

LOCATION MAP **ZONE ATLAS C-19-Z**
SCALE: NONE

SUBDIVISION DATA

Plat Case No's. 00997 Project #1001903
Case #02DRB-
Gross acreage 0.2457 Ac.
Zone Atlas No. C-19-Z
No. of existing Lots 2 Lots
No. of Tracts/Lots created 0 Tracts/2 Lots
No. of Lots eliminated 2
Miles of full width streets created 0.0
Miles of half width streets created 0.0
Area dedicated to the City of Albuquerque 0.0 Ac.
Date of Survey May, 2002
Utility Control Location System Log Number 2002210372
Zoning RD-7

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

OWNER: D. R. HORTON, INC. A Delaware Corporation

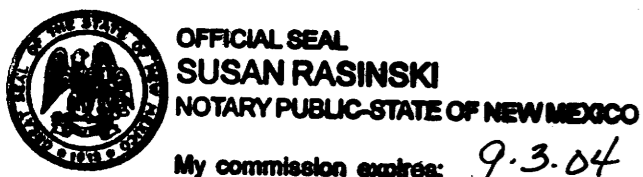
J. Mark Ferguson 03-12-03
J. Mark Ferguson, Division President Date

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
COUNTY OF BERNALILLO

This instrument was acknowledged before me on March 12, 2003
By J. Mark Ferguson, Division President of D. R. HORTON, Inc. A Delaware Corporation on behalf of said corporation.

Susan Rasinski 9.3.04
NOTARY PUBLIC MY COMMISSION EXPIRES



LEGAL DESCRIPTION

A tract of land situate, within the Elena Gallegos Grant, projected Section 18, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 18 and 19, DESERT LANE SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on January 23, 2003 in Volume 2003C, Folio 18 and containing 0.2457 acres more or less.

NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone).
2. Distances are ground distances.
3. Bearings and distances in parenthesis are record.
4. Basis of boundary is from the plat of record entitled:

- PLAT FOR DESERT LANE SUBDIVISION (01-23-03, 2003-18)
- PLAT FOR "NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3", (09-10-31, D1-20)
- PLAT FOR "STONEBROOKE ESTATES SUBDIVISION", (06-15-00, 00C-159)
- PLAT FOR "STONEBROOKE ESTATES SUBDIVISION", (07-27-00, 00C-195)
- PLAT FOR "STONEBROOKE ESTATES SUBDIVISION", (06-15-00, 00C-157)

all being records of Bernalillo County, New Mexico.

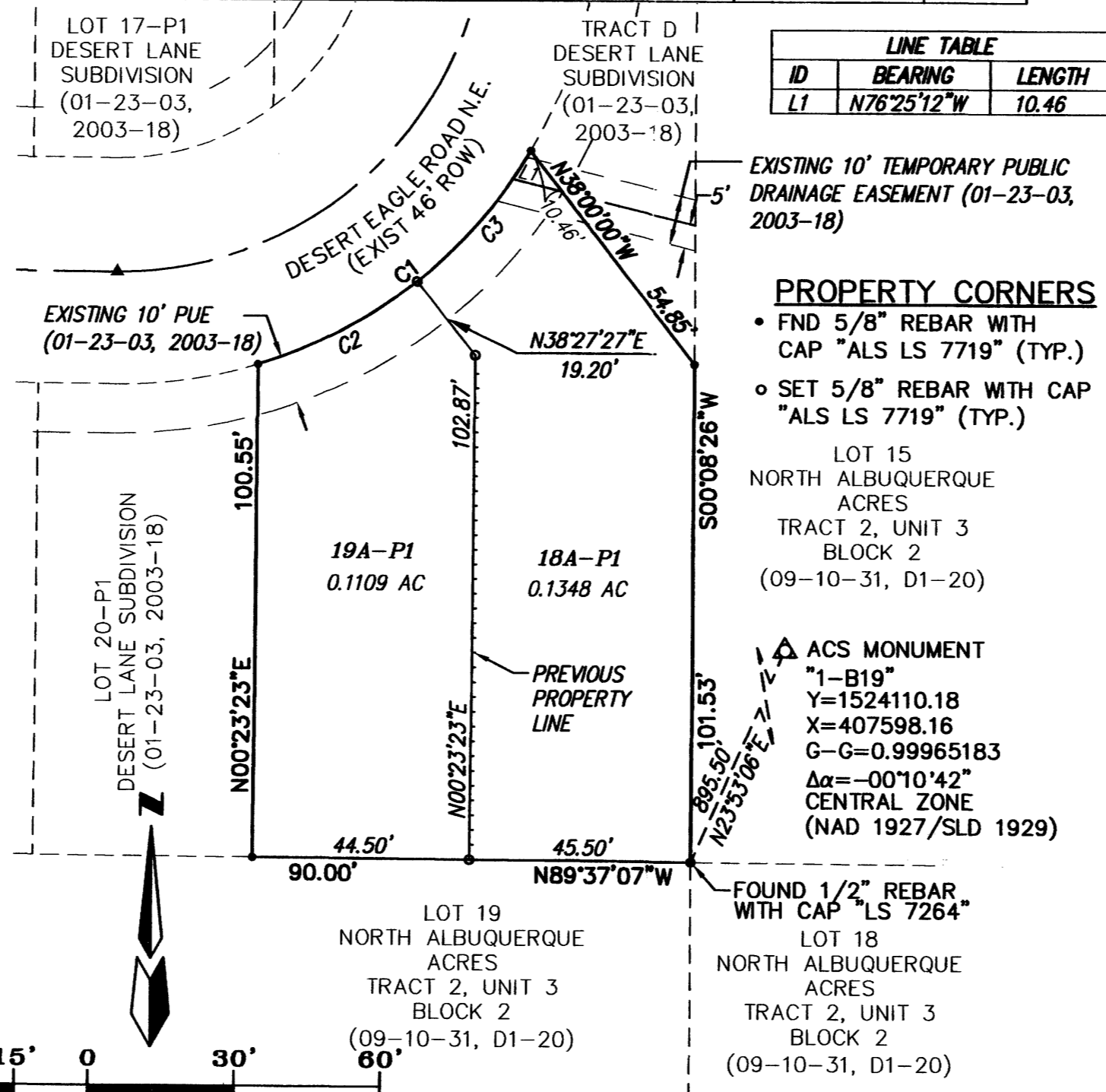
5. Field Survey: performed May, 2002.
6. City of Albuquerque, New Mexico Zone: R-D

PURPOSE OF PLAT

1. Is to move the interior lot line 0.50 feet to the west to make lot 18A-P1 a little wider.

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C1	98.00	72.45	42°21'32"	37.97	S51°59'18"W	70.81
C2	98.00	36.99	21°37'31"	18.72	N62°21'18"E	36.77
C3	98.00	35.46	20°44'01"	17.93	N41°10'32"W	35.27

LINE TABLE		
ID	BEARING	LENGTH
L1	N76°25'12"W	10.46



PROPERTY CORNERS

- FND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP.)
- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP.)

LOT 15
NORTH ALBUQUERQUE
ACRES
TRACT 2, UNIT 3
BLOCK 2
(09-10-31, D1-20)

ACS MONUMENT
"1-B19"
Y=1524110.18
X=407598.16
G-G=0.99965183
Δα=-00°10'42"
CENTRAL ZONE
(NAD 1927/SLD 1929)

FOUND 1/2" REBAR
WITH CAP "LS 7264"
LOT 18
NORTH ALBUQUERQUE
ACRES
TRACT 2, UNIT 3
BLOCK 2
(09-10-31, D1-20)

PLAT FOR
LOTS 18A-P1 AND LOT 19A-P1
DESERT LANE SUBDIVISION
WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 18,
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2003

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

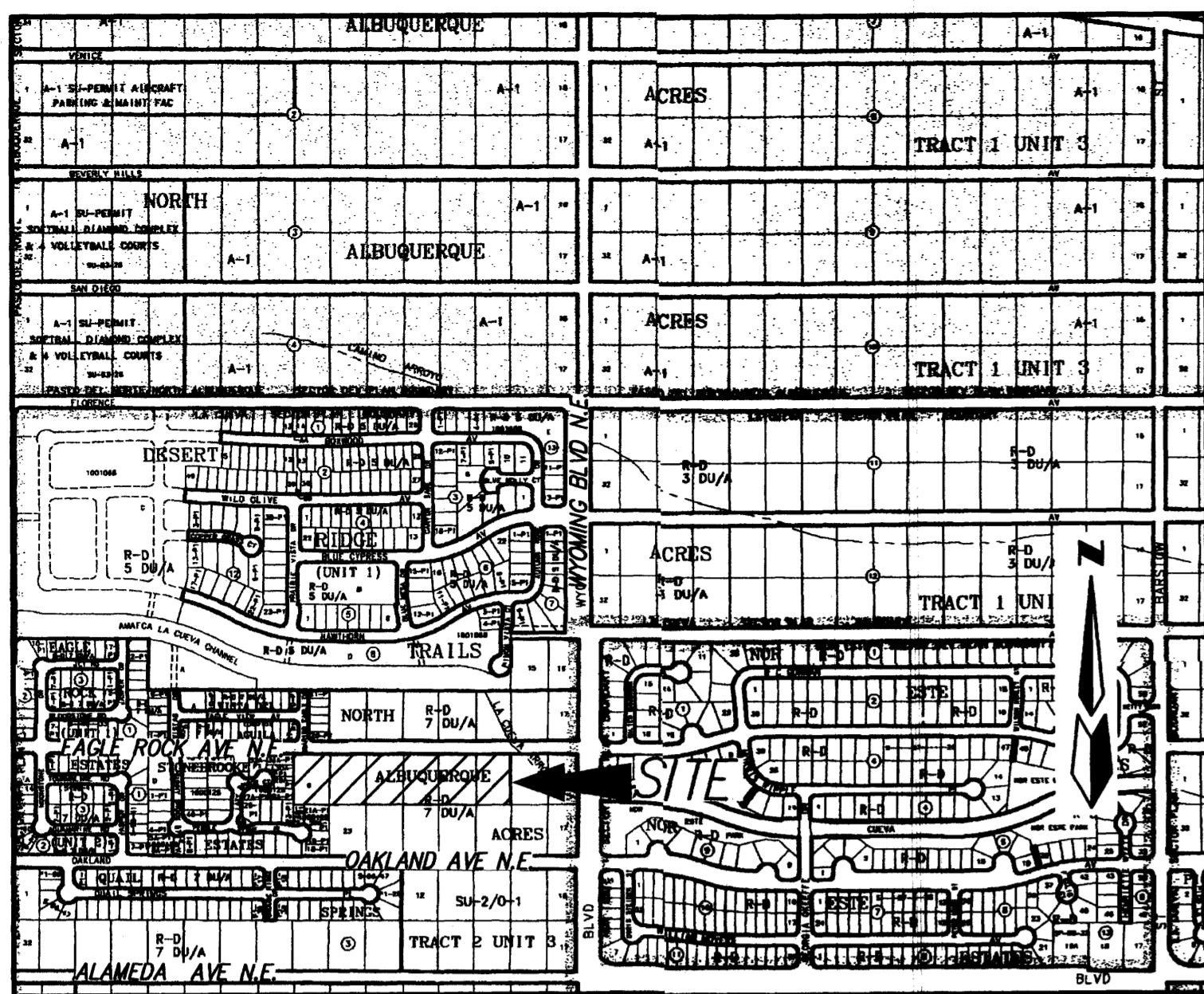
- Subdivision Case No. _____
- Planning Director, City of Albuquerque, N.M. _____ Date _____
- City Engineer, City of Albuquerque, N.M. _____ Date _____
- Albuquerque Metropolitan Arroyo Flood Control Authority _____ Date _____
- Transportation Development, City of Albuquerque, N.M. _____ Date _____
- Utility Development Division, City of Albuquerque, N.M. _____ Date _____
- Parks and Recreation _____ Date _____
- Timothy Aldrich 3-28-03
City Surveyor, City of Albuquerque, N.M. _____ Date _____

- Property Management, City of Albuquerque, N.M. _____ Date _____
- PNM Gas _____ Date _____
- PNM Electric _____ Date _____
- Qwest Telecommunications _____ Date _____
- Comcast Cable _____ Date _____

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich 03-27-03
Timothy Aldrich, S No. 419



ZONE ATLAS MAP # C-19-Z C-19-Z
SCALE: NONE

DESCRIPTION

A tract of land situate, within the Elena Gallegos Grant, projected Section 18, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 9 thru 14, BLOCK 2, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D1, Folio 20 and being more particularly described as follows:

BEGINNING at the southeast corner of the herein described tract, said point being common with the southwest corner of LOT 15, BLOCK 2, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D1, Folio 20 from whence the Albuquerque Control Survey Monument "1-B19" bears N 23°53'06" E, 895.50 feet;

THENCE N 89°37'07" W, 989.22 feet along a line common with the north line of LOTS 19 THRU 23, TRACT 2, UNIT 3, BLOCK 2, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D1, Folio 20 and LOTS 21A-P1 AND 22A-P1, STONEBROOKE ESTATES SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 15, 2000 in Book 2000C, Page 159 to the southwest corner, said point being common with the northwest corner of said LOT 22A-P1;

THENCE N 00°15'00" E, 263.62 feet along a line common with the east line of LOTS 28A-P1 AND 29A-P1, STONEBROOKE ESTATES SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 16, 2000 in Book 2000C, Page 157 and LOTS 30A-P1 AND 31A-P1, STONEBROOKE ESTATES SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 27, 2000 in Book 2000C, Page 195 to the northwest corner, said point being on the centerline of Eagle Rock Avenue N.E.;

THENCE along said centerline S 89°36'37" E, 988.72 feet to the northeast corner;

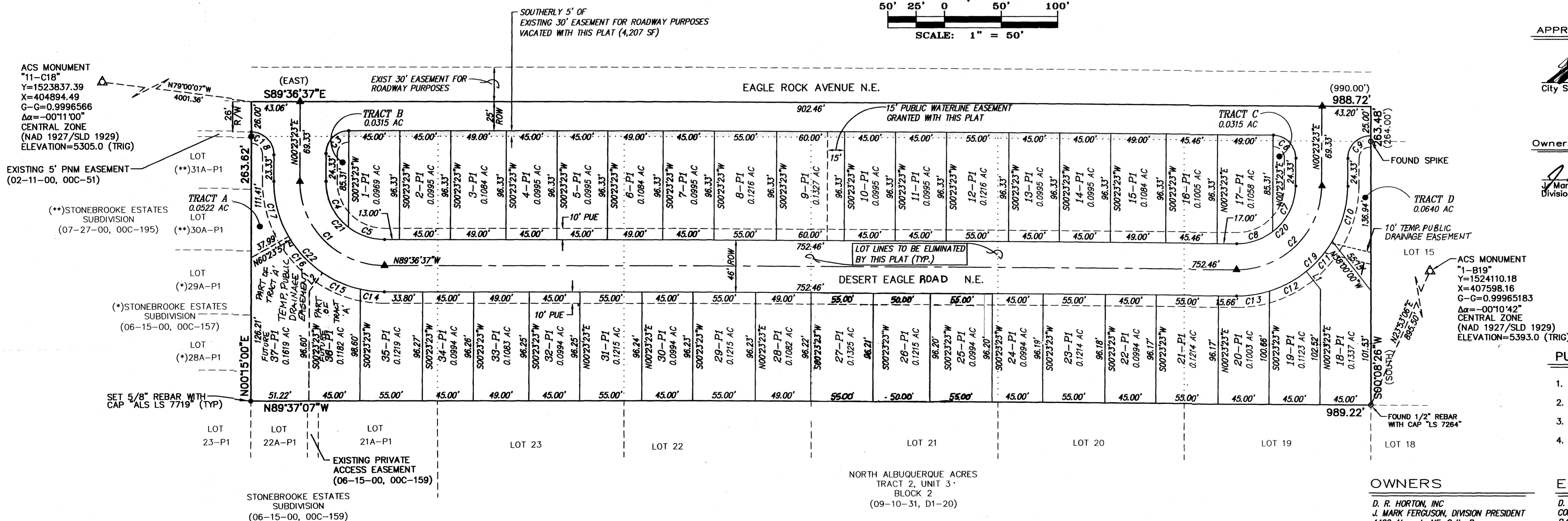
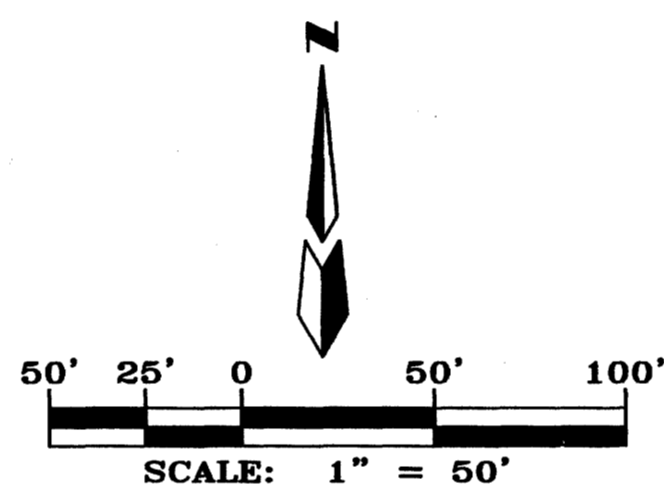
THENCE leaving said centerline S 00°08'26" W, 263.48 feet along a line common with the west line of said LOT 15 to the point of beginning and containing 5.9834 acres more or less.

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CH-BEARING	CHORD
C1	75.00	117.81	90°00'00"	75.00	S44°36'37"E	106.07
C2	75.00	117.81	90°00'00"	75.00	N45°23'23"E	106.07
C3	20.00	31.42	90°00'00"	20.00	S45°23'23"W	28.28
C4	52.00	47.21	52°01'12"	25.37	S25°37'14"E	45.61
C5	52.00	34.47	37°58'48"	17.89	S70°37'14"E	33.84
C6	20.00	31.42	90°00'00"	20.00	N44°36'37"W	28.28
C7	52.00	47.21	52°01'12"	25.37	N26°23'59"E	45.61
C8	52.00	34.47	37°58'48"	17.89	N71°23'59"E	33.84
C9	20.00	31.42	90°00'00"	20.00	S45°23'23"W	28.28
C10	98.00	51.76	30°15'32"	26.50	N15°31'08"E	51.16
C11	98.00	35.39	20°41'25"	17.89	N40°59'37"E	35.20
C12	98.00	37.00	21°37'45"	18.72	N62°09'12"E	36.78
C13	98.00	29.80	17°25'18"	15.02	N81°40'44"E	29.68
C14	98.00	21.37	12°29'33"	10.73	S82°15'51"E	21.33
C15	98.00	37.00	21°37'58"	18.72	S66°18'05"E	36.78
C16	98.00	44.15	25°48'52"	22.46	S42°34'40"E	43.78
C17	98.00	51.42	30°03'36"	26.31	S14°38'26"E	50.83
C18	20.00	31.41	89°59'35"	20.00	N44°36'25"W	28.28
C19	98.00	153.94	90°00'00"	98.00	N45°23'23"E	138.59
C20	52.00	81.68	90°00'00"	52.00	N45°23'23"E	73.54
C21	52.00	81.68	90°00'00"	52.00	S44°36'37"E	73.54
C22	98.00	153.94	90°00'00"	98.00	S44°36'37"E	138.59

LINE	BEARING	DISTANCE
L1	N38°39'41"W	20.00'
L2	S34°30'54"W	20.00'

LEGEND

- 1-P1 LOT NUMBER
- ▲ CENTER LINE MONUMENT
- ROW RIGHT-OF-WAY



**PRELIMINARY PLAT FOR
DESERT LANE SUBDIVISION**

WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 18
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 2002

SUBDIVISION DATA

GROSS ACREAGE	5.9834 AC
ZONE ATLAS NO.	C-19-Z
NO. OF LOTS CREATED	37 LOTS
NO. OF TRACTS CREATED	4 TRACT
AREA DEDICATED TO CITY	1.7155 AC
DATE OF SURVEY	MAY 2002
ZONING	R-D

NOTES

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS ○ SHALL BE MARKED BY A #5 REBAR W/CAP STAMPED PS#11993
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS ▲, WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED:
"CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION"
"DO NOT DISTURB"
PS#11993"
- BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- ALL DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
- 100 Year Flood Zone Designation: ZONE X, Panel 129 of 825, Flood Insurance Rate Map, City of Albuquerque, Bernalillo County, New Mexico, dated September 20, 1996. (NOTE: Panel 129 has been modified by letter effective September 11, 1998).
- TRACTS A, B, C, D ARE DEEDED TO THE HOMEOWNERS ASSOCIATION AND TO BE MAINTAINED BY SAID OWNERS FOR LANDSCAPING PURPOSES.

APPROVED FOR MONUMENTATION AND STREET NAMES

[Signature] 8/1/02
City Surveyor, City of Albuquerque, N.M. Date

Owner: D. R. HORTON, INC

[Signature] 7/31/02
Mark Ferguson, Division President DATE

PURPOSE OF PLAT

- SUBDIVIDE FIVE LOTS INTO 37 RESIDENTIAL LOTS.
- DEDICATE RIGHT-OF-WAY AS SHOWN
- GRANT NEW EASEMENTS AS SHOWN
- VACATED EASEMENTS AS SHOWN

OWNERS

D. R. HORTON, INC
J. MARK FERGUSON, DIVISION PRESIDENT
4400 Alameda NE, Suite B
ALBUQUERQUE, N.M. 87113
(505) 797-4245

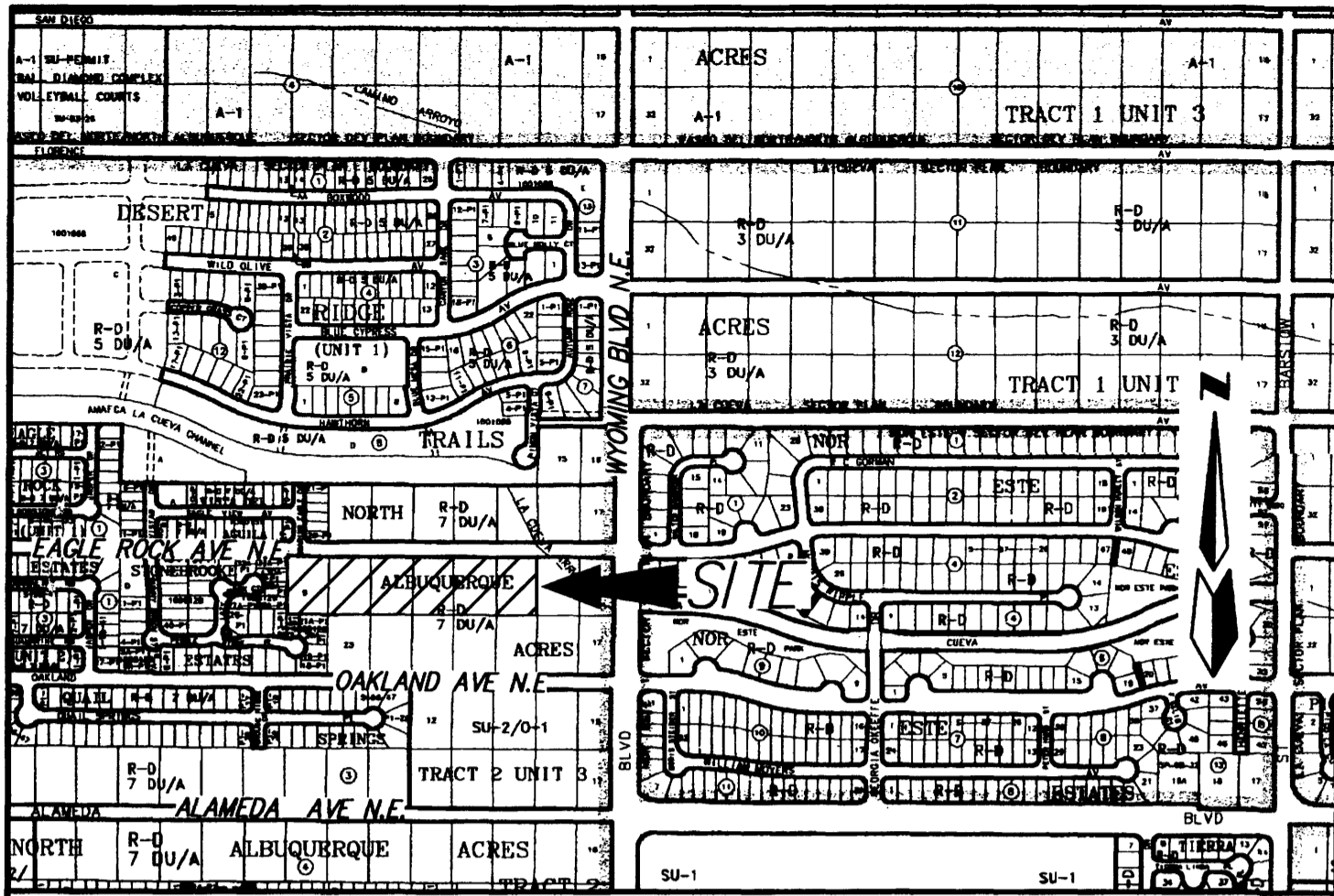
ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

SURVEYOR

ALDRICH LAND SURVEY
P.O. BOX 30701
ALBUQUERQUE, N.M. 87190-0701
(505) 884-1990

Dwg: BASER2.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 1 of 1
Scale: 1" = 50'	Date: 07/31/02	Job: A02046	



LOCATION MAP

ZONE ATLAS C-19-Z
SCALE: NONE

SUBDIVISION DATA

Plat Case No's Project #1001903
 Case #02DRB-00997
 Gross acreage 5.9834 Ac.
 Zone Atlas No. C-19-Z
 No. of existing Lots 6 Lots
 No. of Tracts/Lots created 4 Tracts/37 Lots
 No. of Lots eliminated 6
 Miles of full width streets created 0.20
 Miles of half width streets created 0.19
 Area dedicated to the City of Albuquerque 1.7131 Ac.
 Date of Survey May, 2002
 Utility Control Location System Log Number 2002210372
 Zoning RD-7

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all new streets, and public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby dedicate Eagle Rock Avenue to the City of Albuquerque in fee simple and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

OWNER: D. R. HORTON, INC.

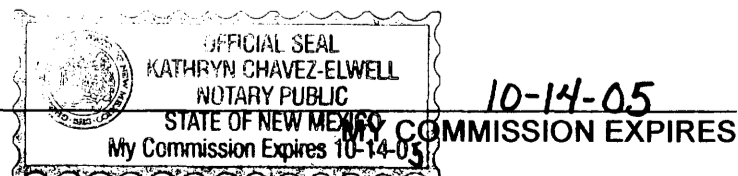
J. Mark Ferguson 11-07-02
 J. Mark Ferguson, Division President Date

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on November 7, 2002
 By J. Mark Ferguson, Division President of D. R. HORTON, Inc. A Delaware Corporation on behalf of said corporation.

Kathryn Chavez-Elwell
 NOTARY PUBLIC



LEGAL DESCRIPTION (SEE SHEET 2)

NOTES (SEE SHEET 2)

PURPOSE OF PLAT

1. Subdivide 6 Lots into 37 Residential Lots and 4 Tracts.
2. Dedicate right-of-way as shown hereon.
3. Grant easements as shown hereon.
4. Vacate easement as shown hereon.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

PLAT FOR
DESERT LANE SUBDIVISION
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 18,
 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2002

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

- Subdivision Case No. _____
- Planning Director, City of Albuquerque, N.M. _____ Date
- City Engineer, City of Albuquerque, N.M. _____ Date
- Albuquerque Metropolitan Arroyo Flood Control Authority _____ Date
- Transportation Development, City of Albuquerque, N.M. _____ Date
- Utility Development Division, City of Albuquerque, N.M. _____ Date
- Parks and Recreation _____ Date
- [Signature]* 12-9-02
 City Surveyor, City of Albuquerque, N.M. _____ Date
- Property Management, City of Albuquerque, N.M. _____ Date
- [Signature]* 12-17-02
 PNM Gas _____ Date
- [Signature]* 12-17-02
 PNM Electric _____ Date
- [Signature]* 12-16-02
 Qwest Telecommunications _____ Date
- [Signature]* 12-17-02
 Comcast Cable _____ Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

[Signature] 12-04-02
 Timothy Aldrich P.S. No. 7719 _____ Date

Dwg: BASER2.DWG	Drawn: RDQ	Checked: ALS	Sheet 1 of 3
Scale: 1:1	Date: 11/04/02	Job: A02046	

DESCRIPTION

A tract of land situate, within the Elena Gallegos Grant, projected Section 18, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 9 thru 14, BLOCK 2, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D1, Folio 20 and being more particularly described as follows:

BEGINNING at the southeast corner of the herein described tract, said point being common with the southwest corner of LOT 15, BLOCK 2, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D1, Folio 20 from whence the Albuquerque Control Survey Monument "1-B19" bears N 23°53'06" E, 895.50 feet;

THENCE N 89°37'07" W, 989.22 feet along a line common with the north line of LOTS 19 THRU 23, TRACT 2, UNIT 3, BLOCK 2, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D1, Folio 20 and LOTS 21A-P1 AND 22A-P1, STONEBROOKE ESTATES SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 15, 2000 in Book 2000C, Page 159 to the southwest corner, said point being common with the northwest corner of said LOT 22A-P1;

THENCE N 00°15'00" E, 263.62 feet along a line common with the east line of LOTS 28A-P1 AND 29A-P1, STONEBROOKE ESTATES SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 16, 2000 in Book 2000C, Page 157 and LOTS 30A-P1 AND 31A-P1, STONEBROOKE ESTATES SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 27, 2000 in Book 2000C, Page 195 to the northwest corner, said point being on the centerline of Eagle Rock Avenue N.E.;

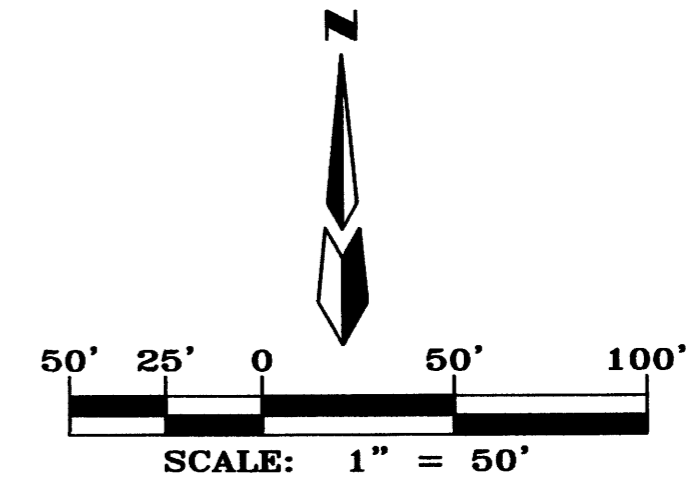
THENCE along said centerline S 89°36'37" E, 988.72 feet to the northeast corner;

THENCE leaving said centerline S 00°08'26" W, 263.48 feet along a line common with the west line of said LOT 15 to the point of beginning and containing 5.9834 acres more or less.

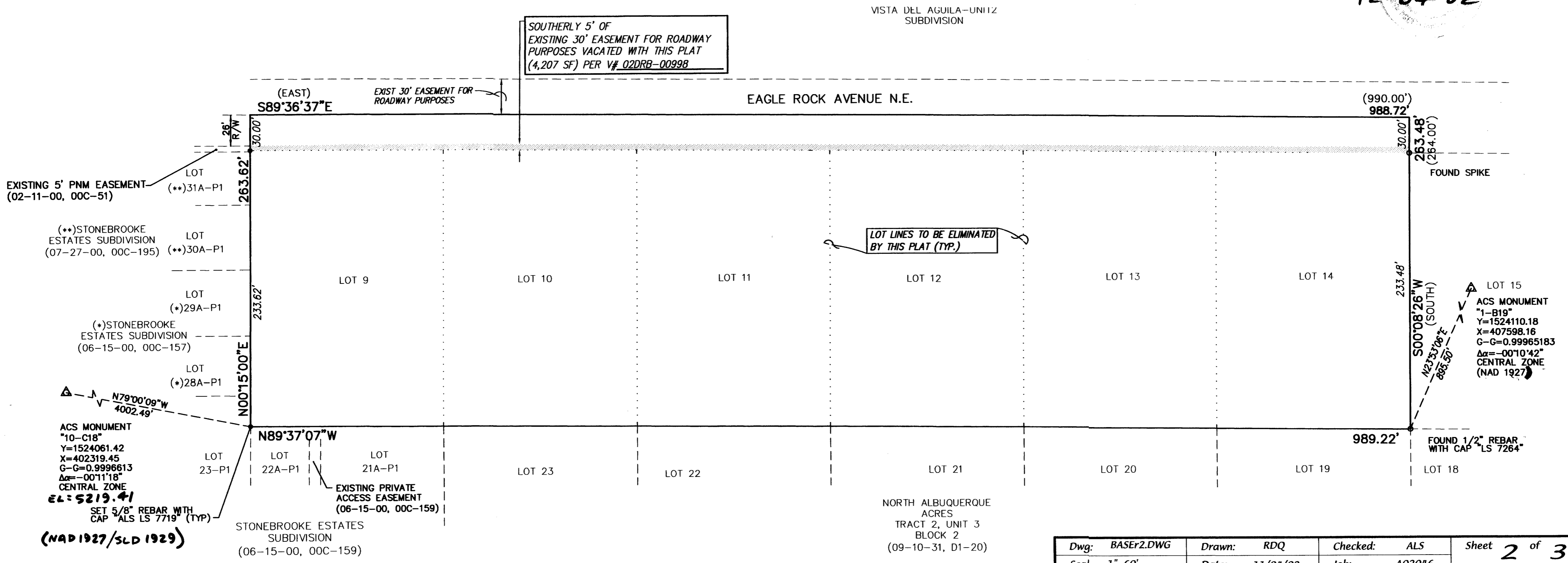
NOTES:

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary is from the plat of record entitled:
 PLAT FOR "NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3", (09-10-31, D1-20)
 PLAT FOR "STONEBROOKE ESTATES SUBDIVISION", (06-15-00, 00C-159)
 PLAT FOR "STONEBROOKE ESTATES SUBDIVISION", (07-27-00, 00C-195)
 PLAT FOR "STONEBROOKE ESTATES SUBDIVISION", (06-15-00, 00C-157)
 all being records of Bernalillo County, New Mexico.
- Field Survey: performed May, 2002.
- Title Report: None provided.
- Address of Property: None provided.
- City of Albuquerque, New Mexico Zone: R-D
- 100 Year Flood Zone Designation: ZONE X, Panel 129 of 825, Flood Insurance Rate Map, City of Albuquerque, Bernalillo County, New Mexico, dated September 20, 1996. (NOTE: Panel 129 has been modified by LOMR effective September 11, 1998).
- Encroachments: None apparent.
- Utility Control Location System Log Number: 2002210372
- Tracts A, B, C, and D are to be deeded to the Homeowner's Association and are to be maintained by said owners for landscaping purposes.

PLAT FOR
DESERT LANE SUBDIVISION
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 18,
 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2002



[Handwritten Signature]
 12-04-02



Dwg: BASEr2.DWG	Drawn: RDQ	Checked: ALS	Sheet 2 of 3
Scale: 1"=60'	Date: 11/04/02	Job: A02046	

PLAT FOR
DESERT LANE SUBDIVISION
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 18,
 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2002

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C1	75.00	117.81	90°00'00"	75.00	S44°36'37"E	106.07
C2	75.00	117.81	90°00'00"	75.00	N45°23'23"E	106.07
C3	20.00	31.42	90°00'00"	20.00	S45°23'23"W	28.28
C4	52.00	47.21	52°01'12"	25.37	S25°37'14"E	45.61
C5	52.00	34.47	37°58'48"	17.89	S70°37'14"E	33.84
C6	20.00	31.42	90°00'00"	20.00	N44°36'37"W	28.28
C7	52.00	47.62	52°28'29"	25.63	N26°37'37"E	45.98
C8	52.00	34.06	37°31'31"	17.66	N71°37'37"E	33.45
C9	20.00	31.42	90°00'00"	20.00	S45°23'23"W	28.28
C10	98.00	52.03	30°25'09"	26.64	N15°35'57"E	51.42
C11	98.00	35.46	20°44'00"	17.93	N41°10'32"E	35.27
C12	98.00	36.99	21°37'31"	18.72	N62°21'18"E	36.77
C13	98.00	29.46	17°13'19"	14.84	N81°46'43"E	29.35
C14	98.00	21.37	12°29'33"	10.73	S83°21'51"E	21.33
C15	98.00	37.00	21°37'58"	18.72	S66°18'05"E	36.78
C16	98.00	44.15	25°48'52"	22.46	S42°34'40"E	43.78
C17	98.00	51.42	30°03'36"	26.31	S14°38'26"E	50.83
C18	20.00	31.42	90°00'00"	20.00	N44°36'37"W	28.28
C19	98.00	153.94	90°00'00"	98.00	N45°23'23"E	138.59
C20	52.00	81.68	90°00'00"	52.00	N45°23'23"E	73.54
C21	52.00	81.68	90°00'00"	52.00	S44°36'37"E	73.54
C22	98.00	153.94	90°00'00"	98.00	S44°36'37"E	138.59

NOTE: ▲

CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ABBREVIATIONS

10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT

ROW = RIGHT-OF-WAY

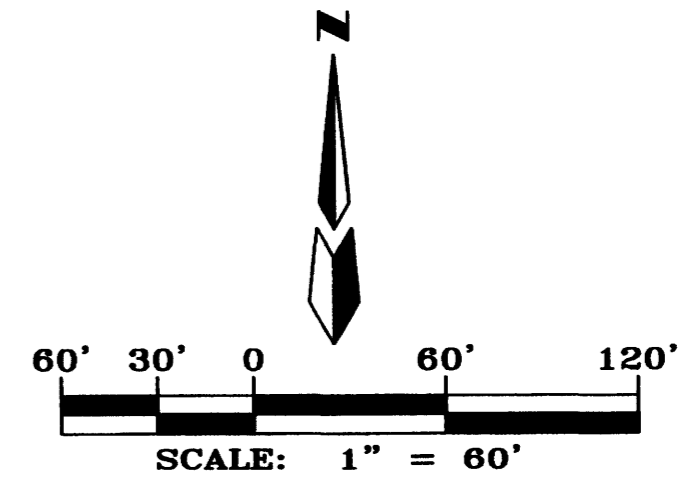
ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP.)

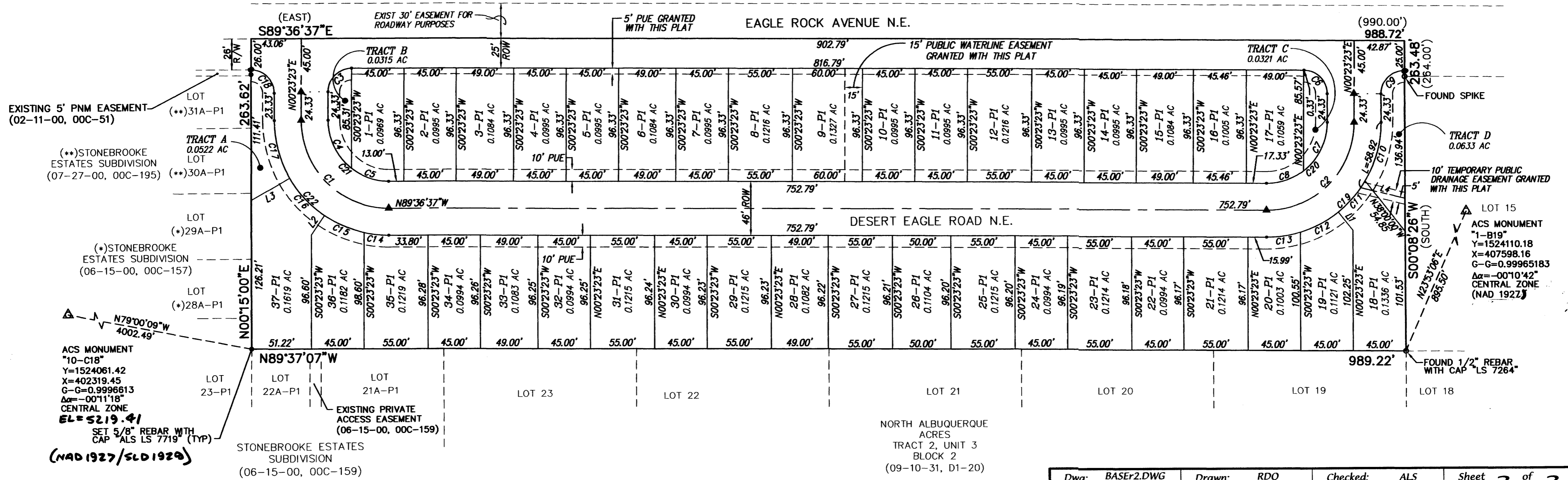
LINE TABLE		
ID	LENGTH	BEARING
L1	20.00	N38°27'27"W
L2	20.00	N34°30'54"E
L3	37.99	N60°23'57"E
L4	38.65	N76°25'12"W

All open space requirements are met on the lot with the dwelling per provisions of Section 14-16-3-8 (A)(1).



VISTA DEL AGUILA-UNIT2
 SUBDIVISION

[Handwritten Signature]
 12-04-02

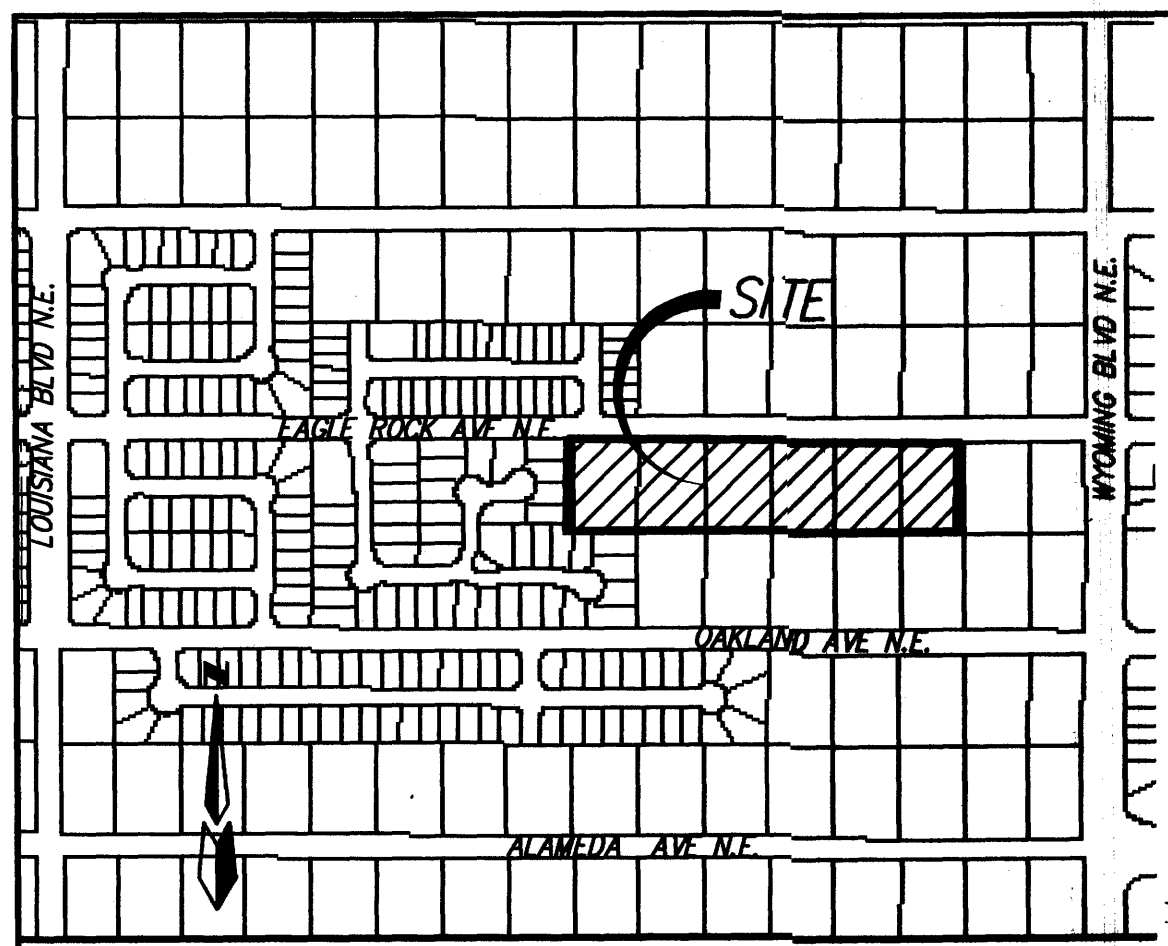


ACS MONUMENT
 "10-C18"
 Y=1524061.42
 X=402319.45
 G-G=0.9996613
 Δα=-00°11'18"
 CENTRAL ZONE
 EL=5219.41
 SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP.)
 (NAD 1927/SLD 1929)

LOT 15
 ACS MONUMENT
 "1-B19"
 Y=1524110.18
 X=407598.16
 G-G=0.99965183
 Δα=-00°10'42"
 CENTRAL ZONE
 (NAD 1927)

NORTH ALBUQUERQUE
 ACRES
 TRACT 2, UNIT 3
 BLOCK 2
 (09-10-31, D1-20)

Dwg: BASER2.DWG	Drawn: RDQ	Checked: ALS	Sheet 3 of 3
Scale: 1"=60'	Date: 11/04/02	Job: A02046	



PROJECT NO.
APPLICATION NO.

APPROVED AND ACCEPTED BY:

Planning Department
City Engineer
Transportation Development
Utility Development
Parks and Recreation

LEGEND

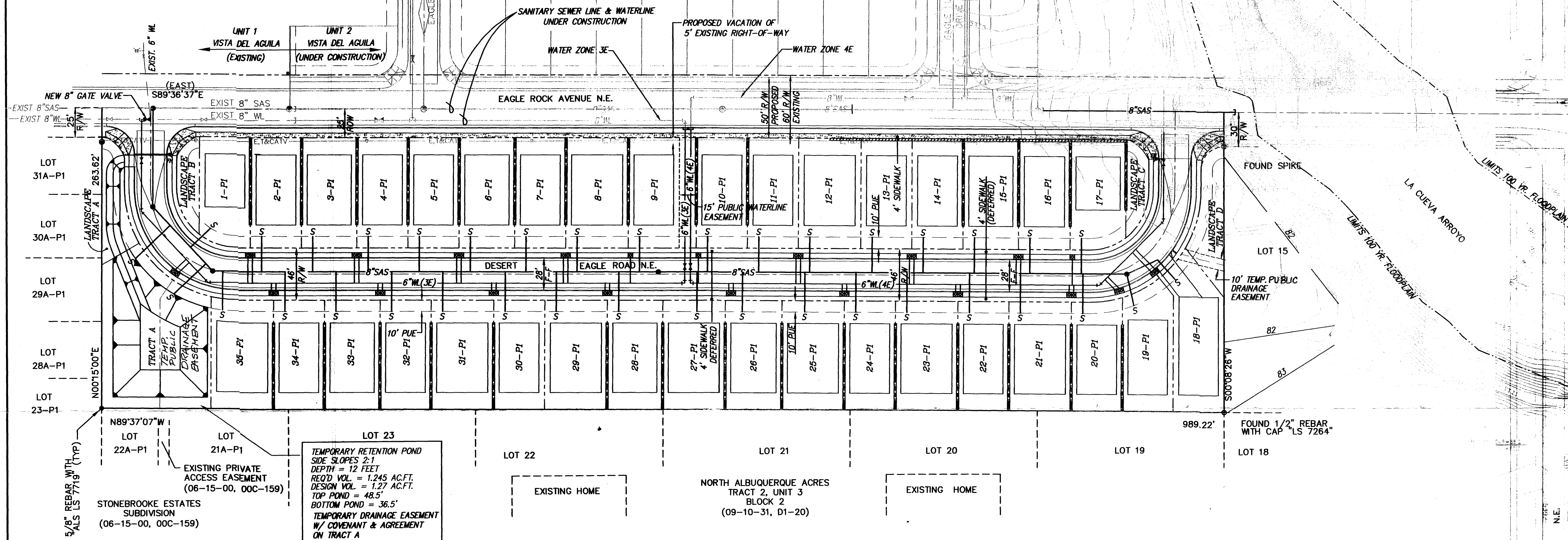
- EXISTING EDGE OF PAVEMENT
- EXISTING 0" WL
- EXISTING 8" SAS
- NEW 8" SAS
- EXISTING CURB AND GUTTER
- EXISTING PROPERTY LINE
- NEW FIRE HYDRANT
- ASPHALT PATH/TRAIL (WIDTH VARIES)
- NEW SIDEYARD WALL
- NEW SANITARY SEWER SERVICE
- NEW WATER METER BOX
- NEW PROPERTY LINE
- NEW EASEMENT LINE
- PROPERTY LINE TO BE ELIMINATED
- FUTURE SANITARY SEWER LINE
- FUTURE WATERLINE
- 4' SIDEWALK
- RIGHT-OF-WAY VACATION

VISTA DEL AGUILA SUBDIVISION UNIT 2
(UNDER CONSTRUCTION)
PROJECT NO. 650681

VICINITY MAP ZONE MAP: C-19-Z

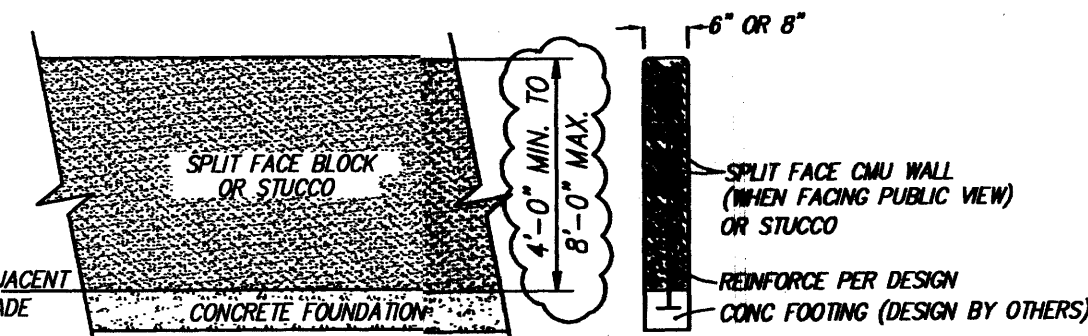
LEGAL DESCRIPTION

LOTS 9 THRU 14, BLOCK 2, TRACT 2, UNIT 3 NORTH ALBUQUERQUE ACRES



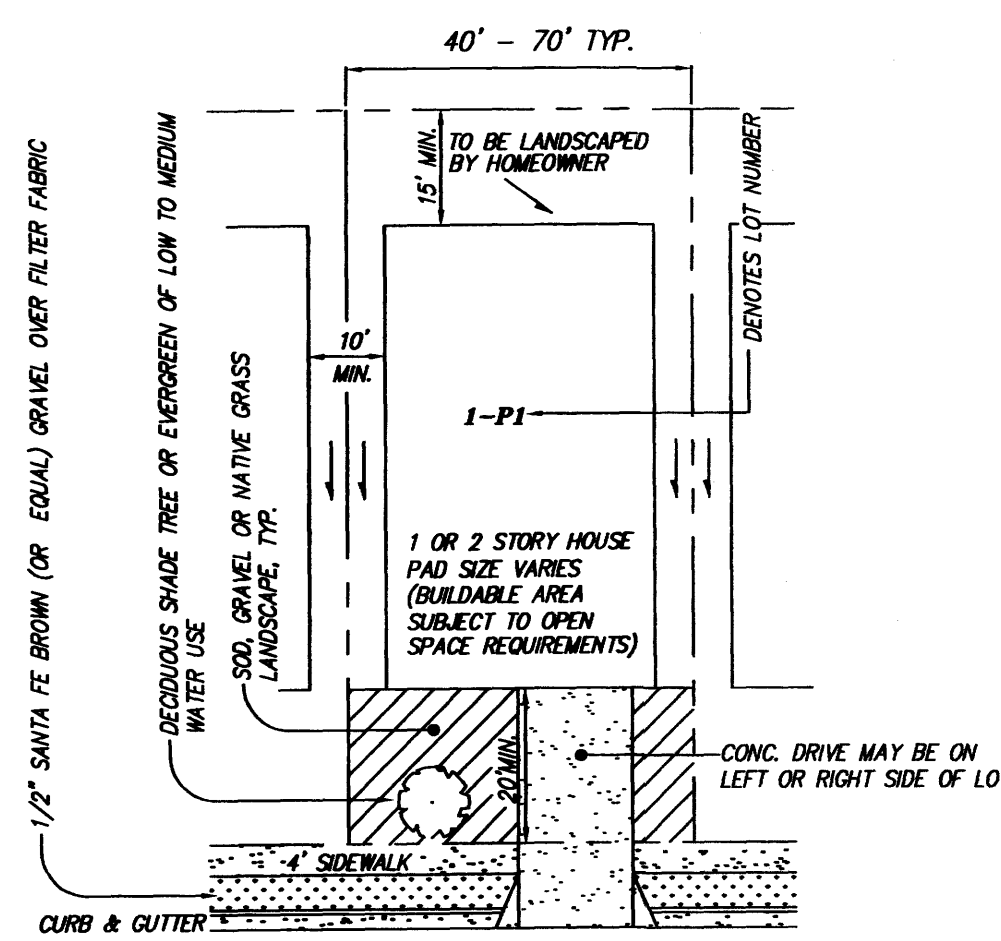
SUBDIVISION DATA

GROSS ACREAGE 5.9835 AC
ZONE ATLAS NO. C-19-Z
NO. OF LOTS CREATED 37 LOTS
NO. OF TRACTS CREATED 4 TRACT
AREA DEDICATED TO CITY 1.14735 AC
ZONING 7 DU/A
DATE OF SURVEY JULY 2002



SITE PERIMETER AND REARYARD WALL

NOT TO SCALE



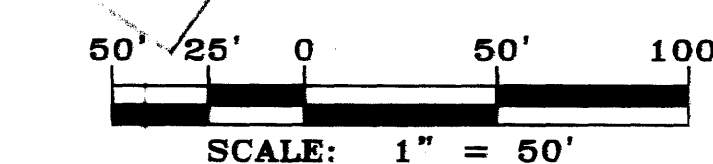
TYPICAL LOT LAYOUT & LANDSCAPE PLAN

NOT TO SCALE

GENERAL NOTES:

1. DEVELOPMENT DENSITY:
Gross site area is 5.98 acres.
Site is zoned R-D with maximum density of 7 du/ac.
Density limitation allows for a maximum of 37 units over entire site.
2. MINIMUM BUILDING SETBACK:
There is a five foot (5') internal sideyard set back to property line.
Front yard setback is 15' and backyard is 15'.
Minimum driveway length is 20'.
Minimum distance between buildings is 10'.
3. BUILDING HEIGHT:
Structure shall not exceed 26 feet in height.
4. PARK DEVELOPMENT:
The developer will pay cash in lieu of park dedication and for a park.
5. OPEN SPACE:
Total remaining Open Space requirements are met via the Provision of Detached Open Space per the Provisions of Section 14-16-3-8(A)(3) of the City Zoning Code.
6. WATER AND SEWER:
Prior to development, City of Albuquerque Water and Sanitary Sewer Service to the site must be verified and coordinated with the Utility Development Section, City of Albuquerque Public Works Department.
7. PARKING:
Off-street parking is provided on each site in accordance with Section 14-16-3-1 of the zoning code for lots with the "PI" designation.
8. ACCESS:
Site ingress/egress is provided entirely by public streets.
9. BUILDINGS:
Buildings will be traditional or southwest style with pitched roofs and Siding will be stucco and may include stone or wood trim accents.
The exterior stucco finish will consist of colors in shades of earthtones.
10. LANDSCAPING:
Both individual and community landscaping shall comply with the Water Conservation Landscaping and Water Waste Ordinance. Perimeter landscaping shall be in accordance with the Street Tree Ordinance and trees planted will be in accordance with the list of deciduous and evergreen trees listed in the City of Albuquerque Guide to Xeriscaping.
11. PERIMETER WALL:
The subdivision perimeter garden wall will be constructed of CMU and will be covered by either stucco or consist of a Split-Faced texture. The maximum wall height will be 8.0 feet, and minimum of 4.0 feet.
12. THE LANDSCAPE AREAS WITHIN/AND ABUTING THE PUBLIC RIGHTS-OF-WAY:
as shown on the approved Site Development/Utility Plan, shall be for the benefit of the Homeowners within Desert Lane Subdivision, and shall be maintained by the Desert Lane Homeowners Association.

APPROVED BY DLH
ON 8/7/02
Del P. Ace



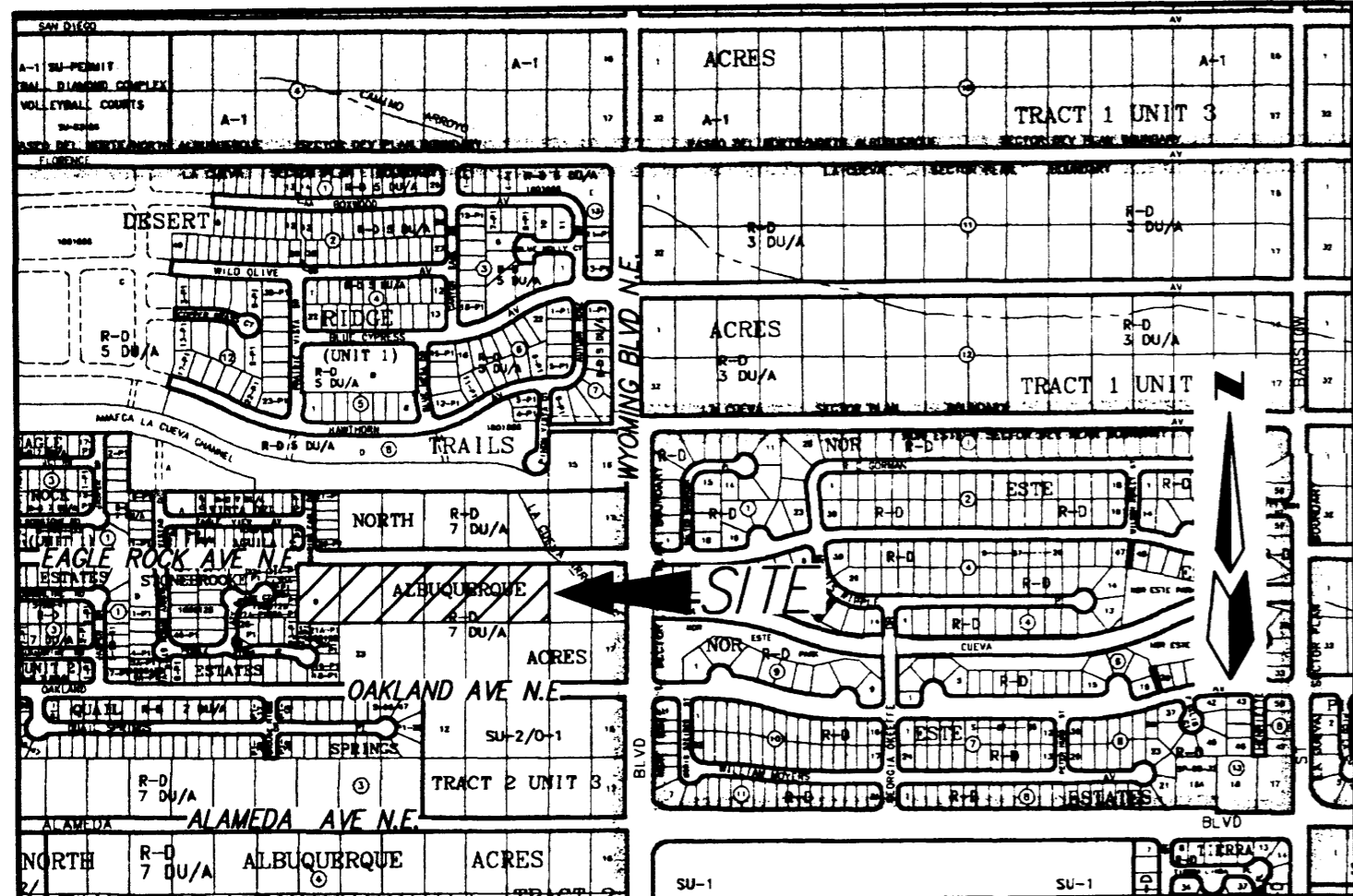
SCALE: 1" = 50'

DESERT LANE
SITE DEVELOPMENT / UTILITY PLAN

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: DLH Drawn: MWR Checked: DMG Sheet 1 of 1
Scale: 1" = 50' Date: 08-01-02 Job: A02046

A02046\SITEPLANB.DWG\07-31-02\ M.J.R. ACH. RDG



LOCATION MAP

ZONE ATLAS C-19-Z
SCALE: NONE

SUBDIVISION DATA

Plat Case No's. Project #1001903
 Case #03DRB-00055
 Gross acreage..... 5.9834 Ac.
 Zone Atlas No. C-19-Z
 No. of existing Lots..... 6 Lots
 No. of Tracts/Lots created..... 4 Tracts/37 Lots
 No. of Lots eliminated..... 6
 Miles of full width streets created..... 0.20
 Miles of half width streets created..... 0.19
 Area dedicated to the City of Albuquerque..... 1.7131 Ac.
 Date of Survey..... May, 2002
 Utility Control Location System Log Number..... 2002210372
 Zoning..... RD-7

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all new streets, and public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby dedicate Eagle Rock Avenue to the City of Albuquerque in fee simple and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

OWNER: D. R. HORTON, INC.

J. Mark Ferguson 11-07-02
 J. Mark Ferguson, Division President Date

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on November 7, 2002
 By J. Mark Ferguson, Division President of D. R. HORTON, Inc. A Delaware Corporation on behalf of said corporation.

Kathryn Chaus-Ewell 10-14-05
 NOTARY PUBLIC MY COMMISSION EXPIRES

LEGAL DESCRIPTION (SEE SHEET 2)

NOTES (SEE SHEET 2)

PURPOSE OF PLAT

1. Subdivide 6 Lots into 37 Residential Lots and 4 Tracts.
2. Dedicate right-of-way as shown hereon.
3. Grant easements as shown hereon.
4. Vacate easement as shown hereon.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

PLAT FOR
DESERT LANE SUBDIVISION
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 18,
 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2002

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

- Subdivision Case No. 1001903 DRB03-00055
- Sharon Matson* 1/22/2003
 Planning Director, City of Albuquerque, N.M. Date
- Brad L. Bigham* 1-22-03
 City Engineer, City of Albuquerque, N.M. Date
- Richard Dowse* 1-22-03
 Albuquerque Metropolitan Arroyo Flood Control Authority Date
- Richard Dowse* 1-22-03
 Transportation Development, City of Albuquerque, N.M. Date
- Dora L. Sheen* 1/22/03
 Utility Development Division, City of Albuquerque, N.M. Date
- Christina Sandoral* 1/22/03
 Parks and Recreation Date
- John B. Hal* 12-9-02
 City Surveyor, City of Albuquerque, N.M. Date
- Scott M. Howell* 1-23-03
 Property Management, City of Albuquerque, N.M. Date
- Leard D. Muts* 12-17-02
 PNM Gas Date
- Leard D. Muts* 12-17-02
 PNM Electric Date
- Sudith E. Jagan* 12-16-02
 Qwest Telecommunications Date
- Rita E. Eickow* 12-17-02
 Comcast Cable Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich 12-04-02
 Timothy Aldrich P.S. No. 7719 Date



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND
 PAID ON UPC # See attached
 PROPERTY OWNER OF RECORD:
See attached
 BERNALILLO COUNTY TREASURER'S OFFICE:
Francis A. Alvarez 01-23-03

Dwg: BASER2.DWG	Drawn: RDQ	Checked: ALS	Sheet 1 of 3
Scale: 1:1	Date: 11/04/02	Job: A02046	

DESCRIPTION

A tract of land situate, within the Elena Gallegos Grant, projected Section 18, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 9 thru 14, BLOCK 2, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D1, Folio 20 and being more particularly described as follows:

BEGINNING at the southeast corner of the herein described tract, said point being common with the southwest corner of LOT 15, BLOCK 2, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D1, Folio 20 from whence the Albuquerque Control Survey Monument "1-B19" bears N 23°53'06" E, 895.50 feet;

THENCE N 89°37'07" W, 989.22 feet along a line common with the north line of LOTS 19 THRU 23, TRACT 2, UNIT 3, BLOCK 2, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D1, Folio 20 and LOTS 21A-P1 AND 22A-P1, STONEBROOKE ESTATES SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 15, 2000 in Book 2000C, Page 159 to the southwest corner, said point being common with the northwest corner of said LOT 22A-P1;

THENCE N 00°15'00" E, 263.62 feet along a line common with the east line of LOTS 28A-P1 AND 29A-P1, STONEBROOKE ESTATES SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 16, 2000 in Book 2000C, Page 157 and LOTS 30A-P1 AND 31A-P1, STONEBROOKE ESTATES SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 27, 2000 in Book 2000C, Page 195 to the northwest corner, said point being on the centerline of Eagle Rock Avenue N.E.;

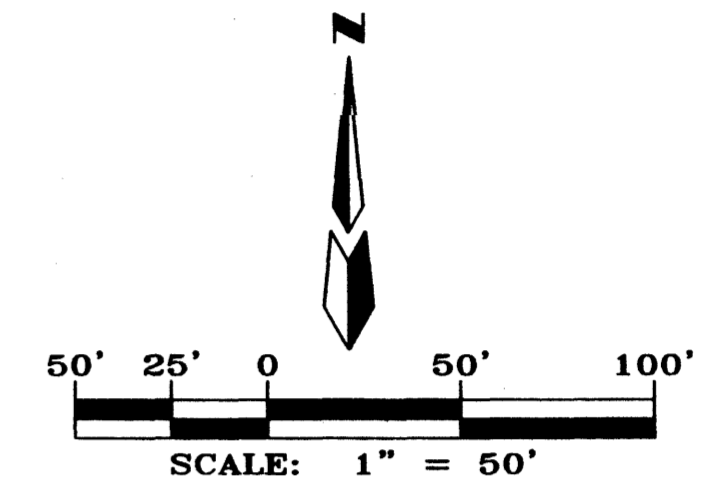
THENCE along said centerline S 89°36'37" E, 988.72 feet to the northeast corner;

THENCE leaving said centerline S 00°08'26" W, 263.48 feet along a line common with the west line of said LOT 15 to the point of beginning and containing 5.9834 acres more or less.

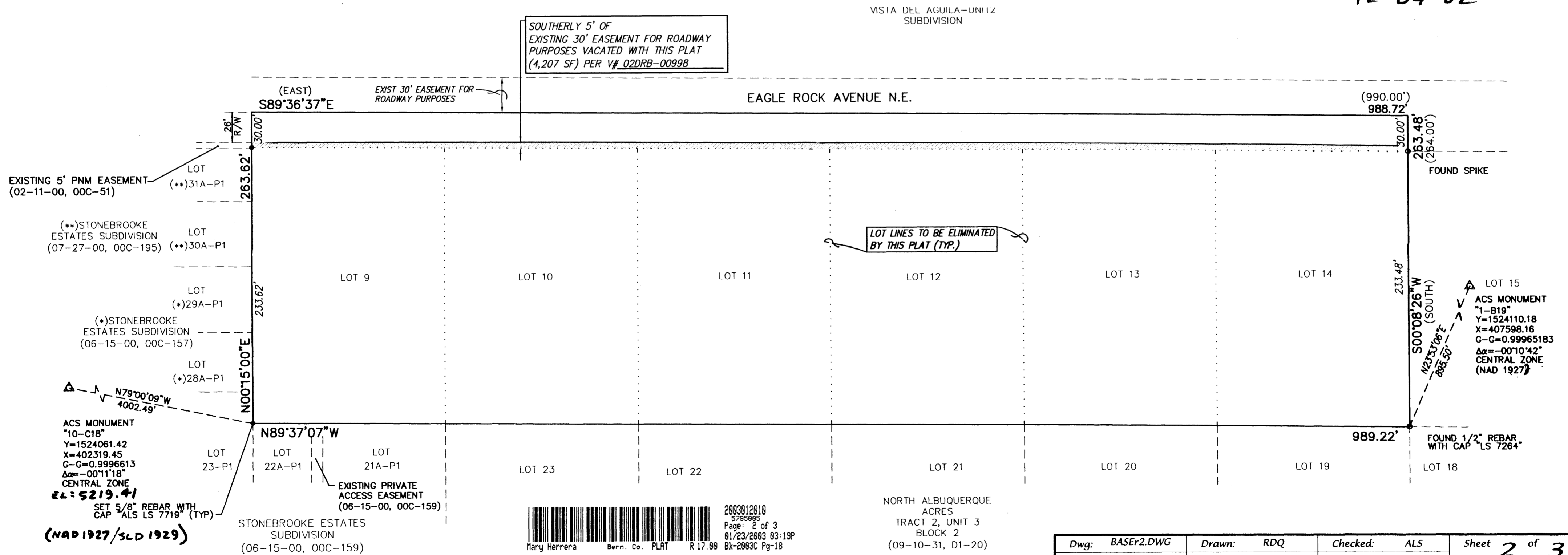
NOTES:

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary is from the plat of record entitled:
 PLAT FOR "NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3", (09-10-31, D1-20)
 PLAT FOR "STONEBROOKE ESTATES SUBDIVISION", (06-15-00, 00C-159)
 PLAT FOR "STONEBROOKE ESTATES SUBDIVISION", (07-27-00, 00C-195)
 PLAT FOR "STONEBROOKE ESTATES SUBDIVISION", (06-15-00, 00C-157)
 all being records of Bernalillo County, New Mexico.
- Field Survey: performed May, 2002.
- Title Report: None provided.
- Address of Property: None provided.
- City of Albuquerque, New Mexico Zone: R-D
- 100 Year Flood Zone Designation: ZONE X, Panel 129 of 825, Flood Insurance Rate Map, City of Albuquerque, Bernalillo County, New Mexico, dated September 20, 1996. (NOTE: Panel 129 has been modified by LOMR effective September 11, 1998).
- Encroachments: None apparent.
- Utility Control Location System Log Number: 2002210372
- Tracts A, B, C, and D are to be deeded to the Homeowner's Association and are to be maintained by said owners for landscaping purposes.

PLAT FOR
DESERT LANE SUBDIVISION
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 18,
 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2002



Z. L. J.
 12-04-02



2003012010
 575565
 Page: 2 of 3
 01/23/2003 03:19P
 Bk-2003C Pg-18

Mary Herrera Bern. Co. PLAT R 17.00

NORTH ALBUQUERQUE
 ACRES
 TRACT 2, UNIT 3
 BLOCK 2
 (09-10-31, D1-20)

Dwg: BASEr2.DWG	Drawn: RDQ	Checked: ALS	Sheet 2 of 3
Scale: 1"=60'	Date: 11/04/02	Job: A02046	

PLAT FOR
DESERT LANE SUBDIVISION
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 18,
 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2002

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C1	75.00	117.81	90°00'00"	75.00	S44°36'37"E	106.07
C2	75.00	117.81	90°00'00"	75.00	N45°23'23"E	106.07
C3	20.00	31.42	90°00'00"	20.00	S45°23'23"W	28.28
C4	52.00	47.21	52°01'12"	25.37	S25°37'14"E	45.61
C5	52.00	34.47	37°58'48"	17.89	S70°37'14"E	33.84
C6	20.00	31.42	90°00'00"	20.00	N44°36'37"W	28.28
C7	52.00	47.62	52°28'29"	25.63	N26°37'37"E	45.98
C8	52.00	34.06	37°31'31"	17.66	N71°37'37"E	33.45
C9	20.00	31.42	90°00'00"	20.00	S45°23'23"W	28.28
C10	98.00	52.03	30°25'09"	26.64	N15°35'57"E	51.42
C11	98.00	35.46	20°44'00"	17.93	N41°10'32"E	35.27
C12	98.00	36.99	21°37'31"	18.72	N62°21'18"E	36.77
C13	98.00	29.46	17°13'19"	14.84	N81°46'43"E	29.35
C14	98.00	21.37	12°29'33"	10.73	S83°21'51"E	21.33
C15	98.00	37.00	21°37'58"	18.72	S66°18'05"E	36.78
C16	98.00	44.15	25°48'52"	22.46	S42°34'40"E	43.78
C17	98.00	51.42	30°03'36"	26.31	S14°38'26"E	50.83
C18	20.00	31.42	90°00'00"	20.00	N44°36'37"W	28.28
C19	98.00	153.94	90°00'00"	98.00	N45°23'23"E	138.59
C20	52.00	81.68	90°00'00"	52.00	N45°23'23"E	73.54
C21	52.00	81.68	90°00'00"	52.00	S44°36'37"E	73.54
C22	98.00	153.94	90°00'00"	98.00	S44°36'37"E	138.59

NOTE: ▲

CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ABBREVIATIONS

10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT

ROW = RIGHT-OF-WAY

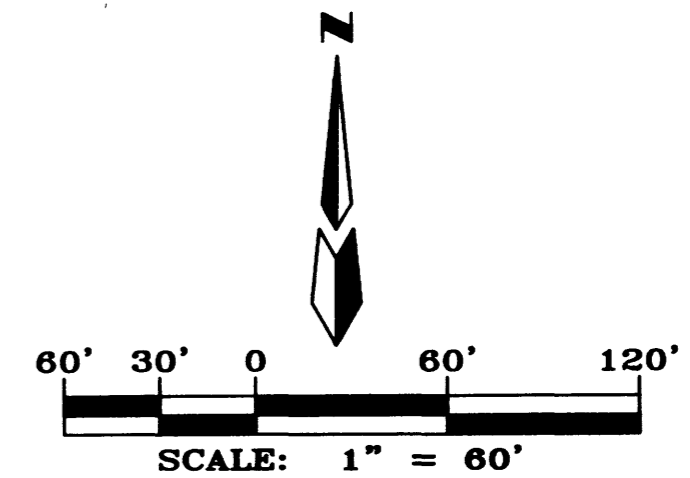
ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP.)

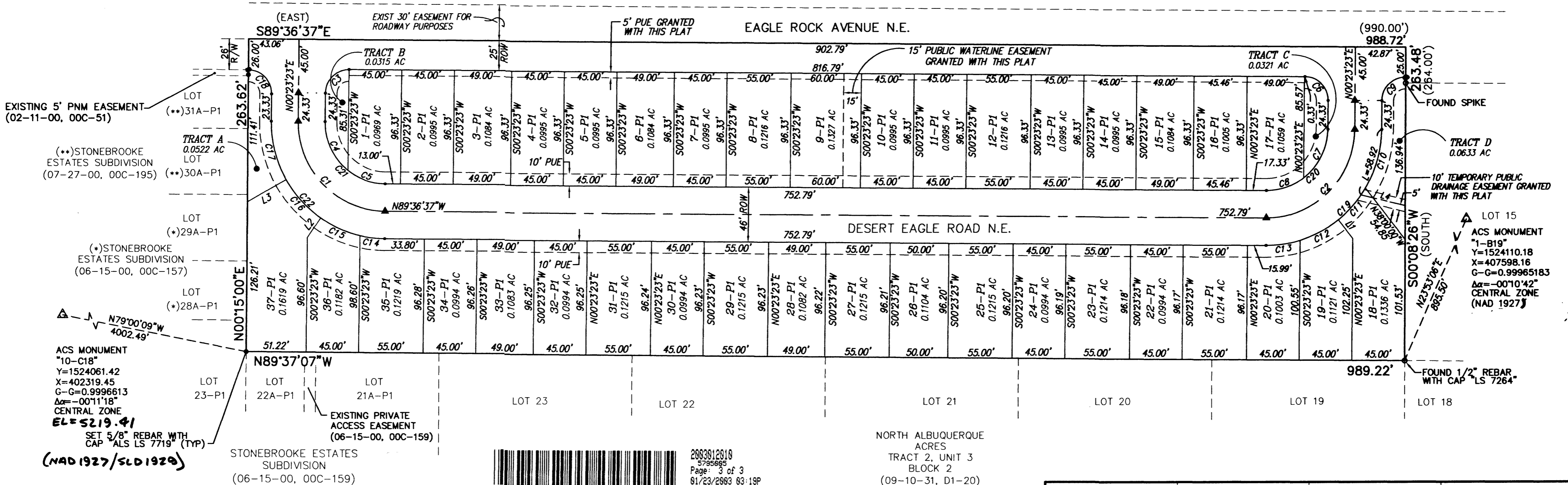
LINE TABLE		
ID	LENGTH	BEARING
L1	20.00	N38°27'27"W
L2	20.00	N34°30'54"E
L3	37.99	N60°23'57"E
L4	38.65	N76°25'12"W

All open space requirements are met on the lot with the dwelling per provisions of Section 14-16-3-8 (A)(1).



T. C. Lopez
 12-04-02

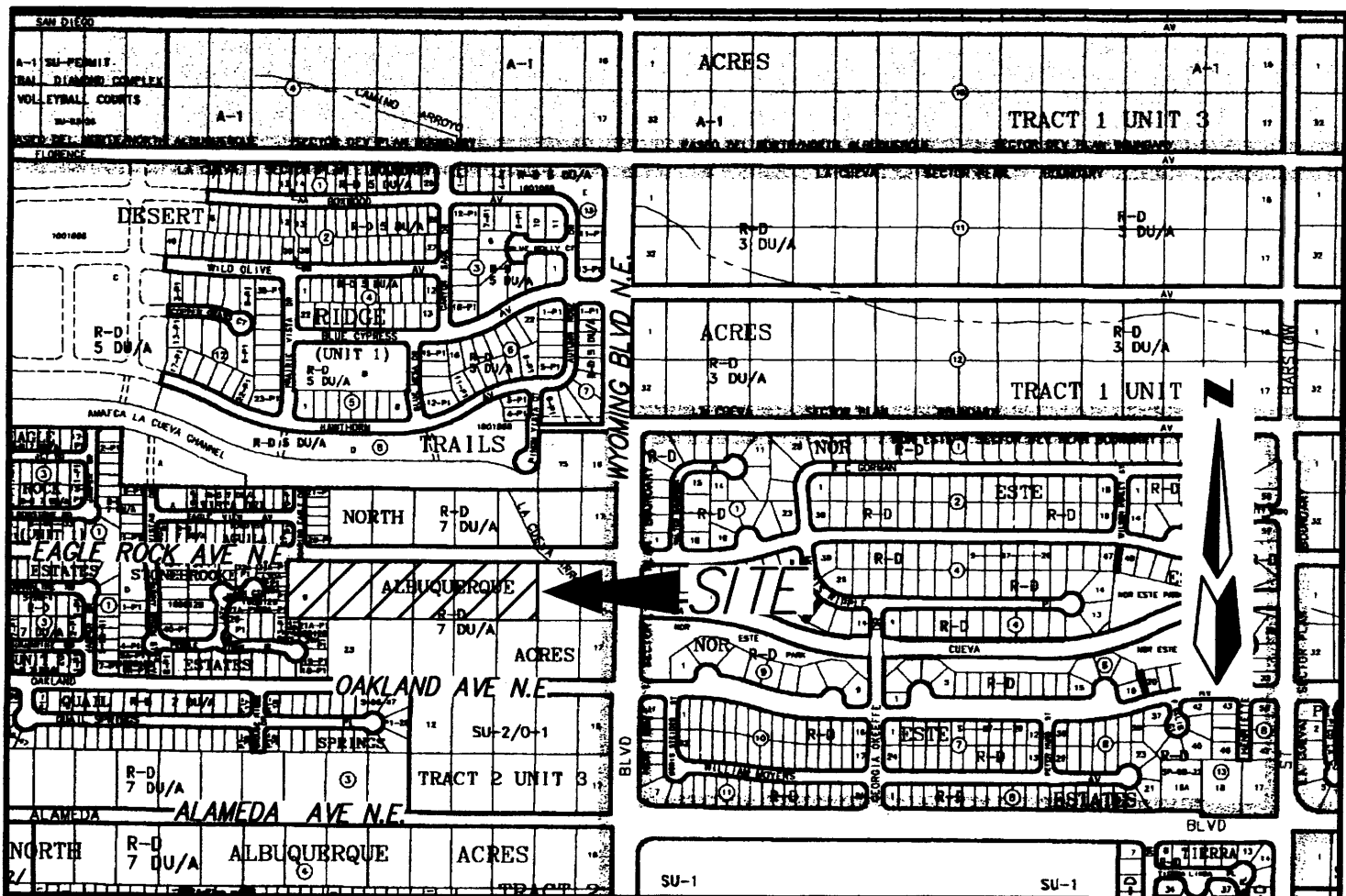
VISTA DEL AGUILA-UNIT2
 SUBDIVISION



2003012610
 5795695
 Page: 3 of 3
 01/23/2003 03:19P
 Bk-2083C Pg-18

Dwg: BASER2.DWG	Drawn: RDQ	Checked: ALS	Sheet 3 of 3
Scale: 1"=60'	Date: 11/04/02	Job: A02046	

AGJS ✓



LOCATION MAP

ZONE ATLAS C-19-Z
SCALE: NONE

SUBDIVISION DATA

Plat Case No's. Project #1001903
Gross acreage 5.9834 Ac.
Zone Atlas No. C-19-Z
No. of existing Lots 6 Lots
No. of Tracts/Lots created 4 Tracts/37 Lots
No. of Lots eliminated 6
Miles of full width streets created 0.20
Miles of half width streets created 0.19
Area dedicated to the City of Albuquerque 1.7131 Ac.
Date of Survey May, 2002
Utility Control Location System Log Number 2002210372
Zoning RD-7

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all new streets, and public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby dedicate Eagle Rock Avenue to the City of Albuquerque in fee simple and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

OWNER: D. R. HORTON, INC.

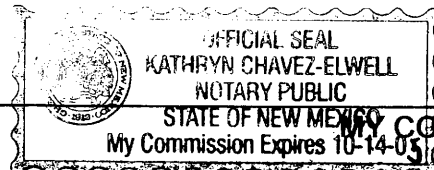
J. Mark Ferguson 11-07-02
J. Mark Ferguson, Division President Date

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO

This instrument was acknowledged before me on November 7, 2002
By J. Mark Ferguson, Division President of D. R. HORTON, Inc. A Delaware Corporation on behalf of said corporation.

Kathryn Chavez-Elwell
NOTARY PUBLIC



10-14-05
COMMISSION EXPIRES

LEGAL DESCRIPTION (SEE SHEET 2)

NOTES (SEE SHEET 2)

PURPOSE OF PLAT

- 1. Subdivide 6 Lots into 37 Residential Lots and 4 Tracts.
- 2. Dedicate right-of-way as shown hereon.
- 3. Grant easements as shown hereon.
- 4. Vacate easement as shown hereon.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- 1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
- 2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
- 3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- 4. Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

PLAT FOR
DESERT LANE SUBDIVISION
WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 18,
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
OCTOBER, 2002

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

- Subdivision Case No. 1001903 DRB03-00055
- Sharon Matson 1/22/2003
Planning Director, City of Albuquerque, N.M. Date
- Bruce L. Bigham 1-22-03
City Engineer, City of Albuquerque, N.M. Date
- Richard Douce 1-22-03
Albuquerque Metropolitan Arroyo Flood Control Authority Date
- Richard Douce 1-22-03
Transportation Development, City of Albuquerque, N.M. Date
- Roger A. Sherrin 1/22/03
Utility Development Division, City of Albuquerque, N.M. Date
- Christina Sandoval 1/22/03
Parks and Recreation Date
- Scott McDaniel 1-23-03
City Surveyor, City of Albuquerque, N.M. Date
- Leann D. Muto 12-17-02
Property Management, City of Albuquerque, N.M. Date
- Leann D. Muto 12-17-02
PNM Gas Date
- Smith E. Foyner 12-16-02
PNM Electric Date
- Rita E. Erickson 12-17-02
Qwest Telecommunications Date
- Rita E. Erickson 12-17-02
Comcast Cable Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich 12-04-02
Timothy Aldrich P.S. No. 7719 Date



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # See attached PROPERTY OWNER OF RECORD See attached BERNALILLO COUNTY TREASURER'S OFFICE funds a-alyt-0123-03

Dwg: BASer2.DWG	Drawn: RDQ	Checked: ALS	Sheet 1 of 3
Scale: 1:1	Date: 11/04/02	Job: A02046	

DESCRIPTION

A tract of land situate, within the Elena Gallegos Grant, projected Section 18, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 9 thru 14, BLOCK 2, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D1, Folio 20 and being more particularly described as follows:

BEGINNING at the southeast corner of the herein described tract, said point being common with the southwest corner of LOT 15, BLOCK 2, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D1, Folio 20 from whence the Albuquerque Control Survey Monument "1-B19" bears N 23°53'06" E, 895.50 feet;

THENCE N 89°37'07" W, 989.22 feet along a line common with the north line of LOTS 19 THRU 23, TRACT 2, UNIT 3, BLOCK 2, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D1, Folio 20 and LOTS 21A-P1 AND 22A-P1, STONEBROOKE ESTATES SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 15, 2000 in Book 2000C, Page 159 to the southwest corner, said point being common with the northwest corner of said LOT 22A-P1;

THENCE N 00°15'00" E, 263.62 feet along a line common with the east line of LOTS 28A-P1 AND 29A-P1, STONEBROOKE ESTATES SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 16, 2000 in Book 2000C, Page 157 and LOTS 30A-P1 AND 31A-P1, STONEBROOKE ESTATES SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 27, 2000 in Book 2000C, Page 195 to the northwest corner, said point being on the centerline of Eagle Rock Avenue N.E.;

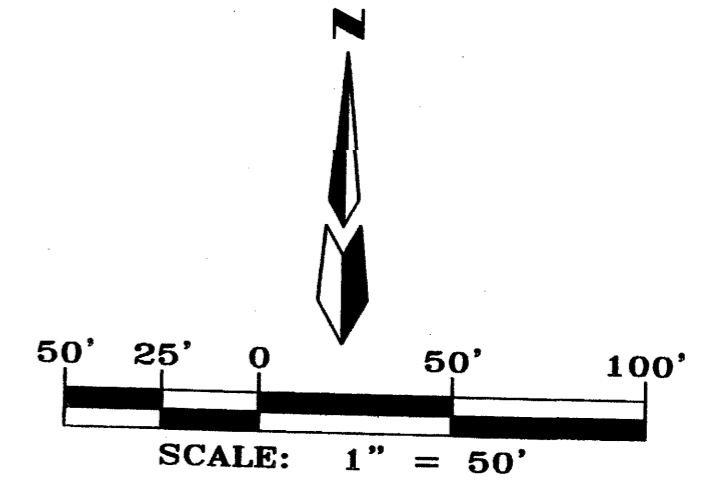
THENCE along said centerline S 89°36'37" E, 988.72 feet to the northeast corner;

THENCE leaving said centerline S 00°08'26" W, 263.48 feet along a line common with the west line of said LOT 15 to the point of beginning and containing 5.9834 acres more or less.

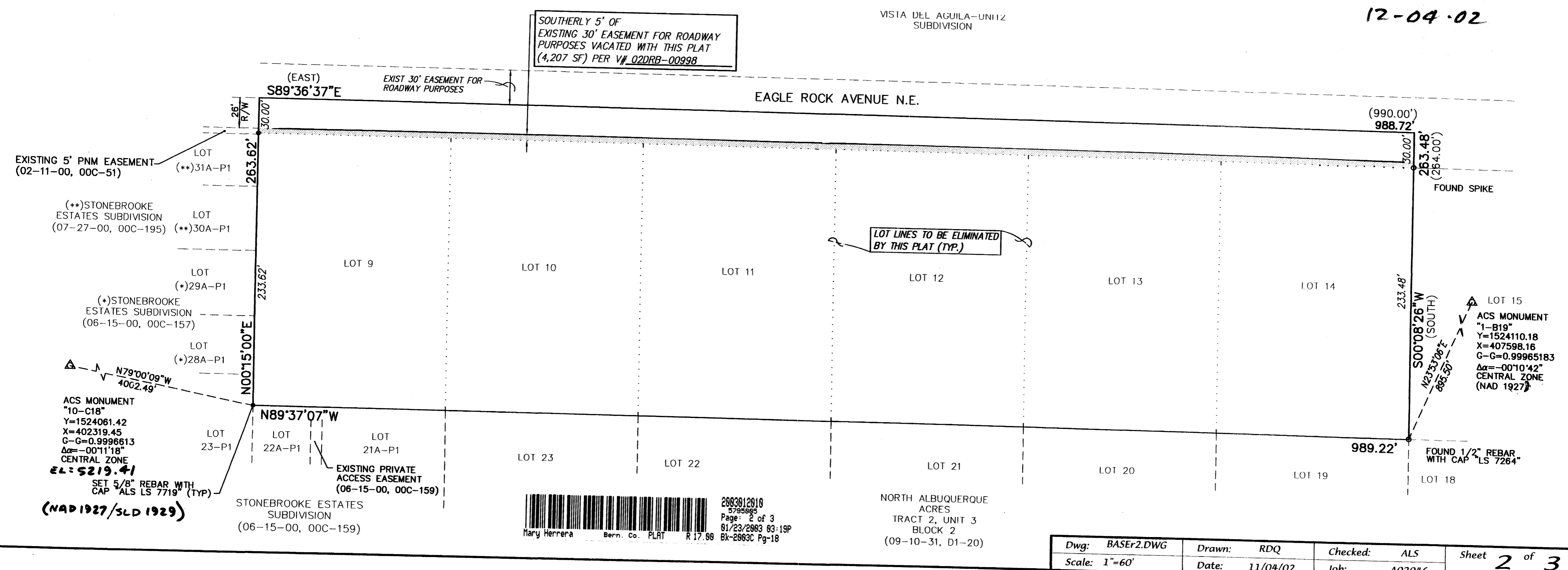
NOTES:

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary is from the plat of record entitled:
 PLAT FOR "NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3", (09-10-31, D1-20)
 PLAT FOR "STONEBROOKE ESTATES SUBDIVISION", (06-15-00, 00C-159)
 PLAT FOR "STONEBROOKE ESTATES SUBDIVISION", (07-27-00, 00C-195)
 PLAT FOR "STONEBROOKE ESTATES SUBDIVISION", (06-15-00, 00C-157)
 all being records of Bernalillo County, New Mexico.
- Field Survey: performed May, 2002.
- Title Report: None provided.
- Address of Property: None provided.
- City of Albuquerque, New Mexico Zone: R-D
- 100 Year Flood Zone Designation: ZONE X, Panel 129 of 825, Flood Insurance Rate Map, City of Albuquerque, Bernalillo County, New Mexico, dated September 20, 1996. (NOTE: Panel 129 has been modified by LOMR effective September 11, 1998).
- Encroachments: None apparent.
- Utility Control Location System Log Number: 2002210372
- Tracts A, B, C, and D are to be deeded to the Homeowner's Association and are to be maintained by said owners for landscaping purposes.

PLAT FOR
DESERT LANE SUBDIVISION
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 18,
 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMMP
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2002



[Handwritten Signature]
 12-04-02



2683812810
 5755855
 Page: 2 of 3
 01/23/2003 03:19P
 Bk-2683C Pg-18

Mary Herrera Bern. Co. PLAT R 17.00

Dwg: BASER2.DWG	Drawn: RDQ	Checked: ALS	Sheet 2 of 3
Scale: 1"=60'	Date: 11/04/02	Job: A02046	

PLAT FOR
DESERT LANE SUBDIVISION
 WITHIN THE
 ELENA GALLEGOS GRANT
 PROJECTED SECTION 18,
 TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 OCTOBER, 2002

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C1	75.00	117.81	90°00'00"	75.00	S44°36'37"E	106.07
C2	75.00	117.81	90°00'00"	75.00	N45°23'23"E	106.07
C3	20.00	31.42	90°00'00"	20.00	S45°23'23"W	28.28
C4	52.00	47.21	52°01'12"	25.37	S25°37'14"E	45.61
C5	52.00	34.47	37°58'48"	17.89	S70°37'14"E	33.84
C6	20.00	31.42	90°00'00"	20.00	N44°36'37"W	28.28
C7	52.00	47.62	52°28'29"	25.63	N26°37'37"E	45.98
C8	52.00	34.06	37°31'31"	17.66	N71°37'37"E	33.45
C9	20.00	31.42	90°00'00"	20.00	S45°23'23"W	28.28
C10	98.00	52.03	30°25'09"	26.64	N15°35'57"E	51.42
C11	98.00	35.46	20°44'00"	17.93	N41°10'32"E	35.27
C12	98.00	36.99	21°37'31"	18.72	N62°21'18"E	36.77
C13	98.00	29.46	17°13'19"	14.84	N81°46'43"E	29.35
C14	98.00	21.37	12°29'33"	10.73	S83°21'51"E	21.33
C15	98.00	37.00	21°37'58"	18.72	S66°18'05"E	36.78
C16	98.00	44.15	25°48'52"	22.46	S42°34'40"E	43.78
C17	98.00	51.42	30°03'36"	26.31	S14°38'26"E	50.83
C18	20.00	31.42	90°00'00"	20.00	N44°36'37"W	28.28
C19	98.00	153.94	90°00'00"	98.00	N45°23'23"E	138.59
C20	52.00	81.68	90°00'00"	52.00	N45°23'23"E	73.54
C21	52.00	81.68	90°00'00"	52.00	S44°36'37"E	73.54
C22	98.00	153.94	90°00'00"	98.00	S44°36'37"E	138.59

NOTE: ▲

CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ABBREVIATIONS

10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT

ROW = RIGHT-OF-WAY

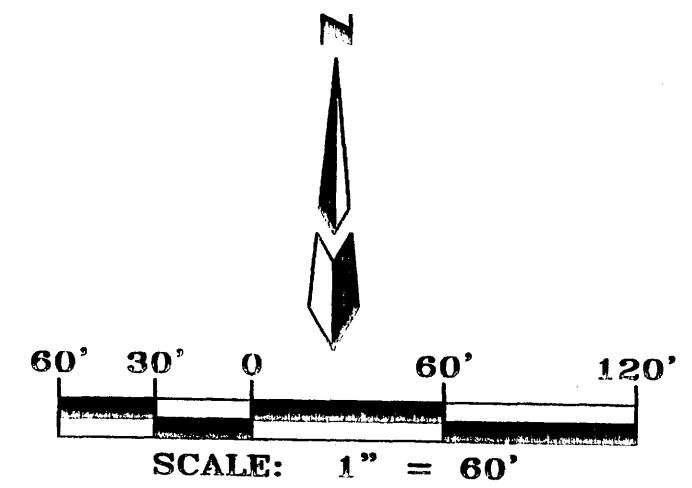
ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP.)

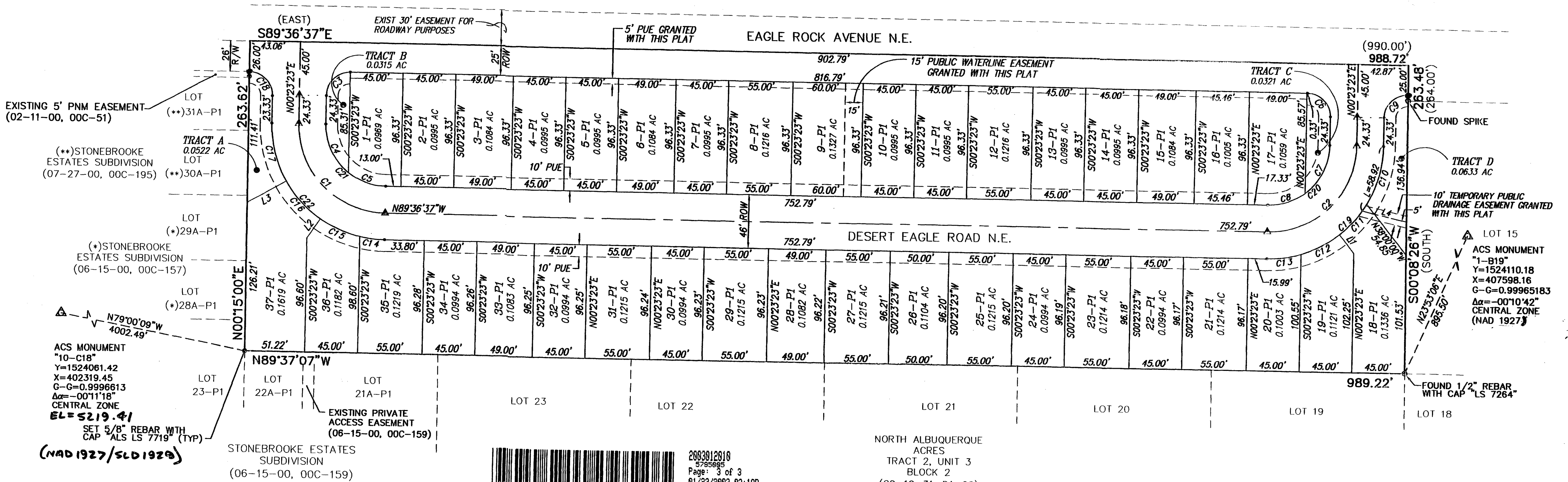
LINE TABLE		
ID	LENGTH	BEARING
L1	20.00	N38°27'27"W
L2	20.00	N34°30'54"E
L3	37.99	N60°23'57"E
L4	38.65	N76°25'12"W

All open space requirements are met on the lot with the dwelling per provisions of Section 14-16-3-8 (A)(1).



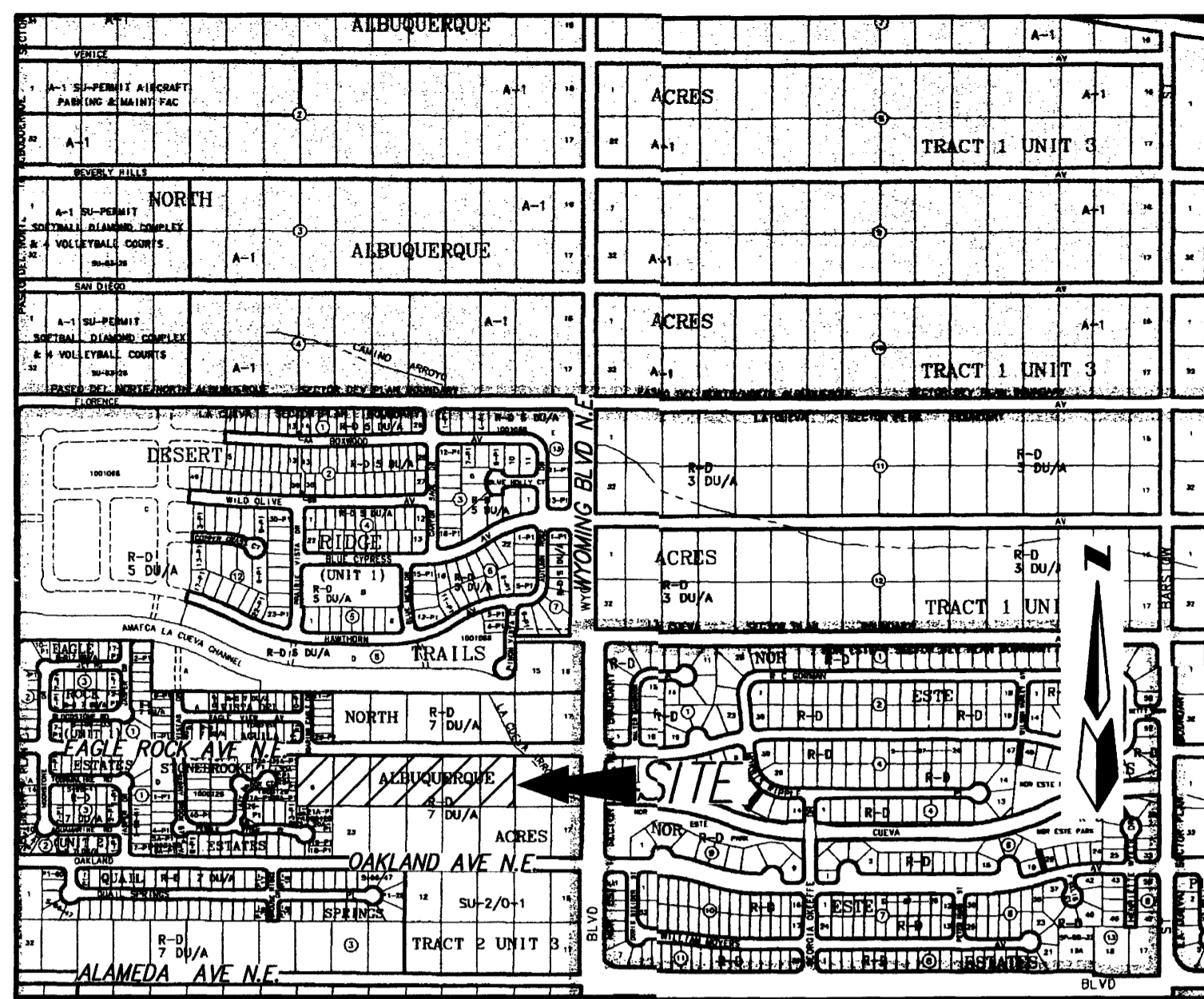
VISTA DEL AGUILA-UNIT2 SUBDIVISION

[Signature]
12-04-02



2003012618
 5795695
 Page: 3 of 3
 01/23/2003 03:19P
 Bk-2883C Pg-18

Dwg: BASE2.DWG	Drawn: RDQ	Checked: ALS	Sheet 3 of 3
Scale: 1"=60'	Date: 11/04/02	Job: A02046	



ZONE ATLAS MAP # C-19-Z

SCALE: NONE

DESCRIPTION

A tract of land situate, within the Elena Gallegos Grant, projected Section 18, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 9 thru 14, BLOCK 2, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D1, Folio 20 and being more particularly described as follows:

BEGINNING at the southeast corner of the herein described tract, said point being common with the southwest corner of LOT 15, BLOCK 2, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D1, Folio 20 from whence the Albuquerque Control Survey Monument "1-B19" bears N 23°53'06" E, 895.50 feet;

THENCE N 89°37'07" W, 989.22 feet along a line common with the north line of LOTS 19 THRU 23, TRACT 2, UNIT 3, BLOCK 2, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D1, Folio 20 and LOTS 21A-P1 AND 22A-P1, STONEBROOKE ESTATES SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 15, 2000 in Book 2000C, Page 159 to the southwest corner, said point being common with the northwest corner of said LOT 22A-P1;

THENCE N 00°15'00" E, 263.62 feet along a line common with the east line of LOTS 28A-P1 AND 29A-P1, STONEBROOKE ESTATES SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 16, 2000 in Book 2000C, Page 157 and LOTS 30A-P1 AND 31A-P1, STONEBROOKE ESTATES SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 27, 2000 in Book 2000C, Page 195 to the northwest corner, said point being on the centerline of Eagle Rock Avenue N.E.;

THENCE along said centerline S 89°36'37" E, 988.72 feet to the northeast corner;

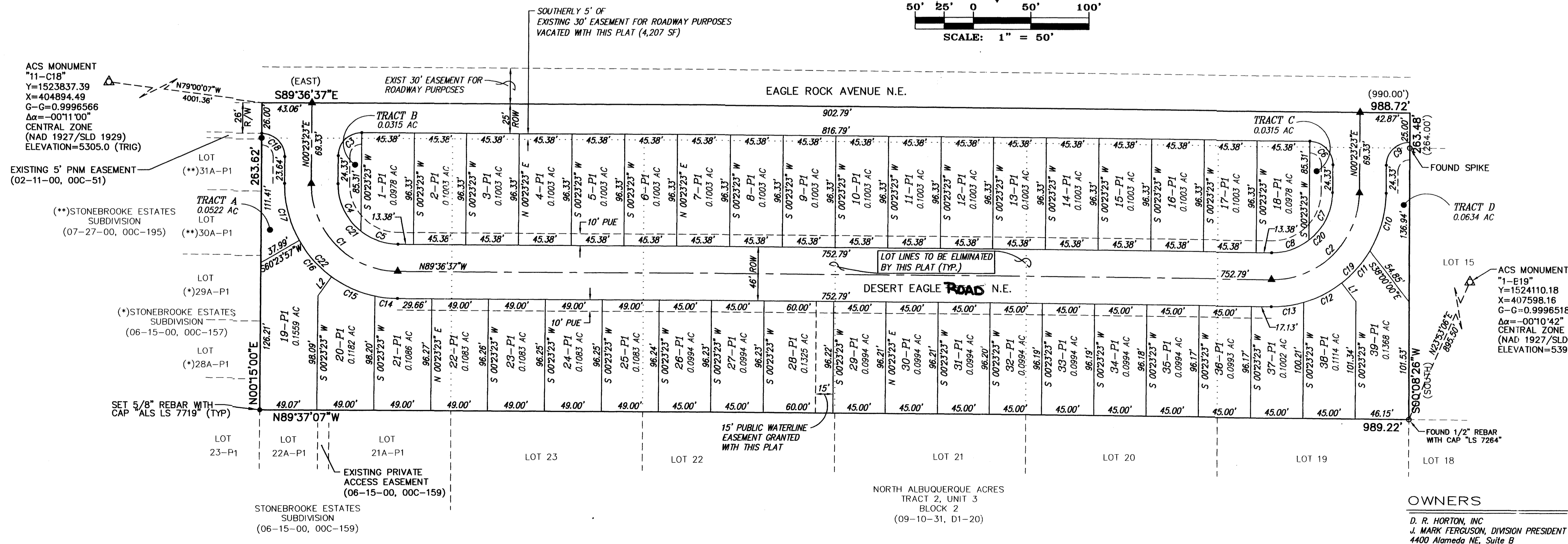
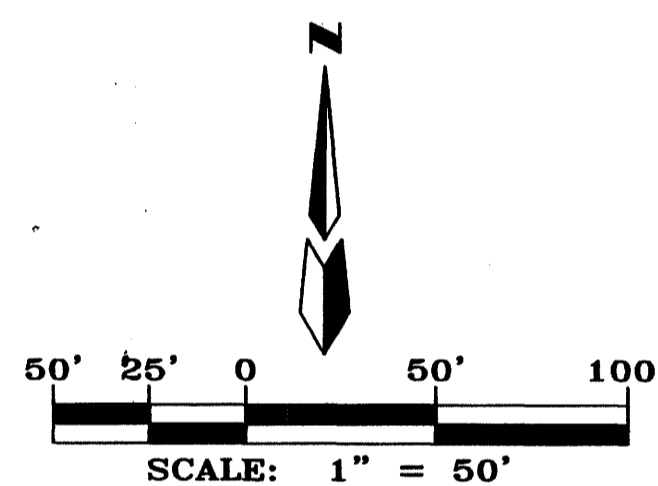
THENCE leaving said centerline S 00°08'26" W, 263.48 feet along a line common with the west line of said LOT 15 to the point of beginning and containing 5.9834 acres more or less.

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CH-BEARING	CHORD
C1	75.00	117.81	90°00'00"	75.00	S44°36'37"E	106.07
C2	75.00	117.81	90°00'00"	75.00	N45°23'23"E	106.07
C3	20.00	31.42	90°00'00"	20.00	S45°23'23"W	28.28
C4	52.00	47.21	52°01'12"	25.37	S25°37'14"E	45.61
C5	52.00	34.47	37°58'48"	17.89	S70°37'14"E	33.84
C6	20.00	31.42	90°00'00"	20.00	N44°36'37"W	28.28
C7	52.00	47.21	52°01'12"	25.37	N26°23'59"E	45.61
C8	52.00	34.47	37°58'48"	17.89	N71°23'59"E	33.84
C9	20.00	31.42	90°00'00"	20.00	S45°23'23"W	28.28
C10	98.00	52.03	30°25'09"	26.64	N15°35'57"E	51.42
C11	98.00	36.68	21°26'40"	18.56	N41°31'52"E	36.47
C12	98.00	36.97	21°36'53"	18.71	N63°03'39"E	36.75
C13	98.00	28.26	16°31'18"	14.23	N82°07'44"E	28.16
C14	98.00	19.47	11°23'05"	9.77	S83°55'05"E	19.44
C15	98.00	41.07	24°00'33"	20.84	S66°31'16"E	40.77
C16	98.00	41.98	24°32'46"	21.32	S41°56'37"E	41.66
C17	98.00	51.42	30°03'36"	26.31	S14°36'26"E	50.83
C18	20.00	31.10	89°06'20"	19.69	N45°03'27"W	28.06
C19	98.00	153.94	90°00'00"	98.00	N45°23'23"E	138.59
C20	52.00	81.68	90°00'00"	52.00	N45°23'23"E	73.54
C21	52.00	81.68	90°00'00"	52.00	S44°36'37"E	73.54
C22	98.00	153.94	90°00'00"	98.00	S44°36'37"E	138.59

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S37°44'48"E	20.00'
L2	S35°47'00"W	20.00'

LEGEND

- 1-P1 LOT NUMBER
- ▲ CENTER LINE MONUMENT
- ROW RIGHT-OF-WAY



PRELIMINARY PLAT FOR
DESERT LANE SUBDIVISION
WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 18
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 2002

SUBDIVISION DATA

GROSS ACREAGE	5.9834 AC
ZONE ATLAS NO.	C-19-Z
NO. OF LOTS CREATED	39 LOTS
NO. OF TRACTS CREATED	4 TRACT
AREA DEDICATED TO CITY	1.7155 AC
DATE OF SURVEY	MAY 2002
ZONING	R-D

- NOTES**
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS ○ SHALL BE MARKED BY A #5 REBAR W/CAP STAMPED PS#11993
 - ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS ▲, WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED: "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION" "DO NOT DISTURB" PS#11993"
 - BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
 - BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
 - ALL DISTANCES SHALL BE GROUND DISTANCES.
 - MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
 - 100 Year Flood Zone Designation: ZONE X, Panel 129 of 825, Flood Insurance Rate Map, City of Albuquerque, Bernalillo County, New Mexico, dated September 20, 1996. (NOTE: Panel 129 has been modified by letter effective September 11, 1998).
 - TRACTS A, B, C, D ARE DEEDED TO THE HOMEOWNERS ASSOCIATION AND TO BE MAINTAINED BY SAID OWNERS FOR LANDSCAPING PURPOSES.

APPROVED FOR MONUMENTATION AND STREET NAMES

JK B Hart 6-20-02
City Surveyor, City of Albuquerque, N.M. Date

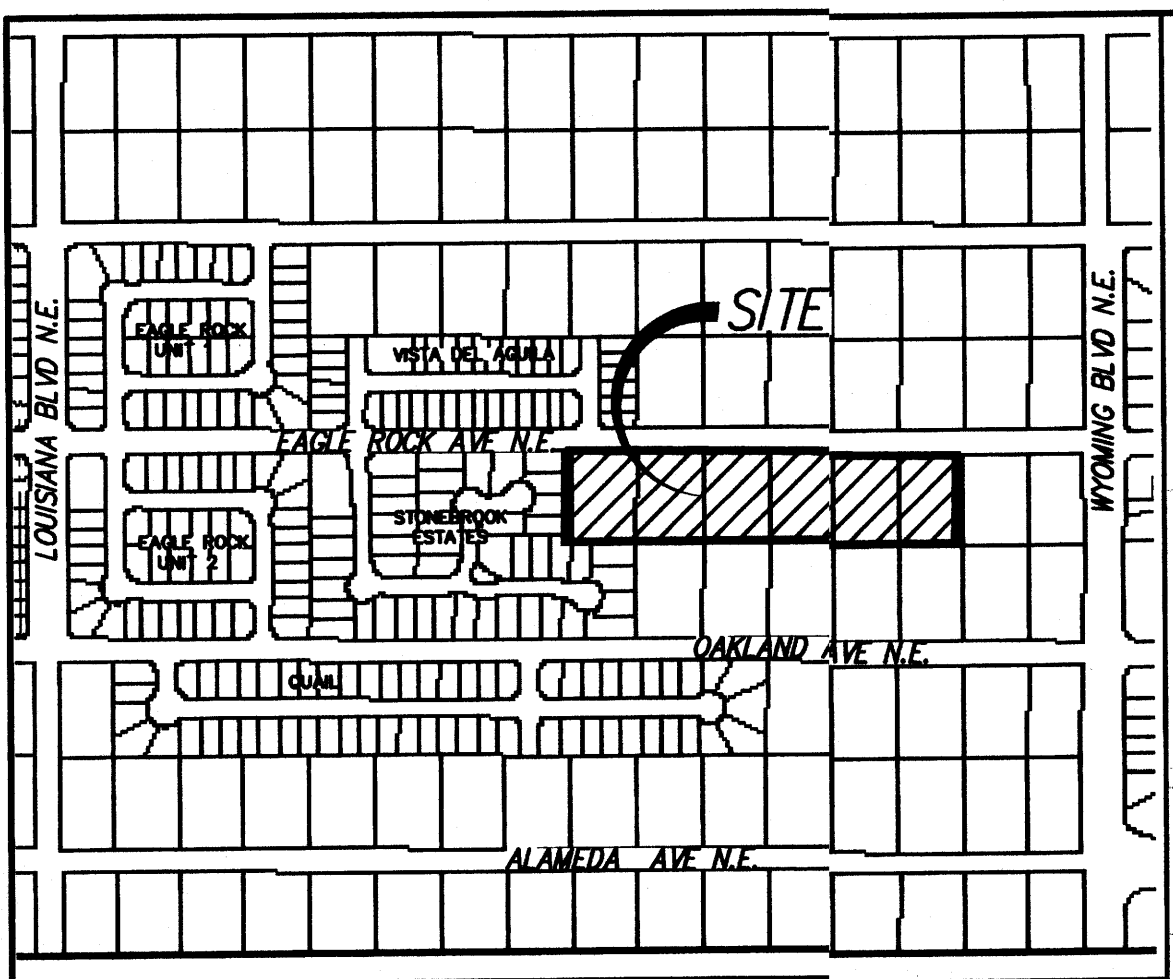
Owner: D. R. HORTON, INC
Mark Ferguson 6/18/02
Mark Ferguson Division President DATE

- PURPOSE OF PLAT**
- SUBDIVIDE FIVE LOTS INTO 39 RESIDENTIAL LOTS.
 - DEDICATE RIGHT-OF-WAY AS SHOWN
 - GRANT NEW EASEMENTS AS SHOWN
 - VACATED EASEMENTS AS SHOWN

OWNERS
D. R. HORTON, INC
J. MARK FERGUSON, DIVISION PRESIDENT
4400 Alameda NE, Suite B
ALBUQUERQUE, N.M. 87113
(505) 797-4245

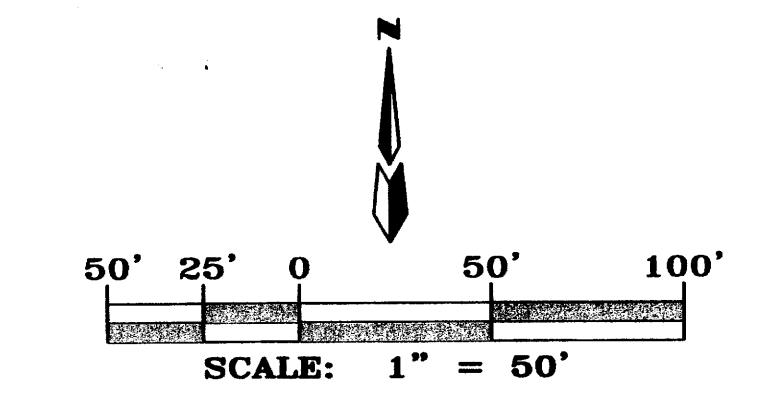
ENGINEERS
D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

SURVEYOR
ALDRICH LAND SURVEY
P.O. BOX 30701
ALBUQUERQUE, N.M. 87190-0701
(505) 884-1990

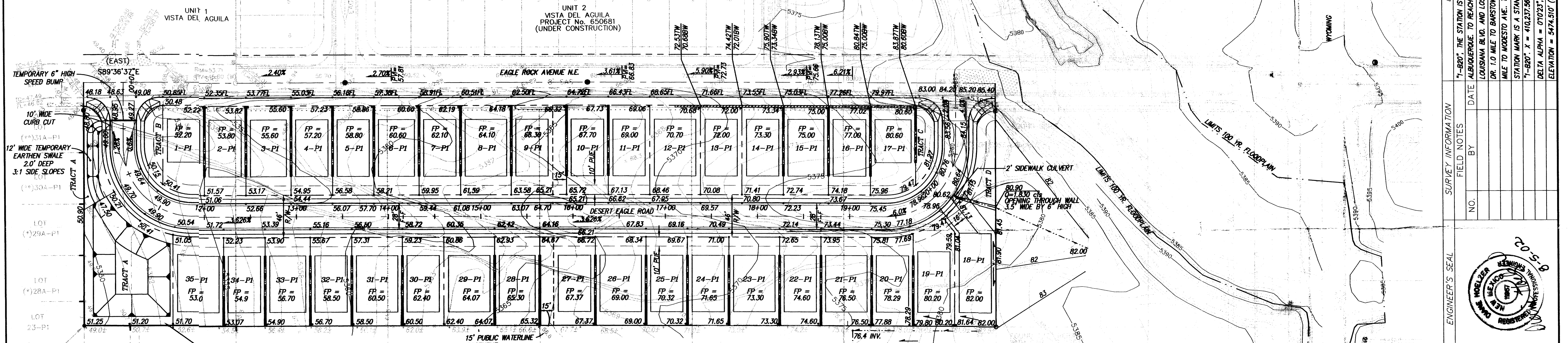


VICINITY MAP ZONE MAP: C-19-Z

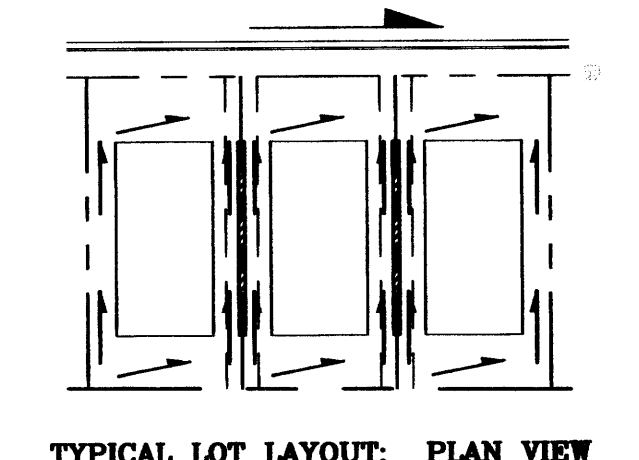
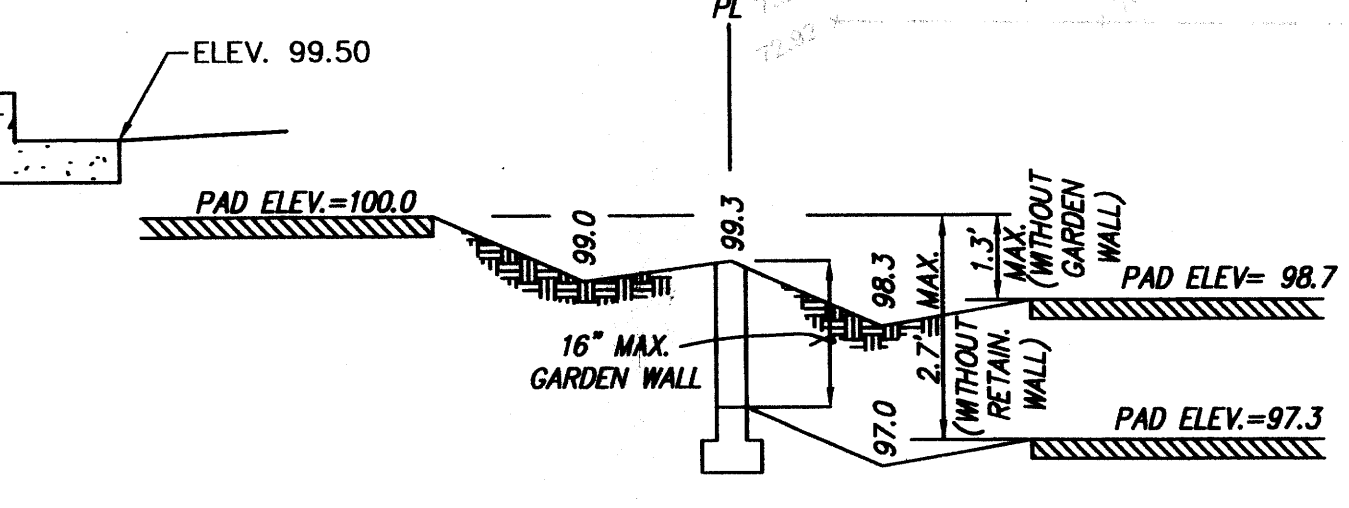
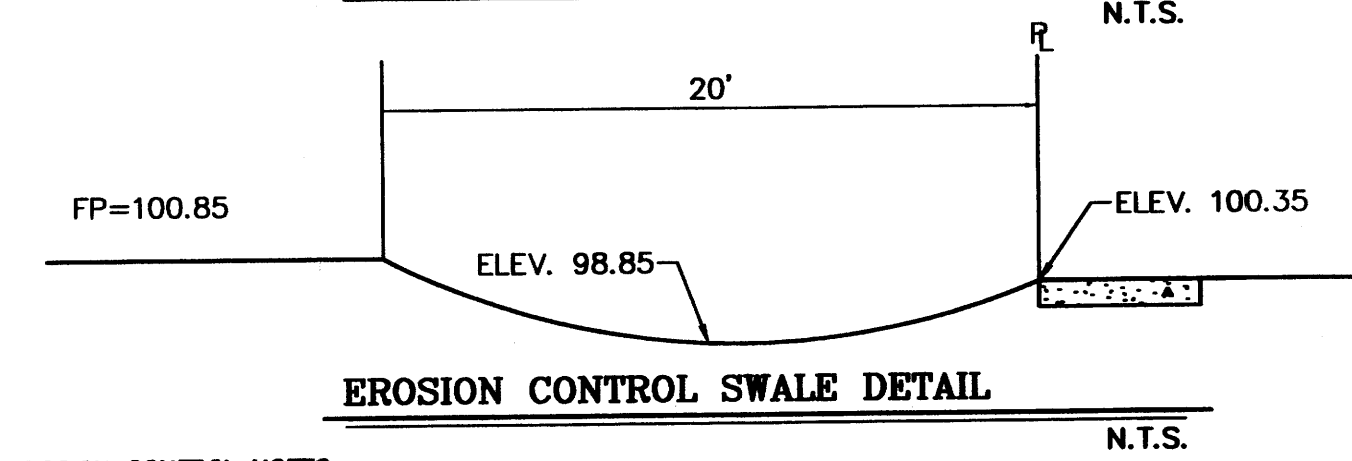
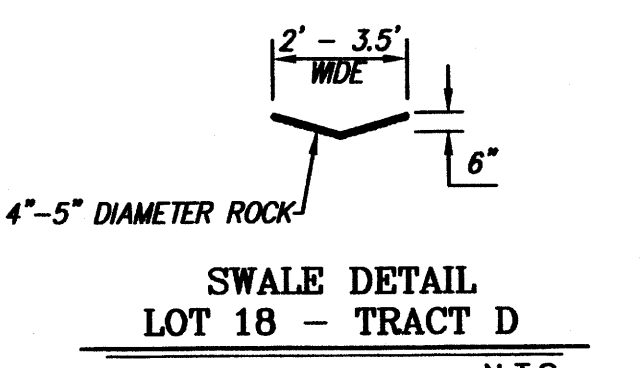
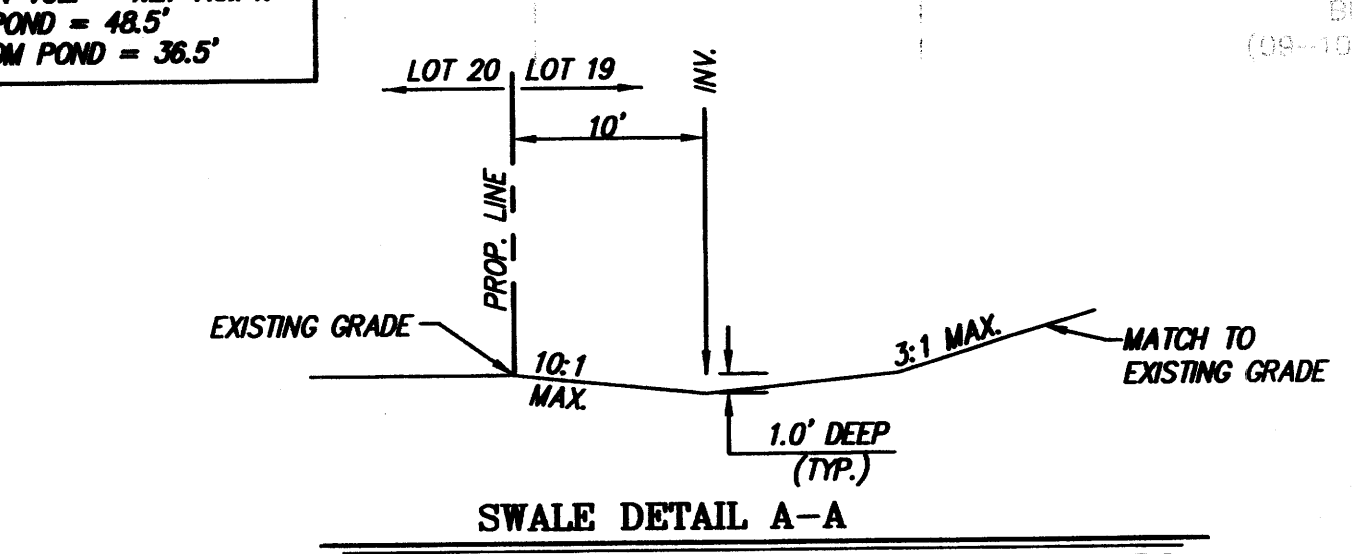
NOTES



QTY HYDROLOGY APPROVAL _____ DATE _____
 A.M.A.F.C.A. APPROVAL _____ DATE _____
 ADL RIZW _____ DATE _____
 (LOT 19, TRACT 2, UNIT 3, BLOCK 2, NORTH ALBUQUERQUE ACRES)



TRACT A, SWALE & TEMPORARY RETENTION POND
 SIDE SLOPES 2:1
 DEPTH = 12 FEET
 RECD VOL = 1.245 ACFT.
 DESIGN VOL = 1.27 ACFT.
 TOP POND = 48.5'
 BOTTOM POND = 36.5'



TYPICAL LOT LAYOUT: PLAN VIEW
 NOT TO SCALE

- EROSION CONTROL NOTES
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 2. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
 3. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 4. EROSION CONTROL SWALES ARE REQUIRED AROUND THE ENTIRE SITE.
 5. ALL EROSION CONTROL SWALES MUST BE IN PLACE AND ENGINEER CERTIFIED PRIOR TO BUILDING PERMIT RELEASE.
 6. SWALES TO BE BLOCKED AT EACH PROPERTY LINE.

- LEGEND
- TRACT/LOT BOUNDARY
 - RIGHT OF WAY
 - EASEMENTS
 - CENTERLINE OF ROAD
 - NEW RETAINING WALL
 - NEW GARDEN WALL
 - FP= 30.38 FINISHED PAD ELEVATION
 - 28.53+ PROPOSED SPOT ELEVATION
 - STANDARD 8" CURB & GUTTER
 - 3:1 SLOPE
 - NEW FIRE HYDRANT
 - 20 LOT
 - 51.35- EXISTING CONTOUR
 - 51.35- EXISTING TOP OF CURB
 - 51.35- EXISTING FLOMLINE
 - x 00.00 EXISTING SPOT ELEVATION
 - EXISTING CURB AND GUTTER
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING WATER VALVE
 - EXISTING OVERHEAD ELECTRIC LINE
 - EXISTING OVERHEAD ELECTRIC LINE
 - EXISTING OVERHEAD TELEPHONE LINE
 - EXISTING POWER POLE

AS BUILT INFORMATION

CONTRACTOR	DATE
WORK STAGED BY	DATE
FIELD ACCEPTANCE BY	DATE
DRAWINGS BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	DATE
RECORDED BY	DATE
NO.	DATE

ENGINEER'S SEAL

MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200, FAX (505) 797-9539

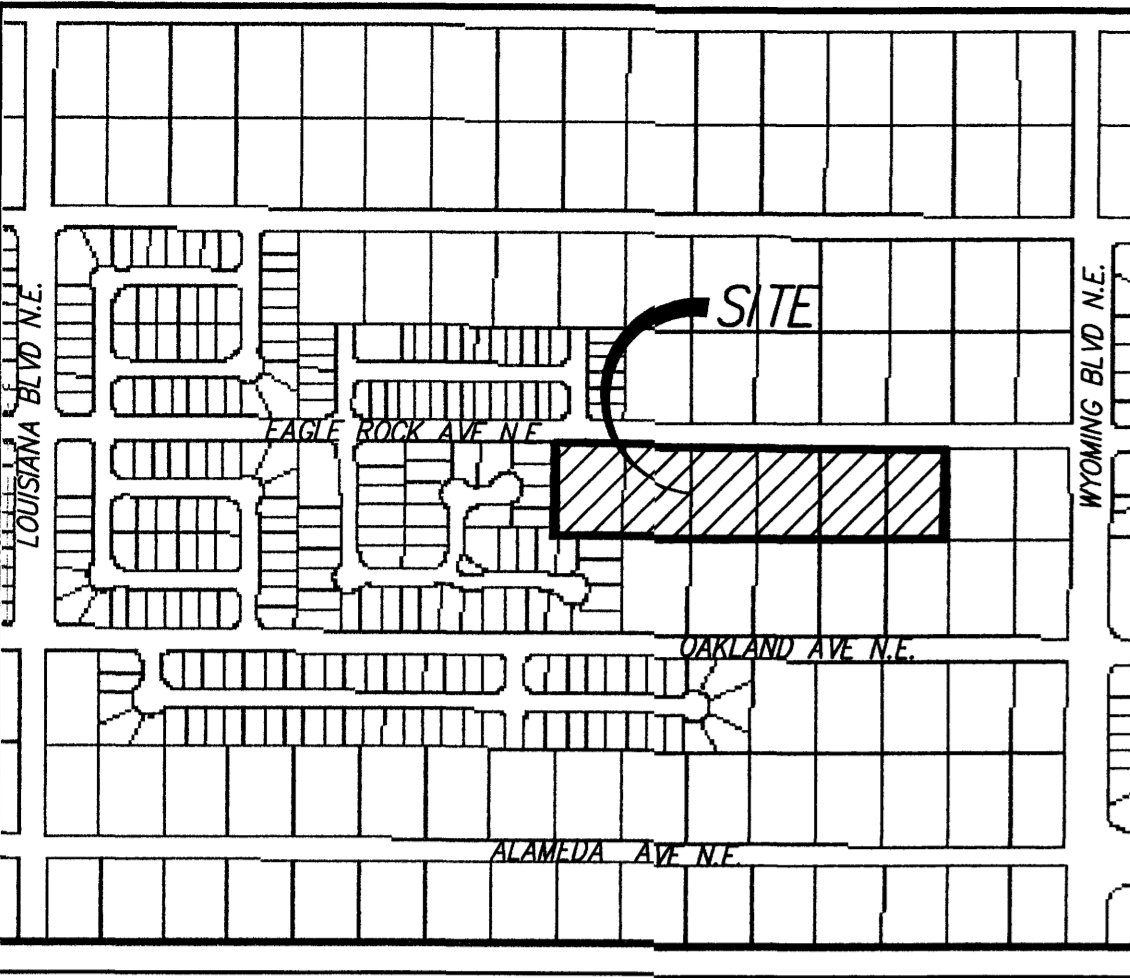
CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT

TITLE: **DESERT LANE SUBDIVISION GRADING AND DRAINAGE PLAN**

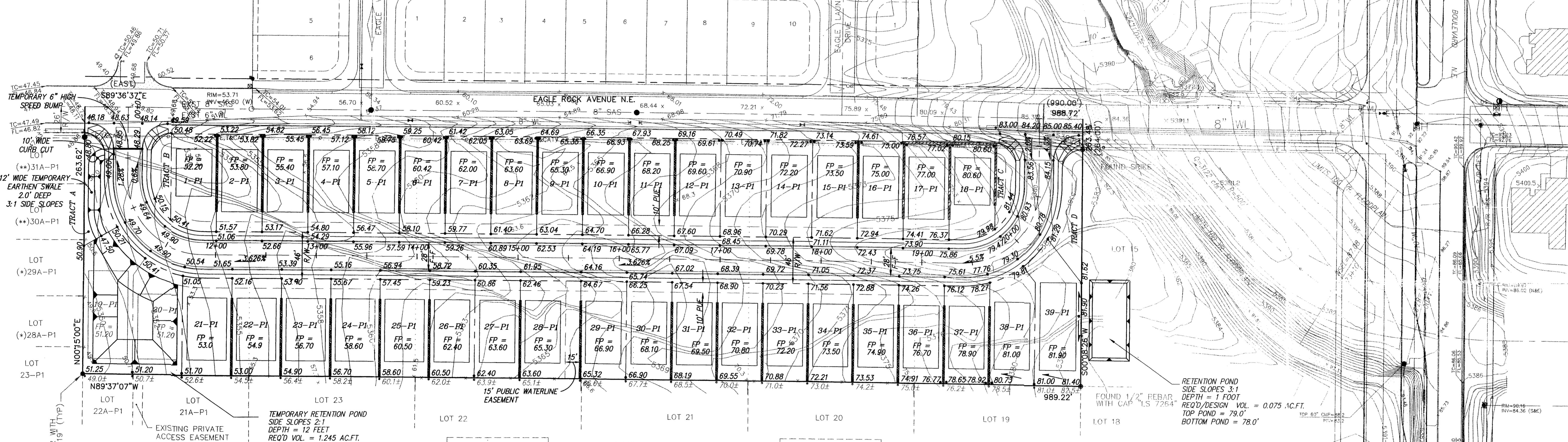
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			

CITY PROJECT NO. _____ ZONE MAP NO. **C-19-Z** SHEET **1** OF **1**

NOTES



VICINITY MAP ZONE MAP: C-19-Z



TEMPORARY 6" HIGH SPEED BUMP
10' WIDE CURB CUT
12' WIDE TEMPORARY EARTHEN SWALE 2'0" DEEP 3:1 SIDE SLOPES
SET 5/8" REBAR WITH CAP ALS LS 7719 (TYP)

STONEBROOKE ESTATES SUBDIVISION (06-15-00, 00C-159)
EXISTING PRIVATE ACCESS EASEMENT (06-15-00, 00C-159)
TEMPORARY RETENTION POND SIDE SLOPES 2:1 DEPTH = 12 FEET REQ'D VOL. = 1.245 AC.FT. DESIGN VOL. = 1.27 AC.FT. TOP POND = 48.5' BOTTOM POND = 36.5'

LOT 22A-P1
LOT 21A-P1
LOT 23
LOT 22
LOT 21
LOT 20
LOT 19
LOT 18

HOME
NORTH ALBUQUERQUE ACRES TRACT 2, UNIT 3 BLOCK 2 (09-10-31, D1-20)
HOME

RETENTION POND SIDE SLOPES 3:1 DEPTH = 1 FOOT REQ'D/DESIGN VOL. = 0.075 AC.FT. TOP POND = 79.0' BOTTOM POND = 78.0'

FOUND 1/2" REBAR WITH CAP "LS 7264" REQ'D/DESIGN VOL. = 0.075 AC.FT. TOP POND = 79.0' BOTTOM POND = 78.0'

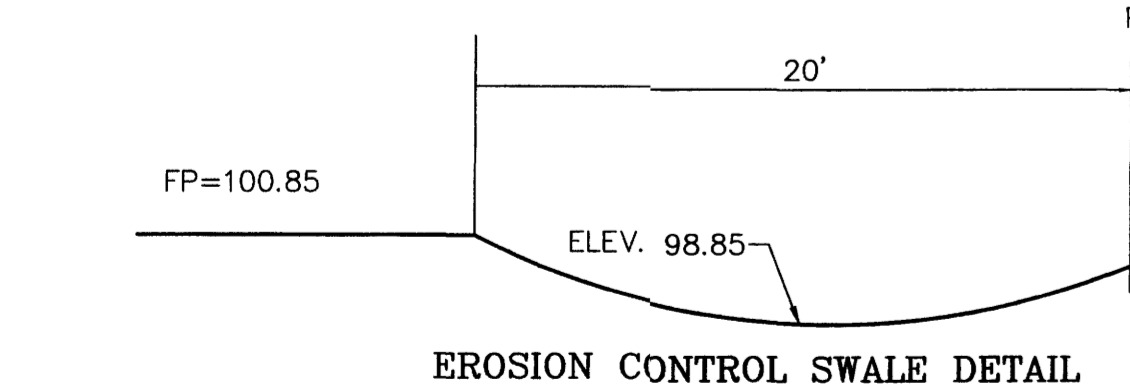
FOUND 1/2" REBAR WITH CAP "LS 7264" REQ'D/DESIGN VOL. = 0.075 AC.FT. TOP POND = 79.0' BOTTOM POND = 78.0'

FOUND 1/2" REBAR WITH CAP "LS 7264" REQ'D/DESIGN VOL. = 0.075 AC.FT. TOP POND = 79.0' BOTTOM POND = 78.0'

FOUND 1/2" REBAR WITH CAP "LS 7264" REQ'D/DESIGN VOL. = 0.075 AC.FT. TOP POND = 79.0' BOTTOM POND = 78.0'

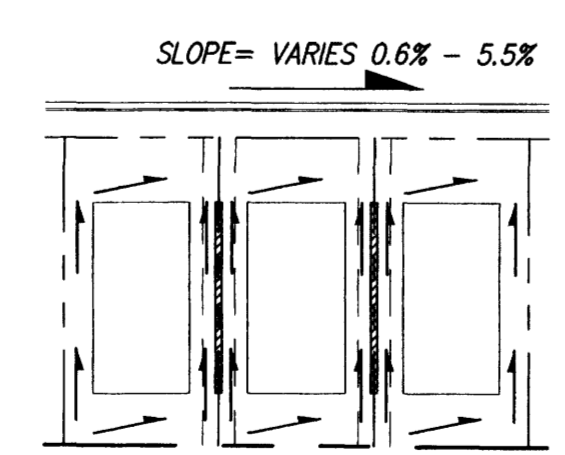
FOUND 1/2" REBAR WITH CAP "LS 7264" REQ'D/DESIGN VOL. = 0.075 AC.FT. TOP POND = 79.0' BOTTOM POND = 78.0'

FOUND 1/2" REBAR WITH CAP "LS 7264" REQ'D/DESIGN VOL. = 0.075 AC.FT. TOP POND = 79.0' BOTTOM POND = 78.0'



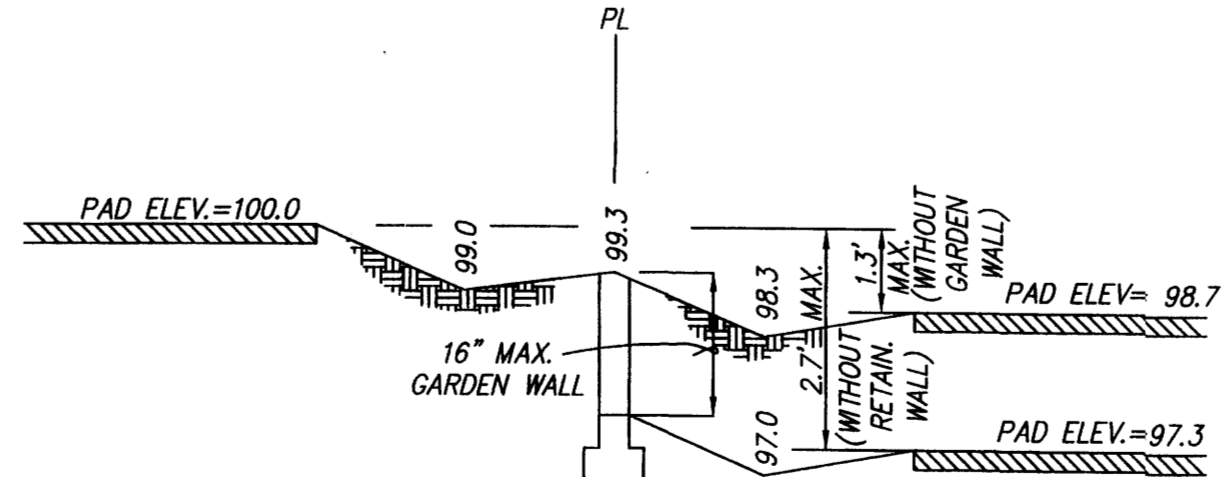
EROSION CONTROL SWALE DETAIL N.T.S.

- EROSION CONTROL NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - EROSION CONTROL SWALES ARE REQUIRED AROUND THE ENTIRE SITE.
 - ALL EROSION CONTROL SWALES MUST BE IN PLACE AND ENGINEER CERTIFIED PRIOR TO BUILDING PERMIT RELEASE.
 - SWALES TO BE BLOCKED AT EACH PROPERTY LINE.



TYPICAL LOT LAYOUT: PLAN VIEW NOT TO SCALE

- NOTES**
- ALL LOT RUNOFF DRAINS TO THE STREET IN FRONT OF THE LOT.



TYPICAL SIDEYARD GARDEN BLOCKWALL DETAIL N.T.S.

- ANY DIFFERENCE IN PAD ELEVATIONS BETWEEN ADJACENT LOTS GREATER THAN 2.7' WILL REQUIRE RETAINING WALLS

- LEGEND**
- TRACT/LOT BOUNDARY
 - RIGHT OF WAY
 - EASEMENTS
 - CENTERLINE OF ROAD
 - NEW RETAINING WALL
 - NEW GARDEN WALL
 - FP= 30.38 FINISHED PAD ELEVATION
 - 28.53• PROPOSED SPOT ELEVATION
 - STANDARD 8" CURB & GUTTER
 - 3:1 SLOPE
 - NEW FIRE HYDRANT
 - 20 LOT 20
 - 5135- EXISTING CONTOUR
 - IC= EXISTING TOP OF CURB
 - FL= EXISTING FLOWLINE
 - 00.00 EXISTING SPOT ELEVATION
 - EXISTING CURB AND GUTTER
 - EXISTING SANITARY SEWER MANHOLE
 - EXISTING WATER VALVE
 - EXISTING OVERHEAD ELECTRIC LINE
 - EXISTING OVERHEAD TELEPHONE LINE
 - EXISTING POWER POLE

AS BUILT INFORMATION	
CONTRACTOR	DATE
WORK STARTED BY	DATE
FIELD ACCEPTANCE BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
RECORDED BY	DATE
NO.	DATE

ENGINEER'S SEAL

SURVEY INFORMATION	
NO.	DATE
BY	DATE
REVISIONS	DATE
DESIGN	DATE
DRAWN BY	DATE
CHECKED BY	DATE

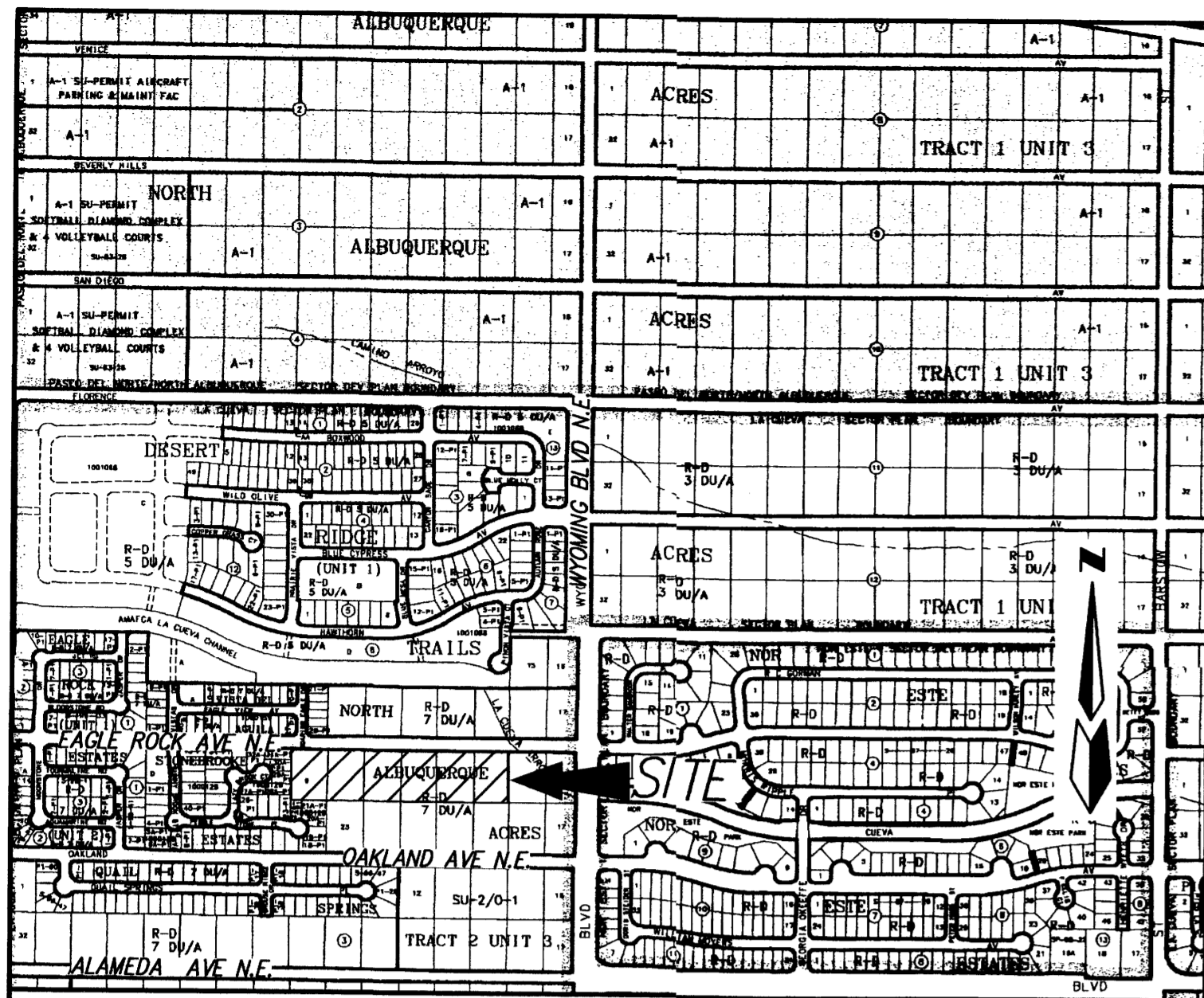
dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90608
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT

TITLE: **DESERT LANE SUBDIVISION GRADING AND DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. _____ ZONE MAP NO. **C-19-Z** SHEET **1** OF **1**



ZONE ATLAS MAP # C-19-Z
SCALE: NONE

C-19-Z

DESCRIPTION

A tract of land situate, within the Elena Gallegos Grant, projected Section 18, Township 11 North, Range 4 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of LOTS 9 thru 14, BLOCK 2, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D1, Folio 20 and being more particularly described as follows:

BEGINNING at the southeast corner of the herein described tract, said point being common with the southwest corner of LOT 15, BLOCK 2, TRACT 2, UNIT 3, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D1, Folio 20 from whence the Albuquerque Control Survey Monument "1-B19" bears N 23°53'06" E, 895.50 feet;

THENCE N 89°37'07" W, 989.22 feet along a line common with the north line of LOTS 19 THRU 23, TRACT 2, UNIT 3, BLOCK 2, NORTH ALBUQUERQUE ACRES as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 10, 1931 in Volume D1, Folio 20 and LOTS 21A-P1 AND 22A-P1, STONEBROOKE ESTATES SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 15, 2000, in Book 2000C, Page 159 to the southwest corner, said point being common with the northwest corner of said LOT 22A-P1;

THENCE N 00°15'00" E, 263.62 feet along a line common with the east line of LOTS 28A-P1 AND 29A-P1, STONEBROOKE ESTATES SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on June 16, 2000 in Book 2000C, Page 157 and LOTS 30A-P1 AND 31A-P1, STONEBROOKE ESTATES SUBDIVISION as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on July 27, 2000 in Book 2000C, Page 195 to the northwest corner, said point being on the centerline of Eagle Rock Avenue N.E.;

THENCE along said centerline S 89°36'37" E, 988.72 feet to the northeast corner;

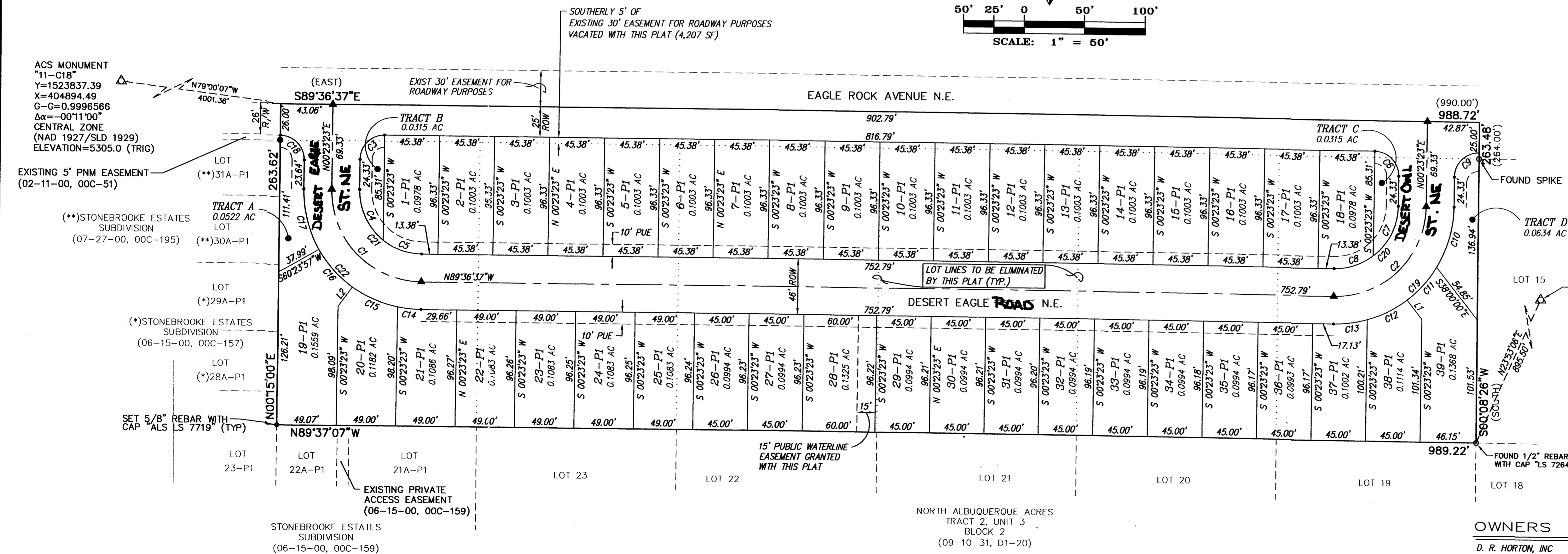
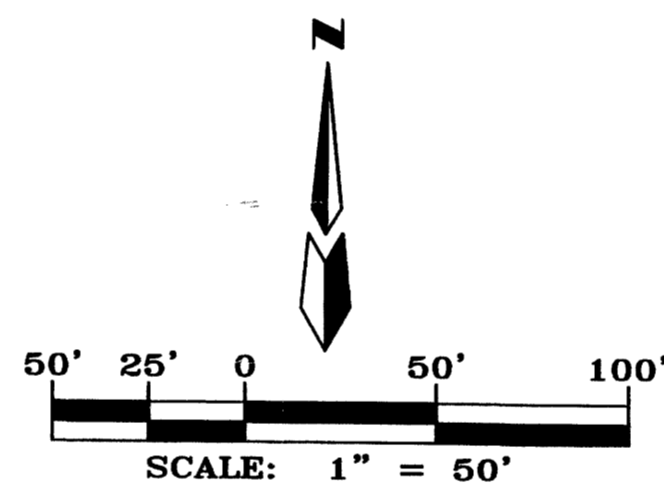
THENCE leaving said centerline S 00°08'26" W, 263.48 feet along a line common with the west line of said LOT 15 to the point of beginning and containing 5.9834 acres more or less.

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CH-BEARING	CHORD
C1	75.00	117.81	90°00'00"	75.00	S44°36'37"E	106.07
C2	75.00	117.81	90°00'00"	75.00	N45°23'23"E	106.07
C3	20.00	31.42	90°00'00"	20.00	S45°23'23"W	28.28
C4	52.00	47.21	52°01'12"	25.37	S25°37'14"E	45.61
C5	52.00	34.47	37°58'48"	17.89	S70°37'14"E	33.84
C6	20.00	31.42	90°00'00"	20.00	N44°36'37"W	28.28
C7	52.00	47.21	52°01'12"	25.37	N26°23'59"E	45.61
C8	52.00	34.47	37°58'48"	17.89	N71°23'59"E	33.84
C9	20.00	31.42	90°00'00"	20.00	S45°23'23"W	28.28
C10	98.00	52.03	30°25'09"	26.64	N15°35'57"E	51.42
C11	98.00	36.68	21°26'40"	18.56	N41°31'52"E	36.47
C12	98.00	36.97	21°36'53"	18.71	N82°07'44"E	28.16
C13	98.00	28.26	16°31'18"	14.23	S83°55'05"E	19.44
C14	98.00	19.47	11°23'05"	9.77	S83°55'05"E	19.44
C15	98.00	41.07	24°00'33"	20.84	S66°13'16"E	40.77
C16	98.00	41.98	24°32'46"	21.32	S41°56'37"E	41.66
C17	98.00	51.42	30°03'36"	26.31	S14°38'26"E	50.83
C18	20.00	31.10	89°06'20"	19.69	N45°03'27"W	28.06
C19	98.00	153.94	90°00'00"	98.00	N45°23'23"E	138.59
C20	52.00	81.68	90°00'00"	52.00	N45°23'23"E	73.54
C21	52.00	81.68	90°00'00"	52.00	S44°36'37"E	73.54
C22	98.00	153.94	90°00'00"	98.00	S44°36'37"E	138.59

LINE	BEARING	DISTANCE
L1	S37°44'48"E	20.00'
L2	S35°47'00"W	20.00'

LEGEND

- I-P1 LOT NUMBER
- ▲ CENTER LINE MONUMENT
- ROW RIGHT-OF-WAY



PRELIMINARY PLAT FOR
DESERT LANE SUBDIVISION
WITHIN THE
ELENA GALLEGOS GRANT
PROJECTED SECTION 18
TOWNSHIP 11 NORTH, RANGE 4 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 2002

SUBDIVISION DATA

GROSS ACREAGE	5.9834 AC
ZONE ATLAS NO.	C-19-Z
NO. OF LOTS CREATED	39 LOTS
NO. OF TRACTS CREATED	4 TRACT
AREA DEDICATED TO CITY	1.7155 AC
DATE OF SURVEY	MAY 2002
ZONING	R-D

NOTES

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS ○ SHALL BE MARKED BY A #5 REBAR W/CAP STAMPED PS#11993
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS ▲, WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED: "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION" "DO NOT DISTURB" PS#11993
- BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- ALL DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
- 100 Year Flood Zone Designation: ZONE X, Panel 129 of 825, Flood Insurance Rate Map, City of Albuquerque, Bernalillo County, New Mexico, dated September 20, 1996. (NOTE: Panel 129 has been modified by letter effective September 11, 1998).
- TRACTS A, B, C, D ARE DEEDED TO THE HOMEOWNERS ASSOCIATION AND TO BE MAINTAINED BY SAID OWNERS FOR LANDSCAPING PURPOSES.

APPROVED FOR MONUMENTATION AND STREET NAMES

J. B. Hart 6-20-02
City Surveyor, City of Albuquerque, N.M. Date

Owner: D. R. HORTON, INC

Mark Ferguson 6/18/02
Mark Ferguson
Division President DATE

PURPOSE OF PLAT

- SUBDIVIDE FIVE LOTS INTO 39 RESIDENTIAL LOTS.
- DEDICATE RIGHT-OF-WAY AS SHOWN
- GRANT NEW EASEMENTS AS SHOWN
- VACATED EASEMENTS AS SHOWN

OWNERS

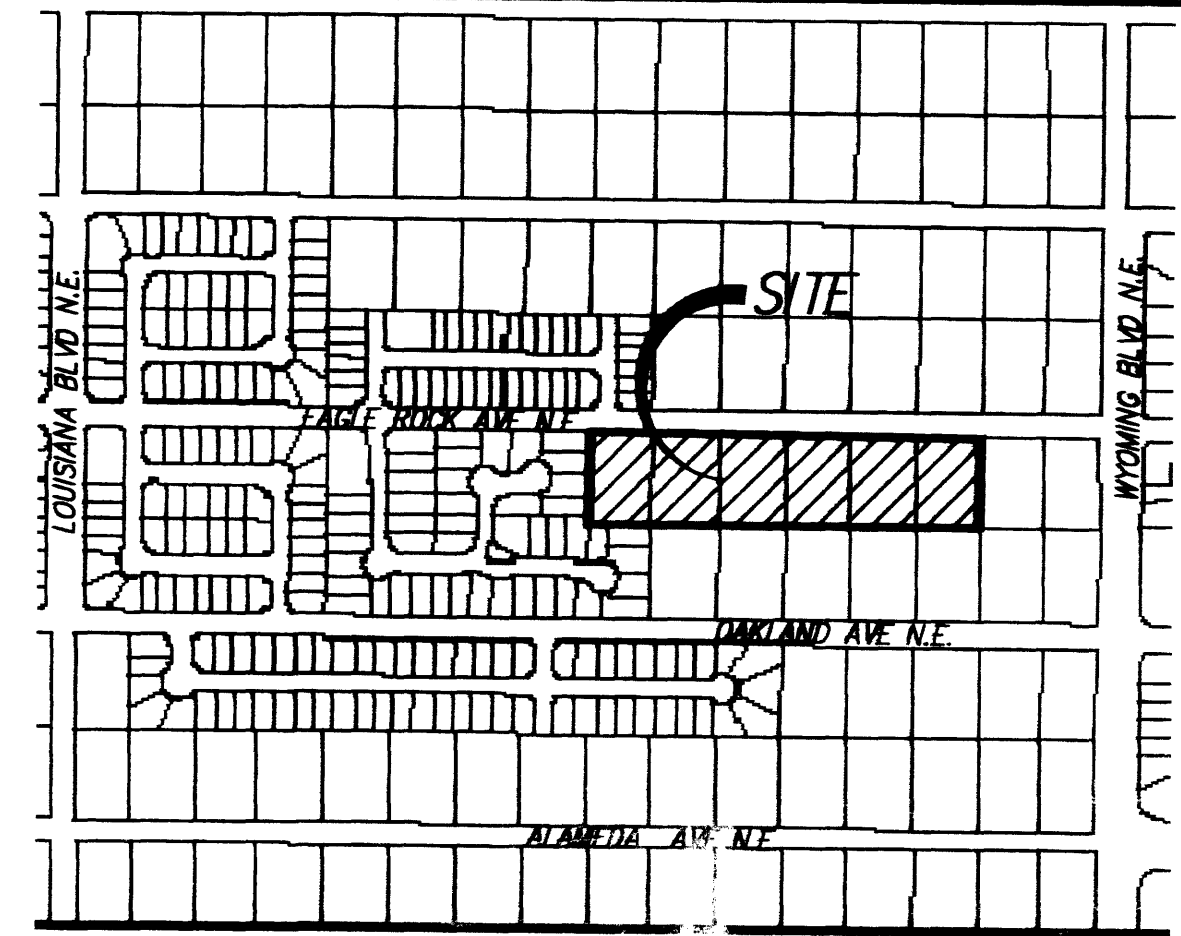
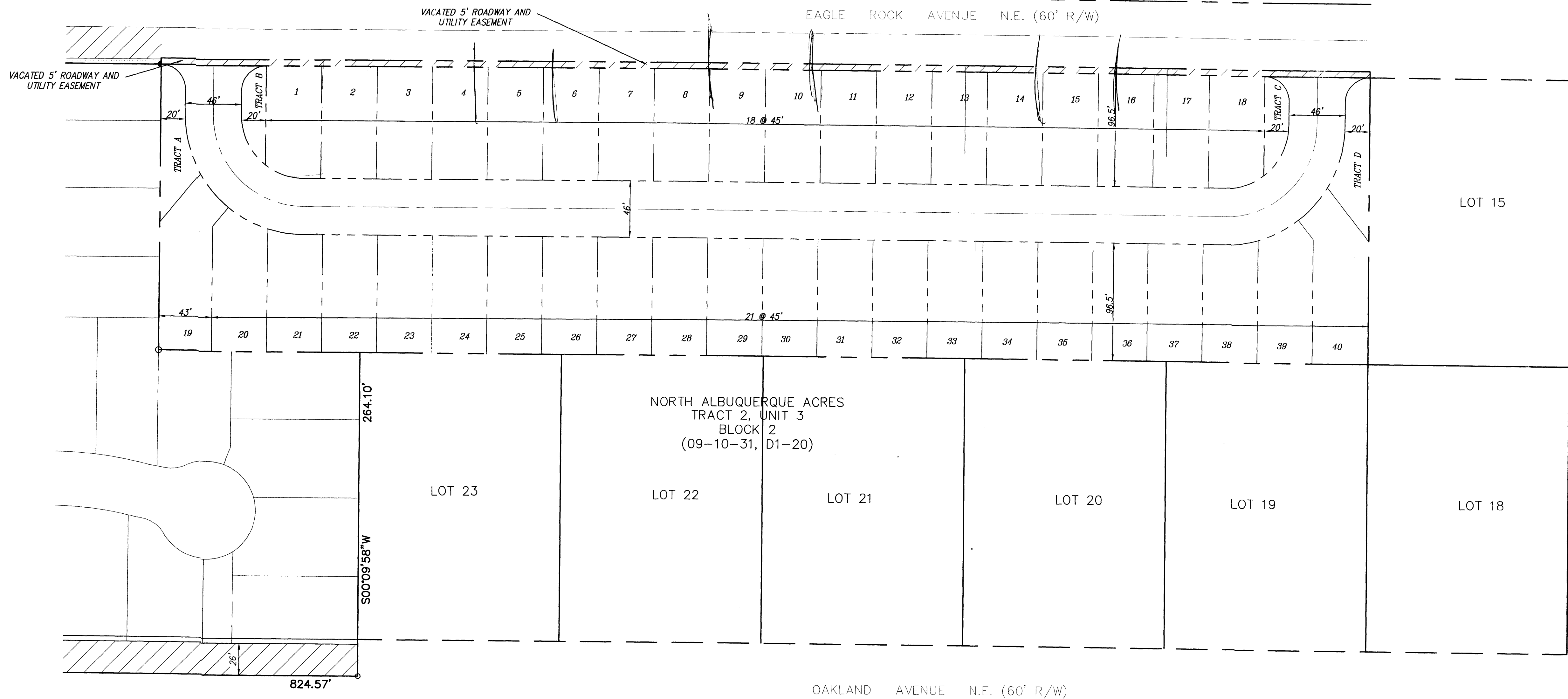
D. R. HORTON, INC
J. MARK FERGUSON, DIVISION PRESIDENT
4400 Alameda NE, Suite E
ALBUQUERQUE, N.M. 87113
(505) 797-4245

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

SURVEYOR

ALDRICH LAND SURVEY
P.O. BOX 30701
ALBUQUERQUE, N.M. 87190-0701
(505) 884-1990



VICINITY MAP ZONE MAP: C-19-Z

LEGAL DESCRIPTION

LOTS 9 THRU 14, TRACT 2, UNIT 3, BLOCK 2, NORTH ALBUQUERQUE ACRES, WITHIN THE ELENA GALLEGOS GRANT, PROJECTED SECTION 18, TOWNSHIP 11 N, RANGE 4 E, NMPM, CITY OF ALBUQUERQUE, COUNTY OF BERNALILLO, N.M.

SUBDIVISION DATA

GROSS ACREAGE	5.3061 AC
ZONE ATLAS NO.	B-19-Z, C-19-Z
NO. OF EXISTING TRACTS	6
NO. OF TRACTS/LOTS CREATED	4/40
NO. OF TRACTS ELIMINATED	6
DATE OF SURVEY	AUGUST, 1999

OWNERS

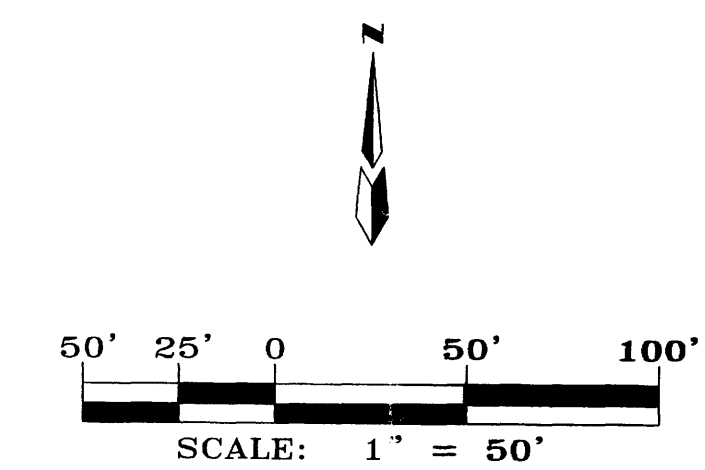
DR. HORTON, INC.
4400 ALAMEDA AVE. N.E.
ALBUQUERQUE, NEW MEXICO 87113
(505) 797-4245

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

SURVEYOR

ALDRICH LAND SURVEYING
4109 MONTGOMERY NE
ALBUQUERQUE, N.M. 87107
(505) 884-1990

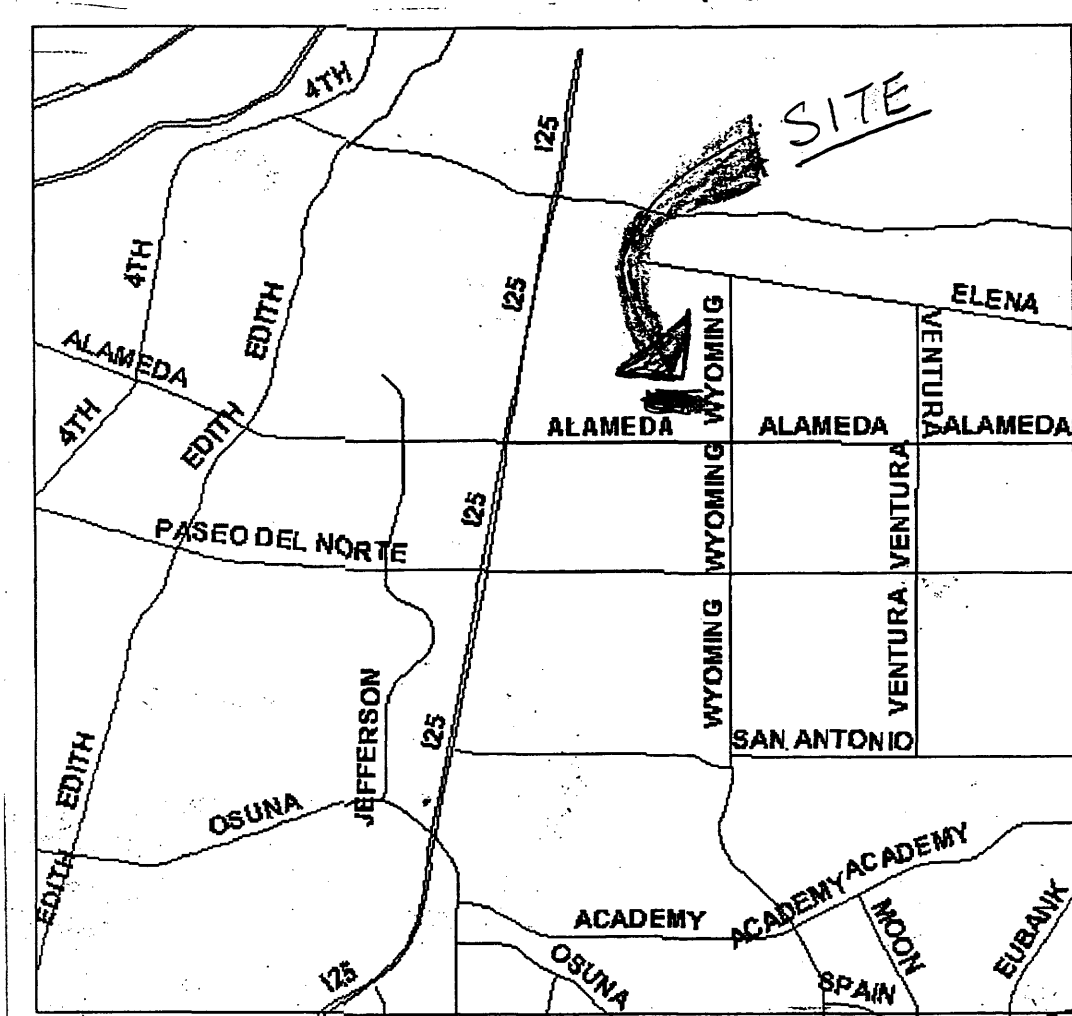
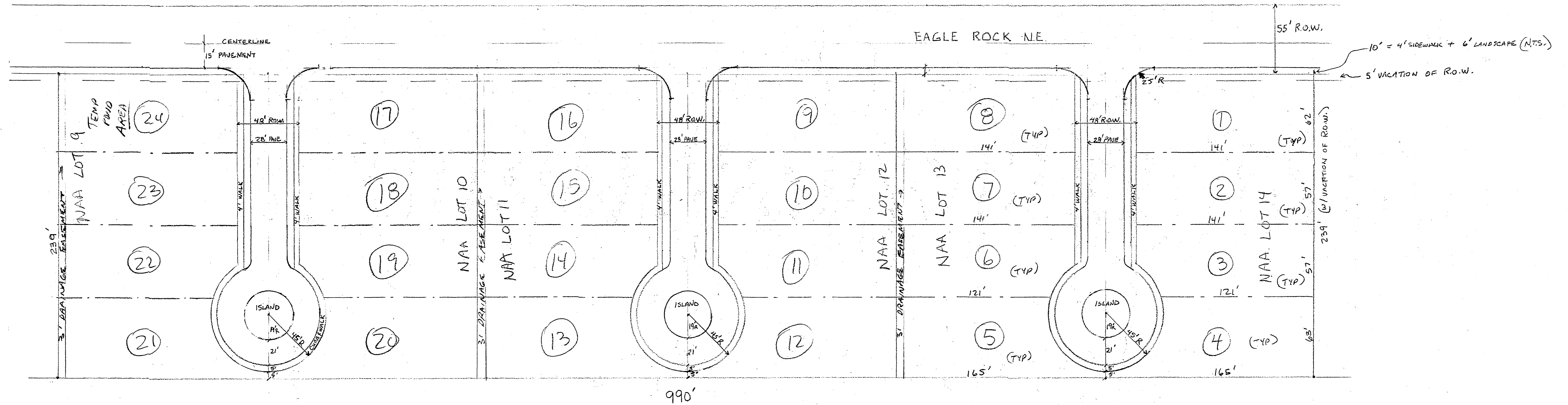
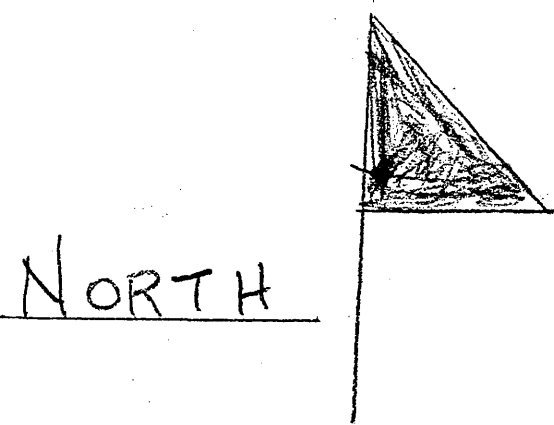


**DESERT LANE SUBDIVISION
SKETCH PLAT**

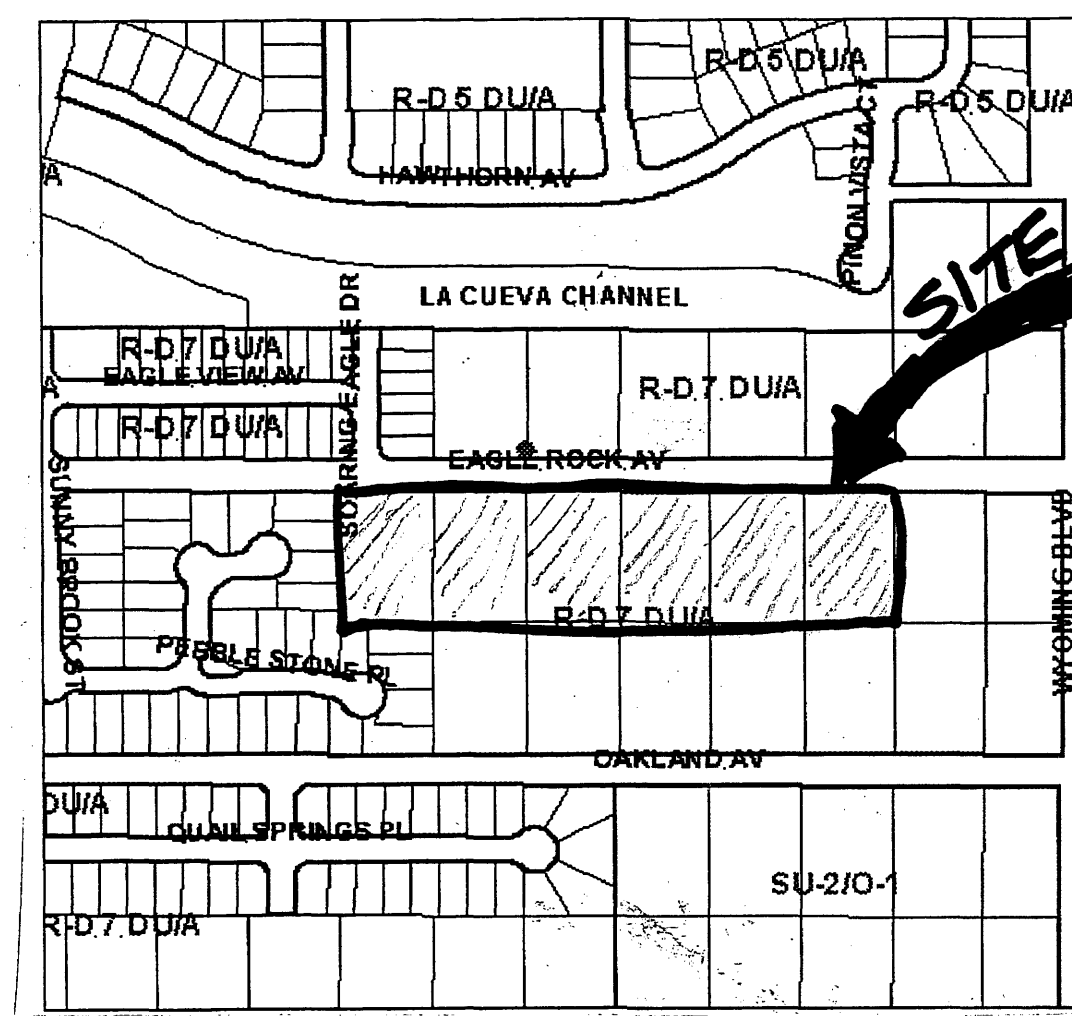
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

Designed: DMG	Drawn: KJS	Checked: DMG	Sheet 1 of 1
Scale: 1" = 50'	Date: 4/02	Job: A02046	

(FUTURE SUBDIVISION)



VICINITY MAP



CONTEXT PLAN

PROJECT: DESERT SPRINGS

LEGAL: LOTS 9-14 BLOCK 2 TRACT 2 UNIT 3 NAA

ZONING: RD 7 DU/AC

LOTS: 24 LOTS ON APPROXIMATELY 6 ACRES

GROSS ACREAGE: 5.34 ACRES

DENSITY: 4.49 UNITS/ACRE

CONTACT: RANDY SCHMILLE 934-7552
BOX 90848 ALBUQUERQUE, NM 87199

DATE: APRIL 23, 2002