	8	15	10	4
10x10x6	4	16	6	1
10x10x4	2	4	3	1
8x8x8	9	20	13	3
8x8x6	5	17	7	5
8x8x4	2	15	3	6
6x6x6	6	20	10	2
8x8x4	2	20	4	7

RESTRAINED JOINT LENGTHS FOR BENDS, VALVES, AND DEAD ENDS

SIZE	HORIZONTAL BENDS				VALVES	DEAD END
	90°	45°	22-1/2°	11-1/4°		
12	30	12	6	3	85	
10	26	11	5	3	72	
8	22	9	4	2	60	
6	17	7	3	2	46	
4	12	5	2	1	32	

RESTRAINED JOINT LENGTHS FOR REDUCERS

SIZE	L. SIDE		S. SIDE		
	L. SIDE	S. SIDE	L. SIDE	S. SIDE	
12x10	25	30	10x6	44	73
12x8	45	68	10x4	58	141
12x6	62	121	8x6	25	33
12x4	74	213	8x4	43	83
10x8	24	30	6x4	24	35

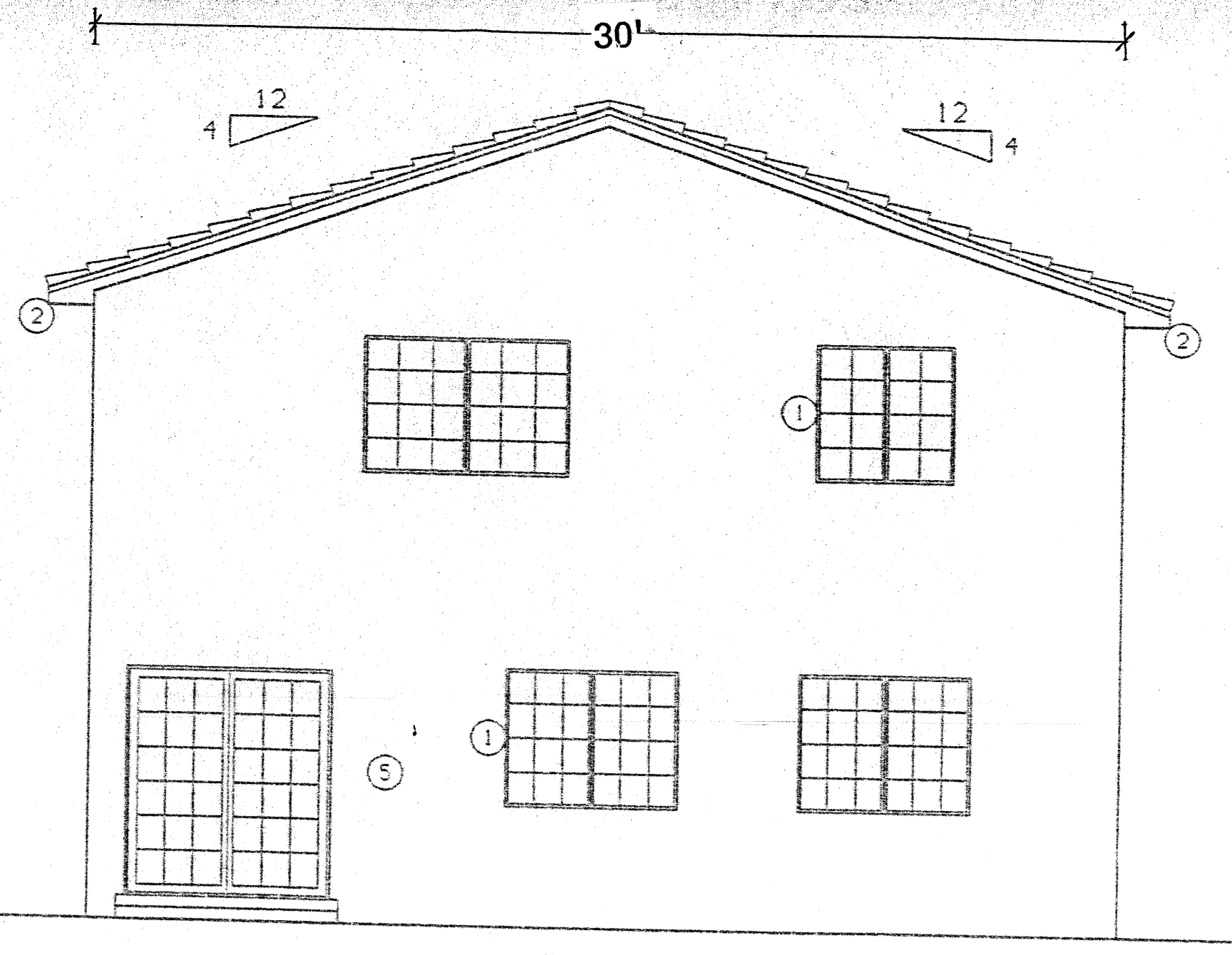
NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. CONTRACTOR IS RESPONSIBLE TO PROVIDE UTILITY STUBS 5' FROM BUILDING

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
12/9/02
SIGNATURE & DATE

ENGINEER'S SEAL 	WESTERN TRAILS ESTATES	DRAWN BY BDG
	MASTER UTILITY PLAN	DATE 11/12/02
TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	21112MU1.DWG	SHEET # 4
		JOB # 21112

Manufacturer's # / Color	Actual Color
Stucco Colors	
#127	Hacienda
#128	Cream
#117	Fawn
#119	Palomino
#121	Sandalwood
#122	Straw
#106	Buckskin
#111	Driftwood
#118	Suede
#110	Ash
#115	Cottonwood
#130	Pueblo
Roof Tiles	
#0644	Hopi Blends
#7694	Verde Blend C/T
#0024	Desert Sage C/T
#3211	Fawn Brown
#6736	Heirloom Blends
#5225	Shadow Grey
#3601	Desert Driftwood C/T
#6661	International Blend
#3119	
#3125	
#3136	
#3241	
#3203	
#3204	
#3247	
#3314	
#3344	
#8401	
#8402	
#8403	
#8645	
#8607	
Exterior Paint Colors	
#393	Sonoma
#514	Courtyard
#515	Spruce
#115	Cape Code Gray
#001	White
#181	White Shadow
#390	Western Beige
#213	Travatan
#182	Arizona White
#307	Navajo White
#516	Cypress Point



Manufacturer's # / Color	Actual Color
#545	Crown Point
#539	Casita
#546	Heatherstone
#527	Market Basket
#526	Clidell
#541	Painted Desert
#381	Mesa Tan
#521	Tuscany
#552	Cadmium
#553	Stormy Sky
#529	Bergamot
#547	Valley Lake
#555	Covered Bridge
#534	Sisal
#549	Presidio at Sunset
#533	Cilantro
#556	Pampas White
#525	Baja Beige
#538	Country Estate
#395	Alfresco
#550	Tumbled Stone
#551	Woodrose
#581	Balsam

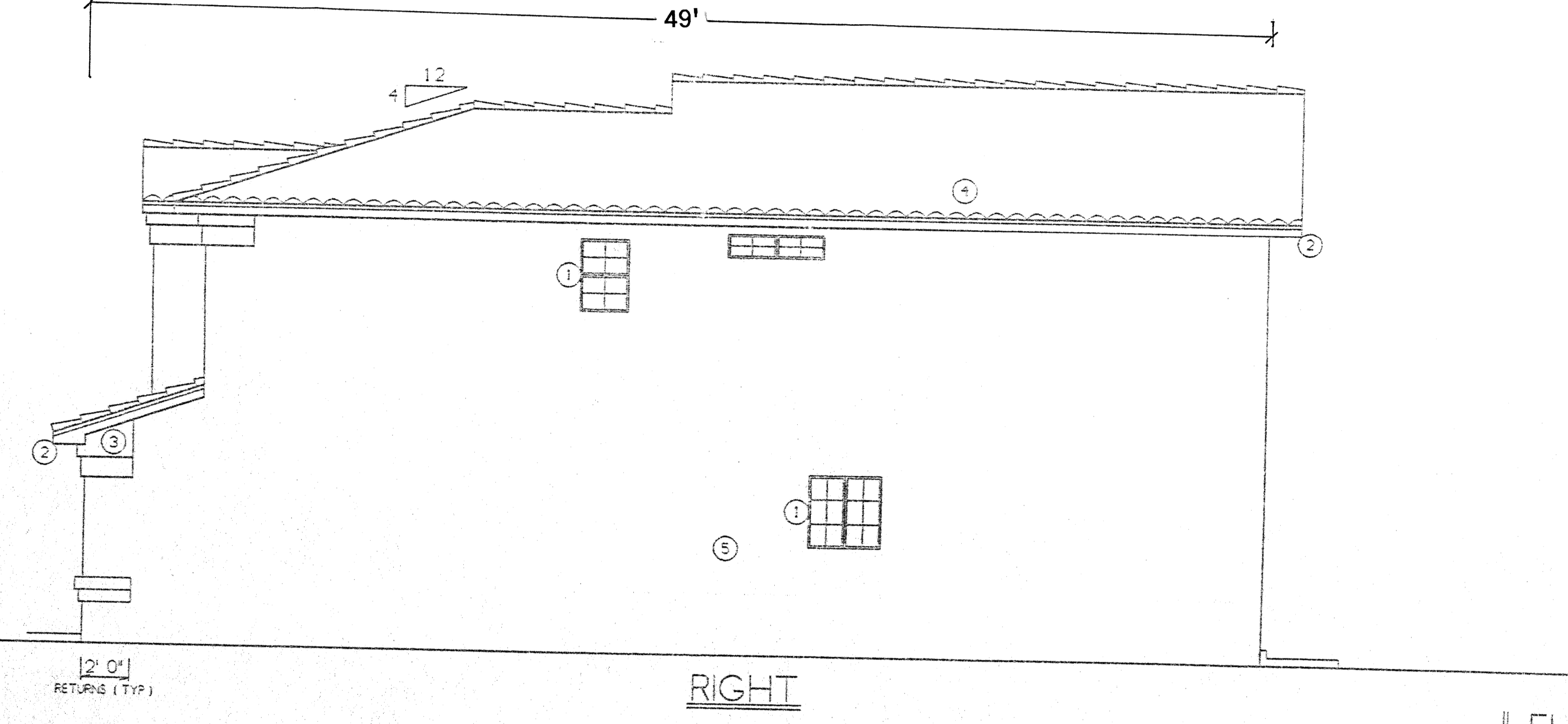
PLAN 1840
ELEVATION A
RHC

RICHARD FULLER
HOMES, INC.
P. O. BOX 17090 ALBUQUERQUE, N.M. 87112 (505) 868-4740

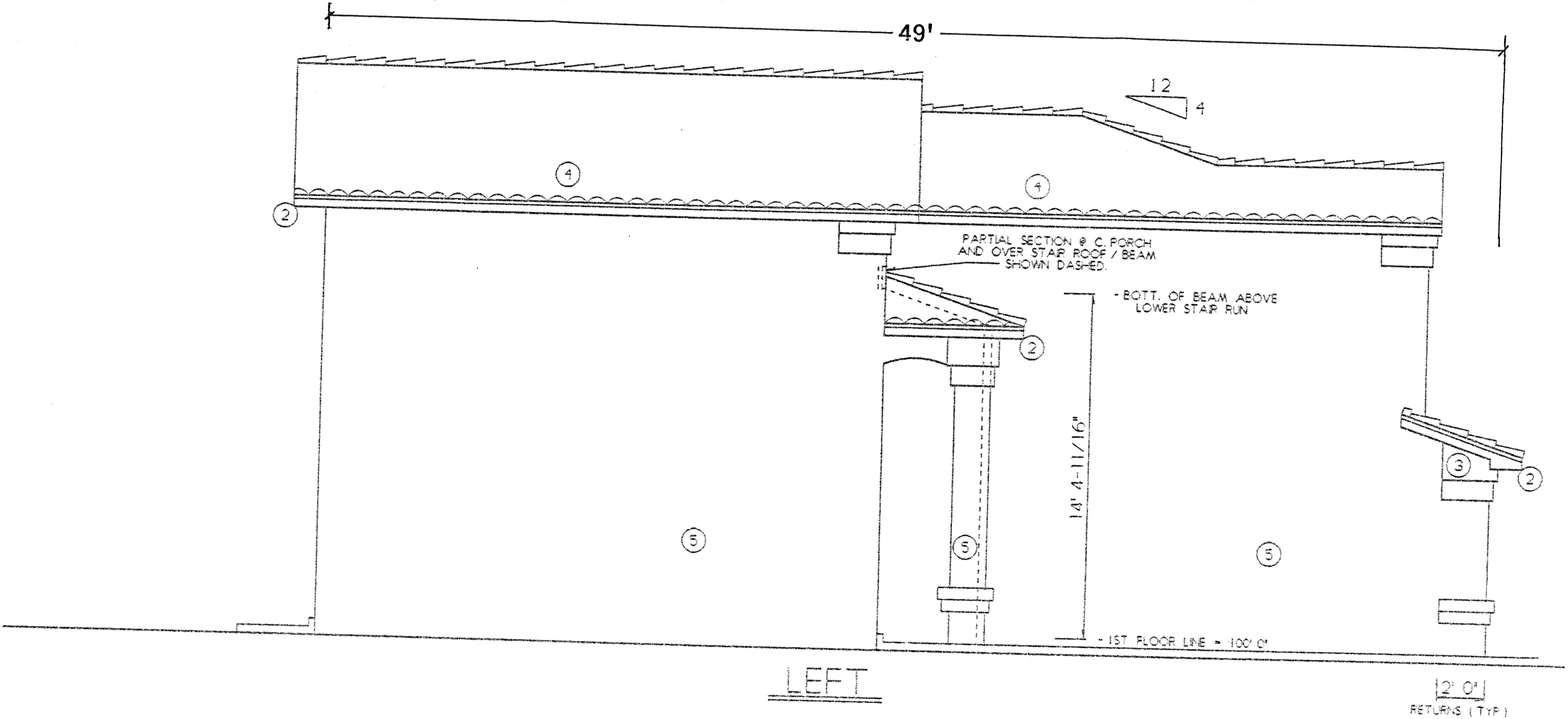
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ELEVATION NOTES
(ALL NOTES CONTAINED FROM PREVIOUS PAGE)

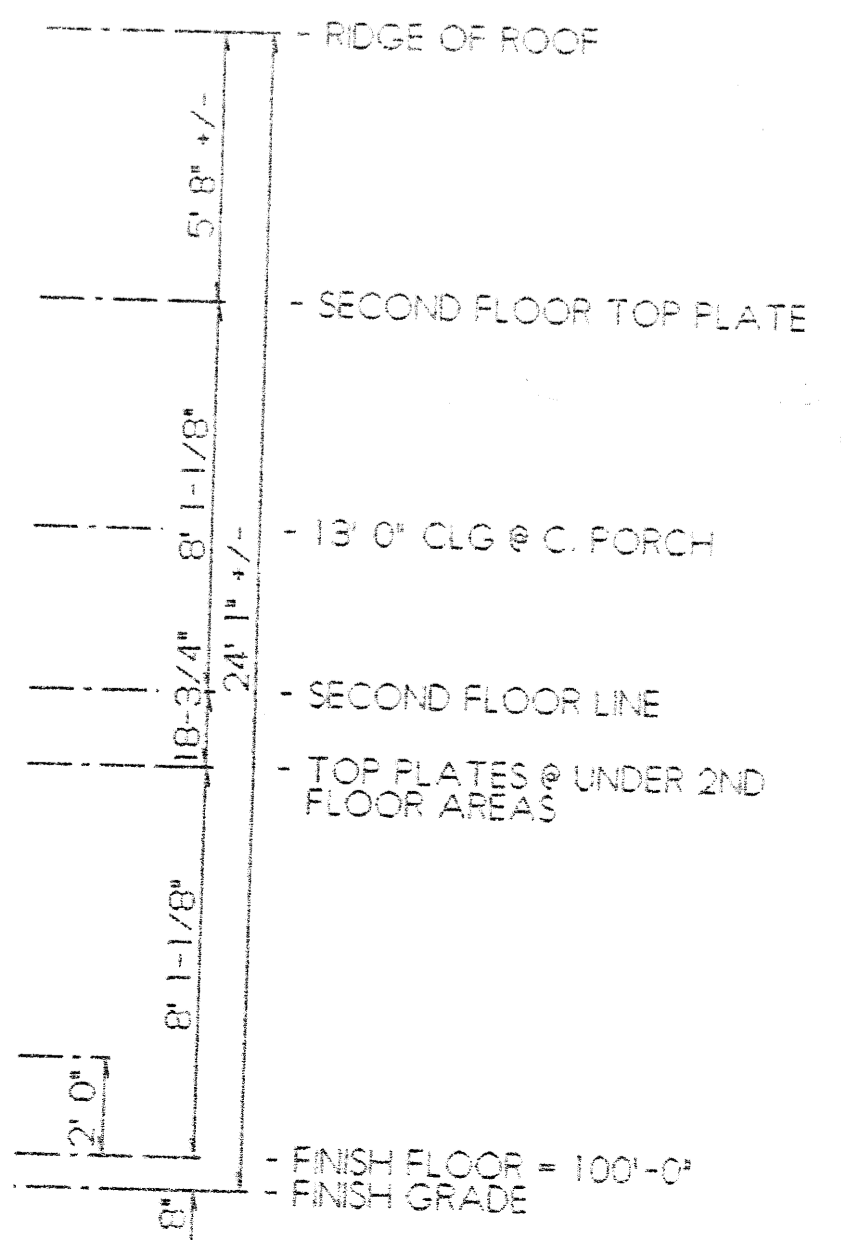
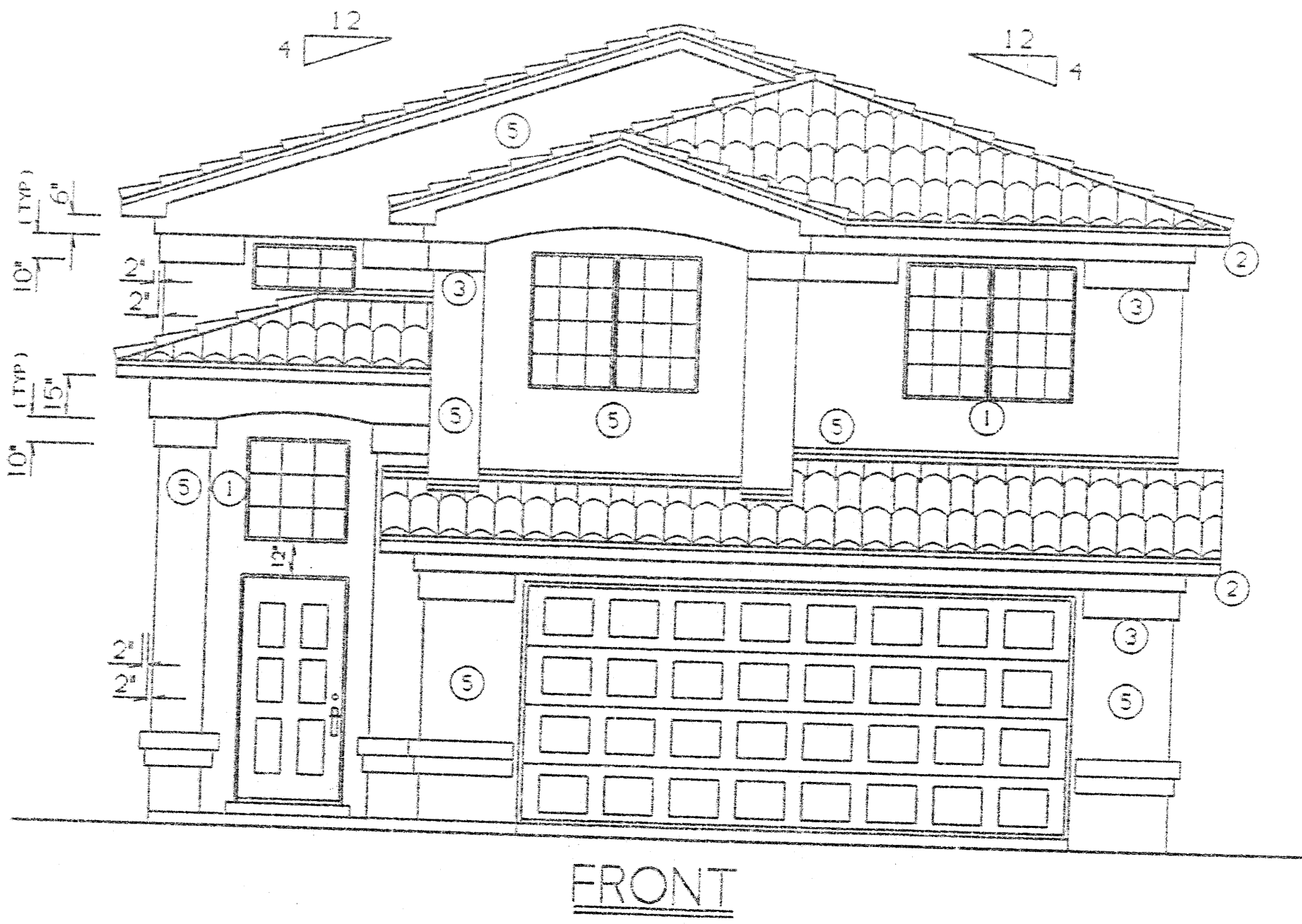


ELEVATIONS
SCALE: 1/4" = 1'-0"



ELEVATION NOTES
1. DOUBLE INSULATED WINDOWS (TYP.)
2. MASONRY CEILING & PORCHES & 1" MASONRY FASCIA, "BUFF-TEXT" (TYP.)
3. WRAP ANY EXPOSED HEADERS / BEAMS W/ MASONRY
4. 2" DECOR. BUMP-OUT PLANT ON AS SHOWN
5. MASON TILE ROOF AS SHOWN
ALL ELSE STUCCO EXTERIOR FINISH.

FLOOR PLAN:
W=30'-0"
D=49'-0"



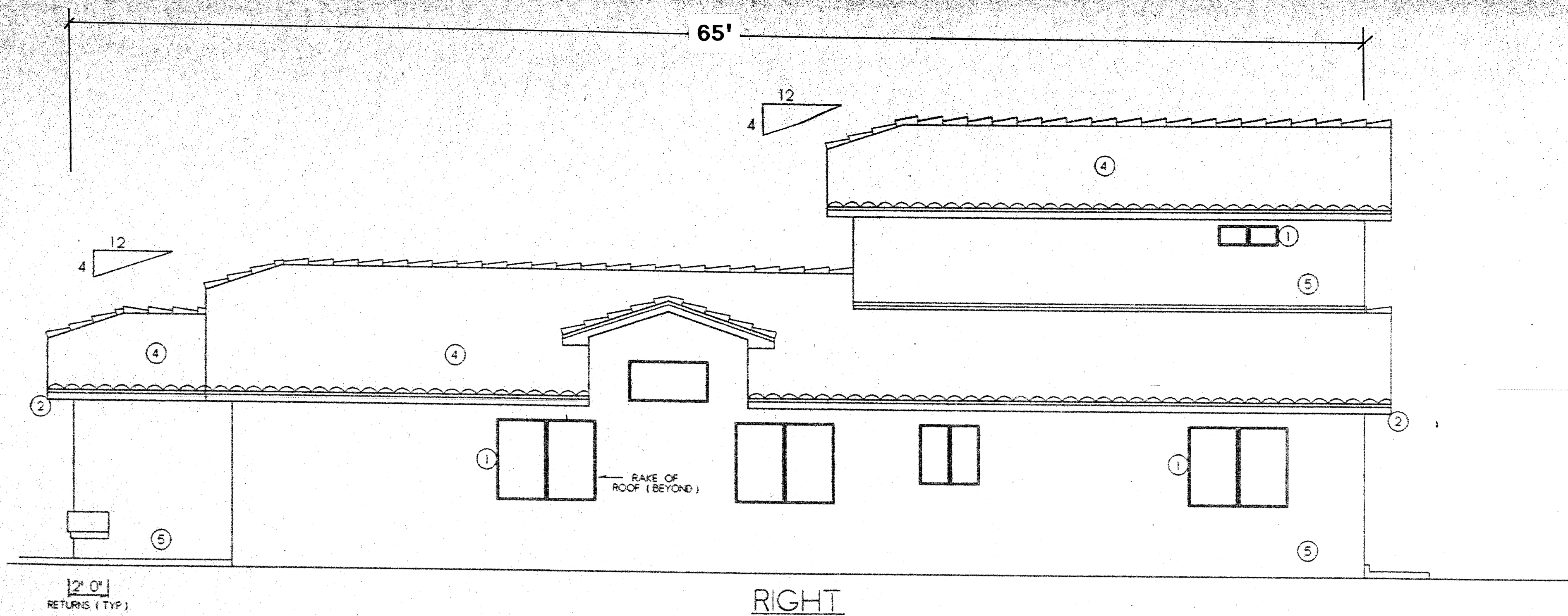
ELEVATIONS
SCALE: 1/4" = 1'-0"

PLAN 1840
ELEVATION A
RHC

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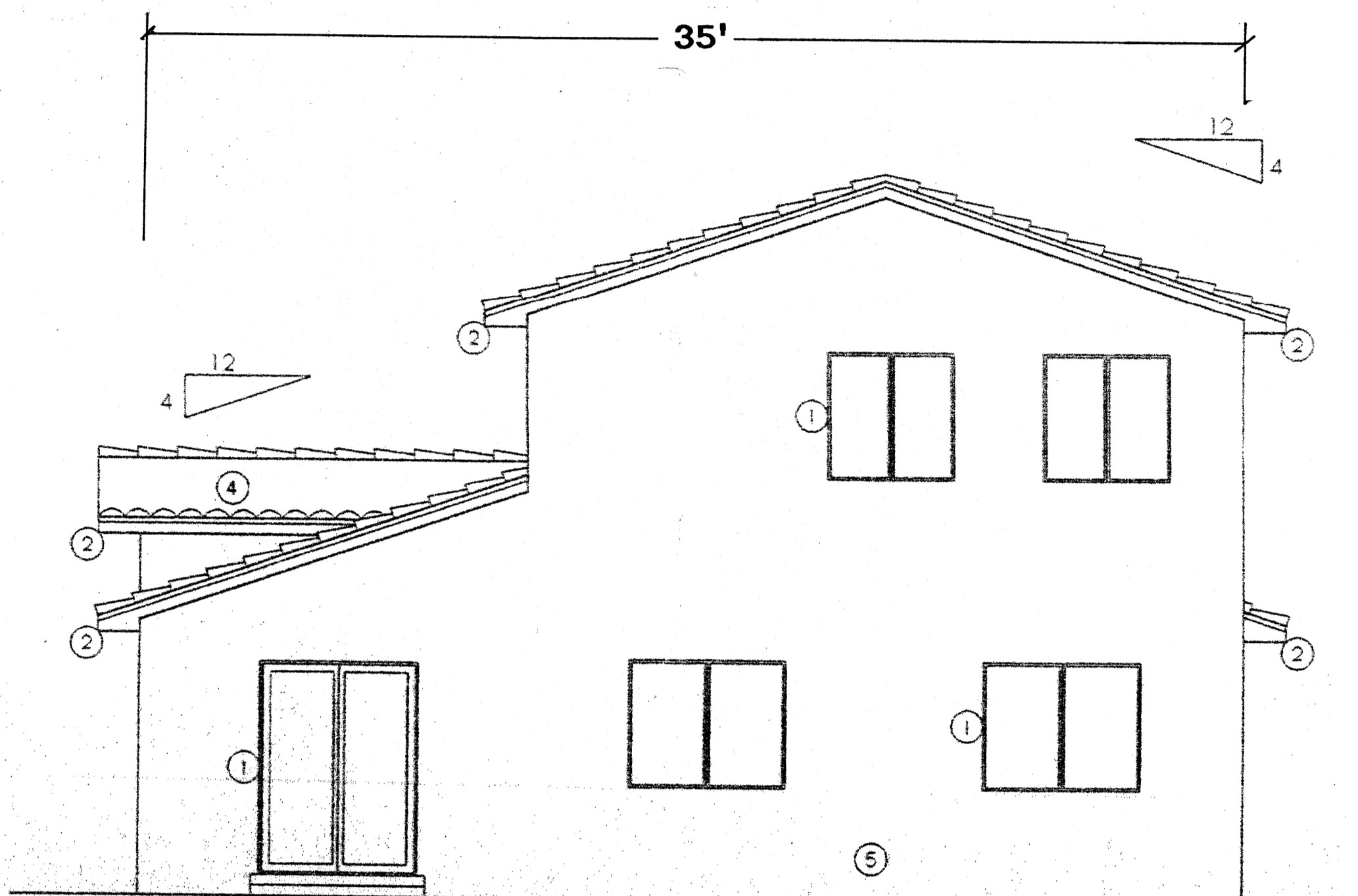
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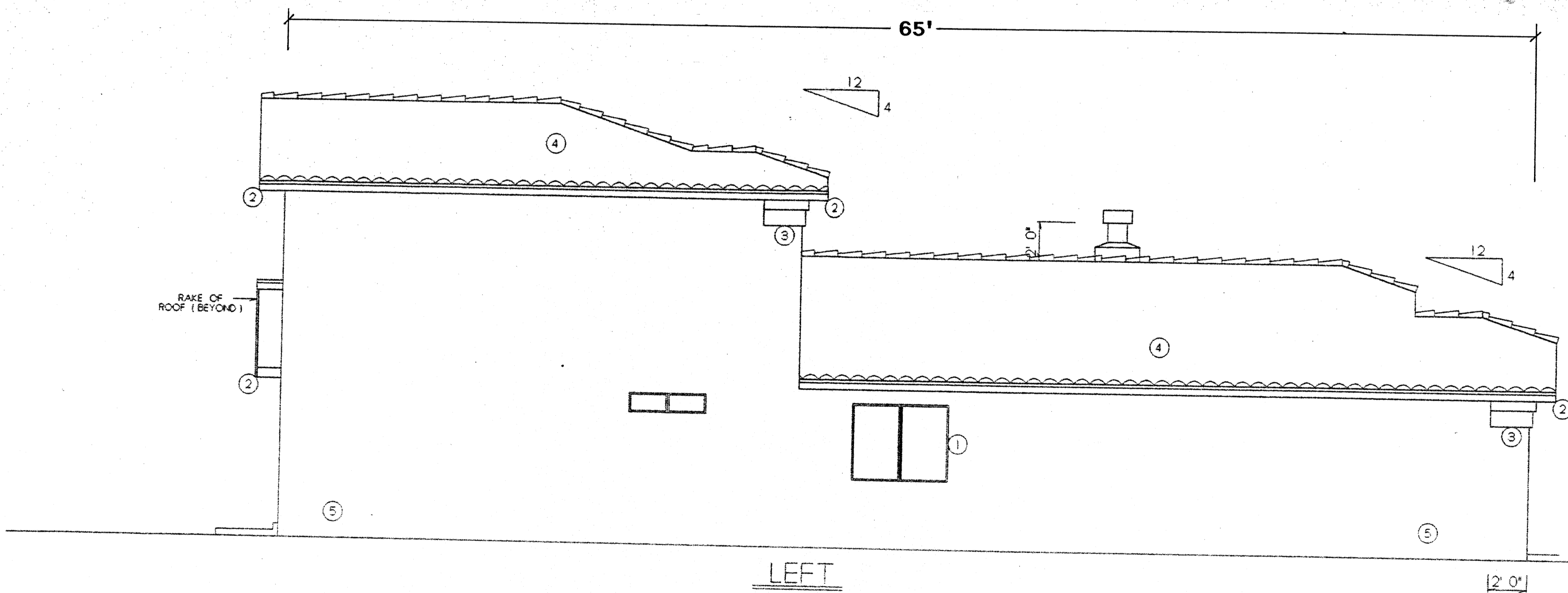
RIGHT

ELEVATION NOTES
(ALL NOTES CONTINUED FROM PREVIOUS PAGE)



REAR

ELEVATIONS
SCALE: 1/4" = 1'-0"



LEFT

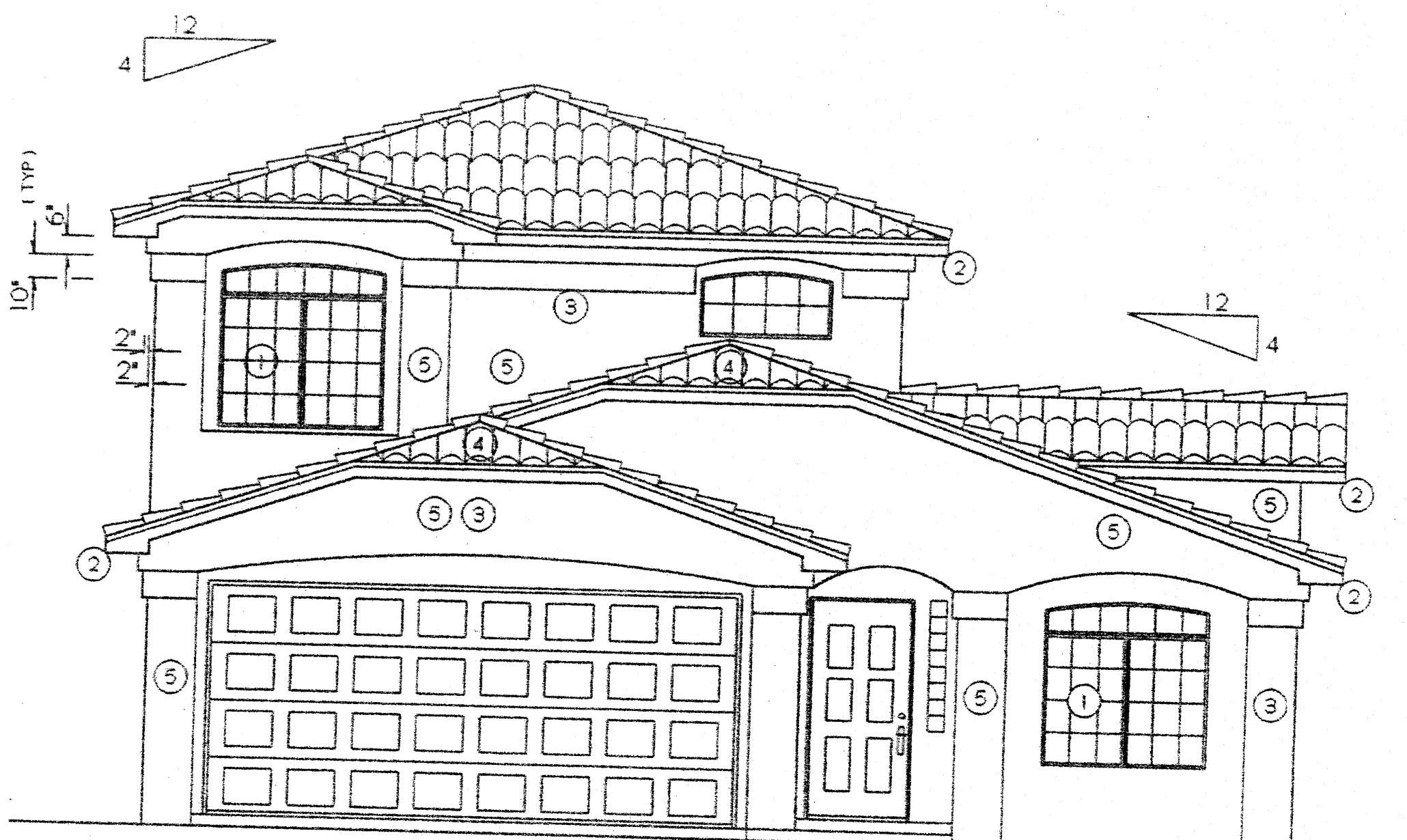
FLOOR PLAN:

W=35'-0"

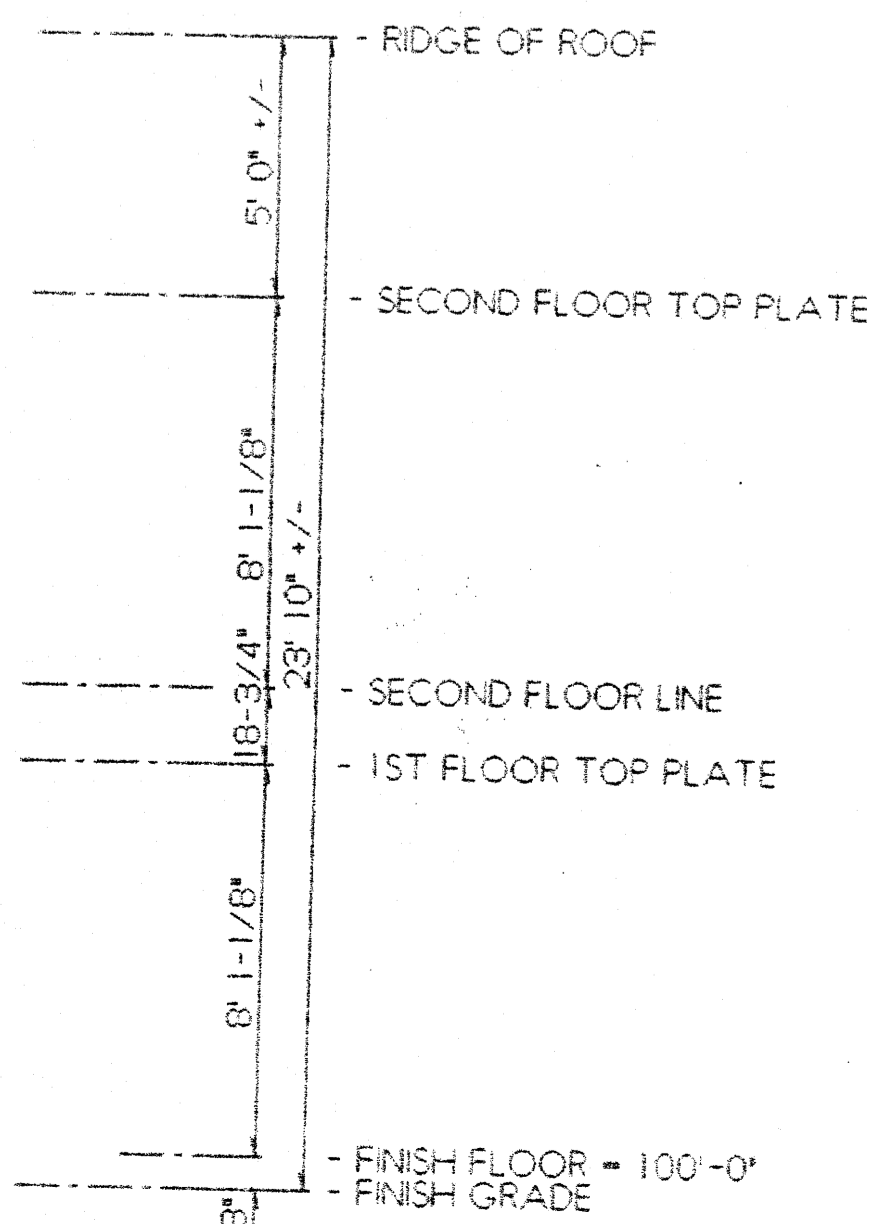
D=65'-0"

ELEVATION NOTES

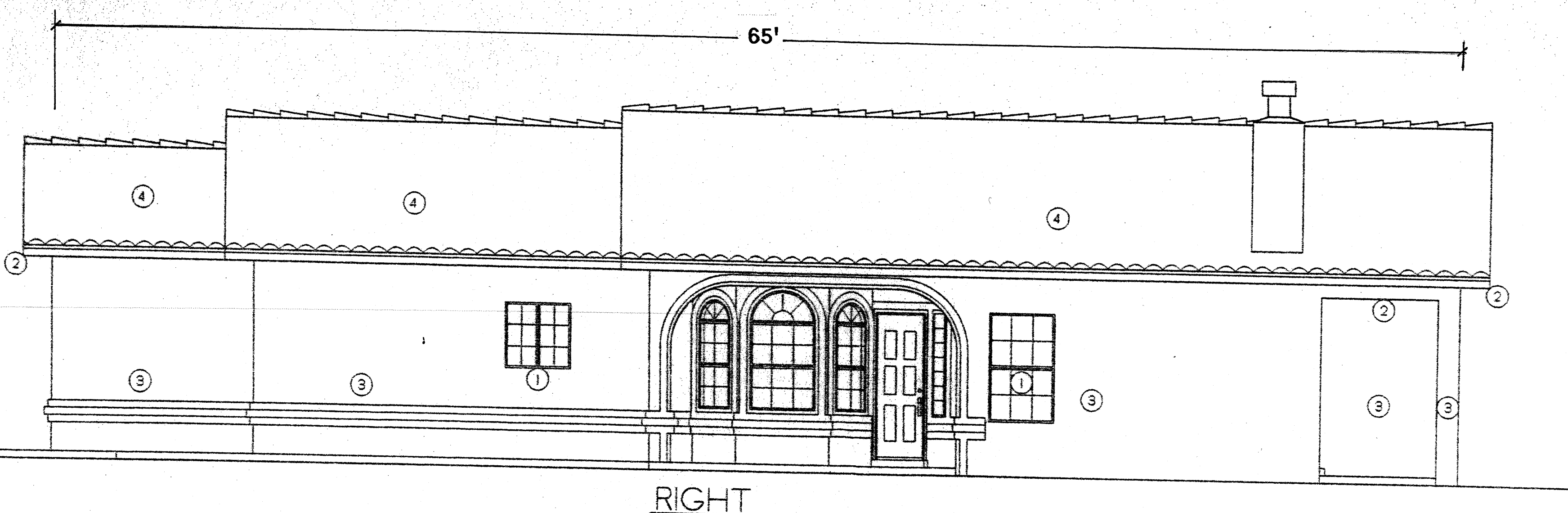
1. DOUBLE INSULATED WINDOWS (TYP.)
2. MASONITE CEILING & PORCHES, 6" MASONITE FASCIA, (RUFF-TEX) (TYP.)
3. 2" DECO. BUMP-OUT PLANT - ON AS SHOWN
4. MASON TILE ROOF AS SHOWN
5. ALL ELSE STUCCO EXTERIOR FINISH



FRONT

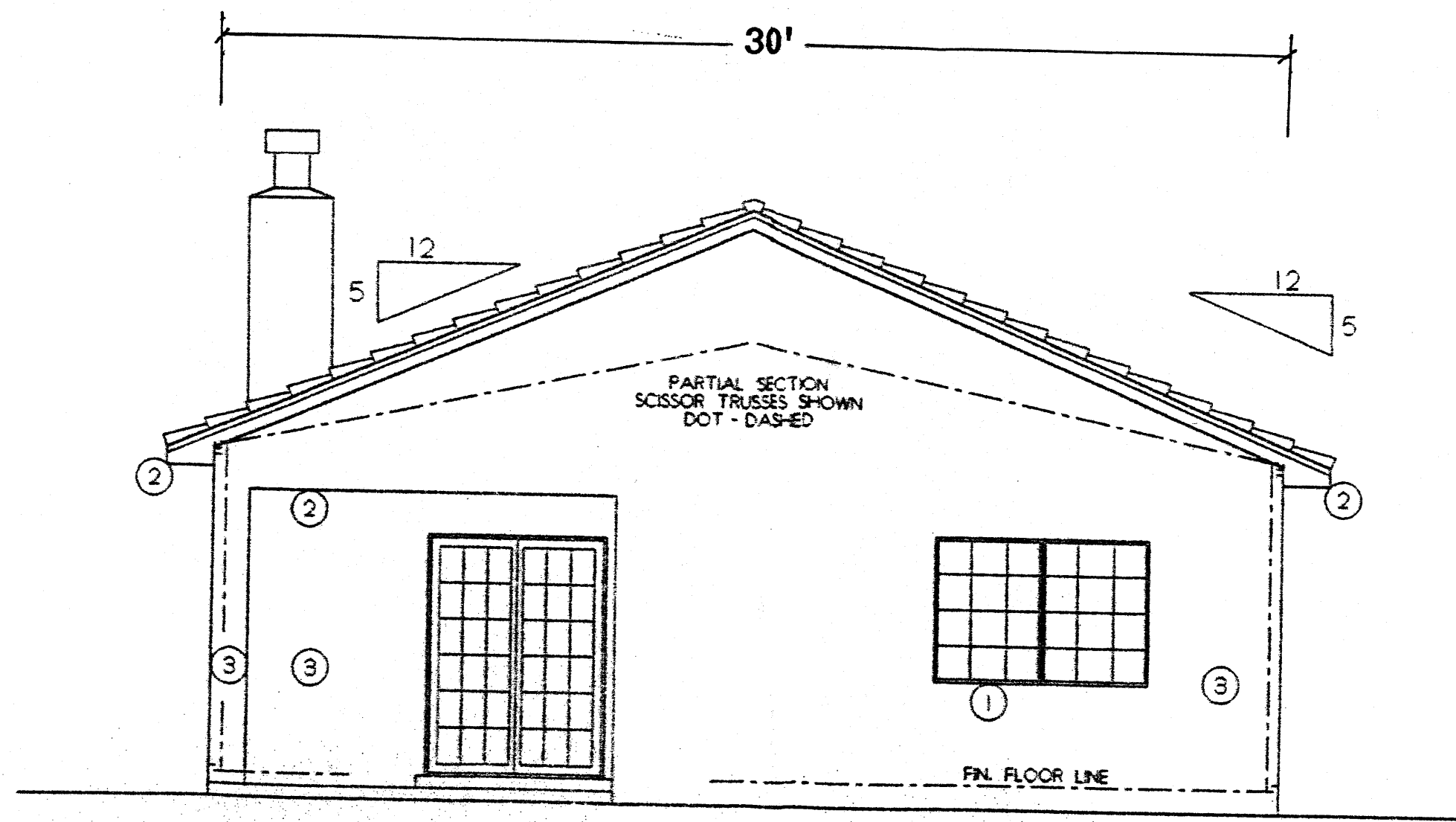


ELEVATIONS
SCALE: 1/4" = 1'-0"



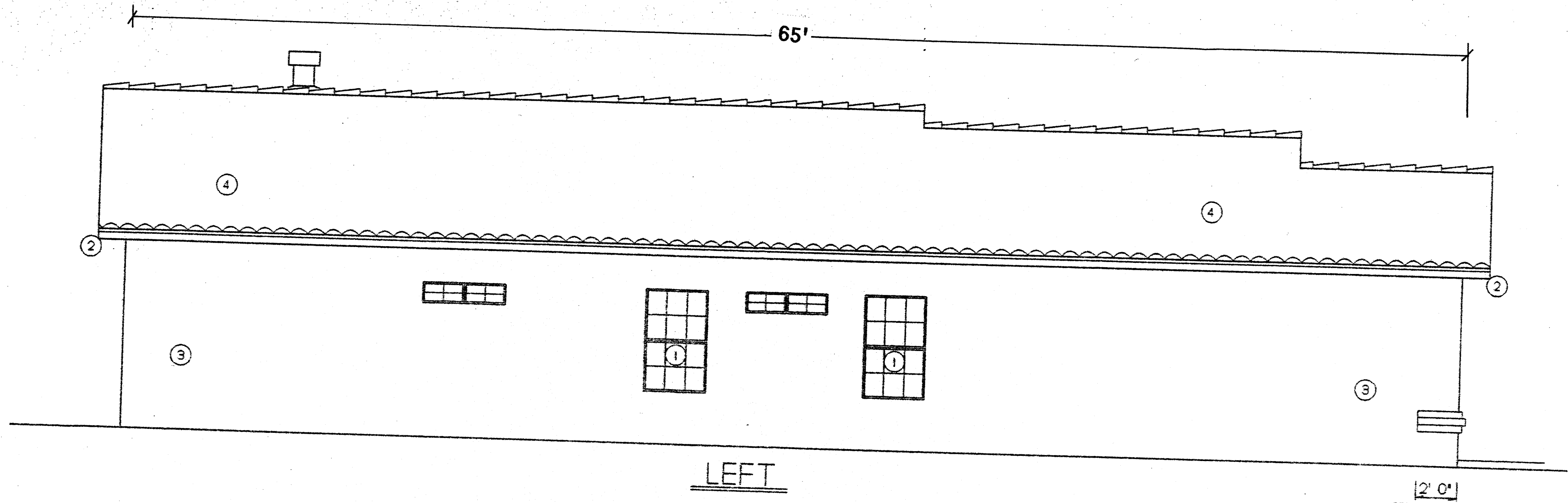
RIGHT

ELEVATION NOTES
(ALL NOTES CONTINUED FROM PREVIOUS PAGE)



REAR

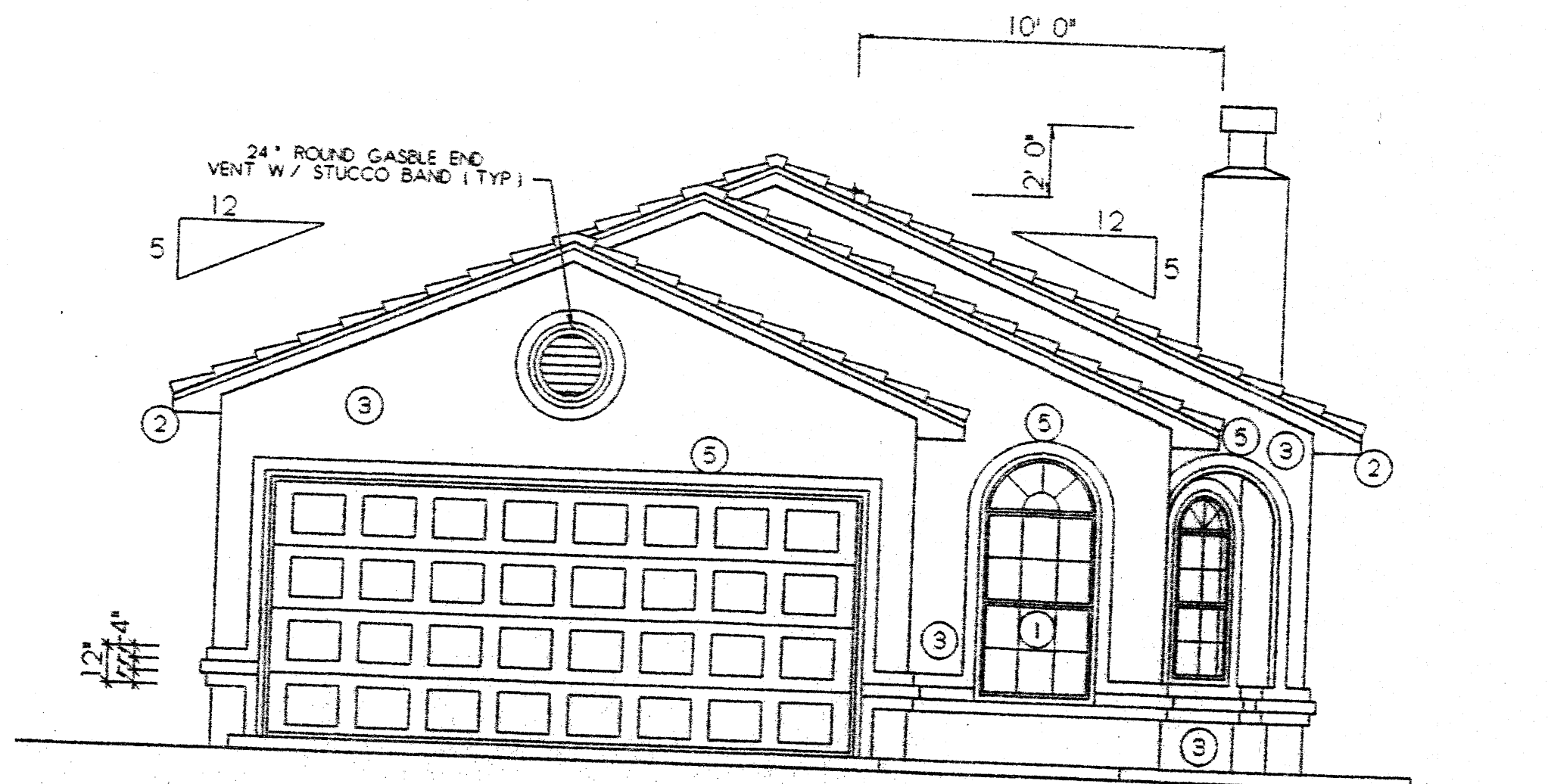
ELEVATIONS
SCALE: 1/4" = 1'-0"



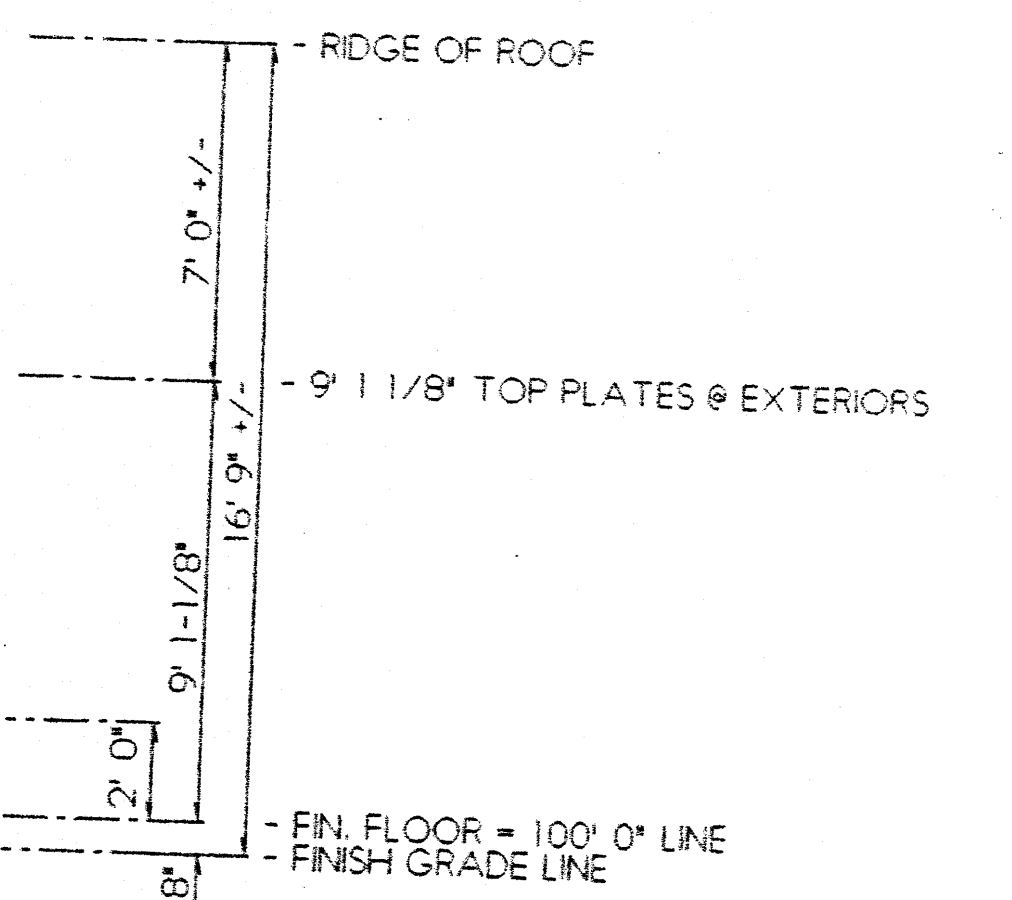
LEFT

FLOOR PLAN:
W=30'-0"
D=65'-0"

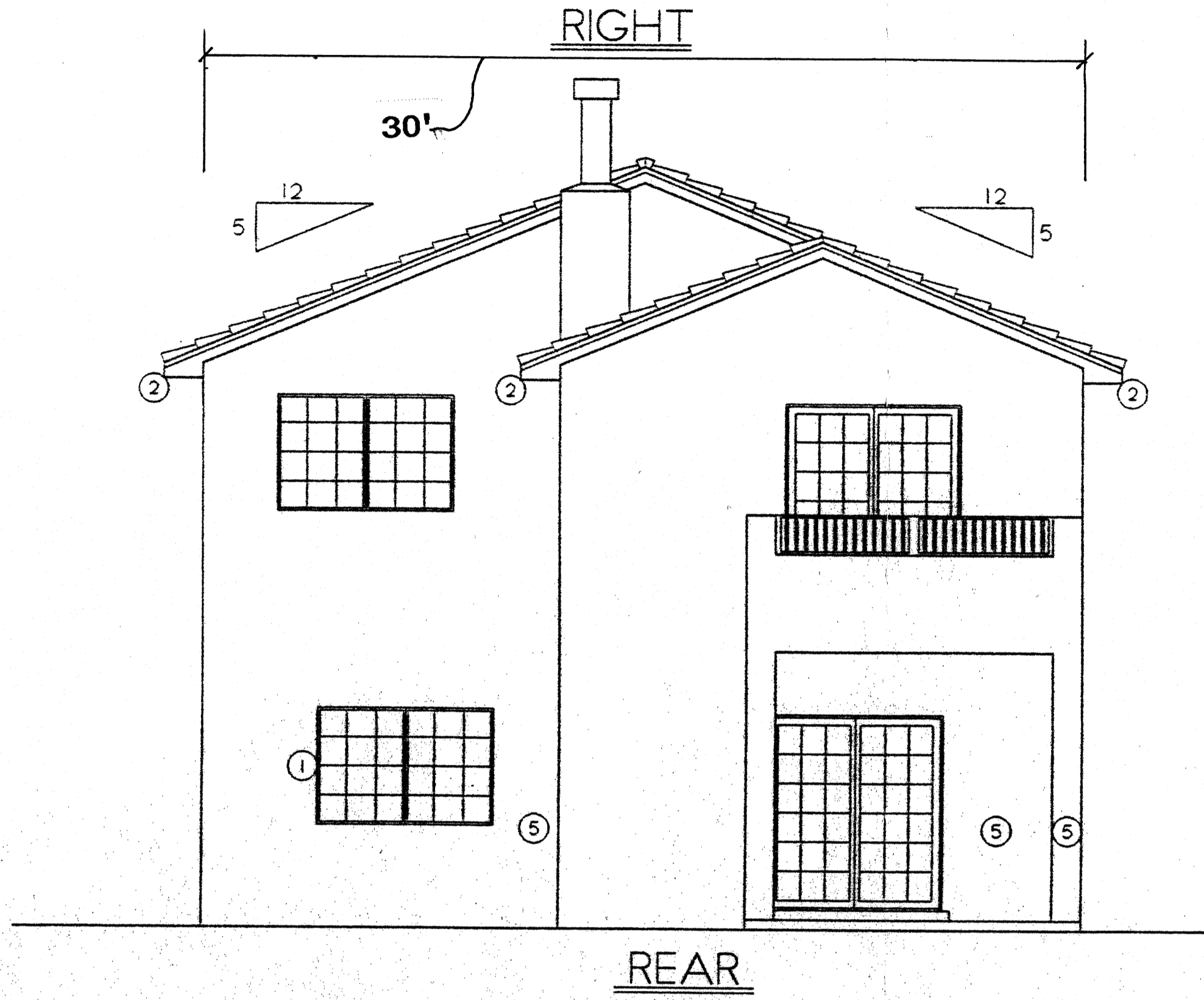
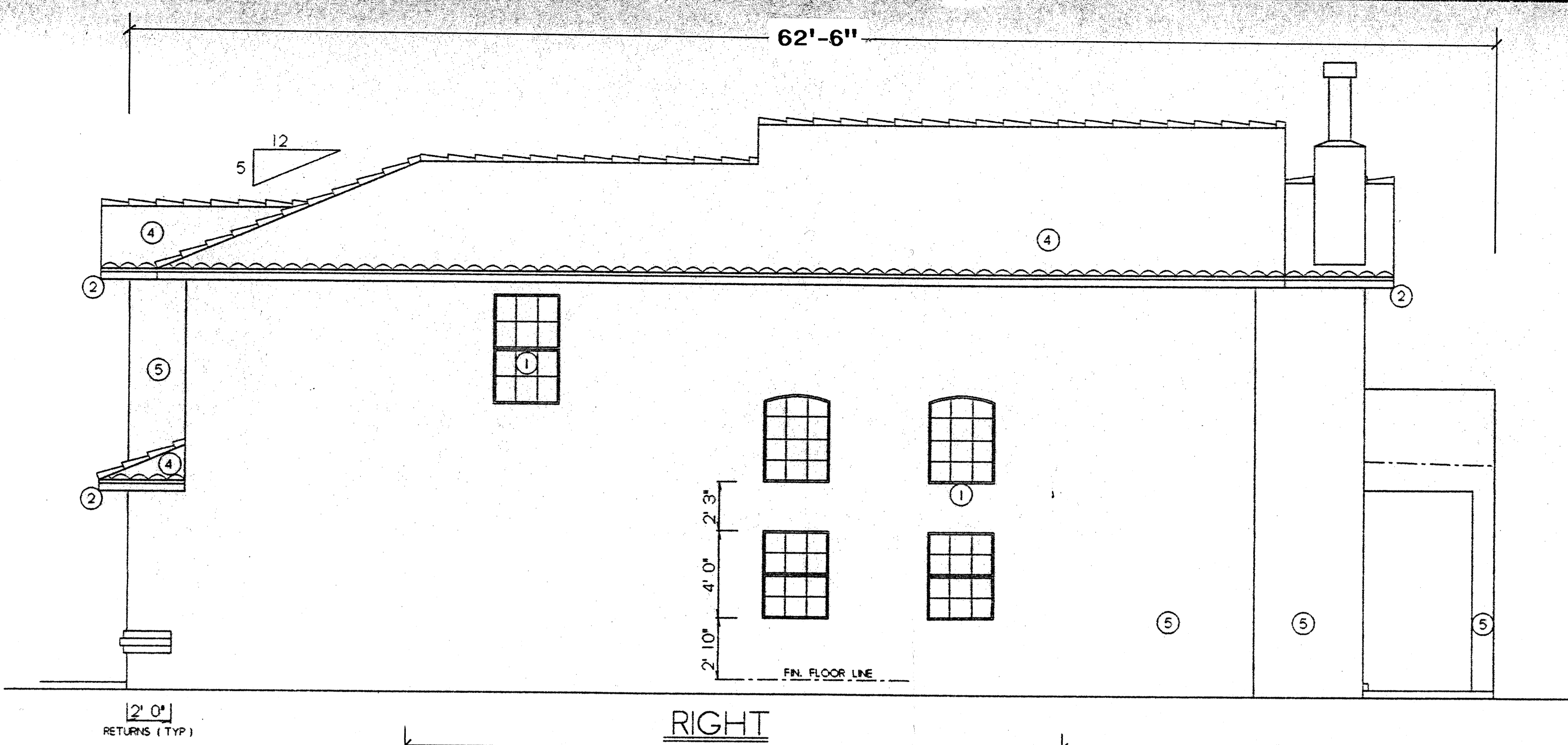
ELEVATION NOTES
1. DOUBLE INSULATED WINDOWS (TYP.)
2. MASONITE CEILINGS @ PORCHES, 6" MASONITE FASCIA, WRAP ALL EXPOSED PORCH HEADERS W/ MASONITE, "RUFF-TEX" (TYP.)
3. STUCCO EXTERIOR FINISH
4. MISSION TEE ROOF AS SHOWN
5. 2 X 4 STUCCO BAND AROUND WINDOWS & DOORS AS SHOWN, HOLD BACK 2" FOR STUCCO WRAP.



FRONT

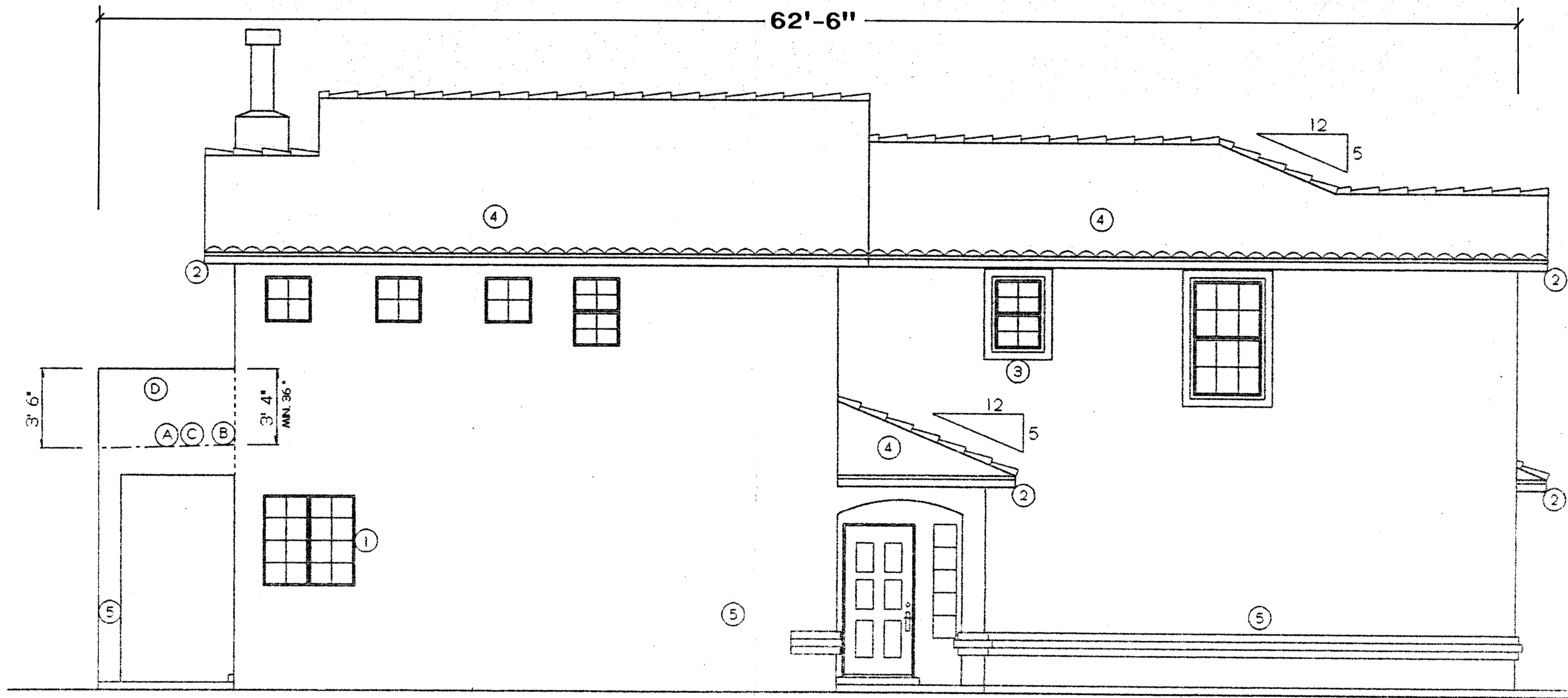


ELEVATIONS
SCALE: 1/4" = 1'-0"

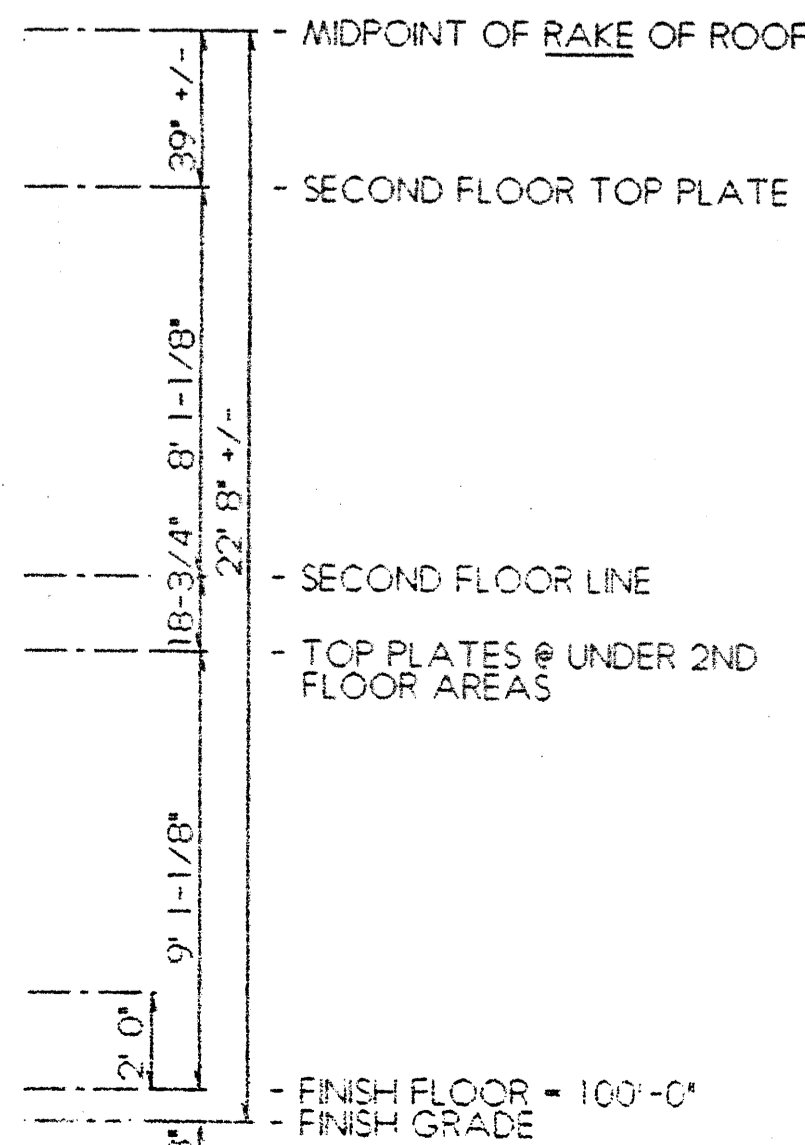
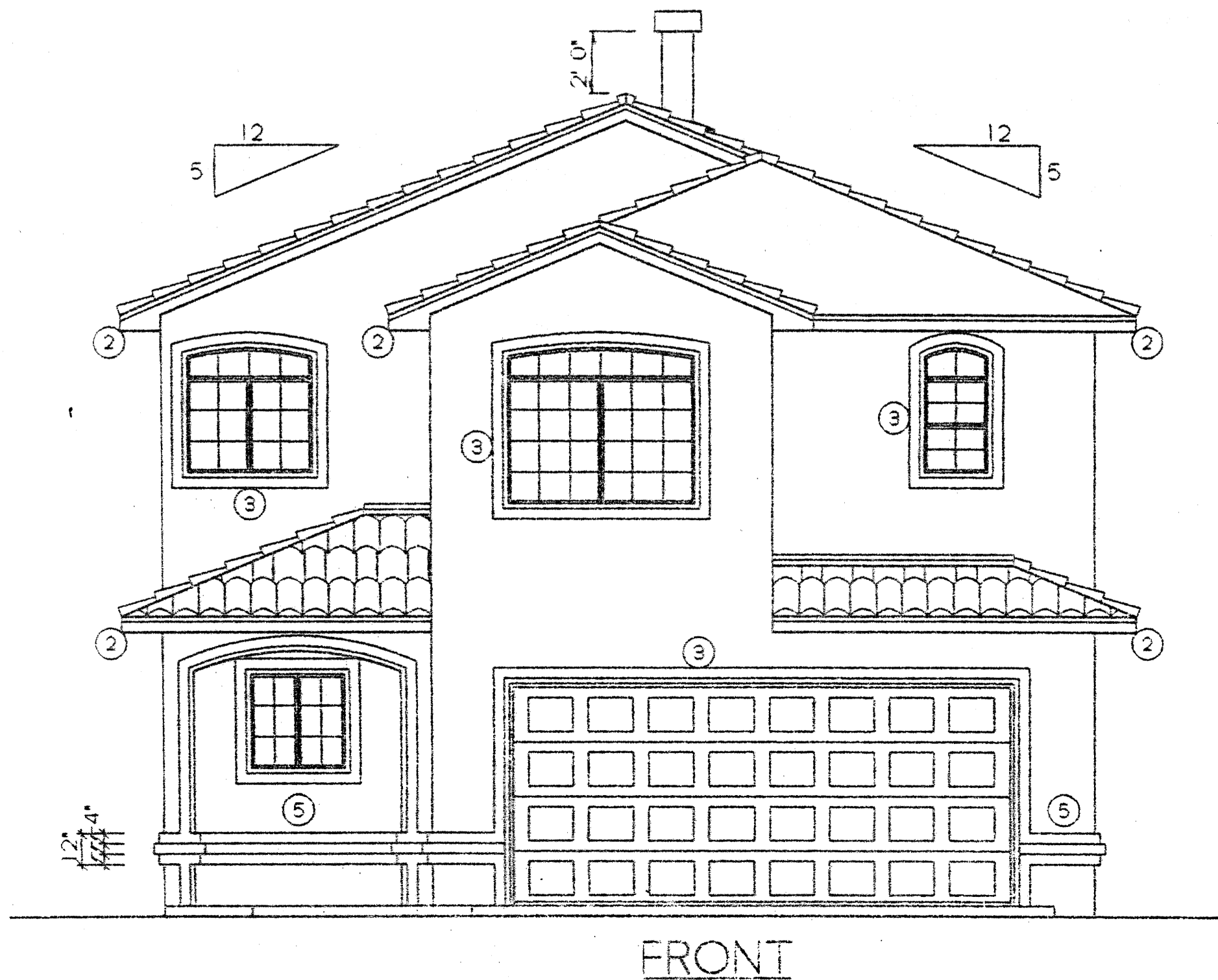


ELEVATION NOTES
(ALL NOTES CONTINUED FROM PREVIOUS PAGE)

ELEVATIONS
SCALE: 1/4" = 1'-0"



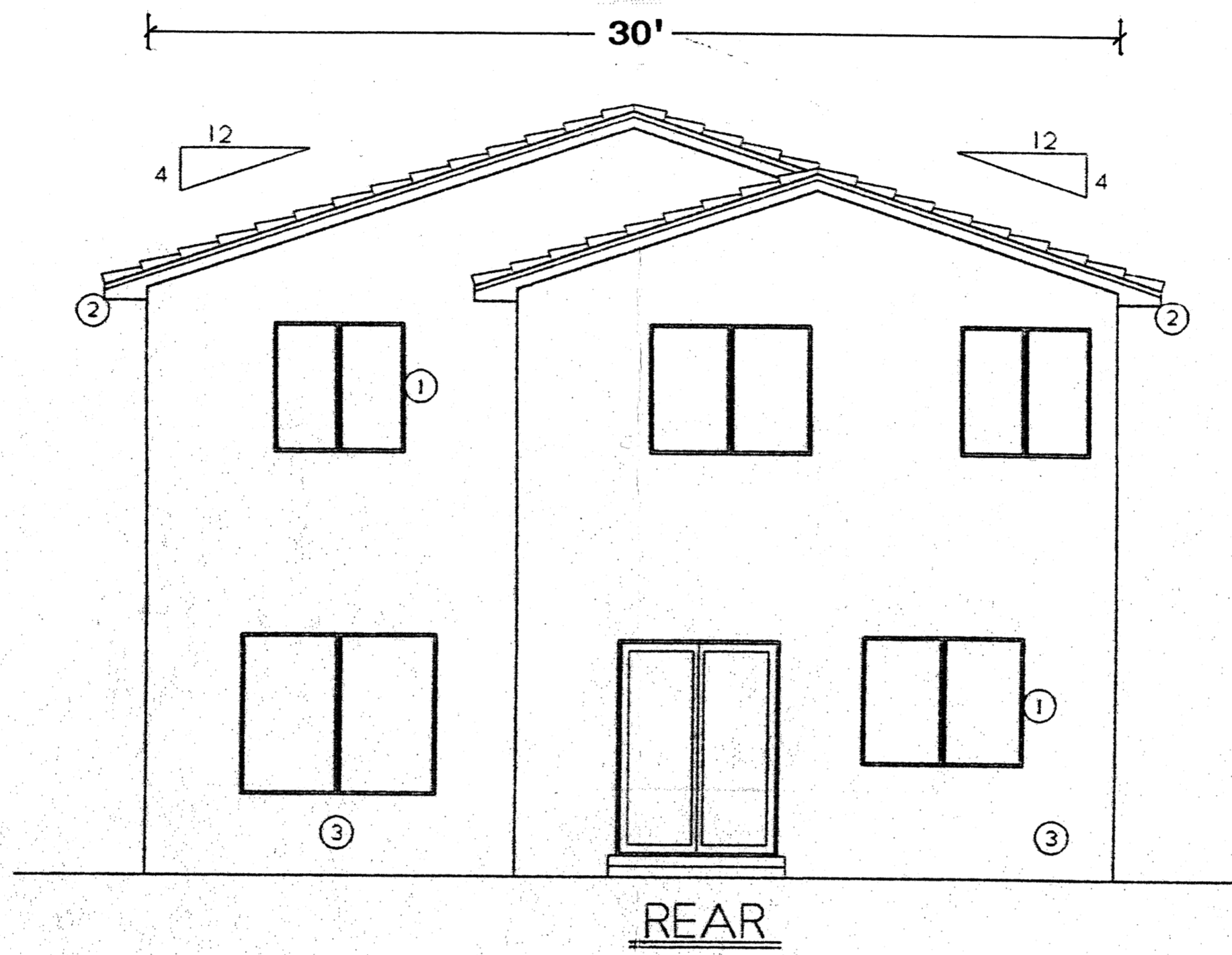
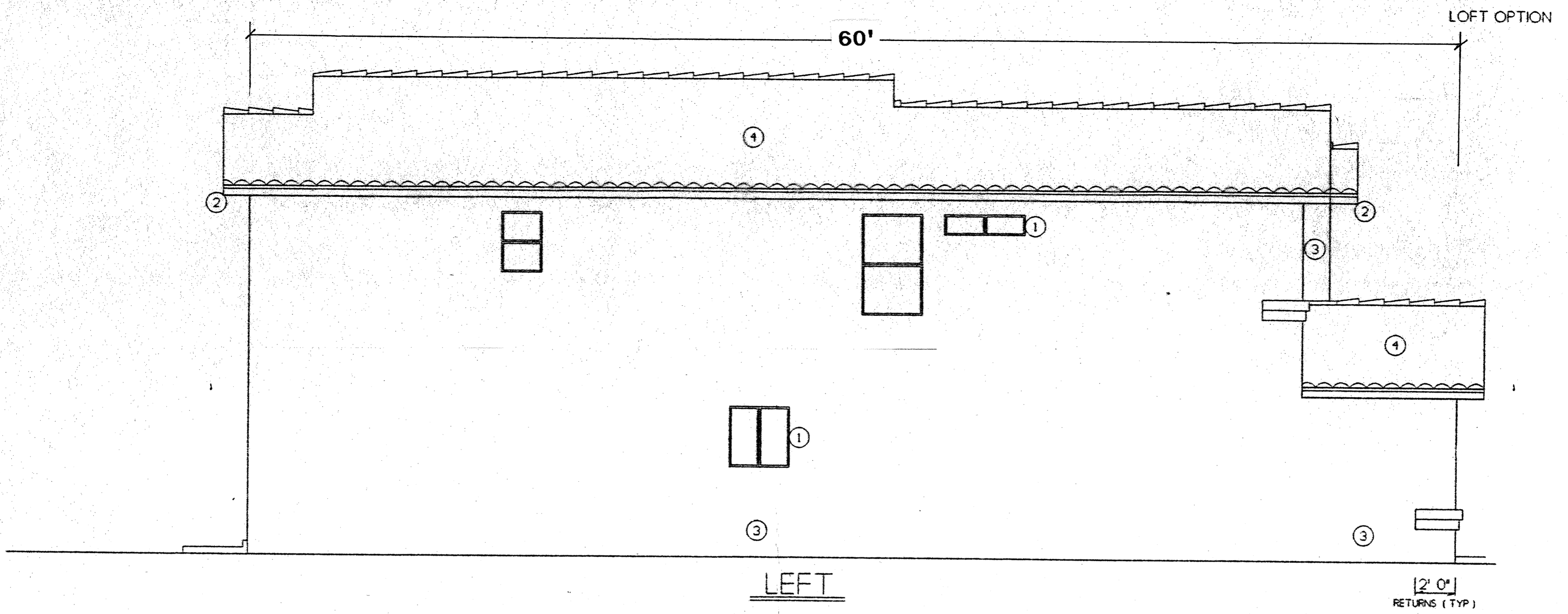
- BALCONY SPEC'S
- A. 2 X 6 TREATED LUMBER DECK LAID FLAT ON 1 X 2 TREATED STRIPS @ 16" O.C. ON HOT NIPRED ROOFING ON 3/4" MAT'L SUB-DECKING ON JOISTS AS SPEC'ED ON FRAMING PLAN.
 - B. USE 6" MIN. G.I. FLASHING CONTINUOUS @ HOUSE / BALCONY DECK SEAL W/ 'E.P.D.M.' OR EQ. OVER
 - C. DECK (SHOWN DOT-DASHED) STARTS @ MAX. 7'-1/2", MIN. 4" LOWER THAN 2ND FLOOR LINE AND SLOPES MIN. 1/4" PER FOOT TO DRAIN AS PER U.B.C.
 - D. 2 X 4 FRAME STUCCO BANNER WALLS @ SOE ELEVATIONS OF BALCONY ARE 42" (MIN. 36") HIGHER THAN HIGHEST POINT OF DECK. 16" H. WROUGHT IRON GUARDRAIL ATOP (2 X 4) FRAME STUCCO 1/2 WALL @ REAR ELEVATION AS SHOWN W/ BALUSTERS @ MAX. 4" O.C.



FLOOR PLAN:
W=30'-0"
D=62'-6"

- ELEVATION NOTES
- 1. DOUBLE INSULATED WINDOWS (TYP)
 - 2. MASONITE CEILING @ PORCHES, 6" MASONITE FASCIA 'RUFF-TEX' (TYP), WRAP ALL EXPOSED HEADERS / BEAMS W/ MASONITE
 - 3. 2 X 4 STUCCO BAND AROUND WINDOWS & DOORS AS SHOWN HOLD BACK 2" FOR STUCCO WRAP.
 - 4. MISSION TILE ROOF AS SHOWN
 - 5. ALL ELSE STUCCO EXTERIOR FINISH.

ELEVATIONS
SCALE: 1/4" = 1'-0"



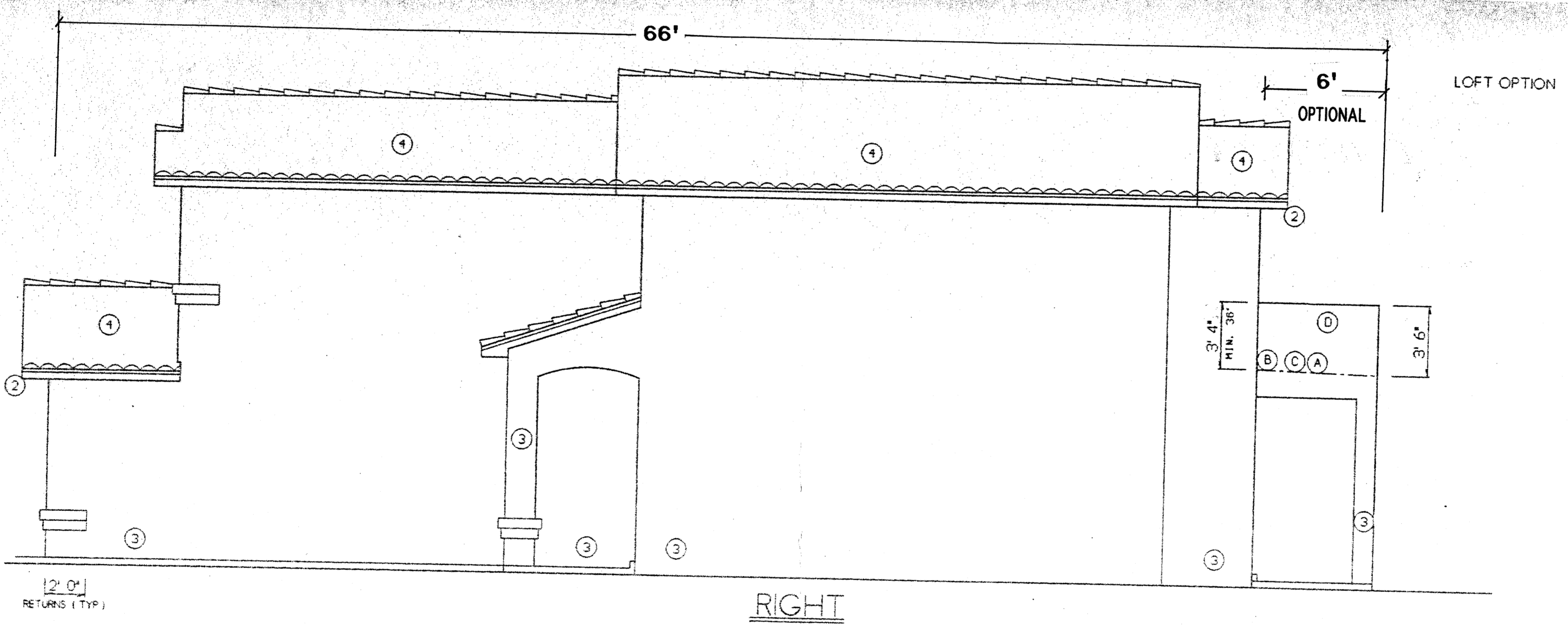
ELEVATIONS
SCALE: 1/4" = 1'-0"

PLAN
2168
ELEVATION
A
LHG

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BALCONY SPECS

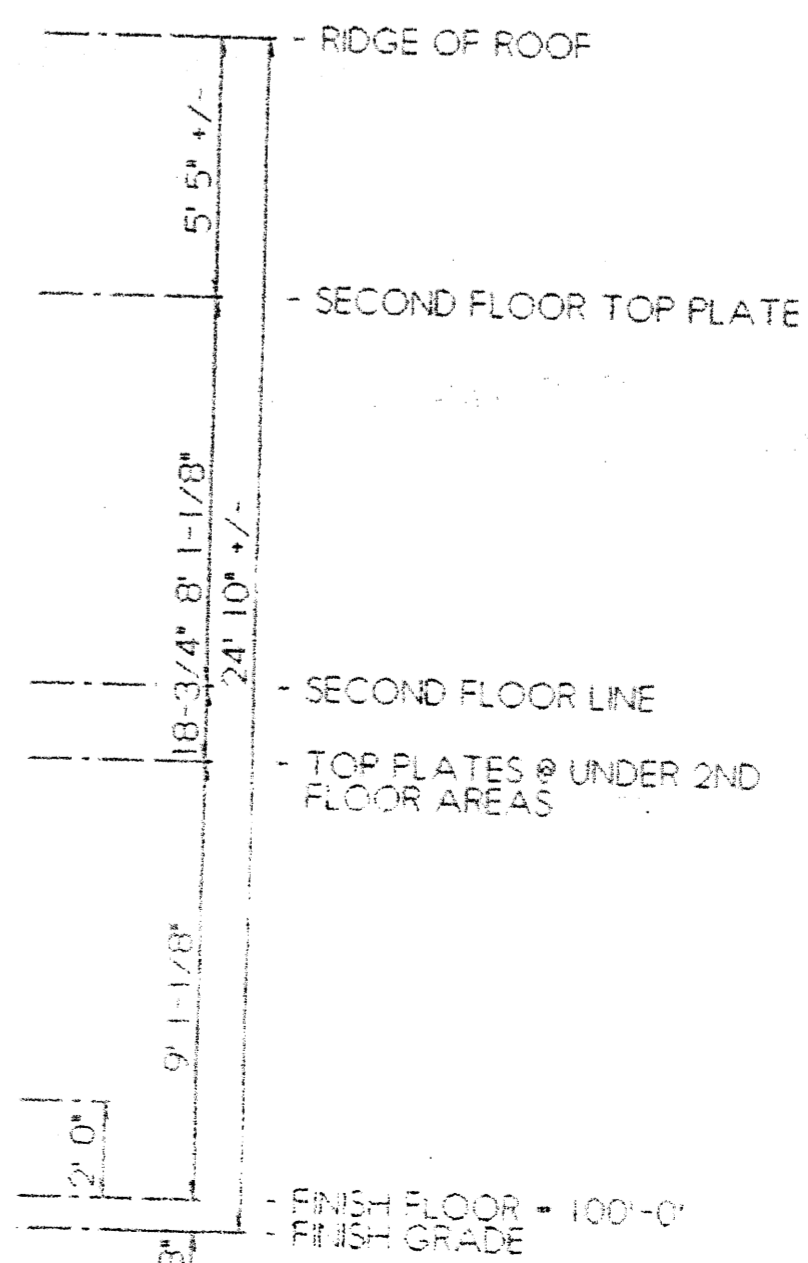
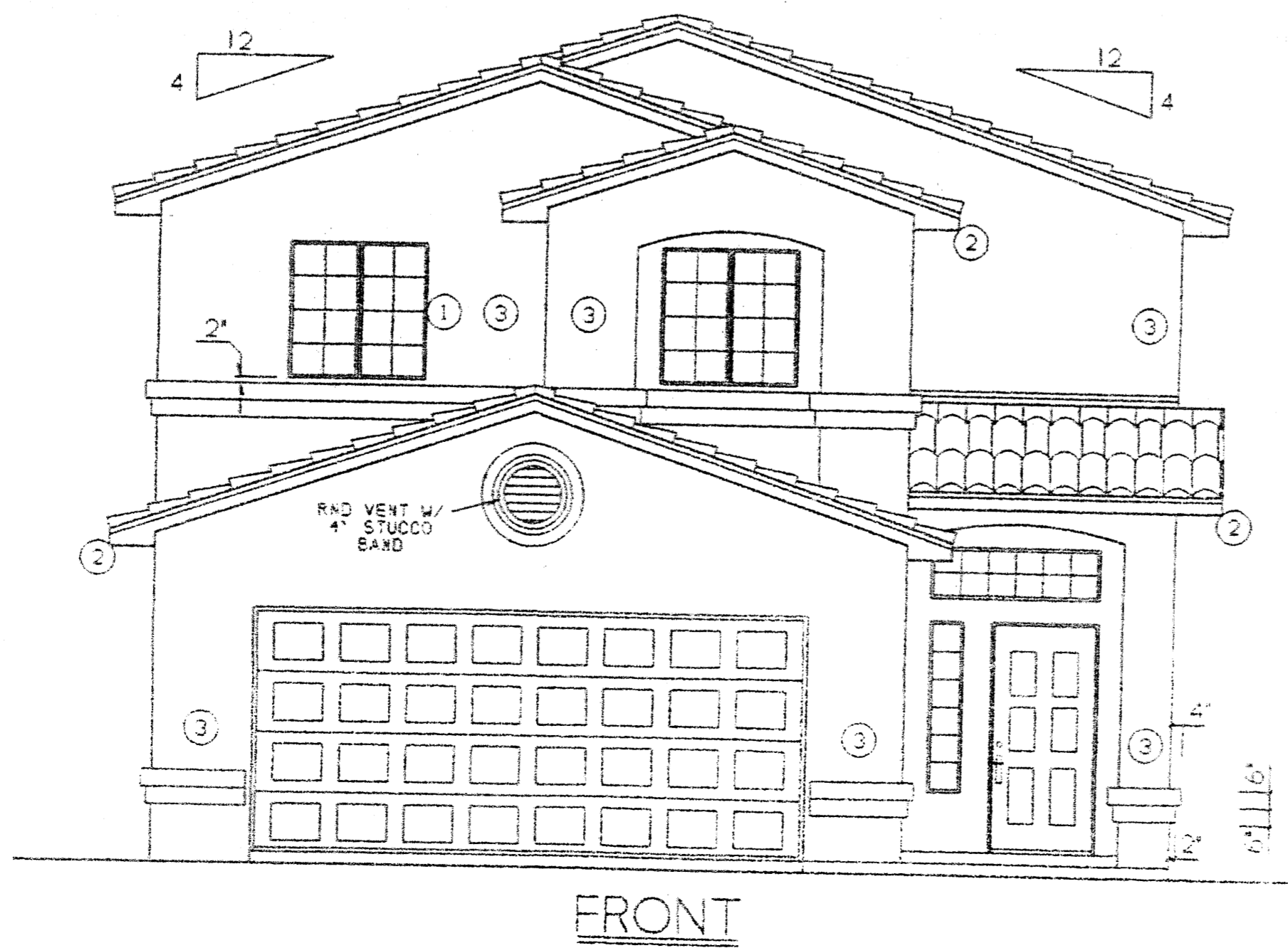
- A. 2 X 6 TREATED LUMBER DECK LAID FLAT ON 1 X 2 TREATED STRIPS @ 16" O.C. ON HOT MAPPED ROOFING ON 3/4" MAT'L SUB-DECKING ON JOISTS AS SPEC'D ON DRAWING PLAN.
- B. USE 6" MIN. G.I. FLASHING CONTROLS @ HOUSE / BALCONY DECK SEAL W/ E.P.D.M. OR EQ. OVER.
- C. DECK (SHOWN DOT-DASHED) STARTS @ MAX. 7" - 1/2" MIN. 4" LOWER THAN 2ND FLOOR LINE AND SLORES MAX. 1/4" PER FOOT TO DRAIN AS PER U.B.C.
- D. 2 X 4 FRAME STUCCO BANISTER WALLS (@ SEE ELEVATIONS OF BALCONY) ARE 42" (MIN. 36") HIGHER THAN HIGHEST POINT OF DECK. 1 1/2" H. WROUGHT IRON GUARDRAIL ATOP 1 1/2 X 4 FRAME STUCCO 1/2 WALL @ REAR ELEVATION AS SHOWN W/ BALUSTERS @ MAX. 2' O.C.

ELEVATION NOTES

- 1. DOUBLE INSULATED WINDOWS (TYP.)
- 2. MASONITE CEILINGS @ PORCHES, 6" MASONITE FASCIA (RUFF-TEX) (TYP.)
- 3. MASONITE WRAP ALL EXPOSED PORCH HEADERS - RUFF-TEX (TYP.)
- 4. STUCCO EXTERIOR FINISH W/ SKIRT BANDS AS SHOWN (PLANT ON), HOLD BACK 2" FROM WINDOWS, DOORS AND GABLE VENT FOR STUCCO WRAP.
- 5. MESSON TILE ROOF AS SHOWN.

FLOOR PLAN:

W=30'-0"
D=66'-0"



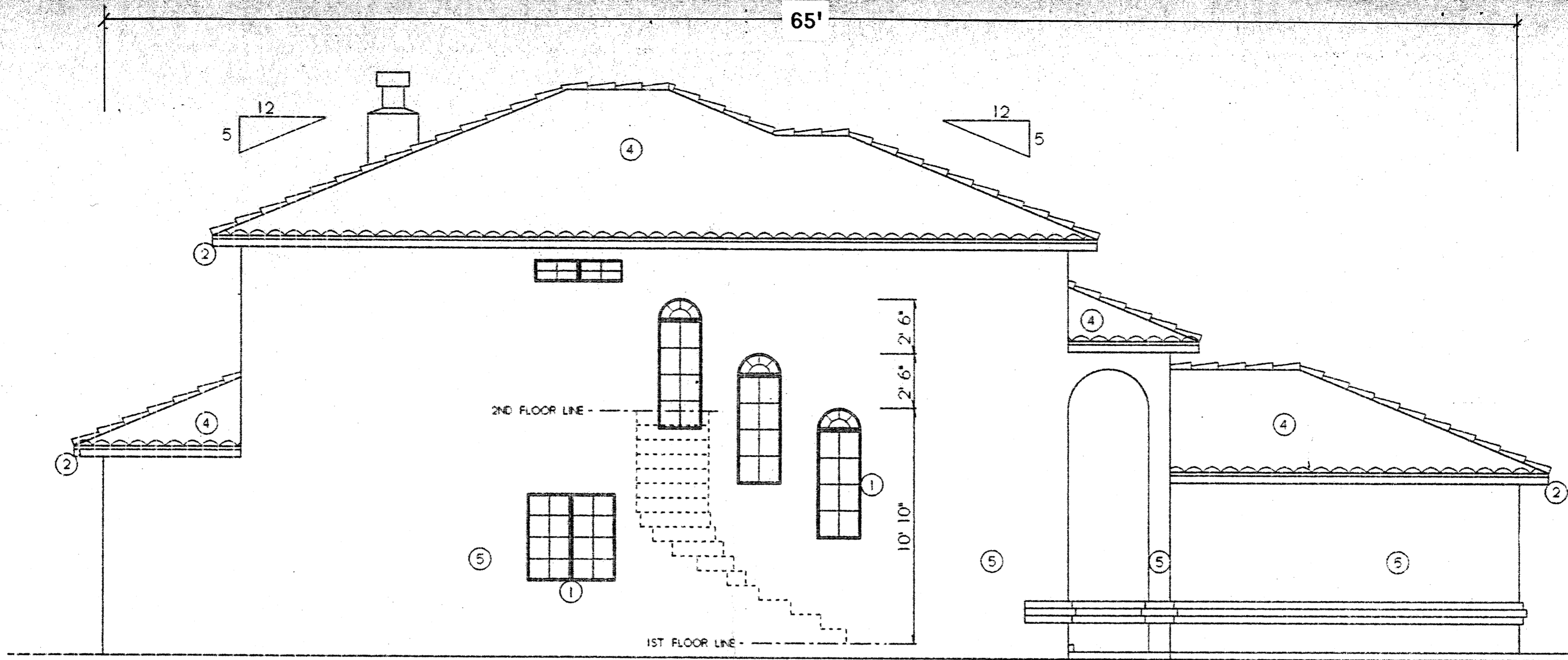
ELEVATIONS
SCALE: 1/4" = 1'-0"

PLAN
2168
ELEVATION
A
LHG

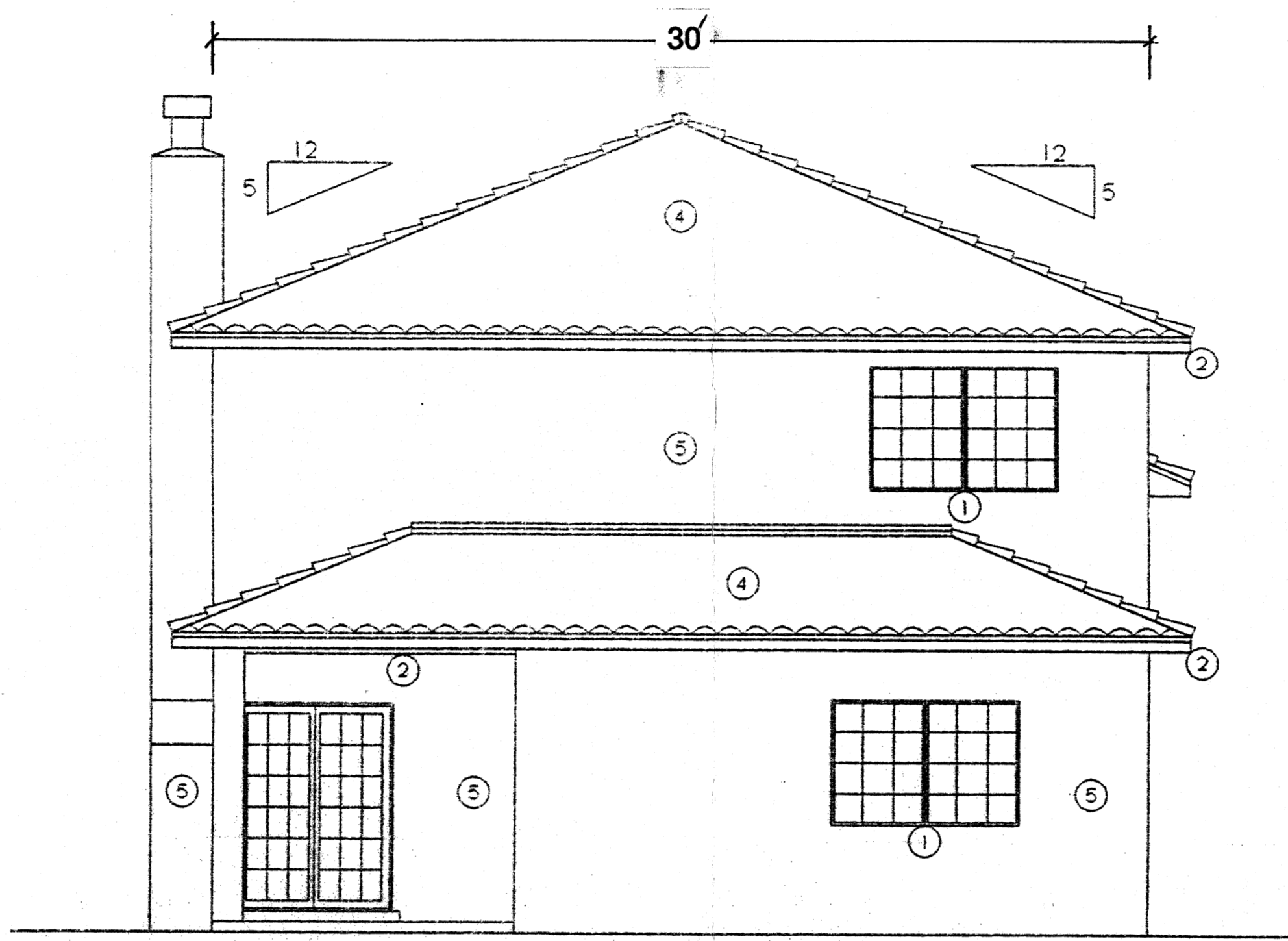
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LEFT



REAR

ELEVATION NOTES
 (ALL NOTES CONTINUED FROM PREVIOUS PAGE)

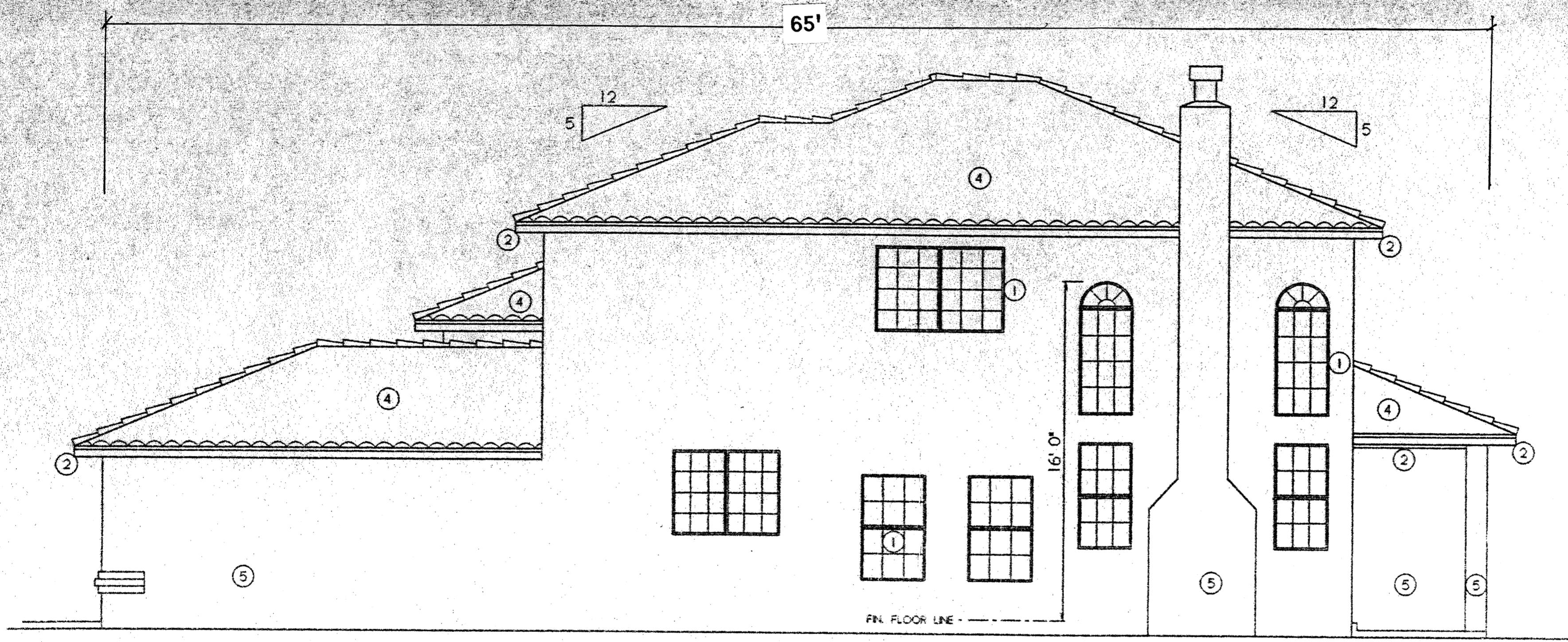
ELEVATIONS
 SCALE: 1/4" = 1'-0"

PLAN 1960
 ELEVATION A
 RHG

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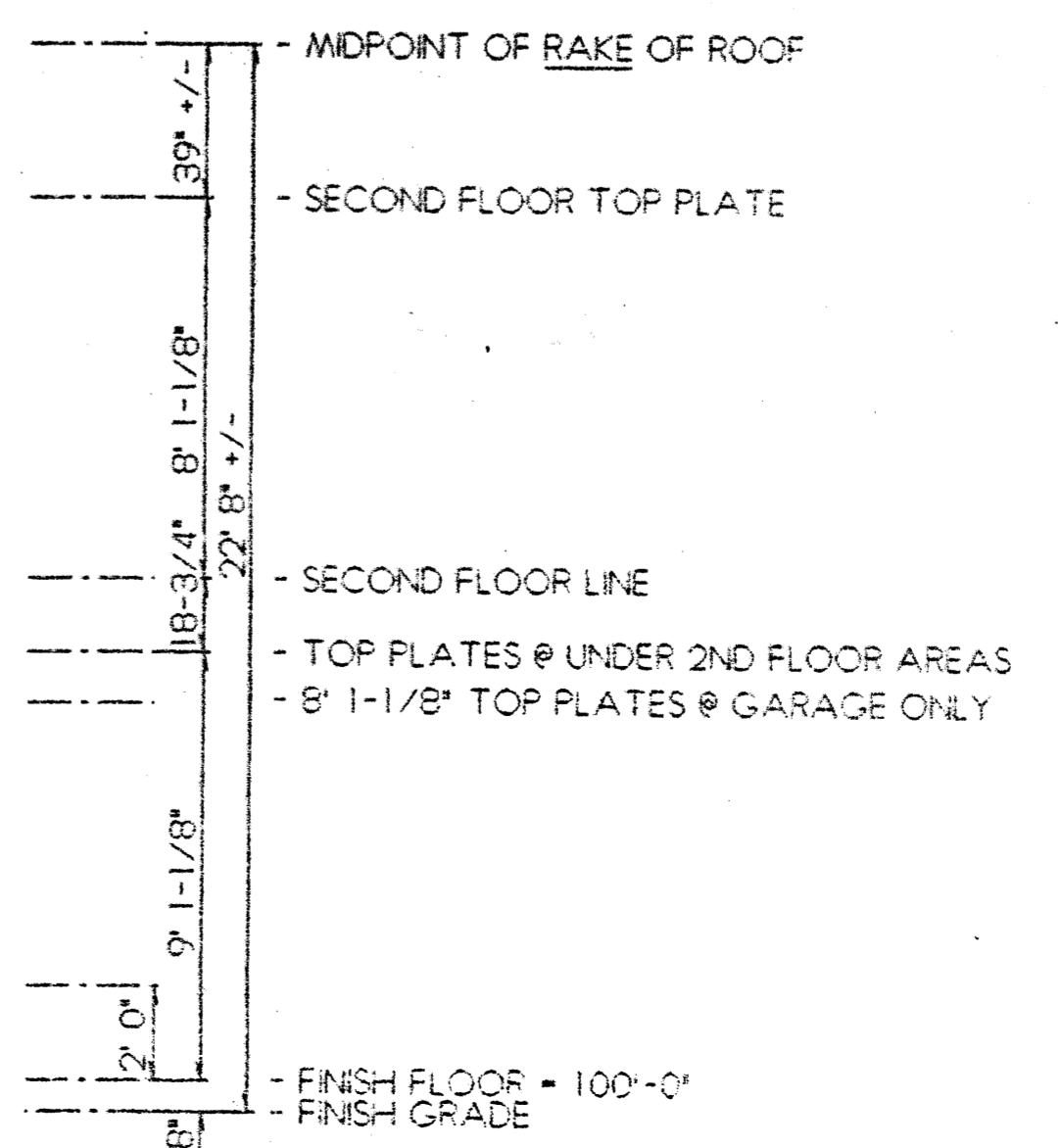
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RIGHT

ELEVATION NOTES
 1. DOUBLE INSULATED WINDOWS (TYP.)
 2. MASONITE CEILING & PORCHES, 6" MASONITE FASCIA, "RUFF-TEX" (TYP.)
 3. 2" X 4" STUCCO BAND AROUND WINDOWS & DOORS AS SHOWN, HOLD BACK 2" FOR STUCCO WRAP.
 4. MESSINA TILE ROOF AS SHOWN.
 5. ALL ELSE STUCCO EXTERIOR FINISH.



ELEVATIONS
 SCALE: 1/4" = 1'-0"

PLAN 1960
 ELEVATION A
 RHG

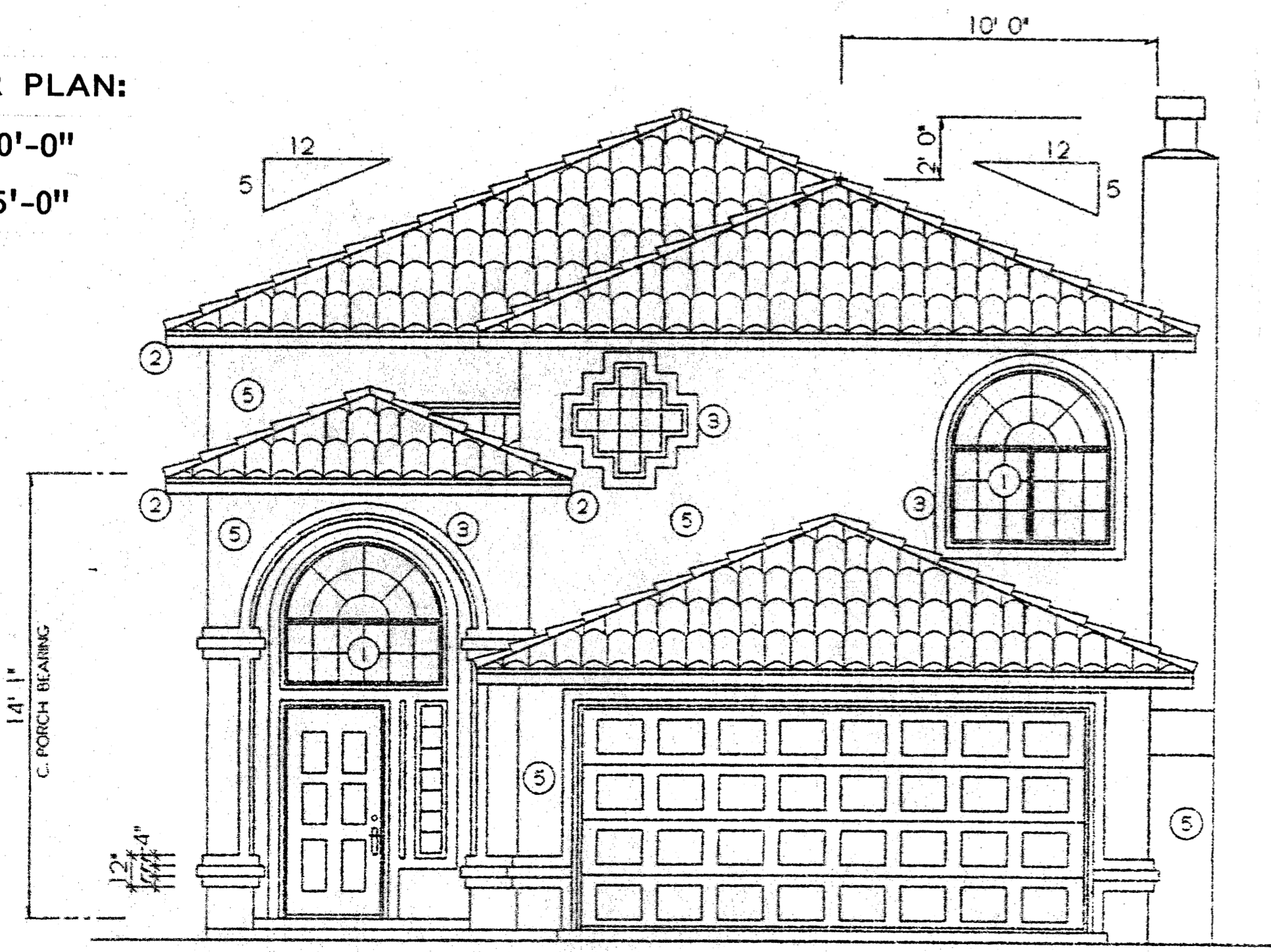
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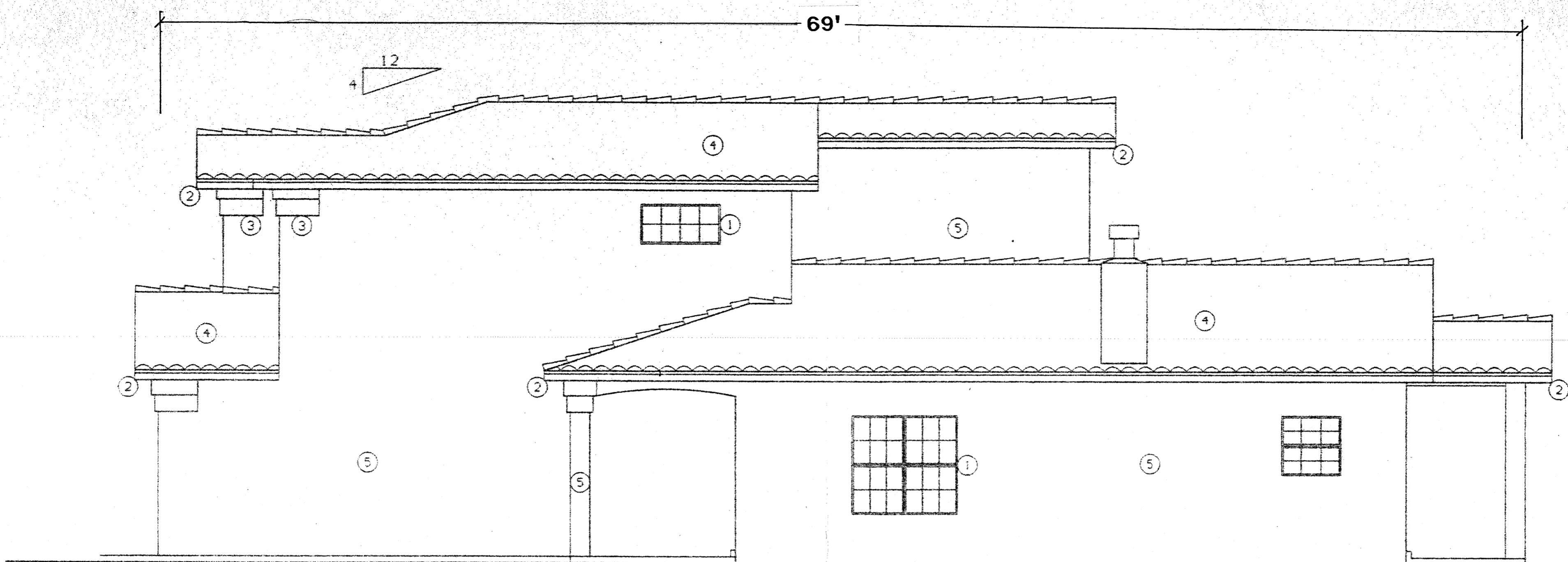
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FLOOR PLAN:

W=30'-0"
 D=65'-0"

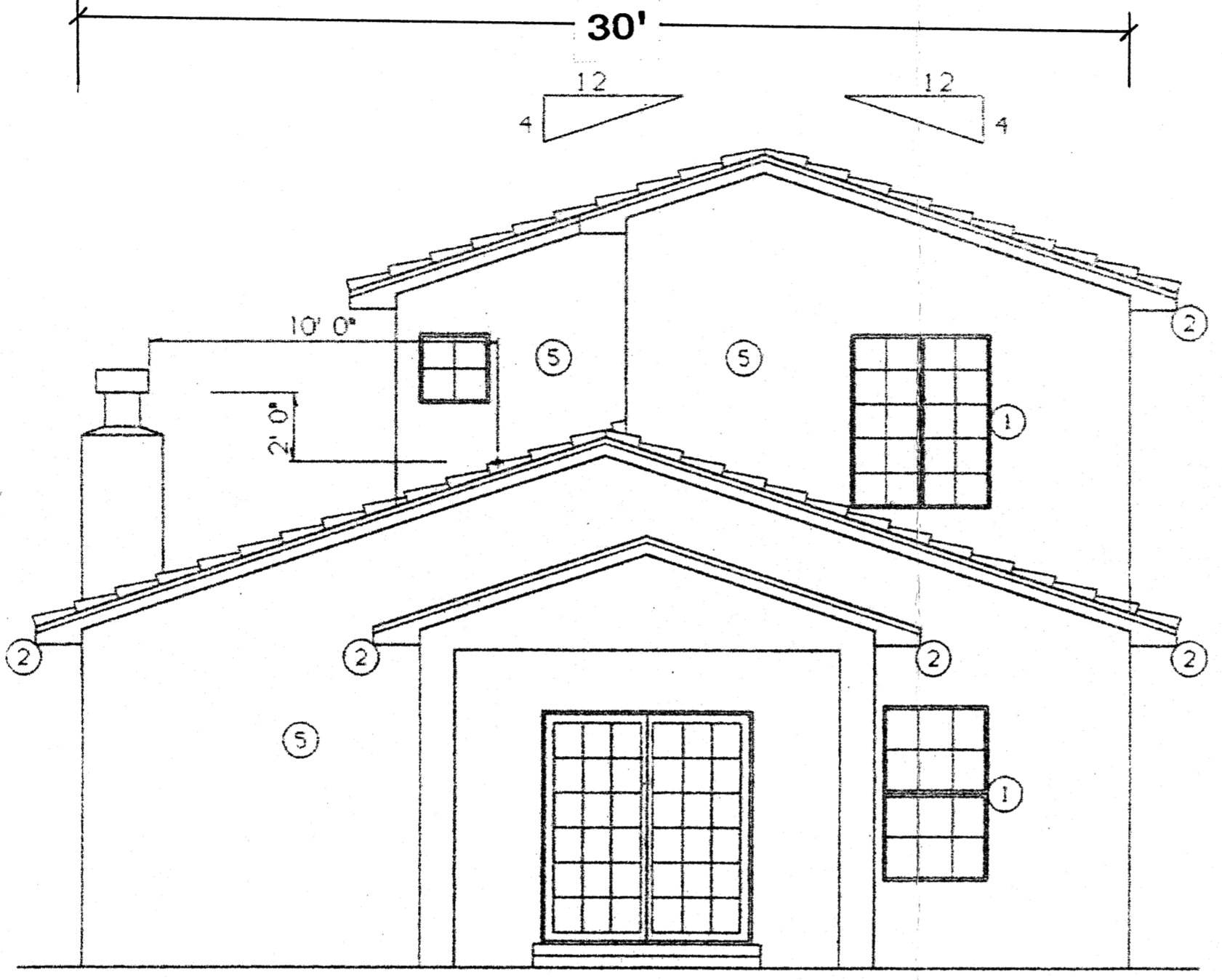


FRONT



12'-0"
RETURNS (TYP.)

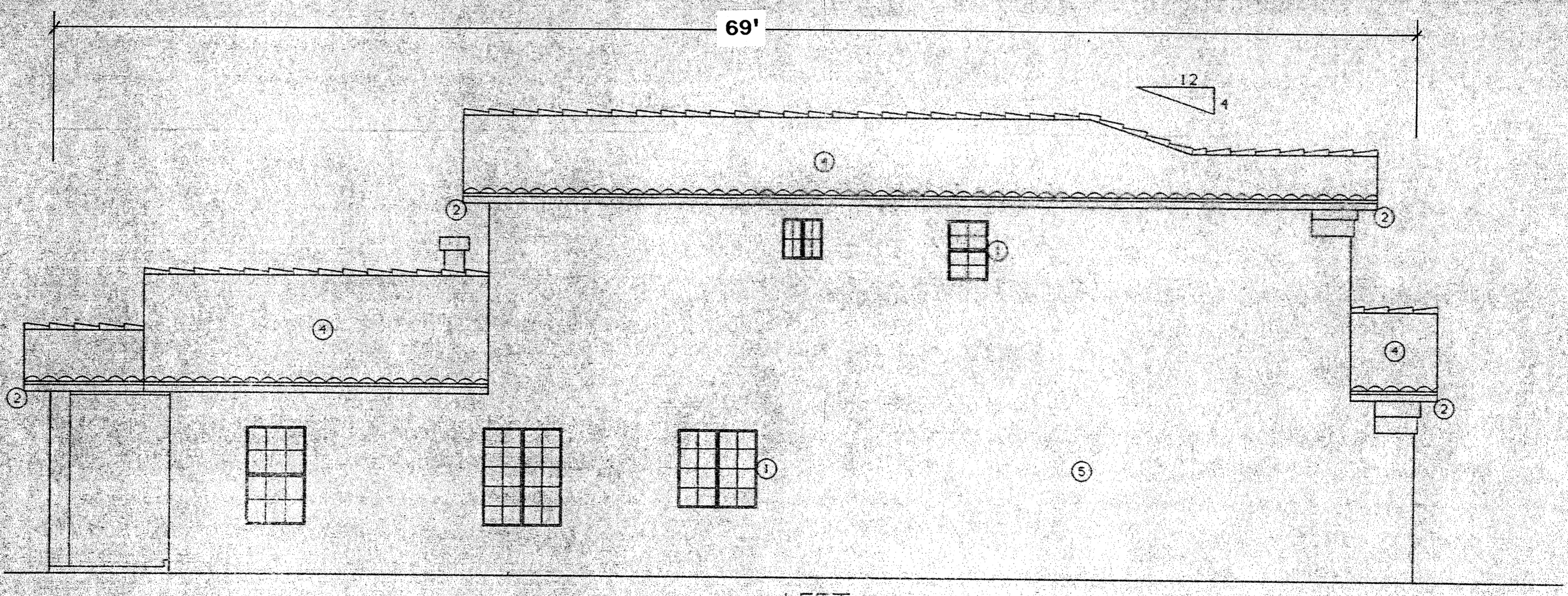
RIGHT 12'-0"
RETURNS (TYP.)



REAR

ELEVATION NOTES
(CONTINUED FROM PREVIOUS SHEET)

ELEVATIONS
SCALE: 1/4" = 1'-0"

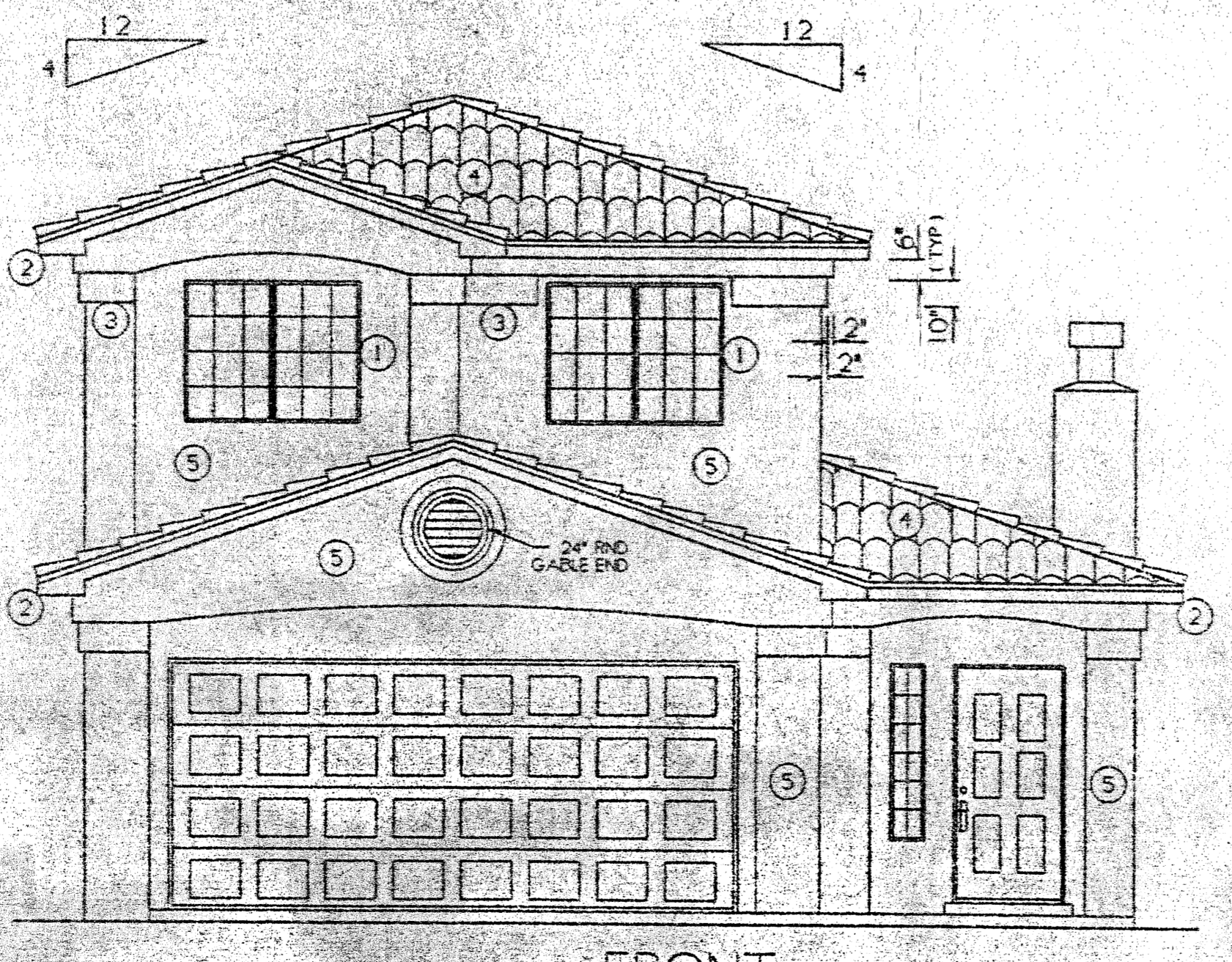


12'-0"
RETURNS (TYP.)

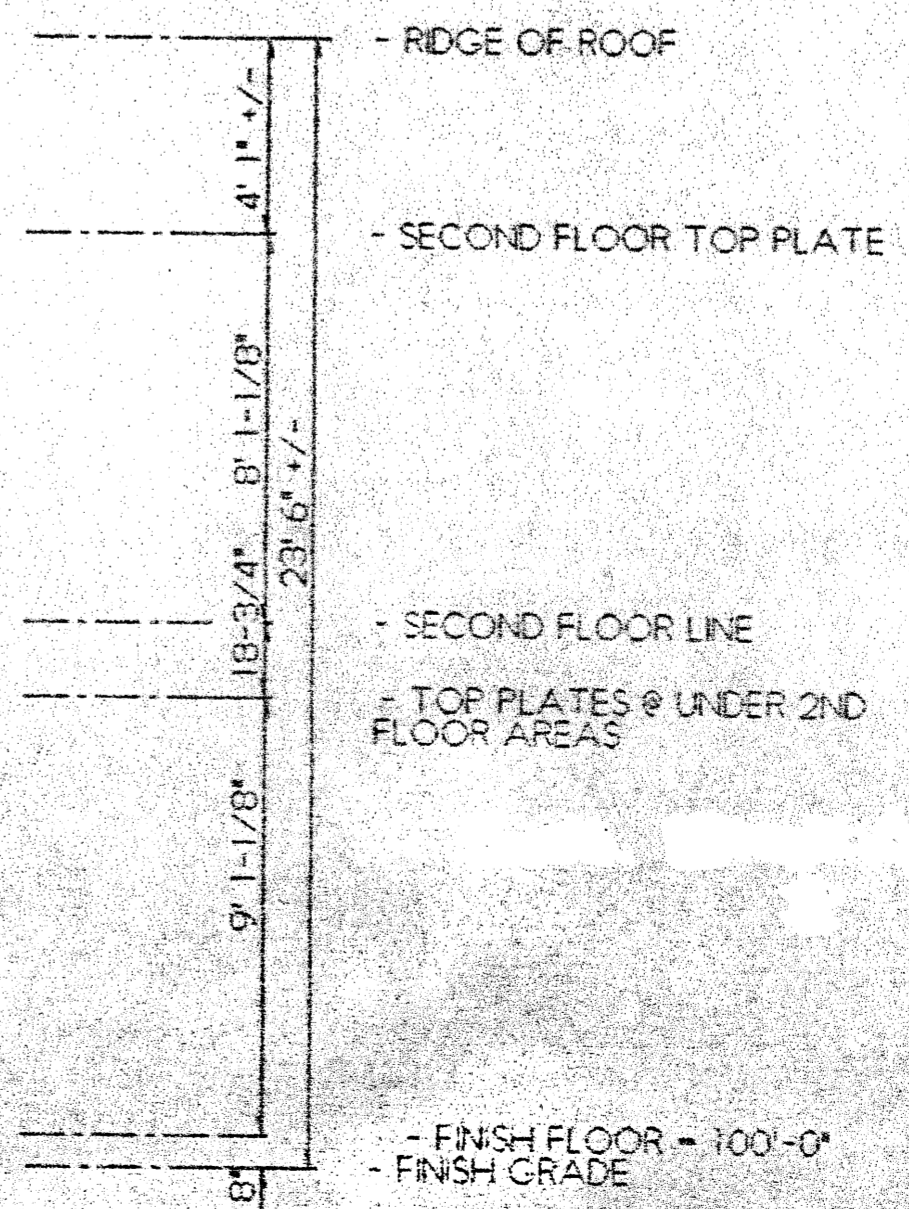
LEFT

ELEVATION NOTES
1. DOUBLE INSULATED WINDOWS (TYP.)
2. MASONITE CEILINGS & PORCHES, 6" MASONITE FASCIA, "RUFF-TEX" (TYP.)
3. 2" EXCO. "BUMP-OUT" PLANT - ON AS SHOWN
4. MISSION TILE ROOF AS SHOWN
5. ALL BLUE STUCCO EXTERIOR FINISH.

FLOOR PLAN:
W=30'-0"
D=69'-0"



FRONT



ELEVATIONS
SCALE: 1/4" = 1'-0"