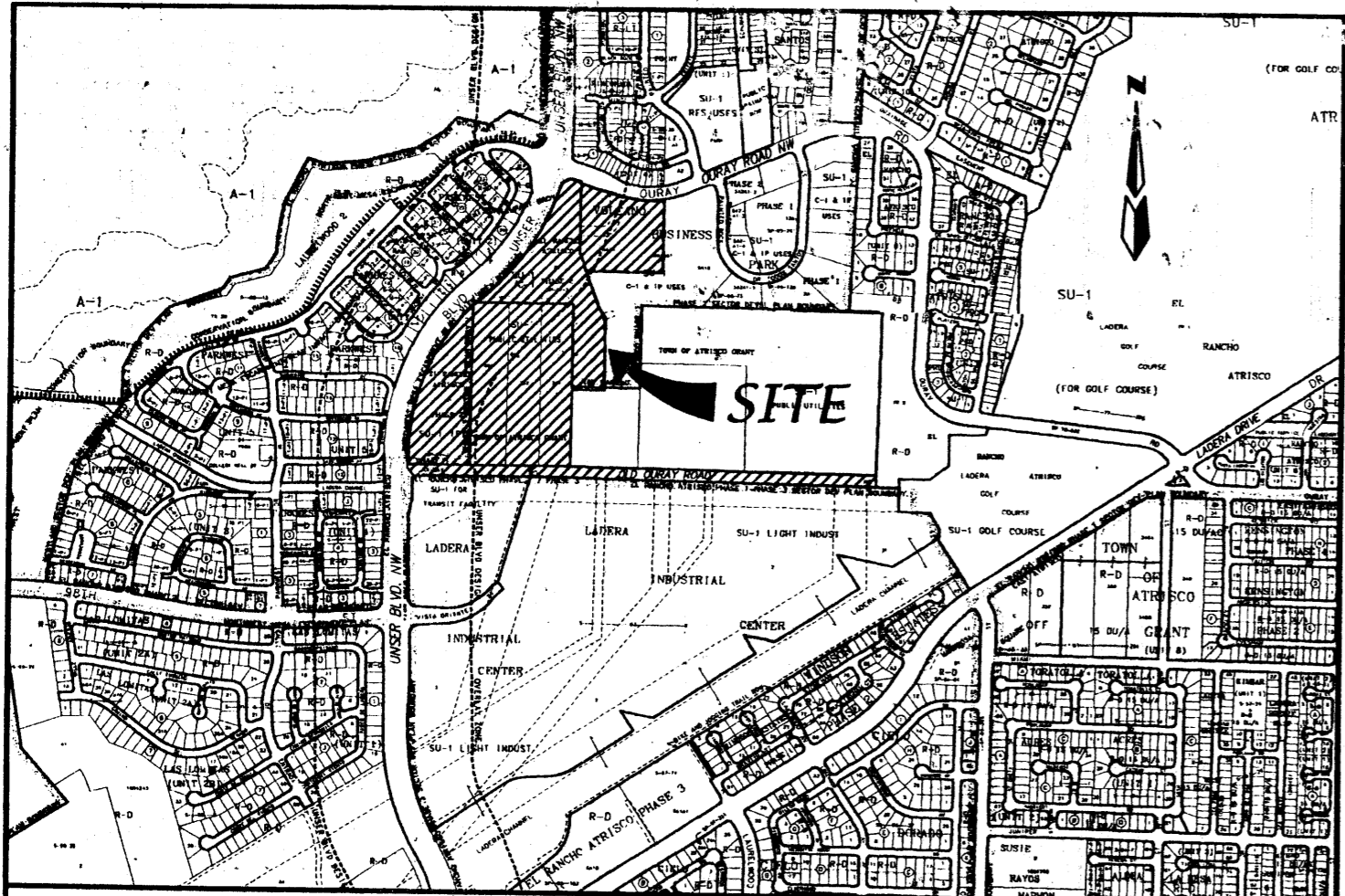


1001932



**LOCATION MAP** ZONE ATLAS G-9, G-10, H-9 & H-10  
SCALE: NONE

**SUBDIVISION DATA**

Plat Case No.'s ..... DRB Project No. 1001932  
Case No.'s ..... 02DRB-01578, 02DRB-01579  
02DRB-01580, 02DRB-01581  
03DRB-00220, 03DRB-00353

Gross Acreage ..... 40.1665 AC.  
Zone Atlas No. .... G-9, G-10, H-9, & H-10  
No. of existing Tracts/Lots ..... 4 Tracts  
No. of Tracts/Lots created ..... 6 Tracts / 69 Lots  
No. of Tracts/Lots eliminated ..... 4 Tracts  
Miles of full width streets created ..... 0.74  
Area dedicated to the City of Albuquerque ..... 4.5069 AC.  
Date of Survey ..... JUNE 2002  
Utility Control Location System Log Number ..... 2002240820  
Zoning ..... SU-1/RD

**FREE CONSENT AND DEDICATION:**

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets, public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

OWNER: KB HOME New Mexico, Inc., a New Mexico Corporation  
BY: Greg Breedlove, Vice-President of Land Development  
Greg Breedlove 3/20/03 DATE

**OWNER'S ACKNOWLEDGMENT**

STATE OF NEW MEXICO SS  
COUNTY OF BERNALILLO  
This instrument was acknowledged before me on March 20, 2003  
By Greg Breedlove, Vice-President of Land Development for KB HOMES New Mexico, Inc.,  
A New Mexico Corporation on behalf of said corporation

Bernadette Hayes 3/24/03  
NOTARY PUBLIC MY COMMISSION EXPIRES

**LEGAL DESCRIPTION** (SEE SHEET 8)

**NOTES:** (SEE SHEET 4)

**PURPOSE OF PLAT**

1. Subdivide four existing tracts into 69 Residential Lots and 6 Tracts
2. Grant easements as shown hereon.
3. Dedicate right-of-way as shown hereon.
4. Vacate easements and right-of-way as shown hereon.

**PUBLIC UTILITY EASEMENTS**

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

included, is the right to build, rebuild, construct, reconstruct, locate, Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

OWNER: Westland Development Co., Inc, a New Mexico Corporation  
BY: Leroy Chavez, Vice President of Development  
Leroy Chavez 3/14/03 DATE

**OWNER'S ACKNOWLEDGMENT**

STATE OF NEW MEXICO SS  
COUNTY OF BERNALILLO  
This instrument was acknowledged before me on MARCH 14, 2003  
By Leroy Chavez, Vice President of Development for Westland Development Co., Inc., a New Mexico Corporation on behalf of said corporation.

Lynda J. Blair 3/14/03  
NOTARY PUBLIC MY COMMISSION EXPIRES

**OWNER'S ACKNOWLEDGMENT**

STATE OF NEW MEXICO SS  
COUNTY OF BERNALILLO  
This instrument was acknowledged before me on March 17, 2003  
By Joan Wershaw, Managing Partner for SUNSET PLAZA, a New Mexico General Partnership on behalf of said partnership.

Karen Lee Arfman 11-18-2005  
NOTARY PUBLIC MY COMMISSION EXPIRE

PLAT FOR  
**WEST RIDGE SUBDIVISION**  
**UNIT 1**  
**WITHIN THE**  
**TOWN OF ATRISCO GRANT**  
**PROJECTED SECTIONS 3, 4, 9 AND 10**  
**TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM**  
**CITY OF ALBUQUERQUE**  
**BERNALILLO COUNTY, NEW MEXICO**  
**MARCH, 2003**

**APPROVED AND ACCEPTED BY:**

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

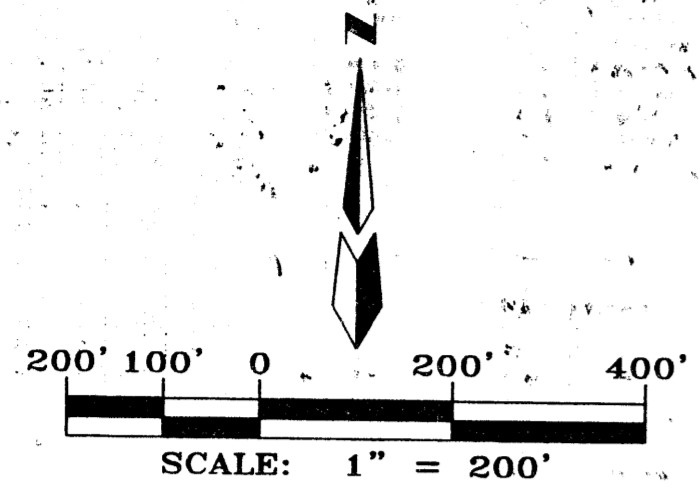
- DRB Project No. 1001932  
Application No. 03DRB-00577
- Sharon Watson 5/9/03  
Planning Director, City of Albuquerque, N.M. Date
- R. H. P. Pichon 4/30/03  
City of Albuquerque, N.M. Date
- Martin W. G. West Jr. 5-7-03  
Albuquerque Metropolitan Arroyo Flood Control Authority Date
- Richard D. Dente 4-30-03  
Transportation Development, City of Albuquerque, N.M. Date
- Roger A. Dye 4-30-03  
Utility Development Division, City of Albuquerque, N.M. Date
- Christina Sandoval 4/30/03  
Parks and Recreation Date
- Paul J. Taylor 4-1-03  
City Surveyor, City of Albuquerque, N.M. Date
- Scott M. Howell 5-6-03  
Property Management, City of Albuquerque, N.M. Date
- Leonard J. Munte 4-8-03  
PNM Gas Date
- Leonard J. Munte 4-8-03  
PNM Electric Date
- Mary Ann Gajala 4-10-03  
Qwest Telecommunications Date
- Rita E. Sicks 4-8-03  
Comcast Cable Date

**SURVEYOR'S CERTIFICATION**

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich 03-27-03  
Timothy Aldrich P.S. No. 7719 Date

**PLAT FOR  
 WEST RIDGE SUBDIVISION  
 UNIT 1**  
 WITHIN THE  
 TOWN OF ATRISCO GRANT  
 PROJECTED SECTIONS 3, 4, 9 AND 10  
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO.  
 MARCH, 2003



LINE	DIRECTION	DISTANCE
L1	N89°21'18"W (N89°22'42"W)	249.86'
L2	N00°14'03"W (N00°13'32"W)	23.83' (24.03')
L3	N36°08'53"E (N36°09'24"E)	111.22'
L4	S70°47'08"E (S70°47'45"E)	129.37'
L5	S00°31'10"W (S00°34'59"W)	460.02' (459.38')
L6	N89°20'50"W (N89°25'03"W)	483.97' (483.62')
L7	S19°39'38"E (S19°39'13"E)	324.13'
L8	S00°30'08"W (S00°30'41"W)	442.52' (442.49')
L9	N89°28'08"W (N89°27'48"W)	190.41'
L10	S00°38'29"W (S02°29'00"W)	518.45' (518.50')
L11	S00°37'09"W	56.94'
L12	N89°22'47"W (N00°13'32"W)	1076.02'
L13	N00°13'43"E	22.73'
L14	N21°38'44"W	61.88'
L15	N00°14'03"W	49.22'
L16	S89°21'18"E	725.71'
L17	S89°27'44"E	420.00'
L18	S89°28'50"E	1497.99'
L19	S00°34'47"W	60.00'
L20	N89°31'13"W (N89°31'02"W)	455.56'
L21	N89°19'36"W (N89°19'25"W)	268.09'
L22	S88°33'57"E (S88°33'46"E)	51.36'
L23	S89°22'33"E (S89°22'22"E)	1014.26'
L24	S89°22'47"E (S89°22'36"E)	378.64'

EXISTING A.M.A.F.C.A. DRAINAGE EASEMENT  
 DISTRICT COURT CASE NO. 7-76-03096  
 (09-28-76, BK. MISC. 498, PGS. 648-683)

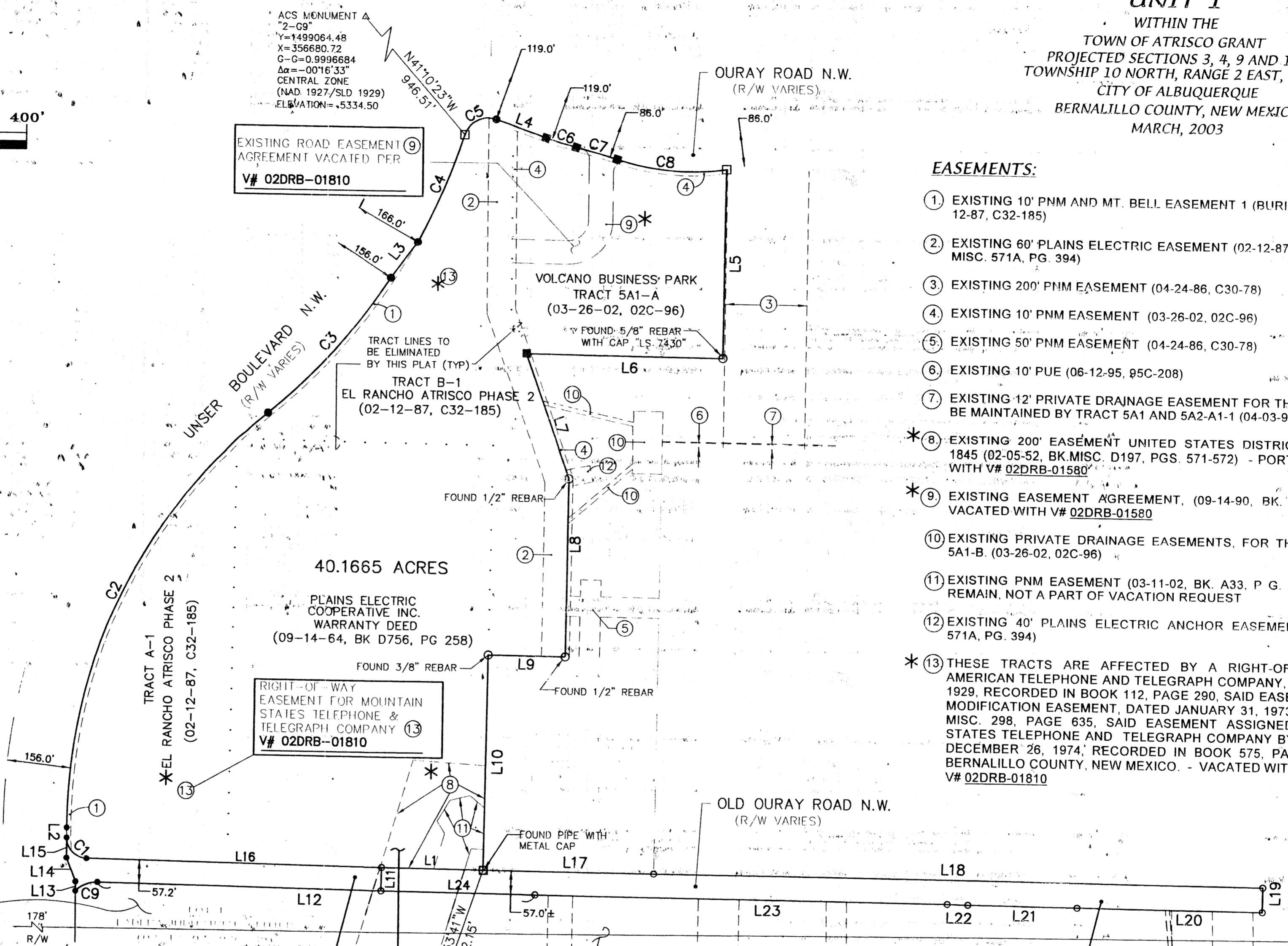
CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C1	77.77' (77.78')	89°07'15" (89°07'46")	50.00'	49.24'	N44°47'40"W (N44°47'25"W)	70.17'
C2	1171.95'	50°47'33"	1322.00'	627.63'	N25°09'44"E (N25°10'14"E)	1133.95'
C3	449.50' (449.49')	17°25'30" (17°25'29")	1478.00'	226.50'	N41°50'45"E (N41°51'16"E)	447.77'
C4	284.65' (284.69')	10°57'38" (10°57'43")	1488.00'	142.76' (142.80')	N23°22'21"E (N23°22'50"E)	284.22' (284.30')
C5	95.63' (95.67')	91°19'20" (91°21'38")	60.00'	61.40' (61.38')	N63°33'12"E (N63°34'47"E)	85.83' (85.81')
C6	78.36'	05°38'50"	795.00'	39.21'	S73°36'33"E (S73°37'10"E)	78.33'
C7	104.51'	04°44'01"	1265.00'	52.28'	S74°27'06"E (S74°27'43"E)	104.48'
C8	273.34' (273.36')	25°40'01" (25°40'07")	610.17'	139.00' (139.01')	S85°22'31"E (S85°23'08"E)	271.06' (271.08')
C9	59.98'	45°49'04"	75.00'	31.69'	S67°42'51"W	58.39'

OLD OURAY ROAD N.W.  
 1.0211 AC RIGHT-OF-WAY  
 VACATED PER  
**V# 02DRB-01579**

EXISTING PNM EASEMENT  
 PORTION VACATED PER  
**V# 02DRB-01580**

ACS MONUMENT  
 "BH-39"  
 Y=1494777.28  
 X=356760.08  
 C-C=0.9996750  
 Δα=0°01'6.32"  
 CENTRAL ZONE  
 (NAD 1927/SLD 1929)  
 ELEVATION= 5195.46

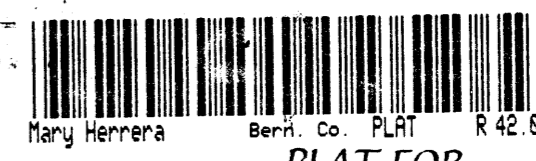
- PROPERTY CORNERS**
- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
  - SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
  - FOUND "+" CROSS ON SIDEWALK (TYP)
  - FOUND 5/8" REBAR WITH CAP "NMPM NO. 11993" (TYP)



**EASEMENTS:**

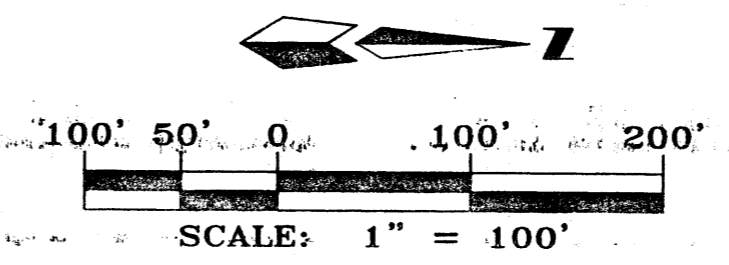
- ① EXISTING 10' PNM AND MT. BELL. EASEMENT 1 (BURIED UTILITIES ONLY) (02-12-87, C32-185)
- ② EXISTING 60' PLAINS ELECTRIC EASEMENT (02-12-87, C32-185) (12-23-87, BK MISC. 571A, PG. 394)
- ③ EXISTING 200' PNM EASEMENT (04-24-86, C30-78)
- ④ EXISTING 10' PNM EASEMENT (03-26-02, 02C-96)
- ⑤ EXISTING 50' PNM EASEMENT (04-24-86, C30-78)
- ⑥ EXISTING 10' PUE (06-12-95, 95C-208)
- ⑦ EXISTING 12' PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF AND TO BE MAINTAINED BY TRACT 5A1 AND 5A2-A1-1 (04-03-98, 98C-89)
- \*⑧ EXISTING 200' EASEMENT UNITED STATES DISTRICT COURT CASE NO. 1845 (02-05-52, BK.MISC. D197, PGS. 571-572) - PORTION SHOWN VACATED WITH V# 02DRB-01580
- \*⑨ EXISTING EASEMENT AGREEMENT, (09-14-90, BK. BCR 90-15, PG. 3409) VACATED WITH V# 02DRB-01580
- ⑩ EXISTING PRIVATE DRAINAGE EASEMENTS, FOR THE BENEFIT OF TRACT 5A1-B. (03-26-02, 02C-96)
- ⑪ EXISTING PNM EASEMENT (03-11-02, BK. A33, P G. 1956) -- EASEMENT TO REMAIN, NOT A PART OF VACATION REQUEST
- ⑫ EXISTING 40' PLAINS ELECTRIC ANCHOR EASEMENT (12-23-87, BK.MISC. 571A, PG. 394)
- \*⑬ THESE TRACTS ARE AFFECTED BY A RIGHT-OF-WAY EASEMENT TO AMERICAN TELEPHONE AND TELEGRAPH COMPANY, DATED DECEMBER 13, 1929, RECORDED IN BOOK 112, PAGE 290, SAID EASEMENT AMENDED BY A MODIFICATION EASEMENT, DATED JANUARY 31, 1973, RECORDED IN BOOK MISC. 298, PAGE 635, SAID EASEMENT ASSIGNED TO THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY BY ASSIGNMENT DATED DECEMBER 26, 1974, RECORDED IN BOOK 575, PAGE 928 RECORDS OF BERNALILLO COUNTY, NEW MEXICO. - VACATED WITH V# 02DRB-01810

15-07-03



**PLAT FOR  
WEST RIDGE SUBDIVISION  
UNIT 1**

WITHIN THE  
TOWN OF ATRISCO GRANT  
PROJECTED SECTIONS 3, 4, 9 AND 10  
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MARCH, 2003



\* Clear Site Easement  
for Benefit of Public to  
be maintained by the owners  
of lots 17 and 18 Block 3  
to be kept clear of any  
obstruction.

NOTE: ▲  
CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED  
AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET  
INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR  
INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE",  
"CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ABBREVIATIONS  
10' PUE = PUBLIC UTILITY EASEMENTS  
GRANTED WITH THIS PLAT  
ROW = RIGHT-OF-WAY

ALL STREETS SHOWN  
HEREON ARE HEREBY  
DEDICATED AS PUBLIC  
RIGHT-OF-WAY

20' PUBLIC PEDESTRIAN ACCESS  
EASEMENT GRANTED BY THIS  
PLAT. (SEE NOTE 10, SHEET 4)

TRACT "F"  
13.4549 AC.

TRACT "A"  
5.0719 AC.

TRACT "B"  
1.5684 AC.

TRACT "C"  
3.6462 AC.

TRACT "D"  
0.2247 AC.

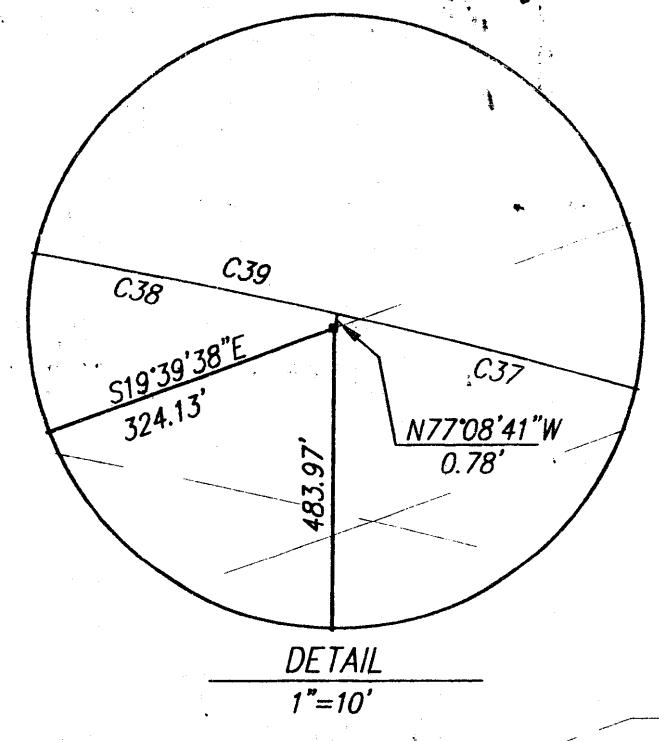
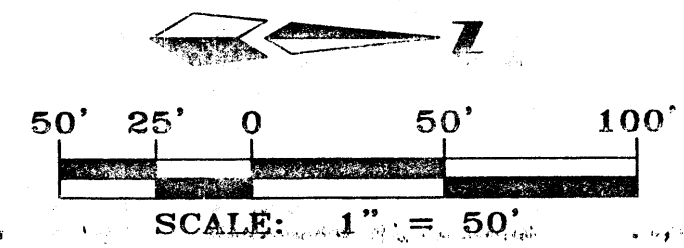
TRACT "E"  
(PUBLIC DRAINAGE RIGHT-OF-WAY)  
0.8609 AC.

NEW PUBLIC DRAINAGE RIGHT-OF-WAY  
DEDICATED IN FEE SIMPLE TO  
A.M.A.F.C.A., FOR THE BENEFIT OF  
A.M.A.F.C.A. BY THIS PLAT AND TO BE  
MAINTAINED BY PNM. (3.9196 AC.)  
NEW PUBLIC WATER, SANITARY  
SEWER, AND DRAINAGE EASEMENT  
GRANTED TO THE CITY OF  
ALBUQUERQUE BY THIS PLAT.  
NEW PRIVATE ACCESS EASEMENT  
GRANTED BY THIS PLAT. (SEE  
NOTE 7 SHEET 4)  
NEW PUBLIC UTILITY EASEMENT  
(PUE) GRANTED WITH THIS PLAT

*Handwritten signature and date: 05-07-03*

PLAT FOR  
**WEST RIDGE SUBDIVISION**  
**SUBDIVISION**

WITHIN THE  
 TOWN OF ATRISCO GRANT  
 PROJECTED SECTIONS 3, 4, 9 AND 10  
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 FEBRUARY, 2003



TRACT "A"  
 5.1106 AC.

TRACT "B"  
 1.5684 AC.

TRACT "C"  
 3.6462 AC.

NOTE: ▲  
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ABBREVIATIONS  
 10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT  
 ROW = RIGHT-OF-WAY

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

**NOTES:**

- Bearings are grid based on the New Mexico State Plane Coordinate System (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:  
 PLAT FOR "LADERA INDUSTRIAL CENTER, LOTS 1 AND 2", (02-12-93, 93C-39)  
 PLAT FOR "VOLCANO BUSINESS PARK", (03-26-02, 02C-96)  
 PLAT FOR "VOLCANO BUSINESS PARK, PHASE I", (04-24-86, C30-78)  
 PLAT FOR "VOLCANO BUSINESS PARK, PHASE II", (04-03-98, 98C-89)  
 PLAT FOR "EL RANCHO ATRISCO, PHASE 3, TRACTS 5-A & 6-A", (02-12-87, C32-184)  
 PLAT FOR "EL RANCHO ATRISCO, PHASE 2, TRACTS A-1 & B-1", (02-12-87, C32-185)  
 PNM SWITCHING STATION (WD: 05-04-61, BK. D593, PG. 223)  
 PLAINS ELECTRIC COOPERATIVE, INC. (WD: 09-14-64, BK. D756, PG. 258)  
 PLAINS ELECTRIC COOPERATIVE, INC. (QCD: 01-30-79, BK. D83A, PGS. 321-354)  
 all being records of Bernalillo County, New Mexico.
- Tracts A, B, C, & D are hereby created for future development.
- Tract E is dedicated to the City of Albuquerque for Public Drainage Right-of-way by this plat.
- New Private Access Easement granted to the owners of Lands of Plains Electric generation and Transmission Co-op, Inc. (01-30-79, BK D83A, PG. 321-354) and the Lands of PNM (05-04-61, BK D-593, PG 223), its successors or assigns, by this plat and to be jointly maintained by said owners. Access by beneficiaries shall be free and unrestricted.
- Except for the following 53 lots open space requirements of the city of Albuquerque are met on the lot with the dwellings as shown on the plat. Lots 1-6, Block 1, Lots 1-5, 10-15, 61, 63-65 Block 2, Lots 2, 4-15, 18, 21-31, Block 3, Lots 12, 16-17, Block 4, Lots 11-14, Block 5, a total of 53 lots, shall have a maximum combined structure foot print and drive way area such that the remaining open space is 2400 square feet or provide payment to the Parks and Recreation Diversion (cash-in-lieu) for the deficit in meeting the 2400 S.F. open space
- Setbacks are as shown and noted on the Amended Site Development Plan for Subdivision. (Case No. 02DRB-01581)
- 20' Pedestrian Access Easement granted to, for the benefit of, and to be maintained by the City of Albuquerque. 20' Public Utility Easement (PUE) granted with this plat.
- Blanket Public Water, Sanitary Sewer and Pedestrian Access Easement granted to, for the benefit of, and to be maintained by the City of Albuquerque.

*Handwritten signature and date:*  
 05-07-03

PLAT FOR  
**WEST RIDGE SUBDIVISION**  
**UNIT 1**  
 WITHIN THE  
 TOWN OF ATRISCO GRANT  
 PROJECTED SECTIONS 3, 4, 9 AND 10  
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 MARCH, 2003

**NOTE:** ▲  
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

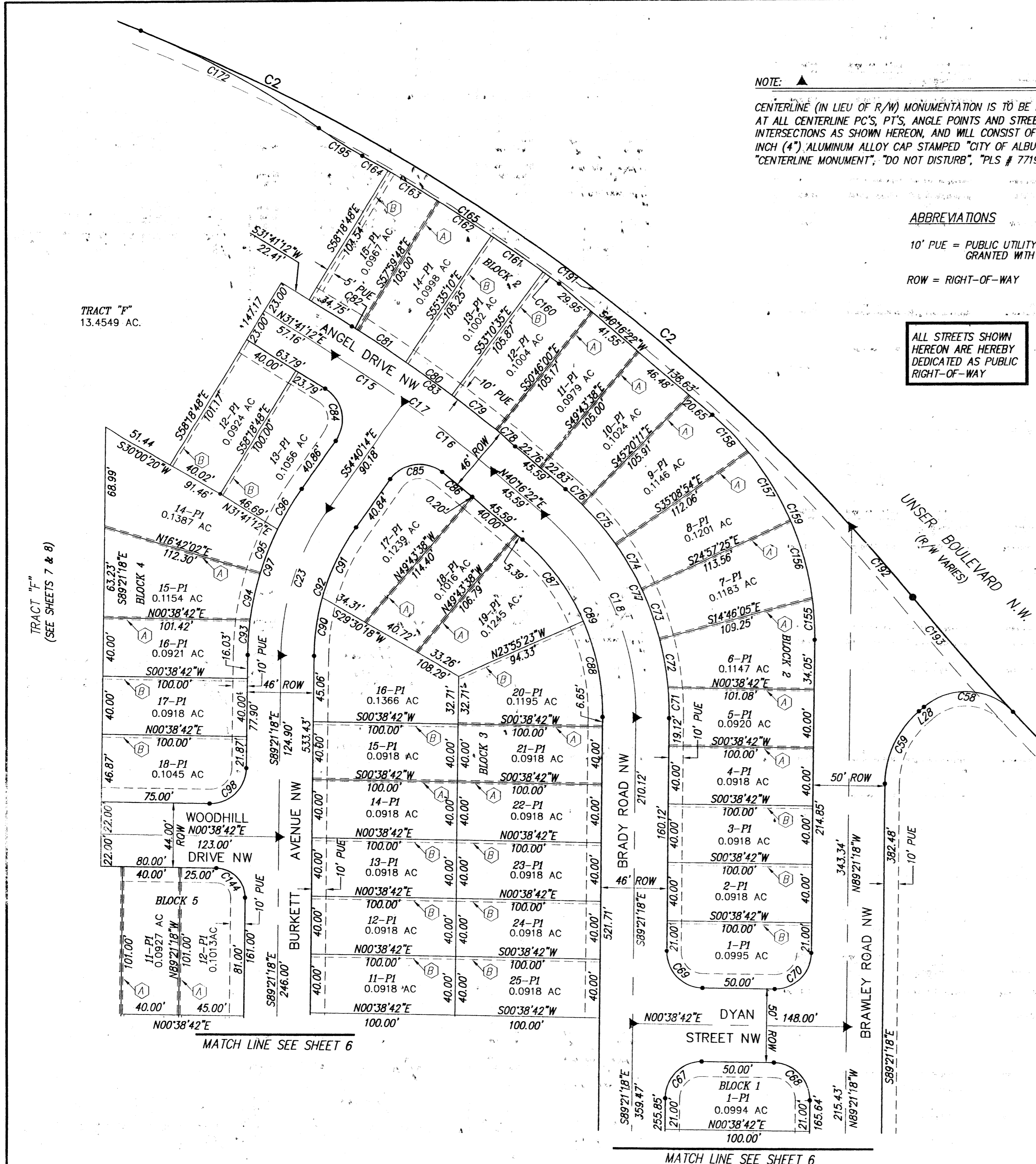
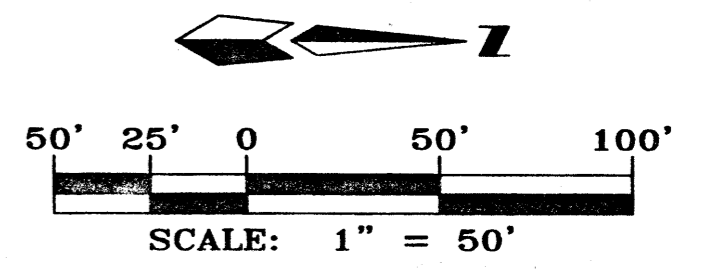
**ABBREVIATIONS**  
 10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT  
 ROW = RIGHT-OF-WAY

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

**PRIVATE DRAINAGE EASEMENTS:**

2' wide private drainage easements are located in some side yards as shown hereon. Where the difference in elevation between the two adjacent pads is 0.8' or less the easement is centered on the lot line. Where the difference is more than 0.8' but less than 1.4' the easement is entirely on the low side of the lot line and immediately adjacent to that lot line. Where the easement is centered on the lot line it is for the mutual benefit of both lot owners and is to be jointly maintained. Where the easement is entirely on the low side of the lot line the easement is for the benefit of the adjacent "high side" lot owner and shall be maintained by the underlying "low side" lot owner. Neither lot owner is allowed to change the planned grade within the 2' wide private drainage easement, nor shall either lot owner place any loose material adjacent to the easement that has the potential to be moved into the drainage easement or in any other way block drainage in any portion of the easement, except that a fence or block wall may be centered on the lot line. Under no circumstances shall the grade adjacent to the easement on either side of the easement be changed except by a structurally sound retaining wall, as designed by a registered professional engineer or architect. Where no easement is shown on the plat each lot owner must construct, operate and maintain his own separate swale all the way to the street and cross lot drainage will be prevented by some combination of walls and berms on the common lot line to be jointly maintained by both lot owners.

- EASEMENTS**
- (A) 2' PRIVATE DRAINAGE EASEMENT CENTERED ON LOT LINE (SEE NOTE THIS SHEET)
  - (B) 2' PRIVATE DRAINAGE EASEMENT ON LOW SIDE OF LOT LINE (SEE NOTE THIS SHEET)



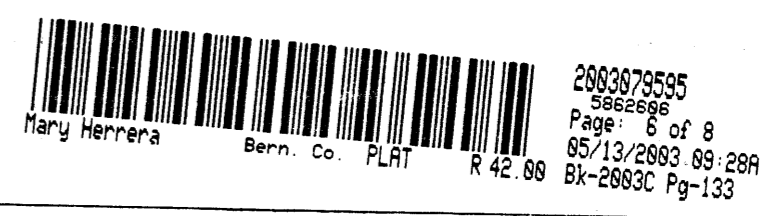
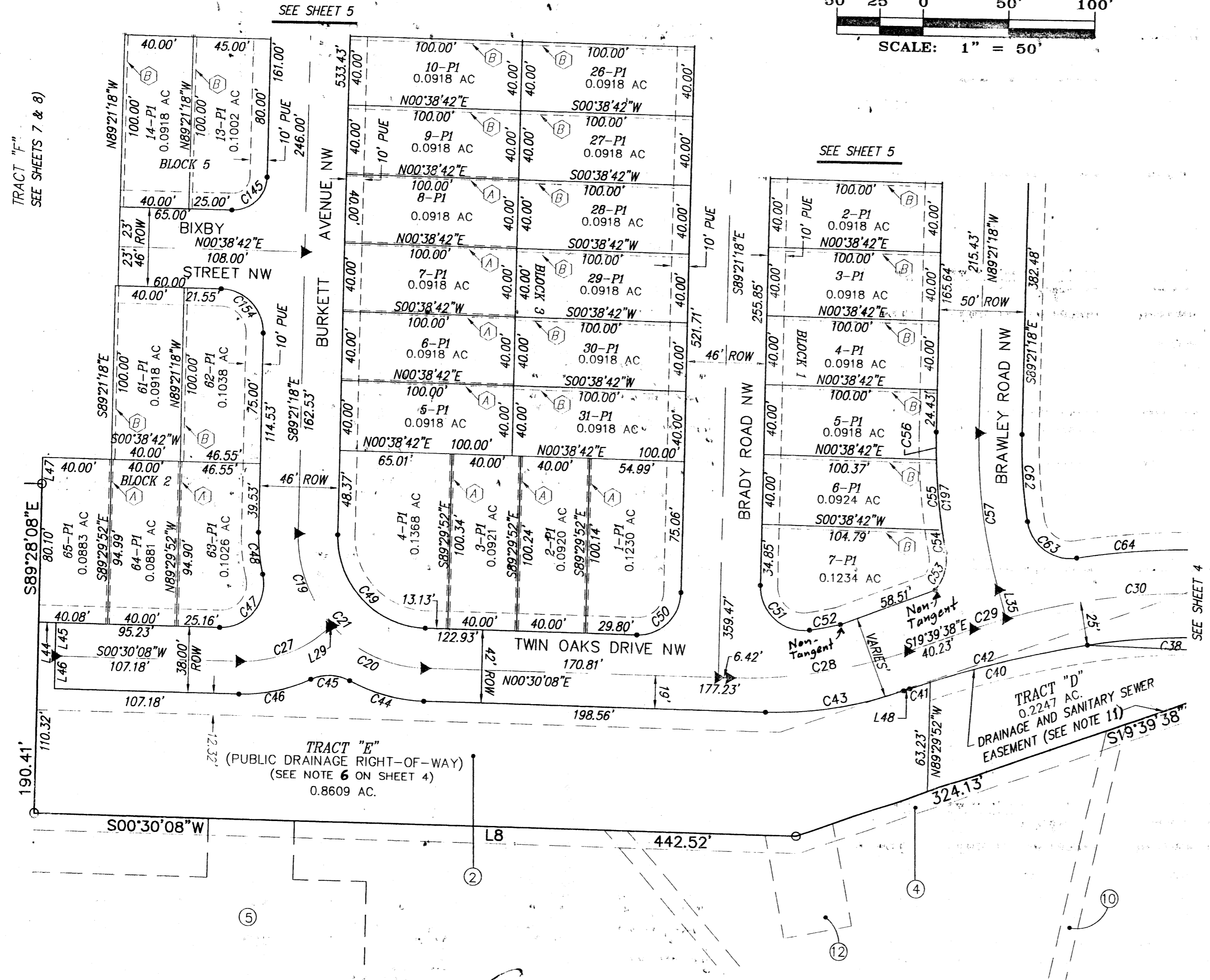
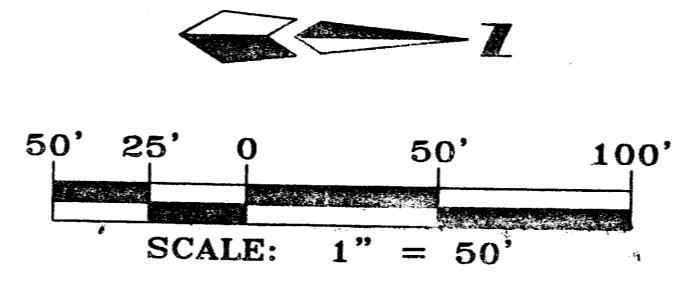
TRACT "A"  
 5.0719 AC.

*Richard*  
 03-27-03

PLAT FOR  
**WEST RIDGE SUBDIVISION**  
**UNIT 1**

WITHIN THE  
 TOWN OF ATRISCO GRANT  
 PROJECTED SECTIONS 3, 4, 9 AND 10  
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 MARCH, 2003

NOTE: ▲  
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED  
 AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET  
 INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR  
 INCH (4") ALUMINUM ALLOY CAP, STAMPED "CITY OF ALBUQUERQUE",  
 "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".



CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C15	907.58	57.70	3°38'34"	28.86	S33°30'29"W	57.69
C16	907.58	78.30	4°56'36"	39.18	S37°48'04"W	78.28
C17	907.58	136.01	8°35'10"	68.13	S35°58'47"W	135.88
C18	180.00	158.25	50°22'20"	84.65	S65°27'32"W	153.20
C19	75.00	57.51	43°55'55"	30.25	N68°40'45"E	56.11
C20	75.00	60.49	46°12'39"	32.00	N23°36'27"E	58.86
C21	75.00	118.00	90°08'35"	75.19	N45°34'25"E	106.20
C23	180.00	108.96	34°41'04"	56.21	S72°00'46"E	107.31
C27	75.00	57.32	43°47'21"	30.14	N21°23'33"W	55.94
C28	300.00	105.57	20°09'46"	53.34	N09°34'45"W	105.03
C29	375.00	20.03	3°03'36"	10.02	S18°07'50"E	20.02
C30	375.00	438.00	66°55'19"	247.84	S16°51'37"W	413.53
C31	375.00	458.03	69°58'55"	262.49	S15°19'49"W	430.08
C32	350.00	234.21	38°20'26"	121.68	N31°09'04"E	229.86
C33	25.00	37.31	85°30'44"	23.11	N30°46'32"W	33.94
C34	25.00	38.96	89°16'45"	24.69	S56°37'13"W	35.13
C35	375.00	250.94	38°20'26"	130.37	N31°09'04"E	246.28
C36	325.00	217.48	38°20'26"	112.99	N31°09'04"E	213.44
C37	350.00	229.04	37°29'37"	118.79	S31°34'28"W	227.97
C38	350.00	138.44	22°39'49"	70.14	S01°29'45"W	134.54
C39	350.00	367.48	60°09'26"	202.71	S20°14'34"W	350.83
C40	622.75	94.19	8°39'58"	47.19	S14°10'08"E	94.10
C41	622.75	12.59	1°09'31"	6.30	S19°04'52"E	12.59
C42	622.75	106.78	9°49'29"	53.52	S14°44'54"E	106.65
C43	231.64	81.51	20°09'46"	41.18	N09°34'45"W	81.09
C44	94.00	44.86	27°20'34"	22.86	N14°10'25"E	44.43
C45	25.00	23.99	54°58'59"	13.01	S00°21'12"W	23.08
C46	94.00	43.11	26°16'31"	21.94	N12°38'08"W	42.73
C47	25.00	45.43	104°07'01"	32.07	N51°33'23"W	39.43
C48	98.00	24.39	14°15'36"	12.26	N83°30'54"E	24.33
C49	52.00	81.81	90°08'35"	52.13	N45°34'25"E	73.63
C50	25.00	39.21	89°51'25"	24.94	N44°25'35"W	35.31
C51	25.00	43.52	99°44'59"	29.66	N40°46'12"E	38.23
C52	275.00	18.22	3°47'46"	8.35	N11°00'10"W	18.22
C53	25.00	23.35	53°30'47"	12.55	N74°43'35"W	22.51
C54	325.00	12.95	2°17'00"	6.48	N79°39'32"E	12.95
C55	325.00	40.27	7°05'57"	20.16	N84°21'00"E	40.24
C56	325.00	15.57	2°44'44"	7.79	N89°16'20"E	15.57
C57	300.00	90.30	17°14'45"	45.49	N82°01'20"E	89.96
C58	45.00	67.96	86°31'47"	42.35	S03°13'50"W	61.68
C59	66.00	56.81	49°19'15"	30.30	S64°41'40"E	55.08
C62	275.00	49.65	10°20'38"	24.89	N85°28'23"E	49.58
C63	25.00	39.23	89°53'59"	24.96	N35°21'05"E	35.32
C64	400.00	226.96	32°30'36"	116.63	S06°39'24"W	223.93
C65	400.00	191.36	27°24'35"	97.55	S36°36'59"W	189.54
C66	400.00	418.32	59°55'11"	230.57	S20°21'41"W	399.51
C67	25.00	39.27	90°00'00"	25.00	S44°21'18"E	35.36
C68	25.00	39.27	90°00'00"	25.00	S45°38'42"W	35.36
C69	25.00	39.27	90°00'00"	25.00	N45°38'42"E	35.36
C70	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C71	203.00	20.91	5°54'11"	10.47	S87°41'37"W	20.91
C72	203.00	33.69	9°30'36"	16.89	S79°59'13"W	33.66

LINE TABLE					
LINE ID	LENGTH	BEARING	LINE ID	LENGTH	BEARING
L17	420.00	S89°27'44"E	L37	32.42	N33°03'06"W
L18	1497.99	S89°28'50"E	L38	14.96	N23°50'44"E
L19	60.00	S00°34'47"W	L39	45.32	N31°07'45"E
L20	455.56	N89°31'13"W	L40	50.93	N76°13'00"E
L21	268.09	N89°19'36"W	L41	46.73	S50°54'18"E
L22	51.36	N88°33'57"W	L42	53.15	N16°40'26"E
L23	1014.26	N89°22'33"W	L43	30.70	S86°36'04"E
L24	378.63	N89°22'47"W	L44	10.01	N00°30'08"E
L28	4.52	N40°02'03"W	L45	19.00	S89°29'52"E
L29	1.79	N43°17'13"W	L46	19.00	S89°29'52"E
L35	16.79	N73°23'57"E	L47	15.00	S89°21'18"E
L36	89.38	N16°22'38"E	L48	3.78	S19°39'38"E

**ABBREVIATIONS**

10' PUE = PUBLIC UTILITY EASEMENTS  
 GRANTED WITH THIS PLAT  
 ROW = RIGHT-OF-WAY

**EASEMENTS**

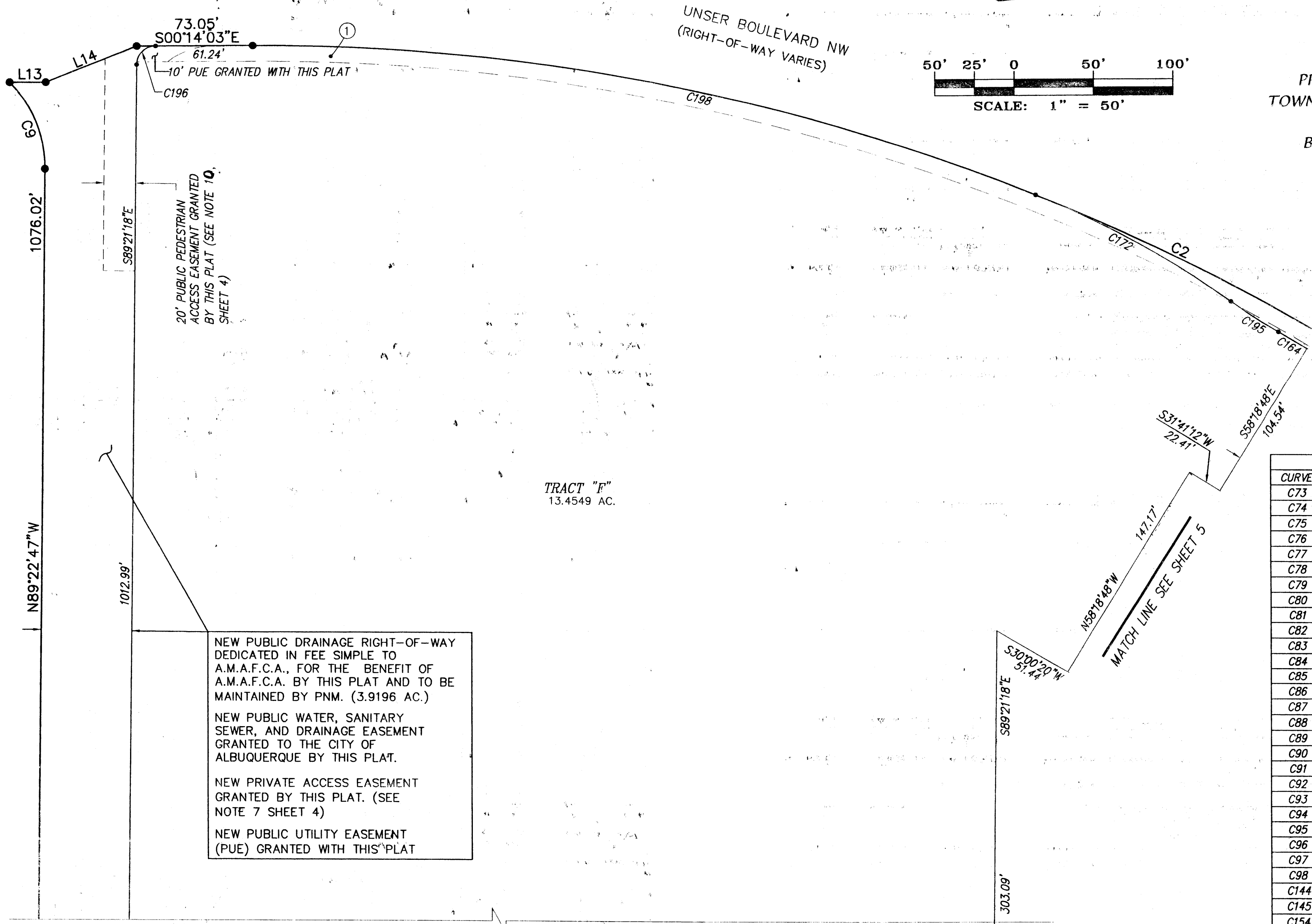
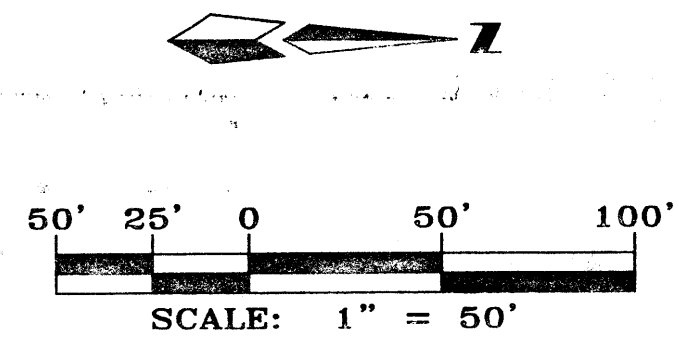
- (A) 2' PRIVATE DRAINAGE EASEMENT  
 CENTERED ON LOT LINE  
 (SEE NOTE SHEET 5)
- (B) 2' PRIVATE DRAINAGE EASEMENT  
 ON LOW SIDE OF LOT LINE  
 (SEE NOTE SHEET 5)

ALL STREETS SHOWN  
 HEREON ARE HEREBY  
 DEDICATED AS PUBLIC  
 RIGHT-OF-WAY

*Handwritten signature and date: 05-07-03*

PLAT FOR  
**WEST RIDGE SUBDIVISION**  
**UNIT 1**

WITHIN THE  
TOWN OF ATRISCO GRANT  
PROJECTED SECTIONS 3, 4, 9 AND 10  
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM  
CITY OF ALBUQUERQUE  
BERNALILLO COUNTY, NEW MEXICO  
MARCH, 2003



TRACT "F"  
13.4549 AC.

NEW PUBLIC PEDESTRIAN ACCESS EASEMENT GRANTED BY THIS PLAT (SEE NOTE 10, SHEET 4)

NEW PUBLIC DRAINAGE RIGHT-OF-WAY DEDICATED IN FEE SIMPLE TO A.M.A.F.C.A., FOR THE BENEFIT OF A.M.A.F.C.A. BY THIS PLAT AND TO BE MAINTAINED BY PNM. (3.9196 AC.)

NEW PUBLIC WATER, SANITARY SEWER, AND DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.

NEW PRIVATE ACCESS EASEMENT GRANTED BY THIS PLAT. (SEE NOTE 7 SHEET 4)

NEW PUBLIC UTILITY EASEMENT (PUE) GRANTED WITH THIS PLAT

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C73	203.00	36.10	10°11'20"	18.10	S70°08'15"W	36.05
C74	203.00	36.11	10°11'30"	18.10	S59°56'51"W	36.06
C75	203.00	36.10	10°11'17"	18.10	S49°45'27"W	36.05
C76	203.00	15.56	4°23'26"	7.78	S42°28'05"W	15.55
C77	203.00	178.47	50°22'20"	95.46	S65°27'32"W	172.78
C78	930.58	16.88	1°02'22"	8.44	S39°45'11"W	16.88
C79	930.58	39.14	2°24'36"	19.57	S38°01'43"W	39.14
C80	930.58	39.14	2°24'35"	19.57	S35°37'07"W	39.14
C81	930.58	39.15	2°24'38"	19.58	S33°12'31"W	39.15
C82	930.58	5.14	0°18'59"	2.57	S31°50'42"W	5.14
C83	930.58	139.45	8°35'10"	69.86	S35°58'47"W	139.32
C84	25.00	40.86	93°38'34"	26.64	S78°30'29"W	36.46
C85	25.00	40.67	93°12'04"	26.44	S08°04'12"E	36.33
C86	884.58	26.90	1°44'32"	13.45	S39°24'06"W	26.90
C87	157.00	70.71	25°48'14"	35.96	S53°10'29"W	70.11
C88	157.00	67.32	24°34'05"	34.19	S78°21'39"W	66.81
C89	157.00	138.03	50°22'20"	73.83	S65°27'32"W	133.63
C90	157.00	40.36	14°43'45"	20.29	S81°59'25"E	40.25
C91	157.00	54.68	19°57'19"	27.62	S64°38'53"E	54.41
C92	157.00	95.04	34°41'04"	49.03	S72°00'46"E	93.60
C93	203.00	24.03	6°46'58"	12.03	S85°57'49"E	24.02
C94	203.00	32.85	9°16'22"	16.46	S77°56'09"E	32.82
C95	203.00	33.33	9°24'27"	16.70	S68°35'45"E	33.29
C96	203.00	32.67	9°13'17"	16.37	S59°16'52"E	32.64
C97	203.00	122.89	34°41'04"	63.39	S72°00'46"E	121.02
C98	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C144	20.00	31.42	90°00'00"	20.00	S45°38'42"W	28.28
C145	20.00	31.42	90°00'00"	20.00	N44°21'18"W	28.28
C154	25.00	39.27	90°00'00"	25.00	S45°38'42"W	35.36
C155	200.00	28.15	8°03'55"	14.10	S86°36'45"W	28.13
C156	200.00	56.19	16°05'45"	28.28	S74°31'55"W	56.00
C157	200.00	56.31	16°07'50"	28.34	S58°25'07"W	56.12
C158	200.00	35.19	10°04'49"	17.64	S45°18'47"W	35.14
C159	200.00	175.83	50°22'20"	94.05	S65°27'32"W	170.22
C160	1310.00	13.65	0°35'50"	6.83	S36°02'51"W	13.65
C161	1310.00	43.58	1°54'22"	21.79	S34°47'45"W	43.58
C162	1310.00	43.57	1°54'21"	21.79	S32°53'23"W	43.57
C163	1310.00	40.47	1°46'13"	20.24	S31°03'07"W	40.47
C164	1310.00	20.55	0°53'56"	10.28	S29°43'02"W	20.55
C165	1310.00	161.84	7°04'42"	81.02	S32°48'25"W	161.73
C172	577.00	140.36	13°56'16"	70.53	S28°35'46"W	140.01
C186	1265.00	31.94	1°26'48"	15.97	N72°48'30"W	31.94
C187	1265.00	72.57	3°17'13"	36.29	N75°10'30"W	72.56
C188	610.17	16.29	1°31'47"	8.15	S73°18'24"E	16.29
C189	610.17	49.72	4°40'07"	24.87	S76°24'21"E	49.71

*Handwritten signature and date:*  
05-07-03

NOTE: ▲  
CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

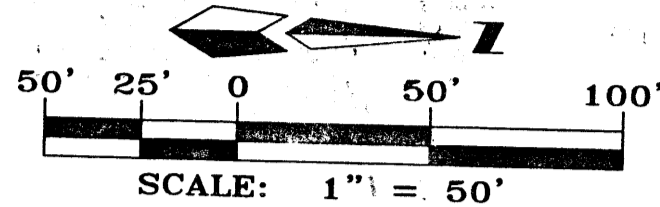
ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

ABBREVIATIONS  
10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT  
ROW = RIGHT-OF-WAY

EASEMENTS  
A 2' PRIVATE DRAINAGE EASEMENT CENTERED ON LOT LINE (SEE NOTE SHEET 5)  
B 2' PRIVATE DRAINAGE EASEMENT ON LOW SIDE OF LOT LINE (SEE NOTE SHEET 5)

NOTE: ▲

CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".



MATCH LINE SEE SHEET 7

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C190	610.17	207.33	19°28'07"	104.67	S88°28'28"E	206.33
C191	1322.00	602.65	26°07'08"	306.65	S34°42'05"W	597.44
C192	1322.00	64.55	2°47'51"	32.28	S49°09'35"W	64.54
C193	1478.00	104.81	4°03'46"	52.43	N48°31'37"E	104.78
C194	1478.00	344.69	13°21'44"	173.13	N39°48'52"E	343.91
C195	323.00	35.50	6°17'50"	17.77	N32°24'59"E	35.48
C196	12.00	18.67	89°07'15"	11.82	S44°47'40"E	16.84
C197	325.00	68.79	12°07'41"	34.53	N84°34'52"E	68.67
C198	1322.00	504.75	21°52'34"	255.49	S10°42'14"W	501.69

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 Page: 8 of 8  
 05/13/2003 09:28A  
 BK-2863C Pg-133

PLAT FOR  
**WEST RIDGE SUBDIVISION**  
 UNIT 1  
 WITHIN THE  
 TOWN OF ATRISCO GRANT  
 PROJECTED SECTIONS 3, 4, 9 AND 10  
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM  
 CITY OF ALBUQUERQUE  
 BERNALILLO COUNTY, NEW MEXICO  
 MARCH, 2003

**DESCRIPTION**

A tract of land situate within the Town of Atrisco Grant, projected Sections 3, 4, 9 and 10, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 5A1-A, VOLCANO BUSINESS PARK as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 26, 2002 in Book 2002C, Page 96 and all of TRACTS A-1 and B-1, EL RANCHO ATRISCO, PHASE II as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 12, 1987 in Volume C32, Folio 185 together with all of LANDS OF PLAINS ELECTRIC COOPERATIVE, INC. as the same is described in a WARRANTY DEED filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 14, 1964 in Book D756, Page 258 together with a portion of VACATED OLD OURAY ROAD N.W. and being more particularly described as follows:

BEGINNING at a point of the herein described tract from whence the Albuquerque Control Survey Monument "2-G9" bears N 41°10'23" W, 946.51 feet;

THENCE 95.63 feet along a curve to the right, whose radius is 60.00 feet through a central angle of 91°19'20" and whose chord bears N 63°33'12" E, 85.83 feet to a point of tangency;

THENCE S 70°47'08" E, 129.37 to a point of curvature;

THENCE 78.36 feet along a curve to the left, whose radius is 795.00 feet through a central angle of 05°38'50" and whose chord bears S 73°36'33" E, 78.33 feet to a point of reverse curvature;

THENCE 104.51 feet along a curve to the right, whose radius is 1265.00 feet through a central angle of 04°44'01" and whose chord bears S 74°27'06" E, 104.48 feet to a point of reverse curvature;

THENCE 273.34 feet along a curve to the left, whose radius is 610.17 feet through a central angle of 25°40'01" and whose chord bears S 85°22'31" E, 271.06 feet to a point;

THENCE S 00°31'10" W, 460.02 feet to a point; THENCE N 89°20'50" W, 483.97 feet to a point;

THENCE S 19°39'38" E, 324.13 feet to a point; THENCE S 00°30'08" W, 442.52 feet to a point;

THENCE N 89°28'08" W, 190.41 feet to a point; THENCE S 00°38'29" W, 518.45 feet to a point;

THENCE S 89°27'44" E, 420.00 feet to a point; THENCE S 89°28'50" E, 1497.99 feet to a point;

THENCE S 00°34'47" W, 60.00 feet to a point; THENCE N 89°31'13" W, 455.56 feet to a point;

THENCE N 89°19'36" W, 268.09 feet to a point; THENCE N 88°33'57" W, 51.36 feet to a point;

THENCE N 89°22'33" W, 1014.26 feet to a point; THENCE N 89°22'47" W, 1076.02 feet to a point of curvature;

THENCE 59.98 feet along a curve to the left, whose radius is 75.00 feet through a central angle of 45°49'04" and whose chord bears S 67°42'51" W, 58.39 feet to a point on tangent;

THENCE N 00°13'43" E, 22.73 feet to a point; THENCE N 21°38'44" W, 61.88 feet to a point;

THENCE N 00°14'03" W, 73.03 feet to a point of curvature;

THENCE 1171.95 feet along a curve to the right, whose radius is 1322.00 feet through a central angle of 50°47'33" and whose chord bears N 25°09'44" E, 1133.95 feet to a point of reverse curvature;

THENCE 449.50 feet along a curve to the left, whose radius is 1478.00 feet through a central angle of 17°25'30" and whose chord bears N 41°50'45" E, 447.77 feet to a point on tangent;

THENCE N 36°08'53" E, 111.22 feet to a point on curvature;

THENCE 284.65 feet along a curve to the left, whose radius is 1488.00 feet through a central angle of 10°57'38" and whose chord bears N 23°22'21" E, 284.22 feet to the point of beginning and containing 40.1665 acres more or less.

NEW PUBLIC DRAINAGE RIGHT-OF-WAY DEDICATED IN FEE SIMPLE TO A.M.A.F.C.A., FOR THE BENEFIT OF A.M.A.F.C.A. BY THIS PLAT AND TO BE MAINTAINED BY PNM. (3.9196 AC.)

NEW PUBLIC WATER, SANITARY SEWER, AND DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.

NEW PRIVATE ACCESS EASEMENT GRANTED BY THIS PLAT. (SEE NOTE 7 SHEET 4)

NEW PUBLIC UTILITY EASEMENT (PUE) GRANTED WITH THIS PLAT

TRACT "F"  
 13.4549 AC.

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

**ABBREVIATIONS**  
 10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT  
 ROW = RIGHT-OF-WAY

**EASEMENTS**  
 (A) 2' PRIVATE DRAINAGE EASEMENT CENTERED ON LOT LINE (SEE NOTE SHEET 5)  
 (B) 2' PRIVATE DRAINAGE EASEMENT ON LOW SIDE OF LOT LINE (SEE NOTE SHEET 5)

05-07-03

