



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, August 3, 2005, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1001926

05DRB-01125 Major-Two Year SIA

TIERRA WEST LLC agent(s) for JD HOME, INC., request(s) the above action(s) for all or a portion of Lots 1 – 34 **MUSTANG MESA**, zoned R-2, located on 72nd PL NW, between INTERSTATE 40 WEST and GLENRIO RD NW containing approximately 5 acre(s). [REF: 03DRB-01224; 03DRB-01225; 04DRB-01358; 04DRB-1393; 04DRB-01394] (J-10)

Project # 1002962

05DRB-01119 Major-Preliminary Plat
Approval

05DRB-01120 Minor-Temp Defer SDWK

SURV-TEK, INC agent(s) for LONGFORD AT THE TRAILS, LLS request(s) the above action(s) for all or a portion of Tract(s) 6, **THE TRAILS, UNIT 2**, zoned R-LT residential zone, located on OAKRIDGE ST NW, between WOODMONT AVE NW and TREELINE AVE NW containing approximately 17 acre(s). [REF: 04DRB01322] (C-9)

Project # 1003189

05DRB-01127 Major-Preliminary Plat
Approval

05DRB-01129 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for FULLER HOMES, INC request(s) the above action(s) for all or a portion of Tract(s) 355, 356 TRACTS A & B, LANDS OF HECTOR ROJO, **TOWN OF ATRISCO GRANT**, zoned RD-R1, located on TOWER RD SW, between COORS BLVD SW and STINSON RD SW containing approximately 15 acre(s). (L-10)

Project # 1004177

05DRB-01122 Major-Preliminary Plat
Approval

05DRB-01124 Minor-Temp Defer SDWK

05DRB-01123 Minor-Sidewalk Waiver

BOHANNAN HUSTON INC. agent(s) for SANDIA PROPERTIES LTD. CO. request(s) the above action(s) for TRACTS 10, 11, 12 & 13 **VENTANA RANCH WEST**, zoned R-LT residential zone, located on VENTANA RIDGE RD NW and containing approximately 74 acre(s). (B-8)

Project # 1004315

05DRB-01121 Major-Vacation of Public
Easements

BOHANNAN HUSTON, INC., agent(s) for ALTURA WEST DEVELOPMENT LLC, request(s) the above action(s) for Lot(s) 33, **OXBOW BLUFF SUBDIVISION**, zoned SU-3, located on SILVERY MINOW LN NW, between WATERWILLOW LN NW and GREY HAWK LN NW. (G-11)

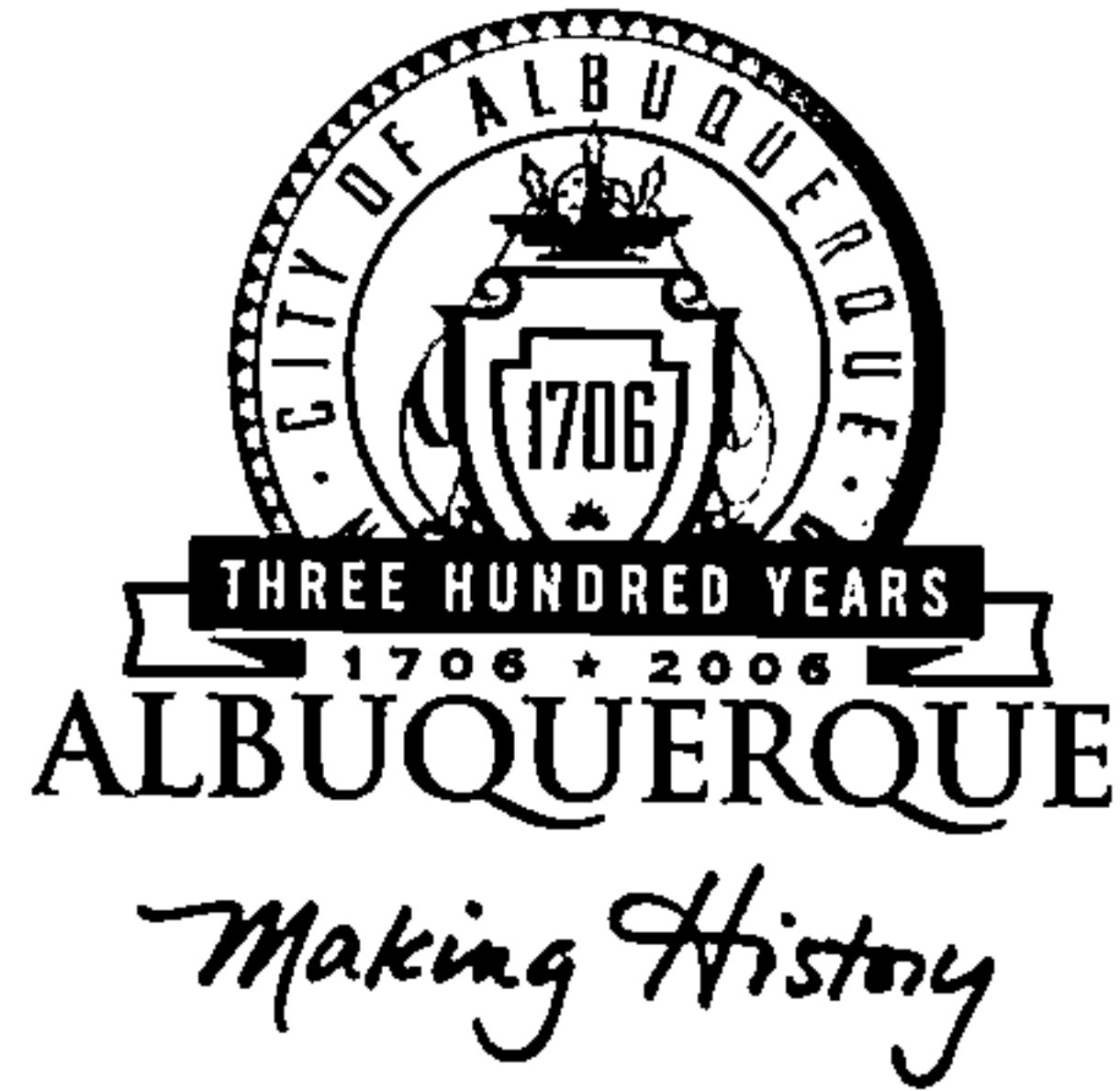
Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.



Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, July 18, 2005.

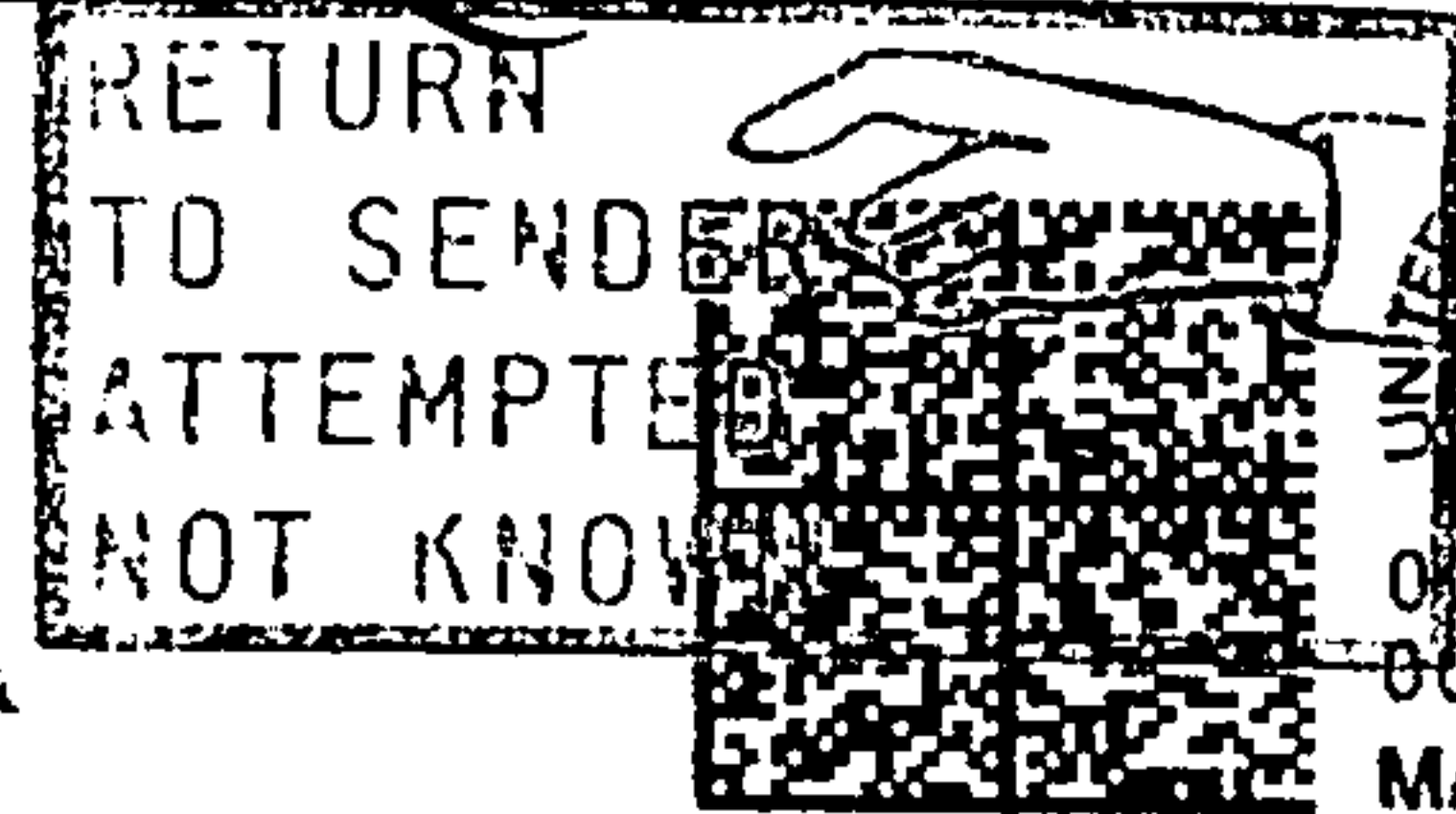
CITY OF ALBUQUERQUE



Planning Department

P.O. Box 1293

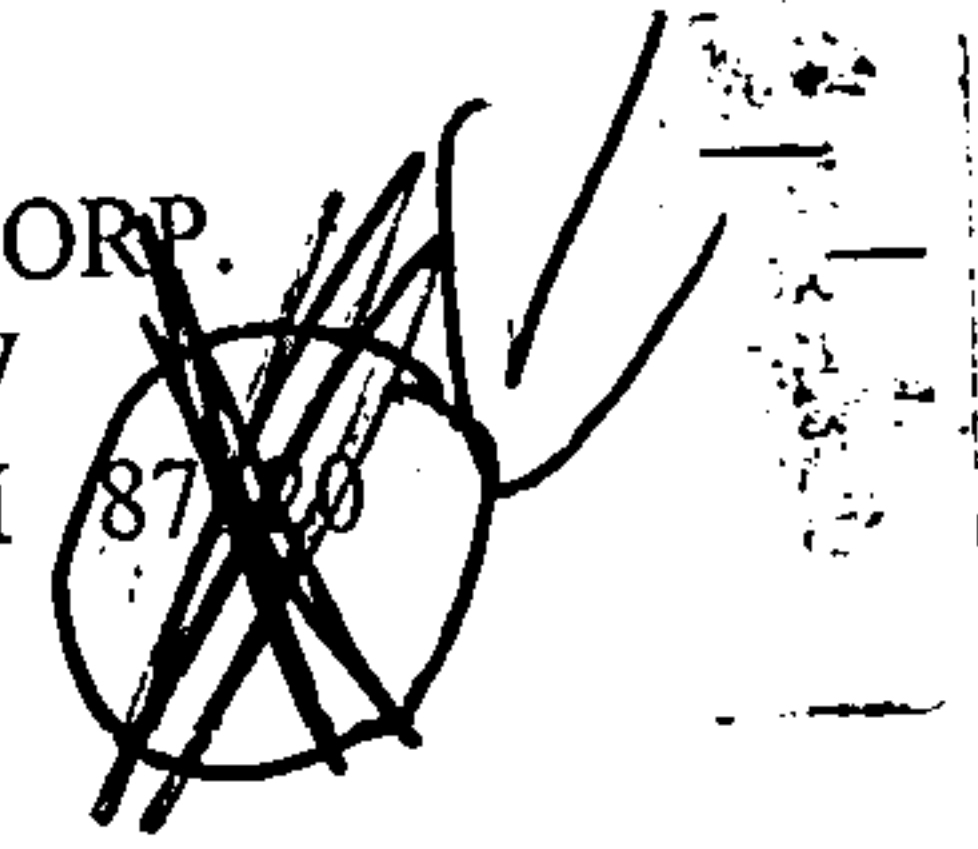
Albuquerque, NM 87103



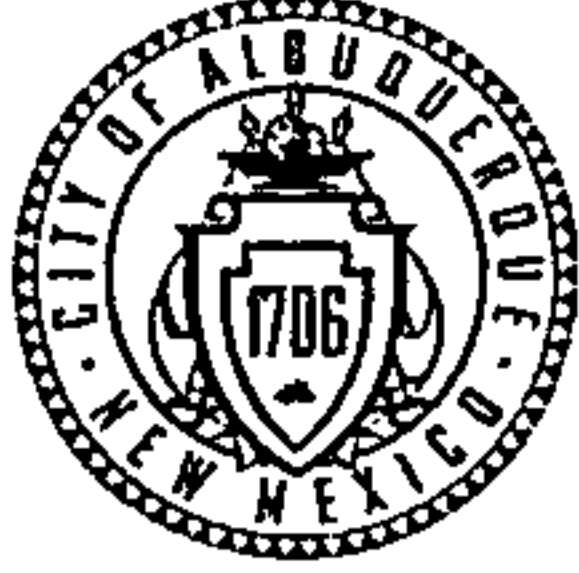
UNITED STATES POSTAGE
PITNEY BOWES
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0004329277 JUL 15 2005
MAILED FROM ZIP CODE 87102

101005826036010201

JD HOME BUILDER CORP.
401 COORS BLVD NW
ALBUQUERQUE NM 87103



87121+1453 01



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 3, 2005

1. Project # 1001926
05DRB-01125 Major-One Year SIA

TIERRA WEST LLC agent(s) for JD HOME, INC., request(s) the above action(s) for all or a portion of Lots 1 – 34 **MUSTANG MESA**, zoned R-2, located on 72nd PL NW, between INTERSTATE 40 WEST and GLENRIO RD NW containing approximately 5 acre(s). [REF: 03DRB-01224; 03DRB-01225; 04DRB-01358; 04DRB-1393; 04DRB-01394] (J-10)

At the August 3, 2005, Development Review Board meeting, a one-year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by August 18, 2005, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Sheran Matson, AICP, DRB Chair

Cc: JD Home Inc., P.O. Box 90218, 87199-0218
Tierra West LLC, 8509 Jefferson NE, 87113
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 100/926 AGENDA#: 1 DATE: 8/3/05

1. Name: J D Home Address: _____ Zip: _____

2. Name: _____ Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

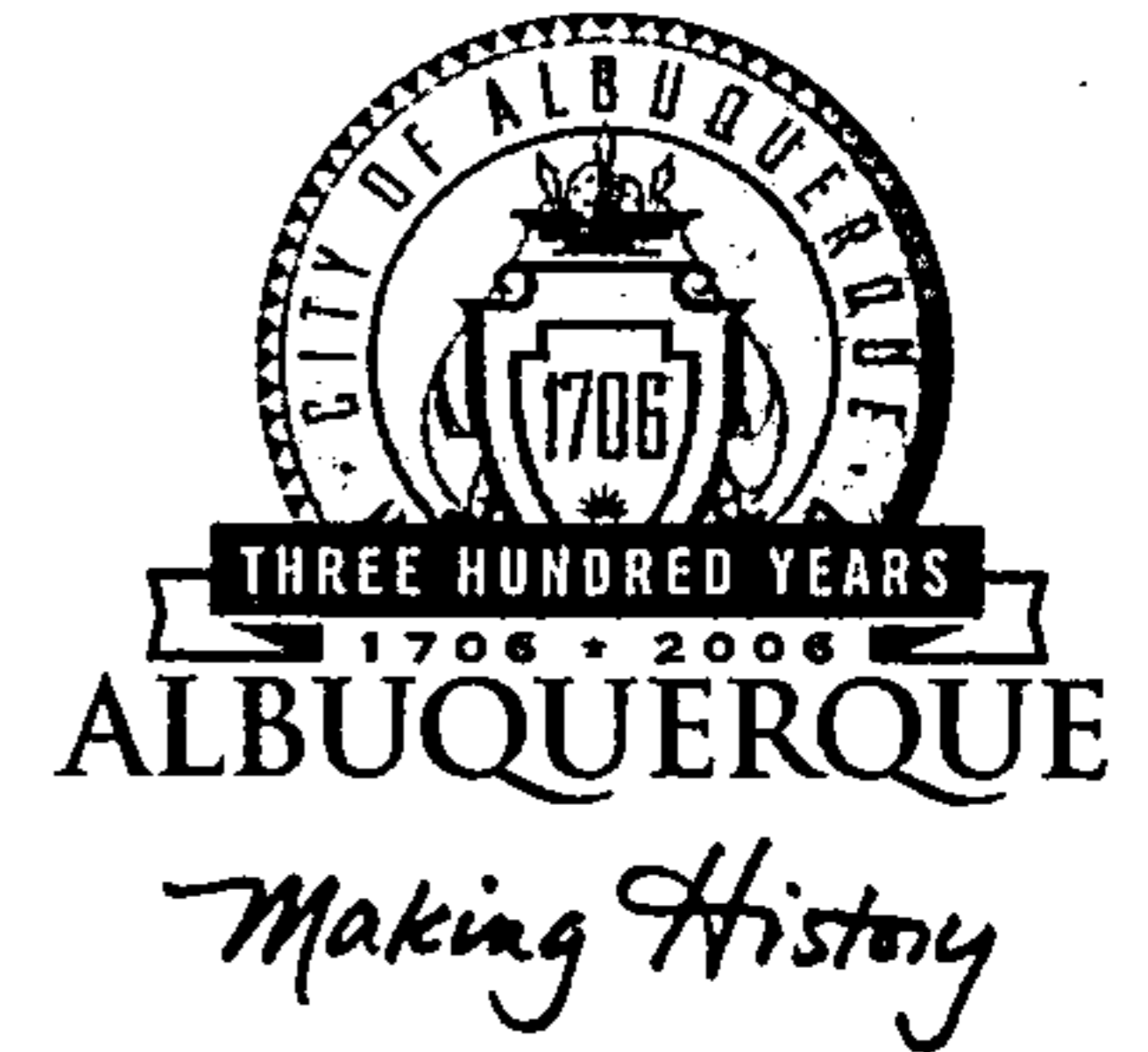
11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1001926

AGENDA ITEM NO: 1

SUBJECT:

SIA Extension - 1 year

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No objection to SIA Extension request.

P.O. Box 1293

RESOLUTION:

APPROVED ; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

Albuquerque

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PRKS) (PLNG)

New Mexico 87103 DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

FOR:

www.cabq.gov

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: August 3, 2005





**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, August 20, 2003, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1000269

03DRB-01269 Major-Two Year SIA

TIERRA WEST LLC agent(s) for UNION PENSION TRANSACTION TRUST 93-2 request(s) the above action(s) for all or a portion of Tract(s) 5B2C1B, **RENAISSANCE CENTER**, zoned SU-1 for C-2 use, located on MERCANTILE AVE NE, between CULTURE NE and I-25 FRONTAGE RD NE containing approximately 1 acre(s). [REF: 01DRB-00922, 01DRB-00922, 01DRB-00922] (F-16)

Project # 1002201

03DRB-01270 Major-Preliminary Plat Approval

TIERRA WEST LLC agent(s) for P J DEVELOPMENT COMMERCIAL CONSTRUCTION, request(s) the above action(s) for all or a portion of Tract(s) A & B, **AMERICAN TOYOTA**, zoned SU-2 special neighborhood zone, SU-1 AUTO SALES, located on ALAMEDA BLVD NE, between PAN AMERICAN FWY. NE and SAN PEDRO DR NE containing approximately 7 acre(s). [REF: Z-86-8, DRB-95-74, 02DRB-01367 (VRW) 02DRB-01270 (PP)] (C-18)

Project # 1001926

03DRB-01224 Major-Vacation of Pub Right-of-Way

03DRB-01225 Major-Preliminary Plat Approval

BEN PLATANIA request(s) the above action(s) for all or a portion of Tract(s) 225, **TOWN OF ATRISCO GRANT - AIRPORT UNIT**, zoned R-2, located on GLEN RIO RD NW, between 72nd ST NW and 78th ST NW containing approximately 5 acre(s). [REF: 02DRB-00568 (VROW), 02DRB-00673 (SK)] (J-10)

Project # 1001946

03DRB-01271 Major-Vacation of Pub Right-of-Way

BOHANNAN HUSTON agent(s) for LOWE'S (NEAL HAMILTON) request(s) the above action(s) for all or a portion of Tract(s) A, **LOS ANGELES CENTER**, zoned M-1 light manufacturing zone, located on PASEO DEL NORTE NE, between 1-25 FRONTAGE ROAD AND SAN FRANCISCO DR NE containing approximately 32 acre(s). [REF: 02DRB-00732, 02DRB-01008] (D-18)

Project # 1002503

03DRB-01268 Major-Preliminary Plat Approval

WILSON & COMPANY, INC. agent(s) for VOLCANO CLIFFS PROPERTY OWNERS ASSOCIATION, request(s) the above action(s) for all or a portion of Unit(s) 24 Block(s) 1-5 and Unit(s) 5, Partial Block(s) 1-12 and 14, **VOLCANO CLIFFS SUBDIVISION** (to be known **UNSER CLIFFS SUBDIVISION**, zoned R-1 residential zone, located on 81st ST NW, between UNSER BLVD NW and MARIGOLD DR NW containing approximately 42 acre(s). [REF: 03DRB-00295 SK, 03DRB-00337 & 340 VRW& VPE, 03DRB-00341 & 42 VPE] (D-10)

SEE PAGE 2



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

PAGE 2

Project # 1001984

03DRB-01244 Major-Vacation of Public Easements
03DRB-01245 Major-Vacation of Public Easements
03DRB-01246 Major-Vacation of Public Easements
03DRB-01247 Major-Vacation of Public Easements
03DRB-01248 Major-Vacation of Public Easements
03DRB-01249 Major-Vacation of Public Easements
03DRB-01243 Minor-Sketch Plat or Plan

JEFF MORTENSEN & ASSOCIATES INC., agent(s) for RICH FORD, request(s) the above action(s) for all or a portion of Tract(s) A & B, **HYDER-MAISEL SUBDIVISION AND LANDS OF ROBERT L JOHNSON AND NMSHTD AIRSPACE PARCEL B-13-5**, zoned C-2 & P, located on LOMAS BLVD NE, between WYOMING BLVD NE and I-40 NE containing approximately 18 acre(s). [REF: 02DRB-01963, 02DRB-01964, 02EPC-00826, 02EPC-00827, 02EPC-00828] (J-20)

Project # 1002525

03DRB-01263 Major-Preliminary Plat Approval
03DRB-01264 Minor-Temp Defer SDWK

JEFF MORTENSEN & ASSOCIATES, INC., agent(s) for DESERT RIDGE DEVELOPMENT, LLC request(s) the above action(s) for all or a portion of Lot(s) 10-23, Block(s) 19, Tract(s) 3, **NORTH ALBUQUERQUE ACRES, UNIT 3**, (to be known as **VINEYARD COURT ESTATES**) zoned R-D residential and related uses zone, developing area, located on HOLLY AVE NE, between VENTURA ST NE and HOLBROOK ST NE containing approximately 14 acre(s). [REF: 03DRB-00367-70, 02EPC-01353 & 54](G-13)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. Individuals with disabilities who need special assistance to participate at this meeting should contact Claire Senova, Planning Department, at 924-3946. Hearing Impaired users may contact her via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

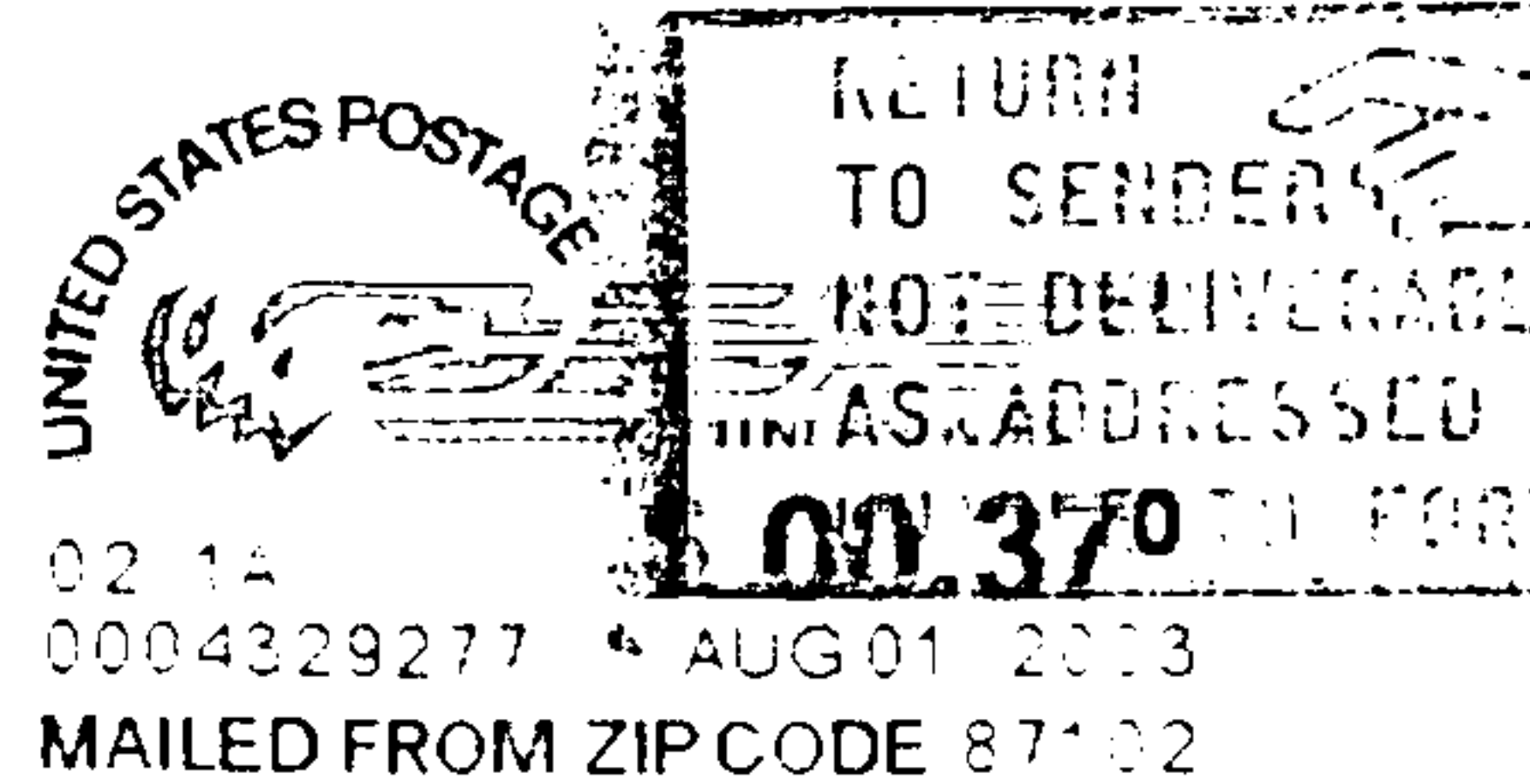
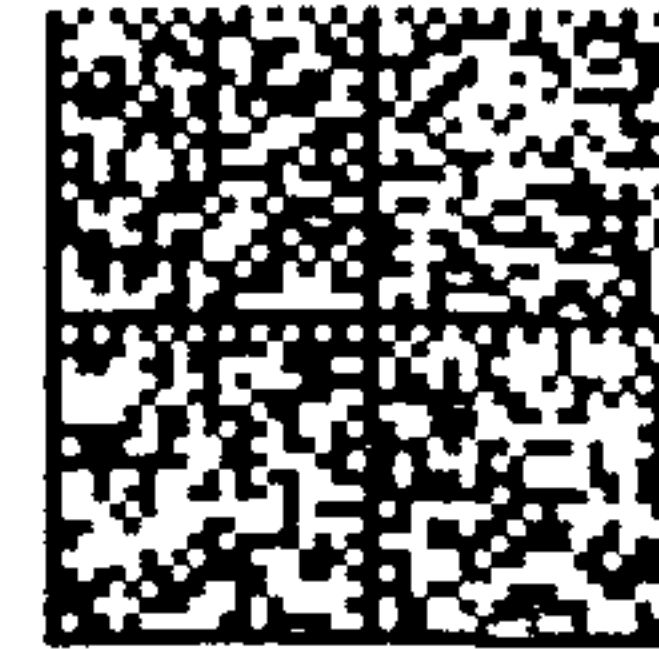
TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, AUGUST 4, 2003.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

PLANNING DEPARTMENT



101005826547711006

TRUJILLO HELEN C
2712 PASEO DEL CANTO SW
ALBUQUERQUE NM 87121

TRUJ712 871212004 1N 11 08/04/03
RETURN TO SENDER

NO FORWARD ORDER ON FILE
UNABLE TO FORWARD

07 12930001293



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT - DEVELOPMENT SERVICES DIVISION
PROPERTY OWNERSHIP LIST

App#	13D23-01224
Proj#	1001924
Other#	13D23-01225

Meeting Date: 8-20-03

Zone Atlas Page: J-10-E

Notification Radius: 100 Ft.

Cross Reference and Location: _____

Applicant: Ben Platanica

Address: 5712 Morgan Ln. NW, 87120

Agent: _____

Address: _____

SPECIAL INSTRUCTIONS

Notices Must be mailed from the
City 15 days prior to the meeting.

Date Mailed: Aug 1, 2003

Signature: K Tse-Mukai

101005925403141315	LEGAL: TRAC T P PLAT OF CHAMISA POINTE SUBD UNIT ONE (TOGE LAND USE: PROPERTY ADDR: 00000 N/A OWNER NAME: CITY OF ALBUQUERQUE REAL ESTAT OWNER ADDR: 00000	ALBUQUERQUE	NM 87103
101005828748011011	LEGAL: TRAC T A PLAT OF CHAMISA POINTE SUBD UNIT ONE (TOGE LAND USE: PROPERTY ADDR: 00000 N/A OWNER NAME: CITY OF ALBUQUERQUE REAL ESTAT OWNER ADDR: 00000	ALBUQUERQUE	NM 87103
101005826547711006	LEGAL: LT 1 8 BL K A PLAT OF CHAMISA POINTE SUBD UNIT ONE (LAND USE: PROPERTY ADDR: 00000 1301 STONEWAY DR NW OWNER NAME: TRUJILLO HELEN C OWNER ADDR: 02712 PASEO DEL CANTO	SW ALBUQUERQUE	NM 87121
101005826147511013	LEGAL: PARK PLA T OF CHAMISA POINTE SUBD UNIT ONE (TOGETHE LAND USE: PROPERTY ADDR: 00000 N/A OWNER NAME: CITY OF ALBUQUERQUE REAL ESTAT OWNER ADDR: 00000	ALBUQUERQUE	NM 87103
101005825546211012	LEGAL: DRAI NAGE ROW PLAT OF CHAMISA POINTE SUBD UNIT ONE LAND USE: PROPERTY ADDR: 00000 N/A OWNER NAME: CITY OF ALBUQUERQUE REAL ESTAT OWNER ADDR: 00000	ALBUQUERQUE	NM 87103
101005823246521010	LEGAL: NLY POR DF TR 226 TOWN OF ATRISCO GRANT AIRPORT UN LAND USE: PROPERTY ADDR: 00000 N/A OWNER NAME: AMAFCA OWNER ADDR: 02600 PROSPECT	NE ALBUQUERQUE	NM 87107
101005829141610402	LEGAL: TOWN OF ATRISCO GRANT A.P.U. #8 TRACT 224 CONT 4.1 LAND USE: PROPERTY ADDR: 00000 GLENRID RD NW OWNER NAME: BRUCKNER DONALD G ETUX ETAL OWNER ADDR: 03305 GRANDE VISTA	NW ALBUQUERQUE	NM 87120
101005828744710406	LEGAL: SELY POR DF THE NLY 242.70 FT DF TR 225 TOWN OF AT LAND USE: PROPERTY ADDR: 00000 HANOVER RD NW OWNER NAME: STATE OF NEW MEXICO OWNER ADDR: 00406 CORNELL	SE ALBUQUERQUE	NM 87106
101005827140310401	LEGAL: * 12 5 S POR DF TR 225 3.7AC 10N 2E SEC 15 LAND USE: PROPERTY ADDR: 00000 GLENRID RD NW OWNER NAME: LORENTZEN JOHN C/O SW REALTY I OWNER ADDR: 02909 YALE	BL SE ALBUQUERQUE	NM 87106
101005824239620910	LEGAL: SOUT H PD RT DF TR 226 A P U LAND USE: PROPERTY ADDR: 00000 N/A OWNER NAME: GONZALEZ EMILIA S TRUSTEE GONZ OWNER ADDR: 10204 LA PAZ	NW ALBUQUERQUE	NM 87114
101005824334821221	LEGAL: *16 2 OF WEST MESA MANOR SUBD LAND USE: PROPERTY ADDR: 00000 7301 FREMONT PL NW OWNER NAME: MCGUINNESS ABEL OWNER ADDR: 07301 FREMONT	PL NW ALBUQUERQUE	NM 87121

101005825034321222	LEGAL: *15 2 OF WEST MESA MANOR SUBD LAND USE: PROPERTY ADDR: 00000 832 LANDMARK ST NW OWNER NAME: MARES RONNIE E & JANET E OWNER ADDR: 00832 LANDMARK	ST NW ALBUQUERQUE	NM 87121
101005826134921217	LEGAL: *23 2 OF WEST MESA MANOR NO 2 SUBD LAND USE: PROPERTY ADDR: 00000 829 72ND ST NW OWNER NAME: MALDNE JOHN E JR & RUTH M C/O OWNER ADDR: 00623 AMHERST	NE ALBUQUERQUE	NM 87106
101005827734910106	LEGAL: *16 1 OF WEST MESA MANOR NO 2 SUBD LAND USE: PROPERTY ADDR: 00000 828 72ND ST NW OWNER NAME: ESQUIBEL SYLVESTER & ANN OWNER ADDR: 00828 72ND	ST NW ALBUQUERQUE	NM 87105
101005829330510102	LEGAL: TOWN OF ATRISCO GRANT AP48 TR 174 LAND USE: PROPERTY ADDR: 00000 FORTUNA RD NW OWNER NAME: CITY OF ALBUQUERQUE REAL ESTAT OWNER ADDR: 00000	ALBUQUERQUE	NM 87103
101005826134221216	LEGAL: *24 2 WE ST MESA MANOR NO 2 SUBD LAND USE: PROPERTY ADDR: 00000 825 72ND ST NW OWNER NAME: VARGAS EFREN & MYRNA OWNER ADDR: 00825 72ND	ST NW ALBUQUERQUE	NM 87121
101005827734210107	LEGAL: *15 1 OF WEST MESA MANOR NO 2 SUBD LAND USE: PROPERTY ADDR: 00000 824 72ND ST NW OWNER NAME: GARCIA MICHAEL & BERNADETTE OWNER ADDR: 00824 72ND	ST NW ALBUQUERQUE	NM 87105

"Attachment A"

Ben Platania, Plateau Enterprises, Inc.

Zone Map: J-10

LAURELWOOD N.A. (R)

***Steve Tardy**

7424 Lynwood Dr. NW/87120 323-7771 (h)

Nancy Treviso

7812 Sherwood Dr. NW/87120 831-6132 (h)

LOS VOLCANES N.A. (R)

***Sally Breeden**

6503 Honeylocust Ave. NW/87121 352-0159 (h) 262-7361 (w)

Ben Sandoval

6516 Honeylocust Pl. NW/87121 836-4419 (h)

S.R. MARMON N.A. (R)

***Claude G. Luisada**

1519 Stoneway Dr. NW/87120 839-0832 (h)

Julian Morales

6328 Keswick Pl. NW/87120 839-1727 (h)

LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.

5226 4298 0002 8674 9235

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
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For delivery information visit our website at www.usps.com

ALBUQUERQUE, NM 87120 **OFFICIAL USE**

Postage	\$ 0.60	UNIT ID: 0118 Postmark Here Clerk: KQ1HM6 07/21/03
Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)	1.75	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 4.65	

Sent To *Nancy Trevino*
 Street, Apt. No., or PO Box No. *7812 Sherwood Dr NW*
 City, State, ZIP+4 *ABQ, NM 87120*

PS Form 3800, June 2002 See Reverse for Instructions

5226 4298 0002 8674 9235

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ALBUQUERQUE, NM 87121 **OFFICIAL USE**

Postage	\$ 0.60	UNIT ID: 0118 Postmark Here Clerk: KQ1HM6 07/21/03
Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)	1.75	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 4.65	

Sent To *Ben SANDOVAL*
 Street, Apt. No., or PO Box No. *6516 Honeylocust Pl NW*
 City, State, ZIP+4 *ABQ, NM 87121*

PS Form 3800, June 2002 See Reverse for Instructions

5226 4298 0002 8674 9235

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For delivery information visit our website at www.usps.com

ALBUQUERQUE, NM 87120 **OFFICIAL USE**

Postage	\$ 0.60	UNIT ID: 0118 Postmark Here Clerk: KQ1HM6 07/21/03
Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)	1.75	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 4.65	

Sent To *Julian MORALES*
 Street, Apt. No., or PO Box No. *6328 Keswick Pl NW*
 City, State, ZIP+4 *ABQ, NM 87120*

PS Form 3800, June 2002 See Reverse for Instructions

5226 4298 0002 8674 9242

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ALBUQUERQUE, NM 87120 **OFFICIAL USE**

Postage	\$ 0.60	UNIT ID: 0118 Postmark Here Clerk: KQ1HM6 07/21/03
Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)	1.75	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 4.65	

Sent To *Steve TARDY*
 Street, Apt. No., or PO Box No. *7424 Lynwood Dr NW*
 City, State, ZIP+4 *ABQ, NM 87120*

PS Form 3800, June 2002 See Reverse for Instructions

5226 4298 0002 8674 9242

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ALBUQUERQUE, NM 87121 **OFFICIAL USE**

Postage	\$ 0.60	UNIT ID: 0118 Postmark Here Clerk: KQ1HM6 07/21/03
Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)	1.75	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 4.65	

Sent To *SALLY BREEDEN*
 Street, Apt. No., or PO Box No. *6503 Honeylocust Ave NW*
 City, State, ZIP+4 *ABQ, NM 87121*

PS Form 3800, June 2002 See Reverse for Instructions

5226 4298 0002 8674 9228

U.S. Postal Service™
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(Domestic Mail Only; No Insurance Coverage Provided)

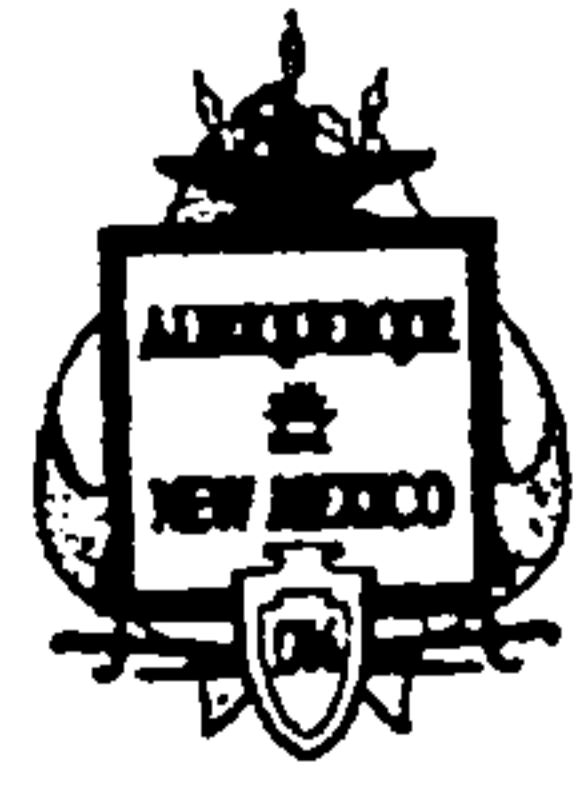
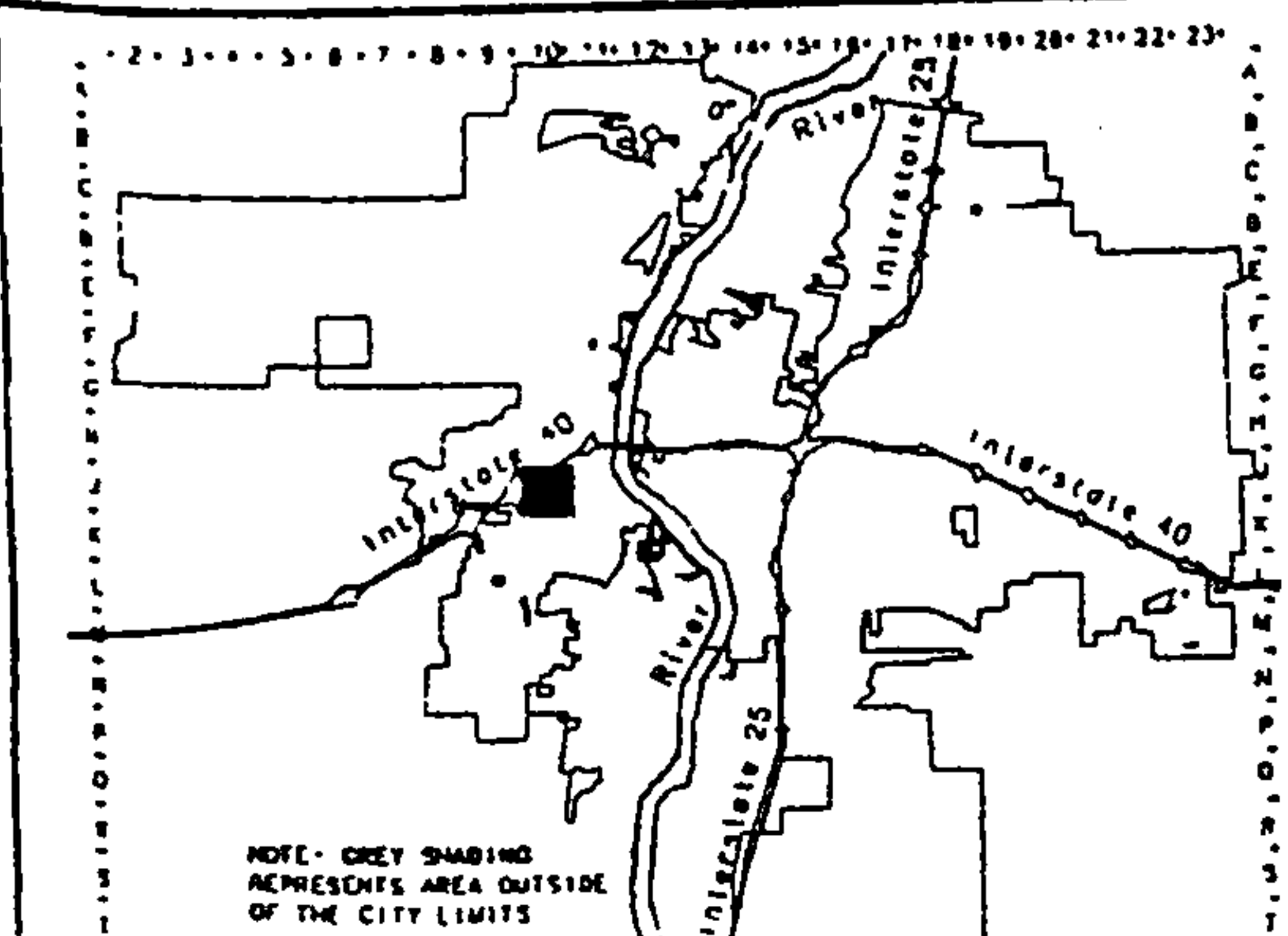
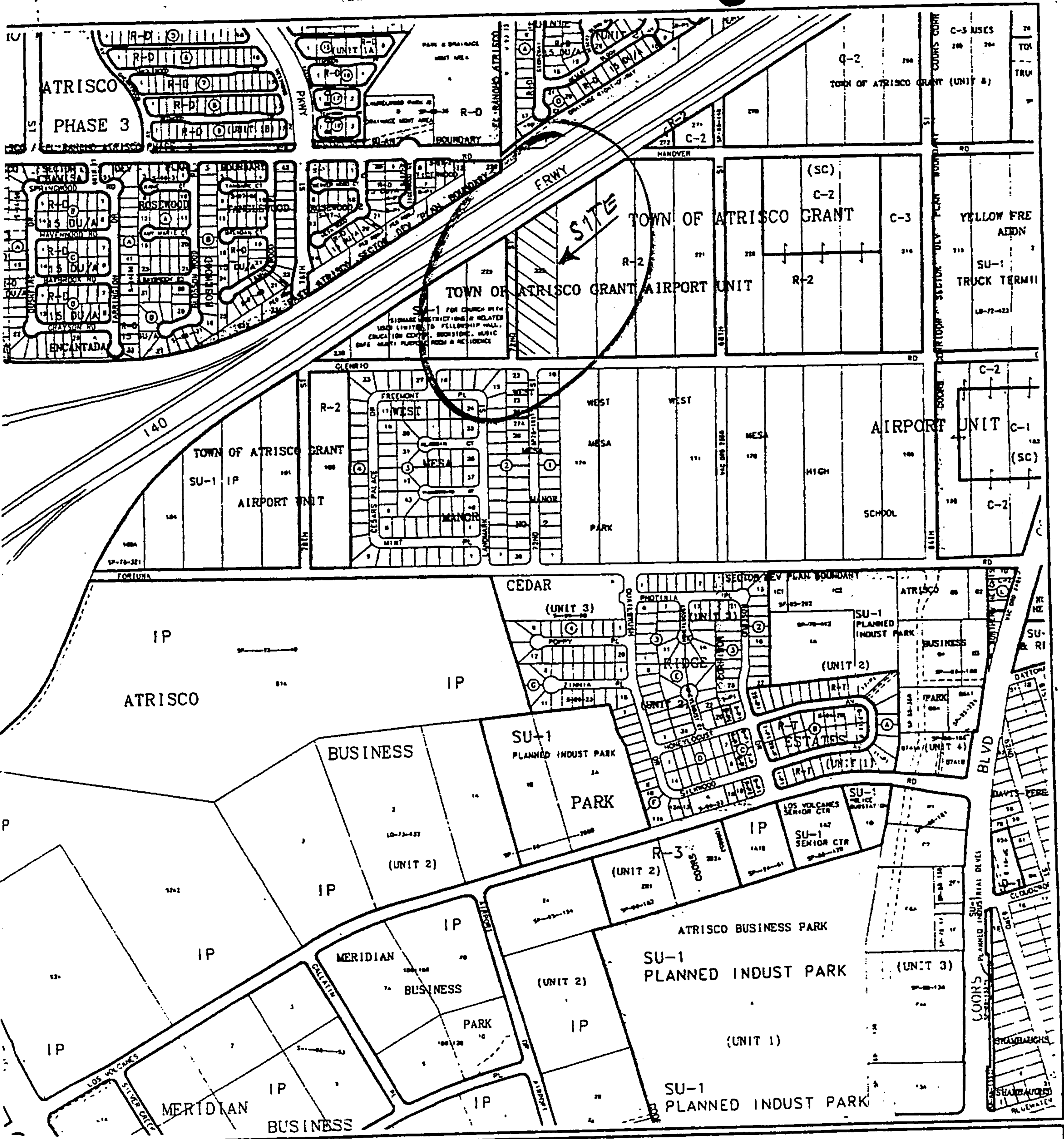
For delivery information visit our website at www.usps.com

ALBUQUERQUE, NM 87120 **OFFICIAL USE**

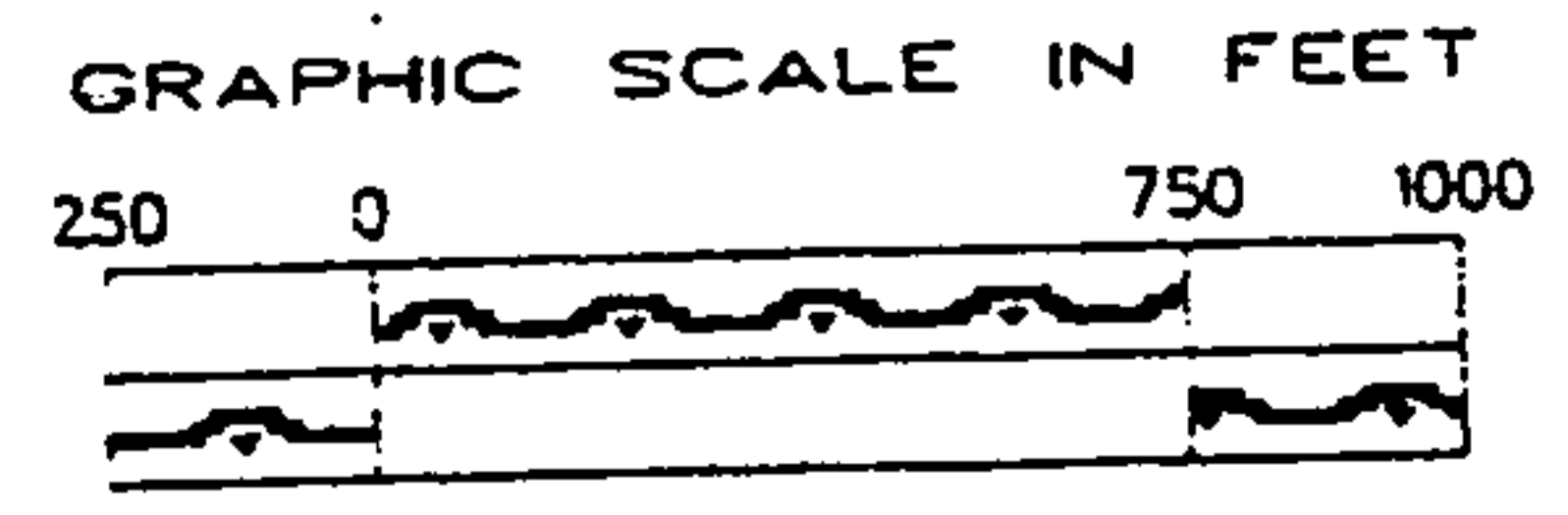
Postage	\$ 0.60	UNIT ID: 0118 Postmark Here Clerk: KQ1HM6 07/21/03
Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)	1.75	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 4.65	

Sent To *Claude Luisada*
 Street, Apt. No., or PO Box No. *1519 Stonewall Dr NW*
 City, State, ZIP+4 *ABQ, NM 87120*

PS Form 3800, June 2002 See Reverse for Instructions



CITY OF Albuquerque
Albuquerque Geographic Information System
PLANNING DEPARTMENT
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Zone Atlas Page

J-10-Z

Map Amended through April 03, 2002

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S-3.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
- Proposed Infrastructure List.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule) 565 + 15/p 95 ± DRWS 450 + 95 **1090 1110**
- Any original and/or related file numbers are listed on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

- MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT

(Temporary sidewalk deferral uses FORM-V)

- 1 copy of each of the following items
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ben Platavia
Ben Platavia Applicant name (print)
7/22/03 Applicant signature / date



Form revised APRIL 2003

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
03 DR-B - 01224
- 01225

JM 7/22/03
 Planner signature / date
Project # 1001926



City of Albuquerque
 CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
 HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001926

AGENDA ITEM NO: 3

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

An approved drainage report is required for Preliminary Plat approval. - 7-14-03
 An approved infrastructure list is required for Preliminary Plat approval.
 The Hydrology Section has no objection to the vacation request.

RESOLUTION:

APPROVED X ^{signed I.L.}; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN
 SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)
 DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)
 FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: August 20, 2003



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 20, 2003

Project # 1001926

03DRB-01224 Major-Vacation of Pub Right-of-Way
03DRB-01225 Major-Preliminary Plat Approval

BEN PLATANIA request(s) the above action(s) for all or a portion of Tract(s) 225,
TOWN OF ATRISCO GRANT -AIRPORT UNIT, zoned R-2, located on GLEN
RIO RD NW, between 72nd ST NW and 78th ST NW containing approximately 5
acre(s). [REF: 02DRB-00568 (VROW), 02DRB-00673 (SK)] (J-10)

AMAFCA No adverse comments.

COG No adverse comments.

Transit No comments received.

Zoning Enforcement Reviewed, no comment.

Neighborhood Coor.

Letters sent to Las Volcanes (R), Laurelwood (R) and S.R. Marmon (R)
Neighborhood Assns.

APS No comments received.

Fire Department Fire Department is not approving street widths less than 32
feet at this time. Per Ray Sanchez, AFD.

PNM Gas Approves.

PNM Electric

PNM approves the vacation of existing 72nd Street. How will lots 15-30
get electric & gas? Does the new 72nd Street need to be a PUE before
final sign off?

Comcast No comments received.

QWEST No comments received.

Environmental Health Site is not within 1000 feet of a landfill. No comment.

M.R.G.C.D.

No comments received.

Open Space Division

No adverse comments.

City Engineer

An approved drainage report and infrastructure list is required for Preliminary Plat approval. No objection to vacation request.

Transportation Development

How does the new roadway align with 72nd Street to the south of Glenrio. No objection to the vacation request. Comments on the infrastructure list.

Parks & Recreation

This request will be subject to the following requirements of the City Park Dedication and Development Ordinance:

Prior to sign-off on the final plat, a fee in-lieu of and equal to the value of the required park land dedication for 33 new residential lots will be required. The fee will be based on an estimate of land value to be provided by the City Real Property office. Alternatively, the applicant may submit current appraisal information mutually acceptable to the applicant and the City.

The park development requirement will be met via the payment of a fee prior to issuance of building permit for each new dwelling unit.

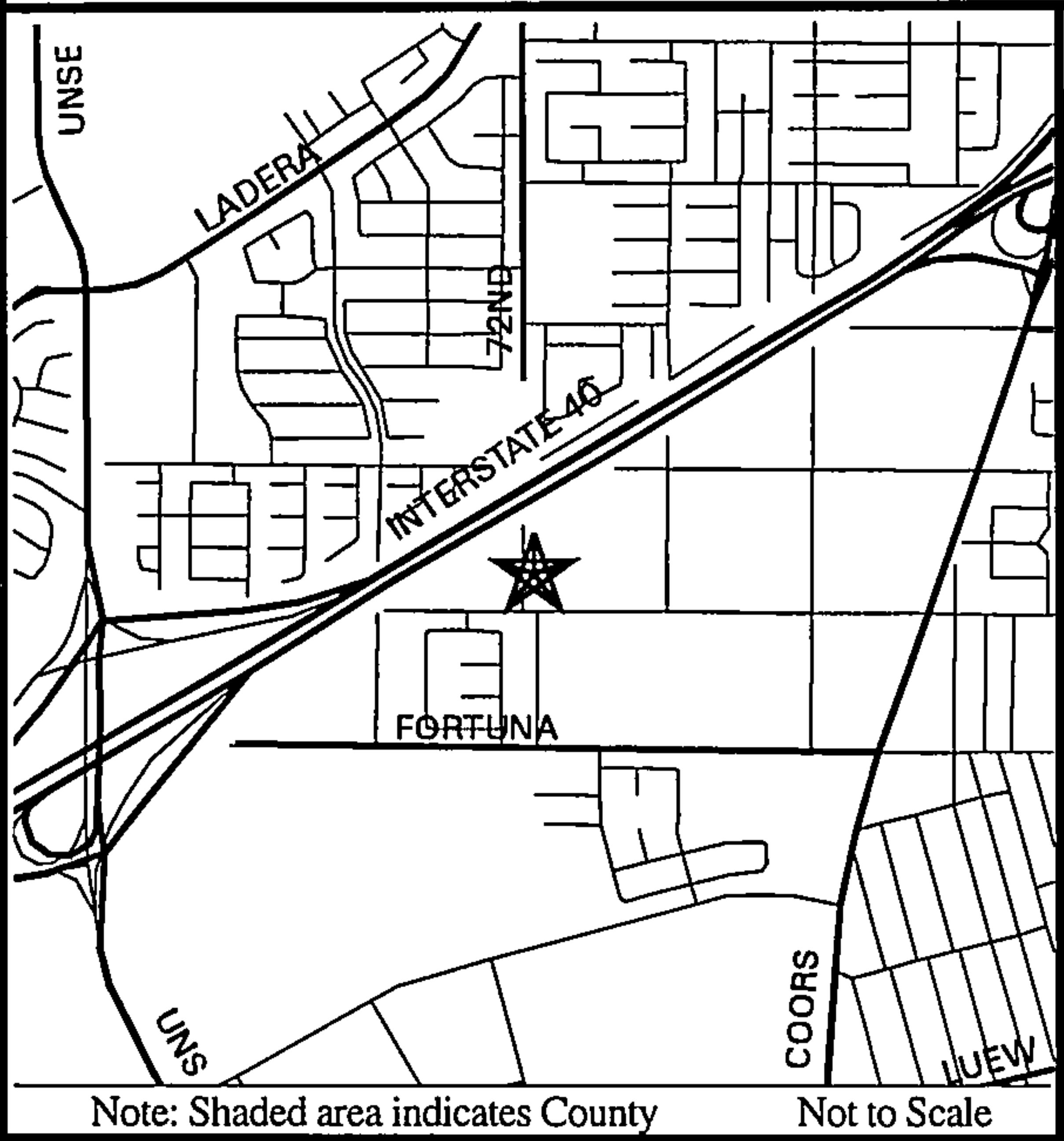
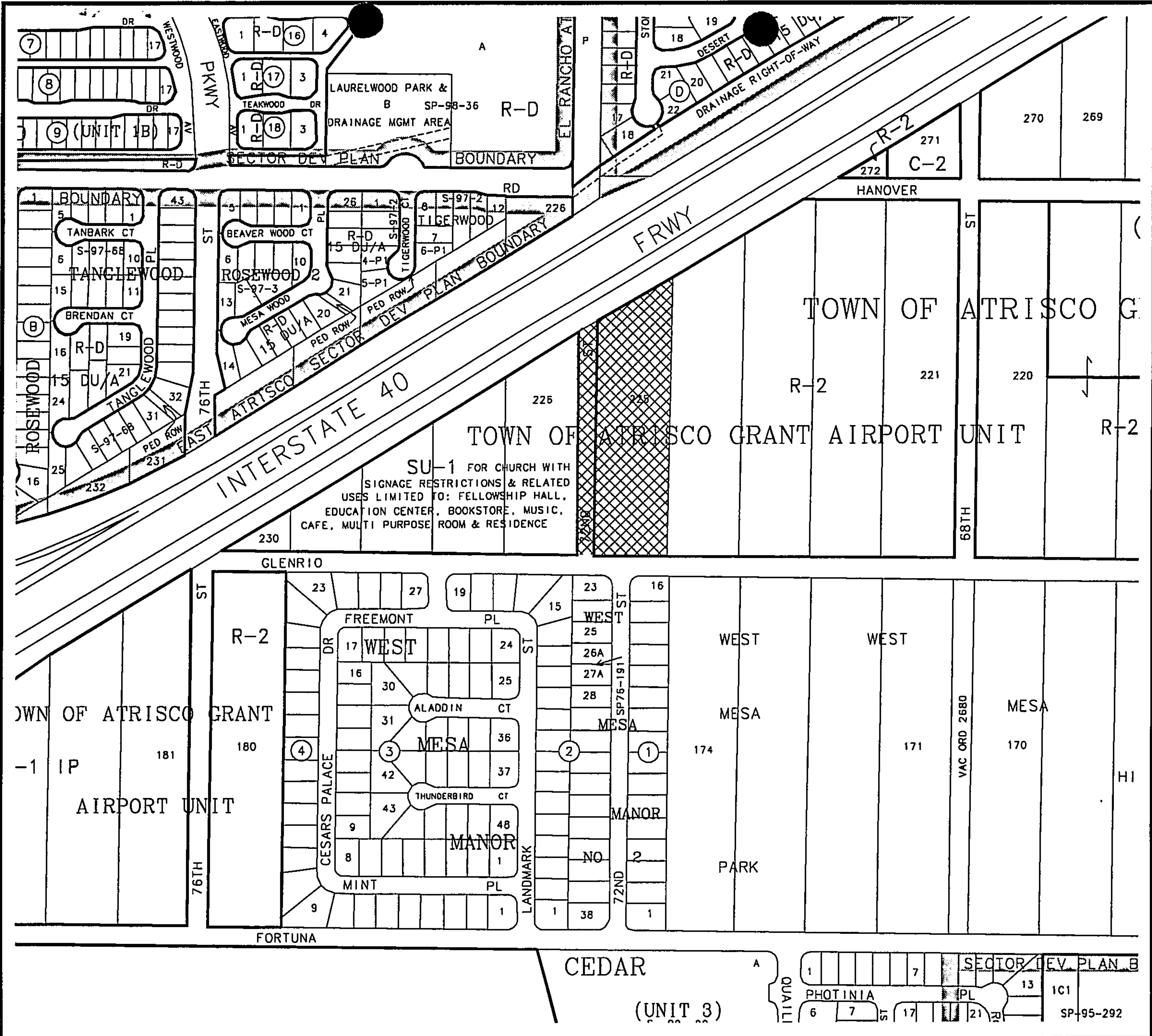
Utilities Development

No objection to Vacation request. No objection to Preliminary Plat, but have minor comments on Infrastructure List and Preliminary Plat

Planning Department

No objection to the plat approval. Be sure to follow required RT zoning setbacks for this R-2 property to be developed as single family residential.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING
cc:Ben Platania, 5712 Morgan Ln NW, 87120



ZONING MAP



Scale 1"=419'

PROJECT NO.
1001926

HEARING DATE
8-20-03

MAP NO.
J-10

ADDITIONAL CASE NUMBER(S)
03DRB-01224
03DRB-01225

Note: Shaded area indicates County Not to Scale



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, August 20, 2003, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1000269

03DRB-01269 Major-Two Year SIA

TIERRA WEST LLC agent(s) for UNION PENSION TRANSACTION TRUST 93-2 request(s) the above action(s) for all or a portion of Tract(s) 5B2C1B, **RENAISSANCE CENTER**, zoned SU-1 for C-2 use, located on MERCANTILE AVE NE, between CULTURE NE and I-25 FRONTAGE RD NE containing approximately 1 acre(s). [REF: 01DRB-00922, 01DRB-00922, 01DRB-00922] (F-16)

Project # 1002201

03DRB-01270 Major-Preliminary Plat Approval

TIERRA WEST LLC agent(s) for P J DEVELOPMENT COMMERCIAL CONSTRUCTION, request(s) the above action(s) for all or a portion of Tract(s) A & B, **AMERICAN TOYOTA**, zoned SU-2 special neighborhood zone, SU-1 AUTO SALES, located on ALAMEDA BLVD NE, between PAN AMERICAN FWY. NE and SAN PEDRO DR NE containing approximately 7 acre(s). [REF: Z-86-8, DRB-95-74, 02DRB-01367 (VRW) 02DRB-01270 (PP)] (C-18)

Project # 1001926

03DRB-01224 Major-Vacation of Pub Right-of-Way

03DRB-01225 Major-Preliminary Plat Approval

BEN PLATANIA request(s) the above action(s) for all or a portion of Tract(s) 225, **TOWN OF ATRISCO GRANT - AIRPORT UNIT**, zoned R-2, located on GLEN RIO RD NW, between 72nd ST NW and 78th ST NW containing approximately 5 acre(s). [REF: 02DRB-00568 (VROW), 02DRB-00673 (SK)] (J-10)

Project # 1001946

03DRB-01271 Major-Vacation of Pub Right-of-Way

BOHANNAN HUSTON agent(s) for LOWE'S (NEAL HAMILTON) request(s) the above action(s) for all or a portion of Tract(s) A, **LOS ANGELES CENTER**, zoned M-1 light manufacturing zone, located on PASEO DEL NORTE NE, between 1-25 FRONTAGE ROAD AND SAN FRANCISCO DR NE containing approximately 32 acre(s). [REF: 02DRB-00732, 02DRB-01008] (D-18)

Project # 1002503

03DRB-01268 Major-Preliminary Plat Approval

WILSON & COMPANY, INC. agent(s) for VOLCANO CLIFFS PROPERTY OWNERS ASSOCIATION, request(s) the above action(s) for all or a portion of Unit(s) 24 Block(s) 1-5 and Unit(s) 5, Partial Block(s) 1-12 and 14, **VOLCANO CLIFFS SUBDIVISION** (to be known **UNSER CLIFFS SUBDIVISION**, zoned R-1 residential zone, located on 81st ST NW, between UNSER BLVD NW and MARIGOLD DR NW containing approximately 42 acre(s). [REF: 03DRB-00295 SK, 03DRB-00337 & 340 VRW& VPE, 03DRB-00341 & 42 VPE] (D-10)

SEE PAGE 2



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

PAGE 2

Project # 1001984

03DRB-01244 Major-Vacation of Public Easements
03DRB-01245 Major-Vacation of Public Easements
03DRB-01246 Major-Vacation of Public Easements
03DRB-01247 Major-Vacation of Public Easements
03DRB-01248 Major-Vacation of Public Easements
03DRB-01249 Major-Vacation of Public Easements
03DRB-01243 Minor-Sketch Plat or Plan

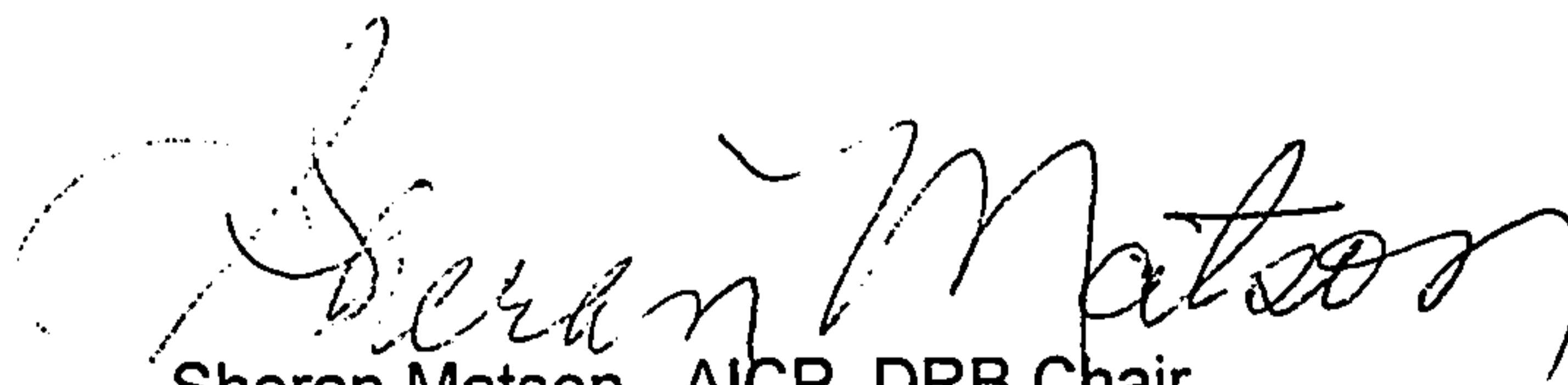
JEFF MORTENSEN & ASSOCIATES INC., agent(s) for RICH FORD, request(s) the above action(s) for all or a portion of Tract(s) A & B, **HYDER-MAISEL SUBDIVISION AND LANDS OF ROBERT L JOHNSON AND NMSHTD AIRSPACE PARCEL B-13-5**, zoned C-2 & P, located on LOMAS BLVD NE, between WYOMING BLVD NE and I-40 NE containing approximately 18 acre(s). [REF: 02DRB-01963, 02DRB-01964, 02EPC-00826, 02EPC-00827, 02EPC-00828] (J-20)

Project # 1002525

03DRB-01263 Major-Preliminary Plat Approval
03DRB-01264 Minor-Temp Defer SDWK

JEFF MORTENSEN & ASSOCIATES, INC., agent(s) for DESERT RIDGE DEVELOPMENT, LLC request(s) the above action(s) for all or a portion of Lot(s) 10-23, Block(s) 19, Tract(s) 3, **NORTH ALBUQUERQUE ACRES, UNIT 3**, (to be known as **VINEYARD COURT ESTATES**) zoned R-D residential and related uses zone, developing area, located on HOLLY AVE NE, between VENTURA ST NE and HOLBROOK ST NE containing approximately 14 acre(s). [REF: 03DRB-00367-70, 02EPC-01353 & 54](G-13)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. Individuals with disabilities who need special assistance to participate at this meeting should contact Claire Senova, Planning Department, at 924-3946. Hearing Impaired users may contact her via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.


Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, AUGUST 4, 2003.



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

8-21-2003

3. Project # 1001926
03DRB-01224 Major-Vacation of Pub Right-of-Way
03DRB-01225 Major-Preliminary Plat Approval

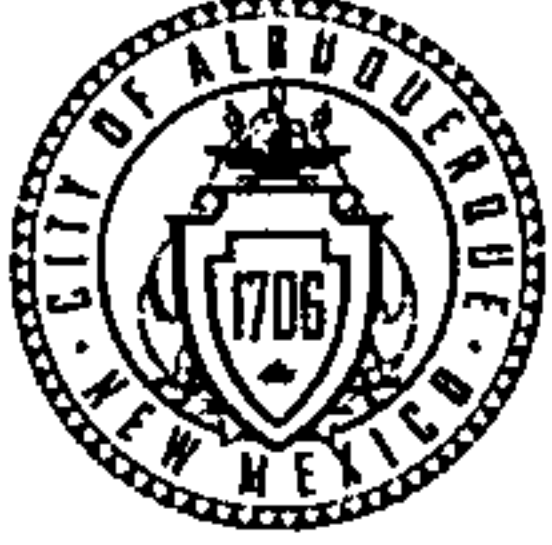
BEN PLATANIA request(s) the above action(s) for all or a portion of Tract(s) 225, **TOWN OF ATRISCO GRANT -AIRPORT UNIT**, zoned R-2, located on GLEN RIO RD NW, between 72nd ST NW and 78th ST NW containing approximately 5 acre(s). [REF: 02DRB-00568 (VROW), 02DRB-00673 (SK)] (J-10)

At the August 20, 2003, Development Review Board meeting, the Vacation was approved as shown on Exhibit B in the Planning file, subject to these provisions:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements, or:
2. There is a net benefit to the public welfare because the development made possible by the vacation is clearly more beneficial to the public welfare than the minor detriment resulting from the vacation.
3. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.
4. Final disposition shall be through the City Real Estate Office.
5. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

With the signing of the infrastructure list dated 8/20/03 and approval of the grading plan engineer stamp dated 7/14/03 the preliminary plat was approved. If you wish to appeal this decision, you must do so by September 4, 2003, in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.




OFFICIAL NOTICE OF DECISION
PAGE 2

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)


Sheran Matson, AICP, DRB Chair

cc: Ben Platania, 5712 Morgan Ln NW, 87120
Arlene Portillo, Planning Department, 4th Floor, Plaza del Sol Bldg.
Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg
File

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1001926 AGENDA#: 3 DATE: 8.20

1. Name: Ben Platania Address: _____ Zip: _____

2. Name: Mosun Khontam Address: Edger Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

9-18-2003

12. Project # 1001926
03DRB-01475 Minor-Temp Defer SDWK

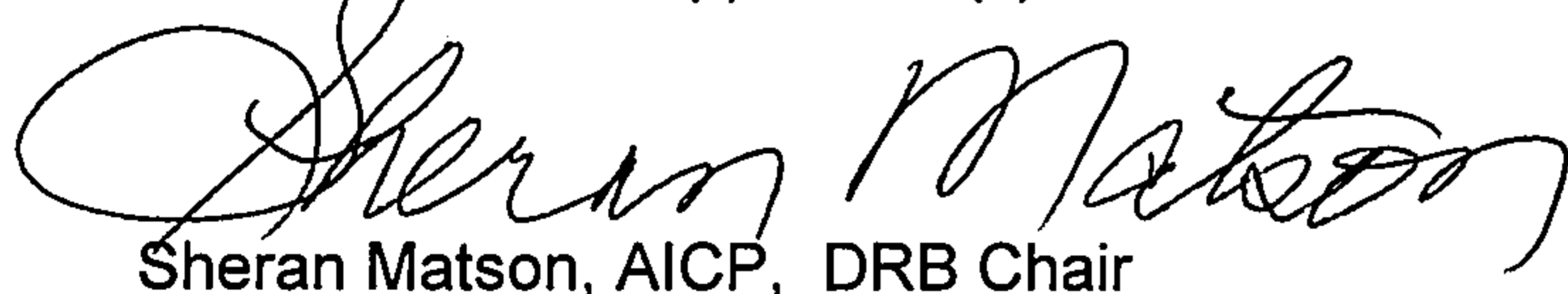
BEN PLATANIA request(s) the above action(s) for all or a portion of Lot(s) 225, **TOWN OF ATRISCO GRANT – AIRPORT UNIT**, zoned R-2, located on GLENRIO RD NW, between 72ND ST NW and 78TH ST NW containing approximately 5 acre(s). [REF: 1000694, 02DRB 00568, 02DRB 00673, 03DRB 01224/01225] (J-10)

At the September 17, 2003, Development Review Board meeting, the temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.

If you wish to appeal this decision, you must do so by October 2, 2003, in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



Sheran Matson, AICP, DRB Chair

Cc: Ben Platania, 5712 Morgan Ln NW, 87120
Arlene Portillo, Planning Department, 4th Floor, Plaza del Sol Bldg.
Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg
File

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Board
September 17, 2003 Comments**

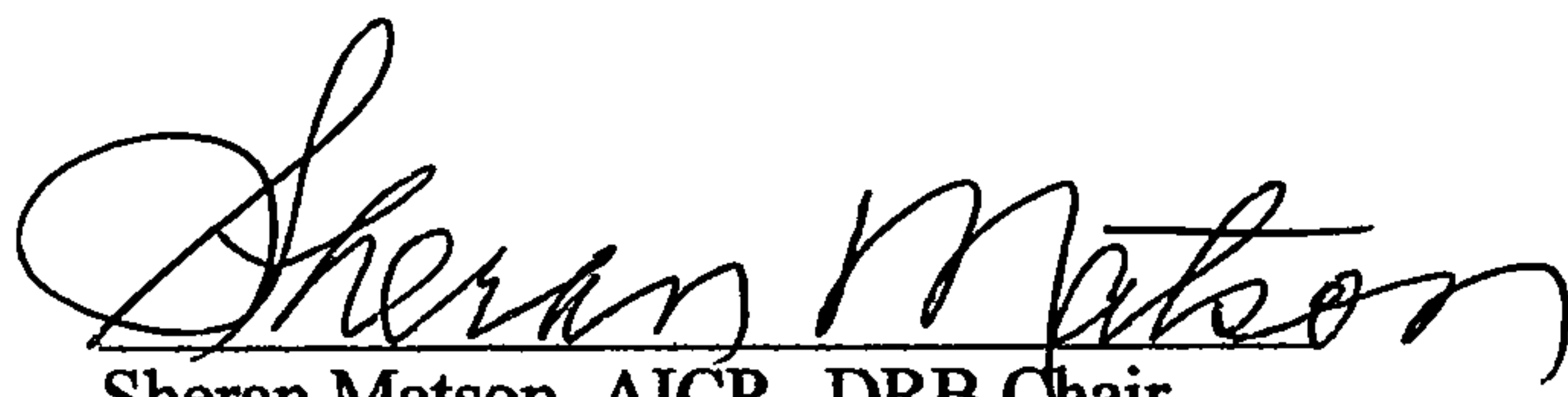
ITEM # 12

PROJECT # 1001926

APPLICATION # 03DRB-01475

RE: Lot 225, Town of Atrisco Grant, Airport Unit

No objection to the sidewalk deferral until homes are built.



Sheran Matson, AICP DRB Chair
924-3880 Fax 924-3864 smatson@cabq.gov



City of Albuquerque
CITY OF ALBUQUERQUE
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001926

AGENDA ITEM NO: 12

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

No adverse comments.

RESOLUTION:

APPROVED X; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: September 17, 2003



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

March 24, 2004 9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 11:20 A.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000147**
04DRB-00257 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES agent(s) for C & W LAND DEVELOPMENT request(s) the above action(s) for all or a portion of Unit(s) 1-4, Tract(s) 57-60, TOWN OF ATRISCO GRANT, (to be known as **WHISPERING POINT SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on SUNSET GARDENS SW, between 82nd ST SW and UNSER BLVD SW containing approximately 24 acre(s). [REF: DRB-97-497, 02DRB-00067, 03DRB-00058, 02DRB-01961] (L-10) A **ONE-YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. **Project # 1003112**
04DRB-00259 Major-Vacation of Pub
Right-of-Way
04DRB-00258 Major-Preliminary Plat
Approval
04DRB-00260 Minor-Temp Defer
SDWK

COMMUNITY SCIENCES CORP agent(s) for
COLLATZ INC./CLIFFORD CAPITAL FUND INC
request(s) the above action(s) for: A TRACT OF LAND
SITUATE WITHIN THE TOWN OF ALBUQUERQUE GRANT, PROJECTED
SECTIONS 34 AND 35, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO
PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY,
NEW MEXICO, BEING ALL OF: TRACT D OF LAVA TRAILS SUBDIVISION AS
THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF
RECORDED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO
COUNTY, NEW MEXICO ON 5/16/2002, IN BOOK 2002C, PAGE 172; THE
REMAINING "LANDS OF SLOAN" AS THE SAME IS SHOWN AND
DESIGNATED ON THE SPECIAL WARRANTY DEED RECORDED IN THE
OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON
7/27/1945, IN BOOK 220, PAGE 289; THE LANDS OF BOB CARRICO AS THE
SAME IS SHOWN AND DESIGNATED ON THE WARRANTY DEED RECORDED
IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW
MEXICO ON 5/15/1972, IN BOOK D918, PAGE 551; THE LANDS OF JOE
SAAVEDRA AS THE SAME IS SHOWN AND DESIGNATED ON THE
WARRANTY DEED RECORDED IN THE OFFICE OF THE COUNTY CLERK,
BERNALILLO COUNTY, NEW MEXICO ON 5/10/1964, AS DOC #98133; THE
LANDS OF ALBERT GURULE AND THE SAME IS SHOWN AND DESIGNATED
ON THE WARRANTY DEED RECORDED IN THE OFFICE OF THE COUNTY
CLERK, BERNALILLO COUNTY, NEW MEXICO ON 2/17/1997, IN BOOK 97-4,
PAGE 9000; PAQUIN TRAIL GRANT OF EASEMENT AS THE SAME IS SHOWN
AND DESIGNATED ON THE WARRANTY DEED RECORDED IN THE OFFICE
OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO ON
01/14/1955, IN BOOK D302, PAGE 303; THE LANDS OF DUNCAN
KIRK/DEBORAH TARPLEY AS THE SAME IS SHOWN AND DESIGNATED ON
THE WARRANTY DEED RECORDED IN THE OFFICE OF THE COUNTY
CLERK, BERNALILLO COUNTY, NEW MEXICO ON 02/01/2002, IN BOOK A31,
PAGE 4192 BUT LESS AND EXCEPTING THEREFROM THOSE LANDS
GRANTED TO THE CITY OF ALBUQUERQUE IN THAT WARRANTY DEED
RECORDED ON JUNE 12, 1992 IN BK. 92-13, PGS. 9944-9948; ALL BEING
DESCRIBED MORE FULLY AS FOLLOWS: BEGINNING AT THE SOUTHWEST
CORNER OF SAID TRACT D, LAVA TRAILS SUBDIVISION, A POINT LOCATED
ON THE NORTHERLY RIGHT OF WAY LINE OF WESTERN TRAIL N.W. AND
RUNNING THENCE N11°45'21"W, 338.72 FEET; THENCE S77°36'56"W, 127.43
FEET; THENCE N35°50'27"W, 123.47 FEET; THENCE N35°50'27"W, 66.00
FEET TO A POINT LOCATED ON THE EASTERLY RIGHT OF WAY LINE OF
UNSER BLVD N.W.; THENCE ALONG SAID EASTERLY RIGHT OF WAY LINE
652.67 FEET ALONG AN 1178.00 FOOT RADIUS CURVE TO THE LEFT
(CENTRAL ANGLE = 31°44'40"; CHORD BEARS N44°22'41" E, 644.35
FEET); THENCE LEAVING SAID EASTERLY RIGHT OF WAY LINE S89°34'22"E,
144.15 FEET TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF
ATRISCO DRIVE N.W.; THENCE ALONG SAID WESTERLY RIGHT OF WAY
LINE S11°45'40"E 793.97 FEET TO A NON-TANGENT POINT OF CURVATURE;
THENCE 29.21 FEET ALONG A 50.00 FOOT RADIUS CURVE TO THE RIGHT
(CENTRAL ANGLE = 33°28'34"; CHORD BEARS S05°07'51"W, 28.80 FEET);
THENCE CONTINUING ALONG SAID RIGHT-OF-WAY LINE THE FOLLOWING
THREE (3) COURSES: N56°53'08"W, 11.55 FEET; S33°06'52"W, 21.60 FEET;
S56°53'08"E, 11.09 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY
LINE OF WESTERN TRAIL ROAD NW; THENCE CONTINUING ALONG SAID
NORTHERLY RIGHT OF WAY LINE 30.39 FEET ALONG A 50.00 FOOT RADIUS
CURVE TO THE RIGHT (CENTRAL ANGLE = 34°49'19"; CHORD BEARS
S64°14'04"W, 29.92 FEET TO A POINT OF REVERSE CURVATURE; THENCE
CONTINUING ALONG SAID NORTHERLY RIGHT OF WAY LINE 188.62 FEET
ALONG A 2683.31 FOOT RADIUS CURVE TO THE LEFT (CENTRAL ANGLE =
04°01'39"; CHORD BEARS S79°37'54"W 188.58 FEET A POINT OF TANGENCY;
THENCE S77°37'04"W, 228.57 FEET TO THE POINT OF BEGINNING, AND
CONTAINING 9.0545 ACRES, MORE OR LESS, (to be known as
RINCONADA TRAILS SUBDIVISION (formerly
Western Trails Estates), zoned R-D, located on
UNSER BLVD NW, between WESTERN TRAILS NW
and LEGENDS AVE NW containing approximately 10
acre(s). [REF:SD-80-5, 03DRB-0199. [Deferred from
3/24/04] (F-10 & F-11) DEFERRED AT THE AGENT'S
REQUEST TO 4/14/04.

3. **Project # 1003232**
04DRB-00254 Major-Vacation of Pub
Right-of-Way
04DRB-00255 Major-Vacation of Public
Easements
04DRB-00253 Minor-Prelim&Final Plat
Approval

COMMUNITY SCIENCES CORP. agent(s) for ENTRADA DEVELOPMENT LTD. CO. request(s) the above action(s) for all or a portion of Lot(s) 8-P2, **CAMPBELL FARM SUBDIVISION** AND Tract(s) A, **LANDS OF ANDREWS**, zoned RA-2 residential and agricultural zone, located on CAMPBELL LANE NW, between CAMPBELL RD NW and MATTHEW RD NW containing approximately 2 acre(s). [REF: DRB-98-195, 04DRB-00139] [*Deferred from 3/24/04*] (G-13) **DEFERRED AT THE AGENT'S REQUEST TO 4/7/04.**

4. **Project # 1003186**
04DRB-00256 Major-Vacation of Pub
Right-of-Way

RIO GRANDE ENGINEERING agent(s) for STV INVESTMENTS, LLC request(s) the above action(s) for all or a portion of Tract(s) 442, Unit(s) 3, **LAND OF ATRISCO GRANT**, zoned R-D residential and related uses zone, developing area, 9DU/AC, located EAST OF 97TH ST SW, between SAN YGNACIO BLVD SW and TOWER BLVD SW containing approximately 1 acre(s). [REF: 04DRB-00035] (L-9) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

5. **Project # 1003231**
04DRB-00261 Major-Preliminary Plat
Approval
04DRB-00263 Minor-Temp Defer
SDWK
04DRB-00262 Minor-Subd Design
(DPM) Variance

WILSON & COMPANY INC agent(s) for LONGFORD @ ARROWWOOD LLC request(s) the above action(s) for all or a portion of Tract(s) 29A & 30A1, LANDS OF SALAZAR/QUATRO/SJ HANNETT, (to be known as **LONGFORD @ ARROWWOOD SUBDIVISION**) zoned R-LT residential zone, located on 98TH ST SW, between RIO BRAVO SW and BLAKE SW containing approximately 59 acre(s). [REF: 02DRB-01621, 01622, 04DRB-00137] *[Deferred from 3/24/04]* (N-9) **THE SUBDIVISION DESIGN VARIANCE WAS WITHDRAWN AT THE AGENT'S REQUEST. A LETTER TO FOLLOW. DEFERRED AT THE AGENT'S REQUEST TO 4/7/04.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

6. **Project # 1003296**
04DRB-00341 Minor-SiteDev Plan
BldPermit

DAVID PACHECO, agent(s) for VERNON DORRIS, request(s) the above action(s) for all or a portion of Tract(s) 11, **ALAMEDA BUSINESS PARK**, zoned SU-2, IP-EP, located on ALAMEDA BLVD NE between EDITH NE and JEFFERSON NE containing approximately 1 acre(s). [REF: DRB-98-223, V-99-9, 10001321, 1003114] *[Deferred from 3/24/04]* (C-16) **DEFERRED AT THE AGENT'S REQUEST TO 4/7/04.**

7. **Project # 1003299**
04DRB-00346 Minor-SiteDev Plan
BldPermit

STERLING CAPITAL DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Lot(s) 16A, Block(s) 18, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 special neighborhood zone, M-1, located on SAN PEDRO DR NE, between PASEO DEL NORTE NE and HOLLY AVE. NE containing approximately 2 acre(s). [REF: DRB-96-67] *[Deferred from 3/24/04]* (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 4/7/04.**

8. **Project # 1000650**
04DRB-00277 Minor-SiteDev Plan
BldPermit/EPC

TIERRA WEST LLC agent(s) for WALMART STORES INC request(s) the above action(s) for all or a portion of Lot(s) 1-A, **LANDS OF LAMONICA & WENK**, zoned SU-1, C-1 PERMANENT USES, located on COORS BLVD SW, between RIO BRAVO BLVD SW and LAMONICA RD SW containing approximately 21 acre(s). [REF: AX-88-7, Z-99-78, 03EPC-00905, 00907, 03DRB-01906] [**Carmen Marrone, EPC Case Planner**] [*Deferred from 3/10/04 & 3/24/04*] (P-10) **DEFERRED AT THE AGENT'S REQUEST TO 3/31/04.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

9. **Project # 1001926**
04DRB-00329 Minor-Amnd Prelim Plat
Approval

JEFF DORWART agent(s) for BEN PLATANIA request(s) the above action(s) for all or a portion of Tract(s) 225, **TOWN OF ATRISCO GRANT, AIRPORT UNIT**, zoned R-2 residential zone, located on GLEN RIO RD NW, between 72ND ST NW and 78TH ST NW containing approximately 5 acre(s). [REF: 1000069, 02DRB-00568, 02DDRDB-00673, 03DRB-01224, 01225, 01475] (J-10) **WITH THE SIGNING OF THE AMENDED GRADING PLAN ENGINEER STAMP DATED 3/24/04 THE AMENDED PRELIMINARY PLAT WAS APPROVED. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT.**

10. **Project # 1001209**
03DRB-02063 Minor- Final Plat Approval

MARK GOODWIN & ASSOC. agent(s) for CLIFFORD CAPITAL FUND, INC. request(s) the above action(s) for all or a portion of Tract(s) A, **LAVA TRAILS**, zoned SU-1 special use zone, located on WESTERN TRAILS DR NW, between UNSER BLVD. NW and ATRISCO RD. NW containing approximately 6 acre(s). [REF: 02DRB-00183, 01DRB-00562, Z-98-139] [*Final Plat was indefinitely deferred with condition: the perimeter wall design submittal must be approved before final plat approval*] (F-10) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

11. **Project # 1002565**
04DRB-00339 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for LOS GRIEGOS DEVELOPMENT, LLC request(s) the above action(s) for all or a portion of Lot(s) 161A, 161B1, 161B2, 162A, 162B, 163A, 166A, 166B, 167A, MRGCD MAP # 31, (to be known as **VILLA DE LA CAPILLA**, zoned SU-1 special use zone, FOR PRD, located on GRIEGOS RD NW, between SAN ISIDRO ST NW and GRIEGOS DRAIN NW containing approximately 5 acre(s). [REF: 03EPC-00506, 03EPC-00505, 03EPC-00509] (F-13) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR PARK DEDICATION CASH-IN-LIEU PAYMENT.**

12. **Project # 1003217**
04DRB-00357 Minor-Final Plat Approval

BOHANNAN HUSTON, INC. agent(s) for LAS VENTANAS LTD. PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) 29E, **COUNTRY MEADOWS SUBDIVISION, UNIT 4**, zoned R-LT residential zone, located on UNIVERSE BLVD NW, between IRVING BLVD NW and COUNTRY COVE PL NW containing approximately 12 acre(s). [REF: 04DRB-00097] (B-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

13. **Project # 1001413**
04DRB-00354 Minor-Final Plat Approval

BOHANNAN HUSTON, INC. agent(s) for PULTE HOMES OF NM, INC. request(s) the above action(s) for all or a portion of Tract(s) Y-1A-1A-4 & Y-1A-1A-5, VENTANA RANCH, (to be known as **PINON POINT, UNIT 6**, zoned R-LT residential zone, located on IRVING BLVD NW, WEST OF RAINBOW NW containing approximately 16 acre(s). [REF: 02DRB-00517] (B-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

14. **Project # 1002640**
04DRB-00350 Major-Final Plat Approval

ISAACSON & ARFMAN, P.A. agent(s) for TWO JOES, LLC request(s) the above action(s) for all or a portion of Lot(s) 22-32, Block(s) 3, UNIT 3, Tract(s) 2, NORTH ALBUQUERQUE ACRES, (to be known as **VISTA DEL AGUILA SUBDIVISION, UNIT 3**) zoned R-D (7 DU/AC) located on ALAMEDA BLVD NE, between LOUISIANA BLVD NE and WYOMING BLVD NE containing approximately 12 acre(s). [REF: 03DRB-00723, AP-03EPC-01242, 03-00724(SPS), 03DRB-01574, 03DRB-00724, 03DRB-00725, 03DRB-00726, 03DRB-00728] (C-19) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

15. **Project # 1002511**
04DRB-00358 Minor-Final Plat Approval

ISAACSON & ARFMAN, PA agent(s) for KB HOME OF NEW MEXICO request(s) the above action(s) for all or a portion of Lot(s) 17 & 18, Block(s) A, **SUNDANCE SUBDIVISION**, zoned R-LT, located on HATTERAS PL NW between BLUEWATER RD NW and WEST OF LUMINOSO DR NW. [REF: 03DRB-00858, 03DRB-00859, 03DRB-00860-61, 03EPC-00316, 03DRB-01578, 03DRB-01580] (K-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

04DRB-00359 Minor-Final Plat Approval

ISAACSON & ARFMAN, PA agent(s) for KB HOME OF NEW MEXICO request(s) the above action(s) for all or a portion of Lot(s) 4-5, Block(s) A, **SUNDANCE SUBDIVISION**, zoned R-LT, located on SAWGRASS PL NW, between BLUEWATER RD NW and WEST OF LUMINOSO DR NW. [REF: 03DRB-00858-59-60-61, 03EPC-00316, 03DRB-0158 & 80] (K-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

16. **Project # 1002506**
04DRB-00360 Minor-Vacation of
Private Easements

TIERRA WEST LLC agent(s) for STH INVESTMENTS request(s) the above action(s) for all or a portion of Tract(s) 12A & 12B, **BLACK RANCH**, zoned RA-1, located on CORRALES MAIN CANAL, between COORS BLVD NW and RIVERFRONTE DR NW containing approximately 43 acre(s). [REF: 03EPC-00300, 03EPC-00301, 04DRB-00217] [*Deferred from 3/24/04*] (C-13) **DEFERRED AT THE AGENT'S REQUEST TO 3/31/04.**

17. **Project # 1003123**
04DRB-00348 Minor-Vacation of Private
Easements
04DRB-00347 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for EILEEN DEVEREUX & STEFAN WATSON request(s) the above action(s) for all or a portion of Tract(s) 77B1, **MRGCD MAP 36**, zoned S-M1, located on 5TH ST NW, between HAINES AVE NW and 6TH ST NW containing approximately 2 acre(s). [REF: 03DRB-02044] (H-14) **THE VACATION OF THE PRIVATE EASEMENT WAS WITHDRAWN AT THE AGENT'S REQUEST. A LETTER WILL FOLLOW. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 3/24/04 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED.**

18. **Project # 1003258**
04DRB-00205 Minor-Prelim&Final Plat
Approval

PHILIP W. TURNER agent(s) for SALVADOR PEREZ request(s) the above action(s) for all or a portion of Lot(s) 280 B, **TOWN OF ATRISCO GRANT, UNIT 8**, zoned R-T residential zone, located on 55TH ST NW, between BICE RD NW and JUNIPER RD NW containing approximately 1 acre(s). [REF: DRB-97-205] [*Deferred from 2/25/04, 3/10/04 & 3/24/04.*] (H-11) **DEFERRED AT THE AGENT'S REQUEST TO 3/31/04.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

19. **Project # 1003300**
04DRB-00349 Minor-Sketch Plat or Plan
- DEBBIE HUDSON, agent(s) for JOANNE NEALEY, request(s) the above action(s) for all or a portion of Lot(s) 29 & 30, Tract(s) E 1/2, **MCDONALD ACRES THIRD UNIT**, zoned R-1, located on the southeast CORNER OF PHOENIX NW, between 10th ST NW and 11th ST NW containing approximately 1 acre(s). (H-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
20. Approval of the Development Review Board Minutes for March 10, 2004. **THE MARCH 10, 2004 MINUTES WERE APPROVED.**

ADJOURNED: 11:20 A.M.



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

August 3, 2005

Project # 1001926
05DRB-01125 Major-Two Year SIA

TIERRA WEST LLC agent(s) for JD HOME, INC., request(s) the above action(s) for all or a portion of Lots 1 – 34 **MUSTANG MESA**, zoned R-2, located on 72nd PL NW, between INTERSTATE 40 WEST and GLENRIO RD NW containing approximately 5 acre(s). [REF: 03DRB-01224; 03DRB-01225; 04DRB-01358; 04DRB-1393; 04DRB-01394] (J-10)

AMAFCA	No adverse comments.
COG	No adverse comments.
Transit	No objection to the request.
Zoning Enforcement	No adverse comments.
Neighborhood Coordination	
Letters sent to Los Volcanes NA (R), S.R. Marmon NA (R) and Laurelwood NA (R).	
APS	No comments received.
Police Department	No CPTED or crime prevention comments at this time.
Fire Department	No adverse comments.
PNM Electric & Gas	Approves.
Comcast	No comments received.
QWEST	No comments received.
Environmental Health	No comments received.
M.R.G.C.D.	No comments received.
Open Space Division	No adverse comments.

City Engineer The Hydrology section has no objection to the extension request.

Transportation Development No objection to request.

Parks & Recreation No objection.

Utilities Development No objection to a one year extension request.

Planning Department No objection to the one year extension.

Impact Fee Administrator No comment on proposed extension of SIA's.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

cc:J D Homes Inc., P.O. Box 90218, 87199

Tierra West LLC, 8509 Jefferson St NE, 87113



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, August 3, 2005, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1001926
05DRB-01125 Major-Two Year SIA

TIERRA WEST LLC agent(s) for JD HOME, INC., request(s) the above action(s) for all or a portion of Lots 1 – 34 **MUSTANG MESA**, zoned R-2, located on 72nd PL NW, between INTERSTATE 40 WEST and GLENRIO RD NW containing approximately 5 acre(s). [REF: 03DRB-01224; 03DRB-01225; 04DRB-01358; 04DRB-1393; 04DRB-01394] (J-10)

Project # 1002962
05DRB-01119 Major-Preliminary Plat Approval
05DRB-01120 Minor-Temp Defer SDWK

SURV-TEK, INC agent(s) for LONGFORD AT THE TRAILS, LLS request(s) the above action(s) for all or a portion of Tract(s) 6, **THE TRAILS, UNIT 2**, zoned R-LT residential zone, located on OAKRIDGE ST NW, between WOODMONT AVE NW and TREELINE AVE NW containing approximately 17 acre(s). [REF: 04DRB01322] (C-9)

Project # 1003189
05DRB-01127 Major-Preliminary Plat Approval
05DRB-01129 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for FULLER HOMES, INC request(s) the above action(s) for all or a portion of Tract(s) 355, 356 TRACTS A & B, LANDS OF HECTOR ROJO, **TOWN OF ATRISCO GRANT**, zoned RD-R1, located on TOWER RD SW, between COORS BLVD SW and STINSON RD SW containing approximately 15 acre(s). (L-10)

Project # 1004177
05DRB-01122 Major-Preliminary Plat Approval
05DRB-01124 Minor-Temp Defer SDWK
05DRB-01123 Minor-Sidewalk Waiver

BOHANNAN HUSTON INC. agent(s) for SANDIA PROPERTIES LTD. CO. request(s) the above action(s) for TRACTS 10, 11, 12 & 13 **VENTANA RANCH WEST**, zoned R-LT residential zone, located on VENTANA RIDGE RD NW and containing approximately 74 acre(s). (B-8)

Project # 1004315
05DRB-01121 Major-Vacation of Public Easements

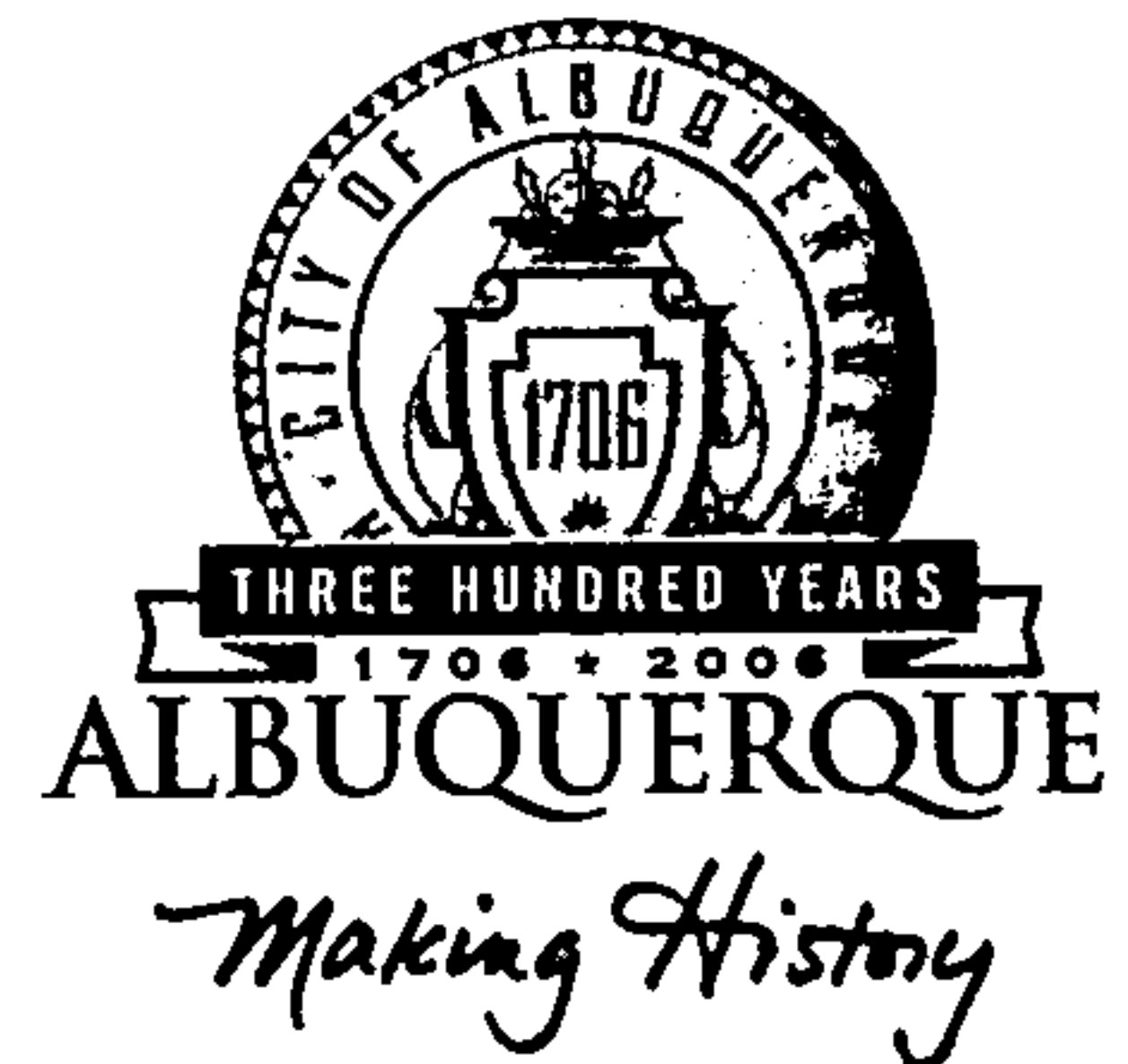
BOHANNAN HUSTON, INC., agent(s) for ALTURA WEST DEVELOPMENT LLC, request(s) the above action(s) for Lot(s) 33, **OXBOW BLUFF SUBDIVISION**, zoned SU-3, located on SILVERY MINOW LN NW, between WATERWILLOW LN NW and GREY HAWK LN NW. (G-11)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.



Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, July 18, 2005.



NOTIFICATION OF HEARING for the DEVELOPMENT REVIEW BOARD

July 15, 2005

TO: See Attached Distribution List of "Recognized" Neighborhood Association(s)

This letter will serve as your notification from the City of Albuquerque, under provisions of 0-92 pertaining to a request for: Requests the following for approximately five (5) acre(s): Major One Year Subdivision Improvement Agreement (SIA) for Mustang Mesa to complete the final inspections and to allow for the processing of the close out package through the city.

Proposed by: Tierra West, LLC at 858-3100

Agent for: JD Home Inc.

P.O. Box 1293

For property located: On or near 72nd Place NW between Interstate 40 West and Glenrio Road NW.

Albuquerque

The case number(s) assigned is: 05DRB- 01125, Project # 1001926.

City Planning accepted application for this request on July 8, 2005.

New Mexico 87103

The owner, applicant, and/or agent certified at the time of application acceptance that they notified you of the proposed action by *certified mail, return receipt requested.*

www.cabq.gov

Please be advised that this application is scheduled for a hearing before the Development Review Board (DRB) at 9 a.m. on Wednesday, August 3, 2005 in the Planning Hearing Room, Lower Level, Plaza Del Sol Building, 600 Second St. NW.

You should contact Claire Senova at 924-3946 to confirm this date, time, and to seek further information.

If you have any questions -OR- have not been contacted by the applicant, please call Stephani Winklepleck at 924-3902 or by e-mail at swinklepleck@cabq.gov.

Sincerely,

Stephani J. Winklepleck

Stephani I. Winklepleck

Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

**cc: Claire Senova, DRB
Administrative Assistant**

DISTRIBUTION LIST:

M. Max Garcia and David Edwards, Los Volcanes Neighborhood Association
Deaun Lewis and Annette Gonzales, S.R. Marmon Neighborhood Association
Hector Portilla and Phyllis Vilchuck, Laurelwood Neighborhood Association

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: AUGUST 3, 2005
Zone Atlas Page: J-10-Z
Notification Radius: 100 Ft.

Project# 1001926
App# 05DRB-01125

Cross Reference and Location: 72ND Place NW Between Interstate 40 West And
Glenrio Rd NW

Applicant: J D HOMES, INC
Address: PO BOX 90218
ALBUQUERQUE NM 87199-0218

Agent: TIERRA WEST, LLC
Address: 8509 JEFFERSON ST. NE
ALBUQUERQUE NM 87113

Special Instructions:

**Notice must be mailed from the
City's 15 day prior to the meeting.**

Date Mailed: JULY 15, 2005

Signature: KYLE TSEHLIKAI

101005925403141315	LEGAL: TRAC T P PLAT OF CHAMISA POINTE SUBD UNIT ONE (TOGE LAND USE: PROPERTY ADDR: 00000 N/A OWNER NAME: CITY OF ALBUQUERQUE OWNER ADDR: 00000	ALBUQUERQUE NM	87103
101005828748011011	LEGAL: TRAC T A PLAT OF CHAMISA POINTE SUBD UNIT ONE (TOGE LAND USE: PROPERTY ADDR: 00000 N/A OWNER NAME: CITY OF ALBUQUERQUE OWNER ADDR: 00000	ALBUQUERQUE NM	87103
101005823547620816	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826547711006	LEGAL: LT 1 8 BL K A PLAT OF CHAMISA POINTE SUBD UNIT ONE (LAND USE: PROPERTY ADDR: 00000 STONEWAY OWNER NAME: TRUJILLO HELEN C OWNER ADDR: 02712 PASEO DEL CANTO	SW ALBUQUERQUE NM	87121
101005826147511013	LEGAL: PARK PLA T OF CHAMISA POINTE SUBD UNIT ONE (TOGETHE LAND USE: PROPERTY ADDR: 00000 N/A OWNER NAME: CITY OF ALBUQUERQUE OWNER ADDR: 00000	ALBUQUERQUE NM	87103
101005825546211012	LEGAL: DRAI NAGE ROW PLAT OF CHAMISA POINTE SUBD UNIT ONE LAND USE: PROPERTY ADDR: 00000 N/A OWNER NAME: CITY OF ALBUQUERQUE OWNER ADDR: 00000	ALBUQUERQUE NM	87103
101005823246521010	LEGAL: NLY POR OF TR 226 TOWN OF ATRISCO GRANT AIRPORT UN LAND USE: PROPERTY ADDR: 00000 N/A OWNER NAME: AMAFCA OWNER ADDR: 02600 PROSPECT	NE ALBUQUERQUE NM	87107
101005829141610402	LEGAL: TOWN OF ATRISCO GRANT A.P.U. #8 TRACT 224 CONT 4.1 LAND USE: PROPERTY ADDR: 00000 GLENRIO OWNER NAME: BRUCKNER DONALD G ETUX ETAL OWNER ADDR: 03305 GRANDE VISTA	NW ALBUQUERQUE NM	87120
101005828744710406	LEGAL: SELY POR OF THE NLY 242.70 FT OF TR 225 TOWN OF AT LAND USE: PROPERTY ADDR: 00000 HANOVER OWNER NAME: STATE OF NEW MEXICO OWNER ADDR: 00406 CORNELL	SE ALBUQUERQUE NM	87106
101005826044510217	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826043510216	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826044010218	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826043510219	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005821038520902	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826043010215	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826043010220	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		

101005826042510214	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826042510221	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826042010213	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826042010222	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826041510212	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826041510223	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826041010211	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826041010224	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826040510210	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826040510225	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826040010209	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826040010226	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826039510208	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826039510227	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826039010207	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826039010228	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826038510206	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826038510229	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826038010205	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826038010230	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826037510204	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826037510231	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826037010203	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826037010232	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826036510202	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826036510233	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826036010201	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		
101005826036010234	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE		

101005824334821221	LEGAL: 16 2 OF WEST MESA MANOR SUBD PROPERTY ADDR: 00000 FREMONT OWNER NAME: MCGUINNESS ABEL OWNER ADDR: 07301 FREMONT	LAND USE: PL NW ALBUQUERQUE NM 87121
101005825034321222	LEGAL: 15 2 OF WEST MESA MANOR SUBD PROPERTY ADDR: 00000 LANDMARK OWNER NAME: MARES RONNIE E & JANET E OWNER ADDR: 00832 LANDMARK	LAND USE: ST NW ALBUQUERQUE NM 87121
101005826134921217	LEGAL: 23 2 OF WEST MESA MANOR NO 2 SUBD PROPERTY ADDR: 00000 72ND OWNER NAME: MALONE JOHN E JR & RUTH M OWNER ADDR: 00623 AMHERST	LAND USE: NE ALBUQUERQUE NM 87106
101005827734910106	LEGAL: 16 1 OF WEST MESA MANOR NO 2 SUBD PROPERTY ADDR: 00000 72ND OWNER NAME: ESQUIBEL SYLVESTER & ANN OWNER ADDR: 01708 RUSTY	LAND USE: DR NW ALBUQUERQUE NM 87114
101005829330510102	LEGAL: TOWN OF ATRISCO GRANT AP48 TR 174 PROPERTY ADDR: 00000 FORTUNA OWNER NAME: CITY OF ALBUQUERQUE OWNER ADDR: 00000	LAND USE: ALBUQUERQUE NM 87103
101005826134221216	LEGAL: 24 2 WEST MESA MANOR NO 2 SUBD PROPERTY ADDR: 00000 72ND OWNER NAME: VARGAS EFREN & OWNER ADDR: 00825 72ND	LAND USE: ST NW ALBUQUERQUE NM 87121
101005827734210107	LEGAL: 15 1 OF WEST MESA MANOR NO 2 SUBD PROPERTY ADDR: 00000 72ND OWNER NAME: GARCIA MICHAEL & BERNADETTE OWNER ADDR: 00824 72ND	LAND USE: ST NW ALBUQUERQUE NM 87105

101005826040010209 LEGAL: LOT 9 FINAL PLAT MUSTANG MESA SUBDIVISION CO
PROPERTY ADDR: 1009 72ND PL. NW

OWNERS NAME: JD HOME BUILDER CORP
OWNERS ADDR: 401 COORS BLVD NW
ALBUQUERQUE NM 87120

101005826010510210 LEGAL: LOT 10 FINAL PLAT MUSTANG MESA SUBDIVISION CO
PROPERTY ADDR: 1015 72ND PL. NW

OWNERS NAME: JD HOME BUILDER CORP
OWNERS ADDR: 401 COORS BLVD NW
ALBUQUERQUE NM 87120

101005826041010211 LEGAL: LOT 11 FINAL PLAT MUSTANG MESA SUBDIVISION CO
PROPERTY ADDR: 1019 72ND PL. NW

OWNERS NAME: JD HOME BUILDER CORP
OWNERS ADDR: 401 COORS BLVD NW
ALBUQUERQUE NM 87120

101005826041510212 LEGAL: LOT 12 FINAL PLAT MUSTANG MESA SUBDIVISION CO
PROPERTY ADDR: 1023 72ND PL. NW

OWNERS NAME: JD HOME BUILDER CORP
OWNERS ADDR: 401 COORS BLVD NW
ALBUQUERQUE NM 87120

101005826042010213 LEGAL: LOT 13 FINAL PLAT MUSTANG MESA SUBDIVISION CO
PROPERTY ADDR: 1101 72ND PL. NW

OWNERS NAME: JD HOME BUILDER CORP
OWNERS ADDR: 401 COORS BLVD NW
ALBUQUERQUE NM 87120

101005826042510214 LEGAL: LOT 14 FINAL PLAT MUSTANG MESA SUBDIVISION CO
PROPERTY ADDR: 1105 72ND PL. NW

OWNERS NAME: JD HOME BUILDER CORP
OWNERS ADDR: 401 COORS BLVD NW
ALBUQUERQUE NM 87120

101005826043010215 LEGAL: LOT 15 FINAL PLAT MUSTANG MESA SUBDIVISION CO
PROPERTY ADDR: 1109 72ND PL. NW

OWNERS NAME: JD HOME BUILDER CORP
OWNERS ADDR: 401 COORS BLVD NW
ALBUQUERQUE NM 87120

101005826043510216 LEGAL: LOT 16 FINAL PLAT MUSTANG MESA SUBDIVISION CO
PROPERTY ADDR: 1115 72ND PL. NW

OWNERS NAME: JD HOME BUILDER CORP
OWNERS ADDR: 401 COORS BLVD NW
ALBUQUERQUE NM 87120

101005816044510217 LEGAL: LOT 17 FINAL PLAT MUSTANG MESA SUBDIVISION CO
PROPERTY ADDR: 1120 72ND PL. NW

OWNERS NAME: JD HOME BUILDER CORP
OWNERS ADDR: 401 COORS BLVD NW
ALBUQUERQUE NM 87120

101005826044010218 LEGAL: LOT 18 FINAL PLAT MUSTANG MESA SUBDIVISION CO
PROPERTY ADDR: 1116 72ND PL. NW

OWNERS NAME: JD HOME BUILDER CORP
OWNERS ADDR: 401 COORS BLVD NW
ALBUQUERQUE NM 87120

101005826043510219 LEGAL: LOT 19 FINAL PLAT MUSTANG MESA SUBDIVISION CO
PROPERTY ADDR: 1112 72ND PL. NW

OWNERS NAME: JD HOME BUILDER CORP
OWNERS ADDR: 401 COORS BLVD NW
ALBUQUERQUE NM 87120

101005826043010220 LEGAL: LOT 20 FINAL PLAT MUSTANG MESA SUBDIVISION CO
PROPERTY ADDR: 1108 72ND PL. NW

OWNERS NAME: JD HOME BUILDER CORP
OWNERS ADDR: 401 COORS BLVD NW
ALBUQUERQUE NM 87120

101005826042510221 LEGAL: LOT 21 FINAL PLAT MUSTANG MESA SUBDIVISION CO
PROPERTY ADDR: 1104 72ND PL. NW

OWNERS NAME: JD HOME BUILDER CORP
OWNERS ADDR: 401 COORS BLVD NW
ALBUQUERQUE NM 87120

101005826042010222 LEGAL: LOT 22 FINAL PLAT MUSTANG MESA SUBDIVISION CO
PROPERTY ADDR: 1100 72ND PL. NW

OWNERS NAME: JD HOME BUILDER CORP
OWNERS ADDR: 401 COORS BLVD NW
ALBUQUERQUE NM 87120

101005826041510223 LEGAL: LOT 23 FINAL PLAT MUSTANG MESA SUBDIVISION CO
PROPERTY ADDR: 1020 72ND PL. NW

OWNERS NAME: JD HOME BUILDER CORP
OWNERS ADDR: 401 COORS BLVD NW
ALBUQUERQUE NM 87120

101005826041010224 LEGAL: LOT 24 FINAL PLAT MUSTANG MESA SUBDIVISION CO
PROPERTY ADDR: 1016 72ND PL. NW

OWNERS NAME: JD HOME BUILDER CORP
OWNERS ADDR: 401 COORS BLVD NW
ALBUQUERQUE NM 87120

101005826040510225 LEGAL: LOT 25 FINAL PLAT MUSTANG MESA SUBDIVISION CO
PROPERTY ADDR: 1012 72ND PL. NW

OWNERS NAME: JD HOME BUILDER CORP
OWNERS ADDR: 401 COORS BLVD NW
ALBUQUERQUE NM 87120

101005826040010226 LEGAL: LOT 26 FINAL PLAT MUSTANG MESA SUBDIVISION CO
PROPERTY ADDR: 1008 72ND PL. NW

OWNERS NAME: JD HOME BUILDER CORP
OWNERS ADDR: 401 COORS BLVD NW
ALBUQUERQUE NM 87120

101005826039510227 LEGAL: LOT 27 FINAL PLAT MUSTANG MESA SUBDIVISION CO
PROPERTY ADDR: 1004 72ND PL. NW

OWNERS NAME: JD HOME BUILDER CORP
OWNERS ADDR: 401 COORS BLVD NW
ALBUQUERQUE NM 87120

101005826039010228 LEGAL: LOT 28 FINAL PLAT MUSTANG MESA SUBDIVISION CO
PROPERTY ADDR: 1000 72ND PL. NW

OWNERS NAME: JD HOME BUILDER CORP
OWNERS ADDR: 401 COORS BLVD NW
ALBUQUERQUE NM 87120

101005826038510229 LEGAL: LOT 29 FINAL PLAT MUSTANG MESA SUBDIVISION CO
PROPERTY ADDR: 920 72ND PL. NW

OWNERS NAME: JD HOME BUILDER CORP
OWNERS ADDR: 401 COORS BLVD NW
ALBUQUERQUE NM 87120

101005826038010230 LEGAL: LOT 30 FINAL PLAT MUSTANG MESA SUBDIVISION CO
PROPERTY ADDR: 916 72ND PL. NW

OWNERS NAME: JD HOME BUILDER CORP
OWNERS ADDR: 401 COORS BLVD NW
ALBUQUERQUE NM 87120

101005826037510231 LEGAL: LOT 31 FINAL PLAT MUSTANG MESA SUBDIVISION CO
PROPERTY ADDR: 927 72ND PL. NW

OWNERS NAME: JD HOME BUILDER CORP
OWNERS ADDR: 401 COORS BLVD NW
ALBUQUERQUE NM 87120

101005826037010232 LEGAL: LOT 32 FINAL PLAT MUSTANG MESA SUBDIVISION CO
PROPERTY ADDR: 908 72ND PL. NW

OWNERS NAME: JD HOME BUILDER CORP
OWNERS ADDR: 401 COORS BLVD NW
ALBUQUERQUE NM 87120

101005826036510233

LEGAL: LOT 33 FINAL PLAT MUSTANG MESA SUBDIVISION CO
PROPERTY ADDR: 904 72ND PL. NW

OWNERS NAME: JD HOME BUILDER CORP
OWNERS ADDR: 401 COORS BLVD NW
ALBUQUERQUE NM 87120

101005826036010234

LEGAL: LOT 34 FINAL PLAT MUSTANG MESA SUBDIVISION CO
PROPERTY ADDR: 900 72ND PL. NW

OWNERS NAME: JD HOME BUILDER CORP
OWNERS ADDR: 401 COORS BLVD NW
ALBUQUERQUE NM 87120

"Attachment A"

Karen Kline, Tierra West, LLC
8509 Jefferson NE/87113 858-3100/fax – 858-1118
Zone Map: J-10
Date: July 7, 2005

LOS VOLCANES N.A. (LVC) "R"

***M. Max Garcia**

6619 Honeylocust Ave. NW/87121 833-0969 (h)

David Edwards

637 Honeylocust Pl. NW/87121 833-5909 (h)

S.R. MARMON N.A. (SRM) "R"

***Deaun Lewis**

6400 Sunny Day Ct. NW/87120 342-5715 (o)

Annette Gonzales

2323 Big Pine Dr. NW/87120 342-5715 (o)

LAURELWOOD N.A. (LWD) "R"

***Hector Portilla**

7316 Hanover NW/87120 831-2834 (h)

Phyllis Vilchuck

7805 Springwood Rd. NW/87120 836-7624 (h)

ALTHOUGH YOU ARE NOT "OFFICIALLY REQUIRED" BY O-92, you are most welcomed to notify the following "*Unrecognized*" neighborhood associations of this project.

LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.

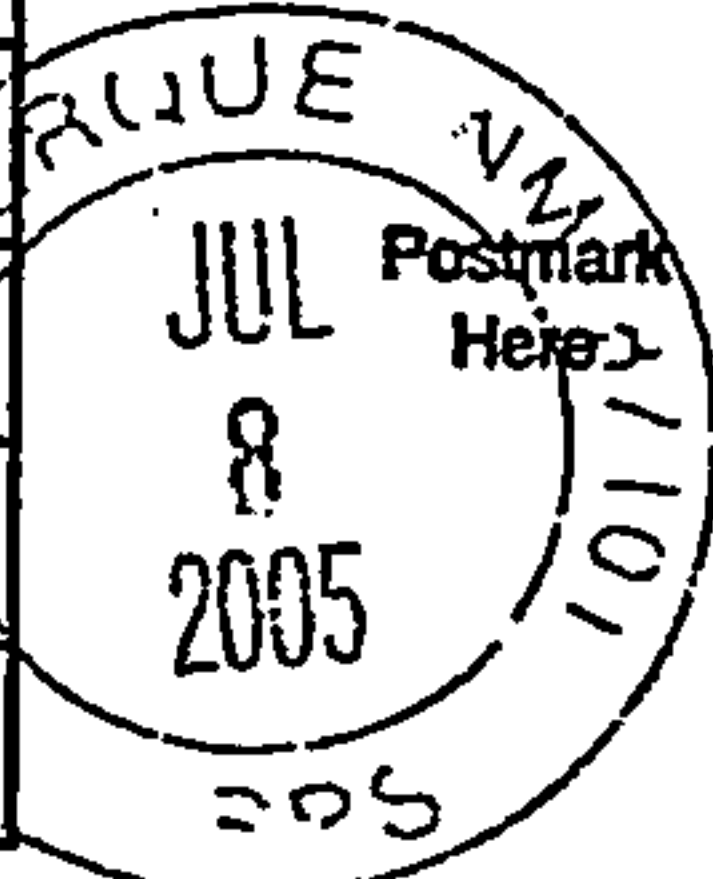
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OFFICIAL USE

Postage	\$.37
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.42



Sent To Phyllis Vilchuck
Street, Apt. No.; or PO Box No. 7805 Springwood Rd NW
City, State, ZIP+4 ABQ NM 87120

PS Form 3800, June 2002 See Reverse for Instructions

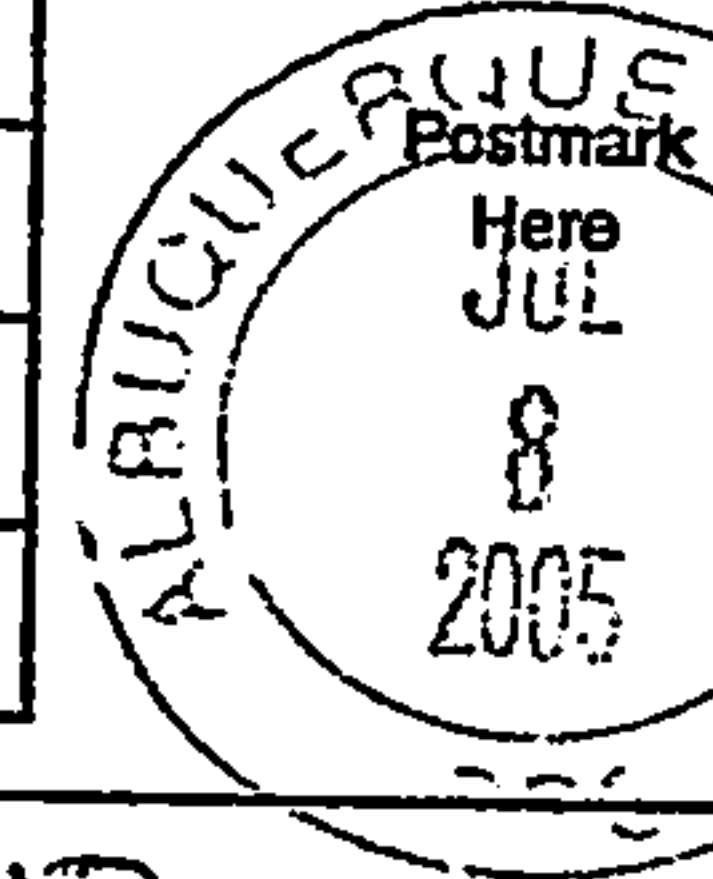
7005 1160 0000 1000 2744

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OFFICIAL USE

Postage	\$.37
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.42



Sent To M. Max Garcia
Street, Apt. No.; or PO Box No. 6619 Honeylocust Ave NW
City, State, ZIP+4 ABQ NM 87121

PS Form 3800, June 2002 See Reverse for Instructions

7005 1160 0000 1000 2768

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For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$.37
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.42



Sent To DEANN LEWIS
Street, Apt. No.; or PO Box No. 6400 Sunny Day Ct NW
City, State, ZIP+4 ABQ NM 87120

PS Form 3800, June 2002 See Reverse for Instructions

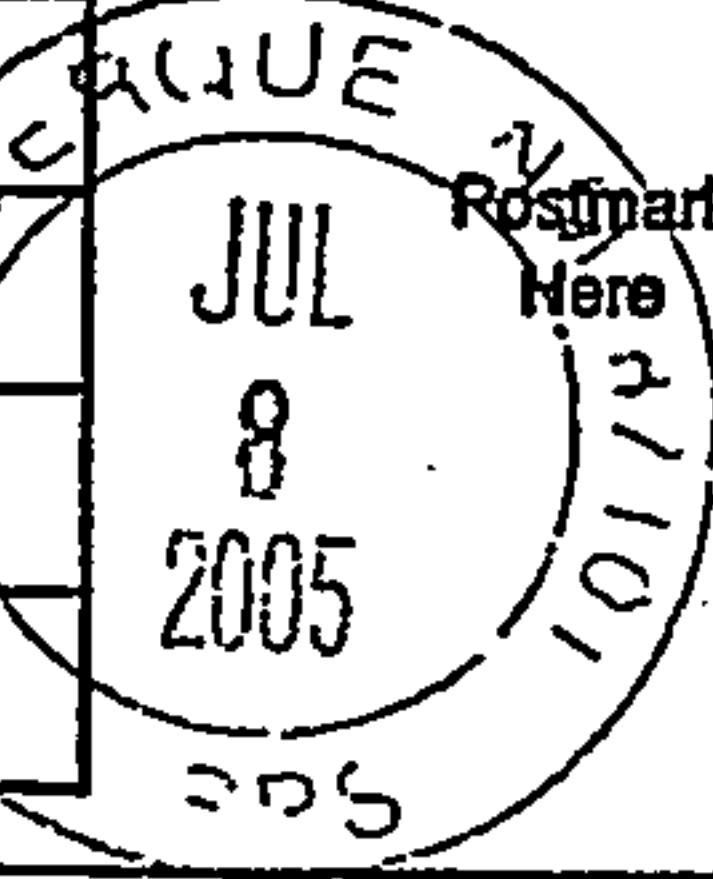
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OFFICIAL USE

Postage	\$.37
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.42



Sent To Hector Poetilla
Street, Apt. No.; or PO Box No. 7316 Hanover NW
City, State, ZIP+4 ABQ NM 87120

PS Form 3800, June 2002 See Reverse for Instructions

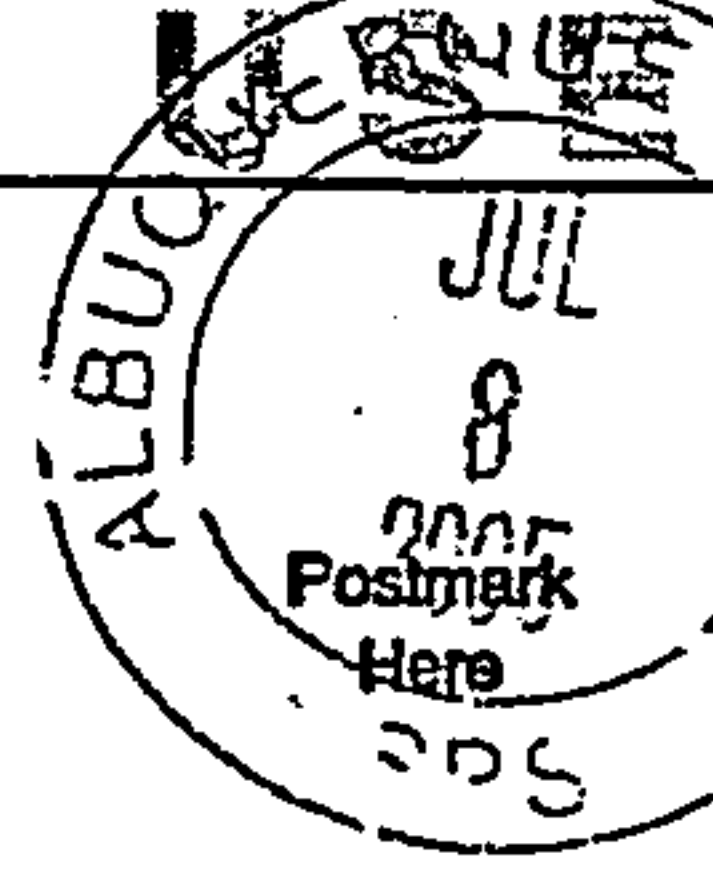
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U.S. Postal Service™
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OFFICIAL USE

Postage	\$.37
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.42



Sent To Annette Gonzales
Street, Apt. No.; or PO Box No. 2323 Big Pine Dr NW
City, State, ZIP+4 ABQ NM 87120

PS Form 3800, June 2002 See Reverse for Instructions

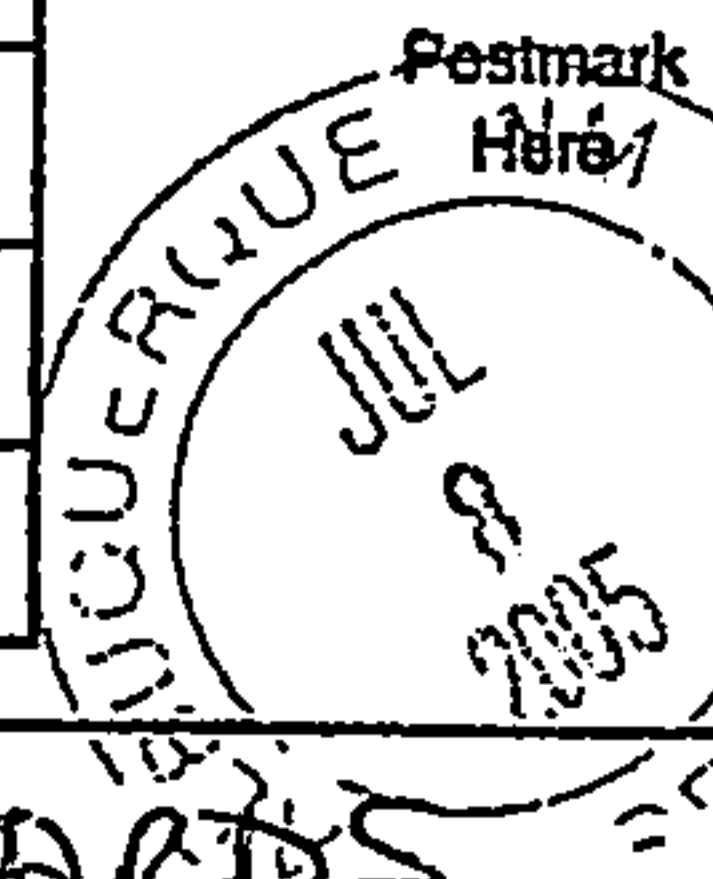
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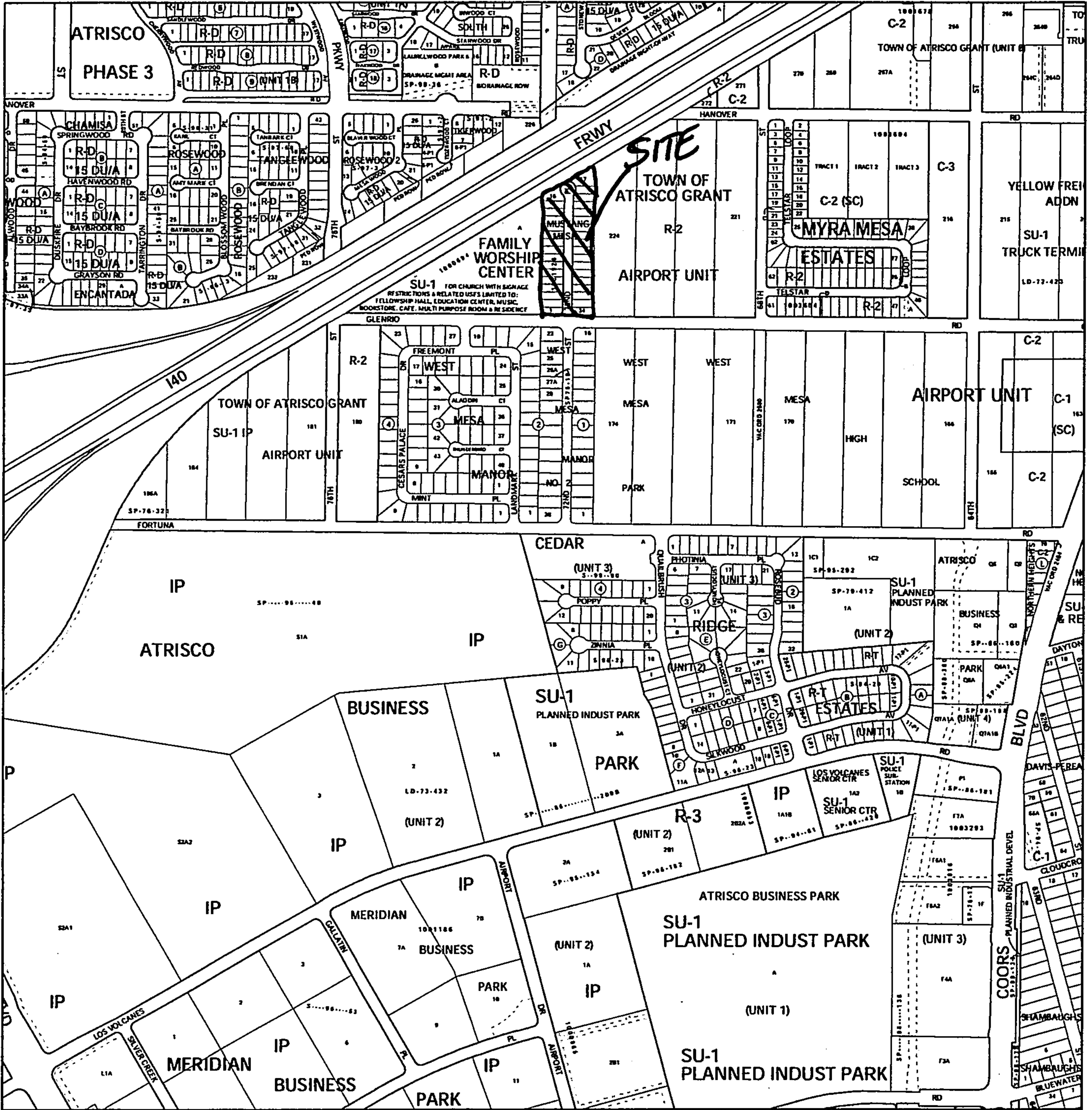
OFFICIAL USE

Postage	\$.37
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.42

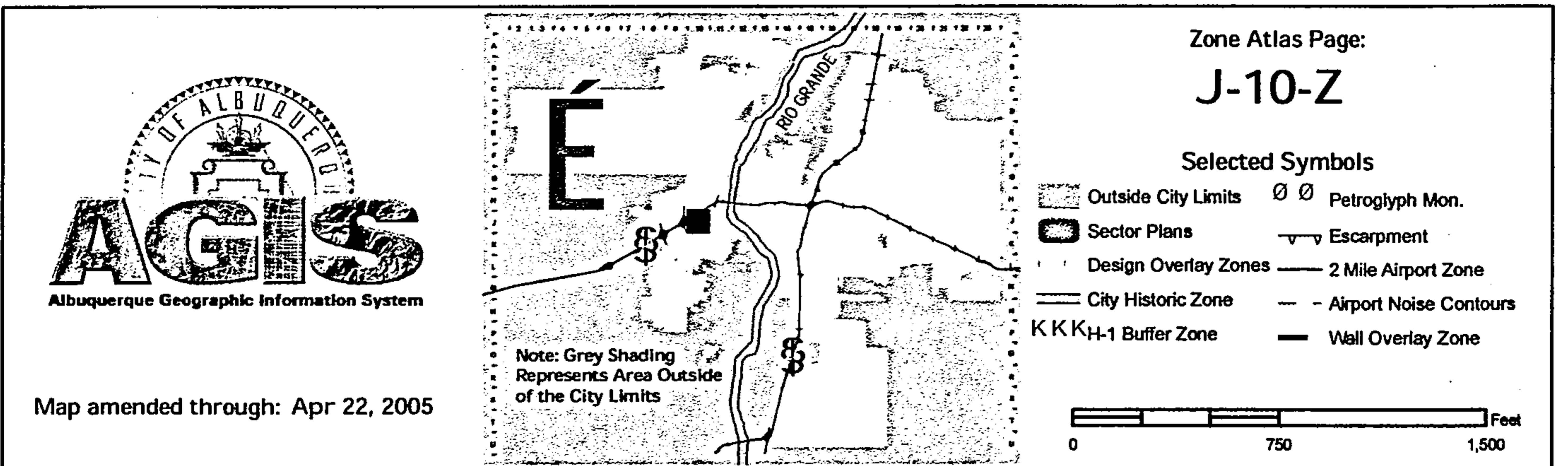


Sent To DAVID EDWARDS
Street, Apt. No.; or PO Box No. 6037 Honeylocust Pl NW
City, State, ZIP+4 ABQ NM 87121

PS Form 3800, June 2002 See Reverse for Instructions



For more current information and more details visit: <http://www.cabq.gov/gis>



TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

July 7, 2005

Ms. Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**RE: One Year Extension of Subdivision Improvement Agreements for Mustang Mesa
Project #1001926, Zone Atlas Page J-10**

Dear Ms. Matson:

Tierra West LLC, on behalf of J D Home Inc., requests the approval of a One Year Extension of Subdivision Improvement Agreements for Mustang Mesa. The site is located on 72nd Place NW between Interstate 40 West and Glenrio Road NW. We request this approval in order to complete the final inspections and to allow for the processing of the close out package through the city.

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,



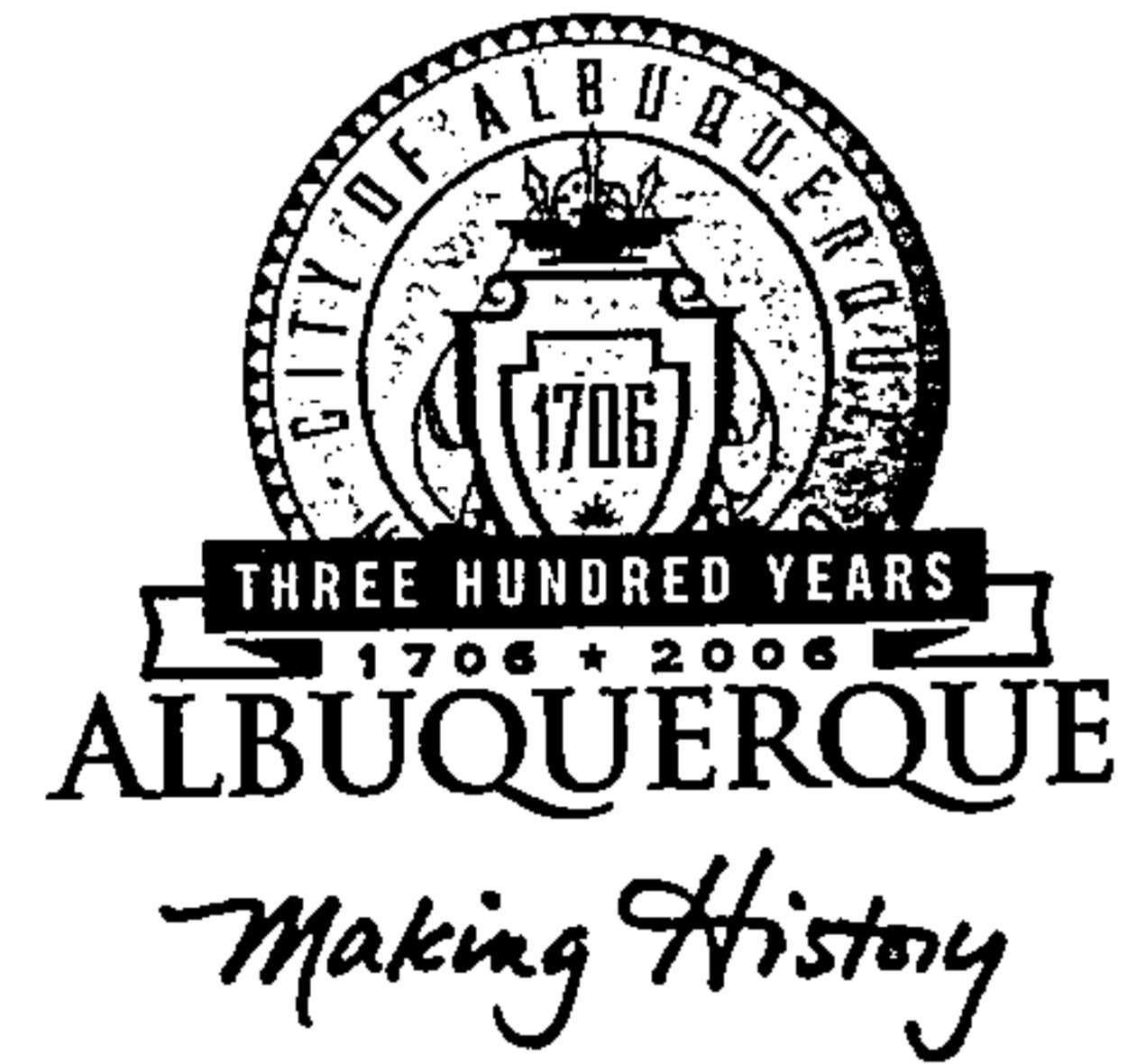
Ronald R. Bohannon, P.E.

Enclosure/s

cc: Jeff Dorwart
M. Max Garcia, Los Volcanes N.A.
David Edwards, Los Volcanes N.A.
Deaun Lewis, S.R. Marmon N.A.
Annette Gonzales, S.R. Marmon N.A.
Hector Padilla, Laurelwood N.A.
Phyllis Vilchuck, Laurelwood N.A.

JN: 23101
RRB/kk

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001926

AGENDA ITEM NO: 1

SUBJECT:

- | | | |
|-------------------------|--------------------------|---------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Dev. Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Cost Allocation Plan |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

An approved drainage report is on file for Preliminary Plat approval.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN ____

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: October 6, 2004

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

#15



Complete 11-18-04 RL

DRB CASE ACTION LOG

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed

DRB Application No.: 04-01394 *Final Plat* ~~03-09674 (P&F)~~ Project # 1001926
 Project Name: AIRPORT ADDITION *Mustang* EPC Application No.: _____
 Agent: BEN PLATANIA *Terra West* Phone No.: ~~899-9627~~ 858-3100

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 11/17/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____

- UTILITIES: _____

- CITY ENGINEER / AMAFCA: _____

- PARKS / CIP: _____

- PLANNING (Last to sign): *def file Property Mgmt signature*
 Planning must record this plat. Please submit the following items:
 -The original plat and a mylar copy for the County Clerk.
 -Tax certificate from the County Treasurer.
 -Recording fee (checks payable to the County Clerk). RECORDED DATE: 11-18-04
 -Tax printout from the County Assessor.
 Include 3 copies of the approved site plan along with the originals.
 County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 Property Management's signature must be obtained prior to Planning Department's signature.
 Copy of final plat AND a DXF File for AGIS is required.
 Copy of recorded plat for Planning.

Project Number 1001926

#15



DRB CASE ACTION LOG

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 04-01394 *Final Plat* Project # 1001926
 Project Name: AIRPORT ADDITION *Master Plan* EPC Application No.:
 Agent: BEN PLATANIA *TerraWest* Phone No.: 899-8627 *858-3100*

Your request for (SDP for SUB), (SDP for BP), FINAL PLATS, (MASTER DEVELOP. PLAN), was approved on 1/17/04 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): *[Signature]* *Property Management signature*
Planning must record this plat. Please submit the following items:
 -The original plat and a mylar copy for the County Clerk.
 -Tax certificate from the County Treasurer.
 -Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 -Tax printout from the County Assessor.
 Include 3 copies of the approved site plan along with the originals.
 County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 Property Management's signature must be obtained prior to Planning Department's signature.
 Copy of final plat AND a DXF File for AGIS is required.
 Copy of recorded plat for Planning.

Project Number 1001926



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

November 17, 2004

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 11:55 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. **Project # 1000029**
04DRB-01650 Major-Vacation of Public Easements
04DRB-01651 Minor-Extension of Preliminary Plat

BOHANNAN HUSTON INC agent(s) for SAWMILL COMMUNITY LAND & TRUST request(s) the above action(s) for all or a portion of Lot(s) C & B-1-A-1 **DUKE CITY LUMBER CO ADDITION** and Lot(s) D-1-A, **ARBOLERA DE VIDA, PHASE 2**, zoned S-M1, S-DR, located on BELLAMAH AVE NW, between 19TH ST NW and 18TH ST NW containing approximately 26 acre(s). [REF: 03DRB01785, 03DRB01786] (H-13) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**

2. **Project # 1001273**
04DRB-01659 Major-SiteDev Plan BldPermit

TIERRA WEST LLC agent(s) for SEDBERRY & ASSOCIATES request(s) the above action(s) for all or a portion of Tract(s) 5B2C1B2A, **RENAISSANCE CENTER**, zoned SU-1 FOR C-2, located on MERCANTILE AVE NE, between I-25 FRONTAGE ROAD and CULTURE AVE NE containing approximately 4 acre(s). [REF: Z-94-13-1] [Deferred from 11/17/04] (F-16) **DEFERRED AT THE AGENT'S REQUEST TO 12/1/04.**

3. **Project # 1003420**
04DRB-01657 Major-Vacation of Pub Right-of-Way

ISAACSON & ARFMAN PA agent(s) for WINDMILL MANOR PLACE LLC request(s) the above action(s) for all or a portion of Tract(s) B-2, VOLCANO CLIFFS SUBDIVISION (to be known as **SUNRISE RIDGE**, zoned R-LT residential zone, located on TESUQUE DR NW, between MONTANO RD NW and CRYSTAL ST NW containing approximately 1 acre(s). [REF: 04EPC00682, 04DRB01508, 04DRB01509] (E-10) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

04DRB-01508 Major-Preliminary Plat Approval
04DRB-01509 Minor-Temp Defer SDWK

ISAACSON & ARFMAN PA agent(s) for WINDMILL MANOR PLACE LLC request(s) the above action(s) for all or a portion of Tract(s) B-2, VOLCANO CLIFFS UNIT 3, (to be known as **SUNRISE RIDGE SUBDIVISION**) zoned R-LT, located on MONTANO RD NW, between TESUQUE DR NW and SHADOW RIDGE DR NW containing approximately 5 acre(s). [REF: 04EPC00682] [Deferred from 10/27/04 & 11/11/04] (E-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/17/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11/10/04 THE PRELIMINARY PLAT WAS APPROVED. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALK ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

4. **Project # 1003696**
04DRB-01654 Major-Vacation of Pub Right-of-Way
04DRB-01655 Major-Preliminary Plat Approval
04DRB-01656 Minor-Temp Defer SDWK
- RIO GRANDE ENGINEERING agent(s) for DAVID SOULE request(s) the above action(s) for all or a portion of Lot(s) 1-17, VINCINTI MONTANO SUBDIVISION AND Tract(s) A, B & C, JUANITA LOPEZ VIGIL SUBDIVISION, (to be known as **TORRENTINO SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on 97TH ST SW, between TOWER RD SW and SAN YGNACIO RD SW containing approximately 6 acre(s). [REF:04DRB01495] [Deferred from 11/17/04] (L-9) **DEFERRED AT THE AGENT'S REQUEST TO 12/1/04.**
5. **Project # 1003238**
04DRB-01569 Major-Preliminary Plat Approval
04DRB-01573 Minor-Vacation of Private Easements
04DRB-01571 Minor-Sidewalk Waiver
04DRB-01572 Minor-Temp Defer SDWK
- TIERRA WEST LLC agent(s) for AMC DEVELOPMENT SERVICES request(s) the above action(s) for all or a portion of Lot(s) A, B C, Tract(s) 267, 268-B, 270-A-2, 270-A-1-C, 270-A-1-D, 270-B AND 315-A-1-A-1, M.R.G.C.D. MAP 35 AND LAND OF ALBERT PEREZ, TRACT(S) B1 AND B2, LAND OF MACIEL & TRUJILLO (to be known as **FLORAL MEADOWS SUBDIVISION**, zoned R-LT residential zone, located on INTERSTATE 40 between RIO GRANDE BLVD NW and MONTOYA ST NW containing approximately 8 acre(s). [REF: 04EPC00156, 04EPC00157, 04DRB00661, 04DRB01227] [Deferred from 11/3/04] (H-12/H-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/17/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11/10/04 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**
6. **Project # 1003571**
04DRB-01517 Major-Vacation of Public Easements
04DRB-01518 Major-Preliminary Plat Approval
04DRB-01519 Minor-Sidewalk Waiver
04DRB-01520 Minor-Temp Defer SDWK
- MARK GOODWIN & ASSOCIATES agent(s) for CURB INC request(s) the above action(s) for all or a portion of Tract(s) 9-B-1, 9-B-2 and 12-A-2, **EL RANCHO GRANDE 1, UNIT 9B**, zoned R-LT residential zone, located on BLAKE RD NW, between AMOLE CHANNEL and 98TH ST NW containing approximately 36 acre(s). [REF: 04DRB01134] [Deferred from 11/3/04 & 11/10/04 & 11/17/04] (N-9) **DEFERRED AT THE AGENT'S REQUEST TO 12/1/04.**

SITE DEVELOPMENT PLANS, AMENDED PLANS, AND MASTER DEVELOPMENT PLANS

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THE REQUEST MAY BE INDEFINITELY DEFERRED.

7. **Project # 1003775**
04DRB-01745 Minor-SiteDev Plan BldPermit

SCHLEGEL LEWIS ARCHITECTS agent(s) for DGM LLC request(s) the above action(s) for all or a portion of Tract(s) G-1A-1, **SEVEN BAR RANCH**, zoned SU-1 FOR C-2 USES, located on COTTONWOOD DR NW, between COTTONWOOD PARK NW and OLD AIRPORT AVE NW containing approximately 2 acre(s). [REF: Z-96-92, AA-98-138] [Deferred from 11/17/04] (A-14) **DEFERRED AT THE AGENT'S REQUEST TO 12/1/04.**

8. **Project # 1003671**
04DRB-01746 Minor-SiteDev Plan BldPermit

KIRA SOWANICK agent(s) for SOUTHWEST GLASS AND GLAZING request(s) the above action(s) for all or a portion of Tract(s) 27, **LADERA BUSINESS PARK**, zoned SU-1, located on UNSER BLVD NW, between LADERA DR NW and 98TH ST NW containing approximately 3 acre(s). [REF: 04DRB01422] [Russell Brito for Lola Bird, EPC Case Planner] (H-9/H-10) **THE INFRASTRUCTURE LIST DATED 11/17/04 WAS APPROVED. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR EPC COMMENTS AND INFRASTRUCTURE LIST LANGUAGE ON SIGNATURE BLOCK.**

9. **Project # 1001946**
04DRB-01670 Minor-SiteDev Plan
BldPermit/EPC

WADE-TRIM agent(s) for TARGET CORPORATION request(s) the above action(s) for all or a portion of Tract(s) A-1, **LOS ANGELES CENTER**, zoned M-1 light manufacturing zone, located on PASEO DEL NORTE NE, between I-25 and SAN PEDRO NE containing approximately 11 acre(s). [REF: 04EPC01032, 04DRB01177, 04DRB01178, 04DRB01176] [Makita Hill, EPC Case Planner] [Deferred from 11/3/04 & 11/17/04] (D-18) **DEFERRED AT THE AGENT'S REQUEST TO 12/15/04.**

10. **Project # 1003010**
04DRB-01687 Minor-SiteDev Plan
BldPermit/EPC

DEKKER/PERICH/SABATINI agent(s) for T. S. MCNANEY & ASSOCIATES request(s) the above action(s) for all or a portion of Tract(s) A, (to be known as **HOUSING @ ALBUQUERQUE LITTLE THEATRE**, zoned SU-2 CLD, located on CENTRAL AVE SW, between LAGUNA BLVD SW and SAN PASQUALE AVE SW containing approximately 2 acre(s). [REF: 02EPC01669, 03EPC0670, 02EPC01671, 03EPC01704, 04DRB00366, 04EPC00860] [11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04] [Makita Hill, EPC Case Planner] (J-13) THE INFRASTRUCTURE LIST DATED 11/17/04 WAS APPROVED. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU AND CITY ENGINEER FOR SIA AND THREE COPIES OF THE SITE PLAN.

11. **Project # 1002786**
04DRB-01635 Minor-SiteDev Plan BldPermit

JIM MILLER & ASSOCIATES agent(s) for DEKE NOFTSKER request(s) the above action(s) for all or a portion of Lot(s) 2 & 3, Block(s) 5, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 IP, located on SAN MATEO NE, between SAN DIEGO NE and BEVERLY HILLS AVE NE containing approximately 2 acre(s). [REF: 03DRB01075, 03DRB01508, 03DRB01457, 04DRB000365] [Deferred from 10/27/04 & 11/10/04] (B-18) THE INFRASTRUCTURE LIST DATED 11/17/04 WAS APPROVED. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR REVIEW OF COMMENTS ON SITE PLAN.

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

12. **Project # 1003236**
04DRB-01739 Major-Final Plat Approval

RIO GRANDE ENGINEERING agent(s) for CLEARBROOK INVESTMENTS INC request(s) the above action(s) for all or a portion of Lot(s) 1, MARIN SUBDIVISION, (to be known as **VILLA DE LA CHAMISA, UNIT 1**, zoned SU-1 FOR PRD, located on PARADISE BLVD NW, between VIVALDI TRAIL NW and BIG SAGE NW containing approximately 9 acre(s). [REF: 04DRB00801, 04DRB00802, 04DRB00799, 04DRB00800, 04DRB00804] (B-10) FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU AND PLANNING FOR PERIMETER WALLS AND AGIS DXF FILE.

13. **Project # 1001463**
04DRB-01736 Minor-Prelim&Final Plat
Approval

LLAVE CONSTRUCTION request(s) the above action(s) for all or a portion of Lot(s) 5 & 6, **VENTURA VILLAGE SUBDIVISION**, zoned SU-2 RT, located on VILLAGE AVE NE, between VENTURA NE and HOLBROOK NE containing approximately 1 acre(s). [REF: 0A2EPC01148, 02EPC01150, 02DRB01494, 02DRB01366, 02DRB01365, 01DRB0129, 03DRB00479, 02DRB01550, 02DRB01549] (C-20) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR ENCROACHMENT AGREEMENT AND CLARIFICATION OF DIMENSION ON PEDESTRIAN EASEMENTS.**

14. **Project # 1002858**
04DRB-01744 Minor-Amended Prelim&Final
Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for ANDERSON HILLS LLC request(s) the above action(s) for all or a portion of Tract(s) G, H & I ARROWWOOD RANCH DEVELOPMENT, **MESA @ ANDERSON HILLS**, zoned R-2 residential zone, located on DENNIS CHAVEZ BLVD SW, between UNSER BLVD SW and GRACE VIGIL RD SW containing approximately 43 acre(s). [REF: Z-99-58, SPR-95-2-2, SD-87-4-1] (N-9/P-9) **THE AMENDED PRELIMINARY PLAT AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

15. **Project # 1001926**
~~04DRB-01394~~ Major-Final Plat Approval

TIERRA WEST, LLC agent(s) for JD HOME, INC & JOHN LORENTZEN request(s) the above action(s) for all or a portion of Tract(s) 225, **MUSTANG MESA SUBDIVISION, TOWN OF ATRISCO GRANT, AIRPORT UNIT**, zoned R-2, located on 72ND PL NW, between INTERSTATE 40 WEST and GLEN RIO RD NW containing approximately 5 acre(s). [REF: 03DRB01224, 03DRB01115] *[Final Plat was Indefinitely Deferred for SIA on 10/13/04].* (J-10) **THE FINAL PLAT WAS APPROVED AND DELEGATED TO PLANNING FOR PROPERTY MANAGEMENT'S SIGNATURE.**

16. **Project # 1003688**
04DRB-01463 Minor-Prelim&Final Plat
Approval

SURV-TEK INC., agent(s) for JAMES BAKER, THE TRAILS LLC, LONGFORD GROUP INC., request(s) the above action(s) for all or a portion of Tract(s) H, **THE TRAILS**, zoned RD, located on RAINBOW BLVD NW south of PASEO DEL NORTE NW containing approximately 6 acre(s). [*Deferred from 11/17/04*] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 12/1/04.**

17. **Project # 1003231**
04DRB-01743 Minor-Amnd Prelim Plat
Approval

WILSON & COMPANY agent(s) for LONGFORD AT ARROWWOOD LLC request(s) the above action(s) for all or a portion of Tract(s) 30A-1 LANDS OF SALAZAR/QUATRO/J.S.J.HANNETT, **LONGFORD @ ARROWWOOD**, zoned R-LT residential zone, located on 98TH ST SW, between RIO BRAVO SW and BLAKE SW containing approximately 30 acre(s). [REF: 04DRB00261, 04DRB00263] (N-9) **THE AMENDED INFRASTRUCTURE LIST DATED 11/17/04 WAS APPROVED. THE AMENDED GRADING PLAN DATED 11/8/04 WAS APPROVED. THE AMENDED PRELIMINARY PLAT WAS APPROVED WITH CONDITION OF FINAL PLAT: TO REVISIT THE WIDTH OF COLOBEL AND AMOLE MESA AT THE INTERSECTION OF 98TH STREET. THIS AMENDMENT DOES NOT EXTEND THE EXPIRATION DATE OF THE ALREADY APPROVED PRELIMINARY PLAT DATED 6/16/04.**

18. **Project # 1003774**
04DRB-01742 Minor-Prelim&Final Plat
Approval

COMMUNITY SCIENCES CORPORATION agent(s) for GEORGE MCCLELLAN request(s) the above action(s) for all or a portion of Tract(s) 5-A-1 and 5-A-2, **SANDIA MANOR SUBDIVISION**, zoned R-1 residential zone, located on PIEDRAS RD NE, between CAMINO DE LA SIERRA NE and OAXWOOD NE containing approximately 1 acre(s). (L-23) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

19. **Project # 1003187**
04DRB-01704 Minor-Final Plat Approval
04DRB-01705 Minor-Temp Defer SDWK

ABQ ENGINEERING INC agent(s) for AMERI-CONTRACTORS LLC request(s) the above action(s) for all or a portion of Lot(s) 5E, LANDS OF UNM AND PARADISE VALLEY SUBDIVISION, (to be known as **VISTA DEL RINCON SUBDIVISION**) zoned R-1 residential zone, located on the southeast corner of GOLF COURSE RD NW and MARNA LYNN AVE NW between PARADISE BLVD NW and PASEO DEL NORTE NW containing approximately 2 acre(s). [REF: 04DRB00037, 04DRB00910, 04DRB01365, 04DRB01366, 04DRB001586] [11/10/04 *NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04*] (C-12) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU RECEIPT. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

20. **Project # 1003673**
04DRB-01637 Minor-Prelim&Final Plat Approval
04DRB-01638 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES LTD request(s) the above action(s) for all or a portion of Lot(s) 7, 8 and 9, Block(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **OAKLAND SOUTH SUBDIVISION**) zoned RD, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF: 04DRB01424] [*Deferred from 10/27/04 & 11/3/04, [11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04*] (C-20) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 11/17/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 11/9/04 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

21. **Project # 1002397**
04DRB-01668 Minor-Prelim&Final Plat
Approval

SURV-TEK INC agent(s) for LA ORILLA GROUP LLC request(s) the above action(s) for all or a portion of Tract(s) 10, **BOSQUE PLAZA**, zoned C-1 (SC), located on COORS BLVD NW, between COORS BLVD NW and LA ORILLA RD WEST containing approximately 3 acre(s). [REF: 02DRB-01925, 01926, 03DRB00634, 04DRB00768, 04DRB01588, 04DRB01587, 04DRB00707, 04DRB00798] [*Deferred from 11/3/04 & 11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04*](E-12) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

22. **Project # 1003634**
04DRB-01297 Minor-Final Plat Approval

WAYJOHN SURVEYING INC agent(s) for HABITAT FOR HUMANITY request(s) the above action(s) for all or a portion of Lot(s) 4, 5 & 6, Block(s) 12, **EASTERN ADDITION**, zoned SU-2 MR, located on CROMWELL AVE SE, between HIGH ST SE and WALTER ST SE containing approximately 1 acre(s). [*Deferred from 9/1/04*] [*Final Plat indefinitely deferred for SIA, 11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04*](K-14) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

23. **Project # 1003668**
04DRB-01414 Minor-Prelim&Final Plat
Approval

TERRAMETRICS OF NEW MEXICO agent(s) for LLAVE CONSTRUCTION request(s) the above action(s) for all or a portion of Lot(s) 5, Block(s) 3, Tract(s) 3, Unit(s) 3, **NORTH ALBUQUERQUE ACRES**, zoned RD-3, located on OAKLAND AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 1 acre(s). [*Was indefinitely deferred at the agent's request, 11/10/04 NEITHER THE APPLICANT NOR THE AGENT WERE PRESENT DEFERRED TO 11/17/04*][*Deferred from 11/17/04*] (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 12/29/04.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

24. **Project # 1001685**
04DRB-01741 Minor-Sketch Plat or Plan

WILSON & COMPANY agent(s) for the CITY OF ALBUQUERQUE AND GOLF COURSE MCMAHON LLC request(s) the above action(s) for all or a portion of Tract(s) 1B, **PARADISE NORTH SUBDIVISION**, zoned SU-1 IP, located on GOLF COURSE RD NW, between MCMAHON BLVD NW and IRVING BLVD NW containing approximately 24 acre(s). [REF: 02DRB00005, 04DRB01566] (A-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

25. Approval of the Development Review Board Minutes for November 3, 2004. **THE DRB MINUTES FOR NOVEMBER 3, 2004 WERE APPROVED.**

Other Matters:

The Development Review Board signed a plat for Project #1001785/04DRB-01775.

ADJOURNED: 11:55 a.m.

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
November 17, 2004
DRB Comments**

ITEM # 15

PROJECT # 1001926

APPLICATION # 04-01394

RE: Mustang Mesa/final plat

Are there any differences between the approved preliminary plat & the final plat?

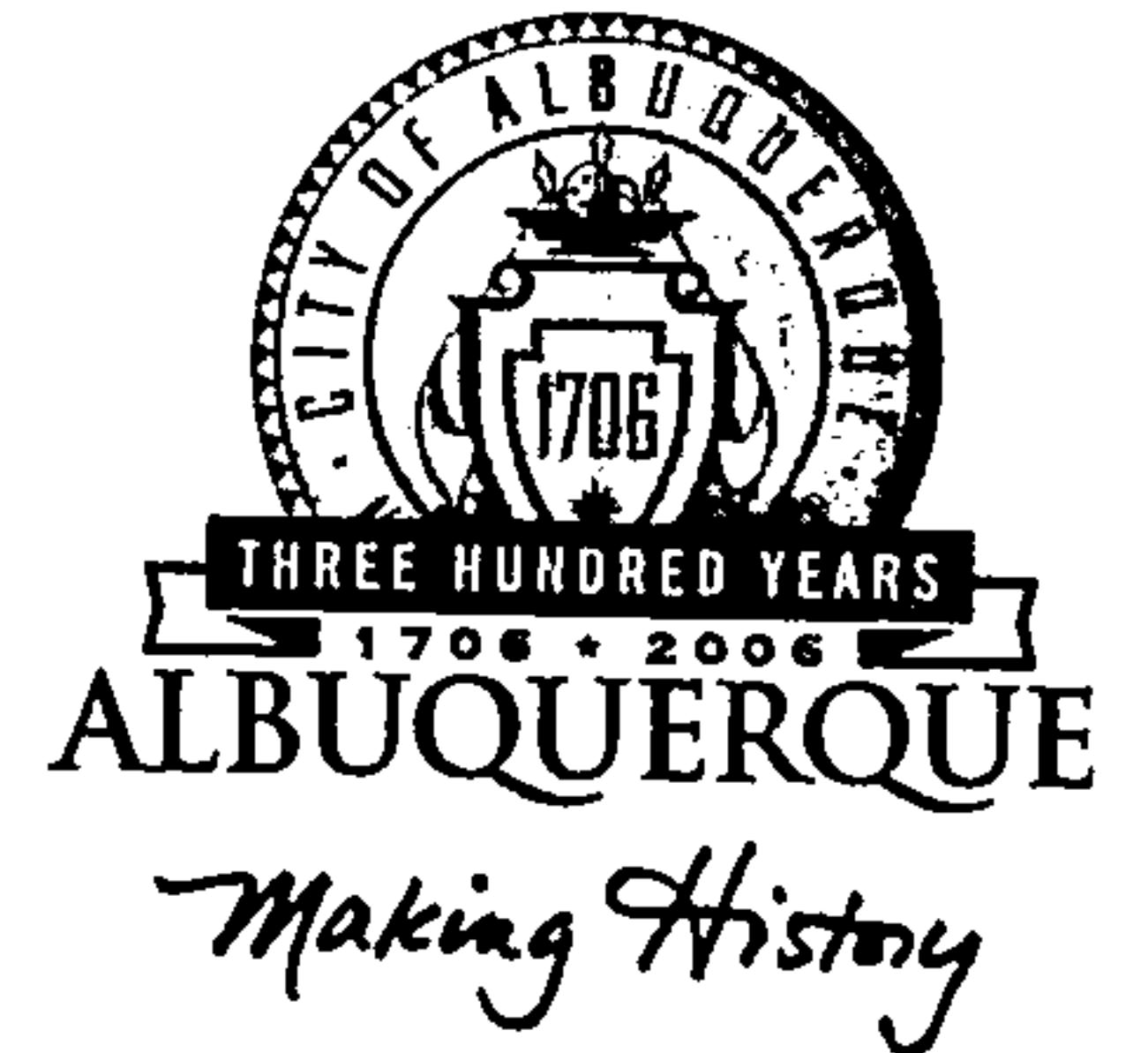
AGIS dxf is approved.

Planning must record the final plat.



Sheran Matson, AICP DRB Chair
924-3880 Fax 924-3864 smatson@cabq.gov

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001926

AGENDA ITEM NO: 15

SUBJECT:

- | | | |
|-------------------------|--------------------------|---------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Dev. Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Cost Allocation Plan |

ACTION REQUESTED:

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:(x) EXTN:() AMEND:()

ENGINEERING COMMENTS:

Albuquerque

An executed Subdivision Improvements Agreement with financial guarantees is on file for Final Plat sign-off.
Minor comment on plat.

New Mexico 87103

RESOLUTION:

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: November 17, 2004

AGIS ELECTRONIC APPROVAL FORM

DRB Project Case #: 1001926

Subdivision Name: Mustang Mesa

Surveyor: Anthony L Harris

Company/Agent: Tierra West

Contact Person: Karen Kline E-mail: _____

Phone: 858-3100 x220 Fax: _____

DXF Received Date: 11/9/2004

Hard-Copy Date: 11/9/2004

Coordinate system: NMSP Grid (NAD 83) NMSP Grid (NAD 27) Ground rotated to NMSP Grid Other

Chris A. Jell
Approved

11/9/04
Date

*The dxf file cannot be accepted at this time for the following reason(s):

AGIS Use Only

Copied cov1926 to agiscov on 11/9/2004. Contact person notified on 11/9/2004



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

October 13, 2004

6. Project # 1001926
04DRB-01393 Major-Preliminary Plat Approval
04DRB-01394 Major-Final Plat Approval

TIERRA WEST, LLC agent(s) for JD HOME, INC & JOHN LORENTZEN request(s) the above action(s) for all or a portion of Tract(s) 225, **MUSTANG MESA SUBDIVISION, TOWN OF ATRISCO GRANT, AIRPORT UNIT**, zoned R-2, located on 72ND PL NW, between INTERSTATE 40 WEST and GLEN RIO RD NW containing approximately 5 acre(s). [REF: 03DRB01224, 03DRB01115] (*Deferred from 10/6/04*) (J-10)

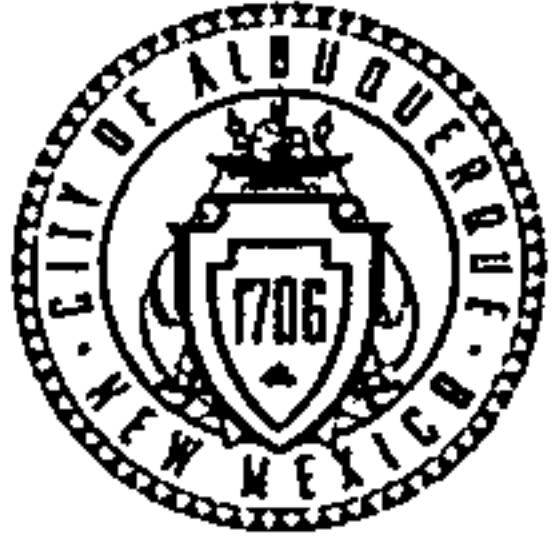
At the October 13, 2004, Development Review Board meeting, with the signing of the infrastructure list dated 10/13/04 and approval of the grading plan engineer stamp dated 1/15/04 the preliminary plat was approved. Final plat was indefinitely deferred for the Subdivision Improvements Agreement.

If you wish to appeal this decision, you must do so by October 28, 2004 in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)



OFFICIAL NOTICE OF DECISION
PAGE 2

04DRB-01335 Minor-Sidewalk Waiver
04DRB-01334 Minor-Temp Defer SDWK

MARVIN R KORTUM agent(s) for JEFF DORWART, JD HOMES request(s) the above action(s) for all or a portion of Lot(s) 225-A, **MUSTANG MESA SUBDIVISION**, TOWN OF ATRISCO GRANT, AIRPORT UNIT, zoned R-2 residential zone, located on GLEN RIO RD NW, between 72ND ST NW and 72ND PL NW containing approximately 5 acre(s). [REF: 03DRB-01225, 03DRB-00674, 04DRB-00329, 03DRB-01475] (Was Indef. Deferred 9/15/04) (J-10)

At the October 13, 2004, Development Review Board meeting, a sidewalk variance for waiver of sidewalks was approved as shown on Exhibit C in the Planning file. The temporary deferral of construction of sidewalks on the interior streets was approved as shown on Exhibit C in the Planning file.

Sheran Matson, AICP, DRB Chair

Cc: JD Home Inc., P.O. Box 90218, 87199
Tierra West LLC, 8509 Jefferson NE, 87113
Marvin Kortum, 1605 Speakman Dr SE, 87123
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1001926 AGENDA#: 6 DATE: 10.13.04

1. Name: Tom Bahannon Address: Terra Vista Zip: _____

2. Name: Mason Kostum Address: 1 Zip: _____

3. Name: Jeff Dorewest Address: J D Home Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

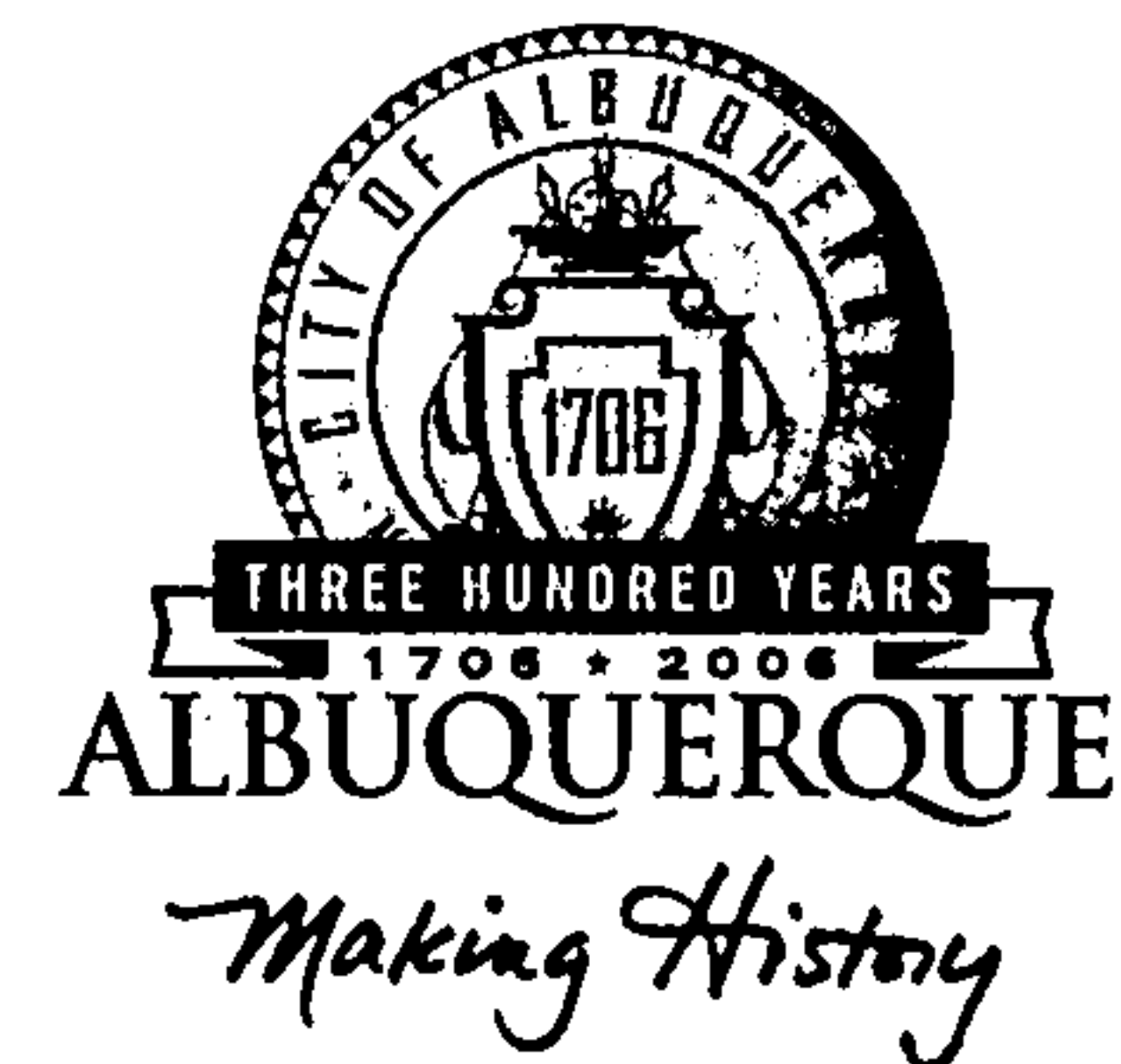
11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001926

AGENDA ITEM NO: 6

SUBJECT:

- | | | |
|-------------------------|--------------------------|---------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Dev. Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Cost Allocation Plan |

ACTION REQUESTED:

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

Albuquerque

An approved drainage report dated 1-15-04 is on file for Preliminary Plat approval.

New Mexico 87103

RESOLUTION:

www.cabq.gov

Signal I.L.
APPROVED X; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: October 13, 2004



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, October 6, 2004**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1001926
04DRB-01393 Major-Preliminary Plat
Approval
04DRB-01394 Major-Final Plat Approval

TIERRA WEST, LLC agent(s) for JD HOME, INC & JOHN LORENTZEN request(s) the above action(s) for all or a portion of Tract(s) 225, **TOWN OF ATRISCO GRANT, AIRPORT UNIT**, zoned R-2, located on 72ND PL NW, between INTERSTATE 40 WEST and GLENRIO RD NW containing approximately 5 acre(s). [REF: 03DRB01224, 03DRB01115] (J-10)

Despite the requirement for 24 copies of the preliminary plat listed on the checklist, none were provided. This is grounds for rejection of the application. It should have been rejected at the front counter when application was made. The DPM gives DRB 2 days from date of submittal to reject a preliminary plat application. For this reason, DRB will defer this application at the meeting on October 6, 2004 for one week to October 13, 2004 provided a new preliminary plat and infrastructure list & perimeter wall submittal is received at the Front Counter by 5pm on Friday, September 17, 2004. If agent cannot meet this deadline, a written request for deferral to a later DRB meeting is needed.

The final plat will not be acted on because the infrastructure list was tied to the expired preliminary plat. A new infrastructure list should have been submitted as well as the preliminary plat.

In addition, the perimeter wall design does not follow the submittal requirements. It is the wrong size, there is only one, etc. Until the correct submittal is made, the wall design will not be reviewed.

Mark TO



Sheran A. Matson
09/08/04 01:47 PM

To: DRB
cc: Claire A. Senova/PLN/CABQ, Richard H. Dourte/PWD/CABQ,
cc:
Subject: Agenda Item #8 for 9/15/04 Mustang Mesa

This subdivision had an application for a vacation of public RW and extension of preliminary plat on the 9/28/04 DRB public hearing agenda. However, the preliminary plat had already expired along with the vacation. So, Tierra West is submitting a new application for preliminary plat & vacation of PROW this Friday, I am told by Karen Kline.

Meanwhile, Marvin Kortum, acting on behalf of the same applicant, submitted a sidewalk waiver & temp deferral of sidewalks for the same subdivision. It is on next Wednesday's agenda, #8. I have indefinitely deferred this application because there is currently no preliminary plat to tie this action to and sent a notice to Marvin, asking him to coordinate with Tierra West and call Claire when he wants to be placed back on the agenda with the new preliminary plat application.

When I called Karen Kline, she knew nothing of Marvin's application! She is calling Jeff Dorwart, JD Homes, the applicant, to find out what's going on.

So, don't waste your time commenting on #8.



Brad L. Bingham
09/14/04 04:43 PM

To: Kevin P. Broderick/PWD/CABQ@COA
cc: Kevin J. Curran/LEGAL/CABQ@COA, Sheran A.
Matson/PLN/CABQ@COA
Subject: Re: Fw: Mustang Mesa Sub's, CPN 738882

we also have a street vacation to act on also so the final plat is ways away



Kevin P. Broderick
09/14/2004 02:31 PM

To: Sheran A. Matson/PLN/CABQ@COA, Brad L.
Bingham/PWD/CABQ@COA
cc: Kevin J. Curran/LEGAL/CABQ@COA
Subject: Fw: Mustang Mesa Sub's, CPN 738882

We will release the existing SIA and FG for Mustang Mesa per Jane's email below. Please make sure new SIA and FG is in place prior to the new plat being signed.

Kevin

----- Forwarded by Kevin P. Broderick/PWD/CABQ on 09/14/2004 02:29 PM -----



Jane E. Rael
09/14/2004 12:19 PM

To: Marilyn E. Maldonado/DFAS/CABQ@COA, Kathy A.
Jaramillo/PWD/CABQ@COA
cc: Kevin P. Broderick/PWD/CABQ@COA
Subject: Mustang Mesa Sub's, CPN 738882

Please release the Financial Guaranty and the SIA on Mustang Mesa, CPN 738882. By the time Tierra West received the Final Plat from the surveyor, the preliminary plat had expired. Since the preliminary plat expired, the SIA w/ FG is moot. I talked to Karen Kline at the counter and Jeff Dorwart (developer) on the phone. I told them both that we are releasing the SIA and FG. After DRB approves a new preliminary plat and Infrastructure List on Oct. 6, they need to come in with a new financial guaranty request. Then they will need to submit a new SIA w/ FG.

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
September 15, 2004
DRB Comments**

ITEM # 8

PROJECT # 1001926


APPLICATION # 04-01335 & 01334

RE: Mustang Mesa Subdivision/sidewalk waiver & temp sidwlk defer

The preliminary plat for this subdivision has expired. This request is indefinitely deferred by DRB until an application is submitted for a new preliminary plat. The agent must call Claire at 924-3946 to be placed on the same agenda as the preliminary plat application. It is too confusing to have applications related to the preliminary plat ahead of the preliminary plat.

Tierra West, the agents preparing the new preliminary plat, were unaware of this application.

10/13/04



Sheran Matson, AICP DRB Chair
924-3880 Fax 924-3864 smtason@cabq.gov

SEP 21, 2004

FAX TO 924-3864

CLAIRE!

PLEASE PLACE MY APPLICATION FOR CHANGES TO THE INFRASTRUCTURE LIST ON THE SAME AGENDA AS TIERRA WEST. I BELIEVE THE DATE REQUESTED BY TW. IS OCT 8, 2004

MARCO KORDON
299-0774

*** TX REPORT ***

TRANSMISSION OK

TX/RX NO 2122
CONNECTION TEL 92999405
SUBADDRESS
CONNECTION ID
ST. TIME 09/08 13:37
USAGE T 01'38
PGS. 2
RESULT OK

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
FAX FORM

TO: Marvin Kortum FAX # 299-9705

PAGES (INCLUDING COVER SHEET) 2

FROM: Sheran Matson/DRB Chair FAX # 924-3864 PHONE # 924-3880

9/8/04

COMMENTS:

Mustang Mesa # 100A36
Please coordinate w/
Sierra West.

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT**

September 15, 2004

DRB Comments

ITEM # 8


PROJECT # 1001926

APPLICATION # 04-01335 & 01334

RE: Mustang Mesa Subdivision/sidewalk waiver & temp sidwlk defer

The preliminary plat for this subdivision has expired. This request is indefinitely deferred by DRB until an application is submitted for a new preliminary plat. The agent must call Claire at 924-3946 to be placed on the same agenda as the preliminary plat application. It is too confusing to have applications related to the preliminary plat ahead of the preliminary plat.

Tierra West, the agents preparing the new preliminary plat, were unaware of this application.



Sheran Matson, AICP DRB Chair
924-3880 Fax 924-3864 smtason@cabq.gov

*** TX REPORT ***

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**
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TRANSMISSION OK

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RESULT OK

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
FAX FORM**

TO: Martin Kortum FAX # 299-9705

PAGES (INCLUDING COVER SHEET) 2

FROM: Sheran Matson/DRB Chair FAX # 924-3864 PHONE # 924-3880

9/8/04

COMMENTS:

Muttons Mesa # 100A36
Please coordinate w/
Sierra West.



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

October 6, 2004 9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 a.m.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 10:50 a.m.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1001926**
04DRB-01393 Major-Preliminary Plat Approval
04DRB-01394 Major-Final Plat Approval
TIERRA WEST, LLC agent(s) for JD HOME, INC & JOHN LORENTZEN request(s) the above action(s) for all or a portion of Tract(s) 225, **TOWN OF ATRISCO GRANT, AIRPORT UNIT**, zoned R-2, located on 72ND PL NW, between INTERSTATE 40 WEST and GLEN RIO RD NW containing approximately 5 acre(s). [REF: 03DRB01224, 03DRB01115] (J-10) **DEFERRED AT AGENT'S REQUEST TO 10/13/04.**

2. **Project # 1003591**
04DRB-01384 Major-Preliminary Plat
Approval
04DRB-01386 Minor-Sidewalk Waiver
04DRB-01387 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of Tract(s) 31A-1-A, **SUN GATE ESTATES**, zoned R-LT residential zone, located on 98TH ST SW, between BLAKE RD SW and OPEN RANGE AVE SW containing approximately 45 acre(s). [REF: 04DRB-01185] *[Deferred from 10/6/04]* (N-9) **DEFERRED AT THE AGENT'S REQUEST TO 10/13/04.**

3. **Project # 1003369**
04DRB-00514 Major-Drainage Plan to
Determine the Cost Allocation for Storm
Drainage Improvements

BOB KEERAN agent(s) for LLAVE CONSTRUCTION INC request(s) these action(s) for all or a portion of Unit(s) 3, Lot(s) 6 & 7, Tract(s) 3, Block(s) 16, NORTH ALBUQUERQUE ACRES, **VINTNER COURT SUBDIVISION**, zoned DETENTION POND, located on VINTNER NE, between VENTURA NE and CORONA NE containing approximately 2 acre(s). *[Deferred from 5/12/04, 5/26/04, 6/9/04, 6/23/04, 7/14/04, 7/21/04, 8/11/04, 8/25/04, 9/8/04 & 10/6/04]* (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 11/3/04.**

SITE DEVELOPMENT PLANS, AMENDED PLANS, AND MASTER DEVELOPMENT PLANS

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THE REQUEST MAY BE INDEFINITELY DEFERRED.

4. **Project # 1003596**
04DRB-01490 Minor-SiteDev Plan
BldPermit/EPC

GOLDEN & ASSOCIATES agent(s) for BREWER OIL CO INC request(s) the above action(s) for all or a portion of Tract(s) 100-C1, **MONTGOMERY HEIGHTS**, zoned SU-1 FOR C-2 WITH WAREHOUSE, located on SAN MATEO BLVD NE and MONTGOMERY BLVD NE containing approximately 1 acre(s). [REF: 04EPC01216] **[Stephanie Shumsky, EPC Case Planner]** (F-17) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR INFRASTRUCTURE LANGUAGE ON THE SIGNATURE BLOCK.**

5. **Project # 1003364**
04DRB-01407 Minor-SiteDev Plan
Subd/EPC
04DRB-01408 Minor-SiteDev Plan
BldPermit/EPC
04DRB-01409 Minor-Prelim&Final Plat
Approval

TIERRA WEST, LLC agent(s) for DOUBLE CHEESE CORPORATION request(s) the above action(s) for all or a portion of Block(s) 10, Tract(s) 1A, **NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3**, zoned SU-2 MIXED USES, located on LOUISIANA BLVD NE, between HOLLY AVE NE and PASEO DEL NORTE NE containing approximately 5 acre(s). [REF: DRB-95-478, 04EPC-00495, 04EPC-00494] [Carmen Marrone, EPC Case Planner] [Deferred from 9/22/04] (C-19) **SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 10/6/04 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR THE SIA. THE PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

6. **Project # 1003403**
04DRB-01493 Minor-Final Plat Approval

ISAACSON & ARFMAN PA agent(s) for CENTEX HOMES request(s) the above action(s) for all or a portion of Tract(s) F, **THE RESERVE @ THE TRAILS SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on RAINBOW BLVD NW, between PASEO DEL NORTE NW and the TOWN OF ALAMEDA GRANT SOUTH BOUNDARY containing approximately 18 acre(s). [REF: 04DRB00632, 04DRB00633, 04DRB00634, 04DRB00635, 03DRB01528] (C-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

7. **Project # 1001523**
04DRB-01491 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER/98TH STREET PARTNERSHIP LLC request(s) the above action(s) for all or a portion of Lot(s) 2-A, **LADERA BUSINESS PARK, UNIT 2**, zoned SU-1 LIGHT INDUSTRIAL, located on UNSER BLVD NW, between LADERA DR NW and MARKET ST NW containing approximately 19 acre(s). [REF: 01EPC01405, 02DRB00518, 02DRB00519, 02DRB00519] (H-9/H-10) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR AMAFCA'S SIGNATURE.**

8. **Project # 1002856**
04DRB-01492 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for D R HORTON CUSTOM HOMES request(s) the above action(s) for all or a portion of Tract(s) 2, **MEADOWS @ ANDERSON HILLS**, (to be known as **BLOSSOM RIDGE ESTATES**) zoned R-LT residential zone, located on DENNIS CHAVEZ BLVD SW, between 98th STREET SW and UNSER BLVD SW containing approximately 10 acre(s). [REF: 04DRB01156, 04DRB01157, 04DRB00230, 04DRB00231] (P-9) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

9. **Project # 1002593**
04DRB-01502 Minor-Prelim&Final Plat Approval

BOHANNAN HUSTON INC agent(s) for LAS VENTANAS LIMITED PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 29-35, **VISTA DE ARENAL, UNIT 3**, zoned R-LT residential zone, located on IRVING BLVD NW, between RAINBOW BLVD NW and PAESE PL NW containing approximately 2 acre(s). [REF. 04DRB00911] (B-9) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

10. **Project # 1002022**
04DRB-01308 Minor-Final Plat Approval

BOHANNAN HUSTON, INC. agent(s) for T. S. MC NANEY & ASSOCIATES, request(s) the above action(s) for all or a portion of Tract(s) 8 & 9, **VISTA WEST SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on TOWER RD SW, between UNSER BLVD NW and EUCARIZ AVE. SE containing approximately 10 acre(s). [REF: 02DRB-01237, 03DRB-00424] *[Final Plat deferred from 9/1/04 & 9/8/04 & 9/15/04 & 10/6/04]* (L-10) **DEFERRED AT THE AGENT'S REQUEST TO 10/20/04.**

11. **Project # 1002718**
04DRB-01498 Minor-Vacation of Private Easements

TIERRA WEST LLC agent(s) for TS MCNANEY & ASSOCIATES request(s) the above action(s) for all or a portion of Lot(s) 13, **RIVERVIEW ACRES, UNIT 2**, zoned RA-1 residential and agricultural zone, semi-urban area, located on GABALDON RD SW, between RIVERSIDE DRAIN CANAL and GABALDON RD SW containing approximately 1 acre(s). [REF: 04DRB00758, 04DRB00759] (H-12) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

- Project # 1002718**
04DRB-01410 Minor-Final Plat Approval
04DRB-01411 Minor-Sidewalk Waiver

TIERRA WEST LLC agent(s) for TS MCNANEY & ASSOCIATES request(s) the above action(s) for all or a portion of Tract(s) 334B2A1, 334B2B & 334B1, **RIVERVIEW ACRES, UNIT 2**, zoned RA-1 residential and agricultural zone, semi-urban area, located on GABALDON RD SW, between RIVERSIDE DRAIN CANAL and GABALDON RD SW containing approximately 10 acre(s). [REF: 04DRB-00758, 04DRB-00759] *[Deferred from 9/22/04]* (H-12) **FINAL PLAT WAS APPROVED AND DELEGATED TO PARKS FOR CASH-IN-LIEU. THE SIDEWALK WAIVER WAS WITHDRAWN AT THE AGENT'S REQUEST.**

12. **Project # 1003051**
04DRB-01496 Minor-Prelim&Final Plat
Approval

RAY BACA agent(s) for COSME OLGUIN request(s) the above action(s) for all or a portion of Tract(s) A & B, **LANDS OF COSME & HENRIETTA OLGUIN**, zoned RA-2 residential and agricultural zone, located on RIO GRANDE BLVD NW, between GRIEGOS RD NW and CANDELARIA RD NW containing approximately 1 acre(s). (F-13) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

13. **Project # 1002520**
04DRB-00893 Minor- Final Plat Approval

RIO GRANDE ENGINEERING agent(s) for JENNIFER SOULE request(s) the above action(s) for all or a portion of Lot(s) 15 & 16, Tract(s) 2, Block(s) 4, **NORTH ALBUQUERQUE ACRES, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on ALAMEDA BLVD NE, between WYOMING BLVD NE and LOUISIANA BLVD NE containing approximately 2 acre(s). [REF: 04DRB00705] [*Final Plat Indef. Deferred for SIA*] (C-19) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR WALL DESIGN AND AGIS DXF FILE.**

14. **Project # 1003573**
04DRB-01417 Minor-Prelim&Final Plat
Approval

RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES LTD request(s) the above action(s) for all or a portion of Lot(s) 28, 29 & 30, Block(s) 2, Tract(s) 3, **NORTH ALBUQUERQUE ACRES, UNIT 3, OAKLAND NORTH SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF: 04DRB-01138] [*Deferred from 9/22/04 & 10/6/04*] (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 11/3/04.**

15. **Project # 1003112**
04DRB-01005 Major-Final Plat Approval

COMMUNITY SCIENCES CORP agent(s) for COLLATZ INC, JACK CLIFFORD request(s) the above action(s) for all or a portion of Tract(s) A, LANDS OF COLLATZ INC, **RINCONADA TRAILS**, zoned SU-1 special use zone, located on UNSER BLVD NW, between UNSER BLVD NW and WESTERN TRAILS NW containing approximately 9 acre(s). [REF: 03DRB-01994, 04DRB-00166, 04DRB-00167, 04DRB-00168] [*Deferred from 7/14/04, 7/21/04, 8/4/04, 8/11/04 & 8/18/04 & 9/1/04 Indef. Deferred, 9/29/04 Indef. Deferred*] (F-11/F-12) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR DETACHED OPEN SPACE FEES.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

16. **Project # 1003694**
04DRB-01485 Minor-Sketch Plat or Plan

CHRISTOPHER CALOTT request(s) the above action(s) for all or a portion of Lot(s) BB, **ALVARADO GARDENS, UNIT 2**, zoned RA-2 residential and agricultural zone, located on CAMPBELL RD NW, between TRELIS DR NW and GLENWOOD NW containing approximately 1 acre(s). (G-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

17. **Project # 1001440**
04DRB-01497 Minor-Sketch Plat or Plan

ANDREW MIODUCHOWSKI agent(s) for ILENE MERCHANT request(s) the above action(s) for all or a portion of Tract(s) D3A, **COORS CENTRAL NORTH ADDITION**, zoned SU-1 special use zone, located on COORS BLVD NW, between BLUEWATER RD NW and CENTRAL AVE NW containing approximately 1 acre(s). [REF: DRB-96-27] (K-10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. **Project # 1003695**
04DRB-01494 Minor-Sketch Plat or Plan

A. BAIN COCHRAN III request(s) the above action(s) for all or a portion of Lot(s) 4, Block(s) 12, **ALBUQUERQUE HIGHLANDS**, zoned R-1 residential zone, located on MOUNTAIN RD NE, between SAN MATEO NE and SAN PEDRO NE containing approximately 1 acre(s). (J-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. **Project # 1003696**
04DRB-01495 Minor-Sketch Plat or Plan

RIO GRANDE ENGINEERING agent(s) for SCACCIA LLC request(s) the above action(s) for all or a portion of Lot(s) 1-17, Tract(s) A, B, C, **VINCINTI MONTANO SUBDIVISION & JUANITA LOPEZ VIGIL SUBDIVISION** (to be known as **TORRENTINO SUBDIVISION**), zoned R-D residential and related uses zone, developing area, located on 97TH STREET SW, between TOWER RD SW and SAN YGNACIO RD SW containing approximately 6 acre(s). [REF: AX-87-5, DRB-96-529] (L-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

20. **Project # 1003689**
04DRB-01464 Minor-Sketch Plat or Plan

HALL SURVEYING agent(s) for GREG BOULOY request(s) the above action(s) for all or a portion of Lot(s) 1, 2, 3, Block(s) 13, **PEREA ADDITION**, zoned SU-2 TH special neighborhood zone, located on 16TH ST NW, between LOMAS BLVD NW and CENTRAL AVE NW. [Indef. Deferred 9/29/04] (J-13). **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

21. **Project # 1002864**
04DRB-01499 Minor-Sketch Plat or Plan

COMMUNITY SCIENCES CORP agent(s) for D R HORTON HOMES request(s) the above action(s) for all or a portion of Lot(s) 56 & 57, **CANTACIELO SUBDIVISION**, zoned R-LT residential zone, located on VENTICICELLO DR NW, between PEGGIO AVE NW and BREZZA DULCE AVE NW containing approximately 30 acre(s). [REF: 04DRB00242] (A-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

22. **Project # 1003027**
04DRB-01500 Minor-Sketch Plat or Plan

COMMUNITY SCIENCES CORP agent(s) for RAYLEE HOMES request(s) the above action(s) for all or a portion of **Tract(s) 1P & 2P, TREMENTINA OESTE SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on ALAMEDA BLVD NE, and CALLE CALMA NE containing approximately 1 acre(s). [REF: 03DRB02159] (C-19) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

- 04DRB-01501 Minor-Sketch Plat or Plan

COMMUNITY SCIENCES CORP agent(s) for RAYLEE HOMES request(s) the above action(s) for all or a portion of **Tract(s) 14P & 15P, TREMENTINA OESTE SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on ALAMEDA BLVD NE, and CALLE CALMA NE containing approximately 1 acre(s). [REF: 03DRB02159] (C-19) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

23. Approval of the Development Review Board Minutes for September 22, 2004. **THE DRB MINUTES FOR 9/22/04 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:50

Refer to 10/13/04

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1001926 AGENDA#: 1 DATE: 10-6-04

1. Name: _____ Address: _____ Zip: _____

2. Name: _____ Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, October 6, 2004**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1001926

04DRB-01393 Major-Preliminary Plat Approval
04DRB-01394 Major-Final Plat Approval

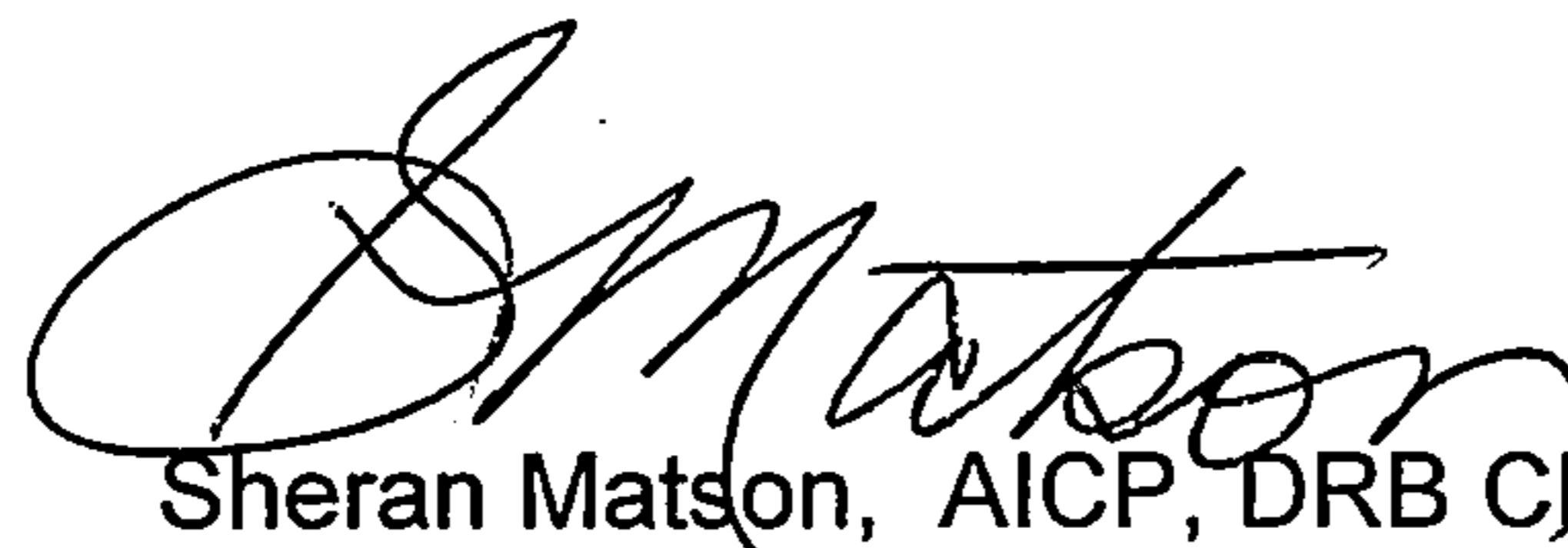
TIERRA WEST, LLC agent(s) for JD HOME, INC & JOHN LORENTZEN request(s) the above action(s) for all or a portion of Tract(s) 225, **TOWN OF ATRISCO GRANT, AIRPORT UNIT**, zoned R-2, located on 72ND PL NW, between INTERSTATE 40 WEST and GLENRIO RD NW containing approximately 5 acre(s). [REF: 03DRB01224, 03DRB01115] (J-10)

Project # 1003591

04DRB-01384 Major-Preliminary Plat Approval
04DRB-01386 Minor-Sidewalk Waiver
04DRB-01387 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of Tract(s) 31A-1-A, **SUN GATE ESTATES**, zoned R-LT residential zone, located on 98TH ST SW, between BLAKE RD SW and OPEN RANGE AVE SW containing approximately 45 acre(s). [REF: 04DRB-01185] (N-9)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. Individuals with disabilities who need special assistance to participate at this meeting should contact Claire Senova, Planning Department, at 924-3946. Hearing Impaired users may contact her via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.


Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, SEPTEMBER 20, 2004.



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

October 6, 2004

Project # 1001926

04DRB-01393 Major-Preliminary Plat Approval

04DRB-01394 Major-Final Plat Approval

TIERRA WEST, LLC agent(s) for JD HOME, INC & JOHN LORENTZEN request(s) the above action(s) for all or a portion of Tract(s) 225, **TOWN OF ATRISCO GRANT, AIRPORT UNIT**, zoned R-2, located on 72ND PL NW, between INTERSTATE 40 WEST and GLENRIO RD NW containing approximately 5 acre(s). [REF: 03DRB01224, 03DRB01115] (J-10)

[THIS CASE IS DEFERRED TO OCTOBER 13, 2004]

AMAFCA

No comment.

COG

No comments received.

Transit

No objection to either request.

Zoning Enforcement

No comments received.

Neighborhood Coordination

Letters sent to Laurelwood NA (R), Los Volcanes NA (R) and S.R.
Marmon NA (R)

APS

No comments received.

Police Department

No comment.

Fire Department

Fire Department is not approving street widths less than 32 feet at this time. Per Ray Sanchez, AFD. All required fire hydrants shall be installed and made serviceable prior to and during construction of subdivision.

PNM Electric & Gas

PNM approves the Pre-Plat. The platted anchor easement in Lot 16 is ok. For existing and future utilities PNM needs a 7' PUE granted along the North boundary of the Subdivision along the right of way of I-40, before final sign off.

Comcast

No comments received

QWEST

No comments received

Environmental Health

Site is not within 1000 feet of a landfill. No comment.

M.R.G.C.D.

No comments received.

Open Space Division

City Engineer

An approved drainage report is on file for Preliminary Plat approval. An executed SIA with financial guarantees is required for Final Plat action by the DRB. The previous SIA was released when the Infrastructure List became invalid once the Preliminary Plat expired.

Transportation Development

Glen Rio will require a 6' sidewalk on the infrastructure list. Provide infrastructure list for preliminary plat. Provide sidewalk deferral exhibit. Need to apply for a sidewalk waiver, if sidewalk is going to be waived around the cul-de-sac.

Parks & Recreation

This request will be subject to the following requirements of the City Park Dedication and Development Ordinance:

Prior to sign-off on the final plat, a fee in-lieu of and equal to the value of the required park land dedication for 34 new residential lots will be required. The fee will be based on an estimate of land value to be provided by the City Real Property office. Alternatively, the applicant may submit current appraisal information mutually acceptable to the applicant and the City.

The park development requirement will be met via the payment of a fee prior to issuance of building permit for each new dwelling unit.

Utilities Development

No objection to Plat approval.

Planning Department

Despite the requirement for 24 copies of the preliminary plat listed on the checklist, none were provided. This is grounds for rejection of the application. It should have been rejected at the front counter when application was made.

Planning Department

The DPM gives DRB 2 days from date of submittal to reject a preliminary plat application. For this reason, DRB will defer this application at the meeting on October 6, 2004 for one week to October 13, 2004 provided a new preliminary plat and infrastructure list & perimeter wall submittal is received at the Front Counter by 5pm on Friday, September 17, 2004. If agent cannot meet this deadline, a written request for deferral to a later DRB meeting is needed.

The final plat will not be acted on because the infrastructure list was tied to the expired preliminary plat. A new infrastructure list should have been submitted as well as the preliminary plat.

In addition, the perimeter wall design does not follow the submittal requirements. It is the wrong size, there is only one, etc. Until the correct submittal is made, the wall design will not be reviewed.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

cc:J D Home Inc., P.O. Box 90218, 87199
Tierra West LLC, 8905 Jefferson St NE, 87113
John Lorentzen, 2909 Yale Blvd SE, 87106



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, October 6, 2004**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1001926

04DRB-01393 Major-Preliminary Plat
Approval

04DRB-01394 Major-Final Plat Approval

Defer 10/13/04

TIERRA WEST, LLC agent(s) for JD HOME, INC & JOHN LORENTZEN request(s) the above action(s) for all or a portion of Tract(s) 225, **TOWN OF ATRISCO GRANT, AIRPORT UNIT**, zoned R-2, located on 72ND PL NW, between INTERSTATE 40 WEST and GLENRIO RD NW containing approximately 5 acre(s). [REF: 03DRB01224, 03DRB01115] (J-10)

Project # 1003591

04DRB-01384 Major-Preliminary Plat
Approval

04DRB-01386 Minor-Sidewalk Waiver

04DRB-01387 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for D. R. HORTON HOMES request(s) the above action(s) for all or a portion of Tract(s) 31A-1-A, **SUN GATE ESTATES**, zoned R-LT residential zone, located on 98TH ST SW, between BLAKE RD SW and OPEN RANGE AVE SW containing approximately 45 acre(s). [REF: 04DRB-01185] (N-9)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. Individuals with disabilities who need special assistance to participate at this meeting should contact Claire Senova, Planning Department, at 924-3946. Hearing Impaired users may contact her via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, SEPTEMBER 20, 2004.

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: OCTOBER 6, 2004
Zone Atlas Page: J-10-Z
Notification Radius: 100 Ft.

Project# 1001926
App# 04DRB-01393
App# 04DRB-01394

Cross Reference and Location:

Applicant: J D HOME INC
Address: PO BOX 90218
ALBUQUERQUE NM 87199-0218

Agent: TIERRA WEST, LLC
Address: 8905 JEFFERSON ST NE
ALBUQUERQUE NM 87113

Special Instructions:

**Notice must be mailed from the
City's 15 day prior to the meeting.**

Date Mailed: SEPTEMBER 17, 2004

Signature: KYLE TSEHLIKAI

PROPERTY OWNERSHIP / LEGAL LIST

App# _____
 Proj# _____

Date: _____

Page / Of /

Zone Atlas Page	Zone Atlas #	Grid Location	Parcel Sequence	Name & Address
J-10	1010058	271-403	104-01	✓
		291-416	02	✓
		293-305	101-02	✓ cop
		277-349	06	✓
		277-342	07	✓
		277-334	08	✓
		261-330	212-15	✓
		261-342	16	✓
		261-349	17	✓
		250-335	23	✓
		250-343	22	✓
		243-348	21	✓
		235-347	20	✓
		210-385	209-02	-
		220-443	210-12	✓ mp
		232-465	10	✓ mp
		255-462	110-12	✓ cop
		287-480	11	✓ cop



<mainframe@coa1mp3.
cabq.gov>
09/14/2004 01:07 PM

To:
cc:
Subject:

1	R E C O R D S	W I T H	L A B E L S	PAGE
1				
01010058		***	THIS UPC CODE HAS NO MASTER RECORD ON FILE	
0101005827140310401		LEGAL:	125 S PO R OF TR 225 3.7AC 10N 2E SEC 15	
LAND USE:		PROPERTY ADDR:	00000 GLENRIO	
		OWNER NAME:	LORENTZEN JOHN	
		OWNER ADDR:	02909 YALE	BL SE
ALBUQUERQUE NM	87106			
0101005829141610402		LEGAL:	TOWN OF ATRISCO GRANT A.P.U. #8 TRACT 224 CONT	
4.1 LAND USE:		PROPERTY ADDR:	00000 GLENRIO	
		OWNER NAME:	BRUCKNER DONALD G ETUX ETAL	
		OWNER ADDR:	03305 GRANDE VISTA	NW
ALBUQUERQUE NM	87120			
0101005829330510102		LEGAL:	TOWN OF ATRISCO GRANT AP48 TR 174	
LAND USE:		PROPERTY ADDR:	00000 FORTUNA	
		OWNER NAME:	CITY OF ALBUQUERQUE	
		OWNER ADDR:	00000	
ALBUQUERQUE NM	87103			
0101005827734910106		LEGAL:	16 1 OF WEST MESA MANOR NO 2 SUBD	
LAND USE:		PROPERTY ADDR:	00000 72ND	
		OWNER NAME:	ESQUIBEL SYLVESTER & ANN	
		OWNER ADDR:	01708 RUSTY	DR NW
ALBUQUERQUE NM	87114			
0101005827734210107		LEGAL:	15 1 OF WEST MESA MANOR NO 2 SUBD	
LAND USE:		PROPERTY ADDR:	00000 72ND	
		OWNER NAME:	GARCIA MICHAEL & BERNADETTE	
		OWNER ADDR:	00824 72ND	ST NW
ALBUQUERQUE NM	87105			
0101005827733610108		LEGAL:	14 1 OF WEST MESA MANOR NO 2 SUBD	
LAND USE:		PROPERTY ADDR:	00000 72ND	
		OWNER NAME:	MARTINEZ MARDOQUEO ETUX	
		OWNER ADDR:	02801 KATHERYN	SE
ALBUQUERQUE NM	87108			
0101005826133621215		LEGAL:	25 2 WES T MESA MANOR NO 2 SUBD	
LAND USE:		PROPERTY ADDR:	00000 72ND	
		OWNER NAME:	CARROLL JAMES M ETUX	
		OWNER ADDR:	00821 72ND	ST NW
ALBUQUERQUE NM	87105			
0101005826134221216		LEGAL:	24 2 WES T MESA MANOR NO 2 SUBD	
LAND USE:		PROPERTY ADDR:	00000 72ND	
		OWNER NAME:	VARGAS EFREN &	
		OWNER ADDR:	00825 72ND	ST NW
ALBUQUERQUE NM	87121			
0101005826134921217		LEGAL:	23 2 OF WEST MESA MANOR NO 2 SUBD	

LAND USE:

PROPERTY ADDR: 00000 72ND
OWNER NAME: MALONE JOHN E JR & RUTH M
OWNER ADDR: 00623 AMHERST NE

ALBUQUERQUE NM 87106
0101005825033521223 LEGAL: LOT 14 B LK 2 OF WEST MESA MANOR UNIT #2
LAND USE:

PROPERTY ADDR: 00000 LANDMARK
OWNER NAME: CASTILLO RANDY ETUX
OWNER ADDR: 00828 LANDMARK ST NW

ALBUQUERQUE NM 87105
0101005825034321222 LEGAL: 15 2 OF WEST MESA MANOR SUBD
LAND USE:

PROPERTY ADDR: 00000 LANDMARK
OWNER NAME: MARES RONNIE E & JANET E
OWNER ADDR: 00832 LANDMARK ST NW

ALBUQUERQUE NM 87121
1 R E C O R D S W I T H L A B E L S PAGE
2

0101005824334821221 LEGAL: 16 2 OF WEST MESA MANOR SUBD
LAND USE:

PROPERTY ADDR: 00000 FREMONT
OWNER NAME: MCGUINNESS ABEL
OWNER ADDR: 07301 FREMONT PL NW

ALBUQUERQUE NM 87121
0101005823534921220 LEGAL: 17 2 OF WEST MESA MANOR SUBD
LAND USE:

PROPERTY ADDR: 00000 FREMONT
OWNER NAME: BIGHAM TRAVIS J & PENNY L
OWNER ADDR: 07305 FREMONT PL NW

ALBUQUERQUE NM 87121
0101005821038520902 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE
0101005822044321012 LEGAL: THE S'LY 117.62 FT OF THE N'LY POR OF TR 227
TOWN LAND USE:

PROPERTY ADDR: 00000 N/A
OWNER NAME: A M A F C A
OWNER ADDR: 02600 PROSPECT NE

ALBUQUERQUE NM 87107
0101005823246521010 LEGAL: NLY POR OF TR 226 TOWN OF ATRISCO GRANT AIRPORT
UN LAND USE:

PROPERTY ADDR: 00000 N/A
OWNER NAME: AMAFCA
OWNER ADDR: 02600 PROSPECT NE

ALBUQUERQUE NM 87107
0101005825546211012 LEGAL: DRAI NAGE ROW PLAT OF CHAMISA POINTE SUBD UNIT
ONE LAND USE:

PROPERTY ADDR: 00000 N/A
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: 00000

ALBUQUERQUE NM 87103
0101005828748011011 LEGAL: TRAC T A PLAT OF CHAMISA POINTE SUBD UNIT ONE
(TOGE LAND USE:

PROPERTY ADDR: 00000 N/A
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: 00000

ALBUQUERQUE NM 87103

QUIT

101005821038520902 LEGAL DESC: LOT A PLAT OF LOT A LANDS OF FAMILY WORSHIP
CENTER CONT 7.3605 AC
PROPERTY ADDR: N/A

OWNERS NAME: FAMILY WORSHIP CENTER OF ALBUQ.
OWNERS ADDR: 5200 ILIFF NW
ALBUQUERQUE NM 87121

Project# 1001926

J D HOME INC
PO BOX 90218
ALBUQUERQUE NM 87199-0218

PHYLIS VILCHUCK
Laurelwood Neigh. Assoc.
7805 SPRINGWOOD RD NW
ALBUQUERQUE NM 87120

DEAUN LEWIS
S.R. Marmon Neigh. Assoc.
6400 SUNNY DAY CT. NW
ALBUQUERQUE NM 87120

101005829141610402

BRUCKNER DONALD G ETUX ETAL
3305 GRANDE VISTA NW
ALBUQUERQUE NM 87120

101005827733610108

MARTINEZ MARDOQUEO ETUX
2801 KATHERYN SE
ALBUQUERQUE NM 87108

101005826134921217

MALONE JOHN E JR & RUTH M
623 AMHERST NE
ALBUQUERQUE NM 87106

101005824334821221

MCGUINNESS ABEL
7301 FREMONT PL NW
ALBUQUERQUE NM 87121

101005821038520902

FAMILY WORSHIP CENTER
5200 ILIFF NW
ALBUQUERQUE NM 87121

TIERRA WEST, LLC
8509 JEFFERSON ST. NE
ALBUQUERQUE NM 87113

CHRISTOPHER PRIEN
Los Volcanes Neigh. Assoc.
622 HONEYLOCUST PL. NW
ALBUQUERQUE NM 87121

RUSSELL KAPPELMAN
S.R. Marmon Neigh. Assoc.
6808 HUERTO NW
ALBUQUERQUE NM 87120

101005827734910106

ESQUIBEL SYLVESTER & ANN
1708 RUSTY DR NW
ALBUQUERQUE NM 87114

101005826133621215

CARROLL JAMES M ETUX
821 72ND ST NW
ALBUQUERQUE NM 87105

101005825033521223

CASTILLO RANDY ETUX
828 LANDMARK ST NW
ALBUQUERQUE NM 87105

101005823534921220

BIGHAM TRAVIS J & PENNY L
7305 FREMONT PL NW
ALBUQUERQUE NM 87121

STEVE TARDY
Laurelwood Neigh. Assoc.
7424 LYNWOOD DR. NW
ALBUQUERQUE NM 87120

DAVE EDWARDS
Los Volcanes Neigh. Assoc.
637 HONEYLOCUST PL. NW
ALBUQUERQUE NM 87121

101005827140310401

LORENTZEN JOHN
2909 YALE BL SE
ALBUQUERQUE NM 87106

101005827734210107

GARCIA MICHAEL & BERNADETTE
824 72ND ST NW
ALBUQUERQUE NM 87105

101005826134221216

VARGAS EFREN &
825 72ND ST NW
ALBUQUERQUE NM 87121

101005825034321222

MARES RONNIE E & JANET E
832 LANDMARK ST NW
ALBUQUERQUE NM 87121

101005822044321012

A M A F C A
2600 PROSPECT NE
ALBUQUERQUE NM 87107

"Attachment A"

Karen Kline, Tierra West, LLC
Zone Map: J-10

LAURELWOOD N.A. (R)

***Steve Tardy**

7424 Lynwood Dr. NW/87120 440-0115 (h) 323-7771 (w)

Phylis Vilchuck

7805 Springwood Rd. NW/87120 836-7624 (h)

LOS VOLCANES N.A. (R)

***Christopher Prien**

622 Honeylocust Pl. NW/87121 831-6342 (h) 400-3655 (w)

Dave Edwards

637 Honeylocust Pl. NW/87121 833-5909 (h) 292-8955 (w)

S.R. MARMON N.A. (R)

***Deaun Lewis**

6400 Sunny Day Ct. NW/87120 352-9249 (h) 797-7970 (w)

Russell Kappelman

6808 Huerto NW/87120 352-0251 (h)

ALTHOUGH YOU ARE NOT "OFFICIALLY REQUIRED" BY
O-92, you are most welcomed to notify the following
"Unrecognized" neighborhood associations of this project.

LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a

August 31, 2004

Karen Kline
Tierra West, LLC
8509 Jefferson NE/87113
Phone: 858-3100/Fax: 858-1118
Email: kkline@tierrawestllc.com

Dear Karen:

Thank you for your inquiry of August 31, 2004 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at TRACT 225, TOWN OF ATRISCO GRANT AIRPORT UNIT EAST OF 72ND STREET NW BETWEEN GLENRIO ROAD NW AND INTERSTATE 40 zone map J-10.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

SEE "ATTACHMENT A" FOR NEIGHBORHOOD INFORMATION.

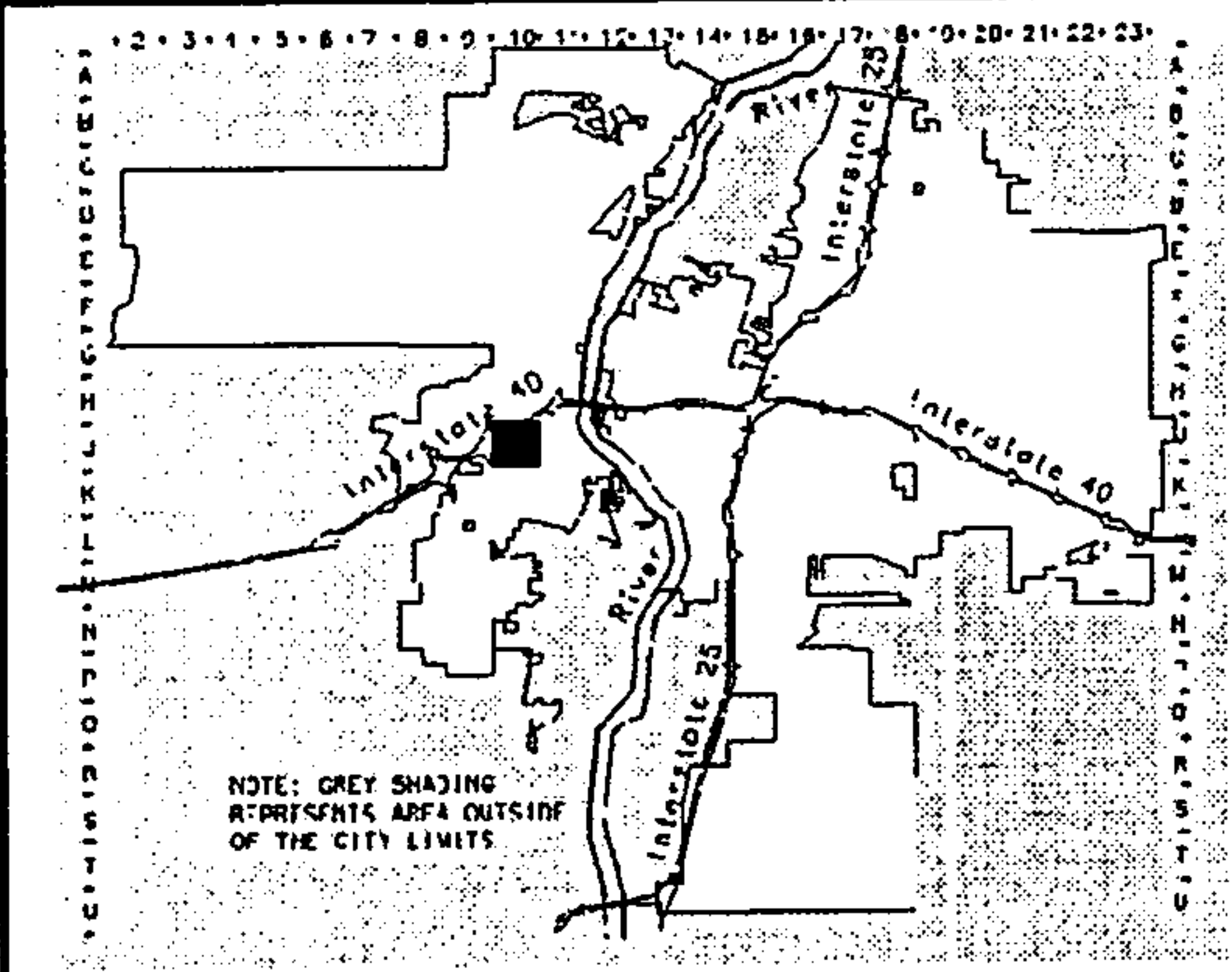
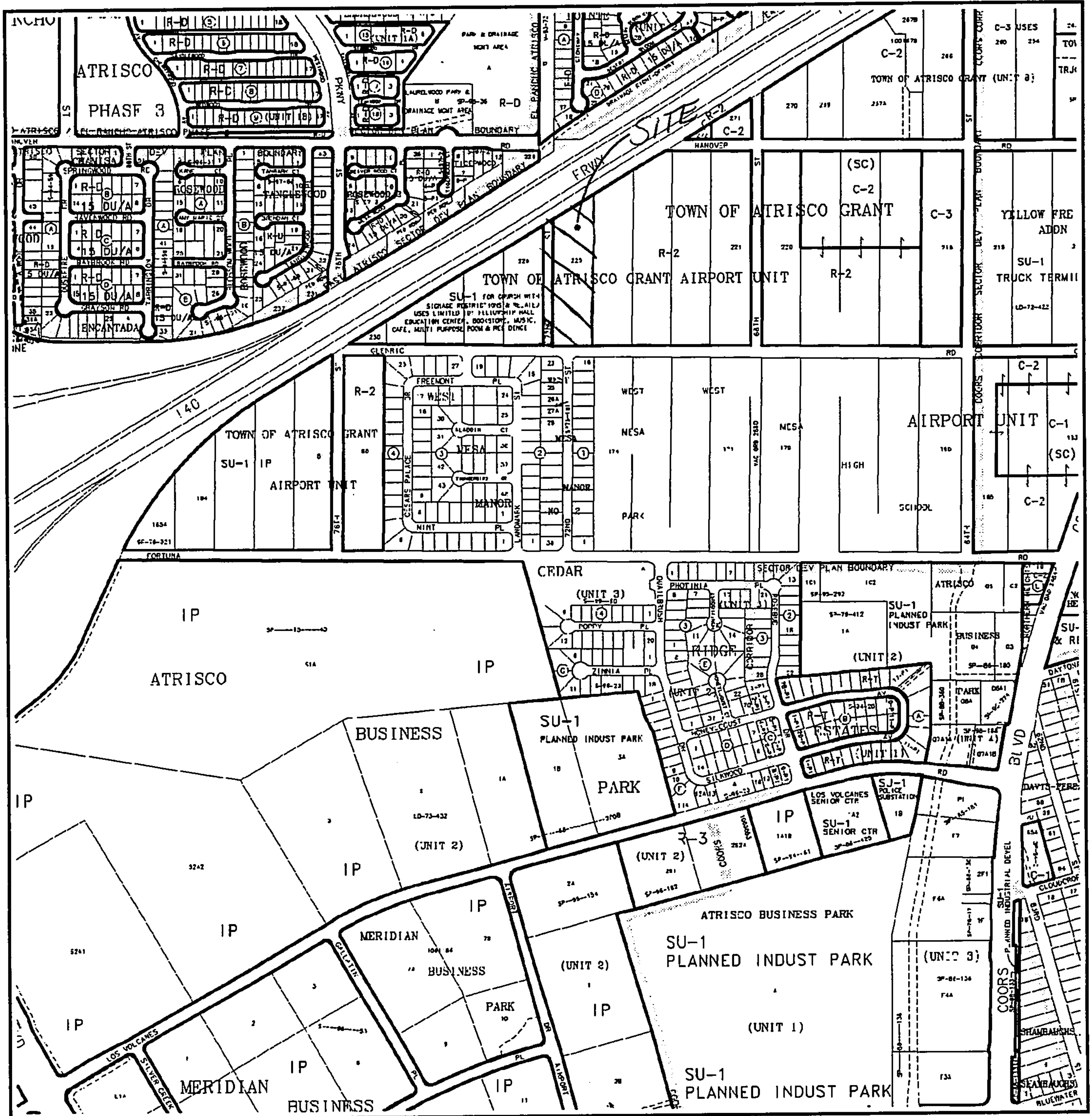
Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Senior Administrative Assistant
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

planningrnaform(04/09/03)



CITY OF Albuquerque
Albuquerque Geographic Information System
PLANNING DEPARTMENT

© Copyright 2003



Zone Atlas Page

J-10-Z

Map Amended through August 01, 2003

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

September 8, 2004

Ms. Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**RE: Request for Preliminary Plat & Final Plat Approval for Mustang Mesa
Subdivision
Tract 225, Town of Atrisco Grant Airport Unit
DRB# 1001926; Zone Atlas Page J-10**

Dear Ms. Matson:

Tierra West LLC, on behalf of J D Home Inc., requests approval of the Preliminary Plat and Final Plat for the above referenced project. The site is located east of 72nd Street NW, between Interstate 40 and Glenrio Road NW. The site is zoned R-2 and will consist of 34 single-family homes. On August 21, 2003, the DRB approved the preliminary plat and vacation of the public right-of-way. The plat was not filed within the one-year time limit, so we are requesting the approval of the Preliminary and Final Plat. Marvin Kortum is amending the Infrastructure list also at this time. The final plat is ready to submit and the SIA is recorded.

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,


For: Ronald R. Bohannon, P.E.

Enclosure/s

cc: Jeff Dorwart
Steve Tardy, Laurelwood N.A.
Phylis Vilchuck, Laurelwood N.A.
Christopher Prien, Los Volcanes N.A.
Dave Edwards, Los Volcanes N.A.
Deaun Lewis, S.R. Marmon N.A.
Russell Kappelman, S.R. Marmon N.A.

JN: 23101
RRB/kk



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

September 29, 2004

1. Project # 1001926
04DRB-01358 Major-Vacation of Pub Right-of-Way

TIERRA WEST LLC agent(s) for J D HOME INC request(s) the above action(s) for all or a portion of Tract(s) 225, **MUSTANG MESA**, AIRPORT UNIT, TOWN OF ATRISCO GRANT, zoned R-2 residential zone, located on 72ND PLACE NW, between INTERSTATE 40 WEST and GLENRIO RD NW containing approximately 5 acre(s). [REF: 03DRB-01224, 03DRB-01225] (J-10)

At the September 29, 2004, Development Review Board meeting, the vacation was approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. Final disposition shall be through the City Real Estate Office.
2. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.
3. Affected utility companies shall acknowledge the vacation by their signatures on the replat.

If you wish to appeal this decision, you must do so by October 14, 2004 in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.



OFFICIAL NOTICE OF DECISION
PAGE 2

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

Sheran Matson, AICP, DRB Chair

Cc: JD Home Inc., P.O. Box 90218, 87199
Tierra West LLC, 8509 Jefferson NE, 87113
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg
File

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
September 15, 2004
DRB Comments**

ITEM # 8

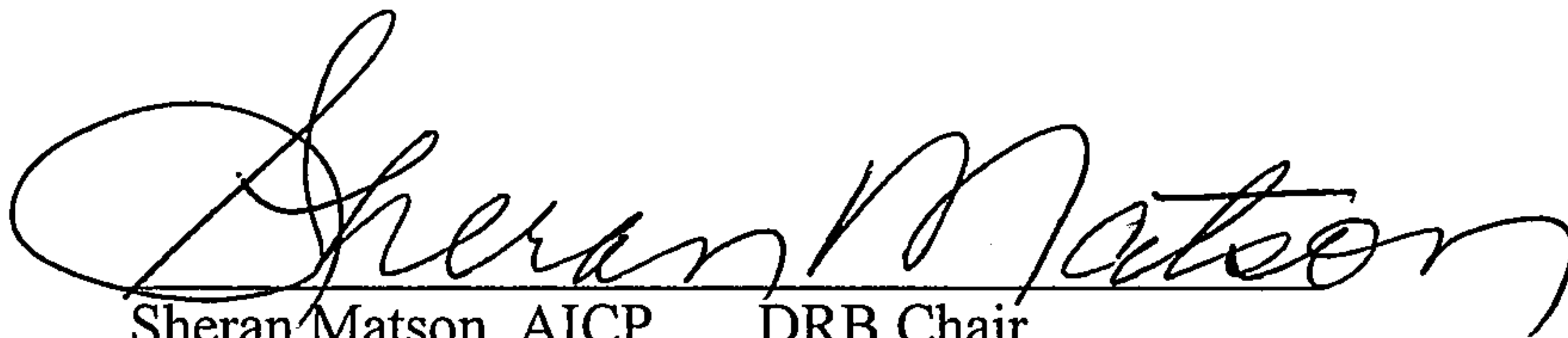
PROJECT # 1001926

APPLICATION # 04-01335 & 01334

RE: Mustang Mesa Subdivision/sidewalk waiver & temp sidwlk defer

The preliminary plat for this subdivision has expired. This request is indefinitely deferred by DRB until an application is submitted for a new preliminary plat. The agent must call Claire at 924-3946 to be placed on the same agenda as the preliminary plat application. It is too confusing to have applications related to the preliminary plat ahead of the preliminary plat.

Tierra West, the agents preparing the new preliminary plat, were unaware of this application.



Sheran Matson, AICP DRB Chair
924-3880 Fax 924-3864 smtason@cabq.gov

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1001926 AGENDA#: 1 DATE: 9.29.04

1. Name: Ron Bohannon Address: Sierra West Zip: _____

2. Name: _____ Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

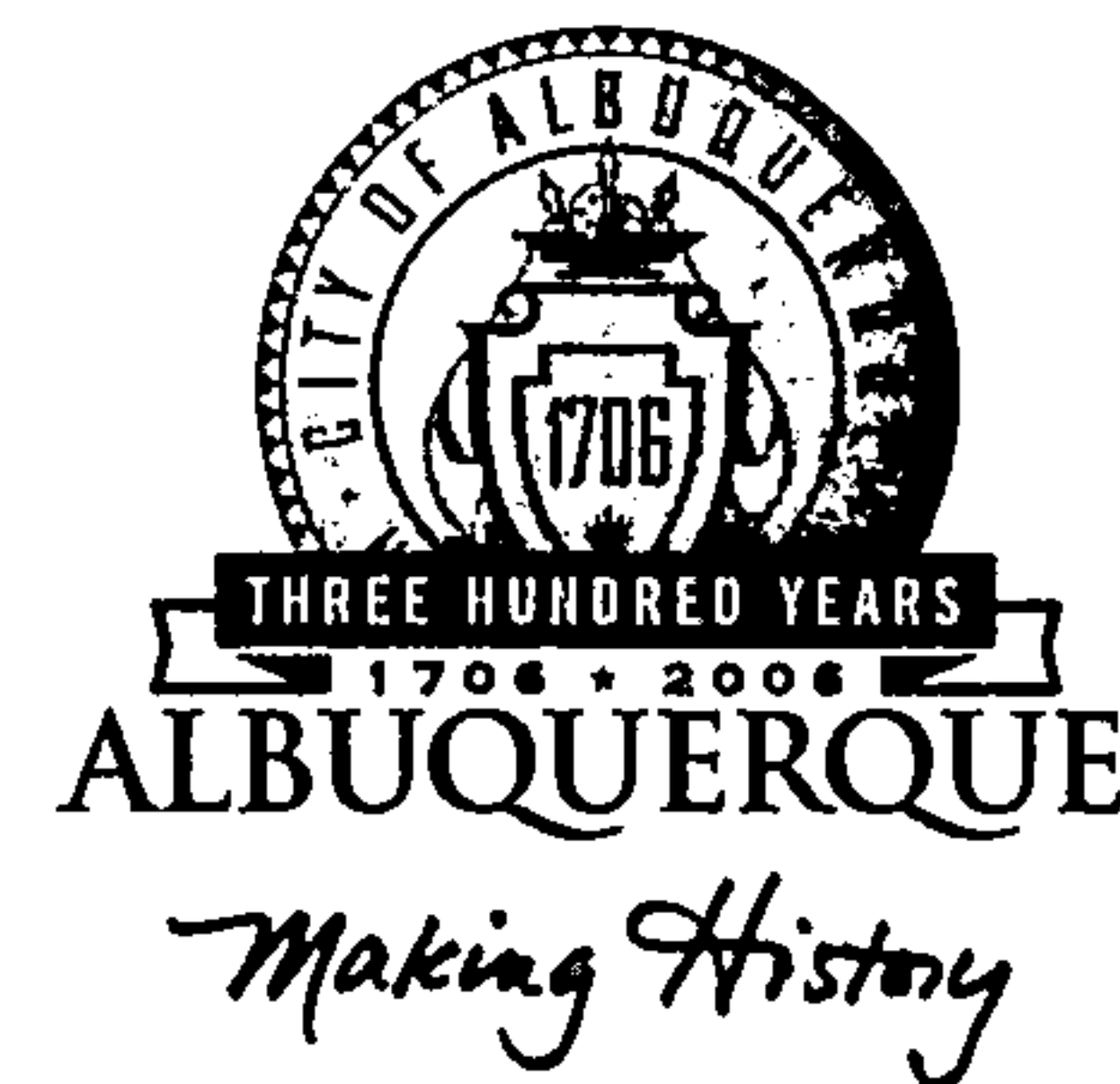
11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001926

AGENDA ITEM NO: 1

SUBJECT:

- | | | |
|-------------------------|--------------------------|---------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Dev. Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Cost Allocation Plan |

ACTION REQUESTED:

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

Albuquerque

The Hydrology Section has no objection to the vacation request.

New Mexico 87103

RESOLUTION:

www.cabq.gov

APPROVED X; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: September 29, 2004



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

September 29, 2004

Project # 1001926

04DRB-01358 Major-Vacation of Pub Right-of-Way
04DRB-01359 Minor-Extension of Preliminary Plat *WD.*

TIERRA WEST LLC agent(s) for J D HOME INC request(s) the above action(s) for all or a portion of Tract(s) 225, **MUSTANG MESA**, AIRPORT UNIT, TOWN OF ATRISCO GRANT, zoned R-2 residential zone, located on 72ND PLACE NW, between INTERSTATE 40 WEST and GLENRIO RD NW containing approximately 5 acre(s). [REF: 03DRB-01224, 03DRB-01225] (J-10)

AMAFCA No comment.

COG No adverse comments.

Transit No objection to either request.

Zoning Enforcement No comments received.

Neighborhood Coordination Letters sent to Laurelwood (R), Los Volcanes (R) and S.R. Marmon (R) Neighborhood Assns.

APS No comments received.

Police Department

A review of following case(s) indicates the following problems or crimes may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicate that a thorough CPTED evaluation has been done, or that other criminal activities may not occur. Burglaries, maintenance of landscaping.

Fire Department No adverse comments.

PNM Electric & Gas

PNM approves the vacation of the 60' road. The platted anchor easement in Lot 16 is okay. For existing and future utilities PNM needs a 7' PUE granted along the North boundary of the Subdivision along the right of way of I-40, before final sign off.

Comcast

No comments received

QWEST

No comments received

Environmental Health

Site is not within 1000 feet of a landfill. No comment.

M.R.G.C.D.

No comments received.

Open Space Division

No adverse comments.

City Engineer

No objection to the vacation request. An approved drainage report is on file for Preliminary Plat approval

Transportation Development

No objection to the extension of preliminary plat, however, the vacation action has expired. Need to begin with vacation action.

Parks & Recreation

No objection to the vacation request. No objection to the minor preliminary plat extension. Per the Park Dedication Ordinance the cash-in-lieu payment will have to be made for the 34 lots prior to final plat final sign-off.

Utilities Development

No objection to Vacation request. No objection to Preliminary Plat approval.

Planning Department

The project file shows the preliminary plat was approved on August 20, 2003. An amendment was granted on March 24, 2004. However, amendments do not extend the original preliminary plat approval as stated on the Notice of Decision for the 3/24/04 approval. Since the preliminary plat has expired, an extension is not possible. A new preliminary plat must be submitted.

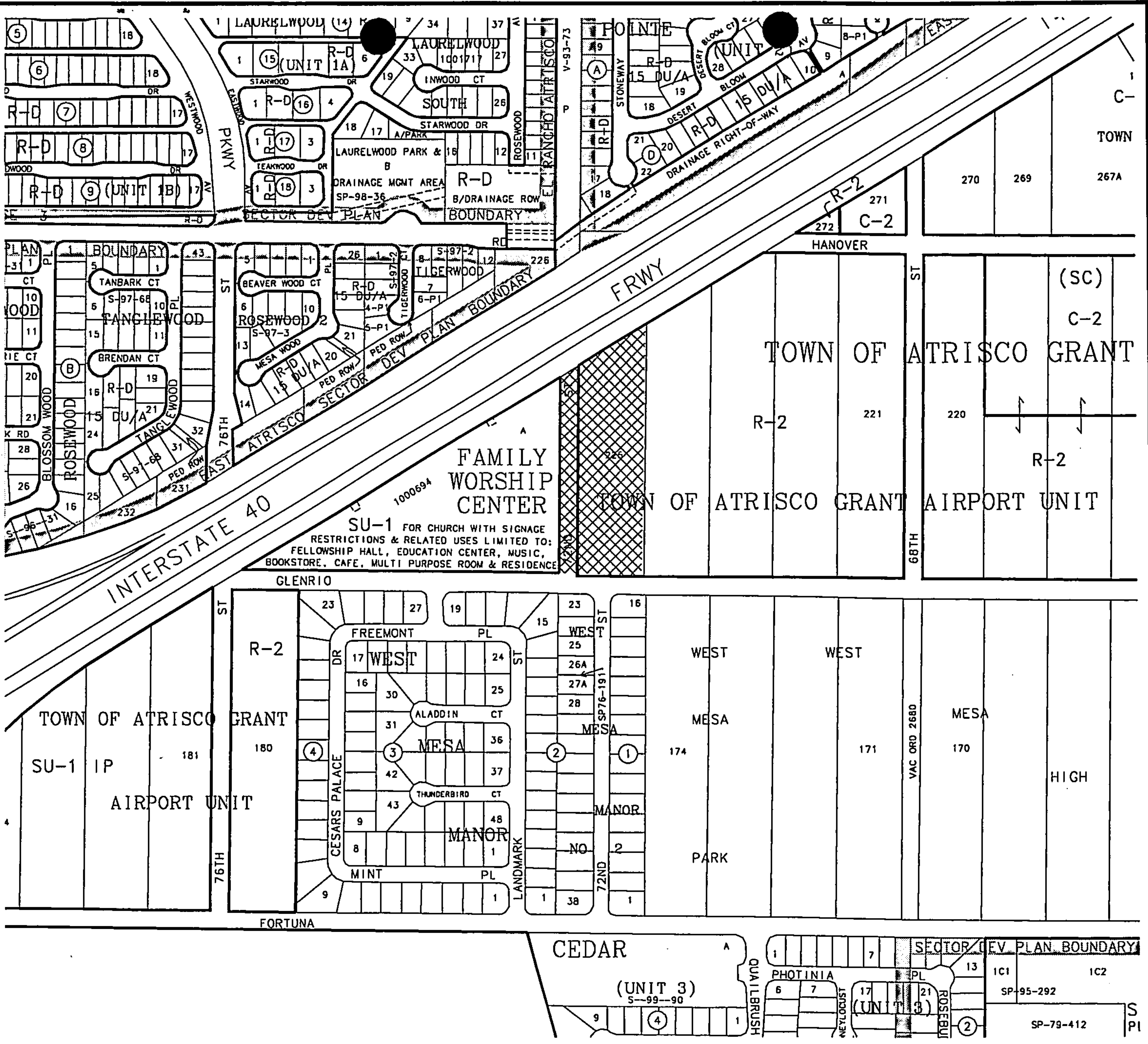
The vacation of a portion of 72nd Street can be approved at this time. However, the prudent course of action is to apply for the vacation when the application for the new preliminary plat is submitted. Then the life of both actions runs concurrently.

The agent should submit a withdrawal letter for these 2 actions and resubmit a new preliminary plat and vacation action. Agent notified on September 7, 2004.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

cc:J D Home Inc., P.O. Box 90218, 87199

Tierra West LLC, 8509 Jefferson St NE, 87113



ZONING MAP



Scale 1"=469'

PROJECT NO.
1001926

HEARING DATE
9-29-04

MAP NO.
J-10

ADDITIONAL CASE NUMBER(S)
04DRB-01358
04DRB-01359



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, September 29, 2004, beginning at 9:00 a.m. for the purpose of considering the following:

Project # 1001926

04DRB-01358 Major-Vacation of Pub
Right-of-Way

04DRB-01359 Minor-Extension of
Preliminary Plat

*W/O
@ AR.*

TIERRA WEST LLC agent(s) for J D HOME INC request(s) the above action(s) for all or a portion of Tract(s) 225, **MUSTANG MESA**, AIRPORT UNIT, TOWN OF ATRISCO GRANT, zoned R-2 residential zone, located on 72ND PLACE NW, between INTERSTATE 40 WEST and GLENRIO RD NW containing approximately 5 acre(s). [REF: 03DRB-01224, 03DRB-01225] (J-10)

Project # 1003187

04DRB-01365 Major-Vacation of Public
Easements

04DRB-01366 Minor-Sidewalk Variance

ABQ ENGINEERING INC agent(s) for AMERI-CONTRACTORS LLC request(s) the above action(s) for all or a portion of Tract(s) 5-E, **MARNA LYNN SUBDIVISION**, LANDS OF UNIVERSITY OF NEW MEXICO, zoned R-1 residential zone, located on GOLF COURSE RD NW between PARADISE BLVD NW and PASEO DEL NORTE NW containing approximately 2 acre(s). [REF: 04DRB-00037] (C-12)

Project # 1003593

04DRB-01360 Major-Vacation of Public
Easements

04DRB-01361 Major-Preliminary Plat
Approval

04DRB-01362 Minor-Sidewalk Waiver

04DRB-01363 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for VENTANA WEST LLC request(s) the above action(s) for all or a portion of Tract(s) 6, **VENTANA RANCH WEST**, zoned R-LT residential zone, located on IRVING BLVD NW, and VENTANA RIDGE RD NW containing approximately 24 acre(s). [REF: 04DRB-01198] (B-8/B-9)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays. Individuals with disabilities who need special assistance to participate at this meeting should contact Claire Senova, Planning Department, at 924-3946. Hearing Impaired users may contact her via the New Mexico Relay Network by calling toll-free: 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, SEPTEMBER 13, 2004.

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: SEPTEMBER 29, 2004
Zone Atlas Page: J-10-Z
Notification Radius: 100 Ft.

Project# 1001926
App# 04DRB-01358
App# 04DRB-01359

Cross Reference and Location:

Applicant: J D HOME, INC.
Address: PO BOX 90218
ALBUQUERQUE NM 87199-0218

Agent: TIERRA WEST, LLC
Address: 8509 JEFFERSON ST. NE
ALBUQUERQUE NM 87113

Special Instructions:

**Notice must be mailed from the
City's 15 day prior to the meeting.**

Date Mailed: SEPTEMBER 10, 2004

Signature: KYLE TSEHLIKAI

PROPERTY OWNERSHIP / LEGAL LIST

App# _____
 Proj# _____

Date: _____

Page 1 Of 1

Zone Atlas Page	Zone Atlas #	Grid Location	Parcel Sequence	Name & Address
J-10	1010058	271-403	104-01	✓
		291-416	02	✓
		210-385	209-02	✓
		235-349	212-20	✓
		243-348	21	✓
		250-343	22	✓
		250-335	23	✓
		261-336	15	✓
		261-342	16	✓
		241-349	17	✓
		277-336	101-08	✓
		277-342	07	✓
		277-349	06	✓
		293-305	02	✓ COA
		270-443	210-12	✓ OMP
		232-465	10	✓ OMP
		255-342	110-12	✓ COA
		287-480	11	✓ COA



<mainframe@coa1mp3.cabq.gov>
09/07/2004 09:48 AM

To:
CC:
Subject:

1	R E C O R D S W I T H L A B E L S	PAGE
1		
01010058	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE	
0101005827140310401	LEGAL: 125 S PO R OF TR 225 3.7AC 10N 2E SEC 15	
LAND USE:		
	PROPERTY ADDR: 00000 GLENRIO	
	OWNER NAME: LORENTZEN JOHN	
	OWNER ADDR: 02909 YALE	BL SE
ALBUQUERQUE NM	87106	
0101005829141610402	LEGAL: TOWN OF ATRISCO GRANT A.P.U. #8 TRACT 224 CONT	
4.1 LAND USE:		
	PROPERTY ADDR: 00000 GLENRIO	
	OWNER NAME: BRUCKNER DONALD G ETUX ETAL	
	OWNER ADDR: 03305 GRANDE VISTA	NW
ALBUQUERQUE NM	87120	
0101005821038520902	*** THIS UPC CODE HAS NO MASTER RECORD ON FILE	
0101005823534921220	LEGAL: 17 2 OF WEST MESA MANOR SUBD	
LAND USE:		
	PROPERTY ADDR: 00000 FREMONT	
	OWNER NAME: BIGHAM TRAVIS J & PENNY L	
	OWNER ADDR: 07305 FREMONT	PL NW
ALBUQUERQUE NM	87121	
0101005824334821221	LEGAL: 16 2 OF WEST MESA MANOR SUBD	
LAND USE:		
	PROPERTY ADDR: 00000 FREMONT	
	OWNER NAME: MCGUINNESS ABEL	
	OWNER ADDR: 07301 FREMONT	PL NW
ALBUQUERQUE NM	87121	
0101005825034321222	LEGAL: 15 2 OF WEST MESA MANOR SUBD	
LAND USE:		
	PROPERTY ADDR: 00000 LANDMARK	
	OWNER NAME: MARES RONNIE E & JANET E	
	OWNER ADDR: 00832 LANDMARK	ST NW
ALBUQUERQUE NM	87121	
0101005825033521223	LEGAL: LOT 14 B LK 2 OF WEST MESA MANOR UNIT #2	
LAND USE:		
	PROPERTY ADDR: 00000 LANDMARK	
	OWNER NAME: CASTILLO RANDY ETUX	
	OWNER ADDR: 00828 LANDMARK	ST NW
ALBUQUERQUE NM	87105	
0101005826133621215	LEGAL: 25 2 WES T MESA MANOR NO 2 SUBD	
LAND USE:		
	PROPERTY ADDR: 00000 72ND	
	OWNER NAME: CARROLL JAMES M ETUX	
	OWNER ADDR: 00821 72ND	ST NW
ALBUQUERQUE NM	87105	
0101005826134221216	LEGAL: 24 2 WES T MESA MANOR NO 2 SUBD	
LAND USE:		
	PROPERTY ADDR: 00000 72ND	
	OWNER NAME: VARGAS EFREN &	
	OWNER ADDR: 00825 72ND	ST NW
ALBUQUERQUE NM	87121	

0101005826134921217 LEGAL: 23 2 OF WEST MESA MANOR NO 2 SUBD
LAND USE: PROPERTY ADDR: 00000 72ND
 OWNER NAME: MALONE JOHN E JR & RUTH M
 OWNER ADDR: 00623 AMHERST NE
ALBUQUERQUE NM 87106
0101005827733610108 LEGAL: 14 1 OF WEST MESA MANOR NO 2 SUBD
LAND USE: PROPERTY ADDR: 00000 72ND
 OWNER NAME: MARTINEZ MARDOQUEO ETUX
 OWNER ADDR: 02801 KATHERYN SE
ALBUQUERQUE NM 87108
0101005827734210107 LEGAL: 15 1 OF WEST MESA MANOR NO 2 SUBD
LAND USE: PROPERTY ADDR: 00000 72ND
 OWNER NAME: GARCIA MICHAEL & BERNADETTE
 OWNER ADDR: 00824 72ND ST NW
ALBUQUERQUE NM 87105
1 R E C O R D S W I T H L A B E L S PAGE
2
0101005827734910106 LEGAL: 16 1 OF WEST MESA MANOR NO 2 SUBD
LAND USE: PROPERTY ADDR: 00000 72ND
 OWNER NAME: ESQUIBEL SYLVESTER & ANN
 OWNER ADDR: 01708 RUSTY DR NW
ALBUQUERQUE NM 87114
0101005829330510102 LEGAL: TOWN OF ATRISCO GRANT AP48 TR 174
LAND USE: PROPERTY ADDR: 00000 FORTUNA
 OWNER NAME: CITY OF ALBUQUERQUE
 OWNER ADDR: 00000
ALBUQUERQUE NM 87103
0101005822044321012 LEGAL: THE S'LY 117.62 FT OF THE N'LY POR OF TR 227
TOWN LAND USE: PROPERTY ADDR: 00000 N/A
 OWNER NAME: A M A F C A
 OWNER ADDR: 02600 PROSPECT NE
ALBUQUERQUE NM 87107
0101005823246521010 LEGAL: NLY POR OF TR 226 TOWN OF ATRISCO GRANT AIRPORT
UN LAND USE: PROPERTY ADDR: 00000 N/A
 OWNER NAME: AMAFCA
 OWNER ADDR: 02600 PROSPECT NE
ALBUQUERQUE NM 87107
0101005825546211012 LEGAL: DRAI NAGE ROW PLAT OF CHAMISA POINTE SUBD UNIT
ONE LAND USE: PROPERTY ADDR: 00000 N/A
 OWNER NAME: CITY OF ALBUQUERQUE
 OWNER ADDR: 00000
ALBUQUERQUE NM 87103
0101005828748011011 LEGAL: TRAC T A PLAT OF CHAMISA POINTE SUBD UNIT ONE
(TOGE LAND USE: PROPERTY ADDR: 00000 N/A
 OWNER NAME: CITY OF ALBUQUERQUE
 OWNER ADDR: 00000
ALBUQUERQUE NM 87103

QUIT

101005821038520902 LEGAL DESC: Lot A Plat of Lot A Lands Of Family Worship Center Cont.
7.3605 Ac.
Property Addr: N/A

Owners Name: Family Worship Center Of Albuquerque
Owners Addr: 5200 Iliff NW
Albuquerque NM 87120

"Attachment A"

Karen Kline, Tierra West, LLC
Zone Map: J-10

LAURELWOOD N.A. (R)

***Steve Tardy**

7424 Lynwood Dr. NW/87120 440-0115 (h) 323-7771 (w)

Phylis Vilchuck

7805 Springwood Rd. NW/87120 836-7624 (h)

LOS VOLCANES N.A. (R)

***Christopher Prien**

622 Honeylocust Pl. NW/87121 831-6342 (h) 400-3655 (w)

Dave Edwards

637 Honeylocust Pl. NW/87121 833-5909 (h) 292-8955 (w)

S.R. MARMON N.A. (R)

***Deaun Lewis**

6400 Sunny Day Ct. NW/87120 352-9249 (h) 797-7970 (w)

Russell Kappelman

6808 Huerto NW/87120 352-0251 (h)

ALTHOUGH YOU ARE NOT "OFFICIALLY REQUIRED" BY O-92, you are most welcomed to notify the following "*Unrecognized*" neighborhood associations of this project.

LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

August 31, 2004

Karen Kline
Tierra West, LLC
8509 Jefferson NE/87113
Phone: 858-3100/Fax: 858-1118
Email: kkline@tierrawestllc.com

Dear Karen:

Thank you for your inquiry of August 31, 2004 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **TRACT 225, TOWN OF ATRISCO GRANT AIRPORT UNIT EAST OF 72ND STREET NW BETWEEN GLENRIO ROAD NW AND INTERSTATE 40** zone map J-10.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

SEE "ATTACHMENT A" FOR NEIGHBORHOOD INFORMATION.

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Senior Administrative Assistant
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

planningrnaform(04/09/03)

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Project# 1001926

J D HOME, INC.
PO BOX 90218
ALBUQUERQUE NM 87199-0218

PHYLIS VILCHUCK
Laurelwood Neigh. Assoc.
7805 SPRINGWOOD RD NW
ALBUQUERQUE NM 87120

DEAUN LEWIS
S.R. Marmon Neigh. Assoc.
6400 SUNNY DAY CT. NW
ALBUQUERQUE NM 87120

101005829141610402

BRUCKNER DONALD G ETUX ETAL
3305 GRANDE VISTA NW
ALBUQUERQUE NM 87120

101005825034321222

MARES RONNIE E & JANET E
832 LANDMARK ST NW
ALBUQUERQUE NM 87121

101005826134221216

VARGAS EFREN &
825 72ND ST NW
ALBUQUERQUE NM 87121

101005827734210107

GARCIA MICHAEL & BERNADETTE
824 72ND ST NW
ALBUQUERQUE NM 87105

101005821038520902

Family Worship Center Of Albuquerque
5200 Iliff NW
Albuquerque NM 87120

TIERRA WEST, LLC
8509 JEFFERSON ST NE
ALBUQUERQUE NM 87113

CHRISTOPHER PRIEN
Los Volcanes Neigh. Assoc.
622 HONEYLOCUST PL. NW
ALBUQUERQUE NM 87121

RUSSELL KAPPELMAN
S.R. Marmon Neigh. Assoc.
6808 HUERTO NW
ALBUQUERQUE NM 87120

101005823534921220

BIGHAM TRAVIS J & PENNY L
7305 FREMONT PL NW
ALBUQUERQUE NM 87121

101005825033521223

CASTILLO RANDY ETUX
828 LANDMARK ST NW
ALBUQUERQUE NM 87105

101005826134921217

MALONE JOHN E JR & RUTH M
623 AMHERST NE
ALBUQUERQUE NM 87106

101005827734910106

ESQUIBEL SYLVESTER & ANN
1708 RUSTY DR NW
ALBUQUERQUE NM 87114

STEVE TARDY
Laurelwood Neigh. Assoc.
7424 LYNWOOD DR NW
ALBUQUERQUE NM 87120

DAVE EDWARDS
Los Volcanes Neigh. Assoc.
637 HONEYLOCUST PL. NW
ALBUQUERQUE NM 87121

101005827140310401

LORENTZEN JOHN
2909 YALE BL SE
ALBUQUERQUE NM 87106

101005824334821221

MCGUINNESS ABEL
7301 FREMONT PL NW
ALBUQUERQUE NM 87121

101005826133621215

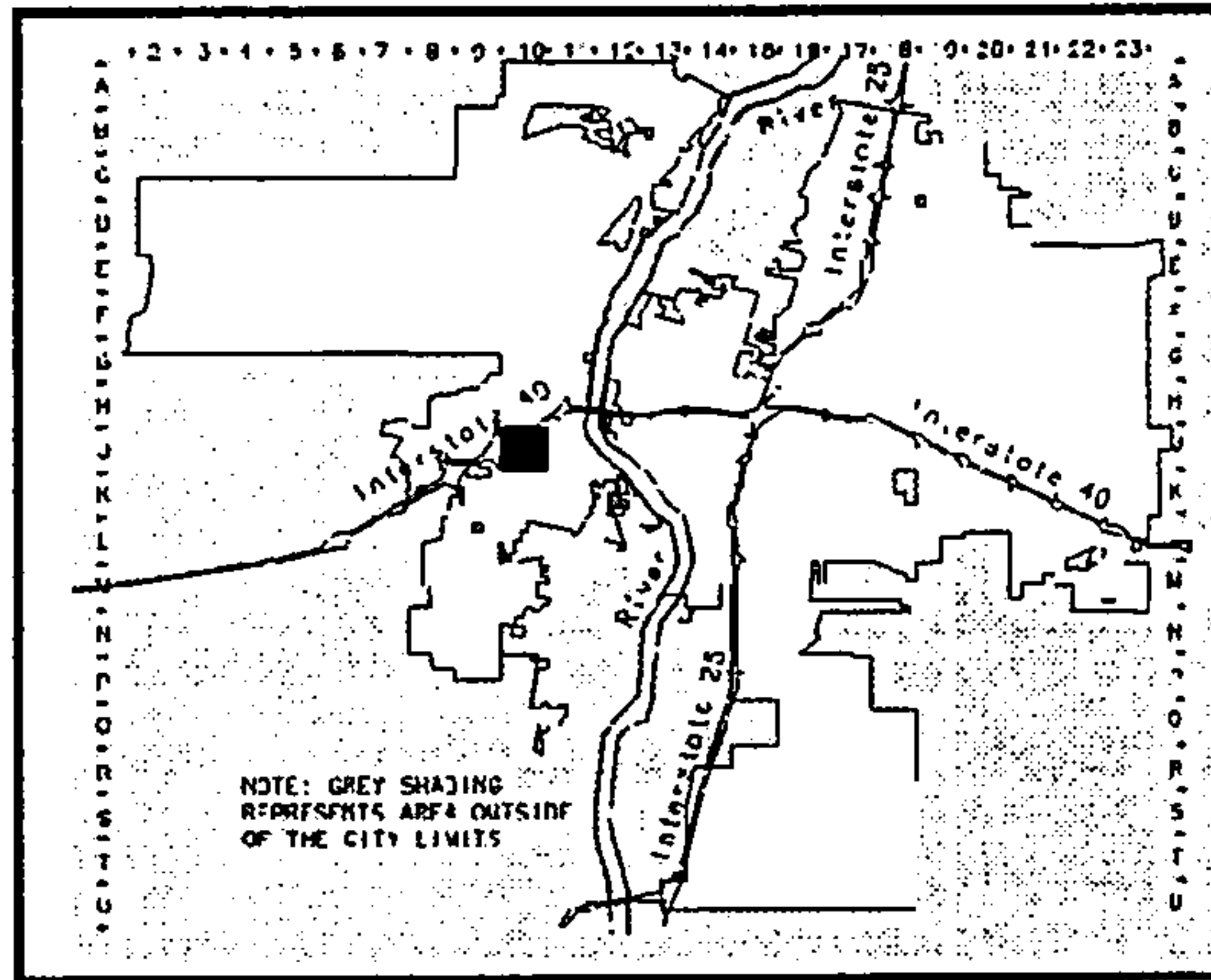
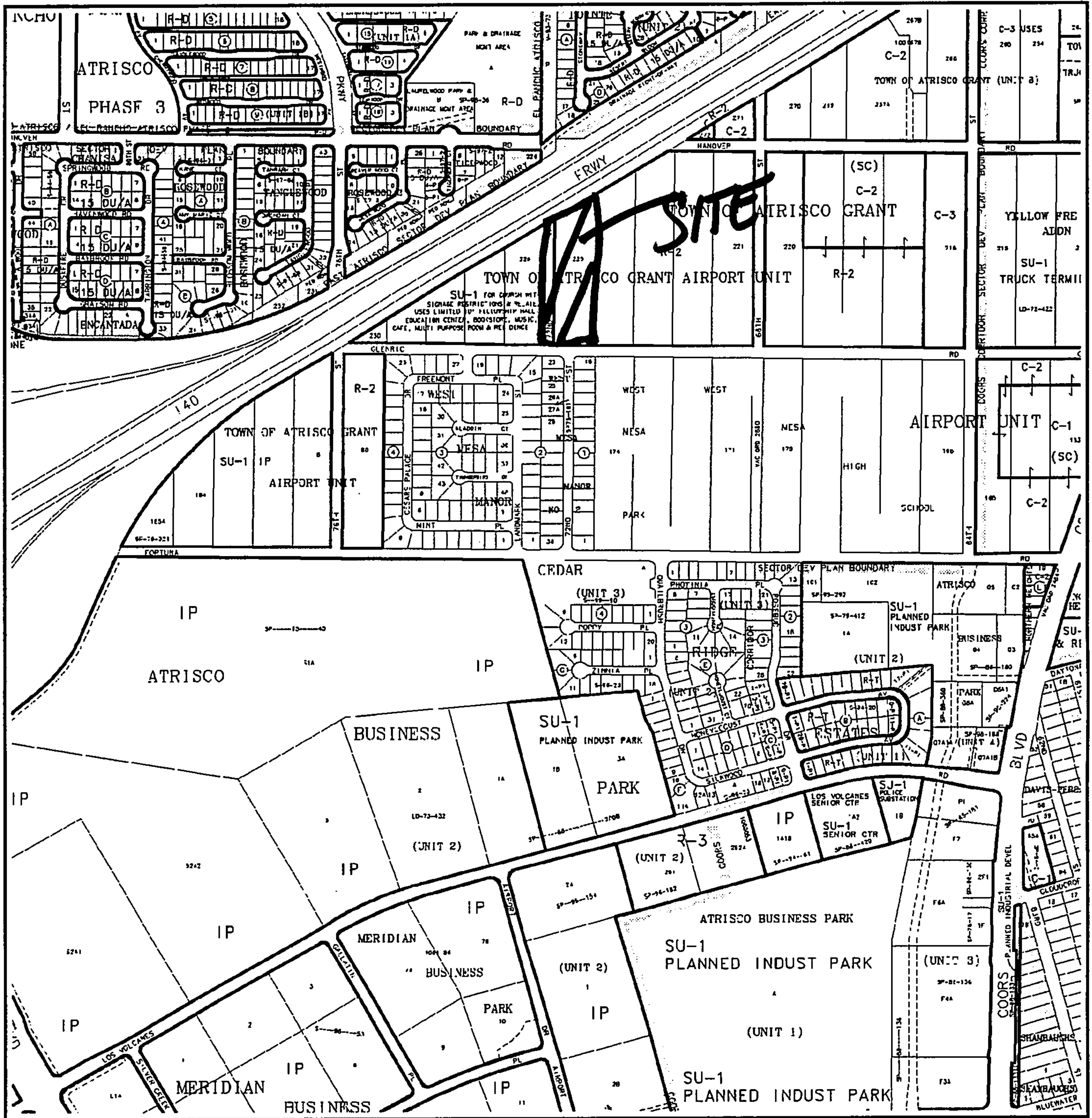
CARROLL JAMES M ETUX
821 72ND ST NW
ALBUQUERQUE NM 87105

101005827733610108

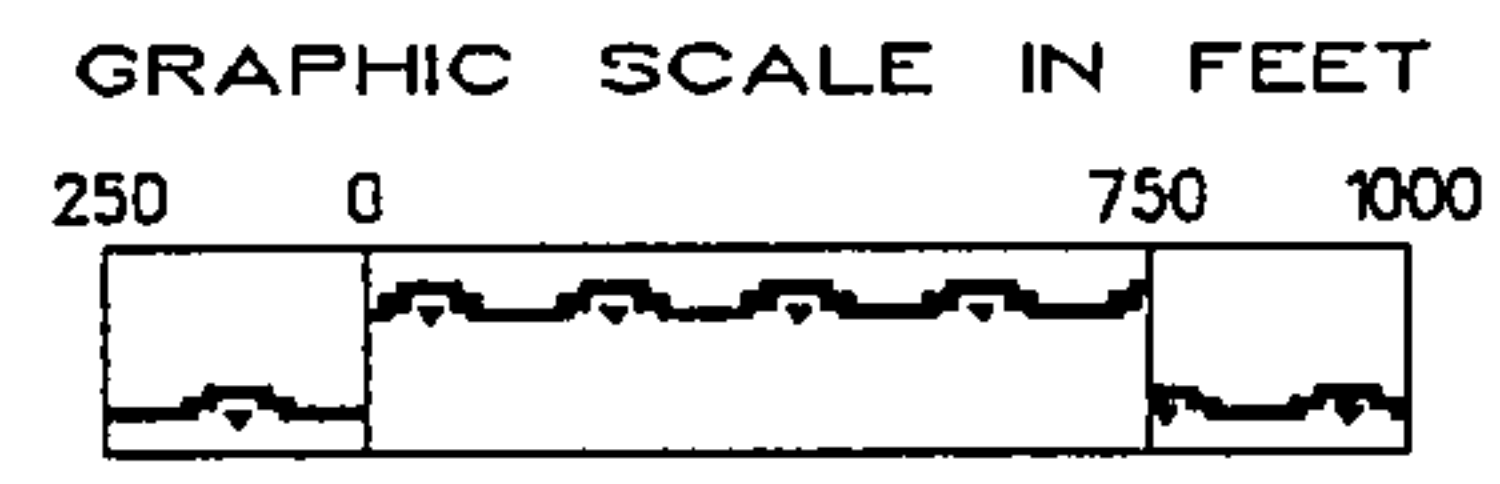
MARTINEZ MARDOQUEO ETUX
2801 KATHERYN SE
ALBUQUERQUE NM 87108

101005822044321012

A M A F C A
2600 PROSPECT NE
ALBUQUERQUE NM 87107



CITY OF
Albuquerque
Albuquerque Geographic Information System
PLANNING DEPARTMENT
© Copyright 2003



Zone Atlas Page

J-10-Z

Map Amended through August 01, 2003

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- ___ Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- ___ Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- ___ Letter briefly describing, explaining, and justifying the request
- ___ Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Copy of previous D.R.B. approved infrastructure list
 - Copy of the Official D.R.B. Notice of approval
 - Any original and/or related file numbers are listed on the cover application
- Extensions are not reviewed through internal routing.**
Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- ___ Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - ___ Design elevations & cross sections of perimeter walls
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - ___ Property owner's and City Surveyor's signatures on the Mylar drawing
 - ___ SIA financial guaranty verification
 - ___ Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - ___ Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- ___ Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - ___ Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - ___ Property owner's and City Surveyor's signatures on the Mylar drawing
 - ___ Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
 - ___ Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- ___ Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - ___ Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - ___ Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - ___ Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

RONALD R. BOHANNAN, P.E.

Applicant name (print)

[Signature]

9/2/14
Applicant signature / date



Form revised 10/03

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
ADRB - - 01359

[Signature] 9/3/04
Planner signature / date

Project # 1001926



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

September 15, 2004

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 10:50 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1003629**
04DRB-01288 Major-Vacation of Public
Easements

ARMIJO SURVEYING GROUP LLC agent(s) for DONALD VASQUEZ request(s) the above action(s) for all or a portion of Lot(s) 1, **PARKSITO SUBDIVISION**, zoned R-D residential and related uses zone, developing area, 9 DU/AC, located on 97TH ST SW, between FIRMAN CT SW and SAN YGNACIO RD SW containing approximately 1 acre(s). [REF: DRB-96-529, S-98-83, S-97-55][*Deferred from 9/15/04*] (L-9) **DEFERRED AT THE AGENT'S REQUEST TO 9/22/04.**

2. **Project # 1002473**
04DRB-01258 Major-Vacation of Pub
Right-of-Way
04DRB-01254 Major-Preliminary Plat
Approval
04DRB-01257 Minor-Temp Defer SDWK

TIERRA WEST LLC agent(s) for D R HORTON INC request(s) the above action(s) for all or a portion of Lot(s) 9-20 & 15-18, Block(s) 5 & 6, Unit(s) 3, NORTH ALBUQUERQUE ACRES, TRACT 3, (to be known as **DESERT VISTA SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on SIGNAL AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 15 acre(s). [REF: 03DRB00207, 04DRB00921] *[Deferred from 9/8/04]* (C-20) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 9/15/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 9/13/04 THE PRELIMINARY PLAT WAS APPROVED WITH THE CONDITION OF FINAL PLAT: REVISIT THE WIDTH OF WILSHIRE WITH NEW TRAFFIC DISTRIBUTION MAP SUBMITTAL. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

3. **Project # 1003237**
04DRB-01249 Major-Preliminary Plat
Approval
04DRB-01250 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES, PA agent(s) for STV INVESTMENTS VIII, LLC request(s) the above action(s) for all or a portion of Tract(s) 431, UNIT 3, TOWN OF ATRISCO GRANT, (to be known as **TORRETTA ESTE SUBDIVISION**), zoned R-D, located on TOWER RD SW, between 86TH ST SW and 90TH ST SW containing approximately 6 acre(s). [REF: AX-93-12, Z-93-125, O4EPC00152, 04EPC 00151, 04DRB00766] *[Deferred from 9/8/04]* (L-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 9/14/04 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/23/04 THE PRELIMINARY PLAT WAS APPROVED WITH THE CONDITION OF FINAL PLAT: REVISIT THE CONNECTION AT TUNNABORA. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS, AMENDED PLANS AND MASTER DEVELOPMENT PLANS

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

4. **Project # 1002529**
04DRB-01374 Minor-SiteDev Plan
BldPermit/EPC

CONSENSUS PLANNING INC agent(s) for RANDY EASTBURG, CAS, LLC request(s) the above action(s) for all or a portion of Lot(s) 2, Tract(s) 6-B, **PARTITION OF BLACK RANCH**, zoned SU-1,C-1 PERM AND AUTO SALES & STORAGE, located on COORS BLVD NW, between WESTSIDE DR NW and CALABACILLAS ARROYO containing approximately 2 acre(s). [REF: 04DRB01059, 04DRB01060, 03EPC02058, 03EPC02059, 03EPC02060, Z-93-115] **[Makita Hill, EPC Case Planner] (B-13) SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

5. **Project # 1003262**
04DRB-01328 Minor-Amnd SiteDev Plan
Subd

TIM OTT request(s) the above action(s) for all or a portion of Lot(s) 1, 2 and 30A, Block(s) 11, **NORTH ALBUQUERQUE ACRES**, zoned SU-1 for M-1, located on OAKLAND NE, between SAN MATEO NE and I-25 containing approximately 2 acre(s). [REF: 04DRB-00215, 04DRB-00216] *[Deferred from 9/8/04]* (C-18) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

6. **Project # 1003372**
04DRB-01234 Minor-SiteDev Plan Subd

DEKKER/PERICH/SABATINI agent(s) for TIM OTT request(s) the above action(s) for all or a portion of Lot(s) 30-A, Block(s) 11, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 FOR M-1, located on ALAMEDA BLVD NE, between SAN MATEO BLVD NE and I-25 containing approximately 1 acre(s). [REF: 03DRB00092, DRB-96-352] (The site plan for building permit was withdrawn at the agent's request.) *[Site Plan for Subdivision was deferred from 8/18/04 & 9/8/04]* (C-18) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

7. **Project # 1003096**
04DRB-01344 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for EILEEN DEVEREUX AND STEFAN WATSON request(s) the above action(s) for all or a portion of Lot(s) 53-58, **J. M. MOORE REALTY COMPANY, UNIT 1**, zoned S-R, SAWMILL RESIDENTIAL, located on 8TH ST NW, between 8TH ST NW and MOUNTAIN RD NW containing approximately 1 acre(s). [REF: 03DRB-01901] (J-14) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR WATER AND SEWER SERVICE COMPLETION.**

8. ~~**Project # 1001926**~~
04DRB-01335 Minor-Sidewalk Waiver
04DRB-01334 Minor-Temp Defer SDWK

MARVIN R KORTUM agent(s) for JEFF DORWART, JD HOMES request(s) the above action(s) for all or a portion of Lot(s) 225-A, **MUSTANG MESA SUBDIVISION**, TOWN OF ATRISCO GRANT, zoned R-2 residential zone, located on GLENRIO RD NW, between 72ND ST NW and 72ND PL NW containing approximately 5 acre(s). [REF: 03DRB-01225, 03DRB-00674, 04DRB-00329, 03DRB-01475] (J-10) **INDEFINITELY DEFERRED AT THE BOARD'S REQUEST.**

9. **Project # 1003654**
04DRB-01371 Minor-Prelim&Final Plat
Approval

TERRA LAND SURVEYS, LLC agent(s) for ISLAMIC CENTER OF NEW MEXICO INC request(s) the above action(s) for all or a portion of Lot(s) 2-B-2 and 2-B-3, **FAIRVIEW ADDITION**, zoned C-2, located on YALE BLVD SE, between AVENIDA CESAR CHAVEZ SE and KATHRYN AVE SE containing approximately 2 acre(s). [REF: Z-78-11, ZA-82-303-1, SP-83-352] (L-15) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

10. **Project # 1002928**
04DRB-00718 Major-Final Plat Approval

ALDRICH LAND SURVEYING agent(s) for LONGFORD HOMES request(s) the above action(s) for all or a portion of Tract(s) D, **TAOS @ THE TRAILS**, zoned R-D residential and related uses zone, developing area, located on RAINBOW BLVD NW, between PASEO DEL NORTE and PASEO DEL NORTE containing approximately 20 acre(s). *[Deferred from 5/19/04 & 6/2/04]* (C-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR FEE SIMPLE LANGUAGE, N.M.U. SIGNATURE, AGIS DXF FILE AND UTILITIES SIGNATURES.**

11. **Project # 1002929**
04DRB-00719 Major-Final Plat Approval

ALDRICH LAND SURVEYING agent(s) for LONGFORD HOMES request(s) the above action(s) for all or a portion of Tract(s) C, **SANTA FE @ THE TRAILS**, zoned R-D, located on RAINBOW BLVD NW, between PASEO DEL NORTE and RAINBOW containing approximately 17 acre(s). *[Deferred from 5/19/04 & 6/2/04]* (C-09) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR FEE SIMPLE LANGUAGE, N.M.U. SIGNATURE, AGIS DXF FILE AND UTILITIES SIGNATURES.**

12. **Project # 1002022**
04DRB-01308 Minor-Final Plat Approval

BOHANNAN HUSTON, INC. agent(s) for T. S. MC NANEY & ASSOCIATES, request(s) the above action(s) for all or a portion of Tract(s) 8 & 9, **VISTA WEST SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on TOWER RD SW, between UNSER BLVD NW and EUCARIZ AVE. SE containing approximately 10 acre(s). [REF: 02DRB-01237, 03DRB-00424] *[Final Plat deferred from 9/1/04 & 9/8/04 & 9/15/04]* (L-10) **DEFERRED AT THE AGENT'S REQUEST TO 10/6/04.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

13. **Project # 1003655**
04DRB-01373 Minor-Sketch Plat or Plan

DAVID A AUBE agent(s) for ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 15, 16 & 17, Block(s) 1, NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3, (to be known as **DESERT RIDGE ESTATES SUBDIVISION**, zoned R-D residential and related uses zone, developing area, located on WYOMING BLVD NE, between EAGLE ROCK NE and MODESTO NE containing approximately 3 acre(s). (C-19) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

14. **Project # 1001816**
04DRB-01370 Minor-Sketch Plat or Plan

FORSTBAUER SURVEYING LLC agent(s) for JOHNNY & JANE CARLTON request(s) the above action(s) for all or a portion of Lot(s) 10, 11 & 12, Block(s) 54, **NEW MEXICO TOWN COMPANY'S ORIGINAL TOWNSITE**, zoned SU-2 special neighborhood zone, HDA, located on TIJERAS AVE NW, between 9TH ST NW and 10TH ST NW containing approximately 1 acre(s). [REF: 03DRB-01640, 03DRB-01503] (J-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

15. **Project # 1003372**
04DRB-01369 Minor-Sketch Plat or Plan

FORSTBAUER SURVEYING LLC agent(s) for TIJERAS PLACE, LLC (TIMOTHY OTT) request(s) the above action(s) for all or a portion of Lot(s) 30-A, Block(s) 11, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 special neighborhood zone, M-1, located on ALAMEDA BLVD NE, between SAN MATEO BLVD. NE and INTERSTATE 25-N containing approximately 2 acre(s). [REF: DRB-96-352, S-96-44] (C-18) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

16. **Project # 1003592**
04DRB-01368 Minor-Sketch Plat or Plan

FORSTBAUER SURVEYING, LLC agent(s) for GOLDEN SLUMBERS, INC., request(s) the above action(s) for all or a portion of Lot(s) 1 & 2, **SCHMIDER PARCEL**, zoned M-2 heavy manufacturing zone, located on CANDELARIA RD NE, between EDITH NE and I-25 containing approximately 6 acre(s). [REF: 04DRB01197] (G-15) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

17. **Project # 1002584**
04DRB-01375 Minor-Sketch Plat or Plan

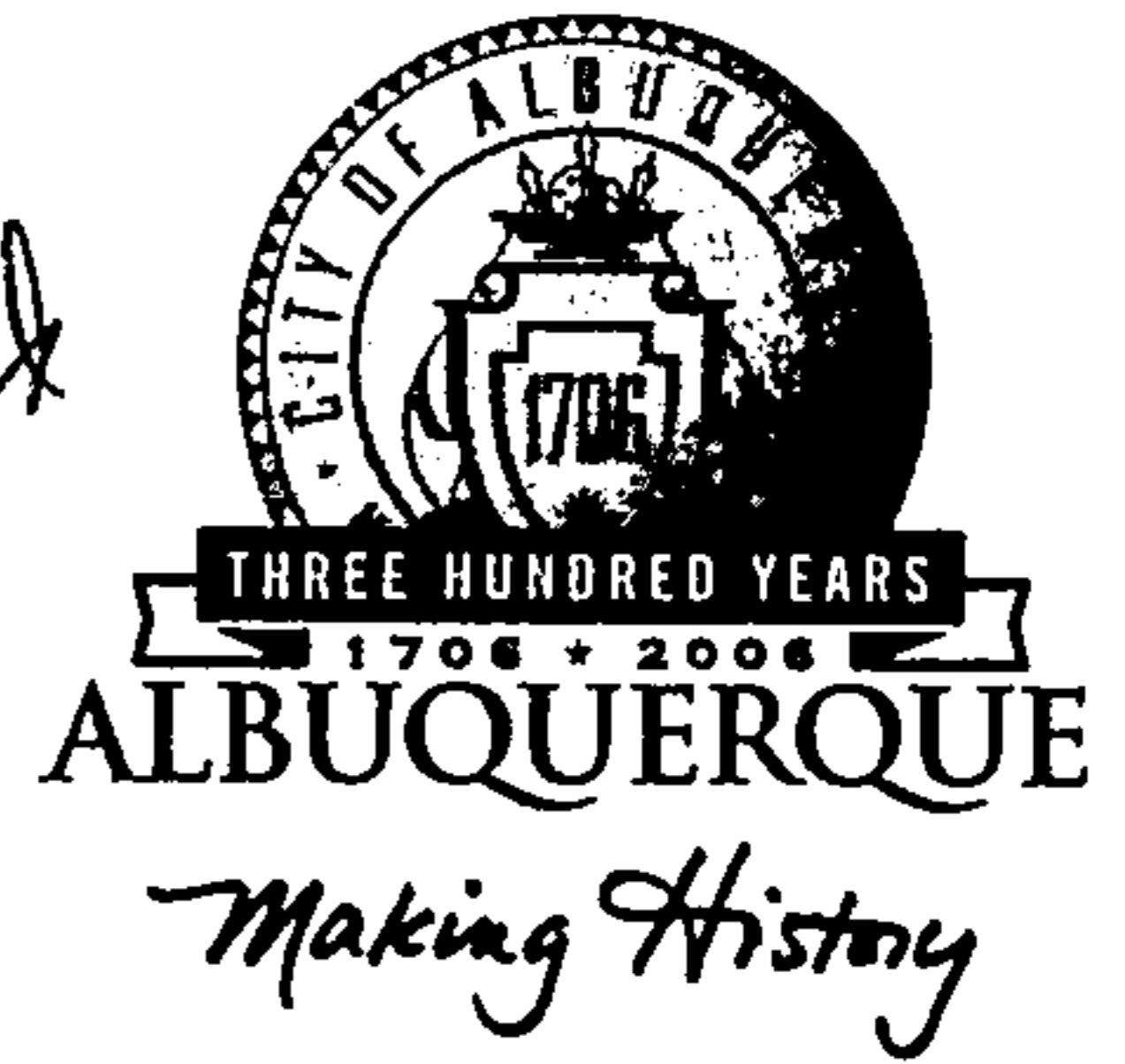
WILSON & COMPANY agent(s) for CENTEX CONCORD, MARK KURY, ARDENT HEALTH, request(s) the above action(s) for all or a portion of Tract(s) 1-A, ST. JOSEPH WEST MESA HOSPITAL, **PARADISE HEIGHTS, UNIT 1**, zoned SU-1 HOSPITAL, located on GOLF COURSE RD NW, between MCMAHON RD NW and GOLF COURSE RD NW containing approximately 20 acre(s). [REF: Z-8-90, 03AA00579,04EPC006, 04EPC01068] (A-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. Approval of the Development Review Board Minutes for Month September 1, 2004. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR SEPTEMBER 1, 2004 WERE APPROVED.**

ADJOURNED: 10:50 A.M.

CITY OF ALBUQUERQUE

*Index
referred*



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001926

AGENDA ITEM NO: 8

SUBJECT:

- | | | |
|-------------------------|--------------------------|---------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Dev. Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Cost Allocation Plan |

ACTION REQUESTED:

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

Albuquerque

ENGINEERING COMMENTS:

No adverse comments.

New Mexico 87103

RESOLUTION:

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: September 15, 2004

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
September 15, 2004
DRB Comments**

ITEM # 8

PROJECT # 1001926

APPLICATION # 04-01335 & 01334

RE: Mustang Mesa Subdivision/sidewalk waiver & temp sidwlk defer

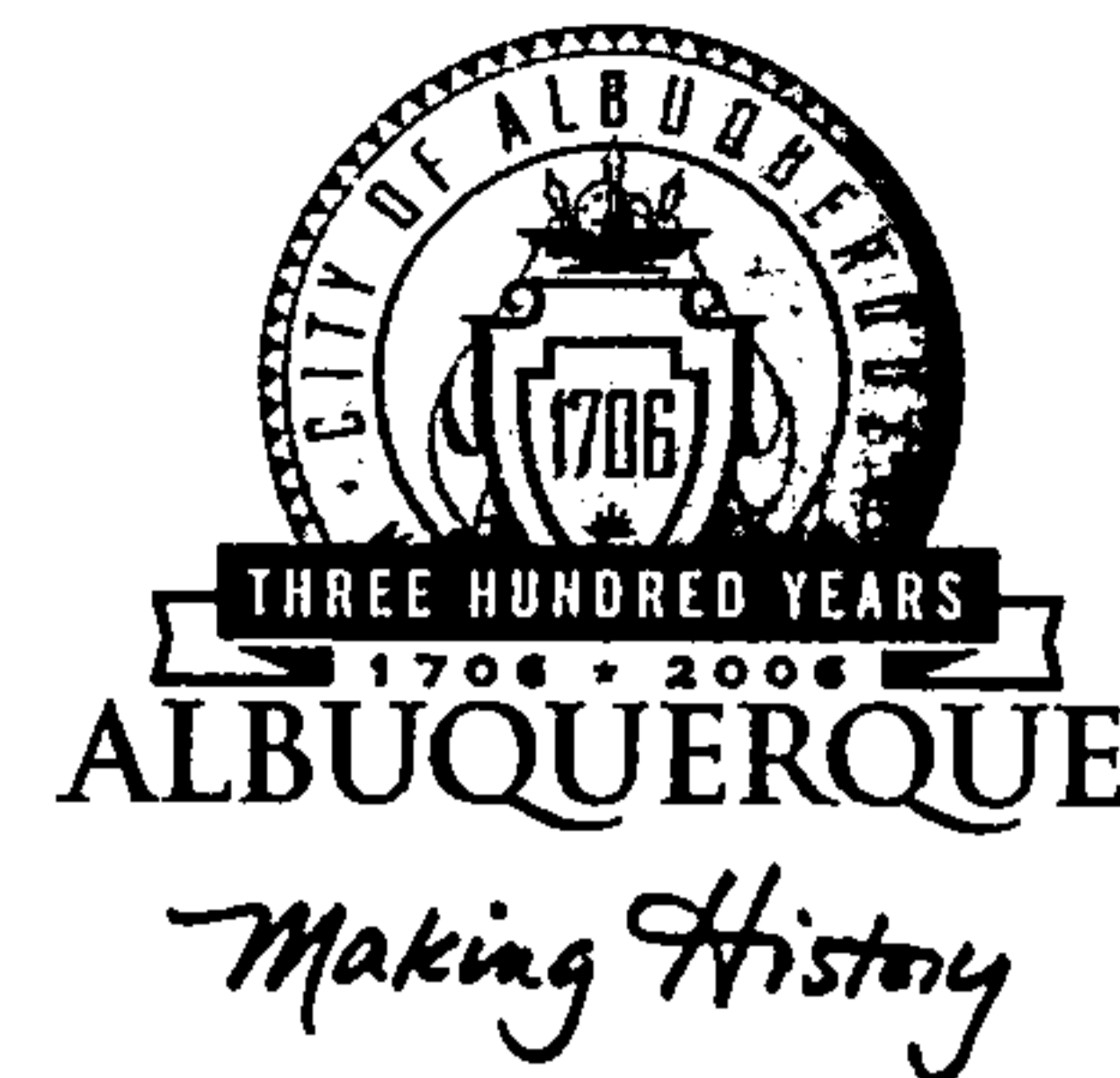
The preliminary plat for this subdivision has expired. This request is indefinitely deferred by DRB until an application is submitted for a new preliminary plat. The agent must call Claire at 924-3946 to be placed on the same agenda as the preliminary plat application. It is too confusing to have applications related to the preliminary plat ahead of the preliminary plat.

Tierra West, the agents preparing the new preliminary plat, were unaware of this application.



Sheran Matson, AICP DRB Chair
924-3880 Fax 924-3864 smtason@cabq.gov

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001926

AGENDA ITEM NO: 8

SUBJECT:

- | | | |
|-------------------------|--------------------------|---------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Dev. Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Cost Allocation Plan |

ACTION REQUESTED:

P.O. Box 1293

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

Albuquerque

No adverse comments.

New Mexico 87103

RESOLUTION:

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: September 15, 2004



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

MARCH 24, 2004

9. Project # 1001926
04DRB-00329 Minor-Amnd Prelim Plat Approval

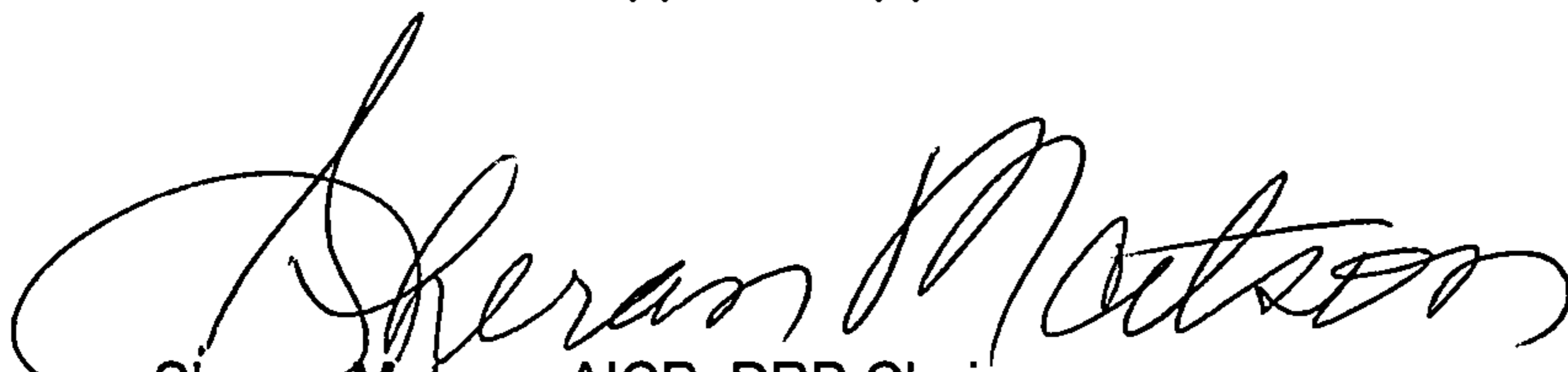
JEFF DORWART agent(s) for BEN PLATANIA request(s) the above action(s) for all or a portion of Tract(s) 225, **TOWN OF ATRISCO GRANT, AIRPORT UNIT**, zoned R-2 residential zone, located on GLEN RIO RD NW, between 72ND ST NW and 78TH ST NW containing approximately 5 acre(s). [REF: 1000069, 02DRB-00568, 02DDR-00673, 03DRB-01224, 01225, 01475] (J-10)

At the March 24, 2004, Development Review Board meeting, with the signing of the amended grading plan engineer stamp dated 1/15/04 and approval of the amended infrastructure list dated 3/24/04 the amended preliminary plat was approved. This amendment does not extend the expiration date of the already approved preliminary plat.

If you wish to appeal this decision, you must do so by April 8, 2004 in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



Sheran Matson, AICP, DRB Chair

cc: Ben Platania, 5712 Morgan Ln NW, 87120
Jeff Dorwart, 2028 Cielo Oeste Pl NW, 87122
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg
File

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
Development Review Board
March 24, 2004 Comments**

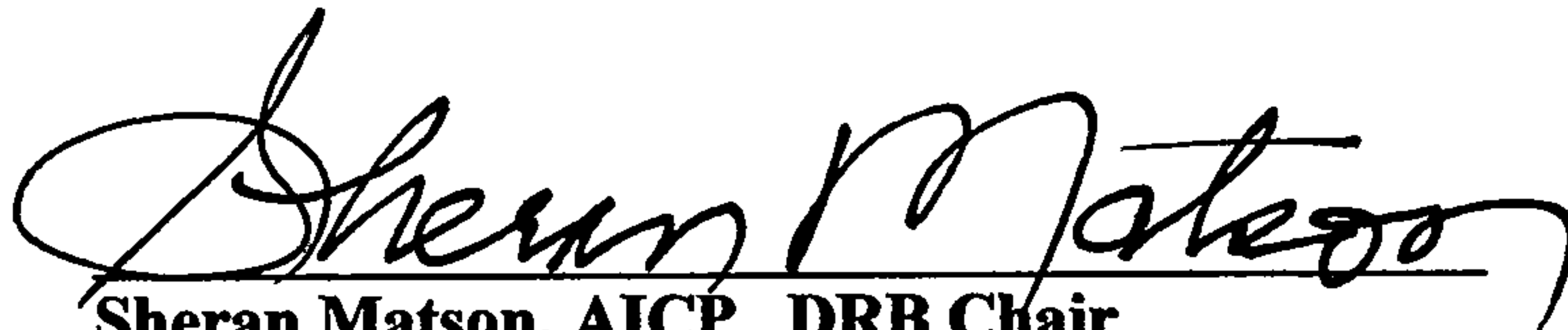
ITEM # 9

PROJECT # 1001926

APPLICATION # 04-00329

RE: Mustang Mesa/amended prelim plat, drainage plan and infrastructure list

No objection to the requested actions.



Sheran Matson, AICP DRB Chair
924-3880 fax 924-3864 smatson@cabq.gov



City of Albuquerque
Parks and Recreation Department
PO Box 1293, Albuquerque, New Mexico 87103
Inter-Office Correspondence

Development Review Board Comments

Project Number: 1001926
Application Number: 04DRB-00329

DRB Date: 3/24/04
Item Number: 9

Subdivision:

Tract 225, Town of Atrisco Grant- Airport Unit

Zoning: R-2

Zone Page: J-10

New Lots (or units) : 34

Request for:

- Sketch Plat Review & Comment
- Bulk Land Variance
- Site Development Plan for Subdivision
- Site Development Plan for Building Permit
- Preliminary Plat
- Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other
Amend Prelim Plat

Parks and Recreation Comments:

This request will be subject to the following requirements of the City Park Dedication and Development Ordinance:

Prior to sign-off on the final plat, a fee in-lieu of and equal to the value of the required park land dedication for 34 new residential lots will be required. The fee will be based on an estimate of land value to be provided by the City Real Property office. Alternatively, the applicant may submit current appraisal information mutually acceptable to the applicant and the City.

The park development requirement will be met via the payment of a fee prior to issuance of building permit for each new dwelling unit.

Signed: CS
Christina Sandoval, (DMD)

Phone: 768-3808



City of Albuquerque
CITY OF ALBUQUERQUE
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001926

AGENDA ITEM NO: 9

SUBJECT:

- | | | |
|----------------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat <i>AMD</i> | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:(x)

ENGINEERING COMMENTS:

An approved amended drainage report dated 1-15-03 is on file for Preliminary Plat approval.
An approved infrastructure list is required for Preliminary Plat approval.

RESOLUTION:

APPROVED ; DENIED ; DEFERRED ; COMMENTS PROVIDED ; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: March 24, 2004

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...**
- D** Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: JD HOME INC. PHONE: 235.8298
 ADDRESS: PO BOX 90218 FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87199-0218 E-MAIL: _____
 Proprietary interest in site: OWNER/DEVELOPER List all owners: JOHN LORENTZEN
 AGENT (if any): TIERRA WEST LLC PHONE: 505.858.3100
 ADDRESS: 8509 JEFFERSON NE FAX: 505.858.1118
 CITY: ABQ STATE NM ZIP 87113 E-MAIL: twllc@tierrawestllc.com

DESCRIPTION OF REQUEST: ONE YEAR EXTENSION OF SUBDIVISION IMPROVEMENT AGREEMENT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOTS 1-34 Block: _____ Unit: _____
 Subdiv. / Adn. MUSTANG MESA
 Current Zoning: R-2 Proposed zoning: SAME
 Zone Atlas page(s): J10 No. of existing lots: 34 No. of proposed lots: 34
 Total area of site (acres): 4.4101 Density if applicable: dwellings per gross acre: _____ Dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 101005827140310401 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: 72ND PLACE NW
 Between: INTERSTATE 40 WEST and GLENRIO ROAD NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): PROJ# 1001926
03DRB-01224/03DRB-01225/04DRB-01358/04DRB-01393/04DRB-01394

Check-off if project was previously reviewed by Sketch Plat/Plan ? , or Pre-application Review Team ? . Date of review: _____

SIGNATURE [Signature] DATE 7/15/05

(Print) RONALD R. BOHANNAN, P.E. Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

05DRB - 01125

Action

SIA
CMF
Adv

S.F.

S(2)

Fees

\$ 50.00
\$ 26.00
\$ 75.00
\$ _____
\$ _____
Total
\$ 145.00

Hearing date August 3, 2005

[Signature]

7-8-05

Project # **1001926**

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Proposed Infrastructure List
 - Design elevations & cross sections of perimeter walls **3 copies**
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Property owner's and City Surveyor's signature on the proposed plat
 - FORM DRWS Drainage Report, Water & Sewer availability statement filing information
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Signed** Pre-Annexation Agreement if Annexation required.
 - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Preliminary plat approval expires after one year.
 DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

- MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.


- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.
 DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT
 (Temporary sidewalk deferral uses FORM-V)

- 1 copy of each of the following items
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. KK
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application
- Fee (see schedule)

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

RONALD R. BOHANNAN, P.E.
 Applicant name (print)

 Applicant signature / date



Form revised 11/04

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- | | |
|-----------------------------|--|
| Application case numbers | |
| <u>05DRB</u> - <u>01125</u> | |
| _____ - _____ | |
| _____ - _____ | |

Andrew Garcia 7-8-05
 Planner signature / date
Project # 1001926

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

July 7, 2005

Ms. Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**RE: One Year Extension of Subdivision Improvement Agreements for Mustang Mesa
Project #1001926, Zone Atlas Page J-10**

Dear Ms. Matson:

Tierra West LLC, on behalf of J D Home Inc., requests the approval of a One Year Extension of Subdivision Improvement Agreements for Mustang Mesa. The site is located on 72nd Place NW between Interstate 40 West and Glenrio Road NW. We request this approval in order to complete the final inspections and to allow for the processing of the close out package through the city.

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,

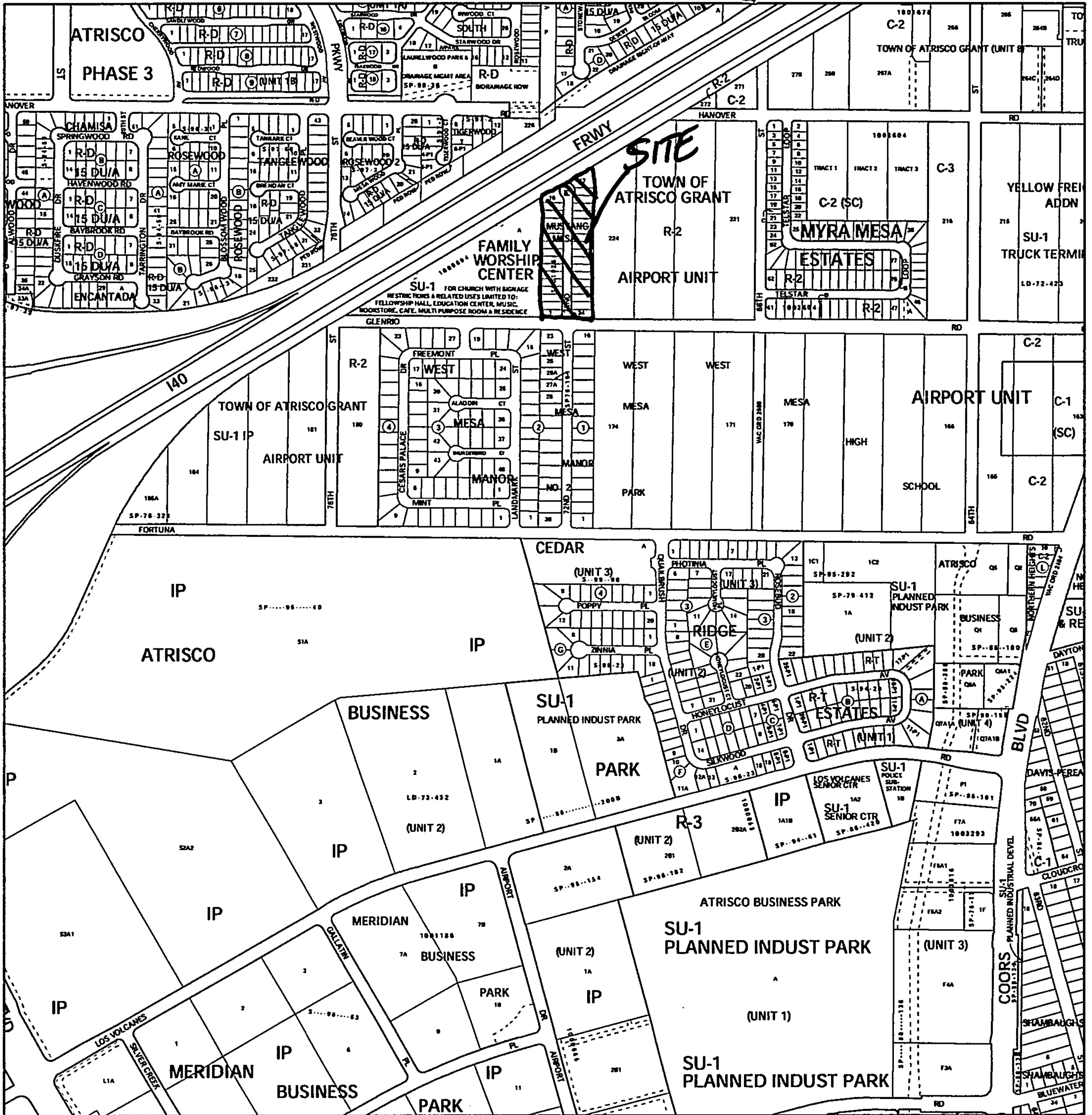


Ronald R. Bohannon, P.E.

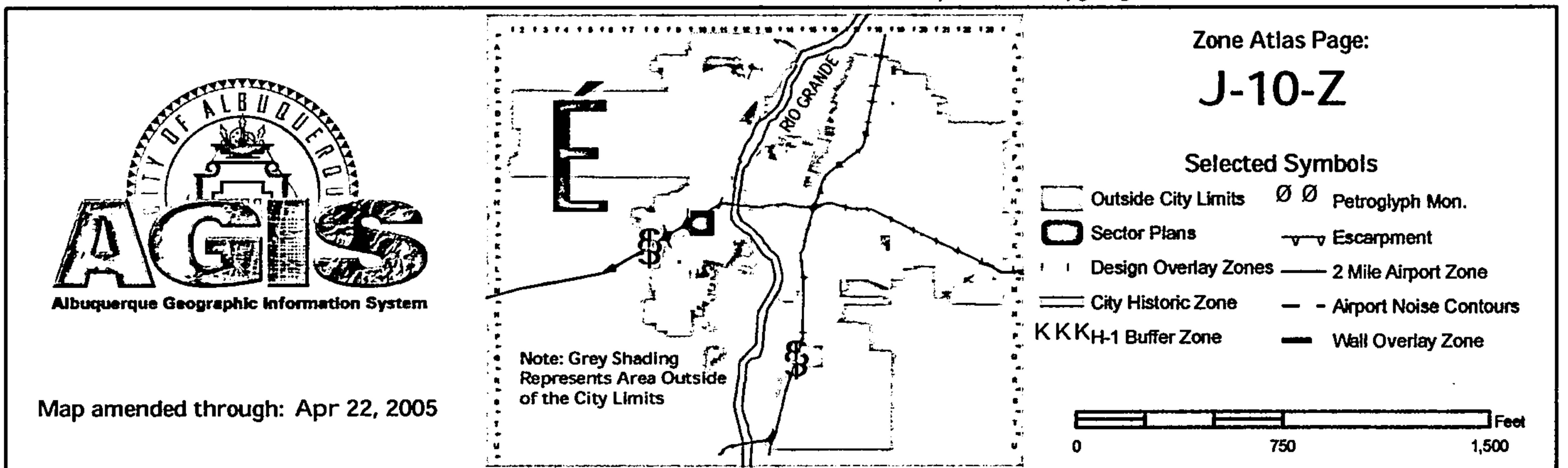
Enclosure/s

cc: Jeff Dorwart
M. Max Garcia, Los Volcanes N.A.
David Edwards, Los Volcanes N.A.
Deaun Lewis, S.R. Marmon N.A.
Annette Gonzales, S.R. Marmon N.A.
Hector Padilla, Laurelwood N.A.
Phyllis Vilchuck, Laurelwood N.A.

JN: 23101
RRB/kk



For more current information and more details visit: <http://www.cabq.gov/gis>



Zone Atlas Page:

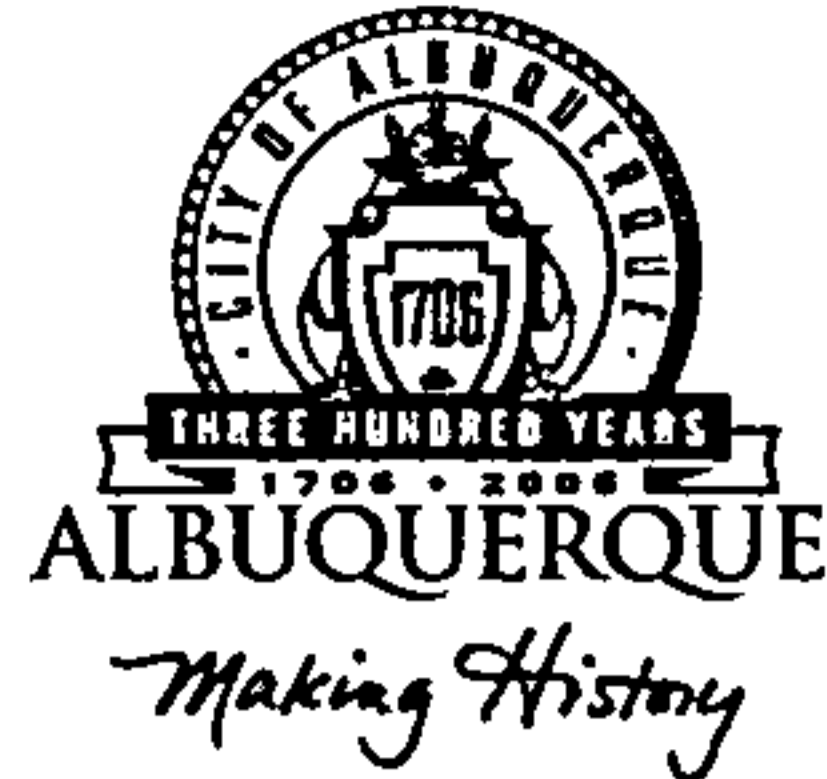
J-10-Z

Selected Symbols

- Outside City Limits
- Sector Plans
- Design Overlay Zones
- City Historic Zone
- KKKH-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



Map amended through: Apr 22, 2005



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

July 7, 2005

Karen Kline
Tierra West, LLC
8509 Jefferson NE/87113
Phone: 858-3100/Fax: 858-1118
Email: kkline@tierrawestllc.com

Dear Karen:

Thank you for your inquiry of July 7, 2005 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **TRACT 225, TOWN OF ATRISCO GRANT, AIRPORT UNIT LOCATED EAST OF 72ND STREET NW BETWEEN GLENRIO ROAD NW AND INTERSTATE 40 FREEWAY** zone map J-10.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

SEE "ATTACHMENT A" FOR NEIGHBORHOOD INFORMATION.

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Neighborhood Program Coordinator
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

planningrnaform(10/6/04)

NOTICE TO APPLICANTS

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
5. The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

(below this line for OCNC use only)

Date of Inquiry: **07/07/05** Entered: **11:10 a.m.** ONC Rep. Initials: **SW**

"Attachment A"

Karen Kline, Tierra West, LLC
8509 Jefferson NE/87113 858-3100/fax – 858-1118
Zone Map: J-10
Date: July 7, 2005

LOS VOLCANES N.A. (LVC) "R"

***M. Max Garcia**

6619 Honeylocust Ave. NW/87121 833-0969 (h)

David Edwards

637 Honeylocust Pl. NW/87121 833-5909 (h)

S.R. MARMON N.A. (SRM) "R"

***Deaun Lewis**

6400 Sunny Day Ct. NW/87120 342-5715 (o)

Annette Gonzales

2323 Big Pine Dr. NW/87120 342-5715 (o)

LAURELWOOD N.A. (LWD) "R"

***Hector Portilla**

7316 Hanover NW/87120 831-2834 (h)

Phyllis Vilchuck

7805 Springwood Rd. NW/87120 836-7624 (h)

ALTHOUGH YOU ARE NOT "OFFICIALLY REQUIRED" BY O-92, you are most welcomed to notify the following
"Unrecognized" neighborhood associations of this project.

LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.

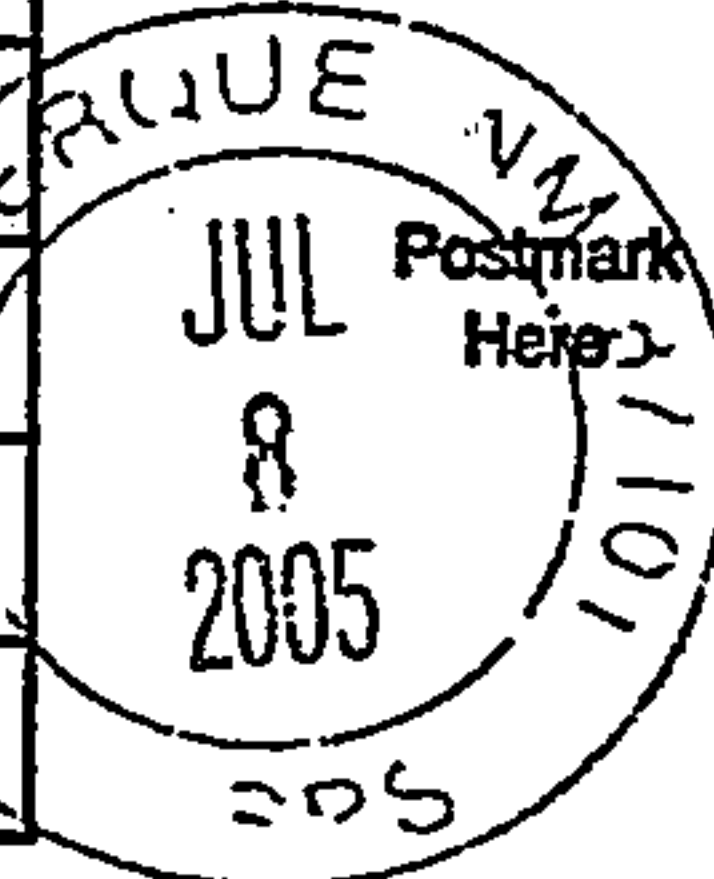
7005 1160 0000 1000 2799

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$.37
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.42



Sent To Phyllis Vitcheck
 Street, Apt. No., or PO Box No. 7805 SPRINGWOOD RD NW
 City, State, ZIP+4 ABQ NM 87120

PS Form 3800, June 2002 See Reverse for Instructions

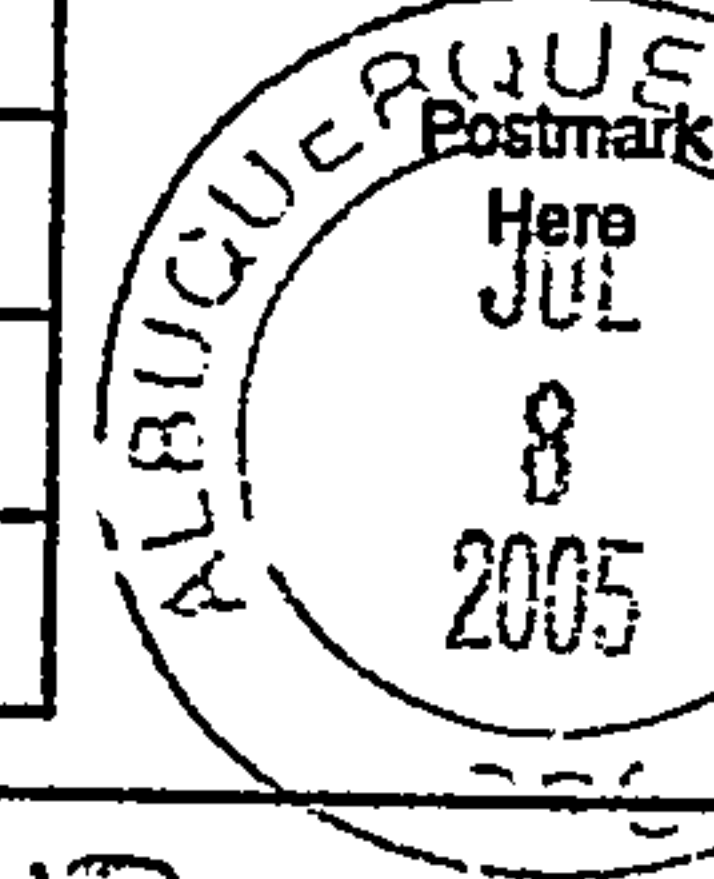
7005 1160 0000 1000 2744

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CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$.37
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.42



Sent To M. Max Garcia
 Street, Apt. No., or PO Box No. 6619 Honeylocust Ave NW
 City, State, ZIP+4 ABQ NM 87121

PS Form 3800, June 2002 See Reverse for Instructions

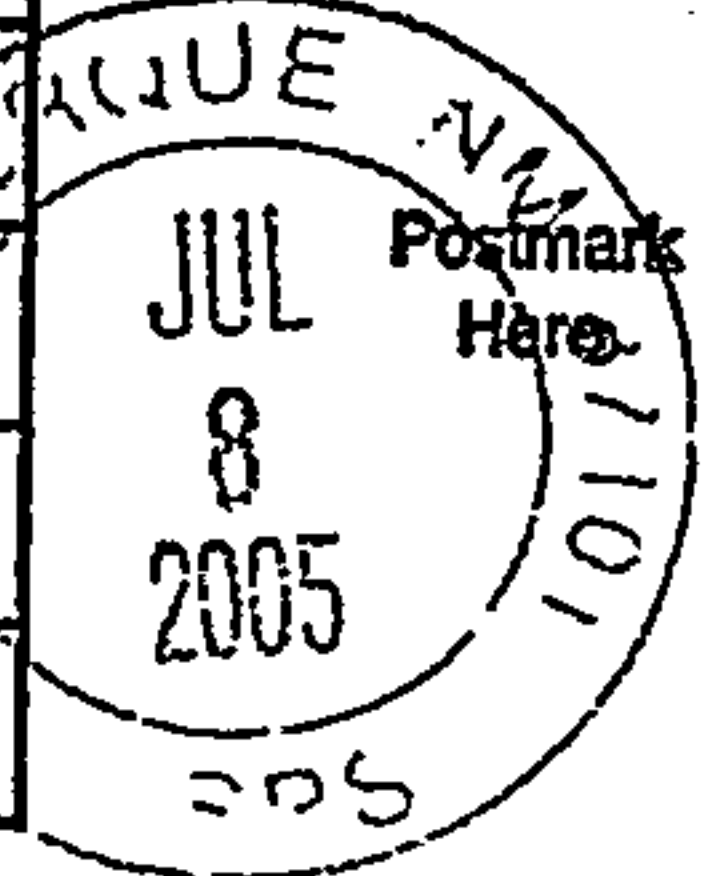
7005 1160 0000 1000 2728

U.S. Postal Service™
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For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$.37
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.42



Sent To DEANN LEWIS
 Street, Apt. No., or PO Box No. 6400 Sunny Day Ct NW
 City, State, ZIP+4 ABQ NM 87120

PS Form 3800, June 2002 See Reverse for Instructions

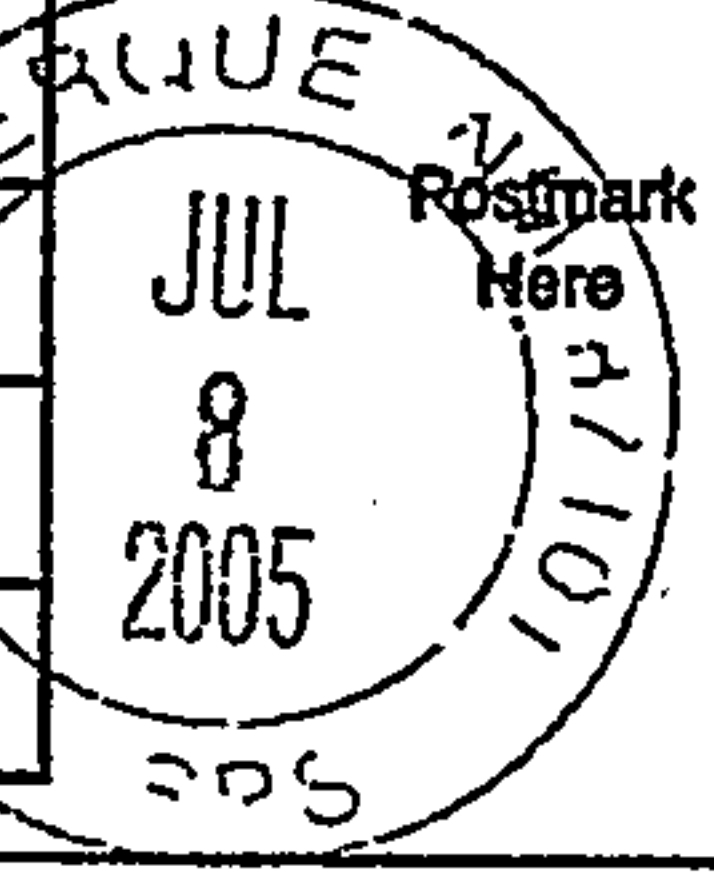
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OFFICIAL USE

Postage	\$.37
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.42



Sent To Hector Roetilla
 Street, Apt. No., or PO Box No. 7316 HANOVER NW
 City, State, ZIP+4 ABQ NM 87120

PS Form 3800, June 2002 See Reverse for Instructions

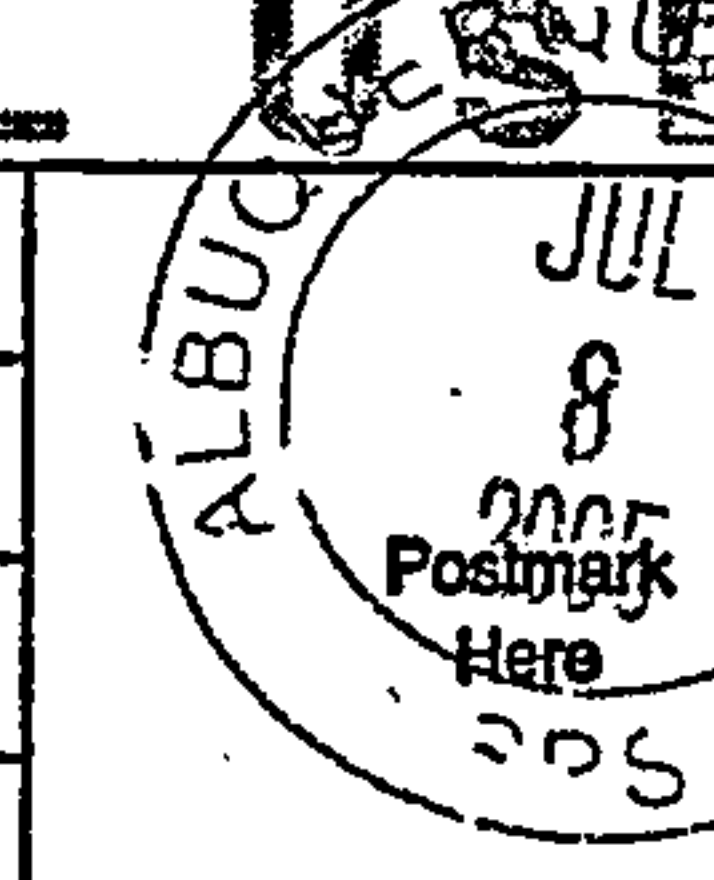
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U.S. Postal Service™
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(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$.37
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.42



Sent To ANNETTE GONZALES
 Street, Apt. No., or PO Box No. 2323 BIG PINE DR NW
 City, State, ZIP+4 ABQ NM 87120

PS Form 3800, June 2002 See Reverse for Instructions

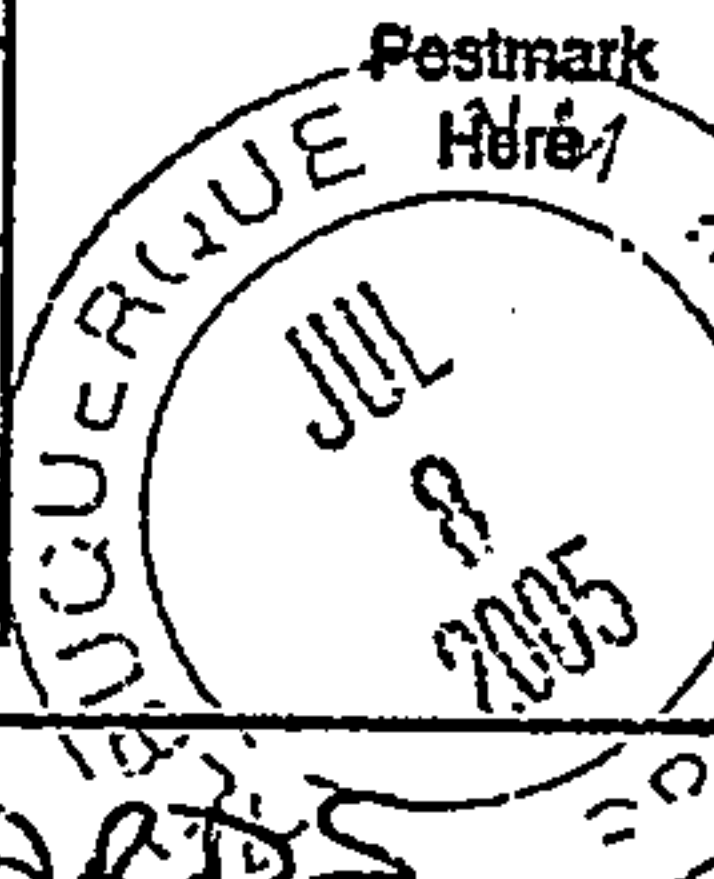
7005 1160 0000 1000 2751

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

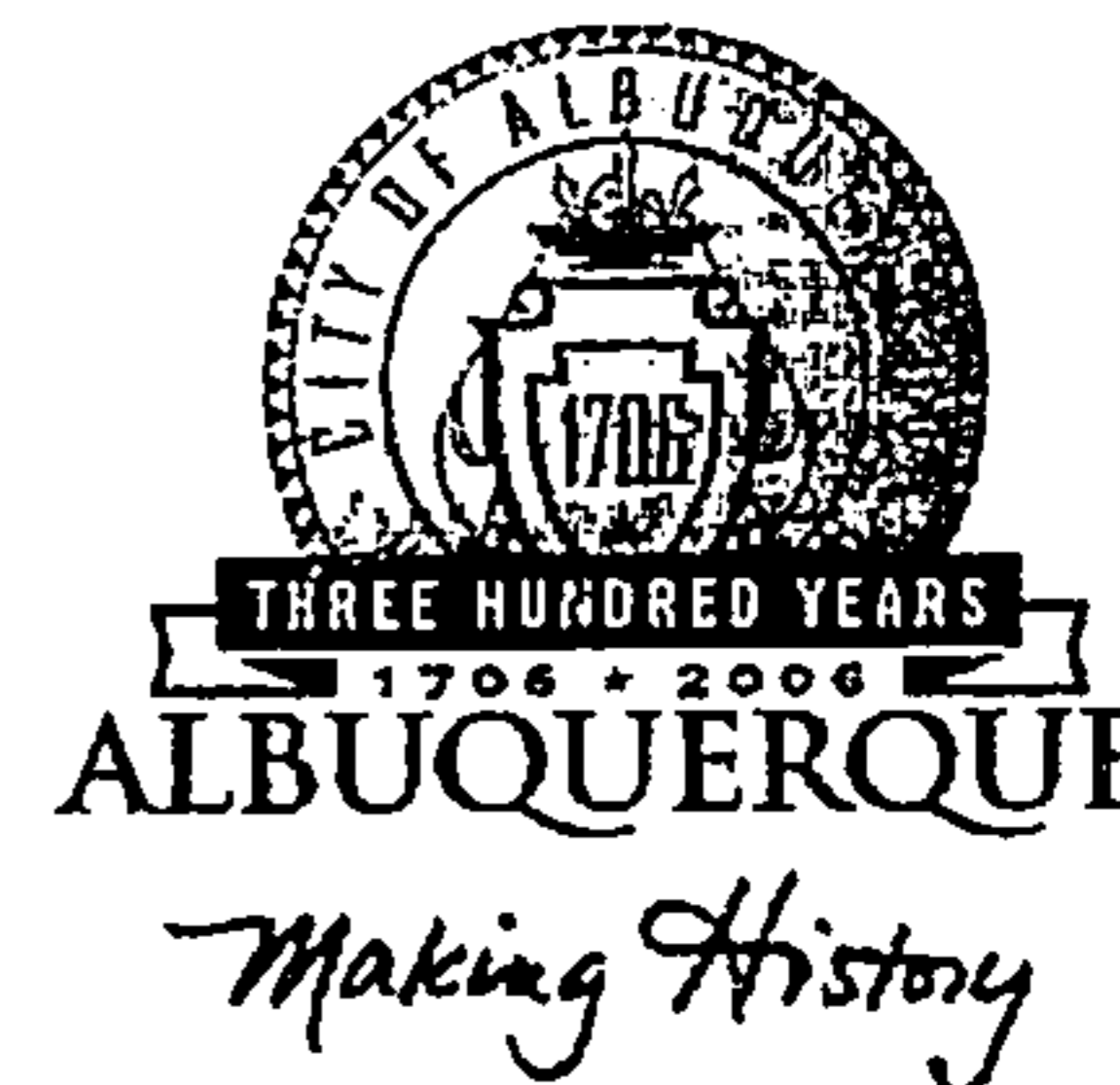
Postage	\$.37
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.42



Sent To DAVID EDWARDS
 Street, Apt. No., or PO Box No. 6037 Honeylocust PL NW
 City, State, ZIP+4 ABQ NM 87121

PS Form 3800, June 2002 See Reverse for Instructions

CITY OF ALBUQUERQUE



June 25, 2005

CERTIFIED MAIL/RETURN RECEIPT REQUESTED

Jeff Dorwart, President
 JD Home Builder Corporation
 PO Box 90218
 Albuquerque, NM 87199-0218

RE: NOTICE OF FAILURE TO COMPLETE IMPROVEMENTS, DEFAULT AND CITY'S INTENTION
 TO CALL FINANCIAL GUARANTY - SUBDIVISION IMPROVEMENTS AGREEMENT
 PROCEDURE B,

PROJECT: Mustang Mesa

PROJECT NO: 738882

Dear Mr. Dorwart:

I have been informed that JD Home Builder Corporation (the "Subdivider") has failed to meet the JUNE 25, 2005, "Construction Deadline", as required by the Subdivision Ordinance and the Subdivider's agreement with the City, and that the Subdivider failed to obtain a timely extension of the Construction Deadline. The Construction Deadline has passed and the requirements were not met.

P.O. Box 1293

THIS LETTER PROVIDES THE REQUIRED NOTICE TO THE SUBDIVIDER AND THE SURETY NAMED BELOW THAT THE SUBDIVIDER'S AGREEMENT WITH THE CITY IS IN DEFAULT, AND THE CITY HOLDS THE SUBDIVIDER AND THE SURETY JOINTLY AND SEVERALLY LIABLE. THIRTY DAYS AFTER MAILING THIS LETTER THE CITY WILL BE CALLING ON THE FINANCIAL GUARANTY PROVIDED BY THE SURETY, AND THE CITY WILL DEMAND THAT THE SURETY PAY THE CITY 125% OF THE COST OF COMPLETING THE IMPROVEMENTS.

Albuquerque

New Mexico 87103

If you have any questions regarding this matter, please contact the Project Administrator, Marilyn Maldonado, at (505) 924-3997, Project Review Section, Design/Construction Division, Engineering Group.

www.cabq.gov

Very truly yours,

Kevin J. Curran
 Assistant City Attorney

cc: Bank of America Real Estate Banking Group, NM1-101-04-01, P.O. Box 25500,
 Albuquerque, NM 87125

THIS LETTER IS SENT TO CONFORM TO THE REQUIREMENTS OF THE SUBDIVISION
 ORDINANCE.

KJC/pcl #2

29⁰

23101
SIA

FIGURE 12
SUBDIVISION IMPROVEMENTS
AGREEMENT-PUBLIC AND/OR PRIVATE
(Procedure B)

AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 2nd day of November, 2004, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and J D HOME BUILDER CORPORATION ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] A CORPORATION, whose address is PO BOX 90218, ALBUQUERQUE NM 87199-0218 and whose telephone number is 505.235.8298, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [describe:] LOT 225-A, TOWN OF ATRISCO GRANT AIRPORT ADDT'N, recorded on DECEMBER 5, 19 44 in the records of the Bernalillo County Clerk at Book D, Folio 118 (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] J D HOME BUILDER CORPORATION ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as MUSTANG MESA describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private Improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described in Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 25TH day of JUNE, 2005 ("Construction Completion Deadline"), at no cost to the City. The improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 7388.82.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board (DRB), unless the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.

Mary Herrera Bern. Co. AGRE R 29.00 2004155383
6168881
Page: 1 of 11
11/04/2004 01:13P
Bk-A86 Pg-4956

Work Order Requirements. The City agrees to issue a Work Order after:

A. The Subdivider causes to be submitted all documents, and meets all requirements listed in Development Process Manual, Volume 1, Chapter 5, Work Order Process, and figure 1, including submitting a Certificate of Insurance in a form acceptable to the City. The certificate must establish that the Subdivider has procured or has caused to be procured public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage as a result of any condition of the Subdivision, the Improvements or the Subdivider's construction activities within, or related to the Subdivision. The insurance policy must name the City of Albuquerque, its employees and elected officials, as their interest may appear, as additional insured's. The Subdivider must maintain the insurance until the City accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that, if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail 30 days written notice to the City, attention City Engineer.

B. The Subdivider complies with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking, testing fees, and other related City fees and County Clerk recording fees:

<u>Type of Fee</u>	<u>Amount</u>
<u>Engineering Fee</u>	<u>3.25% of Actual Construction Cost</u>
<u>Excavation & Sidewalk Fees</u>	<u>As required per City-approved estimate</u>
<u>Street Restoration Fees</u>	<u>As required per City-approved estimate (Fig. 7)</u>

(Note: The Subdivider must pay the City all City fees which have been incurred during construction before the City will accept the Public Improvements.)

4. Surveying, Inspection and Testing. The improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the Public Improvements shall be performed by SURV-TEK, and construction surveying of the Private Improvements shall be performed by SURV-TEK. If the construction surveying is performed by an entity other than the City, the City may monitor the construction surveying and the Subdivider shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey. The Subdivider shall pay the City a reasonable fee for any construction surveying performed by the City.

B. Construction Inspection methods. Inspection of the construction of the Public Improvements shall be performed by TIERRA WEST LLC, and inspection of the Private Improvements shall be performed by TIERRA WEST LLC, both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Subdivider shall ensure that the inspecting entity provides all inspection results, reports and related data to the City, which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City engineer. The Subdivider shall pay the City a reasonable fee for the level of inspection performed by the City.



C. Field Testing. Field-testing of the construction of Public Improvements shall be performed by VINYARD & ASSOC., and field testing of the Private Improvements shall be performed by VINYARD & ASSOC., both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for the Public Works Construction. If any field-testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides all field testing results, reports, and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field-testing performed by the City.

D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable and the Subdivider shall pay the City a reasonable fee therefore.

5. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

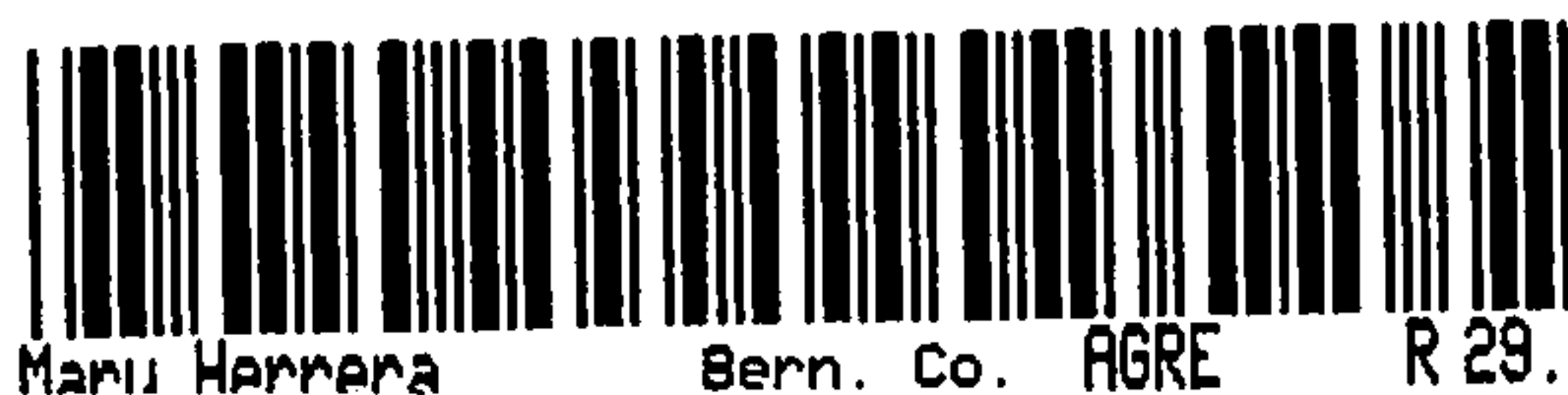
To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guarantee:"

Type of Financial Guaranty: LOAN RESERVE
Amount: \$ 382,983.83
Name of Financial Institution or Surety providing Guaranty:
BANK OF AMERICA
Date City first able to call Guaranty: JUNE 25, 2005
[Construction Completion Deadline]: JUNE 25, 2005
If Guarantee other than a Bond, last day City able to call on Guaranty is:
AUGUST 25, 2005
Additional information: INFRASTRUCTURE

6. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange or a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the Public Improvements and a Certificate of Completion for the Private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Subdivider has provided to assure the materials and workmanship, as required by the Subdivision Ordinance. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.

8. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon or in which the Public Improvements are constructed, the Subdivider will convey to the city all real and personal property rights which the City deems reasonably necessary, and all Public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the Public



Improvements. Conveyance may be made by appropriate de notation on the final plat of the Subdivision.

9. Reduction of Financial Guaranty Upon Partial Completion. The subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

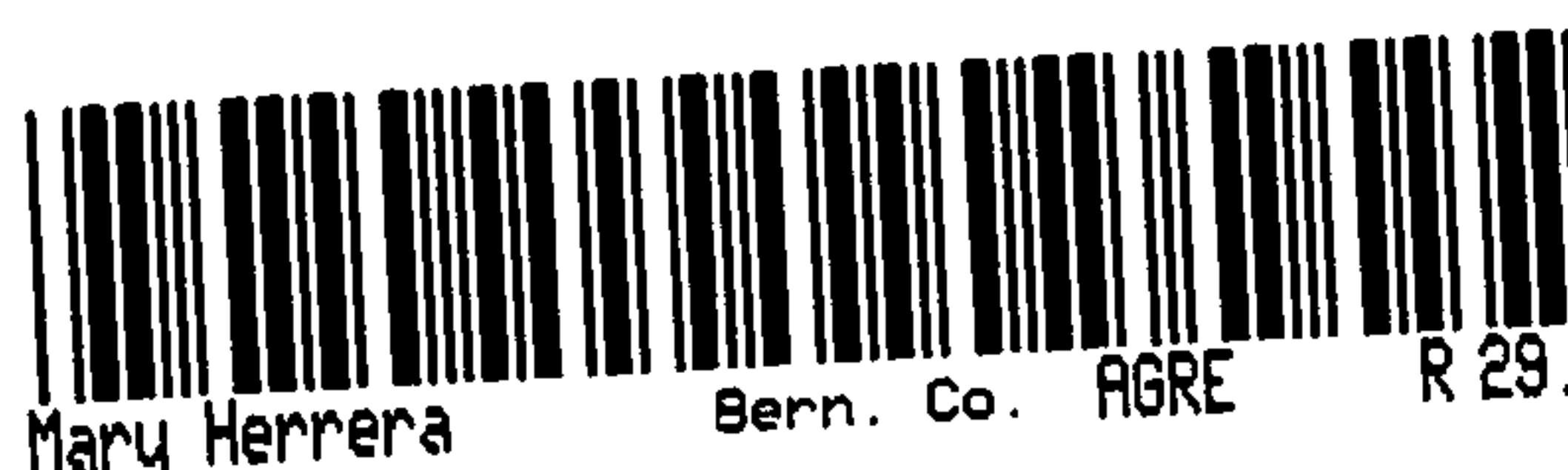
A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the Development Process Manual, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guaranty other than a loan reserve letter has been provided, the completed Improvements must be freestanding, functionally independent of any Improvements which have not yet been completed and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements, which have been, completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the subdivider must submit the following documents to the City for review and approval:

- (1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;
- (2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the Subdivision Ordinance.
- (3) Conveyance of real and personal property rights which meet the requirements of Section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed Public Improvements and a Certificate of Partial Completion for the completed Private Improvements.

10. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.



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11. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety, which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has posted a suitable financial guaranty and entered into a Subdivision Improvements Agreement with the City. Thereafter, when the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to the Financial Guaranty.

14. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

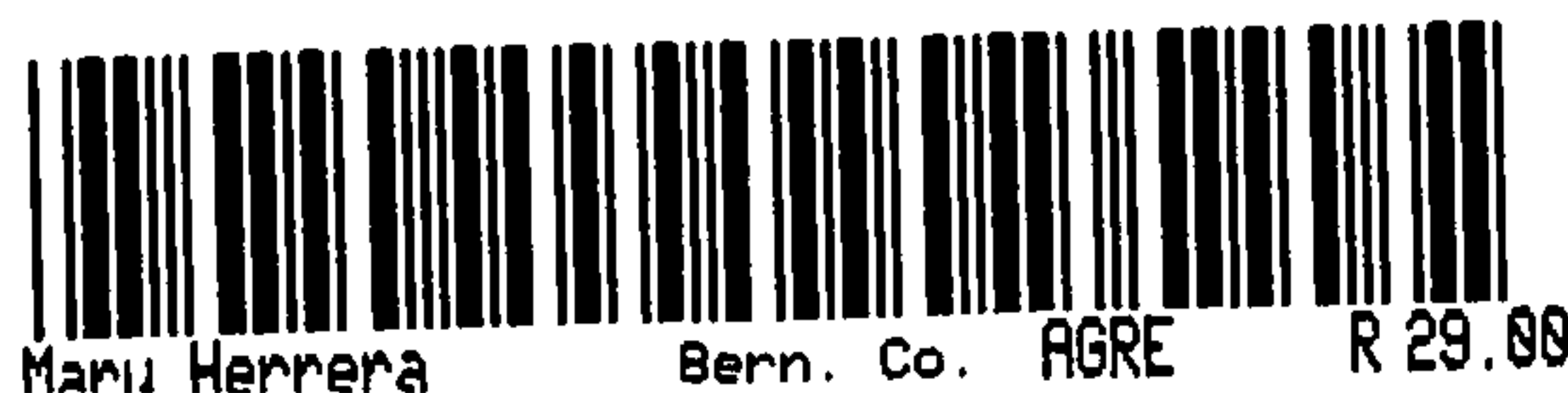
17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the Subdivider and signed by the City's Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the




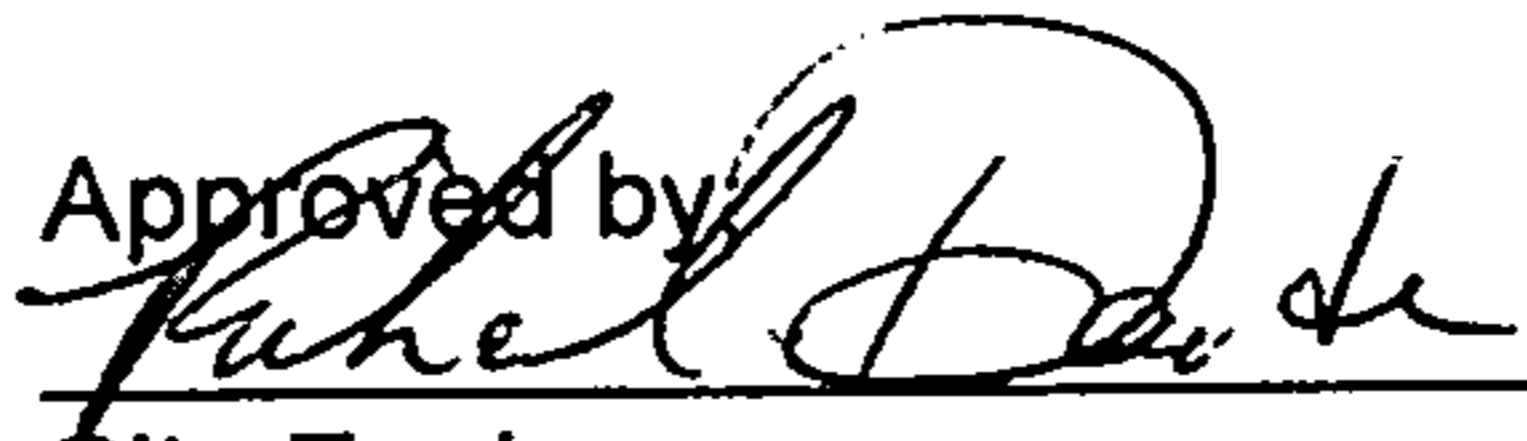
Subdivision, the Owner must execute the Power of Attorney below.

Executed on the date stated in the first paragraph of this Agreement.

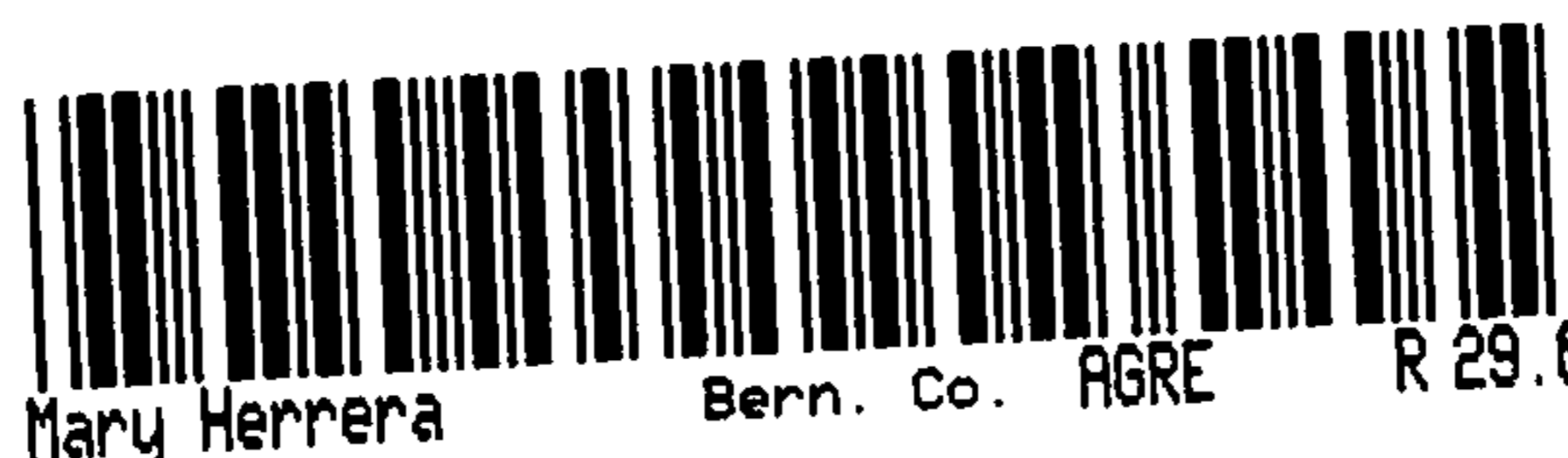
SUBDIVIDER:

CITY OF ALBUQUERQUE

By [Signature]: 
Name: JEFF DORWART
Title: PRESIDENT
Dated: 10-26-04
J D HOME BUILDER CORPORATION

Approved by: 
City Engineer
Dated: 11-02-04

Ojala *Rafael Dade*



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SUBDIVIDER'S NOTARY

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on 26th day of October, 2004
by [name(s) of person(s):] JEFF DORWART, [title or capacity, for instance, "President" or
"Owner":] PRESIDENT of [Subdivider:] MUSTANG MESA.

My Commission Expires:

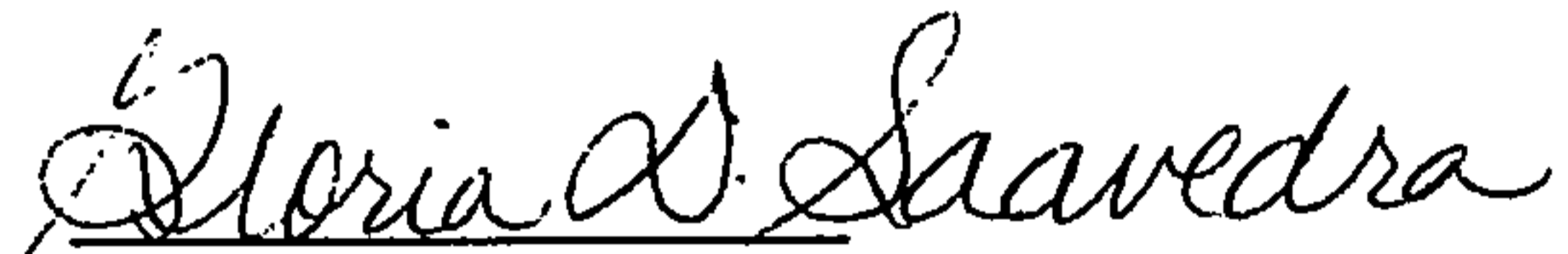
April 21, 2007


Notary Public
OFFICIAL SEAL
GOCELYN BEASLEY
NOTARY PUBLIC
STATE OF NEW MEXICO
My Commission Expires: April 21, 2007

CITY'S NOTARY

STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)


This instrument was acknowledged before me on 2nd day of November, 2007 by
Richard Dourte, City Engineer, of the City of Albuquerque, a municipal corporation, on
behalf of said corporation.


Notary Public

My Commission Expires:

11-25-2007

EXHIBIT A AND POWER OF ATTORNEY ATTACHED


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ORIGINAL

INFRASTRUCTURE LIST

EXHIBIT "A"

**TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

MUSTANG MESA SUBDIVISION

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

TRACT 225-A, TOWN OF ATRISCO GRANT AIRPORT ADDITION

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		10"	WATER MAIN	72ND PLACE NW	GLENRIO RD NW	NE CRNR LOT 17	/	/	/
		8"	SANITARY SEWER MAIN	GLENRIO RD NW	72ND PLACE	WEST EDGE OF TRACT 225-A	/	/	/
		8"	SANITARY SEWER MAIN	72ND PLACE NW	GLENRIO RD AT END OF LINE RIVER GLEN APTS	END OF 72ND PL AT I-40 R.O.W.	/	/	/
		28' FACE TO FACE	RESIDENTIAL ASPHALT STREET (24" WIDE ASPHALT)	72ND PLACE NW	GLENRIO RD NW	END OF 72ND PL NW AT I-40	/	/	/
		4"	MOUNTABLE CURB, ROLL TYPE	72ND PLACE NW (BOTH SIDES)	GLENRIO RD NW	END OF 72ND PL NW AT I-40 R.O.W.	/	/	/
		4' <i>R6</i>	PCC SIDEWALK BOTH SIDES (NOT INCLUDING TURN AROUND)	72ND PLACE NW	GLENRIO ROAD NW	END OF 72ND PL NW AT I-40 R.O.W.	/	/	/
		24'	PERMANENT RESIDENTIAL ASPHALT (N. SIDE OF STREET ON GLENRIO RD ON MUSTANG MESA FRONTAGE RD	GLENRIO RD NW	EAST EDGE OF MUSTANG MESA FRONTAGE	WEST EDGE OF MUSTANG MESA FRONTAGE	/	/	/
		8"	STANDARD PCC CURB AND GUTTER	NORTH SIDE OF GLENRIO RD NW	EAST EDGE OF MUSTANG MESA FRONTAGE	WEST EDGE OF MUSTANG MESA FRONTAGE	/	/	/
		6"	PCC SIDEWALK (DEFERRED)	NORTH SIDE OF GLENRIO RD NW	EAST EDGE OF MUSTANG MESA FRONTAGE	WEST EDGE OF MUSTANG MESA FRONTAGE	/	/	/

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NAME OF PLAT AND/OR SITE PLAN MUSTANG MESA SUBDIVISION

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To
<input type="text"/>	<input type="text"/>					
<input type="text"/>	<input type="text"/>					
<input type="text"/>	<input type="text"/>					
<input type="text"/>	<input type="text"/>					

Private Inspector	City Inspector	City Cnst Engineer
<u>/</u>	<u>/</u>	<u>/</u>
<u>/</u>	<u>/</u>	<u>/</u>
<u>/</u>	<u>/</u>	<u>/</u>
<u>/</u>	<u>/</u>	<u>/</u>

NOTES

- *DEFERRAL OF INTERNAL SIDEWALKS
- **WAIVER OF SIDEWALK
- CERTIFICATION OF GRADING & DRAINAGE PLAN BY ENGINEER PRIOR TO RELEASE OF SIA (FINANCIAL GUARANTEE)

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

AGENT / OWNER

Ronald R. Bohannon, P.E.
NAME (print)

Tierra West LLC
FIRM

[Signature] 10/3/04
SIGNATURE - date

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____

[Signature] 10/13/04
DRB CHAIR - date

[Signature] 10/13/04
PARKS & GENERAL SERVICES - date

[Signature] 10/13/04
TRANSPORTATION DEVELOPMENT - date

[Signature] 10/13/04
UTILITY DEVELOPMENT - date

[Signature] 10/13/04
CITY ENGINEER - date

AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

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FINANCIAL GUARANTY AMOUNT

10/22/2004

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

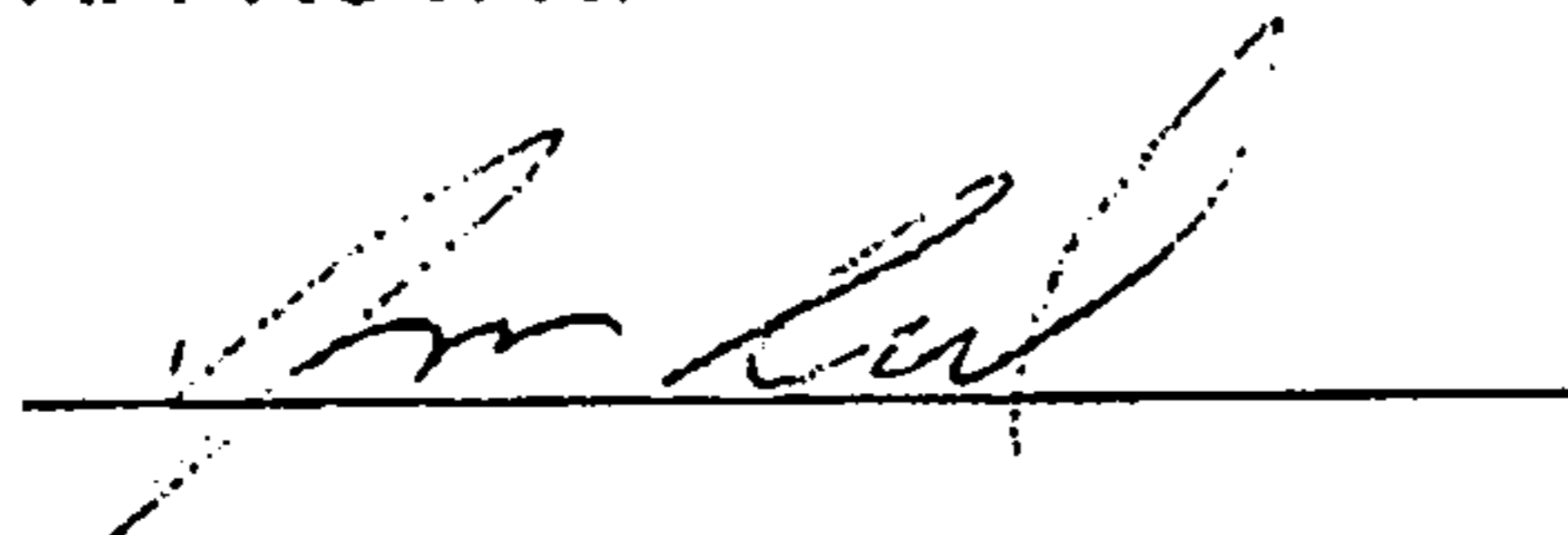
Project ID #: 738882, Mustang Mesa Subdivision, Phase/Unit #: 1

Requested By: **Ronald R. Bohannon, PE w/ Tierra West LLC**

Approved estimate amount:		\$265,998.21
Contingency Amount:	0.00%	\$.00
Subtotal:		\$265,998.21
NMGRT	6.0625%	\$16,126.14
Subtotal:		\$282,124.35
Engineering Fee	6.60%	\$18,620.21
Testing Fee	2.00%	\$5,642.49
Subtotal:		\$306,387.06
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$.00
TOTAL FINANCIAL GUARANTY REQUIRED		<u>\$382,983.83</u>

APPROVAL:

DATE:



10-22-2004

Notes: Certification for grading & drainage prior to release of financial guaranty.



Mary Herrera

Bern. Co. AGRE

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October 26, 2004

Tel 505.282.2124
Fax 505.282.4441James Lewis
Chief Administrative Officer
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103RE: Loan Reserve for J D Home Builder Corporation
City of Albuquerque Project No.: 7388.82
Project Name: Mustang MesaDear Mr. Lewis:

This is to advise the City of Albuquerque ("City") that, at the request of J D Home Builder Corporation, Bank of America, N.A. ("Financial Institution") in Albuquerque, NM, holds as a loan reserve the sum of Three Hundred Eighty Two Thousand Nine Hundred Eighty Three and 83/100 dollars (\$382,983.83) ("Loan Reserve") for the exclusive purpose of providing the financial guaranty which the City requires J D Home Builder Corporation ("Subdivider") to provide for the installation of the improvements which must be constructed at Mustang Mesa, Project No. 7388.82 ("Project"). The amount of the Loan Reserve is 125% of the City's estimated cost of the Project, as required by the City's Subdivision Ordinance. The improvements are identified in the agreement between the City of Albuquerque and Subdivider, which was recorded on 11/11/04, 2004 in the records of the Clerk of Bernalillo County, New Mexico in Book Misc. A 86, pages 4456 to 4456 ("Agreement").

1. Reduction of Reserve. If the Assistant Director of Public Works/ Engineering for the City, or that person's authorized designee, determines that it is appropriate to release a specified amount of the loan reserves as a result of the Subdivider's construction of a portion of the required infrastructure, then the Assistant Director of Public Works/Engineering, or that person's authorized designee, may execute an "Authorization to Release" which will authorize the Financial Institution to release a specified amount from the loan reserves. The Authorization to Release will state the amount of the "Reduced Loan Reserve Balance" which must be maintained following the reduction. The Reduced Loan Reserve Balance shall not be reduced by more than 90% of the City's estimated cost of the Project until the Project is accepted by the City. When the Financial Institution receives the Authorization to Release, which has been signed by the City, the Financial Institution may reduce the loan reserve to the Reduced Loan Reserve Balance.

2. Liability of Financial Institution. Although the City may approve the Financial Institution's release of a part of the loan reserves, the approval will not constitute the City's final acceptance of part or all of the Project. However, no matter what agreement exists between the Subdivider and the City, the total liability of the Financial Institution to the City with respect to the loan reserves established pursuant to this Loan Reserve Letter shall at all times be limited to the lesser of the amount stated in this Loan Reserve Letter or the latest Reduced Loan Reserve Balance authorized in writing by the City, and the Financial Institution's liability to the City under this Loan Reserve Letter shall cease upon termination of the loan reserve as provided in Section 4. herein.



3. Draw on Reserve. If by June 25, 2005, the improvements described in the Agreement have not been fully installed, inspected, approved and accepted by the City, then, upon presentation between June 25, 2005, and August 25, 2005, inclusive, the City may demand payment from the Financial Institution up to the lesser of the amount stated in this Loan Reserve Letter or the latest Reduced Loan Reserve Balance authorized in writing by the City. The City may demand payment by delivering to the Financial Institution a certified "Demand for Payment" executed by the CAO or the CAO's authorized designee, which shall state that the Subdivider has failed to comply with the terms of the Agreement and also shall state the estimated cost of completing the improvements specified in the Agreement ("Estimated Cost of Completion"). Upon receipt of the Demand for Payment, the Financial Institution promptly shall draw from the loan reserves by cashier's check to the City of Albuquerque the amount of 125% of the estimated cost of completion, not to exceed the lesser of the total Loan Reserve amount stated in this Loan Reserve Letter or the latest Reduced Loan Reserve Balance authorized in writing by the City. The Financial Institution shall deliver the cashier's check promptly to the City.

4. Termination of Reserve. This loan reserve is for the benefit of the City and shall be irrevocable until the occurrence of one of the following:


A. Sixty (60) days after the City accepts the completed improvements specified in the Agreement; or

B. City delivery of the Demand for Payment and the Financial Institution's payment to the City by cashier's check as required in Section 3 herein; or


C. Expiration of the date August 25, 2005; or

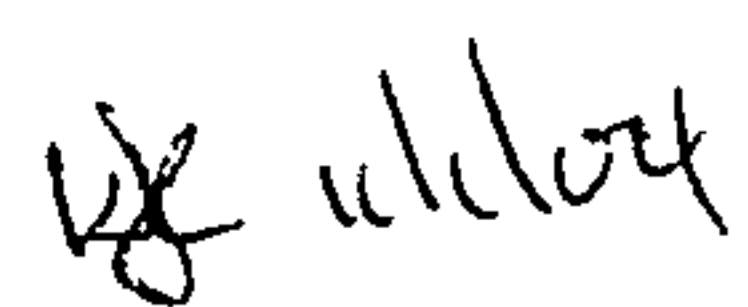
D. Written termination of this Loan Reserve Letter, signed by the Chief Administrative Officer of the City.

Very truly yours,
Bank of America, N. A.


By: Steven W. Schol
Title: Vice President

ACCEPTED:
CITY OF ALBUQUERQUE

By: 
Chief Administrative Officer
Dated: 11-02-04





→ JW 23101
In coming
DRB
Karen K FYI

OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

October 13, 2004

6. Project # 1001926
04DRB-01393 Major-Preliminary Plat Approval
04DRB-01394 Major-Final Plat Approval

TIERRA WEST, LLC agent(s) for JD HOME, INC & JOHN LORENTZEN request(s) the above action(s) for all or a portion of Tract(s) 225, **MUSTANG MESA SUBDIVISION, TOWN OF ATRISCO GRANT, AIRPORT UNIT**, zoned R-2, located on 72ND PL NW, between INTERSTATE 40 WEST and GLEN RIO RD NW containing approximately 5 acre(s). [REF: 03DRB01224, 03DRB01115] (*Deferred from 10/6/04 (J-10)*)

At the October 13, 2004, Development Review Board meeting, with the signing of the infrastructure list dated 10/13/04 and approval of the grading plan engineer stamp dated 1/15/04 the preliminary plat was approved. Final plat was indefinitely deferred for the Subdivision Improvements Agreement.

If you wish to appeal this decision, you must do so by October 28, 2004 in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

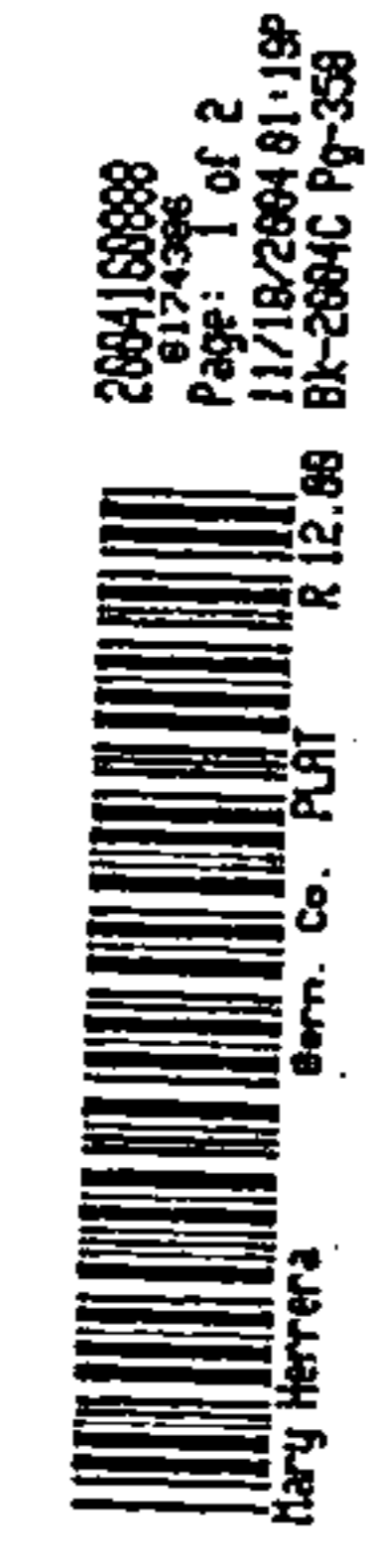
FINAL PLAT

MUSTANG MESA SUBDIVISION

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY, 2004
SHEET 1 OF 2

PROJECT No.: 1001926

- | | |
|---|----------|
| UTILITY APPROVALS: | DATE |
| PNM ELECTRIC SERVICES | 10-18-04 |
| PNM GAS SERVICES | 10-14-04 |
| WEST TELECOMMUNICATIONS | 11-18-04 |
| CONCAST | 9-2-04 |
| PROPERTY MANAGEMENT | 11-17-04 |
| CITY SURVEYOR | 11-17-04 |
| TRAFFIC ENGINEERING TRANSPORTATION DIVISION | 11-17-04 |
| UTILITY DEVELOPMENT | 11-17-04 |
| PARKS AND RECREATION DEPARTMENT | 11-17-04 |
| PLANNING DEPARTMENT | 11-17-04 |



SURVEYORS CERTIFICATE:
STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,
THIS 11th DAY OF August, 2004.

Anthony L. Harris
ANTHONY L. HARRIS, P.S. #11463
LAND SURVEYING, INC. #11463
MEMBER, N.S.P.S. #11463

TRACT NUMBERED TWO HUNDRED TWENTY-FIVE (225) OF THE PLAT SHOWING A PORTION OF TRACTS ALLOTTED FROM TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 5, 1944 IN VOLUME D, FOLIO 118, TOGETHER WITH VACATED 72nd STREET (VACATED BY VACATION ACTION No. 1000694, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT WHENEY CITY OF ALBUQUERQUE CONTROL STATION "6-J10" HAVING NEW MEXICO STATE PLANE COORDINATES OF (CENTRAL ZONE, NAD, 1927) x=380,389.13 AND y=1,492,117.53 BEARS N. 30 deg. 00' 53" E., A DISTANCE OF 341.35 FEET, RUNNING SOUTHEAST CORNER, BEING A POINT ON THE NORTH LINE OF GLENRIO ROAD;

THENCE N. 89 deg. 25' 02" W., ALONG THE NORTH LINE OF GLENRIO ROAD, A DISTANCE OF 269.91 FEET TO THE SOUTHWEST CORNER;

THENCE N. 00 deg. 38' 58" E., A DISTANCE OF 630.31 FEET TO THE NORTHWEST CORNER, BEING A POINT ON THE SOUTHERLY LINE OF INTERSTATE 40;

THENCE N. 58 deg. 42' 13" E., ALONG THE SOUTHERLY LINE OF INTERSTATE 40, A DISTANCE OF 279.14 FEET TO A POINT;

THENCE S. 89 deg. 25' 02" E., A DISTANCE OF 32.14 FEET TO THE NORTHEAST CORNER AND PLACE OF BEGINNING CONTAINING 4.1101 ACRES MORE OR LESS.

- GENERAL NOTES:**
- UNLESS NOTED, No. 4 REDAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
 - THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
 - TOTAL AREA OF PROPERTY: 4.1101 ACRES.
 - TALOS LOG NO. 2003158324
 - BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
 - DISTANCES ARE GROUND, BEARINGS ARE GRID.
 - BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
 - DATE OF FIELD WORK: APRIL 10, 2003
 - CURRENT ZONING: R-2
 - D R B CASE No.: 1000694
 - PROPERTY FALLS WITHIN TOWN OF ATRISCO GRANT.
 - STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS: Δ WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB, PS11463.
 - PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
 - PNM ELECTRIC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 - PNM GAS FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 - COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE GROUND TV SERVICE.
 - QUEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURNED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 - INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUB-SURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRIC OR SAFETY CODE CAUSED BY CONSTRUCTION OR POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

14: **STREET MILEAGE CREATED: 0.1291 MILES**
HERE, CORNER AND DEDICATION.

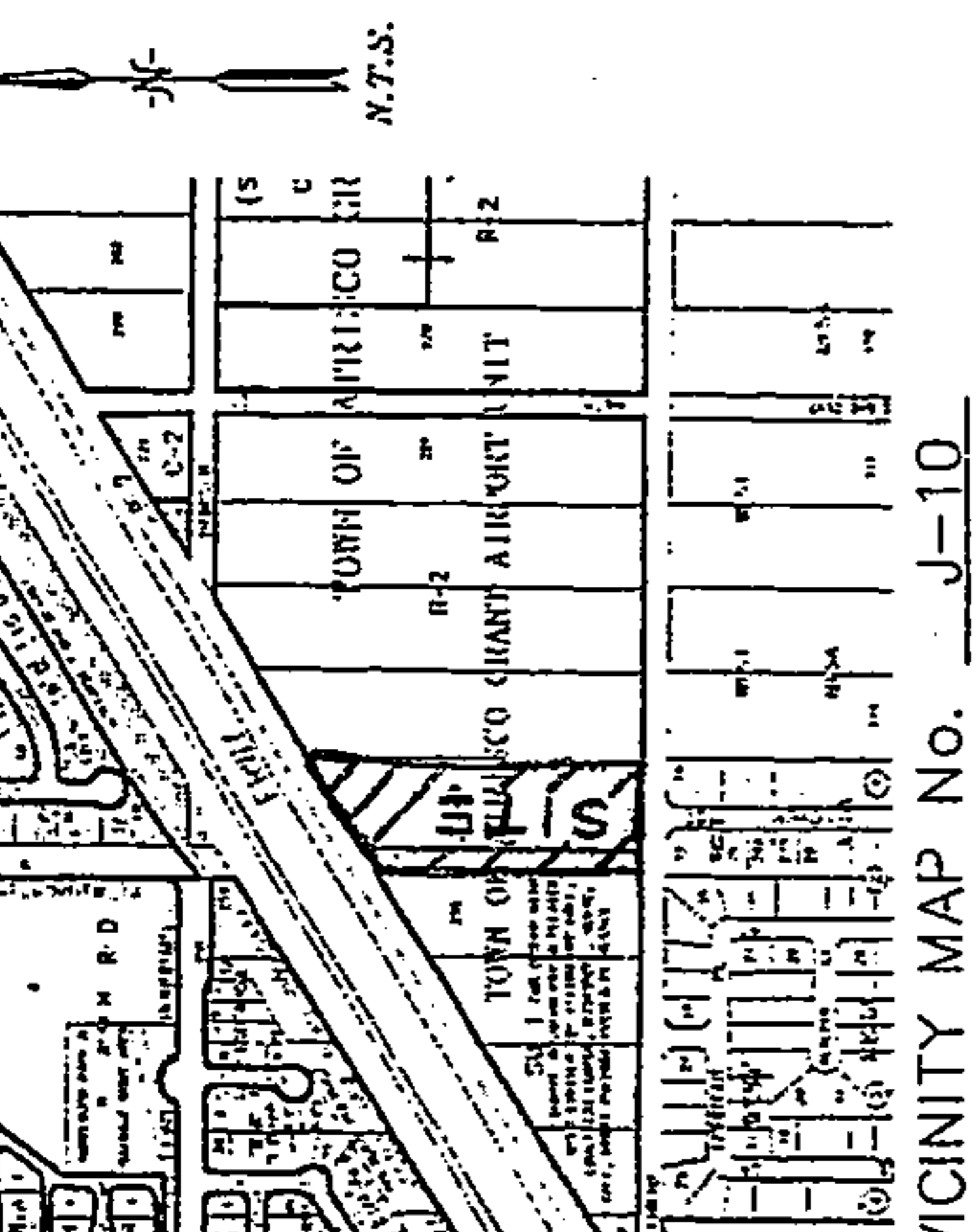
THE SUBDIVISION HEREIN DESCRIBED IS WITH THE FRET CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF, SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT, THOSE EASEMENTS AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND IRREVOCABLE TITLE TO THE LAND SUBDIVIDED AND DOES ALSO WARRANT THAT THE EASEMENTS TO BE GRANTED WITH WARRANT # 8-9-04 ARE FORWARD, PRESIDENT JD HONES DATE

ACKNOWLEDGMENT
STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS 11th DAY OF August, 2004

BY: *Anthony L. Harris*
ANTHONY L. HARRIS, P.S. #11463
NOTARY PUBLIC

MY COMMISSION EXPIRES: 11/18/2004 BY: *Gary Herrera*
GARY HERRERA, P.S. #11463
NOTARY PUBLIC



SECURE STATEMENT:
PURPOSE OF THIS PLAT IS TO SHOW THE VACATED 72ND STREET, DIVIDE TRACT 225 INTO 30 LOTS, DATE 72ND PLACE AND GRANT ANY EASEMENTS AS SHOWN.

IS TO CLERK THAT TAXES ARE CURRENT AND PAID ON
1. 010-058-271408-10401
VERY OWNER OF RECORD: *John L. Herrera*
ALBU CO. TREASURER'S OFFICE: *John L. Herrera* 11/18/2004

FINAL PLAT MUSTANG MESA SUBDIVISION

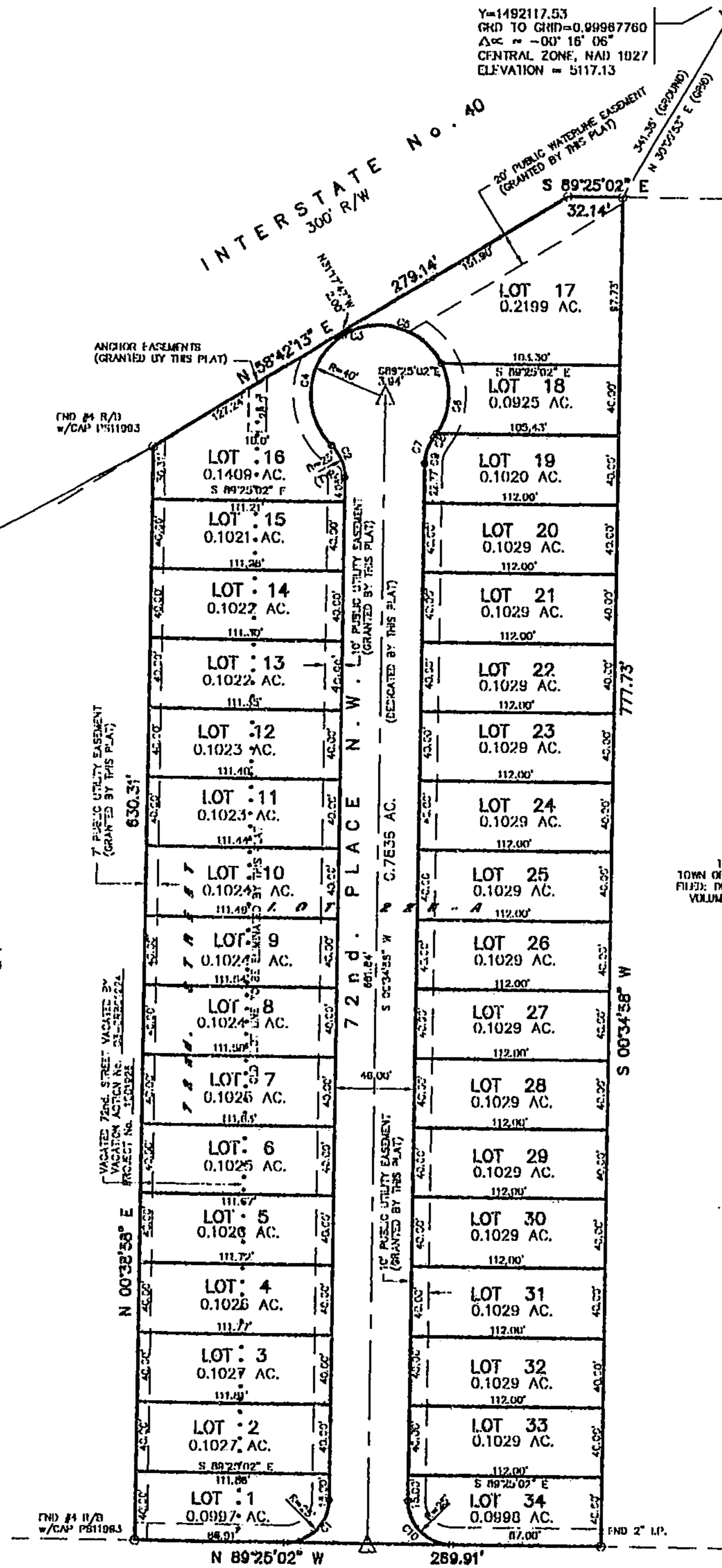
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY, 2004
SHEET 2 of 2

Y=1492117.53
GRD TO GRD=0.99987760
Δα = -00° 16' 06"
CENTRAL ZONE, NAD 1027
ELEVATION = 5117.13

INTERSTATE No. 40
300' R/W

ACS STATION "1-40-21A"
X=354,994.87
Y=1,492,789.30
GRD TO GRD=0.9996747
Δα = -00° 16' 46"
CENTRAL ZONE, NAD 1927

CURVE	RADIUS	DELTA	ARC	BEARING	CHORD
C1	25.00	80°00'00"	39.27	N 45°34'50" E	35.36
C2	25.00	47°18'44"	20.85	N 23°04'54" W	20.07
C3	40.00	204°16'53"	104.50	N 85°23'40" E	59.32
C4	40.00	108°20'58"	73.02	N 05°58'43" E	63.06
C5	40.00	84°53'04"	58.24	S 73°51'15" E	38.93
C6	40.00	60°57'38"	41.85	S 03°30'06" W	40.11
C7	25.00	36°37'09"	18.12	S 10°05'32" W	15.11
C8	40.00	03°51'11"	2.60	S 35°36'31" W	2.60
C9	25.00	16°18'47"	7.34	S 08°59'21" W	7.31
C10	25.00	80°00'00"	39.27	S 44°25'02" E	35.36



TRACT 224
TOWN OF ATRISCO GRANT
FILED: DECEMBER 5, 1944
VOLUME D, FOLIO 118

TRACT 226
TOWN OF ATRISCO GRANT
FILED: DECEMBER 5, 1944
VOLUME D, FOLIO 118

VACATED 72nd STREET VACATED BY
VACATION ACTION NO. 2003-0002-0001
PROJECT NO. 100204

10' PUBLIC UTILITY EASEMENT
(GRANTED BY THIS PLAT)

7' PUBLIC UTILITY EASEMENT
(GRANTED BY THIS PLAT)

10' PUBLIC UTILITY EASEMENT
(GRANTED BY THIS PLAT)

ANCHOR EASEMENTS
(GRANTED BY THIS PLAT)

(IND # 4 R/W)
W/CAP P511983

(IND # 4 R/W)
W/CAP P511983

GLENRIO ROAD N.W.
80' R/W

289416888
6174398
Page: 2 of 2
11/18/2004 01:19P
Bk-2894C Pg-358

Hary Herrera born. Co. PLAT R 12.00

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME JD Home Inc
 AGENT Tierra West LLC
 ADDRESS 8509 Jefferson NE.
 PROJECT & APP # 1001926 / OS DRB 01125
 PROJECT NAME Mustang Mesa

DUPLICATE
 City of Albuquerque
 Treasury Division

7/8/2005 11:39AM LOC: ANNX
 RECEIPT# 00042940 WSH 008 TRANSH 0020
 ACCOUNT 441018 Fund 0110
 Activity 4971000 TRSCCS
 Trans Amt \$145.00
 J24 Misc \$75.00
 CK \$145.00
 CHANGE \$0.00

\$ 20.00 441032/3424000 Conflict Management Fee
 \$ 50.00 441006/4983000 DRB Actions
 \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
 \$ 75.00 441018/4971000 Public Notification
 \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
 \$ 145.00 TOTAL AMOUNT DUE

*****NOTE:** If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

7/8/2005
 RECEIPT#
 Account
 Activity
 Trans AM
 J24 Misc

TIERRA WEST LLC
 8509 JEFFERSON NE
 ALBUQUERQUE, NM 87133
 (505) 858-3100

City of Albuquerque
 Treasury Division

DATE 7/7/05
 City of Albuquerque
 Treasury Division

2087
 95-677/1070

Pay to the order of City of Albuquerque \$ 145.00

One Hundred & Forty Five

High Desert State Bank
 Member FDIC
 8110 Ventura NE
 Albuquerque, NM 87122

Account: 41032 Fund 0110
 Activity 3424000
 Trans Amt \$145.00
 J24 Misc \$20.00

FOR DRB - SIA Evt 23101

Donna Bohannon MP

201813

Thank You

SIGN POSTING REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property, which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproofed signs will be provided at the time of application. If the application is mailed, you must still stop at the Planning Division to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Planning Division at a charge of \$3.00 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be two to seven feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign in order to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs maybe required on unpaved street frontages.
- B. If the land does not abut a public street, then in addition to a sign placed on the property a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from 7.19.05 To 8.3.05.

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Planning Division staff. I understand (A) my obligation to keep the sign(s) posted for fifteen (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Karen Kluse (Applicant or Agent), 7.8.05 (Date)

I issued 1 signs for this application, 7-8-05 (Date), Andrew Jacobs (Staff Member)

29⁰

FIGURE 12
SUBDIVISION IMPROVEMENTS
AGREEMENT-PUBLIC AND/OR PRIVATE
(Procedure B)

AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 2nd day of November, 2004, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and J D HOME BUILDER CORPORATION ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] A CORPORATION, whose address is PO BOX 90218, ALBUQUERQUE NM 87199-0218 and whose telephone number is 505.235.8298, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

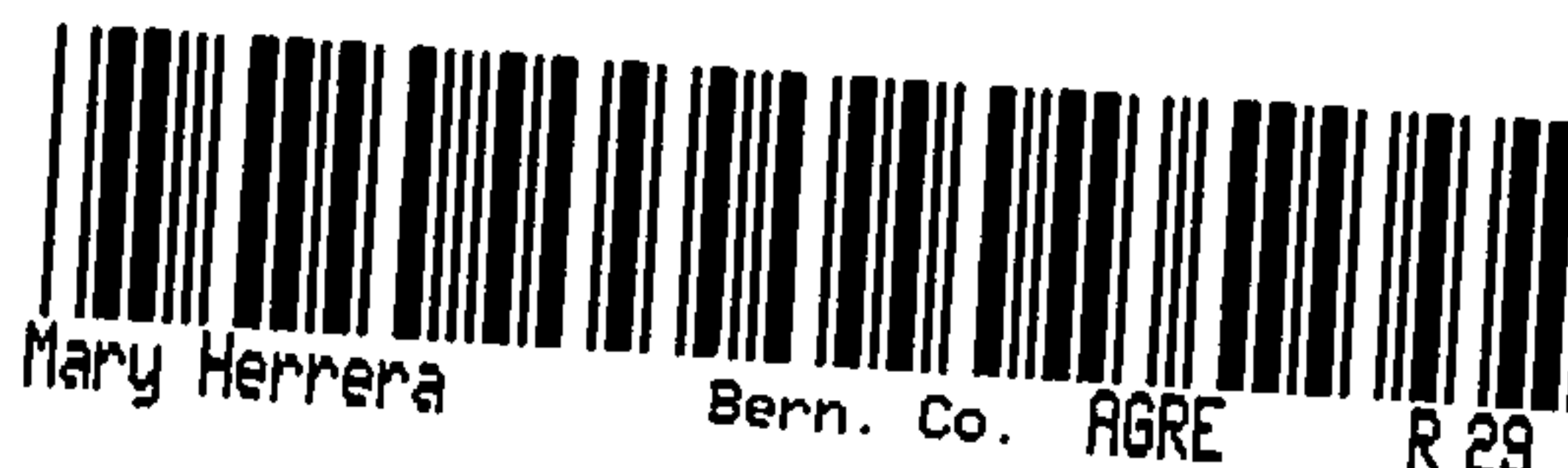
1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [describe:] LOT 225-A, TOWN OF ATRISCO GRANT AIRPORT ADDT'N, recorded on DECEMBER 5, 19 44 in the records of the Bernalillo County Clerk at Book D, Folio 118 (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] J D HOME BUILDER CORPORATION ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as MUSTANG MESA describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private Improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described in Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 25TH day of JUNE, 2005 ("Construction Completion Deadline"), at no cost to the City. The improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 7388.82.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board (DRB), unless the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.



130

No. of Lots: 34
Nearest Major Streets 72nd Place NW

FIGURE 19
SIDEWALK DEFERRAL AGREEMENT
PROJECT NO. 7388.82

THIS AGREEMENT is made this 2nd day of November, 2004, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103 and J D HOME BUILDER CORPORATION ("Subdivision"), whose address is PO BOX 90218, ALBUQUERQUE NM 87199-0218 and whose telephone number is 505.235.8298, a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] A CORPORATION is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

WHEREAS, the Developer is developing certain lands within the City of Albuquerque, County of Bernalillo, State of New Mexico, known as [existing legal description] LOT 225-A, TOWN OF ATRISCO GRANT AIRPORT ADDT'N (the "Subdivision"); and

WHEREAS, the Developer has submitted and the City has approved the Developer's development plans and [state "preliminary" or "final":] MUSTANG MESA Plat, to be identified as [state name of plat:] MUSTANG MESA; and

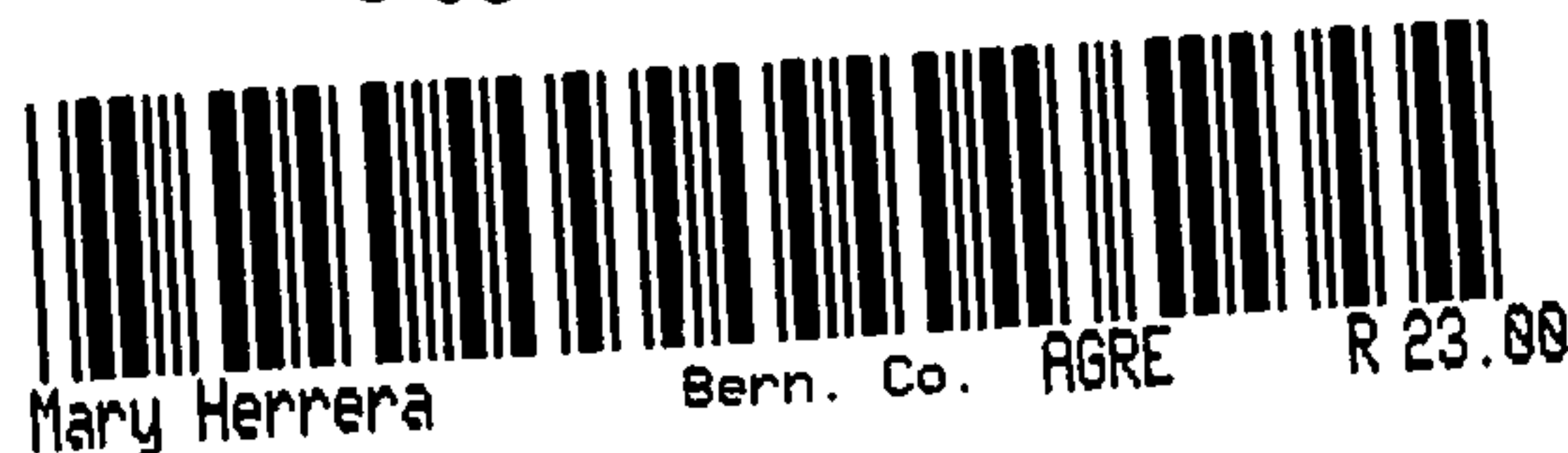
WHEREAS, Developer requested and the City has determined that it is acceptable for the Developer to defer construction of the sidewalks within the Subdivision until after construction of other required infrastructure; and

WHEREAS, the Subdivision Ordinance requires all infrastructure, including sidewalks, to be completed within four (4) years after execution of the Agreement to Construct Subdivision Improvements; and

WHEREAS, the Developer must execute and deliver to the City an agreement and an acceptable financial guaranty to provide funds for constructing the sidewalk improvements in case the Developer does not complete the construction as required.

THEREFORE, the City and the Subdivision agree:

1.A Sidewalk Construction Deadline. Developer has obtained a sidewalk deferral, as shown in the attached Exhibit "A", which is a copy of the Development Review Board's decision regarding the deferral granted. Developer agrees to utilize the City's sidewalk permit process and complete the sidewalk to the satisfaction of the City by JUNE 25, 2005 ("Sidewalk Construction Deadline").



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Page: 1 of 8
11/04/2004 01:13P
BX-A86 Pg-4957

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

November 8, 2004

Ms. Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**RE: Request for Final Plat Approval for Mustang Mesa Subdivision
Tract 225, Town of Atrisco Grant Airport Unit
DRB# 1001926; Zone Atlas Page J-10**

Dear Ms. Matson:

Tierra West LLC, on behalf of J D Home Inc., requests approval of the Final Plat for the above referenced project. The site is located east of 72nd Street NW, between Interstate 40 and Glenrio Road NW. The site is zoned R-2 and will consist of 34 single-family homes. The DRB approved the preliminary plat with a new infrastructure list and vacation of the public right-of-way on October 6, 2004. The SIA is recorded.

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s
cc: Jeff Dorwart

JN: 23101
RRB/kk

2003:23101Final Plat110804

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: 10.04.04

INFRASTRUCTURE LIST

Date Site Plan Approved: _____

Date Preliminary Plat Approved: 10/13/04

Date Preliminary Plat Expires: 10/13/05

DRB Project No.: 1001926

DRB Application No: 04-01393

ORIGINAL

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

MUSTANG MESA SUBDIVISION

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

TRACT 225-A, TOWN OF ATRISCO GRANT AIRPORT ADDITION
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		10"	WATER MAIN	72ND PLACE NW	GLENRIO RD NW	NE CRNR LOT 17	/	/	/
		8"	SANITARY SEWER MAIN	GLENRIO RD NW	72ND PLACE	WEST EDGE OF TRACT 225-A	/	/	/
		8"	SANITARY SEWER MAIN	72ND PLACE NW	GLENRIO RD AT END OF LINE RIVER GLEN APTS	END OF 72ND PL AT I-40 R.O.W.	/	/	/
		28' FACE TO FACE	RESIDENTIAL ASPHALT STREET (24" WIDE ASPHALT)	72ND PLACE NW	GLENRIO RD NW	END OF 72ND PL NW AT I-40	/	/	/
		4"	MOUNTABLE CURB, ROLL TYPE	72ND PLACE NW (BOTH SIDES)	GLENRIO RD NW	END OF 72ND PL NW AT I-40 R.O.W.	/	/	/
		4"	PCC SIDEWALK BOTH SIDES (NOT INCLUDING TURN AROUND)	72ND PLACE NW	GLENRIO ROAD NW	END OF 72ND PL NW AT I-40 R.O.W.	/	/	/
		24'	PERMANENT RESIDENTIAL ASPHALT (N. SIDE OF STREET ON GLENRIO RD ON MUSTANG MESA FRONTAGE RD	GLENRIO RD NW	EAST EDGE OF MUSTANG MESA FRONTAGE	WEST EDGE OF MUSTANG MESA FRONTAGE	/	/	/
		8"	STANDARD PCC CURB AND GUTTER	NORTH SIDE OF GLENRIO RD NW	EAST EDGE OF MUSTANG MESA FRONTAGE	WEST EDGE OF MUSTANG MESA FRONTAGE	/	/	/
		6"	PCC SIDEWALK (DEFERRED)	NORTH SIDE OF GLENRIO RD NW	EAST EDGE OF MUSTANG MESA FRONTAGE	WEST EDGE OF MUSTANG MESA FRONTAGE	/	/	/

Original

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		**4'	PCC SIDEWALK (WAIVED)	NORTH END OF 72ND PLACE NW	WITHIN THE 40' RADIUS R.O.W. BETWEEN A PORTION OF LOT 16	WITHIN THE 40' RADIUS R.O.W. BETWEEN LOT 18	/	/	/
		24"	RCP STORM DRAIN	72ND PLACE NW	GLENRIO RD NW	SD INLETS ON 72ND PLACE NW (200' N.)	/	/	/
		36"	RCP STORM DRAIN	GLENRIO RD NW	WEST PROPERTY LINE	EXISTING SD INLET AT WEST EDGE OF RIVER GLEN APTS. (400' E.)	/	/	/
							/	/	/
							/	/	/
							/	/	/
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Original

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

NOTES

- 1 *DEFERRAL OF INTERNAL SIDEWALKS

- 2 **WAIVER OF SIDEWALK

- 3 CERTIFICATION OF GRADING & DRAINAGE PLAN BY ENGINEER PRIOR TO RELEASE OF SIA (FINANCIAL GUARANTEE)

AGENT / OWNER

Ronald R. Bohannon, P.E.
NAME (print)

Tierra West LLC
FIRM

[Signature] 10/3/04
SIGNATURE - date

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

[Signature] 10/13/04
DRB CHAIR - date

[Signature] 10/13/04
TRANSPORTATION DEVELOPMENT - date

[Signature] 10/13/04
UTILITY DEVELOPMENT - date

[Signature] 10/13/04
CITY ENGINEER - date

[Signature] 10/13/04
PARKS & GENERAL SERVICES - date

AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

ORIGINAL

A MENDED INFRASTRUCTURE LIST

Make
revisions

Date Submitted: 3/24/04
Date Site Plan Approved: N/A
Date Preliminary Plat Approved: 8-20-03
Date Preliminary Plat Expires: 8-20-04
DRB Project No. 061926
DRB Application No.: 04-00329

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

MUSTANG MESA SUBDIVISION

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LOT 225-A TOWN OF ATRISCO GRANT AIRPORT ADDITION

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		10"	WATER MAIN	72ND PLACE NW	GLENBIO ROAD NW	NE CORNER LOT 17 AT I-40 R.O.W.	1	1	1
		8"	SANITARY SEWER MAIN	72ND PLACE NW	GLENBIO ROAD	END OF 72ND PL. AT I-40 R.O.W.	1	1	1
		8"	SANITARY SEWER MAIN	GLENBIO ROAD NW	72ND PLACE	WEST EDGE OF TRACT 225-A	1	1	1
		28'	RESIDENTIAL ASPHALT STREET (24' WDG ASPHALT)	72ND PLACE NW	GLENBIO ROAD NW	END OF 72ND PL NW AT I-40	1	1	1
		4"	ESTATE MOUNTABLE CURB (POLYURE CURB)	72ND PLACE NW	GLENBIO ROAD NW	END OF 72ND PL. NW AT I-40 R.O.W.	1	1	1
		4'	PCC SIDEWALK BOTH SIDES (NOT INCLUDING TRUCK APRON)	72ND PLACE NW	GLENBIO ROAD NW	END OF 72ND PL NW AT I-40 R.O.W.	1	1	1
		24'	PERMANENT RESIDENTIAL ASPHALT N. SIDE OF STAGG ON GLENBIO ROAD ON MUSTANG MESA FRONTAGE	GLENBIO ROAD NW	(EAST EDGE OF MUSTANG	WEST EDGE OF MUSTANG MESA FRONTAGE)	1	1	1
		8"	STANDARD PCC CURB AND GUTTER	NORTH SIDE OF GLENBIO ROAD NW	(EAST EDGE OF MUSTANG	WEST EDGE OF MUSTANG MESA FRONTAGE)	1	1	1
		4'	PCC SIDEWALK	NORTH SIDE OF GLENBIO ROAD NW	(EAST EDGE OF MUSTANG	WEST EDGE OF MUSTANG MESA FRONTAGE)	1	1	1

MUSKUMS ... ORIGINAL

SIA Sequence #	COA-DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="checkbox"/>	<input type="checkbox"/>						1	1	1
<input type="checkbox"/>	<input type="checkbox"/>						1	1	1
<input type="checkbox"/>	<input type="checkbox"/>						1	1	1
<input type="checkbox"/>	<input type="checkbox"/>						1	1	1

NOTES

1 _____

2 *YD*

3 *12/13/04*

AGENT / OWNER _____ DEVELOPMENT REVIEW BOARD MEMBER APPROVALS _____

Ben Platania
NAME (print) _____

William Peterson
DRB CHAIR - date *3-24-04*
PARKS & GENERAL SERVICES - date *3/24/04*

FIRM _____
SIGNATURE - date _____

Will Lee
TRANSPORTATION DEVELOPMENT - date *3-24-04*
Robert Brown
UTILITY DEVELOPMENT - date *3/24/04*
Richard Lee
CITY ENGINEER - date *3-24-04*

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____

DESIGN REVIEW COMMITTEE REVISIONS _____

REVISION	DATE	DRB CHAIR	USER DEPARTMENT	AGENT OWNER

A City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION **S**

Major Subdivision action
 Minor Subdivision action
 Vacation **V**
 Variance (Non-Zoning)

SITE DEVELOPMENT PLAN **P**

...for Subdivision Purposes
 ...for Building Permit
 IP Master Development Plan
 Cert. of Appropriateness (LUCC) **L**

Supplemental form

ZONING & PLANNING **Z**

Annexation
 County Submittal
 EPC Submittal
 Zone Map Amendment (Establish or Change Zoning)
 Sector Plan (Phase I, II, III)
 Amendment to Sector, Area, Facility or Comprehensive Plan
 Text Amendment (Zoning Code/Sub Regs)

APPEAL / PROTEST of... **A**

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: J D HOME INC PHONE: 505.235.8298
 ADDRESS: PO Box 90218 FAX:
 CITY: ABQ STATE NM ZIP 87199-0218 E-MAIL: jdorwart1@comcast.net
 Proprietary interest in site: Owner/Developer List all owners: LORENTZEN JOHN C/O SW REALTY INV INC
 AGENT (if any): TIERRA WEST LLC PHONE: 858-3100
 ADDRESS: 8509 JEFFERSON NE FAX: 858-1118
 CITY: ALBUQUERQUE STATE NM ZIP 87113 E-MAIL: twlc@tierrawestllc.com
 DESCRIPTION OF REQUEST: PRELIMINARY & FINAL PLAT APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT 225 Block: _____ Unit: _____
 Subdiv. / Addn. TOWN OF ATRISCO GRANT AIRPORT UNIT
 Current Zoning: R-2 Proposed zoning: SAME
 Zone Atlas page(s): J-10 No. of existing lots: 1 No. of proposed lots: 34
 Total area of site (acres): 4.41 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 101005827140310401 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: 72ND PLACE NW
 Between: INTERSTATE 40 WEST and GLENRIO ROAD NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): 03DRB-01224/03DRB-01225 - DRB# 1001926

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 9/9/04
 (Print) RONALD R. BOHANNAN, P.E. _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 3/04

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>04DRB - 01393</u>	<u>PP</u>	<u>SL2</u>	<u>\$ 1170.00</u>
<input checked="" type="checkbox"/> All fees have been collected	<u>04DRB - 01394</u>	<u>FP</u>	<u>SL3</u>	<u>\$ 0</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input type="checkbox"/> AGIS copy has been sent	_____	<u>AD Fee</u>	_____	<u>\$ 75.00</u>
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	<u>\$</u>
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	<u>\$</u>
<input checked="" type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>10-6-04</u>	_____	_____	Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	<u>9-10-04</u>	_____	_____	<u>\$ 1265.00</u>

Project # **1001926**

Planner signature / date

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
 - Proposed Infrastructure List *PROVIDED BY MARVIN KORTUM*
 - Design elevations & cross sections of perimeter walls
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Property owner's and City Surveyor's signature on the proposed plat
 - FORM DRWS Drainage Report, Water & Sewer availability statement filing information
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Preliminary plat approval expires after one year.
DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

- MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
 - Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.
DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT (Temporary sidewalk deferral uses FORM-V)

- 1 copy of each of the following items
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application
- Fee (see schedule)

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

RONALD R. BOHANNAN, P.E.

Applicant name (print)

[Signature]

Applicant signature / date

9/9/09

Form revised 10/03



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
04DRB-01393
04DRB-01394

[Signature] *9-10-09*
 Planner signature / date
Project # 1001926

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED, NO INTERNAL ROUTING)

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the Official D.R.B. Notice of approval
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED. *Pending*

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (**verify with DRB Engineer**) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

RONALD R. BOHANNAN, P.E.

Applicant name (print)

Karen Kline for Ronald R. Bohannan

Applicant signature / date



Form revised 10/03

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers	
04DRB -	01393
04DRB -	01394
-	-

[Signature] 9-10-04
Planner signature / date

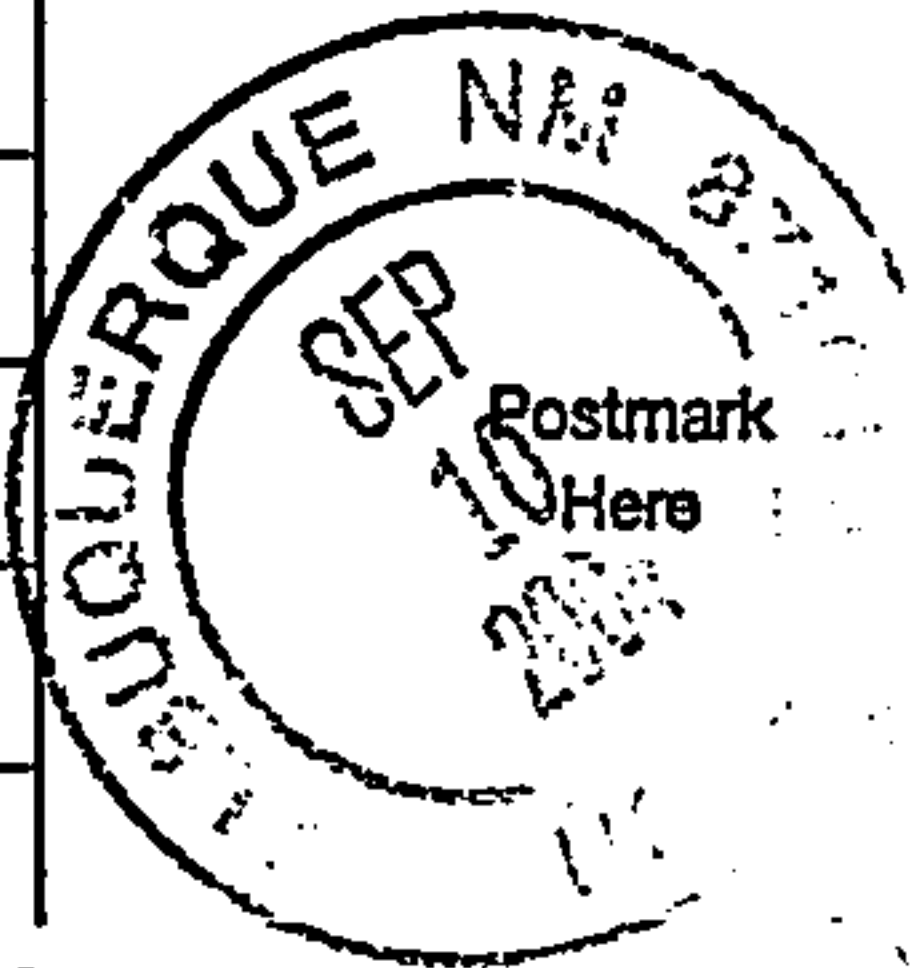
Project # 1001926

7002 0860 0002 3202 2314

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE

Postage	\$.83
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.88



Sent To
CHRISTOPHER PRIEN
LOS VOLCANES N.A.
622 HONEYLOCUST PL NW
ALBUQUERQUE NM 87120

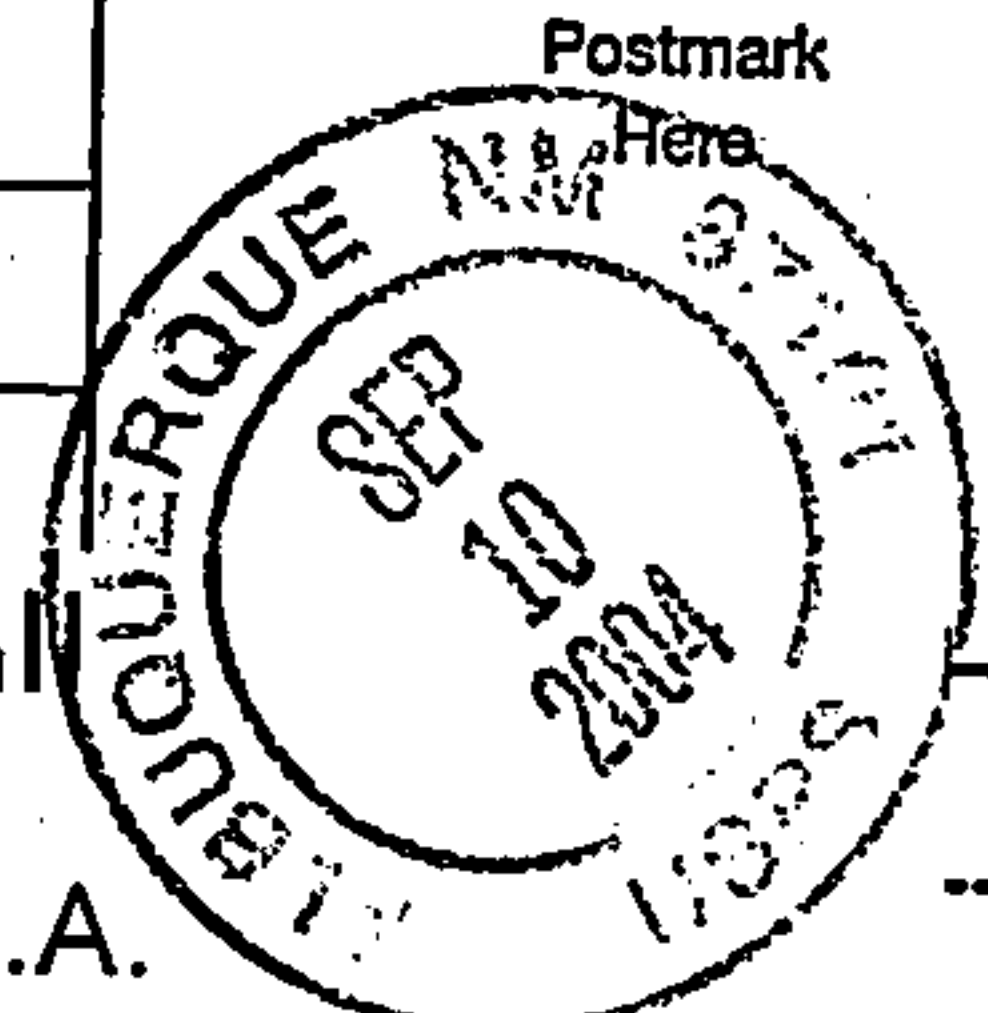
PS Form 3800

7002 0860 0002 3202 2321

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE

Postage	\$.83
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.88



Sent To
DAVE EDWARDS
LOS VOLCANES N.A.
637 HONEYLOCUST PL NW
ALBUQUERQUE NM 87120

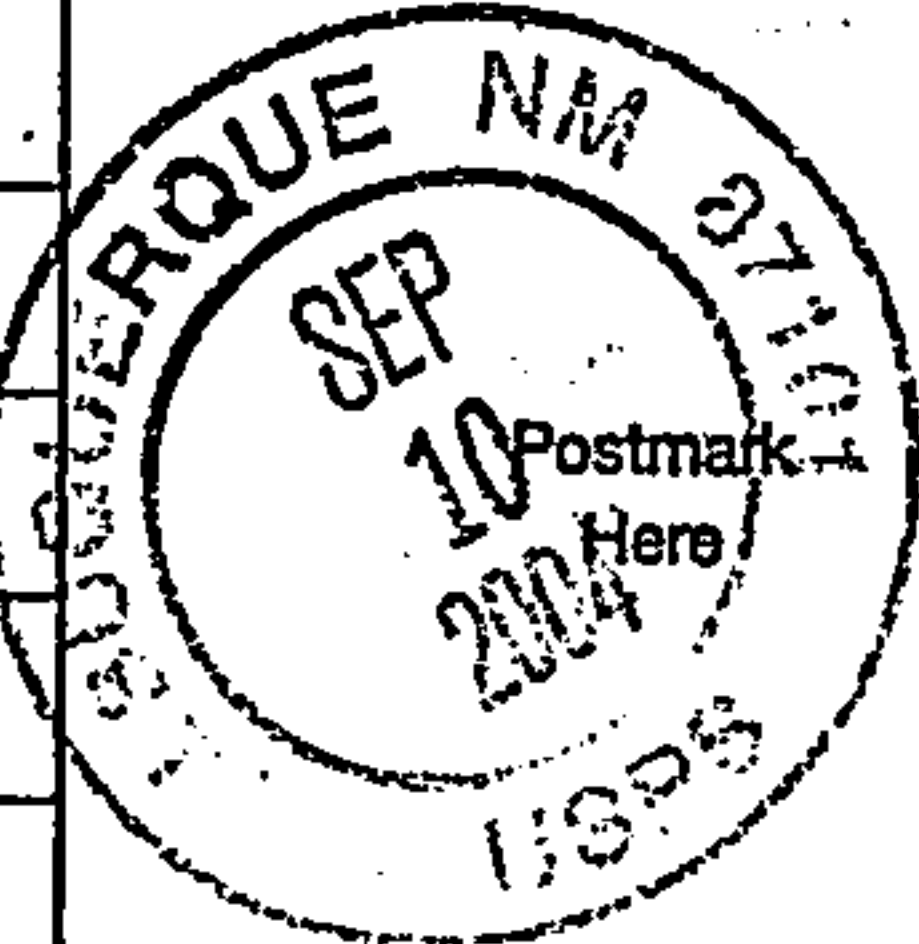
PS Form 3800

7002 0860 0002 3202 2291

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE

Postage	\$.83
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.88



Sent To
STEVE TARDY
LAURELWOOD N.A.
7424 LYNWOOD DR NW
ALBUQUERQUE NM 87120

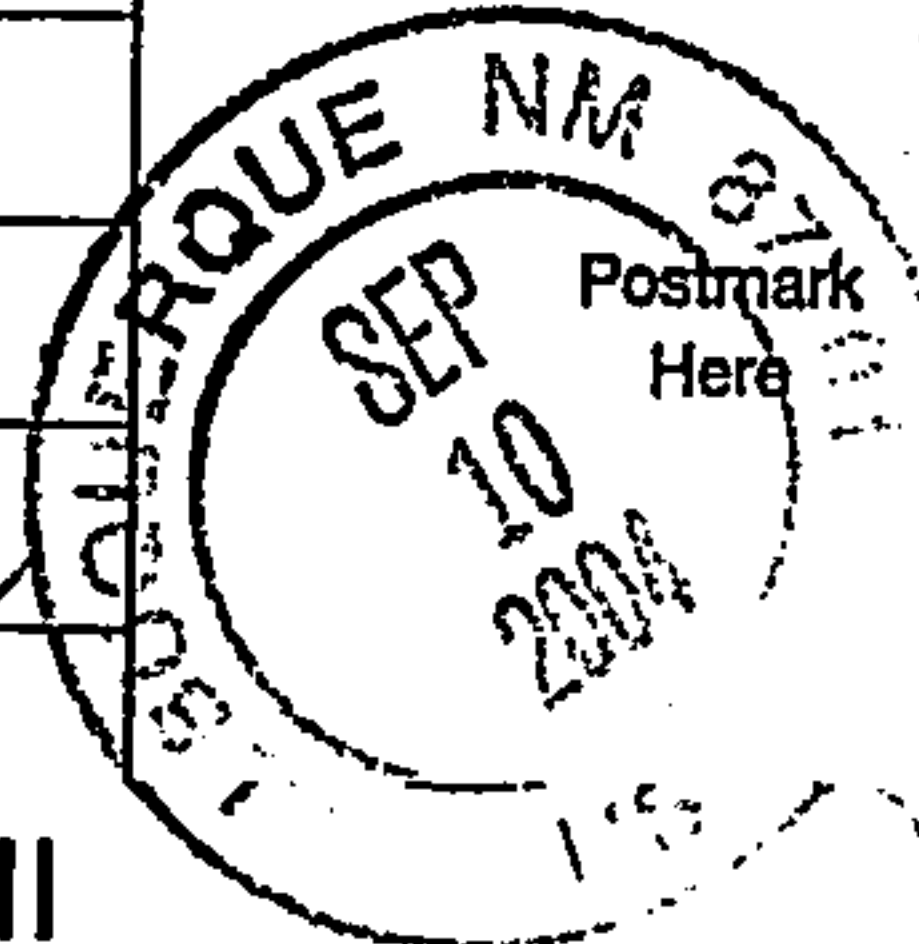
PS Form 3800

7002 0860 0002 3202 2307

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE

Postage	\$.83
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.88



Sent To
PHYLIS VILCHUCK
LAURELWOOD N.A.
7805 SPRINGWOOD RD NW
ALBUQUERQUE NM 87120

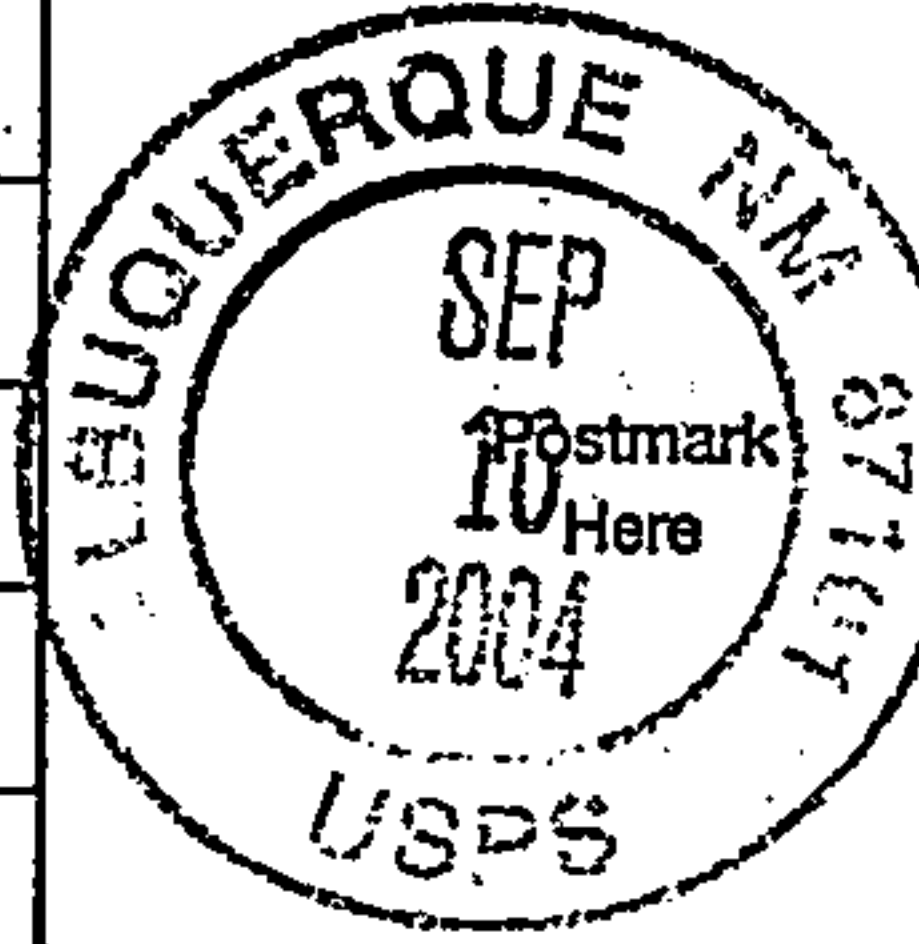
PS Form 3800

7002 0860 0002 3202 2338

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE

Postage	\$.83
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.88



Sent To
DEAUN LEWIS
S.R. MARMON N.A.
6400 SUNNY DAY CT NW
ALBUQUERQUE NM 87120

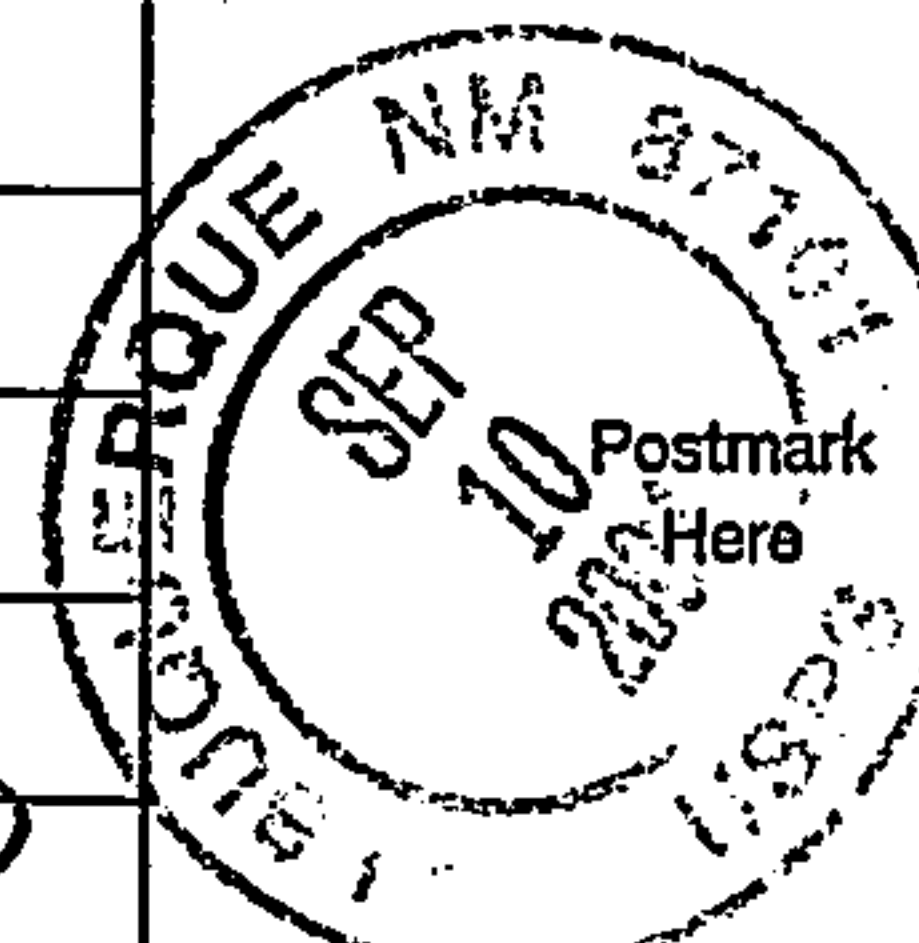
PS Form 3800

7002 0860 0002 3202 2345

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE

Postage	\$.83
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.88



Sent To
RUSSELL KAPPELMAN
S.R. MARMON N.A.
6808 HUERTO NW
ALBUQUERQUE NM 87120

PS Form 3800

11
11
11
11

FORM DRWS: DRAINAGE REPORT/WATER & SEWER AVAILABILITY

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR MAJOR SUBDIVISIONS AND SITE DEVELOPMENT PLANS.

PROJECT NAME: MUSTANG MESA SUBDIVISION

AGIS MAP #: J-10

LEGAL DESCRIPTION: TRACT 225, TOWN OF ATRISCO GRANT AIRPORT UNIT

DRAINAGE REPORT

A drainage report, as per the Drainage Ordinance, was submitted to the City of Albuquerque Public Works Department, Hydrology Division (2nd floor Plaza de Sol) on March 18, 2004 (Date).

Karen Kline
Applicant/Agent

9.10.04
Date

[Signature]
Hydrology Division Representative

9/10/04
Date

WATER AND SEWER AVAILABILITY STATEMENT

A Water and Sewer Availability Statement for this project was requested from the City of Albuquerque Utilities Development Division (2nd floor Plaza de Sol) on September 10, 2004 (Date).
July 30

Karen Kline
Applicant/Agent

9.10.04
Date

[Signature]
Utilities Division Representative

9-10-04
Date

LV TO JEFF DORRANCE

MARCH 19, 2004 P.01

FAX 831 5690

City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103



FAX TO TIERRA WEST KAREW SEP 9 2004

858-1118

March 18, 2004

Marvin R. Kortum, PE
1605 Speakman Dr., SE
Albuquerque, NM 87123

**Re: Mustang Mesa Subdivision Revised Grading and Drainage Plan
Engineer's Stamp dated 1-15-04 (J10/D38)**

Dear Mr. Kortum,

Based upon the information provided in your submittal dated 1-15-04, the above referenced plan is approved for Amended Preliminary Plat action by the DRB. The infrastructure list must be amended at the board meeting.

If you have any questions, you can contact me at 924-3986.

Sincerely,

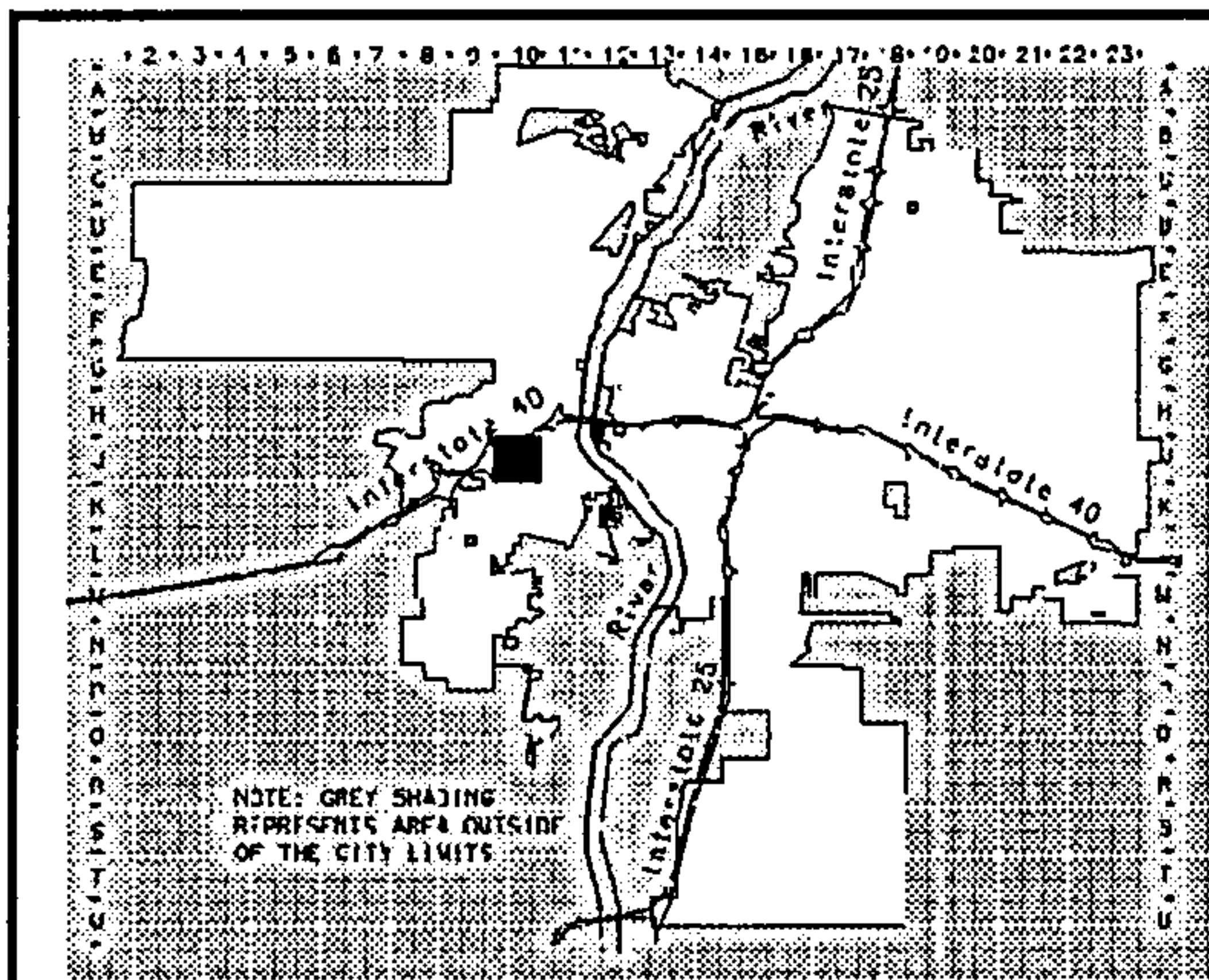
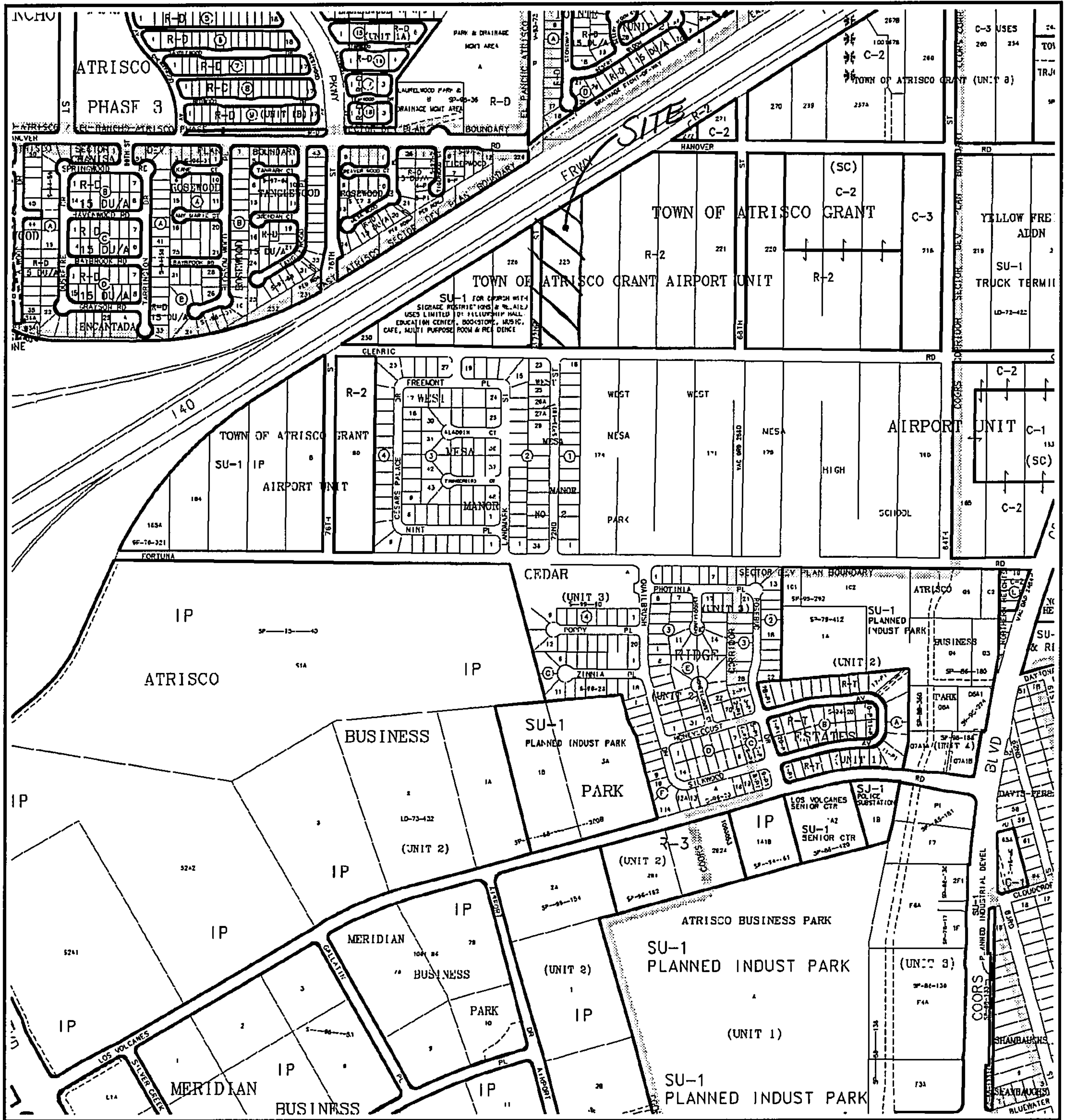
Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: file

MARCH 19, 2004

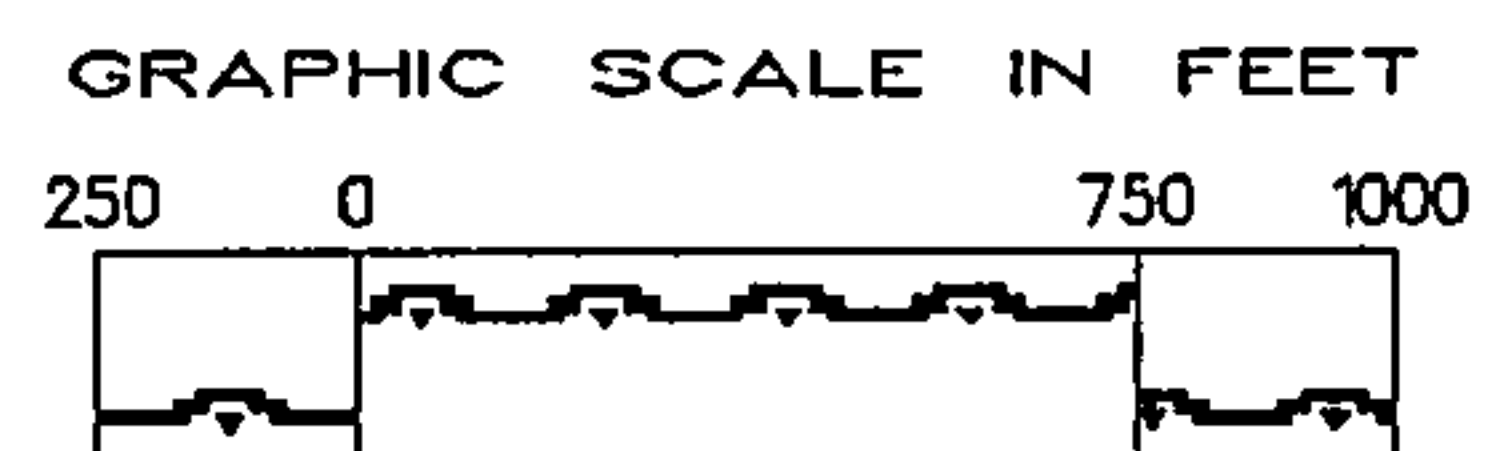
BRAD BINGHAM (BY PHONE) SAYS THAT STORM DRAIN
IN GLOW RIO MUST BE 36" NOT 24" AS I HAVE ON
DRAFT INFRASTRUCTURE LIST. I HAD 24" AS A BASIS FOR PRICE
BY MONDAY I SHOULD HAVE MORE COST DATA.

MARVIN



CITY OF Albuquerque
Abuquerque **G**eographic **I**nformation **S**ystem
PLANNING DEPARTMENT

© Copyright 2003



Zone Atlas Page

J-10-Z

Map Amended through August 01, 2003

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

September 8, 2004

Ms. Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**RE: Request for Preliminary Plat & Final Plat Approval for Mustang Mesa
Subdivision
Tract 225, Town of Atrisco Grant Airport Unit
DRB# 1001926; Zone Atlas Page J-10**

Dear Ms. Matson:

Tierra West LLC, on behalf of J D Home Inc., requests approval of the Preliminary Plat and Final Plat for the above referenced project. The site is located east of 72nd Street NW, between Interstate 40 and Glenrio Road NW. The site is zoned R-2 and will consist of 34 single-family homes. On August 21, 2003, the DRB approved the preliminary plat and vacation of the public right-of-way. The plat was not filed within the one-year time limit, so we are requesting the approval of the Preliminary and Final Plat. Marvin Kortum is amending the Infrastructure list also at this time. The final plat is ready to submit and the SIA is recorded.

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,


For: Ronald R. Bohannon, P.E.

Enclosure/s

cc: Jeff Dorwart
Steve Tardy, Laurelwood N.A.
Phylis Vilchuck, Laurelwood N.A.
Christopher Prien, Los Volcanes N.A.
Dave Edwards, Los Volcanes N.A.
Deaun Lewis, S.R. Marmon N.A.
Russell Kappelman, S.R. Marmon N.A.

JN: 23101
RRB/kk



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

August 31, 2004

Karen Kline
Tierra West, LLC
8509 Jefferson NE/87113
Phone: 858-3100/Fax: 858-1118
Email: kkline@tierrawestllc.com

Dear Karen:

Thank you for your inquiry of August 31, 2004 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at TRACT 225, TOWN OF ATRISCO GRANT AIRPORT UNIT EAST OF 72ND STREET NW BETWEEN GLENRIO ROAD NW AND INTERSTATE 40 zone map J-10.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

**SEE "ATTACHMENT A" FOR NEIGHBORHOOD
INFORMATION.**

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Senior Administrative Assistant
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

planningrnaform(04/09/03)

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a

"Attachment A"

26
26
26
26

Karen Kline, Tierra West, LLC
Zone Map: J-10

LAURELWOOD N.A. (R)

*Steve Tardy

7424 Lynwood Dr. NW/87120 440-0115 (h) 323-7771 (w)

Phylis Vilchuck

7805 Springwood Rd. NW/87120 836-7624 (h)

LOS VOLCANES N.A. (R)

*Christopher Prien

622 Honeylocust Pl. NW/87121 831-6342 (h) 400-3655 (w)

Dave Edwards

637 Honeylocust Pl. NW/87121 833-5909 (h) 292-8955 (w)

S.R. MARMON N.A. (R)

*Deaun Lewis

6400 Sunny Day Ct. NW/87120 352-9249 (h) 797-7970 (w)

Russell Kappelman

6808 Huerto NW/87120 352-0251 (h)

ALTHOUGH YOU ARE NOT "OFFICIALLY REQUIRED" BY
O-92, you are most welcomed to notify the following
"Unrecognized" neighborhood associations of this project.

LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.

FIGURE 12
SUBDIVISION IMPROVEMENTS
AGREEMENT-PUBLIC AND/OR PRIVATE
(Procedure B)

AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 25th day of July, 2004, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box. 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and **J D HOME BUILDER CORPORATION** ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.]: **A CORPORATION**, whose address is **PO BOX 90218, ALBUQUERQUE NM 87199-0218** and whose telephone number is **505.235.8298**, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

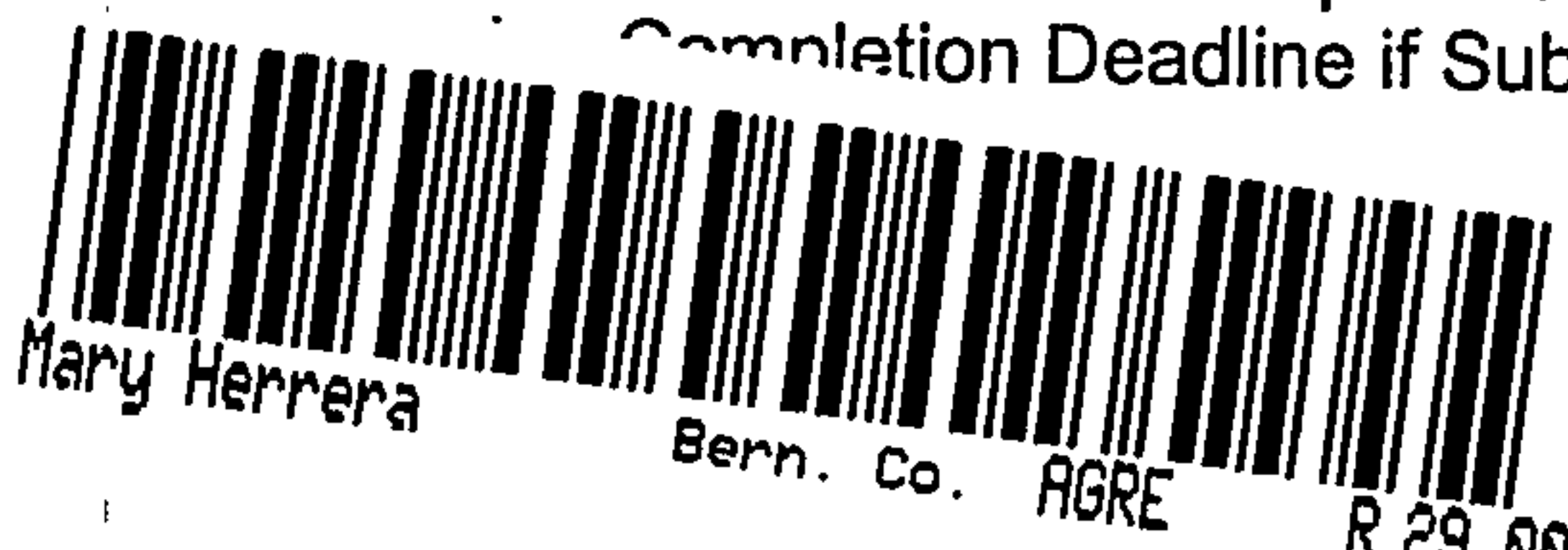
1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [describe:] **LOT 225-A, TOWN OF ATRISCO GRANT AIRPORT ADDT'N**, recorded on DECEMBER 5, 19 44 in the records of the Bernalillo County Clerk at Book D, Folio 118 (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] **J D HOME BUILDER CORPORATION** ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as **MUSTANG MESA** describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private Improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described in Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 25TH day of JUNE, 2005 ("Construction Completion Deadline"), at no cost to the City. The improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 7388.82.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board (DRB), unless the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of _____ Completion Deadline if Subdivider shows adequate reason for the extension.



2004102372
6115866
Page: 1 of 11
07/22/2004 03:30P
Bk-A81 Pg-2110

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / ENVIRONMENTAL HEALTH INFORMATION FORM

APPLICANT: TIERRA WEST LLC DATE OF REQUEST: 9/10/04 ZONE ATLAS PAGE(S): J-10

CURRENT:
ZONING R-2

LEGAL DESCRIPTION:
LOT OR TRACT # TRACT 225
BLOCK # _____
SUBDIVISION NAME TOWN OF ATRISCO GRANT AIRPORT UNIT

PARCEL SIZE (AC/SQ. FT.) 4.41 ± AC

REQUESTED CITY ACTION(S):

ANNEXATION [] SECTOR PLAN []
COMP. PLAN [] ZONE CHANGE []
AMENDMENT [] CONDITIONAL USE []

SITE DEVELOPMENT PLAN:
A) SUBDIVISION [] BUILDING PERMIT [X]
B) BUILD'G PURPOSES [X] ACCESS PERMIT []
C) AMENDMENT [] OTHER []

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT []
NEW CONSTRUCTION [X]
EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION:¹
OF UNITS: 34
BUILDING SIZE: ? (sq. ft.)

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE Karen Keime DATE 9/10/04
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [X] BORDERLINE []
PWD DEVELOPMENT SERVICES & TRANSPORTATION DEVELOPMENT DIV. PLAZA DEL SOL—2ND FLR 924-3994

THRESHOLDS MET? YES [] NO [X]
MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: []

NOTES: _____

IF A TIS IS REQUIRED: A SCOPING MEETING (AS OUTLINED IN THE DEVELOPMENT PROCESS MANUAL) MUST BE HELD TO DEFINE THE LEVEL OF ANALYSIS NEEDED AND THE PARAMETERS OF THE STUDY. **ANY SUBSEQUENT CHANGES TO THE DEVELOPMENT PROPOSAL IDENTIFIED ABOVE MAY REQUIRE AN UPDATE OR NEW TIS.**

Tommy [Signature]
TRAFFIC ENGINEER

9-10-04
DATE

Per letter dated August 7, 2003 from the Director of the Environmental Health Department to the Director of the Planning Department, "all 5 CO monitors within Bernalillo County are yielding 8-hour average CO levels at less than 50% of the Federal CO standard ..." and "based on our review of the available scientific data, we do not foresee a circumstance where preparation of a detailed air quality study for a land use development will be warranted – regardless of the project size, location or traffic generated."

REQUIRED TIS MUST BE COMPLETED PRIOR TO APPLYING TO THE EPC. ARRANGEMENTS MUST BE MADE PRIOR TO SUBMITAL IF A VARIANCE TO THIS PROCEDURE IS REQUESTED AND NOTED ON THIS FORM, OTHERWISE THE APPLICATION MAY NOT BE ACCEPTED OR DEFERRED IF THE ARRANGEMENTS ARE NOT COMPLIED WITH.

TIS -SUBMITTED / /
-FINALIZED / /

TRAFFIC ENGINEER _____

DATE _____

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
 Development & Building Services

PAID RECEIPT

APPLICANT NAME JD Home
 AGENT Tierra West
 ADDRESS 8509 Jefferson NE
 PROJECT & APP # 1001926/04DRB01393, 01394
 PROJECT NAME Town of Atrisco/Mustang Mesa

\$ 20.00 441032/3424000 Conflict Management Fee
 \$ 1170.00 441006/4983000 DRB Actions
 \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
 \$ 75.00 441018/4971000 Public Notification
 \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study

\$ 1265.00 TOTAL AMOUNT DUE

*****NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

City of Albuquerque
 Treasury Division

9/10/2004
 RECEIPT# 00029035 WSH 006
 ACCOUNT# 441032
 ACTIVITY# 4983000
 TRANS AMT \$1,265.00
 TRSEJA
 City of Albuquerque
 Treasury Division

9/10/2004 11:26AM LOC: ANNX
 RECEIPT# 00029035 WSH 006 TRANS# 0022
 Activity 4983000 TRSEJA 1376
 TR BANK OF AMERICA, N.A. \$1,265.00
 J24 ALBUQUERQUE, NM \$1,170.00
 95-32/1070
 9/9/2004
 Thank You

PAY TO THE ORDER OF
 One Thousand Two Hundred Sixty-Five and 00/100
 City of Albuquerque
 LOC: ANNX
 TRANS# 0022
 TRSEJA
 City of Albuquerque

DUPLICATE
 City of Albuquerque
 Treasury Division

9/10/2004 11:25AM LOC: ANNX
 RECEIPT# 00029034 WSH 006 TRANS# 0022
 Account 441032 Fund 0110
 Activity 3424000 TRSEJA
 Trans Amt \$1,265.00
 J24 Misc \$20.00

SIGN POSTING REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property, which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproofed signs will be provided at the time of application. If the application is mailed, you must still stop at the Planning Division to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Planning Division at a charge of \$3.00 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be two to seven feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign in order to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs maybe required on unpaved street frontages.
- B. If the land does not abut a public street, then in addition to a sign placed on the property a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from 9.21.04 To 10.06.04.

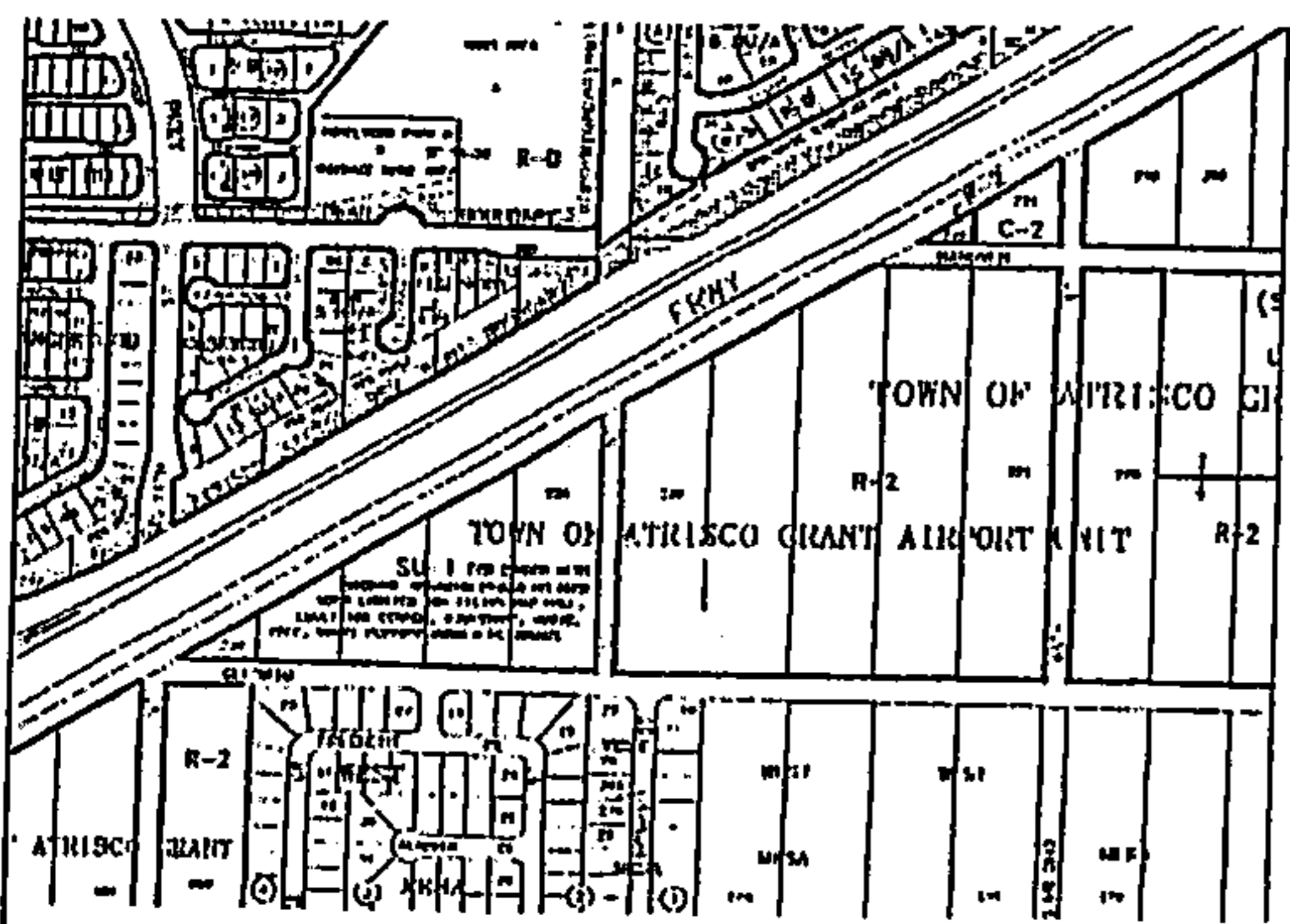
5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

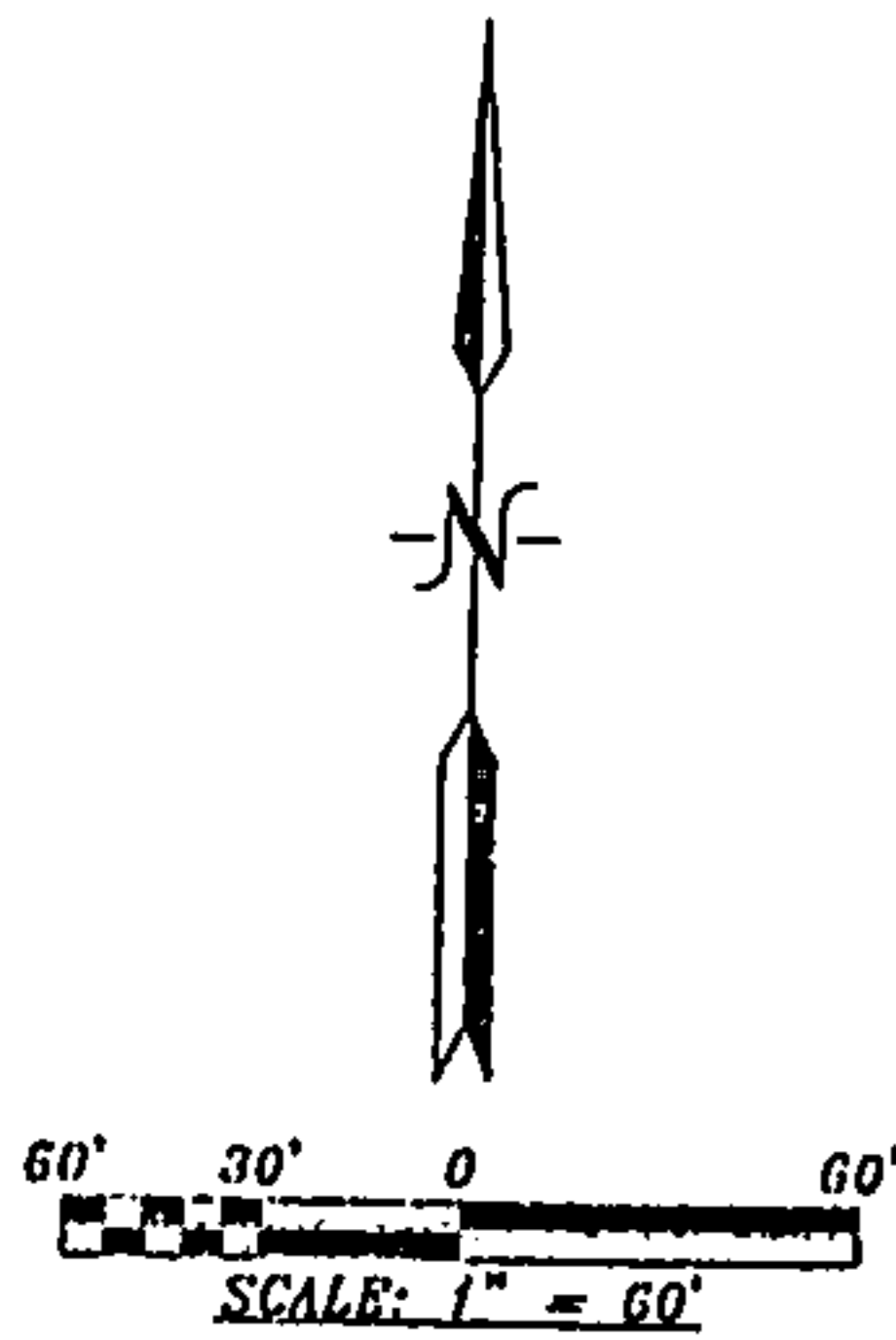
I have read this sheet and discussed it with the Planning Division staff. I understand (A) my obligation to keep the sign(s) posted for fifteen (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Karen Kline, _____
(Applicant or Agent) (Date)

I issued 2 signs for this application, 9-10-04, Bethie Lovel
(Date) (Staff Member)



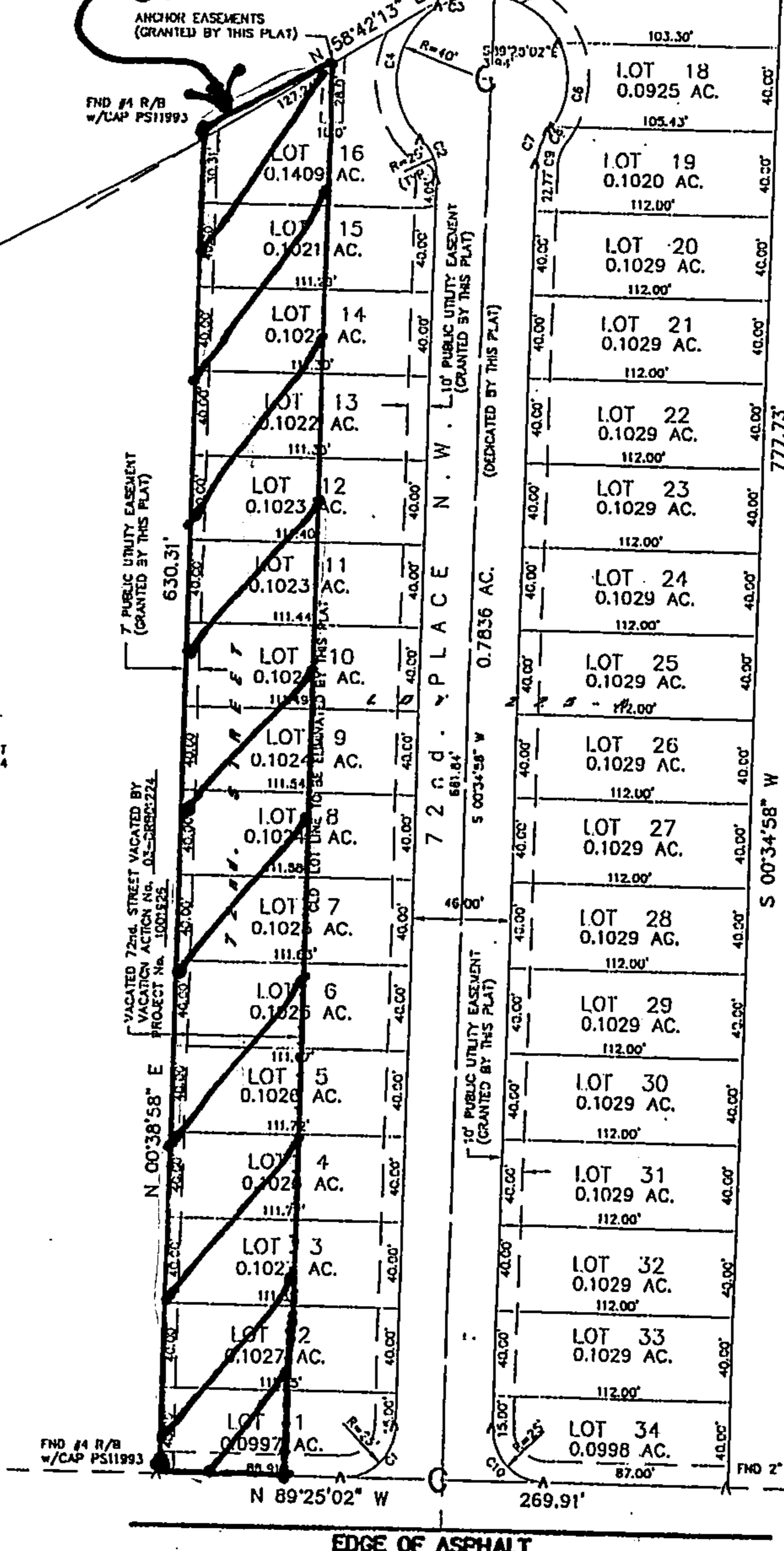
VICINITY MAP No. J-10



ACS STATION "1-40-21A"
 X=354,594.87
 Y=1,488,789.30
 GRD TO GRD=0.9996747
 Δc = -00° 16' 46"
 CENTRAL ZONE, NAD 1927

TRACT 226
 TOWN OF ATRISCO GRANT
 FILED: DECEMBER 5, 1944
 VOLUME D, FOLIO 118

**VACATED
 PUBLIC R.O.W.
 (72 ND ST.)**



ACS STATION "6-J10"
 X=360,389.13
 Y=1492117.53
 GRD TO GRD=0.99967760
 Δc = -00° 16' 06"
 CENTRAL ZONE, NAD 1927

**FINAL PLAT
 MUSTANG MESA SUBDIVISION**

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 E
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2004

CURVE	RADIUS	DELTA	ARC	BEARING
C1	25.00	90°00'00"	39.27	N 45°34'58" E
C2	25.00	47°19'44"	20.65	N 23°04'54" W
C3	40.00	28°18'53"	184.50	N 85°23'40" E
C4	40.00	105°26'39"	73.62	N 05°38'43" E
C5	40.00	84°53'04"	56.24	S 73°51'15" E
C6	40.00	60°05'38"	41.95	S 03°38'06" W
C7	25.00	36°37'09"	16.12	S 19°03'32" W
C8	40.00	03°51'11"	2.69	S 35°36'31" W
C9	25.00	16°48'47"	7.34	S 08°59'21" W
C10	25.00	80°00'00"	39.27	S 44°25'02" E

NOTES:

- UNLESS OTHERWISE NOTED ALL BOUNDARY CORNER SHOWN THUS O SHALL BE MARKED BY No. 4 WITH CAP STAMPED PS 11463.
- STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS + WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED "CITY CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB, PS11463.
- BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SHOWN.
- BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- ALL DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF MONUMENTATION.

TRACT 224
 TOWN OF ATRISCO GRANT
 FILED: DECEMBER 5, 1944
 VOLUME D, FOLIO 118

EXHIBIT B
 Date 9/29/04

ORIGINAL

AMENDED INFRASTRUCTURE LIST

Make

Claire

Date Submitted: 3/24/04

Date Site Plan Approved: N/A

Date Preliminary Plat Approved: 8-20-03

Date Preliminary Plat Expires: 8-20-04

DRB Project No. 1061926

DRB Application No. 04-00329

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

Revisions

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

MUSTANG MESA SUBDIVISION

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LOT 225-A TOWN OF ATRISCO GRANT AIRPORT ADDITION

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		10"	WATER MAIN	72ND PLACE NW	GLENBIO ROAD NW	NE CORNER LOT 17 AT I-40 R.O.W	1	1	1
		8"	SANITARY SEWER MAIN	72ND PLACE NW	GLENBIO ROAD	END OF 72ND PL. AT I-40 R.O.W.	1	1	1
		8"	SANITARY SEWER MAIN	GLENBIO ROAD NW	72ND PLACE	WEST EDGE OF TRACT 225-A	1	1	1
		28' FACE TO FACE	RESIDENTIAL ASPHALT STREET (24' WIDE ASPHALT)	72ND PLACE NW	GLENBIO ROAD NW	END OF 72ND PL NW AT I-40	1	1	1
		4"	ESTATE MOUNTABLE CURB (ROLLOVER CURB)	72ND PLACE NW BOTH SIDES	GLENBIO ROAD NW	END OF 72ND PL NW AT I-40 R.O.W	1	1	1
		4'	PCC SIDEWALK BOTH SIDES (NOT INCLUDING TRUCK SHOULD)	72ND PLACE NW	GLENBIO ROAD NW	END OF 72ND PL NW AT I-40 R.O.W.	1	1	1
		24'	PERMANENT RESIDENTIAL ASPHALT N. SIDE OF STREET ON GLENBIO ROAD ON MUSTANG MESA FRONTAGE	GLENBIO ROAD NW	(EAST EDGE OF MUSTANG	(WEST EDGE OF MUSTANG MESA FRONTAGE)	1	1	1
		8"	STANDARD PCC CURB AND GUTTER	NORTH SIDE OF GLENBIO ROAD NW	(EAST EDGE OF MUSTANG	(WEST EDGE OF MUSTANG MESA FRONTAGE)	1	1	1
		4'	PCC SIDEWALK	NORTH SIDE OF GLENBIO ROAD NW	(EAST EDGE OF MUSTANG	(WEST EDGE OF MUSTANG MESA FRONTAGE)	1	1	1

MUSKOGEE ORIGINAL

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
							/	/	/
							/	/	/
							/	/	/
							/	/	/

NOTES

1 _____

2 _____

3 _____

AGENT / OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Ben Platania
 NAME (print)

Sharon Minton 3/24/04 DRB CHAIR - date
Christina Sandoval 3/24/04 PARKS & GENERAL SERVICES - date

FIRM
Ben Platania
 SIGNATURE - date

Shelley 3-24-04 TRANSPORTATION DEVELOPMENT - date
Robert Green 3/24/04 UTILITY DEVELOPMENT - date
Richard 3-24-04 CITY ENGINEER - date

 AMAFCA - date
 _____ - date
 _____ - date

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form		Supplemental form	
SUBDIVISION	S	ZONING & PLANNING	Z
<input checked="" type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation	
<input checked="" type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal	
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)	
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)	
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan	
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)	
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L		
		APPEAL / PROTEST of...	A
		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Ben Platania PHONE: 505-899-9627
 ADDRESS: 5712 MORGAN LN NW FAX: _____
 CITY: Albuq. STATE NM ZIP 87120 E-MAIL: plateaubp@msn.com
 Proprietary interest in site: OWNER
 AGENT (if any): Jeff DORWART PHONE: 505-235-8298
 ADDRESS: 2023 Cielo Oeste Pl. NW FAX: 505-831-5690
 CITY: Albuquerque STATE NM ZIP 87122 E-MAIL: jdorwart@comcast.net

DESCRIPTION OF REQUEST: Amended Preliminary Plat Approval (w/ minor revisions)
And Amended Infrastructure Structure List & Amended Grading Plan
 Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 225 Block: _____ Unit: _____
 Subdiv. / Addn. Town of ATRISCO GRANT Airport Unit
 Current Zoning: R-2 Proposed zoning: _____
 Zone Atlas page(s): J-10-2 No. of existing lots: 1 No. of proposed lots: 34
 Total area of site (acres): 4.4101 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No
 UPC No. 1 010 658 271 403 10401 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: Glen Rio Rd NW
 Between: 72nd St. NW and 78th St NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):
PROJ #100069/02 DRB-00568 PROJ #1001926/02 DRB-00673 03 DRB-01224/01225/ 01475

Check-off if project was previously reviewed by Sketch Plat/Plan or Pre-application Review: Team . Date of review: March 9, 2004

SIGNATURE Ben Platania DATE March 9, 2004
 (Print) BEN Platania Jeff DORWART (Agent) Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>04DRB - 00329</u>	<u>APP</u>	<u>5(3)</u>	<u>\$ 50⁰⁰</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>conf. mgmt fee</u>	_____	<u>\$ 20⁰⁰</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>MARCH 24, 2004</u>	_____	_____	Total <u>\$ 70⁰⁰</u>
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____

Ben Platania 3/9/04
 Planner signature / date

Project # 1001926

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the Official D.R.B. Notice of approval
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application
- Infrastructure list if required (verify with DRB Engineer) **NO INTERNAL ROUTING**
- DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ben Platania

Applicant name (print)

Ben Platania

3-9-04

Applicant signature / date



Form revised 10/03

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers

04 DRB - - 00329

Bobbert 3/9/04

Planner signature / date

Project # 1001926

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME BEN PLATANIA
 AGENT JEFF DORWART
 ADDRESS 2028 CIELD OESTE PL NW 87122
 PROJECT & APP # 1001926 / 04DRB-00329
 PROJECT NAME MUSTANG MESA

\$ 20⁰⁰ 469099/4916000 Conflict Management Fee
 \$ 50⁰⁰ 441006/4983000 DRB Actions
 \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
 \$ _____ 441018/4971000 Public Notification
 \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
 \$ 70⁰⁰ TOTAL AMOUNT DUE

*****NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

03/09/2004 4:05PM
 RECEIPT# 00020065 WSH# 006 TRANS# 0039
 Account 441006 Fund 0110
 Activity 4983000 TRSCCS
 Trans Amt \$70.00
 J24 Misc \$50.00
 MC \$70.00
 CHANGE \$0.00
 Counter Receipt doc 12/29/03
 City Of Albuquerque
 Treasury Division

*****DUPLICATE*****
 City Of Albuquerque
 Treasury Division

03/09/2004 4:05PM LOC: ANNX
 RECEIPT# 00020064 WSH# 006 TRANS# 0039
 Account 469099 Fund 0110
 Activity 4916000 TRSCCS
 Trans Amt \$70.00
 J24 Misc \$20.00

Thank You

Thank You

March 8, 2004

City of Albuquerque Design Review Board (DRB)
Sheran Matson, DRB Chairperson
600 Second St. NW
Albuquerque, NM 87103

**RE: Mustang Mesa Preliminary Plat Amendment; 1001926/02 DRB-00673,
100069/02DRB-00568, 03DRB-01224/01225/01475**

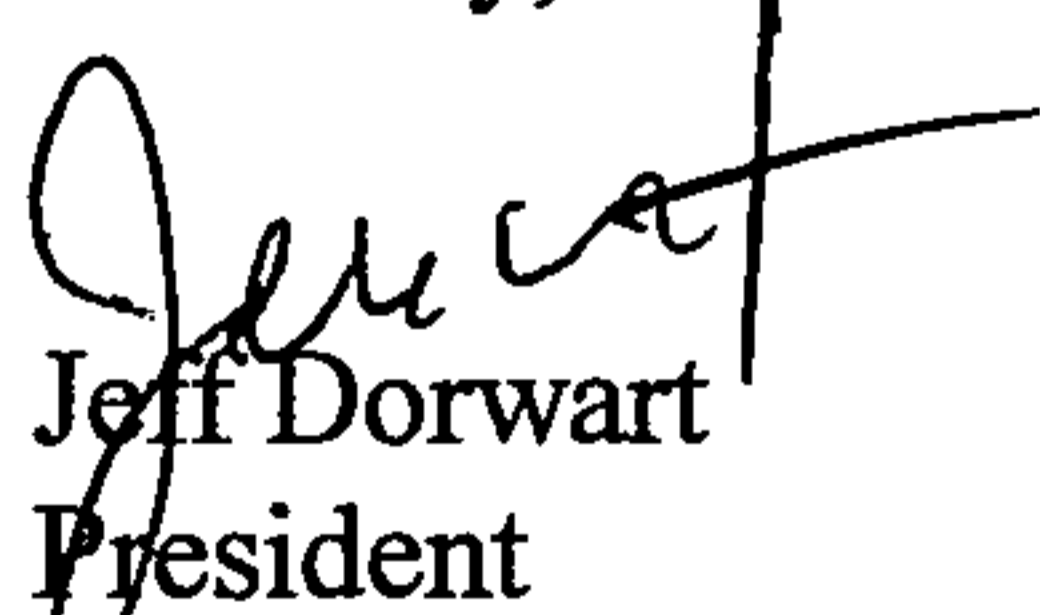
Dear Ms. Matson:

This letter accompanies a submittal to the DRB for the Amendments to the Preliminary Plat, Infrastructure List, and Grading Plan (all with minor changes). Also included is a notification to the adjacent neighborhood associations of the proposed changes to the approved preliminary plat. I had sent out the notifications before speaking with you in February of the proper submittal to DRB. Although the neighborhood notification is not required, they have been notified and I have spoken to two of the members who called me with questions.

The changes to the Mustang Mesa preliminary plat consist of moving interior property lines within the subdivision resulting in thirty-four (34) lots with forty – foot (40') widths. This configuration replaces the current thirty (30) lots with forty-five (45') foot widths. The underlying zoning is R-2 with permissive uses in the R-T zone. The proposed amendment meets all the R-T requirements. The proposed grading plan and infrastructure list amendments mainly results from raising the grade of the project and installing storm drain pipe in Glen Rio Road to carry flows to the existing pipe located to the east in front of the West Mesa Park Apartments.

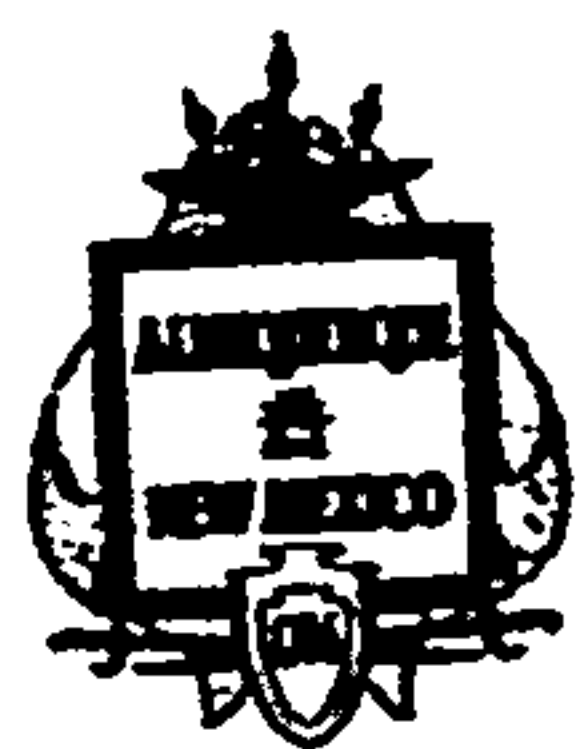
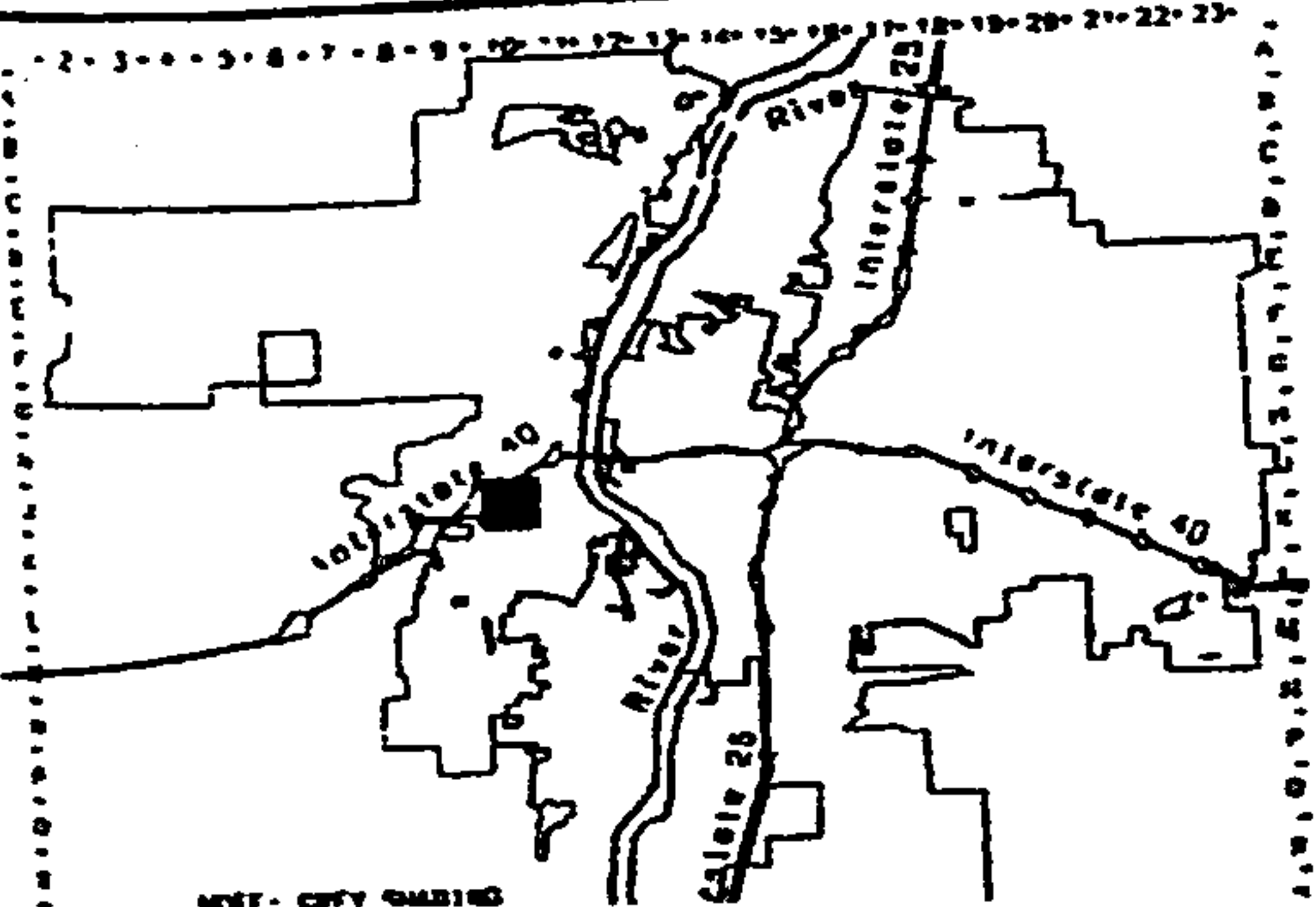
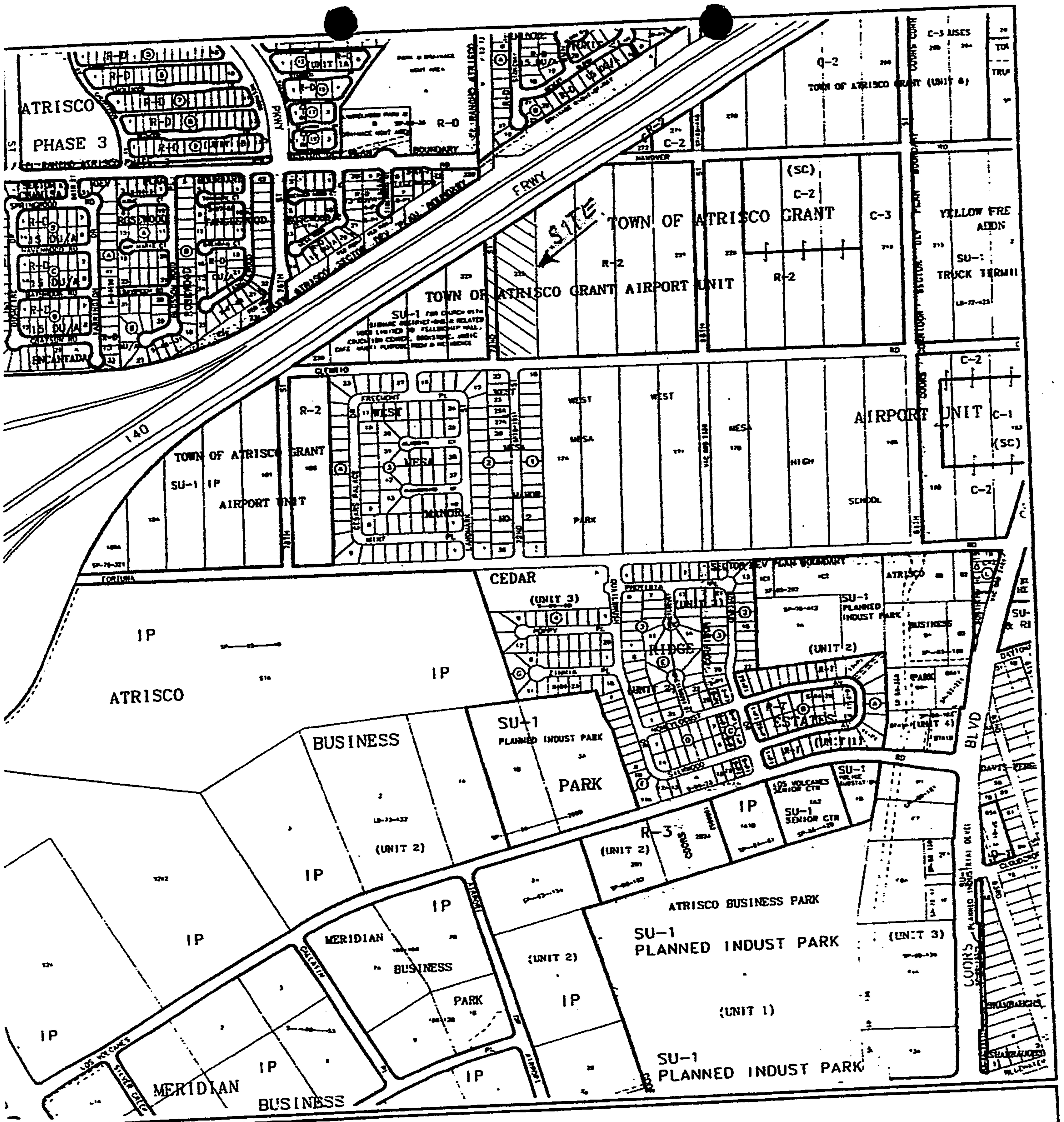
Please feel free to call me with any questions or comments.

Sincerely,

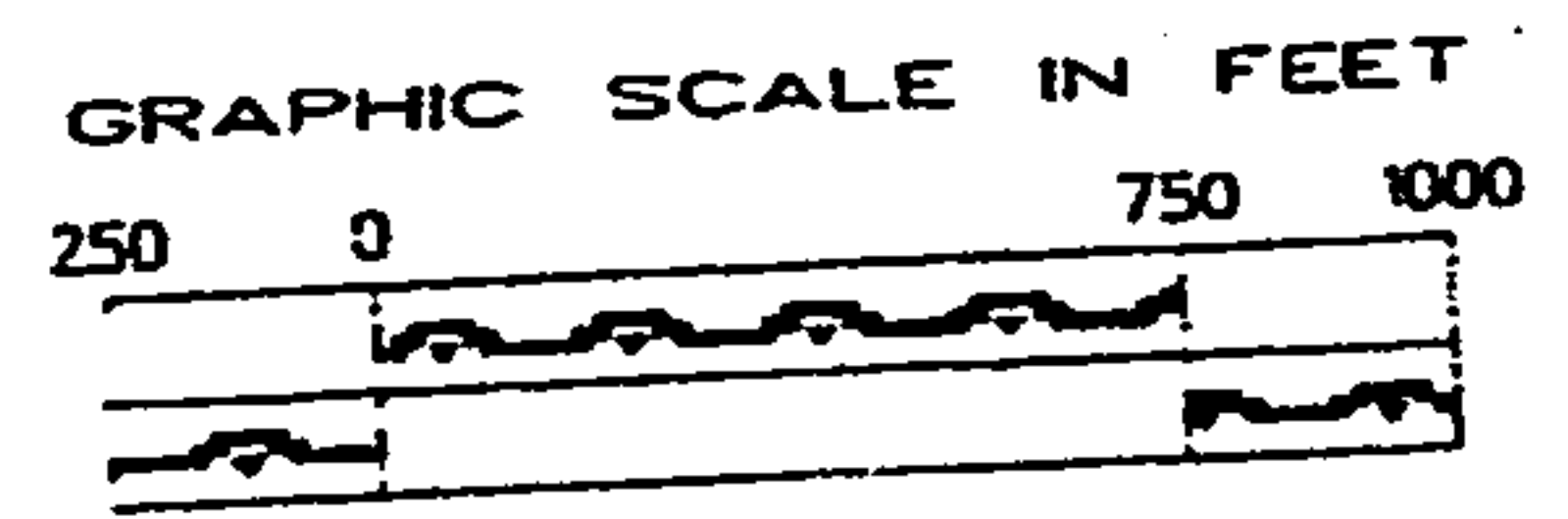


Jeff Dorwart
President

JD Home Builder Corporation



CITY OF Albuquerque
ALBUQUERQUE Geographic Information System
PLANNING DEPARTMENT
 © Copyright 2002



Zone Atlas Page

J-10-Z

Map Amended through April 03, 2002

INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

MUSTANG MESA SUBDIVISION

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LOT 225-A TOWN OF ATRISCO GRANT AIRPORT ADDITION

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the Infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		10"	WATER MAIN	72ND PLACE NW	GLENRIO ROAD NW	NE CORNER LOT 17 AT I-40 R.O.W	1	1	1
		8"	SANITARY SEWER MAIN	72ND PLACE NW	GLENRIO ROAD	END OF 72ND PL. AT I-40 R.O.W.	1	1	1
		8"	SANITARY SEWER MAIN	GLENRIO ROAD NW	72ND PLACE	WEST EDGE OF TRACT 225-A	1	1	1
		28' FACE TO FACE	RESIDENTIAL ASPHALT STREET (24' WIDG ASPHALT)	72ND PLACE NW	GLENRIO ROAD NW	END OF 72ND PL NW AT I-40	1	1	1
		4"	ESTATE MOUNTABLE CURB (POLYURE CURB)	72ND PLACE NW	GLENRIO ROAD NW	END OF 72ND PL NW AT I-40 R.O.W	1	1	1
		4'	PCC SIDEWALK BOTH SIDGS (NOT INCLUDING TURN AROUND)	72ND PLACE NW	GLENRIO ROAD NW	END OF 72ND PL NW AT I-40 R.O.W.	1	1	1
		24'	PERMANENT RESIDENTIAL ASPHALT N. SIDE OF STREET ON GLENRIO ROAD ON MUSTANG MESA FRONTAGE	GLENRIO ROAD NW	(EAST EDGE OF MUSTANG MESA FRONTAGE)	WEST EDGE	1	1	1
		8"	STANDARD PCC CURB AND GUTTER	NORTH SIDE OF GLENRIO ROAD NW	(EAST EDGE OF MUSTANG MESA FRONTAGE)	WEST EDGE	1	1	1
		4'	PCC SIDEWALK	NORTH SIDE OF GLENRIO ROAD NW	(EAST EDGE OF MUSTANG MESA FRONTAGE)	WEST EDGE	1	1	1

1/11/21/11/11/11

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

NOTES

1 _____

2 _____

3 _____

AGENT / OWNER **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

NAME (print)

FIRM

SIGNATURE - date

DRB CHAIR - date

TRANSPORTATION DEVELOPMENT - date

UTILITY DEVELOPMENT - date

CITY ENGINEER - date

PARKS & GENERAL SERVICES - date

AMAFCA - date

 _____ - date

 _____ - date

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

FIGURE 27

CERTIFICATE OF SUBSTANTIAL COMPLIANCE

I, _____ of the firm of _____,
a Registered Professional Engineer in the State of New Mexico, and Project Engineer for the
construction of the following facilities:

_____ (project name),

Project No: _____ Sheets _____

- Including:
- | | |
|---|--|
| <input type="checkbox"/> Storm Drainage | <input type="checkbox"/> Curb and Gutter |
| <input type="checkbox"/> Sanitary Sewer | <input type="checkbox"/> Paving |
| <input type="checkbox"/> Water | <input type="checkbox"/> Other _____ |

as constructed by _____ (Contractor)

under contract to _____ (Developer)

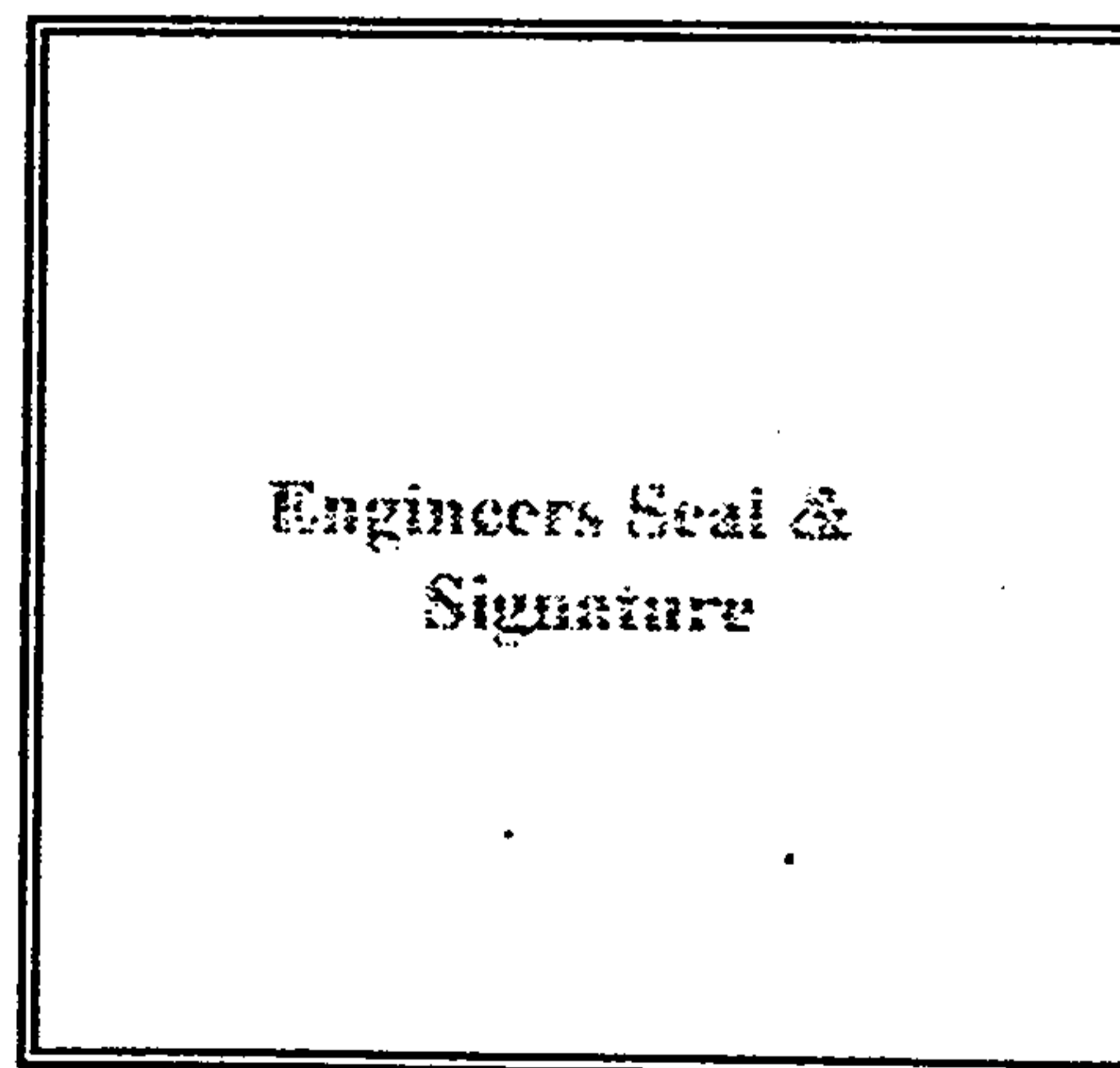
do hereby certify, to the best of my knowledge and belief, that the facilities constructed as part of the project noted above have been inspected by me or by a qualified person under my direct supervision and have been constructed in substantial compliance with the project's construction drawings as approved by the City Engineer and the City of Albuquerque Standard Specifications for Public Works Construction, including all updates.

When checked, the constructed facilities being certified are further defined on the attached Infrastructure List (Figure 12, DRB Project Number _____). Items on the Infrastructure List included in the construction project and part of this certification are identified by my initials in the inspector column. Items on the Infrastructure List not constructed or certified as part of the noted project are either lined out and/or have N/A in the inspector column.

Respectfully Submitted,

Signature Date

- Attachments:
- Potability Test
 - Hydrostatic Test
 - Field Test Reports
 - As Built Drawings
 - Inspection Reports
 - Final Estimate
 - Valve/Fire Hydrant Data Sheets
 - Shop Drawings/Submittal



WORK ORDER DATE: _____ FINAL INSPECTION DATE: _____

INFRASTRUCTURE LIST GUIDE SHEET

A reformatted Infrastructure List has been developed in order to help track multiple Subdivision Improvement Agreements (SIAs) and multiple construction plans connected with a single Infrastructure List, and to help expedite the close out process at the end of a project (see attached revised Figure 12). The center portion of the infrastructure list remains unchanged with the required items being identified by their **SIZE, TYPE OF IMPROVEMENT, LOCATION, FROM, and TO**. The columns added on either side of the core information will not be filled out at or prior to the Development Review Board meeting, but will be utilized by Public Works as a tracking mechanism after the Infrastructure List has been approved. These columns are identified and will be utilized as follows:

SIA Sequence # : The items on an Infrastructure List are often guaranteed under separate SIAs. This column will be used as a means of tracking which SIA each item on the Infrastructure List is associated. If a project requires only a single SIA and financial guaranty, then the SIA Sequence # will be the same for all items on the Infrastructure List. If items on the Infrastructure List are to be financially guaranteed under separate SIA's, then the items associated with each SIA/financial guaranty will have a common, unique SIA Sequence #. An example of this would be a project that has off-site improvements that are to be built at a different time or under a different project than the on-site improvements listed on the same infrastructure list. Codes for SIA Sequence #'s will be as follows:

- B-1 Work to be performed under a standard SIA "Procedure B"
- MB-1 Work to be financially guaranteed under a SIA "Modified B- Non Work Order"
- C-1 Work to be financially guaranteed under a SIA "Procedure C"
- MC-1 Work to be financially guaranteed under an SIA, "Modified C"
- SD-1 Deferred sidewalk under an SIA, "Sidewalk Deferral"
- PNM Work to be coordinated with the Public Service Company of NM
- NMUI Utility work to be coordinated with New Mexico Utilities Inc.

When more than one SIA of the same type exist, the number at the end of each SIA code can be incremented to uniquely identify each separate SIA. This column will need to be filled out for the entire infrastructure list at the time the first Request for Financial Guaranty, or the first DRC Submittal, or the first SIA is submitted. The Developer is encouraged to work with One Stop staff in establishing SIA Sequence #'s for each item on the Infrastructure List to ensure that there is a clear understanding of how the project will progress. Plats and/or Site Plans cannot be signed or accepted for routing until each item on the Infrastructure List has been tied to an active SIA.

City DRC Project #: As projects are sometimes built under separate Work Order, each item on the infrastructure list will need to be associated with a construction plan set and DRC Project number. Establishing which items on the Infrastructure List are to be associated with a given construction project should be accomplished as early as possible so that the City DRC Project # column can be fully completed.

Private Inspector, City Inspector, City Cnst Engineer: Presently as part of the close out package submitted to Construction, the Engineer must supply a letter that confirms that all items on the Infrastructure List have been installed to City Standards as part of the project. Creating and revising the letter has proven to be time consuming process which can delay the issuance of a Letter of Completion and Acceptance. A separate column provided on the revised Infrastructure List allows the inspecting engineer of record to initial off and date each line item on the Infrastructure List as being installed under his supervision with a given project. The engineers Certification of Substantial Compliance (Figure 27) can be modified to include a reference to the revised Infrastructure List eliminating the need for a detailed description of the work performed under the project (see attached revised Figure 27). The City Construction Engineer can then use the certification from the inspecting engineer on the Infrastructure List as an attachment to the Letter of Completion. Once forwarded to the City Engineer, a check of the items built with the project against the items contained within an SIA can then readily be made, expediting the issuance of the Letter of Completion and Acceptance and the release of the SIA.

interoffice
M E M O R A N D U M

to: DEVELOPERS WORKING WITH THE CITY'S SIA PROCESS
from: Fred Aguirre, City Engineer, Public Works Department
subject: NEW INFRASTRUCTURE LIST
date: August 28, 2001

In order to accommodate the changing needs of the development community, the Public Works Department working with representatives from the development and engineering community have created a revised Infrastructure List. The revisions to the list are intended to help track projects and SIAs associated with a given development. Attached is a copy of the new Infrastructure List, a guide sheet explaining the revisions to the Sheet, and a revised Figure 27 (Certificate of Substantial Compliance).

The new Infrastructure List may be used immediately for projects presently being processed through DRB. Use of the new List will be required for all DRB actions after **October 1, 2001**. We anticipate that use of the new Infrastructure List along with the revised tracking procedures will help to eliminate delays and confusion associated with the processing of Work Order Projects.

REVISION	DATE	DWG CHAIN	USER DEPARTMENT	AGENT/OWNER

DESIGN REVIEW COMMITTEE REVISIONS

AGENT/OWNER
 NAME (PRINT)
 Ben P. Taylor
 SIGNATURE - date
 [Signature] 8/20/03
 MAXIMUM TIME ALLOWED TO COMPLETE THE IMPROVEMENTS WITHOUT A ONE YEAR EXPIRATION

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

DWG CHAIN - date
 [Signature] 5-20-03
 TRANSPORTATION DEVELOPMENT - date
 [Signature] 8/20/03
 UTILITY DEVELOPMENT - date
 [Signature] 8/20/03
 CITY ENGINEER - date
 [Signature] 8/20/03

AMFCA - date

 PARKS & GENERAL SERVICES - date

1	SEE ITEM LISTING FOR ENGINEER'S CERT NOT
2	
3	

ORIGINAL

REQ #	
PROJECTS	

Size	Type of Improvement	Location	From	To

Private	
City	
Inspector	
Inspector	
Engineer	
City Const	

Marvin R. Kortum
1603 Speakman Drive, SE
Albuquerque, New Mexico 87123
N. M. P. E. 6519

March 7, 2004

City of Albuquerque
Planning Department
Development and Building Services Division
ATTN: Richard Dourte, City Engineer
P. O. Box 1293
Albuquerque, New Mexico 87103

REFERENCE: Proposed Mustang Mesa Subdivision, located at the intersection of 72nd Street, NW and Glenrio Road, NW, on the north side of Glenrio Road, NW.

Dear Mr. Dourte:

I request your guidance in determining the cost of extension to an 8" sanitary sewer main in Glenrio Road, NW. The extension will be from an existing manhole in Glenrio Road, NW, at the entrance to the Riverglen Apartments, extending to the west edge of the proposed Mustang Mesa Subdivision. The proposed line is shown on the attached zone map # J-10.

The situation is as discussed below:

1. The pro-rata for tracts 223 and 224 is not an issue, these properties are presently vacant, and when developed would be benefitting from the new 8" SAS main, and the pro-rata will be requested.
2. A portion of the 8" SAS main must be constructed from the entrance to the Riverglen Apartments to the west edge of the apartments. This portion was included in Work Order 6423.81, the infrastructure work for the apartments, but apparently not constructed. Jim Pung of your office was checking on this at my request.
3. The south side of Glenrio Road, NW along the line of the new 8" SAS is fully developed, with the West Mesa High School, the West Mesa Park, and the West Mesa Manor subdivision, specifically lots 15 and 23.

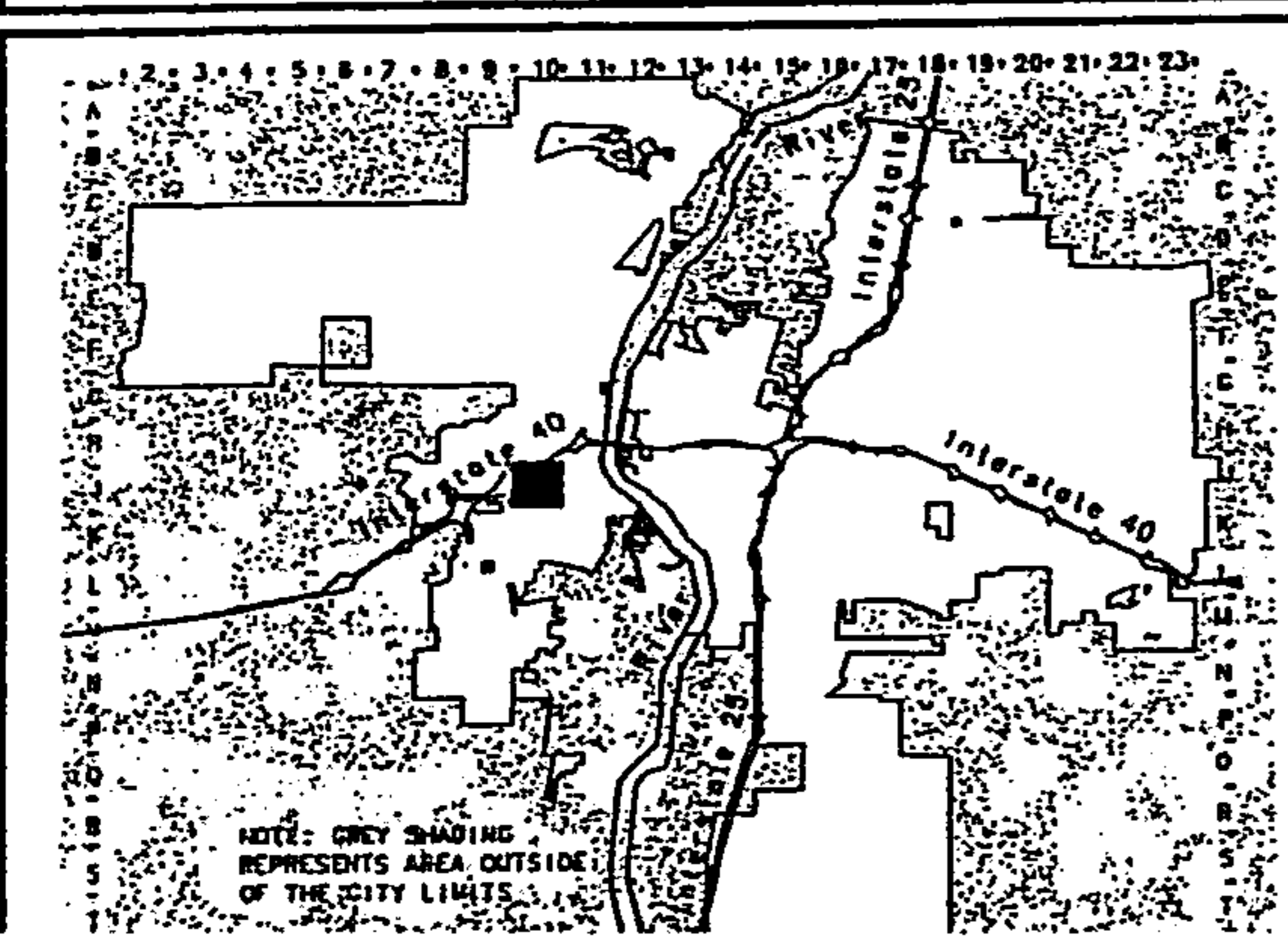
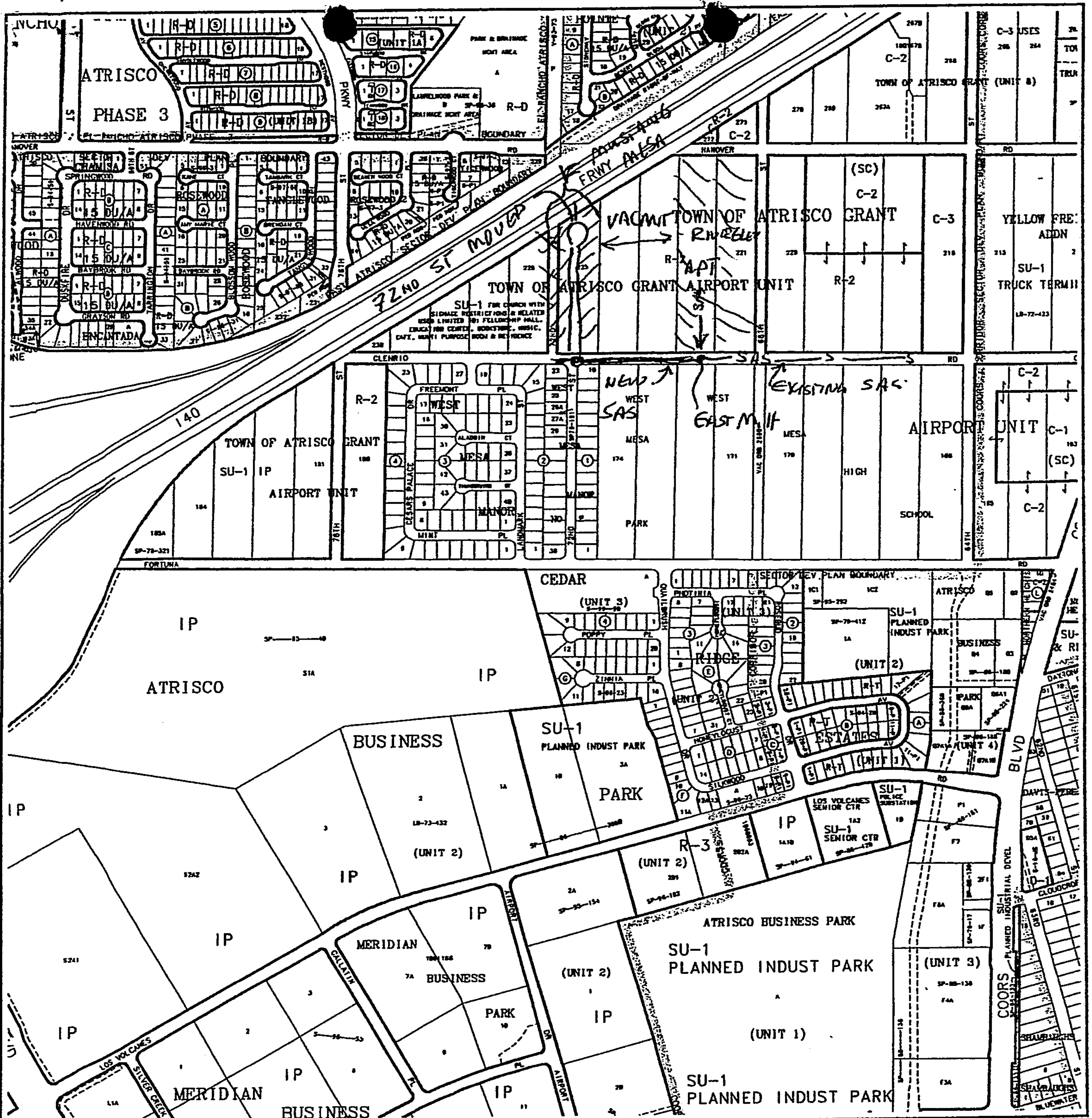
My question is will the cost of the 8" SAS main be shared by the properties on the south of Glenrio Road, NW, and will the cost of the 8" SAS main along the Glenrio Road, NW frontage of the Riverglen Apartments be paid by the Riverglen Apartment owner?

I appreciate your assistance on these questions.

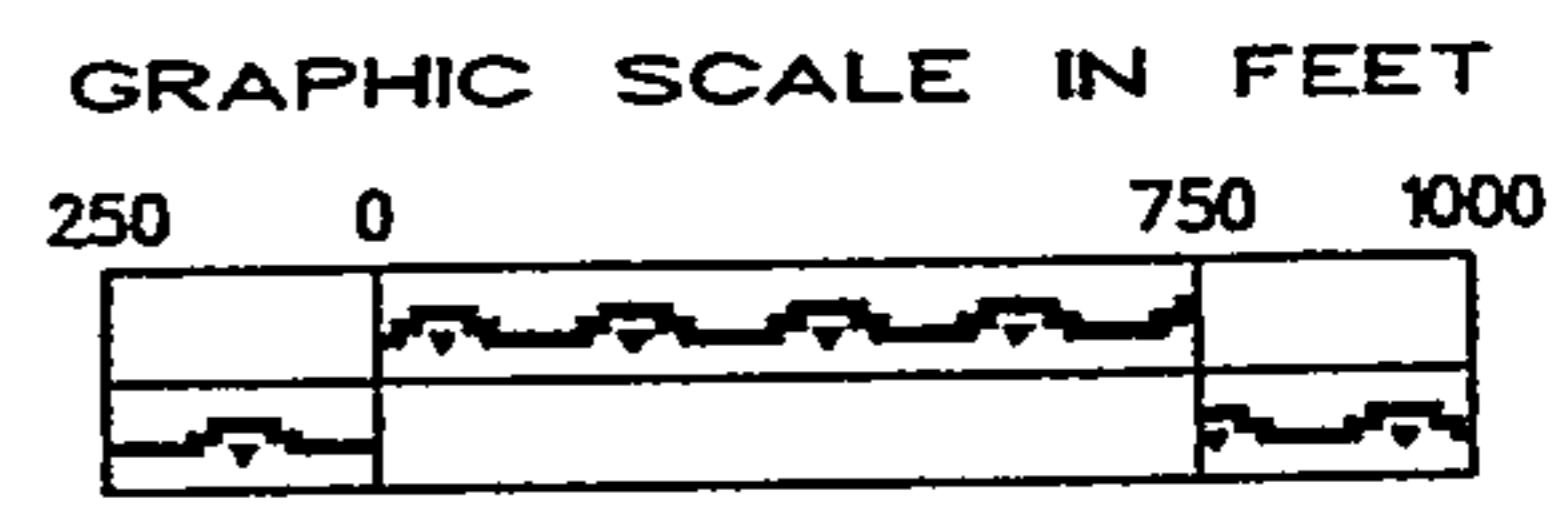
Sincerely,

Marvin R. Kortum

CC: LEFF DORWARD



CITY OF
Albuquerque
Albuquerque Geographic Information System
PLANNING DEPARTMENT
© Copyright 2003



Zone Atlas Page
J-10-Z
Map Amended through January 21, 2003

January 3, 2004

Ms. Nancy Treviso
Laurelwood Neighborhood Association
7812 Sherwood Dr. NW
Albuquerque, NM 87120

RE: Mustang Mesa Preliminary Plat Amendment

Dear Ms. Treviso:

I am writing to you to introduce myself and notify you and your association of a new neighborhood JD Home would like to build at the corner of Glen Rio and 72nd St NW. The name of this subdivision is Mustang Mesa, and it has received preliminary plat from the City of Albuquerque Design Review Board (DRB). Current zoning on the property is R-2, which also allows for R-T townhouse zoning.

JD Home currently has the property under contract for purchase with the owner, Ben Platania and his partners (Mr. Platania's signature is included with this letter). JD Home proposes to change the lot layout from 45-foot wide lots to 40-foot wide lots through the preliminary platting process at the City of Albuquerque DRB. This is the same lot dimension that JD Home is currently building on at Cielo Oeste located on the northwest corner of Ladera and Unser Blvd. Please feel free to visit this community including the model homes for a good example of what JD Home proposes to build at the Mustang Mesa project.

I would be happy to meet with you to discuss Mustang Mesa in detail. My telephone numbers are 235-8298 and 771-1074.

Sincerely,

Jeff Dorwart
President
JD Home

Ben Platania
Mustang Mesa Property Owner

SENDER: COMPLETE THIS SECTION

Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits.

Article Addressed to:

Sally Breeden
PO Box 91073
Albuquerque, NM
87199-1073

Article Number

(Transfer from service label)

7002 3150 0000 7536 1756

Form 3811, August 2001

Domestic Return Receipt

102595-02-M-1540

SENDER: COMPLETE THIS SECTION

Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits.

Article Addressed to:

Lancy Treviso
812 Sherwood Dr. NW
Albuquerque, NM 87120

Article Number

(Transfer from service label)

7002 3150 0000 7536 1787

Form 3811, August 2001

Domestic Return Receipt

102595-02-M-1540

SENDER: COMPLETE THIS SECTION

Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits.

Article Addressed to:

Steve Tardy
424 Lynwood Dr. NW
Albuquerque, NM 87120

Article Number

(Transfer from service label)

7002 3150 0000 7536 1732

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X *James F. Breeden*

Agent

Addressee

B. Received by (Printed Name)

JAMES F. BREEDEN

C. Date of Delivery

01/29/04

D. Is delivery address different from item 1?

Yes

No

If YES, enter delivery address below:

3. Service Type

Certified Mail

Express Mail

Registered

Return Receipt for Merchandise

Insured Mail

C.O.D.

4. Restricted Delivery? (Extra Fee)

Yes

PLACE STICKER AT TOP OF ENVELOPE TO THE RIGHT OF THE RETURN ADDRESS, FOLD AT DOTTED LINE

SENDER: COMPLETE THIS SECTION

Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits.

Article Addressed to:

Lancy Treviso
812 Sherwood Dr. NW
Albuquerque, NM 87120

Article Number

(Transfer from service label)

7002 3150 0000 7536 1787

Form 3811, August 2001

Domestic Return Receipt

102595-02-M-1540

SENDER: COMPLETE THIS SECTION

Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired. Print your name and address on the reverse so that we can return the card to you. Attach this card to the back of the mailpiece, or on the front if space permits.

Article Addressed to:

Steve Tardy
424 Lynwood Dr. NW
Albuquerque, NM 87120

Article Number

(Transfer from service label)

7002 3150 0000 7536 1732

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X *Steve Tardy*

Agent

Addressee

B. Received by (Printed Name)

STEVE TARDY

C. Date of Delivery

D. Is delivery address different from item 1?

Yes

No

If YES, enter delivery address below:

3. Service Type

Certified Mail

Express Mail

Registered

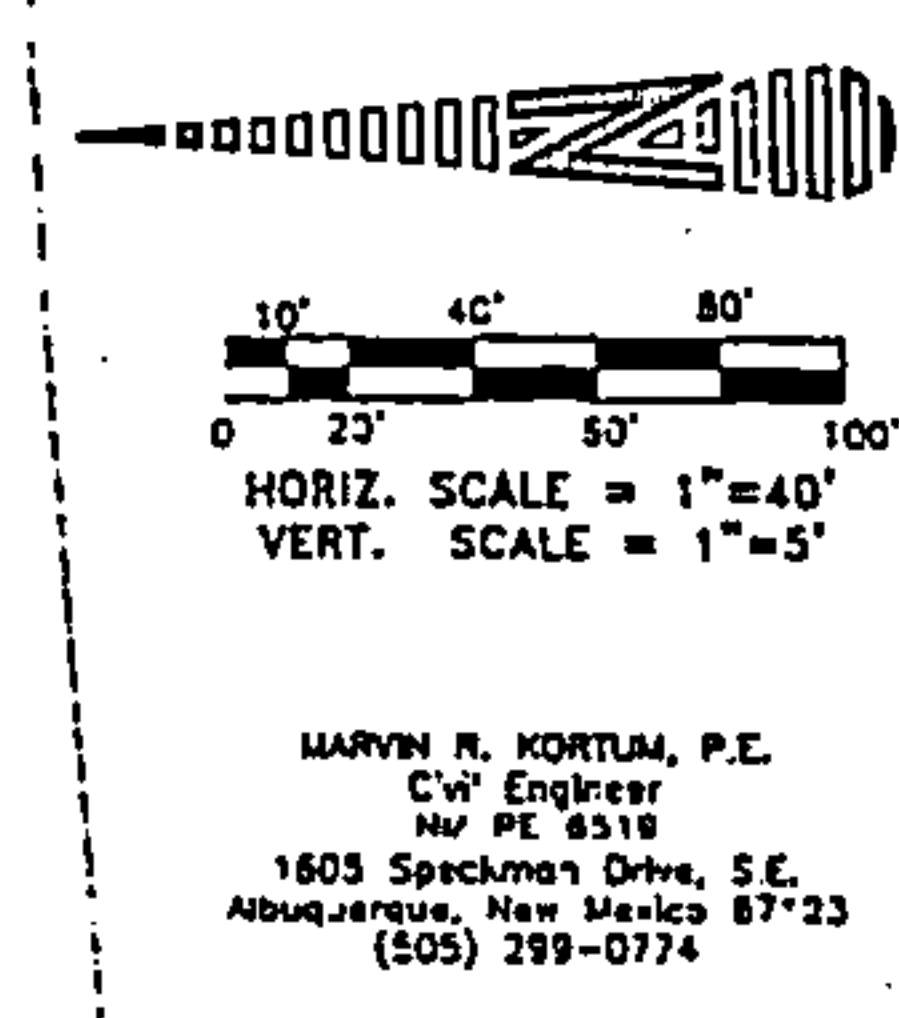
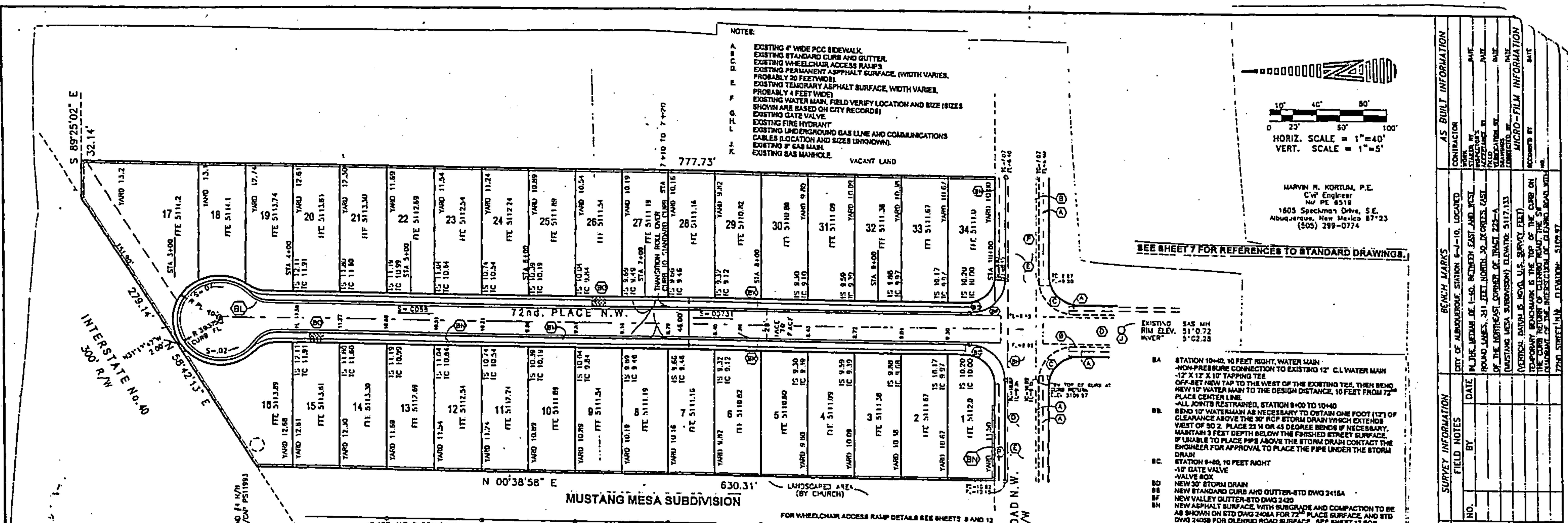
Return Receipt for Merchandise

Insured Mail

C.O.D.

4. Restricted Delivery? (Extra Fee)

Yes

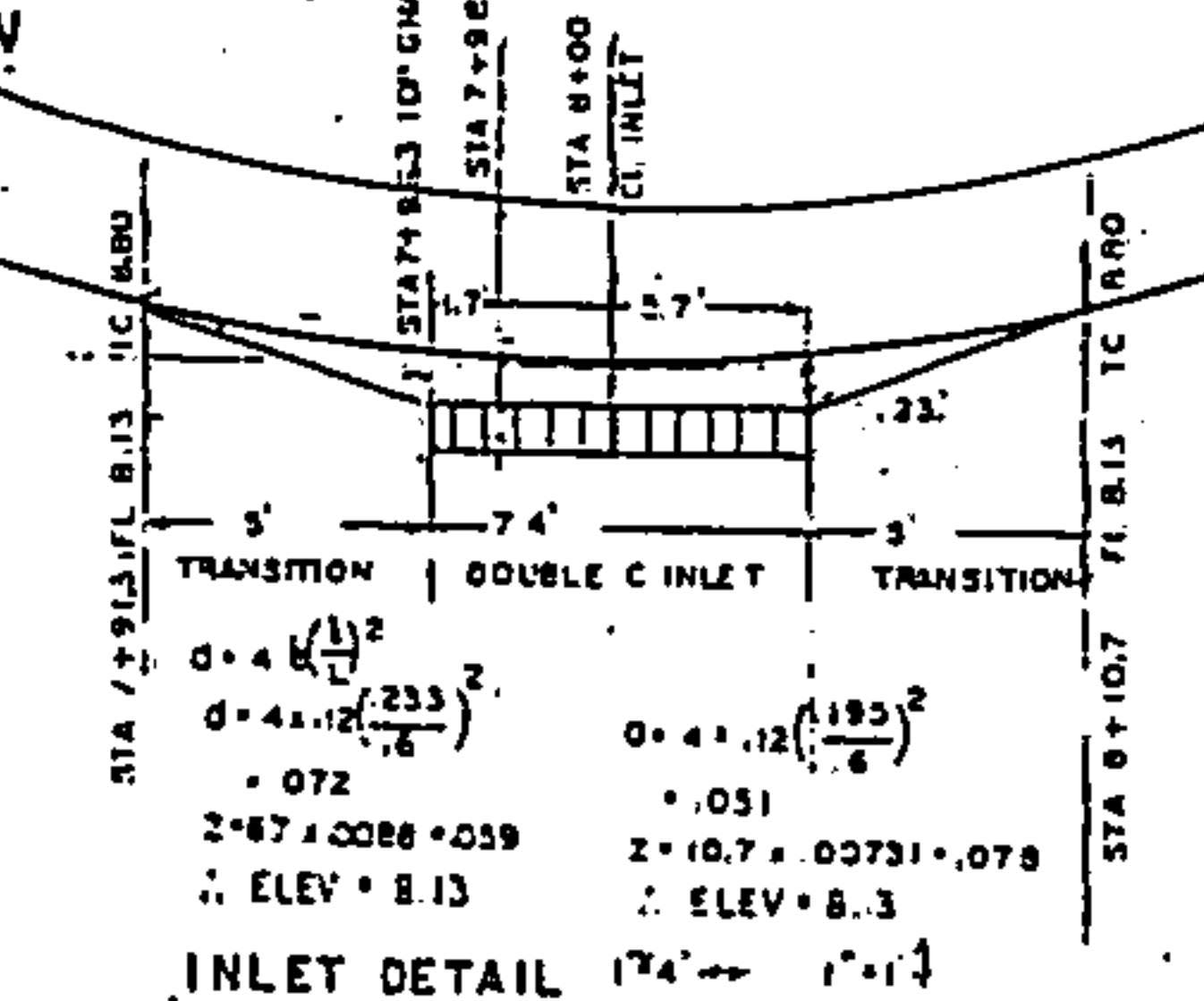
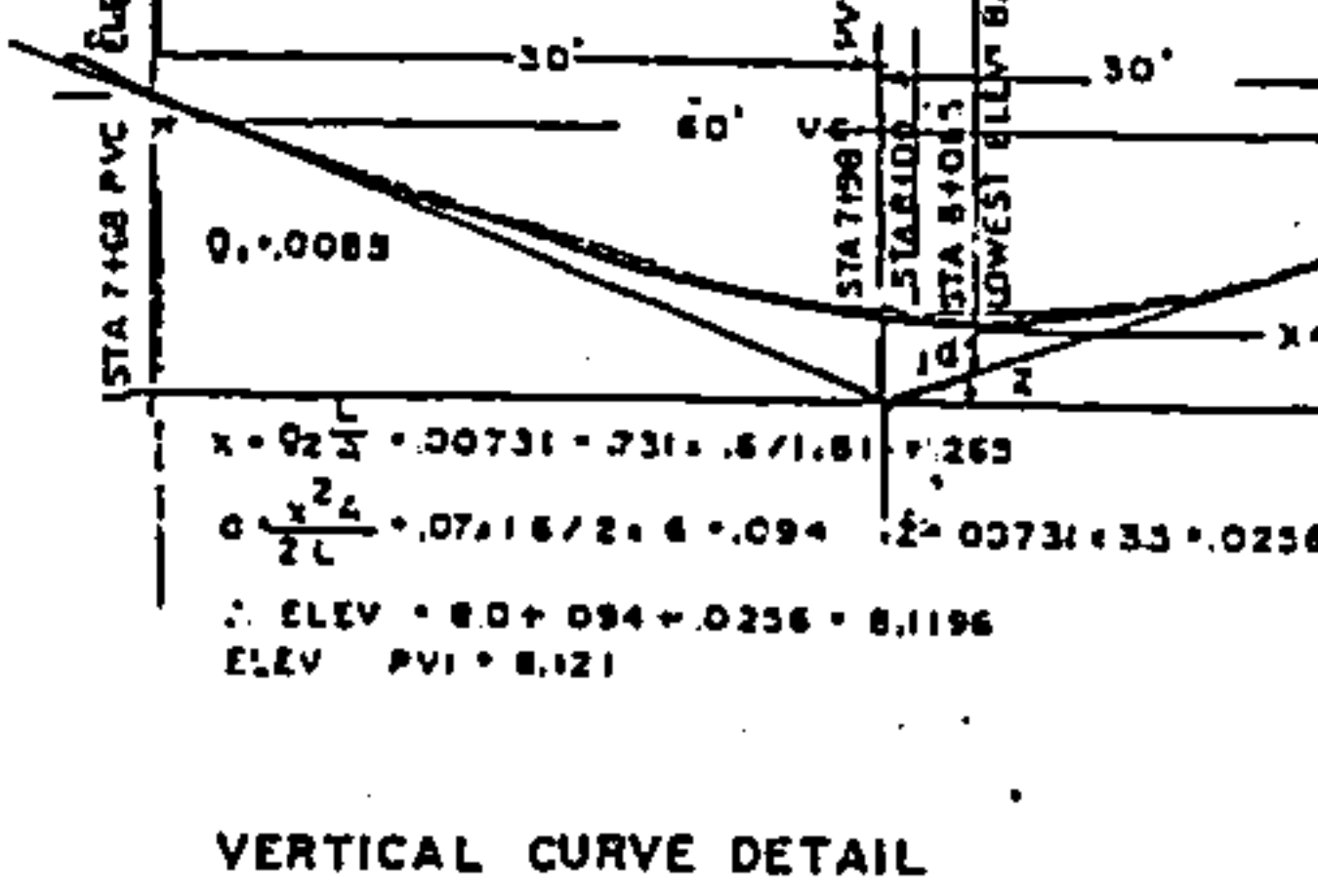
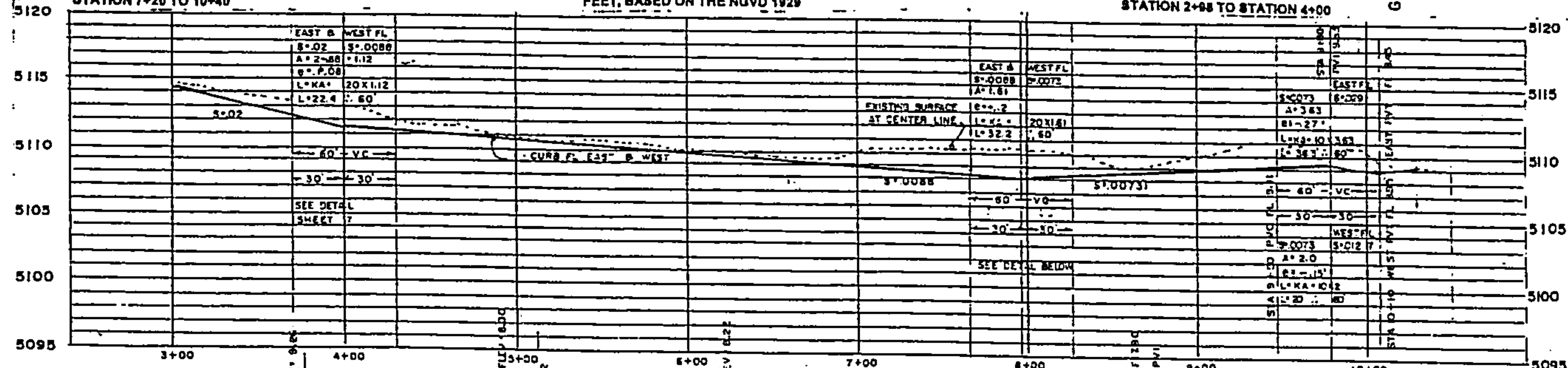


STATIONS ARE BASED ON 72ND PLACE STREET CENTERLINE FROM NORTH TO SOUTH, WITH STATION 10+00 BEING EVEN WITH THE NORTH RIGHT-OF-WAY OF GLENRIO ROAD (STATION 10+00 IS THE INTERSECTION OF GLENRIO ROAD CENTERLINE AND 72ND PLACE CENTERLINE).
SEE SHEET 7 FOR STREET, STORM DRAIN AND UTILITIES DETAILS STATION 7+20 TO 10+40

ELEVATIONS ARE EXPRESSED IN UNITED STATES SURVEY FEET, BASED ON THE NOV 1929

SEE SHEET 10 AND 12 FOR DETAILS ON GLENRIO ROAD CONSTRUCTION

SEE SHEET 7 FOR STREET DETAILS, STATION 2+68 TO STATION 4+00



- BA STATION 10+40, 10 FEET RIGHT, WATER MAIN NON-PRESSURE CONNECTION TO EXISTING 12" C.I. WATER MAIN. 12" X 12" X 10' TAPPING TEE. 4" SET NEW TAPPING TO THE WEST OF THE EXISTING TEE, THEN BEND NEW 12" WATER MAIN TO THE DESIGN DISTANCE, 10 FEET FROM 72ND PLACE CENTERLINE.
- BB ALL JOINTS RESTRAINED, STATION 8+00 TO 10+40. 10' SET NEW TAPPING AS NECESSARY TO OBTAIN ONE FOOT (12") OF CLEARANCE ABOVE THE 30" RCP STORM DRAIN WHICH EXTENDS WEST OF 72ND PLACE 22 1/2' OR 45 DEGREE BENDS IF NECESSARY. MAINTAIN 3 FEET DEPTH BELOW THE FINISHED STREET SURFACE. IF UNABLE TO PLACE PIPES ABOVE THE STORM DRAIN CONTACT THE ENGINEER FOR APPROVAL TO PLACE THE PIPE UNDER THE STORM DRAIN.
- BC STATION 8+00, 10 FEET RIGHT. 10" DATE VALVE. 10" DATE VALVE. VALVE BOX.
- BD NEW 30" STORM DRAIN.
- BE NEW STANDARD CURB AND GUTTER-STD DWG 2415A.
- BF NEW VALLEY GUTTER-STD DWG 2420.
- BG NEW ASPHALT SURFACE WITH SUBGRADE AND COMPACTION TO BE AS SHOWN ON STD DWG 2405A FOR 72ND PLACE SURFACE, AND STD DWG 2405B FOR GLENRIO ROAD SURFACE, SEE SHEET 12 FOR PAVEMENT SECTION DETAILS.
- BH NEW 8" GAS MAIN. DEPTH VARIES.
- BI NEW 8" GAS MANHOLE-STD DWG 2102 (TYPE E).
- BJ NEW STORM DRAIN PIPE. DEPTH AND SIZE VARIES.
- BK NEW STORM DRAIN INLET-STD DWG 2208, DOUBLE "C", WITH INLET GUTTER TRANSITION-STD DWG 2207.
- BL NEW STORM DRAIN MANHOLE-STD DWG 2101 (TYPE C).
- BM NEW 10" WATER MAIN, PVC C900.
- BN NEW DRIVER PAD LOCATIONS SPECIFIED FOR LOTS 8, 6, 28 AND 30. FOR OTHER LOTS LOCATION OF DRIVER PAD WILL DEPEND ON GARAGE LOCATION.
- BO NEW MOUNTABLE CURB, ROLL TYPE, STD DWG 2415A.

LEGEND

EXISTING	PROPOSED (THIS PROJECT)	FUTURE
SPOT ELEVATIONS	SPOT ELEVATIONS	SPOT ELEVATIONS
TOP OF SIDEWALK	TOP OF SIDEWALK	TOP OF SIDEWALK
TOP OF WALL	TOP OF WALL	TOP OF WALL
TOP OF CURB	TOP OF CURB	TOP OF CURB
FLOW LINE RIGHT	FLOW LINE RIGHT	FLOW LINE RIGHT
FINISHED FLOOR ELEVATIONS	FINISHED FLOOR ELEVATIONS	FINISHED FLOOR ELEVATIONS
CONTOUR LINE	CONTOUR LINE	CONTOUR LINE
STRUCTURE MAJOR (HOUSE ETC)	STRUCTURE MAJOR (HOUSE ETC)	STRUCTURE MAJOR (HOUSE ETC)
STRUCTURE MINOR (GARAGE, ETC)	STRUCTURE MINOR (GARAGE, ETC)	STRUCTURE MINOR (GARAGE, ETC)
FENCE	FENCE	FENCE
BLOCKWALL	BLOCKWALL	BLOCKWALL
RETAINING WALL	RETAINING WALL	RETAINING WALL
PROPERTY LINE	PROPERTY LINE	PROPERTY LINE
LOT NUMBER	LOT NUMBER	LOT NUMBER
SAS MANHOLE	SAS MANHOLE	SAS MANHOLE
STORM DRAIN MANHOLE	STORM DRAIN MANHOLE	STORM DRAIN MANHOLE
WATER METER BOX (DOUBLE)	WATER METER BOX (DOUBLE)	WATER METER BOX (DOUBLE)
WATER METER BOX (SINGLE)	WATER METER BOX (SINGLE)	WATER METER BOX (SINGLE)
SAS SERVICE STUB OUT	SAS SERVICE STUB OUT	SAS SERVICE STUB OUT

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP

TITLE: MUSTANG MESA 72ND PLACE N.W. STREET PLAN AND PROFILE

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
738882	J-10	6	13

AS BUILT INFORMATION

CONTRACTOR	DATE	BY

REVISIONS

NO.	DATE	REVISIONS

DESIGNED BY: MARVIN R. KORTUM
DRAWN BY: CHRIS MULLINS
CHECKED BY: MARVIN R. KORTUM

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

October 12, 2004

Ms. Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**RE: Withdrawal of Sidewalk Deferral and Waiver for Mustang Mesa
DRB# 1001926 – APP# 04DRB-01526 & 04DRB-01527**

Dear Ms. Matson:

Tierra West LLC, on behalf of J D Home Inc. requests the withdrawal of the Sidewalk Deferral and Sidewalk Waiver. If you have any questions or need additional information regarding this matter, please do not hesitate to contact us.

Sincerely,

Karen Kline for
Ronald R. Bohannon, P.E.

cc: Jeff Dorwart

JN: 23101

2003:23101Withdrawal Sidewalk101204

*Case was never on a
agenda.*

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

311

Supplemental form
SUBDIVISION **S**
 Major Subdivision action
 Minor Subdivision action
 Vacation
 Variance (Non-Zoning)
V
SITE DEVELOPMENT PLAN **P**
 ...for Subdivision Purposes
 ...for Building Permit
 IP Master Development Plan
 Cert. of Appropriateness (LUCC) **L**

Supplemental form
ZONING & PLANNING **Z**
 Annexation
 County Submittal
 EPC Submittal
 Zone Map Amendment (Establish or Change Zoning)
 Sector Plan (Phase I, II, III)
 Amendment to Sector, Area, Facility or Comprehensive Plan
 Text Amendment (Zoning Code/Sub Regs)
APPEAL / PROTEST of... **A**
 Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: J D HOME INC. PHONE: 235.8298
 ADDRESS: PO BOX 90218 FAX: _____
 CITY: ABQ STATE NM ZIP 87199-0218 E-MAIL: _____
 Proprietary interest in site: OWNER/DEVELOPER List all owners: LORENTZEN JOHN C/O SW REALTY INV INC
 AGENT (if any): TIERRA WEST LLC PHONE: 858-3100
 ADDRESS: 8509 JEFFERSON NE FAX: 858-1118
 CITY: ALBUQUERQUE STATE NM ZIP 87113 E-MAIL: twllc@tierrawestllc.com

DESCRIPTION OF REQUEST: SIDEWALK DEFERRAL AND SIDEWALK WAIVER

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TR 225 Block: _____ Unit: _____
 Subdiv. / Addn. TOWN OF ATRISCO GRANT AIRPORT UNIT
 Current Zoning: R-2 Proposed zoning: SAME
 Zone Atlas page(s): J-10 No. of existing lots: 1 No. of proposed lots: 34
 Total area of site (acres): 4.41 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 101005827140310401 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: 72ND PLACE NW
 Between: INTERSTATE 40 WEST and GLENRIO ROAD NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 03DRB-01224/03DRB-01225/04DRB-01358/04DRB-01393/04DRB-01394 - DRB# 1001926

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE [Signature] DATE 10/4/04
 (Print) RONALD R. BOHANNAN, P.E. _____ Applicant Agent

FOR OFFICIAL USE ONLY Form revised 9/01, 3/03, 7/03, 10/03, 3/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>04DRB - .01526</u>	<u>SW</u>	<u>V</u>	<u>\$ 0</u>
<input checked="" type="checkbox"/> All fees have been collected	<u>04DRB - .01527</u>	<u>TDS</u>	<u>V</u>	<u>\$ 0</u>
<input checked="" type="checkbox"/> All case #s are assigned		<u>CMF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent				<u>\$</u>
<input checked="" type="checkbox"/> Case history #s are listed				<u>\$</u>
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				<u>\$</u>
<input checked="" type="checkbox"/> F.H.D.P. density bonus				<u>\$</u>
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				<u>\$</u>
				<u>Total</u>
				<u>\$ 20.00</u>

Hearing date 10-13-04

[Signature] 10-5-04
 Planner signature / date

Project # 1001926

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (Public Hearing Case)**
- Application for subdivision (Plat) on FORM S-3, including those submittal requirements. Variance and subdivision should be applied for simultaneously. (24 copies)
 - Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
 - Any original and/or related file numbers are listed on the cover application
- DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

- VACATION OF PUBLIC RIGHT-OF-WAY**
- VACATION OF PUBLIC EASEMENT**
- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies. (Not required for dedicated and City owned public right-of-way.)
 - Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 24 copies
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL)**
- SIDEWALK DESIGN VARIANCE**
- SIDEWALK WAIVER**
- Scale drawing showing the proposed variance or waiver (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the variance or waiver
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**
- EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**
- Drawing showing the sidewalks subject to the proposed deferral or extension (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the deferral or extension
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- VACATION OF PRIVATE EASEMENT**
- The complete document which created the private easement (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the vacation
 - Letter of authorization from the grantors and the beneficiaries
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ronald B. Bohannon, P.E.
Applicant name (print)

[Signature]
Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers

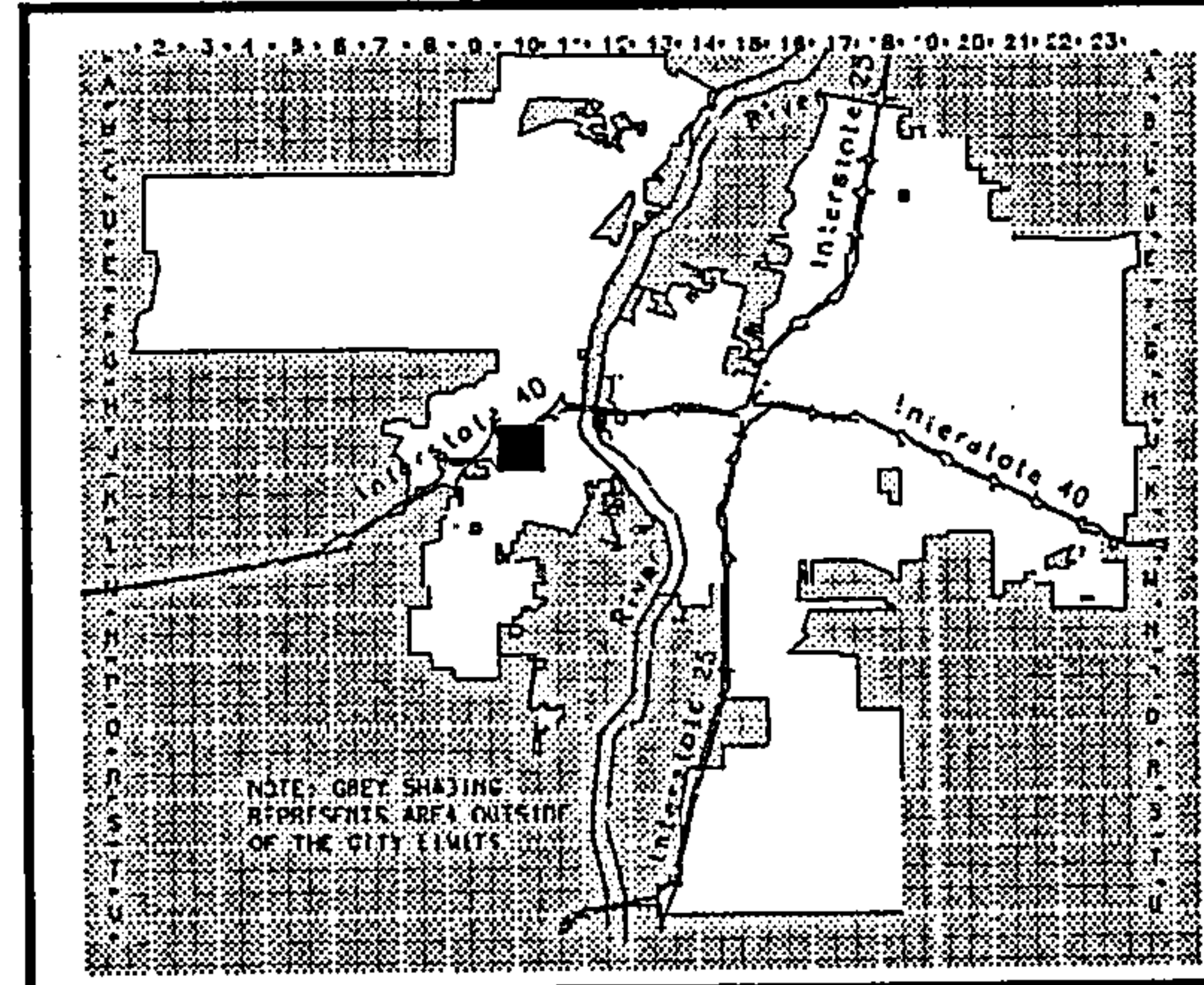
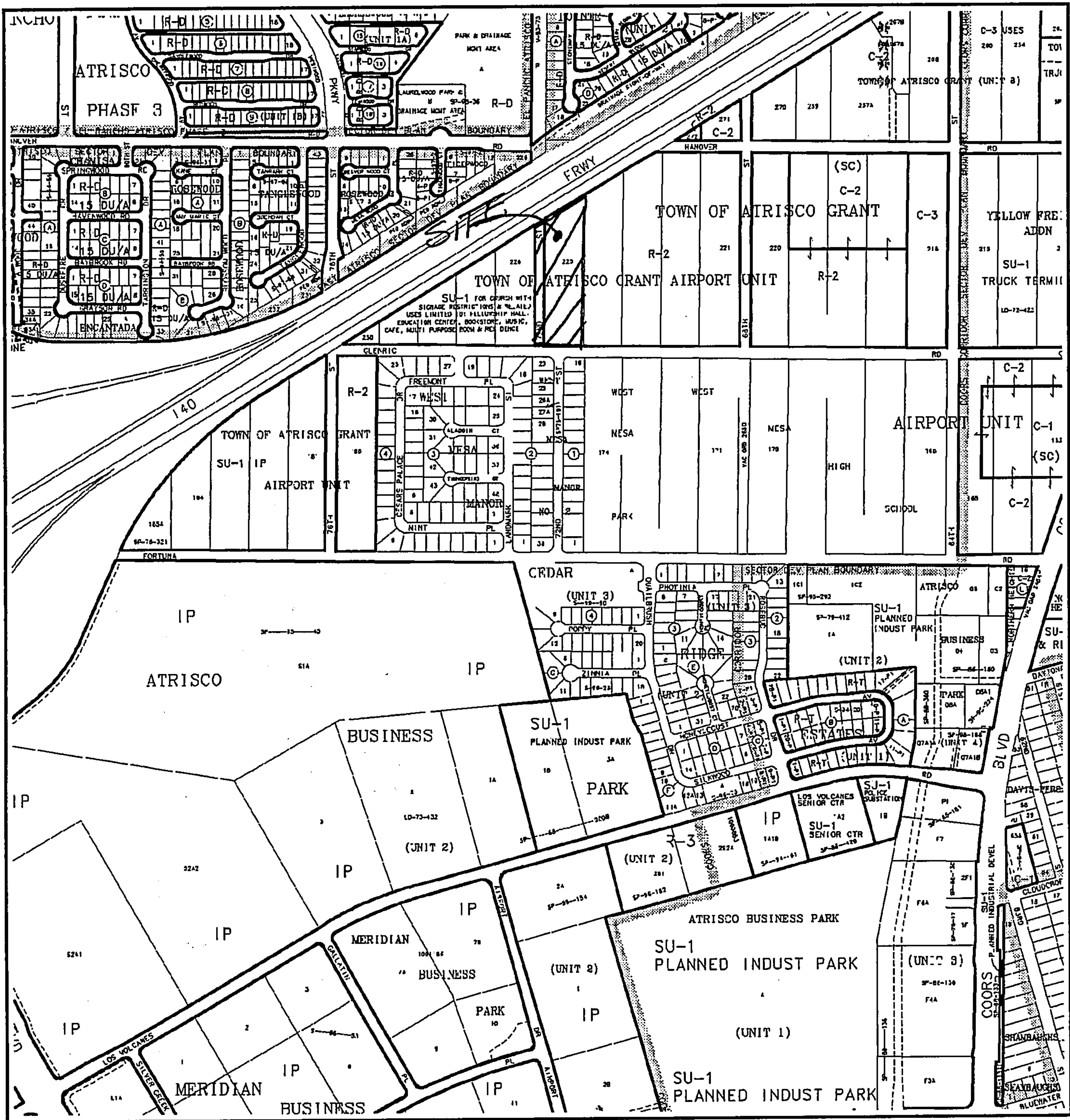
04DRB - 0526

04DRB - 01527

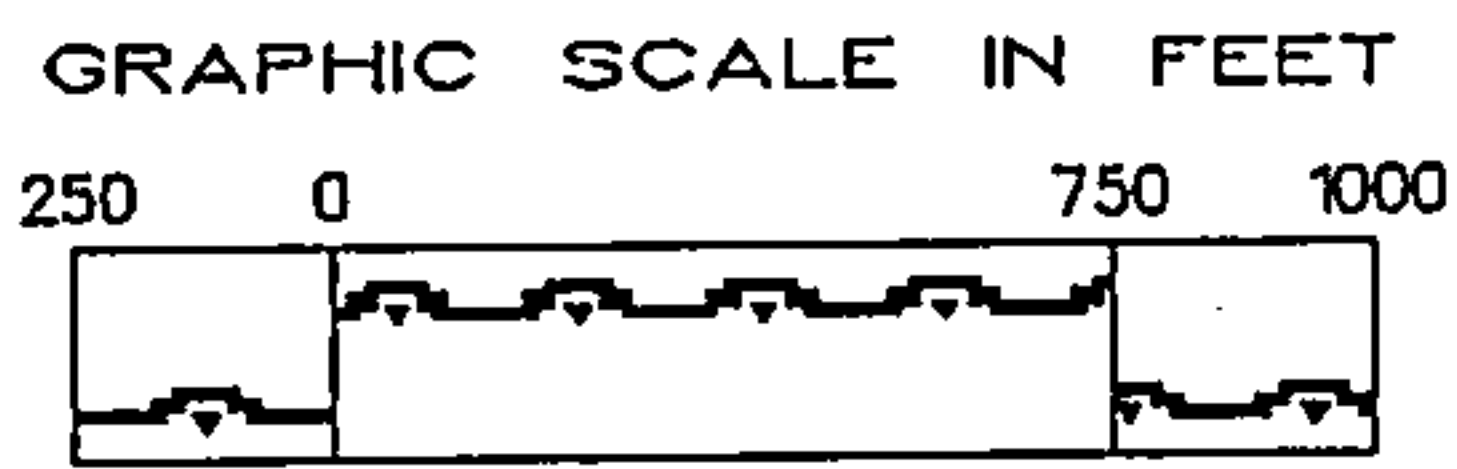
[Signature] 10-5-04
Planner signature / date

Project # 1001926

Form revised April 2003



CITY OF
Albuquerque
A Geographic Information System
PLANNING DEPARTMENT
© Copyright 2003



Zone Atlas Page

J-10-Z

Map Amended through August 01, 2003

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

October 4, 2004

Ms. Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**RE: Request for Sidewalk Deferral and Sidewalk Waiver Approval for Mustang
Mesa Subdivision
Tract 225, Town of Atrisco Grant Airport Unit
DRB# 1001926; Zone Atlas Page J-10**

Dear Ms. Matson:

Tierra West LLC, on behalf of J D Home Inc., requests approval of the Sidewalk Deferral and Sidewalk Waiver for the above referenced project. The site is located east of 72nd Street NW, between Interstate 40 and Glenrio Road NW. The site is zoned R-2 and will consist of 34 single-family homes. On September 29, 2004, the DRB approved the vacation of the public right-of-way. The Preliminary and Final Plat are being heard on October 13, 2004 and on the Infrastructure list it is requested to defer the internal sidewalks and waive the sidewalk along the 40' right-of-way. We request the waiver around the radius of the cul-de-sac due to it being under the 200 feet length and less than five lots. The length to be waived is approximately 181.81 feet and only affects three lots.

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

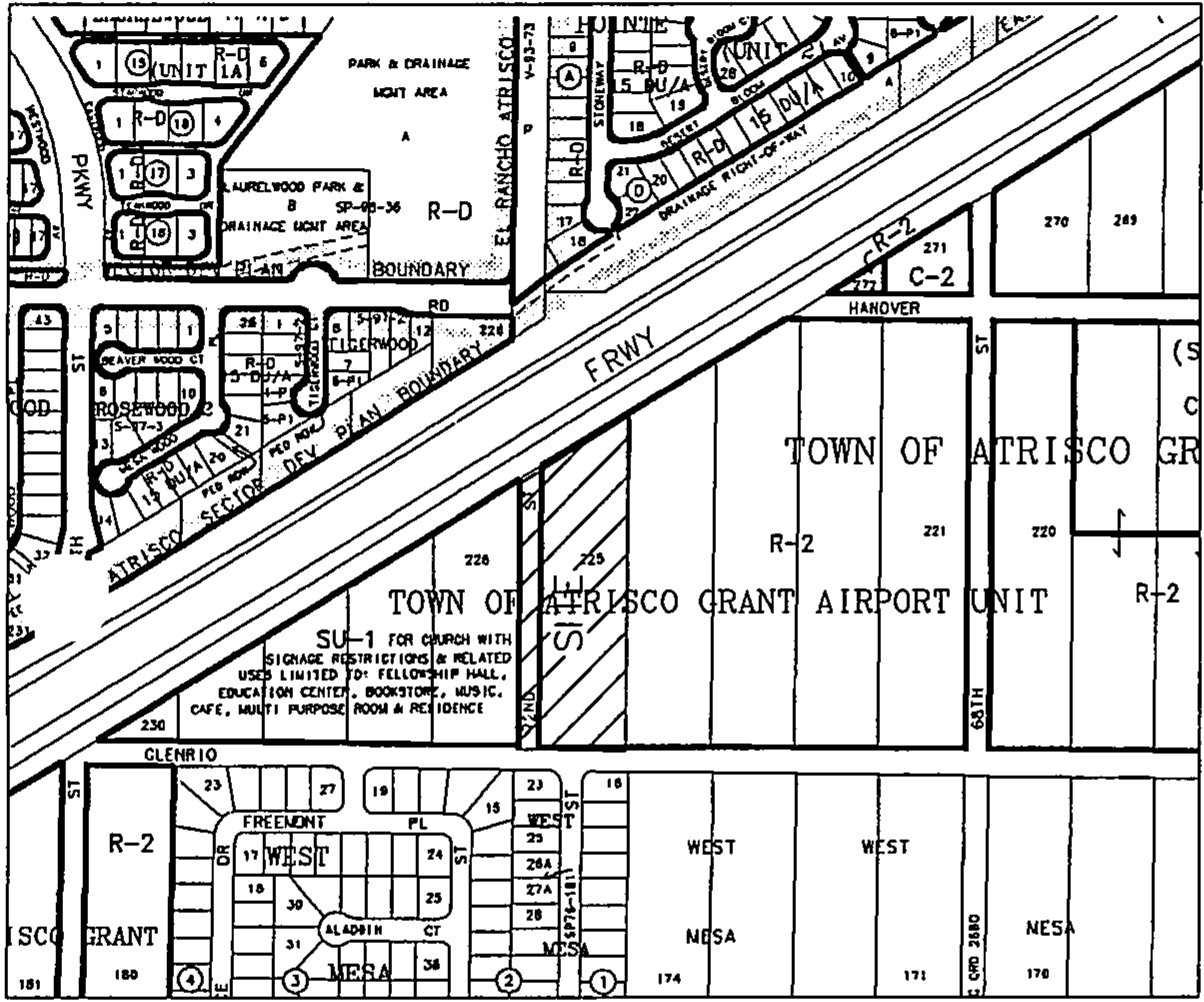
Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s
cc: Jeff Dorwart

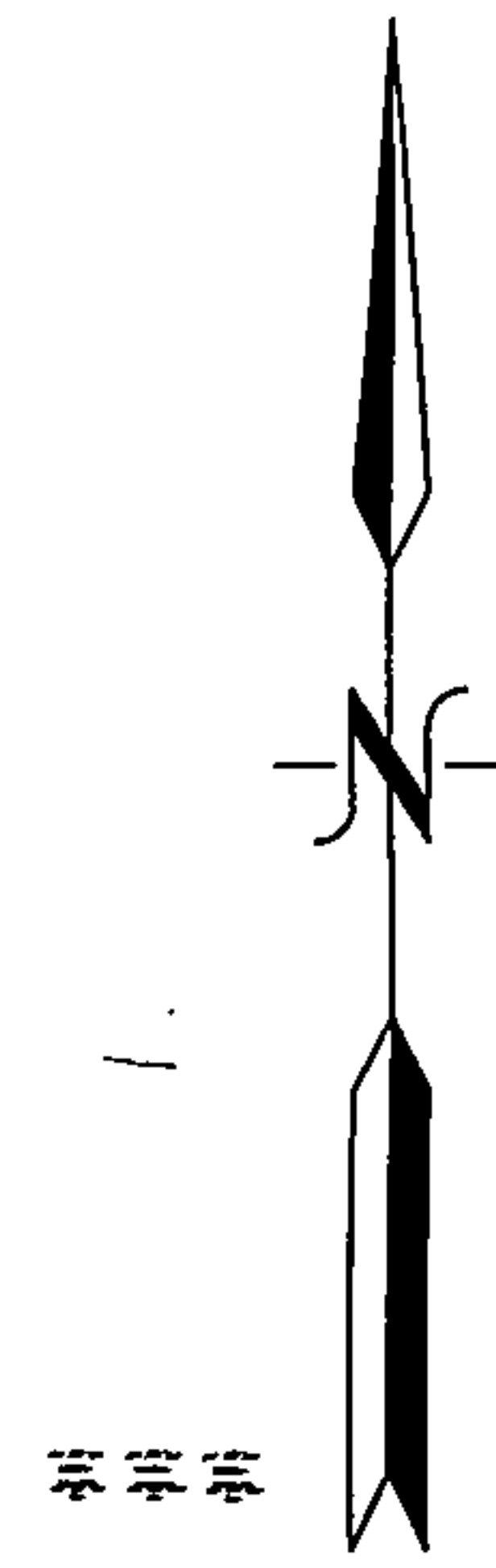
JN: 23101
RRB/kk



VICINITY MAP No. J-10

ACS STATION "I-40-21A"
 X=354,594.87
 Y=1,488,789.30
 TO GRID=0.9996747
 C = -00' 16' 46"
 CENTRAL ZONE, NAD 1927

S 61°39'08" W (GRID)
 6082.22' (GROUND)



TRACT 226
 TOWN OF ATRISCO GRANT
 FILED: DECEMBER 5, 1944
 VOLUME D, FOLIO 118

FND #4 R/B
 W/CAP PS11993

FND #4 R/B
 W/CAP PS11993

ANCHOR EASEMENTS
 (GRANTED BY THIS PLAT)

7' PUBLIC UTILITY EASEMENT
 (GRANTED BY THIS PLAT)

VACATED 72nd STREET VACATED BY
 VACATION ACTION No. 03-DRB01224
 PROJECT No. 1001926

N 00°38'58" E

40.00'

40.00'

40.00'

40.00'

40.00'

40.00'

40.00'

40.00'

INTERSTATE No. 40
 300' R/W

20' PUBLIC WATERLINE EASEMENT
 (GRANTED BY THIS PLAT)

N 58°42'13" E
 127.24'

LOT 16
 0.1409 AC.
 103.30'

LOT 15
 0.1021 AC.
 111.26'

LOT 14
 0.1022 AC.
 111.30'

LOT 13
 0.1022 AC.
 111.35'

LOT 12
 0.1023 AC.
 111.40'

LOT 11
 0.1023 AC.
 111.44'

LOT 10
 0.1024 AC.
 111.49'

LOT 9
 0.1024 AC.
 111.54'

LOT 8
 0.1024 AC.
 111.58'

LOT 7
 0.1025 AC.
 111.63'

LOT 6
 0.1025 AC.
 111.67'

LOT 5
 0.1026 AC.
 111.72'

LOT 4
 0.1026 AC.
 111.77'

LOT 3
 0.1027 AC.
 111.81'

LOT 2
 0.1027 AC.
 111.85'

LOT 1
 0.0997 AC.
 86.91'

LOT 17
 0.2199 AC.
 103.30'

LOT 18
 0.0925 AC.
 105.43'

LOT 19
 0.1020 AC.
 112.00'

LOT 20
 0.1029 AC.
 112.00'

LOT 21
 0.1029 AC.
 112.00'

LOT 22
 0.1029 AC.
 112.00'

LOT 23
 0.1029 AC.
 112.00'

LOT 24
 0.1029 AC.
 112.00'

LOT 25
 0.1029 AC.
 112.00'

LOT 26
 0.1029 AC.
 112.00'

LOT 27
 0.1029 AC.
 112.00'

LOT 28
 0.1029 AC.
 112.00'

LOT 29
 0.1029 AC.
 112.00'

LOT 30
 0.1029 AC.
 112.00'

LOT 31
 0.1029 AC.
 112.00'

LOT 32
 0.1029 AC.
 112.00'

LOT 33
 0.1029 AC.
 112.00'

LOT 34
 0.0998 AC.
 87.00'

- SIDEWALK WAIVED
- SIDEWALK DEFERRED

EDGE OF ASPHALT

GLENRIO ROAD N.W.
 60' R/W

MUSTANG MESA SUBDIVISION SIDEWALK EXHIBIT

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

Supplemental form

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

- D Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: JEFF DORWART PHONE: 771-1074 ; 235-8298
 ADDRESS: JD HOMES P.O. BOX 90215 (90218) FAX: 831-5696
 CITY: ALBUQUERQUE STATE NM ZIP 87199 E-MAIL: _____
 Proprietary interest in site: OWNER List all owners: _____
 AGENT (if any): MARVIN R KORTUM PHONE: 299-0774
 ADDRESS: 1605 SPEARMAN DR SE FAX: 299-9405
 CITY: ALBUQUERQUE STATE NM ZIP 87123 E-MAIL: _____

DESCRIPTION OF REQUEST: REVISION OF APPROVAL BY DRB INFRASTRUCTURE LIST TO OBTAIN
(1) SIDE-WALK DEFERRAL EAST & WEST SIDE OF 72ND PLACE, (2) SIDEWALK WAIVED AROUND TUBO APPROVED AT NORTH END OF 72ND PLACE, (3) CORRECTION OF TERMINOLOGY ON CURB DESCRIPTION
 Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOT 225-A RW OF AMISCO GRANT Block: AIRPORT UNIT
 Subdiv. / Addn. MUSTANG MESA SUBDIVISION ← PROPOSED ZONING R-2
 Current Zoning: C-2 Proposed zoning: R-2
 Zone Atlas page(s): J-10 No. of existing lots: 34 No. of proposed lots: 34
 Total area of site (acres): 4.4101 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No, but site is within 5 miles of the city limits.) Within 1000FT of a landfill? _____
 UPC No. 1010 058 271 403 10401 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: ON GLENADO ROAD
 Between: AT INTERSECTION WITH and 72ND STREET & 72ND PLACE N

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 03DRB-01225
DRB 100 1926 03DRB-00674 04DRB-00329 03DRB-01475

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE MARVIN R KORTUM DATE AUGUST 31, 2004
 (Print) MARVIN R KORTUM _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

04DRB 01334
04DRB 01335

Action

TDS S.F. V Fees \$ 0
SW S.F. V Fees \$ 0
CONF MG FEES 20

Hearing date 9/15/04

Total \$ 20.00

[Signature]

8/31/04

Project #

1001926

Planner signature / date

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE

(PUBLIC HEARING CASE)

- Application for subdivision (Plat) on FORM S-3, including those submittal requirements. **24 copies** of the plat are required. The Variance and subdivision should be applied for simultaneously.
 - Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
 - Any original and/or related file numbers are listed on the cover application
- DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.**

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24 copies**. (Not required for dedicated and City owned public right-of-way.)
 - Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL)

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the variance or waiver
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the deferral or extension
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

VACATION OF PRIVATE EASEMENT

- The complete document which created the private easement (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings. These actions are not approved through internal routing.
 - Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies**
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 - Letter of authorization from the grantors and the beneficiaries
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DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

MARVIN R KORTON
 Applicant name (print)
Marvin R Korton August 31, 2004
 Applicant signature / date



Form revised 4/03 and October 2003

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
04DRB - 01334
04DRB - 01335

[Signature] 8/31/04
 Planner signature / date
Project # 1001926

ONE STOP SHOP
 CITY OF ALBUQUERQUE PLANNING DEPARTMENT
 Development & Building Services

PAID RECEIPT

APPLICANT NAME JEFF FORWARD
 AGENT MARVIN KORTUM
 ADDRESS 1605 SPEAKMAN DR SE,
 PROJECT & APP # 1001926 / 04DRB-D1334 \$,335
 PROJECT NAME MUSTANG MESA S/D

\$ 20⁰⁰ 441032/3424000 Conflict Management Fee
 \$ _____ 441006/4983000 DRB Actions
 \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
 \$ _____ 441018/4971000 Public Notification
 \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 Major/Minor Subdivision Site Development Plan Bldg Permit
 Letter of Map Revision Conditional Letter of Map Revision
 Traffic Impact Study
 \$ 20⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DUPLICATE
 City Of Albuquerque
 Treasury Division

8/31/2004 4:32PM LOC: ANNX
 RECEIPT# 00028187 WSH# 008 TRANS# 0041
 Account 441032 Fund 0110
 Activity 3424000 TRSDMM
 Trans Amt \$20.00
 J24 Misc \$20.00
 MC \$20.00
 CHANGE \$0.00

Marvin R Kortum
1605 Speakman Drive, SE
Albuquerque, New Mexico 87123
(505) 299-0774, M: 934-5786
NMPE 6519

**
**
**
**

August 31, 2004

City of Albuquerque
ATTN: Sheran Matson, Chairperson, Development Review Board
Albuquerque, New Mexico 87102

REFERENCE: Mustang Mesa Subdivision, Map J-10, DRB Project Number 1001926, Work Order Project 738882.

Dear Sheran:

By this letter I request changes to the approved Infrastructure List for DRB 1001926. Specific changes requested, and the reason, are stated below:

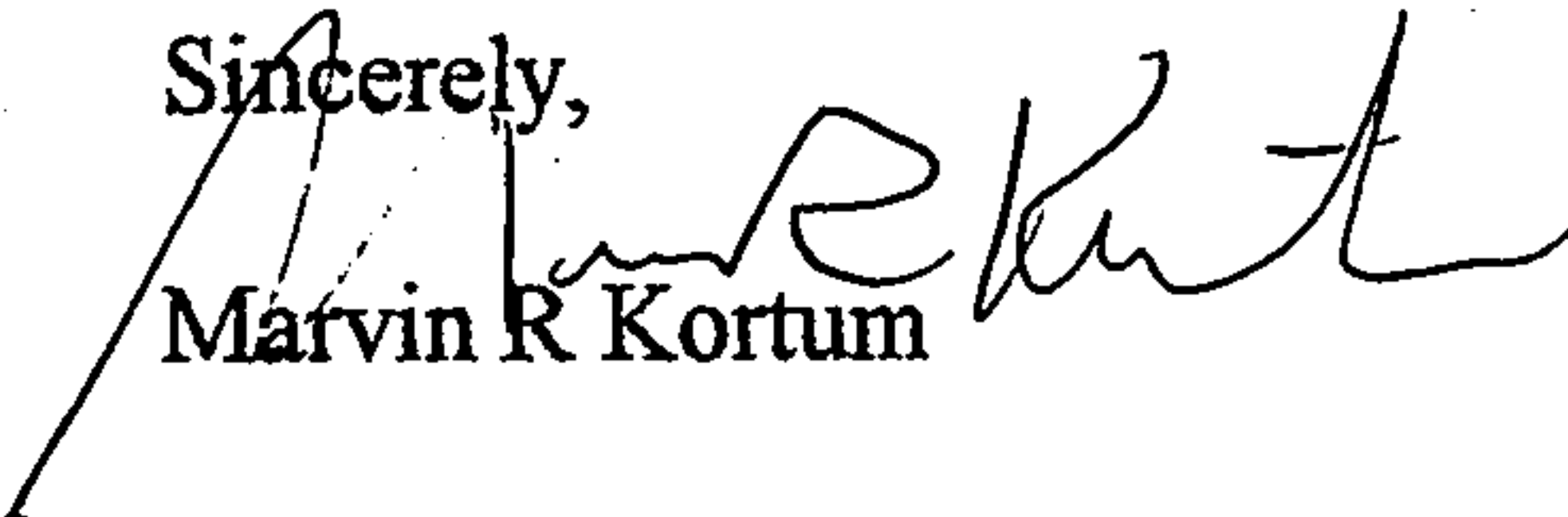
1. Obtain a sidewalk waiver for a sidewalk around the perimeter of the turn around at the north end of 72nd Place, NW. The reason is that the plat provided for a 40 feet radius right-of-way at this location. The 40 feet radius will not permit construction of a sidewalk within the right-of-way and still have a 40 feet radius for the traffic lane as required by standard drawing 2510. The lack of a sidewalk in this location will not be a hazard, the pedestrian traffic in this location is limited to persons living in or visiting houses on lots 17 and 18.
2. Obtain a sidewalk deferral for sidewalks and drivepads on the east and west side of 72nd Place, NW. The city files indicate that this deferral was requested, but the item was not included on the Infrastructure List.
3. Change the terminology of the "estate mountable roll over curb" to "mountable curb, roll type. This terminology reflects a standard which is stated in the City of Albuquerque Specifications for Public Works, standard drawing 2425A. Also, this curb and gutter is to be placed from station 2+98 to 7+20, on both sides of the 72nd Place, NW.
4. Add "standard curb and gutter", as defined in the City of Albuquerque Specifications for Public Works, standard drawing 2425A. Also, this curb and gutter is to be placed from station 7+20 to 9+80, on both sides of the 72nd Place, NW.

A copy of the original drawing requesting the sidewalk deferral is attached. This request was for a 30 lot subdivision. The subdivision has since been approved for 34 lots. A copy of the proposed street improvements for the 34 lot layout is also attached for your information.

If you have questions please call me.

Thank you.

Sincerely,


Marvin R Kortum

PROPOSED SITE LAYOUT ~~PRELIMINARY~~
 CHANGED TO 34 LOTS

ACS STATION 6-J10
 X=360389.13
 Y=1492117.53
 GRD TO GRID=0.99967760
 Δα = -00° 16' 06"
 CENTRAL ZONE, NAD 1927

MUSTA

PROJECTED SECTION

BEF

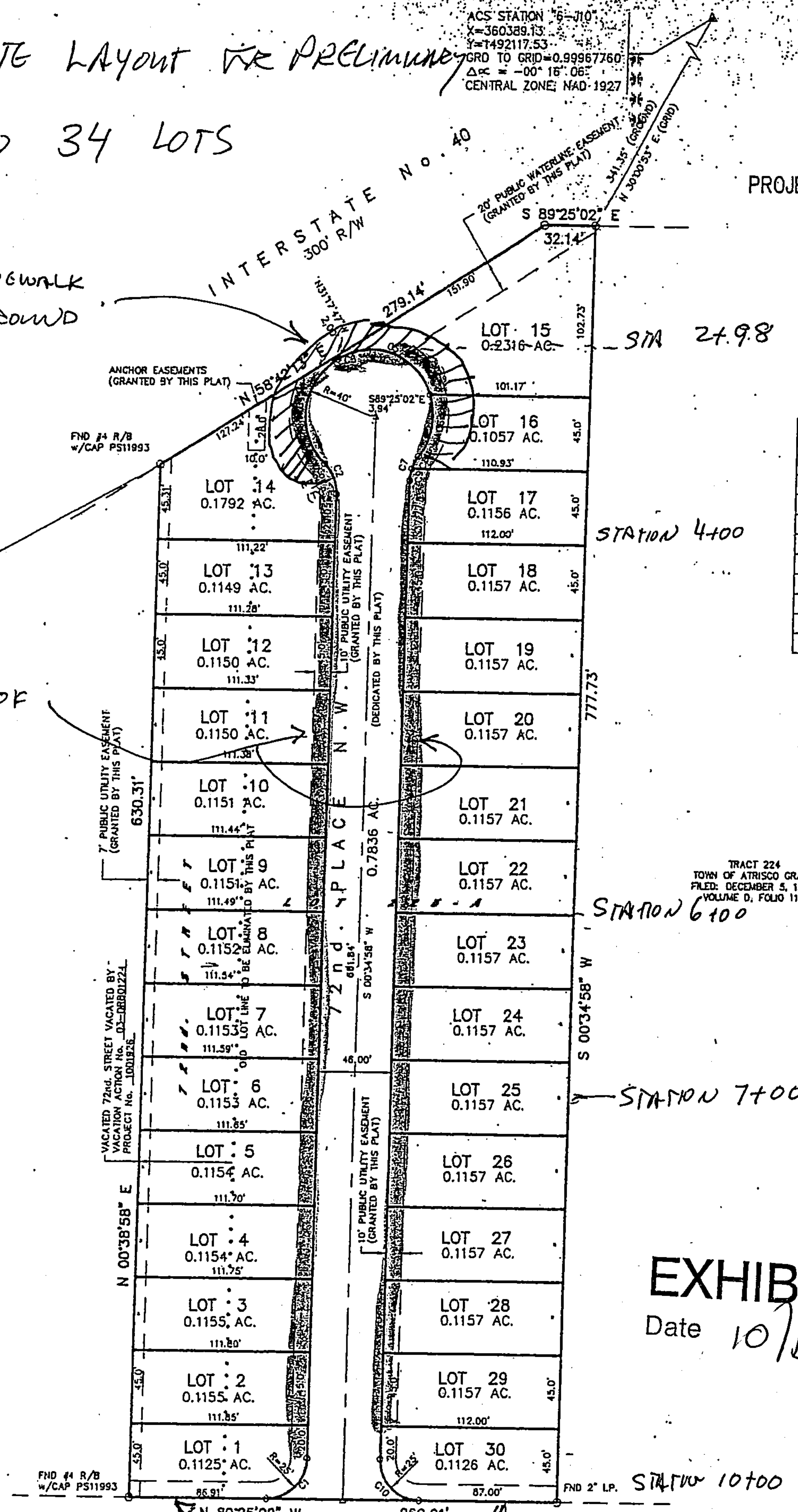
WAIVER OF SIDEWALK
 AROUND TURN AROUND

DEFERRAL OF
 SIDEWALK

ACS STATION "1-40-21A"
 X=354,594.87
 Y=1,488,789.30
 GRD TO GRID=0.9996747
 Δα = -00° 16' 46"
 CENTRAL ZONE, NAD 1927

TRACT 225
 TOWN OF ATRISCO GRANT
 FILED: DECEMBER 5, 1944
 VOLUME 0, FOLIO 118

TRACT 224
 TOWN OF ATRISCO GRANT
 FILED: DECEMBER 5, 1944
 VOLUME 0, FOLIO 118



CURVE	RADIUS
C1	25.00
C2	25.00
C3	40.00
C4	40.00
C5	40.00
C6	40.00
C7	25.00
C8	25.00
C9	25.00
C10	25.00

EXHIBIT C
 Date 10/13/09

SURVEYORS CERTIFICATE
 STATE OF NEW MEXICO
 COUNTY OF BERNALILLO
 I, ANTHONY L. HARRIS
 OF NEW MEXICO, DO HEREBY
 CERTIFY THAT I AM RESPONSIBLE
 FOR THE SURVEY OF THE ABOVE
 DESCRIBED PROPERTY AND I
 FURNISH THE SAME TO YOU
 HEREBY.
 GIVEN UNDER MY HAND
 THIS _____ DAY OF _____

ANTHONY L. HARRIS
 H.A.S. # 21115

GLENRIO ROAD N.W.
 60' R/W

These SW
 to be built
 with 60'

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

✻
✻
✻

twllc@tierrawestllc.com
1-800-245-3102

September 10, 2004

Ms. Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

**RE: Withdrawal of Extension of Preliminary Plat for Mustang Mesa Subdivision
DRB# 1001926 – APP# 04DRB-01395**

Dear Ms. Matson:

1359

Tierra West LLC, on behalf of J D Homes Inc. requests the withdrawal of the Extension of the Preliminary Plat per your request. We have resubmitted for Preliminary Plat for the above referenced project. If you have any questions or need additional information regarding this matter, please do not hesitate to contact us.

Sincerely,

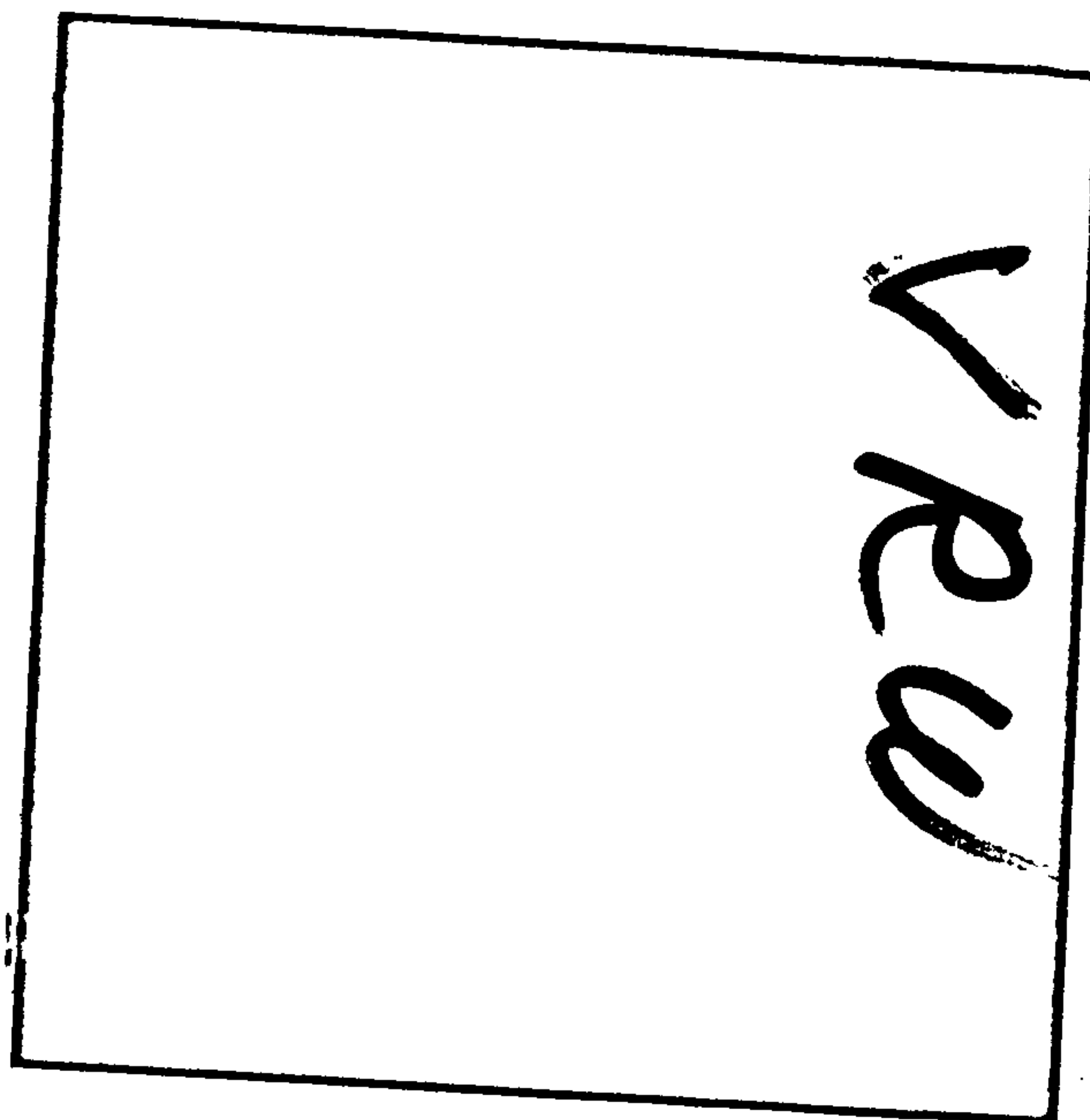


Karen Kline for Ronald R. Bohannon, P.E.

cc: Jeff Dorwart

JN: 23101

2003:23101Withdrawal Ext Prelim91004



FILE



Sheran A. Matson
09/08/04 11:22 AM

To: "Karen Kline" <kkline@tierrawestllc.com>@PUBCABQ
CC:
Subject: Re: Waiver of Fees for Preliminary Plat for Mustang Mesa - DRB#
1001926 -- JN 23101

Yes you do need to pay the fees. The expiration of the plat was not due to City error which is the only reason we would waive the fees in this case.

Sorry.



"Karen Kline"
<kkline@tierrawestllc.com>
09/08/04 10:11 AM

To: "Sheran Matson, AICP" <smatson@cabq.gov>
cc: "Karen Kline" <kkline@tierrawestllc.com>, "Ron Bohannan" <rrb@tierrawestllc.com>
Subject: Waiver of Fees for Preliminary Plat for Mustang Mesa - DRB#
1001926 -- JN 23101

Hi Sheran:

I understand that we must reapply for Preliminary Plat on the above referenced project due to the plat being expired. We would like to know if we can waive the fees since they were already paid for the Preliminary Plat. Please let me know so I can submit by Friday.

Thank you,
Karen

The vacation will still be heard

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION Supplemental form **S**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN Supplemental form **P**

- ...for Subdivision Purposes
- ...for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC) **L**

ZONING & PLANNING Supplemental form **Z**

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)

APPEAL / PROTEST of... Supplemental form **A**

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: J D HOME INC

PHONE: 505.235.8298

ADDRESS: PO Box 90218

FAX:

CITY: ABQ STATE NM ZIP 87199-0218 E-MAIL: jdorwart1@comcast.net

Proprietary interest in site: Owner/Developer

List all owners: LORENTZEN JOHN C/O SW REALTY INV INC

AGENT (if any): TIERRA WEST LLC

PHONE: 858-3100

ADDRESS: 8509 JEFFERSON NE

FAX: 858-1118

CITY: ALBUQUERQUE

STATE NM ZIP 87113 E-MAIL: twllc@tierrawestllc.com

DESCRIPTION OF REQUEST: EXTENSION OF PRELIMINARY PLAT & Final Plat Approval; Vacation of Public RIGHT-OF-WAY

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT 225 (MUSTANG MECA) Block: _____ Unit: _____

Subdiv. / Addn. TOWN OF ATRISCO GRANT AIRPORT UNIT

Current Zoning: R-2 Proposed zoning: SAME

Zone Atlas page(s): J-10 No. of existing lots: 1 No. of proposed lots: 34

Total area of site (acres): 4.41 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No, but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO

UPC No. 101005827140310401 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: 72ND PLACE NW

Between: INTERSTATE 40 WEST and GLENRIO ROAD NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): 03DRB-01224/03DRB-01225 - DRB# 1001926

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE

DATE 9/2/04

(Print) RONALD R. BOHANNAN, P.E.

Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 3/04

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

<u>04DRB</u>	<u>-01358</u>
<u>04DRB</u>	<u>-01359</u>
_____	_____
_____	_____
_____	_____

Action

<u>VRW</u>
<u>EPP</u>
<u>CONFL MGMT</u>
<u>NOT. & Adv.</u>

S.F.

<u>✓</u>

Fees

<u>\$ 300.00</u>
<u>\$ 50</u>
<u>\$ 20.00</u>
<u>\$ 75.00</u>

Total

\$ 445.00

Hearing date 9-29-04

9/3/04
Planner signature / date

Project # 1001926

FORM V: SUBDIVISION VARIANCES & VACATIONS

- BULK LAND VARIANCE (Public Hearing Case)**
- Application for subdivision (Plat) on FORM S-3, including those submittal requirements. Variance and subdivision should be applied for simultaneously. (24 copies)
 - Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived
 - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
 - Any original and/or related file numbers are listed on the cover application
- DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

- VACATION OF PUBLIC RIGHT-OF-WAY**
- VACATION OF PUBLIC EASEMENT**
- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies. (Not required for dedicated and City owned public right-of-way.)
 - Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 24 copies
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Fee (see schedule) 300.00
 - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

- SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL)**
- SIDEWALK DESIGN VARIANCE**
- SIDEWALK WAIVER**
- Scale drawing showing the proposed variance or waiver (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the variance or waiver
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**
- EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**
- Drawing showing the sidewalks subject to the proposed deferral or extension (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the deferral or extension
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- VACATION OF PRIVATE EASEMENT**
- The complete document which created the private easement (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the vacation
 - Letter of authorization from the grantors and the beneficiaries
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ronald B. Bohannon, P.E.
Applicant name (print)

[Signature]
Applicant signature / date



- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
04DRB - 01358

Form revised April 2003

[Signature]
Planner signature / date

Project # 1001926

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the Official D.R.B. Notice of approval
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Design elevations & cross sections of perimeter walls
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Infrastructure list if required (verify with DRB Engineer) NO INTERNAL ROUTING

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

RONALD R. BOHANNAN, P.E.

Applicant name (print)



9/2/04
Applicant signature / date



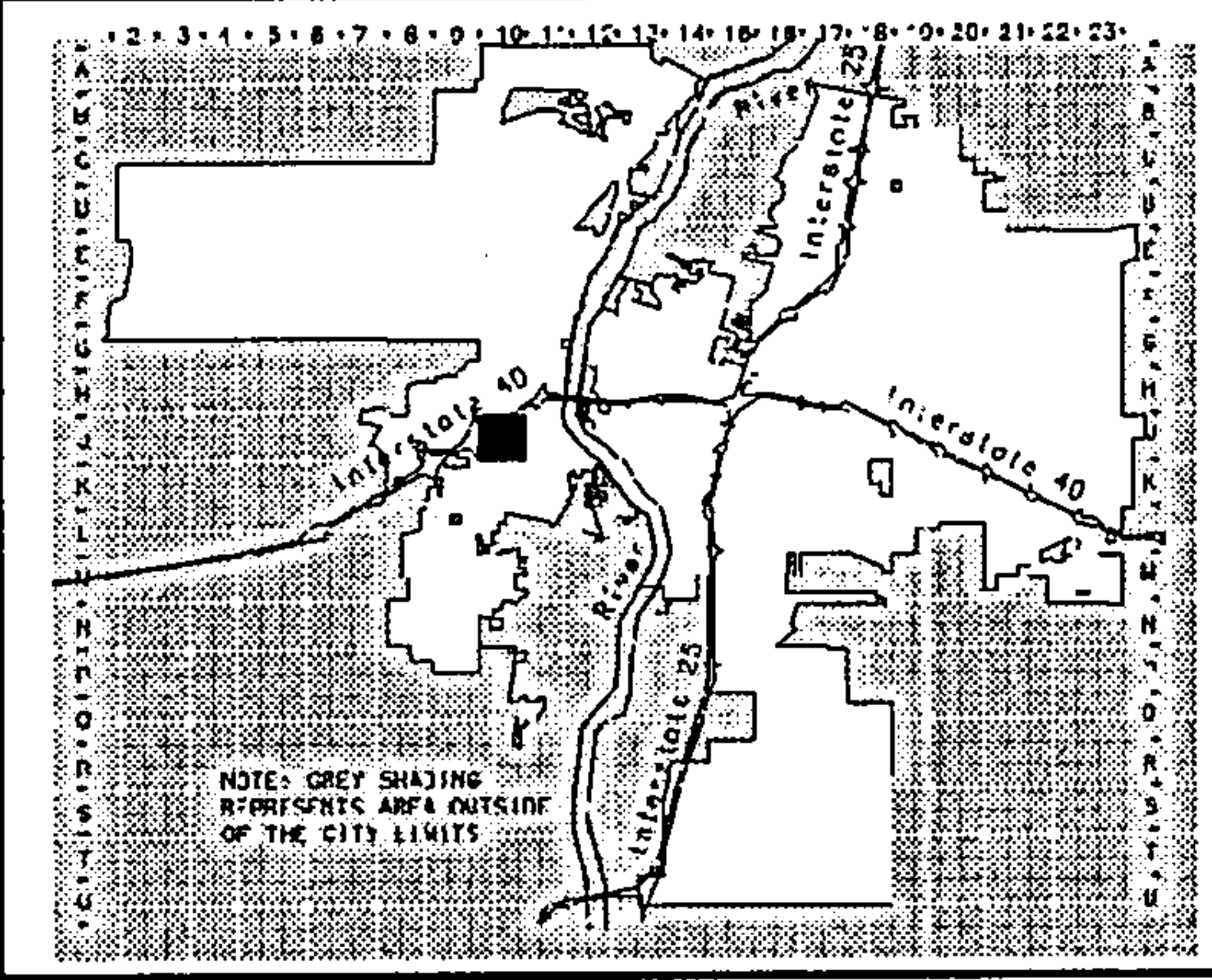
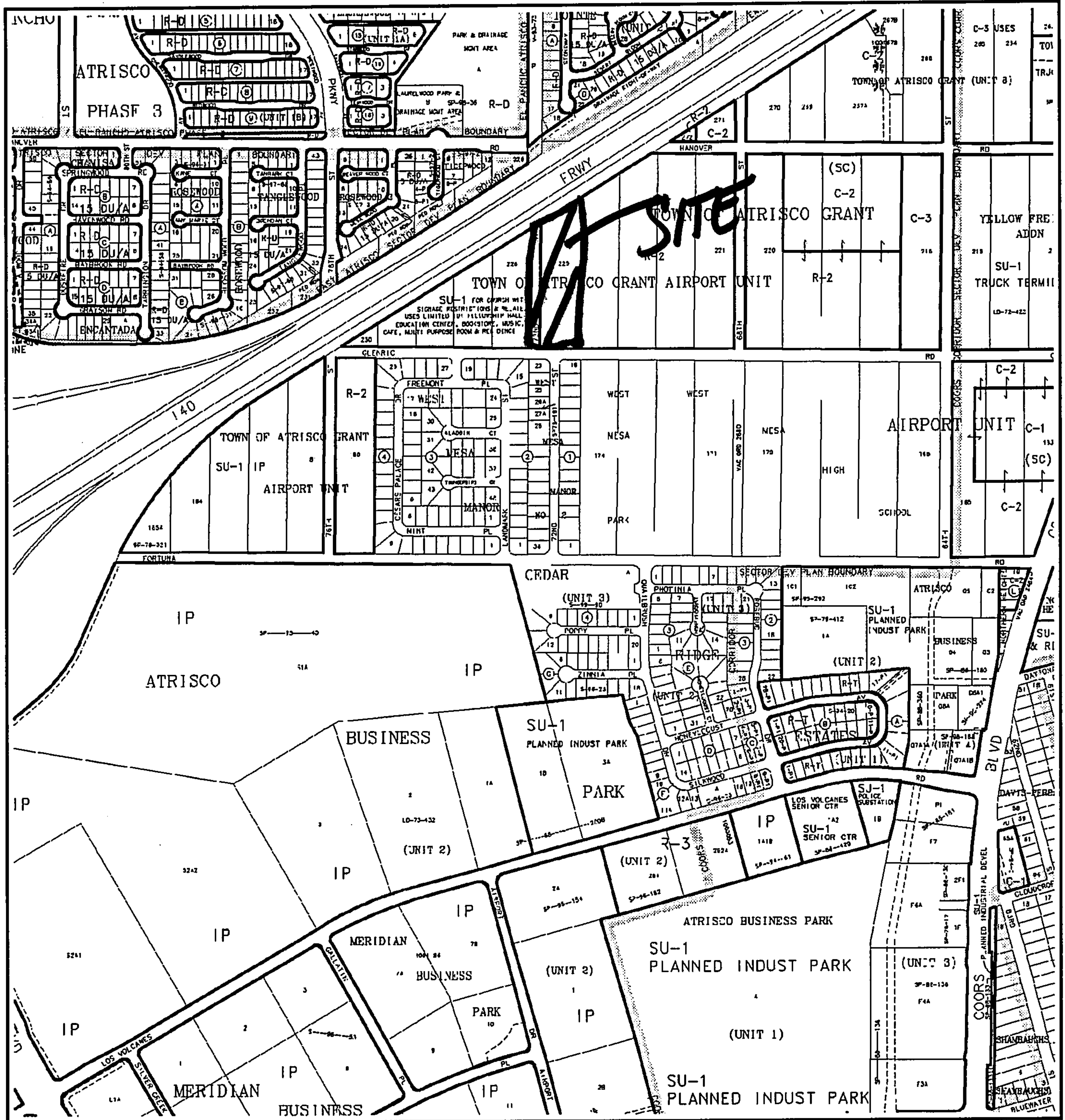
Form revised 10/03

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

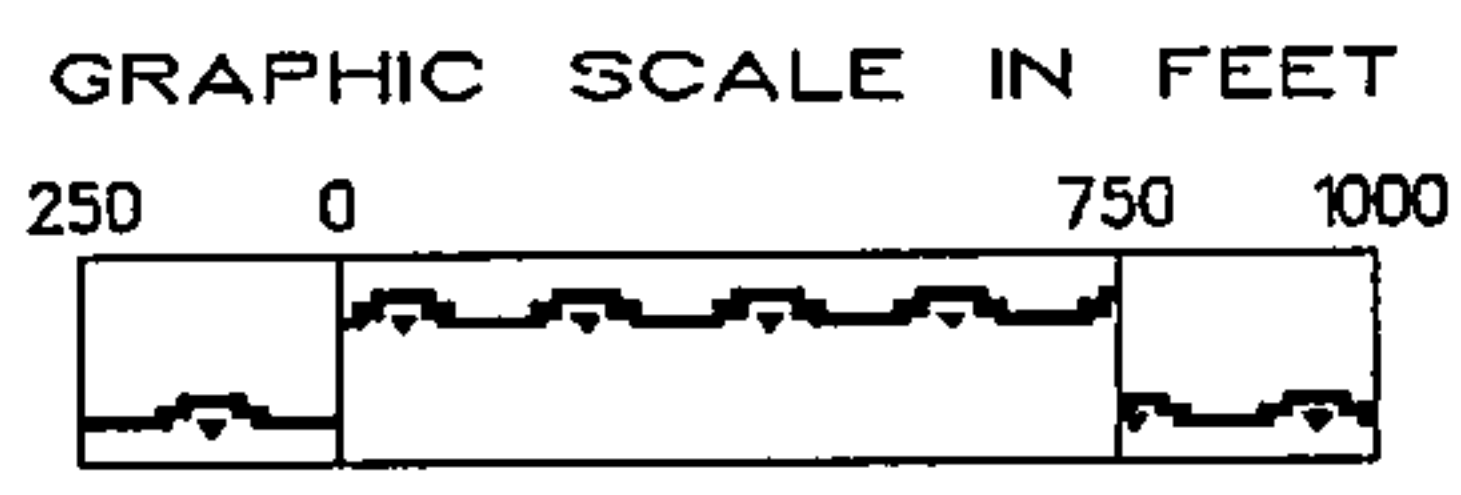
Application case numbers
ADR B - 01359
 _____ - _____
 _____ - _____

R Bohannan 9/3/04
Planner signature / date

Project # 1001926



CITY OF
Albuquerque
Albuquerque Geographic Information System
PLANNING DEPARTMENT
© Copyright 2003



Zone Atlas Page

J-10-Z

Map Amended through August 01, 2003

TIERRA WEST, LLC

8509 Jefferson NE
Albuquerque, NM 87113

(505) 858-3100
fax (505) 858-1118

twllc@tierrawestllc.com
1-800-245-3102

August 31, 2004

Ms. Sheran Matson, AICP, Chair
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

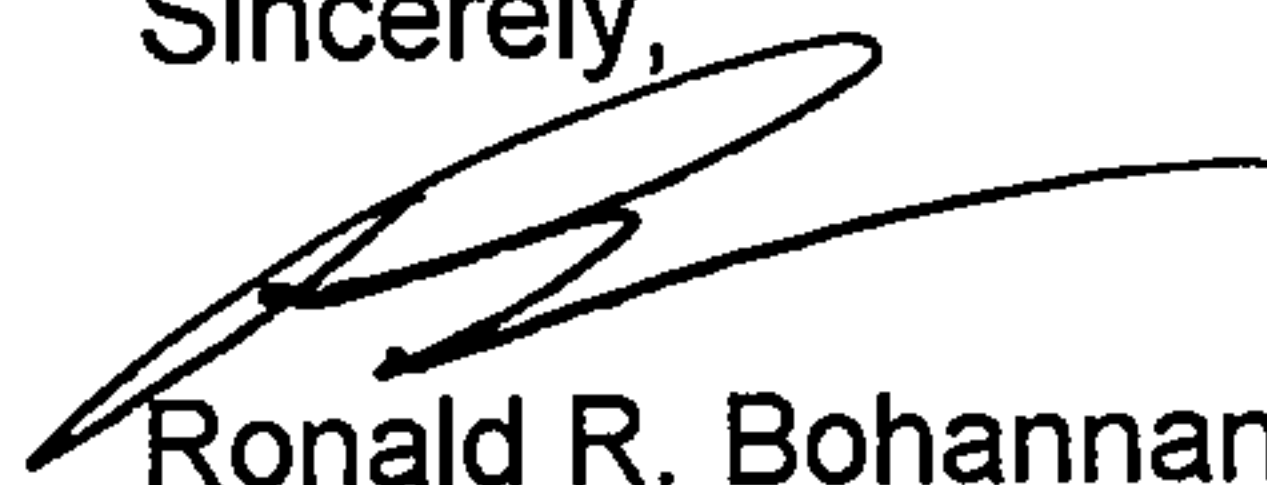
**RE: Request for Extension of Preliminary Plat & Final Plat Approval and
Vacation of Public Right-of-Way for Mustang Mesa Subdivision
Tract 225, Town of Atrisco Grant Airport Unit
DRB# 1001926; Zone Atlas Page J-10**

Dear Ms. Matson:

Tierra West LLC, on behalf of J D Home Inc., requests an Extension of the Preliminary Plat and Final Plat approval and the Vacation of Public Right-of-way for the above referenced project. The site is located east of 72nd Street NW, between Interstate 40 and Glenrio Road NW. The site is zoned R-2 and will consist of 34 single-family homes. On August 21, 2003, the DRB approved the preliminary plat and vacation of the public right-of-way. The plat was not filed within the one-year time limit, so we are requesting the approval of the Preliminary Plat and vacation of right-of-way. The site and infrastructure remains the same as approved. The final plat is ready to submit and the SIA is recorded.

If you have any questions or need additional information regarding this matter, please do not hesitate to call me.

Sincerely,



Ronald R. Bohannon, P.E.

Enclosure/s

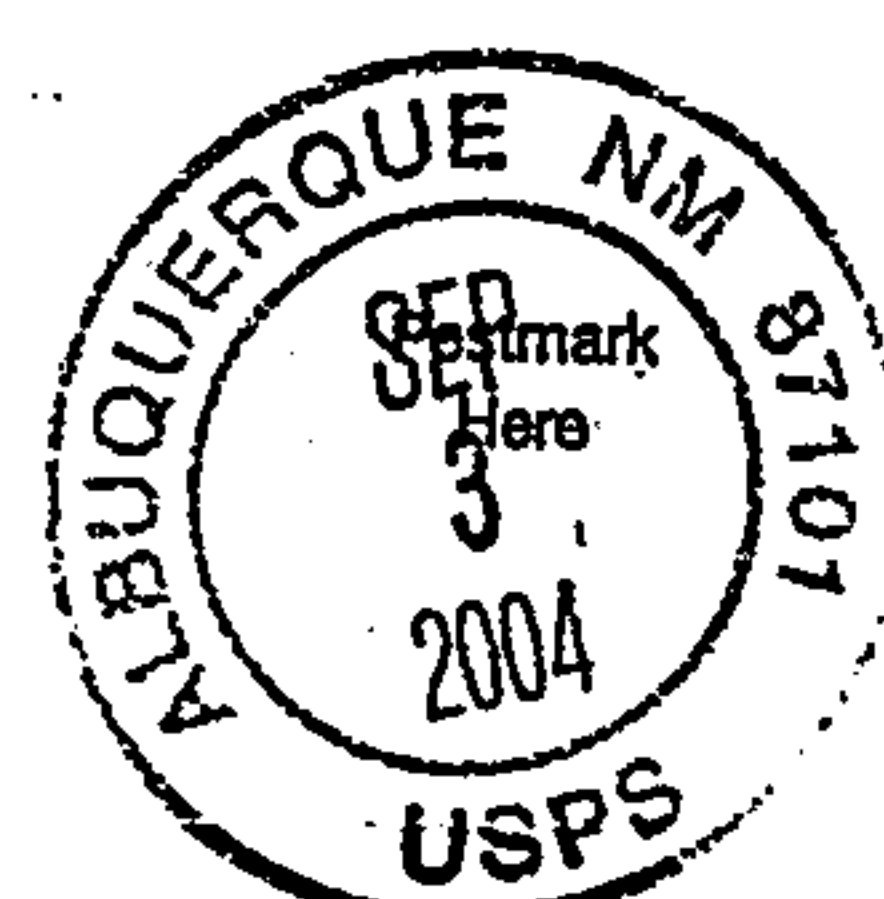
cc: Jeff Dorwart
Steve Tardy, Laurelwood N.A.
Phylis Vilchuck, Laurelwood N.A.
Christopher Prien, Los Volcanes N.A.
Dave Edwards, Los Volcanes N.A.
Deaun Lewis, S.R. Marmon N.A.
Russell Kappelman, S.R. Marmon N.A.

JN: 23101
RRB/kk

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE

Postage	\$ 1.83
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.88

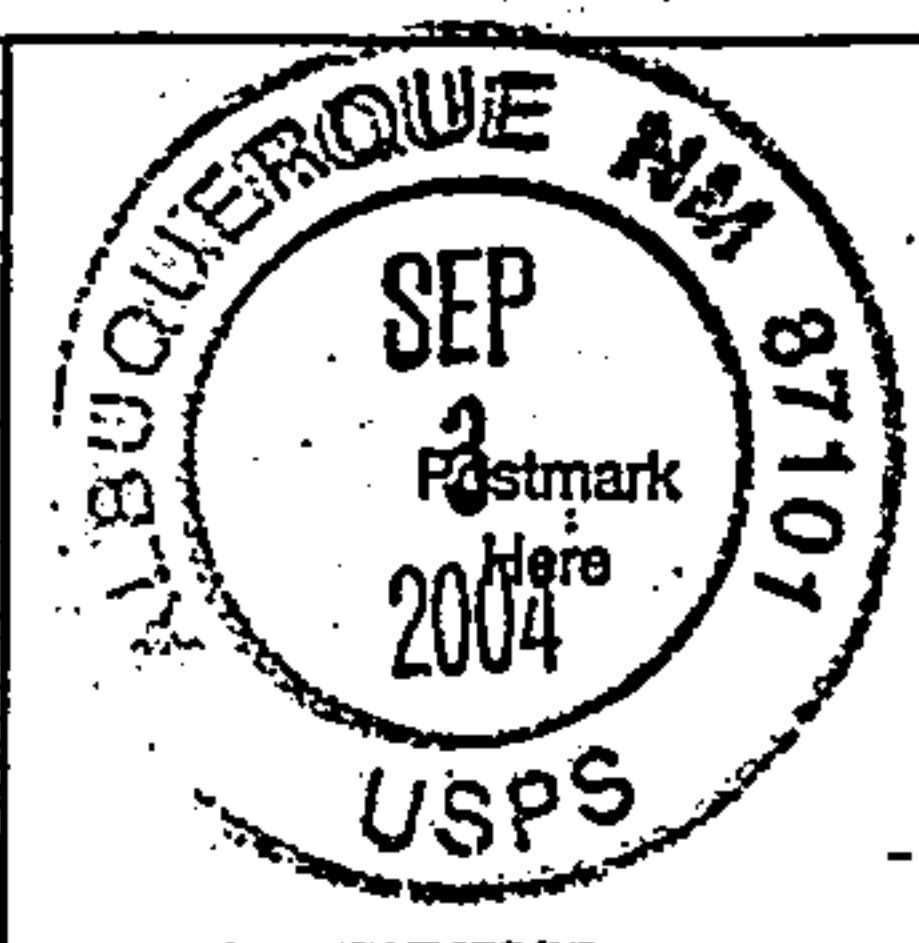


Sent To
RUSSELL KAPPELMAN
S.R. MARMON N.A.
6808 HUERTO NW
ALBUQUERQUE NM 87120

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

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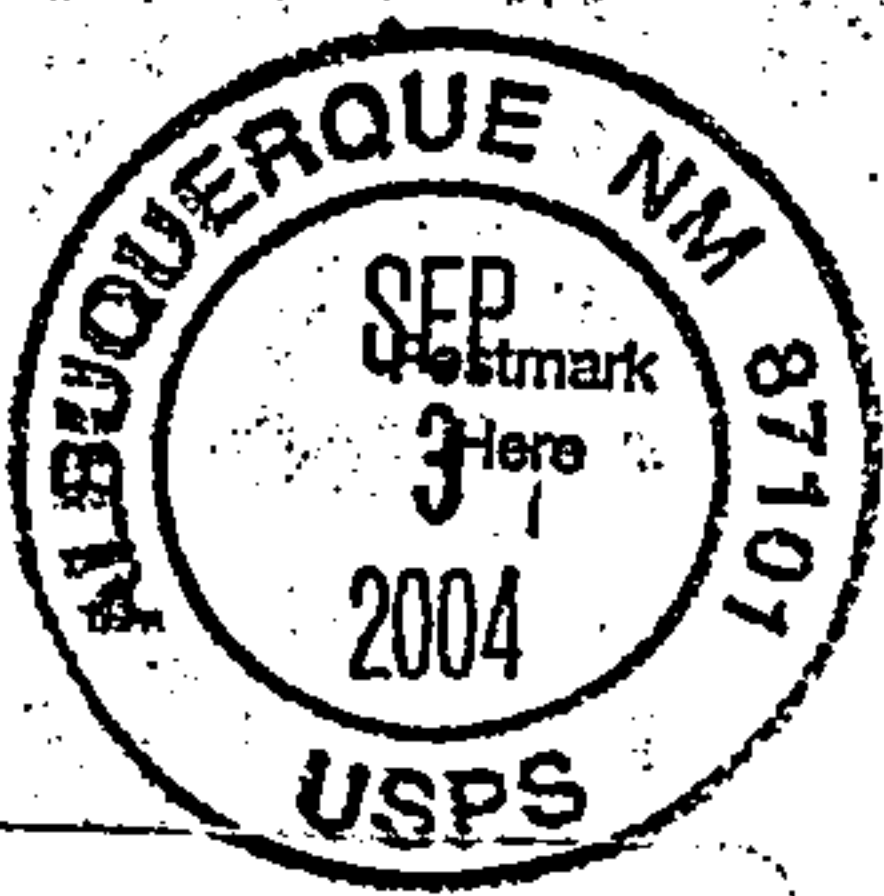


Sent To
DEAUN LEWIS
S.R. MARMON N.A.
6400 SUNNY DAY CT NW
ALBUQUERQUE NM 87120

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE

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Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.88

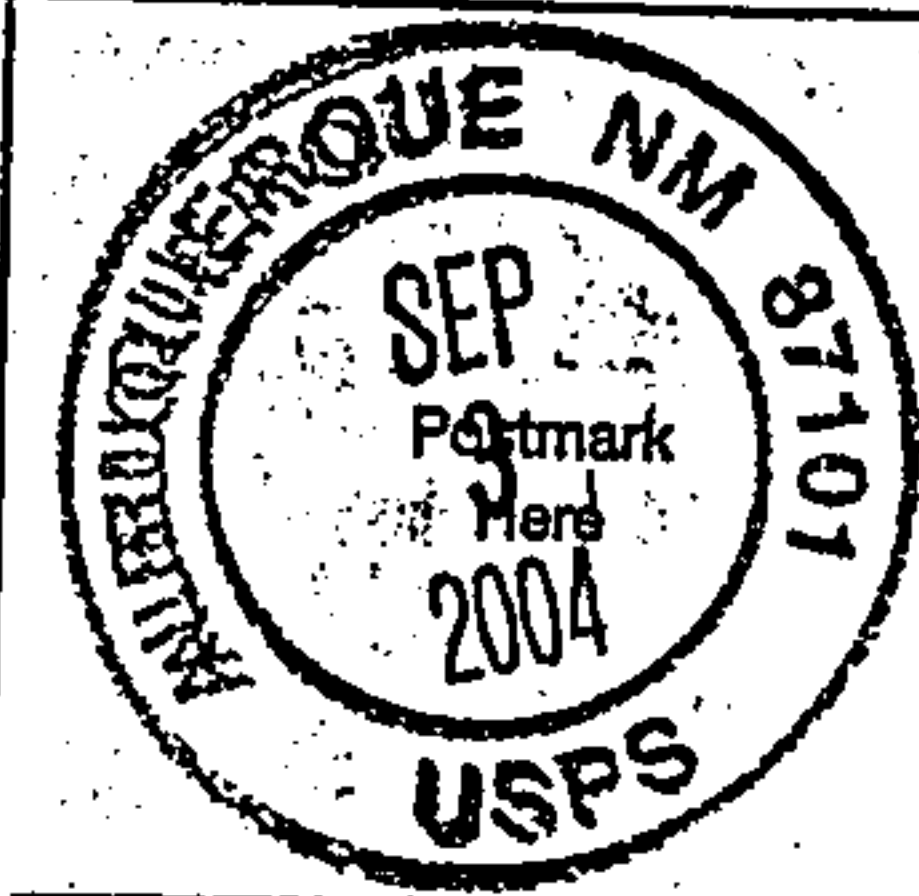


Sent To
CHRISTOPHER PRIEN
LOS VOLCANES N.A.
622 HONEYLOCUST PL NW
ALBUQUERQUE NM 87120

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE

Postage	\$ 1.83
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
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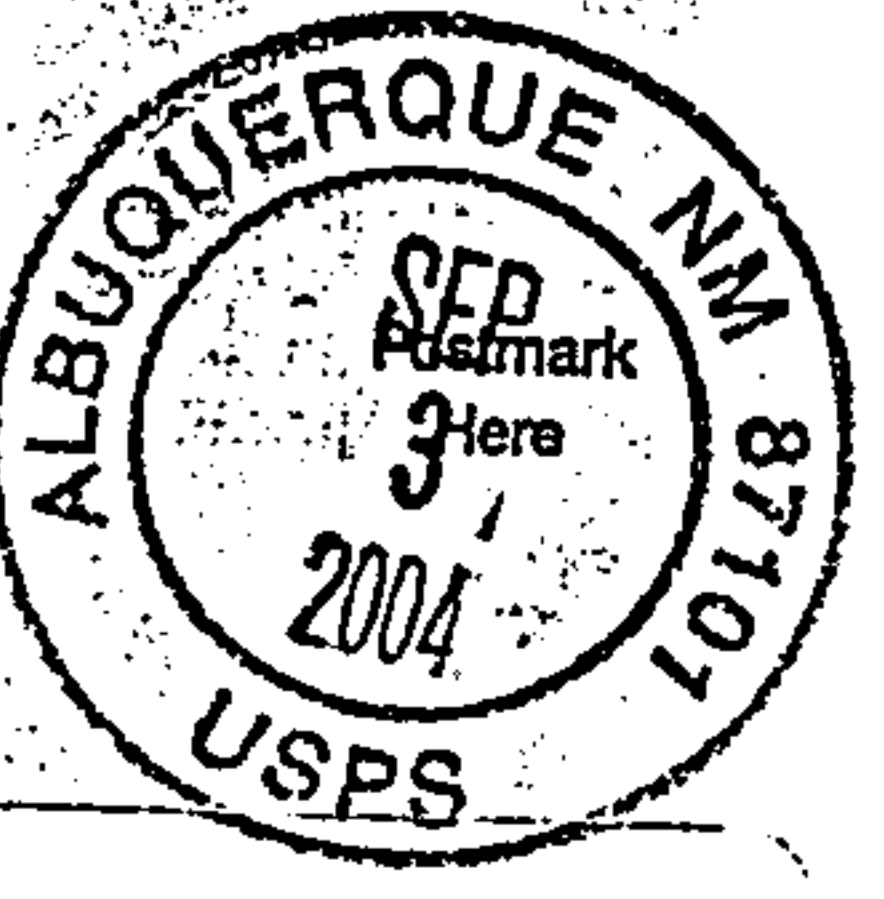


Sent To
DAVE EDWARDS
LOS VOLCANES N.A.
637 HONEYLOCUST PL NW
ALBUQUERQUE NM 87120

U.S. Postal Service
CERTIFIED MAIL RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

OFFICIAL USE

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Certified Fee	2.30
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Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.88

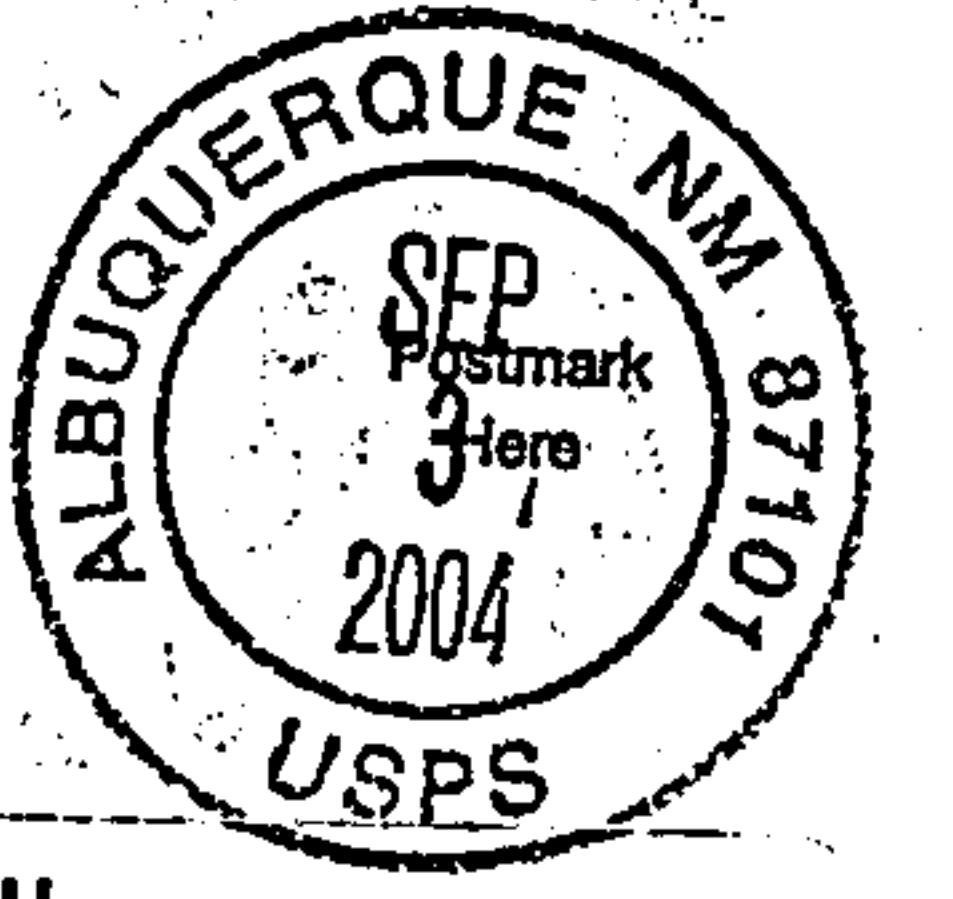


Sent To
STEVE TARDY
LAURELWOOD N.A.
7424 LYNWOOD DR NW
ALBUQUERQUE NM 87120

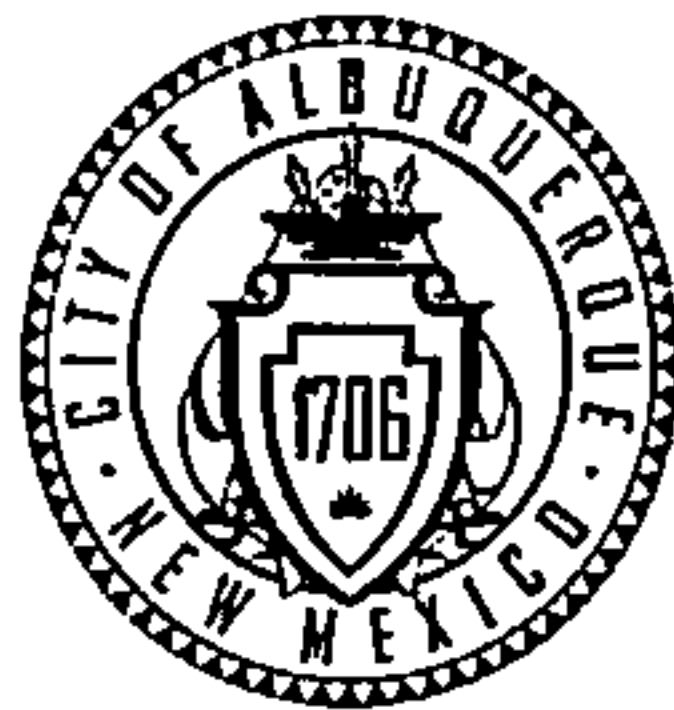
U.S. Postal Service
CERTIFIED MAIL RECEIPT
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OFFICIAL USE

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Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	1.75
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 4.88



Sent To
PHYLIS VILCHUCK
LAURELWOOD N.A.
7805 SPRINGWOOD RD NW
ALBUQUERQUE NM 87120



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

August 31, 2004

Karen Kline
Tierra West, LLC
8509 Jefferson NE/87113
Phone: 858-3100/Fax: 858-1118
Email: kkline@tierrawestllc.com

Dear Karen:

Thank you for your inquiry of **August 31, 2004** requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **TRACT 225, TOWN OF ATRISCO GRANT AIRPORT UNIT EAST OF 72ND STREET NW BETWEEN GLENRIO ROAD NW AND INTERSTATE 40** zone map J-10.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

SEE "ATTACHMENT A" FOR NEIGHBORHOOD INFORMATION.

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Senior Administrative Assistant
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

planningrnaform(04/09/03)

"Attachment A"

36
36
36
36

Karen Kline, Tierra West, LLC
Zone Map: J-10

LAURELWOOD N.A. (R)

*Steve Tardy

7424 Lynwood Dr. NW/87120 440-0115 (h) 323-7771 (w)

Phylis Vilchuck

7805 Springwood Rd. NW/87120 836-7624 (h)

LOS VOLCANES N.A. (R)

*Christopher Prien

622 Honeylocust Pl. NW/87121 831-6342 (h) 400-3655 (w)

Dave Edwards

637 Honeylocust Pl. NW/87121 833-5909 (h) 292-8955 (w)

S.R. MARMON N.A. (R)

*Deaun Lewis

6400 Sunny Day Ct. NW/87120 352-9249 (h) 797-7970 (w)

Russell Kappelman

6808 Huerto NW/87120 352-0251 (h)

ALTHOUGH YOU ARE NOT "OFFICIALLY REQUIRED" BY O-92, you are most welcomed to notify the following "*Unrecognized*" neighborhood associations of this project.

LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.



230101
DRB

OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

8-21-2003

3. **Project # 1001926**
03DRB-01224 Major-Vacation of Pub Right-of-Way
03DRB-01225 Major-Preliminary Plat Approval

BEN PLATANIA request(s) the above action(s) for all or a portion of Tract(s) 225, TOWN OF ATRISCO GRANT -AIRPORT UNIT, zoned R-2, located on GLEN RIO RD NW, between 72nd ST NW and 78th ST NW containing approximately 5 acre(s). [REF: 02DRB-00568 (VROW), 02DRB-00673 (SK)] (J-10)

At the August 20, 2003, Development Review Board meeting, the Vacation was approved as shown on Exhibit B in the Planning file, subject to these provisions:

- 1. The public welfare is in no way served by retaining the rights-of-way and/or easements, or.**
- 2. There is a net benefit to the public welfare because the development made possible by the vacation is clearly more beneficial to the public welfare than the minor detriment resulting from the vacation.**
- 3. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.**
- 4. Final disposition shall be through the City Real Estate Office.**
- 5. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.**

With the signing of the infrastructure list dated 8/20/03 and approval of the grading plan engineer stamp dated 7/14/03 the preliminary plat was approved. If you wish to appeal this decision, you must do so by September 4, 2003, in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.



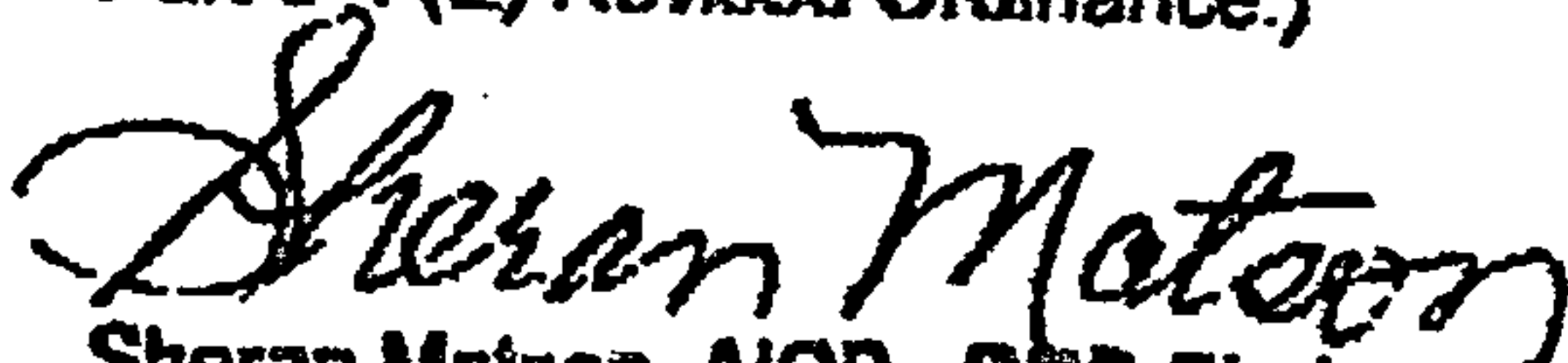
26
26
26

**OFFICIAL NOTICE OF DECISION
PAGE 2**

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights of way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14. Part 7-2 (E)(3)(6) Revised Ordinance.)

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)


Sheran Matson, AICP, DRB Chair

Arlene Portillo, 5712 Morgan Ln NW, 87120
Arlene Portillo, Planning Department, 4th Floor, Plaza del Sol Bldg.
Scott Howell, Property Management, Legal Dept./4th Fr. City/County Bldg
File

230101
INCOMPL

Project Number: **ORIGINAL**

A MENDED INFRASTRUCTURE LIST

Make

Revisions

Date Submitted: 4/27/04
 Date Site Plan Approved: N/A
 Date Preliminary Plat Approved: 8-20-03
 Date Preliminary Plat Expires: 8-20-04
 DRB Project No. 1061926
 DRB Application No. 04-00329

EXHIBIT "A"
 TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

MUSTANG MESA SUBDIVISION
 PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN
LOT 225-A TOWN OF ATRISCO GRANT AIRPORT ADDITION
 EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		10"	WATER MAIN	72ND PLACE NW	GLENRIO ROAD NW	NE CORNER LOT 17 AT I-40 R.O.W.	1	1	1
		8"	SANITARY SEWER MAIN	72ND PLACE NW	GLENRIO ROAD	END OF 72ND PL. AT I-40 R.O.W.	1	1	1
		8"	SANITARY SEWER MAIN	GLENRIO ROAD NW	72ND PLACE	WEST EDGE OF TRACT 225-A	1	1	1
		28' FACE TO FACE	RESIDENTIAL ASPHALT STREET (24' WIDG ASPHALT)	72ND PLACE NW	GLENRIO ROAD NW	END OF 72ND PL NW AT I-40	1	1	1
		4"	ESTATE MOUNTABLE CURB (FOLLOW CURB)	72ND PLACE NW BOTH SIDGS	GLENRIO ROAD NW	END OF 72ND PL NW AT I-40 R.O.W.	1	1	1
		4'	PCC SIDEWALK BOTH SIDGS (NOT INCLUDING TREN AREAS)	72ND PLACE NW	GLENRIO ROAD NW	END OF 72ND PL NW AT I-40 R.O.W.	1	1	1
		24'	PERMANENT RESIDENTIAL ASPHALT N. SIDE OF STREET ON GLENRIO ROAD ON MUSTANG MESA FRONTAGE	GLENRIO ROAD NW	(EAST EDGE OF MUSTANG MESA FRONTAGE)	(WEST EDGE OF MUSTANG MESA FRONTAGE)	1	1	1
		8"	STANDARD PCC CURB AND GUTTER	NORTH SIDE OF GLENRIO ROAD NW	(EAST EDGE OF MUSTANG MESA FRONTAGE)	(WEST EDGE OF MUSTANG MESA FRONTAGE)	1	1	1
		4'	PCC SIDEWALK	NORTH SIDE OF GLENRIO ROAD NW	(EAST EDGE OF MUSTANG MESA FRONTAGE)	(WEST EDGE OF MUSTANG MESA FRONTAGE)	1	1	1

Sequence #	Project #	DATE	TYPE OF IMPROVEMENT	LOCATION	FROM	TO	Private Inspector	City Inspector	City Enst Engineer
			TERRITORY ASPHALT SURFACE NORTH SIDE OF STREET	GLENN RD ROAD NW	EST. 6066 DE INSTALLATION	WEST SIDE OF PHASE 1 APPURTENANCES	/	/	/
		ok	RCP STORM DRAIN	72ND PLACE	GENBIO ROAD NW	SD INLGTS	/	/	/
		24"	RCP STORM DRAIN	GLENN RD NW	W/ PL	ON 72 PL NW (200' N)	/	/	/
		36"	CERTIFICATION OF GRADING & DRAINAGE PLAN BY ENGINEER PRIOR TO RELEASE OF FINANCIAL GUARANTEE AND S. I. A.		72ND PL NW	EXISTING SD INLET AT W. 6066 OF PUBLIC APPURTENANCES (400' E)	/	/	/
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SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnet Engineer
							/	/	/
							/	/	/
							/	/	/
							/	/	/

NOTES

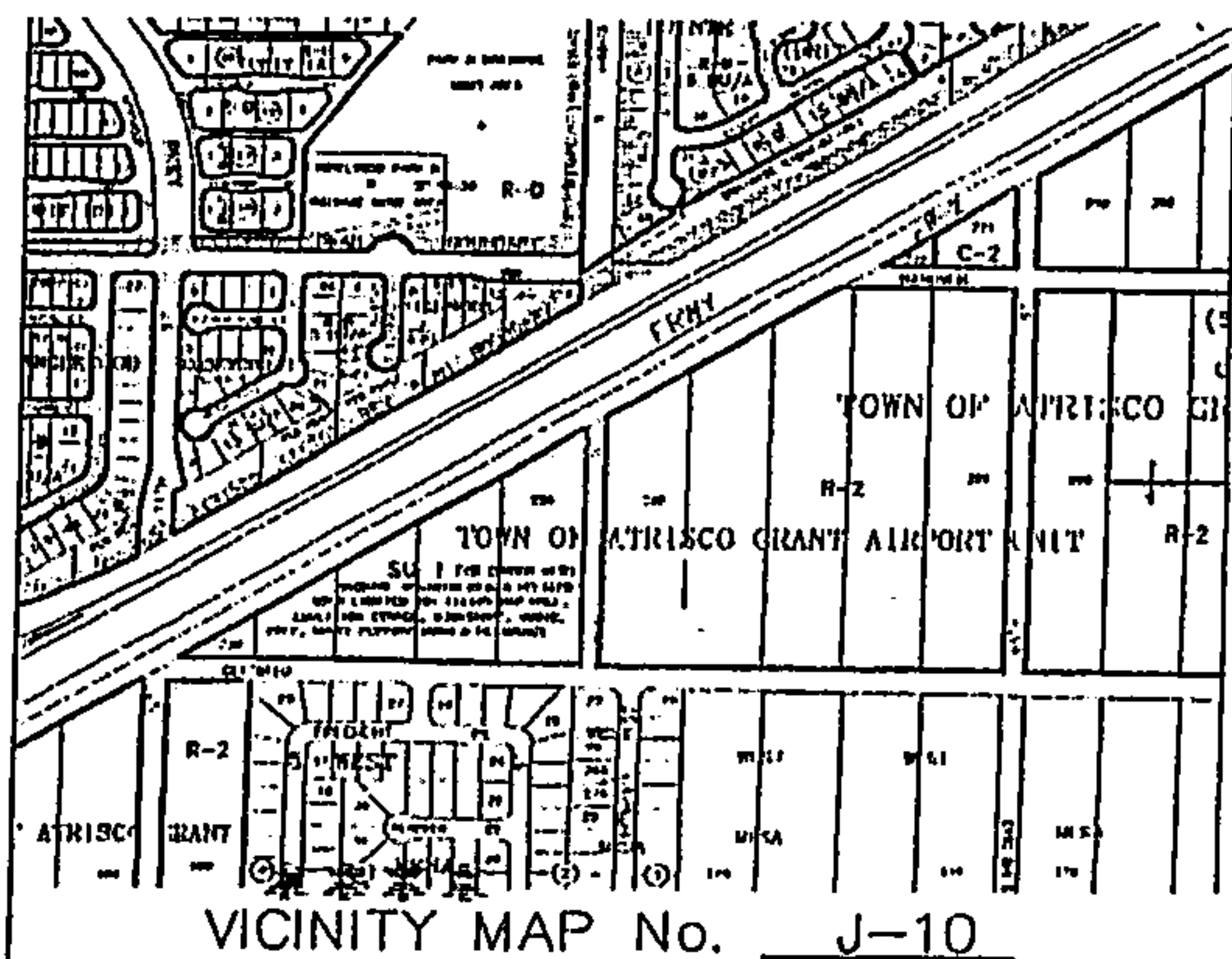
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AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS
Ben Platania NAME (print)	<i>Christina Sandora</i> PARKS & GENERAL SERVICES - date 3/24/04
FIRM	DRB CHAIR - date 3-24-04
<i>Ben Platania</i> SIGNATURE - date	TRANSPORTATION DEVELOPMENT - date 3/24/04
MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____	UTILITY DEVELOPMENT - date 3-24-04
	CITY ENGINEER - date 3-24-04
	AMAFCA - date _____
	_____ - date _____
	_____ - date _____
DESIGN REVIEW COMMITTEE REVISIONS	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

FINAL PLAT MUSTANG MESA SUBDIVISIC

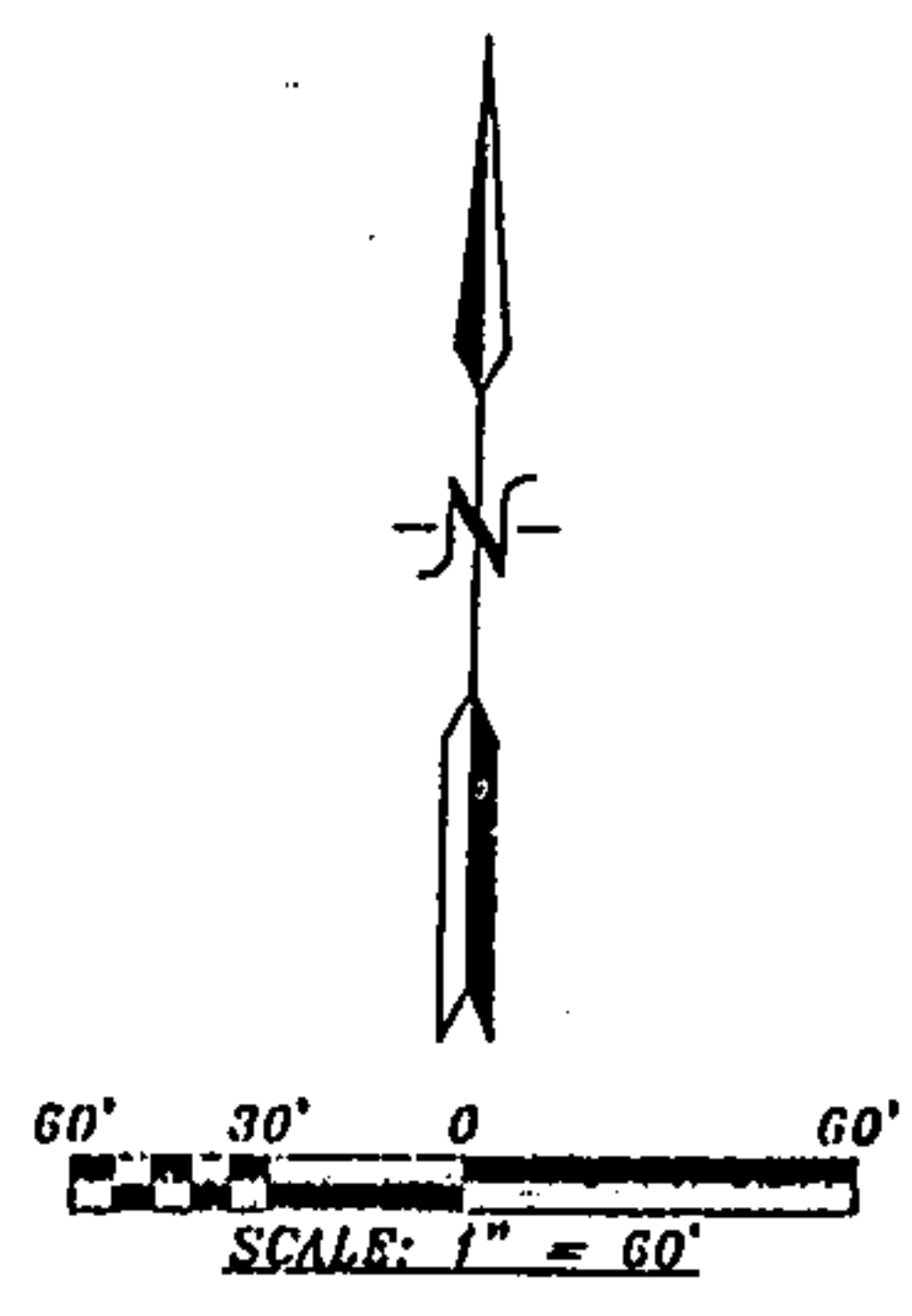
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY, 2004



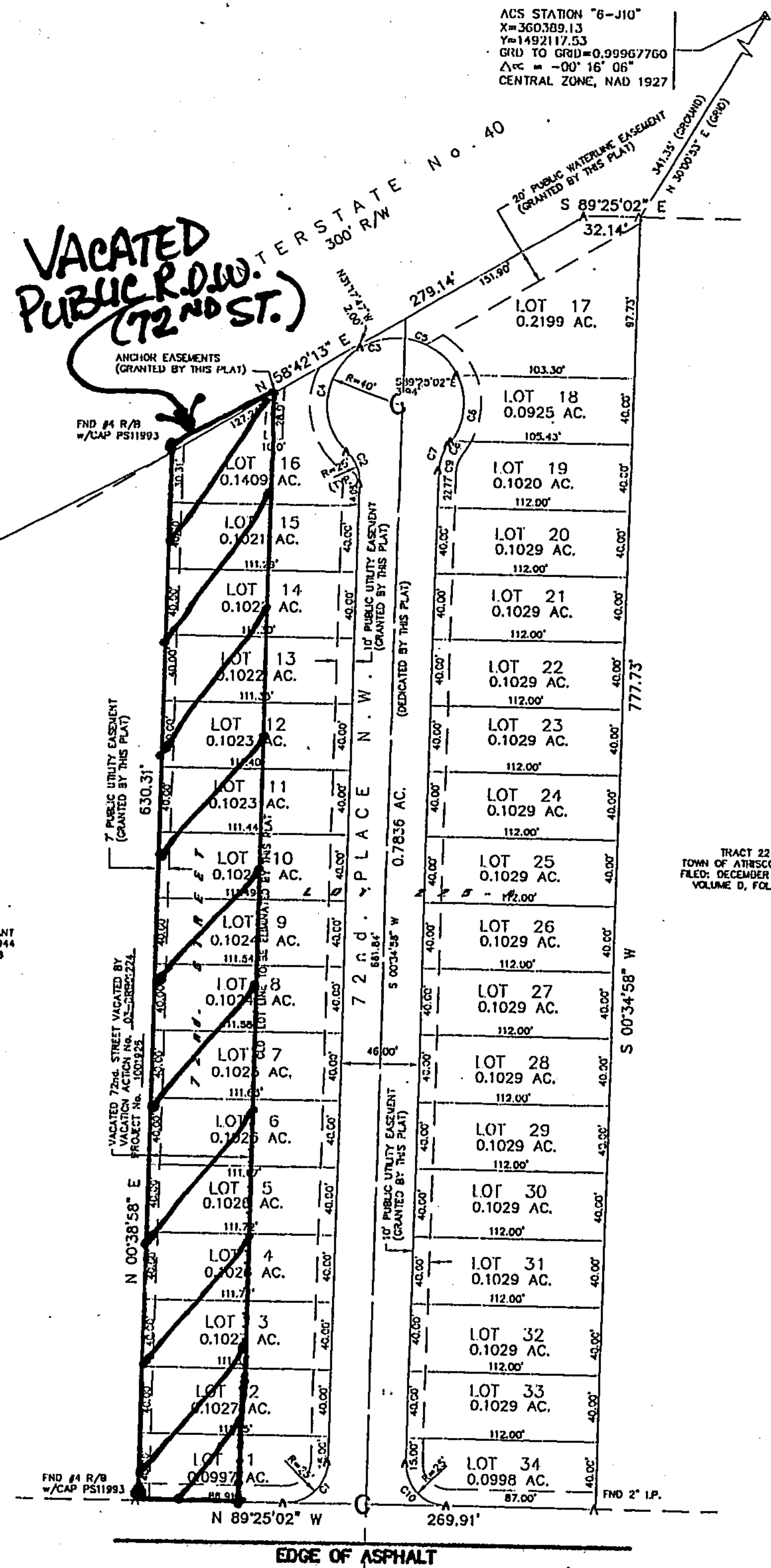
ACS STATION "6-J10"
X=360,389.13
Y=1492117.53
GRD TO GRD=0.99967760
 $\Delta\alpha = -00^{\circ} 16' 06''$
CENTRAL ZONE, NAD 1927

**VACATED
PUBLIC R.O.W.
(72ND ST.)**

ACS STATION "1-40-21A"
X=354,594.87
Y=1,488,789.30
GRD TO GRD=0.9996747
 $\Delta\alpha = -00^{\circ} 16' 46''$
CENTRAL ZONE, NAD 1927



TRACT 228
TOWN OF ATRISCO GRANT
FILED: DECEMBER 5, 1944
VOLUME D, FOLIO 118

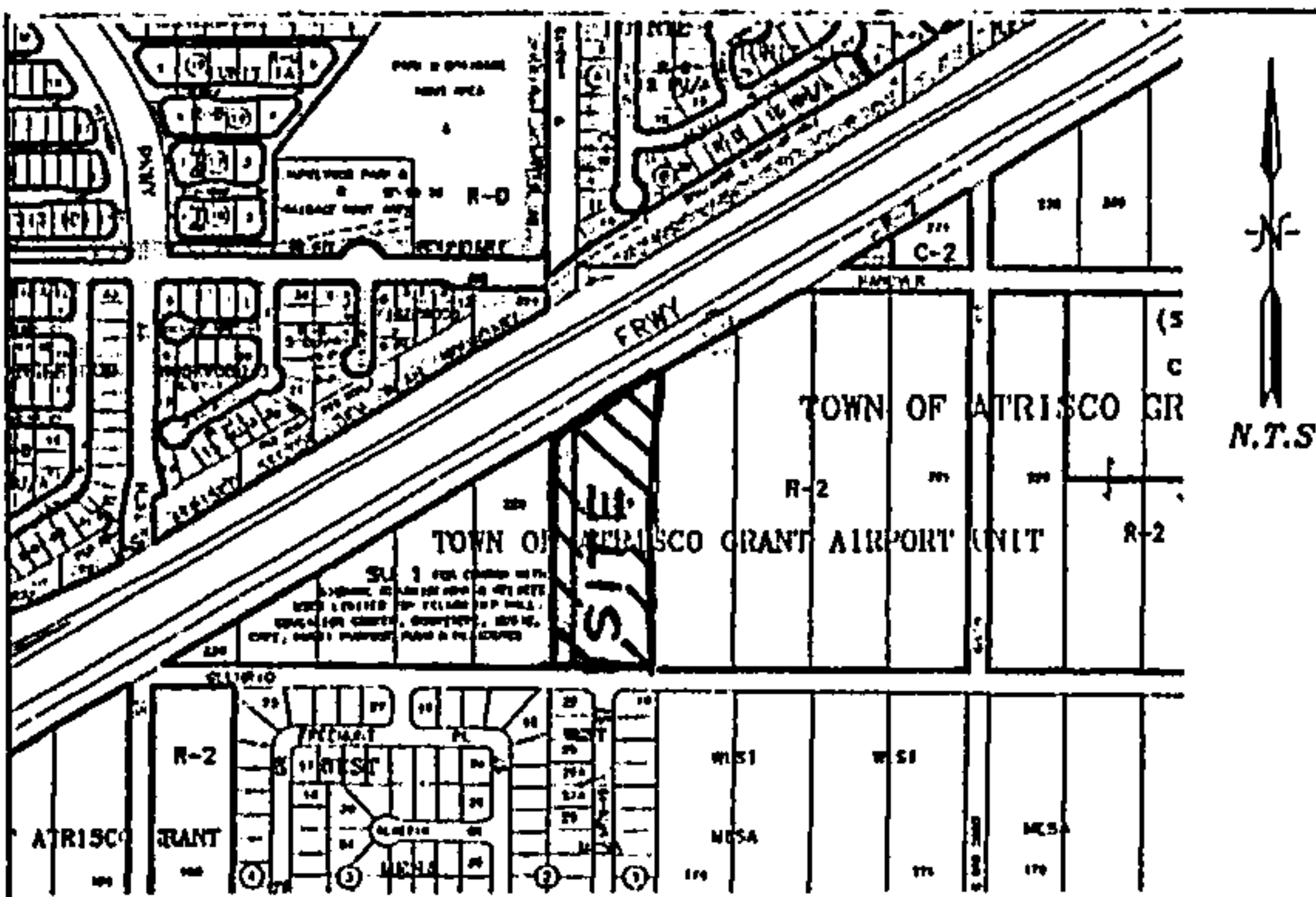


CURVE	RADIUS	DELTA	ARC	BEARING
C1	25.00	90°00'00"	39.27	N 45°34'58" E
C2	25.00	47°19'44"	20.85	N 23°04'54" W
C3	40.00	284°18'53"	184.50	N 85°23'40" E
C4	40.00	105°26'59"	73.82	N 09°58'43" E
C5	40.00	94°53'04"	56.24	S 73°51'15" E
C6	40.00	60°05'38"	41.95	S 03°38'06" W
C7	25.00	36°57'09"	16.12	S 19°03'32" W
C8	40.00	03°51'11"	2.69	S 35°36'31" W
C9	25.00	16°48'47"	7.34	S 08°59'21" W
C10	25.00	90°00'00"	39.27	S 44°25'02" E

NOTES:

- UNLESS OTHERWISE NOTED ALL BOUNDARY CORNER SHOWN THUS O SHALL BE MARKED BY No. 4 WITH CAP STAMPED PS 11463.
- STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTER POINT'S ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS W WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED "CITY OF CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB, PS11463.
- BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SHOWN.
- BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE BEARINGS.
- ALL DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENT STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF MONUMENTATION.

TRACT 224
TOWN OF ATRISCO GRANT
FILED: DECEMBER 5, 1944
VOLUME D, FOLIO 118



VICINITY MAP No. J-10

DISCLOSURE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO SHOW THE VACATED 72nd STREET, DIVIDE TRACT 225 INTO 30 LOTS, DEDICATE 72ND PLACE AND GRANT ANY EASEMENTS AS SHOWN.

IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
 UPC# _____
 PROPERTY OWNER OF RECORD: _____
 BERNALILLO CO. TREASURER'S OFFICE: _____

LEGAL DESCRIPTION

TRACT NUMBERED TWO HUNDRED TWENTY-FIVE (225) OF THE PLAT SHOWING A PORTION OF TRACTS ALLOTTED FROM TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 5, 1944 IN VOLUME D, FOLIO 118, TOGETHER WITH VACATED 72nd STREET (VACATED BY VACATION ACTION No. 1000694, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT WHENCE CITY OF ALBUQUERQUE CONTROL STATION "6-J10" HAVING NEW MEXICO STATE PLANE COORDINATES OF (CENTRAL ZONE, NAD, 1927) x=360,389.13 AND y=1,492,117.53 BEARS N. 30 deg. 00' 53" E., A DISTANCE OF 341.35 FEET, RUNNING
 THENCE S. 00 deg. 34' 58" W., A DISTANCE OF 777.73 FEET TO THE SOUTHEAST CORNER, BEING A POINT ON THE NORTH LINE OF GLENRIO ROAD;
 THENCE N. 89 deg. 25' 02" W., ALONG THE NORTH LINE OF GLENRIO ROAD, A DISTANCE OF 289.91 FEET TO THE SOUTHWEST CORNER;
 THENCE N. 00 deg. 38' 58" E., A DISTANCE OF 630.31 FEET TO THE NORTHWEST CORNER, BEING A POINT ON THE SOUTHERLY LINE OF INTERSTATE 40;
 THENCE N. 58 deg. 42' 13" E., ALONG THE SOUTHERLY LINE OF INTERSTATE 40, A DISTANCE OF 279.14 FEET TO A POINT;
 THENCE S. 89 deg. 25' 02" E., A DISTANCE OF 32.14 FEET TO THE NORTHEAST CORNER AND PLACE OF BEGINNING CONTAINING 4.1101 ACRES MORE OR LESS.

GENERAL NOTES:

- 1: UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- 2: THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- 3: TOTAL AREA OF PROPERTY: 4.4101 ACRES.
- 4: TALOS LOG NO. 2003168324
- 5: BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
- 6: DISTANCES ARE GROUND, BEARINGS ARE GRID.
- 7: BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- 8: DATE OF FIELD WORK: APRIL 10, 2003
- 9: CURRENT ZONING: R-2
- 10: D R B CASE No.: 1000694
- 11: PROPERTY FALLS WITHIN TOWN OF ATRISCO GRANT.
- 12: STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS. Δ WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB, PS11463.
- 13: PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
 PNM ELECTRIC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 PNM GAS FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
 QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUB-SURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRIC OR SAFETY CODE CAUSED BY CONSTRUCTION OR POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

14. STREET MILEAGE CREATED: 0.1291 MILES

FREE CONSENT AND DEDICATION

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT, THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE TO THE LAND SUBDIVIDED AND DATA AND STREETS RIN TO THE CITY OF ALBUQUERQUE WITH WARRANTY.

JEFF BURNHART, PRESIDENT
 J.R. HONEY
 DATE 8-9-04

ACKNOWLEDGMENT
 STATE OF NEW MEXICO) S.S.
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC
 THIS 9th DAY OF August, 2004
 BY: [Signature]
 NOTARY PUBLIC
 MY COMMISSION EXPIRES 8-9-04 BY: [Signature]
 NOTARY PUBLIC

**FINAL PLAT
 MUSTANG MESA SUBDIVISION**

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2004
 SHEET 1 OF 2

PROJECT No.: _____

UTILITY APPROVALS:

PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE
UTILITY DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

[Signature] 9-2-04
 CITY SURVEYOR DATE

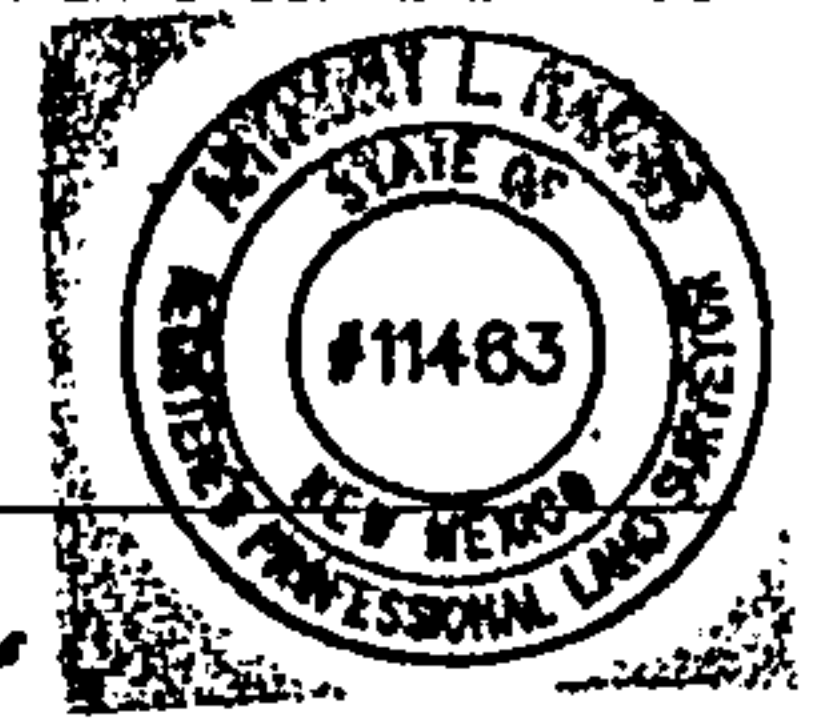
SURVEYORS CERTIFICATE:

STATE OF NEW MEXICO) S.S.
 COUNTY OF BERNALILLO)

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,
 THIS 11th DAY OF August, 2004.

[Signature]
 ANTHONY L. HARRIS, P.S. #11463



HARRIS SURVEYING, INC. PHONE: (505) 889-8856
 2415-D MORROW STREET N.E. FAX: (505) 889-8645
 ALBUQUERQUE, NEW MEXICO 87110

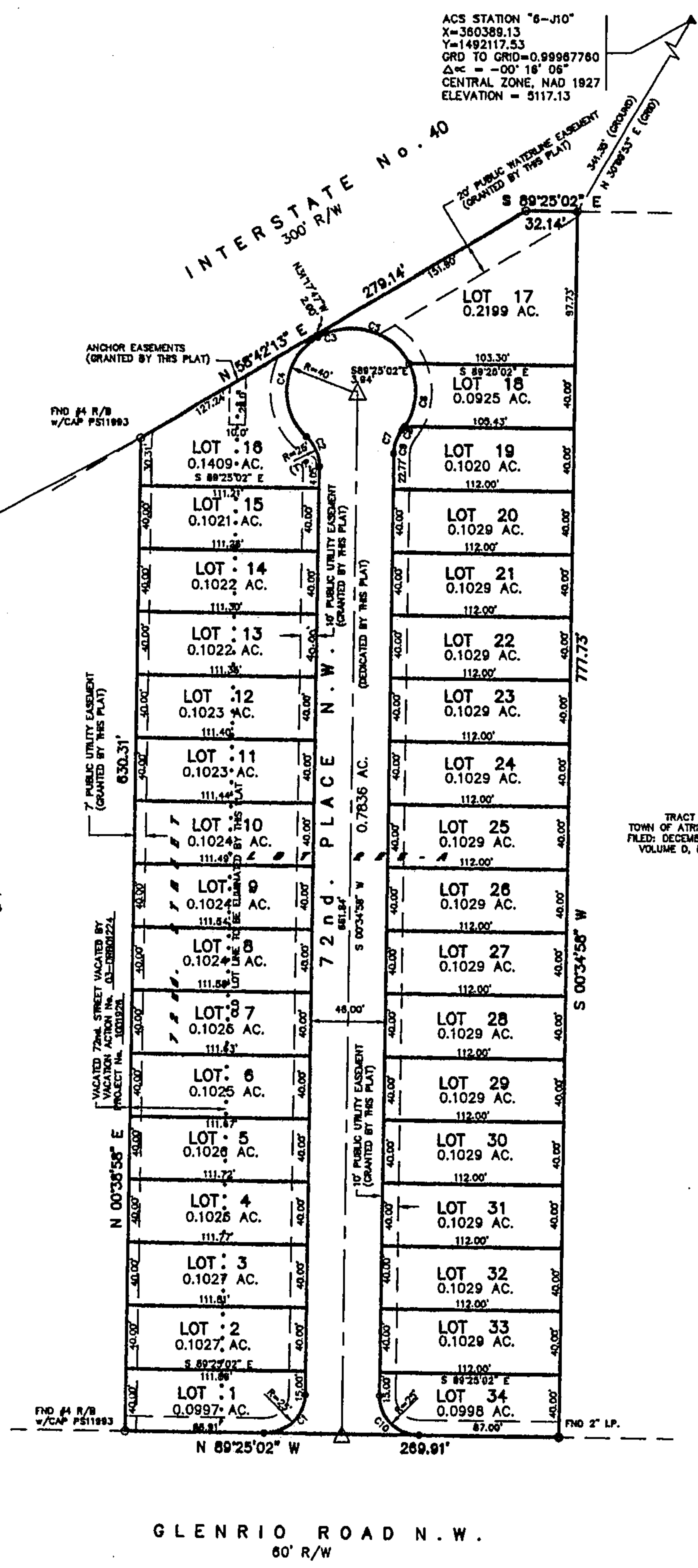
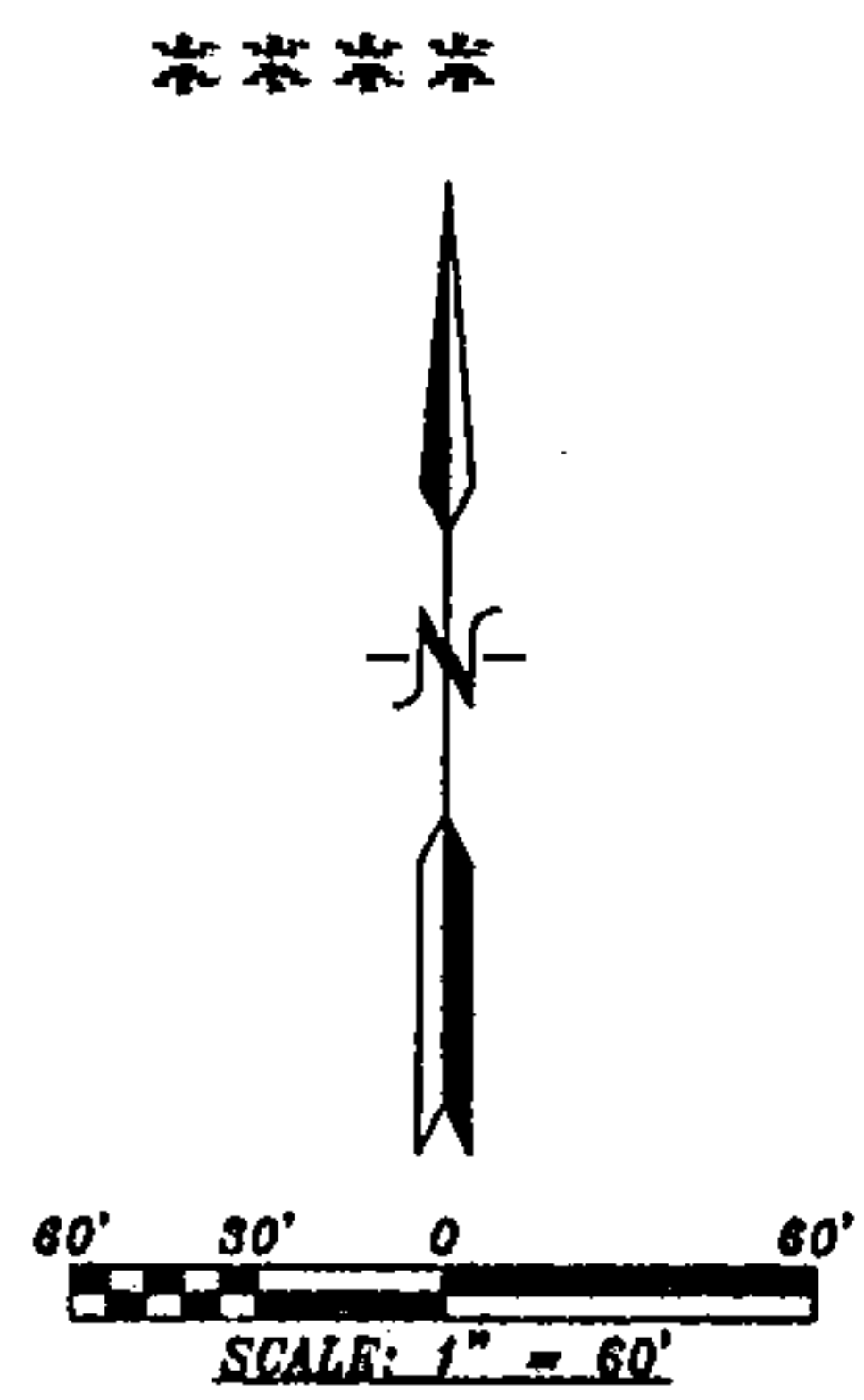
FINAL PLAT MUSTANG MESA SUBDIVISION

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY, 2004
SHEET 2 of 2

ACS STATION "6-J10"
X=360389.13
Y=1492117.53
GRD TO GRID=0.99987760
Δα = -00° 18' 06"
CENTRAL ZONE, NAD 1927
ELEVATION = 5117.13

ACS STATION "I-40-21A"
X=354,594.87
Y=1,488,789.30
GRD TO GRID=0.9998747
Δα = -00° 18' 48"
CENTRAL ZONE, NAD 1927

CURVE	RADIUS	DELTA	ARC	BEARING	CHORD
C1	25.00	90°00'00"	39.27	N 48°34'58" E	35.36
C2	25.00	47°19'44"	20.85	N 23°04'54" W	20.07
C3	40.00	284°18'53"	184.50	N 85°23'40" E	59.32
C4	40.00	103°28'59"	73.82	N 08°58'43" E	63.86
C5	40.00	84°53'04"	58.24	S 73°51'15" E	58.93
C6	40.00	60°05'38"	41.88	S 63°38'08" W	40.08
C7	25.00	36°57'09"	18.12	S 19°03'32" W	15.85
C8	40.00	63°51'11"	2.69	S 33°38'31" W	2.69
C9	25.00	18°48'47"	7.34	S 08°59'21" W	7.31
C10	25.00	90°00'00"	39.27	S 44°25'02" E	35.36



TRACT 228
TOWN OF ATRISCO GRANT
FILED: DECEMBER 5, 1944
VOLUME D, FOLIO 118

TRACT 224
TOWN OF ATRISCO GRANT
FILED: DECEMBER 5, 1944
VOLUME D, FOLIO 118

GLENRIO ROAD N.W.
60' R/W

03-0752.DWG (APR-03)

\$0.00
\$445.00
\$75.00

Thank You

CHANGE

CK

J24 Misc

Trans Amt

ONE STOP SHOP

CITY OF ALBUQUERQUE PLANNING DEPARTMENT

Development & Building Services

PAID RECEIPT

DUPLICATE

City of Albuquerque
Treasury Division

LOC: ANNX

9:49AM

RECEIPT# 00028356 WSH# 008 TRANS# 0016

Account 441006 Fund 0110

Activity 4971000 TRSDMM

Trans Amt \$445.00

J24 Misc \$300.00

Thank You

TRSDMM

Fund 0110

RECEIPT# 00028357 WSH# 008 TRANS# 0016

9/3/2004 9:50AM LOC: ANNX

City of Albuquerque
Treasury Division

APPLICANT NAME

JD HOME INC.

AGENT

TIERRA WEST

ADDRESS

8509 JEFFERSON ST NE

PROJECT & APP #

1001926 / 040PB - 01358

PROJECT NAME

MUSTANG MESA

\$ 20 441032/3424000 Conflict Management Fee

\$ 50 441006/4983000 DRB Actions

\$ 300 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ 75 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 445.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

9/3/2004
RECEIPT
Account
Activity
Trans Amt
J24 Misc

TIERRA WEST LLC
8509 JEFFERSON NE
ALBUQUERQUE, NM 87113
(505) 858-3100

DATE 9/2/04

1746
95-677/1070

PAY TO THE ORDER OF City of Albuquerque

Four Hundred & Forty Five and no/100 DOLLARS

City of Albuquerque
Treasury Division

9/3/2004 9:49AM LOC: ANNX
RECEIPT# 00028355 WSH# 008 TRANS# 0016
Account 441006 Fund 0110
Activity 4983000 TRSDMM
Trans Amt \$445.00

FOR DRB Submittal 23101

High Desert State Bank
Member FDIC
1110 Ventura NE
Albuquerque, NM 87122

001746 107006677

20081131

Thank You \$50.00

SIGN POSTING REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property, which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproofed signs will be provided at the time of application. If the application is mailed, you must still stop at the Planning Division to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Planning Division at a charge of \$3.00 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be two to seven feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign in order to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs maybe required on unpaved street frontages.
- B. If the land does not abut a public street, then in addition to a sign placed on the property a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from 9.14.04 To 9.29.04.

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Planning Division staff. I understand (A) my obligation to keep the sign(s) posted for fifteen (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Karen Keine, 9/3/04
(Applicant or Agent) (Date)

I issued 2 signs for this application, _____, _____
(Date) (Staff Member)

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form S

SUBDIVISION

___ Major Subdivision action

___ Minor Subdivision action

___ Vacation **V**

___ Variance (Non-Zoning)

SITE DEVELOPMENT PLAN **P**

___ ...for Subdivision Purposes

___ ...for Building Permit

___ IP Master Development Plan

___ Cert. of Appropriateness (LUCC) **L**

Supplemental form Z

ZONING & PLANNING

___ Annexation

___ County Submittal

___ EPC Submittal

___ Zone Map Amendment (Establish or Change Zoning)

___ Sector Plan (Phase I, II, III)

___ Amendment to Sector, Area, Facility or Comprehensive Plan

___ Text Amendment (Zoning Code/Sub Regs)

APPEAL / PROTEST of... **A**

___ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Ben Platania PHONE: 899-9627

ADDRESS: 5712 Morgan Ln NW FAX: _____

CITY: Albuq. STATE NM ZIP 87120 E-MAIL: plateaubp@msn.com

Proprietary interest in site: owner

AGENT (if any): _____ PHONE: _____

ADDRESS: _____ FAX: _____

CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

DESCRIPTION OF REQUEST: Temporary Deferral of sidewalk construction

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. ___ No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 225 Block: _____ Unit: _____

Subdiv. / Addn. TOWN OF ATRISCO GRANT AIRPORT UNIT

Current Zoning: R-2 Proposed zoning: _____

Zone Atlas page(s): 5-10-Z No. of existing lots: 1 No. of proposed lots: 30

Total area of site (acres): 4.9101 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? No

UPC No. 1 010 058 271 403 10401 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: GLENRIO RD. NW

Between: 72ND ST and 78 ST NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____

PROJ 100694/02DRB-00568, PROJ#1001926/02DRB-00673, 03DRB-01224, 03DRB-01225

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 5-15-2002

SIGNATURE Ben Platania DATE 9-3-2003

(Print) Ben Platania Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>03DRB - 01475</u>	<u>TRS</u>		\$ <u>0</u>
<input type="checkbox"/> All fees have been collected	_____	_____		\$ _____
<input type="checkbox"/> All case #s are assigned	_____	_____		\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____		\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____		\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____		\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>Sept. 17, 2003</u>			Total \$ <u>0</u>

Paul Cordell 9/4/03
Planner signature / date

Project # 1001926

FORM V: SUBDIVISION VARIANCES & VACATIONS

38
38
38

- BULK LAND VARIANCE** (Public Hearing Case)
 - ___ Application for subdivision (Plat) on FORM S-3, including those submittal requirements. Variance and subdivision should be applied for simultaneously.
 - ___ Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
 - ___ Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
 - ___ Any original and/or related file numbers are listed on the cover application
- DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.**

- VACATION OF PUBLIC RIGHT-OF-WAY**
 - VACATION OF PUBLIC EASEMENT**
 - ___ The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies. (Not required for dedicated and City owned public right-of-way.)
 - ___ Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 24 copies
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - ___ Sign Posting Agreement
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

- SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL)**
 - SIDEWALK DESIGN VARIANCE**
 - SIDEWALK WAIVER**
 - ___ Scale drawing showing the proposed variance or waiver (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the variance or waiver
 - ___ Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**
 - EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**
 - ___ Drawing showing the sidewalks subject to the proposed deferral or extension (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the deferral or extension
 - ___ Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.**

- VACATION OF PRIVATE EASEMENT**
 - ___ The complete document which created the private easement (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
 - ___ Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the vacation
 - ___ Letter of authorization from the grantors and the beneficiaries
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ben Platania Applicant name (print)
Ben Platania Applicant signature / date
 9/3/03



Form revised April 2003

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
030213 - 01475
- Paul Cardillo 9/4/03
 Planner signature / date
- Project #** 1001926

✠
✠
✠
Ben Platania ✠
5712 Morgan Ln NW
Albuquerque, NM 87120
(505) 899-9627

September 3, 2003

City of Albuquerque
Development Review Board

Respected Members;

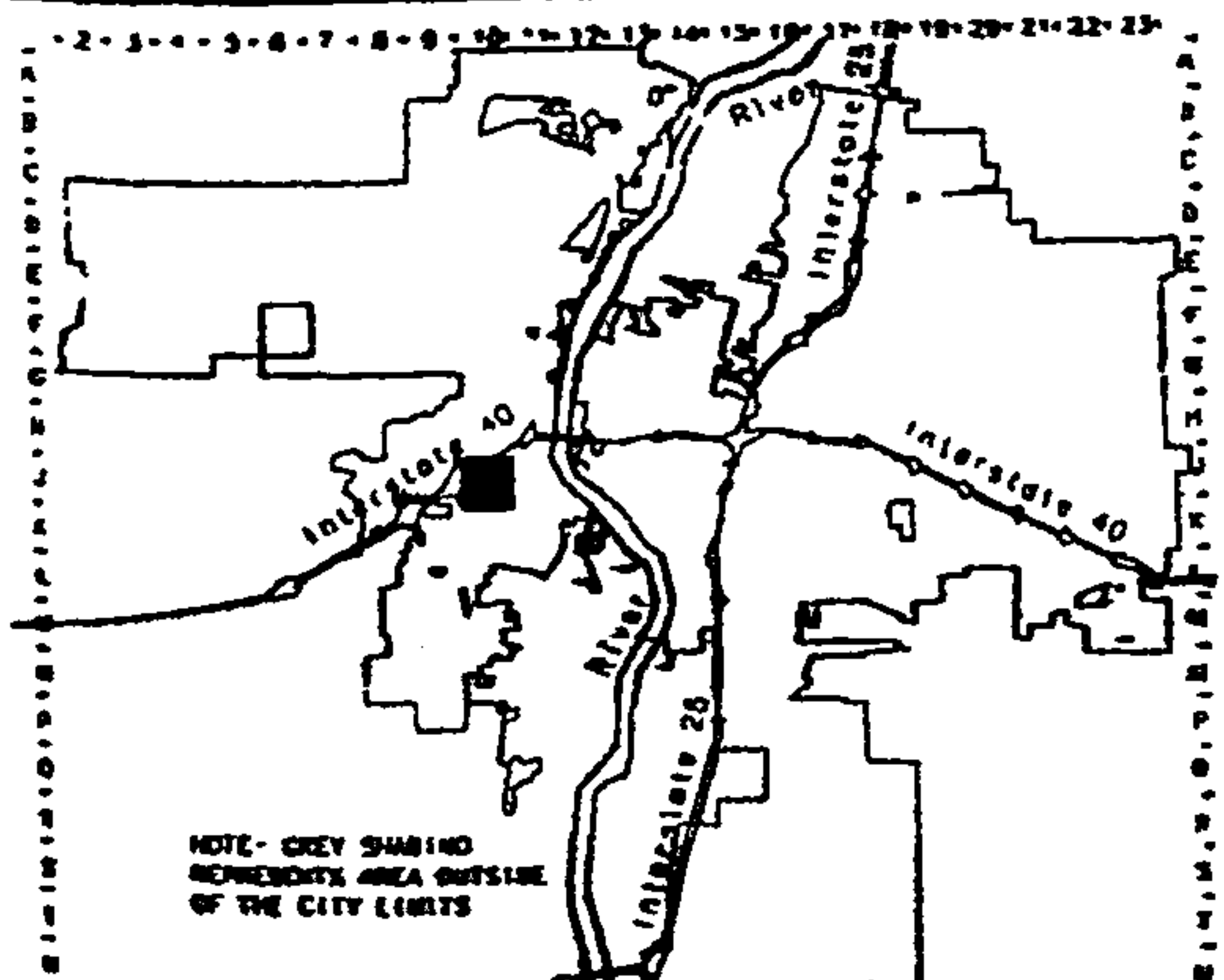
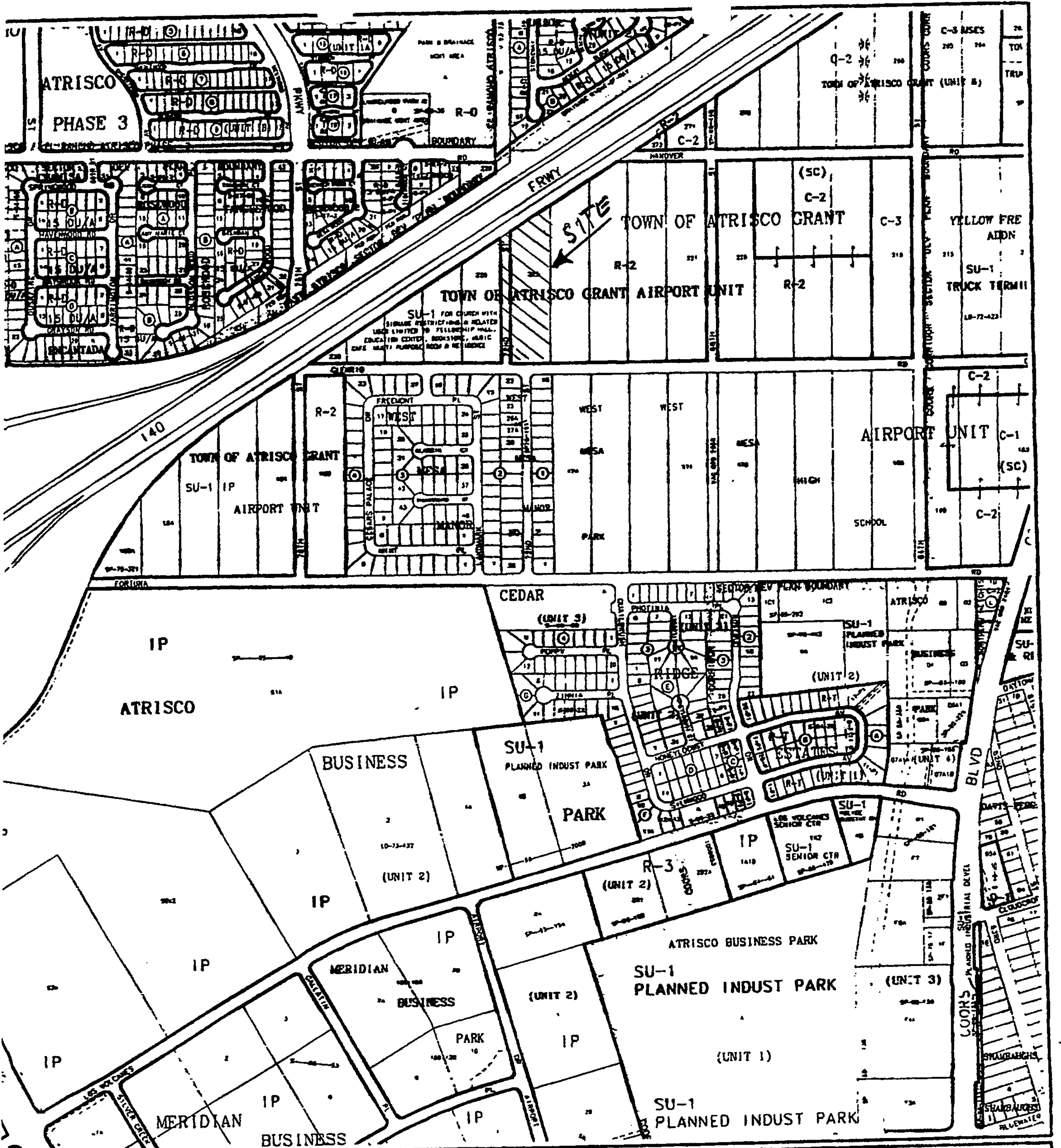
My request is for a "Temporary Deferral of Sidewalk Construction" in regards to project # 1001926 and the Major-Preliminary Plat Approval under 03DRB-01225 approved on August 20, 2003. The sidewalks will be put in place as part of the construction of single family residences on the 30 lot subdivision.

Thank you for your consideration of this request.

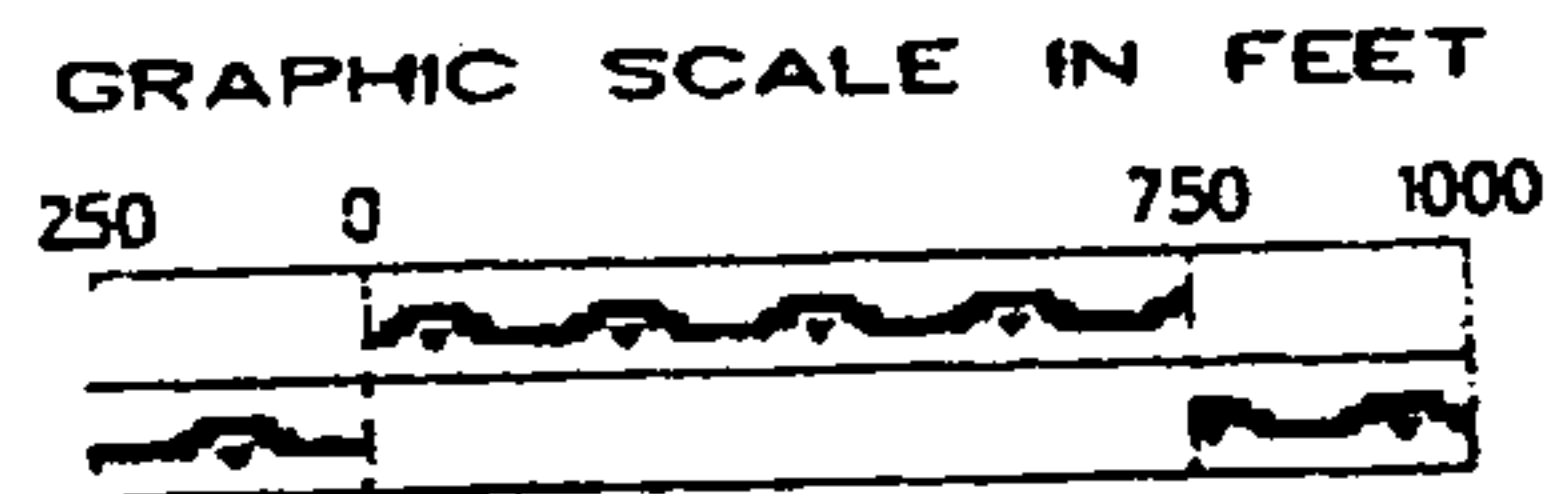
Sincerely,



Ben Platania



CITY OF
Albuquerque
Albuquerque Geographic Information System
PLANNING DEPARTMENT
© Copyright 2002



Zone Atlas Page

J-10-Z

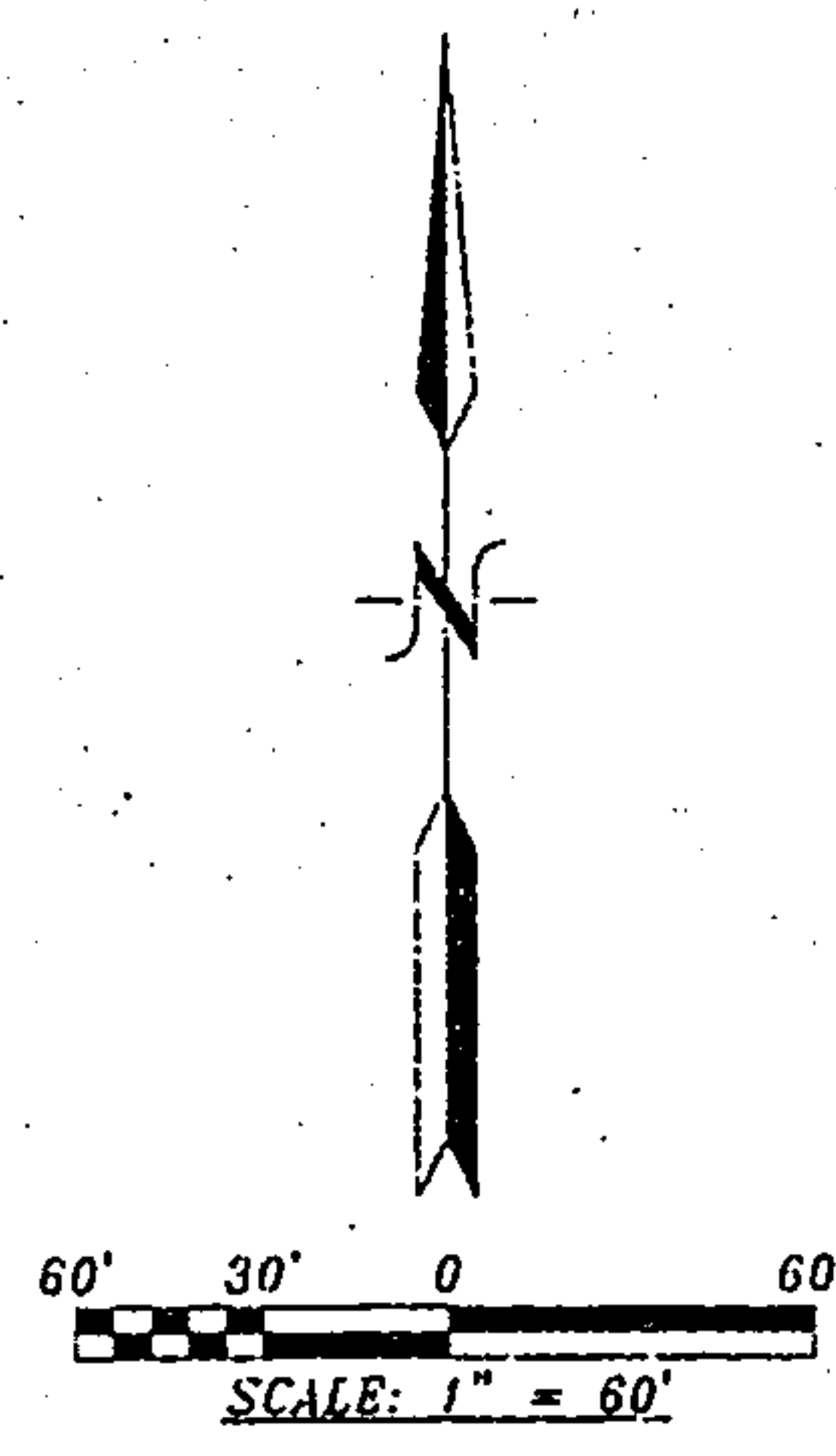
Map Amended through April 03, 2002

PLAT OF
LOTS 1 THRU 30
MUSTANG MESA SUBDIVISION
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2003

CURVE	RADIUS	DELTA	ARC	BEARING	CHORD
C1	25.00	90°00'00"	39.27	N 45°34'58" E	35.36
C2	25.00	47°19'44"	20.65	N 23°04'54" W	20.07
C3	40.00	26°41'53"	184.50	N 85°23'40" E	59.32
C4	40.00	105°26'59"	73.62	N 05°58'43" E	63.66
C5	40.00	102°40'36"	71.68	S 65°57'29" E	62.47
C6	40.00	56°09'16"	36.20	S 09°27'28" W	37.65
C7	25.00	36°57'09"	16.12	S 19°03'32" W	15.85
C8	25.00	20°08'22"	8.79	S 27°27'56" W	8.74
C9	25.00	16°48'47"	7.34	S 08°59'21" W	7.31
C10	25.00	90°00'00"	39.27	S 44°25'02" E	35.36

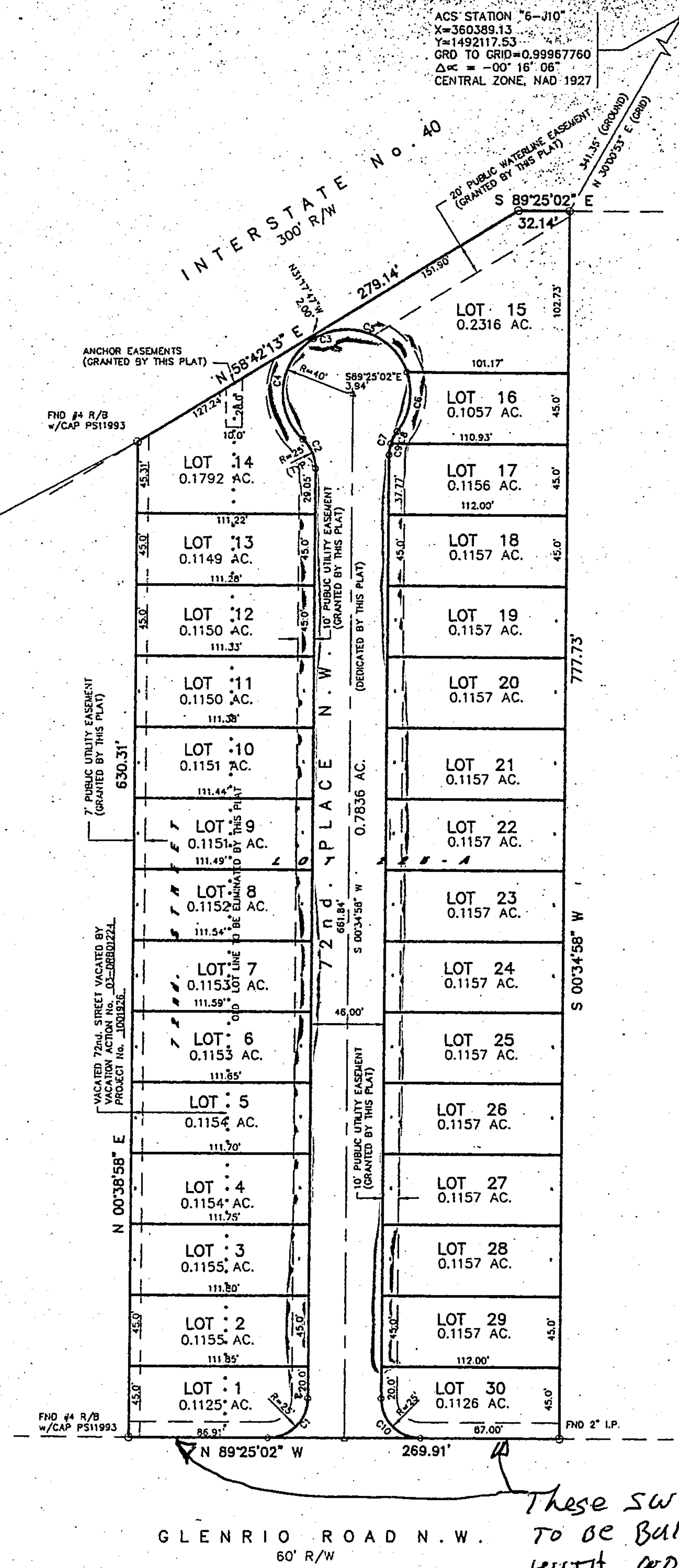
ACS STATION "1-40-21A"
 X=354,594.87
 Y=1,488,789.36
 GRD TO GRID=0.9996747
 Δα = -00° 16' 46"
 CENTRAL ZONE, NAD 1927

ACS STATION "6-J10"
 X=360,389.13
 Y=1,492,117.53
 GRD TO GRID=0.99967760
 Δα = -00° 16' 06"
 CENTRAL ZONE, NAD 1927



TRACT 226
 TOWN OF ATRISCO GRANT
 FILED: DECEMBER 5, 1944
 VOLUME D, FOLIO 118

TRACT 224
 TOWN OF ATRISCO GRANT
 FILED: DECEMBER 5, 1944
 VOLUME D, FOLIO 118



SURVEYORS CERTIFICATE.
 STATE OF NEW MEXICO) S.S.
 COUNTY OF BERNALILLO)
 I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,
 THIS ____ DAY OF _____, 2003.

ANTHONY L. HARRIS, P.S. # 11463
HARRIS SURVEYING, INC.
 2412-D MONROE STREET N.E. ALBUQUERQUE, NEW MEXICO 87110
 PHONE: (505) 889-8056 FAX: (505) 889-8645

03-0752.DWG (APR-03)

Current DRC
Project Number: _____

ORIGINAL

FIGURE 12

INFRASTRUCTURE LIST

Date Submitted: 8-20-03
 Date Site Plan Approved: _____
 Date Preliminary Plat Approved: 8-20-03
 Date Preliminary Plat Expires: 8-20-04
 DRB Project No.: 1001926
 DRB Application No.: 03DRB-01225

EXHIBIT "A"
 TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

MUSTANG MESA SUBDIVISION
 PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LOT 225-A TOWN OF ATRISCO GRANT AIRPORT ADDITION
 EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		10" 8"	WATER MAIN	72ND ST NW	NE CORNER LOT 15 I-40 R.O.W	GLEN RIV RD NW	1	1	1
		8"	SANITARY SEWER MAIN	72ND ST NW	I-40 R.O.W	GLEN RIV RD NW	1	1	1
		8"	SANITARY SEWER MAIN	GLEN RIV RD NW	WEST EDGE OF TRACT 225-A	M.H. ON GLEN RIV RD BY APARTMENTS	1	1	1
		28' FF 24'	RESIDENTIAL ASPHALT ST	72ND ST NW	I-40 R.O.W.	GLEN RIV RD	1	1	1
		4"	ESTATE MOUNTABLE CURB (ROLLOVER CURBS)	72ND ST N.W BOTH SIDES	I-40 R.O.W	GLEN RIV RD	1	1	1
		4'	SIDEWALK BOTH SIDES NOT INCLUDING TURN AROUND	72ND ST N.W	I-40 R.O.W.	GLEN RIV RD	1	1	1
		24' FE	PERMANENT RESIDENTIAL ASPHALT SURFACE NORTH SIDE OF STREET	GLEN RIV RD NW	EAST PL WEST EDGE OF TRACT 225-A	WEST PL EAST EDGE OF TRACT 225-A	1	1	1
			STANDARD CURB GUTTER NORTH SIDE OF STREET	GLEN RIV RD NW	WEST EDGE OF TRACT 225-A	EAST EDGE OF TRACT 225-A	1	1	1
		4'	SIDEWALK NORTH SIDE	GLEN RIV RD NW	WEST EDGE OF TRACT 225-A	EAST EDGE OF TRACT 225-A	1	1	1

1 of 3

ORIGINAL

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

NOTES

- 1 see item listing for engineer's cert note
- 2
- 3

AGENT / OWNER	DEVELOPMENT REVIEW BOARD MEMBER APPROVALS		
<u>Bruce Platania</u> NAME (print)	<u>Alexander Matson 8/20/03</u> DRB CHAIR - date		<u>Christina Sandoval 8/20/03</u> PARKS & GENERAL SERVICES - date
<u>Bruce Platania</u> SIGNATURE - date	<u>[Signature] 8-20-03</u> TRANSPORTATION DEVELOPMENT - date	AMAFCA - date	
MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: _____	<u>Roger Green 8/20/03</u> UTILITY DEVELOPMENT - date	_____ - date	
	<u>Buddy L. Bibson 8/20/03</u> CITY ENGINEER - date	_____ - date	
DESIGN REVIEW COMMITTEE REVISIONS			

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

8/20/03

Final Plat ^{to} show ~~the~~ Purpose
of Plat.

City of Albuquerque



DEVELOPMENT REVIEW APPLICATION

Supplemental form **S**

SUBDIVISION

Major Subdivision action

Minor Subdivision action

Vacation **V**

Variance (Non-Zoning)

SITE DEVELOPMENT PLAN **P**

...for Subdivision Purposes

...for Building Permit

IP Master Development Plan

Cert. of Appropriateness (LUCC) **L**

Supplemental form **Z**

ZONING

Annexation & Zone Establishment

Sector Plan

Zone Change

Text Amendment

APPEAL / PROTEST of... **A**

Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Ben Platania PHONE: 505 899-9627

ADDRESS: 5712 MORGAN LN NW FAX: _____

CITY: Albuq STATE NM ZIP 87120 E-MAIL: plateaubp@msn.com

Proprietary interest in site: OWNER

AGENT (if any): _____ PHONE: _____

ADDRESS: _____ FAX: _____

CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

DESCRIPTION OF REQUEST: VACATION OF PUBLIC RIGHT-OF-WAY AND MAJOR SUBDIVISION PRELIMINARY PIAT APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 225 Block: _____ Unit: _____

Subdiv. / Adn. TOWN OF ATRISCO GRANT AIRPORT UNIT

Current Zoning: R-2 Proposed zoning: _____

Zone Atlas page(s): J-10-Z No. of existing lots: 1 No. of proposed lots: 30

Total area of site (acres): 4.4101 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: (No)

Within city limits? Yes. No but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? (No)

UPC No. 1 010 058 271 403 10401 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: GIENRIO RD. NW

Between: 72ND ST and 78TH ST

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_ V_ S_ etc.): _____

PROJ.# 1000694/02 DRB-00568^{VPRW} PROJ # 1001926/02 DRB-00673^{SK}

Check-off if project was previously reviewed by Sketch Plat/Plan or Pre-application Review Team . Date of review: 5-15-2002

SIGNATURE Ben Platania DATE 7-21-2003

(Print) _____ Applicant: _____ Agent

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>03 DRB - 01224</u>	<u>VPRW</u>		<u>\$ 300.-</u>
<u>01225</u>	<u>PP</u>		<u>\$ 1110</u>
			<u>\$</u>
			<u>\$</u>
	<u>Notice</u>		<u>\$ 75.-</u>
			<u>Total</u>
			<u>\$ 1485.-</u>

Hearing date Aug 20 2003

JAM 7/22/03 Project # 1001926

Planner signature / date

Form revised September 2001

FORM V: SUBDIVISION VARIANCES & VACATIONS

36
36
36

BULK LAND VARIANCE

(Public Hearing Case)

- Application for subdivision (Plat) on FORM S-3, including those submittal requirements. Variance and subdivision should be applied for simultaneously.
- Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
- Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
- Any original and/or related file numbers are listed on the cover application

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

VACATION OF PUBLIC RIGHT-OF-WAY

VACATION OF PUBLIC EASEMENT

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies. (Not required for dedicated and City owned public right-of-way.)
- Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 24 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule) 300
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. **DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.**

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL)

SIDEWALK DESIGN VARIANCE

SIDEWALK WAIVER

- Scale drawing showing the proposed variance or waiver (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the variance or waiver
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION

- Drawing showing the sidewalks subject to the proposed deferral or extension (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the deferral or extension
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF PRIVATE EASEMENT

- The complete document which created the private easement (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
- Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the vacation
- Letter of authorization from the grantors and the beneficiaries
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ben Platavia
Applicant name (print)
Ben Platavia
Applicant signature / date
7/22/03



Form revised April 2003

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
03DRB - 01224
- 01225

JM 7/22/03
Planner signature / date
Project # 1901926

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on **FORM-V** in addition to application for subdivision on **FORM-S-3**.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
- Proposed Infrastructure List.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule) *565 + 15/p 95 ± 246 450 + 95* **1090** **1110**
- Any original and/or related file numbers are listed on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately **ONE MONTH** after the filing deadline. **Your attendance is required.**

- MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately **ONE MONTH** after the filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT

(Temporary sidewalk deferral uses FORM-V)

- 1 copy of each of the following items
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

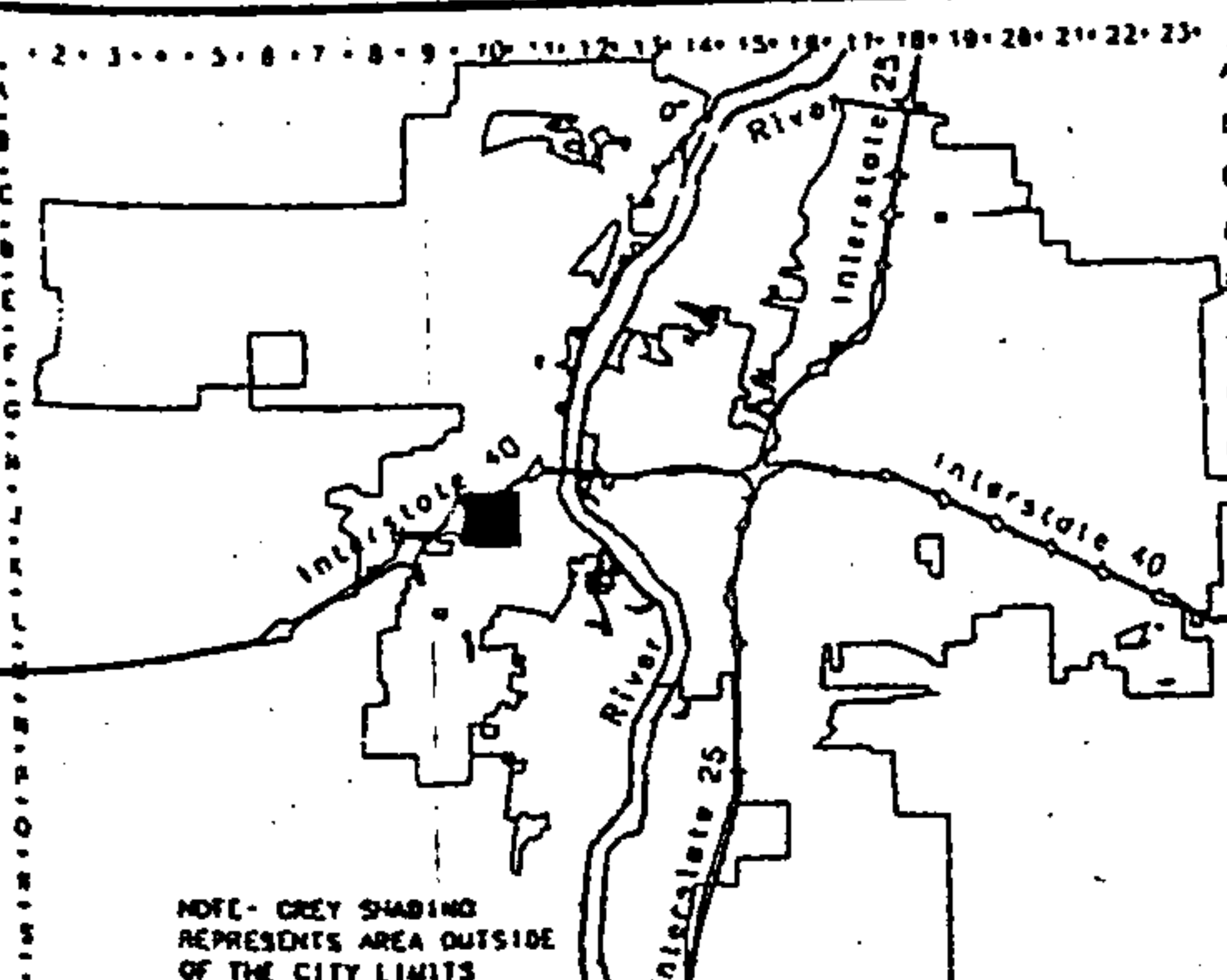
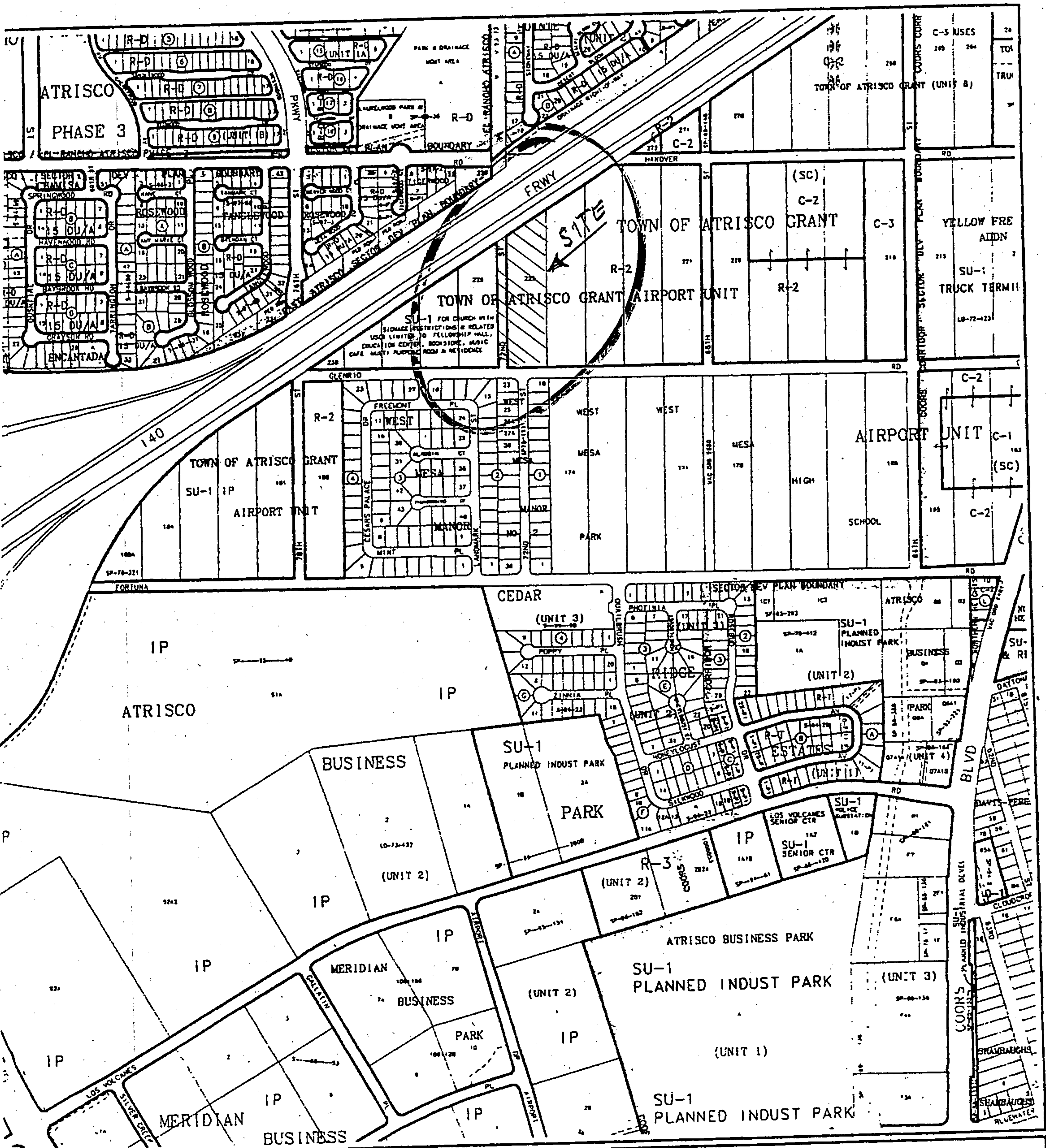
Ben Plataria
 Applicant name (print)
Ben Plataria
 Applicant signature / date
7/22/03



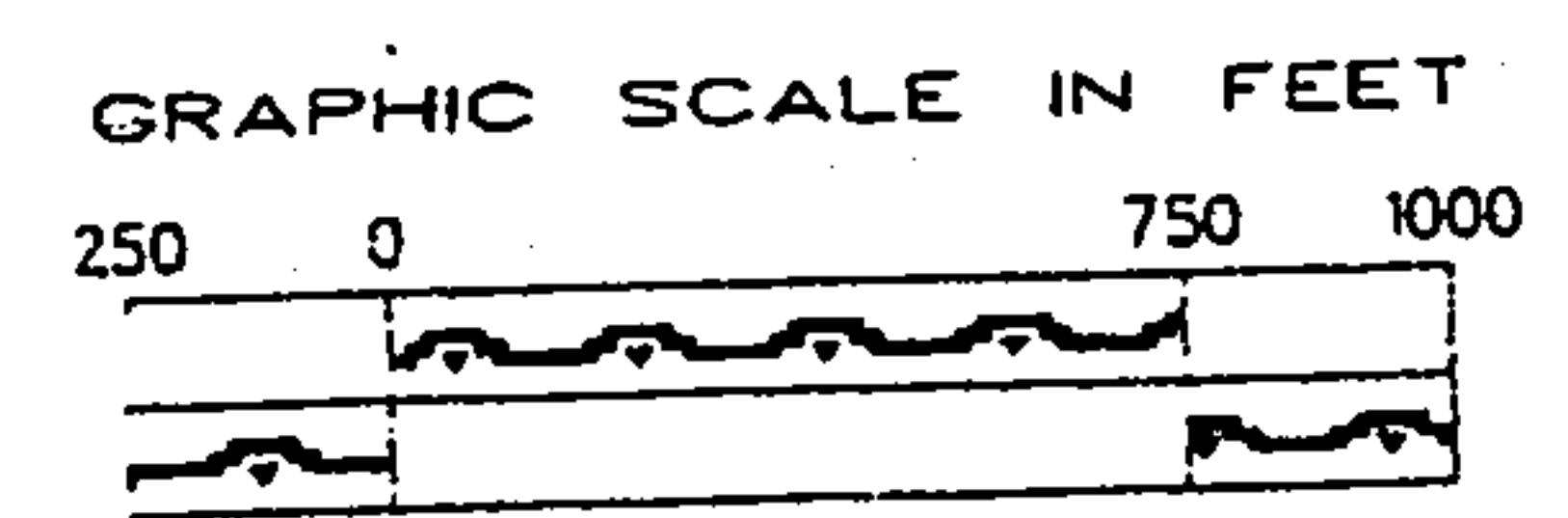
Form revised APRIL 2003

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
03DRB - 01224
03DRB - 01225

JM 7/22/03
 Planner signature / date
Project # 100/926



CITY OF
Albuquerque
A G I S
Geographic Information System
PLANNING DEPARTMENT
© Copyright 2002



Zone Atlas Page

J-10-Z

Map Amended through April 03, 2002

Ben Platania
5712 Morgan Ln NW
Albuquerque, NM 87120
(505) 899-9627

July 22, 2003

City of Albuquerque
Development Review Board

Respected Members;

My first request is for a Vacation of Public Right-of-way. This vacation was originally granted by the Development Review Board at the May 22, 2002 meeting under Project #1000694/02DRB-00568. Final plat approval was applied for at the May 14, 2003 meeting, project #1001926, but did not get approved because infrastructure information was needed. Since the final plat was not completed within the one year allowed I am reapplying for the Vacation of Public Right-of-way. There were no objections when the original vacation was applied for. The owners of the property to the west of the Public Right-of-way, lot 226 Town of Atrisco Airport Addition, waived their Right to Purchase their portion of the vacation (see enclosed copy of waiver form). This vacation will be utilized with lot 225 for a Major Subdivision request.

My second request is for Preliminary Plat Approval for a Major Subdivision consisting of 30 lots. Lot 225 Town of Atrisco Airport Addition is currently zoned R-2 but I believe that a residential subdivision would be a better use of the property at this location. A sketch plat review of this subdivision was presented at the May 15, 2002 DRB meeting Project #1001926/02DRB-00673. The new plat shows a new street which will align with the existing 72nd St. much closer than the street requested to be vacated above.

Thank you for your consideration of these requests.

Sincerely,


Ben Platania

Waiver of Right to Purchase

REFERENCE: DRB PROJECT # 1000694 , APPLICATION # 02DRB-00568
APPROVED BY THE DEVELOPMENT REVIEW BOARD ON
MAY 22, 2002

I (We) the undersigned property owner(s) of property adjacent to the above referenced Vacation Action do hereby waive any right that we may have to purchase this particular vacated right-of-way as defined in the SUBDIVISION REGULATIONS of the City of Albuquerque.

Tracts 226, 227, 228, 229 & 230 Town of Atrisco Grant, Glen Rio Road
Property Address and Legal Description

Steve Ulibarri by [Signature] 3-24-03
Property Owner Signature | Date

Property Owner Signature Date

Steve Ulibarri / John Gruego
Print Name Signed Above agent

Print Name Signed Above

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: _____

Date Site Plan Approved: _____

INFRASTRUCTURE LIST

Date Preliminary Plat Approved: _____

Date Preliminary Plat Expires: _____

EXHIBIT "A"

DRB Project No.: _____

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DRB Application No.: _____

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

MUSTANG MESA SUBDIVISION

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

LOT 225-A TOWN OF ATRISCO GRANT AIRPORT ADDITION

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		8"	WATER MAIN	72ND ST NW	I-40 R.O.W	GLEN RD RD NW	1	1	1
		8"	SEWITARY SEWUR MAIN	72ND ST NW	I-40 R.O.W	GLEN RD RD NW	1	1	1
		8"	SEWITARY SEWUR MAIN	GLEN RD RD NW	WEST EDGE OF TRACT 225-A	M.H. ON GLEN RD RD BY APARTMENTS	1	1	1
		24'	RESIDENTIAL ASPHALT ST	72ND ST NW	I-40 R.O.W.	GLEN RD RD	1	1	1
		4"	ESTATE MOUNTABLE CURB (ROLLOVER CURB)	72ND ST N.W BOTH SIDES	I-40 R.O.W	GLEN RD RD	1	1	1
		4'	SIDEWALK BOTH SIDES NOT INCLUDING TURN AROUND	72ND ST N.W	I-40 R.O.W.	GLEN RD RD	1	1	1
			PERMANENT RESIDENTIAL ASPHALT SURFACE NORTH SIDE OF STREET	GLEN RD RD NW	WEST EDGE OF TRACT 225-A	EAST EDGE OF TRACT 225-A	1	1	1
			STANDARD CURB GUTTER NORTH SIDE OF STREET	GLEN RD RD NW	WEST EDGE OF TRACT 225-A	EAST EDGE OF TRACT 225-A	1	1	1
		4'	SIDEWALK NORTH SIDE	GLEN RD RD NW	WEST EDGE OF TRACT 225-A	EAST EDGE OF TRACT 225-A	1	1	1

FORM DRWS: DRAINAGE REPORT / WATER & SEWER AVAILABILITY
THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR
MAJOR SUBDIVISIONS AND SITE DEVELOPMENT PLANS.

PROJECT NAME MUSTANG MESA SUBDIVISION

AGIS MAP # S-10

LEGAL DESCRIPTION LOT 225-A TOWN OF ATRISCO GRANT


AIRPORT ADDITION

DRAINAGE REPORT

A drainage report, as per the Drainage Ordinance, was submitted to the City of Albuquerque Public Works Department, Hydrology Division (2nd floor Plaza del Sol) on July 16 2003 [date].

MARVIN R. KORTUM
Applicant / Agent

July 16, 2003
Date

 7/22/03
Hydrology Division Representative

Date

WATER AND SEWER AVAILABILITY STATEMENT

A Water and Sewer Availability Statement for this project was requested from the City of Albuquerque Utilities Development Division (2nd floor Plaza del Sol) on MAY 24, 2002 [date].

Ben Platania
Applicant / Agent

MAY 22, 2002
Date

John F. McDonough
Utilities Division Representative

MAY 24, 2002
Date

DRB# _____

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

**
**
**
**

Tract 225-A
Drainage and Grading Plan

PROJECT TITLE: Town of Atrisco Grant ZONE MAP/DRG. FILE #: J-10
 DRB #: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Tract 225-A, Town of Atrisco Grant
 CITY ADDRESS: Glenrio Road, NW and 72nd Street, NW

ENGINEERING FIRM: Marvin R. Kortum CONTACT: FAX 299-9405
 ADDRESS: 1605 Speakman Drive, SE PHONE: (505) 299-0774
 CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87123

OWNER: Ben Platania CONTACT: _____
 ADDRESS: 5712 Morgan, NW PHONE: (505) 899-9627
 CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87120

ARCHITECT: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: Harris Surveying, Inc. CONTACT: _____
 ADDRESS: 2412-D Monroe Street, NE PHONE: (505) 889-8056
 CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87110

CONTRACTOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:


- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL GRADING & DRAINAGE PLAN
- GRADING PLAN
- EROSION CONTROL PLAN
- ENGINEER'S CERTIFICATION (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEERS CERTIFICATION (TCL)
- ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- SIA / FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D. APPROVAL
- S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM.)
- CERTIFICATE OF OCCUPANCY (TEMP.)
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- YES
- NO
- COPY PROVIDED

DATE SUBMITTED: July 16 2003 BY: 

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
May 24, 2002

Ben Platania
5712 Morgan NW
Albuquerque, New Mexico 87120

Re: Water and Sanitary Sewer Availability / Remaining Portion of Tract 225,
Town of Atrisco Grant, Airport Unit, / Proposed 28-Lot Single Family Subdivision

Sirs:

Existing Conditions: The property includes approximately 3.6 acres of vacant land on the east side of 72nd Street between Glenrio and the Interstate. Zoning is R2. The northern portion of Tract 225 was taken as right-of-way when I-40 was built. It's not clear if the property has ever been platted, or where the assess control line / right-of-way falls. Existing public utilities in Glenrio include a 16-inch zone 2WR master plan water line, but the sanitary dead ends east of 66th Street. The 8-inch sanitary in 72nd dead-ends south of Glenrio. The adjoining portion of 72nd Street is unimproved right-of-way.

Proposed: The sketch submitted to the Development Review Board 'DRB': project #1001926, showed vacation of the adjoining portion of 72nd Street and incorporated the east half of the right-of-way. (The vacation is pending under a separate case #1000694.) The gross area was shown as a 28-lot subdivision with all lots fronting on a new internal roadway dead ending at the I-40 right-of-way. Based on sketch dimensions lots east of the proposed roadway would be 97-feet deep, but lots to the west would only be 67-feet deep. Your proposal seems dependent on acquiring the full 72nd Street right-of-way. Obviously roadway alignment must match existing 72nd to the south. These issues must be resolved prior to plat approval.

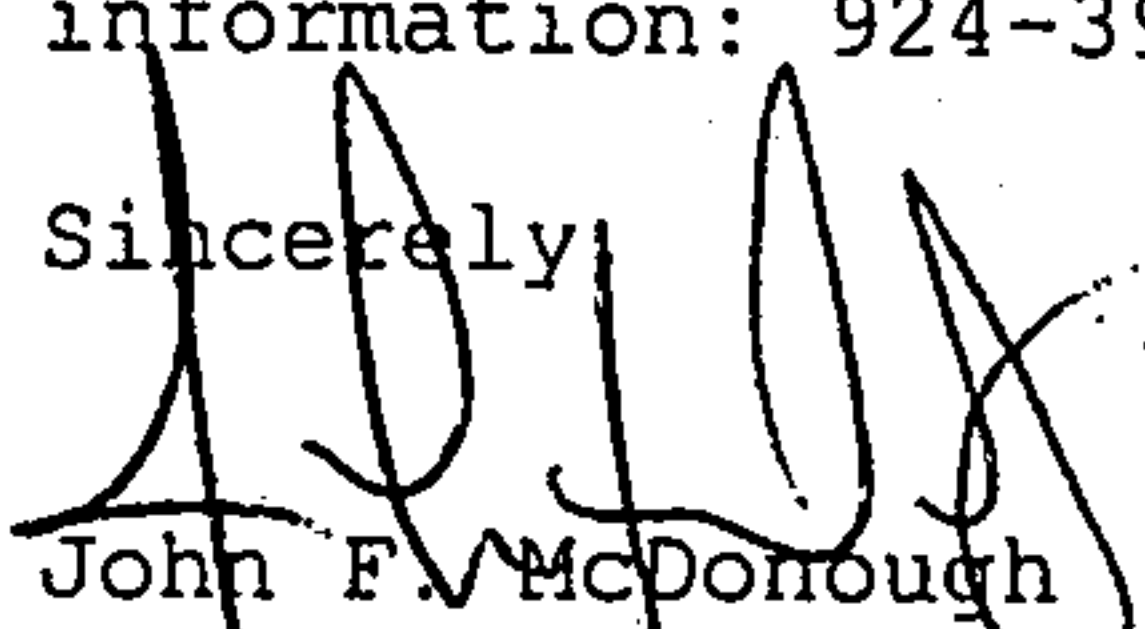
Infrastructure: Assuming vacation and acquisition of the entire right-of-way, development / service will be contingent on construction of public water and sewer lines in standard locations within the proposed roadway. Off-site lines will also be required to reach existing sanitary outfall(s) and / or provide water system looping. Designs must meet current applicable standards. The water system master plan shows a 10-inch crossing of I-40 at 72nd. The crossing will be farther to the east, but the on-site line must be extended to the northeast property corner to allow for future looping. Design standards call for an easement corridor of at least 20-feet. The easement could not be split by lot lines. No grading information was provided, but there may not be enough slope to outfall to the manhole in 72nd Street. If not an off-site outfall will be required east in Glenrio to manhole #371. This will be determined after a review of proposed grading, prior to preliminary plat approval.

Design and construction of all required improvements will be at the developer / property owners expense and must be coordinated through the City of Albuquerque 'COA' Public Works Department via the 'DRC / City Work Order' process. Designs must be by a New Mexico registered professional engineer. Construction must be by a licensed, bonded public utility contractor.

Utility Expansion Charges: In addition to installation and construction costs, both sanitary sewer and metered water service will be subject to Utility Expansion Charges 'UEC' payable at the time service is requested.

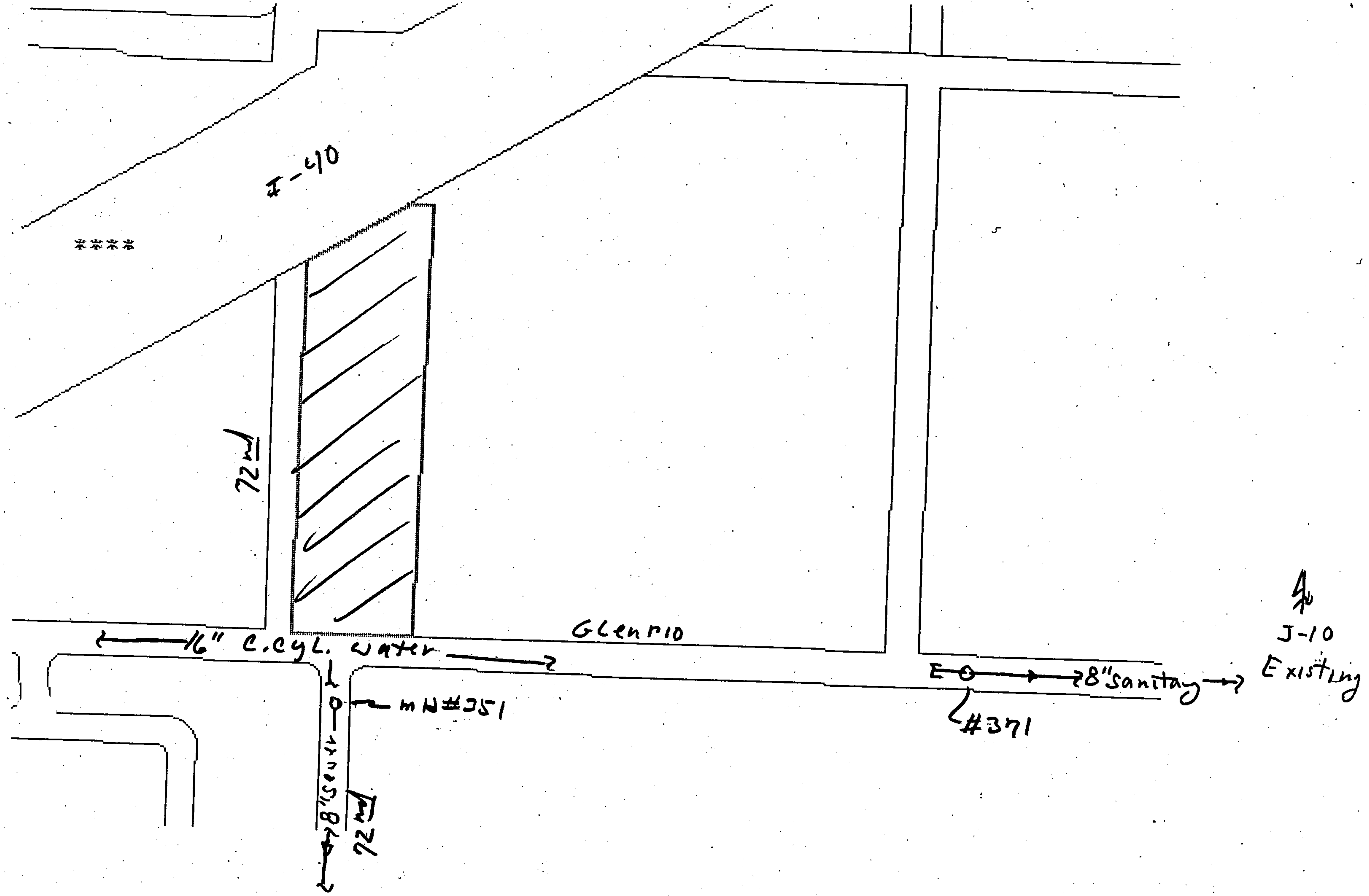
This statement of availability will remain in effect for a period of one year and applies only to the development identified herein. Changes in the proposed development may require re-evaluation of availability and should be brought to our attention as soon as possible. Any outstanding pro-rata and standby assessments must be paid at the time service is taken. All charges and rates collected will be based upon applicable ordinances and policies in effect at the time service is actually requested and authorized. Please do not hesitate to call if you have questions or need additional information: 924-3987.

Sincerely,


John F. McDonough
Associate Planner
Development Services
Public Works Department

Attachment: System / Location Map(s)

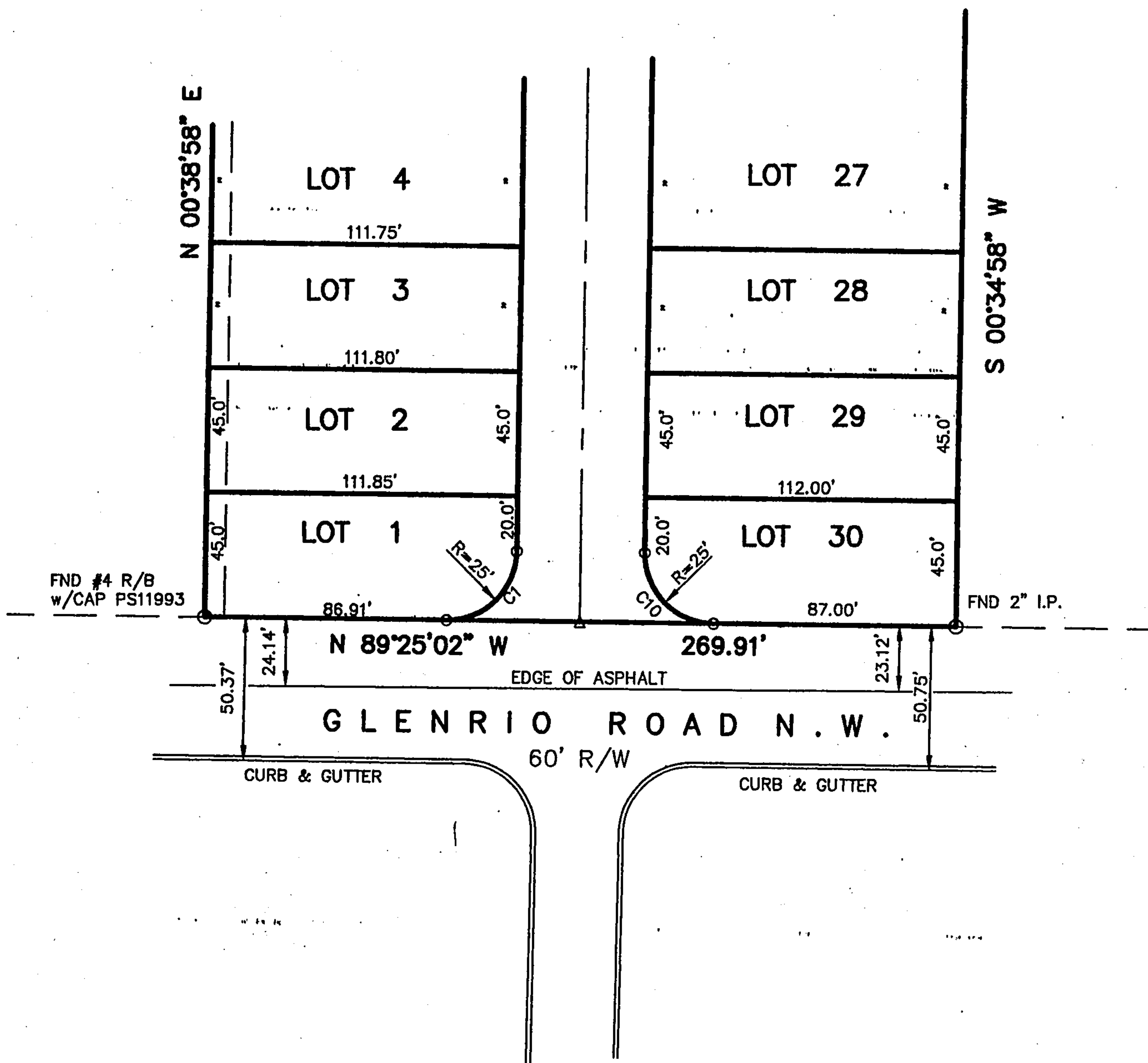
c: f/ #1001926
f/ readers #20511
f/ availability J-10



See letter of
5-24-02
#20511

EXHIBIT SHOWING ADJACENT STREET

**
**
**



Scale: 1" = 60'
 Order No.: 03-0752.DWG
 Field Book: Page:
 Ordered By:

Anthony L. Harris, N.M.P.S.#11463 HARRIS SURVEYING, INC.
 2412-D Monroe Street, NE • Albuquerque, New Mexico 87110
 Telephone (505) 889-8056 • FAX (505) 889-8645

Ben Platania
5712 Morgan Ln. NW
Albuquerque, NM 87120
(505) 899-9627

July 21, 2003

S.R. Marmon N.A.
c/o Julian Morales
6328 Keswick Pl. NW
Albuquerque, NM 87120

Dear Julian ,

Enclosed please find copies of Zone Atlas map J-10-Z showing the site in question, a drawing of lot 225 Town of Atrisco Grant Airport Unit with surrounding streets and a layout of a proposed 30 lot residential subdivision. I will be reapplying for a vacation of 72nd street north of Glenrio Rd. This vacation was previously approved by DRB on May 22nd 2002 but since a final plat was not filed within a year the vacation expired. I would like to incorporate the vacated 72nd street with my lot 225 to then create the proposed subdivision. Lot 225 is currently zoned R-2 for multifamily units, the proposed subdivision would create substantially fewer dwelling units on the property and also align with the existing 72nd Street.

If you or your neighborhood association have any questions or concerns please feel free to contact me and I'll be happy to address any issues you may have.

Sincerely,



Ben Platania

CC: LAUREL WOOD N.A.
Steve TARDY
Nancy TREVISI
Los Volcanes N.A.
Sally Breeden
Ben SANDOVAL
S.R. MARMON N.A.
Claude G. Luisada *CLP*

Copy

"Attachment A"

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新

Ben Platania, Plateau Enterprises, Inc.

Zone Map: J-10

LAURELWOOD N.A. (R)

***Steve Tardy**

7424 Lynwood Dr. NW/87120 323-7771 (h)

Nancy Treviso

7812 Sherwood Dr. NW/87120 831-6132 (h)

LOS VOLCANES N.A. (R)

***Sally Breeden**

6503 Honeylocust Ave. NW/87121 352-0159 (h) 262-7361 (w)

Ben Sandoval

6516 Honeylocust Pl. NW/87121 836-4419 (h)

S.R. MARMON N.A. (R)

***Claude G. Luisada**

1519 Stoneway Dr. NW/87120 839-0832 (h)

Julian Morales

6328 Keswick Pl. NW/87120 839-1727 (h)

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.**

7003 1010 0002 8674 9235

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For delivery information visit our website at www.usps.com

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Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)	1.75	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 4.65	

Sent To *Nancy Treviso*
 Street, Apt. No., or PO Box No. *7812 Sherwood Dr NW*
 City, State, ZIP+4 *ABQ, NM 87120*

PS Form 3800, June 2002 See Reverse for Instructions

7003 1010 0002 8674 9235

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Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)	1.75	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 4.65	

Sent To *Ben SANDOVAL*
 Street, Apt. No., or PO Box No. *6516 Honeylocust Pl NW*
 City, State, ZIP+4 *ABQ, NM 87121*

PS Form 3800, June 2002 See Reverse for Instructions

7003 1010 0002 8674 9235

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ALBUQUERQUE, NM 87120 **OFFICIAL USE**

Postage	\$ 0.60	UNIT ID: 0118 Postmark Here Clerk: KQ1HM6 07/21/03
Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)	1.75	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 4.65	

Sent To *Julian MORALES*
 Street, Apt. No., or PO Box No. *6328 Keswick Pl NW*
 City, State, ZIP+4 *ABQ, NM 87120*

PS Form 3800, June 2002 See Reverse for Instructions

7003 1010 0002 8674 9242

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For delivery information visit our website at www.usps.com

ALBUQUERQUE, NM 87120 **OFFICIAL USE**

Postage	\$ 0.60	UNIT ID: 0118 Postmark Here Clerk: KQ1HM6 07/21/03
Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)	1.75	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 4.65	

Sent To *Steve TARDY*
 Street, Apt. No., or PO Box No. *7424 Lynwood Dr NW*
 City, State, ZIP+4 *ABQ, NM 87120*

PS Form 3800, June 2002 See Reverse for Instructions

7003 1010 0002 8674 9204

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ALBUQUERQUE, NM 87121 **OFFICIAL USE**

Postage	\$ 0.60	UNIT ID: 0118 Postmark Here Clerk: KQ1HM6 07/21/03
Certified Fee	2.30	
Return Receipt Fee (Endorsement Required)	1.75	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 4.65	

Sent To *SALLY BREEDER*
 Street, Apt. No., or PO Box No. *6503 Honeylocust Ave NW*
 City, State, ZIP+4 *ABQ, NM 87121*

PS Form 3800, June 2002 See Reverse for Instructions

7003 1010 0002 8674 9228

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

ALBUQUERQUE, NM 87120 **OFFICIAL USE**

Postage	\$ 0.60	UNIT ID: 0118 Postmark Here Clerk: KQ1HM6 07/21/03
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Return Receipt Fee (Endorsement Required)	1.75	
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$ 4.65	

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 Street, Apt. No., or PO Box No. *1519 Stonewall Dr NW*
 City, State, ZIP+4 *ABQ, NM 87120*

PS Form 3800, June 2002 See Reverse for Instructions

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY ASSESSMENT (AQIA) FORM

APPLICANT: Ben Platania Date of request: 7/22/03 Zone atlas page(s): J-10-Z

CURRENT: Zoning R-2

Legal Description - Lot or Tract # 225 Block # _____

Parcel Size (acres / sq.ft.) 4,101

Subdivision Name TOWN OF ATRISCO GRANT AIRPORT UNIT

REQUESTED CITY ACTION(S):

Annexation []	Sector Plan []	Site Development Plan:	Building Permit []
Comp. Plan []	Zone Change []	a) Subdivision [X]	Access Permit []
Amendment []	Conditional Use []	b) Build'g Purposes []	Other []
		c) Amendment []	

PROPOSED DEVELOPMENT:

No construction / development []
 New Construction [X]
 Expansion of existing development []

GENERAL DESCRIPTION OF ACTION: 1

of units - 30
 Building Size - 1000-1500 (sq. ft.)

Notes: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

Applicant or Representative Ben Platania Date 7-22-03
(To be signed upon completion of processing by Traffic Engineer and Environmental Health)

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [] NO [X] BORDERLINE []

PLANNING DEPT. Dev./Bldg. Services Div. Transportation Dev. Sec. 2nd Fl. 600 2nd St. NW Plaza Del Sol Bldg. 924-3994

THRESHOLDS MET? YES [] NO [X] Mitigating reasons for not requiring TIS: Previously studied: []

Notes:

IF A TIS IS REQUIRED: A scoping meeting (as outlined in the Development Process Manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

Tony Jd 7-22-03
TRAFFIC ENGINEER DATE

AIR QUALITY IMPACT ASSESSMENT (AQIA) REQUIRED: YES [] NO [] BORDERLINE []

ENVIRONMENTAL HEALTH DEPT. Air Quality Div. 3rd Floor / Rm. 3023 City/County Bldg. 768-2600

THRESHOLDS MET? YES [] NO [] Mitigating reasons for not requiring AQIA: Previously studied: []

Notes:

14-16-3-14 JM 7/22/03

IF AN AQIA IS REQUIRED: a scoping meeting must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

ENVIRONMENTAL HEALTH DATE

Required TIS and / or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS	- SUBMITTED	___/___/___	_____	_____
	- FINALIZED	___/___/___	TRAFFIC ENGINEER	DATE
AQIA	- SUBMITTED	___/___/___	_____	_____
	- FINALIZED	___/___/___	ENVIRONMENTAL HEALTH	DATE

TO BE COMPLETED BY APPLICANT

TRANSPORTATION DEVELOPMENT

ENVIRONMENTAL HEALTH

ONE STOP SHOP ••• FRONT COUNTER
City of Albuquerque • Planning Department

DEVELOPMENT & BUILDING SERVICES (D&B Svcs)
LAND DEVELOPMENT COORDINATION SECTION (LDC)
Plaza Del Sol - 2nd & 4th Floor West - 600 2nd St NW 87102
Front Counter Main Number (505) 924-3858 or 924-3895
Main Fax (505) 924-3864

PAID RECEIPT

APPLICANT NAME

Ben Platania

AGENT

ADDRESS

Town of Atresco

PROJECT NO.

1001926

APPLICATION NO.

\$ 1410 441006 / 4983000 (DRB Cases)

\$ _____ 441006 / 4971000 (EPC & AA / LUCC / Appeals)

\$ 75. 441018 / 4971000 (Notification)

\$ 1485. Total amount due

95-219-2890 544
1070
1353530058
Date 7-22-03

BENNY L. PLATANIA
CAROL S. PLATANIA
5712 MORGAN LN. NW 505-507-5601
ALBUQUERQUE, NM 87120

Pay to the Order of City of Albuquerque \$ 1485.00
One Thousand Four Hundred Eighty Five and 00/100 Dollars

WELLS FARGO
Wells Fargo Bank New Mexico
6200 Coors Rd. NW
Albuquerque, NM 87120
www.wellsfargo.com

Memo
Ben Platania

1070021926135353005800544

DUPLICATE
City Of Albuquerque
Treasury Division

DUPLICATE
City Of Albuquerque
Treasury Division

07/22/2003 9:33AM LOC: ANNX
RECEIPT# 00012695 WSH 008 TRANSH 0007
Account 441006 Fund 0110
Activity 4983000 TRSDMM
Trans Amt \$1,485.00
collected by _____ \$1,410.00

07/22/2003 9:33AM LOC: ANNX
RECEIPT# 00012696 WSH 008 TRANSH 0007
Account 441018 Fund 0110
Activity 4971000 TRSDMM
Trans Amt \$1,485.00
J24 Misc \$75.00
CK 10/28/02 \$1,485.00
CHANGE \$0.00

Thank You

Thank You

SIGN POSTING AGREEMENT

36
36
36
36

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.50 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from Aug 5, 2003 To Aug 20, 2003

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Ben Platonis

(Applicant or Agent)

7-22-03

(Date)

I issued 2 signs for this application,

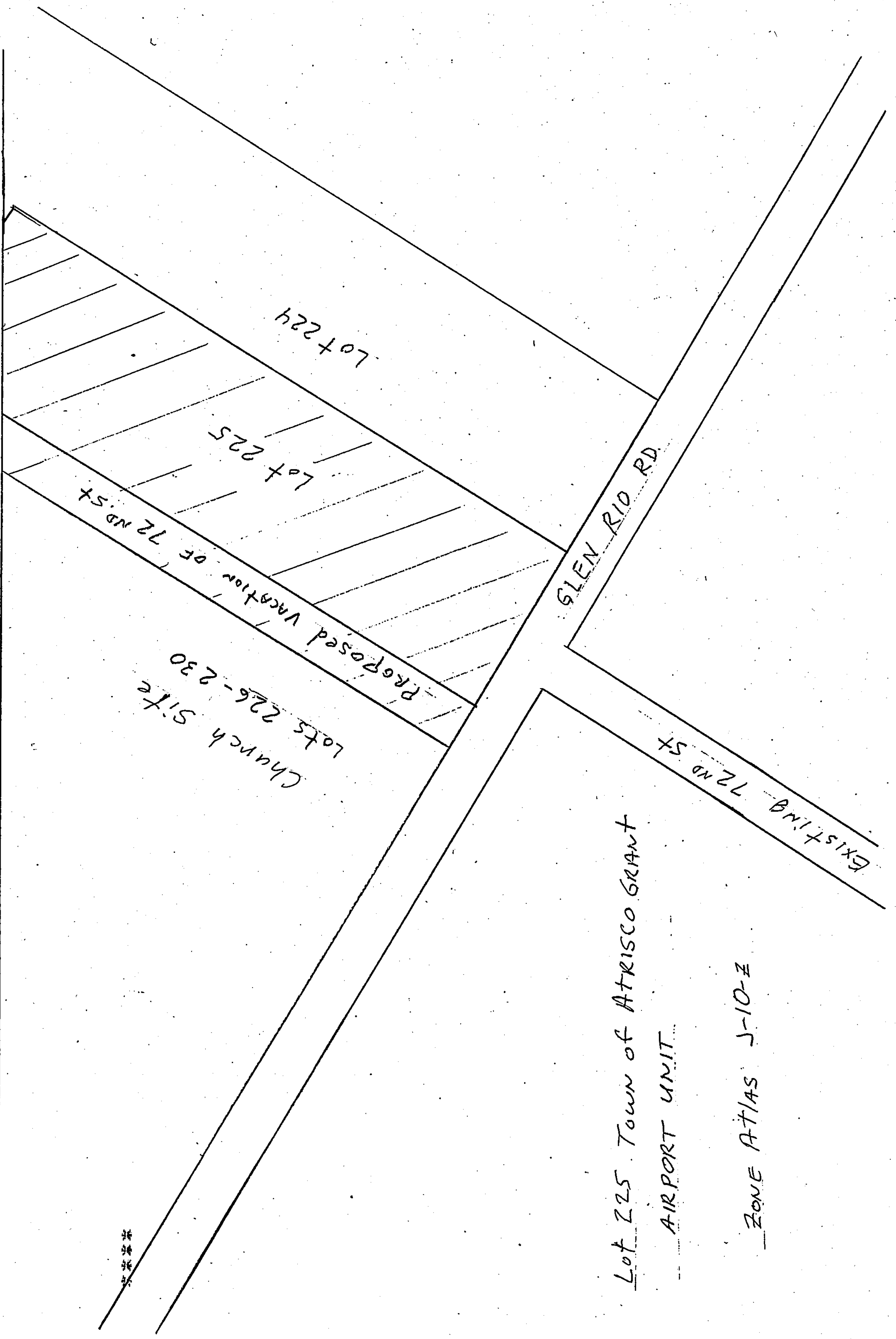
7/22/03
(Date)

JM

(Staff Member)

DRB PROJECT NUMBER: 1001926

Interstate 40



Lot 225 Town of ATRISCO GRANT

AIRPORT UNIT

ZONE ATLAS J-10-E

Lot 224

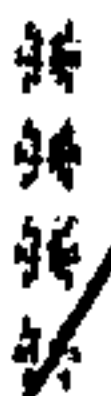
Lot 225

Proposed Vacation of 72nd St

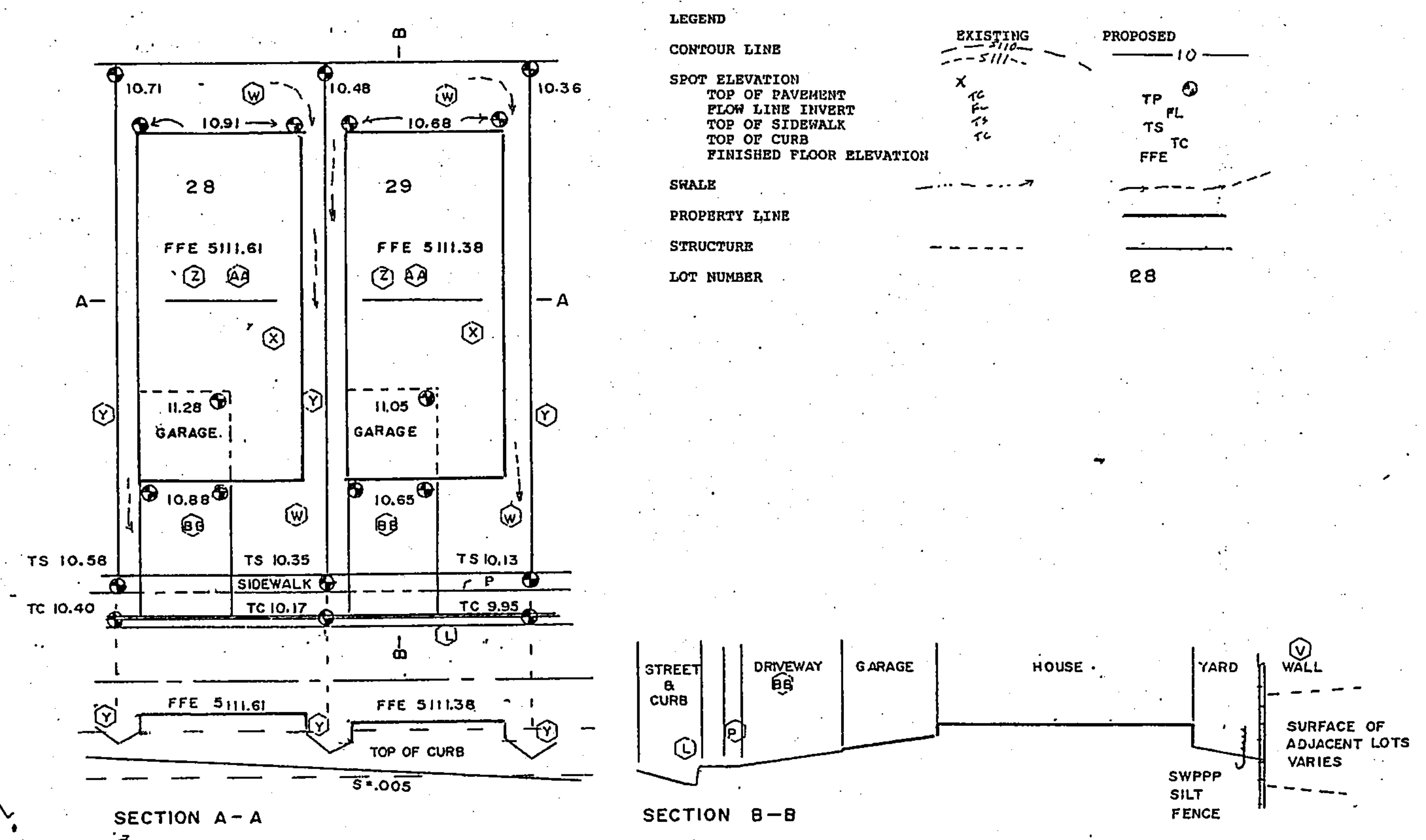
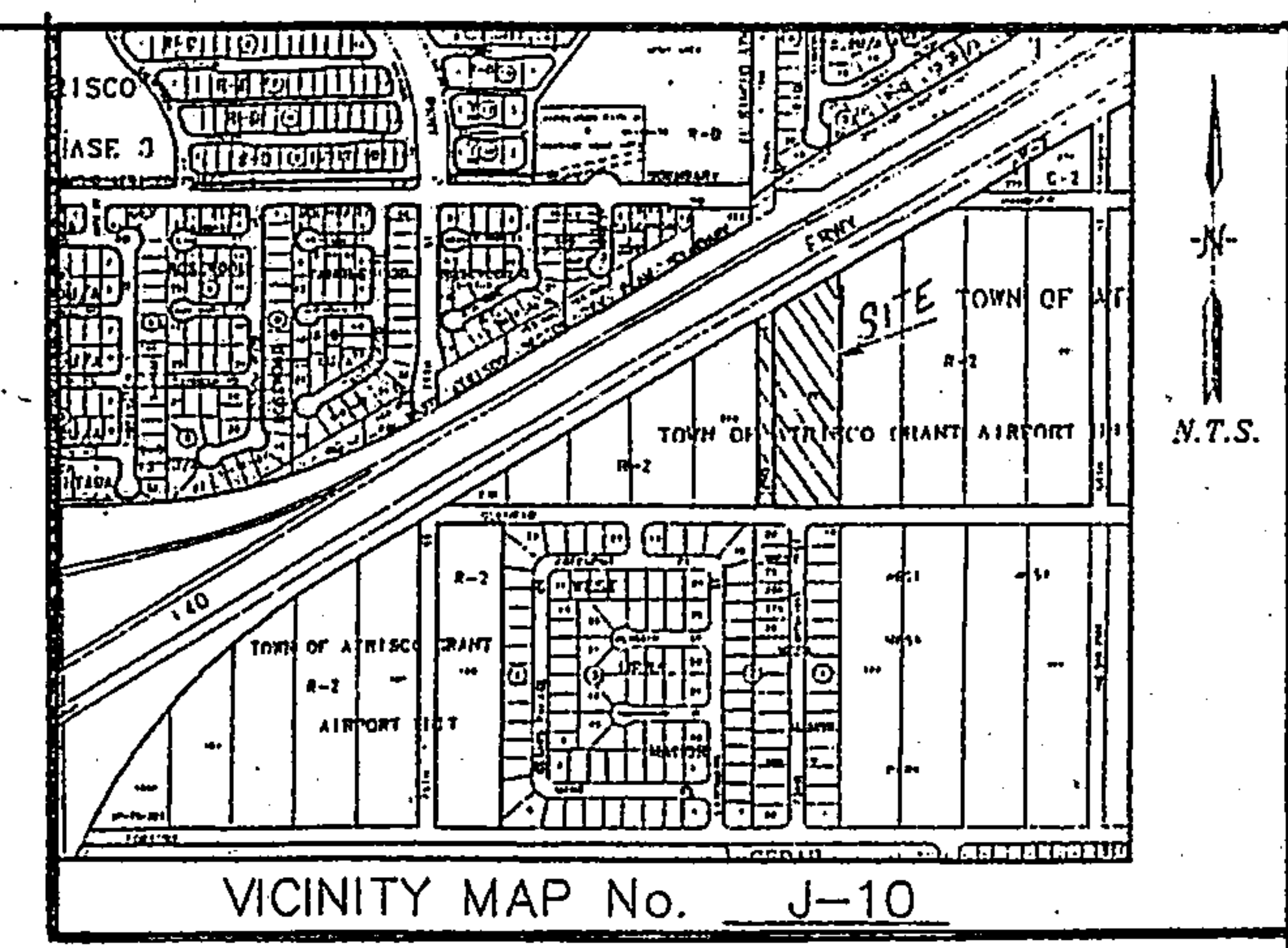
Church Site
Lots 226-230

GLEN RIO RD

EXISTING 72nd St

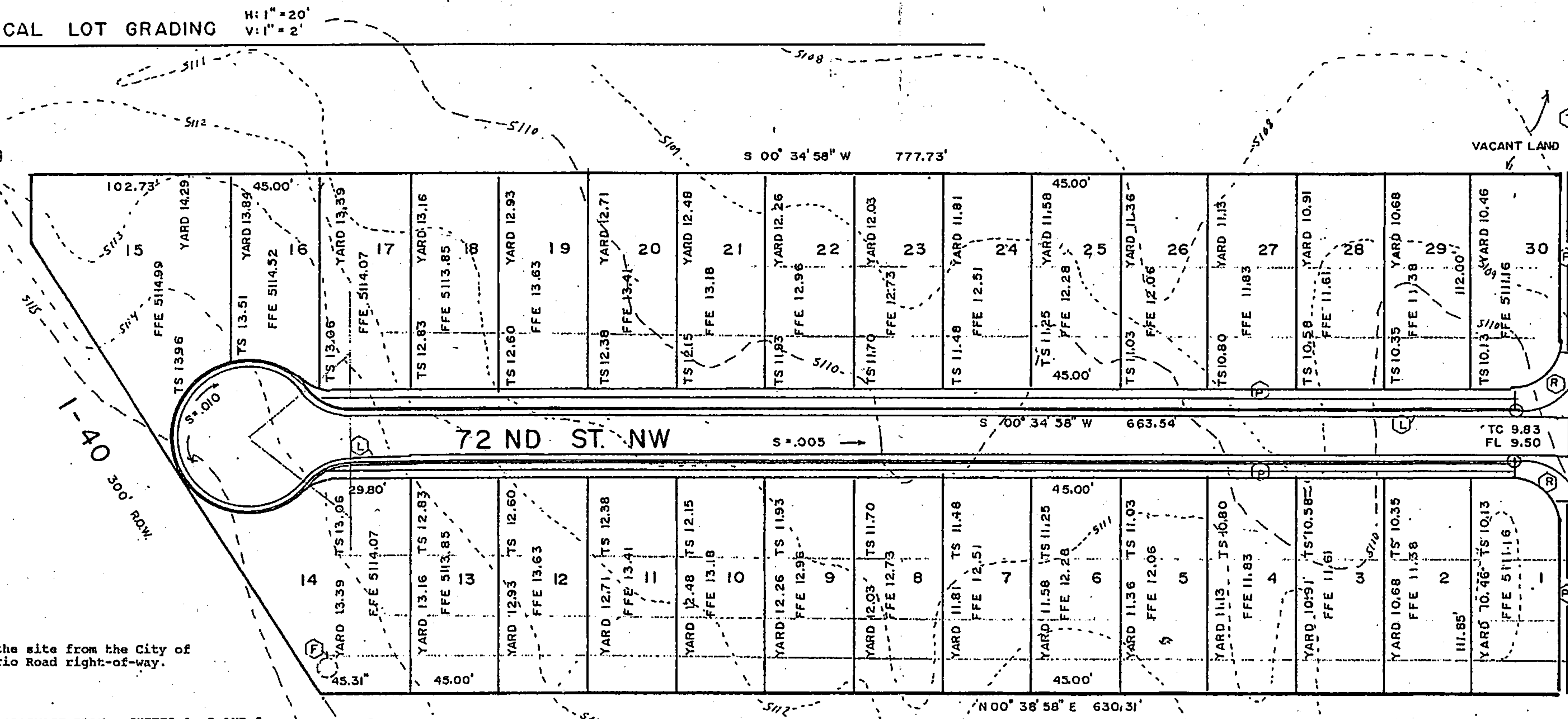
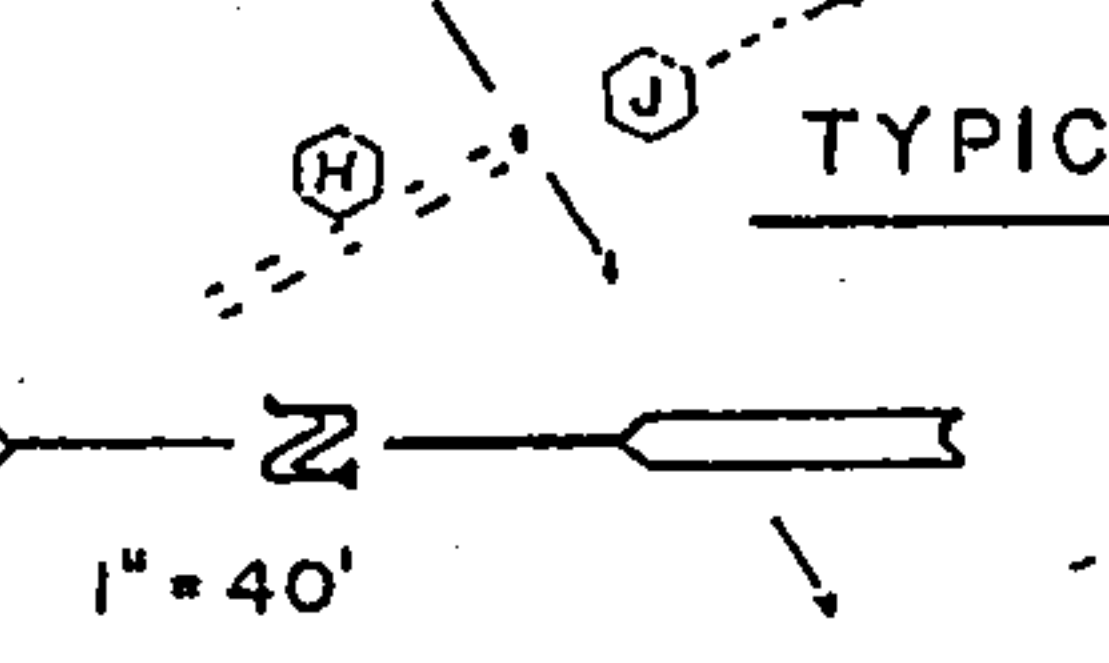


EXISTING SAS MH
INVERT 5096.34
734' TO 72 ND ST. C.L.



SECTION A-A
TYPICAL LOT GRADING

SECTION B-B



- NOTES
- A. EXISTING STANDARD CURB AND GUTTER.
 - B. EXISTING HC RAMPS.
 - C. EXISTING ASPHALT SURFACE.
 - D. EXISTING SANITARY SEWER MANHOLE.
 - E. EXISTING TEMPORARY ASPHALT STREET SURFACE.
 - F. EXISTING UNDERGROUND UTILITIES MANHOLE.
 - G. EXISTING RIGHT-OF-WAY FENCE ALONG INTERSTATE-40.
 - H. EXISTING CULVERT UNDER INTERSTATE-40.
 - J. EXISTING UNLINED DITCH.
 - K. EXISTING DRAINAGE DIP IN PAVEMENT.
 - L. NEW MOUNTABLE ESTATE CURB (ROLL OVER CURB).
 - M. NEW STANDARD CURB AND GUTTER.
 - N. NEW PERMANENT RESIDENTIAL ASPHALT.
 - P. NEW 4' WIDE PCC SIDEWALK.
 - R. NEW HC RAMPS.
 - S. NEW TEMPORARY ASPHALT SURFACE.
 - T. NEW TEMPORARY ASPHALT CURB.
 - U. STORM DRAIN INLET UNDER CONSTRUCTION.

Public water service is available to the site from the City of Albuquerque utilities within the Glenrio Road right-of-way.

SHEETS 1, 2 AND 3 ARE THE GRADING AND DRAINAGE PLAN. SHEETS 1, 2 AND 3 ARE ALSO INCORPORATED INTO THE STORM WATER POLLUTION PROTECTION PLAN, WHICH IS STATED IN SHEETS 1 THROUGH 3.

LEGAL DESCRIPTION
TRACT 225-A, TOWN OF ATRISCO GRANT, PROJECTED SECTION 15, T. 10 N., R. 2 E., NMPN, BERNALILLO COUNTY, NEW MEXICO.

I certify that I have personally inspected the site and that the topography as shown is a true depiction of the site as of July 2003. There has been no surface earthwork on the site.

MARVIN R. KORTUM
CIVIL ENGINEER
6519

Topography by Marvin R Kortum, June, 2003.

BENCHMARK: City of Albuquerque station 6-J10, located in the median of Interstate-40, between the east bound and west bound lanes, 341 feet North 30 degrees East of the northeast corner of Tract 225-A. Elevation: 5117.133

V. PROPERTY LINE PRIVACY WALL. WALL WILL BE A RETAINING WALL IF THE DIFFERENCE IN ELEVATION BETWEEN THE TWO SURFACES IS GREATER THAN 18". A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT IS REQUIRED FOR THE WALL DESIGN AND CONSTRUCTION.

W. PROPOSED LANDSCAPED AREA. AREA MAY BE DEPRESSED TO HOLD RUNOFF (WATER HARVEST), WITH DRAINAGE PROVIDED TOWARD THE STREET FOR ANY OVERFLOW.

X. ROOF MAY DRAIN TO ANY SIDE OR FRONT OF HOUSE. IF ROOF DRAINS TO THE SIDE OF THE HOUSE THERE MUST BE CONSTRUCTED A WALL OR CURB ON THE PROPERTY LINE TO PREVENT RUNOFF TO THE ADJACENT LOT.

Y. THE LOT LINE BETWEEN PROPERTIES IS A COMMON DRAINAGE SWALE. A WOOD FENCE, BLOCK WALL OR OTHER PRIVACY BARRIER MAY BE CONSTRUCTED ON THIS PROPERTY LINE, WITH PROVISION FOR INDIVIDUAL LOT DRAINAGE ON EACH SIDE OF THE PROPERTY LINE.

Z. FINISHED FLOOR ELEVATIONS (FFE) SHOWN ON THE DRAWING ARE THE TOP SURFACE OF THE SLAB, CONSIDERING SLAB ON GRADE CONSTRUCTION. THE FINISHED EARTHWORK ELEVATION SHOULD BE BASED ON THE THICKNESS OF THE SLAB TO BE USED (EARTH PAD ELEVATION IS FFE LESS THE SLAB AND UNDER SLAB MATERIAL THICKNESS). ALTERNATIVE CONSTRUCTION METHODS MAY DICTATE DIFFERENT EARTH GRADING.

AA. LOCATION OF STRUCTURES AND DRIVEWAYS AS SHOWN ARE GENERAL. DETAIL BUILDING PLANS MAY REQUIRE ADJUSTMENT OF THE GRADING PLAN IF THE ACTUAL BUILDINGS ARE LARGER THAN SKETCH SHOWN ON THIS GRADING PLAN.

BB. DRIVEWAYS ARE TO BE AN IMPERVIOUS SURFACE. RUNOFF ESTIMATES ARE BASED ON IMPERVIOUS SURFACE.

PRELIMINARY APPROVALS, REVISIONS	M.R.K. JULY 14 2003
BY	DATE
MARVIN R. KORTUM	MARVIN R. KORTUM, P.E. Civil Engineering NM PE 6519
1605 Speakman Drive, S.E. Albuquerque, New Mexico 87123 (505) 299-0774	
GRADING AND DRAINAGE PLAN STORM WATER POLLUTION PREVENTION PLAN (SWPPP) RESIDENTIAL SUBDIVISION TRACT 225-A, TOWN OF ATRISCO GRANT 72 ND STREET & GLENRIO ROAD	
GRADING PLAN	
PROJECT NO.	MAP NO. SHEET OF
J10/D	J-10 1 3

PURPOSE:

The purpose of this grading and drainage plan is to obtain approval for subdivision of Tract 225-A, a 4.4 acre tract, into 30 lots for construction of residential houses on these lots.

DISCUSSION:

A. The site is located on a slight slope on the alluvial fan of the west mesa. The site is about one mile west of the level Rio Grande floodplain, and about three miles east of the top of the west mesa escarpment.

B. The area is presently vacant and unimproved. History of past development on the site is unknown, but it appears to have been used for grazing in the past, with no surface disturbance other than minor vehicle trails and several minor trash deposits which date back to 50 years, as shown by the rusted beverage cans. Immediately adjacent to the site on the west is the foundation remnant of a house built several decades ago. There is no evidence of a well, septic tank or drainage field, but subsurface investigations are recommended if surface grading reveals any soil anomalies.

C. The site is bordered on the south by the paved street, Glenrio Road, on the north by the Interstate-40 right-of-way, and on the west and east by vacant property.

D. Glenrio Road presently has the west half of the street paved, with a standard curb and gutter. The west side of Glenrio Road is paved with permanent pavement, with temporary asphalt along the east portion of the street. Runoff on Glenrio Road is from west to east. Presently there is a subsurface storm drain being constructed within Glenrio Road, with an inlet planned about 350 feet east of the east property line on the Tract 225-A. Runoff along Glenrio Road directed to the new inlet will be collected from less than 20 acres of presently vacant land which is north of Glenrio Road, runoff from the north margin of the existing subdivision along the south side of Glenrio Road, minor runoff from the south side of Interstate-40 which borders the area on the north, and runoff which is collected from I-40 and from north of I-40 which flows through the culvert under I-40. There also some flow from the school yard on the south side of Glenrio Road. The new subsurface storm drain within Glenrio Road directs the flow to the Rio Grande by an established drain system.

SOILS:

Soils within the area are identified by reference C as Madurez-Wink association, gently sloping. This mapping is about 55 percent a Madurez fine loamy sand and 25 percent a Wink fine sandy loam. The Madurez series consists of deep, well drained soils that formed on Piedmonts in old unconsolidated alluvium modified by wind. Permeability is moderate, and the hazard of soil blowing is moderate to severe. The soils are relatively building and resistant to erosion. Infrastructure. The soils have a moderate shrink swell potential, and high risk of corrosion to uncoated steel. Imported material may be required for street and driveway subgrade to provide required bearing strength. Soils may be susceptible to consolidation, particularly when wetted, so care must be taken to direct runoff and landscape watering away from building foundations. Existing vegetation on the lots consist of native grasses, annual plants, cactus and woody shrubs.

DRAINAGE CONSIDERATIONS:

A. The site is not located within the limits of the 100-year flood, see Flood Insurance Rate Map, panels 326 and 327 of 825, effective date, September 20, 1996.

B. There are no apparent flow channels crossing the site. There is minor sheet flow entering the site from the vacant property to the west, and from the berm on the south side of the I-40 right-of-way. This sheet flow can be accepted in the developed subdivision by having drainage holes in the property line privacy wall, and then permitting the flow to enter the street and drainage system within the subdivision.

C. There is no hazard to the site from catastrophic flooding because the site is located well above the Rio Grande floodplain, and is not in the path of any major drainage channels. Flow from the north is prevented by the berms on which the east and west lanes of I-40 are situated. Any flow over the north (west bound lane) would be intercepted by the median between the two berms, and channeled to the east, entering the subsurface drainage system under I-40, which has an outlet east of the Tract 225-A, then through the drainage channel which is at a lower elevation than the Tract 225-A subdivision.

D. Presently all runoff generated by precipitation on the site is mostly absorbed on the site within the sandy surface and slight depressions on the otherwise level surface, with any runoff flowing the east, entering the drainage channel from the I-40 culverts.

E. The grading scheme proposed is to direct all flows to enter the street within the subdivision, the flows then flowing on the surface of the street to the Glenrio Road right-of-way. On Glenrio Road, the flows will then flow to the east on the surface, entering the new storm drain inlet about 350 feet east of the east property line of the Tract 225-A subdivision. It will be necessary to construct a standard curb and gutter with a permanent street section on the south half of Glenrio Road along the Glenrio Road frontage of the Tract 225-A subdivision, and to place a temporary asphalt surface with a temporary asphalt curb on the north half of Glenrio Road for about 350 on the frontage of the vacant property east of the Tract 225-A subdivision. This drainage scheme does not prevent individual home owners from installing individual water harvesting systems, such as rain barrels. Landscaped areas should be in slight depressions to retain runoff and irrigation water. Runoff from impervious areas could be directed to the landscape.

F. Runoff from the site is estimated as shown on Table A.

CONCLUSIONS:

A. The proposed construction is not within a designated 100 year floodplain.

B. Construction as proposed will not increase the hazard from flooding to downstream facilities.

C. The proposed grading and construction will protect the property from any off-site or on-site runoff.

REFERENCES:

A. Standard Specifications for Public Works Construction, City of Albuquerque.

B. Section 22.2, Hydrology, of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque...Bernalillo County...ARFCA, December 1999.

C. Soil Survey of Bernalillo County and Parts of Sandoval and Valencia Counties, New Mexico, USDA-SCS.

D. Flood Insurance Rate Map, City of Albuquerque, Bernalillo County, Federal Emergency Management Agency, Panels 326 and 327 of 825, effective date: September 20, 1996.

E. City of Albuquerque topographic map J-10, date of photography March, 1980.

JULY 14, 2003

RUNOFF FOR TRACT 225-A, TOWN OF ATRISCO GRANT SUBDIVISION ON 72ND STREET

TABLE A
RUNOFF ESTIMATE FOR TRACT OF 4.4101 ACRE

LAND USE	RUNOFF FACTORS		CURRENT USE				PROPOSED USE			
	PEAK	TOTAL	AREA PERCENT		PEAK	TOTAL	AREA PERCENT		PEAK	TOTAL
			SF	PERCENT	RUNOFF	RUNOFF	SF	PERCENT	RUNOFF	RUNOFF
	CFS/acre	inches			CFS	CF			CFS	CF
1 A	1.29	0.44	192105.00	1.000	5.7	7043.8	0.00	0.000	0.0	0.0
2 B	2.03	0.67	0.00	0.000	0.0	0.0	50000.00	0.260	2.3	2791.7
3 C	2.87	0.99	0.00	0.000	0.0	0.0	10000.00	0.052	0.7	825.0
4 D	4.37	1.97	0.00	0.000	0.0	0.0	132105.00	0.688	13.3	21687.2
TOTALS			192105.00	1.000	5.7	7043.8	132105.00	1.000	16.2	25303.9
			4.4101 ACRE				4.4101 ACRE			

TABLE B
RUNOFF ESTIMATE FOR TRACT OF 25.2525 ACRES.

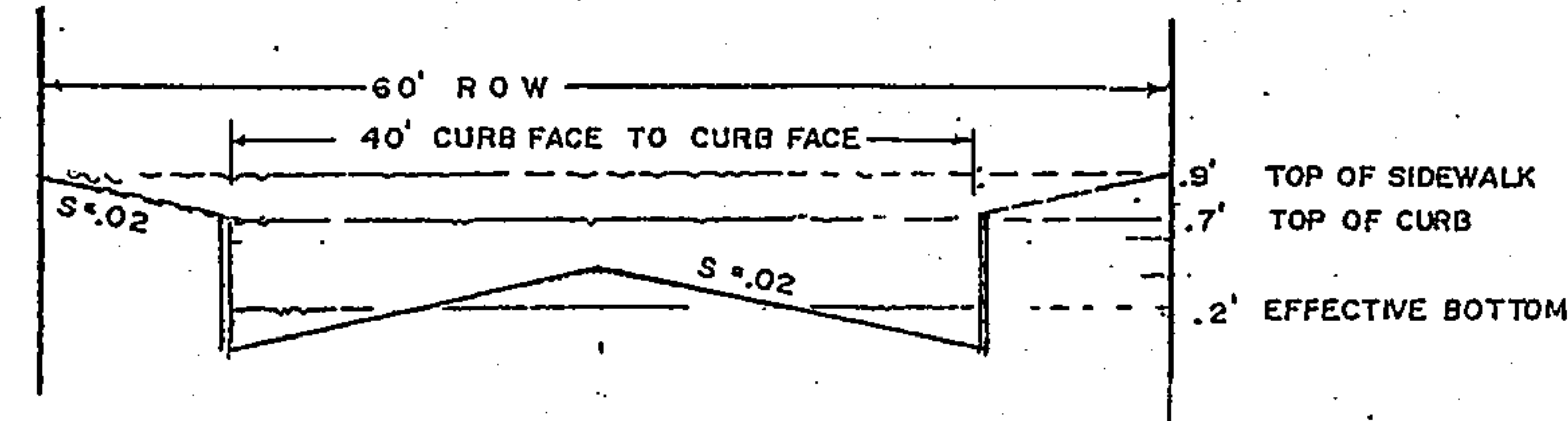
LAND USE	RUNOFF FACTORS		CURRENT USE				PROPOSED USE			
	PEAK	TOTAL	AREA PERCENT		PEAK	TOTAL	AREA PERCENT		PEAK	TOTAL
			SF	PERCENT	RUNOFF	RUNOFF	SF	PERCENT	RUNOFF	RUNOFF
	CFS/acre	inches			CFS	CF			CFS	CF
1 A	1.29	0.44	1100000.00	1.000	32.6	40333.3	0.00	0.000	0.0	0.0
2 B	2.03	0.67	0.00	0.000	0.0	0.0	300000.00	0.273	14.0	16750.0
3 C	2.87	0.99	0.00	0.000	0.0	0.0	50000.00	0.045	3.3	4225.0
4 D	4.37	1.97	0.00	0.000	0.0	0.0	750000.00	0.682	75.2	123125.0
TOTALS			1100000.00	1.000	32.6	40333.3	1100000.00	1.000	92.5	144000.0
			25.2525 ACRE				25.2525 ACRE			

NOTES:

- Runoff factors from Section 22.2, DPH, January, 1993
- Land use descriptions:
 - Uncompacted soil
 - Landscaped
 - Compacted soil
 - Impervious areas
- Peak runoff = Area (acres) X factor (CFS/acre) = CFS
- Total runoff = Area (SF) X factor (inches) / 12 (inches/foot) = CF
- Peak and total runoff is based on 6 hour, 100 year frequency storm

FLOW CAPACITY OF GLENRIO ROAD, IN FROM THE LOCATION OF THE NEW DRAIN INLET TO THE WEST END OF THE ROAD:

The area that will drain into the new inlet on Glenrio Road is that triangular area presently vacant north of Glenrio Road, an area of about 25 acres (2000' x 1100' x 1/2 = 110,000 SF = 25 acres). The peak runoff for the 100 year-6 hour storm from this area is about 92.5 CFS (see Table B), considering development to the density of the houses on Tract 225-A. Using a channel formula for the street section, the street capacity is about 50 CFS at the top of the standard 8" curb, and 87.4 CFS at the height of the sidewalk. 5/8" higher the capacity is 97.9 CFS. Because the channel is wider from the top of the curb to the top of the sidewalk, the street capacity is considered adequate. In the event that a much higher density development is placed on the vacant land east of Tract 225-A, an extension of the storm drain main to the west, with additional inlets, may be necessary.



GLENRIO ROAD STREET CROSS SECTION

TRACT 225-A, TOWN OF ATRISCO GRANT
JULY 14, 2003

FLOW CAPACITIES OF GLENRIO ROAD STREET SECTION
Q=Area x Velocity; Velocity=1.486/n x (Rb)^{-0.6667} x (s)^{-0.5}

Manings	Ditch	side	side	bottom	Depth	Top	Area	Wetted	Hydraulic	Velocity	Capacity	Froude #	Sequent depth	Sloped	Trapezoid
n	slope	slope	slope	width	ft	ft	SF	Perimeter	Radius	ft	CFS	(C)	Rectangular	(R)	(F)
	(A)	(B)	(B)										(D)		
1	0.011	0.900	0.000	0.000	40.0	0.500	40.0	20.0	41.000	0.488	2.511	50.226	0.63	0.26	0.31
2	0.011	0.900	0.000	0.000	40.0	0.700	40.0	26.0	41.400	0.676	3.123	87.432	0.66	0.39	0.47
3	0.011	0.900	0.000	0.000	40.0	0.750	40.0	30.0	41.500	0.723	3.264	97.929	0.66	0.42	0.51
4	0.011	0.900	0.000	0.000	40.0	0.800	40.0	32.0	41.600	0.769	3.402	108.876	0.67	0.46	0.55
CHANNEL SECTION AT SECTION A-A.										REQUIRED Q		92.5 CFS			

- Fr(vertical)/1000 Fr(horizontal)
- Fr(horizontal)/Fr(vertical)
- Froude No. (Fn)=velocity/(g x area/top width)^{-0.5}
- Sequent depth for rectangular level channel, y2=(y1/2)((1+8*Fn²)-1)
- Sequent depth for sloping rectangular channel, y2=((y1/2)/cos slope angle) x (((1+8*((10*(.027 x slope angle))²) x Fn²)-1)
- Correction factor for trapezoidal channel, figure 3.4
- Reference: Richard H French, Open Channel Hydraulics, 1985

PRELIMINARY APPROVALS-REVISIONS

M R K JULY 14 2003

MARVIN R. KORTUM, P.E.
Civil Engineering
NM PE 6519

1605 Speakman Drive, S.E.
Albuquerque, New Mexico 87123
(505) 298-0774

GRADING AND DRAINAGE PLAN
STORM WATER POLLUTION PREVENTION PLAN (SWPPP)
RESIDENTIAL SUBDIVISION
TRACT 225-A, TOWN OF ATRISCO GRANT
72ND STREET & GLENRIO ROAD

DRAINAGE PLAN

PROJECT NO. J10/D MAP NO. SHEET OF J-10 2 3

Quantities shown on the estimate tables are to the significant figures as shown for the purpose of tracking numbers from one calculation to the next. Actual accuracy of the numbers is about equal to the first significant figure, ie. 5693.5 CF would be some quantity between 5200 CF and 6200 CF.

NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP


BERNALILLO COUNTY,
NEW MEXICO AND
INCORPORATED AREAS

PANEL 326 OF 825
(SEE MAP INDEX FOR PANELS NOT PRINTED)

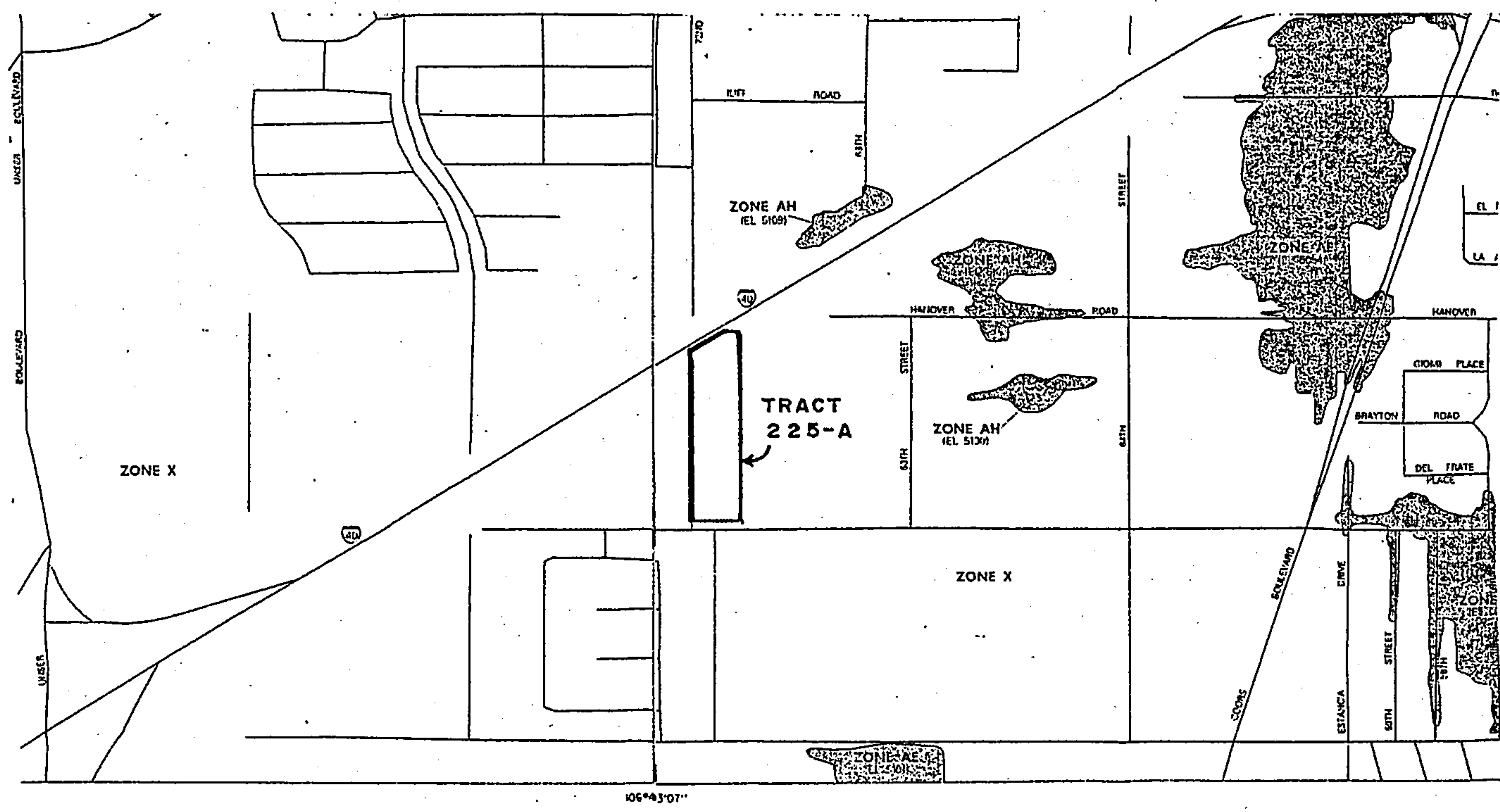
COUNTY	MAP NO.	PANEL	SUFFIX
ALBUQUERQUE CITY OF	73000	001	D
BERNALILLO COUNTY	27000	024	D
UNINCORPORATED AREAS			

MAP NUMBER
35001C0326 D

EFFECTIVE DATE:
SEPTEMBER 20, 1996



Federal Emergency Management Agency



NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP


BERNALILLO COUNTY,
NEW MEXICO AND
INCORPORATED AREAS

PANEL 327 OF 825
(SEE MAP INDEX FOR PANELS NOT PRINTED)

COUNTY	MAP NO.	PANEL	SUFFIX
ALBUQUERQUE CITY OF	73000	001	D
BERNALILLO COUNTY	27000	027	D
UNINCORPORATED AREAS			

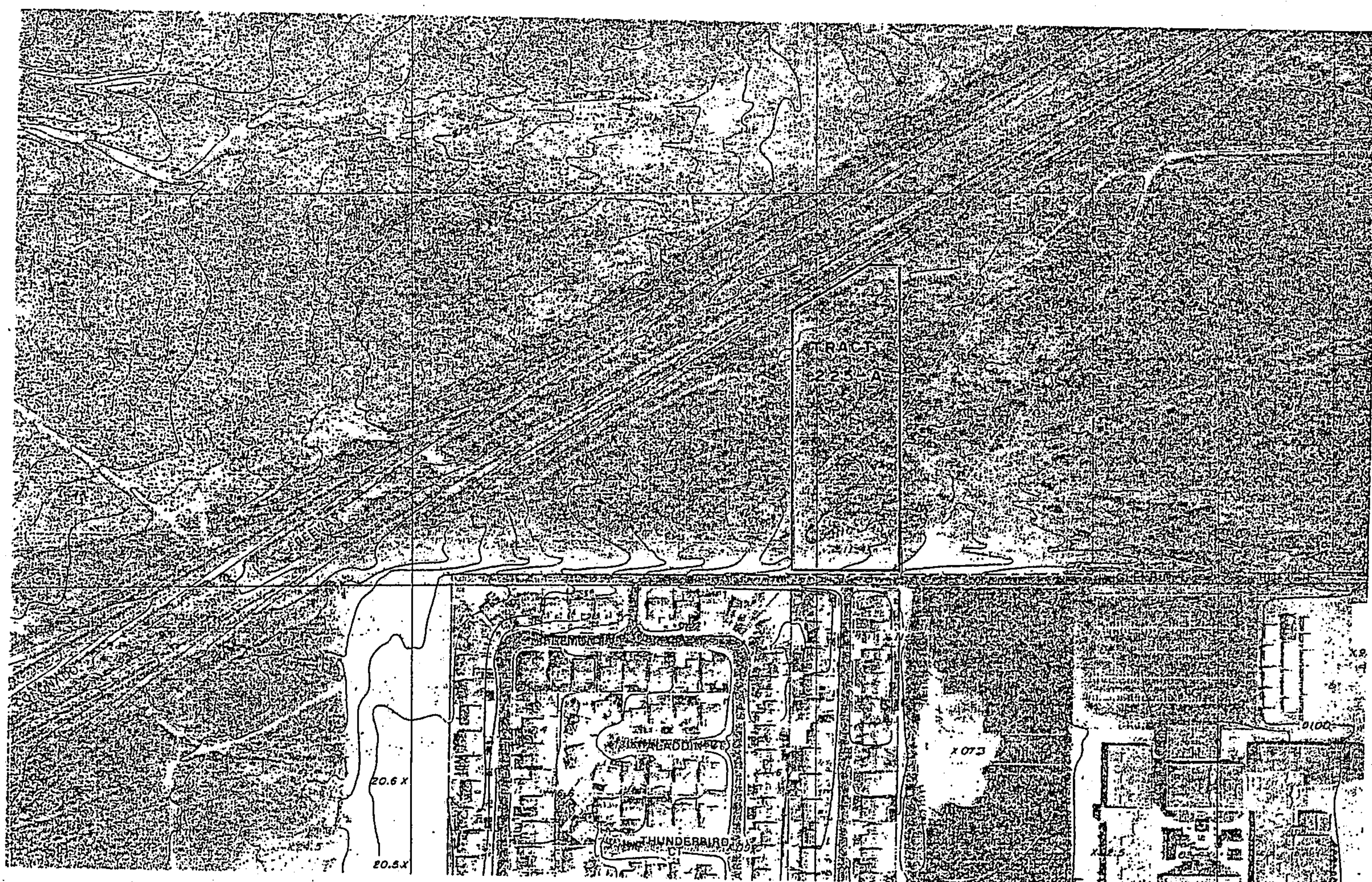
MAP NUMBER
35001C0327 D

EFFECTIVE DATE:
SEPTEMBER 20, 1996



Federal Emergency Management Agency

Copied from Floodway Maps, City of Albuquerque, Bernalillo County, Federal Emergency Management Agency, Panels 326 & 327 of 825, effective date: September 20, 1996. Scale: 1"=500'



Copied from the City of Albuquerque topographic map, J-10, date of photography March, 1980. Scale: 1"=200'

PRELIMINARY	M R K JULY 14 2003
APPROVALS, REVISIONS	BY DATE
	MARVIN R. KORTUM, P.E. Civil Engineering NM PE 6519
	1605 Speakman Drive, S.E. Albuquerque, New Mexico 87123 (505) 299-0774
GRADING AND DRAINAGE PLAN STORM WATER POLLUTION PREVENTION PLAN (SWPPP) RESIDENTIAL SUBDIVISION TRACT 225-A, TOWN OF ATRISCO GRANT 72 ND STREET & GLENRIO ROAD	
MAPS	
PROJECT NO. J10 / D	MAP NO. SHEET OF J-10 3 3

CITY OF ALBUQUERQUE
Planning Department
Development Review Board
5/14/03 Comments

46
46
46

Item : 11

Project: 1001926

Application: 03DRB-00674

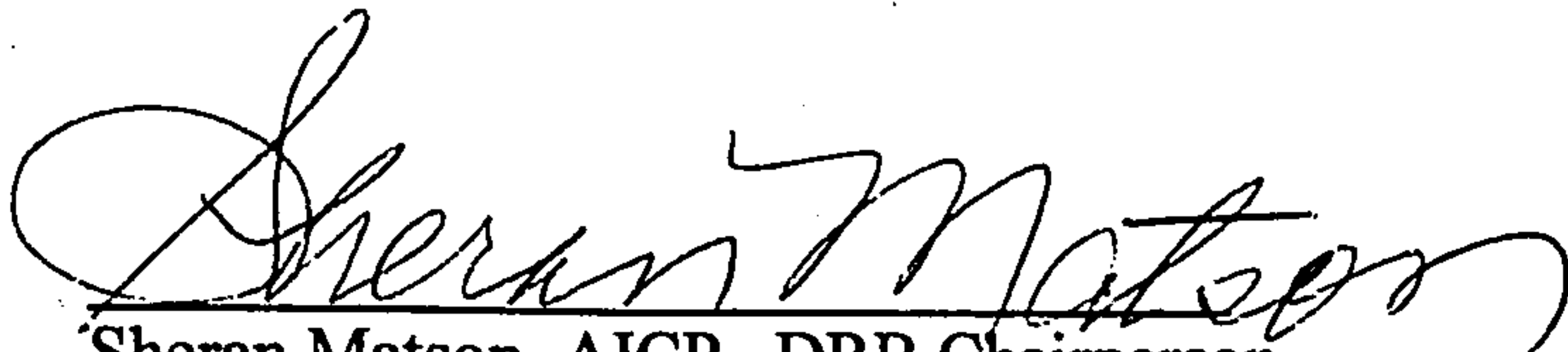
RE: Airport Addition

No objection to the requested platting actions.

Property Management must sign the plat prior to Planning.

Planning must record this plat as it vacates public right of way. Please see Claire to find out what is required for the recording.

AGIS dxf file and a hard copy of the plat must be submitted to AGIS for approval prior to Planning's signature.



Sheran Matson, AICP DRB Chairperson
924-3880 Fax 924-3864

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CITY OF ALBUQUERQUE
Planning Department
Development Review Board
5/14/03 Comments

Item : 11

Project: 1001926

Application: 03DRB-00674

RE: Airport Addition

No objection to the requested platting actions.

Property Management must sign the plat prior to Planning.

Planning must record this plat as it vacates public right of way. Please see Claire to find out what is required for the recording.

AGIS dxf file and a hard copy of the plat must be submitted to AGIS for approval prior to Planning's signature.



Sheran Matson, AICP DRB Chairperson
924-3880 Fax 924-3864



City of Albuquerque
CITY OF ALBUQUERQUE
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001926

AGENDA ITEM NO: 11

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

An approved infrastructure list is required for Preliminary Plat approval.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: May 14, 2003

CITY OF ALBUQUERQUE
Planning Department
Development Review Board
5/7/03 Comments

Item : 13

Project : 1000694

Application: 03DRB-00674

RE : Airport Addition

Defer to Transportation Development.



Sheran Matson, AICP DRB Chair
924-3880 Fax 924-3864



City of Albuquerque
CITY OF ALBUQUERQUE
P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

*Withdrawn
@ AK*

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001926

AGENDA ITEM NO: 11

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

An approved infrastructure list is required for Preliminary Plat approval.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: May 14, 2003

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Ben Platania
5712 Morgan Ln NW
Albuquerque, NM 87120

(505) 899-9627

May 8, 2003

City of Albuquerque
Design Review Board

Dear Sirs,

I had a project scheduled to be heard at the May 7th meeting. It was listed as number 1000694 and changed to 1001926. I was unable to attend the meeting due to illness. Please reschedule this project for the next meeting on May 14th, 2003.

Thank You for your understanding.

Sincerely,



Ben Platania

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Waiver of Right to Purchase

REFERENCE: DRB PROJECT # 1000694 , APPLICATION # 02DRB-00568
APPROVED BY THE DEVELOPMENT REVIEW BOARD ON
MAY 22, 2002

I (We) the undersigned property owner(s) of property adjacent to the above referenced Vacation Action do hereby waive any right that we may have to purchase this particular vacated right-of-way as defined in the SUBDIVISION REGULATIONS of the City of Albuquerque.

Tracts 226, 227, 228, 229 & 230 Town of Atrisco Grant, Glenrio Road
Property Address and Legal Description

Steve Ulibarri by [Signature] 3-24-03
Property Owner Signature / Date

Property Owner Signature Date

Steve Ulibarri / John Griego
Print Name Signed Above agent

Print Name Signed Above

How can John Griego sign for property owner? P of Attorney?

A City of Albuquerque



DEVELOPMENT REVIEW APPLICATION

Supplemental form

SUBDIVISION **S**

Major Subdivision Plat

Minor Subdivision Plat **PEPA**

Vacation **V**

Variance (Non-Zoning)

SITE DEVELOPMENT PLAN **P**

...for Subdivision Purposes

...for Building Permit

IP Master Development Plan

Cert. of Appropriateness (LUCC) **L**

Supplemental form

ZONING **Z**

Annexation & Zone Establishment

Sector Plan

Zone Change

Text Amendment

Special Exception **E**

APPEAL / PROTEST of... **A**

Decision by: Planning Director or Staff, DRB, EPC, Zoning Board of Appeals, LUCC

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Ben Platania PHONE: 899-9627

ADDRESS: 5712 Morgan Ln. NW FAX: 899-9627

CITY: Albuq STATE NM ZIP 87120 E-MAIL: plateaubp@msn.com

Proprietary interest in site: OWNER

AGENT (if any): SAME PHONE: _____

ADDRESS: _____ FAX: _____

CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

DESCRIPTION OF REQUEST: INCORPORATION OF VACATED STREET WITH LOT 225 TOWN OF ATRISCO GRANT AIRPORT ADDN. Minor Subdivision Plat

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. LOT 225 TOWN OF ATRISCO AIRPORT ADDN. Block: _____ Unit: _____

Subdiv. / Addn. TOWN OF ATRISCO GRANT AIRPORT ADDN.

Current Zoning: R2 Proposed zoning: R2

Zone Atlas page(s): 5-10 No. of existing lots: 1 No. of proposed lots: 1

Total area of site (acres): 4.4101 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? No

UPC No. 1010 058 271 403 10401 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: GLENRIO RD. NW

Between: AT 72ND ST. NW. and 68TH ST. NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): _____

PROJECT #1000694 @ DRB-00568 VACATION OF RIGHT-OF-WAY

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Ben Platania DATE 4-29-03

(Print) BEN Platania Applicant Agent

FOR OFFICIAL USE ONLY

INTERNAL ROUTING

All checklists are complete

All fees have been collected

All case #s are assigned

AGIS copy has been sent

Case history #s are listed

Site is within 1000ft of a landfill

F.H.D.P. density bonus

F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>03DRB-00674</u>	<u>PEP</u>	<u>5(8)</u>	<u>\$ 215.00</u>
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
_____	_____	_____	\$ _____
Hearing date <u>May 7, 03</u>			Total <u>\$ 215.00</u>
Planner signature / date <u>[Signature] 4/29/03</u>			Project # <u>1001926</u>
			<u>1000694</u>

Form revised September 2000

76

Scott Howell
768-2777

42 20 20

100

100 100 100

100

100 100 100

100 100 100

100 100 100

100 100 100

SKETCH PLAT REVIEW AND COMMENT

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Copy of previous D.R.B. approved infrastructure list
 - Copy of the Official D.R.B. Notice of approval
 - Any original and/or related file numbers are listed on the cover application
- Extensions are not reviewed through internal routing.
 Extension of preliminary plat approval expires after one year.
 DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing
 - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL IN ETZ (COUNTY)

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Copy of CDRA comments, if a County case
 - Copy of County application, if a County case
 - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing
 - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.
 DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ben Platania
 Applicant name (print)
Ben Platania
 Applicant signature / date
 4-29-03



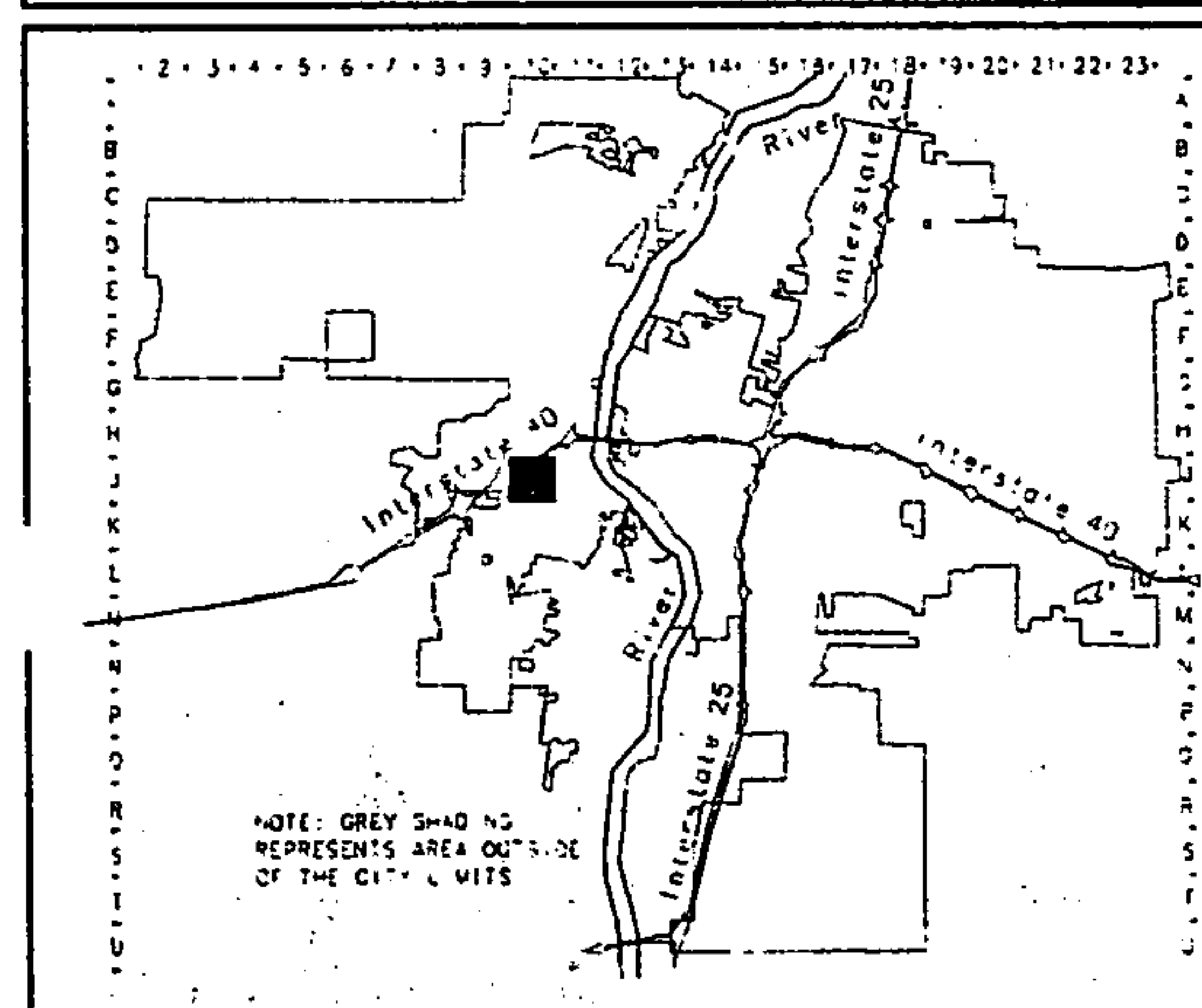
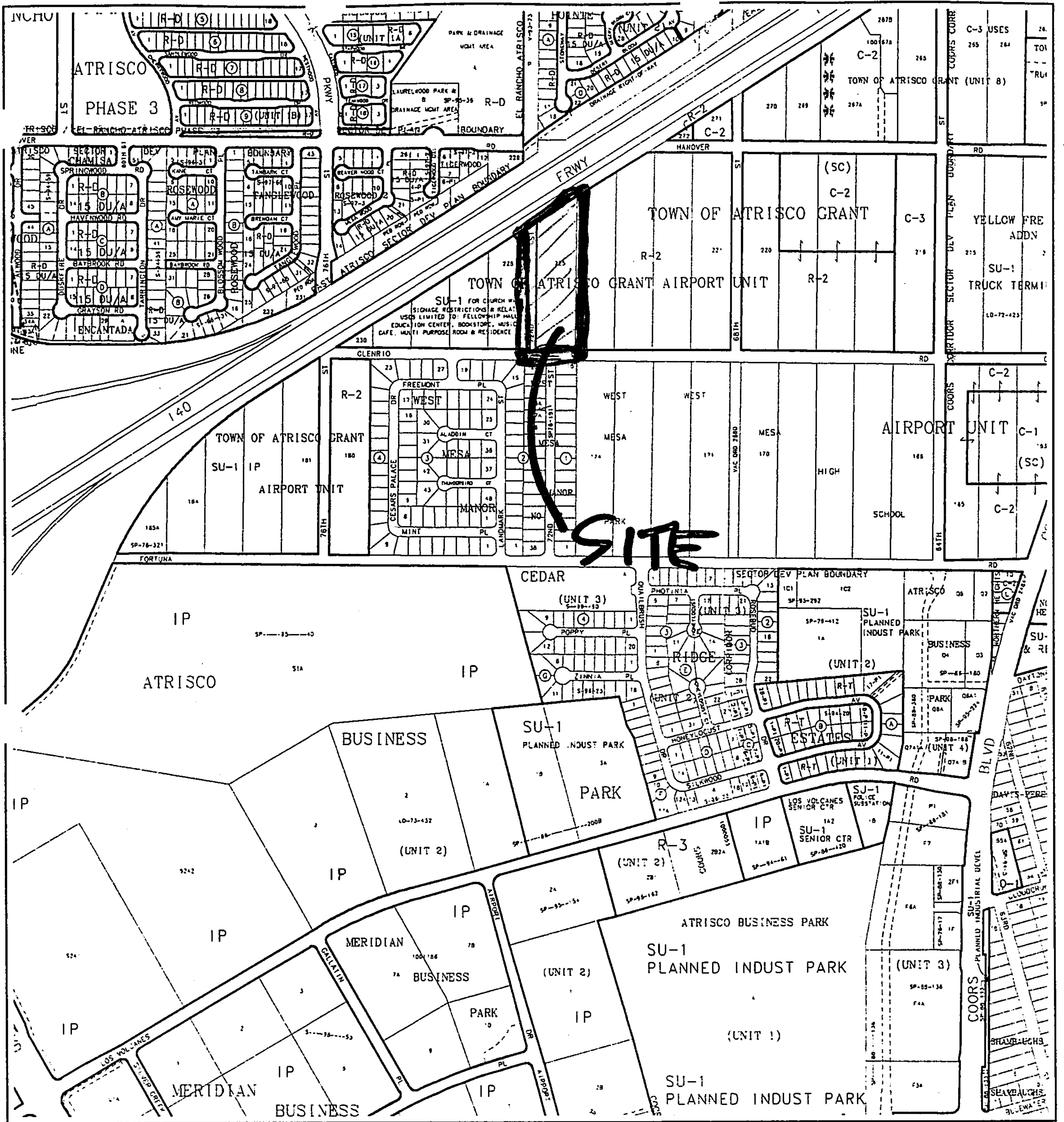
Form revised December 2000

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 03DRB-00674

Robert 4/29/03
 Planner signature / date

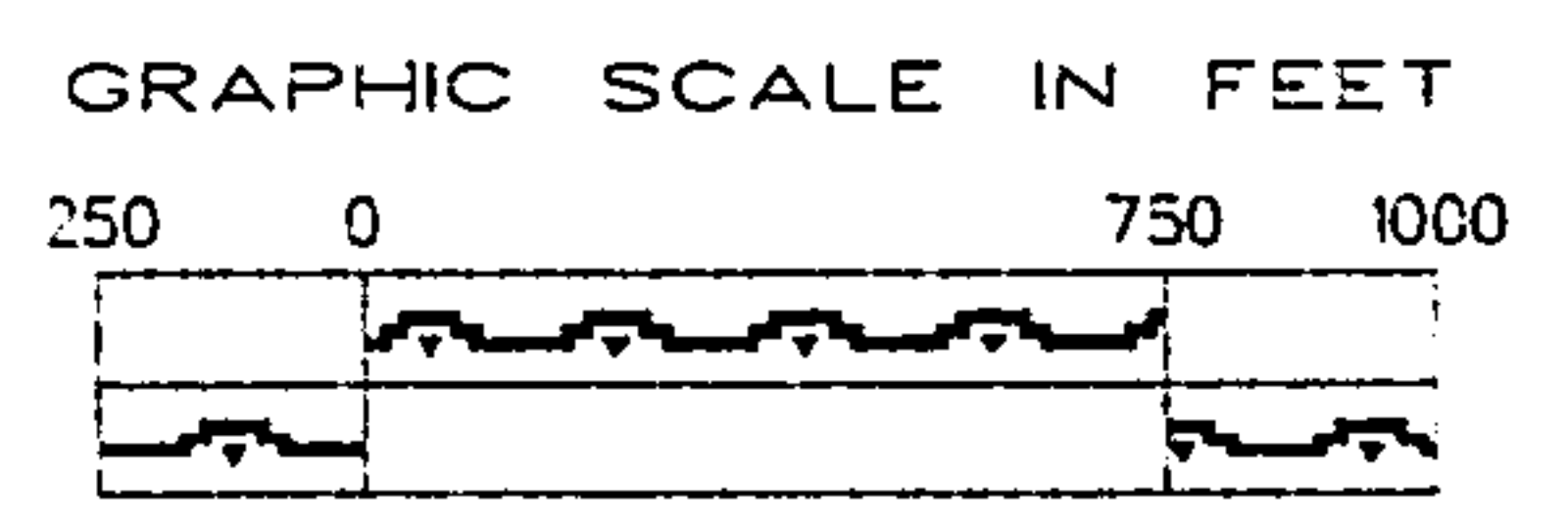
Project # 1000694



CITY OF
Albuquerque

Albuquerque Geographic Information System
PLANNING DEPARTMENT

© Copyright 2003



Zone Atlas Page

J-10-Z

Map Amended through January 21, 2003

Ben Platania

5712 Morgan Ln NW

Albua, NM 87120

Dear Sirs;

I am requesting a replat of Lot 225
TOWN OF ATRISCO GRANT AIRPORT ADDN TO INCLUDE
The vacated 7th ST.

Thank You
Ben Platania



26
26
26

OFFICIAL NOTICE

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
LAND DEVELOPMENT COORDINATION DIVISION

5-22-02

5. Project #1000694
02DRB-00568 Major-Vacation of Pub Right-of-Way

JCG ARCHITECTS agent(s) for FAMILY WORSHIP CENTER request(s) the above action(s) for all or a portion of Tract(s) 226-230, **TOWN OF ATRISCO GRANT**, zoned SU-1, located on 72ND ST. NW, between GLENRIO RD. NW and I-40 containing approximately 7 acre(s). [REF: Z-85-138-8A-2, DRB-96-415, S-97-2] [Deferred from 5/15/02] (J-10)

At the May 22, 2002, Development Review Board meeting, the Vacations were approved as shown on Exhibit B in the Planning file, subject to the Findings and Conditions of the Subdivision Ordinance as follows:

FINDINGS:

1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. Final disposition shall be through the City Real Estate Office.
2. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.
3. Affected utility companies shall acknowledge the vacation by their signatures on the replat.

If you wish to appeal this decision, you must do so by June 6, 2002, in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.



**OFFICIAL NOTICE
PAGE 2**

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Janet Stephens
DRB Chair

cc: Family Worship Center, 5200 Iliff Road NW 87105
JCG Architects, 105 E. March Ste 206, Santa Fe, NM 87501
Loren Hines, Property Management, Legal Dept./4th Flr, City/County Bldg.
Arlene Portillo, Public Works Department, 2nd Floor, Plaza del Sol Bldg.
File

26
26
26

Waiver of Right to Purchase

REFERENCE: DRB PROJECT # 1000694 , APPLICATION # 02DRB-00568
APPROVED BY THE DEVELOPMENT REVIEW BOARD ON
MAY 22, 2002

I (We) the undersigned property owner(s) of property adjacent to the above referenced Vacation Action do hereby waive any right that we may have to purchase this particular vacated right-of-way as defined in the SUBDIVISION REGULATIONS of the City of Albuquerque.

Tracts 226, 227, 228, 229 & 230 Town of Atrisco Grant, Glenrio Road
Property Address and Legal Description

Steve Ulibarri by [Signature] 3-24-03
Property Owner Signature | Date

Property Owner Signature | Date

Steve Ulibarri / John Griego
Print Name Signed Above | agent

Print Name Signed Above

ONE STOP SHOP ••• FRONT COUNTER
City of Albuquerque • Planning Department

DEVELOPMENT & BUILDING SERVICES (D&B Svcs)
LAND DEVELOPMENT COORDINATION SECTION (LDC)
Plaza Del Sol - 2nd & 4TH Floor West - 600 2nd St NW 87102
Front Counter Main Number (505) 924-3858 or 924-3895
Main Fax (505) 924-3864

PAID RECEIPT

APPLICANT NAME

BEN PLATANIA

AGENT

ADDRESS

5712 MORGAN LN NW 87120

PROJECT NO.

1000694

APPLICATION NO.

03DRB-00674

\$ 21500 441006 / 4983000 (DRB Cases)

\$ _____ 441006 / 4971000 (EPC & AA / LUCC / Appeals)

\$ _____ 441018 / 4971000 (Notification)

\$ 21500 Total amount due

BENNY L. PLATANIA
CAROL S. PLATANIA
5712 MORGAN LN. NW 505-507-5601
ALBUQUERQUE, NM 87120

95-219 2890
1070
1353530058


468

Date 4-29-03

Pay to the Order of City of Albuquerque \$ 215.00

Two Hundred Fifteen & 00/100 Dollars  Security Features Included. Details on Back.

© 1999 WFS, N.A. FRONTIER

 Wells Fargo Bank New Mexico, N.A.
6200 Coors Rd. NW
Albuquerque, NM 87120
www.wellsfargo.com

Memo DRB 1000694

Benny Platania MP

⑆ 107002192⑆ 1353530058⑆ 00468

DUPLICATE
City Of Albuquerque
Treasury Division

04/29/2003 8:21AM LOC: ANNX
RECEIPT# 00006197 WS# 007 TRANS# 0002
Account 441006 Fund 0110
Activity 4983000 TRSCCS
Trans Amt \$215.00
J24 Misc 10/28/02 \$215.00
CK \$215.00
CHANGE \$0.00



City of Albuquerque
CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
PUBLIC WORKS DEPARTMENT
DEVELOPMENT SERVICE
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001926

AGENDA ITEM NO: 24

SUBJECT:

- | | | |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:(x) APP:() SIGN-OFF:() EXTN:() AMEND:()

ENGINEERING COMMENTS:

An approved drainage report is required for Preliminary Plat approval.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED X; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: May 15, 2002

discussed



City of Albuquerque
Parks and Recreation Department
PO Box 1293, Albuquerque, New Mexico 87103
Inter-Office Correspondence

Development Review Board Comments

Project Number: 1001926
Application Number: 02DRB-00673

DRB Date: 5/15/02
Item Number: 23 24

Subdivision:

Lot 225, Town of Atrisco Grant

Zoning: R-2

Zone Page: J-10

New Lots (or units) : 28

Request for:

- Sketch Plat Review & Comment
- Bulk Land Variance
- Site Development Plan for Subdivision
- Site Development Plan for Building Permit
- Preliminary Plat
- Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other

Parks and Recreation Comments:

This request will be subject to the following requirements of the City Park Dedication and Development Ordinance:

Prior to sign-off on the final plat, a fee in-lieu of and equal to the value of the required park land dedication for 28 new residential lots will be required. The fee will be based on an estimate of land value to be provided by the City Real Property office. Alternatively, the applicant may submit current appraisal information mutually acceptable to the applicant and the City.

The park development requirement will be met via the payment of a fee prior to issuance of building permit for each new dwelling unit.

Signed: *Adrienne Candelaria*
Adrienne Candelaria, DRB/EPC Senior Planner (PRD)

Phone: 768-5328



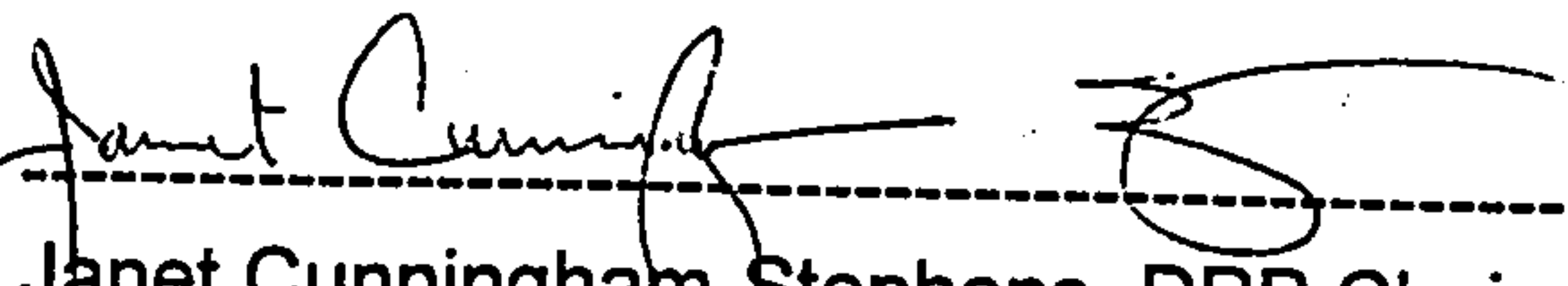
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CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

May 15, 2002

**24. Project #1001926
Application # 02DRB-00673
Town of Atrisco Grant, Lot 225**

1. If the vacation of 72nd Street is approved by the DRB, the right-of-way must be purchased from Real Property. Each property owner to the east and west would be offered up to the centerline of the right-of-way.
2. Major subdivision plats require a public hearing before the DRB. The applicant must notify recognized neighborhood associations and provide proof of notification at the time of application submittal. Signs must be posted and maintained 15 days prior to the hearing.
3. The City Surveyor and property owner/s must sign the preliminary plat prior to application submittal.



Janet Cunningham-Stephens, DRB Chair
Planning Manager, Land Development Coordination
Tel: 505-924-3880 FAX: 505-924-3864

City of Albuquerque



DEVELOPMENT REVIEW APPLICATION

Supplemental form
SUBDIVISION **S**
 Major Subdivision action
 Minor Subdivision action
 Vacation
 Variance (Non-Zoning)
V

Supplemental form
ZONING **Z**
 Annexation & Zone Establishment
 Sector Plan
 Zone Change
 Text Amendment

SITE DEVELOPMENT PLAN **P**
 ...for Subdivision Purposes
 ...for Building Permit
 IP Master Development Plan
 Cert. of Appropriateness (LUCC) **L**

APPEAL / PROTEST of... **A**
 Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Ben Platania PHONE: 899-9627
 ADDRESS: 5712 Morgan Ln NW FAX: 899-9627
 CITY: Albuq STATE NM ZIP 87120 E-MAIL: plateanbp@msn.com
 Proprietary interest in site: MAJOR OWNER
 AGENT (if any): _____ PHONE: _____
 ADDRESS: _____ FAX: _____
 CITY: _____ STATE _____ ZIP _____ E-MAIL: _____

DESCRIPTION OF REQUEST:

SKETCH PLAT - will length of street be allowed

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. 225 Block: _____ Unit: _____
 Subdiv. / Addn. TOWN OF ARRISCO GRANT AIRPORT UNIT Zone MAP 5-10-Z
 Current Zoning: R2 Proposed zoning: R2
 Zone Atlas page(s): 5-10-Z No. of existing lots: 1 No. of proposed lots: 28
 Total area of site (acres): 4.13 Density if applicable: dwellings per gross acre: 7 dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? No
 UPC No. 101005827140310401 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: GLEN RIO NW & 72ND ST.
 Between: I-40 and GLEN RIO NW

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): 7-79-108

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 5-2-02

SIGNATURE Ben Platania DATE 5-2-02
 (Print) Ben Platania Applicant Agent

FOR OFFICIAL USE ONLY

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INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>020RB - 00673</u>	<u>SK</u>		\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected				\$
<input checked="" type="checkbox"/> All case #s are assigned				\$
<input checked="" type="checkbox"/> AGIS copy has been sent				\$
<input checked="" type="checkbox"/> Case history #s are listed				\$
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$
<input checked="" type="checkbox"/> F.H.D.P. density bonus				\$
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				\$
Hearing date <u>May 15, 2002</u>				Total \$ <u>0</u>

Paul Carder 5/2/02 Project # 1001926
 Planner signature / date

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6** copies for unadvertised meetings. Sketches are not reviewed through internal routing.
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

- Preliminary Plat reduced to 8.5" x 11"
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Copy of previous D.R.B. approved infrastructure list
- Copy of the Official D.R.B. Notice of approval
- Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.
 Extension of preliminary plat approval expires after one year.
 DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

MAJOR SUBDIVISION FINAL PLAT APPROVAL

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6** copies for unadvertised meetings, **4** copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- SIA financial guaranty verification
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6** copies for unadvertised meetings, **4** copies for internal routing.
- Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6** copies.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing
- Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6** copies for unadvertised meetings, **4** copies for internal routing.
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6** copies for unadvertised meetings, **4** copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.
 DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ben Platania
 Applicant name (print)
Ben Platania 5-2-02
 Applicant signature / date



Form revised September 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 02DRB - 00623

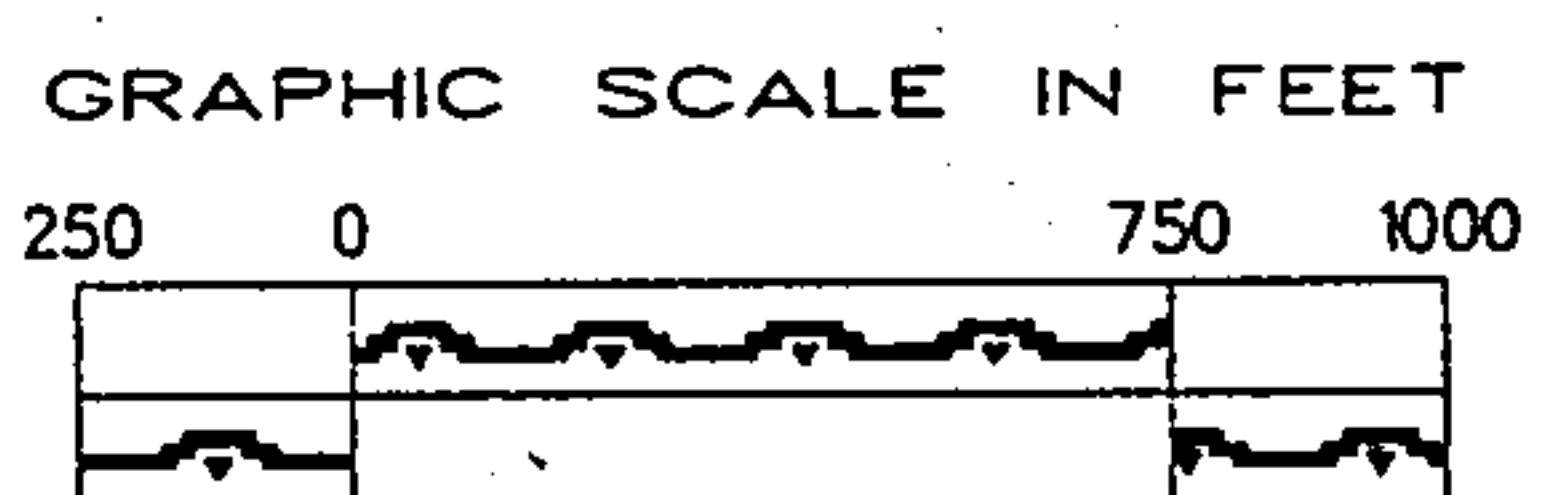
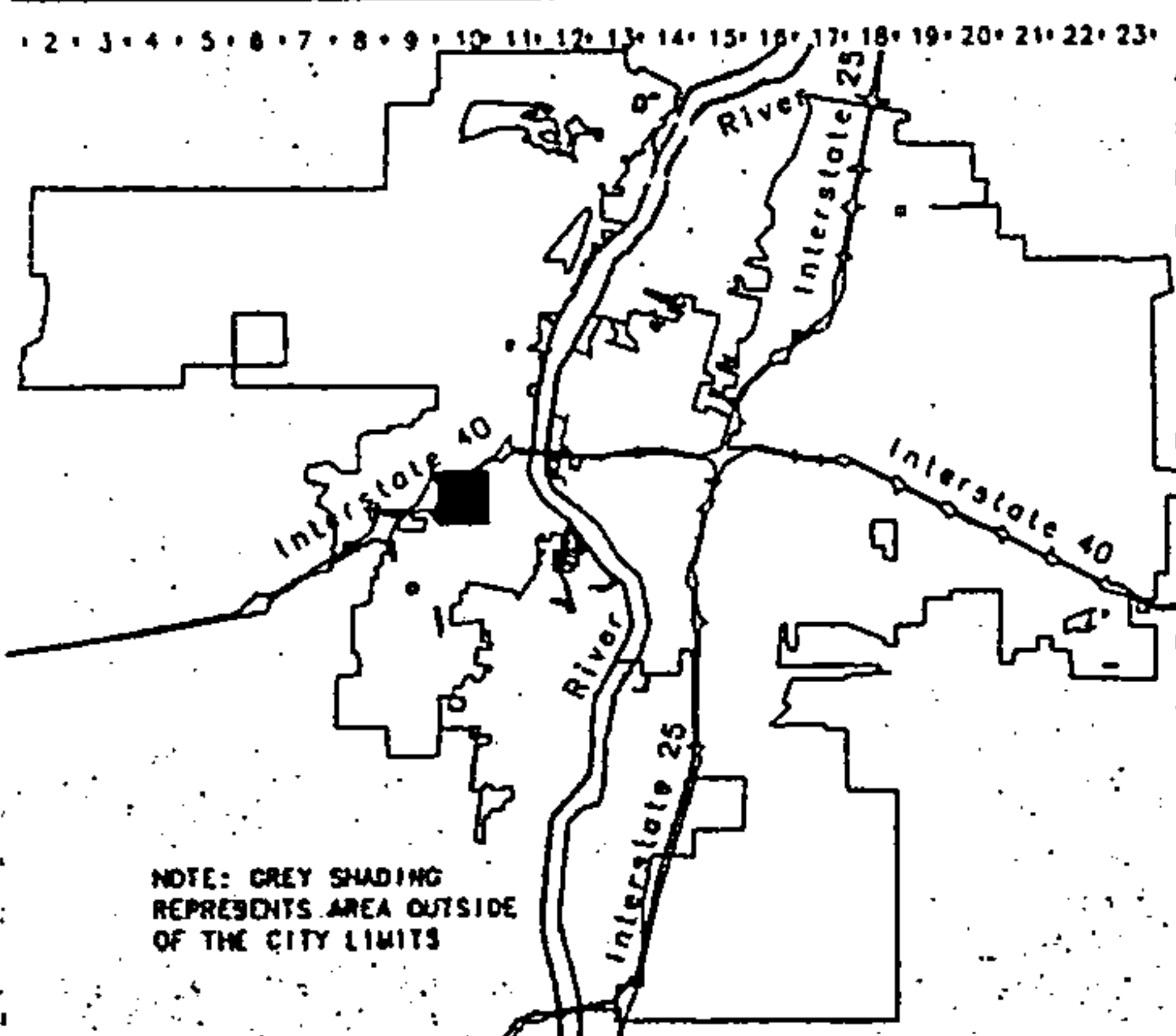
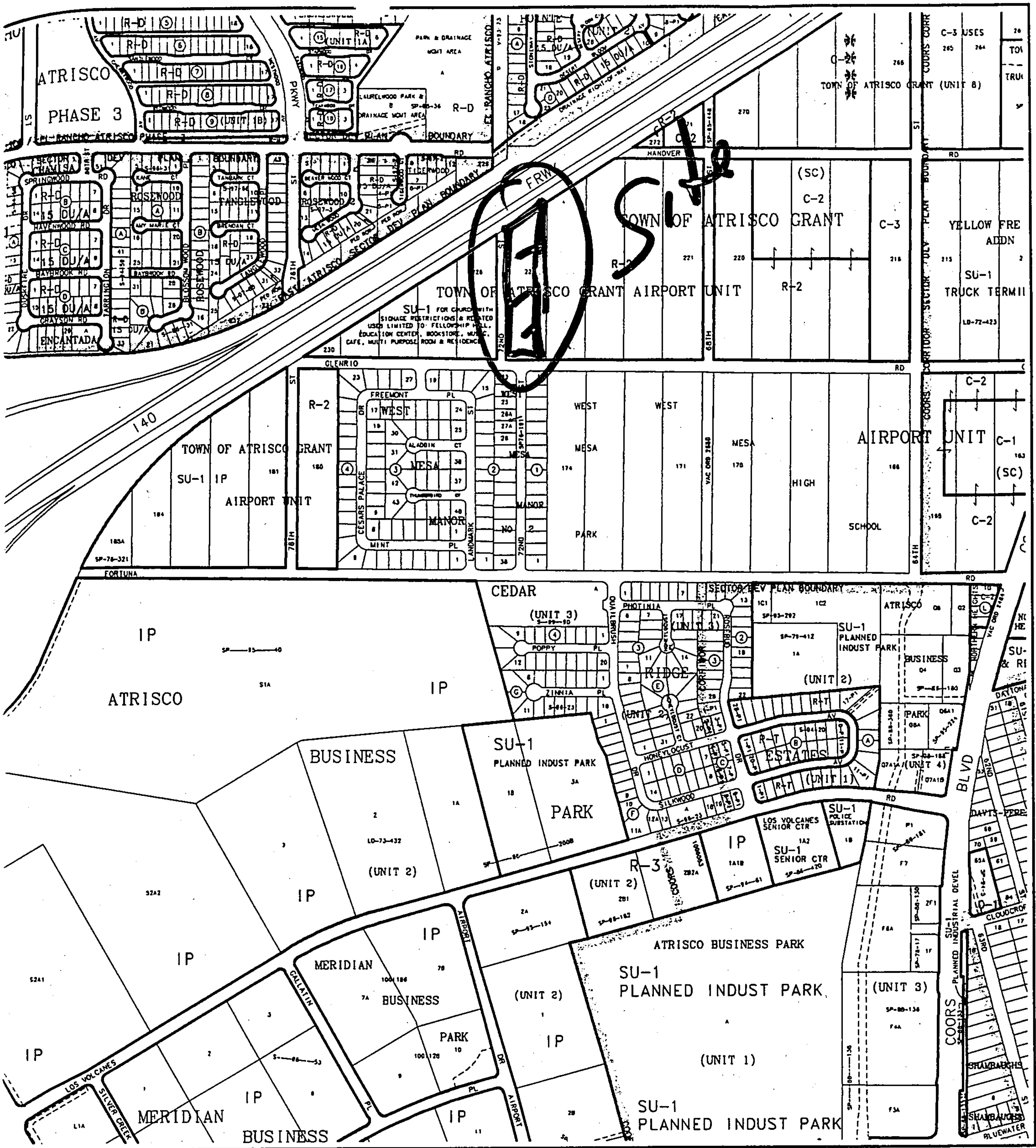
Paul Carole 5/2/02
 Planner signature / date
Project # 1001926

Dear Sirs;

I am submitting this sketch plat ^{to} determine the feasibility of the design including the size and length of the street. This design uses half of the proposed vacation of ^{seventy} second street by the church that owns the property on the western side of 72nd street. This proposed vacation will be heard May 15th 2002, so I would like comments prior to that hearing to determine if I should agree with the vacation or not.

Thank you for your comments


Ben Platania



CITY OF Albuquerque
Albuquerque Geographic Information System
PLANNING DEPARTMENT
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Zone Atlas Page

J-10-Z

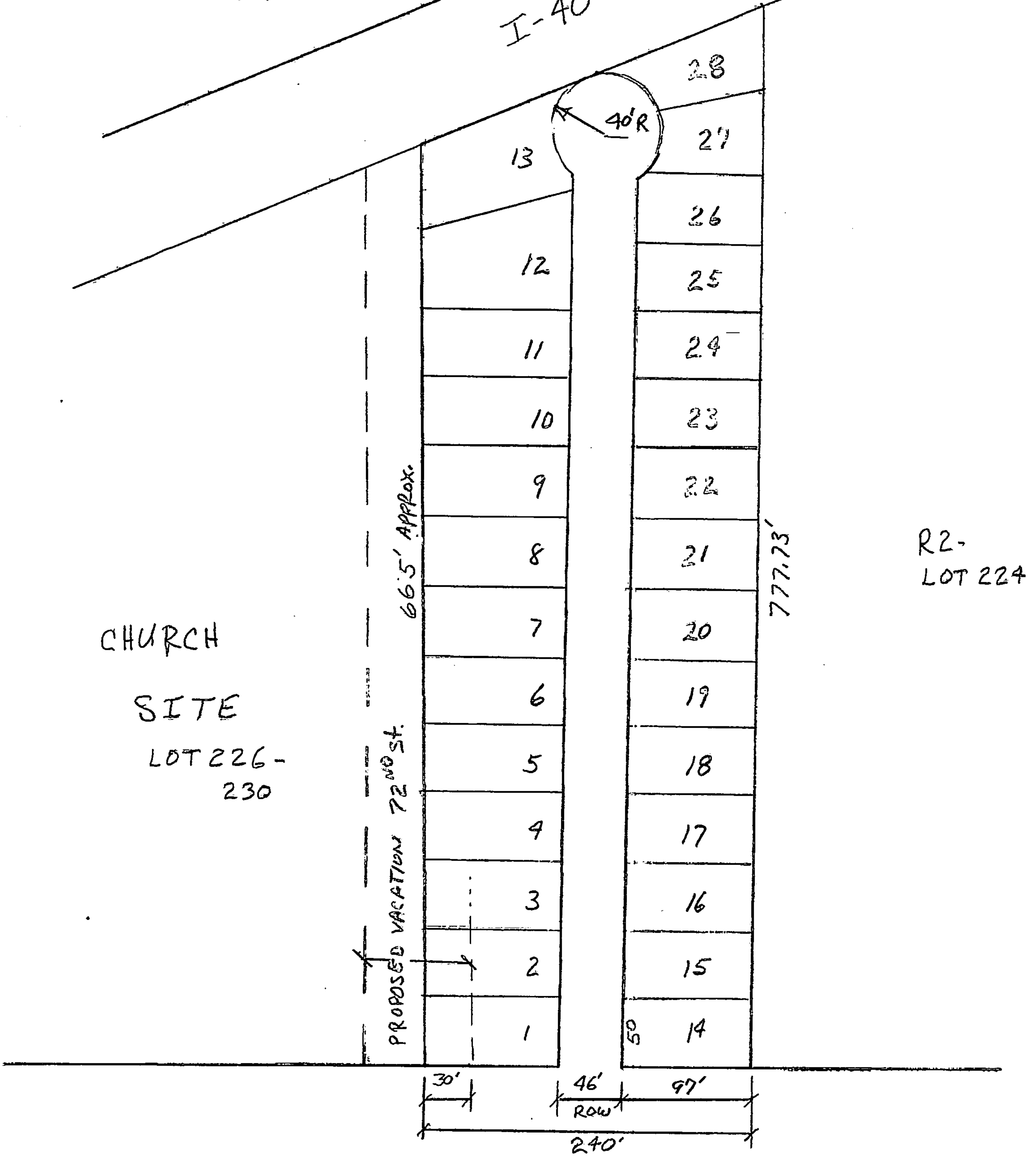
Map Amended through April 03, 2002

1001926

ZONE ATLAS J-10-2
LOT 225 R2 ZONING
Approx. 4.13 Ac. with
VACATED 72ND ST.

36
36
36

I-40



CHURCH

SITE

LOT 226-
230

66.5' APPROX.

PROPOSED VACATION 72ND ST.

777.73'

R2-
LOT 224

30' 46' ROW 97' 240'

GLEN RIO NW

SUBMITTED BY: Ben Platania
899-9627 plateaubp@msn.com

