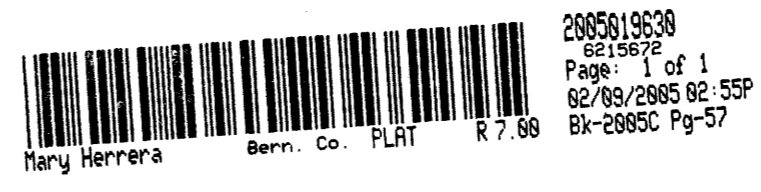


**LEGAL DESCRIPTION:**

TRACT LETTERED SEVEN (7) OF THE AMENDED PLAT, La VILLITA PLANNED URBAN DEVELOPMENT, ALBUQUERQUE, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 3, 1972 IN VOLUME CB, FOLIO 123.



**PLAT OF  
Lots 1-P1 thru 8-P1  
VILLAS TUSCANO**

WITHIN  
SECTION 11, TOWNSHIP 10 NORTH, RANGE 4 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
AUGUST, 2004

CURVE DATA		
C1	C2	C3
R = 22.00'	R = 15.00'	R = 30.00'
D = 109°56'54"	D = 70°03'06"	D = 109°56'54"
CB = S 52°07'33" W	CB = N 37°52'27" W	CB = S 52°07'33" W
CH = 36.03'	CH = 17.22'	CH = 49.13'
L = 42.22'	L = 18.34'	L = 57.57'

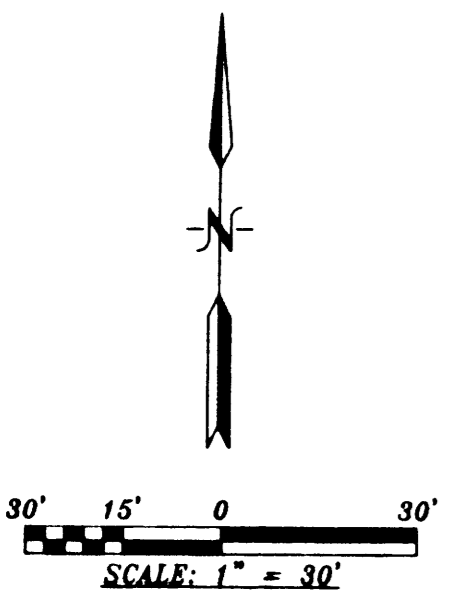
PROJECT NUMBER: 1001899  
APPLICATION NUMBER: 04 DRP-01239

**UTILITY APPROVALS:**

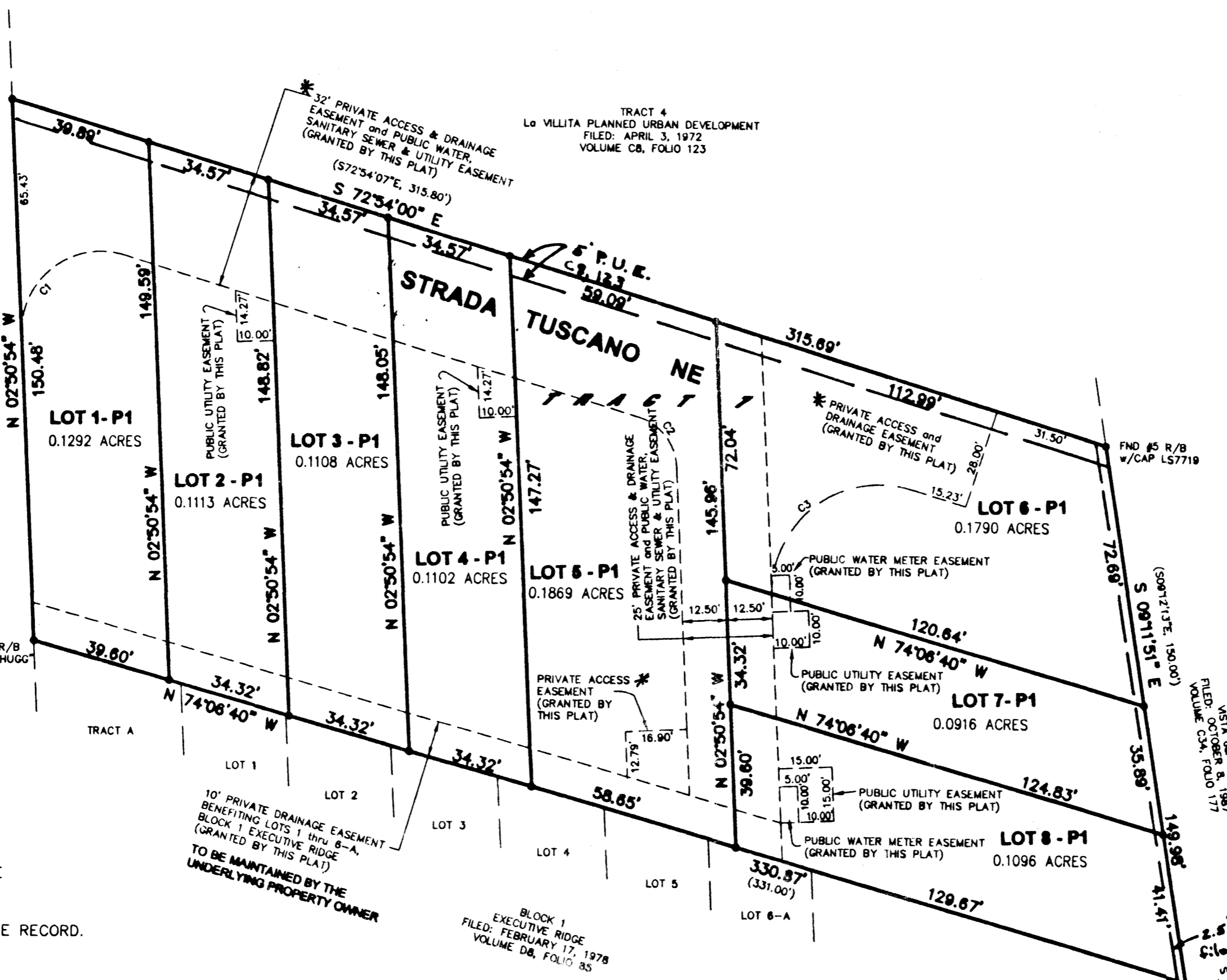
PNM ELECTRIC SERVICES	<u>Lea G. Malt</u>	10-12-04
PNM GAS SERVICES	<u>Lea G. Malt</u>	10-12-04
QUEST TELECOMMUNICATIONS	<u>David R. Muller</u>	10-21-04
COMCAST	<u>Rita Eichner</u>	10/11/04
NEW MEXICO UTILITIES	N.A.	DATE

**CITY APPROVALS:**

CITY SURVEYOR	<u>W. B. Gal</u>	8-10-04
REAL PROPERTY DIVISION (CONDITIONAL)	N.A.	2/2/05
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	N.A.	2/2/05
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	<u>Roger A. Green</u>	2-7-05
UTILITIES DEVELOPMENT	<u>Christina Dandora</u>	2/2/05
PARKS AND RECREATION DEPARTMENT	<u>Bradley L. Bingham</u>	2/2/05
AMAFCA	<u>Bradley L. Bingham</u>	2/2/05
CITY ENGINEER	<u>Susan Wilson</u>	2/2/05
DRB CHAIRPERSON, PLANNING DEPARTMENT	<u>Susan Wilson</u>	2/2/05



VICINITY MAP No. H-23



**DISCLOSURE STATEMENT:**  
THE PURPOSE OF THIS PLAT IS TO DIVIDE TRACT SEVEN (7) INTO EIGHT (8) LOTS, AND GRANT ANY EASEMENTS AS SHOWN.

- GENERAL NOTES:**
- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
  - THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
  - TOTAL AREA OF PROPERTY: 1.0284 ACRES.
  - TALOS LOG NO. 20041276K
  - BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
  - DISTANCES ARE GROUND, BEARINGS ARE GRID.
  - BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
  - DATE OF FIELD WORK: JULY, 2003
  - CURRENT ZONING: SU-1 FOR PRD

\*10: STRADA TUSCANO IS A PRIVATE ROADWAY FOR THE BENEFIT AND USE OF LOTS 1-P1 THRU 8-P1, AND SHALL BE MAINTAINED BY THE OWNERS OF LOTS 1-P1 THRU 8-P1 BY THE PRIVATE ROAD MAINTENANCE AGREEMENT RECORDED IN THE OFFICE OF THE CLERK OF BERNALILLO COUNTY, ON FEBRUARY 3, 2005, DOCUMENT NO. 2005016713, BOOK A91, PAGE 6653.

**FREE CONSENT**  
THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED.

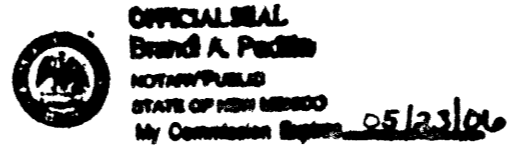
GARY TIPTON, PRESIDENT  
TIPTON & ASSOCIATES, Inc.

ACKNOWLEDGMENT  
STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC  
THIS 10<sup>th</sup> DAY OF August, 2004

BY: Gary Tipton  
OWNER'S NAME

MY COMMISSION EXPIRES May 23, 06



BY: Conrad D. Padilla  
NOTARY PUBLIC

**SURVEYORS CERTIFICATE:**

STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,  
THIS 9<sup>th</sup> DAY OF August, 2004.

Anthony L. Harris  
ANTHONY L. HARRIS, P.S. # 11463



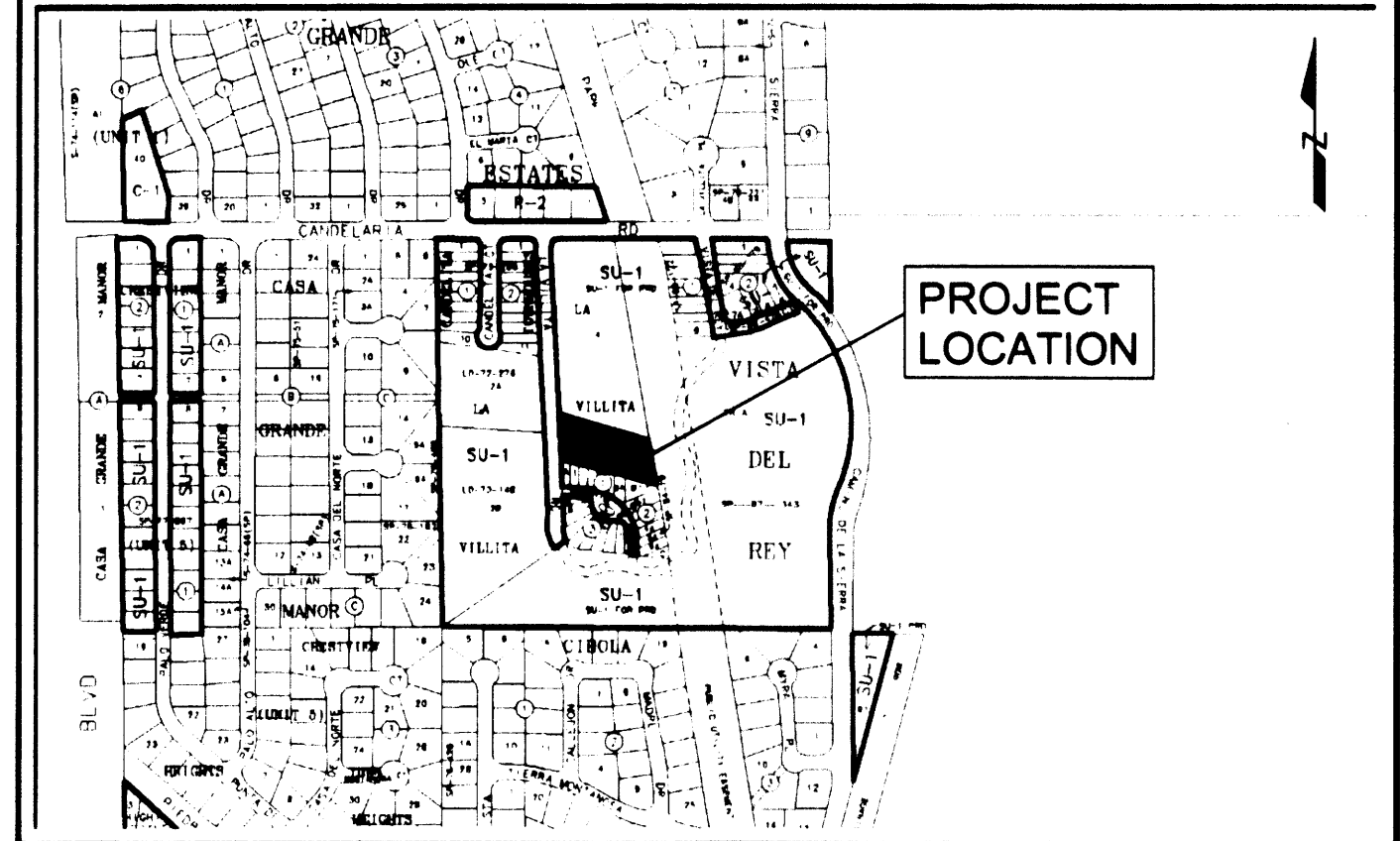
HARRIS SURVEYING, INC.  
1412-B MONROE STREET N.E.  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE: (505) 883-1111 FAX: (505) 883-8545

RE04-1484.dwg(JULY-04)

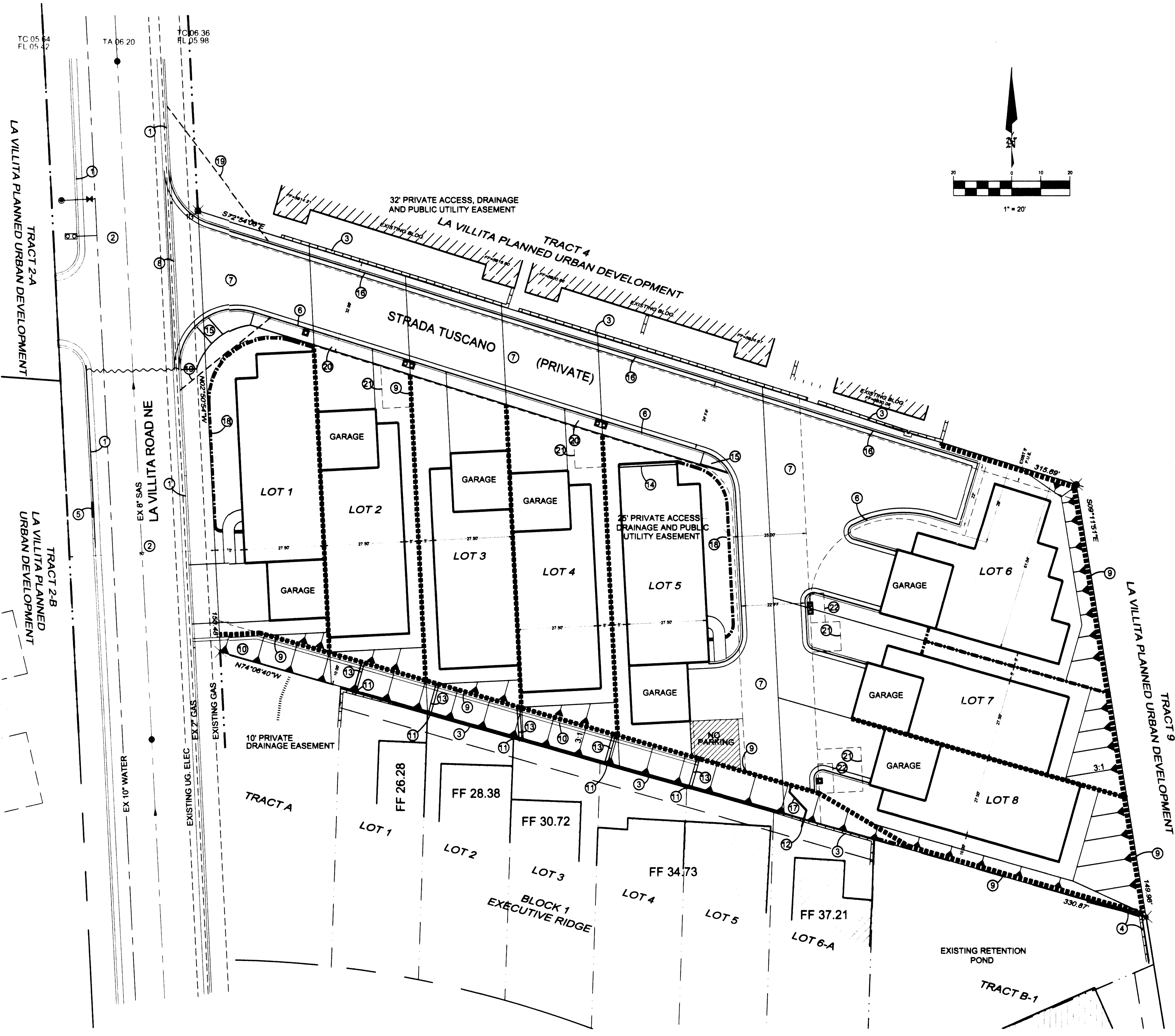
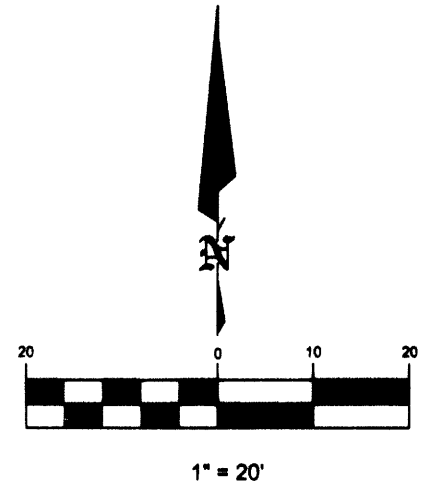
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
UPC# 1 023 089 188 465 205 06

PROPERTY OWNER OF RECORD: Arganis Alex M  
BERNALILLO CO. TREASURER'S OFFICE: Danny Jimenez 03 Jun 05

DRAWING INDEX	
TITLE	SHEET
SITE PLAN FOR SUBDIVISION	1
DEVELOPMENT GUIDELINES	2
LANDSCAPE PLAN	3
CONCEPTUAL GRADING AND DRAINAGE PLAN	4
CONCEPTUAL UTILITY PLAN	5
SECTIONS	6



LOCATION MAP MAP H - 23



PROJECT NUMBER: \_\_\_\_\_

APPLICATION NUMBER: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated June 17, 2004 and the Findings and Conditions in the Official Notification of Decision are satisfied.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

Traffic Engineering, Transportation Division	_____	Date	_____
Utilities Development	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
City Engineer	_____	Date	_____
*Environmental Health Department (conditional)	_____	Date	_____
Solid Waste Management	_____	Date	_____
DRB Chairperson, Planning Department	_____	Date	_____

LEGEND	
NEW CURB & GUTTER	=====
NEW ASPHALT PAVEMENT	-----
NEW GARDEN WALL	-----
NEW RETAINING WALL	-----
EXISTING CMU WALL	-----
PROPOSED 3:1 SLOPE	-----
EXISTING BUILDING	-----
PROPOSED LOT LINE	-----

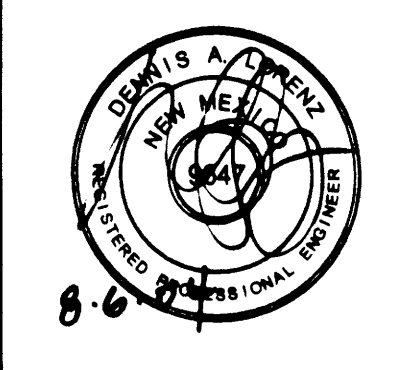
**PROJECT DATA**

EXISTING LEGAL DESCRIPTION: Tract 7, La Villita	OPEN SPACE: 300 Square Feet of Useable Open Space Required On Each Lot
PROPOSED LEGAL DESCRIPTION: Lots 1 Through 8, Villas Tuscano	OFF STREET PARKING: 2 Standard Parking Spaces Required On Each Lot, Not Including Space Within The Garage
PROPERTY ADDRESS: 13200 LA VILLITA ROAD NE ALBUQUERQUE, NEW MEXICO 87112	ROADWAY MAINTENANCE: Strada Tuscano NE is to be maintained by the property Owners (Lots 1 thru 8) under a road maintenance agreement.
CURRENT ZONING: SU-1 for PRD	SITE PLAN FOR SUBDIVISION: This Site Plan is For Subdivision Purposes Only. The Purpose Of This Site Plan is To Illustrate The Division Of Lot 7, La Villita Into 8 Residential Lots, And To Establish The Development Criteria For The Project.
SITE AREA: Existing Lot 7: 1.03 Acres (48,467 sf)	SITE PLAN FOR BUILDING PERMIT: The Site Plan For Building Permit Will Be Based On The Development Criteria Outlined On The Site Plan For Subdivision, And The Findings And Conditions Of Approval Established By The Environmental Planning Commission. Individual Site Plans For Building Permit may Be Submitted for Building Permit Approval without further review by the Environmental Planning Commission.
Proposed Lot 1: 0.129 Acres (5626 sf)	
Proposed Lot 2: 0.111 Acres (4849 sf)	
Proposed Lot 3: 0.111 Acres (4824 sf)	
Proposed Lot 4: 0.110 Acres (4799 sf)	
Proposed Lot 5: 0.191 Acres (8306 sf)	
Proposed Lot 6: 0.177 Acres (7725 sf)	
Proposed Lot 7: 0.090 Acres (3955 sf)	
Proposed Lot 8: 0.109 Acres (4733 sf)	
Proposed Lot 1: 1859 sf	
Proposed Lot 2: 1414 sf	
Proposed Lot 3: 1414 sf	
Proposed Lot 4: 1472 sf	
Proposed Lot 5: 2384 sf	
Proposed Lot 6: 2050 sf	
Proposed Lot 7: 1295 sf	
Proposed Lot 8: 2109 sf	

SPS  
**PRELIMINARY PLAT**  
APPROVED BY DRB  
8/18/04

- KEYED NOTES**
- EXISTING MOUNTABLE CURB & GUTTER
  - EXISTING ASPHALT ROADWAY
  - EXISTING CMU WALL
  - EXISTING CMU RETAINING WALL
  - EXISTING CURB BREAK FOR DRAINAGE
  - NEW MOUNTABLE CURB & GUTTER
  - NEW ASPHALT PAVEMENT
  - REMOVE AND DISPOSE EXIST CONC. C & G
  - NEW RETAINING WALL
  - NEW CONCRETE ALLEY GUTTER
  - EXISTING 2" PVC DRAIN
  - EXISTING 4" PVC DRAIN
  - CONCRETE GUTTER AT PVC DRAINS
  - STEM WALL
  - NEW HANDICAP ACCESS RAMP
  - NEW 6" CONCRETE CURB & GUTTER
  - EXTEND 4" PVC DRAIN THRU RET. WALL
  - NEW 4" CMU PATIO WALL
  - CLEAR SIGHT TRIANGLE
  - NEW 4" CONCRETE SIDEWALK
  - 10'x10' PUE
  - 5'x10' PUBLIC WATER METER EASEMENT

**BRASHER & LORENZ**  
CONSULTING ENGINEERS  
2201 San Pedro NE Building 1 Suite 220  
Albuquerque, New Mexico 87110  
Ph: 505-885-6088 Fax: 505-885-6188



**VILLAS TUSCANO**  
SITE PLAN FOR SUBDIVISION

DRW: R.M. CKD: D.A.L. APP: REV. NO.	TR: OK: ACAD FILE: 04506.DWG	DATE: 08-01-2004 SCALE: 1"=20' SHT: 1 OF 6
--	---------------------------------------	--

**DEVELOPMENT STANDARDS**

The purpose of these Development Standards is to provide the guidelines for development of Villas Tuscano. These standards address the architectural objectives, access, landscaping, setbacks, grading, drainage, and utilities that will create a functional and visually attractive residential community. These standards are to be used to supplement the City of Albuquerque Comprehensive Zoning Ordinance and Uniform Building Code.

**DEVELOPMENT OBJECTIVES**

Villas Tuscano subdivision will incorporate a high design of quality, ensuring pleasing aesthetics, with the development being in harmony with adjacent projects. The density is only 8 DU's per acre, less than the north adjacent project (Pointe-Condominiums-21 DU's per acre), less than the south adjacent project (Executive Ridge-Attached Townhomes-11 DU's per acre), and the same as the project to the west (La Villita-Condominiums-8 DU's per acre). The carefully planned street configuration and landscape areas create an open and pleasing aesthetic ambience for Villas Tuscano. Strada Tuscano, the private street for only eight units, was designed to meet applicable City of Albuquerque code requirements, while allowing for home placement to take advantage of views offered by the site's topography.

Villas Tuscano subdivision plan addresses the requirement that grade sets for new subdivisions blend the plat's development into the adjacent environment with a minimum of sudden grade changes. Significant cuts near the edges of the Villas Tuscano subdivision have been avoided. The plan minimizes the amount of cut required to the existing slope at the south property line, requiring only a 4-foot maximum height retaining wall. The new required retaining wall will be located 10 feet from the south property line. This design will not disturb soil near the adjoining project's garden walls. This feature of the plat design also creates a soft visual effect and a more aesthetic environment for rear yards of homes in Villas Tuscano on Lots 2-4. Wherever feasible, the existing vegetation at the south property line of Villas Tuscano will be retained as ground cover. The building site elevations of Lots 6-8 will be lower than the existing grade and will step up from north to south to blend in with adjoining projects dwelling units' elevations.

Specific architectural style will include Tuscan architectural design elements. Lots 1 and 5 are planned to be single story homes with areas of sloped and/or pitched tile roofs. The roof of the single story home on Lot 1 will blend architecturally with the two story attached home on Lot 2. Lot 5 is planned as a freestanding home. Lots 2-4 & 6-8 are planned as two story homes. The roofs of the two story homes will be primarily flat. The homes may include sloped tile roof covered patios and/or architecturally designed facade extensions to complement the Tuscan architectural design. The front architectural elevations of the homes may include covered entry portals and pitched tile roofs on garages. All buildings and attached patio walls will be earth tone stucco. To enhance the appearance of the homes in Villas Tuscano, garages are purposely not directly attached to each other.

**SETBACKS**

Setbacks for this development shall be as follows:

Front yard setback shall be 20 feet.  
Rear yard setback shall be 10 feet.  
Side yard setbacks shall be 10 feet along La Villita Road (Lot 1), 8 feet where a side yard abuts an existing rear yard (Lots 6 and 8), 5 foot minimum elsewhere. Zero lot line setbacks are allowed where the buildings have common walls.

**BUILDING HEIGHT**

Building height will be controlled by regulation as in the R-1 zone, section 14-16-2-6 of the Zoning Code.

**OFF STREET PARKING**

Two standard off street parking spaces will be provided on each residential lot per Section 14-16-3-1 of the Zoning Code.

**OPEN SPACE**

Per Section 14-16-2-22 of the Zoning Code a minimum of 300 square feet of usable open space will be provided for each lot. Exact usable open space areas for each lot are tabulated on the Site Plan, sheet 1.

**LANDSCAPING**

Landscaping is to be controlled in all front yards and common areas by the Landscape Plan (See sheet 3). The Plan recommends the use of introduced and naturalized species to supplement the indigenous plant palette. Controlled uses of indigenous organic materials (i.e. rocks and gravel) will function as ground cover or paving substitutes.

As shown by the Plan, the following landscape improvements shall be provided:

- The front yards of all lots shall be landscaped per the Plan.
- The side yard shall be landscaped on Lot 1 north and west of a patio wall to provide an attractive entry feature.
- The area along the north side of the proposed private drive will be landscaped with ground covers, and street trees planted at 30 intervals.
- The 3 horizontal to 1 vertical side slopes in the rear yards of Lots 1 through 5 is stabilized by utilizing the existing natural vegetation.

All landscaping improvements are to be owned and maintained by the Villas Tuscano property owners.

**ACCESS**

Access will be taken from La Villita Road NE a paved, privately owned and maintained roadway. La Villita Road NE is owned by the La Villita Home Owners Association and maintained, by agreement, by Vista Del Rey Condominiums. La Villita Road NE intersects with Candelaria Road NE approximately 700 feet north of the site.

Strada Tuscano is to be a 24-foot private roadway, with concrete curb and gutter, a 4-foot sidewalk on the south side, and asphalt pavement. Strada Tuscano will be owned and maintained by the Villas Tuscano property owners.

**GRADING AND DRAINAGE**

**EXISTING CONDITIONS**

The site consists predominantly of compacted earth supporting sparse vegetation and draining to the west at approximately 10 percent to an increasingly more well defined channel. The historic contributing basin associated with this channel has been diverted north toward Candelaria Road by a berm on the west side of the PNM easement. Off-site flows impact the site from the existing development located to the south. Six properties to the south discharge runoff from rear yards through PVC wall penetrations to the project site. Drainage from on-site currently flows through a dip in La Villita Road NE and into a well-defined, broad, sodded swale between Tracts 2A and 2B of La Villita Subdivision. The swale has ample capacity to carry developed runoff from its entire basin to a point on the western boundary of La Villita, Tract 2B, where it reaches a public drainage right of way through Block C of Casa Grande Manor subdivision. At this point the developed runoff overwhelms a drop inlet, where approximately 70 % of the flow is carried through a 24" RCP storm sewer running west along the public drainage right of way. The remainder passes over a headwall weir and the flows along a surface swale in the center of the drainage right of way, until the surface flow and the pipe contents meet where the pipe empties into Casa Del Norte Drive NE. From this point, the runoff continues to be carried within public infrastructure to join the Piedra Lisa Channel.

Immediately north of the existing dip section in La Villita Road NE, approximately 55 feet from the northwest corner of the project site is a local high point in the street barring drainage in La Villita Road NE from continuing north towards Candelaria Road. Roughly 200 feet north, along La Villita Road NE, a similar dip exists, from which drainage flows are removed from the street by a drop inlet and released west across a developed residential lot. It has been observed that during heavy rainfall events this drop inlet becomes clogged with debris thereby causing water to flood a portion of La Villita Road.

As shown by the FIRM Panel for this area, this site does not lie within a designated flood hazard zone.

**PROPOSED CONDITIONS:**

As shown by the plan, the project consists of the development of the site into 8 single-family residences on separate lots. Each lot will drain from south to north by way of a swale near its west boundary. These swales will spill to the proposed private road and drainage easement across the northern portion of the lots. Drainage will then travel along the proposed curb and gutter on the north side of the street to La Villita Road, then north to the dip section described above. The existing storm drainage system will be replaced with a new trench drain and a new 8-inch storm drain. The proposed storm drainage system will substantially improve the drainage conditions at the dip section.

Drainage runoff coming onto Villas Tuscano property from backyards of the adjoining project to the south is addressed in the plan. The plan accommodates this existing drainage condition. Infrastructure will be constructed at the developer's expense to manage this existing drainage condition. The new retaining wall to be built near the south property line in Villas Tuscano subdivision will be located 10 feet from the adjoining project's existing south property line and garden walls. The plan incorporates a concrete gutter to catch existing PVC drainage runoff from the backyards of this adjoining property to the south. The concrete gutter will be constructed at the south edge of the new retaining wall as shown on the Villas Tuscano Conceptual Grading and Drainage Plan. One backyard will drain into Strada Tuscano through an extension of the existing 4" PVC drain through the new retaining wall.

**EROSION CONTROL:**

Temporary erosion control will be required along the west project boundary during construction to prevent the discharge of sediment onto adjoining private property. The contractor should construct a ditch-dike system or erect a silt fence along the west property line to provide a ponding area at the west end of the site, away from any buildings. Complete details will be provided in the Storm Water Pollution Prevention Plan to be prepared prior to Building Permit.

**UTILITIES**

All utilities are available from existing facilities located within La Villita Road NE. Water and sanitary sewer service will be obtained by extensions from the existing public lines located in La Villita. Standard services will be constructed for each lot per City of Albuquerque requirements. Utility expansion fess will be imposed for each service connection.

Electricity, gas, telephone and cable television service will be obtained by routine services extension from existing lines located within La Villita Road.

**SIGNAGE**

A single project entry sign will be provided on the proposed patio wall at the intersection of La Villita and Strada Tuscano. See detail this sheet.

**SIDEWALKS**

A 4' sidewalk is proposed along the south side of Villas Tuscano in front of Lots 1 through 5. No sidewalks exist on La Villita Road NE, with the road easement landscaped from back of curb to property lines.

**WALLS**

Patio walls are to be constructed on Lots 1 and 5 as shown by the Plan. Each wall will not exceed 6 feet in height. The walls will be earth tone stucco to match the building texture and color.

**SITE LIGHTING**

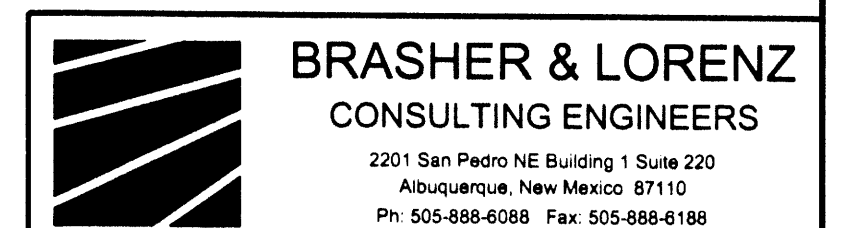
No project site lighting is proposed for this development.

**SITE PLAN FOR BUILDING PERMIT**

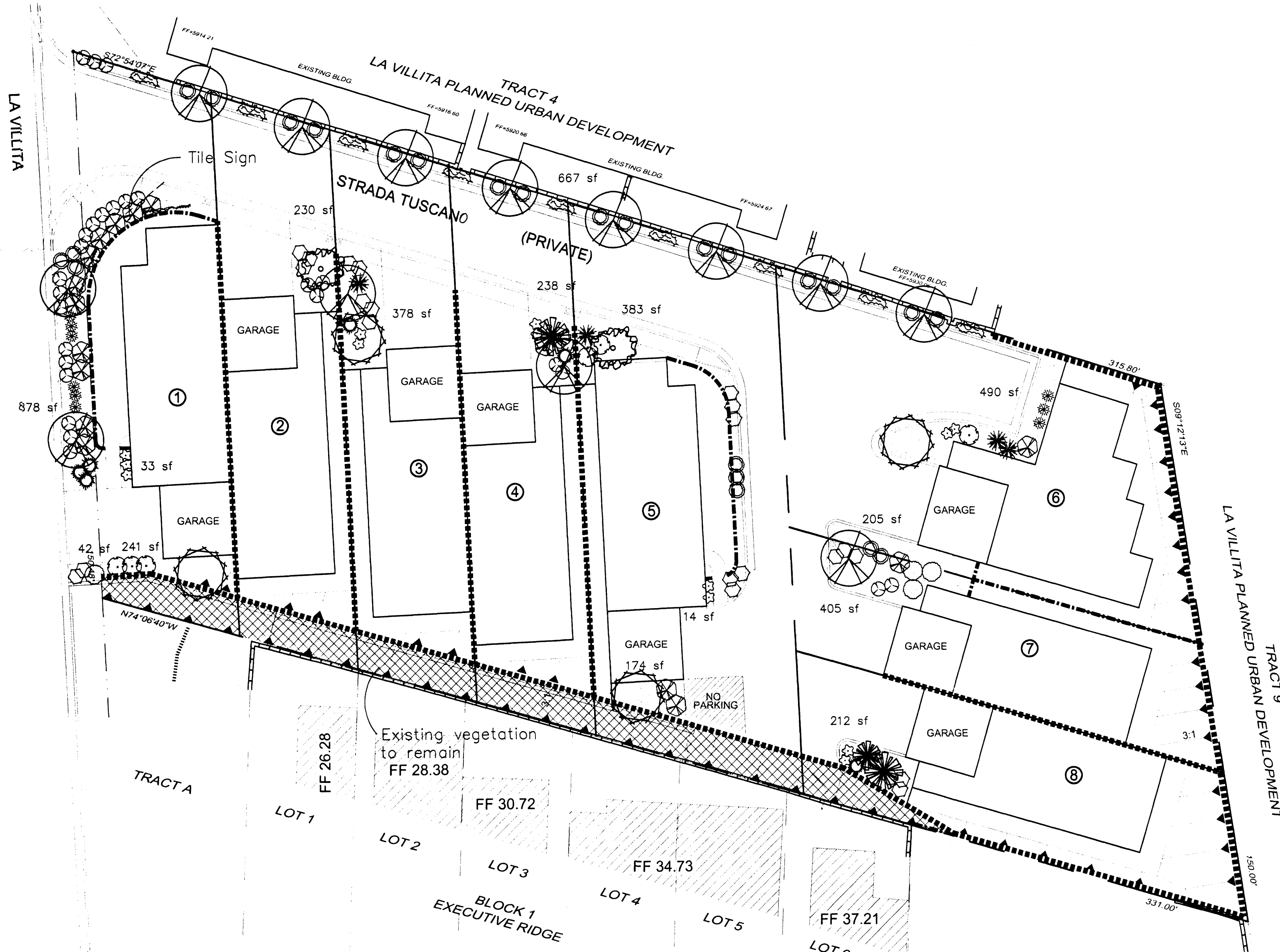
Individual Site Plans for Building Permit shall be prepared in compliance with these Development Standards. The Site Plan for Building Permit shall be submitted to Building and Safety for Building Permit approval without further review by the Environmental Planning Commission.



**PROJECT SIGN DETAIL**



<b>VILLAS TUSCANO DEVELOPMENT CRITERIA</b>		
DRW: R.M CKD: P.T.B APP: REV. NO.	TR: OK: ACAD FILE: 04506 DWG	DATE: 08-01-2004 SCALE: 1"=20' SHT: 2 OF 6



PLANT LEGEND

- FLOWERING PEAR (H) 13  
*Pyrus calleryana*  
2" Gal.
- DESERT WILLOW (L) 4  
*Chilopsis linearis*  
15 Gal.
- GREEN SPIRE EUONYMUS 6  
*Euonymus japonica 'Green spire'*  
5 Gal.
- YUCCA PENDULA (L) 8  
*Yucca recurvifolia 'Pendula'*  
5 Gal.
- INDIAN HAWTHORN (M) 17  
*Raphiolepis indica*  
5 Gal.
- SPUN SUGAR CORALBERRY 4  
*Symphoricarpos orbiculatus 'Spun Sugar'*  
5 Gal.
- BLUE MIST SPIREA (M) 9  
*Caryopteris clandonensis*  
5 Gal.
- PURPLE SMOKE WILD INDIGO 6  
*Baptisia x 'Purple Smoke'*  
5 Gal.
- RED CLIMBING ROSE 2  
*Rosa spp.*  
5 Gal. 200sf
- GRAPE MYRTLE 2  
*Lagerstroemia indica*  
10 Gal.
- PALM YUCCA (L) 3
- ARP ROSEMARY (M) 24  
*Rosmarinus officinalis*  
2 Gal. 36sf
- SILVER SAGE 14  
*Artemisia cana*  
1 Gal.
- ROSE AUTUMN SAGE (M) 22  
*Salvia greggii*  
1 Gal. 9sf
- WILDFLOWER 26  
1 Gal. 4sf
- CREEPING ROSEMARY 9  
*Rosmarinus spp.*  
1 Gal. 36sf
- SANTA FE BROWN GRAVEL WITH FILTER FABRIC

LANDSCAPE NOTES:

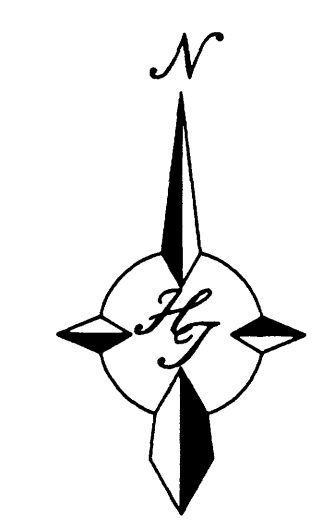
Landscape maintenance shall be the responsibility of the Property Owner.  
It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.  
Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.  
Plant beds shall achieve 75% live ground cover at maturity.  
Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

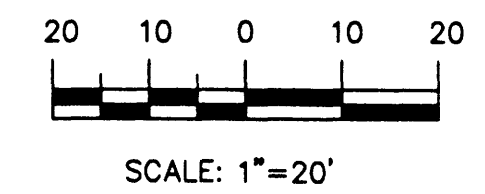
IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.  
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.  
Point of connection for irrigation system is unknown at current time and will be coordinated in the field.  
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others. Each lot to have separate controller.  
Irrigation maintenance shall be the responsibility of the Property Owner.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.



GRAPHIC SCALE



**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS

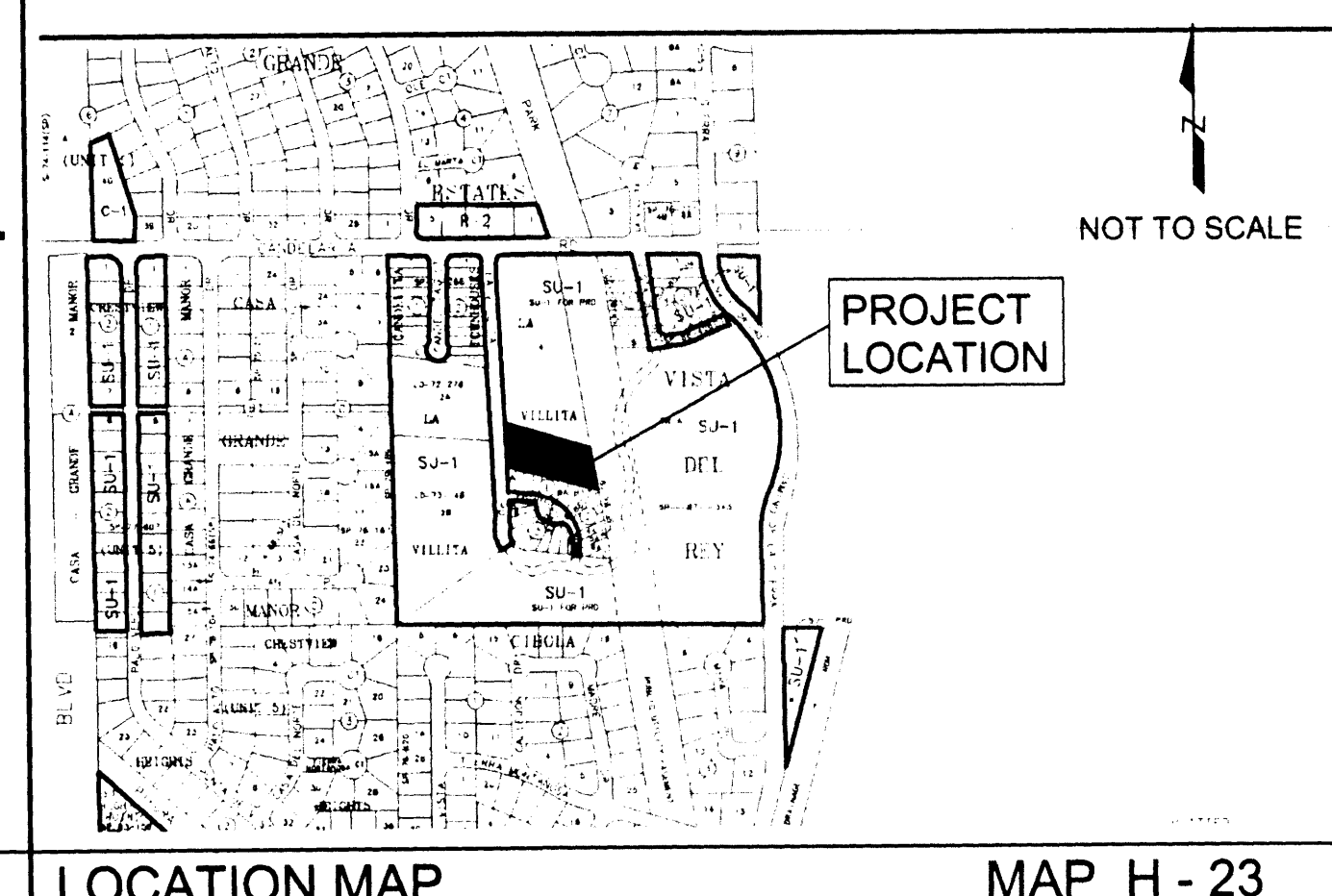
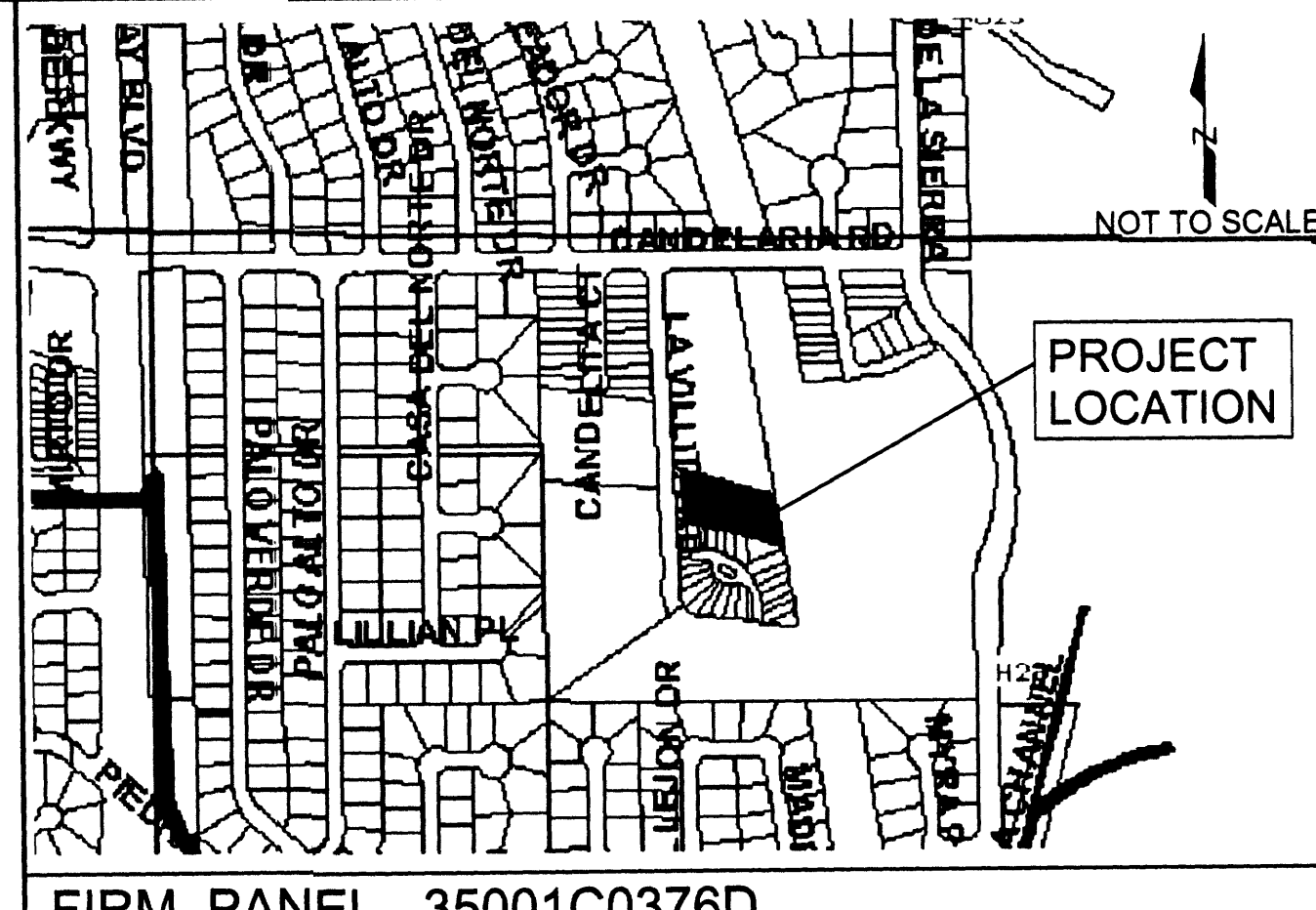
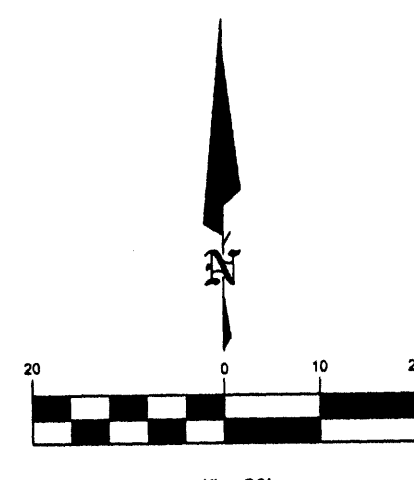
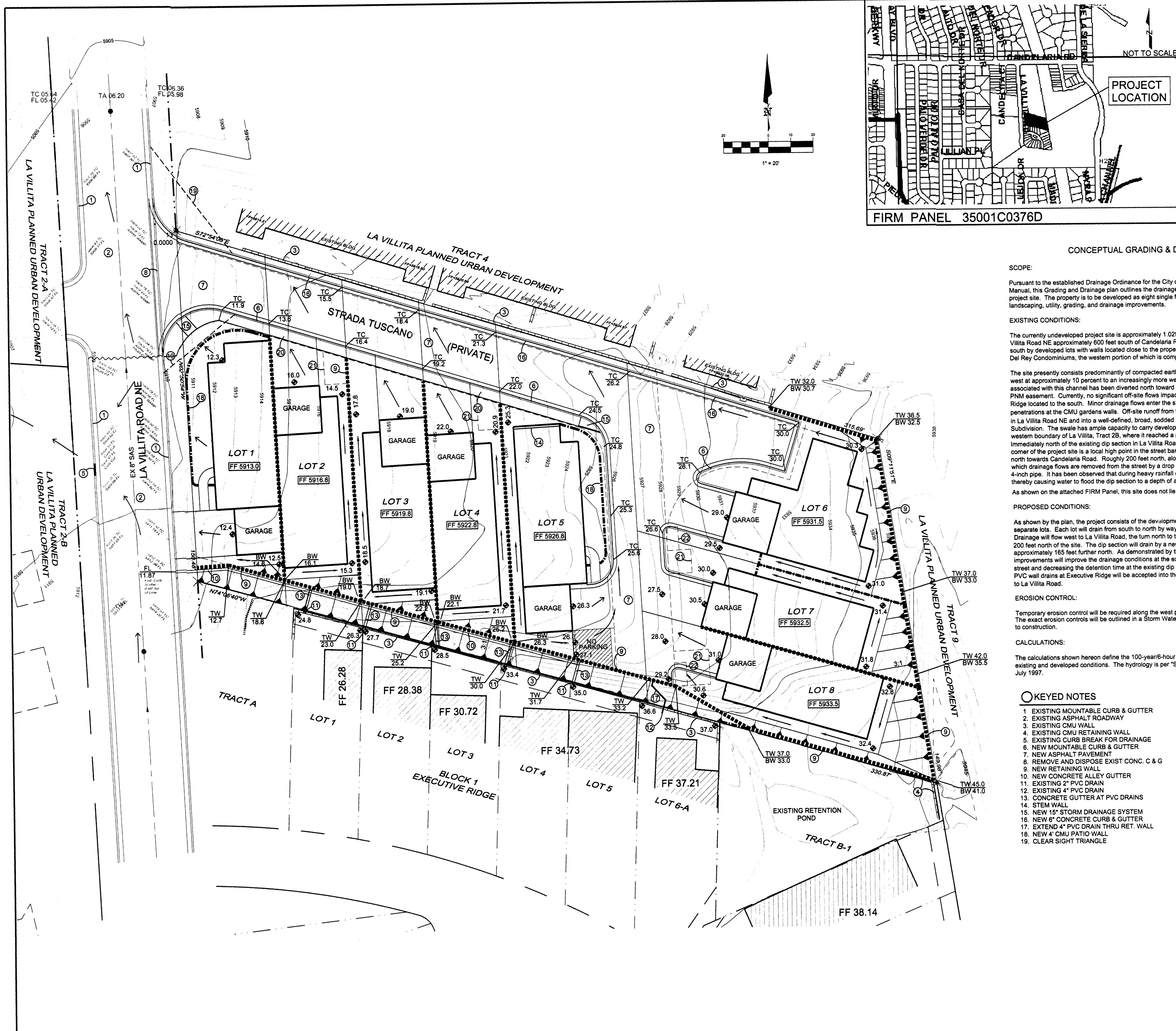
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cmd@hilltoplandscaping.com  
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**BRASHER & LORENZ**  
CONSULTING ENGINEERS  
2201 San Pedro NE Building 1 Suite 1200  
Albuquerque, New Mexico 87110  
Ph. 505-888-6088 Fax 505-888-6188

Villas Tuscano  
6-29-04

VILLAS TUSCANO  
LANDSCAPE PLAN

DRW: HILLTOP	TR: OK	DATE: 08-01-2004
CKD: K.D.	APP: ACAD FILE	SCALE: 1"=20'
REV. NO.		SHT: 3 OF 6



**CONCEPTUAL GRADING & DRAINAGE PLAN**

**SCOPE:**

Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage plan outlines the drainage management criteria for controlling runoff from the project site. The property is to be developed as eight single family residences with associated paving, landscaping, utility, grading, and drainage improvements.

**EXISTING CONDITIONS:**

The currently undeveloped project site is approximately 1.029 acres in size and is located on the east side of La Villita Road NE approximately 600 feet south of Candelaria Road NE. The site is bounded on the north and south by developed lots with walls located close to the property lines. To the east, the site is bounded by Vista Del Rey Condominiums, the western portion of which is comprised of a 150' easement dedicated to PHM.

The site presently consists predominantly of compacted earth supporting sparse vegetation and draining to the west at approximately 10 percent to an increasingly more well defined channel. The historic contributing basin associated with this channel has been diverted north toward Candelaria Road by a berm on the west side of the PHM easement. Currently, no significant off-site flows impact the site. The site accepts minor flows from Executive Ridge located to the south. Minor drainage flows enter the site from Lot 1 through Lot 6-A through PVC pipe penetrations at the CMU garden walls. Off-site runoff from the north discharges from an existing dip section in La Villita Road NE and into a well-defined, broad, sodded swale between Tracts 2A and 2B of La Villita Subdivision. The swale has ample capacity to carry developed runoff from its entire off-site basin to a point on the western boundary of La Villita, Tract 2B, where it reached a public drainage right of way through Block C of Casa. Immediately north of the existing dip section in La Villita Road NE, approximately 55 feet from the northwest corner of the project site is a local high point in the street barring drainage in La Villita Road NE from continuing north towards Candelaria Road. Roughly 200 feet north, along La Villita Road NE, a similar dip exists, from which drainage flows are removed from the street by a drop inlet and released north by a make shift inlet and 4-inch pipe. It has been observed that during heavy rainfall events this drop inlet becomes clogged with debris thereby causing water to flood the dip section to a depth of approximately 1-foot.

As shown on the attached FIRM Panel, this site does not lie within a designated flood hazard zone.

**PROPOSED CONDITIONS:**

As shown by the plan, the project consists of the development of the site into 8 single-family residences on separate lots. Each lot will drain from south to north by way of yard swales, outfalling at Strada Tuscano. Drainage will flow west to La Villita Road, the turn north to the existing dip section located approximately 200 feet north of the site. The dip section will drain by a new trench drain and new 8-inch storm drain to a point approximately 165 feet further north. As demonstrated by the supplemental calculations, the proposed improvements will improve the drainage conditions at the existing dip section by decreasing the flow depth in the street and decreasing the detention time at the existing dip section. As shown by the plan, runoff from the existing PVC wall drains at Executive Ridge will be accepted into the site and drained within a 10' drainage easement to La Villita Road.

**EROSION CONTROL:**

Temporary erosion control will be required along the west project boundary during construction to prevent the The exact erosion controls will be outlined in a Storm Water Pollution Prevention Plan to be prepared prior to construction.

**CALCULATIONS:**

The calculations shown hereon define the 100-year/6-hour design storm falling within the project area under existing and developed conditions. The hydrology is per "Section 22.2, Development Process Manual," dated July 1997.

**KEYED NOTES**

1. EXISTING MOUNTABLE CURB & GUTTER
2. EXISTING ASPHALT ROADWAY
3. EXISTING CMU WALL
4. EXISTING CMU RETAINING WALL
5. EXISTING CURB BREAK FOR DRAINAGE
6. NEW MOUNTABLE CURB & GUTTER
7. NEW ASPHALT PAVEMENT
8. REMOVE AND DISPOSE EXIST CONC. C & G
9. NEW RETAINING WALL
10. NEW CONCRETE ALLEY GUTTER
11. EXISTING 2" PVC DRAIN
12. EXISTING 4" PVC DRAIN
13. CONCRETE GUTTER AT PVC DRAINS
14. STEM WALL
15. NEW 15" STORM DRAINAGE SYSTEM
16. NEW 6" CONCRETE CURB & GUTTER
17. EXTEND 4" PVC DRAIN THRU RET. WALL
18. NEW 4" CMU PATIO WALL
19. CLEAR SIGHT TRIANGLE

**LEGEND**

- 6001 EXIST. CONTOUR / ELEV.
- 02.5 EXIST. SPOT ELEV.
- 27 — PROPOSED CONT. / ELEV.
- · — · — PROPERTY LINE
- 01.5 φ PROPOSED SPOT ELEV.
- ← DIRECTION OF FLOW
- DRAINAGE SWALE
- DRAINAGE BASIN DIVIDE
- EXIST. POLE W/GUY
- EXIST. FENCE
- EXIST. ROAD
- EXIST. CMU WALL
- EXISTING CMU WALL
- NEW RETAINING WALL
- TW 36.6 TOP OF WALL ELEV.
- 3:1 SLOPE

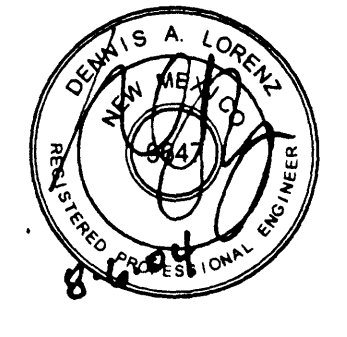
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PROJECT LOCATION  
EAST OF LA VILLITA  
SOUTH OF CANDELARIA  
ALBUQUERQUE, NEW MEXICO

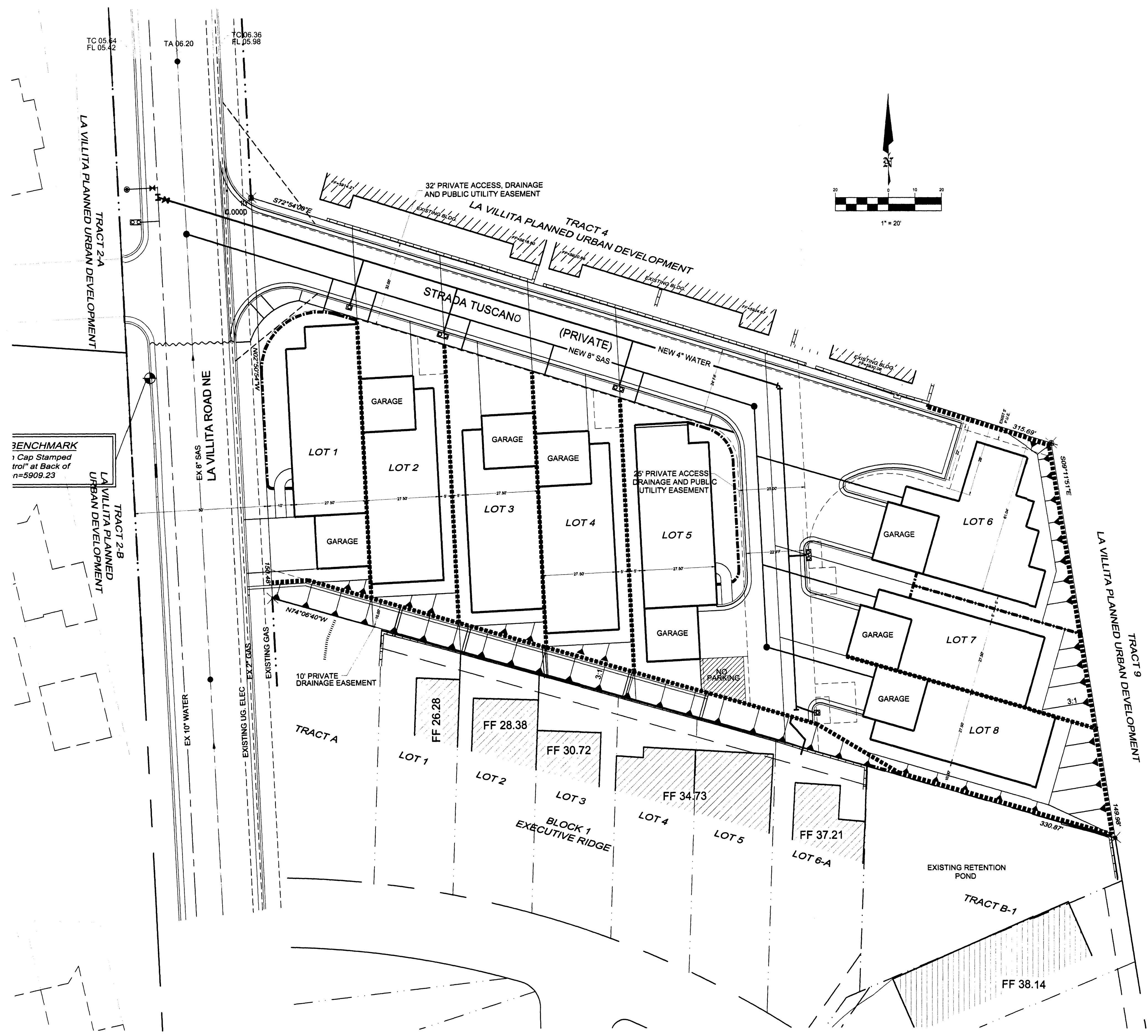
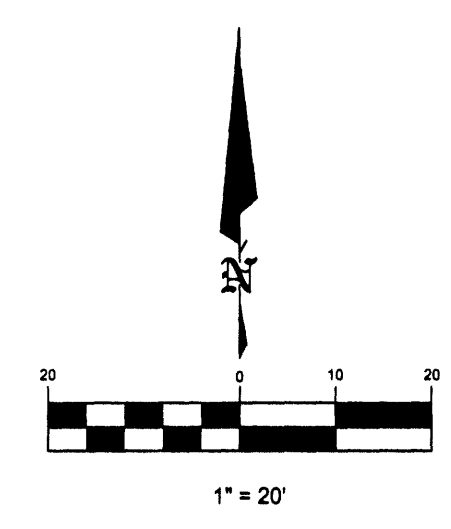
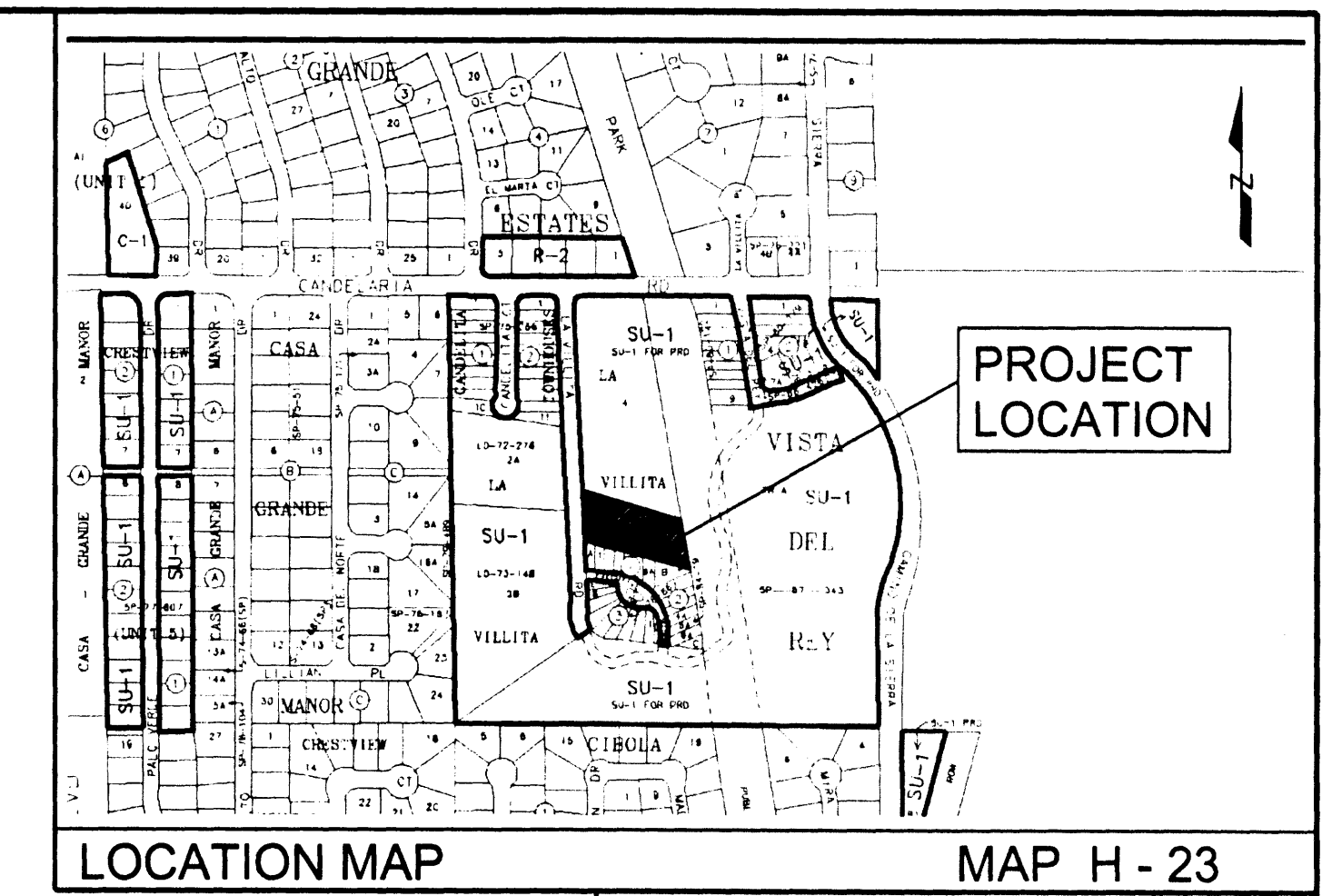
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EXISTING ZONING: SU-1 for PRD  
PROPOSED ZONING: (NO CHANGE)  
SUBDIVISION AREA: 1.03 AC.  
PROPOSED DEVELOPMENT:  
SINGLE FAMILY RESIDENTIAL  
TOTAL NUMBER OF LOTS EXISTING: 1  
TOTAL NUMBER OF LOTS PROPOSED: 8  
ACCESS:  
EXISTING LA VILLITA RD (PRIVATE)  
PROPOSED: STRADA TUSCANO (PRIVATE)  
WATER / WASTEWATER: CONNECTION TO EXISTING CITY WATER AND SEWER LINES IN LA VILLITA; EXTENSION OF CITY WATER AND SEWER LINES IN PROPOSED STRADA TUSCANO CITY WATER AND SEWER EASEMENT

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**VILLAS TUSCANO**  
CONCEPTUAL GRADING & DRAINAGE PLAN

DRW: R.M	TR:	DATE: 08-01-2004
CKD: P.T.B	OK:	SCALE: 1"=20'
APP:	ACAD FILE:	SHT: 4 OF 8
REV. NO.	04506 DWG	





**LEGEND**

- 8" SAS — EXISTING SANITARY SEWER
- 10" W — EXISTING WATER LINE
- - - UG - - - EXISTING UG ELECTRIC
- - - - - RIGHT-OF-WAY
- - - GAS - - - EXISTING GAS
- 8" SAS — NEW SANITARY SEWER
- 6" W — NEW WATER LINE
- [Symbol] — NEW WATER METER
- — EXIST. POLE W/GUY
- [Symbol] — EXISTING CURB AND GUTTER
- [Symbol] — NEW CURB AND GUTTER
- [Symbol] — NEW STORM DRAIN
- [Symbol] — EXISTING CMU WALL
- [Symbol] — NEW RETAINING WALL

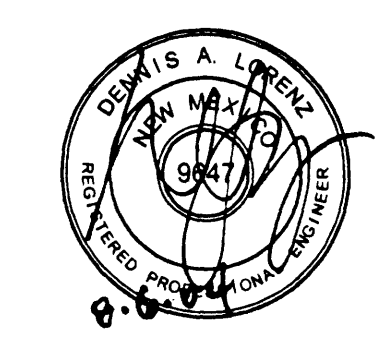
**PROPERTY ADDRESS**  
13200 LA VILLITA

**LEGAL DESCRIPTION:** TRACT 7, LA VILLITA  
EXISTING ZONING: SU-1 for PRD  
PROPOSED ZONING: (NO CHANGE)  
SUBDIVISION AREA: 1.03 AC.  
PROPOSED DEVELOPMENT:  
SINGLE FAMILY RESIDENTIAL  
TOTAL NUMBER OF LOTS EXISTING: 1  
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**ACCESS:**  
EXISTING LA VILLITA RD (PRIVATE)  
PROPOSED: STRADA TUSCANO (PRIVATE)

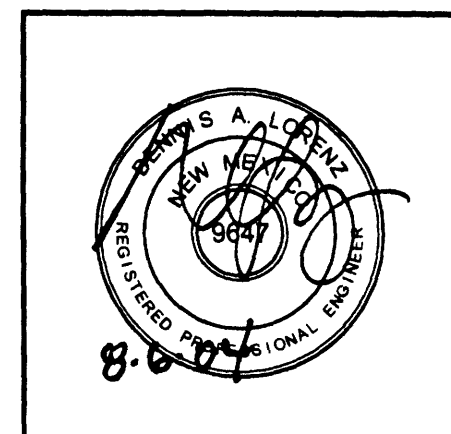
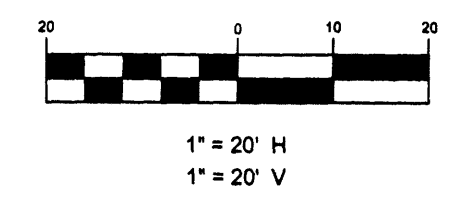
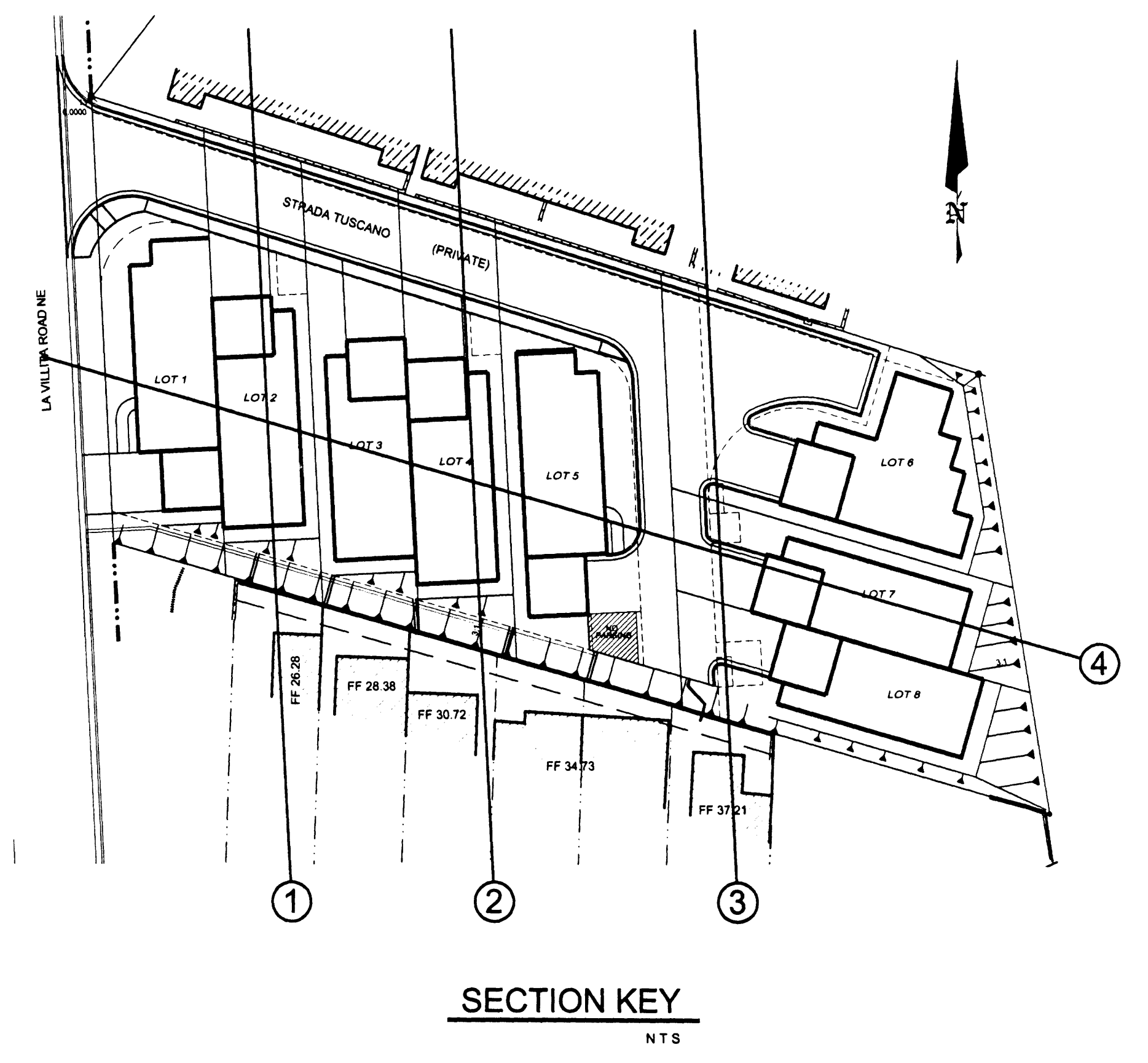
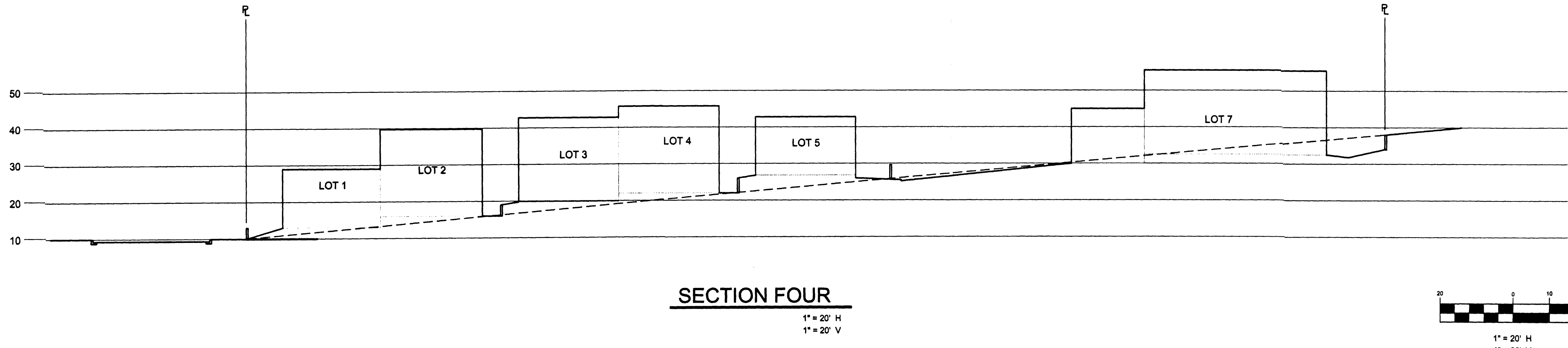
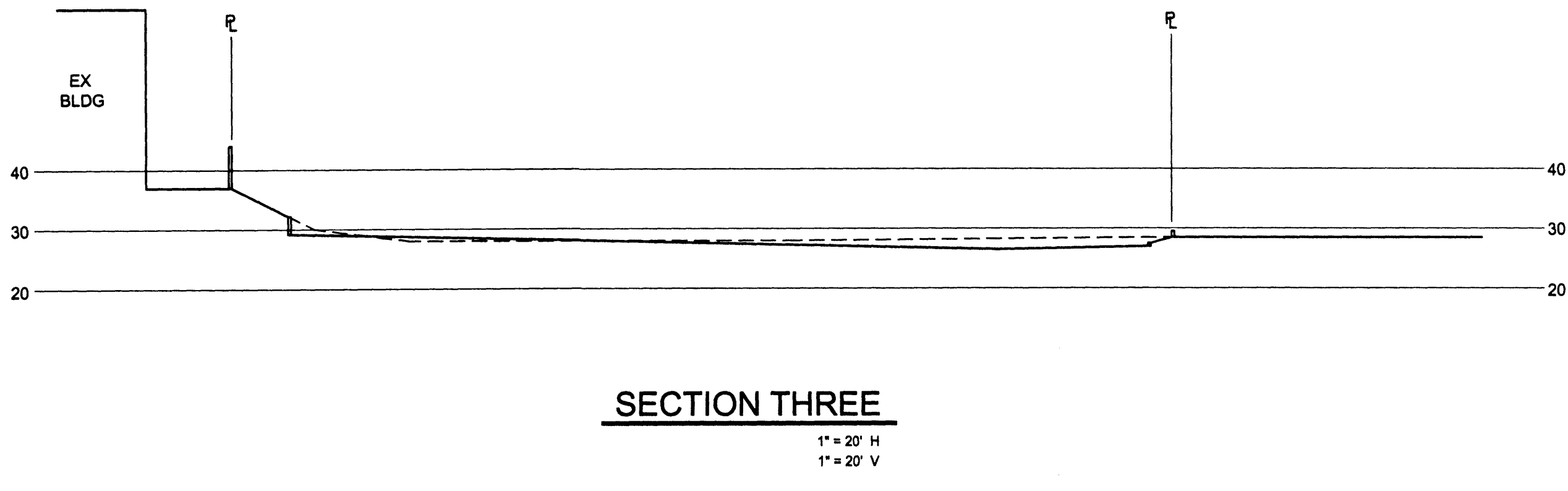
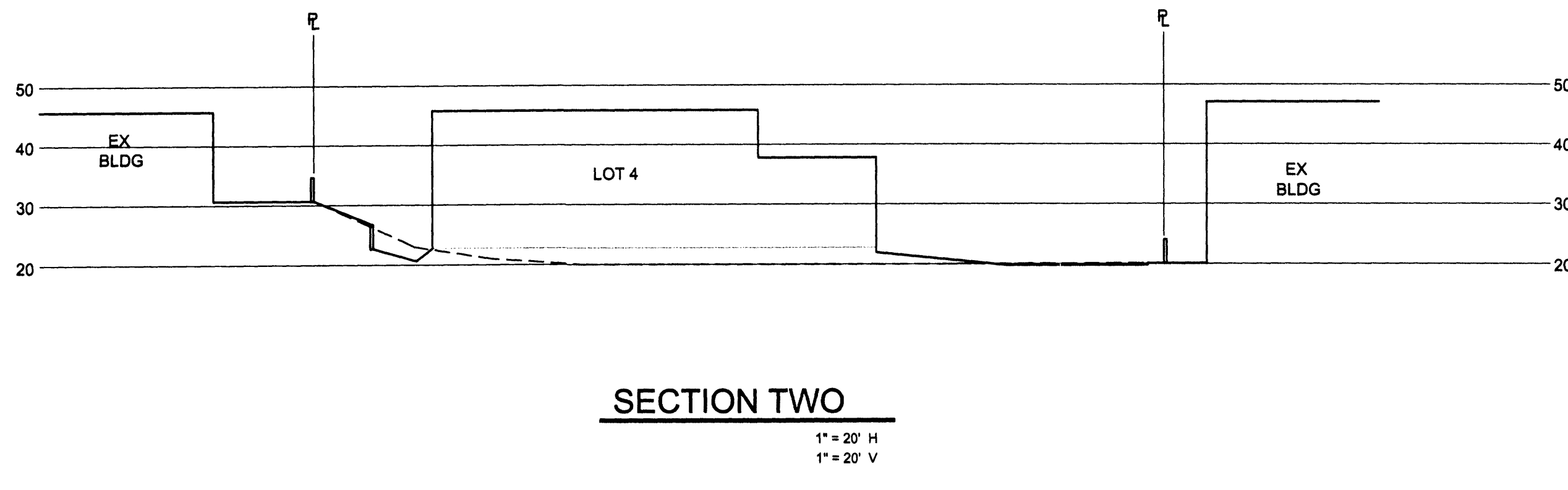
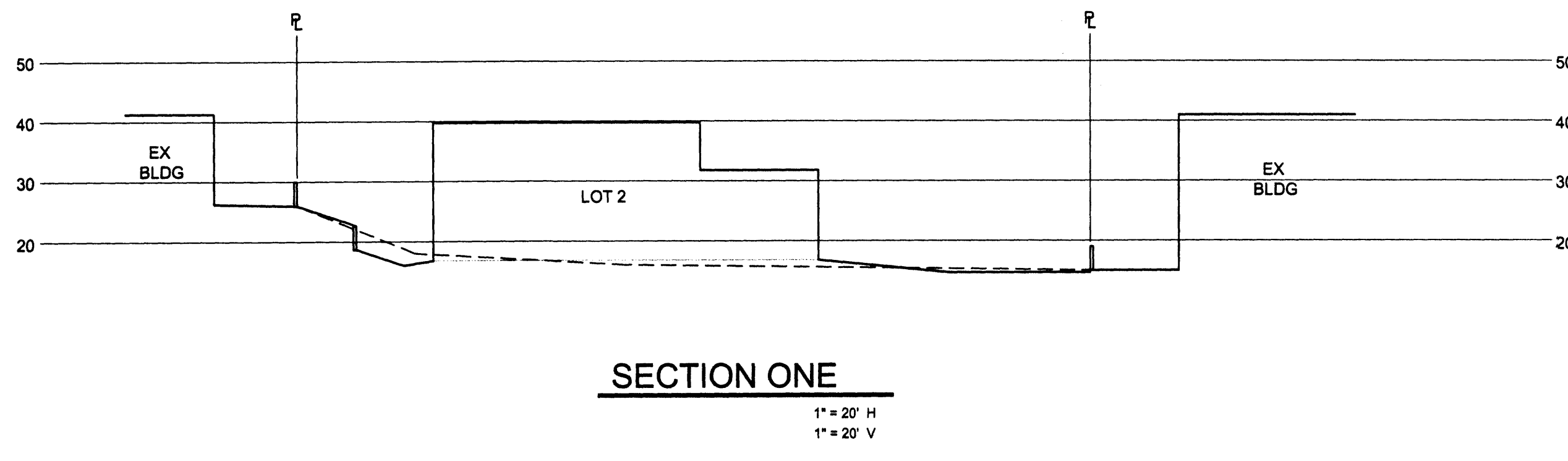
**WATER / WASTEWATER:** CONNECTION TO EXISTING CITY WATER AND SEWER LINES IN LA VILLITA; EXTENSION OF CITY WATER AND SEWER LINES IN PROPOSED STRADA TUSCANO CITY WATER AND SEWER EASEMENT

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**VILLAS TUSCANO**  
CONCEPTUAL UTILITY PLAN

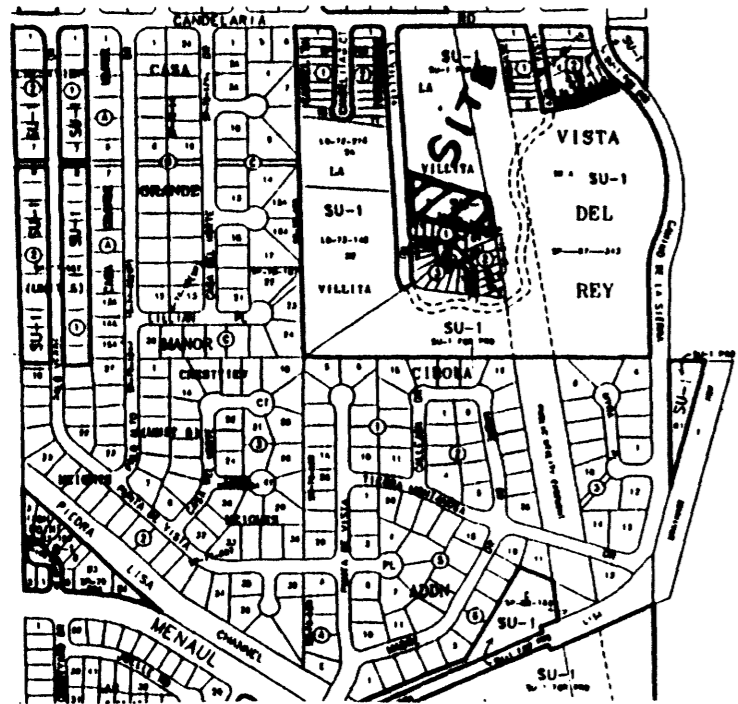
DRW: R.M.	TR:	DATE: 08-01-2004
CKD: P.T.B.	OK:	SCALE: 1"=20'
APP:	ACAD FILE:	SHT: 5 OF 6
REV. NO.	04506 DWG	



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**VILLAS TUSCANO**  
 SECTIONS

DRW: R.M.	TR:	DATE: 08-01-2004
CKD: D.A.L.	OK:	SCALE: 1"=20'
APP:	ACAD FILE:	SHT: 6 OF 6
REV. NO.	04506 DWG	



VICINITY MAP No. H-23

**LEGAL DESCRIPTION:**

TRACT LETTERED SEVEN (7) OF THE AMENDED PLAT, La VILLITA PLANNED URBAN DEVELOPMENT, ALBUQUERQUE, NEW MEXICO AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 3, 1972 IN VOLUME CB, FOLIO 123.

**CURVE DATA**

C1	C2	C3
R = 22.00'	R = 15.00'	R = 30.00'
D = 109°56'54"	D = 70°03'06"	D = 109°56'54"
CB = S 52°07'33" W	CB = N 37°52'27" W	CB = S 52°07'33" W
CH = 36.03'	CH = 17.22'	CH = 49.13'
L = 42.22'	L = 18.34'	L = 57.57'

**PRELIMINARY PLAT  
APPROVED BY DRB**

ON 8/18/04

**PLAT OF  
LOTS 1 thru 8  
VILLAS TUSCANO**

WITHIN  
SECTION 11, TOWNSHIP 10 NORTH, RANGE 4 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
AUGUST, 2004

PROJECT NUMBER: \_\_\_\_\_

APPLICATION NUMBER: \_\_\_\_\_

UTILITY APPROVALS:

PNM ELECTRIC SERVICES \_\_\_\_\_ DATE \_\_\_\_\_

PNM GAS SERVICES \_\_\_\_\_ DATE \_\_\_\_\_

QWEST TELECOMMUNICATIONS \_\_\_\_\_ DATE \_\_\_\_\_

COMCAST \_\_\_\_\_ DATE \_\_\_\_\_

NEW MEXICO UTILITIES \_\_\_\_\_ DATE \_\_\_\_\_

CITY APPROVALS:

CITY SURVEYOR [Signature] 8-10-04 DATE

\*REAL PROPERTY DIVISION (CONDITIONAL) \_\_\_\_\_ DATE \_\_\_\_\_

\*\*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) \_\_\_\_\_ DATE \_\_\_\_\_

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

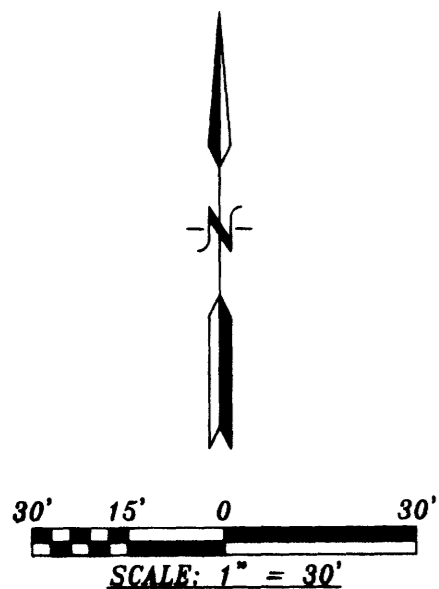
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PARKS AND RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

AMAFCA \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

DRB CHAIRPERSON, PLANNING DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

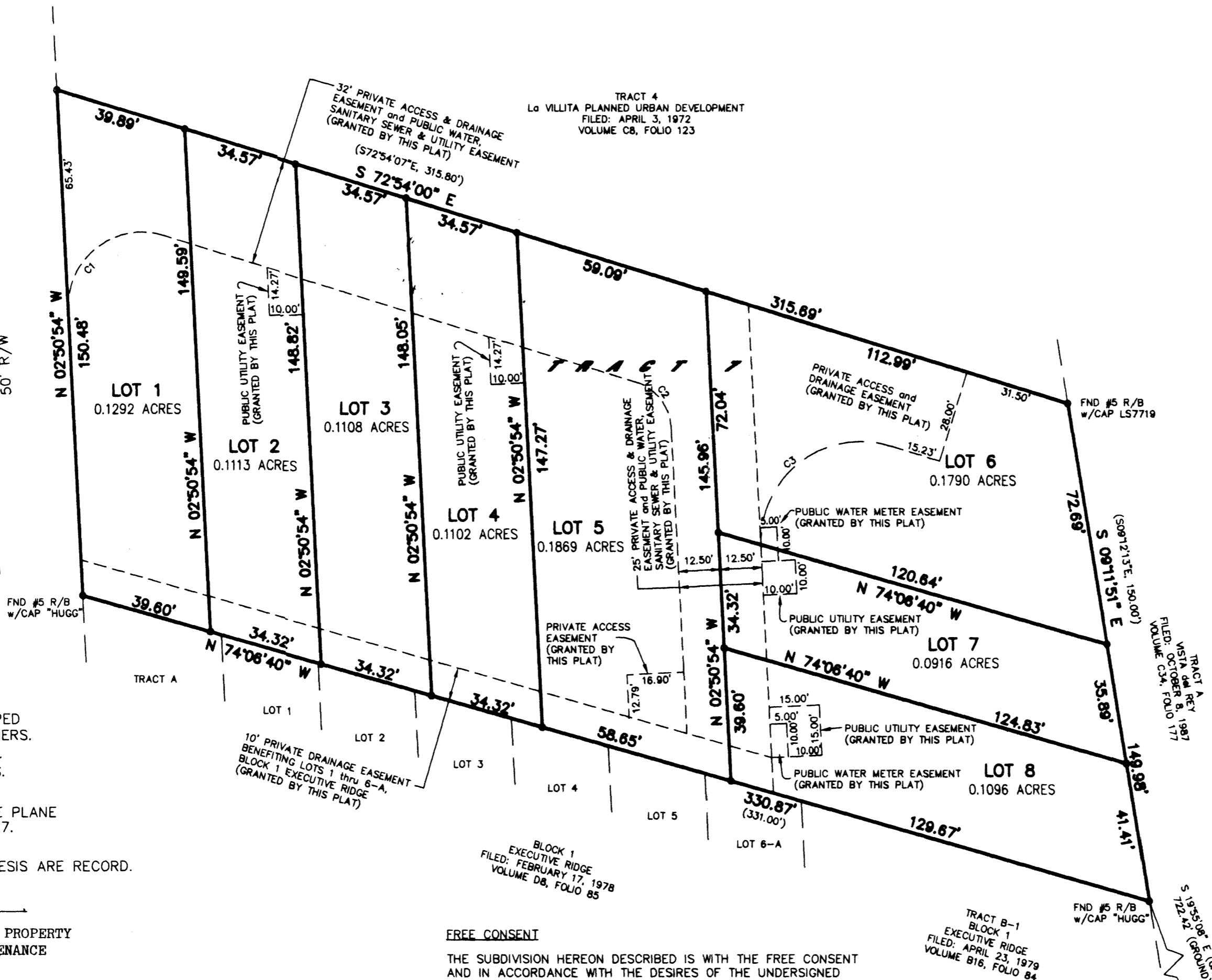


**DISCLOSURE STATEMENT:**

THE PURPOSE OF THIS PLAT IS TO DIVIDE TRACT SEVEN (7) INTO EIGHT (8) LOTS, AND GRANT ANY EASEMENTS AS SHOWN.

**GENERAL NOTES:**

- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- TOTAL AREA OF PROPERTY: 1.0284 ACRES.
- TALOS LOG NO. 2004127616
- BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
- DISTANCES ARE GROUND, BEARINGS ARE GRID.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- DATE OF FIELD WORK: JULY, 2003
- CURRENT ZONING: SU-1 FOR PRD
- STRADA TUSCANO IS TO BE MAINTAINED BY THE PROPERTY OWNERS, LOTS 1 THRU 8, UNDER A ROAD MAINTENANCE AGREEMENT.



**FREE CONSENT**

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBMITTED.

[Signature] 8/10/2004  
DATE  
GARY TIPTON PRESIDENT  
TIPTON & ASSOCIATES, INC.

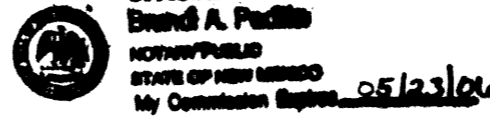
ACKNOWLEDGMENT  
STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC

THIS 10<sup>th</sup> DAY OF August, 2004

BY: Gary Tipton  
OWNERS NAME

MY COMMISSION EXPIRES: May 23, 06 BY: [Signature]  
NOTARY PUBLIC



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X=426368.70  
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DELTA ALPHA=-00'08"16"  
CENTRAL ZONE, NAD 1927

**SURVEYORS CERTIFICATE:**

STATE OF NEW MEXICO ) S.S.  
COUNTY OF BERNALILLO )

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

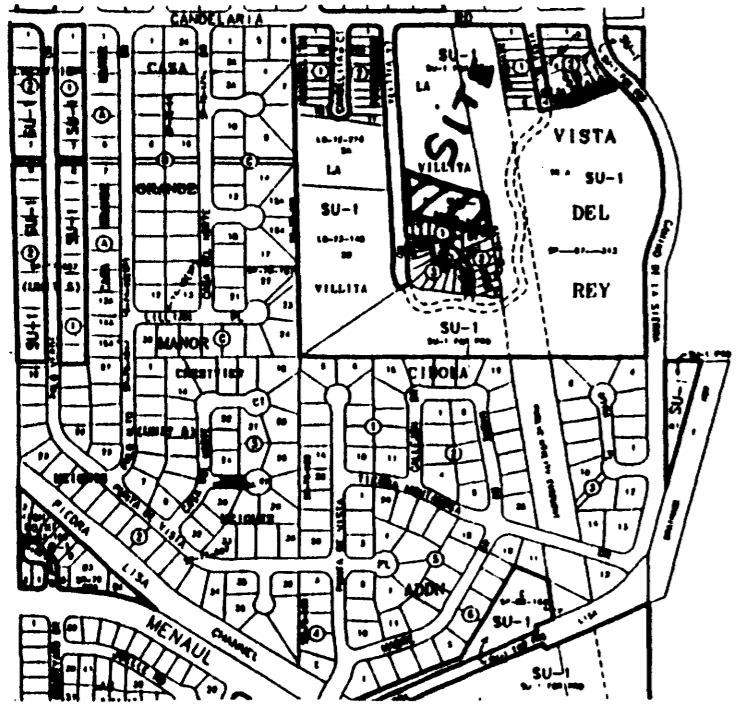
GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,  
THIS 9<sup>th</sup> DAY OF August, 2004.

[Signature]  
ANTHONY L. HARRIS, P.S. # 11463

HARRIS SURVEYING, INC.  
2475 1/2 MONROE STREET N.E. PHONE: (505) 889-8844  
ALBUQUERQUE, NEW MEXICO 87110 FAX: (505) 889-8644







VICINITY MAP No. H-23

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**PLAT OF  
LOTS 1 thru 8  
VILLAS TUSCANO**

WITHIN  
SECTION 11, TOWNSHIP 10 NORTH, RANGE 4 EAST, N.M.P.M.  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
AUGUST, 2004

PROJECT NUMBER: \_\_\_\_\_

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PNM GAS SERVICES \_\_\_\_\_ DATE \_\_\_\_\_

QWEST TELECOMMUNICATIONS \_\_\_\_\_ DATE \_\_\_\_\_

COMCAST \_\_\_\_\_ DATE \_\_\_\_\_

NEW MEXICO UTILITIES \_\_\_\_\_ DATE \_\_\_\_\_

CITY APPROVALS:

CITY SURVEYOR *[Signature]* 8-10-04 DATE \_\_\_\_\_

\*REAL PROPERTY DIVISION (CONDITIONAL) \_\_\_\_\_ DATE \_\_\_\_\_

\*\*ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL) \_\_\_\_\_ DATE \_\_\_\_\_

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION \_\_\_\_\_ DATE \_\_\_\_\_

UTILITIES DEVELOPMENT \_\_\_\_\_ DATE \_\_\_\_\_

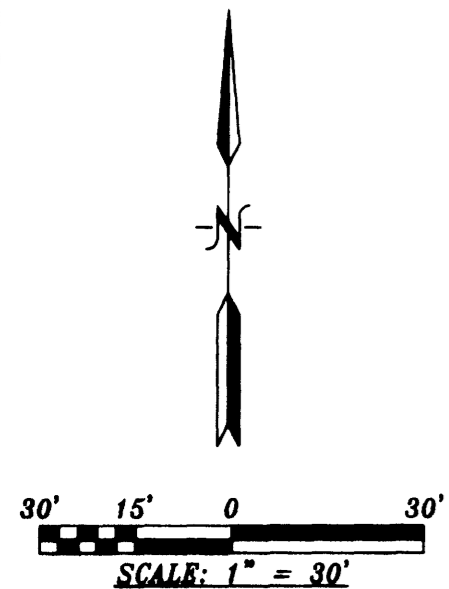
PARKS AND RECREATION DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

AMAFCA \_\_\_\_\_ DATE \_\_\_\_\_

CITY ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

DRB CHAIRPERSON, PLANNING DEPARTMENT \_\_\_\_\_ DATE \_\_\_\_\_

**PRELIMINARY PLAT  
APPROVED BY DRB  
ON 8/18/04**

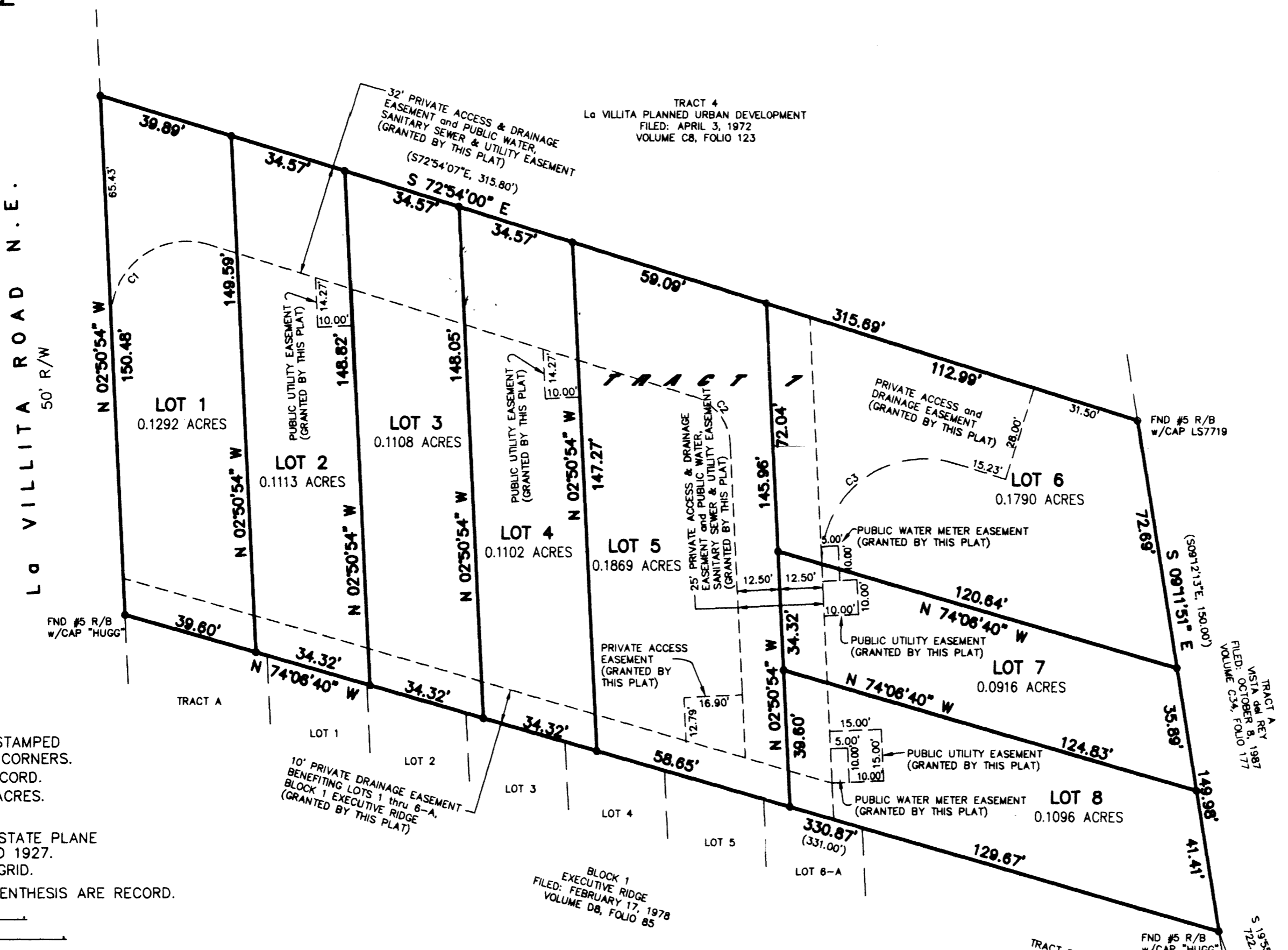


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- TALOS LOG NO. 2004127616
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**FREE CONSENT**

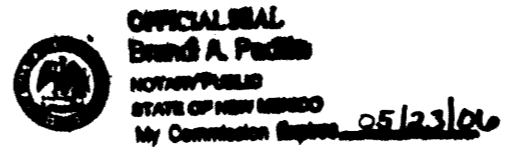
THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SURROUNDED.

*[Signature]* 8/10/2004 DATE \_\_\_\_\_  
GARY TIPTON, PRESIDENT  
TIPTON & ASSOCIATES, Inc.

**ACKNOWLEDGMENT**

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COUNTY OF BERNALILLO )  
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC  
THIS 10<sup>th</sup> DAY OF August, 2004

BY: *[Signature]*  
OWNERS NAME  
MY COMMISSION EXPIRES: May 23, 06 BY: *[Signature]*  
NOTARY PUBLIC



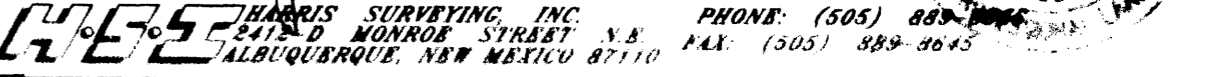
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DELTA ALPHA=-00'08"16"  
CENTRAL ZONE, NAD 1927

**SURVEYORS CERTIFICATE:**

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I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

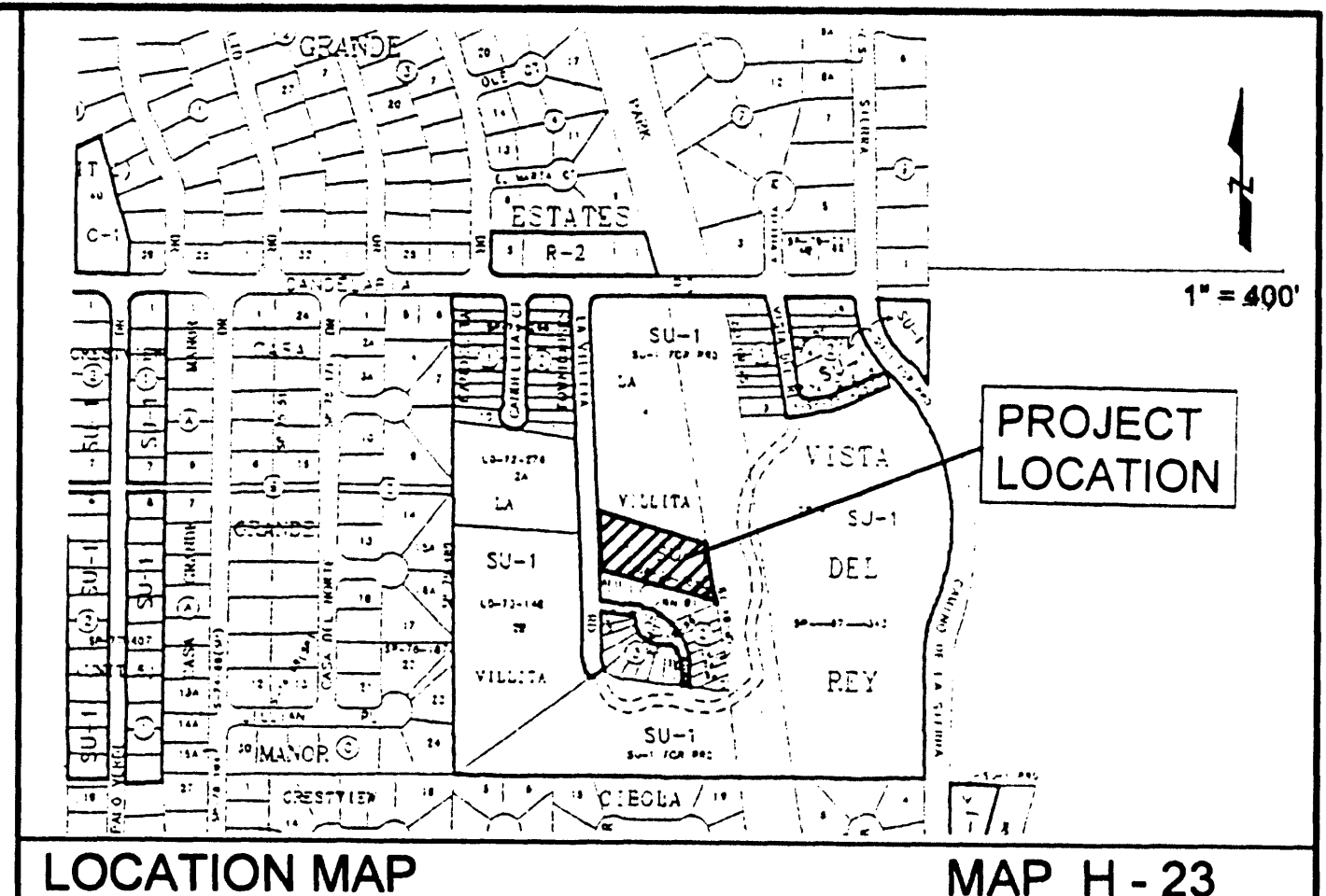
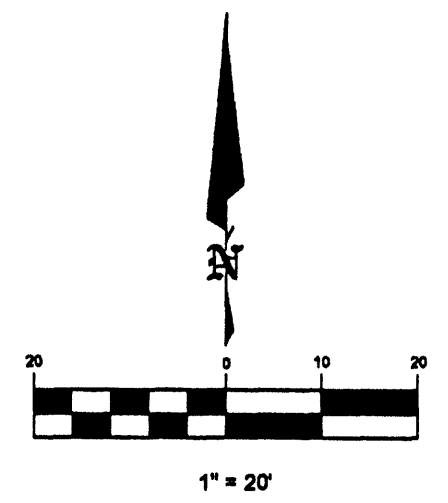
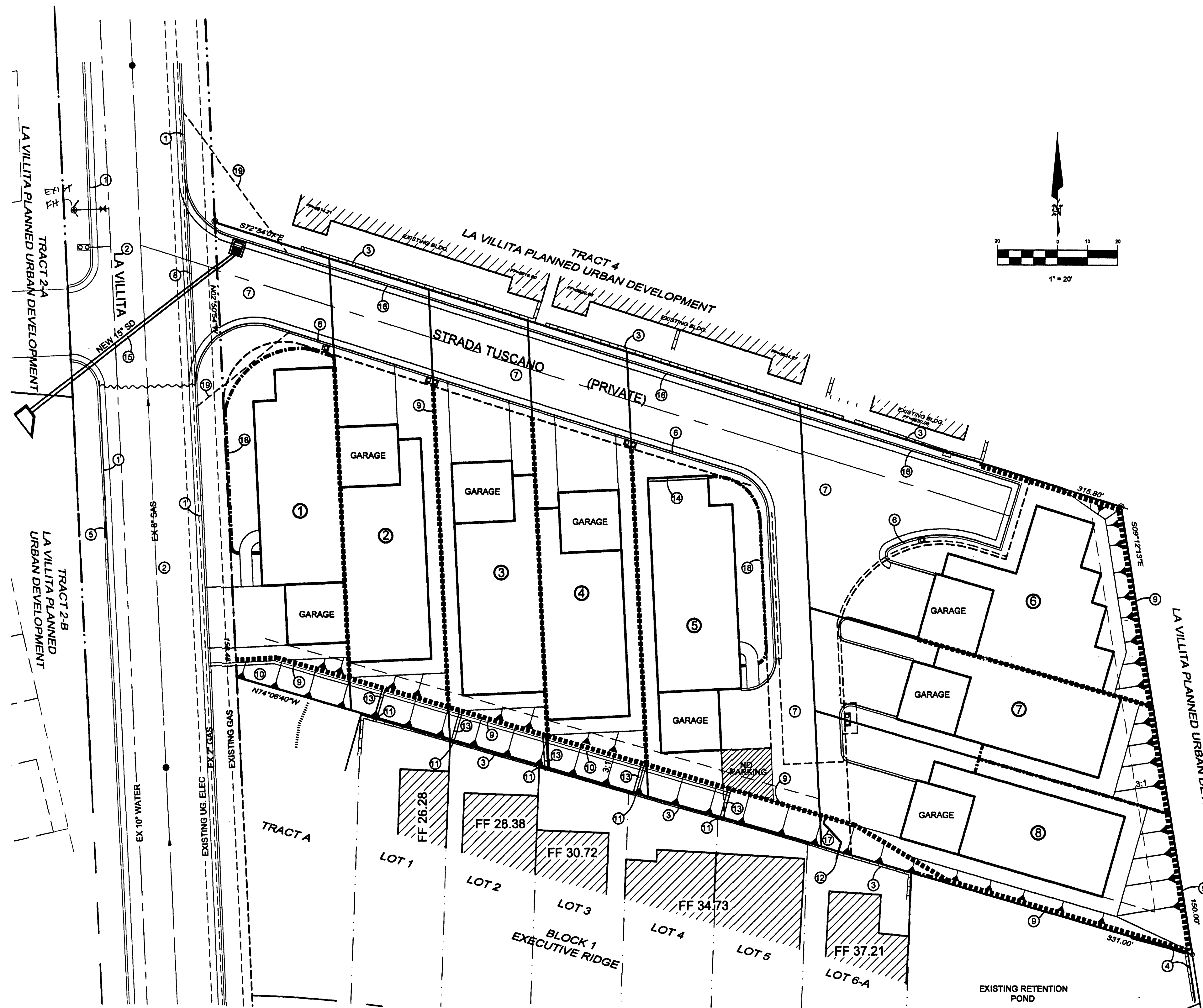
GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,  
THIS 9<sup>th</sup> DAY OF August, 2004.

*[Signature]*  
ANTHONY L. HARRIS, P.S. # 11463



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
UPC# \_\_\_\_\_  
PROPERTY OWNER OF RECORD: \_\_\_\_\_  
BERNALILLO CO. TREASURER'S OFFICE: \_\_\_\_\_

REC04-1484.dwg (JULY-04)



LOCATION MAP MAP H - 23

**LEGEND**

- 6001 — EXIST. CONTOUR / ELEV.
- 02.5 x EXIST. SPOT ELEV.
- 27 — PROPOSED CONT. / ELEV.
- RIGHT-OF-WAY
- 01.5 ⊕ PROPOSED SPOT ELEV.
- ← DIRECTION OF FLOW
- DRAINAGE SWALE
- DRAINAGE BASIN DIVIDE
- EXIST. POLE W/GUY
- EXIST. FENCE
- EXIST. ROAD
- EXIST. CMU WALL
- EXISTING CMU WALL

PROPERTY ADDRESS  
13200 LA VILLITA

PROJECT LOCATION  
EAST OF LA VILLITA  
SOUTH OF CANDELARIA  
ALBUQUERQUE, NEW MEXICO

NOTE: NO PARKING SIGNAGE REQUIRED TO ENSURE EMERGENCY VEHICLE ACCESS.

**KEYED NOTES**

- 1 EXISTING MOUNTABLE CURB & GUTTER
- 2 EXISTING ASPHALT ROADWAY
- 3 EXISTING CMU WALL
- 4 EXISTING CMU RETAINING WALL
- 5 EXISTING CURB BREAK FOR DRAINAGE
- 6 NEW MOUNTABLE CURB & GUTTER
- 7 NEW ASPHALT PAVEMENT
- 8 REMOVE AND DISPOSE EXIST CONC. C & G
- 9 NEW RETAINING WALL
- 10 NEW CONCRETE ALLEY GUTTER
- 11 EXISTING 2" PVC DRAIN
- 12 EXISTING 4" PVC DRAIN
- 13 CONCRETE GUTTER AT PVC DRAINS
- 14 STEM WALL
- 15 NEW 15" STORM DRAINAGE SYSTEM
- 16 NEW 8" CONCRETE CURB & GUTTER
- 17 EXTEND 4" PVC DRAIN THRU RET. WALL
- 18 NEW 4" CMU PATIO WALL
- 19 CLEAR SIGHT TRIANGLE

**LEGAL DESCRIPTION:** TRACT 7, LA VILLITA

EXISTING ZONING: SU-1  
PROPOSED ZONING: (NO CHANGE)

SUBDIVISION AREA: 1.03 AC.

PROPOSED DEVELOPMENT:

SINGLE FAMILY RESIDENTIAL  
TOTAL NUMBER OF LOTS EXISTING: 1  
TOTAL NUMBER OF LOTS PROPOSED: 8

ACCESS:  
EXISTING LA VILLITA RD (PRIVATE)  
PROPOSED: STRADA TUSCANO (PRIVATE)

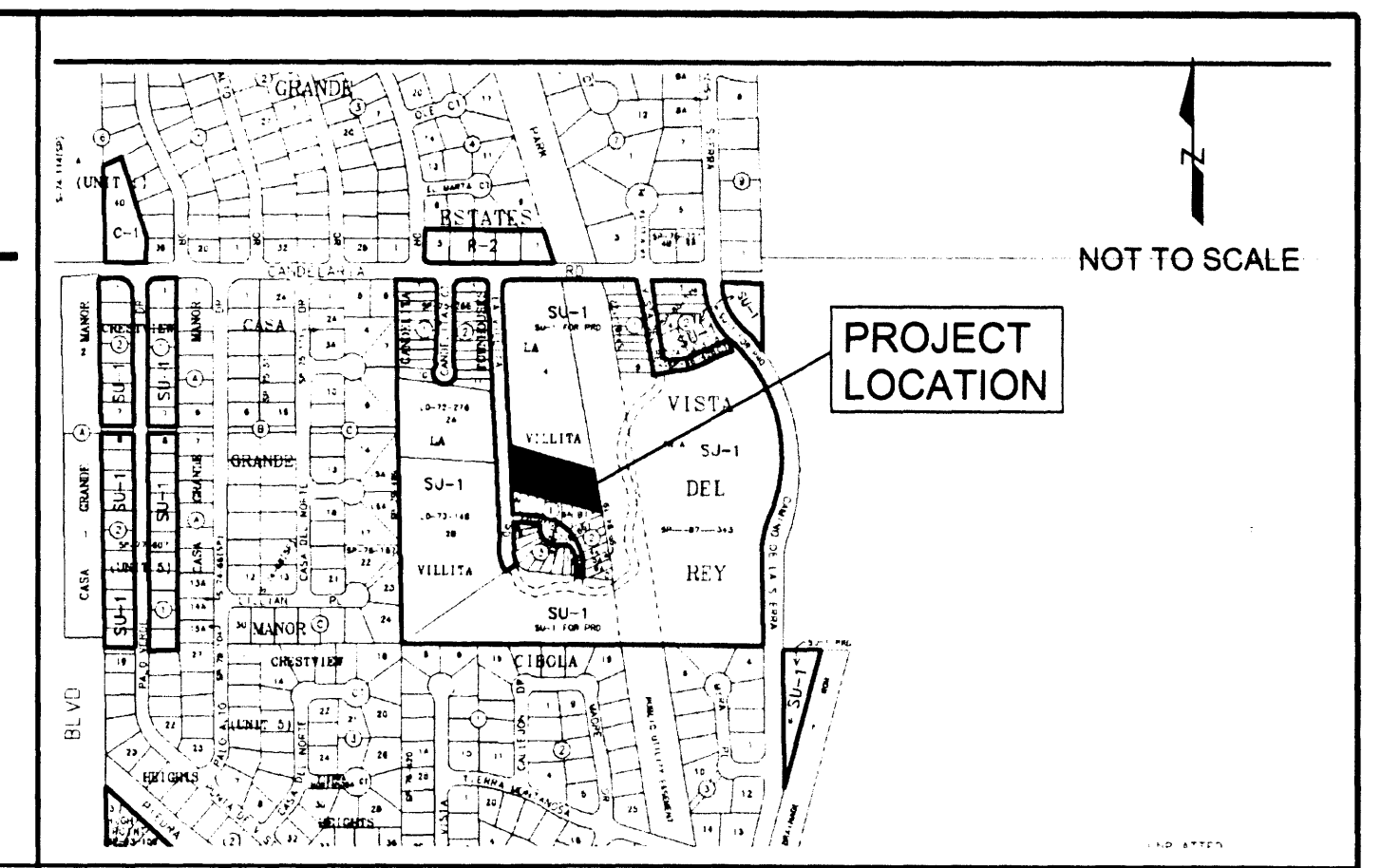
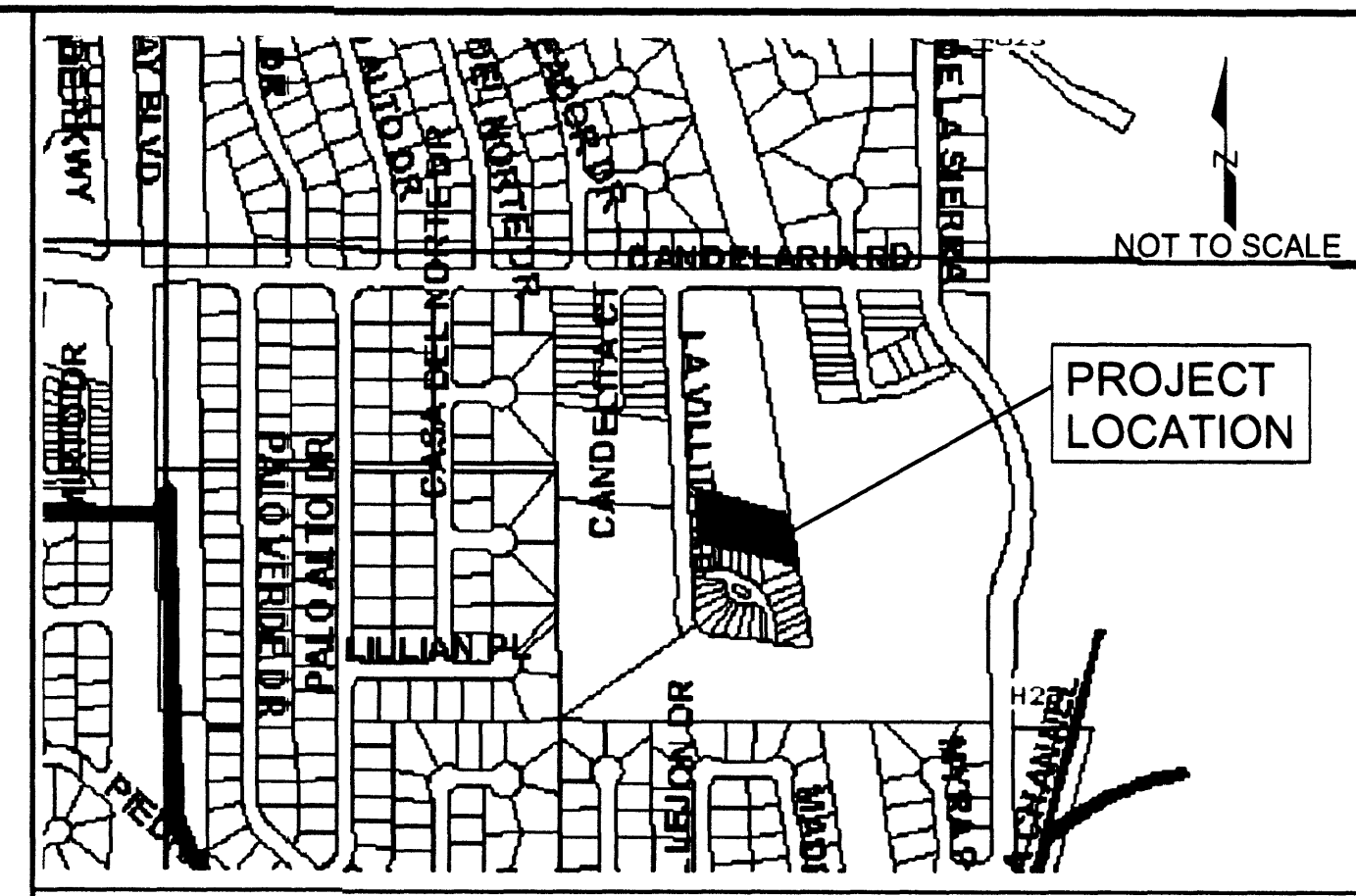
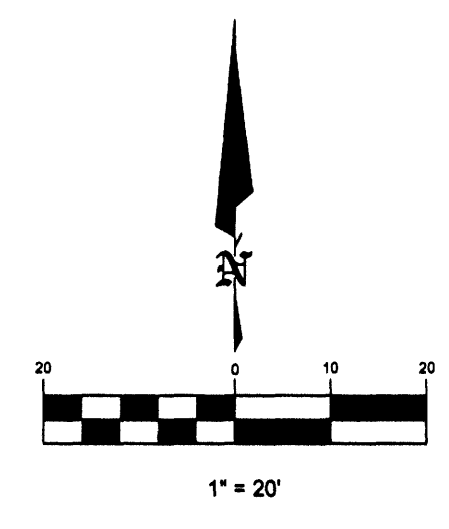
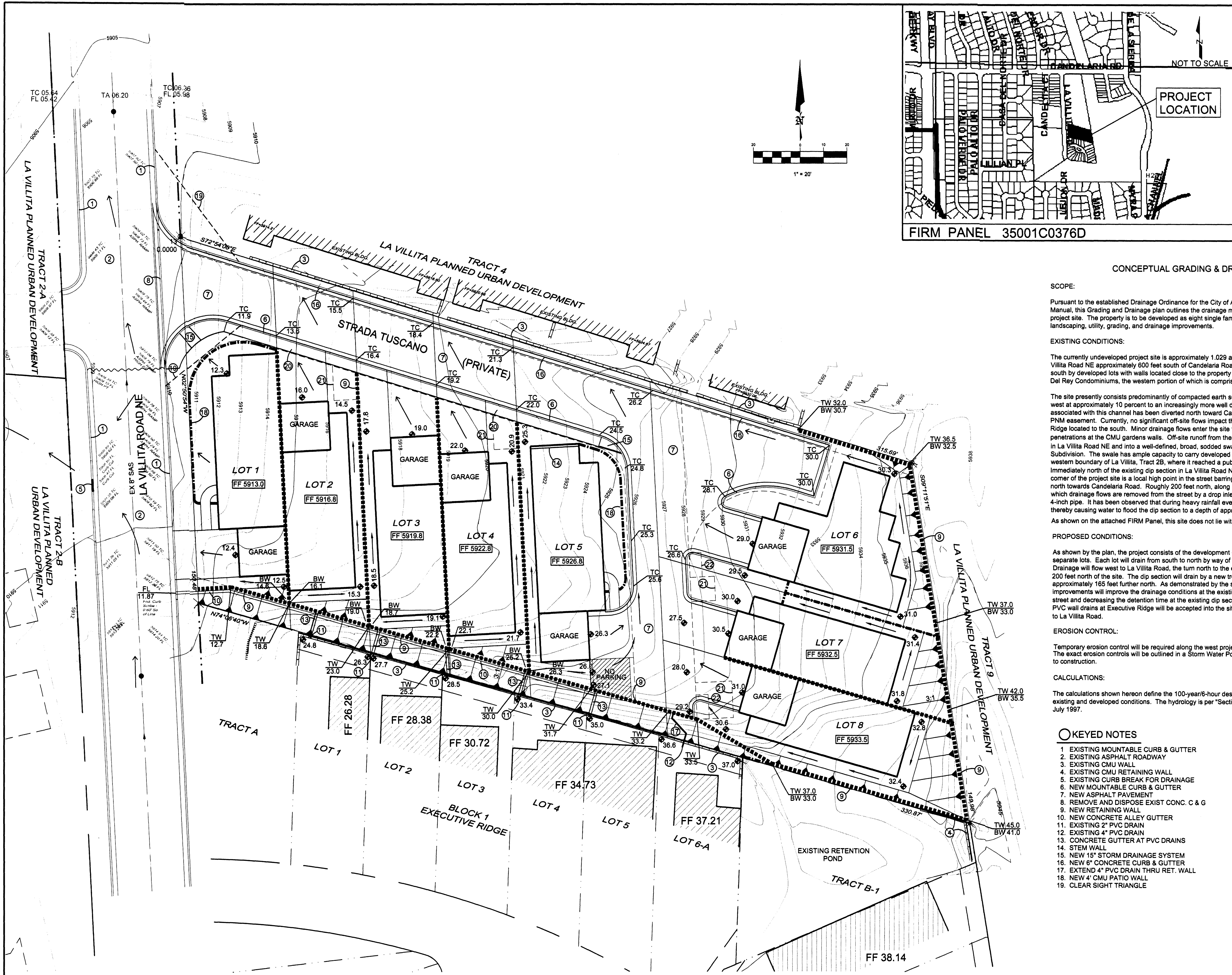
WATER / WASTEWATER; CONNECTION TO EXISTING CITY WATER AND SEWER LINES IN LA VILLITA; EXTENSION OF CITY WATER AND SEWER LINES IN PROPOSED STRADA TUSCANO CITY WATER AND SEWER EASEMENT

APD PLANS CHECKING OFFICE  
924-2611  
APPROVED/DISAPPROVED  
4/30/04  
SIGNATURE & DATE  
M. H. SWMS  
4-30-04

**BRASHER & LORENZ**  
CONSULTING ENGINEERS  
2201 San Pedro NE Building 1 Suite 220  
Albuquerque, New Mexico 87110  
Ph: 505-888-0088 Fax: 505-888-0188

**VILLAS TUSCANO**  
SITE PLAN FOR SUBDIVISION

DRW: R.M	TR:	DATE: 04/25/04
CKD: P.T.B	OK:	SCALE: 1"=20'
APP:	ACAD FILE:	SHT: 1 OF 4
REV. NO.	04506 DWG	



**CONCEPTUAL GRADING & DRAINAGE PLAN**

**SCOPE:**

Pursuant to the established Drainage Ordinance for the City of Albuquerque and the Development Process Manual, this Grading and Drainage plan outlines the drainage management criteria for controlling runoff from the project site. The property is to be developed as eight single family residences with associated paving, landscaping, utility, grading, and drainage improvements.

**EXISTING CONDITIONS:**

The currently undeveloped project site is approximately 1.029 acres in size and is located on the east side of La Villita Road NE approximately 600 feet south of Candelaria Road NE. The site is bounded on the north and south by developed lots with walls located close to the property lines. To the east, the site is bounded by Vista Del Rey Condominiums, the western portion of which is comprised of a 150' easement dedicated to PNM.

The site presently consists predominantly of compacted earth supporting sparse vegetation and draining to the west at approximately 10 percent to an increasingly more well defined channel. The historic contributing basin associated with this channel has been diverted north toward Candelaria Road by a berm on the west side of the PNM easement. Currently, no significant off-site flows impact the site. The site accepts minor flows from Executive Ridge located to the south. Minor drainage flows enter the site from Lot 1 through Lot 8-A through PVC pipe penetrations at the CMU garden walls. Off-site runoff from the north discharges from an existing dip section in La Villita Road NE and into a well-defined, broad, sodded swale between Tracts 2A and 2B of La Villita Subdivision. The swale has ample capacity to carry developed runoff from its entire off-site basin to a point on the western boundary of La Villita, Tract 2B, where it reached a public drainage right of way through Block C of Casa Immediately north of the existing dip section in La Villita Road NE, approximately 55 feet from the northwest corner of the project site is a local high point in the street barring drainage in La Villita Road NE from continuing north towards Candelaria Road. Roughly 200 feet north, along La Villita Road NE, a similar dip exists, from which drainage flows are removed from the street by a drop inlet and released north by a make shift inlet and 4-inch pipe. It has been observed that during heavy rainfall events this drop inlet becomes clogged with debris thereby causing water to flood the dip section to a depth of approximately 1-foot.

As shown on the attached FIRM Panel, this site does not lie within a designated flood hazard zone.

**PROPOSED CONDITIONS:**

As shown by the plan, the project consists of the development of the site into 8 single-family residences on separate lots. Each lot will drain from south to north by way of yard swales, outfalling at Strada Tuscano. Drainage will flow west to La Villita Road, the turn north to the existing dip section located approximately 200 feet north of the site. The dip section will drain by a new trench drain and new 8-inch storm drain to a point approximately 165 feet further north. As demonstrated by the supplemental calculations, the proposed improvements will improve the drainage conditions at the existing dip section by decreasing the flow depth in the street and decreasing the detention time at the existing dip section. As shown by the plan, runoff from the existing PVC wall drains at Executive Ridge will be accepted into the site and drained within a 10' drainage easement to La Villita Road.

**EROSION CONTROL:**

Temporary erosion control will be required along the west project boundary during construction to prevent the The exact erosion controls will be outlined in a Storm Water Pollution Prevention Plan to be prepared prior to construction.

**CALCULATIONS:**

The calculations shown hereon define the 100-year/6-hour design storm falling within the project area under existing and developed conditions. The hydrology is per "Section 22.2, Development Process Manual," dated July 1997.

**KEYED NOTES**

1. EXISTING MOUNTABLE CURB & GUTTER
2. EXISTING ASPHALT ROADWAY
3. EXISTING CMU WALL
4. EXISTING CMU RETAINING WALL
5. EXISTING CURB BREAK FOR DRAINAGE
6. NEW MOUNTABLE CURB & GUTTER
7. NEW ASPHALT PAVEMENT
8. REMOVE AND DISPOSE EXIST CONC. C & G
9. NEW RETAINING WALL
10. NEW CONCRETE ALLEY GUTTER
11. EXISTING 2" PVC DRAIN
12. EXISTING 4" PVC DRAIN
13. CONCRETE GUTTER AT PVC DRAINS
14. STEM WALL
15. NEW 15" STORM DRAINAGE SYSTEM
16. NEW 6" CONCRETE CURB & GUTTER
17. EXTEND 4" PVC DRAIN THRU RET. WALL
18. NEW 4" CMU PATIO WALL
19. CLEAR SIGHT TRIANGLE

**LEGEND**

- 6001 EXIST. CONTOUR / ELEV.
- 02.5 x EXIST. SPOT ELEV.
- 27 — PROPOSED CONT. / ELEV.
- --- PROPERTY LINE
- 01.5 ⊕ PROPOSED SPOT ELEV.
- ← DIRECTION OF FLOW
- DRAINAGE SWALE
- DRAINAGE BASIN DIVIDE
- EXIST. POLE W/GUY
- EXIST. FENCE
- EXIST. ROAD
- EXIST. CMU WALL
- EXISTING CMU WALL
- NEW RETAINING WALL
- TW 36.6 TOP OF WALL ELEV.
- 3:1 SLOPE

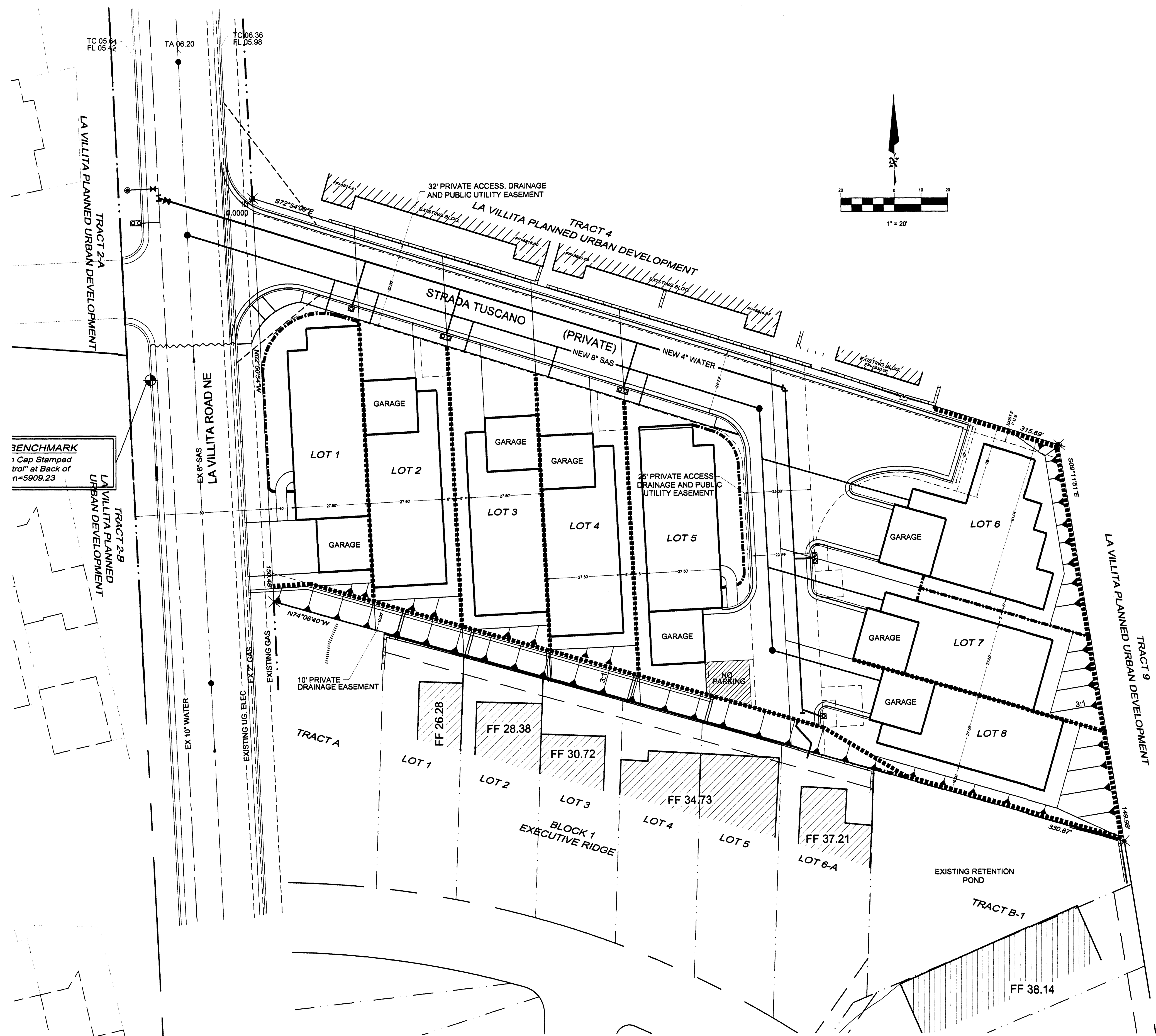
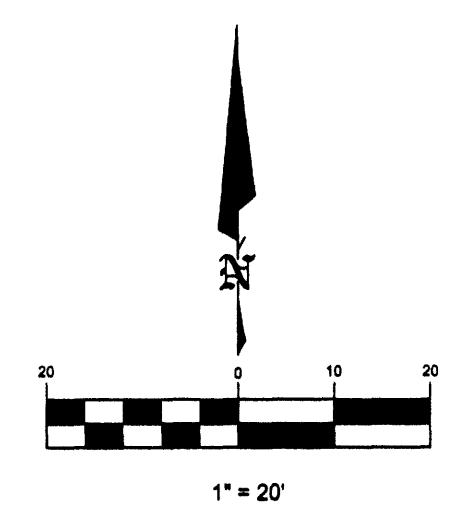
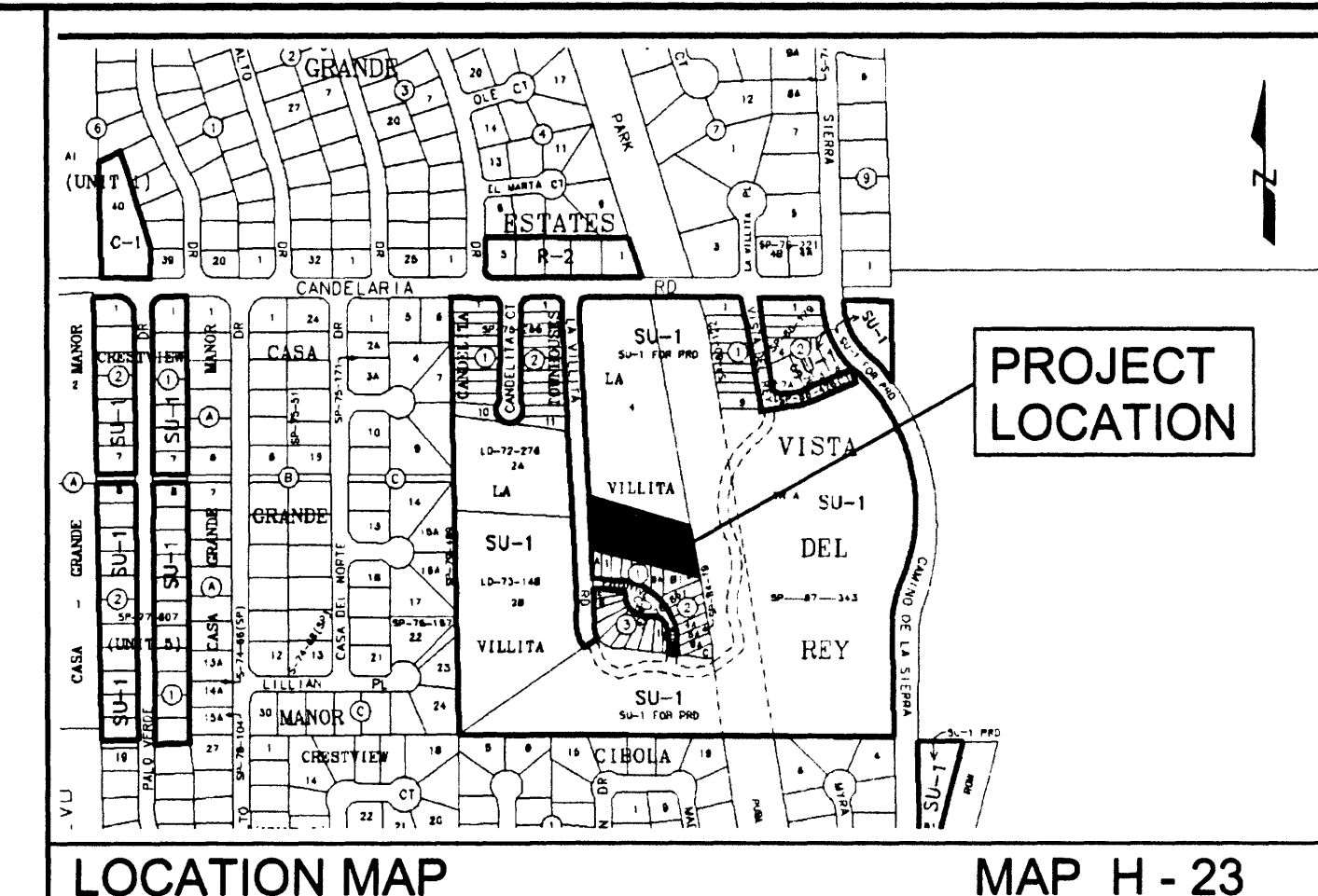
**PROPERTY ADDRESS**  
13200 LA VILLITA  
**PROJECT LOCATION**  
EAST OF LA VILLITA  
SOUTH OF CANDELARIA  
ALBUQUERQUE, NEW MEXICO

**LEGAL DESCRIPTION:** TRACT 7, LA VILLITA  
**EXISTING ZONING:** SU-1 for PRD  
**PROPOSED ZONING:** (NO CHANGE)  
**SUBDIVISION AREA:** 1.03 AC.  
**PROPOSED DEVELOPMENT:**  
SINGLE FAMILY RESIDENTIAL  
TOTAL NUMBER OF LOTS EXISTING: 1  
TOTAL NUMBER OF LOTS PROPOSED: 8  
**ACCESS:**  
EXISTING LA VILLITA RD (PRIVATE)  
PROPOSED: STRADA TUSCANO (PRIVATE)  
**WATER / WASTEWATER; CONNECTION TO EXISTING CITY WATER AND SEWER LINES IN LA VILLITA; EXTENSION OF CITY WATER AND SEWER LINES IN PROPOSED STRADA TUSCANO CITY WATER AND SEWER EASEMENT**

**BRASHER & LORENZ**  
CONSULTING ENGINEERS  
2201 San Pedro NE Building 1 Suite 220  
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PH: 505-888-8088 FAX: 505-888-8188

**VILLAS TUSCANO**  
CONCEPTUAL GRADING & DRAINAGE PLAN

DRW: R.M	TR:	DATE: 08-01-2004
CKD: P.T.B	OK:	SCALE: 1"=20'
APP:	ACAD FILE:	SHT: 4 OF 6
REV. NO.	04506 DWG	



**BENCHMARK**  
1 Cap Stamped  
Irol at Back of  
n=5909.23

**LEGEND**

- 8" SAS — EXISTING SANITARY SEWER
- 10" W — EXISTING WATER LINE
- - - UG - - - EXISTING UG ELECTRIC
- - - GAS - - - EXISTING GAS
- 8" SAS — NEW SANITARY SEWER
- 6" W — NEW WATER LINE
- NEW WATER METER
- EXIST. POLE W/GUY
- EXISTING CURB AND GUTTER
- NEW CURB AND GUTTER
- 24" SD — NEW STORM DRAIN
- EXISTING CMU WALL
- NEW RETAINING WALL

PROPERTY ADDRESS  
13200 LA VILLITA

LEGAL DESCRIPTION: TRACT 7, LA VILLITA

EXISTING ZONING: SU-1 for PRD  
PROPOSED ZONING: (NO CHANGE)

SUBDIVISION AREA: 1.03 AC.

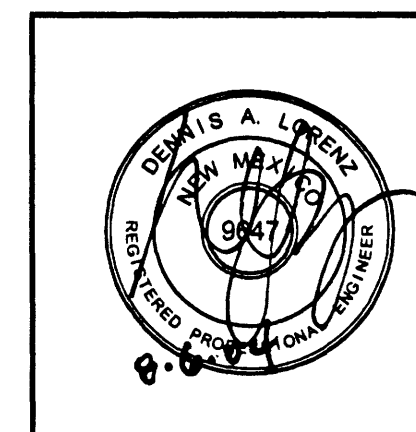
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CITY WATER AND SEWER EASEMENT

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Ph: 505-888-6088 Fax: 505-888-6188



**VILLAS TUSCANO**  
CONCEPTUAL UTILITY PLAN

DRW: R.M.	TR:	DATE: 08-01-2004
CKD: P.T.B.	OK:	SCALE: 1"=20'
APP:	ACAD FILE:	SHT: 5 OF 6
REV. NO.	04506 DWG	

PLANNING