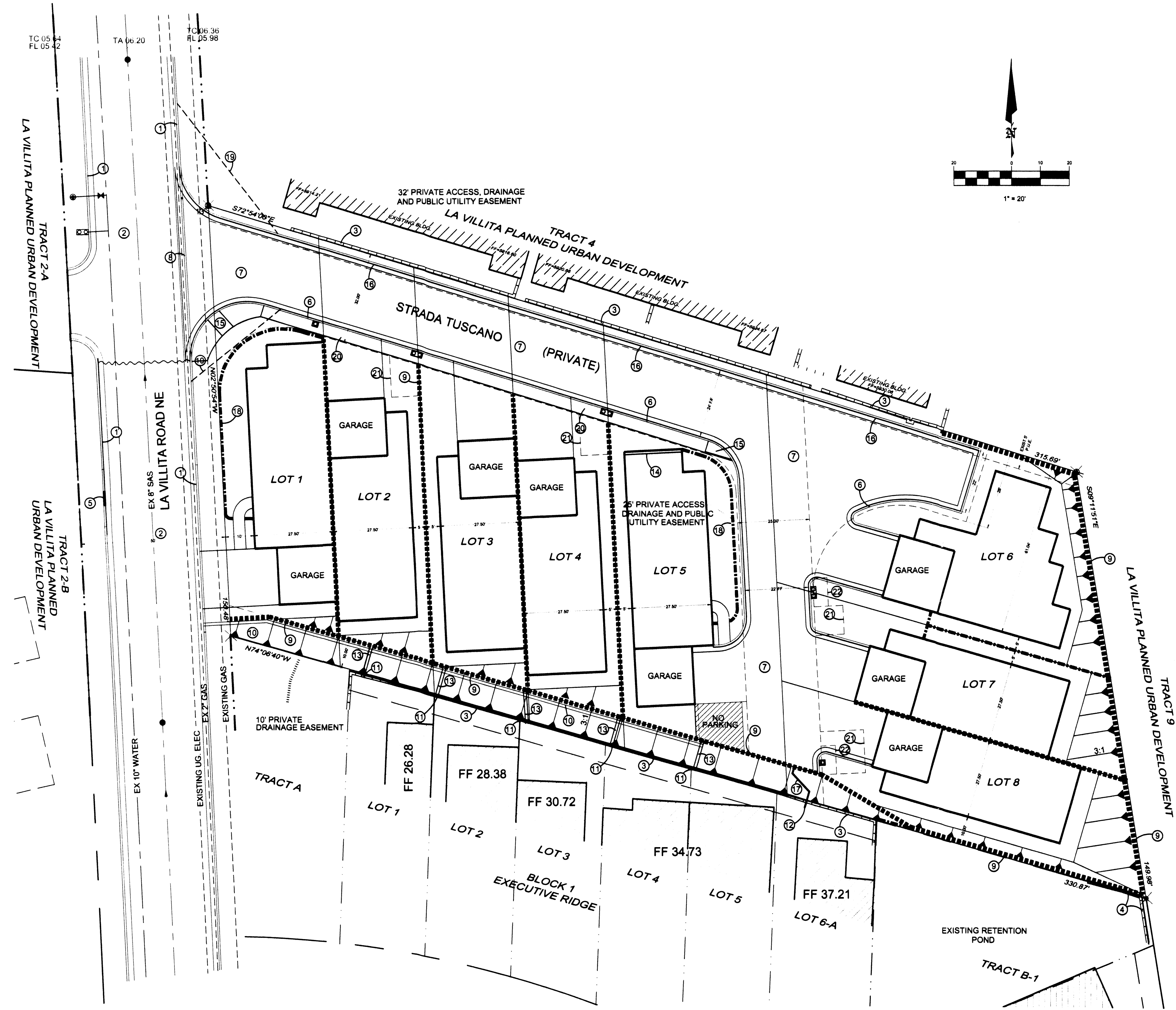
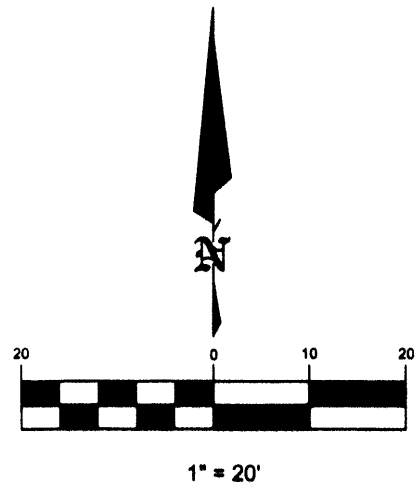
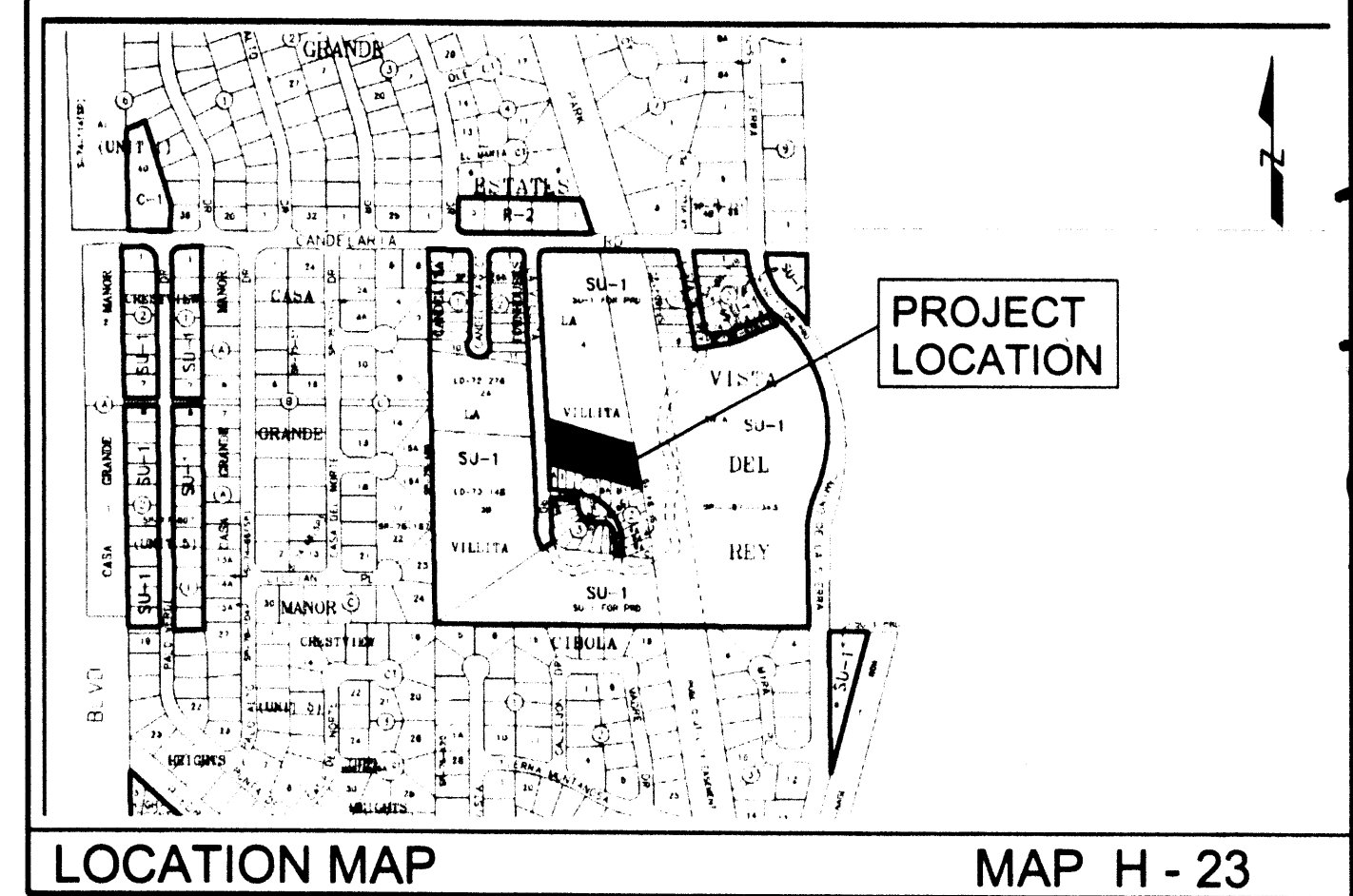


P2011001899

DRAWING INDEX	
TITLE	SHEET
SITE PLAN FOR SUBDIVISION	1
DEVELOPMENT GUIDELINES	2
LANDSCAPE PLAN	3
CONCEPTUAL GRADING AND DRAINAGE PLAN	4
CONCEPTUAL UTILITY PLAN	5
SECTIONS	6



PROJECT NUMBER: 1001899
 APPLICATION NUMBER: 01-01240

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated June 17, 2004 and the Findings and Conditions in the Official Notification of Decision are satisfied.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i> Traffic Engineering, Transportation Division	<u>8-18-04</u> Date
<i>[Signature]</i> Utilities Development	<u>8-18-04</u> Date
<i>[Signature]</i> Parks and Recreation Department	<u>8/18/04</u> Date
<i>[Signature]</i> City Engineer	<u>8/18/04</u> Date
<i>[Signature]</i> *Environmental Health Department (conditional)	Date
<i>[Signature]</i> Solid Waste Management	<u>8-17-04</u> Date
<i>[Signature]</i> DRB Chairperson, Planning Department	<u>8/18/04</u> Date

LEGEND	
NEW CURB & GUTTER	
NEW ASPHALT PAVEMENT	
NEW GARDEN WALL	
NEW RETAINING WALL	
EXISTING CMU WALL	
PROPOSED 3:1 SLOPE	
EXISTING BUILDING	
PROPOSED LOT LINE	

PROJECT DATA

EXISTING LEGAL DESCRIPTION:
 Tract 7, La Villita

PROPOSED LEGAL DESCRIPTION:
 Lots 1 Through 8, Villas Tuscano

PROPERTY ADDRESS:
 13200 LA VILLITA ROAD NE
 ALBUQUERQUE, NEW MEXICO 87112

CURRENT ZONING:
 SU-1 for PRD

SITE AREA:
 Existing Lot 7: 1.03 Acres (48,467 sf)

Proposed Lot 1	0.129 Acres (5626 sf)
Proposed Lot 2	0.111 Acres (4849 sf)
Proposed Lot 3	0.111 Acres (4824 sf)
Proposed Lot 4	0.110 Acres (4799 sf)
Proposed Lot 5	0.191 Acres (8306 sf)
Proposed Lot 6	0.177 Acres (7725 sf)
Proposed Lot 7	0.090 Acres (3955 sf)
Proposed Lot 8	0.109 Acres (4733 sf)

OPEN SPACE:

Proposed Lot 1	1859 sf
Proposed Lot 2	1414 sf
Proposed Lot 3	1414 sf
Proposed Lot 4	1472 sf
Proposed Lot 5	2384 sf
Proposed Lot 6	2050 sf
Proposed Lot 7	1295 sf
Proposed Lot 8	2109 sf

OPEN SPACE:
 300 Square Feet Of Usable Open Space Required On Each Lot

OFF STREET PARKING:
 2 Standard Parking Spaces Required On Each Lot, Not Including Space Within The Garage

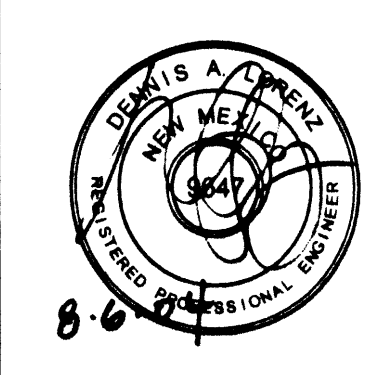
ROADWAY MAINTENANCE:
 Strada Tuscano NE is to be maintained by the property Owners (Lots 1 thru 8) under a road maintenance agreement.

SITE PLAN FOR SUBDIVISION:
 This Site Plan Is For Subdivision Purposes Only. The Purpose Of This Site Plan Is To Illustrate The Division Of Lot 7, La Villita Into 8 Residential Lots, And To Establish The Development Criteria For The Project.

SITE PLAN FOR BUILDING PERMIT:
 The Site Plan For Building Permit Will Be Based On The Development Criteria Outlined On The Site Plan For Subdivision, And The Findings And Conditions Of Approval Established By The Environmental Planning Commission. Individual Site Plans For Building Permit may Be Submitted For Building Permit Approval without further review by the Environmental Planning Commission.

- KEYED NOTES**
- EXISTING MOUNTABLE CURB & GUTTER
 - EXISTING ASPHALT ROADWAY
 - EXISTING CMU WALL
 - EXISTING CMU RETAINING WALL
 - EXISTING CURB BREAK FOR DRAINAGE
 - NEW MOUNTABLE CURB & GUTTER
 - NEW ASPHALT PAVEMENT
 - REMOVE AND DISPOSE EXIST CONC. C & G
 - NEW RETAINING WALL
 - NEW CONCRETE ALLEY GUTTER
 - EXISTING 2" PVC DRAIN
 - EXISTING 4" PVC DRAIN
 - CONCRETE GUTTER AT PVC DRAINS
 - STEM WALL
 - NEW HANDICAP ACCESS RAMP
 - NEW 6" CONCRETE CURB & GUTTER
 - EXTEND 4" PVC DRAIN THRU RET. WALL
 - NEW CMU PATIO WALL
 - CLEAR SIGHT TRIANGLE
 - NEW 4" CONCRETE SIDEWALK
 - 10x10 PUE
 - 5x10" PUBLIC WATER METER EASEMENT

BRASHER & LORENZ
 CONSULTING ENGINEERS
 2201 San Pedro NE Building 1 Suite 220
 Albuquerque, New Mexico 87110
 Ph: 505-888-6088 Fax: 505-888-6188



VILLAS TUSCANO
 SITE PLAN FOR SUBDIVISION

DRW: R.M. CKD: D.A.L. APP: REV. NO.	TR: OK: ACAD FILE: 04506 DWG	DATE: 08-01-2004 SCALE: 1"=20' SHT: 1 OF 6
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DEVELOPMENT STANDARDS

The purpose of these Development Standards is to provide the guidelines for development of Villas Tuscano. These standards address the architectural objectives, access, landscaping, setbacks, grading, drainage, and utilities that will create a functional and visually attractive residential community. These standards are to be used to supplement the City of Albuquerque Comprehensive Zoning Ordinance and Uniform Building Code.

DEVELOPMENT OBJECTIVES

Villas Tuscano subdivision will incorporate a high design of quality, ensuring pleasing aesthetics, with the development being in harmony with adjacent projects. The density is only 8 DU's per acre, less than the north adjacent project (Pointe-Condominiums-21 DU's per acre), less than the south adjacent project (Executive Ridge-Attached Townhomes-11 DU's per acre), and the same as the project to the west (La Villita-Condominiums-8 DU's per acre). The carefully planned street configuration and landscape areas create an open and pleasing aesthetic ambience for Villas Tuscano. Strada Tuscano, the private street for only eight units, was designed to meet applicable City of Albuquerque code requirements, while allowing for home placement to take advantage of views offered by the site's topography.

Villas Tuscano subdivision plan addresses the requirement that grade sets for new subdivisions blend the plat's development into the adjacent environment with a minimum of sudden grade changes. Significant cuts near the edges of the Villas Tuscano subdivision have been avoided. The plan minimizes the amount of cut required to the existing slope at the south property line, requiring only a 4-foot maximum height retaining wall. The new required retaining wall will be located 10 feet from the south property line. This design will not disturb soil near the adjoining project's garden walls. This feature of the plat design also creates a soft visual affect and a more aesthetic environment for rear yards of homes in Villas Tuscano on Lots 2-4. Wherever feasible, the existing vegetation at the south property line of Villas Tuscano will be retained as ground cover. The building site elevations of Lots 6-8 will be lower than the existing grade and will step up from north to south to blend in with adjoining projects dwelling units' elevations.

Specific architectural style will include Tuscan architectural design elements. Lots 1 and 5 are planned to be single story homes with areas of sloped and/or pitched tile roofs. The roof of the single story home on Lot 1 will blend architecturally with the two story attached home on Lot 2. Lot 5 is planned as a freestanding home. Lots 2-4 & 6-8 are planned as two story homes. The roofs of the two story homes will be primarily flat. The homes may include sloped tile roof covered patios and/or architecturally designed facade extensions to complement the Tuscan architectural design. The front architectural elevations of the homes may include covered entry portals and pitched tile roofs on garages. All buildings and attached patio walls will be earth tone stucco. To enhance the appearance of the homes in Villas Tuscano, garages are purposely not directly attached to each other.

SETBACKS

Setbacks for this development shall be as follows:

Front yard setback shall be 20 feet.

Rear yard setback shall be 10 feet.

Side yard setbacks shall be 10 feet along La Villita Road (Lot 1), 8 feet where a side yard abuts an existing rear yard (Lots 6 and 8), 5 foot minimum elsewhere. Zero lot line setbacks are allowed where the buildings have common walls.

BUILDING HEIGHT

Building height will be controlled by regulation as in the R-1 zone, section 14-16-2-6 of the Zoning Code.

OFF STREET PARKING

Standard off street parking spaces will be provided on each residential lot per the "P1" lot designation as outlined Section 14-16-3-1.A.24.c of the Zoning Code.

OPEN SPACE

Per Section 14-16-2-22 of the Zoning Code a minimum of 300 square feet of usable open space will be provided for each lot. Exact usable open space areas for each lot are tabulated on the Site Plan, sheet 1.

LANDSCAPING

Landscaping is to be controlled in all front yards and common areas by the Landscape Plan (See sheet 3). The Plan recommends the use of introduced and naturalized species to supplement the indigenous plant palette. Controlled uses of indigenous organic materials (i.e. rocks and gravel) will function as ground cover or paving substitutes.

As shown by the Plan, the following landscape improvements shall be provided:

- The front yards of all lots shall be landscaped per the Plan.
- The side yard shall be landscaped on Lot 1 north and west of a patio wall to provide an attractive entry feature.
- The area along the north side of the proposed private drive will be landscaped with ground covers, and street trees planted at 30 intervals.
- The 3 horizontal to 1 vertical side slopes in the rear yards of Lots 1 through 5 is stabilized by utilizing the existing natural vegetation.

All landscaping improvements are to be owned and maintained by the Villas Tuscano property owners.

ACCESS

Access will be taken from La Villita Road NE a paved, privately owned and maintained roadway. La Villita Road NE is owned by the La Villita Home Owners Association and maintained, by agreement, by Vista Del Rey Condominiums. La Villita Road NE intersects with Candelaria Road NE approximately 700 feet north of the site.

Strada Tuscano is to be a 24-foot private roadway, with concrete curb and gutter, a 4-foot sidewalk on the south side, and asphalt pavement. Strada Tuscano will be owned and maintained by the Villas Tuscano property owners.

GRADING AND DRAINAGE

EXISTING CONDITIONS

The site consists predominantly of compacted earth supporting sparse vegetation and draining to the west at approximately 10 percent to an increasingly more well defined channel. The historic contributing basin associated with this channel has been diverted north toward Candelaria Road by a berm on the west side of the PNM easement. Off-site flows impact the site from the existing development located to the south. Six properties to the south discharge runoff from rear yards through PVC wall penetrations to the project site. Off-site drainage from the north flows through a dip in La Villita Road NE and into a well-defined, broad, sodded swale between Tracts 2A and 2B of La Villita Subdivision. The swale has ample capacity to carry developed runoff from its entire basin to a point on the western boundary of La Villita, Tract 2B, where it reaches a public drainage right of way through Block C of Casa Grande Manor subdivision.

Immediately north of the existing dip section in La Villita Road NE, approximately 55 feet from the northwest corner of the project site is a local high point in the street barring drainage in La Villita Road NE from continuing north towards Candelaria Road. Roughly 200 feet north, along La Villita Road NE, a similar dip exists, from which drainage flows are removed from the street by a drop inlet and released 165 feet north through a 4" storm drain. It has been observed that during heavy rainfall events this drop inlet becomes clogged with debris thereby causing water to flood a portion of La Villita Road.

As shown by the FIRM Panel for this area, this site does not lie within a designated flood hazard zone.

PROPOSED CONDITIONS:

As shown by the plan, the project consists of the development of the site into 8 single-family residences on separate lots. Each lot will drain from south to north by way of a swale near its west boundary. These swales will spill to the proposed private road and drainage easement across the northern portion of the lots. Drainage will then travel along the proposed curb and gutter on the north side of the street to La Villita Road, then north to the dip section described above. The existing storm drainage system will be thoroughly cleaned and repaired, as necessary to improve system function.

Drainage runoff coming onto Villas Tuscano property from backyards of the adjoining project to the south is addressed in the plan. The plan accommodates this existing drainage condition. Infrastructure will be constructed at the developer's expense to manage this existing drainage condition. The new retaining wall to be built near the south property line in Villas Tuscano subdivision will be located 10 feet from the adjoining project's existing south property line and garden walls. The plan incorporates a concrete gutter to catch existing PVC drainage runoff from the backyards of this adjoining property to the south. The concrete gutter will be constructed at the south edge of the new retaining wall as shown on the Villas Tuscano Conceptual Grading and Drainage Plan. One backyard will drain into Strada Tuscano through an extension of the existing 4" PVC drain through the new retaining wall.

EROSION CONTROL:

Temporary erosion control will be required along the west project boundary during construction to prevent the discharge of sediment onto adjoining private property. The contractor should construct a ditch-dike system or erect a silt fence along the west property line to provide a ponding area at the west end of the site, away from any buildings. Complete details will be provided in the Storm Water Pollution Prevention Plan to be prepared prior to Building Permit.

UTILITIES

All utilities are available from existing facilities located within La Villita Road NE. Water and sanitary sewer service will be obtained by extensions from the existing public lines located in La Villita. Standard services will be constructed for each lot per City of Albuquerque requirements. Utility expansion fess will be imposed for each service connection.

Electricity, gas, telephone and cable television service will be obtained by routine services extension from existing lines located within La Villita Road.

SIGNAGE

A single project entry sign will be provided on the proposed patio wall at the intersection of La Villita and Strada Tuscano. See detail this sheet.

SIDEWALKS

A 4' sidewalk is proposed along the south side of Villas Tuscano in front of Lots 1 through 5. No sidewalks exist on La Villita Road NE, with the road easement landscaped from back of curb to property lines.

WALLS

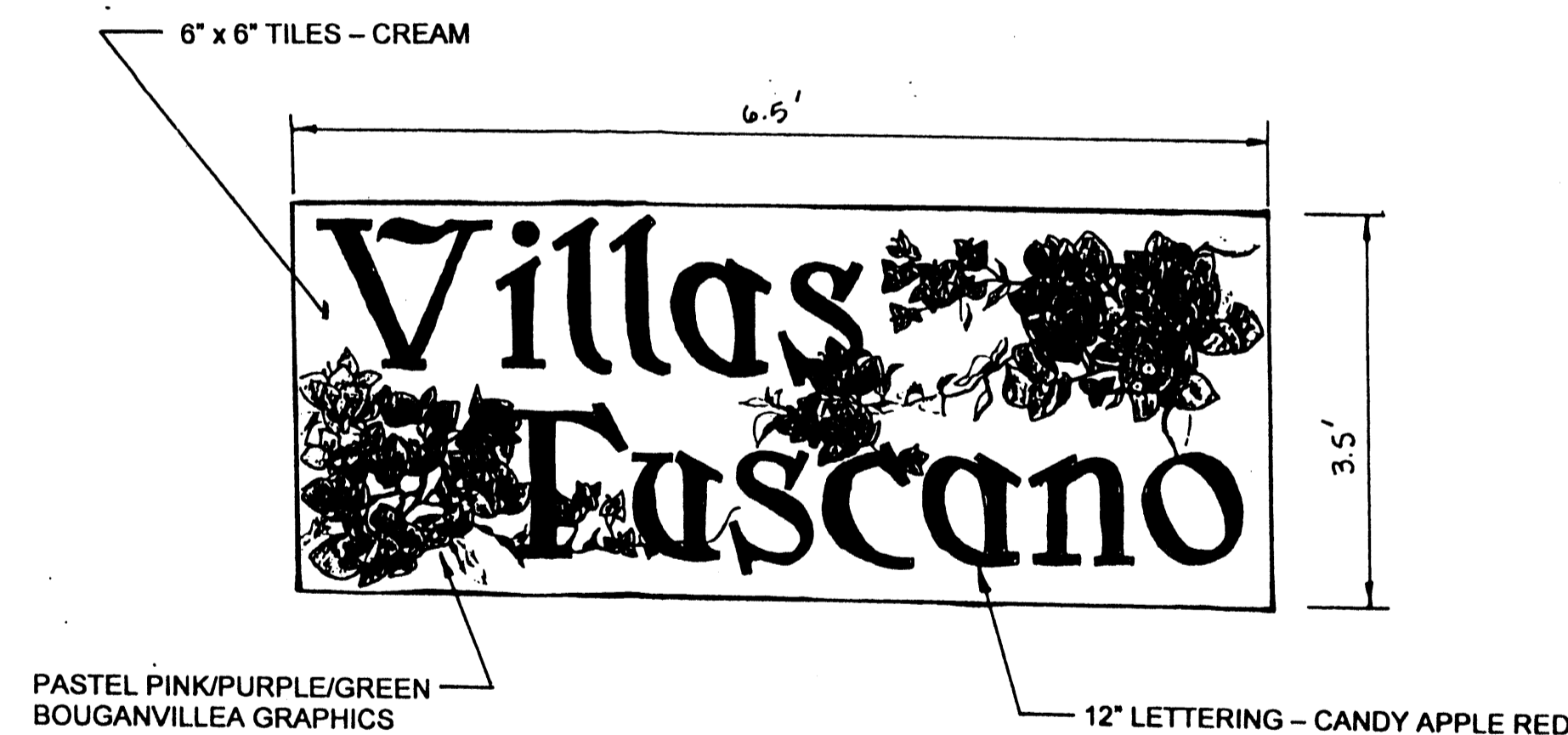
Patio walls are to be constructed on Lots 1 and 5 as shown by the Plan. Each wall will not exceed 6 feet in height. The walls will be earth tone stucco to match the building texture and color.

SITE LIGHTING

No project site lighting is proposed for this development.

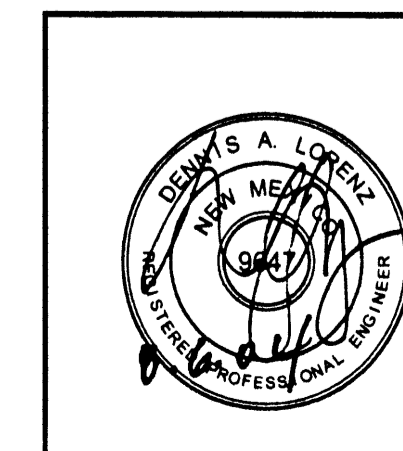
SITE PLAN FOR BUILDING PERMIT

Individual Site Plans for Building Permit shall be prepared in compliance with these Development Standards. The Site Plan for Building Permit shall be submitted to Building and Safety for Building Permit approval without further review by the Environmental Planning Commission.



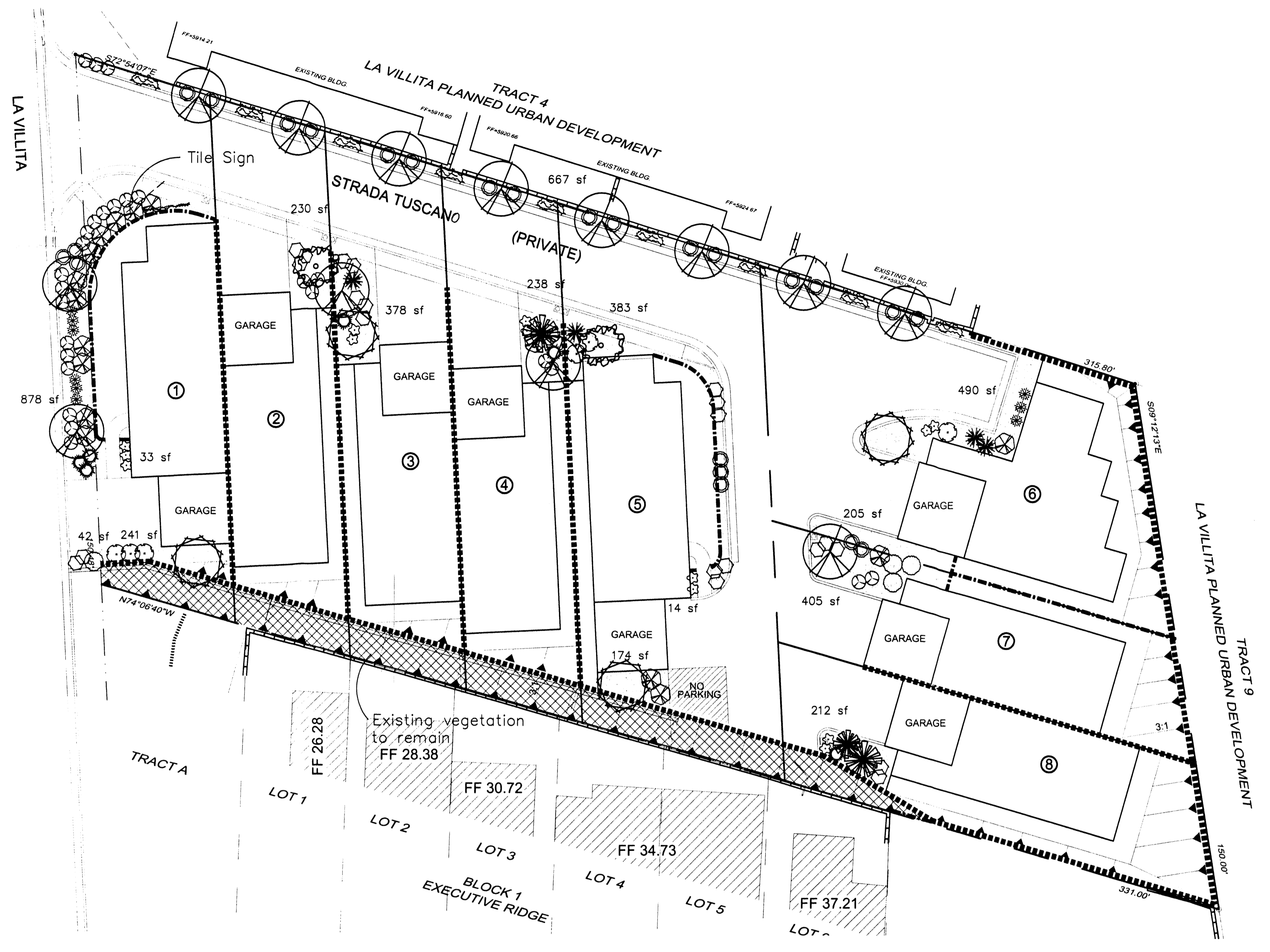
PROJECT SIGN DETAIL

BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 220
Albuquerque, New Mexico 87110
Ph: 505-888-6088 Fax: 505-888-6188



VILLAS TUSCANO
DEVELOPMENT CRITERIA

DRW: R.M	TR:	DATE: 08-01-2004
CKD: P.T.B	OK:	SCALE: 1"=20'
APP:	ACAD FILE:	SHT: 2 OF 6
REV. NO.	04506 DWG	



PLANT LEGEND

- FLOWERING PEAR (H) 13
Pyrus calleryana
2" Cal.
- DESERT WILLOW (L) 4
Chilopsis linearis
15 Gal.
- GREEN SPIRE EUONYMUS 6
Euonymus japonica "Green spire"
5 Gal.
- YUCCA PENDULA (L) 8
Yucca recurvifolia "Pendula"
5 Gal.
- INDIAN HAWTHORN (M) 17
Raphiolepis indica
5 Gal.
- SPUN SUGAR CORALBERRY 4
Symphoricarpos orbiculatus "Spun Sugar"
5 Gal. 25sf
- BLUE MIST SPIREA (M) 9
Caryopteris clandonensis
5 Gal.
- PURPLE SMOKE WILD INDIGO 6
Baptisia x "Purple Smoke"
5 Gal.
- RED CLIMBING ROSE 2
Rosa spp.
5 Gal. 200sf
- CRAPE MYRTLE 2
Lagerstroemia indica
10 Gal.
- PALM YUCCA (L) 3
- ARP ROSEMARY (M) 24
Rosmarinus officinalis
2 Gal. 36sf
- SILVER SAGE 14
Artemisia cana
1 Gal.
- ROSE AUTUMN SAGE (M) 22
Salvia greggii
1 Gal. 9sf
- WILDFLOWER 26
1 Gal. 4sf
- CREEPING ROSEMARY 9
Rosemarinus spp.
1 Gal. 36sf
- SANTA FE BROWN GRAVEL
WITH FILTER FABRIC

LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

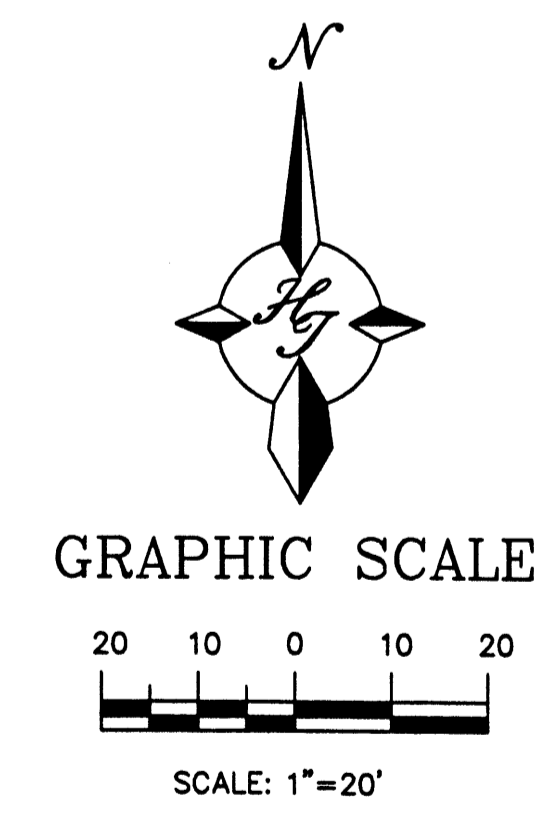
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others. Each lot to have separate controller.

Irrigation maintenance shall be the responsibility of the Property Owner.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

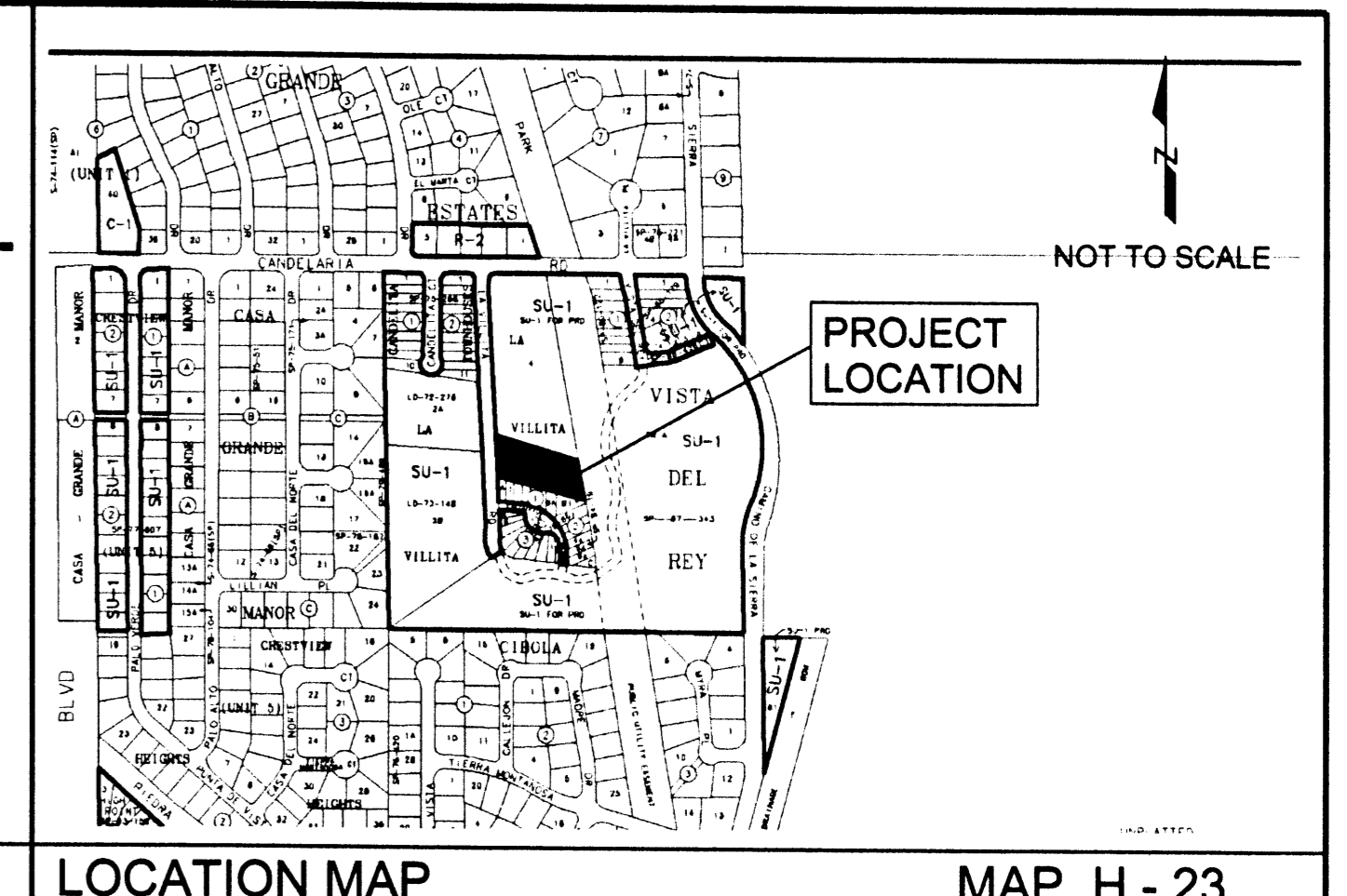
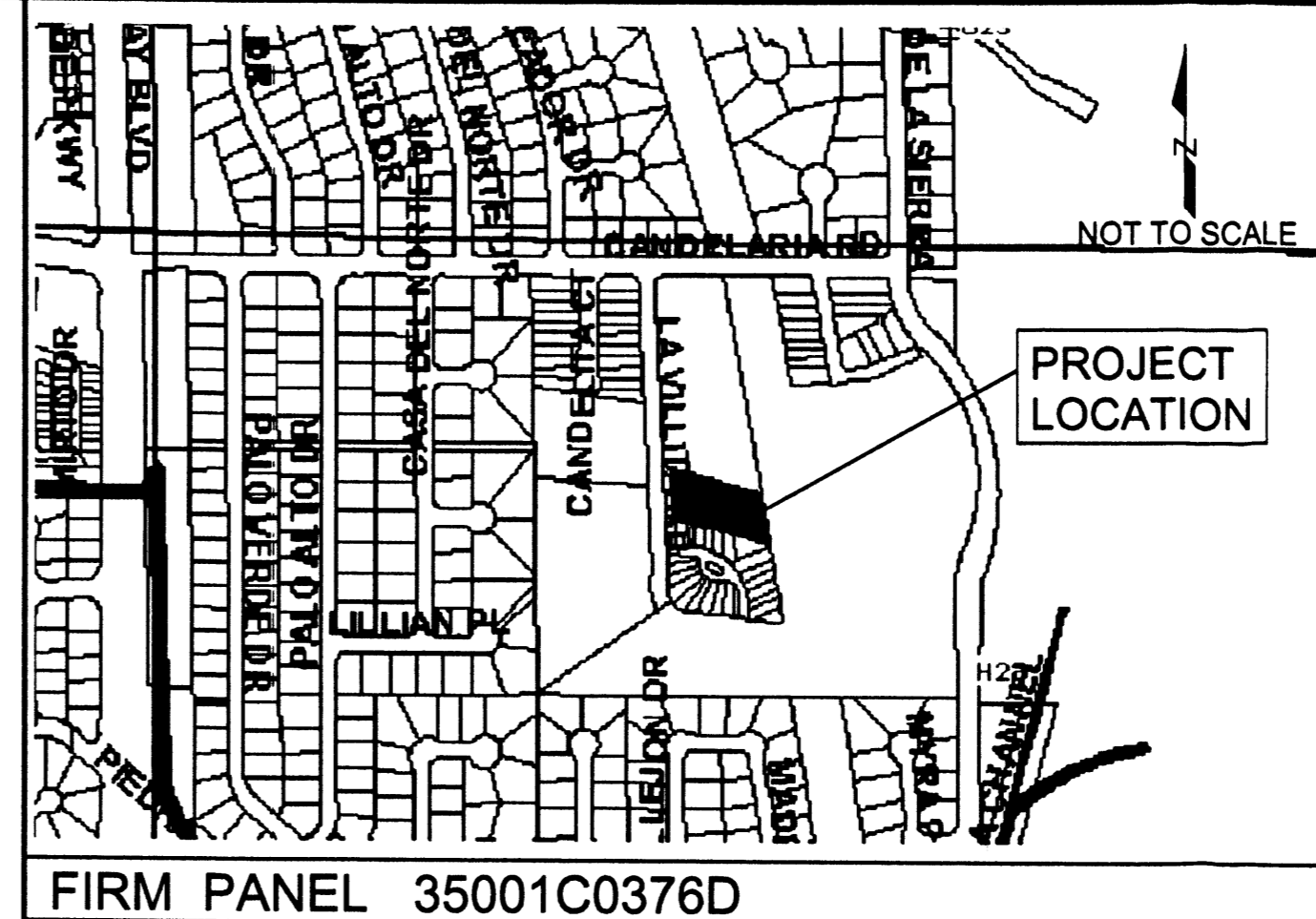
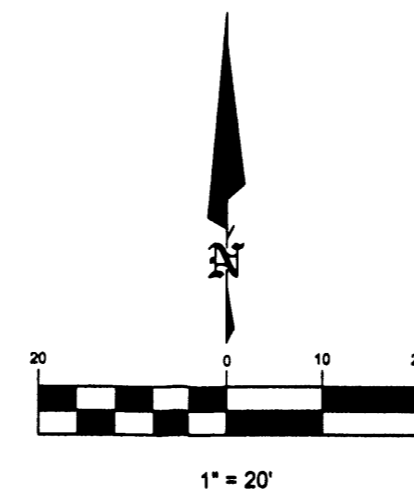
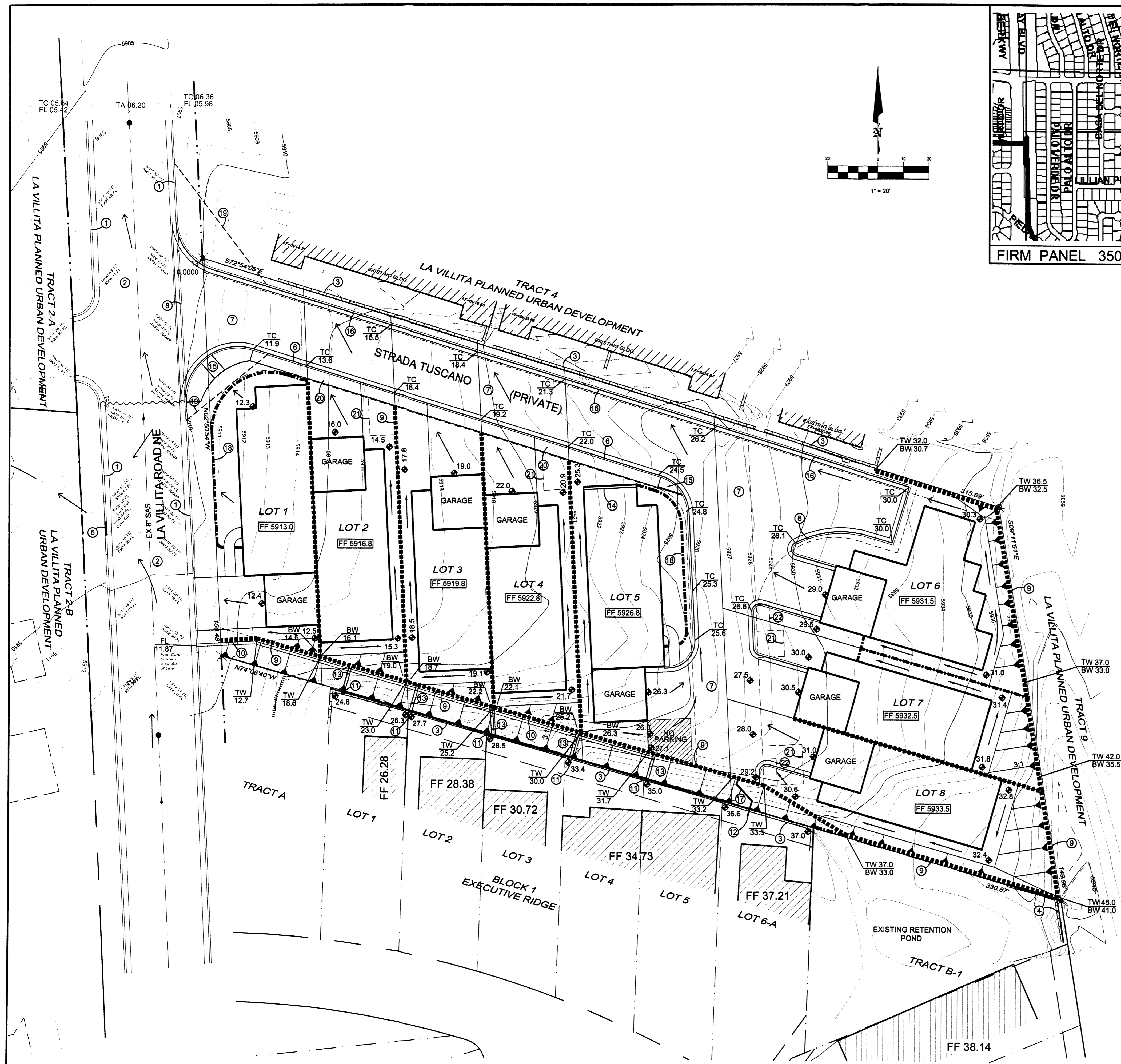


The Hilltop
 LANDSCAPE ARCHITECTS & CONTRACTORS
 Cont. Lic. #26458
 7909 Edith N.E.
 Albuquerque, NM 87184
 Ph. (505) 898-9690
 Fax (505) 898-7737
 cnd@hilltoplandscaping.com
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.

Villas Tuscano
6-29-04

BRASHER & LORENZ
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 2201 San Pedro NE Building 1 Suite 1200
 Albuquerque, New Mexico 87110
 Ph: 505-888-8088 Fax: 505-888-6188

VILLAS TUSCANO LANDSCAPE PLAN		
DRW: HILLTOP	TR:	DATE: 08-01-2004
CKD: K.D.	OK:	SCALE: 1"=20'
APP:	ACAD FILE:	SHT: 3 OF 6
REV. NO.		



CONCEPTUAL GRADING & DRAINAGE PLAN

SCOPE:

Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage plan outlines the drainage management criteria for controlling runoff from the project site. The property is to be developed as eight single family residences with associated paving, landscaping, utility, grading, and drainage improvements.

EXISTING CONDITIONS:

The currently undeveloped project site is approximately 1.029 acres in size and is located on the east side of La Villita Road NE approximately 600 feet south of Candelaria Road NE. The site is bounded on the north and south by developed lots with walls located close to the property lines. To the east, the site is bounded by Vista Del Rey Condominiums, the western portion of which is comprised of a 150' easement dedicated to PNM.

The site presently consists predominantly of compacted earth supporting sparse vegetation and draining to the west at approximately 10 percent to an increasingly more well defined channel. The historic contributing basin associated with this channel has been diverted north toward Candelaria Road by a berm on the west side of the PNM easement. Currently, no significant off-site flows impact the site. The site accepts minor flows from Executive Ridge located to the south. Minor drainage flows enter the site from Lot 1 through Lot 6-A through PVC pipe penetrations at the CMU garden walls. Off-site runoff from the north discharges from an existing dip section in La Villita Road NE and into a well-defined, broad, sodded swale between Tracts 2A and 2B of La Villita Subdivision. The swale has ample capacity to carry developed runoff from its entire off-site basin to a point on the western boundary of La Villita, Tract 2B, where it reaches a public drainage right of way at Casa Grande Manor. Immediately north of the existing dip section in La Villita Road NE, approximately 55 feet from the northwest corner of the project site is a local high point in the street barring drainage in La Villita Road NE from continuing north towards Candelaria Road. Roughly 200 feet north, along La Villita Road NE, a similar dip exists, from which drainage flows are removed from the street by a drop inlet and released north through an existing 4-inch pipe. It has been observed that during heavy rainfall events this drop inlet becomes clogged with debris thereby causing water to flood the dip section to a depth of approximately 1-foot.

As shown on the attached FIRM Panel, this site does not lie within a designated flood hazard zone.

PROPOSED CONDITIONS:

As shown by the plan, the project consists of the development of the site into 8 single-family residences on separate lots. Each lot will drain from south to north by way of yard swales, outfalling at Strada Tuscano. Drainage will flow west to La Villita Road, the turn north to the existing dip section located approximately 200 feet north of the site. The dip section will drain by an existing inlet and 4-inch storm drain to a point approximately 165 feet further north. The existing inlet and storm drain will be thoroughly cleaned and repaired as necessary to improve system function.

EROSION CONTROL:

Temporary erosion control will be required along the west project boundary during construction to prevent the The exact erosion controls will be outlined in a Storm Water Pollution Prevention Plan to be prepared prior to construction.

CALCULATIONS:

The calculations shown hereon define the 100-year/6-hour design storm falling within the project area under existing and developed conditions. The hydrology is per "Section 22.2, Development Process Manual," dated July 1997.

KEYED NOTES

1. EXISTING MOUNTABLE CURB & GUTTER
2. EXISTING ASPHALT ROADWAY
3. EXISTING CMU WALL
4. EXISTING CMU RETAINING WALL
5. EXISTING CURB BREAK FOR DRAINAGE
6. NEW MOUNTABLE CURB & GUTTER
7. NEW ASPHALT PAVEMENT
8. REMOVE AND DISPOSE EXIST CONC. C & G
9. NEW RETAINING WALL
10. NEW CONCRETE ALLEY GUTTER
11. EXISTING 2" PVC DRAIN
12. EXISTING 4" PVC DRAIN
13. CONCRETE GUTTER AT PVC DRAINS
14. STEM WALL
15. NEW HANDICAP ACCESS RAMP
16. NEW 6" CONCRETE CURB & GUTTER
17. EXTEND 4" PVC DRAIN THRU RET. WALL
18. NEW 6" CMU PATIO WALL
19. CLEAR SIGHT TRIANGLE
20. NEW 4" SIDEWALK
21. 10'X10' PUE
22. 5'X10' WATER METER EASEMENT

LEGEND

- 6001 EXIST. CONTOUR / ELEV.
- 02.5 x EXIST. SPOT ELEV.
- 27 — PROPOSED CONT. / ELEV.
- --- PROPERTY LINE
- 01.5 ⊕ PROPOSED SPOT ELEV.
- ← DIRECTION OF FLOW
- DRAINAGE SWALE
- DRAINAGE BASIN DIVIDE
- EXIST. POLE WIGUY
- EXIST. FENCE
- EXIST. ROAD
- EXIST. CMU WALL
- EXISTING CMU WALL
- NEW RETAINING WALL
- TW 36.6 TOP OF WALL ELEV.
- 3:1 SLOPE

PROPERTY ADDRESS
13200 LA VILLITA
PROJECT LOCATION

**EAST OF LA VILLITA
SOUTH OF CANDELARIA
ALBUQUERQUE, NEW MEXICO**

LEGAL DESCRIPTION: TRACT 7, LA VILLITA
EXISTING ZONING: SU-1 for PRD
PROPOSED ZONING: (NO CHANGE)
SUBDIVISION AREA: 1.03 AC.
PROPOSED DEVELOPMENT:
SINGLE FAMILY RESIDENTIAL
TOTAL NUMBER OF LOTS EXISTING: 1
TOTAL NUMBER OF LOTS PROPOSED: 8

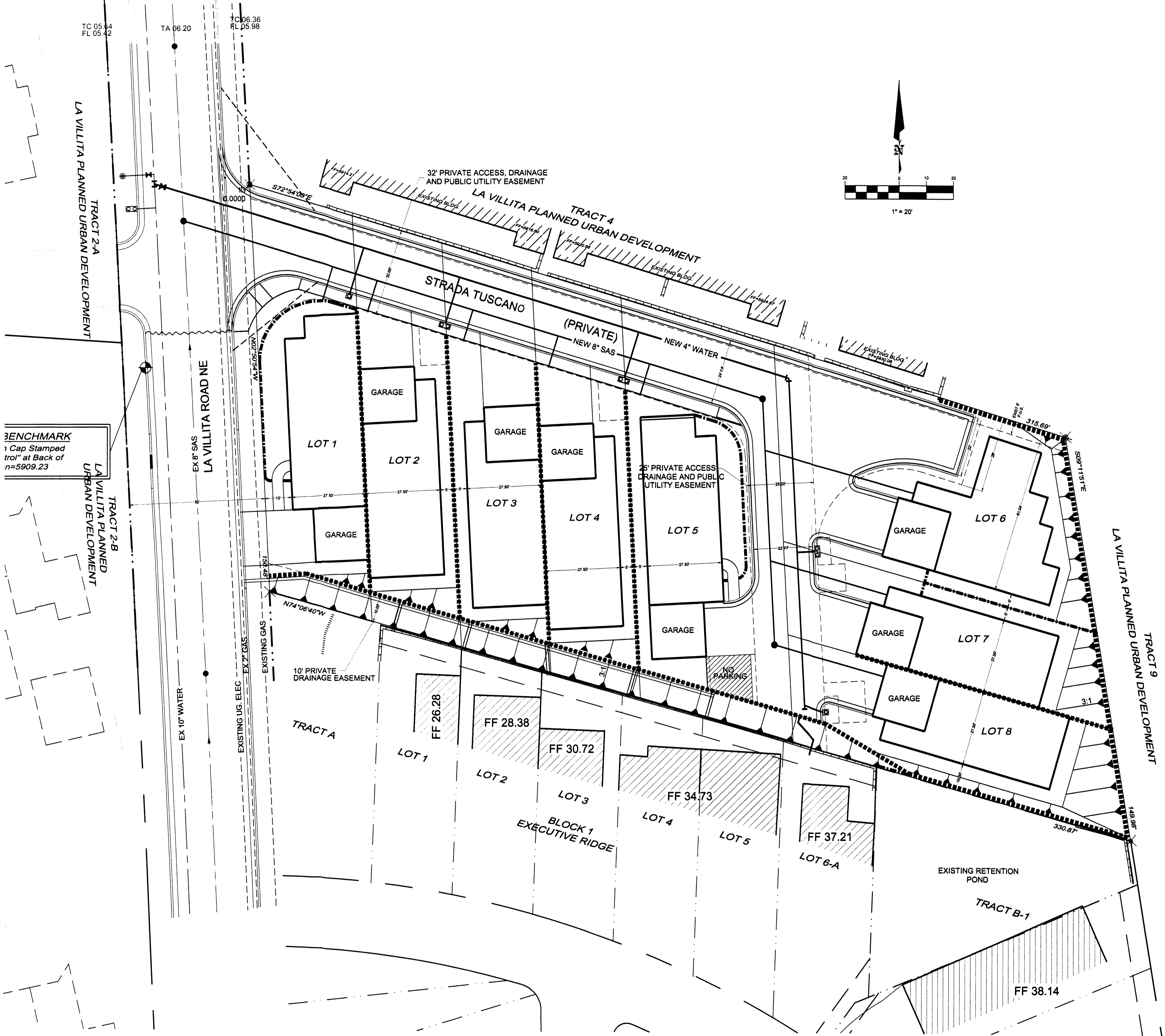
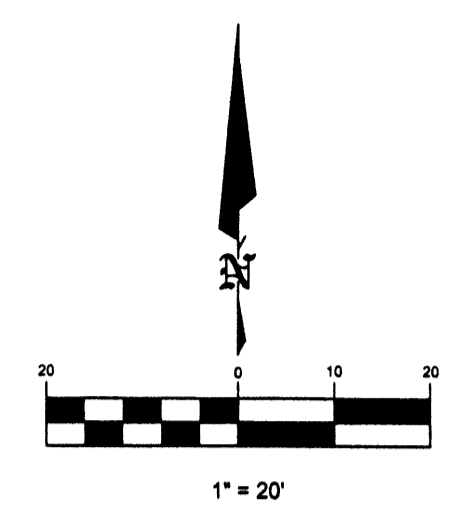
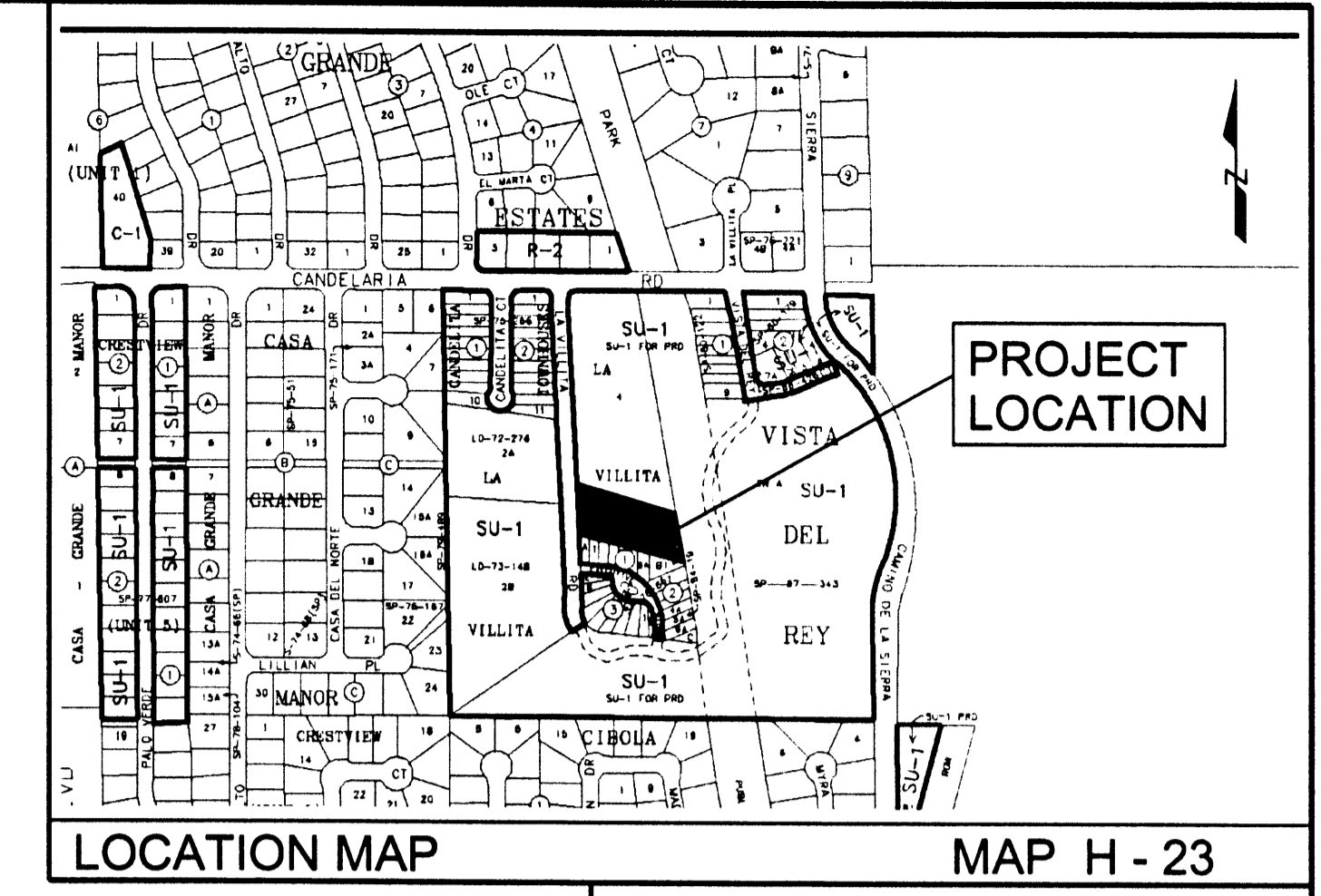
ACCESS:
EXISTING LA VILLITA RD (PRIVATE)
PROPOSED: STRADA TUSCANO (PRIVATE)

**WATER / WASTEWATER: CONNECTION TO
EXISTING CITY WATER AND SEWER LINES IN LA
VILLITA; EXTENSION OF CITY WATER AND
SEWER LINES IN PROPOSED STRADA TUSCANO
CITY WATER AND SEWER EASEMENT**

BRASHER & LORENZ
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2201 San Pedro NE Building 1 Suite 220
Albuquerque, New Mexico 87110
Ph: 505-868-6088 Fax: 505-868-6188

VILLAS TUSCANO
CONCEPTUAL GRADING & DRAINAGE PLAN

DRW: R.M	TR:	DATE: 08-01-2004
CKD: P.T.B	OK:	SCALE: 1"=20'
APP:	ACAD FILE:	SHT: 4 OF 6
REV. NO.	04506 DWG	



BENCHMARK
1 Cap Stamped
trol" at Back of
n=5909.23

LEGEND

- 8" SAS — EXISTING SANITARY SEWER
- 10"W — EXISTING WATER LINE
- - - UG - - - EXISTING UG ELECTRIC
- . . - . . - RIGHT-OF-WAY
- - - GAS - - - EXISTING GAS
- 8" SAS — NEW SANITARY SEWER
- 6" W — NEW WATER LINE
- [Symbol] — NEW WATER METER
- — EXIST. POLE W/GUY
- ==== EXISTING GURB AND GUTTER
- ==== NEW CURB AND GUTTER
- 24" SD — NEW STORM DRAIN
- [Symbol] — EXISTING CMU WALL
- [Symbol] — NEW RETAINING WALL

PROPERTY ADDRESS

13200 LA VILLITA

LEGAL DESCRIPTION: TRACT 7, LA VILLITA

EXISTING ZONING: SU-1 for PRD
PROPOSED ZONING: (NO CHANGE)

SUBDIVISION AREA: 1.03 AC.

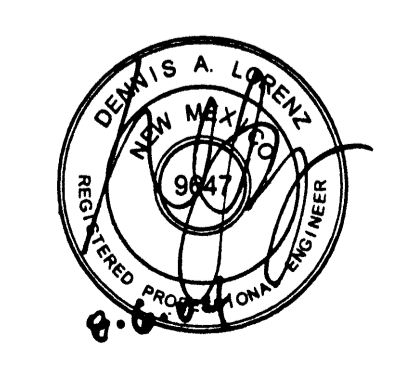
PROPOSED DEVELOPMENT:

SINGLE FAMILY RESIDENTIAL
TOTAL NUMBER OF LOTS EXISTING: 1
TOTAL NUMBER OF LOTS PROPOSED: 8

ACCESS:
EXISTING LA VILLITA RD (PRIVATE)
PROPOSED: STRADA TUSCANO (PRIVATE)

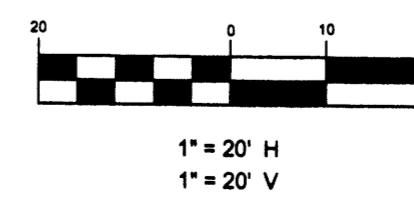
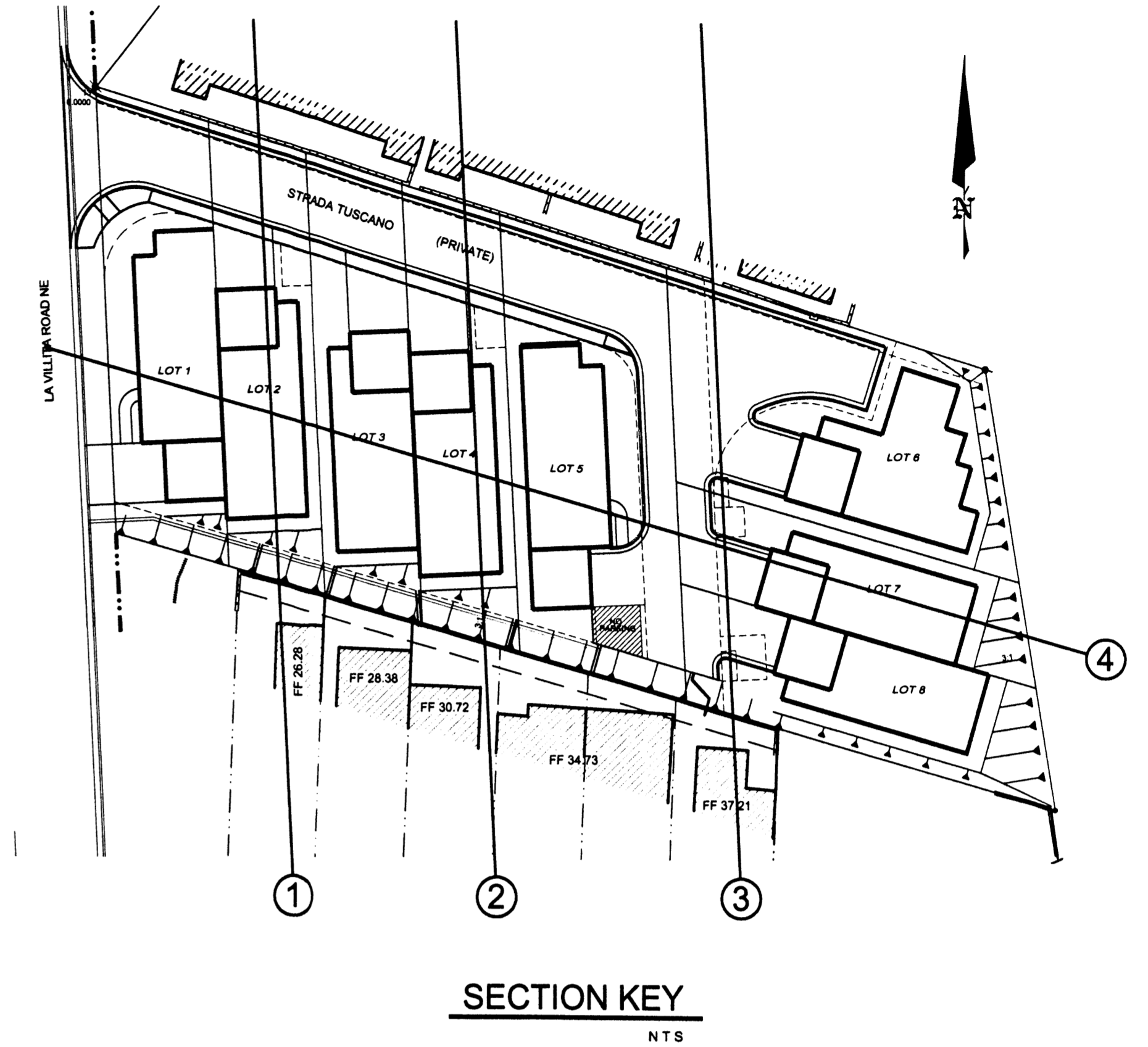
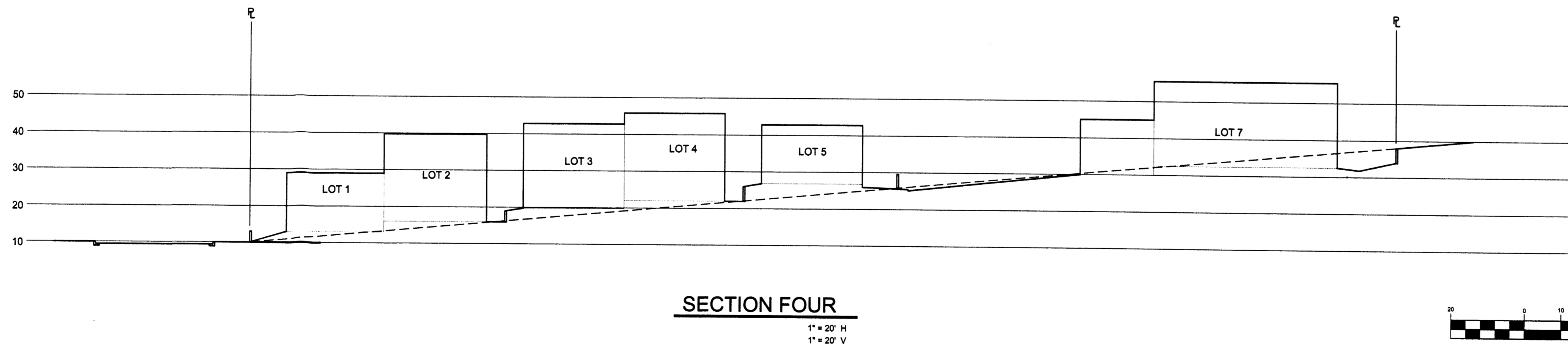
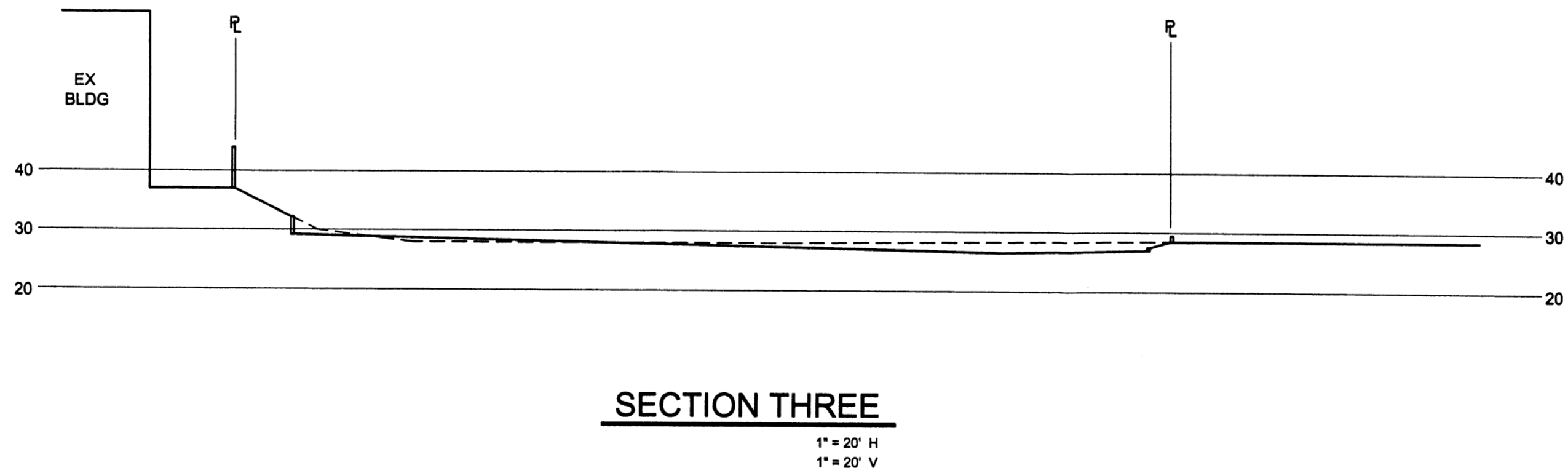
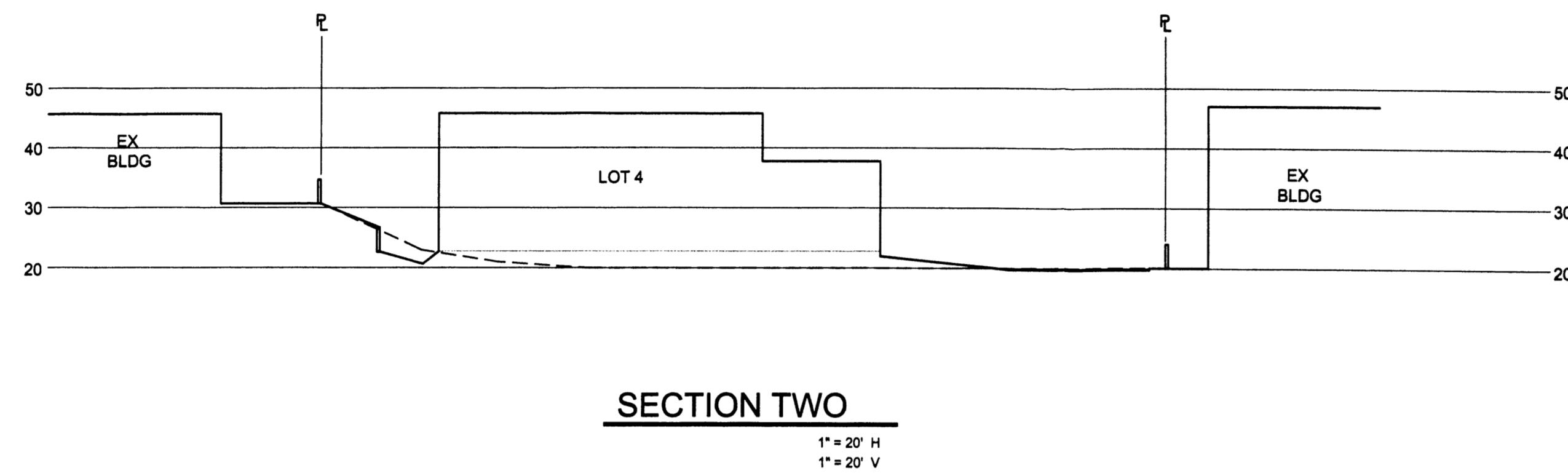
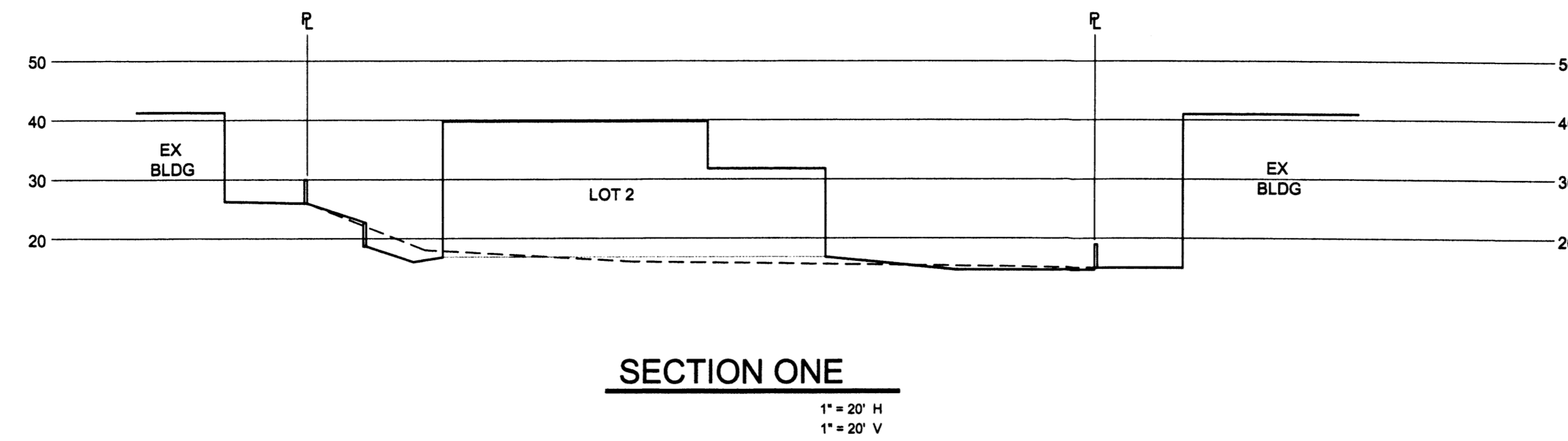
WATER / WASTEWATER: CONNECTION TO EXISTING CITY WATER AND SEWER LINES IN LA VILLITA; EXTENSION OF CITY WATER AND SEWER LINES IN PROPOSED STRADA TUSCANO CITY WATER AND SEWER EASEMENT

BRASHER & LORENZ
CONSULTING ENGINEERS
2201 San Pedro NE Building 1 Suite 220
Albuquerque, New Mexico 87110
Ph: 505-886-6088 Fax: 505-886-6188

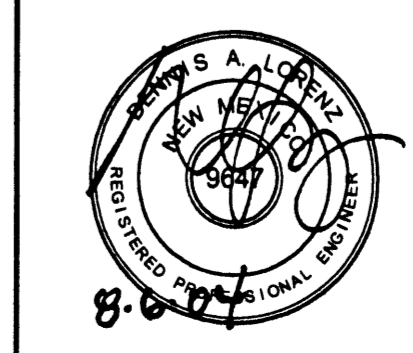


VILLAS TUSCANO
CONCEPTUAL UTILITY PLAN

DRW: R.M	TR:	DATE: 08-01-2004
CKD: P.T.B	OK:	SCALE: 1"=20'
APP:	ACAD FILE:	SHT: 5 OF 6
REV. NO.	04506 DWG	



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VILLAS TUSCANO SECTIONS		
DRW: R.M.	TR:	DATE: 08-01-2004
CKD: D.A.L.	OK:	SCALE: 1"=20'
APP:	ACAD FILE:	SHT. 6 OF 6
REV. NO.	04506.DWG	