

VICINITY MAP No. J-10

DISCLOSURE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO SHOW THE VACATED 72nd STREET, DIVIDE TRACT 225 INTO 30 LOTS, DEDICATE 72ND PLACE AND GRANT ANY EASEMENTS AS SHOWN.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC# 1-010-058-271403-10401

PROPERTY OWNER OF RECORD: John Lorentzen
 BERNALILLO CO. TREASURER'S OFFICE: Arthur Kavanaugh 11/18/2004

LEGAL DESCRIPTION

TRACT NUMBERED TWO HUNDRED TWENTY-FIVE (225) OF THE PLAT SHOWING A PORTION OF TRACTS ALLOTTED FROM TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 5, 1944 IN VOLUME D, FOLIO 118, TOGETHER WITH VACATED 72nd STREET (VACATED BY VACATION ACTION No. 1000694, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT WHENCE CITY OF ALBUQUERQUE CONTROL STATION "6-J10" HAVING NEW MEXICO STATE PLANE COORDINATES OF (CENTRAL ZONE, NAD, 1927) x=360,389.13 AND y=1,492,117.53 BEARS N. 30 deg. 00' 53" E., A DISTANCE OF 341.35 FEET, RUNNING
 THENCE S. 00 deg. 34' 58" W., A DISTANCE OF 777.73 FEET TO THE SOUTHEAST CORNER, BEING A POINT ON THE NORTH LINE OF GLENRIO ROAD;
 THENCE N. 89 deg. 25' 02" W., ALONG THE NORTH LINE OF GLENRIO ROAD, A DISTANCE OF 269.91 FEET TO THE SOUTHWEST CORNER;
 THENCE N. 00 deg. 38' 58" E., A DISTANCE OF 630.31 FEET TO THE NORTHWEST CORNER, BEING A POINT ON THE SOUTHERLY LINE OF INTERSTATE 40;
 THENCE N. 58 deg. 42' 13" E., ALONG THE SOUTHERLY LINE OF INTERSTATE 40, A DISTANCE OF 279.14 FEET TO A POINT;
 THENCE S. 89 deg. 25' 02" E., A DISTANCE OF 32.14 FEET TO THE NORTHEAST CORNER AND PLACE OF BEGINNING CONTAINING 4.4101 ACRES MORE OR LESS.

GENERAL NOTES:

- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- TOTAL AREA OF PROPERTY: 4.4101 ACRES.
- TALOS LOG NO. 2003168324
- BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
- DISTANCES ARE GROUND, BEARINGS ARE GRID.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- DATE OF FIELD WORK: APRIL 10, 2003
- CURRENT ZONING: R-2
- D R B CASE No.: 1000694
- PROPERTY FALLS WITHIN TOWN OF ATRISCO GRANT.
- STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS. Δ WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB, PS11463.
- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
 PNM ELECTRIC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 PNM GAS FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
 QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUB-SURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRIC OR SAFETY CODE CAUSED BY CONSTRUCTION OR POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.
- STREET MILEAGE CREATED: 0.1291 MILES

FREE CONSENT AND DEDICATION

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF, SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFASIBLE TITLE TO THE LAND SUBDIVIDED, AND DOES ALSO DEDICATE STREET R/W TO THE CITY OF ALBUQUERQUE TO BE USED WITH VACANT LOTS.

Jeff Burdett 8-9-04
 JEFF BURDETT, PRESIDENT DATE
J D HOMES

ACKNOWLEDGMENT

STATE OF NEW MEXICO) S.S.
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS 9th DAY OF August, 2004
 BY: Dennis Behanna
 NOTARY
 MY COMMISSION EXPIRES: 5-2-05 BY: DOB
 NOTARY PUBLIC

**FINAL PLAT
 MUSTANG MESA SUBDIVISION**

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2004
 SHEET 1 OF 2

PROJECT No.: 1001926

UTILITY APPROVALS:

<u>Lead 91. Mnts</u>	<u>10-15-04</u>
PNM ELECTRIC SERVICES	DATE
<u>Lead 91. Mnts</u>	<u>10-15-04</u>
PNM GAS SERVICES	DATE
<u>Dave R. Muller</u>	<u>10-18-04</u>
QWEST TELECOMMUNICATIONS	DATE
<u>Rita Erickson</u>	<u>10-14-04</u>
COMCAST	DATE
<u>Scott M. Arnold</u>	<u>11-18-04</u>
PROPERTY MANAGEMENT	
<u>John B. Fair</u>	<u>9-2-04</u>
CITY SURVEYOR	DATE
<u>John B. Fair</u>	<u>11-17-04</u>
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE
<u>Roger J. Green</u>	<u>11-17-04</u>
UTILITY DEVELOPMENT	DATE
<u>Christina Sandoval</u>	<u>11/17/04</u>
PARKS AND RECREATION DEPARTMENT	DATE
<u>Bradley L. Bingham</u>	<u>11/17/04</u>
AMAFCA	DATE
<u>Bradley L. Bingham</u>	<u>11/17/04</u>
CITY ENGINEER	DATE
<u>Sheran Watson</u>	<u>11/18/04</u>
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



SURVEYORS CERTIFICATE:

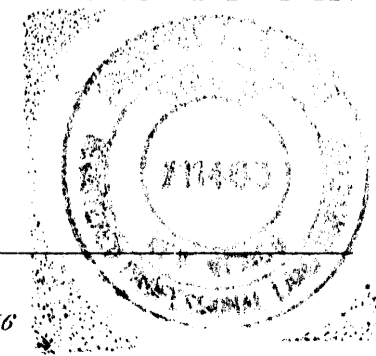
STATE OF NEW MEXICO) S.S.
 COUNTY OF BERNALILLO)

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO, THIS 11th DAY OF August, 2004.

Anthony L. Harris
 ANTHONY L. HARRIS, P.S. # 11463

HARRIS SURVEYING, INC. PHONE: (505) 889-8056
 8410 D. MONTELEONE STREET N.E. FAX: (505) 889-8045
 ALBUQUERQUE, NEW MEXICO 87110

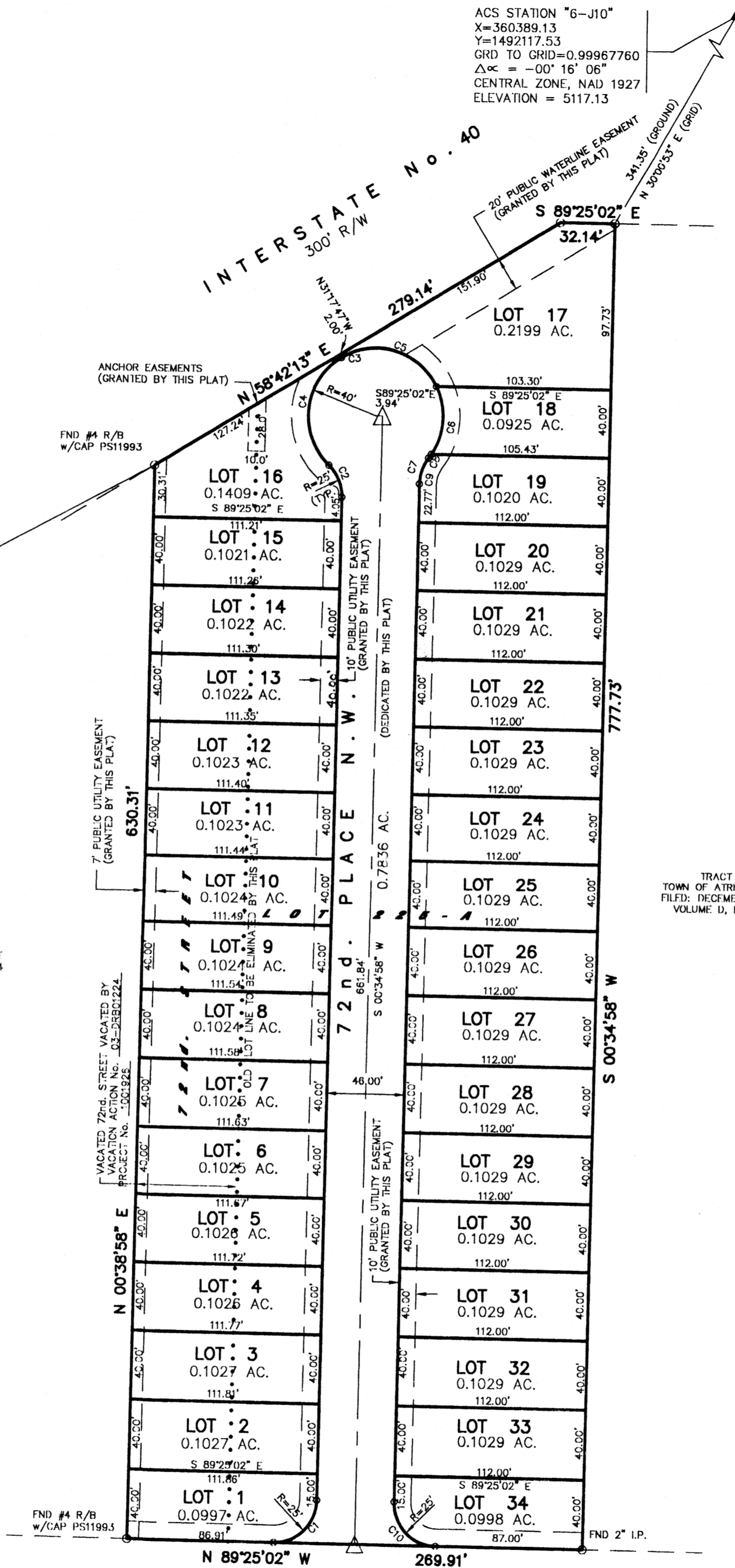
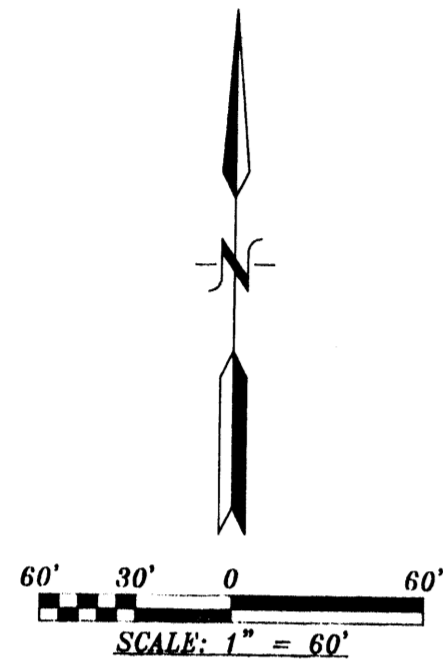


FINAL PLAT MUSTANG MESA SUBDIVISION

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY, 2004
SHEET 2 of 2

ACS STATION "6-J10"
X=360389.13
Y=1492117.53
GRD TO GRID=0.99967760
Δα = -00° 16' 06"
CENTRAL ZONE, NAD 1927
ELEVATION = 5117.13

ACS STATION "I-40-21A"
X=354,594.87
Y=1,488,789.30
GRD TO GRID=0.9996747
Δα = -00° 16' 46"
CENTRAL ZONE, NAD 1927



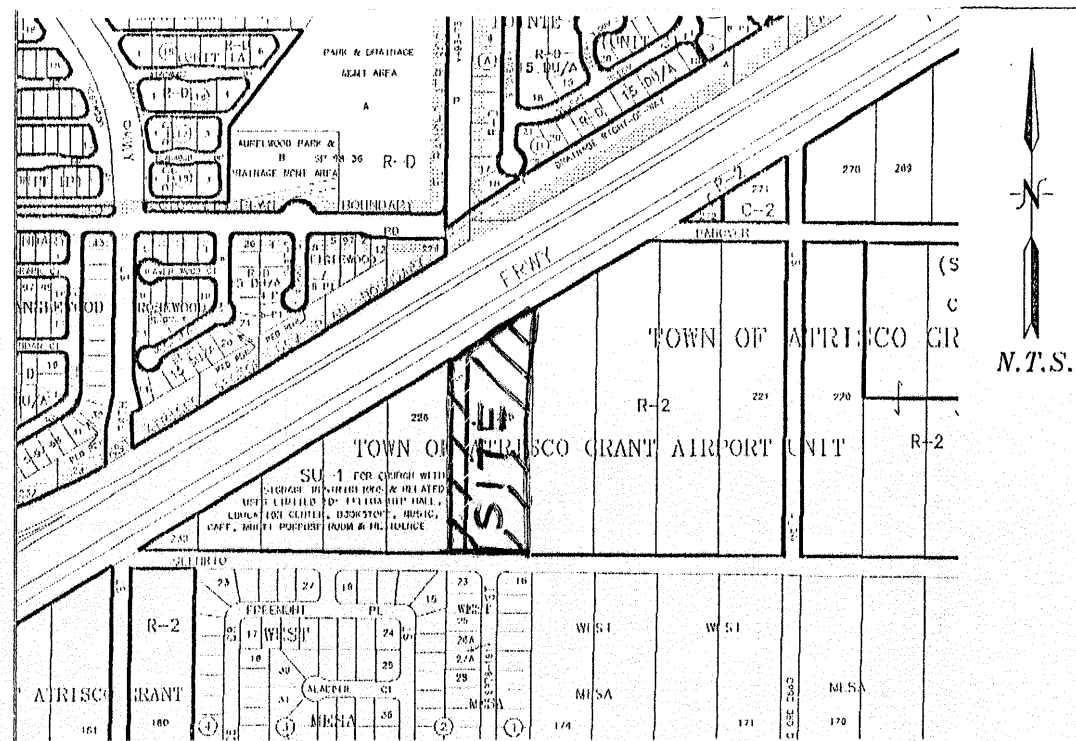
CURVE	RADIUS	DELTA	ARC	BEARING	CHORD
C1	25.00	90°00'00"	39.27	N 45°34'58" E	35.36
C2	25.00	47°19'44"	20.65	N 23°04'54" W	20.07
C3	40.00	264°16'53"	184.50	N 85°23'40" E	59.32
C4	40.00	105°26'59"	73.62	N 05°58'43" E	63.66
C5	40.00	94°53'04"	56.24	S 73°51'15" E	58.93
C6	40.00	60°05'38"	41.95	S 03°38'06" W	40.06
C7	25.00	36°57'09"	16.12	S 19°03'32" W	15.85
C8	40.00	03°51'11"	2.69	S 35°36'31" W	2.69
C9	25.00	16°48'47"	7.34	S 08°59'21" W	7.31
C10	25.00	90°00'00"	39.27	S 44°25'02" E	35.36

TRACT 226
TOWN OF ATRISCO GRANT
FILED: DECEMBER 5, 1944
VOLUME D, FOLIO 118

TRACT 224
TOWN OF ATRISCO GRANT
FILED: DECEMBER 5, 1944
VOLUME D, FOLIO 118

GLENRIO ROAD N.W.
60' R/W

Mary Herrera Bern. Co. PLAT R 12.00 Bk-2894C Pg-358



VICINITY MAP No. J-10



LEGAL DESCRIPTION

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GENERAL NOTES:

- 1: UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- 2: THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- 3: TOTAL AREA OF PROPERTY: 4.1101 ACRES.
- 4: TALOS LOG NO. 2003168324
- 5: BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
- 6: DISTANCES ARE GROUND, BEARINGS ARE GRID.
- 7: BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- 8: DATE OF FIELD WORK: APRIL 10, 2003
- 9: CURRENT ZONING: R-2
- 10: D R B CASE No.: 1000694
- 11: PROPERTY FALLS WITHIN TOWN OF ATRISCO GRANT.
- 12: STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS. Δ WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB, PS11463.
- 13: PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
 PNM ELECTRIC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
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14: STREET MILEAGE CREATED: 0.1291 MILES

FREE CONSENT AND DEDICATION

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JEFF BOWWART, PRESIDENT
 J D HOMES
 DATE 8-9-04

ACKNOWLEDGMENT
 STATE OF NEW MEXICO) S.S.
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC

THIS 9th DAY OF August, 2004

BY: Dennis Behanna
 NOTARY

MY COMMISSION EXPIRES: 8-20-08 BY: DJB
 NOTARY PUBLIC

PRELIMINARY
FINAL PLAT

MUSTANG MESA SUBDIVISION

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

JULY, 2004
 SHEET 1 OF 2

PROJECT No.: _____

UTILITY APPROVALS:

PNM ELECTRIC SERVICES _____ DATE _____

PNM GAS SERVICES _____ DATE _____

QWEST TELECOMMUNICATIONS _____ DATE _____

COMCAST _____ DATE _____

[Signature] _____ DATE 7-2-04
 CITY SURVEYOR

TRAFFIC ENGINEERING TRANSPORTATION DIVISION _____ DATE _____

UTILITY DEVELOPMENT _____ DATE _____

PARKS AND RECREATION DEPARTMENT _____ DATE _____

AMAFCA _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

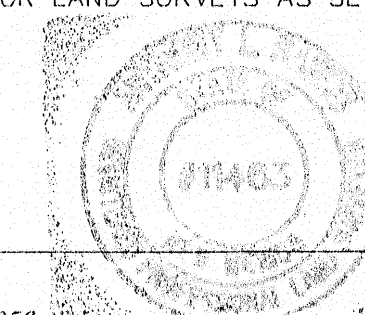
SURVEYORS CERTIFICATE:

STATE OF NEW MEXICO) S.S.
 COUNTY OF BERNALILLO)

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,
 THIS 11th DAY OF August, 2004.

[Signature]
 ANTHONY L. HARRIS, P.S. # 11463



HARRIS SURVEYING, INC. PHONE: (505) 889-8056
 2412 D. MONROE STREET N.E. FAX: (505) 889-8645
 ALBUQUERQUE, NEW MEXICO 87110

**PRELIMINARY
FINAL PLAT**

MUSTANG MESA SUBDIVISION

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
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JULY, 2004
SHEET 2 of 2

ACS STATION "6-J10"
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GRID TO GRID=0.9996747
Δ_{OC} = -00° 16' 46"
CENTRAL ZONE, NAD 1927

INTERSTATE No. 40
300' R/W

ANCHOR EASEMENTS
(GRANTED BY THIS PLAT)

FND #4 R/B
w/CAP P511993

7' PUBLIC UTILITY EASEMENT
(GRANTED BY THIS PLAT)

VACATED 7th STREET VACATED BY
VACATION ACTION NO. 05-282-224
PROJECT AC. 1001828

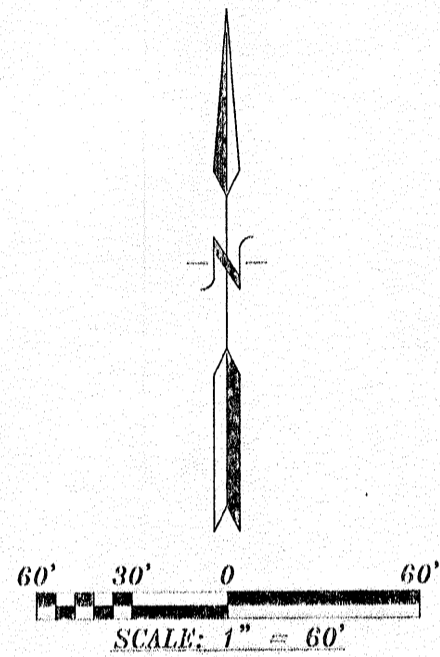
FND #4 R/B
w/CAP P511993

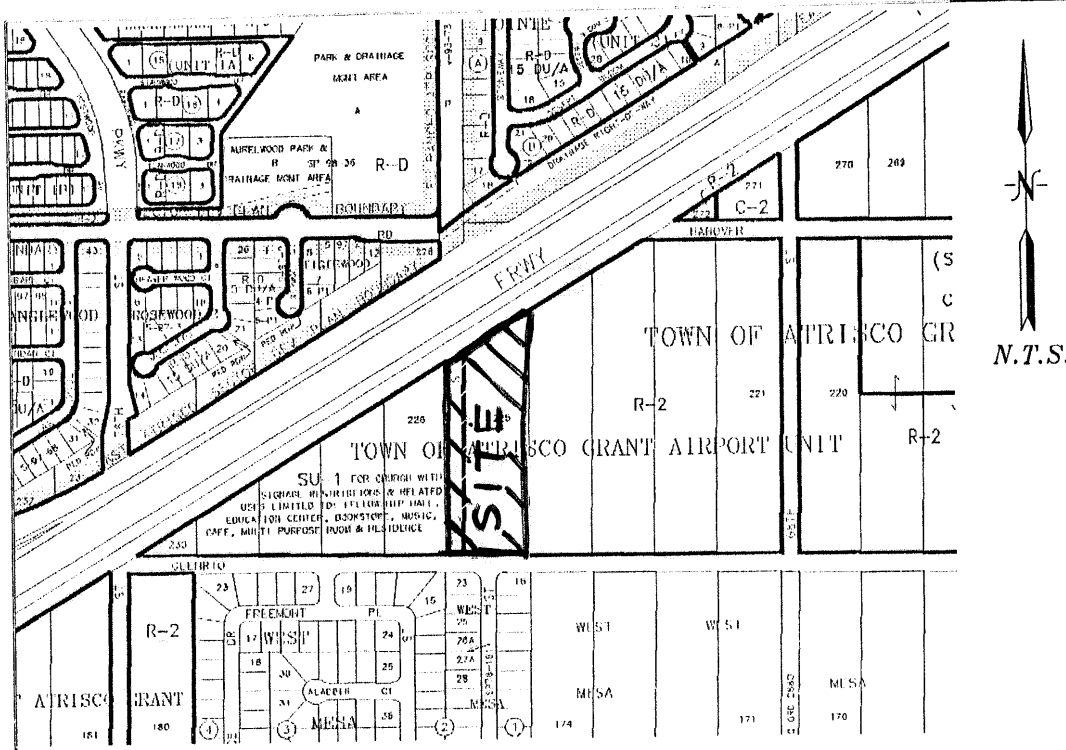
TRACT 226
TOWN OF ATRISCO GRANT
FILED: DECEMBER 5, 1944
VOLUME D, FOLIO 118

TRACT 224
TOWN OF ATRISCO GRANT
FILED: DECEMBER 5, 1944
VOLUME D, FOLIO 118

GLENRIO ROAD N.W.
60' R/W

CURVE	RADIUS	DELTA	ARC	BEARING	CHORD
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VICINITY MAP No. J-10

DISCLOSURE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO SHOW THE VACATED 72nd STREET, DIVIDE TRACT 225 INTO 30 LOTS, DEDICATE 72ND PLACE AND GRANT ANY EASEMENTS AS SHOWN.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC# _____

PROPERTY OWNER OF RECORD: _____

BERNALILLO CO. TREASURER'S OFFICE: _____

LEGAL DESCRIPTION

TRACT NUMBERED TWO HUNDRED TWENTY-FIVE (225) OF THE PLAT SHOWING A PORTION OF TRACTS ALLOTTED FROM TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 5, 1944 IN VOLUME D, FOLIO 118, TOGETHER WITH VACATED 72nd STREET (VACATED BY VACATION ACTION No. 1000694, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT WHENCE CITY OF ALBUQUERQUE CONTROL STATION "6-J10" HAVING NEW MEXICO STATE PLANE COORDINATES OF (CENTRAL ZONE, NAD, 1927) x=360,389.13 AND y=1,492,117.53 BEARS N. 30 deg. 00' 53" E., A DISTANCE OF 341.35 FEET, RUNNING THENCE S. 00 deg. 34' 58" W., A DISTANCE OF 777.73 FEET TO THE SOUTHEAST CORNER, BEING A POINT ON THE NORTH LINE OF GLENRIO ROAD; THENCE N. 89 deg. 25' 02" W., ALONG THE NORTH LINE OF GLENRIO ROAD, A DISTANCE OF 269.91 FEET TO THE SOUTHWEST CORNER; THENCE N. 00 deg. 38' 58" E., A DISTANCE OF 630.31 FEET TO THE NORTHWEST CORNER, BEING A POINT ON THE SOUTHERLY LINE OF INTERSTATE 40; THENCE N. 58 deg. 42' 13" E., ALONG THE SOUTHERLY LINE OF INTERSTATE 40, A DISTANCE OF 279.14 FEET TO A POINT; THENCE S. 89 deg. 25' 02" E., A DISTANCE OF 32.14 FEET TO THE NORTHEAST CORNER AND PLACE OF BEGINNING CONTAINING 4.4101 ACRES MORE OR LESS.

GENERAL NOTES:

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- 3: TOTAL AREA OF PROPERTY: 4.4101 ACRES.
- 4: TALOS LOG NO. 2003168324
- 5: BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
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- 13: PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

PNM ELECTRIC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.

PNM GAS FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.

COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUB-SURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRIC OR SAFETY CODE CAUSED BY CONSTRUCTION OR POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

14: STREET MILEAGE CREATED: 0.1291 MILES

FREE CONSENT AND DEDICATION

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT, THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFESIBLE TITLE TO THE LAND SUBDIVIDED, AND DOES AID DEDICATE STREET R/W TO THE CITY OF ALBUQUERQUE TO BE USED WITH WARRANTY.

J. D. Homes
 JEFF DORWART, PRESIDENT DATE 8-9-04
 J D HOMES

ACKNOWLEDGMENT
 STATE OF NEW MEXICO) s.s.
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC
 THIS 9th DAY OF August, 2004

BY: *Danna Behan*
 NOTARY PUBLIC

MY COMMISSION EXPIRES: 8-2-05 BY: *DJB*
 NOTARY PUBLIC

FINAL PLAT
MUSTANG MESA SUBDIVISION

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2004
SHEET 1 OF 2

PROJECT No.: _____

UTILITY APPROVALS:

PNM ELECTRIC SERVICES _____ DATE _____

PNM GAS SERVICES _____ DATE _____

QWEST TELECOMMUNICATIONS _____ DATE _____

COMCAST _____ DATE _____

W.B. Fair
 CITY SURVEYOR _____ DATE 9-2-04

TRAFFIC ENGINEERING TRANSPORTATION DIVISION _____ DATE _____

UTILITY DEVELOPMENT _____ DATE _____

PARKS AND RECREATION DEPARTMENT _____ DATE _____

AMAPCA _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

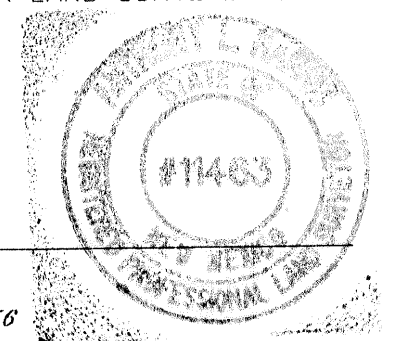
SURVEYORS CERTIFICATE:

STATE OF NEW MEXICO) s.s.
 COUNTY OF BERNALILLO)

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,
 THIS 11th DAY OF August, 2004.

Anthony L. Harris
 ANTHONY L. HARRIS, P.S. # 11463

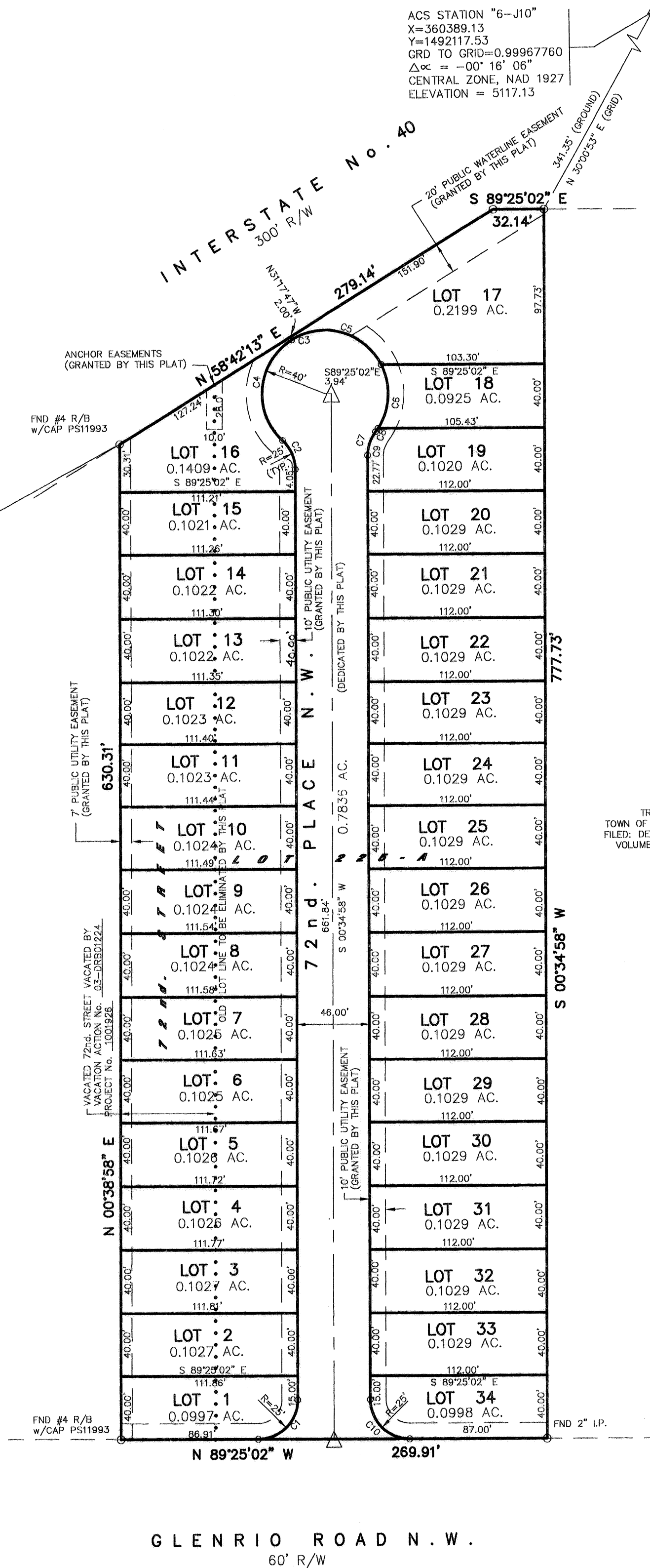


HARRIS SURVEYING, INC. PHONE: (505) 889-8056
 1712-D MONROE STREET N.E. FAX: (505) 889-8645
 ALBUQUERQUE, NEW MEXICO 87110

FINAL PLAT MUSTANG MESA SUBDIVISION

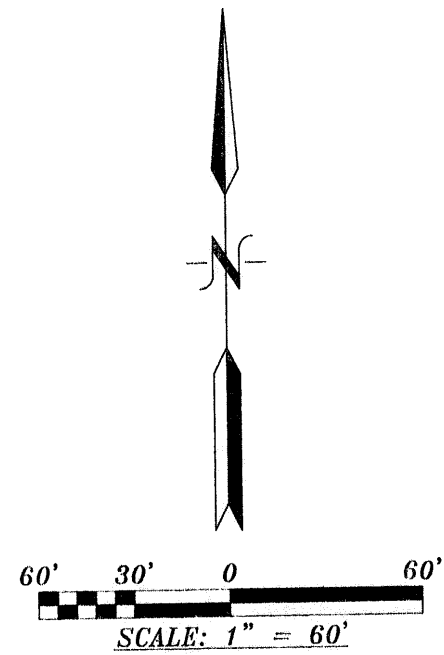
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JULY, 2004
SHEET 2 of 2

CURVE	RADIUS	DELTA	ARC	BEARING	CHORD
C1	25.00	90°00'00"	39.27	N 45°34'58" E	35.36
C2	25.00	47°19'44"	20.65	N 23°04'54" W	20.07
C3	40.00	264°16'53"	184.50	N 85°23'40" E	59.32
C4	40.00	105°26'59"	73.62	N 05°58'43" E	63.66
C5	40.00	94°53'04"	56.24	S 73°51'15" E	58.93
C6	40.00	60°05'38"	41.95	S 03°38'06" W	40.06
C7	25.00	36°57'09"	16.12	S 19°03'32" W	15.85
C8	40.00	03°51'11"	2.69	S 35°36'31" W	2.69
C9	25.00	16°48'47"	7.34	S 08°59'21" W	7.31
C10	25.00	90°00'00"	39.27	S 44°25'02" E	35.36



ACS STATION "I-40-21A"
X=354,594.87
Y=1,488,789.30
GRD TO GRID=0.9996747
Δα = -00° 16' 46"
CENTRAL ZONE, NAD 1927

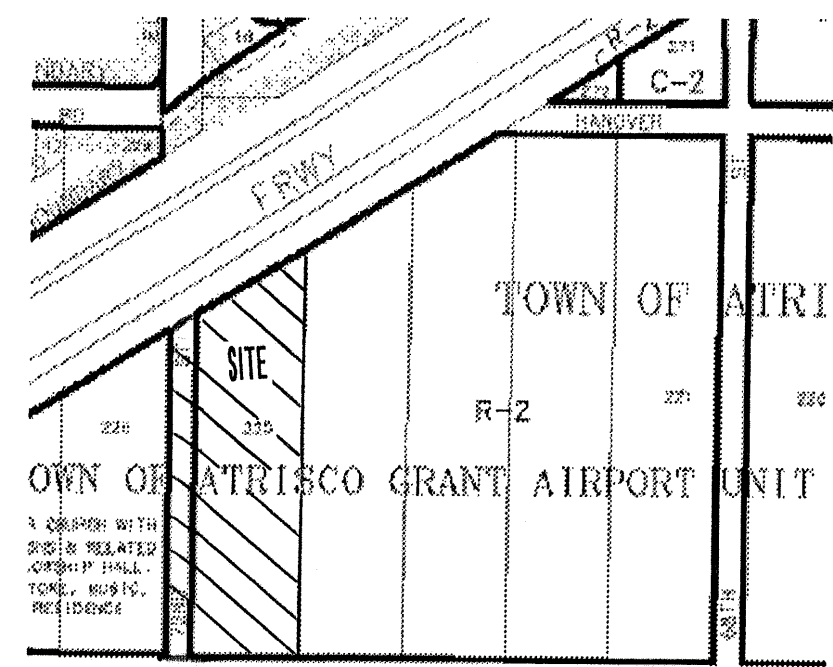
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CENTRAL ZONE, NAD 1927
ELEVATION = 5117.13



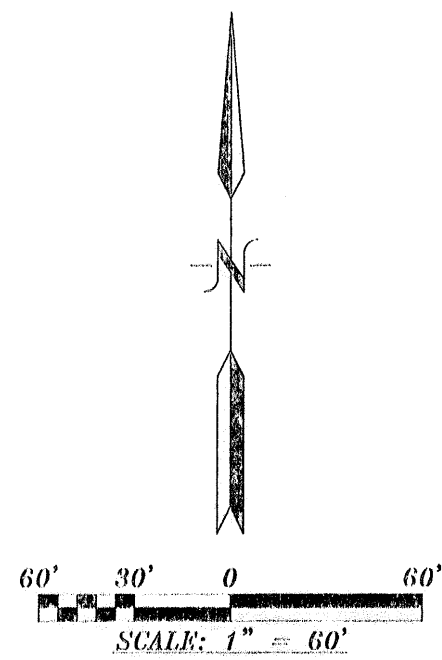
TRACT 226
TOWN OF ATRISCO GRANT
FILED: DECEMBER 5, 1944
VOLUME D, FOLIO 118

TRACT 224
TOWN OF ATRISCO GRANT
FILED: DECEMBER 5, 1944
VOLUME D, FOLIO 118

GLENRIO ROAD N.W.
60' R/W

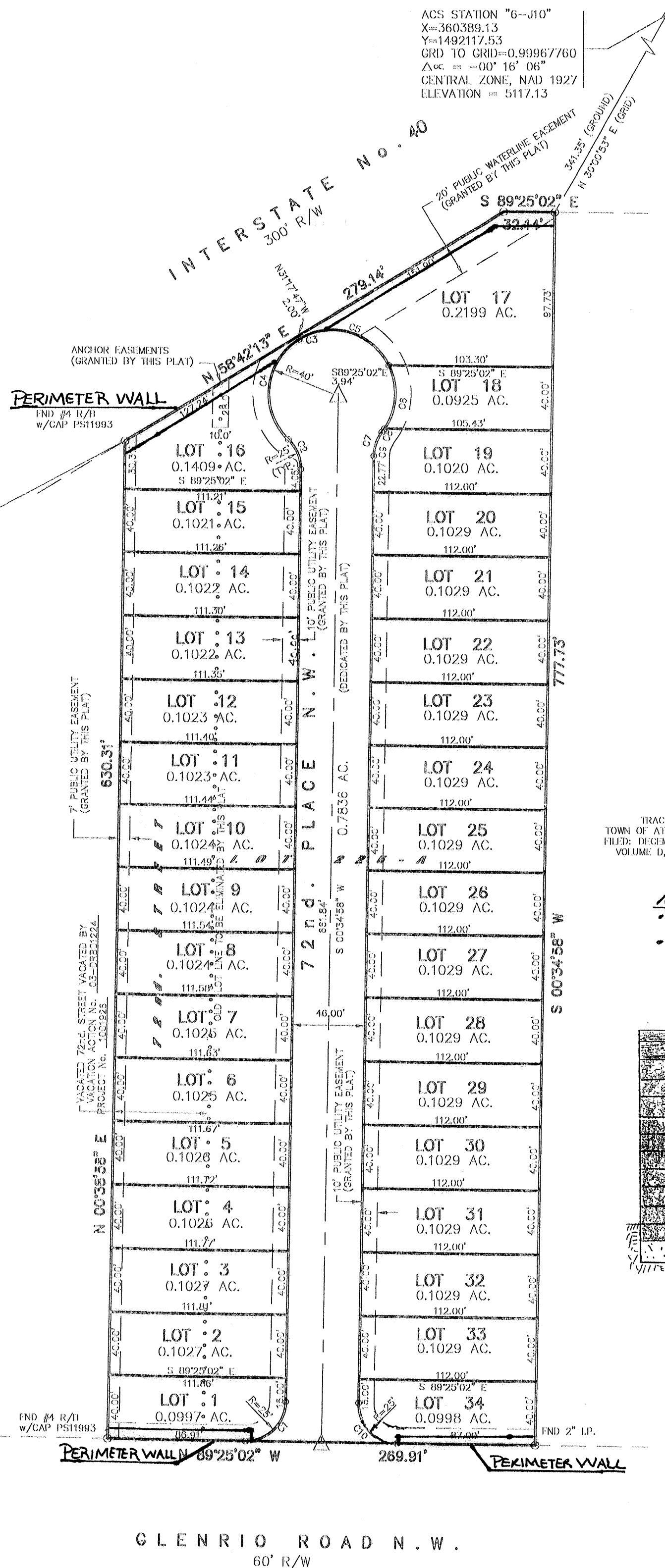


Zone Atlas Page J-10
 LOCATED ON 72ND PLACE NW
 BETWEEN GLENRIO ROAD NW & INTERSTATE 40



ACS STATION "I-40-21A"
 X=354,594.87
 Y=1,488,789.30
 GRID TO GRID=0.9996747
 Δα = -00° 16' 46"
 CENTRAL ZONE, NAD 1927

TRACT 226
 TOWN OF ATRISCO GRANT
 FILED: DECEMBER 5, 1944
 VOLUME D, FOLIO 118

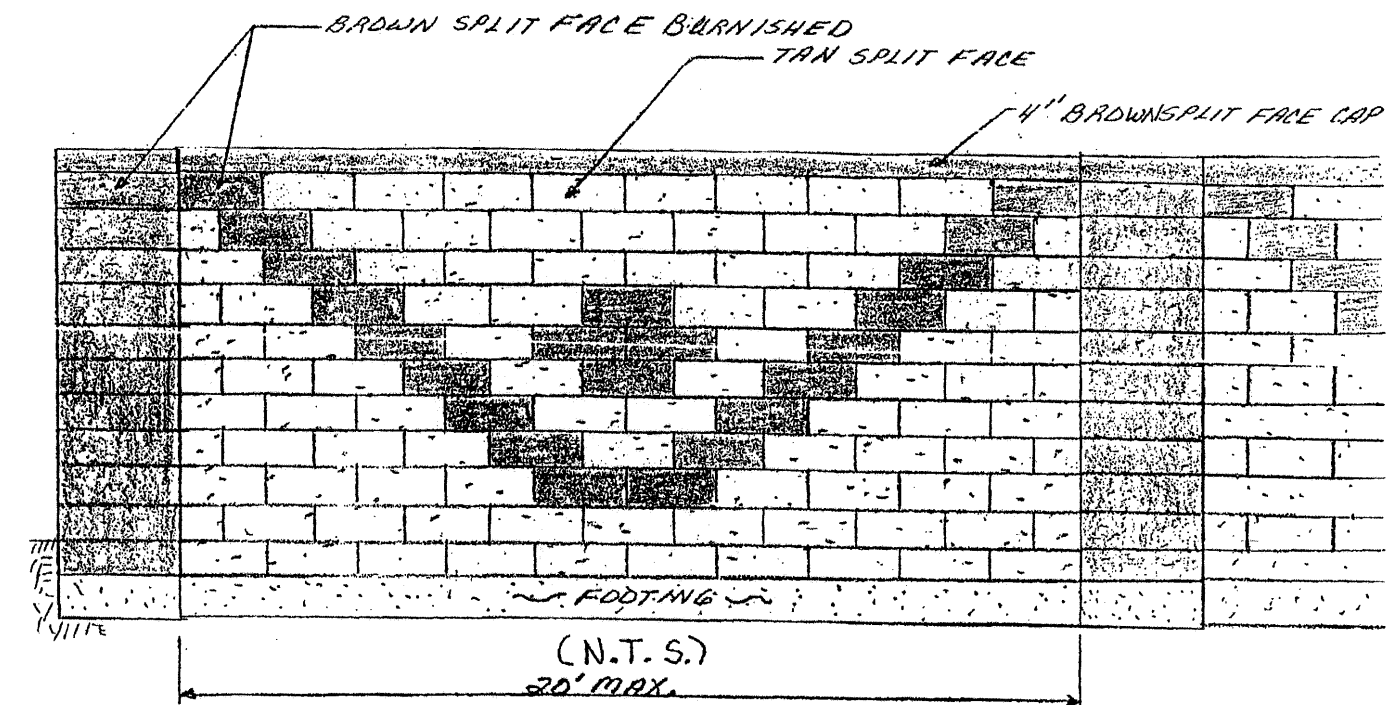


FINAL PLAT MUSTANG MESA SUBDIVISION

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2004
 SHEET 2 of 2

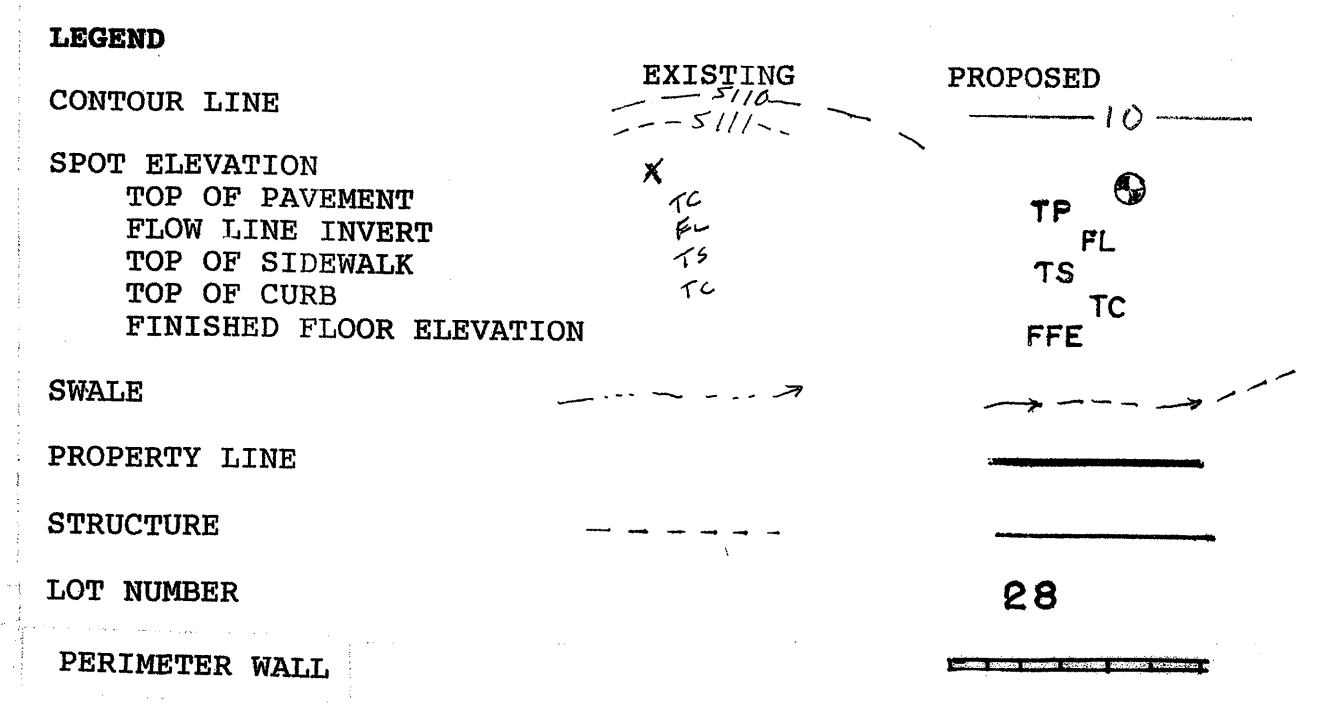
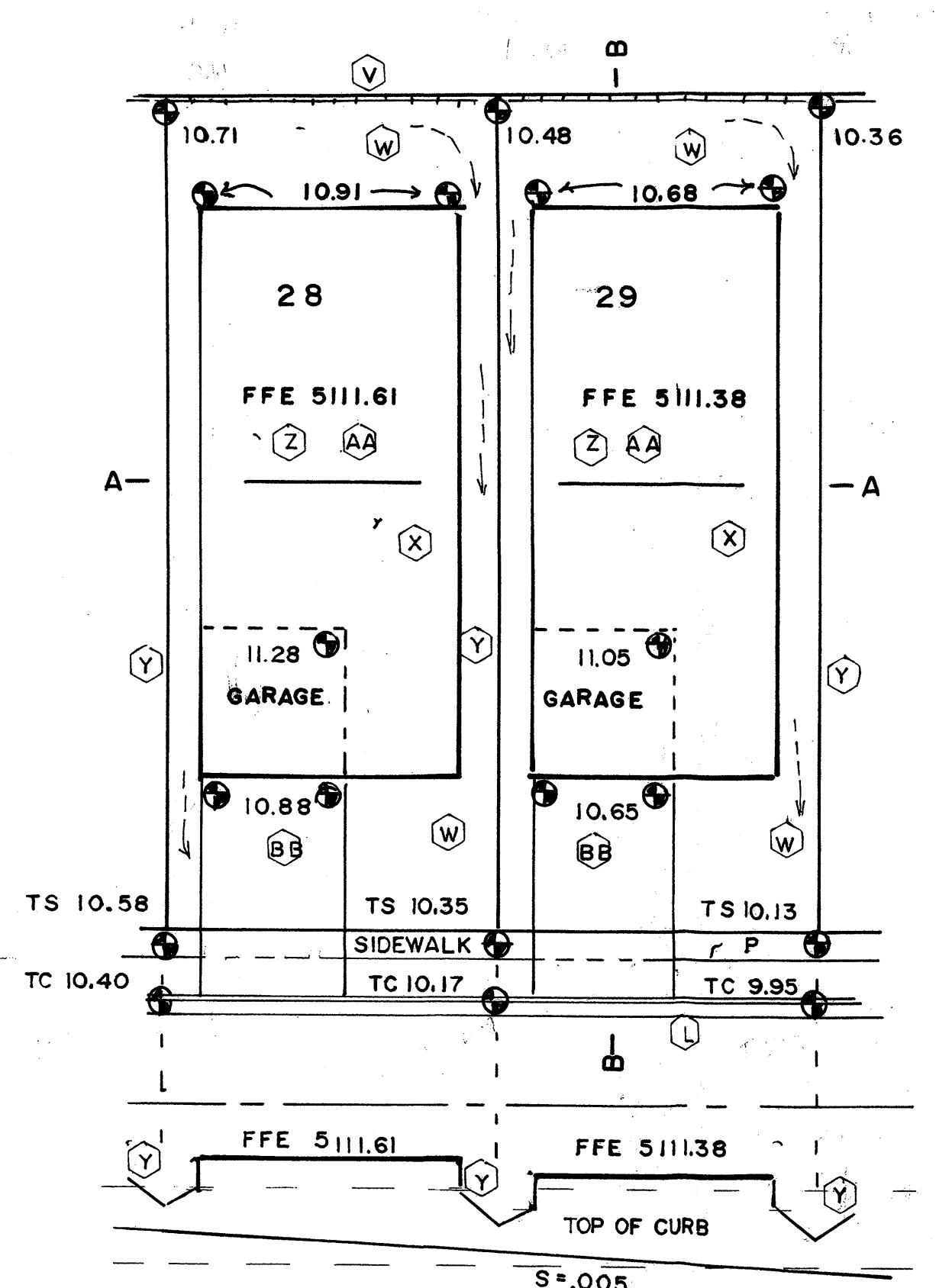
CURVE	RADIUS	DELTA	ARC	BEARING	CHORD
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C2	25.00	47°19'44"	20.65	N 23°04'54" W	20.07
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C9	25.00	16°40'47"	7.34	S 00°59'21" W	7.31
C10	25.00	90°00'00"	39.27	S 44°25'02" E	35.36

NOTES
 • MUST BE A MINIMUM OF 20% VARIETY OF MATERIALS, TEXTURE OR COLOR ON WALL FACADE SURFACE.
 • DRAWING IS SCHEMATIC ONLY. MAX. HEIGHT OF WALL = 6'-0".



GLENRIO ROAD N.W.
 60' R/W

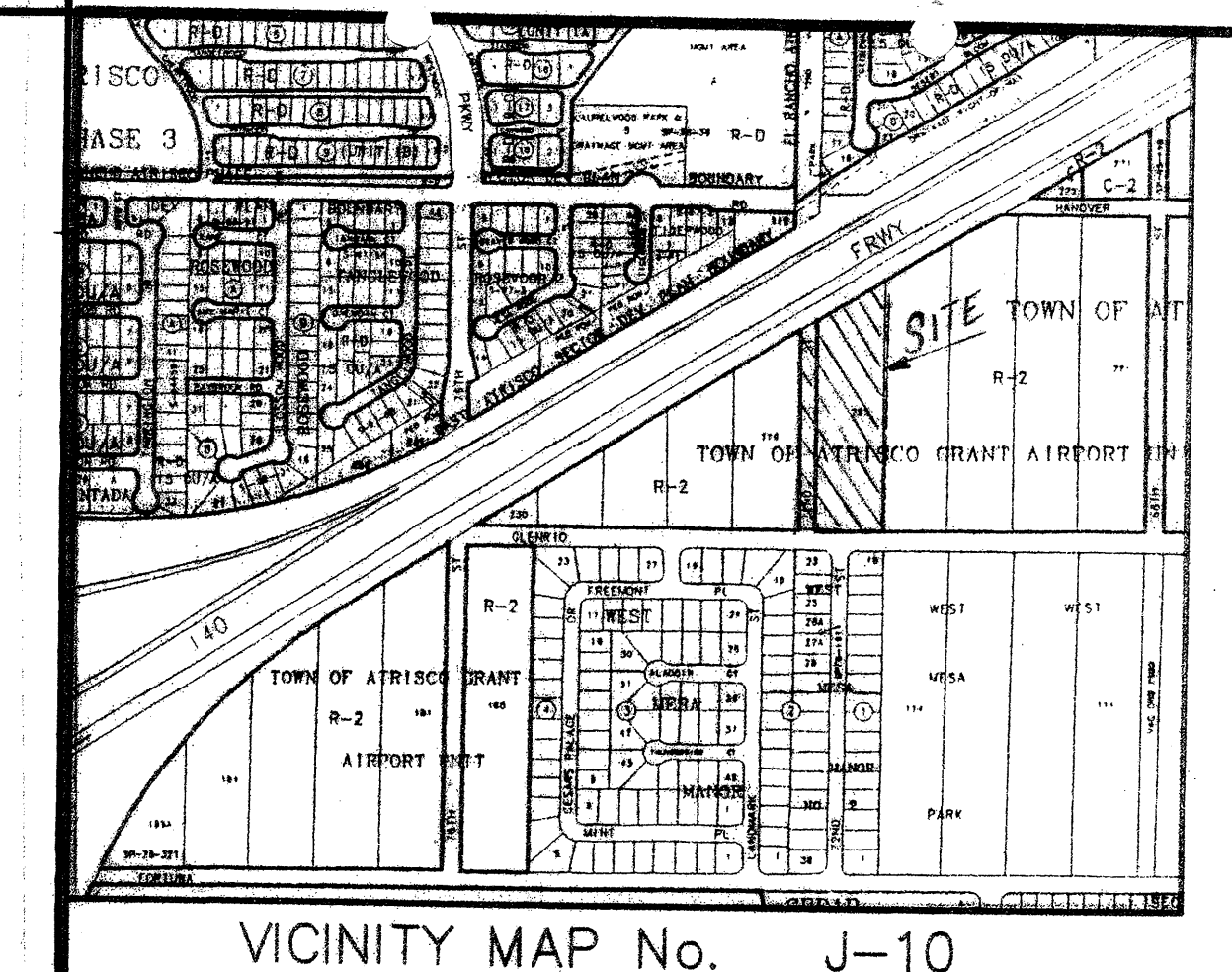
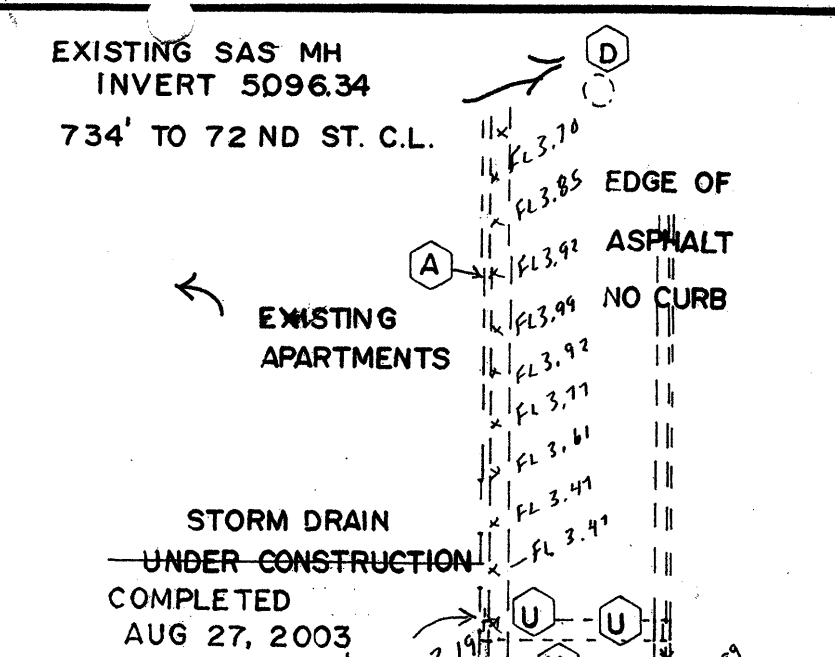
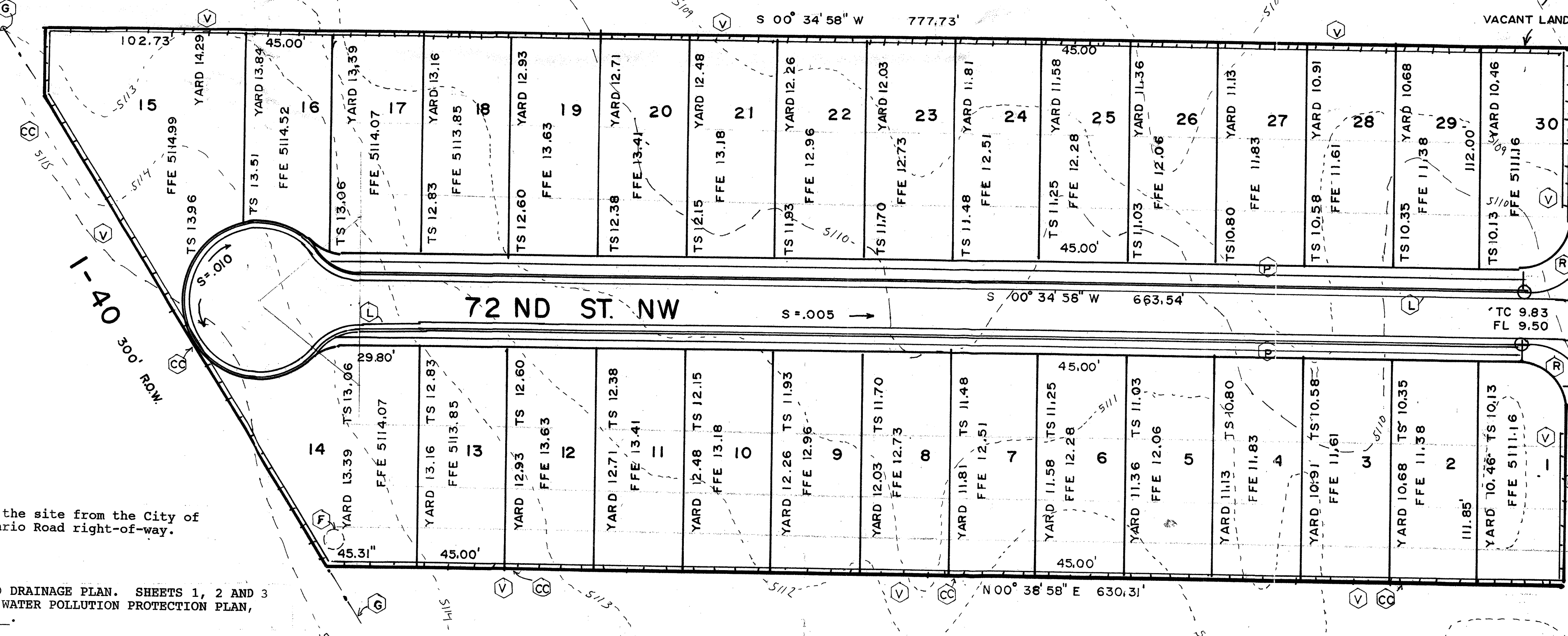
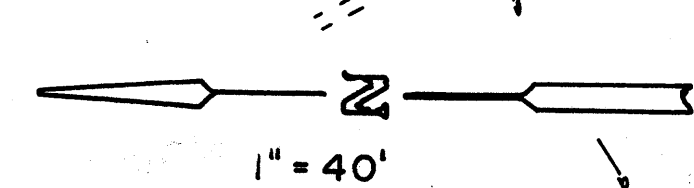
CS-0752.DWG (APR-03)



CC. DRAINAGE HOLES MUST BE PROVIDED ALONG THE WEST PROPERTY LINE WALL TO ACCEPT RUNOFF FROM THE ADJACENT UNDEVELOPED PROPERTY. HOLES MAY BE FORMED BY A CMU BLOCK TURNED ON ITS SIDE, AND PLACED AT THE EXISTING SURFACE LEVEL OF THE UNDEVELOPED PROPERTY. DRAINAGE HOLES SHALL BE PLACED AT 90 FEET INTERVALS, CLOSE TO THE MUSTANG MESA SUBDIVISION LOT LINE SWALES. SUBSURFACE PIPING MAY BE REQUIRED IF THE EXISTING ADJACENT SURFACE IS LOWER THAN THE MUSTANG MESA LOT LINE SWALE. THE SUBSURFACE PIPING SHALL BE DIRECTED TO A LOWER ELEVATION SWALE. THESE DRAIN HOLES ARE TO BE TEMPORARY UNTIL SUCH TIME THAT CONSTRUCTION IS COMPLETED ON THE ADJACENT PROPERTY.

SECTION A-A
TYPICAL LOT GRADING
H:1"=20'
V:1"=2'

SECTION B-B
SWPPP SILT FENCE



- NOTES
- A. EXISTING STANDARD CURB AND GUTTER.
 - B. EXISTING HC RAMPS.
 - C. EXISTING ASPHALT SURFACE.
 - D. EXISTING SANITARY SEWER MANHOLE.
 - E. EXISTING TEMPORARY ASPHALT STREET SURFACE.
 - F. EXISTING UNDERGROUND UTILITIES MANHOLE.
 - G. EXISTING RIGHT-OF-WAY FENCE ALONG INTERSTATE-40.
 - H. EXISTING CULVERT UNDER INTERSTATE-40.
 - J. EXISTING UNLINED DITCH.
 - K. EXISTING DRAINAGE DIP IN PAVEMENT.
 - L. NEW MOUNTABLE ESTATE CURB (ROLL OVER CURB).
 - M. NEW STANDARD CURB AND GUTTER.
 - N. NEW PERMANENT RESIDENTIAL ASPHALT.
 - P. NEW 4' WIDE PCC SIDEWALK.
 - R. NEW HC RAMPS.
 - S. NEW TEMPORARY ASPHALT SURFACE.
 - T. NEW TEMPORARY ASPHALT CURB.
 - U. STORM DRAIN INLET UNDER CONSTRUCTION.

Public water service is available to the site from the City of Albuquerque utilities within the Glenrio Road right-of-way.

SHEETS 1, 2 AND 3 ARE THE GRADING AND DRAINAGE PLAN. SHEETS 1, 2 AND 3 ARE ALSO INCORPORATED INTO THE STORM WATER POLLUTION PROTECTION PLAN, WHICH IS STATED IN SHEETS THROUGH.

LEGAL DESCRIPTION
TRACT 225-A, TOWN OF ATRISCO GRANT, PROJECTED SECTION 15, T. 10 N., R. 2 E., NMPW, BERNALILLO COUNTY, NEW MEXICO.

I certify that I have personally inspected the site and that the topography as shown is a true depiction of the site as of July 2003. There has been no surface earthwork on the site.

Marvin R Kortum
NMPE 6519
July 14 2003

Topography by Marvin R Kortum, June, 2003.

BENCHMARK: City of Albuquerque station 6-110, located in the median of Interstate-40, between the east bound and west bound lanes, 341 feet North 30 degrees East of the northeast corner of Tract 225-A. Elevation: 5117.133

V. PROPERTY LINE PRIVACY WALL. WALL WILL BE A RETAINING WALL IF THE DIFFERENCE IN ELEVATION BETWEEN THE TWO SURFACES IS GREATER THAN 18". A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT IS REQUIRED FOR THE WALL DESIGN AND CONSTRUCTION.

W. PROPOSED LANDSCAPED AREA. AREA MAY BE DEPRESSED TO HOLD RUNOFF (WATER HARVEST), WITH DRAINAGE PROVIDED TOWARD THE STREET FOR ANY OVERFLOW.

X. ROOF MAY DRAIN TO ANY SIDE OR FRONT OF HOUSE. IF ROOF DRAINS TO THE SIDE OF THE HOUSE THERE MUST BE CONSTRUCTED A WALL OR CURB ON THE PROPERTY LINE TO PREVENT RUNOFF TO THE ADJACENT LOT.

Y. THE LOT LINE BETWEEN PROPERTIES IS A COMMON DRAINAGE SWALE. A WOOD FENCE, BLOCK WALL OR OTHER PRIVACY BARRIER MAY BE CONSTRUCTED ON THIS PROPERTY LINE, WITH PROVISION FOR INDIVIDUAL LOT DRAINAGE ON EACH SIDE OF THE PROPERTY LINE.

Z. FINISHED FLOOR ELEVATIONS (FFE) SHOWN ON THE DRAWING ARE THE TOP SURFACE OF THE SLAB, CONSIDERING SLAB ON GRADE CONSTRUCTION. THE FINISHED EARTHWORK ELEVATION SHOULD BE BASED ON THE THICKNESS OF THE SLAB TO BE USED (EARTH PAD ELEVATION IS FFE LESS THE SLAB AND UNDER SLAB MATERIAL THICKNESS). ALTERNATIVE CONSTRUCTION METHODS MAY DICTATE DIFFERENT EARTH GRADING.

AA. LOCATION OF STRUCTURES AND DRIVEWAYS AS SHOWN ARE GENERAL. DETAIL BUILDING PLANS MAY REQUIRE ADJUSTMENT OF THE GRADING PLAN IF THE ACTUAL BUILDINGS ARE LARGER THAN SKETCH SHOWN ON THIS GRADING PLAN.

BB. DRIVEWAYS ARE TO BE AN IMPERVIOUS SURFACE. RUNOFF ESTIMATES ARE BASED ON IMPERVIOUS SURFACE.

ADD NOTES ON PL WALL	M.R.K. SEP 2003
PRELIMINARY	M.R.K. JULY 14 2003
APPROVALS, REVISIONS	BY DATE
SEP 8, 2003 M.R.K.	MARVIN R. KORTUM, P.E. Civil Engineering NM PE 6519 1605 Speakman Drive, S.E. Albuquerque, New Mexico 87123 (505) 299-0774
GRADING AND DRAINAGE PLAN STORM WATER POLLUTION PREVENTION PLAN (SWPPP) RESIDENTIAL SUBDIVISION TRACT 225-A, TOWN OF ATRISCO GRANT 72 ND STREET & GLENRIO ROAD	
GRADING PLAN	
PROJECT NO. J10/D	MAP NO. SHEET OF J-10 1 3

PURPOSE:

The purpose of this grading and drainage plan is to obtain approval for subdivision of Tract 225-A, a 4.4 acre tract, into 30 lots for construction of residential houses on these lots.

DISCUSSION:

A. The site is located on a slight slope on the alluvial fan of the west mesa. The site is about one mile west of the level Rio Grande floodplain, and about three miles east of the top of the west mesa escarpment.

B. The area is presently vacant and unimproved. History of past development on the site is unknown, but it appears to have been used for grazing in the past, with no surface disturbance other than minor vehicle trails and several minor trash deposits which date back to 50 years, as shown by the rusted beverage cans. Immediately adjacent to the site on the west is the foundation remnant of a house built several decades ago. There is no evidence of a well, septic tank or drainage field, but subsurface investigations are recommended if surface grading reveals any soil anomalies.

C. The site is bordered on the south by the paved street, Glenrio Road, on the north by the Interstate-40 right-of-way, and on the west and east by vacant property.

D. Glenrio Road presently has the west half of the street paved, with a standard curb and gutter. The west side of Glenrio Road is paved with permanent pavement, with temporary asphalt along the east portion of the street. Runoff on Glenrio Road is from west to east. Presently there is a subsurface storm drain being constructed within Glenrio Road, with an inlet planned about 350 feet east of the east property line on the Tract 225-A. Runoff along Glenrio Road directed to the new inlet will be collected from less than 20 acres of presently vacant land which is north of Glenrio Road, runoff from the north margin of the existing subdivision along the south side of Glenrio Road, minor runoff from the south side of Interstate-40 which borders the area on the north, and runoff which is collected from I-40 and from north of I-40 which flows through the culvert under I-40. There also some flow from the school yard on the south side of Glenrio Road. The new subsurface storm drain within Glenrio Road directs the flow to the Rio Grande by an established drain system.

SOILS:

Soils within the area are identified by reference C as Madurez-Wink association, gently sloping. This mapping is about 55 percent a Madurez fine loamy sand and 25 percent a Wink fine sandy loam. The Madurez series consists of deep, well drained soils that formed on Piedmonts in old unconsolidated alluvium modified by wind. Permeability is moderate, and the hazard of soil blowing is moderate to severe. The soils are suited for residential building and associated infrastructure. The soils have a moderate shrink swell potential, and high risk of corrosion to uncoated steel. Imported material may be required for street and driveway subgrade to provide required bearing strength. Soils may be susceptible to consolidation, particularly when wetted, so care must be taken to direct runoff and landscape watering away from building foundations. Existing vegetation on the lots consist of native grasses, annual plants, cactus and woody shrubs.

DRAINAGE CONSIDERATIONS:

A. The site is not located within the limits of the 100-year flood, see Flood Insurance Rate Map, panels 326 and 327 of 825, effective date, September 20, 1996.

B. There are no apparent flow channels crossing the site. There is minor sheet flow entering the site from the vacant property to the west, and from the berm on the south side of the I-40 right-of-way. This sheet flow can be accepted in the developed subdivision by having drainage holes in the property line privacy wall, and then permitting the flow to enter the street and drainage system within the subdivision.

C. There is no hazard to the site from catastrophic flooding because the site is located well above the Rio Grande floodplain, and is not in the path of any major drainage channels. Flow from the north is prevented by the berms on which the east and west lanes of I-40 are situated. Any flow over the north (west bound lane) would be intercepted by the median between the two berms, and channeled to the east, entering the subsurface drainage system under I-40, which has an outlet east of the Tract 225-A, then through the drainage channel which is at a lower elevation than the Tract 225-A subdivision.

D. Presently all runoff generated by precipitation on the site is mostly absorbed on the site within the sandy surface and slight depressions on the otherwise level surface, with any runoff flowing the east, entering the drainage channel from the I-40 culverts.

E. The grading scheme proposed is to direct all flows to enter the street within the subdivision, the flows then flowing on the surface of the street to the Glenrio Road right-of-way. On Glenrio Road, the flows will then flow to the east on the surface, entering the new storm drain inlet about 350 feet east of the east property line of the Tract 225-A subdivision. It will be necessary to construct a standard curb and gutter with a permanent street section on the south half of Glenrio Road along the Glenrio Road frontage of the Tract 225-A subdivision, and to place a temporary asphalt surface with a temporary asphalt curb on the north half of Glenrio Road for about 350 on the frontage of the vacant property east of the Tract 225-A subdivision. This drainage scheme does not prevent individual home owners from installing individual water harvesting systems, such as rain barrels. Landscaped areas should be in slight depressions to retain runoff and irrigation water. Runoff from impervious areas could be directed to the landscape.

F. Runoff from the site is estimated as shown on Table A.

CONCLUSIONS:

A. The proposed construction is not within a designated 100 year floodplain.

B. Construction as proposed will not increase the hazard from flooding to downstream facilities.

C. The proposed grading and construction will protect the property from any off-site or on-site runoff.

REFERENCES:

A. Standard Specifications for Public Works Construction, City of Albuquerque.

B. Section 22.2, Hydrology, of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque...Bernalillo County...AMAFCA, December 1999.

C. Soil Survey of Bernalillo County and Parts of Sandoval and Valencia Counties, New Mexico, USDA-SCS.

D. Flood Insurance Rate Map, City of Albuquerque, Bernalillo County, Federal Emergency Management Agency, Panels 326 and 327 of 825, effective date: September 20, 1996.

E. City of Albuquerque topographic map J-10, date of photography March, 1980.

JULY 14, 2003
RUNOFF FOR TRACT 223-A, TOWN OF ATRISCO GRANT SUBDIVISION ON 72ND STREET

TABLE A
RUNOFF ESTIMATE FOR TRACT OF 4.4101 ACRE

LAND USE	RUNOFF FACTORS		CURRENT USE				PROPOSED USE			
	PEAK	TOTAL	AREA PERCENT	PEAK	TOTAL	AREA PERCENT	PEAK	TOTAL		
				CF	CF		CF	CF		
1 A	1.29	0.44	192105.00	1.000	5.7	7043.8	0.00	0.000	0.0	0.0
2 B	2.03	0.67	0.00	0.000	0.0	0.0	50000.00	0.260	2.3	2791.7
3 C	2.87	0.99	0.00	0.000	0.0	0.0	10000.00	0.052	0.7	825.0
4 D	4.37	1.97	0.00	0.000	0.0	0.0	132105.00	0.688	13.3	21687.2
TOTALS			192105.00	1.000	5.7	7043.8	192105.00	1.000	16.2	25303.9
			4.4101 ACRE				4.4101 ACRE			

TABLE B
RUNOFF ESTIMATE FOR TRACT OF 25.2525 ACRES.

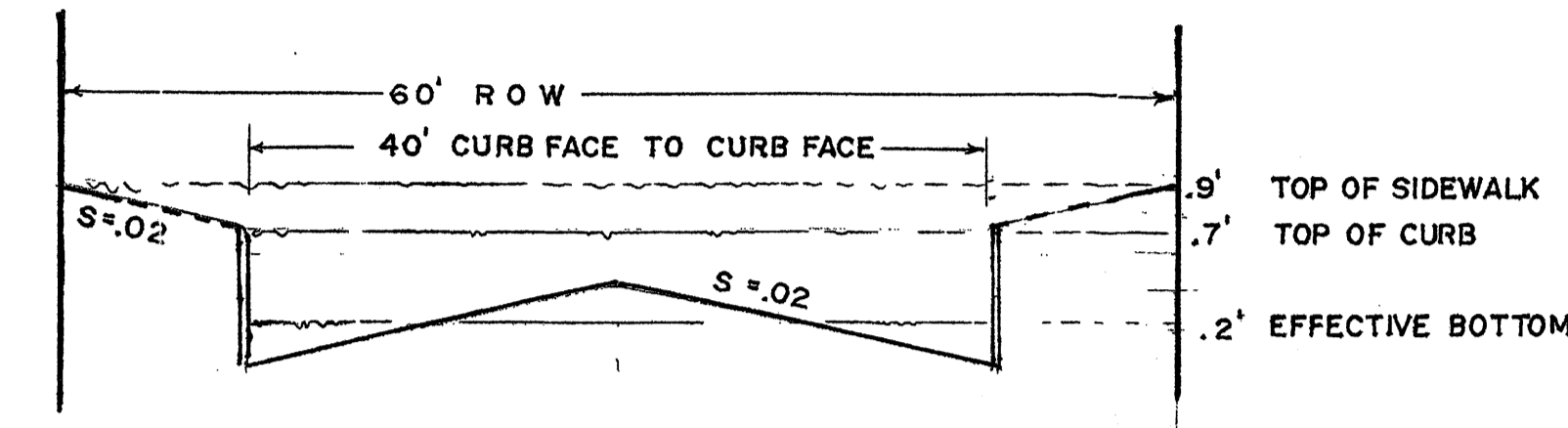
LAND USE	RUNOFF FACTORS		CURRENT USE				PROPOSED USE			
	PEAK	TOTAL	AREA PERCENT	PEAK	TOTAL	AREA PERCENT	PEAK	TOTAL		
				CF	CF		CF	CF		
1 A	1.29	0.44	1100000.00	1.000	32.6	40333.3	0.00	0.000	0.0	0.0
2 B	2.03	0.67	0.00	0.000	0.0	0.0	300000.00	0.273	14.0	16750.0
3 C	2.87	0.99	0.00	0.000	0.0	0.0	500000.00	0.045	3.3	4125.0
4 D	4.37	1.97	0.00	0.000	0.0	0.0	750000.00	0.682	75.2	123125.0
TOTALS			1100000.00	1.000	32.6	40333.3	1100000.00	1.000	92.5	144000.0
			25.2525 ACRE				25.2525 ACRE			

NOTES:

- Runoff factors from Section 22.2, DPM, January, 1993
- Land use descriptions: A. Uncompacted soil
B. Landscaped
C. Compacted soil
D. Impervious areas
- Peak runoff = Area (acres) X factor (CFS/acre) = CFS
- Total runoff = Area (SF) X factor (inches) / 12 (inches / foot) = CF
- Peak and total runoff is based on 6 hour, 100 year frequency storm

FLOW CAPACITY OF GLENRIO ROAD, NW FROM THE LOCATION OF THE NEW DRAIN INLET TO THE WEST END OF THE ROAD:

The area that will drain into the new inlet on Glenrio Road is that triangular area presently vacant north of Glenrio Road, an area of about 25 acres (2000' x 1100' x 1/2 = 110,000 SF = 25 acres). The peak runoff for the 100 year-6 hour storm from this area is about 92.5 CFS (see Table B), considering development to the density of the houses on Tract 225-A. Using a channel formula for the street section, the street capacity is about 50 CFS at the top or the standard 8" curb, and 87.4 CFS at the height of the sidewalk. 5/8" higher the capacity is 97.9 CFS. Because the channel is wider from the top of the curb to the top of the sidewalk, the street capacity is considered adequate. In the event that a much higher density development is placed on the vacant land east of Tract 225-A, an extension of the storm drain main to the west, with additional inlets, may be necessary.



GLENRIO ROAD STREET CROSS SECTION

TRACT 225-A, TOWN OF ATRISCO GRANT

JULY 14, 2003
FLOW CAPACITIES OF GLENRIO ROAD STREET SECTION
Q=Area x Velocity; Velocity=1.486/n x (Rh)^{2/3} x (s)^{-1/3}

Manning's n	Ditch Slope (A)	Side slope (B)	Side slope (R)	Bottom width (ft)	Depth (ft)	Top Width (ft)	Area (SF)	Wetted Perimeter (ft)	Hydraulic Radius (ft)	Velocity (FPS)	Capacity (CFS)	Froude # (C)	Sequent depth Rectangular (D) Ft	Sloped (E) Ft	Trapezoidal (F) Ft
0.011	0.900	0.000	0.000	40.0	0.500	40.0	20.0	41.000	0.488	2.511	50.226	0.63	0.26	0.31	0.23
0.011	0.900	0.000	0.000	40.0	0.700	40.0	28.0	41.400	0.676	3.123	87.432	0.66	0.39	0.47	0.34
0.011	0.900	0.000	0.000	40.0	0.750	40.0	30.0	41.500	0.723	3.264	97.929	0.66	0.42	0.51	0.37
0.011	0.900	0.000	0.000	40.0	0.800	40.0	32.0	41.600	0.769	3.402	108.876	0.67	0.46	0.55	0.40
REQUIRED Q											92.5 CFS				

- Ft(vertical)/1000 Ft(horizontal)
- Ft(horizontal)/1 Ft(vertical)
- Froude No. (Fn)=velocity/(g x area/top width)^{0.5}
- Sequent depth for rectangular level channel, y2=(y1/2)x(((1+8 x Fn²)^{0.5} - 1)
- Sequent depth for sloping rectangular channel y2=((y1/2)/cos slope angle) x (((1+8(((10'/(0.027 x slope angle))² x Fn²)^{0.5} - 1)
- Correction factor for trapezoidal channel, figure 3.4
- Reference: Richard H French, open channel Hydraulics, 1985

NO CHANGE	MRK SEP 8, 2003
PRELIMINARY	MRK JULY 14 2003
APPROVALS/REVISIONS	BY DATE
	MARVIN R. KORTUM, P.E. Civil Engineering NM PE 6519 1605 Speakman Drive, S.E. Albuquerque, New Mexico 87123 (505) 299-0774
GRADING AND DRAINAGE PLAN STORM WATER POLLUTION PREVENTION PLAN (SWPPP) RESIDENTIAL SUBDIVISION TRACT 225-A, TOWN OF ATRISCO GRANT 72ND STREET & GLENRIO ROAD	
DRAINAGE PLAN	
PROJECT NO. J10/D	MAP NO. SHEET OF J-10 2 3

Quantities shown on the estimate tables are to the significant figures as shown for the purpose of tracking numbers from one calculation to the next. Actual accuracy of the numbers is about equal to the first significant figure, ie. 5693.5 CF would be some quantity between 5200 CF and 6200 CF.

NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP


BERNALILLO COUNTY,
NEW MEXICO AND
INCORPORATED AREAS

PANEL 326 OF 825
(SEE MAP INDEX FOR PANELS NOT PRINTED)

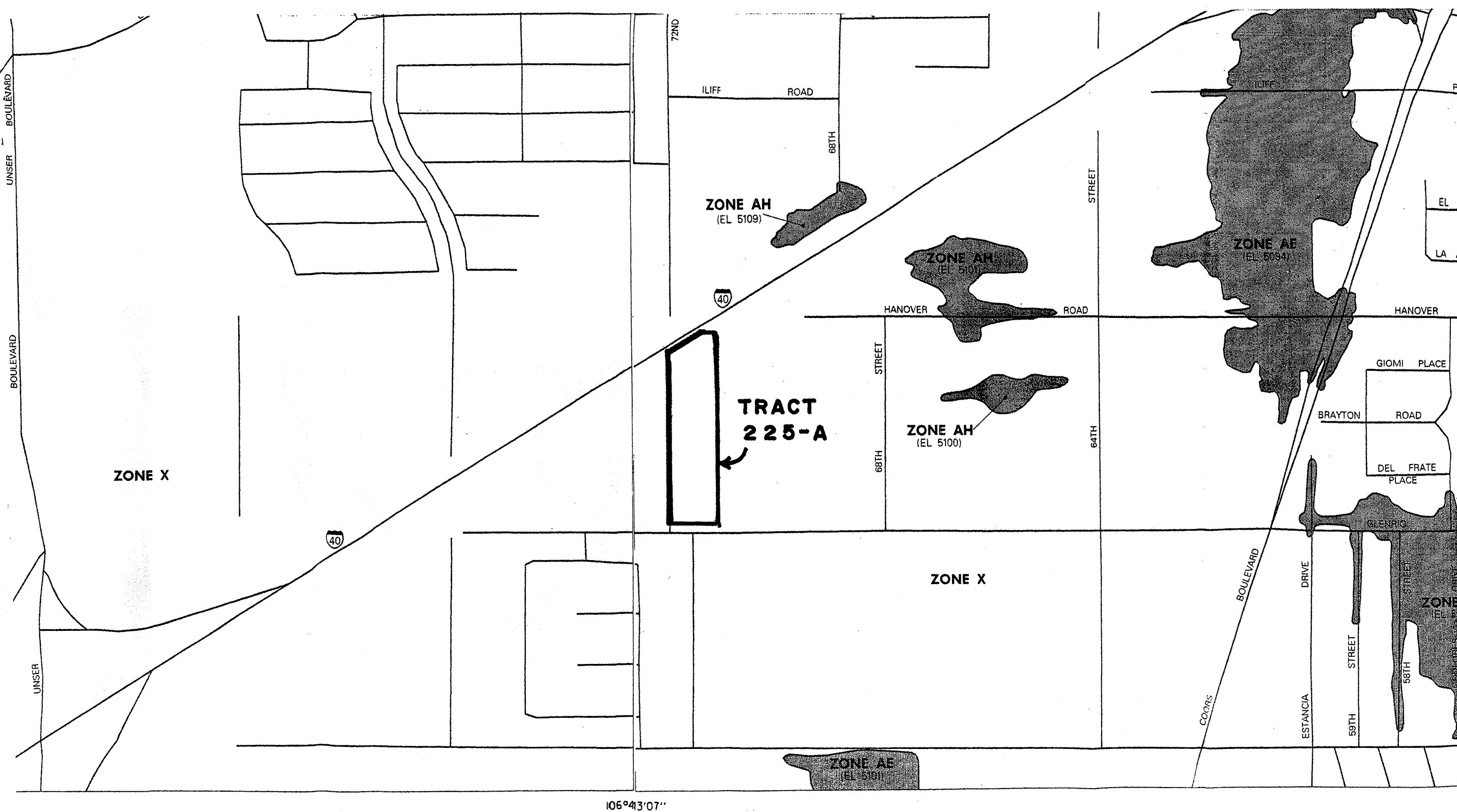
CONTAINS: COMMUNITY	NUMBER	PANEL	SUFFIX
ALBUQUERQUE CITY OF BERNALILLO COUNTY	350002	0326	D
UNINCORPORATED AREAS	350001	0326	D

MAP NUMBER
35001C0326 D

EFFECTIVE DATE:
SEPTEMBER 20, 1996



Federal Emergency Management Agency



NATIONAL FLOOD INSURANCE PROGRAM

FIRM
FLOOD INSURANCE RATE MAP


BERNALILLO COUNTY,
NEW MEXICO AND
INCORPORATED AREAS

PANEL 327 OF 825
(SEE MAP INDEX FOR PANELS NOT PRINTED)

CONTAINS: COMMUNITY	NUMBER	PANEL	SUFFIX
ALBUQUERQUE CITY OF BERNALILLO COUNTY	350002	0327	D
UNINCORPORATED AREAS	350001	0327	D

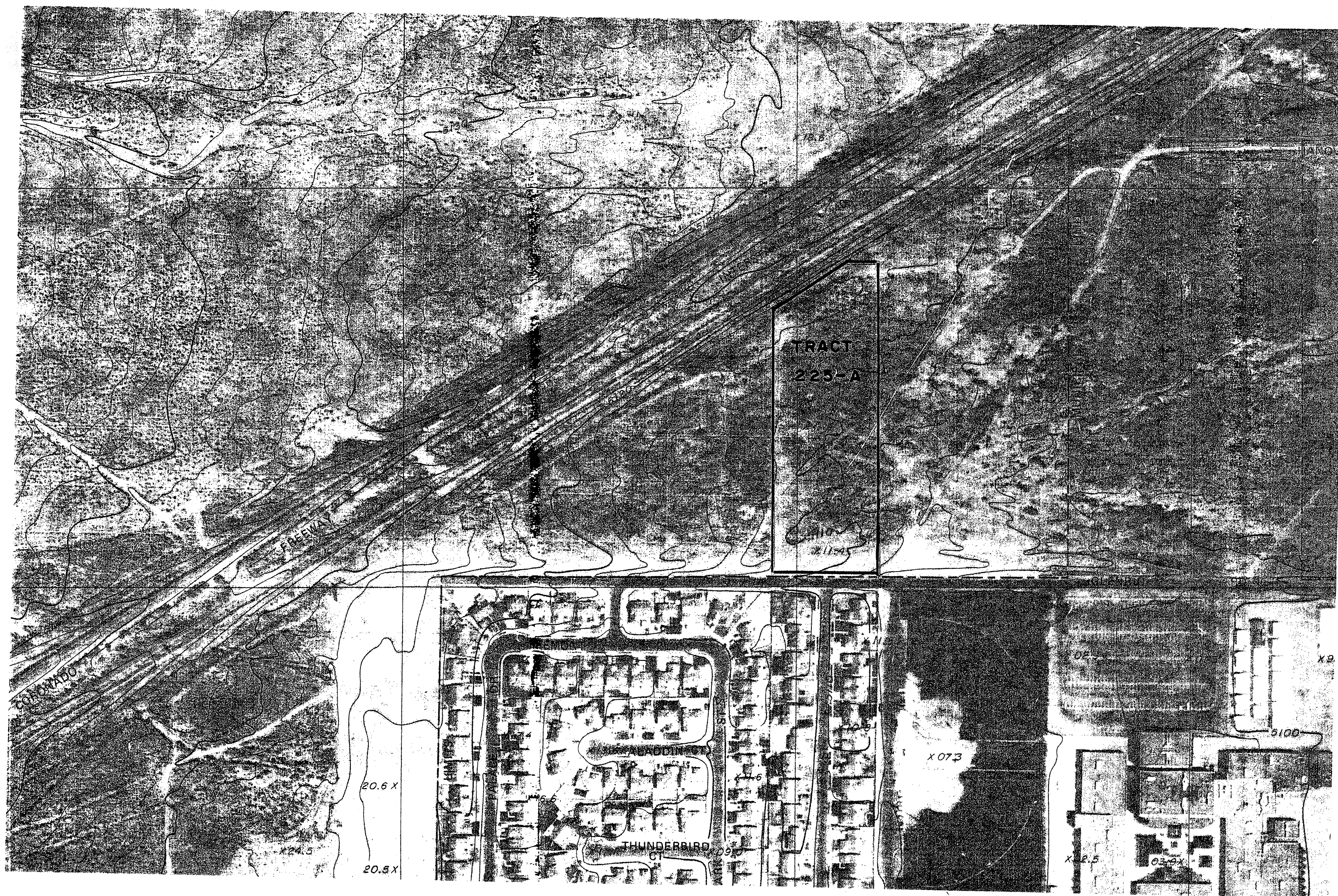
MAP NUMBER
35001C0327 D

EFFECTIVE DATE:
SEPTEMBER 20, 1996



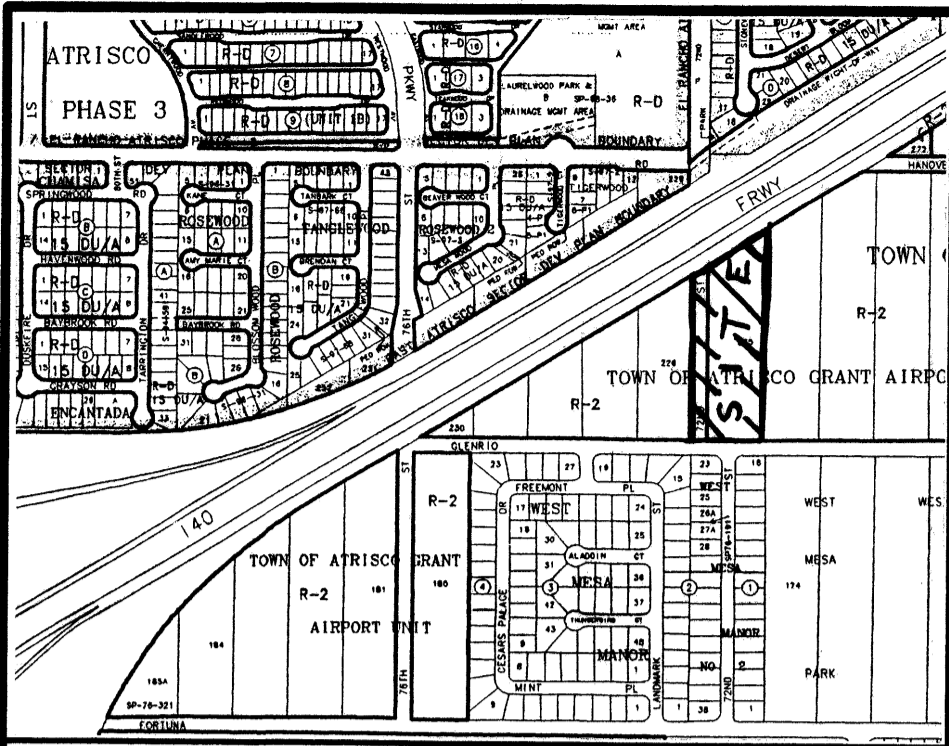
Federal Emergency Management Agency

Copied from Floodway Maps, City of Albuquerque, Bernalillo County,
Federal Emergency Management Agency, Panels 326 & 327 of 825, effective
date: September 20, 1996. Scale: 1"=500'

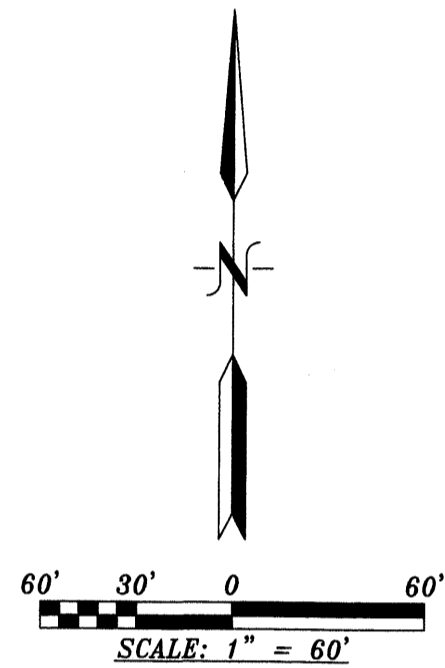


Copied from the City of Albuquerque topographic map, J-10, date of
photography March, 1980. Scale: 1"=200'

NO CHANGE	MRK	SEP 8, 2003
PRELIMINARY	M.R.K.	JULY 14 2003
APPROVALS, REVISIONS	BY	DATE
	MARVIN R. KORTUM	SEP 8, 2003
	Civil Engineering	
	NM PE 6519	
	1605 Speakman Drive, S.E.	
	Albuquerque, New Mexico 87123	
	(505) 299-0774	
GRADING AND DRAINAGE PLAN STORM WATER POLLUTION PREVENTION PLAN (SWPPP) RESIDENTIAL SUBDIVISION TRACT 225-A, TOWN OF ATRISCO GRANT 72 ND STREET & GLENRIO ROAD		
MAPS		
PROJECT NO.	MAP NO.	SHEET OF
J 10 / D	J-10	3 3



VICINITY MAP No. J-10



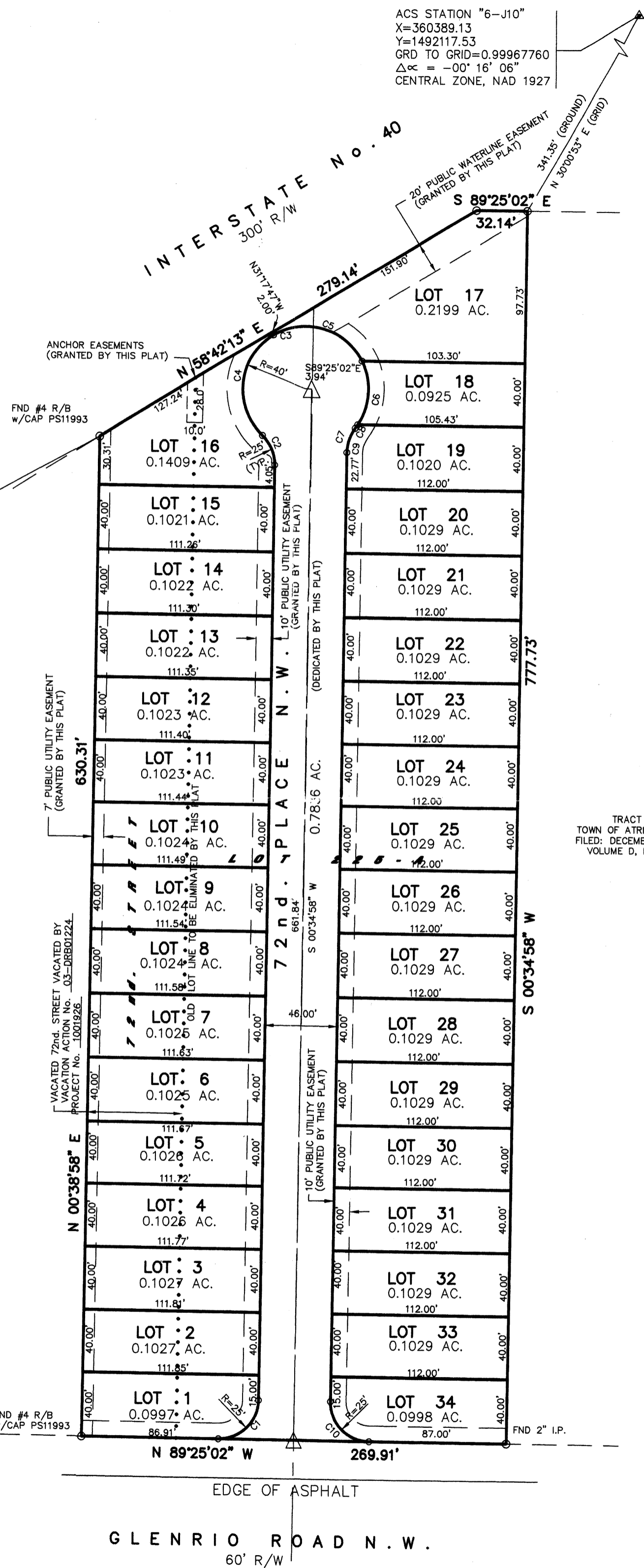
ACS STATION "I-40-21A"
 X=354,594.87
 Y=1,488,789.30
 GRD TO GRID=0.9996747
 Δα = -00° 16' 46"
 CENTRAL ZONE, NAD 1927

ACS STATION "6-J10"
 X=360389.13
 Y=1492117.53
 GRD TO GRID=0.99967760
 Δα = -00° 16' 06"
 CENTRAL ZONE, NAD 1927

Amended PRELIMINARY PLAT OF MUSTANG MESA SUBDIVISION

WITHIN THE TOWN OF ATRISCO GRANT
 PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2004

Amended
PRELIMINARY PLAT APPROVED BY DRB ON 2/24/04



CURVE	RADIUS	DELTA	ARC	BEARING	CHORD
C1	25.00	90°00'00"	39.27	N 45°34'58" E	35.36
C2	25.00	47°19'44"	20.65	N 23°04'54" W	20.07
C3	40.00	264°16'53"	184.50	N 85°23'40" E	59.32
C4	40.00	105°26'59"	73.62	N 05°58'43" E	63.66
C5	40.00	94°53'04"	56.24	S 73°51'15" E	58.93
C6	40.00	60°05'38"	41.95	S 03°38'06" W	40.06
C7	25.00	36°57'09"	16.12	S 19°03'32" W	15.85
C8	40.00	03°51'11"	2.69	S 35°36'31" W	2.69
C9	25.00	16°48'47"	7.34	S 08°59'21" W	7.31
C10	25.00	90°00'00"	39.27	S 44°25'02" E	35.36

LEGAL DESCRIPTION

TRACT NUMBERED TWO HUNDRED TWENTY-FIVE (225) OF THE PLAT SHOWING A PORTION OF TRACTS ALLOTTED FROM TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 5, 1944 IN VOLUME D, FOLIO 118, TOGETHER WITH VACATED 72nd STREET (VACATED BY VACATION ACTION No. 1000694, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT WHENCE CITY OF ALBUQUERQUE CONTROL STATION "6-J10" HAVING NEW MEXICO STATE PLANE COORDINATES OF (CENTRAL ZONE, NAD, 1927) x=360,389.13 AND y=1,492,117.53 BEARS N. 30 deg. 00' 53" E., A DISTANCE OF 341.35 FEET, RUNNING THENCE S. 00 deg. 34' 58" W., A DISTANCE OF 777.73 FEET TO THE SOUTHEAST CORNER, BEING A POINT ON THE NORTH LINE OF GLENRIO ROAD;
 THENCE N. 89 deg. 25' 02" W., ALONG THE NORTH LINE OF GLENRIO ROAD, A DISTANCE OF 269.91 FEET TO THE SOUTHWEST CORNER;
 THENCE N. 00 deg. 38' 58" E., A DISTANCE OF 630.31 FEET TO THE NORTHWEST CORNER, BEING A POINT ON THE SOUTHERLY LINE OF INTERSTATE 40;
 THENCE N. 58 deg. 42' 13" E., ALONG THE SOUTHERLY LINE OF INTERSTATE 40, A DISTANCE OF 279.14 FEET TO A POINT;
 THENCE S. 89 deg. 25' 02" E., A DISTANCE OF 32.14 FEET TO THE NORTHEAST CORNER AND PLACE OF BEGINNING CONTAINING 4.4101 ACRES MORE OR LESS.

NOTES:

- UNLESS OTHERWISE NOTED ALL BOUNDARY CORNER SHOWN THUS o SHALL BE MARKED BY No. 4 WITH CAP STAMPED PS 11463.
- STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS Δ WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB, PS11463.
- BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- ALL DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

7. Zoning's R-2.

APPROVED _____
 CITY SURVEYOR DATE 2-19-04
 OWNER SIGNATURE DATE 2-18-04
 OWNER SIGNATURE DATE 2-18-04

SURVEYORS CERTIFICATE:
 STATE OF NEW MEXICO) S.S.
 COUNTY OF BERNALILLO)

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION AND THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

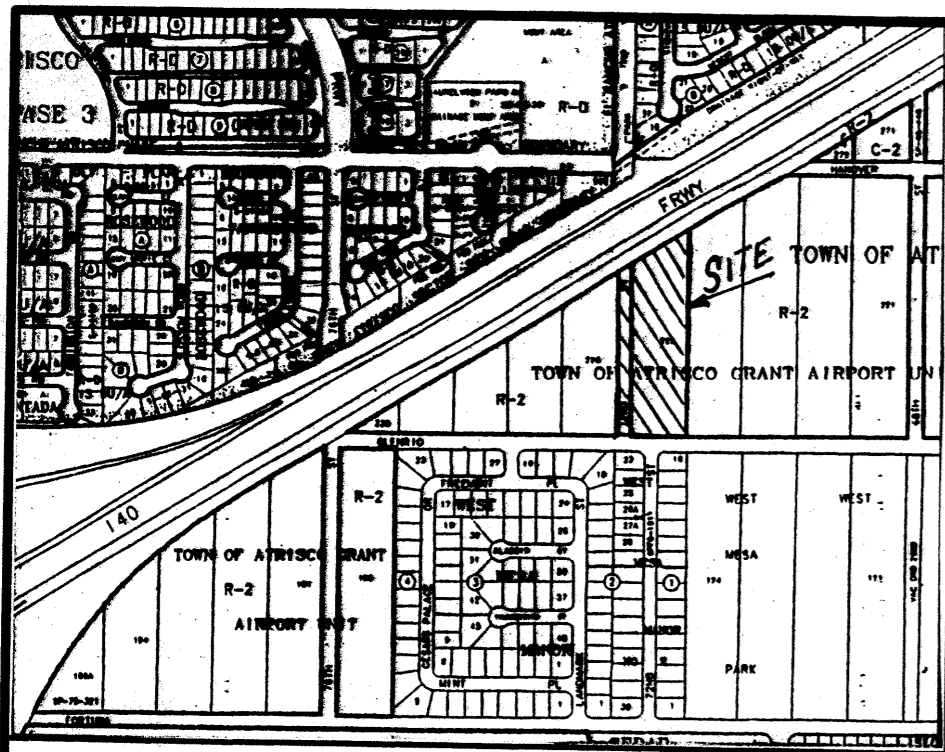
GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO, THIS ____ DAY OF ____, 2004.

ANTHONY L. HARRIS, P.S. # 11463
HARRIS SURVEYING, INC.
 2412-D MONROE STREET N.E.
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE: (505) 889-8056
 FAX: (505) 889-8645

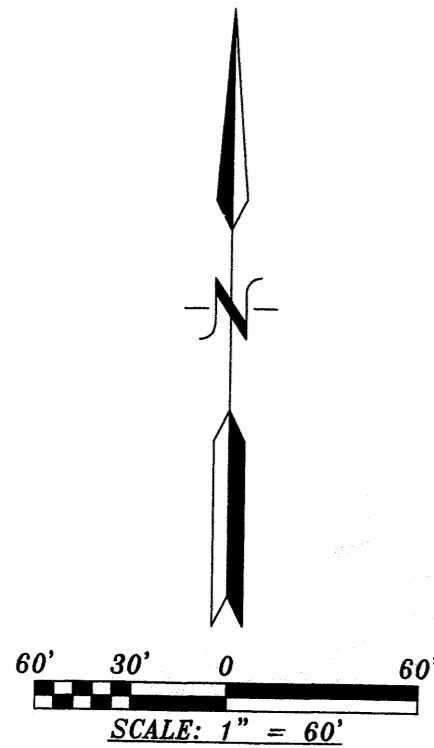
03-0752.DWG (APR-03)

PRELIMINARY PLAT OF LOTS 1 THRU 30 MUSTANG MESA SUBDIVISION

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 2003



VICINITY MAP No. J-10



ACS STATION "I-40-21A"
X=354,594.87
Y=1,488,789.30
GRD TO GRID=0.9996747
Δα = -00° 16' 46"
CENTRAL ZONE, NAD, 1927

ACS STATION "6-J10"
X=360389.13
Y=1492117.53
GRD TO GRID=0.99967760
Δα = -00° 16' 06"
CENTRAL ZONE, NAD 1927

ANCHOR EASEMENTS
(GRANTED BY THIS PLAT)

FND #4 R/B
w/CAP PS11993

7" PUBLIC UTILITY EASEMENT
(GRANTED BY THIS PLAT)

VACATED 72nd STREET VACATED BY
VACATION ACTION No. _____

FND #4 R/B
w/CAP PS11993

FND 2" I.P.

TRACT 226
TOWN OF ATRISCO GRANT
FILED: DECEMBER 5, 1944
VOLUME D, FOLIO 118

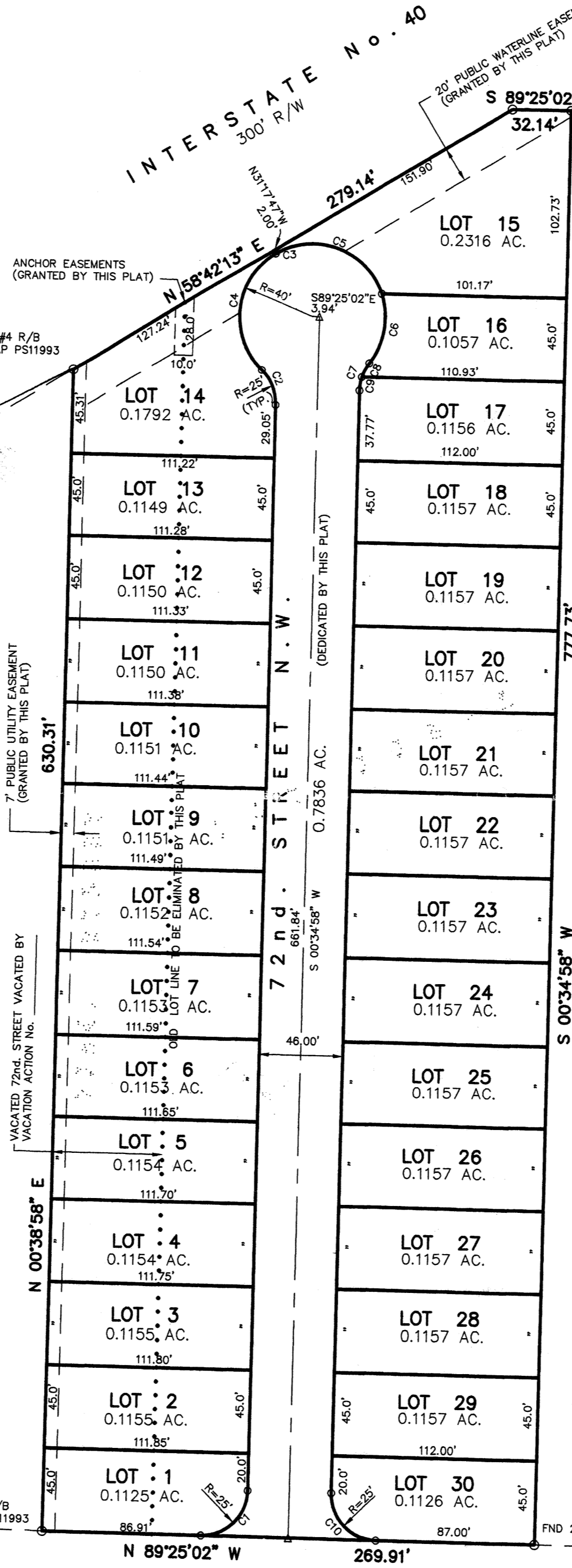
TRACT 224
TOWN OF ATRISCO GRANT
FILED: DECEMBER 5, 1944
VOLUME D, FOLIO 118

NOTES:

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- BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- ALL DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

APPROVED FOR MONUMENTATION AND STREET NAMES

CITY SURVEYOR [Signature] DATE 7-21-03
OWNER SIGNATURE [Signature] DATE 7-21-03
OWNER SIGNATURE [Signature] DATE 7-21-03



CURVE	RADIUS	DELTA	ARC	BEARING	CHORD
C1	25.00	90°00'00"	39.27	N 45°34'58" E	35.36
C2	25.00	47°19'44"	20.65	N 23°04'54" W	20.07
C3	40.00	264°16'53"	184.50	N 85°23'40" E	59.32
C4	40.00	105°26'59"	73.62	N 05°58'43" E	63.66
C5	40.00	102°40'36"	71.68	S 69°57'29" E	62.47
C6	40.00	56°09'18"	36.20	S 09°27'28" W	37.65
C7	25.00	36°57'09"	16.12	S 19°03'32" W	15.85
C8	25.00	20°08'22"	8.79	S 27°27'56" W	8.74
C9	25.00	16°48'47"	7.34	S 08°59'21" W	7.31
C10	25.00	90°00'00"	39.27	S 44°25'02" E	35.36

LEGAL DESCRIPTION

TRACT NUMBERED TWO HUNDRED TWENTY-FIVE (225) OF THE PLAT SHOWING A PORTION OF TRACTS ALLOTTED FROM TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 5, 1944 IN VOLUME D, FOLIO 118, TOGETHER WITH VACATED 72nd STREET (VACATED BY VACATION ACTION No. 1000694, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
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THENCE S. 00 deg. 34' 58" W., A DISTANCE OF 777.73 FEET TO THE SOUTHEAST CORNER, BEING A POINT ON THE NORTH LINE OF GLENRIO ROAD;
THENCE N. 89 deg. 25' 02" W., ALONG THE NORTH LINE OF GLENRIO ROAD, A DISTANCE OF 269.91 FEET TO THE SOUTHWEST CORNER;
THENCE N. 00 deg. 38' 58" E., A DISTANCE OF 630.31 FEET TO THE NORTHWEST CORNER, BEING A POINT ON THE SOUTHERLY LINE OF INTERSTATE 40;
THENCE N. 58 deg. 42' 13" E., ALONG THE SOUTHERLY LINE OF INTERSTATE 40, A DISTANCE OF 279.14 FEET TO A POINT;
THENCE S. 89 deg. 25' 02" E., A DISTANCE OF 32.14 FEET TO THE NORTHEAST CORNER AND PLACE OF BEGINNING CONTAINING 4.4101 ACRES MORE OR LESS.

SURVEYORS CERTIFICATE:

STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,
THIS _____ DAY OF _____, 2003.

ANTHONY L. HARRIS, P.S. # 11463

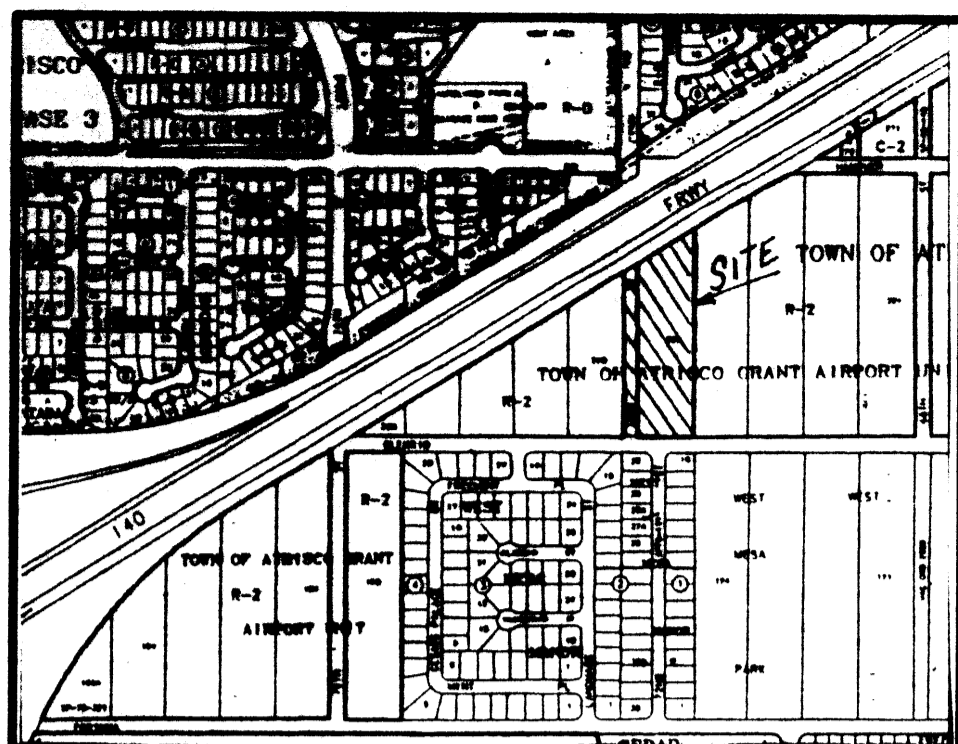
ALB HARRIS SURVEYING, INC. PHONE: (505) 889-8056
3412-D MONROE STREET N.E. ALBUQUERQUE, NEW MEXICO 87110 FAX: (505) 889-8645

03-0752.DWG (APR-03)

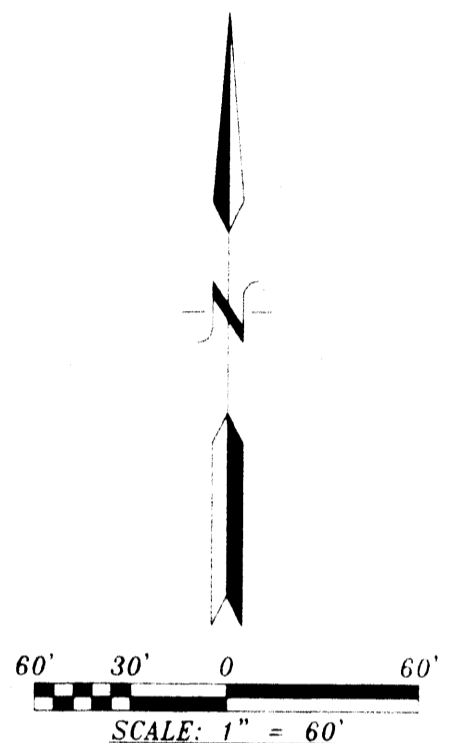
PRELIMINARY PLAT OF LOTS 1 THRU 30 MUSTANG MESA SUBDIVISION

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 2003

PRELIMINARY PLAT
APPROVED BY DRB
ON 6/20/03



VICINITY MAP No. J-10



ACS STATION "I-40-21A"
X=354,594.87
Y=1,488,789.30
GRD TO GRID=0.9996747
Δα = -00° 16' 46"
CENTRAL ZONE, NAD 1927

ACS STATION "6-J10"
X=360389.13
Y=1492117.53
GRD TO GRID=0.99967760
Δα = -00° 16' 06"
CENTRAL ZONE, NAD 1927

ANCHOR EASEMENTS
(GRANTED BY THIS PLAT)
FND #4 R/B
w/CAP PS11993

361°39'08" W (GRID)
6082.22 (GROUND)

TRACT 226
TOWN OF ATRISCO GRANT
FILED: DECEMBER 5, 1944
VOLUME D, FOLIO 118

TRACT 224
TOWN OF ATRISCO GRANT
FILED: DECEMBER 5, 1944
VOLUME D, FOLIO 118

NOTES:

- UNLESS OTHERWISE NOTED ALL BOUNDARY CORNER SHOWN THUS 0 SHALL BE MARKED BY No. 4 WITH CAP STAMPED PS 11463.
- STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS Δ WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB, PS11463.
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APPROVED FOR MONUMENTATION AND STREET NAMES

[Signature] 7-21-03
CITY SURVEYOR DATE
[Signature] 7-21-03
OWNER SIGNATURE DATE
[Signature] 7-21-03
OWNER SIGNATURE DATE



CURVE	RADIUS	DELTA	ARC	BEARING	CHORD
C1	25.00	90°00'00"	39.27	N 45°34'58" E	35.36
C2	25.00	47°19'44"	20.65	N 23°04'54" W	20.07
C3	40.00	264°16'53"	184.50	N 85°23'40" E	59.32
C4	40.00	105°26'59"	73.62	N 05°58'43" E	63.66
C5	40.00	102°40'36"	71.68	S 69°57'29" E	62.47
C6	40.00	56°09'18"	36.20	S 09°27'28" W	37.65
C7	25.00	36°57'09"	16.12	S 19°03'32" W	15.85
C8	25.00	20°08'22"	8.79	S 27°27'56" W	8.74
C9	25.00	16°48'47"	7.34	S 08°59'21" W	7.31
C10	25.00	90°00'00"	39.27	S 44°25'02" E	35.36

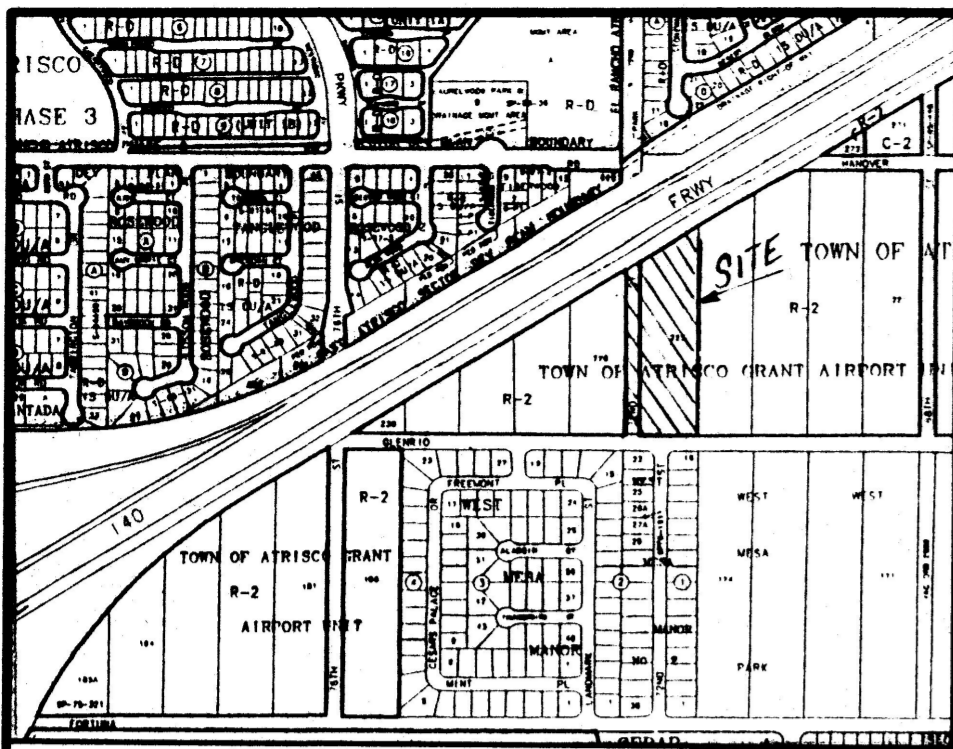
LEGAL DESCRIPTION

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BEGINNING AT THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT WHENCE CITY OF ALBUQUERQUE CONTROL STATION "6-J10" HAVING NEW MEXICO STATE PLANE COORDINATES OF (CENTRAL ZONE, NAD, 1927) x=360,389.13 AND y=1,492,117.53 BEARS N. 30 deg. 00' 53" E., A DISTANCE OF 341.35 FEET, RUNNING
THENCE S. 00 deg. 34' 58" W., A DISTANCE OF 777.73 FEET TO THE SOUTHEAST CORNER, BEING A POINT ON THE NORTH LINE OF GLENRIO ROAD;
THENCE N. 89 deg. 25' 02" W., ALONG THE NORTH LINE OF GLENRIO ROAD, A DISTANCE OF 269.91 FEET TO THE SOUTHWEST CORNER;
THENCE N. 00 deg. 38' 58" E., A DISTANCE OF 630.31 FEET TO THE NORTHWEST CORNER, BEING A POINT ON THE SOUTHERLY LINE OF INTERSTATE 40;
THENCE N. 58 deg. 42' 13" E., ALONG THE SOUTHERLY LINE OF INTERSTATE 40, A DISTANCE OF 279.14 FEET TO A POINT,
THENCE S. 89 deg. 25' 02" E., A DISTANCE OF 32.14 FEET TO THE NORTHEAST CORNER AND PLACE OF BEGINNING CONTAINING 4.4101 ACRES MORE OR LESS.

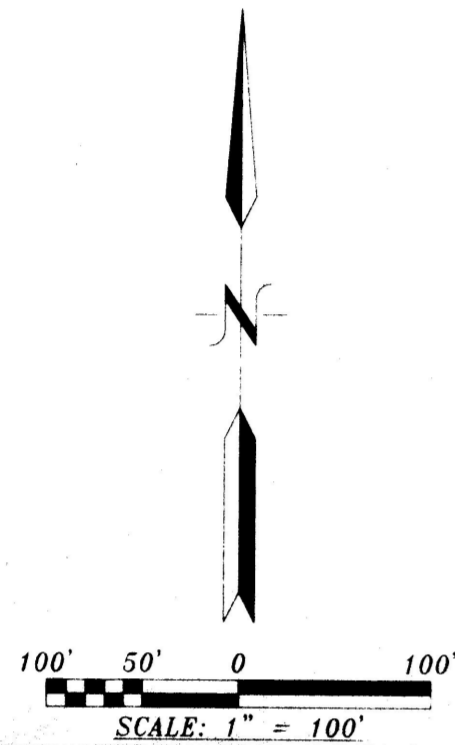
SURVEYORS CERTIFICATE:

STATE OF NEW MEXICO) S.S.
COUNTY OF BERNALILLO)
I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.
GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO,
THIS _____ DAY OF _____, 2003.

ANTHONY L. HARRIS, P.S. # 11463
HARRIS SURVEYING, INC.
2412-D MONROE STREET N.E.
ALBUQUERQUE, NEW MEXICO 87110
PHONE: (505) 889-8056
FAX: (505) 889-8645



VICINITY MAP No. J-10

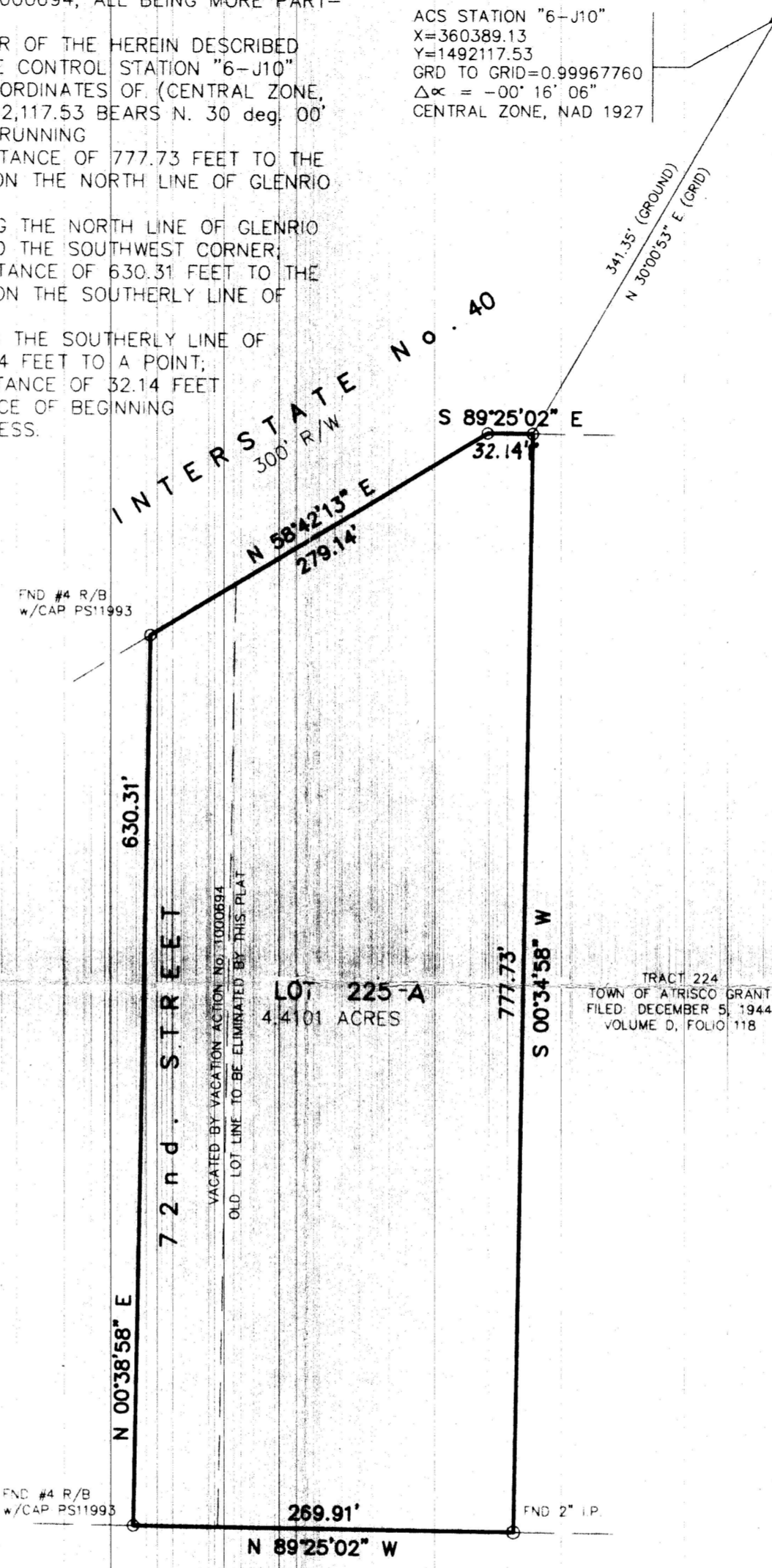


N.T.S.

LEGAL DESCRIPTION

TRACT NUMBERED TWO HUNDRED TWENTY-FIVE (225) OF THE PLAT SHOWING A PORTION OF TRACTS ALLOTTED FROM TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 5, 1944 IN VOLUME D, FOLIO 118, TOGETHER WITH VACATED 72nd STREET (VACATED BY VACATION ACTION No. 1000694, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT WHENCE CITY OF ALBUQUERQUE CONTROL STATION "6-J10" HAVING NEW MEXICO STATE PLANE COORDINATES OF (CENTRAL ZONE, NAD, 1927) $x=360,389.13$ AND $y=1,492,117.53$ BEARS N. 30 deg. 00' 53" E., A DISTANCE OF 341.35 FEET, RUNNING
 THENCE S. 00 deg. 34' 58" W., A DISTANCE OF 777.73 FEET TO THE SOUTHEAST CORNER, BEING A POINT ON THE NORTH LINE OF GLENRIO ROAD;
 THENCE N. 89 deg. 25' 02" W., ALONG THE NORTH LINE OF GLENRIO ROAD, A DISTANCE OF 269.91 FEET TO THE SOUTHWEST CORNER;
 THENCE N. 00 deg. 38' 58" E., A DISTANCE OF 630.31 FEET TO THE NORTHWEST CORNER, BEING A POINT ON THE SOUTHERLY LINE OF INTERSTATE 40;
 THENCE N. 58 deg. 42' 13" E., ALONG THE SOUTHERLY LINE OF INTERSTATE 40, A DISTANCE OF 279.14 FEET TO A POINT;
 THENCE S. 89 deg. 25' 02" E., A DISTANCE OF 32.14 FEET TO THE NORTHEAST CORNER AND PLACE OF BEGINNING CONTAINING 4.4101 ACRES MORE OR LESS.

ACS STATION "6-J10"
 $X=360,389.13$
 $Y=1,492,117.53$
 GRID TO GRID=0.99967760
 $\Delta\alpha = -00' 16' 06"$
 CENTRAL ZONE, NAD 1927



TRACT 226
 TOWN OF ATRISCO GRANT
 FILED: DECEMBER 5, 1944
 VOLUME D, FOLIO 118

TRACT 224
 TOWN OF ATRISCO GRANT
 FILED: DECEMBER 5, 1944
 VOLUME D, FOLIO 118

PLAT OF TRACT 225-A TOWN OF ATRISCO GRANT

WITHIN PROJECTED SECTION 15, TOWNSHIP 10 NORTH, RANGE 2 EAST, N.M.P.M. CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO APRIL, 2003

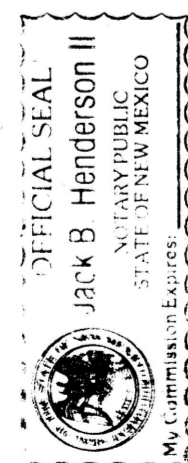
PROJECT NUMBER:	_____
APPLICATION NUMBER:	_____
UTILITY APPROVALS:	
PNM ELECTRIC SERVICES	DATE _____
PNM GAS SERVICES	DATE _____
QWEST TELECOMMUNICATIONS	DATE _____
COMCAST	DATE _____
NEW MEXICO UTILITIES	DATE _____
CITY APPROVALS:	
CITY SURVEYOR	DATE <u>4-23-03</u>
REAL PROPERTY DIVISION (CONDITIONAL)	DATE _____
ENVIRONMENTAL HEALTH DEPARTMENT (CONDITIONAL)	DATE _____
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE _____
UTILITIES DEVELOPMENT	DATE _____
PARKS AND RECREATION DEPARTMENT	DATE _____
AMAFCA	DATE _____
CITY ENGINEER	DATE _____
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE _____
APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14, REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, 1994	
CITY PLANNER, ALBUQUERQUE PLANNING DIVISION	DATE _____

DISCLOSURE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO SHOW VACATED 72nd STREET AND TO COMBINE IT WITH TRACT 225 AND GRANT ANY EASEMENTS AS SHOWN.

GENERAL NOTES:

- UNLESS NOTED, No. 4 REBAR WITH CAP STAMPED P.S.#11463 WERE SET AT ALL PROPERTY CORNERS.
- THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- TOTAL AREA OF PROPERTY: 4.4101 ACRES.
- TALOS LOG NO. 3003171591
- BASIS OF BEARINGS IS THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 1927.
- DISTANCES ARE GROUND, BEARINGS ARE GRID.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE RECORD.
- DATE OF FIELD WORK: APRIL 10, 2003
- CURRENT ZONING: R-2
- D R B CASE No.: 1000694
- PROPERTY FALLS WITHIN TOWN OF ATRISCO GRANT.



FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLES TO THE LAND SUBDIVIDED.

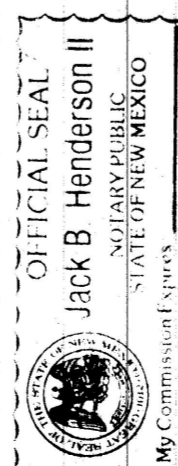
 DATE _____

ACKNOWLEDGMENT

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS _____ DAY OF _____, 20____.

BY: _____
 OWNERS NAME

MY COMMISSION EXPIRES: _____ BY: _____
 NOTARY PUBLIC



FREE CONSENT

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNERS AND PROPRIETOR THEREOF. SAID OWNER / PROPRIETOR DOES HEREBY GRANT ANY AND ALL EASEMENTS AS MAY BE CREATED BY THIS PLAT. THOSE SIGNING AS OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLES TO THE LAND SUBDIVIDED.

 DATE 4-23-03

ACKNOWLEDGMENT

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME A NOTARY PUBLIC THIS _____ DAY OF _____, 20____.

BY: _____
 OWNERS NAME

MY COMMISSION EXPIRES: _____ BY: _____
 NOTARY PUBLIC

SURVEYORS CERTIFICATE:

STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO)

I, ANTHONY L. HARRIS, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION, THAT I AM RESPONSIBLE FOR SAID PLAT AND MEETS THE REQUIREMENTS FOR MONUMENTATION, AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND MEETS THE MINIMUM REQUIREMENTS FOR LAND SURVEYS AS SET FORTH BY THE STATE OF NEW MEXICO.

GIVEN UNDER MY HAND AND SEAL AT ALBUQUERQUE, NEW MEXICO, THIS 24th DAY OF April, 2003.

 ANTHONY L. HARRIS, P.S. # 11463