

Vicinity Map
Zone Atlas Sheet: B-13

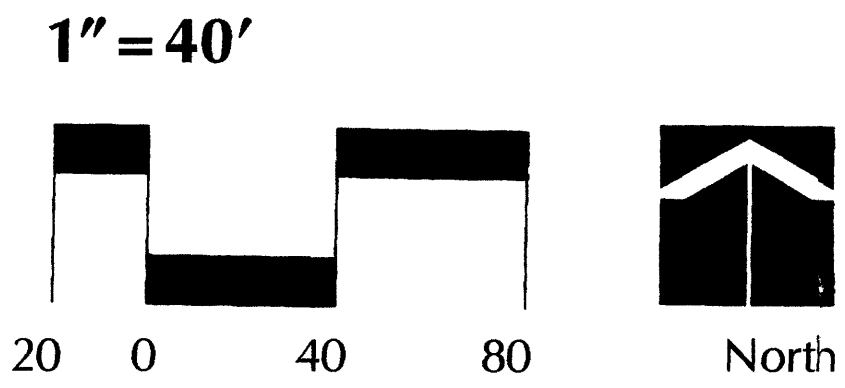
Site Development Plan for Subdivision:

- Required Information for Tract 10A**
- THE SITE: The site consists of 1 lot containing 1.69 acres.
- PROPOSED USE: The proposed zoning is SU-1 for C-1 with restricted uses
- PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS: Access shall only be from Congress Avenue. There shall only be two vehicular access points, as identified on the Site Plan. Due to the significant grade changes between this site and the adjacent properties, pedestrian access shall be from the existing sidewalks along Congress Avenue and Irving Boulevard.
- INTERNAL CIRCULATION REQUIREMENTS: Due to the significant grade changes between this site and the adjacent properties, access shall be from the existing sidewalks along Congress Avenue and Irving Boulevard.
- MAXIMUM FAR: There shall be a maximum FAR of .25.
- LANDSCAPE PLAN: The Design Guidelines (Sheet 2) provide for landscaping criteria. Landscape buffer areas are identified. A minimum of 15 percent of the site (minus the building square footage) shall be devoted to landscape materials.
- BUILDING HEIGHTS AND SETBACKS: Setbacks shall be per the C-1 zone. Additional setback requirements for parking and landscaping are specified in the design guidelines. Maximum building height shall be at 26 feet.
- TRANSIT: The site is located within 1/4 mile of Bus Route 94.

Zone Map Amendment:

Existing Zoning	Proposed Zoning	Acres
R-2	SU-1 for C-1 with restricted uses	1.69

SITE DEVELOPMENT PLAN FOR SUBDIVISION



APPROVALS
 Project # _____
 EPC Application # _____
 DRB Application # _____

 Planning Director Date

 Transportation Development Date

 City Engineer/AMAFCA Date

 Utility Development Date

 Parks and Recreation Development Date

Tract 10A
Congress & Irving

Prepared for:
 Jeff Harris
 1730 Dietz Loop NW
 Albuquerque, NM 87104

Prepared by:
 Consensus Planning, Inc.
 924 Park Avenue SW
 Albuquerque, NM 87102



CONSENSUS
 November 26, 2002

DESIGN GUIDELINES

INTRODUCTION

The purpose of these Design Guidelines is to provide a framework to assist developers and designers in understanding the developers' goals and objectives for high quality development within Tract 10B. Where there is conflict between these guidelines and City regulations, the more restrictive shall apply.

The design guidelines include the following elements:

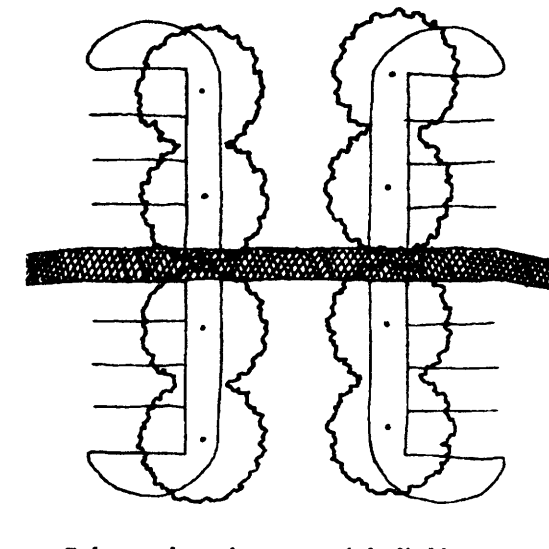
- STREETScape
- LANDSCAPE
- SETBACKS
- SITE PLANNING/ARCHITECTURE
- SIGNAGE
- LIGHTING

STREETScape

The intent of these guidelines is to create a visually attractive and inviting streetscape for residents and visitors to the area. The effective use of screening devices at service functions such as parking lots, loading areas, refuse collection, and delivery/storage areas is essential in order to limit their adverse visual impact on surrounding developments and to create a pleasing streetscape environment. The guidelines established in the landscape and setback sections will provide the primary means to screening objectionable views and activities.

Standards

- Pedestrian paths between parking areas and the building shall be a minimum of 6-feet wide, clearly visible and highlighted with signage and slightly raised or textured paving material.
- A difference in paving material, color, or pattern shall be provided at entry drive crosswalks to bring both visual and tactile attention to crosswalks for improved pedestrian safety (painted asphalt crosswalks are prohibited).
- Pedestrian pathways shall be provided to connect to the adjacent streets. Shade trees shall be provided along pathways at an average spacing of 25 feet on center in 5-foot x 5-foot planters.
- Internal Pedestrian pathways, at a minimum, shall be 6-feet wide where there is no adjacent parking, 8-feet where there is overlapping parking (2' overhang) on one side, and 10-feet where there is overlapping parking (2' overhang) on two sides.
- All pedestrian pathways (sidewalks and trails) shall be designed to be accessible to the handicapped (see Americans with Disabilities Act criteria for barrier free design).



Enhanced paving materials linking parking lots to buildings are encouraged.

LANDSCAPE

The landscape guidelines are intended to assist property owners in the development of an attractive streetscape and to help buffer non-residential uses from future residential uses. The landscape concept should provide a strong unifying element for the area. The plant materials selected should primarily be water conservative species. Landscape plans should employ xeriscape design principles. These guidelines are to be used as a supplement to the requirements in the City Water Conservation Landscaping and Water Waste Ordinance, the Pollen Ordinance, and other landscape regulations included in the City of Albuquerque Comprehensive City Zoning Code.

Standards

Landscape Buffers

- Landscape materials shall be used as a transition between this commercial site and residential properties to the southwest. A minimum 10-foot landscaped buffer is required adjacent to the residential properties to the southwest. This buffer shall be accommodated on the commercial site.
- Landscape buffers shall consist primarily of evergreen trees (to maintain its screening ability on a year-round basis) that must be at least 8 feet tall when planted. Trees shall be spaced at a maximum of 25 feet on center.

Frequency of Plantings, Installation, and Size

- Street trees in accordance with Albuquerque City Code Section 6-6-2-5 shall be provided along Irving Boulevard.
- To shade and mitigate the negative visual impact of large expanses of pavement, off-street parking areas shall have one tree for each eight parking stalls with no stall being more than 70 feet from a tree trunk. A minimum of 75 percent of the required parking area trees shall be deciduous and have a mature canopy of at least 25 feet.
- A minimum of 15 percent of the site area (excluding the building square footage) shall be devoted to landscape materials, with an emphasis placed on streetside exposure.

- High water use turf grass areas shall not comprise greater than 20 percent of the landscape area. Turf grass shall not be planted on slopes greater than 4:1 to prevent water waste.

- No turf shall be planted within 8 feet from the curb within the public right-of-way in order to avoid overspraying into the street. Turf areas within parking lots shall be a minimum of 15 feet in any dimension.

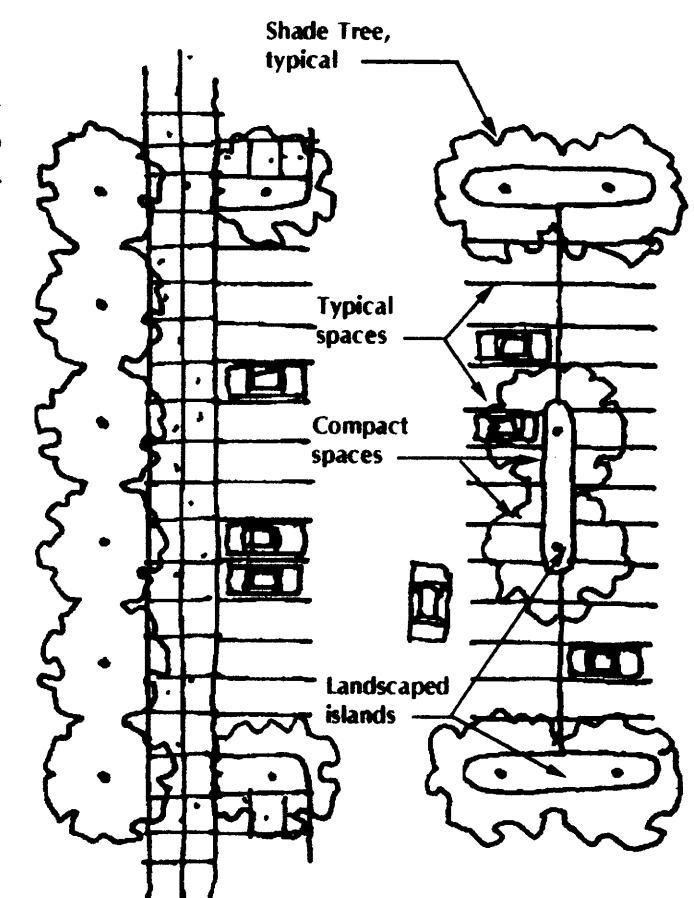
- Landscape areas shall be a minimum of 36 square feet and a minimum width of 6 feet.

- Seventy-five percent of the required landscape area shall be covered with living vegetative materials. The calculation to determine the landscaped area shall be based on the mature canopy size of all plant materials.

- All planting areas not covered with turf shall have a ground topping of crushed rock, river rock, or similar material that extends completely under the plant material.

- Disturbed or man-made slopes shall receive erosion control by use of plant material, revegetative seed mix, or similar landscape treatment which prevents soil erosion.

- An automatic underground irrigation system is required to support all required landscaping. Irrigation components should be checked periodically to ensure maximum efficiency.



Parking areas shall have one tree for each eight parking stalls.

- Appropriate landscape headers shall be used to separate the turf and groundcover areas. Headers should be 6" x 6" concrete, brick, or steel construction, or other material compatible with the landscape concept.

Suggested Plant Palette

The suggested plant materials for this project were selected based on qualities such as cold hardiness, fast growth rate, minimal maintenance requirements, water conservation, and aesthetic appeal.

Street Trees

Fraxinus spp.	Ash varieties
Pinus nigra	Austrian Pine
Pistachia chinensis	Chinese Pistache
Prunus spp.	Flowering Plum varieties

General Use Plant Materials

Trees	
Chilopsis linearis	Desert Willow
Chitalpa tashkentensis	Chitalpa
Cupressocyparis leylandii	Leyland Cypress
Forestiera neomexicana	New Mexico Olive
Fraxinus spp.	Ash varieties
Gleditsia spp.	Honey Locust varieties
Koeleruteria paniculata	Goldenrain Tree
Pinus edulis	Pinon Pine
Pinus nigra	Austrian Pine
Platanus acerifolia	London Planetree
Pyrus calleryana	Ornamental Pear
Vitex agnus-castus	Chaste Tree

Shrubs, Groundcovers, Flowers, and Vines

Artemisia filifolia	Sand Sage
Artemisia tridentata	Big Leaf Sage
Baccharis pilularis	Dwarf Coyotebush
Berberis thunbergii	Japanese Barberry
Caesalpinia gilliesii	Bird of Paradise
Caryopteris clandonensis	Blue Mist
Chrysothamnus nauseosus	Chamisa
Clematis ligusticifolia	Western Virginibower
Cotoneaster spp.	Cotoneaster varieties
Dalea spp.	Dalea varieties
Hesperaloe parviflora	Red Yucca
Juniperus chinensis spp.	Juniper varieties
Juniperus horizontalis spp.	Juniper varieties
Juniperus sabina spp.	Juniper varieties
Lonicera japonica 'Halliana'	Hall's Honeysuckle
Parthenocissus inserta	Virginia Creeper
Perovskia atriplicifolia	Russian Sage
Photinia fraseri	Photinia
Potentilla fruticosa	Shrubby Cinquefoil
Raphiolepis indica	India Hawthorn
Rhus trilobata	Threeleaf Sumac
Rosmarinus officinalis	Rosemary
Salvia greggii	Cherry Sage

Ornamental Grasses

Miscanthus sinensis	Maiden Grass
Muhlenbergia spp.	Muhly Grass
Pennisetum spp.	Fountain Grass
Stipa tenuissima	Threadgrass

Lawn Grasses

Buchloe dactyloides	Buffalo Grass
Bouteloua gracilis	Blue Grama
Festuca spp.	Tall Fescue varieties
Poa spp.	Kentucky Bluegrass varieties

SETBACKS

The use of building and parking area setbacks provides space for the creation of visually attractive streetscapes and will help ensure the project's aesthetic appeal. Areas within these setbacks shall include pedestrian walkways, screening elements, and landscaping.

Standards

Building setbacks

- 10-feet from the right-of-way line of roadways
- 10-feet from the property line of an adjacent commercial or office zone

Parking Area Setbacks

To allow for an appropriately sized landscape buffer adjacent to roadways, parking areas shall be setback as follows:

- 10-feet from the right-of-way line of roadways

SITE PLANNING/ARCHITECTURE

Site Planning

In order to encourage a pedestrian-friendly environment within the development, special attention should be paid to the relationship between buildings and streets. Pedestrian activity is encouraged where pedestrian connections between the structures and the street are clearly identified and inviting.

Standards

- Structures and on-site circulation systems shall be located to minimize pedestrian/vehicle conflicts. Pedestrian access shall be provided to link the building to pedestrian pathways.
- Sidewalks along the entry facade of all buildings shall have a minimum 6 foot wide clear path.
- The maximum number of parking spaces shall be the minimum number required by the Zoning Code plus 10 percent.
- Entryways shall be clearly defined and linked to the pedestrian pathways.
- No refuse collection areas shall be allowed between any street and building front. All refuse containers shall be screened within a minimum of a 6 foot tall enclosure that is large enough to contain all refuse generated between collections. The design and materials for refuse collection enclosures shall be compatible with the architectural theme of the site.

- Parking areas shall be screened from adjacent streets and properties by providing a landscape strip between parking lots and public rights-of-way. The landscape strip shall be a minimum of 10 feet in width and shall be designed with a combination of plant materials, walls or fences, and/or earthen berming. Such screening shall have a minimum height of 3 feet.

- Transformers, utility pads, and telephone boxes shall be appropriately screened with walls and/or plant materials when viewed from the public right-of-way. Screening materials shall not limit access for maintenance purposes by utility companies.

- The heated enclosure for above-ground back flow prevention devices shall be constructed of materials compatible with the architectural materials used for the building. If pre-fabricated fiberglass enclosures are used, they shall be appropriately screened from view by walls and/or plant materials.

Architectural

Specific architectural style shall not be dictated. The design should demonstrate a high quality aesthetic character throughout the site. Architectural design should respond to local climate, views, solar access, and aesthetic considerations.

Standards

- The following uses are prohibited: Gas stations, convenience stores, outdoor equipment storage or rental, and/or maintenance yards.
- Buildings and structures shall comply with all City Zoning and Building Codes.
- The maximum building height for commercial and office uses shall be 26-feet.
- Building design and construction should be used to create a structure that is attractive.
- Any accessory buildings and enclosures, whether attached or detached from the main building, shall be of compatible design and materials.
- All rooftop equipment shall be screened from the public view by materials of the same nature as the basic materials of the building. The building parapet shall be a minimum of the same height as all rooftop equipment.
- Design elements that are undesirable and prohibited include:
 - Highly reflective surfaces
 - Exposed plain, gray, non-textured precision block walls
 - Chain link fencing, barbed wire, or concertina wire
 - Plastic/vinyl facias or awnings
 - Plastic/vinyl fencing
- Streetside facades shall have varied setbacks with wall planes not running in one continuous direction for more than 100-feet without a change in architectural treatment. The staggering of planes is important to create pockets of light and shadow, and to provide relief from monotonous expanses of building facade. The staggering of planes shall be a minimum of 6-feet.
- Cellular communication towers/facilities must be architecturally intergrated.
- No outdoor loudspeakers and paging systems are allowed.

SIGNAGE

These signage standards were developed to regulate the size, location, type, and quality of sign elements within the development. Subdivision signage for this development will be consistent with Section 14-16-3-5(C) of the City Comprehensive City Zoning Ordinance. Where there is conflict between these guidelines and City regulations, the more restrictive shall apply.

A properly implemented signage program will serve several important functions:

- Direct and inform visitors
- Provide circulation requirements and restrictions
- Provide for public safety and minimize confusion of traffic control
- Complement the visual character of the area

Standards

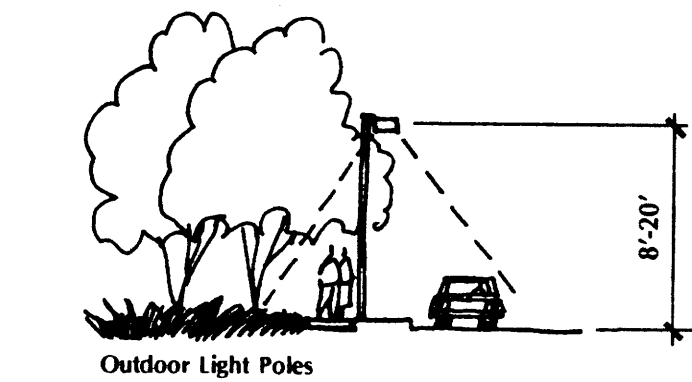
- No sign shall overhang the public right-of-way or extend above the building roof line.
- One free-standing, two-sided sign is allowed for any one street frontage. Free-standing signs are limited to a maximum sign face of 75 square feet and shall not exceed 8-feet above adjacent finished grade.
- Facade mounted signs are allowed only on street facing facades.
- Facade mounted signs shall not exceed 6 percent of the facade area to which it is attached. Sign letters shall be channelized, neon, or painted. Backlit illuminated panels are not allowed, except for company/business logos. The maximum height for individual letters is 3-feet.
- No additional off-premise signs are allowed except for traffic safety signs, street signs, or location markers or directory maps.
- All signage shall be designed to be consistent with and complement the materials, color, and the architectural style of the building or site location.
- Free-standing signs shall be placed at the back of the public right-of-way line and outside of the safety vision triangle at all entries and intersections.
- No signage is allowed that uses flashing, oscillating, occultating, revolving, blinking, or audible devices. No banners, pennants, ribbons, or streamers are allowed except for thematic special events and with prior approval by City of Albuquerque Zoning Department.
- Free-standing signs shall be designed that do not require any external bracing, angle-iron supports, guy wires or similar devices. Pole-mounted signs are not allowed.

LIGHTING

In order to enhance the safety, security, and visual aesthetics, careful consideration must be given to lighting design and preservation of a dark "night sky".

Standards

- Placement of fixtures and standards shall conform to state and local safety and illumination requirements.
- Individual site lighting standards shall blend with the architectural character of the building and other site fixtures.
- Search lights, spotlights, and floodlights are prohibited.
- All lights shall be shielded source to prevent spillage onto adjoining properties or light pollution of the existing "dark sky".
- All outdoor light fixtures within commercial or office zones shall remain off between 11:00 p.m. and sunrise except for security purposes (limited to 16-feet in height) or to illuminate walkways, driveways, equipment yards, and parking lots.
- Outdoor light poles shall not exceed 16-feet in height. Public streetlight poles are exempt from this height requirement.
- All lighting on the site shall be fully shielded, cut-off lighting (shoebox) to minimize fugitive lighting and the bulbs shall not extend past the housing.



Outdoor Light Poles



Bollard Lights

Tract 10A

Congress & Irving

Prepared for:
Jeff Harris
1730 Dietz Loop NW
Albuquerque, NM 87104

Prepared by:
Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102



November 26, 2002

CONSULTANT

PROJECT

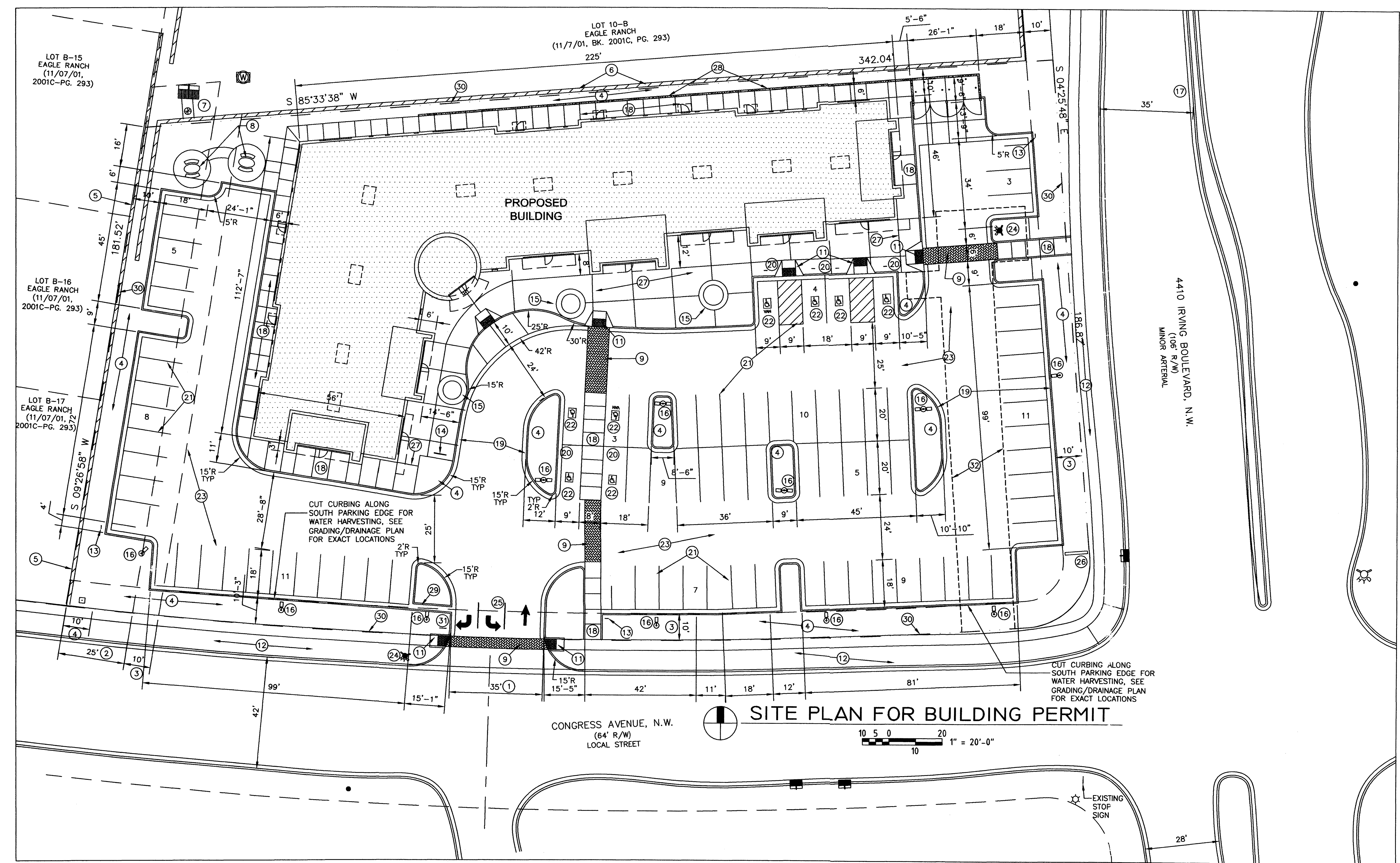
**WEST SIDE
MEDICAL
OFFICE
BUILDING
SHELL WITH
TI FOR
UROLOGY
ASSOC**

PROJECT ADDRESS
4410 IRVING BLVD NW
ALBUQUERQUE, NM
87114

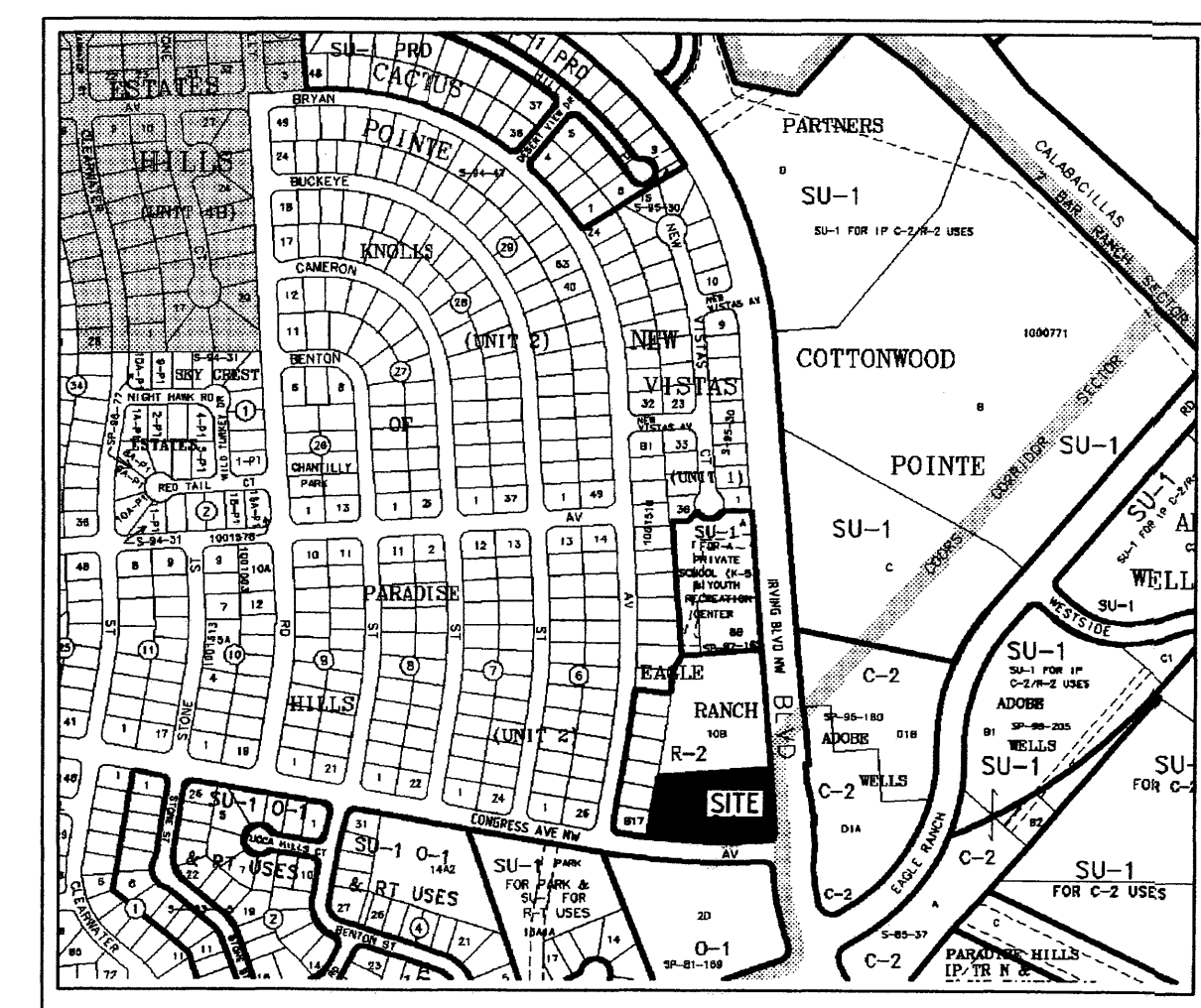
MARK	DATE	DESCRIPTION
ISSUE DATE:	JUNE 30, 2008	

PROJECT NO:
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SHEET TITLE

**SITE PLAN
FOR
BUILDING
PERMIT**



- KEYED NOTES**
- CURB CUT AND CONCRETE DRIVEPAD, PER COABQ STANDARD DETAIL 2425
 - DRAINAGE, WATER, SEWER EASEMENT
 - EXISTING 10'-FT WIDE PUBLIC UTILITY EASEMENT (PUE)
 - LANDSCAPING
 - EXISTING RESIDENTIAL LANDSCAPE AND RETAINING WALL, VARIES 6' TO 9' HIGH ON PROJECT SIDE
 - EXISTING ADJOINING PROJECT RETAINING WALL, VARIES 3' TO 7' HIGH ON PROJECT SIDE
 - EXISTING ADJOINING PROPERTY CONCRETE INLET STRUCTURE
 - CONCRETE PICNIC TABLES ON 14'-FT DIAMETER CONCRETE PATIO AS SHOWN
 - RAISED, BEIGE COLORED, & TEXTURED CONCRETE PEDESTRIAN WALK, 6'-FT WIDE TYPICAL
 - RAISED, BEIGE COLORED, & TEXTURED CONCRETE PEDESTRIAN WALK
 - WHEELCHAIR RAMP, PER COABQ STANDARD DETAIL 2441, ALL RAMP SHALL COMPLY WITH ADA REQUIREMENTS, 1:12 MAX SLOPE AND 1:10 MAX SLOPE AT SIDE FLARES, WITH TRUNCATED DOME MAT FOR THE FIRST 36-INCHES AT BOTTOMS OF ALL RAMP. SEE DETAIL E.
 - EXISTING 4'-FT WIDE CONCRETE WALK ALL AROUND AS SHOWN
 - 4"x8" MOTORCYCLE PARKING SPACE WITH MINIMUM 12"x18" SIGN DESIGNATING "MOTORCYCLE PARKING", MOUNT ON SIGN STANDARD WITH BOTTOM OF SIGN NO LESS THAN 48" ABOVE FINISH GRADE.
 - BICYCLE RACK. SEE DETAIL F.
 - RAISED CONCRETE PLANTERS, WITH SEATING 24"x18"xH, 11"-0" OVERALL DIAMETER.
 - PARKING AREA LIGHTING FIXTURE, POLE, AND BASE. SEE DETAIL J.
 - REFUSE ENCLOSURE. SEE DETAIL G.
 - CONCRETE WALK AS SHOWN.
 - CONCRETE CURB AND GUTTER, TYPICAL AROUND ALL VEHICULAR TRAFFIC AND PARKING AREAS AS SHOWN. SEE DETAIL B.
 - HANDICAPPED PARKING SIGN, MINIMUM 50% OF HC SPACES SHALL BE SIGNED FOR VAN PARKING. SEE DETAIL D.
 - TWO COATS TRAFFIC PAINT, 4-INCH WIDE STRIPING (YELLOW ON CONCRETE, WHITE ON ASPHALT), AS SHOWN THROUGHOUT TRAFFIC/PARKING AREAS.
 - HANDICAPPED PARKING SYMBOL PER COABQ STANDARD DETAIL 2426.
 - ASPHALT PAVING PER GEOTECHNICAL REPORT.
 - NEW FIRE HYDRANT WITH FIRE LINE EASEMENT AS REQUIRED, PER COABQ REQUIREMENTS AND WORK ORDERS.
 - DIRECTIONAL ARROWS AND LANE STRIPING AS SHOWN
 - PROJECT MONUMENT SIGN. SEE DETAIL I.
 - TAN COLORED CONCRETE WALK AT BUILDING FRONT.
 - RETAINING WALL AS REQUIRED, SEE DETAIL H.
 - CONCRETE STORM WATER DRAINAGE GUTTER, SEE GRADING/DRAINAGE.
 - PROPERTY LINE.
 - INSTALL STANDARD COABQ STOP SIGN AND POST.
 - 20'-FT WIDE PUBLIC WATERLINE EASEMENT.



LOCATOR / ZONE ATLAS PAGE: B-13-Z

SITE DATA

PROPERTY: TRACT 10A, PLAT OF EAGLE RANCH
ZONING: SU-1 FOR C-1 WITH RESTRICTED USES
LOT SIZE: 73,430 SF (1.69 ACRES)
LAND USE: MEDICAL OFFICES

BUILDING AREA: 15,394 SF
PARKING 15,394 / 200 = 77 SPACES REQUIRED
85 SPACES SHOWN
MAXIMUM PARKING: ORDINANCE MINIMUM PLUS 10% = 85 SPACES

ACCESSIBLE PARKING REQUIRED: 4 SPACES (1 VAN) ACCESSIBLE SPACES PROVIDED: 8

3 MOTORCYCLE PARKING SPACES REQUIRED AND PROVIDED
6 BICYCLE RACK SPACES REQUIRED AND PROVIDED

GENERAL NOTES

- THERE ARE BICYCLE LANES WITHIN THE IRVING BLVD. R.O.W.
- SCREENING OF TRANSFORMERS, ELECTRICAL BOXES AND OTHER UTILITY STRUCTURES SHALL NOT IMPEDE ACCESS FOR SAFE REPAIR AND MAINTENANCE OF THE EQUIPMENT.

PROJECT NUMBER: 1001907

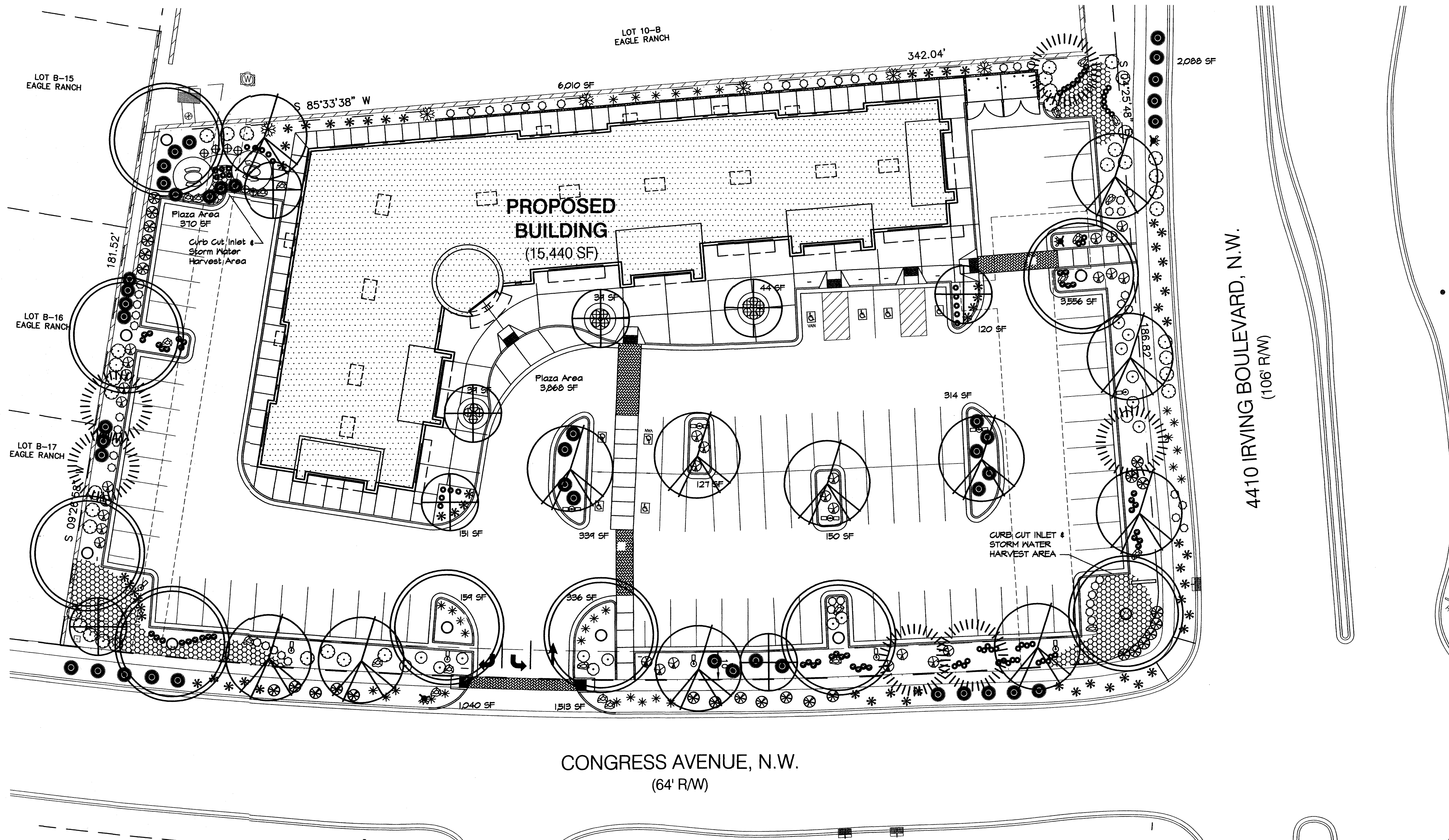
APPLICATION NUMBER:

THIS SITE PLAN FOR BUILDING PERMIT IS CONSISTENT WITH THE SITE PLAN FOR SUBDIVISION, APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION, SEPTEMBER 19, 2002, (PROJECT NUMBER: 1001907)

IS AN INFRASTRUCTURE LIST REQUIRED? () YES () NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
WATER UTILITY DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
SOLID WASTE MANAGEMENT	7/7/08 DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



GENERAL NOTES

MULCHES
All shrub planting areas shall be top dressed with 1" Amaretto Brown Rock Mulch and 2" - 4" Santa Ana Tan Cobble.

IRRIGATION SYSTEM
Irrigation system standards outlined in the Water Conservation Landscaping and Water Waste Ordinance shall be strictly adhered to. A fully automated drip irrigation system will be used to irrigate tree, shrub, and groundcover planting areas. Irrigation system design shall consider the ability to easily provide additional emitters for the expanding root zone.

MAINTENANCE RESPONSIBILITY
Maintenance of the landscaping and irrigation system, including those areas within the public R.O.W., shall be the responsibility of the Owner.

STATEMENT OF WATER WASTE
Per the Water Conservation Landscaping and Water Waste Ordinance, the landscape plan for the West Side Medical Office Building is limited to using high water use turf over a maximum of 20 percent of the required landscape area. We are not providing any high water use turf on the West Side Medical Office landscape. All landscaping shall be in compliance with the Water Conservation Landscaping and Water Waste Ordinance.

STREET TREES
Street trees along Congress Avenue and Irving Blvd. have been provided at a average spacing of 30' o.c. Several varieties have been used to provide variety in color, texture, and form. Southern Live Oak (semi-evergreen) and Raywood Ash (deciduous) provide summer shade, reduce the heat-island effect but will also allow winter solar access. The Austrian Pine (evergreen) and Southern Live Oak provide buffers from adjacent residential housing (to the west) and winter interest in the landscape.

ROOT BARRIER
Root barriers shall be provided adjacent to the utility easement where drainage, gas or sewer lines are in close proximity to the Southern Live Oak.

LANDSCAPE COVERAGE
All landscape areas, including buffer strips adjacent to major streets, shall contain live vegetative material covering at least 75% of the area.

SCREENING
Screening of transformers, electric boxes and other utility structures shall not impede access to the equipment and shall provide for safe maintenance and repair by utility workers.

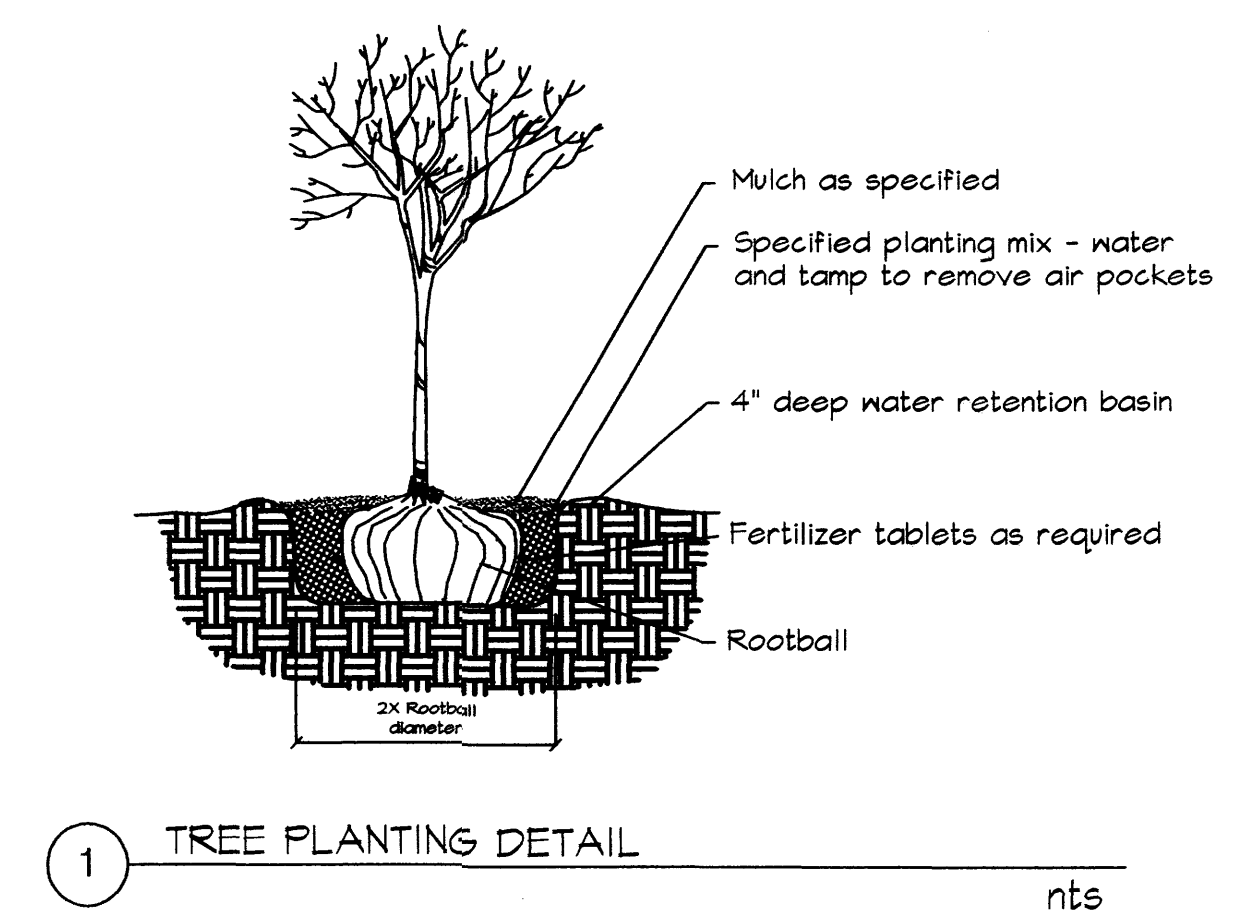
LANDSCAPE CALCULATIONS

Site Area: (1.69 AC.)	73,430 S.F.
Building Area:	- 15,440 S.F.
Total	57,990 S.F.
Impervious Area	- 11,705 S.F.
	46,285 S.F.
Required Landscape: (15%)	8,699 S.F.
Provided Landscape:	
On-site	11,754 S.F. (20%)
Off-Site	+ 4,641 S.F. (8%)
Total Provided:	16,395 S.F. (28%)

PLANT LEGEND

Qty.	Symbol	Common Name Scientific Name	Size	Installed Size Mature Size	Water Use
Trees					
4	○	Southern Live Oak <i>Quercus virginiana</i>	2" B&B	14' ht. x 4' spr. 35' ht. x 40' spr.	Medium
8	⊕	Western Redbud <i>Cercis occidentalis</i>	2" B&B	8' ht. x 4' spr. 20' ht. x 20' spr.	Medium
12	⊗	Raywood Ash <i>Fraxinus oxycarpa</i>	2" B&B	14' ht. x 5' spr. 35' ht. x 30' spr.	Low
6	⊙	Austrian Pine <i>Pinus nigra</i>	B&B	10' min. ht. 35' ht. x 25' spr.	Medium
Shrubs/Ornamental Grasses/Desert Accents/Ground Covers/Vines					
27	⊗	Scotch Broom <i>Cytisus scoparius</i>	5-Gal.	4' o.c. 4' ht. x 4' spr.	Low +
16	○	Blue Mist Spirea <i>Caryopteris clandonensis</i>	5-Gal.	4' o.c. 4' ht. x 4' spr.	Low
24	⊗	Cherry Sage <i>Salvia greggii</i>	5-Gal.	3' o.c. 3' ht. x 3' spr.	Low
30	*	Golden Flowered Agave <i>Agave chrysantha</i>	5-Gal.	3' o.c. 1' ht. x 3' spr.	Low
37	⊙	Zebra Grass <i>Miscanthus sinensis 'strictus'</i>	5-Gal.	5' o.c. 5' ht. x 5' spr.	Med
54	*	Little Bluestem <i>Schizachyrium scoparium</i>	1-Gal.	3' o.c. 2' ht. x 3' spr.	Low

Qty.	Symbol	Common Name Scientific Name	Size	Installed Size Mature Size	Water Use
20	⊕	Winecups <i>Callitriche involucrata</i>	1-Gal.	3' o.c. 2' ht. x 3' spr.	Low
51	⊗	Gayfeather <i>Liatris spicata</i>	1-Gal.	2' o.c. 2' ht. x 2' spr.	Low +
52	○	Guara <i>Guara lindheimeri</i>	1-Gal.	3' o.c. 2' ht. x 3' spr.	Low
54	⊗	White Aster <i>Aster ericoides</i>	1-Gal.	3' o.c. 2' ht. x 3' spr.	Low +
37	⊙	Sugar Bush <i>Rhus ovata</i>	5-Gal.	5' o.c. 7' ht. x 5' spr.	Medium
6	⊗	Silkvine <i>Periploca graeca</i>	5-Gal.	5' o.c. 20' spr.	Low+
Gravel/Boulders					
22	⊕	Moss Rock Boulders, 3' X 3' (min.)			
14,414 SF	□	Gravel Mulch Mixture (On & Off Site Landscape Areas)			
1,821 SF	⊙	Cobble Mulch (On & Off Site Landscape Areas)			

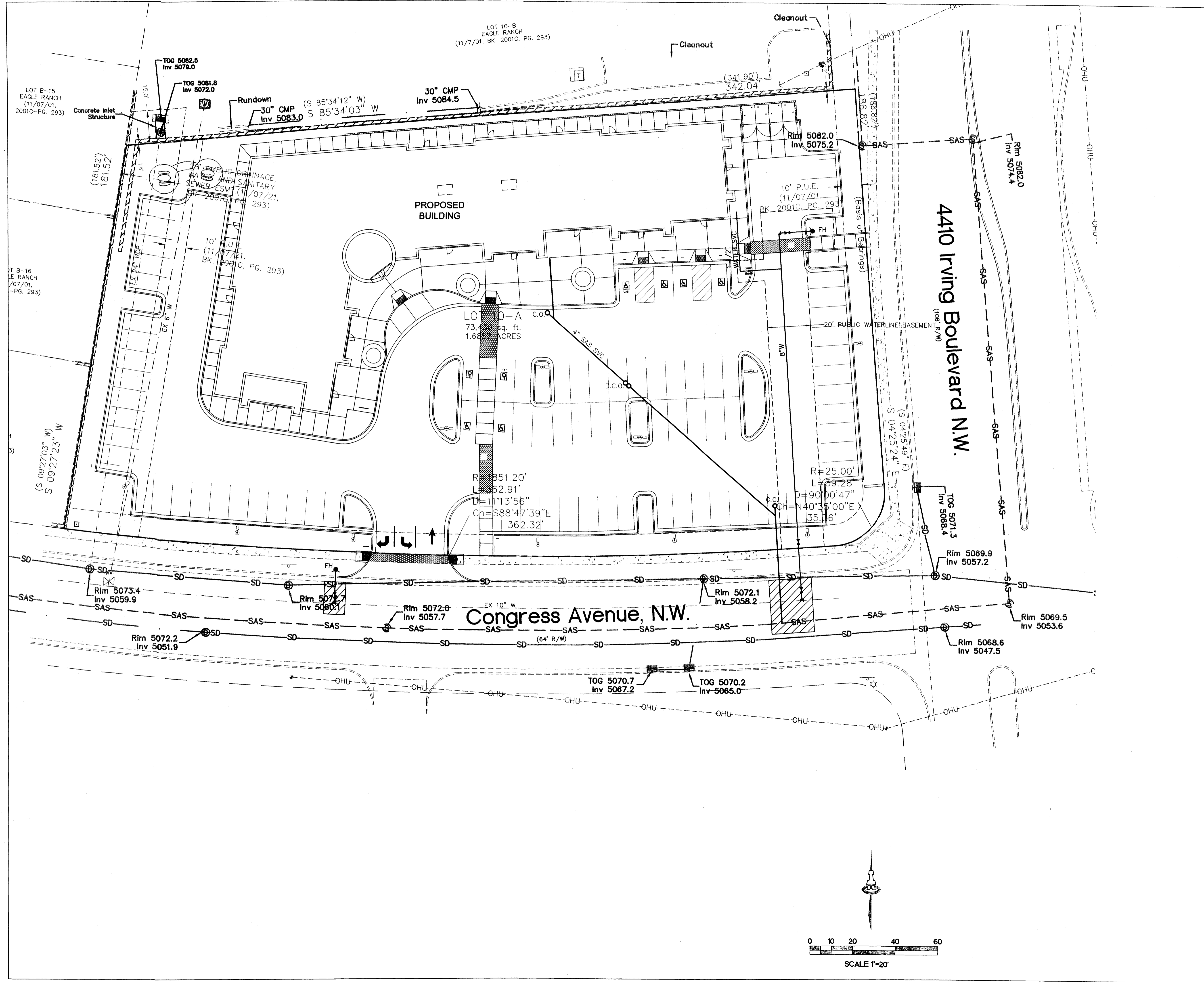


WEST SIDE MEDICAL OFFICE BUILDING

LANDSCAPE PLAN

Prepared for:
MeD West 2008 LLC.
2929 Coors Blvd. NW Ste. 202
Albuquerque, NM 87120

Prepared by:
Consensus Planning, Inc.
302 Eighth Street NW
Albuquerque, NM 87102



KEYED NOTES

1.

LEGEND

- PROPOSED WATERLINE
- PROPOSED FIRE HYDRANT
- PROPOSED WATER METER
- PROPOSED SANITARY SEWER
- PROPOSED SAS CLEANOUT
- EXISTING SANITARY SEWER
- EXISTING WATERLINE
- EXISTING STORM DRAIN
- SAWCUT, REMOVE & REPLACE
W/ 2" ADDITIONAL THICKNESS
PER COA STD DWG #2465
(LOCAL).

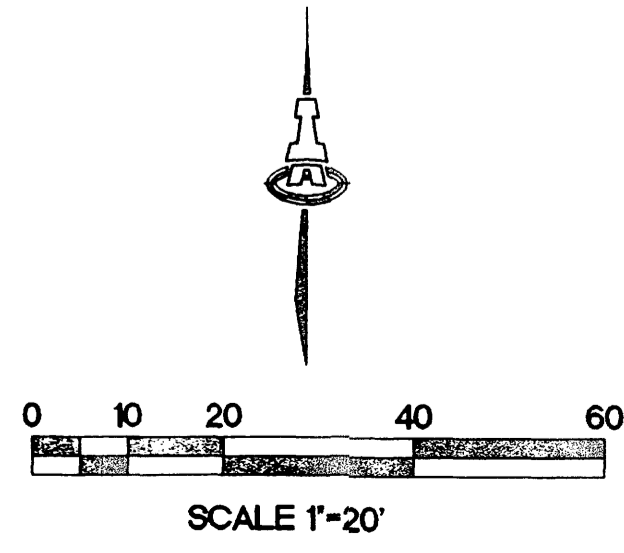
ISAACSON & ARFMAN, P.A.
 Consulting Engineering Associates
 SUPPORT BLOCKS
 128 Monroe Street N.E.
 Albuquerque, New Mexico 87108
 Ph: 505-268-8828 Fax: 505-268-2632
 1659 CU-101.dwg Jun 27, 2008

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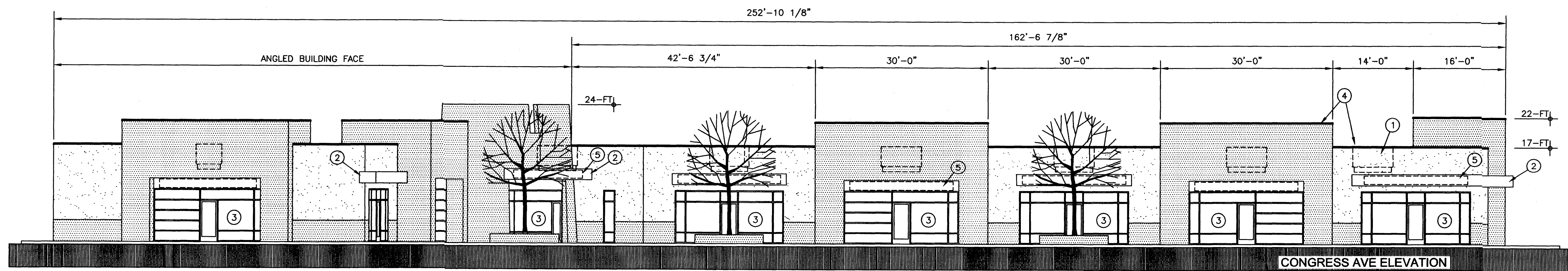
WEST SIDE MEDICAL OFFICE
4410 IRVING BLVD. NW

CONCEPTUAL UTILITY PLAN

Date:	No.	Revision	Date	Job No.
4-22-08				1659
Drawn By:				CU-101
B.J.E.				
Ckd By:				
F.C.A.				SH 1 OF 6



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CONGRESS AVE ELEVATION

BUILDING MOUNTED SIGNAGE

----- PROPOSED LOCATIONS
BUILDING MOUNTED SIGNAGE SHALL COMPLY WITH THE "SITE DEVELOPMENT PLAN FOR SUBDIVISION". SHALL BE INDIVIDUAL CHANNELIZED LETTERS, NEON, (OR A COMBINATION OF CHANNEL WITH NEON), OR LETTERS AFFIXED TO STOREFRONT WINDOWS. LETTERS SHALL NOT TO EXCEED 36" IN HEIGHT. TOTAL AREA OF ALL INDIVIDUAL TENANT SIGNS SHALL NOT EXCEED 6% OF THE FACADE AREA ON WHICH THEY OCCUR.

NOTE: STOREFRONT WINDOWS AND DOORS, AS SHOWN, ARE ILLUSTRATIVE AND INTENDED TO SHOW THE GENERAL DESIGN INTENT. THE ACTUAL LOCATIONS, CONFIGURATIONS, AND SIZES MAY VARY WITH INDIVIDUAL TENANT REQUIREMENTS.

BUILDING FINISH MATERIALS AND COLORS

DOORS AND WINDOWS SHALL BE CLEAR ANODIZED ALUMINUM WITH CLEAR INSULATING GLASS
PARAPET COPINGS SHALL BE CLEAR ANODIZED ALUMINUM TO MATCH STOREFRONT FRAMES.

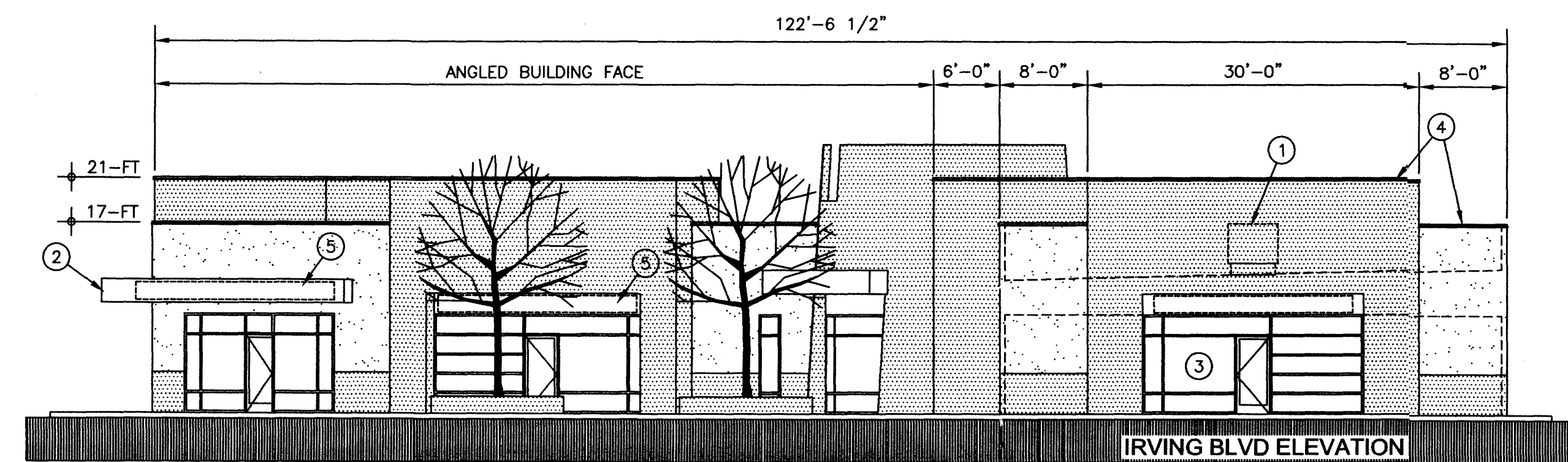
STUCCO 1 COLOR: TAN

STUCCO 2 COLOR: BROWN

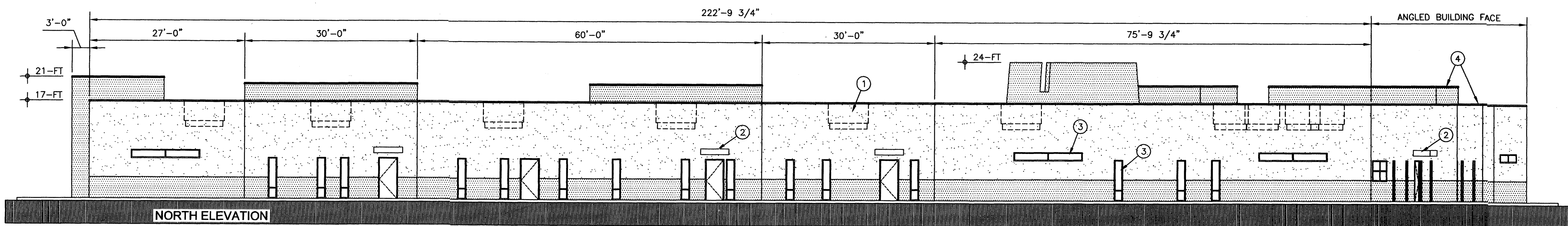
CANTILEVER PROJECTIONS AT TENANT ENTRANCES: ALUMINUM PANELS TO MATCH STOREFRONT DOOR AND WINDOW FRAMES.

KEYED NOTES

1. ROOF TOP MECHANICAL UNITS. TOP OF UNITS SHALL NOT EXCEED THE TOP OF PARAPET.
2. CANTILEVERED TENANT ENTRANCE CANOPY, FINISH TO MATCH ALUMINUM STOREFRONT FRAMES.
3. TENANT STOREFRONT.
4. CLEAR ANODIZED ALUMINUM COPING, TYPICAL.
5. PROPOSED TENANT SIGNAGE.

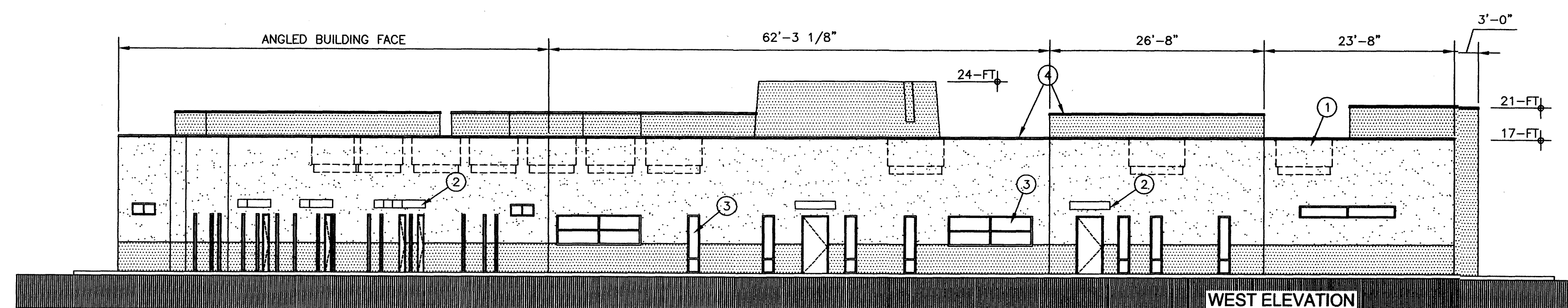


IRVING BLVD ELEVATION



NORTH ELEVATION

NOTE: ALL DIMENSIONS AND MATERIALS ON ALL ELEVATIONS ARE THE SAME UNLESS NOTED OTHERWISE.



WEST ELEVATION

SCALE: 3/32" = 1'-0"

PROJECT

**WEST SIDE
MEDICAL
OFFICE
BUILDING
SHELL WITH
TI FOR
UROLOGY
ASSOC**

PROJECT ADDRESS
4410 IRVING BLVD NW
ALBUQUERQUE, NM
87114

MARK	DATE	DESCRIPTION

PROJECT NO:
COPYRIGHT AKT ARCHITECTS, LLC
SHEET TITLE

**BUILDING
ELEVATIONS**

SHEET 5 of 6

