

#3



Complete Ag 3-1-06

DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-00240 (SBP)
Project Name WEST RIDGE SUBD. UNIT 1
Agent: JLS Architects

Project # 1001932
Phone No.: 246-0437

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 3-1-06 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: Minor site revisions. ok [initials] 3-1-06

UTILITIES:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): 3 Copies of Site Plan. ok [initials]

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1001932

#3



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UTILITIES:

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CITY ENGINEER / AMAFCA:

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PARKS / CIP:

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PLANNING (Last to sign): 3 Copies of Site Plan

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Project Number 1001932

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT

#3

INTER-OFFICE MEMO

DATE: February 24, 2006
TO: Sheran Matson, DRB Chair
FROM: Catalina Lehner, Planner
RE: Project #1001932, Twin Oaks

On January 19th, 2006, the EPC approved, with conditions, a Site Development Plan for Building Permit for Tract B, amended plat for Westridge Subdivision, Unit 1. Staff met with the applicant, Jared Kline of JLS Architects, on February 6th, 2006 to check for compliance with the Conditions of Approval.

The Site Development Plan for Building Permit (dated February 7th, 2006) satisfactorily meets the EPC conditions as elaborated in the Official Notification of Decision.

If you have any questions regarding this case, please call me at 924-3935.



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

March 1, 2006

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 10:30 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1004540**
06DRB-00117 Major-Vacation of Pub
Right-of-Way
06DRB-00118 Major-Vacation of Public
Easements

WILSON & COMPANY agent(s) for KB HOME NEW MEXICO & LONGFORD HOMES request(s) the above action(s) for all or a portion of Lot(s) 1, 4, 5, 6 & 19, Block(s) 2, 5 & 6, VOLCANO CLIFFS, UNITS 14 & 25, AND Tract(s) D, VISTA VIEJA, UNIT 2 (to be known as **BOCA NEGRA DAM SUBDIVISION**) zoned R-1 residential zone, located on 81ST STREET NW, between COMPASS DR NW and UNSER BLVD NW containing approximately 25 acre(s). [REF: 05DRB01713] (D-9,D-10) **VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH A CONDITION OF FINAL PLAT.**

2. **Project # 1003800**
05DRB-01906 Major-Vacation of Pub
Right-of-Way
05DRB-01908 Minor-Prelim&Final Plat
Approval
05DRB-01907 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for PETE DASKALOS, LLAVE HOMES request(s) the above action(s) for all or a portion of Lot(s) 1-4, Block(s) 2, NORTH ALBUQUERQUE ACRES, UNIT 3 (to be known as **LA CUEVITA OESTE**) zoned R-D residential and related uses zone, developing area, located on EAGLE ROCK AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 4 acre(s). [REF: 04DRB01820] [Deferred from 1/11/06 & 2/1/06 & 2/15/06 & 3/1/06] (C-20) **DEFERRED AT THE AGENT'S REQUEST TO 3/15/06.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

3. **Project # 1001932**
06DRB-00240 Minor-SiteDev Plan
BldPermit/EPC

JLS ARCHITECTS agent(s) for CARE GIVERS OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Tract(s) B, **WEST RIDGE SUBDIVISION, UNIT 1**, zoned SU-1, C-1, IP USES, located on OURAY RD NW, between UNSER BLVD NW and TWIN OAKS DR NW containing approximately 2 acre(s). [REF: Z-80-87, AX-80-18, 05DRB00523, 05EPC01804] [**Catalina Lehner, EPC Case Planner**] (G-10) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR MINOR SITE REVISIONS AND TO PLANNING FOR 3 COPIES OF THE SITE PLAN.**

4. **Project # 1000184**
06DRB-00245 Minor-SiteDev Plan
BldPermit/EPC

DESIGN GROUP agent(s) for BELVEDERE LLC. request(s) the above action(s) for all or a portion of Lot(s) B1A, **BANNER SQUARE ADDITION**, zoned SU-2/SU-1 PUD, located on BROADWAY AVE NE, between TIJERAS AVE NE and DR. MARTIN LUTHER KING BLVD NE containing approximately 2 acre(s). [REF: DRB-94-161, LUCC-98-14, V-71-27, 06EPC-0001406, 06LUCC-00015] [**David Stallworth, EPC Case Planner**] (K-14) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3**

COPIES OF THE SITE PLAN, DAVID STALLWORTH'S INITIALS AND A CHANGE ON THE LANDSCAPE PLAN.

5. **Project # 1004474**
06DRB-00243 Minor-SiteDev Plan
Subdivision/EPC

COMMUNITY SCIENCE CORPORATION agent(s) for KB HOME NEW MEXICO request(s) the above action(s) for all or a portion of parcels of land situated within, Section 9, Township 10 North, Range 3 East, Tract(s) F-1, **LANDS OF MENAUL SCHOOLS** & an Easterly Portion of Tract(s) 1-A-1-B, all of Tract(s) 1-C and 1-A-1-A-2, and a portion of Tract(s) 1-B, zoned SU-1 FOR PRD, located on MENAUL BLVD NE, between BROADBENT PARKWAY NE and BROADBENT BLVD NE containing approximately 17 acre(s). [REF: 05EPC01568, 05EPC01569] *[Deferred from 3/1/06]* **[David Stallworth, EPC Case Planner]** (H-15) **DEFERRED AT THE BOARD'S REQUEST TO 3/8/06.**

06DRB-00214 Minor- Prelim&Final Plat
Approval

COMMUNITY SCIENCES CORPERATION agent(s) for KB HOME OF NEW MEXICO request(s) the above action(s) for Tract(s) F-1, 1-B, 1-A-1-A-2, 1-C, 3-A AND 1-A-1-B, **LANDS OF MENAUL SCHOOL, MRGCD MAP #36**, zoned SU-1 FOR PRD, located on MENAUL BLVD NW, between BROADBENT PARKWAY NW and BROADWAY BLVD NW containing approximately 45 acre(s). [REF: 05EPC-01568, 05EPC-01569] *[Deferred from 2/22/06 & 3/1/06]* (H-15) **DEFERRED AT THE BOARD'S REQUEST TO 3/8/06.**

6. **Project # 1004367**
06DRB-00216 Minor-SiteDev Plan
BldPermit/EPC

ADVANCED ENGINEERING & CONSULTING agent(s) for DAVID ELLEN request(s) the above action(s) for Tract(s) 48 & 49, Lot(s) 63-65, M.R.G.C.D. MAP 29, **CALAVERO ADDITION**, zoned SU-1 FOR IP, located on EDITH BLVD NE, between OSUNA RD NE and TYLER RD NE containing approximately 6 acre(s). [REF: Z-99-33,AX-99-7, 05EPC01266] **[Catalina Lehner, EPC Case Planner]** *[Deferred from 2/22/06]* (E-15) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 3/1/06 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR 3 COPIES OF THE SITE PLAN.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

7. **Project # 1003793**
06DRB-00244 Minor-Prelim&Final Plat Approval
- SUSAN L. HOMER request(s) the above action(s) for all or a portion of Lot(s) 18 & 19, Block(s) A, **GRANDE HEIGHTS ADDITION**, zoned R-1, located on SEQUOIA RD NW and SEQUOIA CT NW and containing approximately 1 acre(s). [REF: 06DRB00058] (G-11) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO OPEN 2 SEWER ACCOUNTS.**
8. **Project # 1004282**
06DRB-00237 Minor-Final Plat Approval
- GARCIA/KRAEMER & ASSOCIATES agent(s) for PAT MILLIGAN request(s) the above action(s) for all or a portion of Lot(s) A-1 & B-1, Block(s) A & B, **ALAMOSA ADDITION**, zoned R-T residential zone, located on TRUJILLO RD SW, between 62ND ST SW and BATAAN DR SW containing approximately 2 acre(s). [REF: 05DRB01061] (K-11) **FINAL PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD THE PLAT.**
9. **Project # 1004353**
06DRB-00238 Minor-Final Plat Approval
- SURV-TEK INC agent(s) for LONGFORD AT THE TRAILS LLC request(s) the above action(s) for all or a portion of Tract(s) 6, **SANTA FE 2 @ THE TRAILS, UNIT 2**, zoned R-LT residential zone, located on OAKRIDGE ST NW, between WOODMONT AVE NW and TREELINE AVE NW containing approximately 17 acre(s). [REF: 05DRB01120, 05DRB01119, 05DRB01285] (C-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR ROADWAY EASEMENT FOR TREELINE, DEDICATION OF TREELINE AND CROSS-ACCESS EASEMENTS AND TO PLANNING TO RECORD.**

10. **Project # 1004658**
06DRB-00239 Minor-Temp Defer SDWK

SURV-TEK INC agent(s) for ESMAIL HAIDARI request(s) the above action(s) for all or a portion of Tract(s) A, **VINEYARD ESTATES, UNIT III A**, zoned R-D residential and related uses zone, developing area, located on VALLEJO PL NE, between HAMPTON AVE NE and CORONA AVE NE containing approximately 1 acre(s). [REF: 06DRB00086, 06DRB00087] (C-20) **THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

06DRB-00087 Minor-Final Plat Approval

SURV-TEK INC agent(s) for ESMAIL HAIDARI request(s) the above action(s) for all or a portion of Tract(s) A, **VINEYARD ESTATES, UNIT III A**, zoned R-D residential and related uses zone, developing area, located on VALLEJO PLACE NE, between HAMPTON AVE NE and CORONA AVE NE containing approximately 1 acre(s). [REF: 06DRB00086, 06DRB00087] *[Final Plat Indef Deferred for the SIA on 2/15/06]* (C-20) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR THE APPLICANT MUST PROVIDE VERIFICATION THAT A NEW 8-FOOT SAS IS IN THE CENTER OF THE 15-FOOT EASEMENT.**

11. **Project # 1004669**
06DRB-00241 Minor-Prelim&Final Plat Approval

BILLY W BACA request(s) the above action(s) for all or a portion of Lot(s) 2, Block(s) A, **JOHNSON SUBDIVISION**, zoned R-1 residential zone, located on 12TH ST NW, between AZTEC RD NW and GREIGOS RD NW containing approximately 1 acre(s). [REF: 06DRB00123,06DRB00241] (G-14) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNG FOR AGIS DXF FILE AND TO RECORD.**

12. **Project # 1004359**
06DRB-00100 Minor-Final Plat Approval

MARK SNAPP agent(s) for CALITERRA DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 17, **RICE'S DURANES ADDITION, UNIT 1**, zoned R-2 residential zone, located on RIO GRANDE BLVD NW, between INDIAN SCHOOL RD NW and RICE AVE NW containing approximately 1 acre(s). [REF: 05DRB-01244] *[Deferred from 2/1/06 & 2/8/06 & Indef deferred from 2/15/06 for the SIA]* (H-12) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

13. **Project # 1004341**
06DRB-00159 Major-Final Plat Approval

RIO GRANDE ENGINEERING agent(s) for ENCHANTMENT HOMES OF NEW MEXICO request(s) the above action(s) for all or a portion of Tract(s) 180, AIRPORT UNIT, LANDS OF ATRISCO GRANT (to be known as **MESA DEL RIO**) zoned R-2, located on 76TH ST NW, between FORTUNA RD NW and GLEN RIO RD NW containing approximately 6 acre(s). [REF: 05DRB-01203, 05DRB-01634, 05DRB-01635] *[Deferred from 2/15/06 & 2/22/06]* (L-9) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

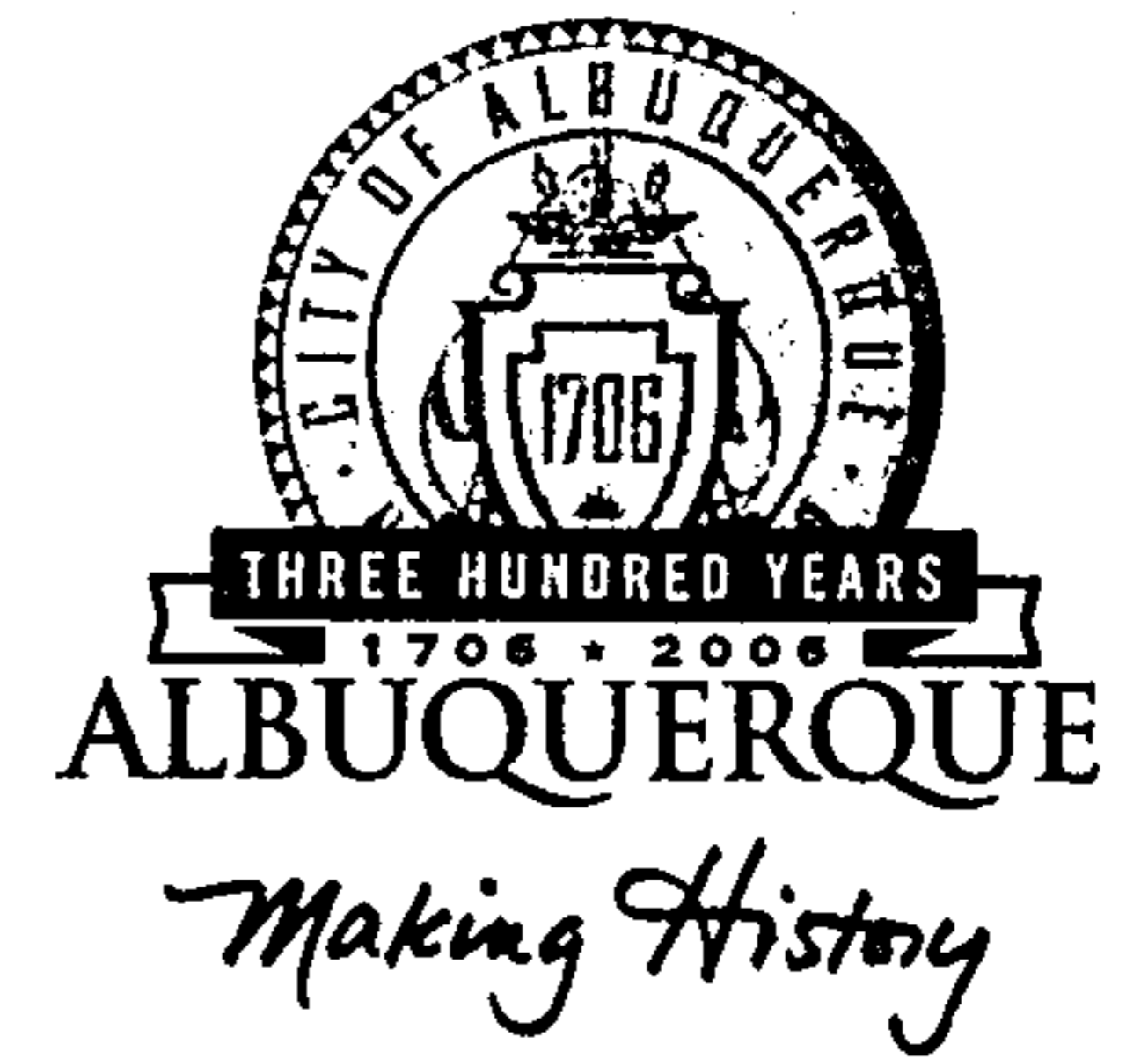
NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

THERE ARE NO SKETCH PLATS THIS WEEK. . .

14. Approval of the Development Review Board Minutes for February 22, 2006. **APPROVAL OF THE 2/22/06 DRB MINUTES WAS DEFERRED TO 3/8/06.**

ADJOURNED: 10:30 A.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001932

AGENDA ITEM NO: 3

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:(x) EXTN:() AMEND:()

ENGINEERING COMMENTS:

No adverse comments.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: March 1, 2006

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision Purposes
- for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE

- Storm Drainage Cost Allocation Plan

Supplemental form

S Z ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- L A APPEAL / PROTEST of...
- D Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: CARE GIVERS OF ALBUQUERQUE PHONE: (505) 934-0438
 ADDRESS: 2739 FOOTHILL RD SW FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87105 E-MAIL: _____
 Proprietary interest in site: CONTRACT PURCHASE List all owners: JENS DEICHMANN
 AGENT (if any): JLS ARCHITECTS PHONE: 246-0870
 ADDRESS: 1600 RIO GRANDE BLVD. NW FAX: 246-0437
 CITY: ALBUQUERQUE STATE NM ZIP 87104 E-MAIL: JJARROD@JLSARCHITECTS.COM

DESCRIPTION OF REQUEST: APPROVAL OF SITE DEVELOPMENT PLAN FOR BUILDING PERMIT FOR TWIN OAKS ASSISTED LIVING FACILITY AT 3051 TWIN OAKS DR. NW

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. B Block: _____ Unit: _____
 Subdiv. / Addn. WEST RIDGE SUBDIVISION UNIT 1
 Current Zoning: SU-1, C-1, + IP USES Proposed zoning: SAME
 Zone Atlas page(s): G-10 No. of existing lots: 1 No. of proposed lots: 1
 Total area of site (acres): 1.5685 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO
 UPC No. 101006003003032702 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: OURAY RD. NW
 Between: UNSER BLVD. NW and TWIN OAKS DR. NW

CASE HISTORY: Catalina Lehner, Epc Case Planner
 List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.):
DRB - 1001932

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE R. Jarrod Cline DATE 2-15-06
 (Print) R. JARROD CLINE Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	<u>06DRB- 00240</u>	<u>SBP</u>	<u>P(3)</u>	<u>\$ 385.00</u>
<input type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
Hearing date <u>03/01/06</u>				Total <u>\$ 405.00</u>

Sandy Handley 02/21/06
 Planner signature / date

Project # 1001932

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

R. JARROD CLINE
Applicant name (print)
R. Jarrod Cline 02/21/06
Applicant signature / date

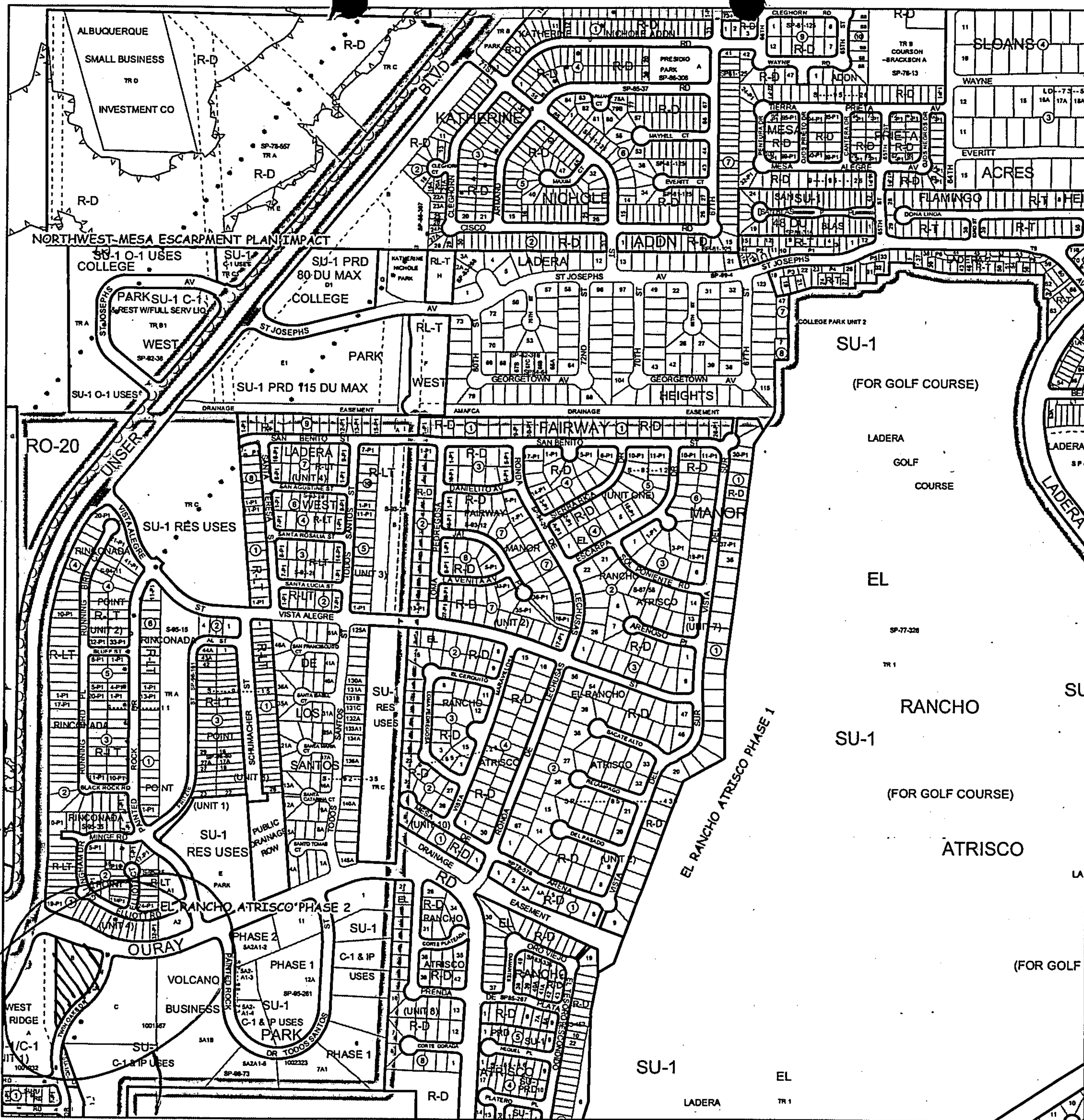


Form revised JUNE 2005

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

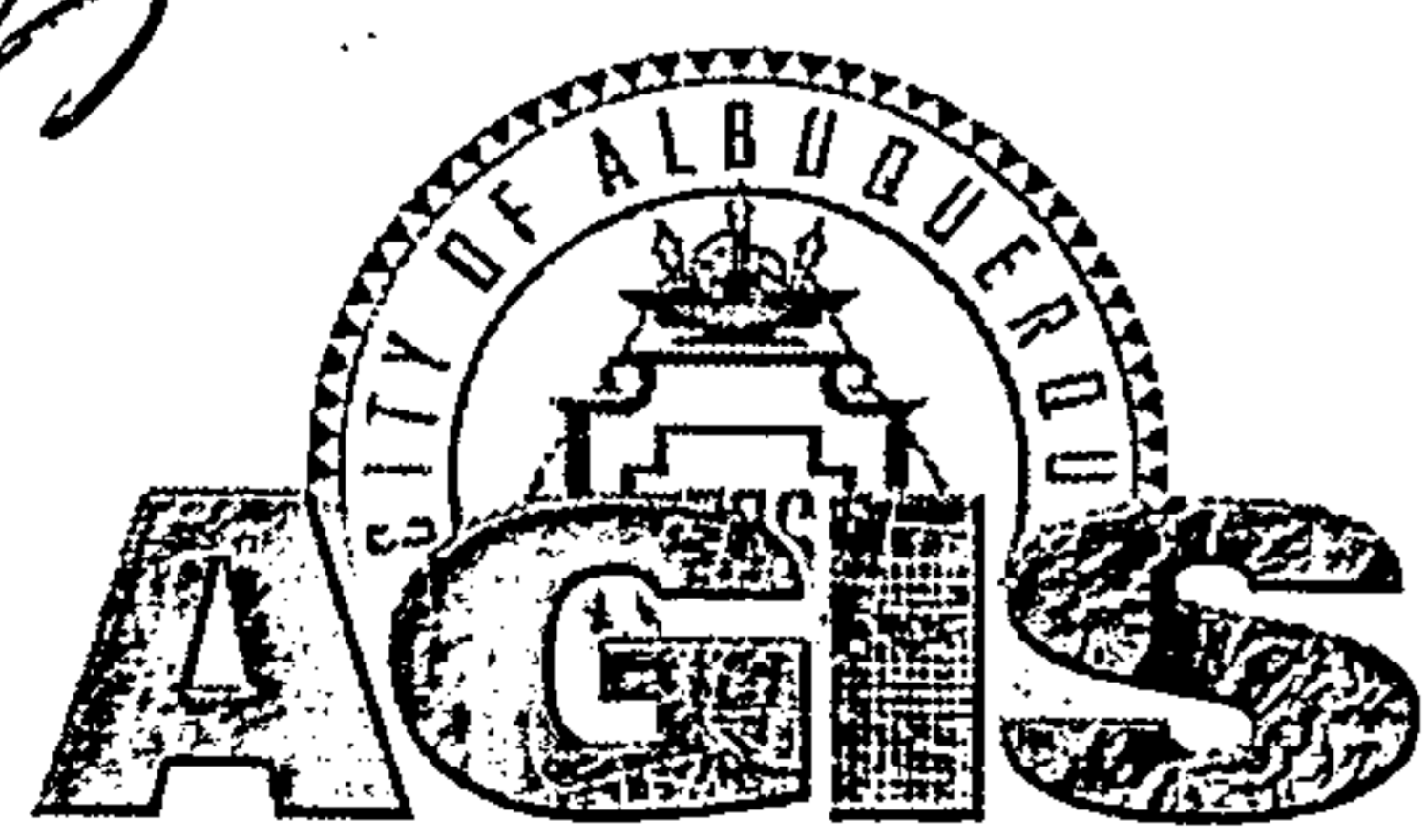
Application case numbers
06DRB - 00240
_____-_____
_____-_____

Sandy Handley 02/21/06
Planner signature / date
Project # 1001932



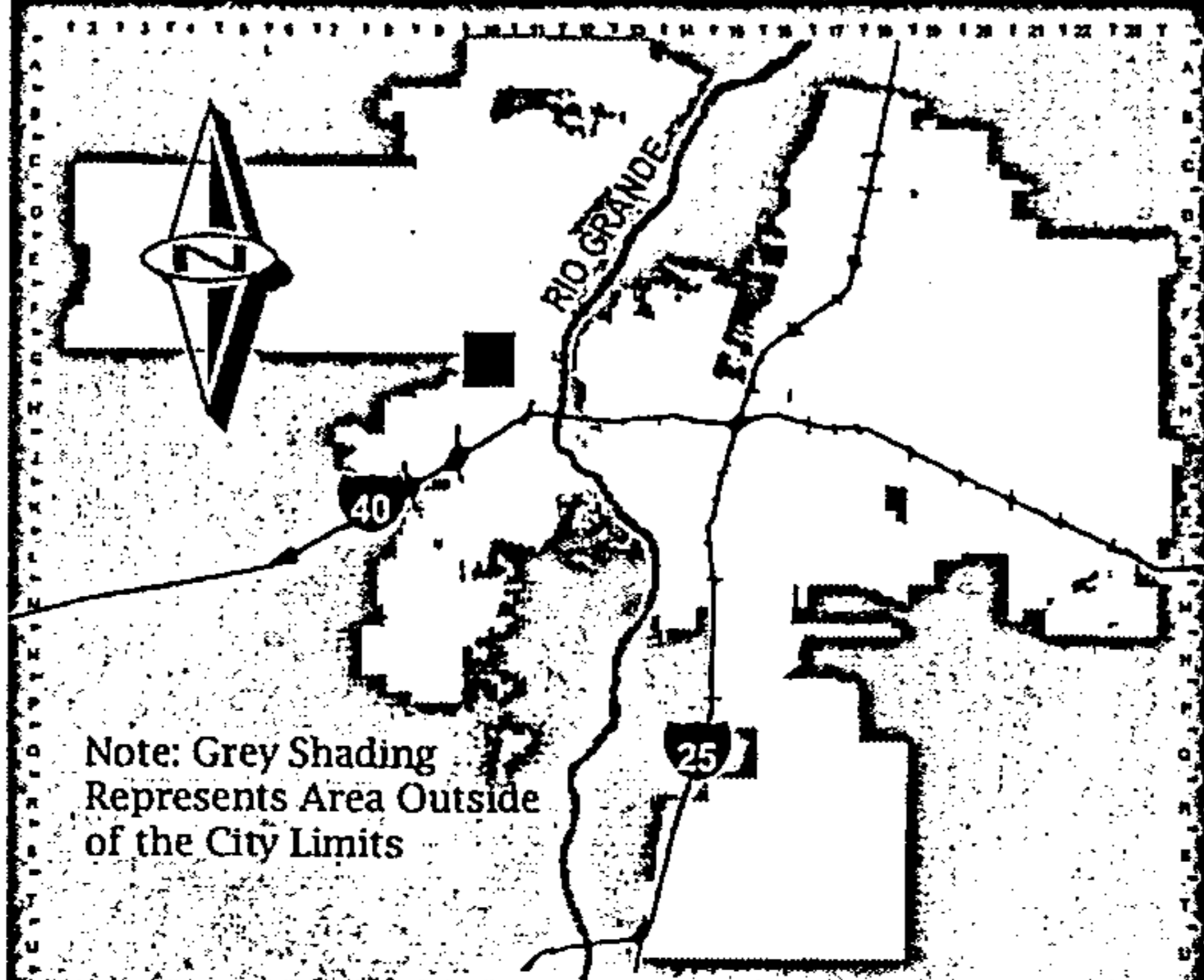
For more current information and more details visit: <http://www.cabq.gov/gis>

SITE



Albuquerque Geographic Information System

Map amended through: 11/2/2005



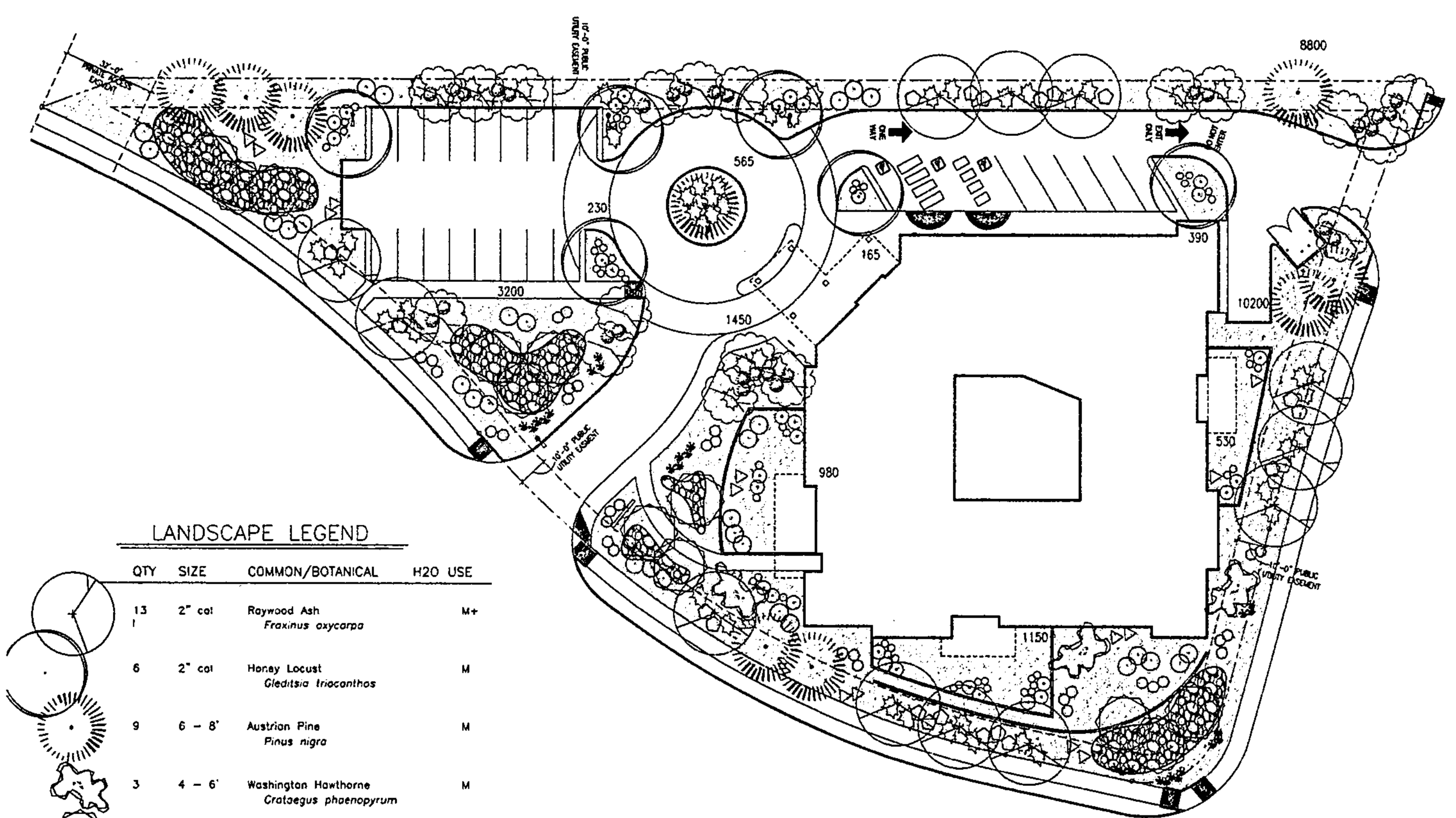
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
G-10-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

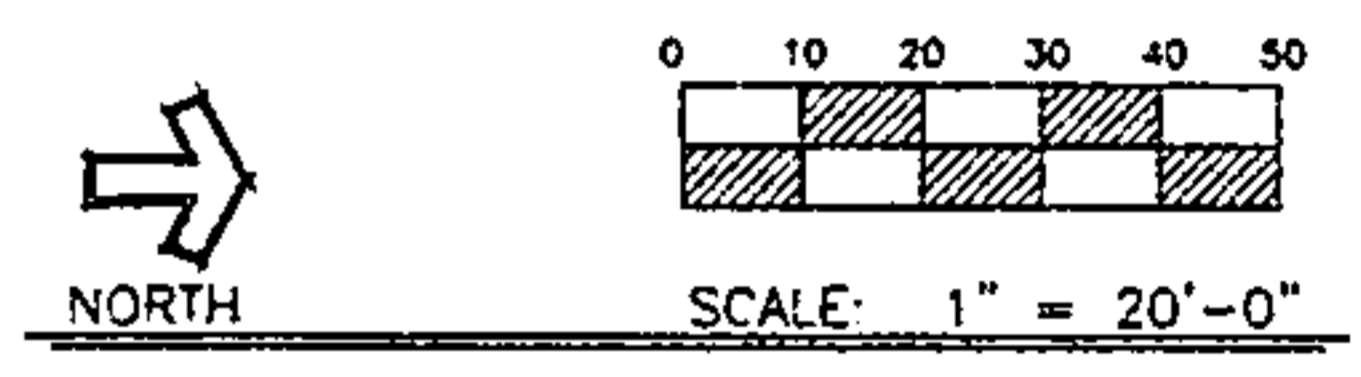
0 750 1,500
Feet



LANDSCAPE CALCULATIONS

TOTAL LOT AREA (sf)	68,400
TOTAL BUILDING AREA (sf)	16,733
NET LOT AREA (sf)	51,667
LANDSCAPE REQUIREMENT (%)	15
TOTAL LANDSCAPE REQUIRED (sf)	7,750
TOTAL LANDSCAPE PROVIDED (sf)	27,560

*ALL AREAS DESIGNATED FOR LANDSCAPING TO BE OF PERVIOUS MATERIALS AND ALL OTHER AREAS NOT DESIGNATED FOR LANDSCAPING TO BE IMPERVIOUS MATERIALS.



LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
13	2" cal	Raywood Ash <i>Fraxinus oxycarpa</i>	M+
6	2" cal	Honey Locust <i>Gleditsia triacanthos</i>	M
9	6 - 8'	Austrian Pine <i>Pinus nigra</i>	M
3	4 - 6'	Washington Hawthorne <i>Crataegus phaenopyrum</i>	M
12	2" cal	Desert Willow <i>Chilopsis linearis</i>	L
18	10-12'	Bradford Pear <i>Pyrus calleryana</i>	M
24	5 Gal	Wintergreen Barberry <i>Berberis julianae</i>	M
29	5 Gal	India Hawthorne <i>Raphiolepis indica</i>	M
54	5 Gal	Periwinkle <i>Vinca minor</i>	M
14	5 Gal	Dwarf Butterfly Bush <i>Buddleia davidii nanhoensis</i>	M
27	5 Gal	Dwarf Feathertop <i>Pennisetum villosum</i>	M
32	5 Gal	Cherry Sage <i>Salvia greggii</i>	M
32	5 Gal	Rosemary <i>Rosmarinus officinalis</i>	M
51	5 Gal	English Lavender <i>Lavendula angustifolia</i>	L
30	5 Gal	Apache Plume <i>Fallugia paradoxa</i>	L
Santa Ana Tan Crusher Fines, 3" min. depth, no fabric.			
2-4" Santa Ana Tan Cobble, Slightly Bermed, Overlayed over Crusher Fines			

LANDSCAPE NOTES

Landscape and Irrigation System maintenance shall be the responsibility of the Owner.

Landscape shall be watered by a complete underground irrigation system operated by automatic timer. Trees and shrubs shall be zoned separately. Trees shall have bubblers and shrubs shall have a minimum of 2 emitters per shrub. Point of Connection for irrigation system shall be coordinated between the Landscape Contractor and the General Contractor prior to construction.

It is the intent of this plan to comply with the City of Albuquerque Landscape Regulations Applicable to Apartments and Nonresidential Development, Revised 6/24.

Prior to Construction, Landscape Contractor shall verify location of all Utility Lines.

Landscape shall be installed according to the approved plan.

Landscape areas in excess of 36 square feet shall be planted so as to achieve 75% Live Ground Cover at maturity.

Approval of this plan does not constitute or imply exemption from water waste provisions of the water conservation landscaping and water waste ordinance. Water management is the sole responsibility of the property owner.

Mitchell Associates, LLC
 Landscape Architects
 3700 Corbett Blvd. NE, Suite #124
 Albuquerque, NM 87110
 (505) 830-8096
 danny@mitchellassociatesllc.com



TWIN OAKS ASSISTED LIVING FACILITY
 3051 TWIN OAKS DR
 ALBUQUERQUE, NM

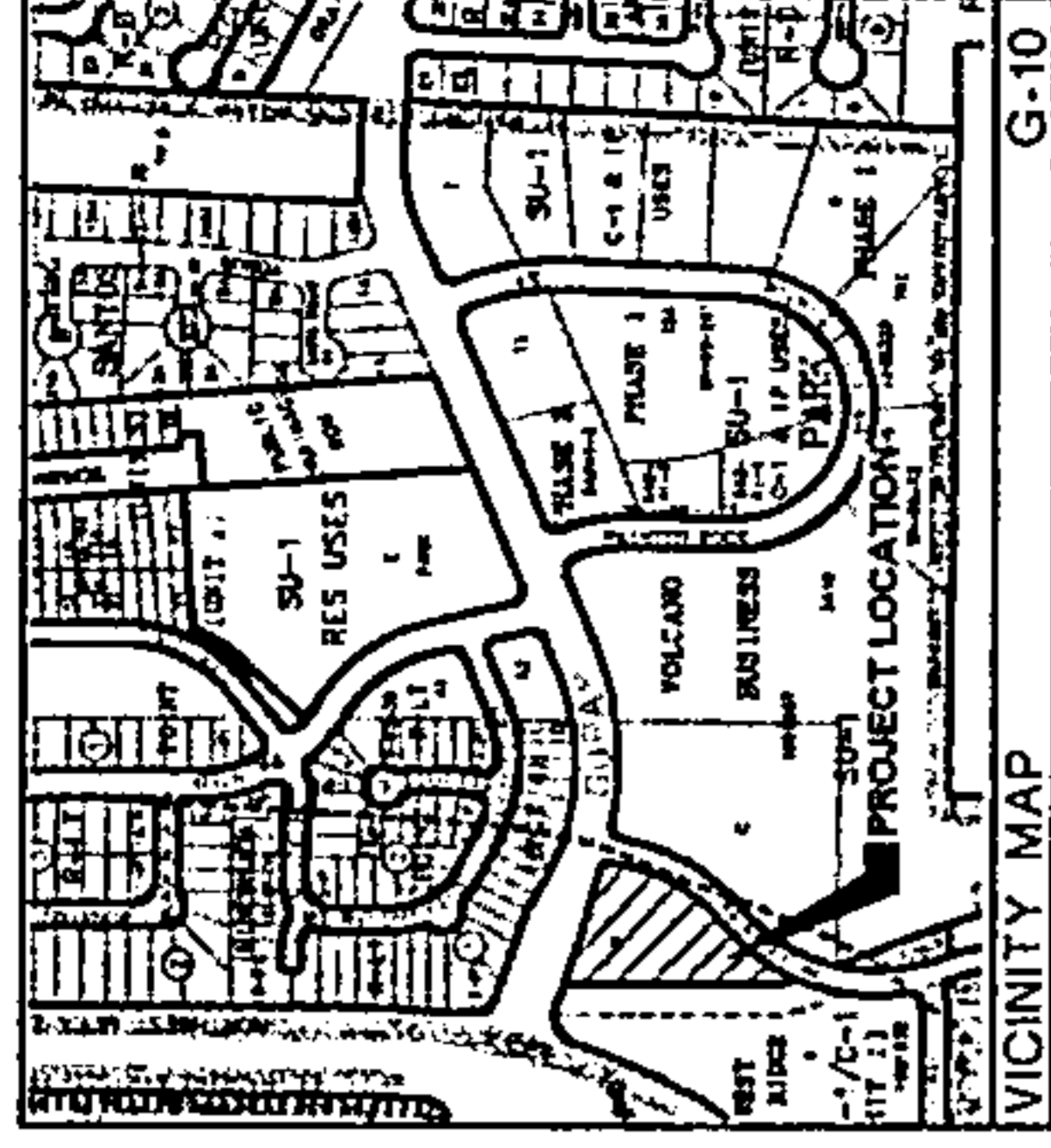
JIS ARCHITECTS
 1600 Rio Grande
 Albuquerque
 New Mexico 87104
 505 246 0870
 fax 505 246 0437

Landscape Plan

REVISIONS

ARCHITECT ENGINEER

DATE 2-7-06 SHEET L1



Drainage Calculations

Assisted Living Facility Hydrology Calculations

DRM - Section 22.1

Volume 2, January 1993

Precipitation Zone 1

100 Year Storm Depth, P (in) 2.2

Drainage Area	A	B	C	D
Excess Precipitation Factors	0.44	0.37	0.39	1.37
Peak Discharge Factors	1.28	2.05	2.87	4.37

Land Treatment Area	Area	Existing	Assessment	Proposed
Type "D" (Roof)	0	0.37	1.00	1.00
Type "C" (Unpaved Runways)	0	0.31	0.00	0.00
Type "B" (Paved Runways)	0	0.31	0.00	0.00
Type "A" (Unshaded)	1.57	0.60	0.00	0.00
Total (Acres)	1.57	1.57	1.57	1.57

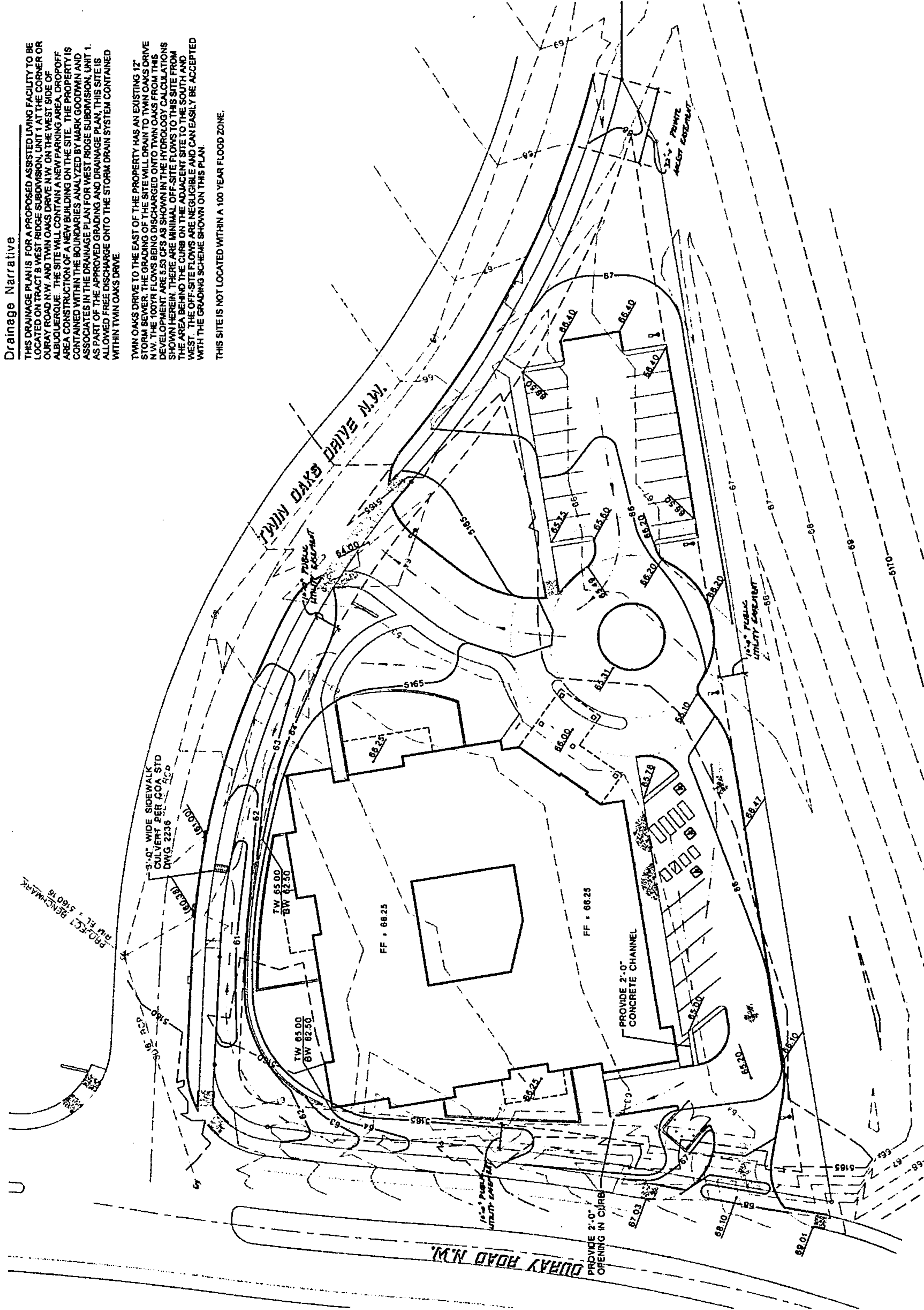
Excess Precipitation (in)	0.44	0.36	1.30
Volume (100, cf)	2907.60	5015.76	6537.40
Volume (100, cf)	1660.06	3390.57	5720.06
C (100, cf)	2.03	3.64	5.53
C (100, cf)	1.36	2.44	3.70

Drainage Narrative

THIS DRAINAGE PLAN IS FOR A PROPOSED ASSISTED LIVING FACILITY TO BE SITED ON THE EAST SIDE OF TWIN OAKS DRIVE, UNIT 1 AT THE CORNER OF CURRY ROAD N.W. AND TWIN OAKS DRIVE N.W. ON THE WEST SIDE OF ALBUQUERQUE. THE SITE WILL CONTAIN A NEW BUILDING, A DROP-OFF AREA, CONSTRUCTION OF A NEW BUILDING, A DRIVEWAY, AND OTHER ASSOCIATED WITH THE BOUNDARIES ANALYZED BY THE GOVERNMENT AND ASSOCIATED WITH THE DRAINAGE PLAN FOR WEST ROUGE SUBDIVISION UNIT 1. AS PART OF THE APPROVED GRADING AND DRAINAGE PLAN, THIS SITE IS ALLOWED FREE DISCHARGE ONTO THE STORM DRAIN SYSTEM CONTAINED WITHIN TWIN OAKS DRIVE.

TWIN OAKS DRIVE TO THE EAST OF THE PROPERTY HAS AN EXISTING 12" STORM SEWER. THE GRADINGS OF THE SITE WILL DRAIN TO TWIN OAKS DRIVE N.W. THE 100YR FLOWS BEING DISCHARGED ONTO TWIN OAKS DRIVE FROM THIS DEVELOPMENT ARE 5.53 CFS AS SHOWN IN THE HYDROLOGY CALCULATIONS SHOWN HEREIN. THERE ARE MINIMAL OFF-SITE FLOWS TO THIS SITE FROM THE AREA BEHIND THE CURB ON THE ADJACENT SITE TO THE SOUTH AND WEST. THE OFF-SITE FLOWS ARE NEGLIGIBLE AND CAN EASILY BE ACCEPTED WITH THE GRADING SCHEME SHOWN ON THIS PLAN.

THIS SITE IS NOT LOCATED WITHIN A 100 YEAR FLOOD ZONE.



GRADING PLAN

SCALE: 1" = 20'



ABO

Engineering, Inc.
Engineers - Planners - Constructors Services
10000 N. 19th Ave., Suite 120, Albuquerque, NM 87110
505-243-1111 FAX 505-243-1112

TWIN OAKS ASSISTED LIVING FACILITY
3051 TWIN OAKS DRIVE
ALBUQUERQUE, N.M.

JLS

1600 FLO 87
ALBUQUERQUE
NEW MEXICO 87114
505 246 0870
FAX 505 246 0437

Grading Plan

REVISIONS

ARCHITECT

ENGINEER

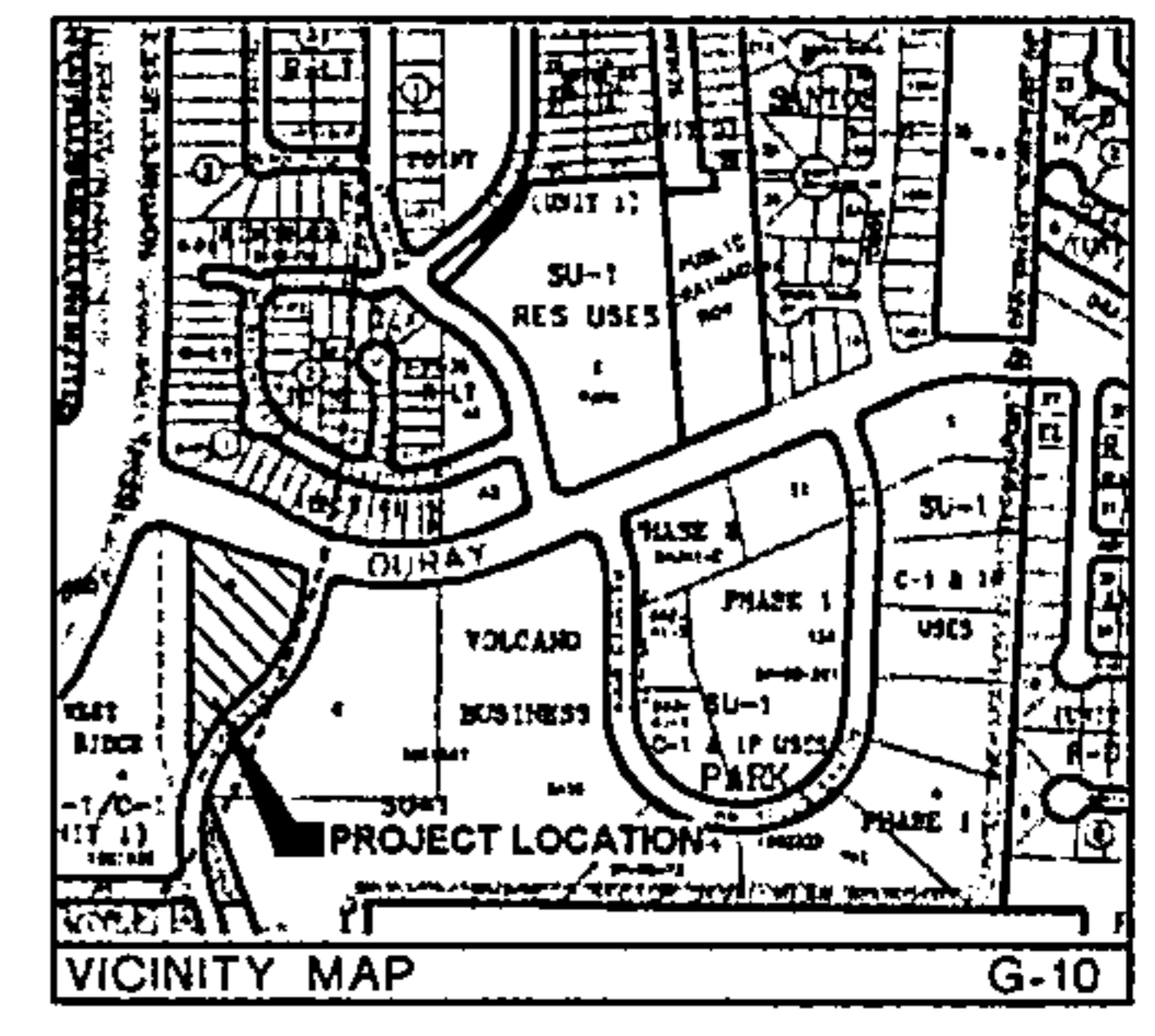
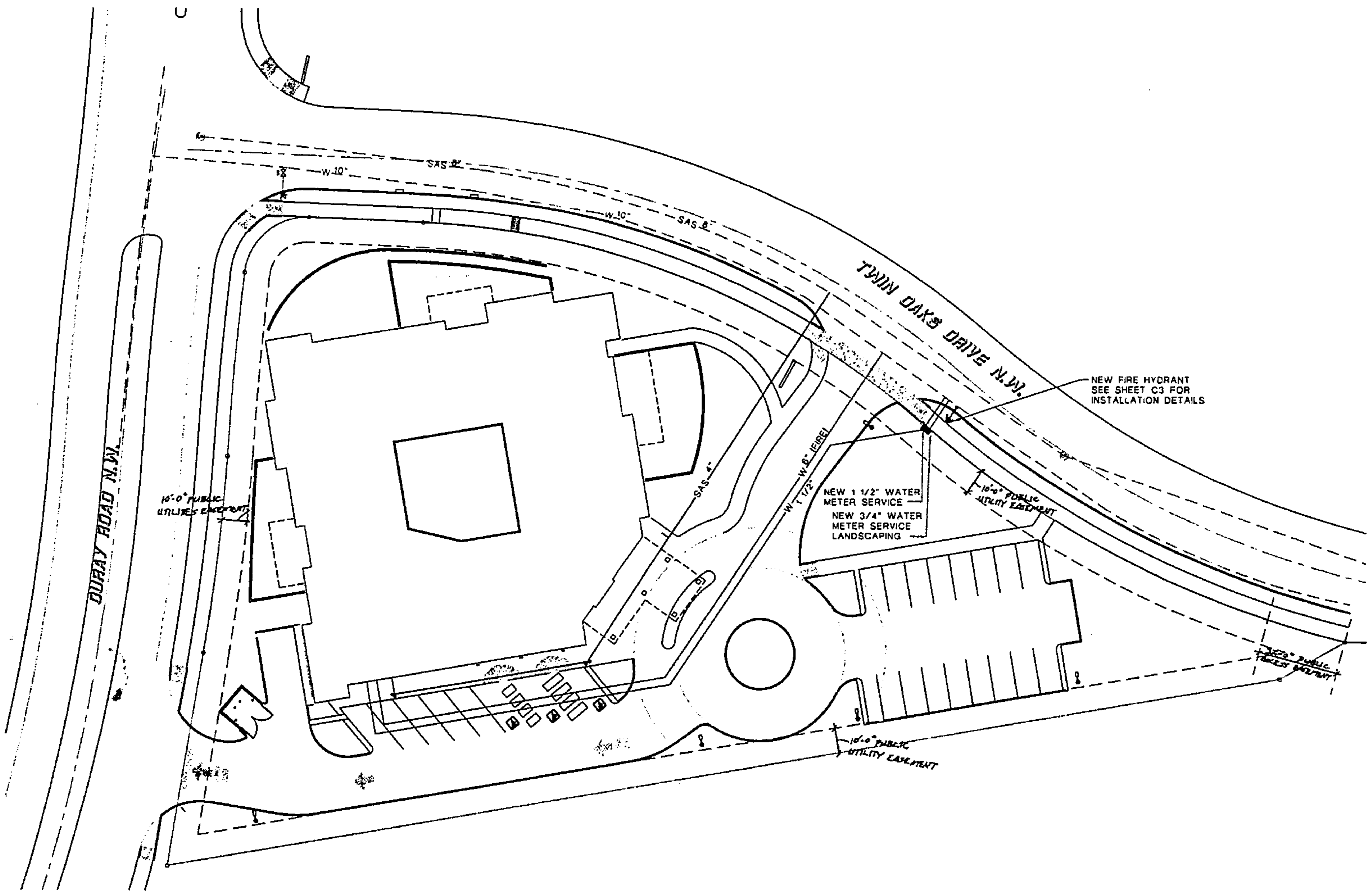


DATE

2-7-08

SHEET

C2



General Notes

A. CONTRACTOR TO COORDINATE LOCATION OF EXISTING UTILITIES WITH APPROPRIATE AGENCIES PRIOR TO TRENCHING

- Legend**
- SAS-- EXISTING SANITARY SEWER LINE
 - W-- EXISTING WATER LINE
 - SAS— PROPOSED SANITARY SEWER LINE
 - W— PROPOSED WATER LINE
 - ⊕ NEW FIRE HYDRANT
 - ⊕ NEW WATER METER SERVICE
 - ⊕ NEW WATER VALVE

ABQ
 Engineering, Inc
 Engineers • Planners • Construction Services
 8728 Academy Dr. NE, Suite 138 Albuquerque, NM
 87108 505-246-7500 Fax 505-246-7500 ABQ
 Project: 82218

TWIN OAKS ASSISTED
 LIVING FACILITY
 3051 TWIN OAKS DR
 ALBUQUERQUE, N.M.



1600 rio grande nw
 albuquerque
 new mexico 87104
 505 246 2000
 fax 505 246 0437

UTILITY SITE PLAN

REVISIONS

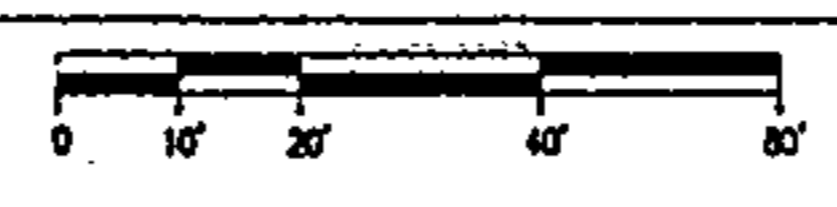
ARCHITECT ENGINEER



DATE 2-7-88 SHEET C3

SITE UTILITY PLAN

SCALE: 1" = 20'



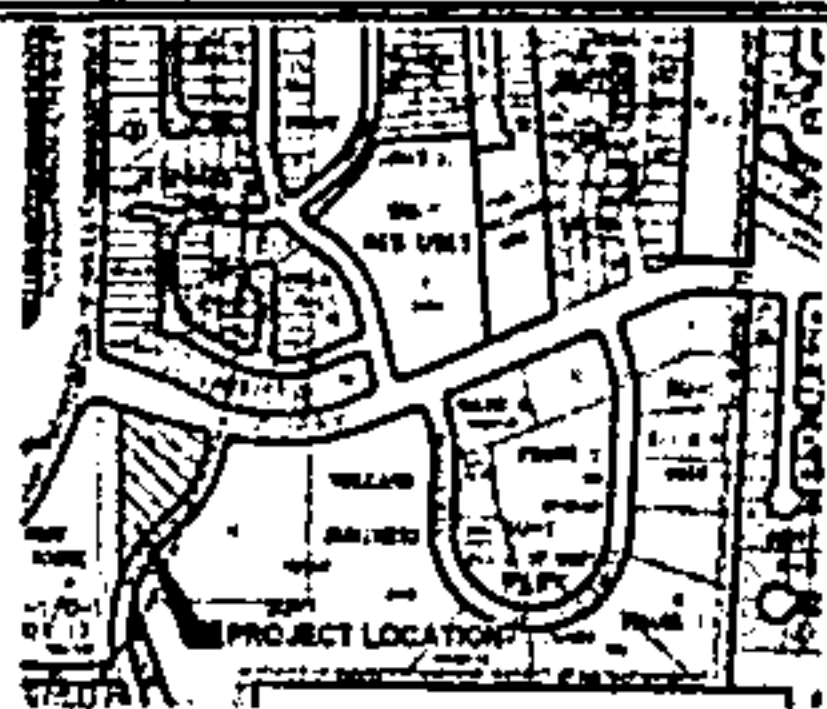
**CITY OF ALBUQUERQUE
PUBLIC FIRE HYDRANT INSTALLATION PROCEDURE**

The following procedure has been established to expedite the installation of fire hydrants required as a result of a subdivision or a service request and to insure proper record keeping.

This procedure eliminates the need for a design by a licensed professional engineer, the processing of a SIA, and the need for a formal DRC and Work Order Process. It is intended for use only when no other construction of public infrastructure is required and the City Engineer/Utility Development determines that the normal design, review, and Work Order Process is not required. This procedure is for construction within or adjacent to local streets.

- A. Owner or contractor: submit plans using the attached City Standard format to the City Engineer/Utility Development at One Stop (Plaza del Sol, 500 2nd St NW) for review and approval. Plans must include: Zone Atlas pg number, legal description, and location of fire hydrant(s) relative to nearest property corner or intersection. Must provide: one set of original mylar, 4 copies of the original, and a fee of \$150 (checks only) FOR EACH hydrant or fire line. Provide name & phone no. of Contractor, Designer/Engineer, and name and phone no. of the Owner of the Project. Provide Shut-Off Plan if required.
- B. City Engineer/Utility Development will obtain new project number from the DRC Master Scheduler.
- C. City Engineer/Utility Development will forward the approved plan to Construction Division for review and to assign a city inspector to the project.
- D. Construction Division will forward a copy of the approved plan to the owner or owner's contractor. Prior to construction, the contractor must obtain the necessary permits from the City, County and/or Village. A copy of the approved design must accompany the request for a permit. The contractor must be properly licensed and bonded to do work on the City Water System. This must be verified through the City's Permits office.
- E. Any soil compaction, asphalt, concrete, or any material testing required by the standard specifications shall be done by the contractor at no expense to the City.
- F. Upon construction of the fire hydrant the contractor will obtain the city inspector's approval of the construction, the inspector will sign the original which will then be forwarded to the Maps & Records Division for As-Built processing.
- G. The Construction Engineer will provide the City Engineer/Utility Development and DRC Master Scheduler written certification that the construction has been completed and accepted.
- H. If the construction does not pass inspection and a revised design is required, then steps "A-E" must be reinstated. No plat will be signed or meter released until the construction has been accepted by the Construction Division.

**CITY OF ALBUQUERQUE
PUBLIC FIRE HYDRANT INSTALLATION**



LEGAL DESCRIPTION OF PROPERTY AND ADDRESS
LOT B, WEST VOLCANO BUSINESS PARK

NOTICE TO CONTRACTORS

1. An excavation/baricade permit will be required before beginning any work within City, County, or Village right-of-way. An approved copy of these plans must be submitted at the time of application for these permits.
2. All work detailed on these plans to be done, except as otherwise stated or provided herein, will be constructed in accordance with "City of Albuquerque Interim Standard Specification for Public Works Construction, 1986," latest revision.
3. Two working days prior to any excavation, the contractor must contact New Mexico One Call System, Inc., 260-1990, for location of existing utilities.
4. Prior to construction, the contractor will excavate and verify the horizontal and vertical locations of all construction. Should a conflict exist, the contractor will notify the Construction Engineer so that the conflict can be resolved with a minimum amount of delay.
5. The contractor will be responsible for coordinating the water shutoff with the Water Division seven (7) working days prior to construction.
6. The contractor will be responsible for performing soil density tests as required by the City of Albuquerque.

APPROVALS FOR	NAME	DATE	TITLE OF PROJECT
DESIGN: UTILITY DEVELOPMENT			
CONSTRUCTION: CONSTRUCTION ENGINEER			
ACCEPTANCE: CONSTRUCTION INSPECTOR			

PROJECT NO. _____ ZONE ATLAS
SHEET _____ OF _____ G-10

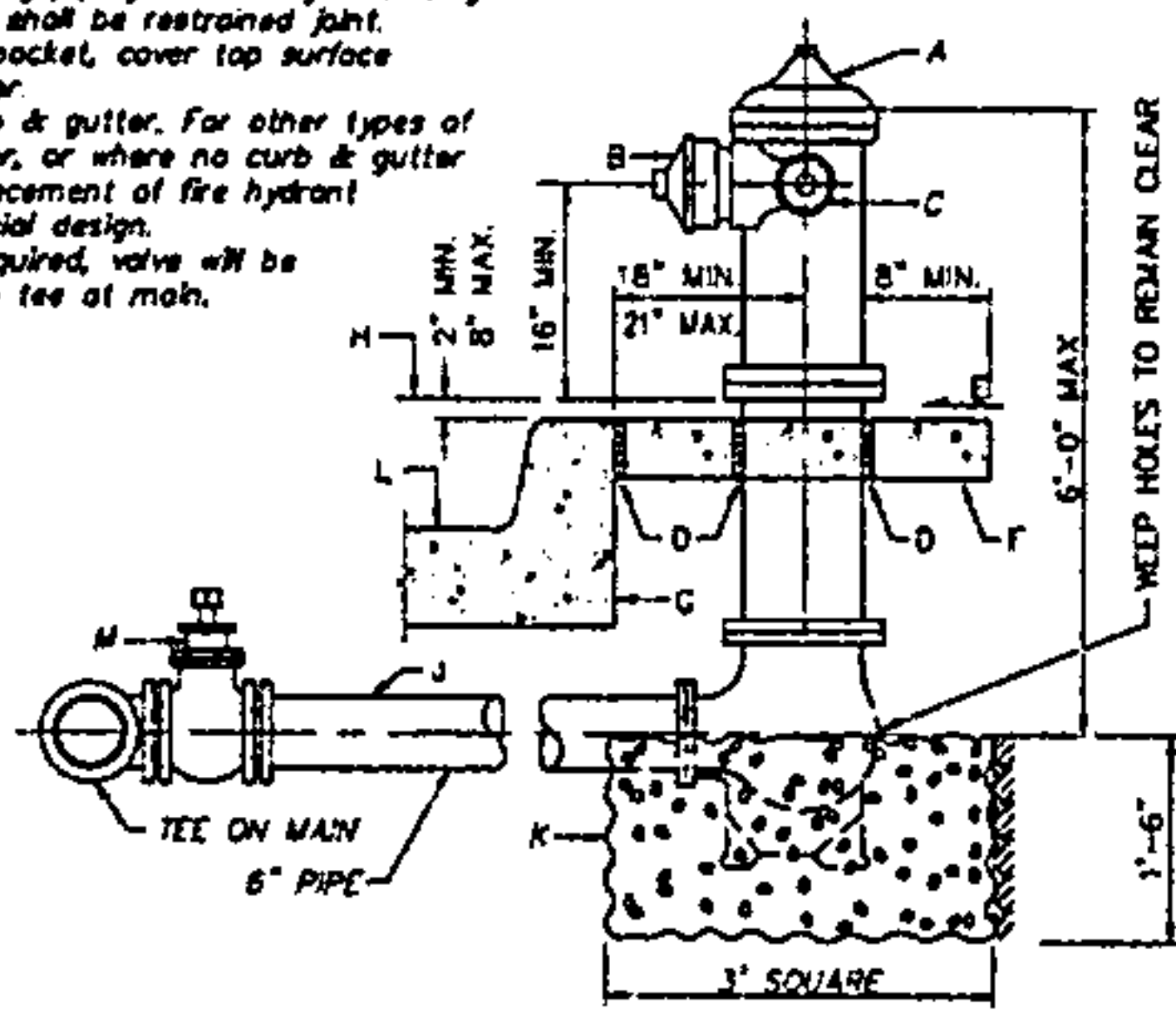
**CITY OF ALBUQUERQUE
PUBLIC FIRE HYDRANT INSTALLATION
STANDARD DRAWING 2340-A**

GENERAL NOTES

1. No obstruction will be permitted within 3'-0" of fire hydrant.
2. Hydrant leg shall be varied from mains 10" diameter and larger and in arterial streets located in commercial areas.
3. Contractor shall be responsible for setting top flange of fire hydrant to the dimensions shown.
4. For fire hydrant locations, see dwg. 2347-A.
5. When new or existing sidewalk abuts curb, reconstruct sidewalk per dwg. 2430, 2431.
6. Pumper nozzle to be set facing the traveled way unless otherwise noted on plans.

CONSTRUCTION NOTES

- A. Fire hydrant per specifications
- B. Pumper nozzle 4 1/2"
- C. Hose nozzle 2 1/2"
- D. 1/2" expansion joint material
- E. Slope 1/4" per foot
- F. 3' x 3' x 6" concrete square pad, to be constructed around fire hydrant's centerline when not located within sidewalk or concrete area.
- G. Back of curb
- H. Controlled elevation line, level in all directions.
- I. Use of restrained joints is mandatory. All fire hydrant leg piping and fittings including tee on main shall be restrained joint.
- J. Gravel drain pocket, cover top surface with tar paper
- K. Standard curb & gutter. For other types of curb & gutter, or where no curb & gutter exist, the placement of fire hydrant requires special design.
- L. If valve is required, valve will be connected to tee of main.



DETAIL OF FIRE HYDRANT SETTING

PROJECT NO. _____	ZONE ATLAS	TITLE:
SHEET _____ OF _____	G-10	

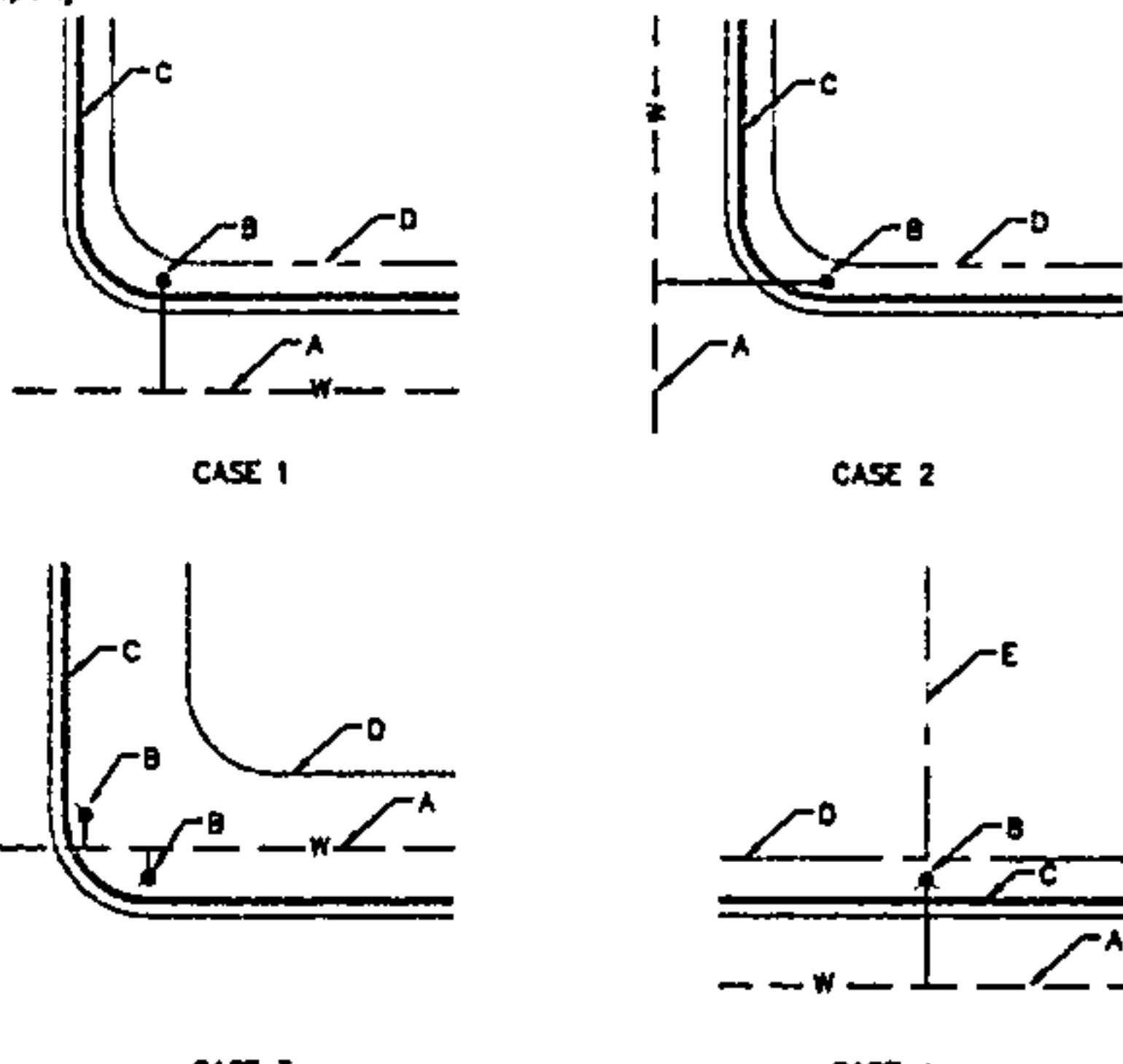
**CITY OF ALBUQUERQUE
PUBLIC FIRE HYDRANT INSTALLATION
STANDARD DRAWING 2347-A**

GENERAL NOTES

1. Normally, fire hydrants are located at end of curb return, hydrants will not be located within the curb return area. Fire hydrants to be located within the block length will be installed at a property line (Case 4).
2. A minimum clearance of 3'-0" will be provided between a fire hydrant and a permanent obstruction (utility pole, light standard, traffic signal, etc.).
3. For installation of fire hydrant, see dwg. 2340-A.
4. See dwg. 2431 for sidewalk configuration when fire hydrant is located in sidewalk.

CONSTRUCTION NOTES

- A. Water main
- B. Fire hydrant
- C. Curb and gutter
- D. Right-of-way line
- E. Property line



TYPICAL LOCATIONS

PROJECT NO. _____	ZONE ATLAS	TITLE:
SHEET _____ OF _____	G-10	

**ABQ
Engineering, Inc**

Engineers - Planners - Construction Services
6720 Academy Rd. NE, Suite 130 Albuquerque, NM
87119 505-256-7908 FAX 505-256-7908 ABC
Project: 23218

TWIN OAKS ASSISTED
LIVING FACILITY
3051 TWIN OAKS DR
ALBUQUERQUE, NM

JLS

1600 rio grande nw
albuquerque
new mexico 8004
505 246-1000
fax 505 246-1037

SITE DETAILS

REVISIONS

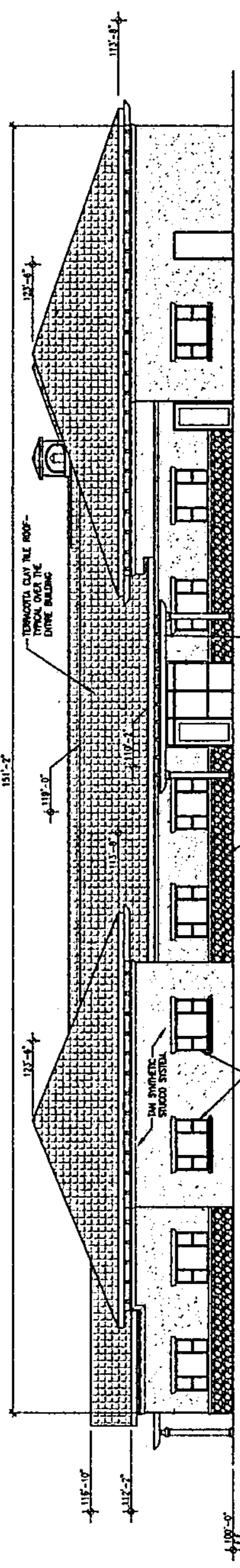
ARCHITECT

ENGINEER

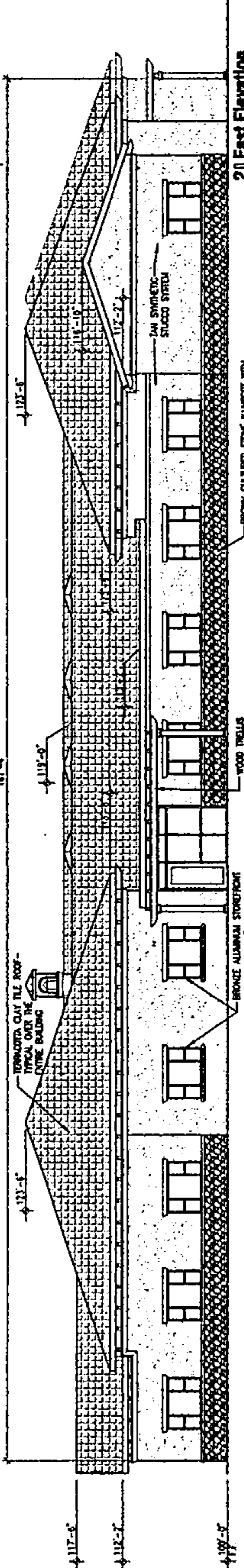


DATE
2-7-06

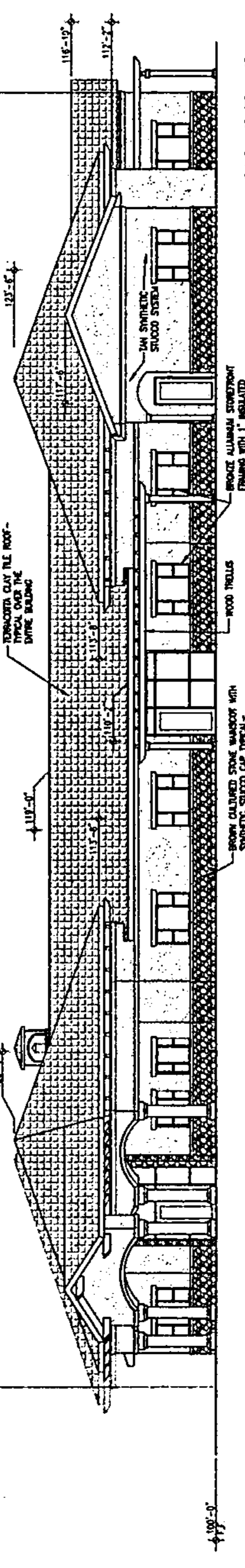
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C4



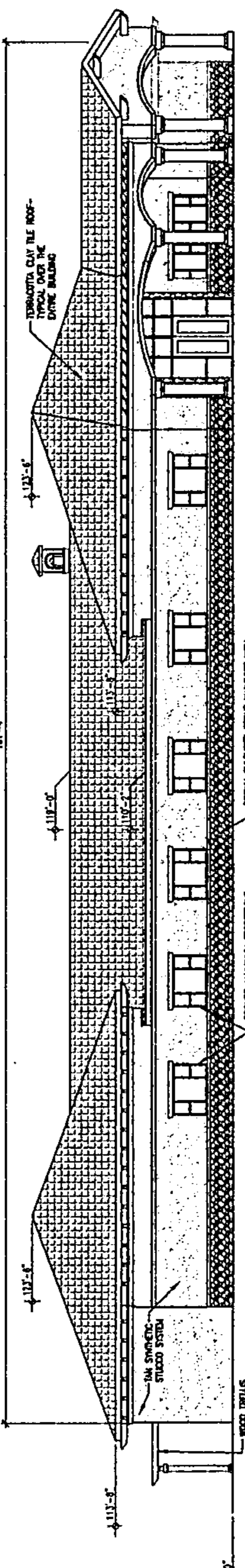
1) North Elevation
A1 | 1/8" = 1'-0"



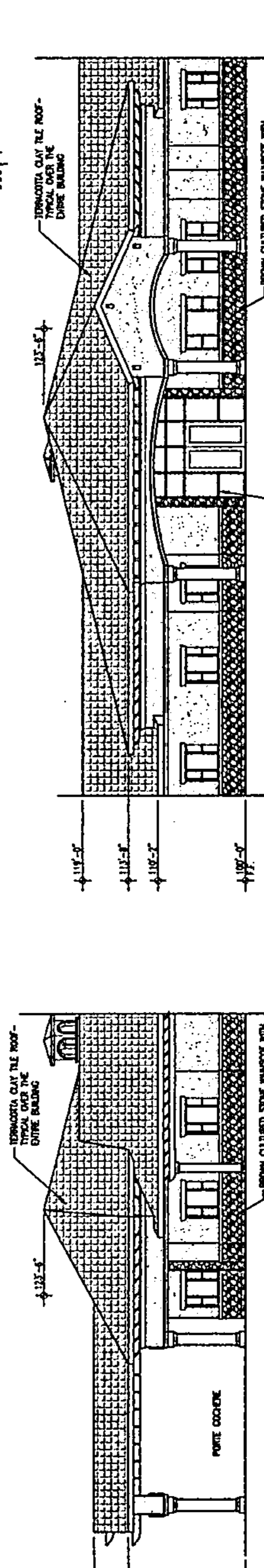
2) East Elevation
A1 | 1/8" = 1'-0"



3) South Elevation
A1 | 1/8" = 1'-0"



4) West Elevation
A1 | 1/8" = 1'-0"



5) South West Elevation
A1 | 1/8" = 1'-0"

6) Entry Elevation
A1 | 1/8" = 1'-0"



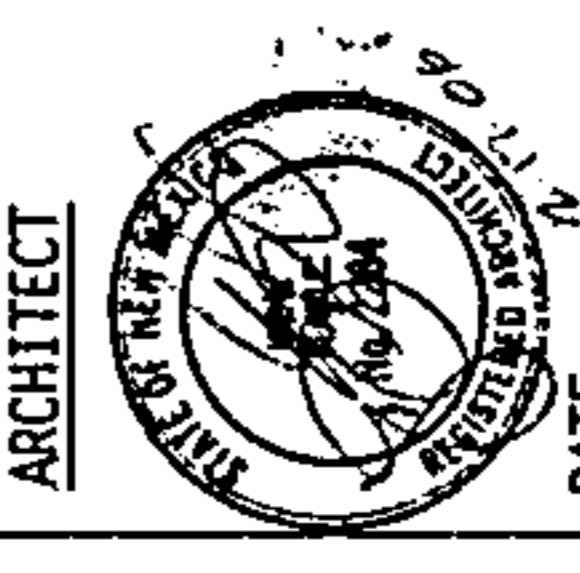
TWIN OAKS ASSISTED LIVING FACILITY
3051 TWIN OAKS DR
ALBUQUERQUE, NM
505 246 0000
FAX 505 246 0437

ARCHITECTS

Elevations

REVISIONS

ENGINEER



SHEET A1

DATE 2-7-06

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.

 2/20/06
Applicant or Agent Signature / Date

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' *[Other scales as approved by staff]*
3. Bar scale
4. North arrow
5. Scaled vicinity map
6. Property lines (clearly identify)
7. Existing and proposed easements (identify each)
8. Phases of development including location and square footages of structures, circulation, parking and landscaping

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures
- B. Square footage of each structure and building footprint (if different from total square footage)
- C. Proposed use of each structure
- ~~N/A~~ D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, including location.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 23 provided: 24
 Handicapped spaces required: 1 provided: 3
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 2
 provided: 5
 - ~~N/A~~ 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - ~~N/A~~ 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - ~~N/A~~ 2. Pedestrian trails and linkages
 - ~~N/A~~ 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

- 1. Property lines
- 2. Building Footprint
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Fire hydrant locations, existing and proposed.
- 5. Distribution lines
- 6. Existing and proposed water, sewer, storm drainage facilities (public and/or private).

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to be preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Method for meeting Water Conservation...Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines

- ✓ 5. Existing and proposed easements
- ✓ 6. Building footprints
- ✓ 7. Location and detail of Retaining walls

B. Grading Information

- ✓ 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- ✓ 2. Indicate finished floor elevation and provide spot elevations and/or contour lines (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- ✓ 3. Identify ponding areas, erosion and sediment control facilities.
- ✓ 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

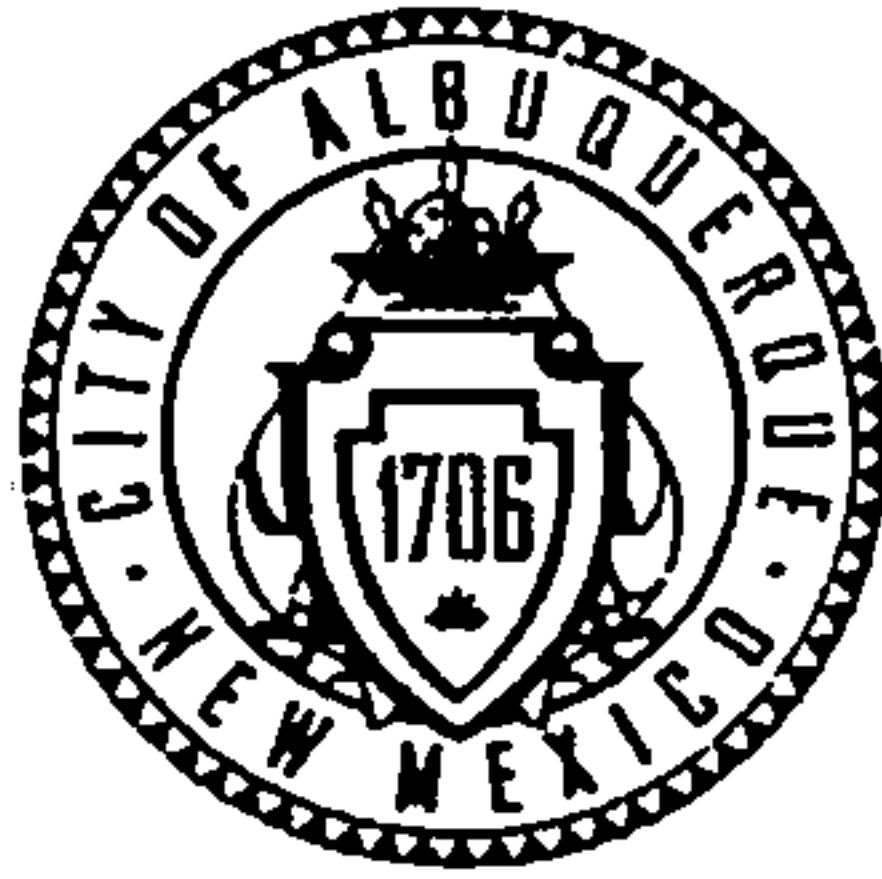
A. General Information

- ✓ A. Scale (minimum of 1/8" or as approved by Planning Staff).
- ✓ B. Bar Scale
- ✓ C. Detailed Building Elevations for each facade
 - ✓ 1. Identify facade orientation
 - ✓ 2. Dimensions of facade elements, including overall height and width
 - ✓ 3. Location, material and colors of windows, doors and framing
 - ✓ 4. Materials and "common name" colors of all building elements and structures
- N/A E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- ✓ 1. Site location(s)
- ✓ 2. Sign elevations to scale
- ✓ 3. Dimensions, including height and width
- ✓ 4. Sign face area - dimensions and square footage clearly indicated
- ✓ 5. Lighting
- ✓ 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: January 20, 2006

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project # 1001932**
05EPC-01804 EPC Site Development Plan-
Building Permit

Care Givers of Albuquerque
2739 Foothill Rd. SW
Albuq. NM 87105

LEGAL DESCRIPTION: for all or a portion of Tract B, **West Ridge Subdivision, Unit 1**, zoned SU-1 C-1 & IP Uses, located on OURAY ROAD NW, between UNSER BLVD. NW and TWIN OAKS DR. NW, containing approximately 2 acres. (G-10) Catalina Lehner, Staff Planner

On January 19, 2006 the Environmental Planning Commission voted to approve Project 1001932/05EPC 01804, a request for a Site Development Plan for Building Permit for Tract B, amended plat for Westridge Subdivision, Unit 1, zoned SU-1 for C-1 & IP uses, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This request is for a site development plan for building permit for Tract B, amended plat for Westridge Subdivision, Unit 1, approximately 1.57 acres (the "subject site"). The applicant proposes to develop a 16,733 square foot, single-story assisted living facility on the currently vacant subject site.
2. The request fulfills the intent of Comprehensive Plan policies regarding a full range of urban land uses (Policy II.B.5a), programmed facilities/integrity of neighborhoods (Policy II.B.5e), employment/service use location (Policy II.B.5i) and human services/residential care facilities (Policy II.D.8b). The facility will provide a new land use in the area that will respect the surrounding neighborhoods and is needed in the community and on the Westside.
3. Comprehensive Plan Policy II.B.5d-neighborhood values/natural environmental conditions and Policy II.B.5l-design quality/innovation mostly support the request. The building will respect neighborhood values and is appropriate to the area in most respects.
4. West Side Strategic Plan (WSSP) Policy 3.23-location of commercial services, multifamily development and public facilities, mostly supports the request. The development will occur in an area in the Ladera community that is appropriate for services, though it would not be located within a designated Village Center.

5. WSSP Objective 1-provide for a complete mix of land uses, supports the request. The assisted living facility will introduce a new land use to the area and will generate some jobs.
6. WSSP Policy 1.1-Community and Neighborhood Centers, both conflicts with and supports the request. Though Policy 1.1 intends that development is concentrated in Activity Centers, each Westside community is distinct. Additional Neighborhood Center type development is expected in other parts of the Ladera Community, such as its western edge where the subject site is located.
7. The El Rancho Atrisco Phase II Sector Development Plan (1984) and the Unser Boulevard Design Overlay Zone apply to this request, which does not conflict with applicable policies and regulations contained therein.
8. Pedestrian connections need to be strengthened in order to improve safety for sidewalk users, especially the residents of the facility.
9. Though the majority of roofs in the area are an earthtone or grey color, the building's roof will blend in adequately with surroundings provided that it is not a bright or contrasting shade of red.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to DRB sign off, the applicant must meet with the staff planner to ensure that conditions of approval are thoroughly addressed.
- ✓ 3. The color of the roof tiles shall be specified as "terracotta". References to "red" shall be removed.
- ✓ 4. The color of the signage letters shall be specified as black.
- ✓ 5. A note shall be added to indicate that the brightness of the monument sign's lighting shall not change.
- ✓ 6. One light pole shall be added in the landscape area adjacent to the entrance on Twin Oaks Drive.
- ✓ 7. The light pole near the subject site's northwestern corner shall not exceed 20 feet in height from top to grade.

OFFICIAL NOTICE OF DECISION
JANUARY 19, 2006
PROJECT 1001932
PAGE 3 OF 4

- ✓ 8. The refuse enclosure shall not exceed 6 feet in height.
- ✓ 9. One motorcycle parking space shall be provided in a highly visible location.
- ✓ 10. A crosswalk, of textured colored concrete, shall be added across the entrance on Twin Oaks Drive.
- ✓ 11. The color of the crusher fines shall be specified on the landscape plan.
- ✓ 12. The phrase "sample shall be approved by owner or owner representative prior to placement" shall be deleted.
- 13. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, WATER AUTHORITY and NMDOT:
Conditions of approval for the proposed Site Development Plan for Building Permit shall include:
 - ✓ a. All the requirements of previous actions taken by the EPC and/or the DRB must be completed and /or provided for.
 - ✓ b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - ✓ c. Round-a-bout will need to be designed to accommodate emergency, solid waste and delivery vehicles.
 - ✓ d. Site driveway on Ouray will need to be modified for exiting traffic only (see traffic engineer). Provide signing and striping, at Ouray, to indicate exit only drive.
 - ✓ e. One way drive aisle will need to be 20' wide to accommodate emergency, solid waste and delivery vehicles.
 - ✓ f. Site plan shall comply and be designed per DPM Standards.
- ✓ 14. A minimum sidewalk width shall be 4 feet.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY FEBRUARY 3, 2006 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

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JANUARY 19, 2006
PROJECT 1001932
PAGE 4 OF 4

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,



Richard Dineen
Planning Director

RD/CL/ac

cc: JLS Architects, 1600 Rio Grande Blvd. NW, Albuquerque, NM 87104
Dan Serrano, Ladera West NA, 3305 Rhonda del la Chusas NW, Albuquerque, NM 87120
Barry King, Ladera West NA, 3508 Todos Santos NW, Albuquerque, NM 87120

February 17, 2006

Mr. Russel Brito
Senior Planner
Development Review Board
City of Albuquerque
600 Second Street NW
Albuquerque NM 87102

RE: Authorization of Agency before the Development Review Board

Dear Mr. Brito:

As Seller, this letter hereby authorizes JLS Architects, 1600 Rio Grande Boulevard NW Albuquerque NM to represent the contract purchaser of Tract B of the West Ridge Subdivision Unit One in Albuquerque, NM, Interstate Development Company LLC, in their application before the Development Review Board ("DRB") for approval of the proposed site plan for building permit.

JLS Architects' principal, Joe L. Slagle- AIA, will appear before the DRB in the matter; thank you for your consideration.

Sincerely,



Sunset Plaza General Partnership

Copy: Interstate Development Company LLC, Metro Commercial Realty Inc.,
JLS Architects, John A. Myers, esq.

February 3, 2006

Design Review Board
Plaza del Sol Building
600 2nd Street NW
Albuquerque, NM 87102

**RE: TWIN OAKS ASSISTED LIVING FACILITY ON THE SW
CORNER OF OURAY RD. AND TWIN OAKS DR.**

Dear Commissioners:

The following submittal is a request for a site plan for building permit to construct Twin Oaks Assisted Living Facility, located at 3051 Twin Oaks Dr., on the southwest corner of Ouray Rd. and Twin Oaks Dr, Lot B of West Ridge Unit 1, Zone Map page G10. Its current zoning is SU-1, C-1, & IP uses and the sector development plan is El Rancho Atrisco Phase II. This project shall be a single story assisted living facility consisting of approximately 16,733 s.f., 45 beds, dining facilities, an outdoor central courtyard and additional exterior courtyards and occupying a site approximately 1.5073 acres in size. This project will include the building and all associated site work, i.e. parking, sidewalks, landscaping, etc. Should you have any questions or require further information, please feel free to contact me.

Sincerely,



R. Jarrod Cline
JLS Architects, Inc.

1600 rio grande nw
albuquerque
new mexico 87104
505 246 0870
fax 505 246 0437
www.jlsarchitects.com

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME CARE GIVERS OF ALBUQUERQUE
 AGENT JLS ARCHITECTS
 ADDRESS 1600 RIO GRANDE BLVD NW
 PROJECT & APP # 1001932/06 DRB00240
 PROJECT NAME WEST RIDGE SUBDIVISION UNIT 1

\$ 70.00 441032/3424000 Conflict Management Fee
 \$ 385.00 441006/4983000 DRB Actions
 \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
 \$ _____ 441018/4971000 Public Notification
 \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
 \$ 405.00 TOTAL AMOUNT DUE

*****NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

RECEIPT# 00055145 ACCOUNT 441032 ACTIVITY 3424000 TRANS AMT J24 MISC	JLS ARCHITECTS, INC. 1600 RIO GRANDE BLVD. NW ALBUQUERQUE, NM 87104 505-246-0870	U.S. NEW MEXICO FEDERAL CREDIT UNION PO BOX 129 ALBUQUERQUE, NM 87103-0129 95-8365/3070	6324 <u>2.21.06</u>
PAY TO THE ORDER OF City of Albuquerque Treasury Division	\$ <u>405.00</u>	***DUPLICATE*** DOLLARS City Of Albuquerque Treasury Division	2/21/2006 10:03AM LOC: ANNX RECEIPT# 00055145 WSH 006 TRANS# Account 441006 Fund 0110 Activity 4983000 TRSE# Trans Amt \$405.00
FOR <u>DRB Submittal Fee - Assisted Learning</u>	0.00 \$405.00	**0063 24** 3070836521 9404980002**	\$405.00 \$0.00

THIS DOCUMENT CONTAINS A COLORED BACKGROUND ON WHITE PAPER. MICROPRINT IS LOCATED BELOW THIS WARNING BAND.

CK CHANGE \$405.00 \$0.00
 Thank You

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME CARE GIVERS OF ALBUQUERQUE
AGENT JLS ARCHITECTS
ADDRESS 1600 RIO GRANDE BLVD NW
PROJECT & APP # 1001932/06 PRB 00240
PROJECT NAME WEST RIDGE SUBDIVISION UNIT

\$ 20.00 441032/3424000 Conflict Management Fee
\$ _____ 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
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\$ 20.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

Security features are included. Details on back.

JLS ARCHITECTS, INC.
1600 RIO GRANDE BLVD. NW
ALBUQUERQUE, NM 87104
505-246-0870

U.S. NEW MEXICO
FEDERAL CREDIT UNION
PO BOX 129
ALBUQUERQUE, NM 87103-0129
95-8365/3070

6347

PAY TO THE ORDER OF City of Albuquerque
Twenty dollars & 00/100

2/28/2006 1:27PM
RECEIPT# 00053537 WSA 008 TRANS# 0047
Account 441032 Fund 0110
Activity 3424000 TRSCLS
Trans A \$20.00
J24 MI

FOR DRB SUBMITTAL - TWIN OAKS

MP
\$20.00
\$0.00

006347 3070836521 940498000

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