

CONSULTANT

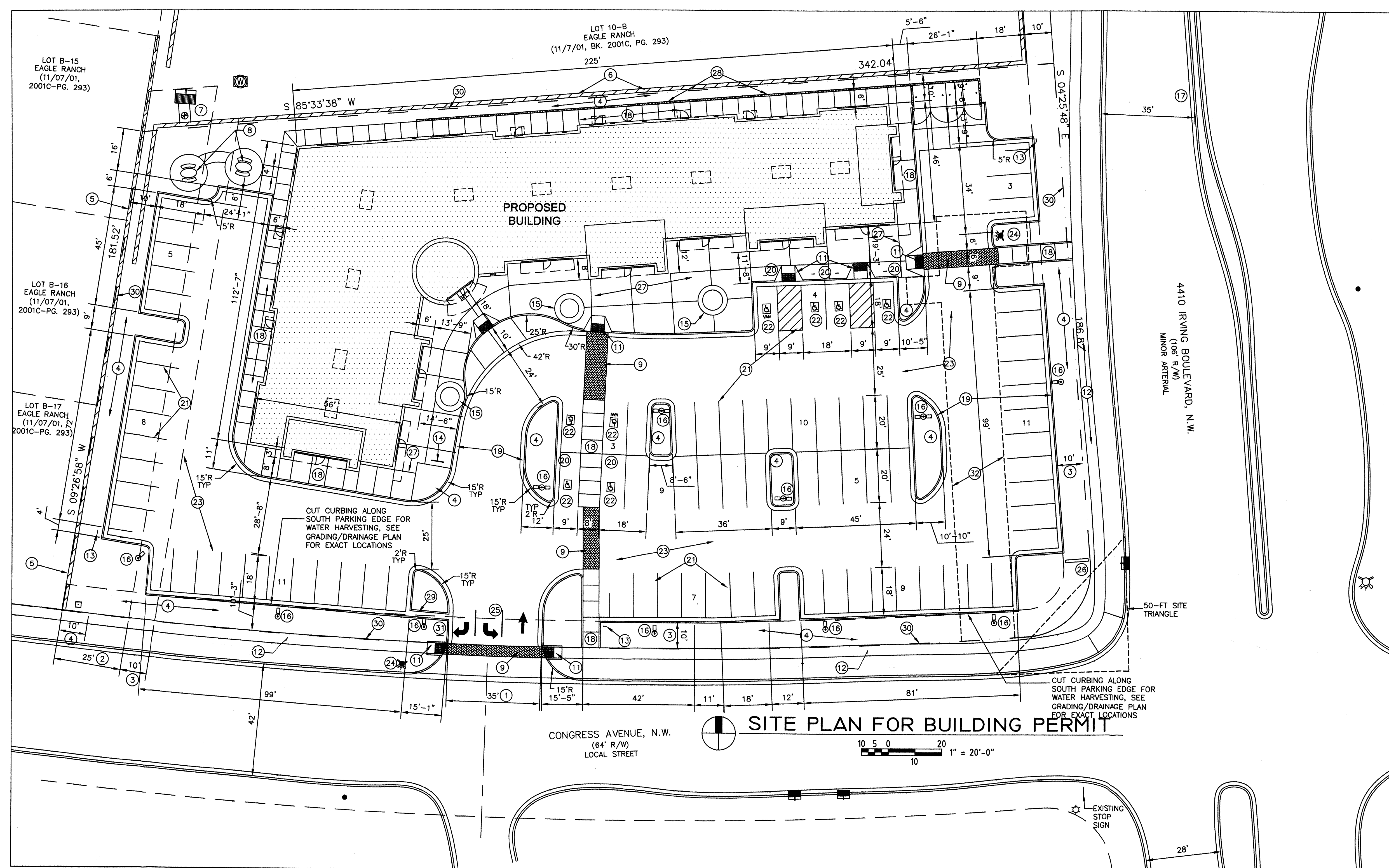
PROJECT
WEST SIDE MEDICAL OFFICE BUILDING SHELL WITH TI FOR UROLOGY ASSOC

PROJECT ADDRESS
 4410 IRVING BLVD NW
 ALBUQUERQUE, NM
 87114

MARK	DATE	DESCRIPTION
	JUNE 30, 2008	ISSUE DATE

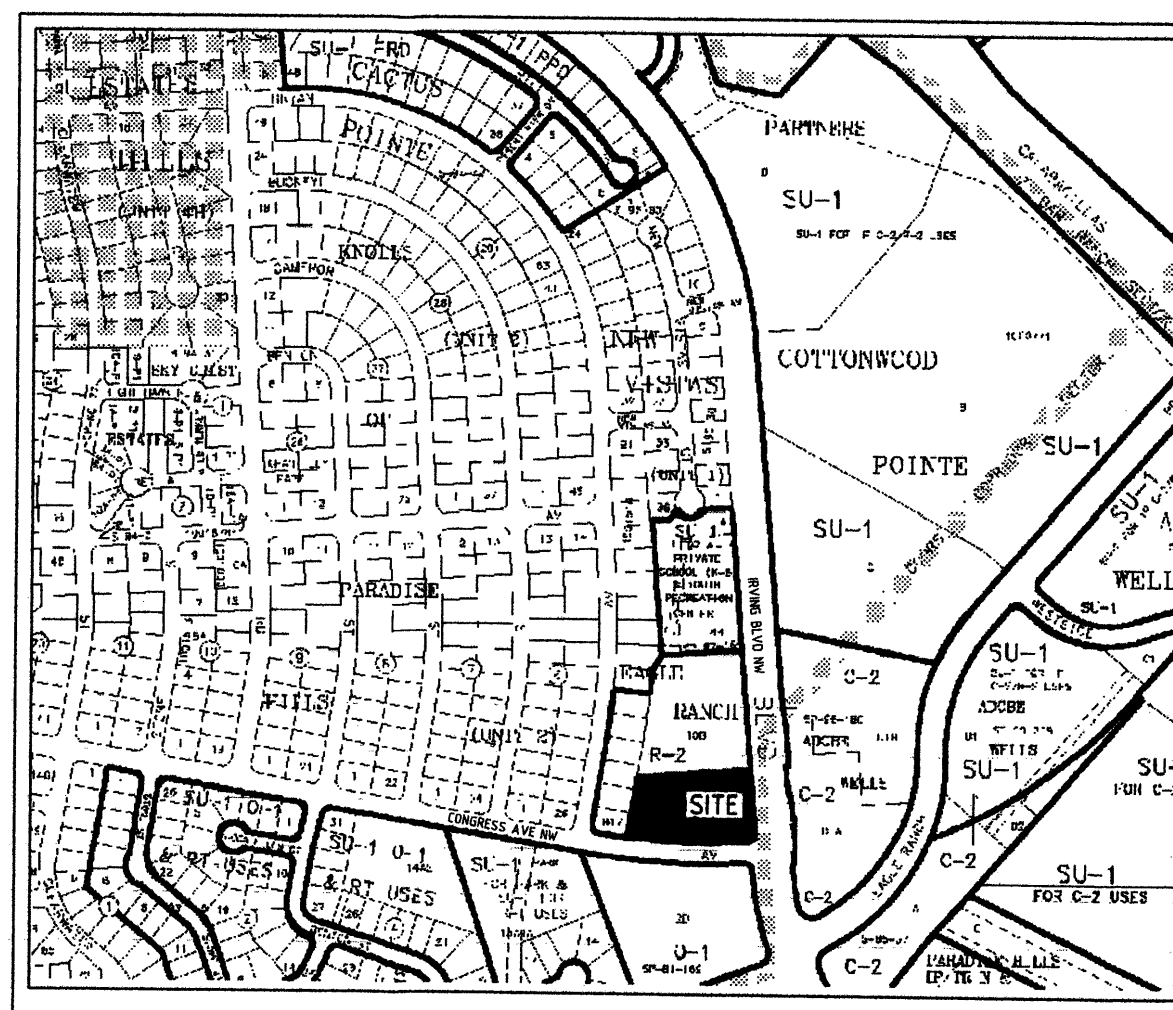
PROJECT NO:
 COPYRIGHT AKT ARCHITECTS, LLC
 SHEET TITLE

SITE PLAN FOR BUILDING PERMIT



KEYED NOTES

- CURB CUT AND CONCRETE DRIVEPAD, PER COABQ STANDARD DETAIL 2426
- DRAINAGE, WATER, SEWER EASEMENT
- EXISTING 10-FT WIDE PUBLIC UTILITY EASEMENT (PUE)
- LANDSCAPING
- EXISTING RESIDENTIAL LANDSCAPE AND RETAINING WALL, VARIES 6' TO 9' HIGH ON PROJECT SIDE
- EXISTING ADJOINING PROJECT RETAINING WALL, VARIES 3' TO 7' HIGH ON PROJECT SIDE
- EXISTING ADJOINING PROPERTY CONCRETE INLET STRUCTURE
- CONCRETE PICNIC TABLES ON 14-FT DIAMETER CONCRETE PATIO AS SHOWN.
- RAISED (MAX 1/4"), BEIGE COLORED, & TEXTURED CONCRETE PEDESTRIAN WALK, 6-FT WIDE TYPICAL
- RAISED, BEIGE COLORED, & TEXTURED CONCRETE PEDESTRIAN WALK
- WHEELCHAIR RAMP, PER COABQ STANDARD DETAIL 2441. ALL RAMPS SHALL COMPLY WITH ADA REQUIREMENTS, 1:12 MAX SLOPE AND 1:10 MAX SLOPE AT SIDE FLARES, WITH TRUNCATED DOME MAT FOR THE FIRST 36-INCHES AT BOTTOMS OF ALL RAMPS. SEE DETAIL E.
- EXISTING 4-FT WIDE CONCRETE WALK ALL AROUND AS SHOWN. EXISTING WHEELCHAIR RAMP AT CORNER OF IRVING AND CONGRESS AS SHOWN.
- 4'x8' MOTORCYCLE PARKING SPACE WITH MINIMUM 12'x18' SIGN DESIGNATING "MOTORCYCLE PARKING", MOUNT ON SIGN STANDARD WITH BOTTOM OF SIGN NO LESS THAN 48" ABOVE FINISH GRADE.
- BICYCLE RACK. SEE DETAIL F.
- RAISED CONCRETE PLANTERS, WITH SEATING 24"Wx18"H, 11"-0" OVERALL DIAMETER.
- PARKING AREA LIGHTING FIXTURE, POLE, AND BASE. SEE DETAIL J.
- REFUSE ENCLOSURE. SEE DETAIL G.
- CONCRETE WALK AS SHOWN.
- CONCRETE CURB AND GUTTER, TYPICAL AROUND ALL VEHICULAR TRAFFIC AND PARKING AREAS AS SHOWN. SEE DETAIL B.
- HANDICAPPED PARKING SIGN, MINIMUM 50% OF HC SPACES SHALL BE SIGNED FOR VAN PARKING. SEE DETAIL D.
- TWO COATS TRAFFIC PAINT. 4-INCH WIDE STRIPING (YELLOW ON CONCRETE, WHITE ON ASPHALT), AS SHOWN THROUGHOUT TRAFFIC/PARKING AREAS.
- HANDICAPPED PARKING SYMBOL PER COABQ STANDARD DETAIL 2426.
- ASPHALT PAVING PER GEOTECHNICAL REPORT.
- NEW FIRE HYDRANT WITH FIRE LINE EASEMENT AS REQUIRED, PER COABQ REQUIREMENTS AND WORK ORDERS.
- DIRECTIONAL ARROWS AND LANE STRIPING AS SHOWN
- PROJECT MONUMENT SIGN. SEE DETAIL I.
- TAN COLORED CONCRETE WALK AT BUILDING FRONT.
- RETAINING WALL AS REQUIRED, SEE DETAIL H.
- CONCRETE STORM WATER DRAINAGE GUTTER, SEE GRADING/DRAINAGE.
- PROPERTY LINE.
- INSTALL STANDARD COABQ STOP SIGN AND POST.
- 20-FT WIDE PUBLIC WATERLINE EASEMENT.



SITE DATA
 PROPERTY: TRACT 10A, PLAT OF EAGLE RANCH
 ZONING: SU-1 FOR C-1 WITH RESTRICTED USES
 LOT SIZE: 73,430 SF (1.69 ACRES)
 LAND USE: MEDICAL OFFICES

BUILDING AREA: 15,394 SF
 PARKING 15,394 / 200 = 77 SPACES REQUIRED
 85 SPACES SHOWN
 MAXIMUM PARKING: ORDINANCE MINIMUM PLUS 10% = 85 SPACES

ACCESSIBLE PARKING REQUIRED: 4 SPACES (1 VAN)
 ACCESSIBLE SPACES PROVIDED: 8

3 MOTORCYCLE PARKING SPACES REQUIRED AND PROVIDED
 6 BICYCLE RACK SPACES REQUIRED AND PROVIDED

GENERAL NOTES

- THERE ARE BICYCLE LANES WITHIN THE IRVING BLVD. R.O.W.
- SCREENING OF TRANSFORMERS, ELECTRICAL BOXES AND OTHER UTILITY STRUCTURES SHALL NOT IMPEDE ACCESS FOR SAFE REPAIR AND MAINTENANCE OF THE EQUIPMENT.

PROJECT NUMBER: 1001907

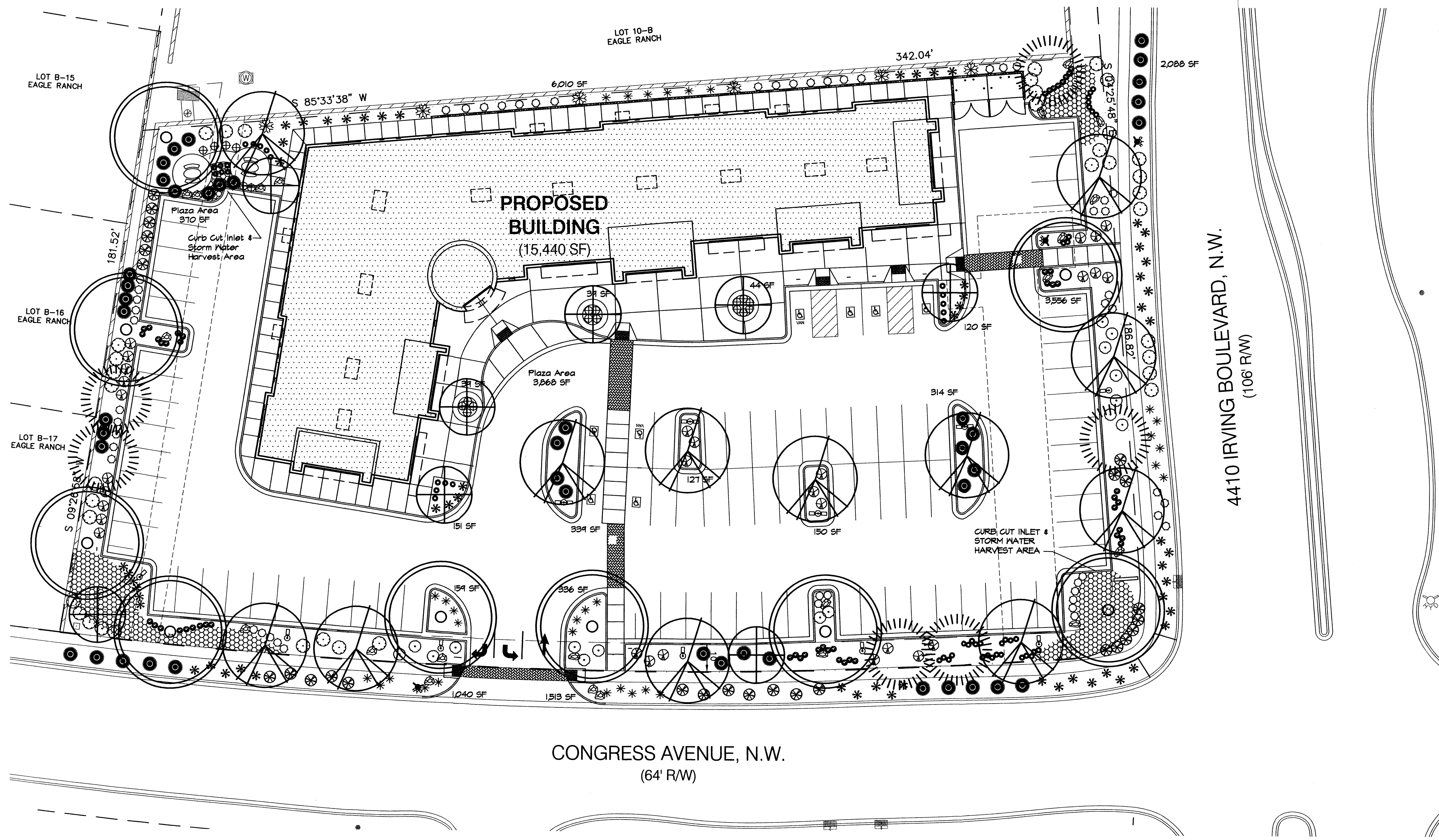
APPLICATION NUMBER: 08DRB-30309

THIS SITE PLAN FOR BUILDING PERMIT IS CONSISTENT WITH THE SITE PLAN FOR SUBDIVISION, APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION, SEPTEMBER 19, 2002, (PROJECT NUMBER: 1001907)

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i>	11/26/08
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	7-16-08
WATER UTILITY DEPARTMENT	DATE
<i>[Signature]</i>	7/16/08
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	7/16/08
CITY ENGINEER	DATE
N/A	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
<i>[Signature]</i>	7/21/08
SOLID WASTE MANAGEMENT	DATE
<i>[Signature]</i>	7-21-08
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



GENERAL NOTES

MULCHES
All shrub planting areas shall be top dressed with 1" Amaretto Brown Rock Mulch and 2" - 4" Santa Ana Tan Cobble.

IRRIGATION SYSTEM
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated drip irrigation system will be used to irrigate tree, shrub, and groundcover planting areas. Irrigation system design shall consider the ability to easily provide additional emitters for the expanding root zone.

MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and Irrigation system, including those areas within the public R.O.M., shall be the responsibility of the Owner.

STATEMENT OF WATER WASTE
Per the Water Conservation Landscaping and Water Waste Ordinance, the landscape plan for the West Side Medical Office Building is limited to using high water use turf over a maximum of 20 percent of the required landscape area. We are not providing any high water use turf on the West Side Medical Office landscape. All landscaping shall be in compliance with the Water Conservation Landscaping and Water Waste Ordinance.

STREET TREES
Street trees along Congress Avenue and Irving Blvd. have been provided at a average spacing of 30' o.c. Several varieties have been used to provide variety in color, texture, and form. Southern Live Oak (semi-evergreen) and Raywood Ash (deciduous) provide summer shade, reduce the heat-island effect but will also allow winter solar access. The Austrian Pine (evergreen) and Southern Live Oak provide buffers from adjacent residential housing (to the west) and winter interest in the landscape.

ROOT BARRIER
Root barriers shall be provided adjacent to the utility easement where drainage, gas or sewer lines are in close proximity to the Southern Live Oak.

LANDSCAPE COVERAGE
All landscape areas, including buffer strips adjacent to major streets, shall contain live vegetative material covering at least 75% of the area.

SCREENING
Screening of transformers, electric boxes and other utility structures shall not impede access to the equipment and shall provide for safe maintenance and repair by utility workers.

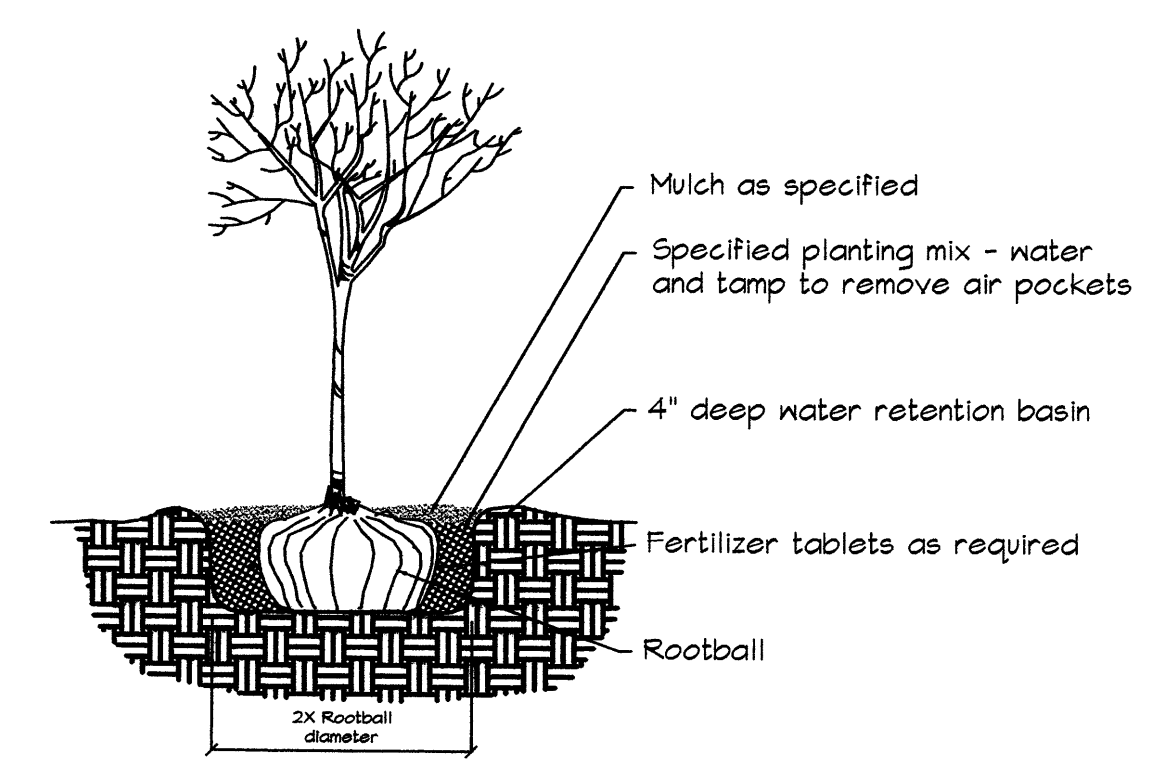
LANDSCAPE CALCULATIONS

Site Area: (1.69 AC.)	73,430 S.F.
Building Area:	- 15,440 S.F.
Total	57,990 S.F.
	- 11,705 S.F.
Impervious Area	46,285 S.F.
Required Landscape: (15%)	8,699 S.F.
Provided Landscape:	
On-site	11,754 S.F. (20%)
Off-Site	+ 4,641 S.F. (8%)
Total Provided:	16,395 S.F. (28%)

PLANT LEGEND

Qty.	Symbol	Common Name Scientific Name	Size	Installed Size Mature Size	Water Use
Trees					
4	○	Southern Live Oak <i>Quercus virginiana</i>	2" B&B	14' ht. x 4' spr. 35' ht. x 40' spr.	Medium
8	⊕	Western Redbud <i>Cercis occidentalis</i>	2" B&B	8' ht. x 4' spr. 20' ht. x 20' spr.	Medium
12	⊖	Raywood Ash <i>Fraxinus oxycarpa</i>	2" B&B	14' ht. x 5' spr. 35' ht. x 30' spr.	Low
6	⊙	Austrian Pine <i>Pinus nigra</i>	B&B	10' min. ht. 35' ht. x 25' spr.	Medium
Shrubs/Ornamental Grasses/Desert Accents/Ground Covers/Vines					
27	⊗	Scotch Broom <i>Cytisus scoparius</i>	5-Gal.	4' o.c. 4' ht. x 4' spr.	Low +
16	○	Blue Mist Spirea <i>Caryopteris clandonensis</i>	5-Gal.	4' o.c. 4' ht. x 4' spr.	Low
24	⊖	Cherry Sage <i>Salvia greggii</i>	5-Gal.	3' o.c. 3' ht. x 3' spr.	Low
30	*	Golden Flowered Agave <i>Agave chrysantha</i>	5-Gal.	3' o.c. 1' ht. x 3' spr.	Low
37	⊙	Zebra Grass <i>Miscanthus sinensis 'strictus'</i>	5-Gal.	5' o.c. 5' ht. x 5' spr.	Med
54	*	Little Bluestem <i>Schizachyrium scoparium</i>	1-Gal.	3' o.c. 2' ht. x 3' spr.	Low

Qty.	Symbol	Common Name Scientific Name	Size	Installed Size Mature Size	Water Use
20	⊕	Winecups <i>Callirhoe involucrata</i>	1-Gal.	3' o.c. 2' ht. x 3' spr.	Low
51	⊖	Gayfeather <i>Liatris spicata</i>	1-Gal.	2' o.c. 2' ht. x 2' spr.	Low +
52	○	Gvara <i>Gvara lindheimeri</i>	1-Gal.	3' o.c. 2' ht. x 3' spr.	Low
54	⊖	White Aster <i>Aster ericoides</i>	1-Gal.	3' o.c. 2' ht. x 3' spr.	Low +
37	⊙	Sugar Bush <i>Rhus ovata</i>	5-Gal.	5' o.c. 7' ht. x 5' spr.	Medium
6	⊙	Silkvine <i>Periplaca graeca</i>	5-Gal.	5' o.c. 20' spr.	Low+
Gravel/Boulders					
22	⊗	Moss Rock Boulders, 3' X 3' (min.)			
14,414 SF	□	Gravel Mulch Mixture (On & Off Site Landscape Areas)			
1,821 SF	⊗	Cobble Mulch (On & Off Site Landscape Areas)			



1 TREE PLANTING DETAIL nts

WEST SIDE MEDICAL OFFICE BUILDING LANDSCAPE PLAN

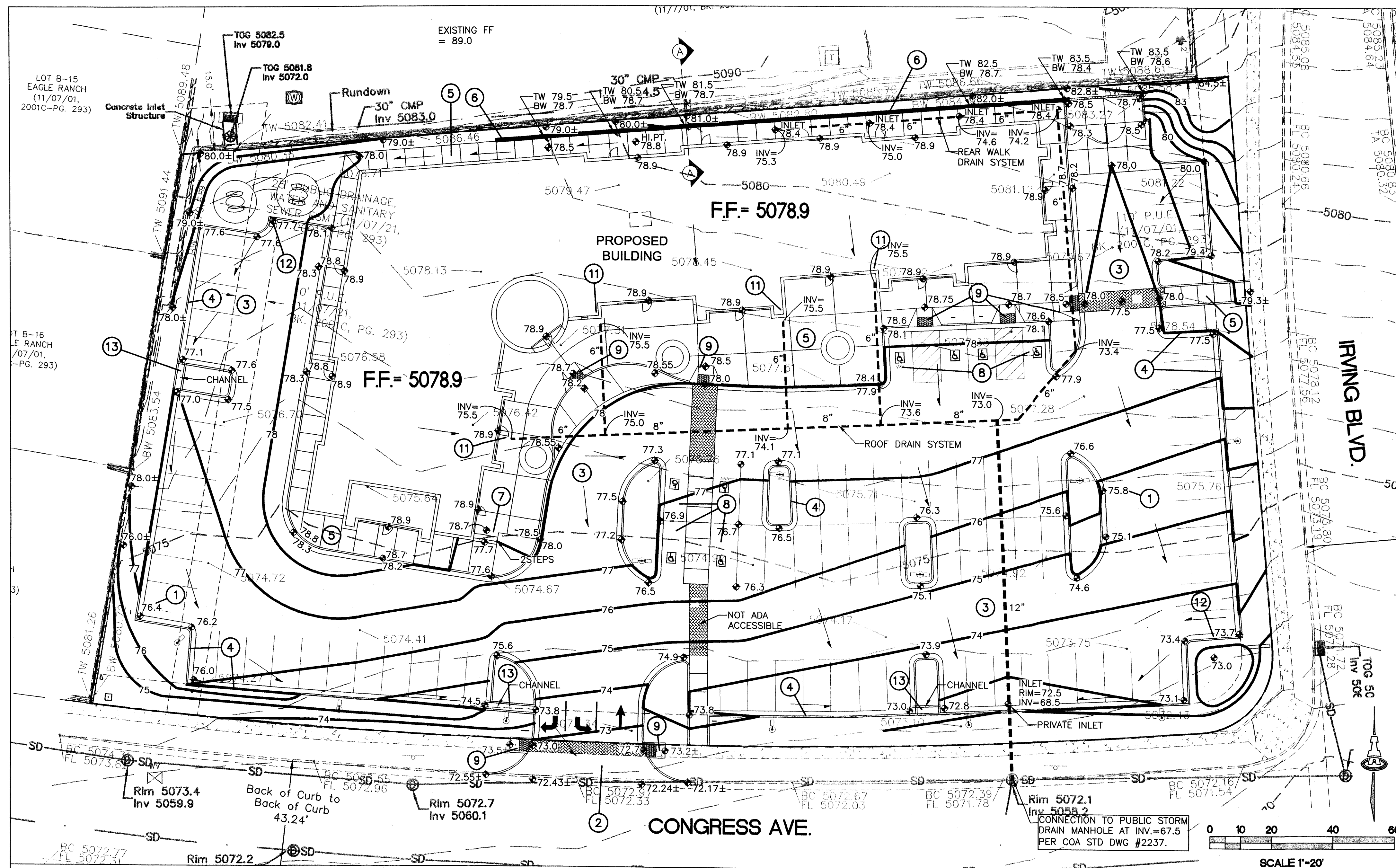
Prepared for:
MeD West 2008 LLC.
2929 Coors Blvd. NW Ste. 202
Albuquerque, NM 87120

Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102

JUNE 2008 Scale: 1" = 20'

CONSENSUS PLANNING

Sheet 2 of 6



PROJECT DATA

PROPERTY: THE SITE IS A 1.69 ACRE UNDEVELOPED SU-1 (FOR C-1 WITH RESTRICTED USES) PROPERTY LOCATED WITHIN C.O.A. VICINITY MAP B-13. THE SITE IS BOUND TO THE EAST BY IRVING BLVD., TO THE WEST BY DEVELOPED RESIDENTIAL, TO THE NORTH BY DEVELOPED COMMERCIAL AND TO THE SOUTH BY CONGRESS AVE.

PROPOSED IMPROVEMENTS: THE PROPOSED IMPROVEMENTS INCLUDE APPROX. 15,440 SF MEDICAL OFFICE BUILDING WITH ASSOCIATED ASPHALT PAVED ACCESS, PARKING, AND LANDSCAPING.

LEGAL: TRACT 10-A, PLAT OF EAGLE RANCH, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

ADDRESS: 4401 IRVING BLVD. N.W. - 87114

BENCHMARK: ACS MONUMENT "6-212" HAVING AN ELEVATION OF 5200.744 (NAVD 1988).

OFF-SITE: PER SAD 226, THE PROPERTY TO THE NORTH DRAINS TO AN EXISTING DOUBLE "D" CATCH BASIN AT ITS SOUTHWEST CORNER. THIS FLOW (APPROX. 9.4 CFS) THEN PASSES TO AN EXISTING 36" DIA. SQUASH PIPE TO BE ROUTED SOUTH WITHIN AN EXISTING PUBLIC STORM DRAIN EASEMENT TO THE CONGRESS AVENUE PUBLIC STORM DRAIN SYSTEM. NO SURFACE OFF-SITE FLOOD AFFECTS THIS PROPERTY.

FLOOD HAZARD: PER BERNALILLO COUNTY FIRM MAP #108, THE SITE IS LOCATED WITHIN FLOODZONE 'X' DESIGNATED AS AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN.

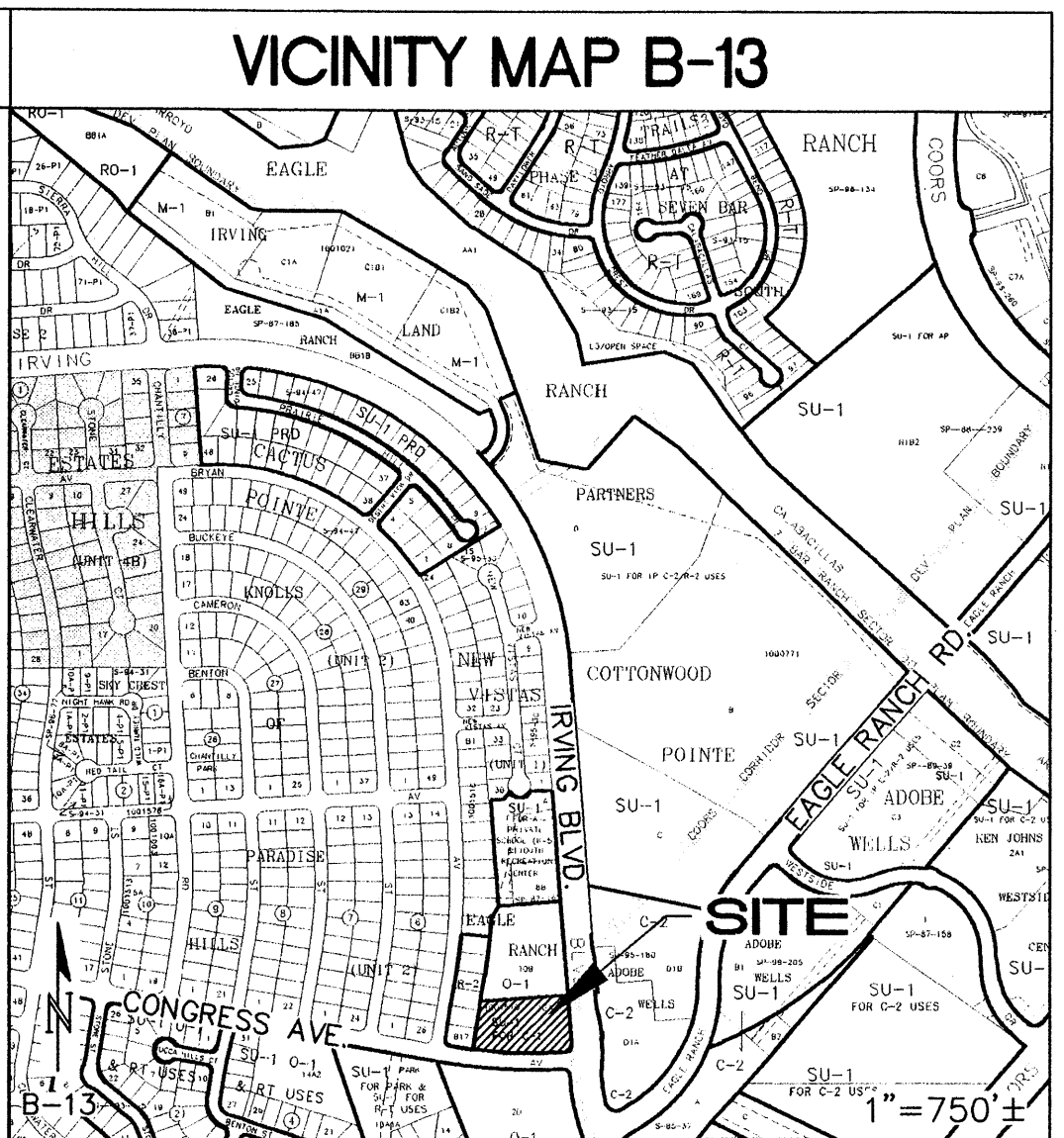
DRAINAGE PLAN CONCEPT:

THIS SITE WAS INCLUDED AS PART OF SSD 226 AND WAS ORIGINALLY PLANNED FOR MULTI-FAMILY RESIDENTIAL. PER SAD 226, THE CALCULATED SITE DISCHARGE WAS BASED ON LAND TREATMENTS OF 10% B, 10% C AND 80% D FOR A TOTAL ALLOWABLE DISCHARGE OF 6.7 CFS.

THE F.F. ELEVATION OF 5078.9 FOR THE PROPOSED BUILDING IS BASED ON AN 8% PAVEMENT SLOPE FROM THE EXISTING CONGRESS BLVD. FLOWLINE TO THE BUILDING.

A SECOND RETAINING WALL (DESIGN BY OTHERS) ALONG THE NORTH AND EAST PROPERTY LINES WILL BE REQUIRED (FROM 1' TO 5' HIGH) TO ACHIEVE THE REQUIRED GRADE DIFFERENCES.

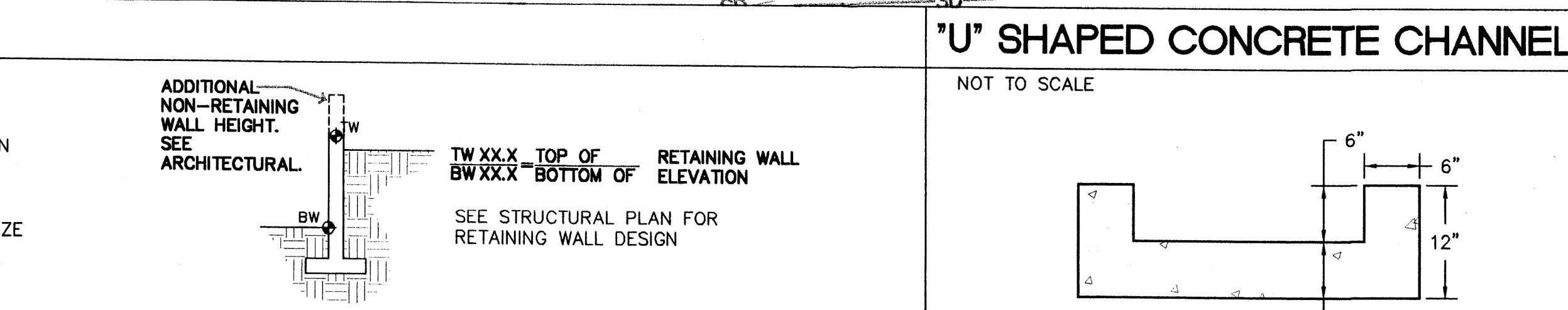
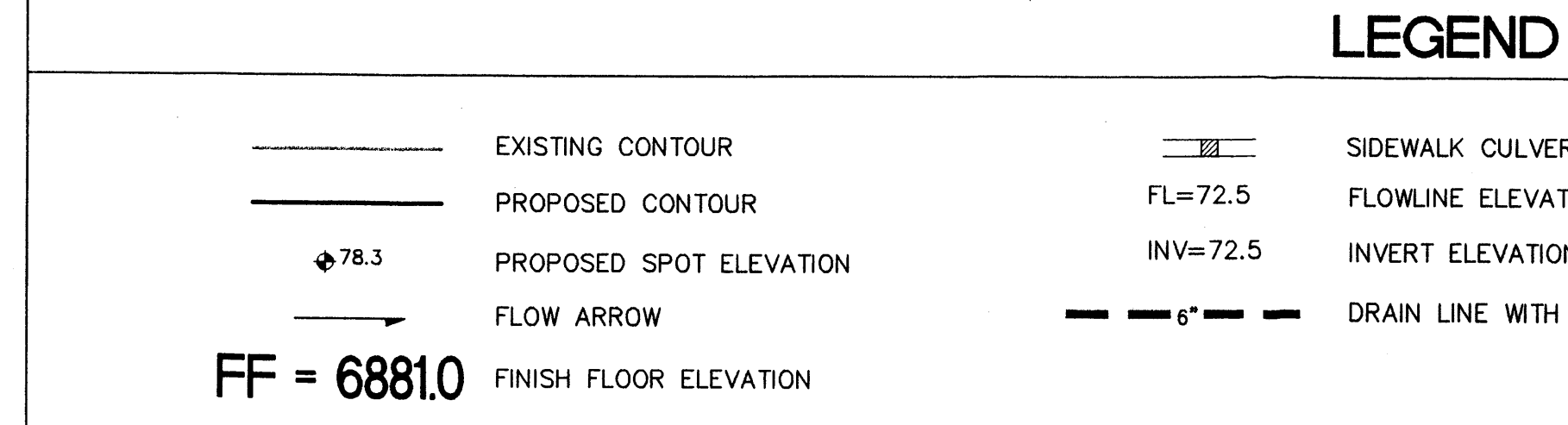
ALL SITE DISCHARGE WILL FREE DISCHARGE AS FOLLOWS: APPROXIMATE 30% WILL DRAIN OUT THE PROPOSED ACCESS DRIVE TO TRAVEL A SHORT DISTANCE EAST TO ENTER THE EXISTING STORM DRAIN SYSTEM. THE REMAINING 70% WILL BE CAPTURED IN A PRIVATE STORM DRAIN SYSTEM AND DISCHARGED DIRECTLY INTO AN EXISTING STORM DRAIN MH AS SHOWN.



GENERAL NOTES

- COORDINATE WORK WITH SITE PLAN, UTILITY PLAN, AND LANDSCAPING PLAN.
- ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF OFFSITE.
- ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SUBGRADE AND DETERMINE EARTHWORK ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- MAXIMUM SLOPES SHALL BE 3:1. MINIMUM SLOPES SHALL BE 1% UNLESS OTHERWISE NOTED.
- EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT EXIST WHERE SHOWN OR NOT SHOWN. ALL UTILITIES SHOULD BE FIELD VERIFIED AND LOCATED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- THE ENVIRONMENTAL PROTECTION AGENCY AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES (INCLUDING OTHER LAND-DISTURBING ACTIVITIES) DISTURB ONE ACRE OR MORE (BY OTHERS). A SWPPP MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING OR BUILDING PERMIT. THE SWPPP MUST BE IN PDF OR MS WORD FORMAT ON A CD.
- ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
- ALL NEW PAVEMENT SURFACES SHALL BE CONSTRUCTED WITH POSITIVE SLOPE AWAY FROM BUILDINGS AND POSITIVE SLOPE TOWARD EXISTING AND/OR PROPOSED DRAINAGE PATHS. WHERE NEW GRADES ARE SHOWN AS 'MATCH' OR '±', TRANSITIONS SHALL BE SMOOTH AND LEVEL.
- ALL FRACTURED FACE ROCK (F.F. ROCK) TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 50 NON-WOVEN GEOTEXTILE (O.E.). NOTE: PERMANENT TURF REINFORCEMENT MATERIAL (LANDLOK TRM 450 O.E.) MAY BE SUBSTITUTED AT ALL AREAS REFERENCING F.F. ROCK EROSION PROTECTION.
- SIDESLOPES STEEPER THAN 3:1 BUT LESS THAN 2:1 MUST HAVE PERMANENT EROSION CONTROL (F.F. ROCK OR LANDLOK TRM 450 O.E.) INSTALLED, TYPICAL. NO SLOPE SHALL BE STEEPER THAN 2:1.
- OWNER SHALL MAINTAIN EROSION PROTECTION ELEMENTS. OWNER SHALL INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

- ### KEYED NOTES
- SPOT ELEVATION TEXT WITHIN FLOWLINE AREA REPRESENT FLOWLINE UNLESS NOTED. ADD 0.5' TYPICAL FOR TOP OF CURB / TOP OF ADJACENT WALK ELEVATIONS.
 - SITE ACCESS - CONSTRUCT TO ELEVATIONS SHOWN. SAWCUT EXISTING ASPHALT TO PROVIDE SMOOTH BONDING EDGE. MATCH EXISTING INFRASTRUCTURE.
 - CONSTRUCT ASPHALT PAVING AT ELEVATIONS SHOWN.
 - CONSTRUCT MEDIAN CURB AND GUTTER AT ALL CURB LOCATIONS UNLESS NOTED.
 - CONSTRUCT CONCRETE WALK AT ELEVATIONS SHOWN.
 - CONSTRUCT RETAINING WALL - STRUCTURAL DESIGN BY OTHERS.
 - STEP(S) IN CONCRETE WALK. SEE ARCHITECTURAL.
 - SLOPES WITHIN HANDICAP PARKING AREA TO MEET ADA REQUIREMENTS. MAX. SLOPE = 2% IN ANY DIRECTION.
 - CONSTRUCT HANDICAP ACCESS RAMP TO ADA STANDARDS.
 - NOT USED.
 - ROOF DISCHARGE TO BE PIPED TO A PROPOSED PRIVATE STORM DRAIN SYSTEM. SEE ARCHITECTURAL FOR ADDITIONAL INFORMATION.
 - PROVIDE 1' WIDE OPENING IN CURB TO PASS FLOW TO / FROM DEPRESSIONED LANDSCAPING AREA.
 - CONSTRUCT 2' WIDE "U" SHAPED CONCRETE CHANNEL AT FL ELEVATIONS SHOWN. SEE DETAIL THIS SHEET.
 - INSTALL 6" DIA. INLINE DRAIN WITH DOMED GRATE (RIM=06.7) AND 4" OUTLET PIPE IN LANDSCAPING. EXTEND 4" DIA. DRAIN LINE THROUGH CURB PER C.O.A. STD. DWG. 2235

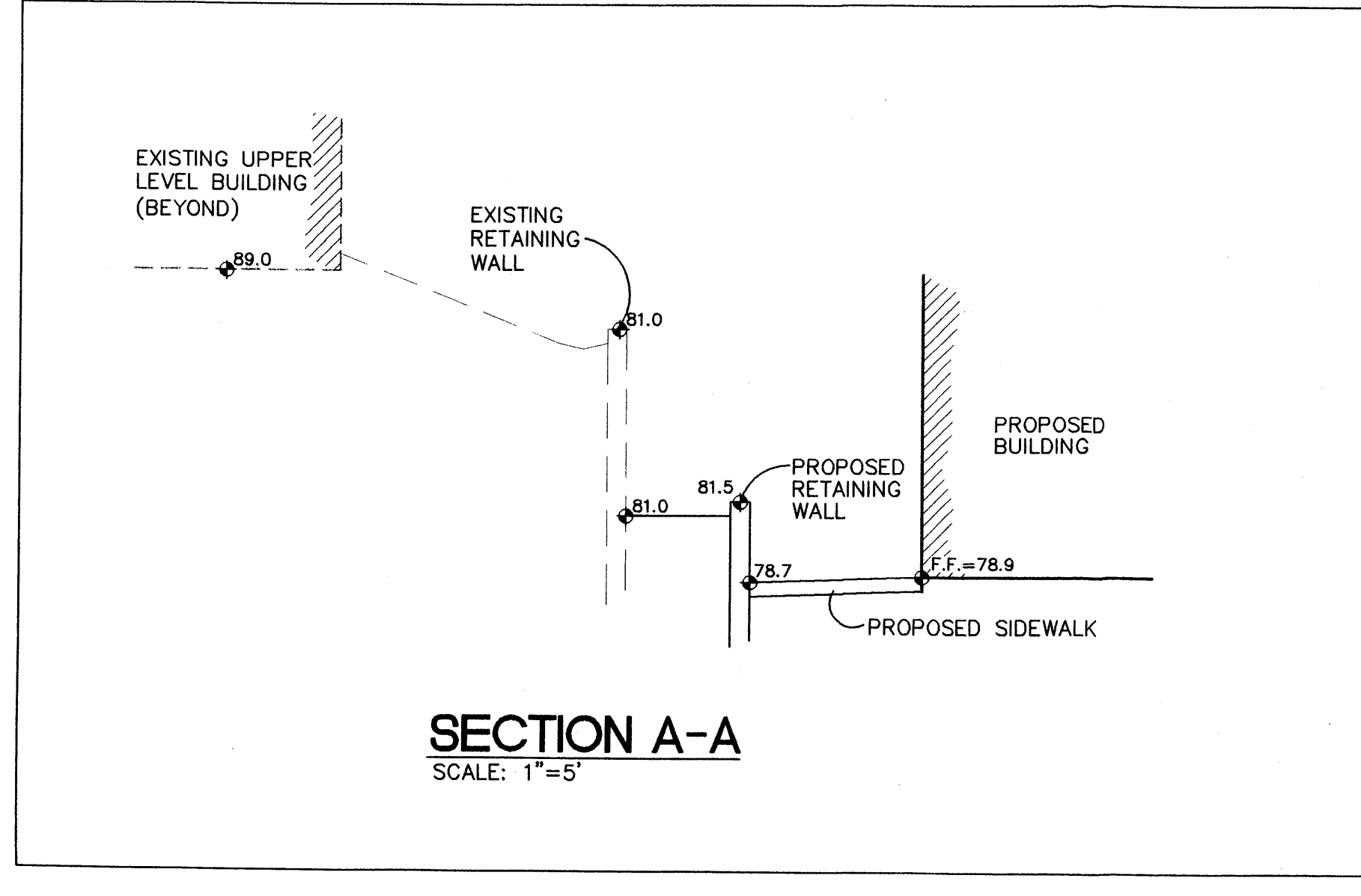


DRAINAGE CALCULATIONS

CALCULATIONS: 1659 - WEST SIDE MEDICAL OFFICE : April 23, 2008
Based on Drainage Design Criteria for City of Albuquerque Section 22.2, DPM, Vol 2, dated Jan., 1993

ON-SITE			
AREA OF SITE:	73429 SF	= 1.69 Ac.	
ALLOWABLE DISCHARGE			
On-Site Historic Land Condition	DEVELOPED FLOWS:	EXCESS PRECIP:	
Area a = 0 SF	Area a = 0 SF	Ea = 0.44	
Area b = 7343 SF	Area b = 3671 SF	Eb = 0.67	
Area c = 7343 SF	Area c = 7343 SF	Ec = 0.99	
Area d = 58743 SF	Area d = 62415 SF	Ed = 1.97	
Total Area = 73429 SF	Total Area = 73429 SF		
On-Site Weighted Excess Precipitation (100-Year, 6-Hour Storm)			
Weighted E =	$EaAa + EbAb + EcAc + EdAd$		
E	= 1.74 in.	Developed E = 1.81 in.	
On-Site Volume of Runoff: V360 = $E \cdot A / 12$			
V360	= 10659 CF	Developed V360 = 11057 CF	
On-Site Peak Discharge Rate: $Qp = QpaAa + QpbAb + QpcAc + QpdAd / 43,560$			
For Precipitation Zone 1			
Qpa	= 1.29	Qpc	= 2.87
Qpb	= 2.03	Qpd	= 4.37
Qp	= 6.7 CFS	Developed Qp	= 6.9 CFS

- ### S.O.19 : NOTICE TO CONTRACTORS
- AN EXCAVATION / CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY.
 - ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #7 AMENDMENT 1.
 - TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT NEW MEXICO ONE CALL SYSTEM (260-1990) FOR LOCATION OF EXISTING UTILITIES.
 - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 - BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC / STREET USE.
 - MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 - WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
- | APPROVAL | NAME | DATE |
|-----------|------|------|
| INSPECTOR | | |



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Consulting Engineering Associates
128 Monroe Street N.E.
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Ph. 505-268-8828 Fax. 505-268-2632
1659 CG-101.dwg Jul 07, 2008

WEST SIDE MEDICAL OFFICE

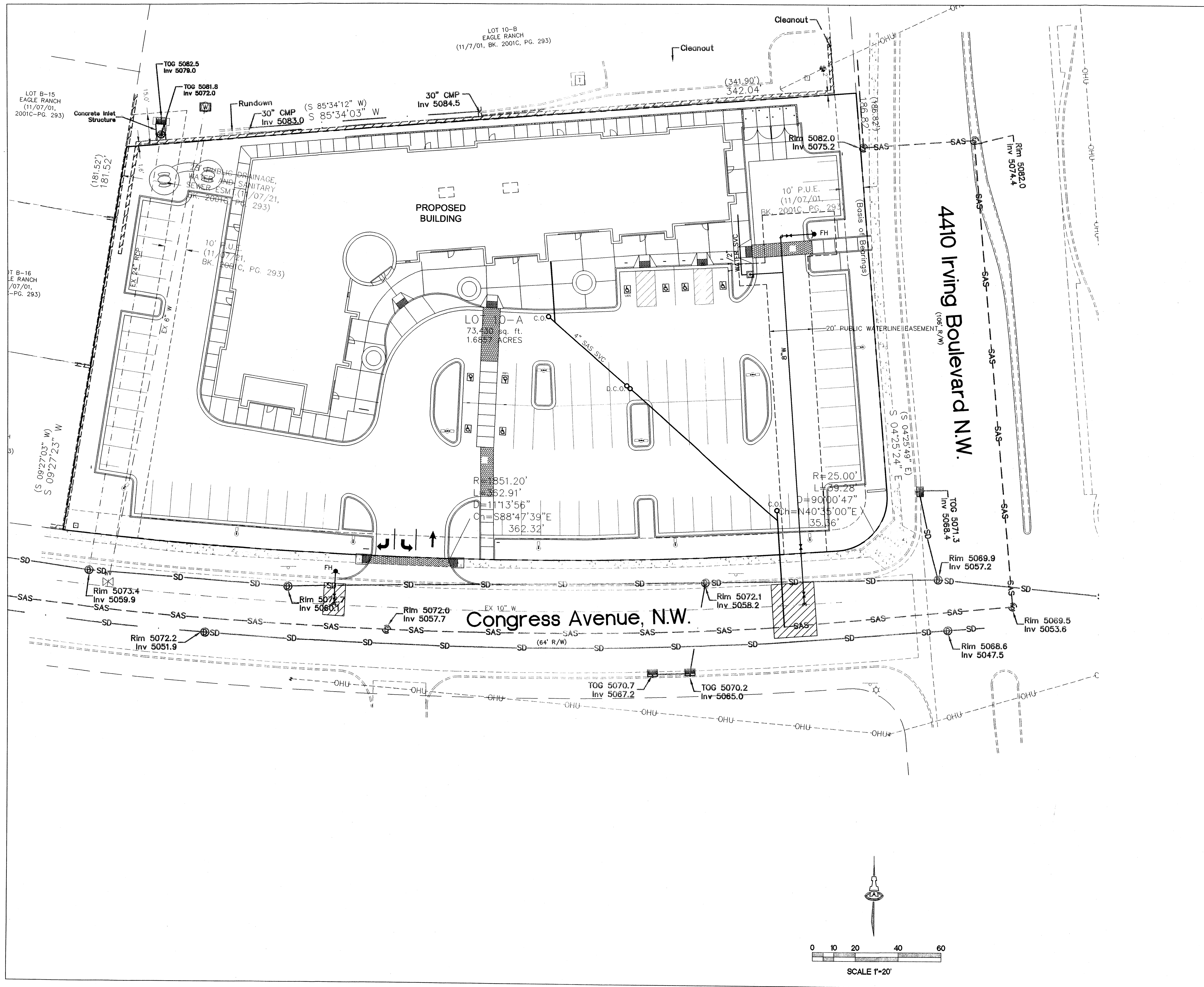
4401 IRVING BLVD. NW

GRADING AND DRAINAGE PLAN

Date:	No.	Revised	Date	Job No.
4-22-08				1659

Drawn By: BJB
Checked By: FCA

CG-101
SH. 3 OF 6



KEYED NOTES

-

LEGEND

- PROPOSED WATERLINE
- PROPOSED FIRE HYDRANT
- PROPOSED WATER METER
- PROPOSED SANITARY SEWER
- PROPOSED SAS CLEANOUT
- EXISTING SANITARY SEWER
- EXISTING WATERLINE
- EXISTING STORM DRAIN
- SAWCUT, REMOVE & REPLACE W/ 2" ADDITIONAL THICKNESS PER COA STD DWG #2465 (LOCAL).

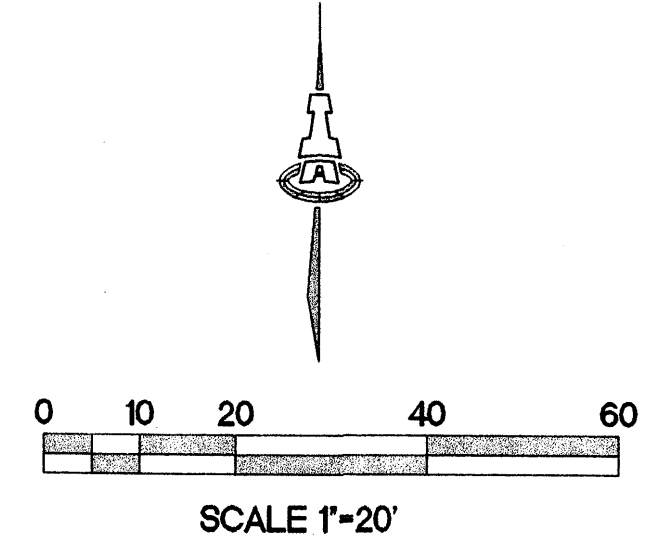
ISAACSON & ARFMAN, P.A.
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 1659 CU-101.dwg Jun 27, 2008

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WEST SIDE MEDICAL OFFICE
4410 IRVING BLVD. NW

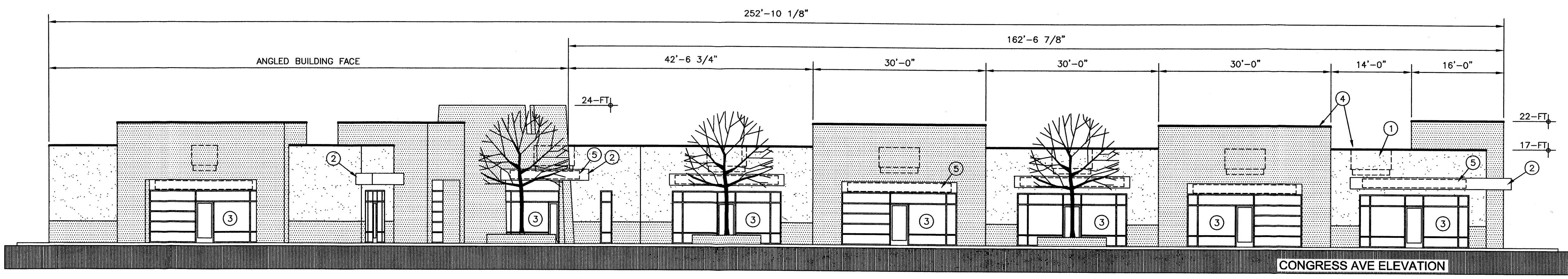
CONCEPTUAL UTILITY PLAN

Date:	No.	Revision	Date	Job No.
4-22-08				1659
Drawn By:				CU-101
Drawn By:				
Ckd By:				SH. 4 OF 6
Ckd By:				



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CONSULTANT



CONGRESS AVE ELEVATION

BUILDING MOUNTED SIGNAGE

----- PROPOSED LOCATIONS
 BUILDING MOUNTED SIGNAGE SHALL COMPLY WITH THE "SITE DEVELOPMENT PLAN FOR SUBDIVISION"; SHALL BE INDIVIDUAL CHANNELIZED LETTERS, NEON, (OR A COMBINATION OF CHANNEL WITH NEON), OR LETTERS AFFIXED TO STOREFRONT WINDOWS. LETTERS SHALL NOT TO EXCEED 36" IN HEIGHT. TOTAL AREA OF ALL INDIVIDUAL TENANT SIGNS SHALL NOT EXCEED 6% OF THE FACADE AREA ON WHICH THEY OCCUR.

NOTE: STOREFRONT WINDOWS AND DOORS, AS SHOWN, ARE ILLUSTRATIVE AND INTENDED TO SHOW THE GENERAL DESIGN INTENT. THE ACTUAL LOCATIONS, CONFIGURATIONS, AND SIZES MAY VARY WITH INDIVIDUAL TENANT REQUIREMENTS.

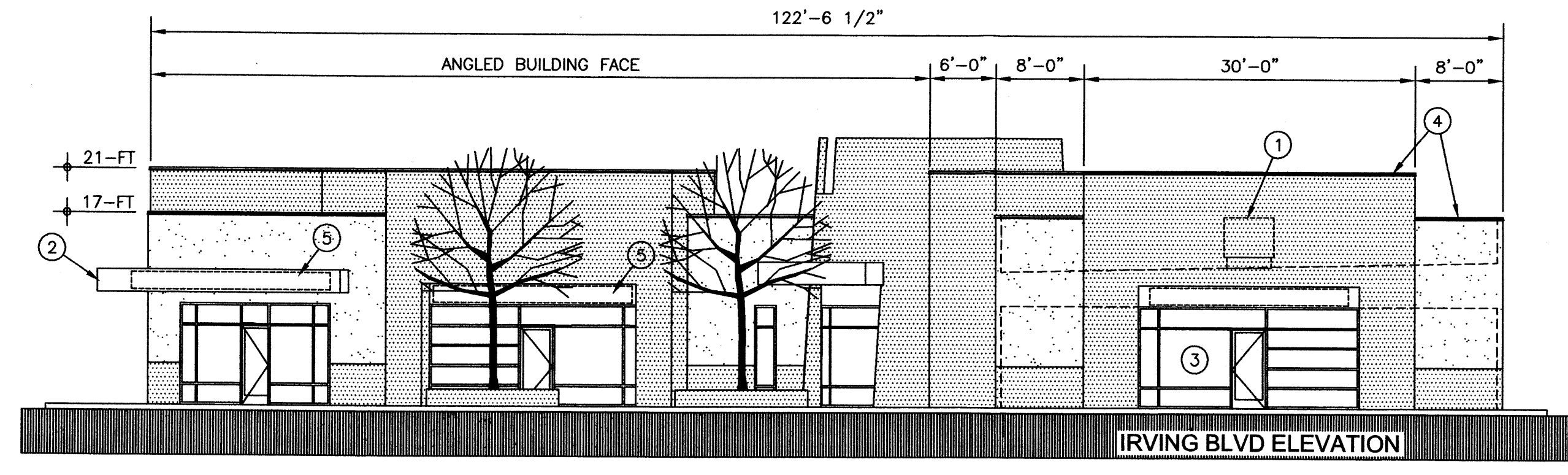
BUILDING FINISH MATERIALS AND COLORS

DOORS AND WINDOWS SHALL BE CLEAR ANODIZED ALUMINUM WITH CLEAR INSULATING GLASS
 PARAPET COPINGS SHALL BE CLEAR ANODIZED ALUMINUM TO MATCH STOREFRONT FRAMES.

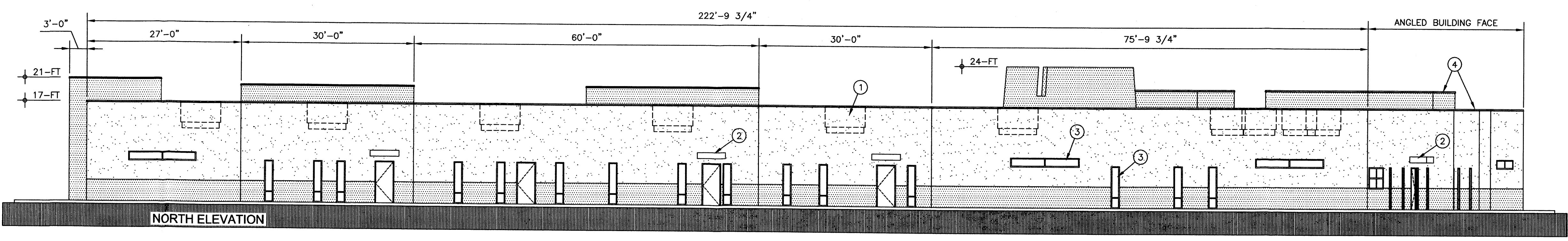
- STUCCO 1 COLOR: TAN
- STUCCO 2 COLOR: BROWN
- CANTILEVER PROJECTIONS AT TENANT ENTRANCES: ALUMINUM PANELS TO MATCH STOREFRONT DOOR AND WINDOW FRAMES.

KEYED NOTES

1. ROOF TOP MECHANICAL UNITS. TOP OF UNITS SHALL NOT EXCEED THE TOP OF PARAPET.
2. CANTILEVERED TENANT ENTRANCE CANOPY, FINISH TO MATCH ALUMINUM STOREFRONT FRAMES.
3. TENANT STOREFRONT.
4. CLEAR ANODIZED ALUMINUM COPING, TYPICAL.
5. PROPOSED TENANT SIGNAGE.

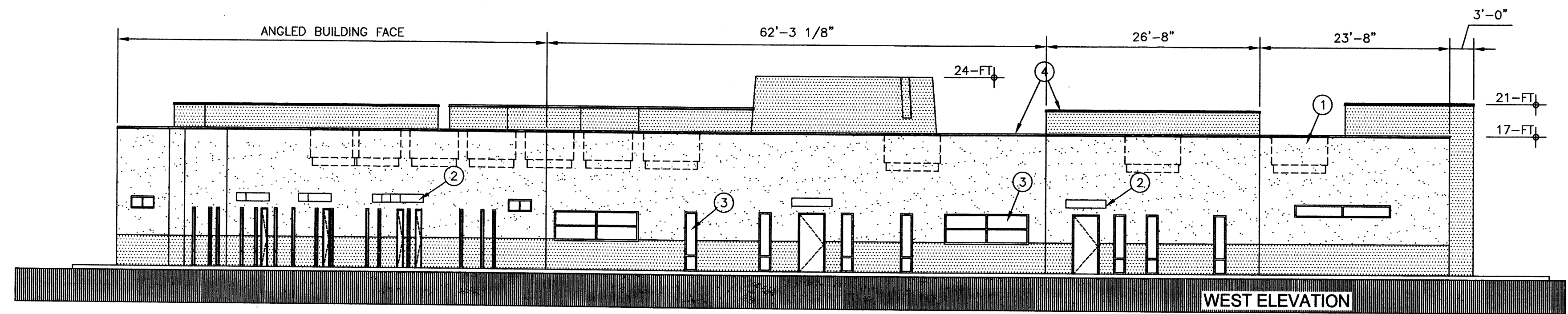


IRVING BLVD ELEVATION



NORTH ELEVATION

NOTE: ALL DIMENSIONS AND MATERIALS ON ALL ELEVATIONS ARE THE SAME UNLESS NOTED OTHERWISE.



WEST ELEVATION

SCALE: 3/32" = 1'-0"

PROJECT
WEST SIDE MEDICAL OFFICE BUILDING SHELL WITH TI FOR UROLOGY ASSOC

PROJECT ADDRESS
 4410 IRVING BLVD NW
 ALBUQUERQUE, NM
 87114

MARK	DATE	DESCRIPTION

PROJECT NO:
 COPYRIGHT AKT ARCHITECTS, LLC
 SHEET TITLE

BUILDING ELEVATIONS

CONSULTANT

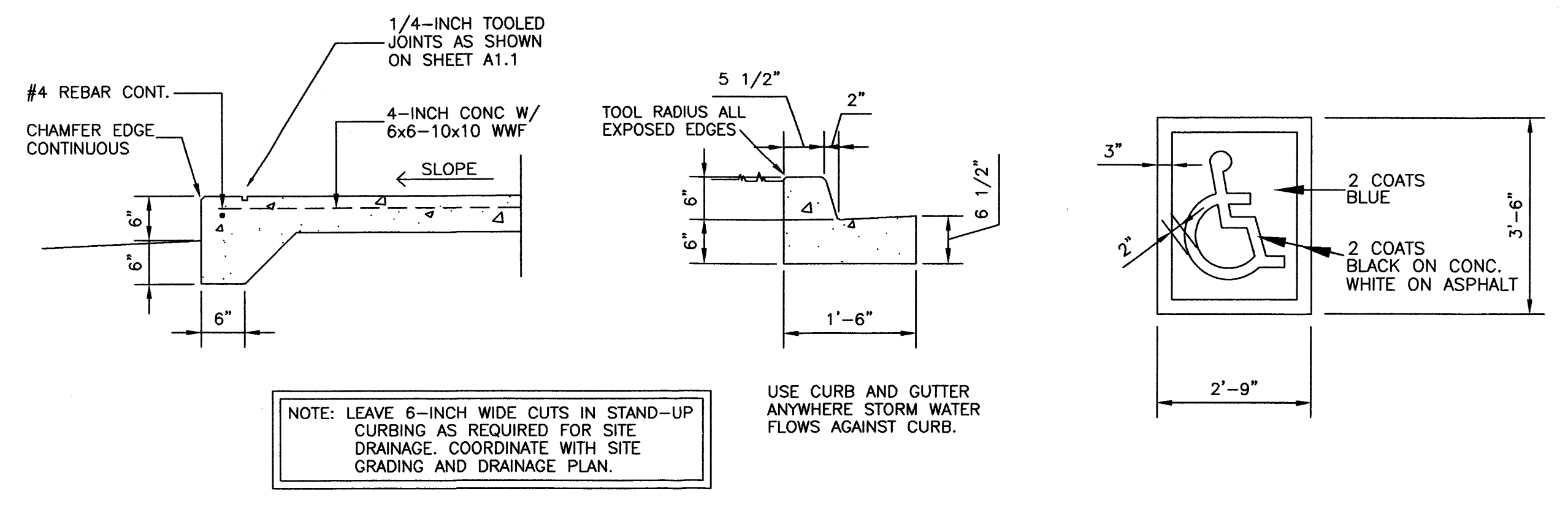
PROJECT
WEST SIDE MEDICAL OFFICE BUILDING SHELL WITH TI FOR UROLOGY ASSOC

PROJECT ADDRESS
4410 IRVING BLVD NW ALBUQUERQUE, NM 87114

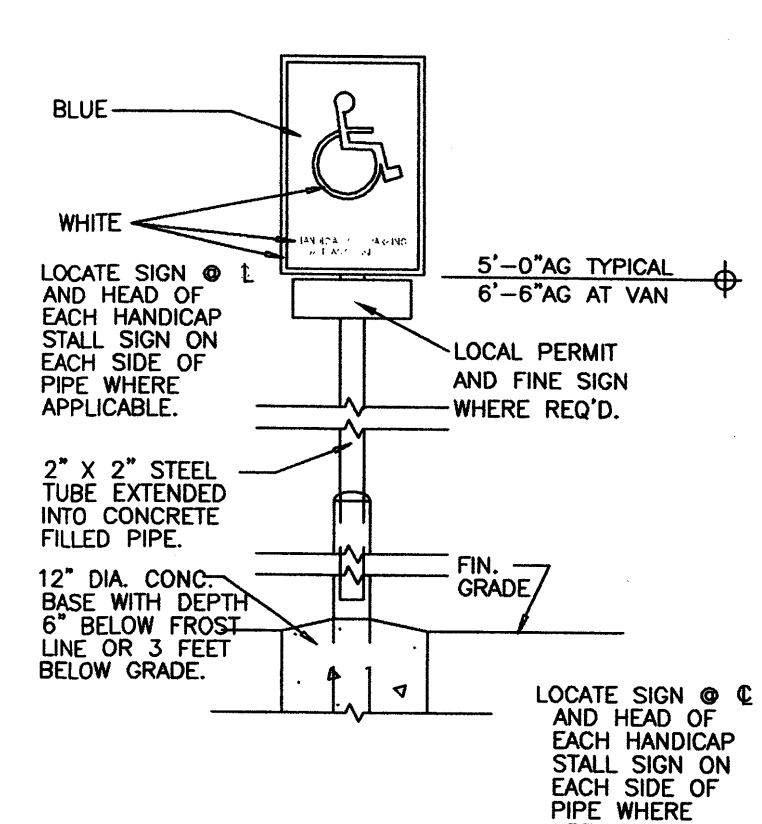
MARK	DATE	DESCRIPTION
ISSUE DATE:	JUNE 30, 2008	

PROJECT NO:
 COPYRIGHT AKT ARCHITECTS, LLC
 SHEET TITLE

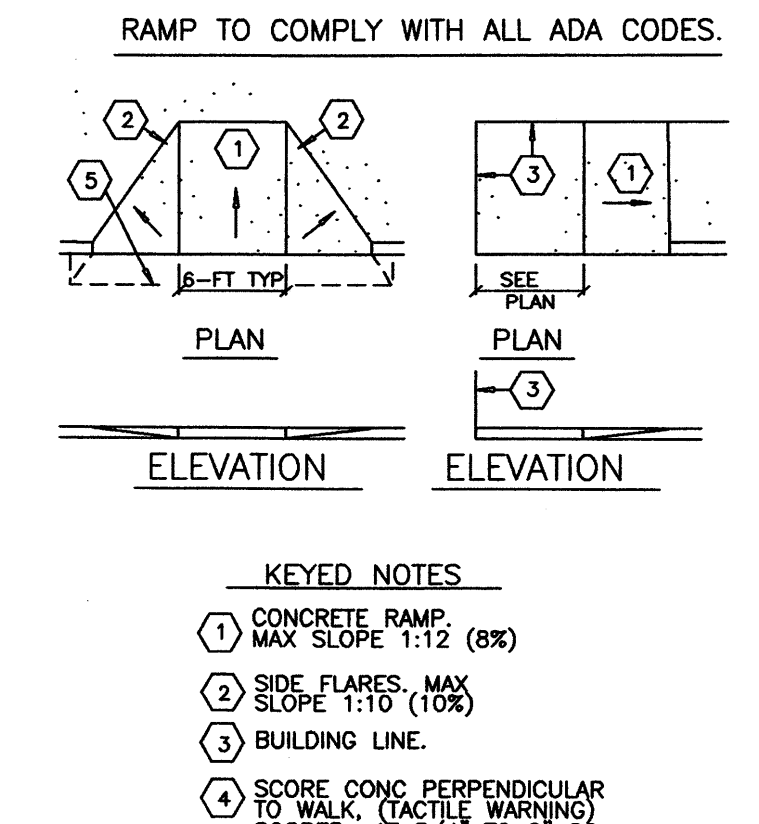
SITE DETAILS



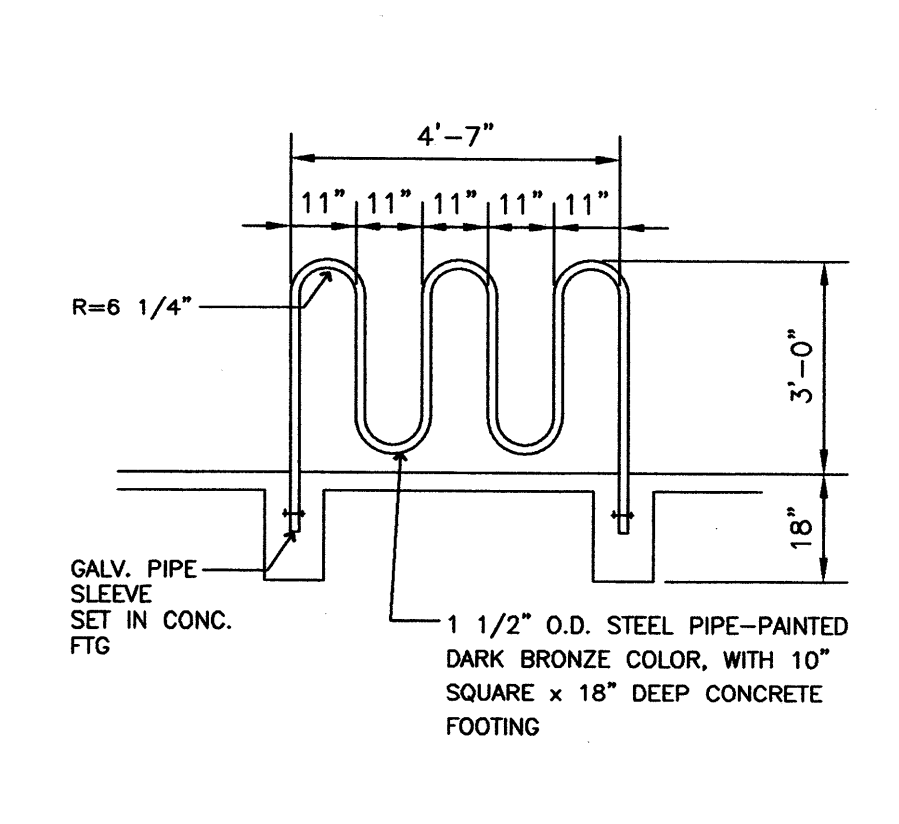
A CURB AT WALK **B STAND-UP CURB** **C HANDICAP PAINT STRIPING**



D HANDICAP PARKING SIGN

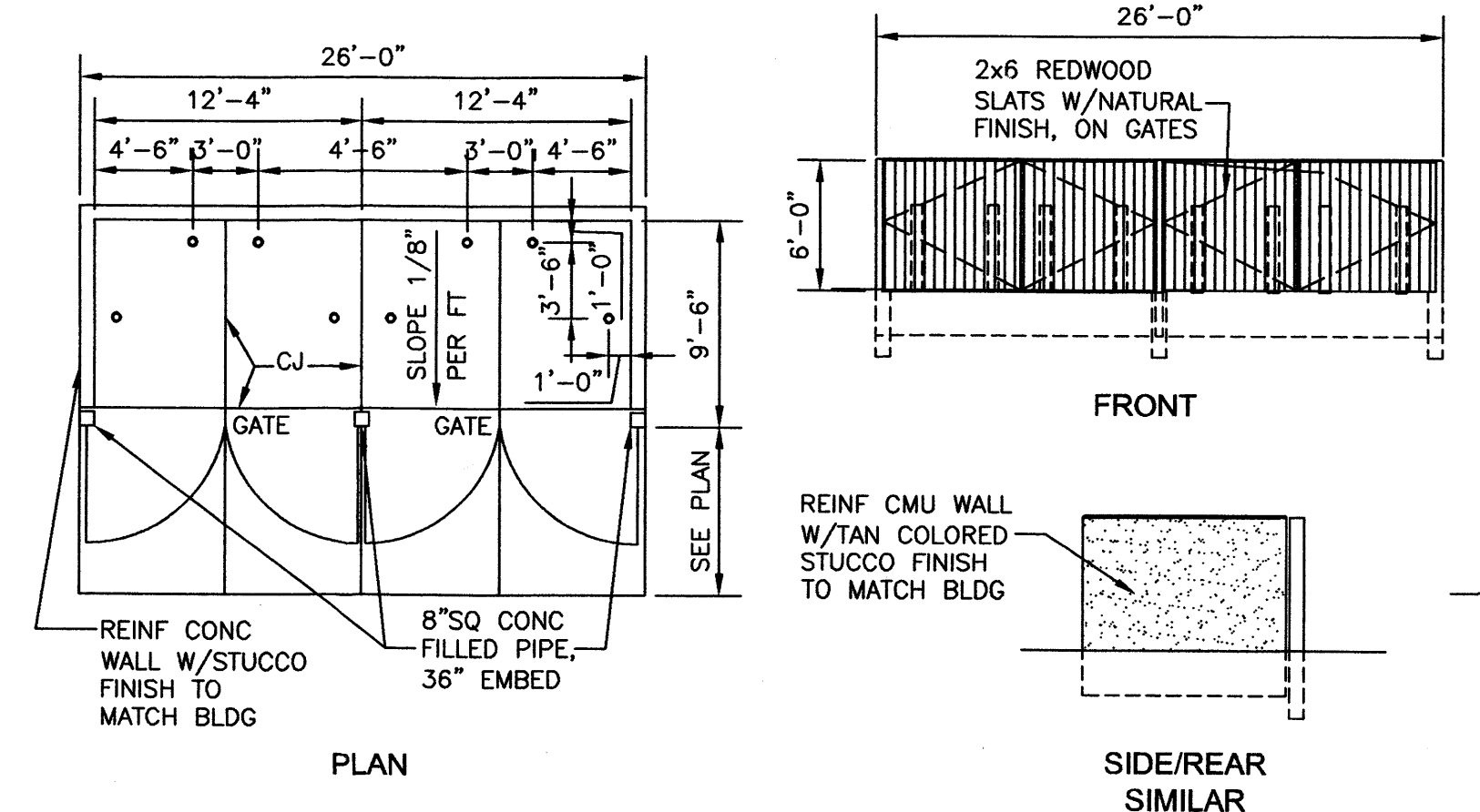


E HANDICAPPED RAMP

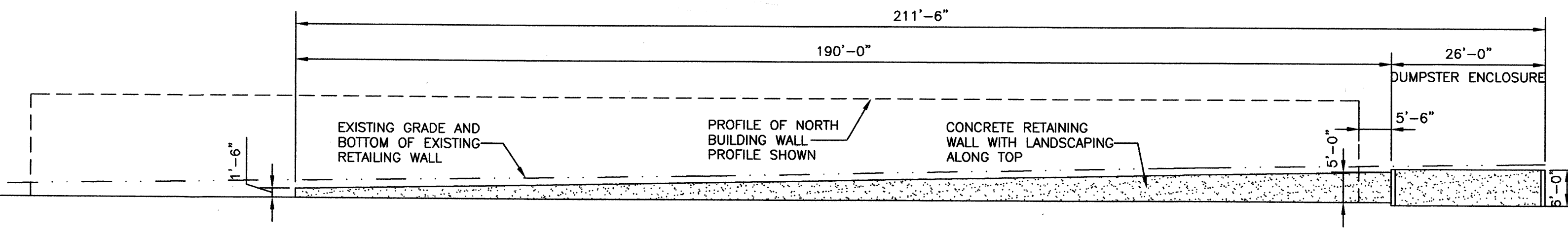


F BIKE RACK DETAIL

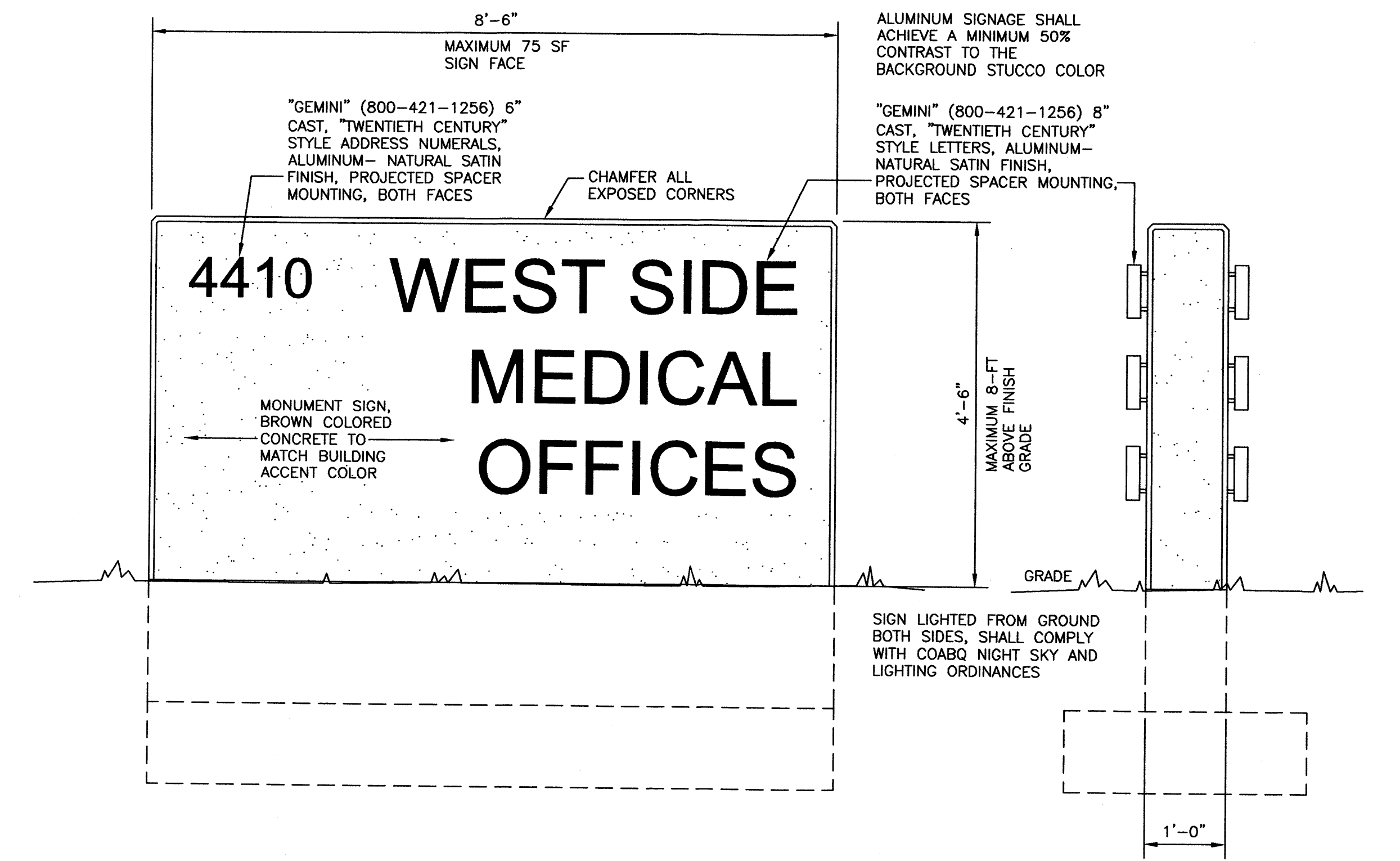
- GENERAL NOTES:**
- EXTERIOR FINISH ON CMU
 - TAN STUCCO TO MATCH BUILDING
 - INTERIOR PAINT ON CMU
 - STAIN CMU TO MATCH BUILDING.
 - PAINT ON STEEL:
 - TWO COATS DTM ACRYLIC SEMI GLOSS, OVER ONE COAT SELF PRIMER. COLOR: DARK BRONZE
 - REDWOOD GATE FINISH:
 - 2-COATS CLEAR SEALER FINISH
 - CONCRETE:
 - PAD SHALL BE A MIN. OF 3,000 P.S.I., AIR ENTRAINED CONCRETE 6" THICK WITH #3 BARS @ 16" O.C. EACH WAY. SURFACE TO RECEIVE BROOM FINISH. ONE SEAL COAT AND SHALL BE LEVEL EXCEPT FOR WASH (1.5 PERCENT MAX).



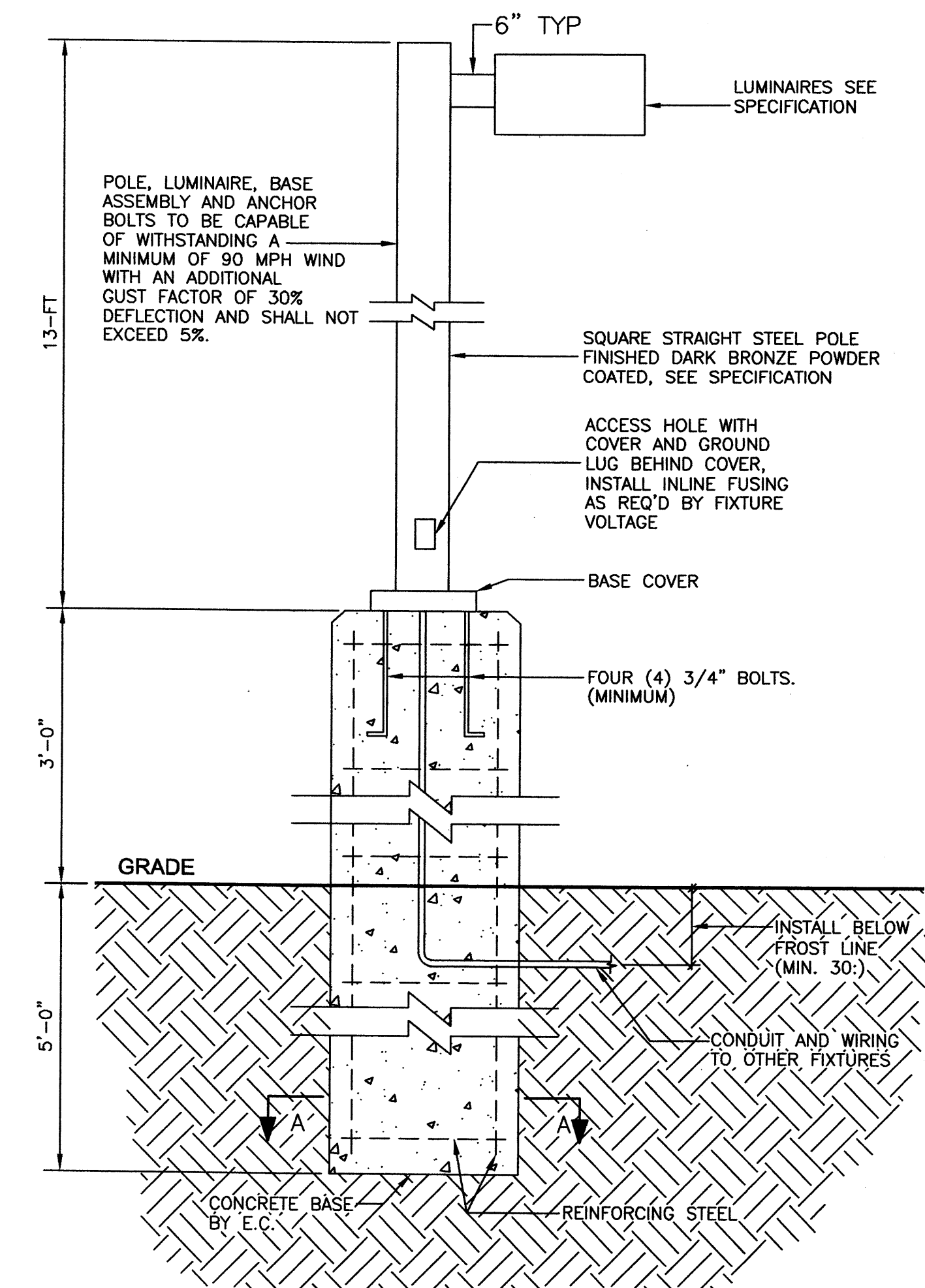
G DUMPSTER ENCLOSURE PLAN AND ELEVATIONS



H ELEVATION OF RETAINING WALL ALONG NORTH SIDE OF SITE

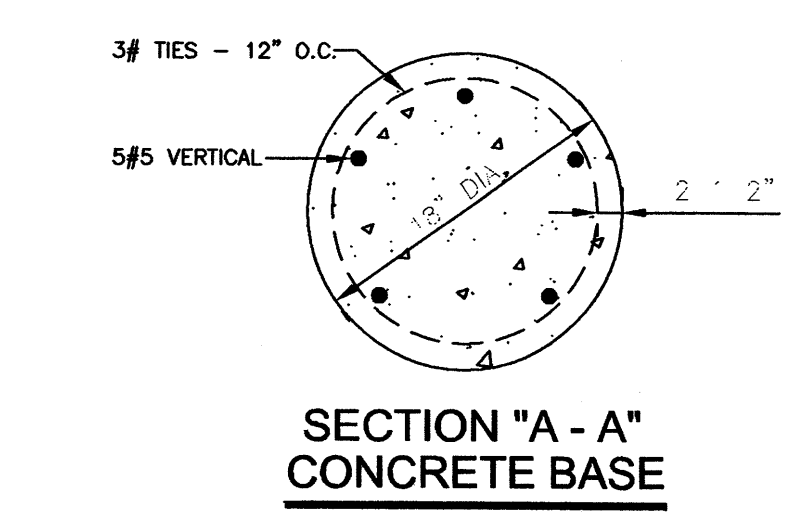


I MONUMENT SIGN



FIXTURE AND POLE SPECIFICATIONS

- FIXTURES SHALL COMPLY WITH NIGHT SKY AND ALL ORDINANCES. CONTRACTOR SHALL FURNISH AND INSTALL INLINE FUSING AT THE POLE ACCESS HOLE AS REQUIRED BY FIXTURE VOLTAGE.
- THE TWO FIXTURES AT EAST SIDE OF SITE: McGRAW EDISON #CAL-250MH-120V-PE-4F-BZ-L-HS WITH TYPE 3-S DISTRIBUTION AND HOUSE SHIELD ON PROPERTY LINE SIDE OF THE FIXTURE.
 - MOUNT FIXTURES ON 13-FT POLE #SSS4A13SF-M-6"-G.



J LIGHT STANDARD NTS