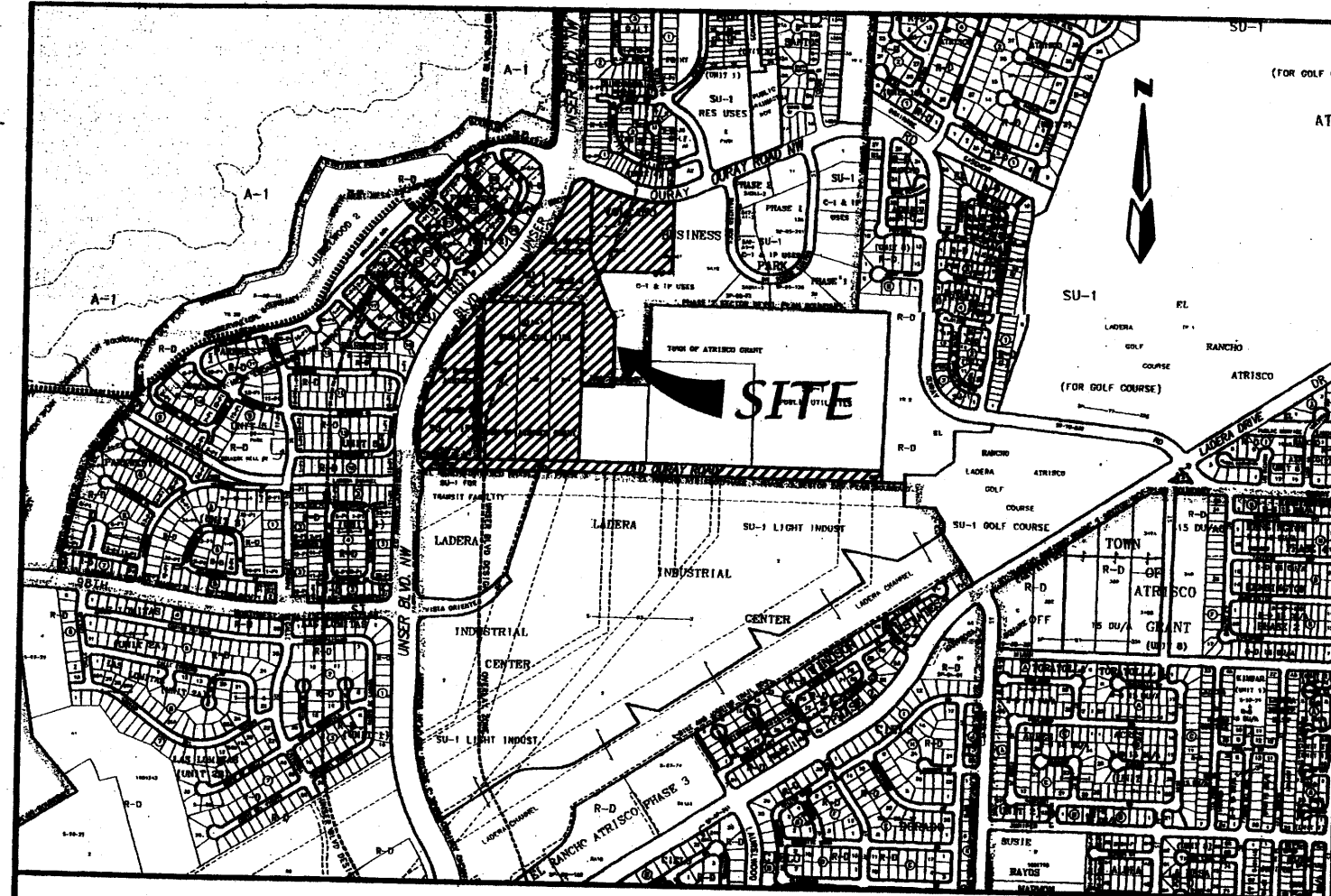


PLAT FOR
WEST RIDGE SUBDIVISION
UNIT 1
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 3, 4, 9 AND 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2003



LOCATION MAP ZONE ATLAS G-9, G-10, H-9 & H-10

SUBDIVISION DATA SCALE: NONE

Plat Case No.'s	DRB Project No. 1001932
Case No.'s	02DRB-01578, 02DRB-01579 02DRB-01580, 02DRB-01581 03DRB-00220, 03DRB-00353
Gross Acreage	40.1665 AC.
Zone Atlas No.	G-9, G-10, H-9, & H-10
No. of existing Tracts/Lots	4 Tracts
No. of Tracts/Lots created	6 Tracts / 69 Lots
No. of Tracts/Lots eliminated	4 Tracts
Miles of full width streets created	0.74
Area dedicated to the City of Albuquerque	4.5069 AC.
Date of Survey	JUNE 2002
Utility Control Location System Log Number	2002240820
Zoning	SU-1/RD

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets, public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

OWNER: KB HOME New Mexico, Inc., a New Mexico Corporation
BY: Greg Breedlove, Vice-President of Land Development
Greg Breedlove 3/20/03 DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
COUNTY OF BERNALILLO

This instrument was acknowledged before me on March 20, 2003
By Greg Breedlove, Vice-President of Land Development for KB HOMES New Mexico, Inc.,
A New Mexico Corporation on behalf of said corporation

Barbara Mares 12/14/05
NOTARY PUBLIC MY COMMISSION EXPIRES

LEGAL DESCRIPTION (SEE SHEET 8)

NOTES: (SEE SHEET 4)

PURPOSE OF PLAT

1. Subdivide four existing tracts into 69 Residential Lots and 6 Tracts
2. Grant easements as shown hereon.
3. Dedicate right-of-way as shown hereon.
4. Vacate easements and right-of-way as shown hereon.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # See attached
PROPERTY OWNER OF RECORD
Westland Development Co. Inc
BERNALILLO COUNTY TREASURER'S OFFICE
justin alvarez 05-13-03

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

OWNER: Westland Development Co., Inc, a New Mexico Corporation
BY: Leroy Chavez, Vice President of Development
Leroy Chavez 3/14/03 DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
COUNTY OF BERNALILLO

This instrument was acknowledged before me on MARCH 14, 2003
By Leroy Chavez, Vice President of Development for Westland Development Co., Inc., a New Mexico Corporation on behalf of said corporation.

Linda Blair 8/5/05
NOTARY PUBLIC MY COMMISSION EXPIRES

OWNER: SUNSET PLAZA, General Partnership
BY: Joan Wershaw, Managing Partner
Joan Wershaw 8/27/05
DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
COUNTY OF BERNALILLO

This instrument was acknowledged before me on March 17, 2003
By Joan Wershaw, Managing Partner for SUNSET PLAZA, a New Mexico General Partnership
on behalf of said partnership.

Karen Lee Arfman 11-18-2005
NOTARY PUBLIC MY COMMISSION EXPIRE

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

- DRB Project No. 1001932
- Application No. 03DRB-00577
- Sharon Watson* 5/9/03 Date
Planning Director, City of Albuquerque, N.M.
- Bradley D. Bigham* 4/30/03 Date
City Engineer, City of Albuquerque, N.M.
- Martin W. Gubert Jr.* 5-7-03 Date
Albuquerque Metropolitan Arroyo Flood Control Authority
- Richard Dante* 4-30-03 Date
Transportation Development, City of Albuquerque, N.M.
- Roger A. Hearn* 4-30-03 Date
Utility Development Division, City of Albuquerque, N.M.
- Christina Sandoval* 4/30/03 Date
Parks and Recreation
- Chris Stein* 4-1-03 Date
City Surveyor, City of Albuquerque, N.M.
- Scott M. Howard* 5-6-03 Date
Property Management, City of Albuquerque, N.M.
- Leonard J. Monte* 4-8-03 Date
PNM Gas
- Leonard J. Monte* 4-8-03 Date
PNM Electric
- Mary Ann Gajola* 4-10-03 Date
Qwest Telecommunications
- Rita E. Sicks* 4-8-03 Date
Comcast Cable

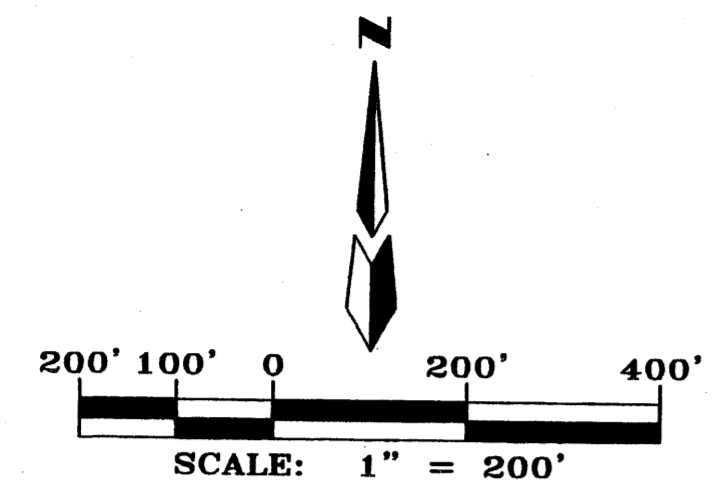
SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

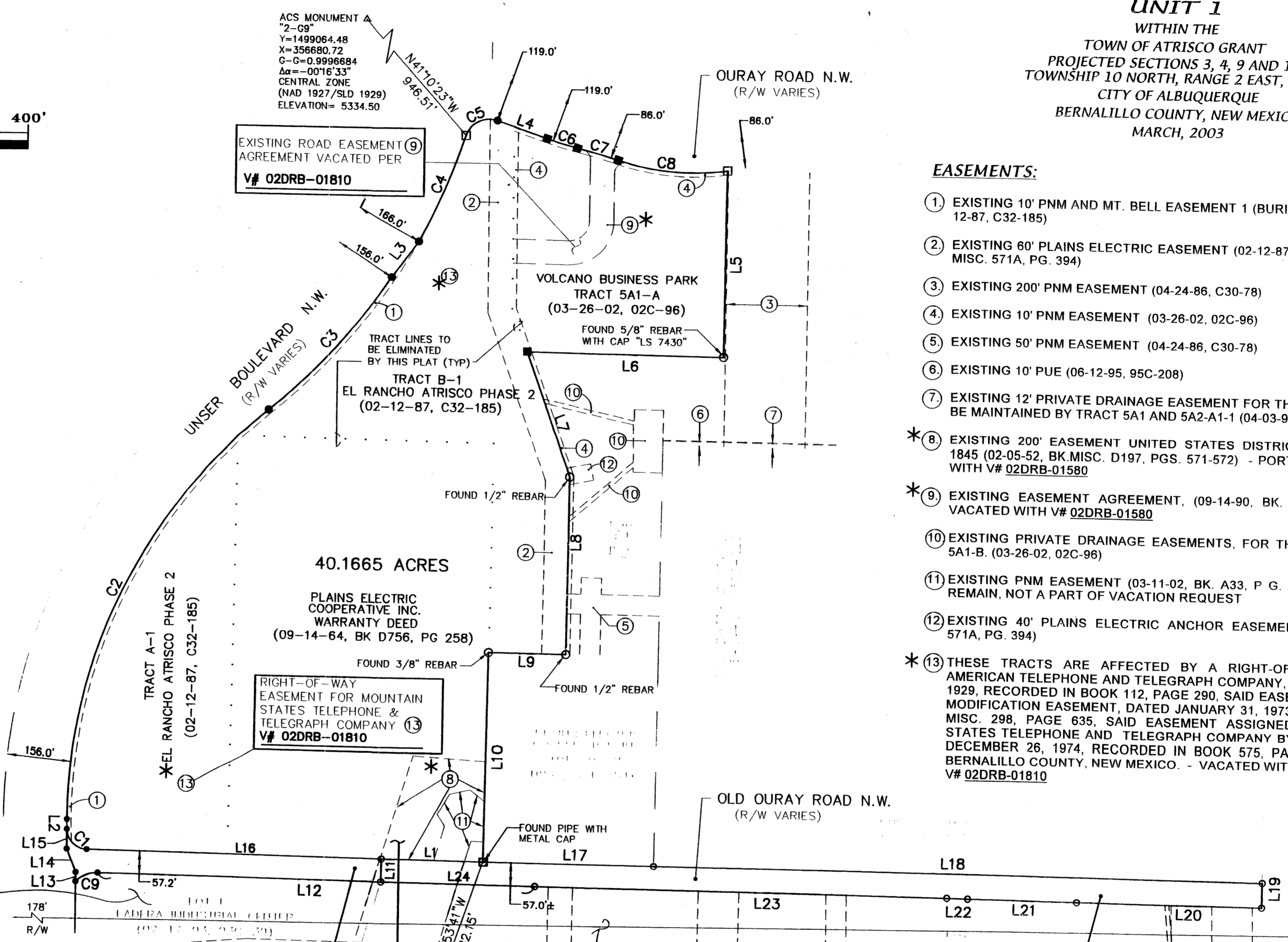
Timothy Aldrich 03-27-03
Timothy Aldrich P.S. No. 7719 Date

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PLAT FOR
WEST RIDGE SUBDIVISION
UNIT 1
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 3, 4, 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMMP
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2003



LINE	DIRECTION	DISTANCE
L1	N89°21'18"W (N89°22'42"W)	249.86'
L2	N00°14'03"W (N00°13'32"W)	23.83' (24.03')
L3	N36°08'53"E (N36°09'24"E)	111.22'
L4	S70°47'08"E (S70°47'45"E)	129.37'
L5	S00°31'10"W (S00°34'59"W)	460.02' (459.38')
L6	N89°20'50"W (N89°25'03"W)	483.97' (483.62')
L7	S19°39'38"E (S19°39'13"E)	324.13'
L8	S00°30'08"W (S00°30'41"W)	442.52' (442.49')
L9	N89°28'08"W (N89°27'48"W)	190.41'
L10	S00°38'29"W (S02°29'00"W)	518.45' (518.50')
L11	S00°37'09"W	56.94'
L12	N89°22'47"W (N00°13'32"W)	1076.02'
L13	N00°13'43"E	22.73'
L14	N21°38'44"W	61.88'
L15	N00°14'03"W	49.22'
L16	S89°21'18"E	725.71'
L17	S89°27'44"E	420.00'
L18	S89°28'50"E	1497.99'
L19	S00°34'47"W	60.00'
L20	N89°31'13"W (N89°31'02"W)	455.56'
L21	N89°19'36"W (N89°19'25"W)	268.09'
L22	S88°33'57"E (S88°33'46"E)	51.36'
L23	S89°22'33"E (S89°22'22"E)	1014.26'
L24	S89°22'47"E (S89°22'36"E)	378.64'



EASEMENTS:

- ① EXISTING 10' PNM AND MT. BELL EASEMENT 1 (BURIED UTILITIES ONLY) (02-12-87, C32-185)
- ② EXISTING 60' PLAINS ELECTRIC EASEMENT (02-12-87, C32-185) (12-23-87, BK. MISC. 571A, PG. 394)
- ③ EXISTING 200' PNM EASEMENT (04-24-86, C30-78)
- ④ EXISTING 10' PNM EASEMENT (03-26-02, 02C-96)
- ⑤ EXISTING 50' PNM EASEMENT (04-24-86, C30-78)
- ⑥ EXISTING 10' PUE (06-12-95, 95C-208)
- ⑦ EXISTING 12' PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF AND TO BE MAINTAINED BY TRACT 5A1 AND 5A2-A1-1 (04-03-98, 98C-89)
- * ⑧ EXISTING 200' EASEMENT UNITED STATES DISTRICT COURT CAUSE NO. 1845 (02-05-52, BK. MISC. D197, PGS. 571-572) - PORTION SHOWN VACATED WITH V# 02DRB-01580
- * ⑨ EXISTING EASEMENT AGREEMENT, (09-14-90, BK. BCR 90-15, PG. 3409) VACATED WITH V# 02DRB-01580
- ⑩ EXISTING PRIVATE DRAINAGE EASEMENTS, FOR THE BENEFIT OF TRACT 5A1-B. (03-26-02, 02C-96)
- ⑪ EXISTING PNM EASEMENT (03-11-02, BK. A33, P G. 1956) -- EASEMENT TO REMAIN, NOT A PART OF VACATION REQUEST
- ⑫ EXISTING 40' PLAINS ELECTRIC ANCHOR EASEMENT (12-23-87, BK. MISC. 571A, PG. 394)
- * ⑬ THESE TRACTS ARE AFFECTED BY A RIGHT-OF-WAY EASEMENT TO AMERICAN TELEPHONE AND TELEGRAPH COMPANY, DATED DECEMBER 13, 1929, RECORDED IN BOOK 112, PAGE 290, SAID EASEMENT AMENDED BY A MODIFICATION EASEMENT, DATED JANUARY 31, 1973, RECORDED IN BOOK MISC. 298, PAGE 635, SAID EASEMENT ASSIGNED TO THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY BY ASSIGNMENT DATED DECEMBER 26, 1974, RECORDED IN BOOK 575, PAGE 928 RECORDS OF BERNALILLO COUNTY, NEW MEXICO. - VACATED WITH V# 02DRB-01810

EXISTING A.M.A.F.C.A. DRAINAGE EASEMENT
 DISTRICT COURT CASE NO. 7-76-03096
 (09-28-76, BK. MISC. 498, PGS. 648-683)

CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C1	77.77' (77.78')	89°07'15" (89°07'46")	50.00'	49.24'	N44°47'40"W (N44°47'25"W)	70.17'
C2	1171.95'	50°47'33"	1322.00'	627.63'	N25°09'44"E (N25°10'14"E)	1133.95'
C3	449.50' (449.49')	17°25'30" (17°25'29")	1478.00'	226.50'	N41°50'45"E (N41°51'16"E)	447.77'
C4	284.65' (284.69')	10°57'38" (10°57'43")	1488.00'	142.76' (142.80')	N23°22'21"E (N23°22'50"E)	284.22' (284.30')
C5	95.63' (95.67')	91°19'20" (91°21'38")	60.00'	61.40' (61.38')	N63°33'12"E (N63°34'47"E)	85.83' (85.81')
C6	78.36'	05°38'50"	795.00'	39.21'	S73°36'33"E (S73°37'10"E)	78.33'
C7	104.51'	04°44'01"	1265.00'	52.28'	S74°27'06"E (S74°27'43"E)	104.48'
C8	273.34' (273.36')	25°40'01" (25°40'07")	610.17'	139.00' (139.01')	S85°22'31"E (S85°23'08"E)	271.06' (271.08')
C9	59.98'	45°49'04"	75.00'	31.69'	S67°42'51"W	58.39'

OLD OURAY ROAD N.W.
 1.0211 AC RIGHT-OF-WAY
 VACATED PER
 V# 02DRB-01579

EXISTING PNM EASEMENT ⑧
 PORTION VACATED PER
 V# 02DRB-01580

ACS MONUMENT
 "BH-39"
 Y=1494777.28
 X=356760.08
 G-C=0.9996750
 Δα=-00°16'32"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION= 5195.46

PROPERTY CORNERS

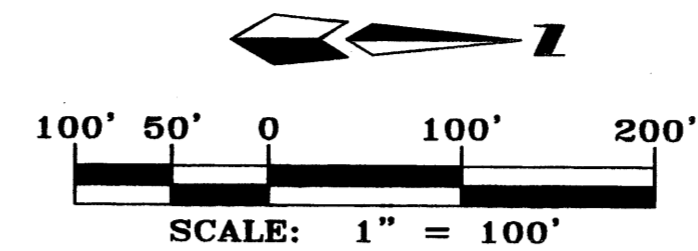
- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- FOUND "+" CROSS ON SIDEWALK (TYP)
- FOUND 5/8" REBAR WITH CAP "NMPS NO. 11993" (TYP)

OLD OURAY ROAD N.W.
 2.9097 AC RIGHT-OF-WAY
 VACATED PER
 V# 03DRB-00220

[Handwritten Signature]
 05-07-03

WEST RIDGE SUBDIVISION UNIT 1

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 3, 4, 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2003



** Clear Site Easement
 for Benefit of Public to
 be maintained by the owners
 of lots 17 and 18 Block 3
 to be kept clear of any
 obstruction.*

NOTE: ▲
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED
 AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET
 INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR
 INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE",
 "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ABBREVIATIONS
 10' PUE = PUBLIC UTILITY EASEMENTS
 GRANTED WITH THIS PLAT
 ROW = RIGHT-OF-WAY

ALL STREETS SHOWN
 HEREON ARE HEREBY
 DEDICATED AS PUBLIC
 RIGHT-OF-WAY

20' PUBLIC PEDESTRIAN ACCESS
 EASEMENT GRANTED BY THIS
 PLAT. (SEE NOTE 10, SHEET 4)

TRACT "F"
 13.4549 AC.

TRACT "A"
 5.0719 AC.

TRACT "E"
 (PUBLIC DRAINAGE RIGHT-OF-WAY)
 0.8609 AC.

TRACT "D"
 0.2247 AC.

TRACT "B"
 1.5684 AC.

TRACT "C"
 3.6462 AC.

NEW PUBLIC DRAINAGE RIGHT-OF-WAY
 DEDICATED IN FEE SIMPLE TO
 A.M.A.F.C.A., FOR THE BENEFIT OF
 A.M.A.F.C.A. BY THIS PLAT AND TO BE
 MAINTAINED BY PN.M. (3.9196 AC.)
 NEW PUBLIC WATER, SANITARY
 SEWER, AND DRAINAGE EASEMENT
 GRANTED TO THE CITY OF
 ALBUQUERQUE BY THIS PLAT.
 NEW PRIVATE ACCESS EASEMENT
 GRANTED BY THIS PLAT. (SEE
 NOTE 7 SHEET 4)
 NEW PUBLIC UTILITY EASEMENT
 (PUE) GRANTED WITH THIS PLAT

Handwritten signature and date: 05-07-03

**PLAT FOR
 WEST RIDGE SUBDIVISION
 SUBDIVISION**

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 3, 4, 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2003

NOTE: ▲

CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ABBREVIATIONS

10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
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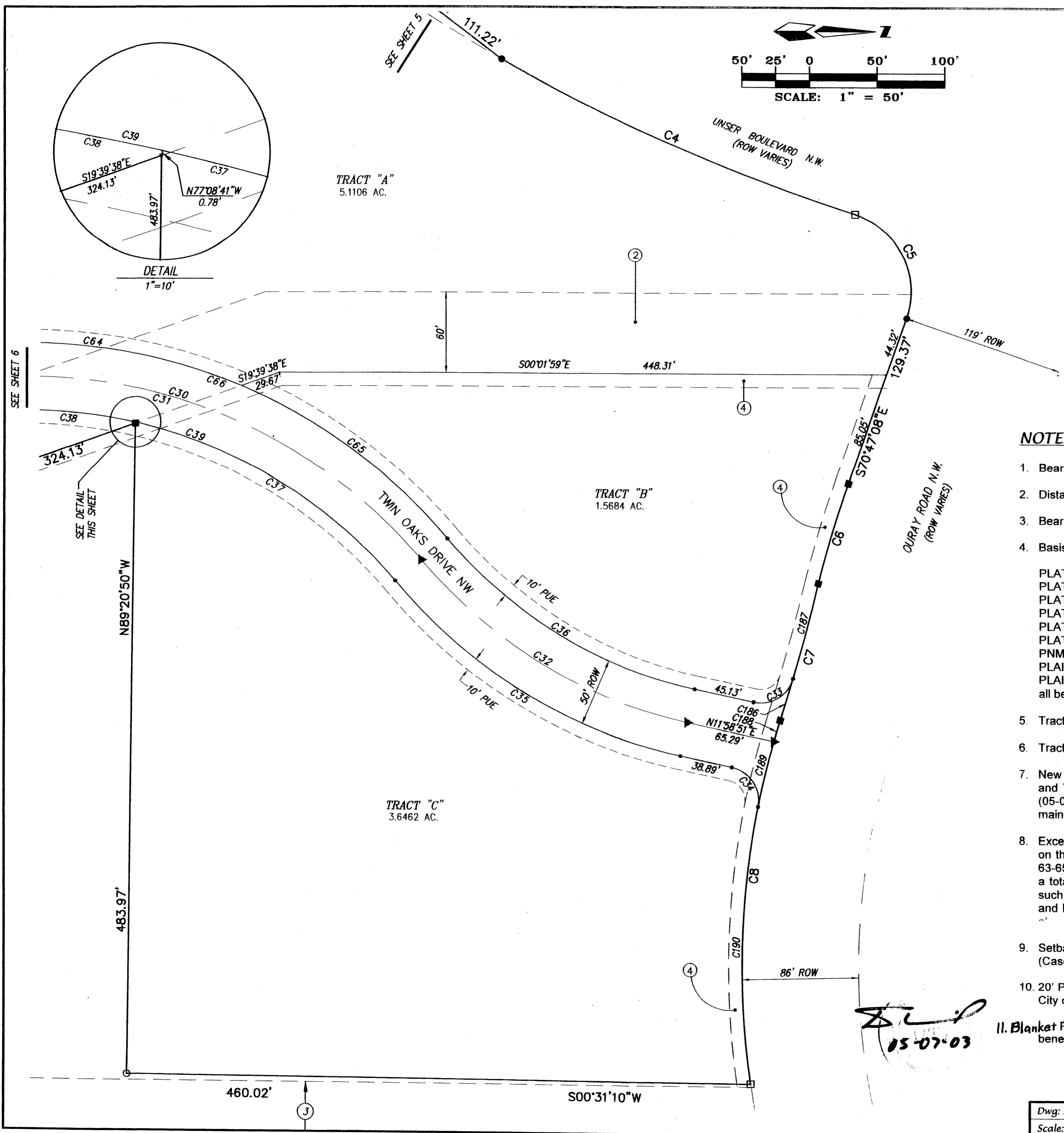
ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

NOTES:

- Bearings are grid based on the New Mexico State Plane Coordinate System (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:
 - PLAT FOR "LADERA INDUSTRIAL CENTER, LOTS 1 AND 2", (02-12-93, 93C-39)
 - PLAT FOR "VOLCANO BUSINESS PARK", (03-26-02, 02C-96)
 - PLAT FOR "VOLCANO BUSINESS PARK, PHASE I", (04-24-86, C30-78)
 - PLAT FOR "VOLCANO BUSINESS PARK, PHASE II", (04-03-98, 98C-89)
 - PLAT FOR "EL RANCHO ATRISCO, PHASE 3, TRACTS 5-A & 6-A", (02-12-87, C32-184)
 - PLAT FOR "EL RANCHO ATRISCO, PHASE 2, TRACTS A-1 & B-1", (02-12-87, C32-185)
 - PNM SWITCHING STATION (WD: 05-04-61, BK. D593, PG. 223)
 - PLAINS ELECTRIC COOPERATIVE, INC. (WD: 09-14-64, BK. D756, PG. 258)
 - PLAINS ELECTRIC COOPERATIVE, INC. (QCD: 01-30-79, BK. D83A, PGS. 321-354)
 all being records of Bernalillo County, New Mexico.
- Tracts A, B, C, & D are hereby created for future development.
- Tract E is dedicated to the City of Albuquerque for Public Drainage Right-of-way by this plat.
- New Private Access Easement granted to the owners of Lands of Plains Electric generation and Transmission Co-op, Inc. (01-30-79, BK D83A, PG. 321-354) and the Lands of PNM (05-04-61, BK D-593, PG 223), its successors or assigns, by this plat and to be jointly maintained by said owners. Access by beneficiaries shall be free and unrestricted.
- Except for the following 53 lots open space requirements of the city of Albuquerque are met on the lot with the dwellings as shown on the plat. Lots 1-6, Block 1, Lots 1-5, 10-15, 61, 63-65 Block 2, Lots 2, 4-15, 18, 21-31, Block 3, Lots 12, 16-17, Block 4, Lots 11-14, Block 5, a total of 53 lots, shall have a maximum combined structure foot print and drive way area such that the remaining open space is 2400 square feet or provide payment to the Parks and Recreation Diversion (cash-in-lieu) for the deficit in meeting the 2400 S.F. open space
- Setbacks are as shown and noted on the Amended Site Development Plan for Subdivision. (Case No. 02DRB-01581)
- 20' Pedestrian Access Easement granted to, for the benefit of, and to be maintained by the City of Albuquerque. 20' Public Utility Easement (PUE) granted with this plat.
- Blanket Public Water, Sanitary Sewer and Pedestrian Access Easement granted to, for the benefit of, and to be maintained by the City of Albuquerque.

[Signature]
 05-07-03

Dwg: A2031FPBASE.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 4 of 8
Scale: 1"=50'	Date: 04/22/03	Job: A02031	



PLAT FOR
WEST RIDGE SUBDIVISION
UNIT 1

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 3, 4, 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2003

NOTE: ▲
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ABBREVIATIONS
 10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
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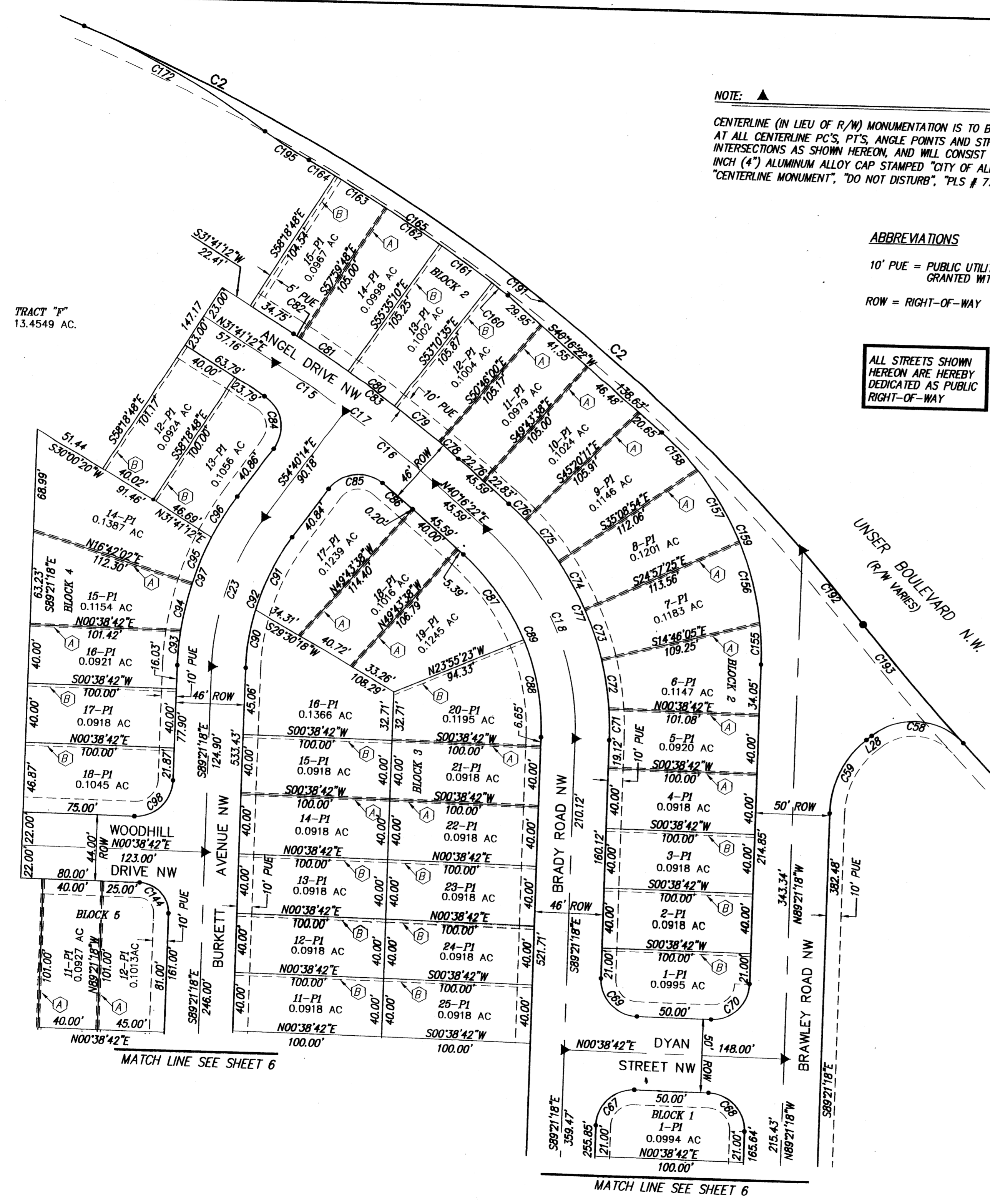
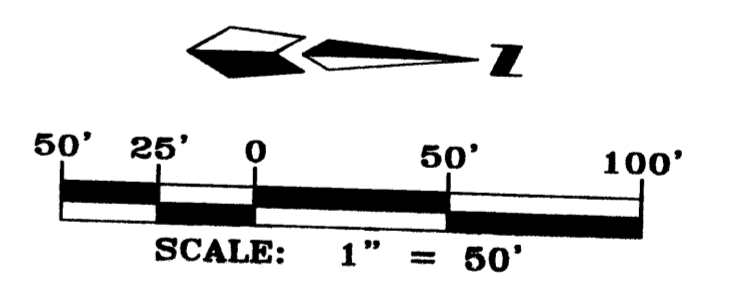
ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

PRIVATE DRAINAGE EASEMENTS:

2' wide private drainage easements are located in some side yards as shown hereon. Where the difference in elevation between the two adjacent pads is 0.8' or less the easement is centered on the lot line. Where the difference is more than 0.8' but less than 1.4' the easement is entirely on the low side of the lot line and immediately adjacent to that lot line. Where the easement is centered on the lot line it is for the mutual benefit of both lot owners and is to be jointly maintained. Where the easement is entirely on the low side of the lot line the easement is for the benefit of the adjacent "high side" lot owner and shall be maintained by the underlying "low side" lot owner. Neither lot owner is allowed to change the planned grade within the 2' wide private drainage easement, nor shall either lot owner place any loose material adjacent to the easement that has the potential to be moved into the drainage easement or in any other way block drainage in any portion of the easement, except that a fence or block wall may be centered on the side of the easement to be changed except by a structurally sound retaining wall, as designed by a registered professional engineer or architect. Where no easement is shown on the plat each lot owner must construct, operate and maintain his own separate swale all the way to the street and cross lot drainage will be prevented by some combination of walls and berms on the common lot line to be jointly maintained by both lot owners.

EASEMENTS

- (A) 2' PRIVATE DRAINAGE EASEMENT CENTERED ON LOT LINE (SEE NOTE THIS SHEET)
- (B) 2' PRIVATE DRAINAGE EASEMENT ON LOW SIDE OF LOT LINE (SEE NOTE THIS SHEET)



TRACT "A"
 5.0719 AC.

Richard
 03-27-03

SEE SHEET 4

Dwg: A2031FPBASE.dwg	Drawn: RICHARD	Checked: ALS	Sheet 5 of 8
Scale: 1"=50'	Date: 03/26/03	Job: A02031	

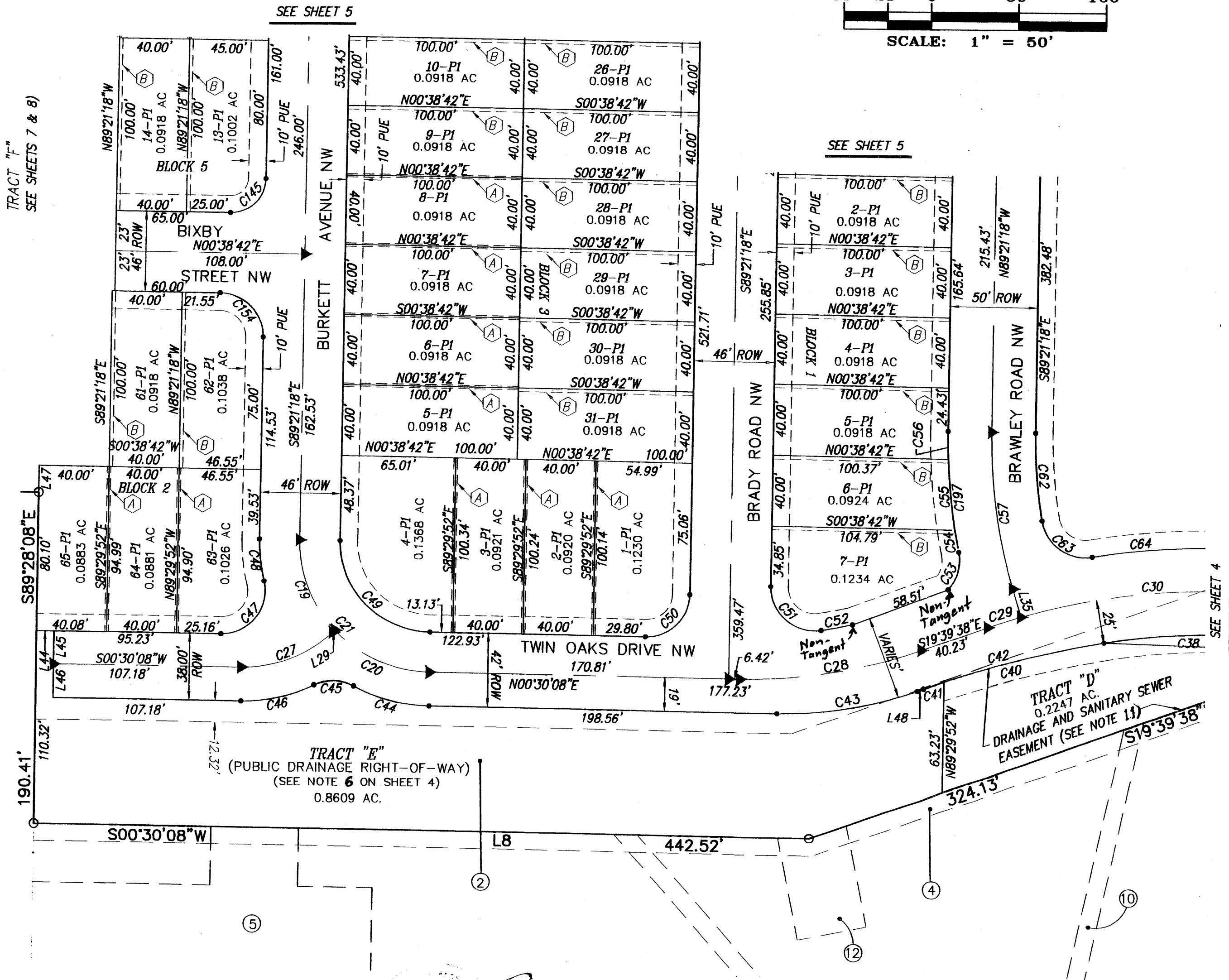
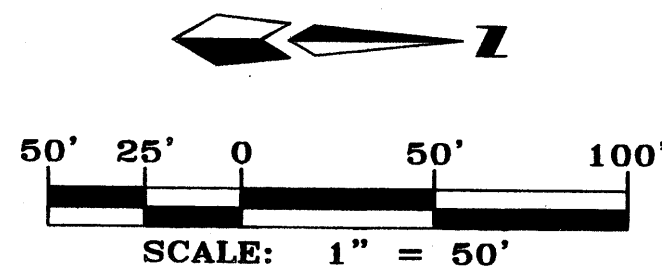
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PLAT FOR
WEST RIDGE SUBDIVISION
UNIT 1

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 3, 4, 9 AND 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2003



NOTE: ▲
CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".



CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C15	907.58	57.70	3°38'34"	28.86	S33°30'29"W	57.69
C16	907.58	78.30	4°56'36"	39.18	S37°48'04"W	78.28
C17	907.58	136.01	8°35'10"	68.13	S35°58'47"W	135.88
C18	180.00	158.25	50°22'20"	84.65	S65°27'32"W	153.20
C19	75.00	57.51	43°55'55"	30.25	N68°40'45"E	56.11
C20	75.00	60.49	46°12'39"	32.00	N23°36'27"E	58.86
C21	75.00	118.00	90°08'35"	75.19	N45°34'25"E	106.20
C23	180.00	108.96	34°41'04"	56.21	S72°00'46"E	107.31
C27	75.00	57.32	43°47'21"	30.14	N21°23'33"W	55.94
C28	300.00	105.57	20°09'46"	53.34	N09°34'45"W	105.03
C29	375.00	20.03	3°03'36"	10.02	S18°07'50"E	20.02
C30	375.00	438.00	66°55'19"	247.84	S16°51'37"W	413.53
C31	375.00	458.03	69°58'55"	262.49	S15°19'49"W	430.08
C32	350.00	234.21	38°20'26"	121.68	N31°09'04"E	229.86
C33	25.00	37.31	85°30'44"	23.11	N30°46'32"W	33.94
C34	25.00	38.96	89°16'45"	24.69	S56°37'13"W	35.13
C35	375.00	250.94	38°20'26"	130.37	N31°09'04"E	246.28
C36	325.00	217.48	38°20'26"	112.99	N31°09'04"E	213.44
C37	350.00	229.04	37°29'37"	118.79	S31°34'28"W	224.97
C38	350.00	138.44	22°39'49"	70.14	S01°29'45"W	137.54
C39	350.00	367.48	60°09'26"	202.71	S20°14'34"W	350.83
C40	622.75	94.19	8°39'58"	47.19	S14°10'08"E	94.10
C41	622.75	12.59	1°09'31"	6.30	S19°04'52"E	12.59
C42	622.75	106.78	9°49'29"	53.52	S14°44'54"E	106.65
C43	231.64	81.51	20°09'46"	41.18	N09°34'45"W	81.09
C44	94.00	44.86	27°20'34"	22.86	N14°10'25"E	44.43
C45	25.00	23.99	54°58'59"	13.01	S00°21'12"W	23.08
C46	94.00	43.11	26°16'31"	21.94	N12°38'08"W	42.73
C47	25.00	45.43	104°07'01"	32.07	N51°33'23"W	39.43
C48	98.00	24.39	14°15'36"	12.26	N83°30'54"E	24.33
C49	52.00	81.81	90°08'35"	52.13	N45°34'25"E	73.63
C50	25.00	39.21	89°51'25"	24.94	N44°25'35"W	35.31
C51	25.00	43.52	99°44'59"	29.66	N40°46'12"E	38.23
C52	275.00	18.22	3°47'46"	8.35	N11°00'10"W	18.22
C53	25.00	23.35	53°30'47"	12.55	N74°43'35"W	22.51
C54	325.00	12.95	2°17'00"	6.48	N79°39'32"E	12.95
C55	325.00	40.27	7°05'57"	20.16	N84°21'00"E	40.24
C56	325.00	15.57	2°44'44"	7.79	N89°16'20"E	15.57
C57	300.00	90.30	17°14'45"	45.49	N82°01'20"E	89.96
C58	45.00	67.96	86°31'47"	42.35	S03°13'50"W	61.68
C59	66.00	56.81	49°19'15"	30.30	S64°41'40"E	55.08
C62	275.00	49.65	10°20'38"	24.89	N85°28'23"E	49.58
C63	25.00	39.23	89°53'59"	24.96	N35°21'05"E	35.32
C64	400.00	226.96	32°30'36"	116.63	S06°39'24"W	223.93
C65	400.00	191.36	27°24'35"	97.55	S36°36'59"W	189.54
C66	400.00	418.32	59°55'11"	230.57	S20°21'41"W	399.51
C67	25.00	39.27	90°00'00"	25.00	S44°21'18"E	35.36
C68	25.00	39.27	90°00'00"	25.00	S45°38'42"W	35.36
C69	25.00	39.27	90°00'00"	25.00	N45°38'42"E	35.36
C70	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C71	203.00	20.91	5°54'11"	10.47	S87°41'37"W	20.91
C72	203.00	33.69	9°30'36"	16.89	S79°59'13"W	33.66

LINE TABLE

LINE ID	LENGTH	BEARING	LINE ID	LENGTH	BEARING
L17	420.00	S89°27'44"E	L37	32.42	N33°03'06"W
L18	1497.99	S89°28'50"E	L38	14.96	N23°50'44"E
L19	60.00	S00°34'47"W	L39	45.32	N31°07'45"E
L20	455.56	N89°31'13"W	L40	50.93	N76°13'00"E
L21	268.09	N89°19'36"W	L41	46.73	S50°54'18"E
L22	51.36	N88°33'57"W	L42	53.15	N16°40'26"E
L23	1014.26	N89°22'33"W	L43	30.70	S86°36'04"E
L24	378.63	N89°22'47"W	L44	10.01	N00°30'08"E
L28	4.52	N40°02'03"W	L45	19.00	S89°29'52"E
L29	1.79	N43°17'13"W	L46	19.00	S89°29'52"E
L35	16.79	N73°23'57"E	L47	15.00	S89°21'18"E
L36	89.38	N16°22'38"E	L48	3.78	S19°39'38"E

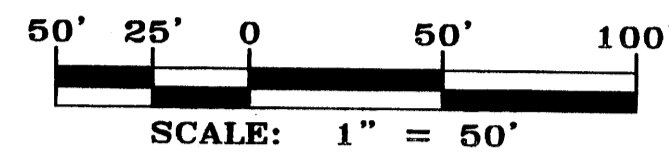
ABBREVIATIONS
10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
ROW = RIGHT-OF-WAY

EASEMENTS
A 2' PRIVATE DRAINAGE EASEMENT CENTERED ON LOT LINE (SEE NOTE SHEET 5)
B 2' PRIVATE DRAINAGE EASEMENT ON LOW SIDE OF LOT LINE (SEE NOTE SHEET 5)

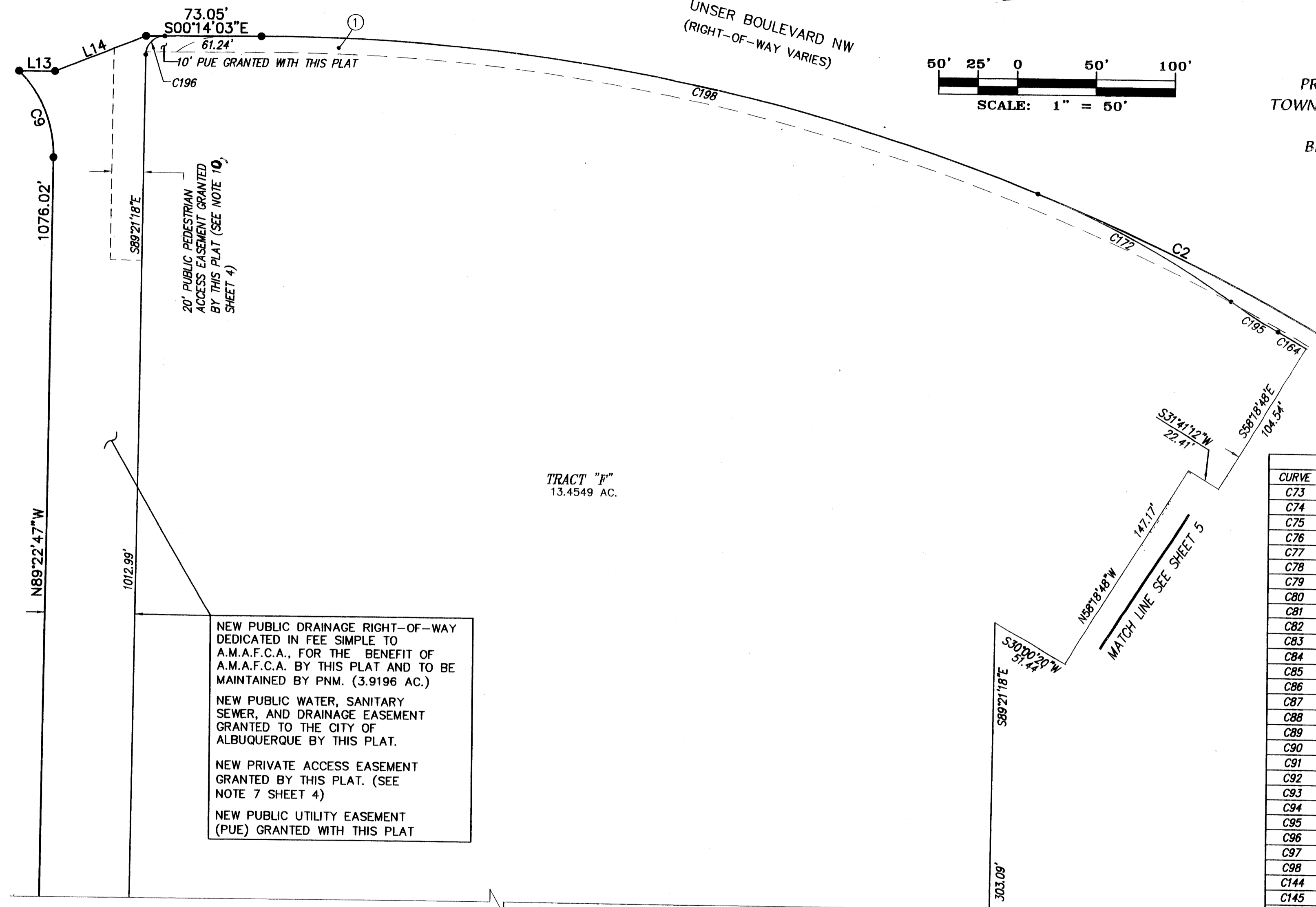
ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

PLAT FOR
**WEST RIDGE SUBDIVISION
 UNIT 1**

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 3, 4, 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2003



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 Page: 7 of 8
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 Bk-2883C Pg-133



NEW PUBLIC DRAINAGE RIGHT-OF-WAY DEDICATED IN FEE SIMPLE TO A.M.A.F.C.A., FOR THE BENEFIT OF A.M.A.F.C.A. BY THIS PLAT AND TO BE MAINTAINED BY PNM. (3.9196 AC.)
 NEW PUBLIC WATER, SANITARY SEWER, AND DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
 NEW PRIVATE ACCESS EASEMENT GRANTED BY THIS PLAT. (SEE NOTE 7 SHEET 4)
 NEW PUBLIC UTILITY EASEMENT (PUE) GRANTED WITH THIS PLAT

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C73	203.00	36.10	10°11'20"	18.10	S70°08'15"W	36.05
C74	203.00	36.11	10°11'30"	18.10	S59°56'51"W	36.06
C75	203.00	36.10	10°11'17"	18.10	S49°45'27"W	36.05
C76	203.00	15.56	4°23'26"	7.78	S42°28'05"W	15.55
C77	203.00	178.47	50°22'20"	95.46	S65°27'32"W	172.78
C78	930.58	16.88	1°02'22"	8.44	S39°45'11"W	16.88
C79	930.58	39.14	2°24'36"	19.57	S38°01'43"W	39.14
C80	930.58	39.14	2°24'35"	19.57	S35°37'07"W	39.14
C81	930.58	39.15	2°24'38"	19.58	S33°12'31"W	39.15
C82	930.58	5.14	0°18'59"	2.57	S31°50'42"W	5.14
C83	930.58	139.45	8°35'10"	69.86	S35°58'47"W	139.32
C84	25.00	40.86	93°38'34"	26.64	S78°30'29"W	36.46
C85	25.00	40.67	93°12'04"	26.44	S08°04'12"E	36.33
C86	884.58	26.90	1°44'32"	13.45	S39°24'06"W	26.90
C87	157.00	70.71	25°48'14"	35.96	S53°10'29"W	70.11
C88	157.00	67.32	24°34'05"	34.19	S78°21'39"W	66.81
C89	157.00	138.03	50°22'20"	73.83	S65°27'32"W	133.63
C90	157.00	40.36	14°43'45"	20.29	S81°59'25"E	40.25
C91	157.00	54.68	19°57'19"	27.62	S64°38'53"E	54.41
C92	157.00	95.04	34°41'04"	49.03	S72°00'46"E	93.60
C93	203.00	24.03	6°46'58"	12.03	S85°57'49"E	24.02
C94	203.00	32.85	9°16'22"	16.46	S77°56'09"E	32.82
C95	203.00	33.33	9°24'27"	16.70	S68°35'45"E	33.29
C96	203.00	32.67	9°13'17"	16.37	S59°16'52"E	32.64
C97	203.00	122.89	34°41'04"	63.39	S72°00'46"E	121.02
C98	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C144	20.00	31.42	90°00'00"	20.00	S45°38'42"W	28.28
C145	20.00	31.42	90°00'00"	20.00	N44°21'18"W	28.28
C154	25.00	39.27	90°00'00"	25.00	S45°38'42"W	35.36
C155	200.00	28.15	8°03'55"	14.10	S86°36'45"W	28.13
C156	200.00	56.19	16°05'45"	28.28	S74°31'55"W	56.00
C157	200.00	56.31	16°07'50"	28.34	S58°25'07"W	56.12
C158	200.00	35.19	10°04'49"	17.64	S45°18'47"W	35.14
C159	200.00	175.83	50°22'20"	94.05	S65°27'32"W	170.22
C160	1310.00	13.65	0°35'50"	6.83	S36°02'51"W	13.65
C161	1310.00	43.58	1°54'22"	21.79	S34°47'45"W	43.58
C162	1310.00	43.57	1°54'21"	21.79	S32°53'23"W	43.57
C163	1310.00	40.47	1°46'13"	20.24	S31°03'07"W	40.47
C164	1310.00	20.55	0°53'56"	10.28	S29°43'02"W	20.55
C165	1310.00	161.84	7°04'42"	81.02	S32°48'25"W	161.73
C172	577.00	140.36	13°56'16"	70.53	S28°35'46"W	140.01
C186	1265.00	31.94	1°26'48"	15.97	N72°48'30"W	31.94
C187	1265.00	72.57	3°17'13"	36.29	N75°10'30"W	72.56
C188	610.17	16.29	1°31'47"	8.15	S73°18'24"E	16.29
C189	610.17	49.72	4°40'07"	24.87	S76°24'21"E	49.71

Handwritten signature and date:
 05-07-03

NOTE:
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

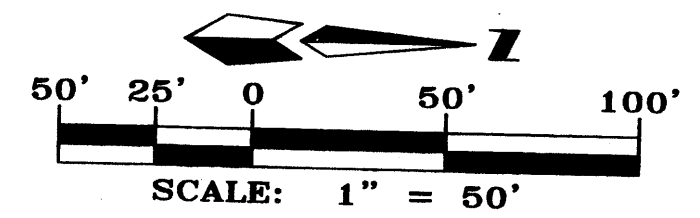
ABBREVIATIONS
 10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
 ROW = RIGHT-OF-WAY

EASEMENTS
 (A) 2' PRIVATE DRAINAGE EASEMENT CENTERED ON LOT LINE (SEE NOTE SHEET 5)
 (B) 2' PRIVATE DRAINAGE EASEMENT ON LOW SIDE OF LOT LINE (SEE NOTE SHEET 5)

PLAT FOR
WEST RIDGE SUBDIVISION
UNIT 1
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 3, 4, 9 AND 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2003

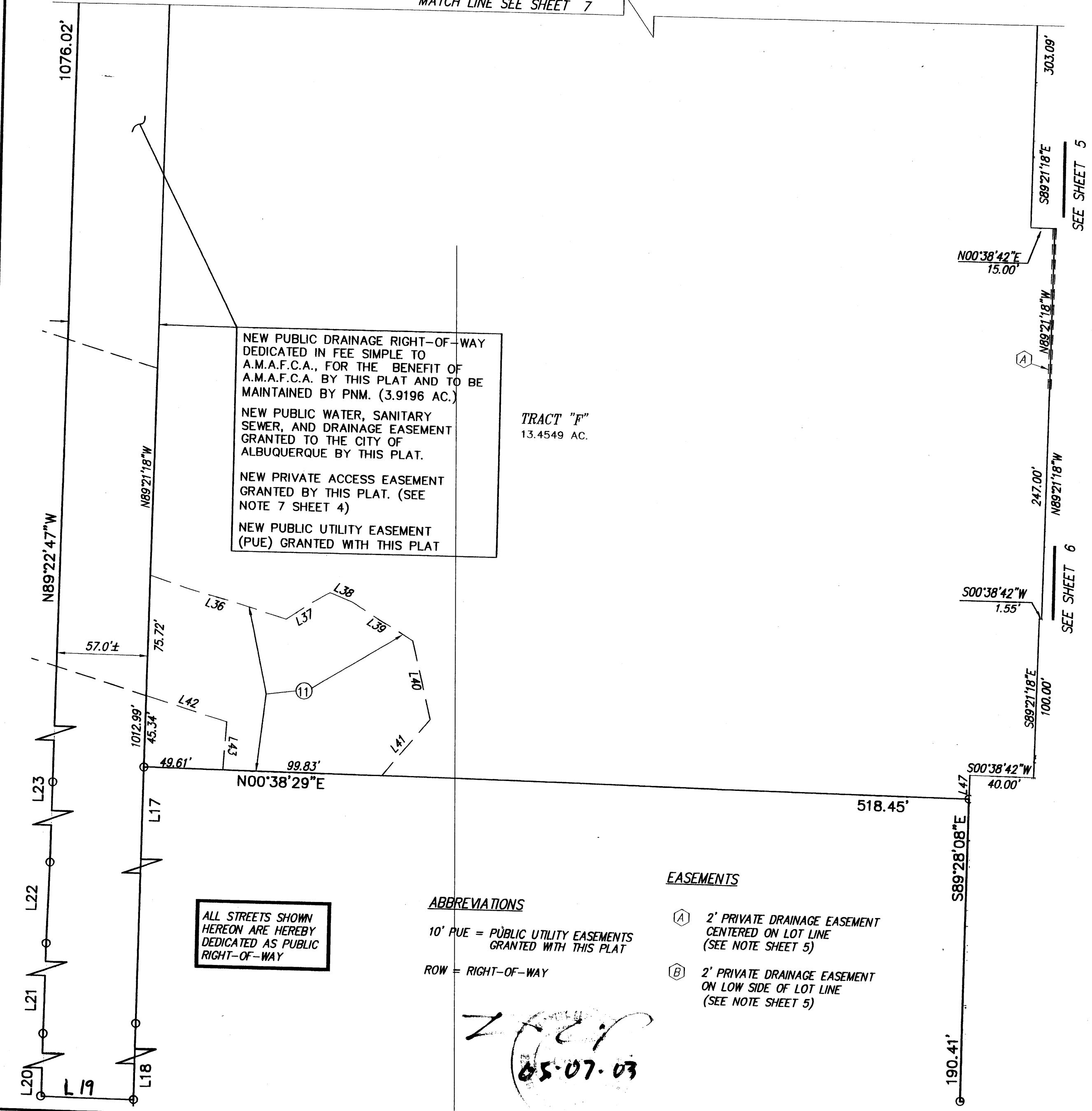
NOTE: ▲

CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".



CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C190	610.17	207.33	19°28'07"	104.67	S88°28'28"E	206.33
C191	1322.00	602.65	26°07'08"	306.65	S34°42'05"W	597.44
C192	1322.00	64.55	2°47'51"	32.28	S49°09'35"W	64.54
C193	1478.00	104.81	4°03'46"	52.43	N48°31'37"E	104.78
C194	1478.00	344.69	13°21'44"	173.13	N39°48'52"E	343.91
C195	323.00	35.50	6°17'50"	17.77	N32°24'59"E	35.48
C196	12.00	18.67	89°07'15"	11.82	S44°47'40"E	16.84
C197	325.00	68.79	12°07'41"	34.53	N84°34'52"E	68.67
C198	1322.00	504.75	21°52'34"	255.49	S10°42'14"W	501.69

MATCH LINE SEE SHEET 7



NEW PUBLIC DRAINAGE RIGHT-OF-WAY DEDICATED IN FEE SIMPLE TO A.M.A.F.C.A., FOR THE BENEFIT OF A.M.A.F.C.A. BY THIS PLAT AND TO BE MAINTAINED BY PNM. (3.9196 AC.)

NEW PUBLIC WATER, SANITARY SEWER, AND DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.

NEW PRIVATE ACCESS EASEMENT GRANTED BY THIS PLAT. (SEE NOTE 7 SHEET 4)

NEW PUBLIC UTILITY EASEMENT (PUE) GRANTED WITH THIS PLAT

TRACT "F"
13.4549 AC.

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

ABBREVIATIONS

10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT

ROW = RIGHT-OF-WAY

EASEMENTS

- (A) 2' PRIVATE DRAINAGE EASEMENT CENTERED ON LOT LINE (SEE NOTE SHEET 5)
- (B) 2' PRIVATE DRAINAGE EASEMENT ON LOW SIDE OF LOT LINE (SEE NOTE SHEET 5)

Handwritten signature and date: 05-07-03

DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Sections 3, 4, 9 and 10, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 5A1-A, VOLCANO BUSINESS PARK as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 26, 2002 in Book 2002C, Page 96 and all of TRACTS A-1 and B-1, EL RANCHO ATRISCO, PHASE II as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 12, 1987 in Volume C32, Folio 185 together with all of LANDS OF PLAINS ELECTRIC COOPERATIVE, INC. as the same is described in a WARRANTY DEED filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 14, 1964 in Book D756, Page 258 together with a portion of VACATED OLD OURAY ROAD N.W. and being more particularly described as follows:

BEGINNING at a point of the herein described tract from whence the Albuquerque Control Survey Monument "2-G9" bears N 41°10'23" W, 946.51 feet;

THENCE 95.63 feet along a curve to the right, whose radius is 60.00 feet through a central angle of 91°19'20" and whose chord bears N 63°33'12" E, 85.83 feet to a point of tangency;

THENCE S 70°47'08" E, 129.37 to a point of curvature;

THENCE 78.36 feet along a curve to the left, whose radius is 795.00 feet through a central angle of 05°38'50" and whose chord bears S 73°36'33" E, 78.33 feet to a point of reverse curvature;

THENCE 104.51 feet along a curve to the right, whose radius is 1265.00 feet through a central angle of 04°44'01" and whose chord bears S 74°27'06" E, 104.48 feet to a point of reverse curvature;

THENCE 273.34 feet along a curve to the left, whose radius is 610.17 feet through a central angle of 25°40'01" and whose chord bears S 85°22'31" E, 271.06 feet to a point;

THENCE S 00°31'10" W, 460.02 feet to a point;

THENCE S 19°39'38" E, 324.13 feet to a point;

THENCE N 89°28'08" W, 190.41 feet to a point;

THENCE S 89°27'44" E, 420.00 feet to a point;

THENCE S 00°34'47" W, 60.00 feet to a point;

THENCE N 89°19'36" W, 268.09 feet to a point;

THENCE N 89°22'33" W, 1014.26 feet to a point;

THENCE 59.98 feet along a curve to the left, whose radius is 75.00 feet through a central angle of 45°49'04" and whose chord bears S 67°42'51" W, 58.39 feet to a point on tangent;

THENCE N 00°13'43" E, 22.73 feet to a point;

THENCE N 00°14'03" W, 73.03 feet to a point of curvature;

THENCE 1171.95 feet along a curve to the right, whose radius is 1322.00 feet through a central angle of 50°47'33" and whose chord bears N 25°09'44" E, 1133.95 feet to a point of reverse curvature;

THENCE 449.50 feet along a curve to the left, whose radius is 1478.00 feet through a central angle of 17°25'30" and whose chord bears N 41°50'45" E, 447.77 feet to a point on tangent;

THENCE N 36°08'53" E, 111.22 feet to a point on curvature;

THENCE 284.65 feet along a curve to the left, whose radius is 1488.00 feet through a central angle of 10°57'38" and whose chord bears N 23°22'21" E, 284.22 feet to the point of beginning and containing 40.1665 acres more or less.

AMENDED 3-403
PRELIMINARY PLAT
 WEST RIDGE SUBDIVISION UNITS 1 & 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 3, 4, 9 & 10
 TOWNSHIP 10, NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2002

*Amended Prelim. Plat
 7/12/03*

SUBDIVISION DATA

GROSS ACREAGE..... 40.1665
~~37.2568~~ AC.
 ZONE ATLAS NO. G-9, G-10, H-9 & H-10
 NO. OF EXISTING TRACTS 4
 NO. OF TRACTS/LOTS CREATED..... 5 TRACTS / 169 LOTS
 NO. OF TRACTS ELIMINATED 4
 AREA DEDICATED TO CITY OF ALBUQUERQUE..... 7.5056 AC
 DATE OF SURVEY..... JUNE, 2002
 ZONING SU-1/RD

OWNERS

KB HOME NEW MEXICO, INC. WESTLAND DEVELOPMENT CO., INC.
 4921 ALEXANDER NE, SUITE B 401 COORS BLVD. NW
 ALBUQUERQUE, N.M. 87107 ALBUQUERQUE, N.M. 87121
 (505) 344-9400 (505) 881-9600

SUNSET PLAZA GENERAL PARTNERS
 4325 CARLISLE BLVD. NE
 ALBUQUERQUE, N.M. 87107
 (505) 883-1606

UNIT 1 69 Lots
 UNIT 2 100 Lots
 Total 169 Lots

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200

SURVEYOR

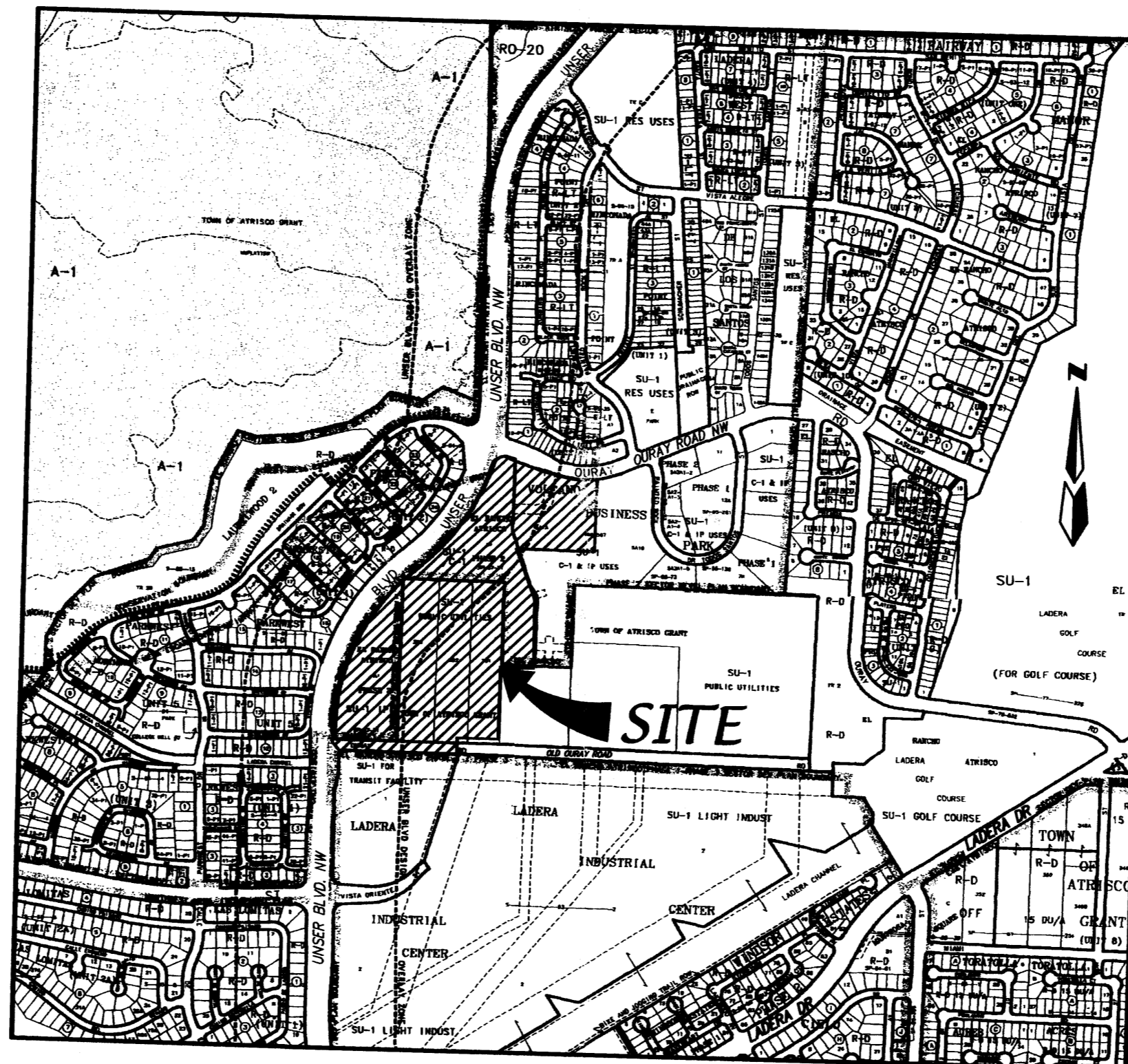
ALDRICH LAND SURVEY
 P.O. BOX 30701
 ALBUQUERQUE, N.M. 87190-0701
 (505) 884-1990

OWNERS:

G. Breedlove 9/24/02
 GREG BREEDLOVE DATE
 VP OF LAND DEVELOPMENT
 KB HOME NEW MEXICO INC.

Joan Wershaw 10/4/02
 JOAN WERSHAW DATE
 MANAGING PARTNER
 SUNSET PLAZA GENERAL PARTNERSHIP

Leroy J. Chavez 9/30/02
 LEROY J. CHAVEZ DATE
 V.P. OF DEVELOPMENT
 WESTLAND DEVELOPEMENT CO., INC.



LOCATION MAP
 NOT TO SCALE

PURPOSE OF PLAT

1. SUBDIVIDE FOUR TRACTS INTO 169 RESIDENTIAL LOTS AND 5 TRACTS
2. DEDICATE RIGHT-OF-WAY AS SHOWN
3. GRANT NEW EASEMENTS AS SHOWN
4. VACATE EASEMENTS AND RIGHT-OF-WAY AS SHOWN

LEGAL DESCRIPTION

SEE SHEET 2

NOTES

1. UNLESS OTHERWISE NOTED ALL POINTS ARE "SET 5/8" REBAR WITH CAP "ALS LS 7719".
2. ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS ▲, WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED:
 "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION"
 "DO NOT DISTURB"
 "PLS # 7719".
3. BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
4. BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
5. ALL DISTANCES SHALL BE GROUND DISTANCES.
6. MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
7. TRACTS A, B, C, & D ARE HEREBY CREATED FOR FUTURE DEVELOPMENT.
8. TRACT E IS DEDICATED TO THE CITY OF ALBUQUERQUE FOR PUBLIC DRAINAGE RIGHT-OF-WAY BY THIS PLAT.
9. NEW PRIVATE ACCESS EASEMENT GRANTED TO THE OWNERS OF THE LANDS OF PLAINS ELECTRIC GENERATION AND TRANSMISSION CO-OP, INC. (01-30-79, BK D83A, PG. 321-354) AND THE LANDS OF PNM (05-04-61, BK D-593, PG 223), ITS SUCCESSORS OR ASSIGNS, BY THIS PLAT AND TO BE JOINTLY MAINTAINED BY SAID OWNERS. ACCESS BY BENEFICIARIES SHALL BE FREE AND UNRESTRICTED.
10. ALL OPEN SPACE REQUIREMENTS ARE MET ON THE LOT WITH THE DWELLING PER PROVISIONS OF SECTION 14-16-3-8 (A) (1).

APPROVED FOR MONUMENTATION AND STREET NAMES

John B. Hunt 10-4-02
 CITY SURVEYOR, CITY OF ALBUQUERQUE, N.M. DATE

Dwg: PPSHT1.dwg	Drawn: RICHARD	Checked: ALS	Sheet 1 of 8
Scale: 1:1	Date: 09/24/02	Job: A02031	

LEGAL DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Sections 3, 4, 9 and 10, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 5A1-A, VOLCANO BUSINESS PARK as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 26, 2002 in Book 2002C, Page 96 and all of TRACTS A-1 and B-1, EL RANCHO ATRISCO, PHASE II as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 12, 1987 in Volume C32, Folio 185, together with all of LANDS OF PLAINS ELECTRIC COOPERATIVE, INC. as the same is described in a WARRANTY DEED filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 14, 1964 in Book D756, Page 258, together with all of VACATED OLD OURAY ROAD and containing 40.1665 acres more or less.

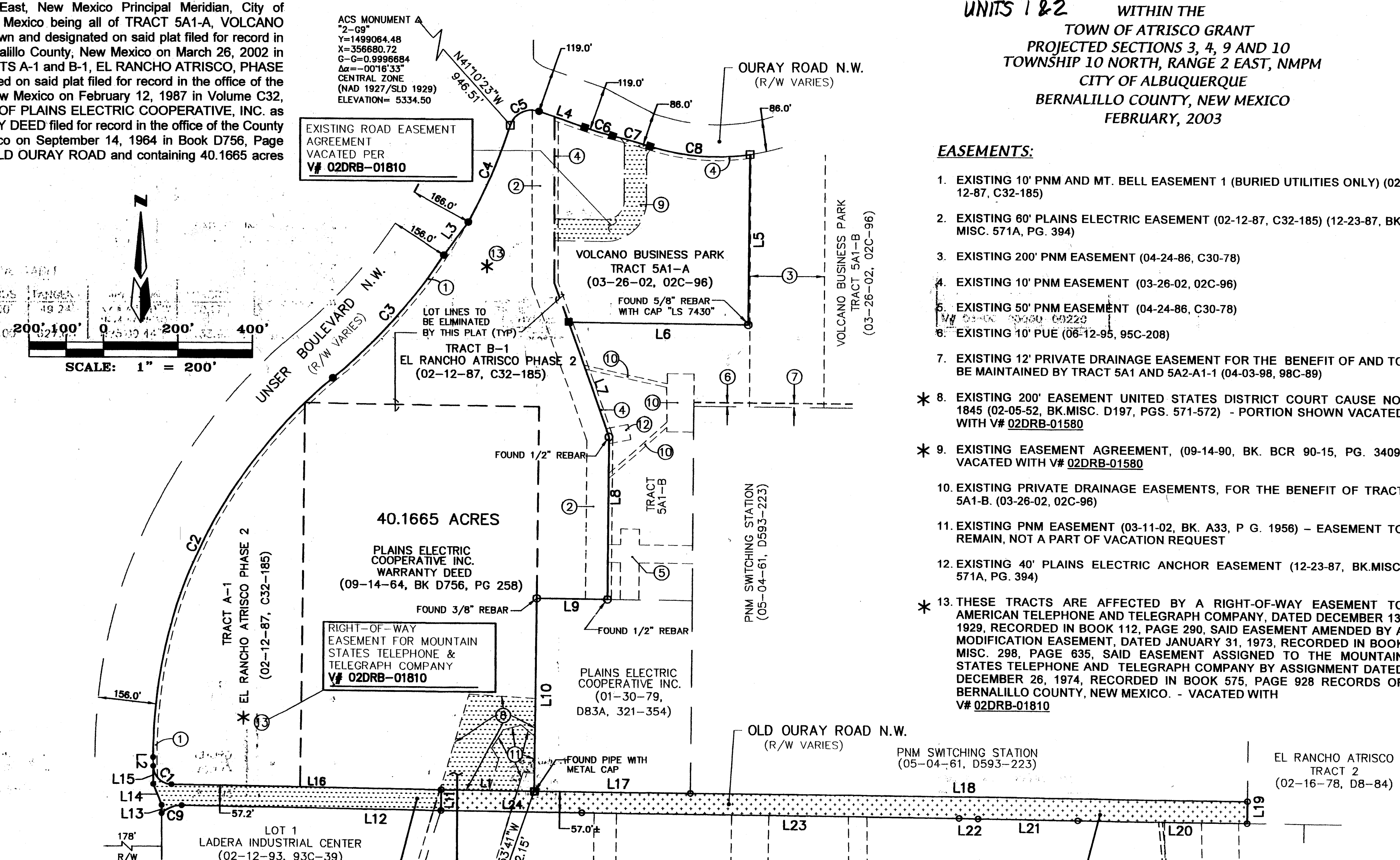
**AMENDED 3-4-03
PRELIMINARY PLAT FOR
WEST RIDGE SUBDIVISION
UNITS 1 & 2**
WITHIN THE
**TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 3, 4, 9 AND 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMMP
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
FEBRUARY, 2003**

EASEMENTS:

1. EXISTING 10' PNM AND MT. BELL EASEMENT 1 (BURIED UTILITIES ONLY) (02-12-87, C32-185)
2. EXISTING 60' PLAINS ELECTRIC EASEMENT (02-12-87, C32-185) (12-23-87, BK. MISC. 571A, PG. 394)
3. EXISTING 200' PNM EASEMENT (04-24-86, C30-78)
4. EXISTING 10' PNM EASEMENT (03-26-02, 02C-96)
5. EXISTING 50' PNM EASEMENT (04-24-86, C30-78)
6. EXISTING 10' PUE (06-12-95, 95C-208)
7. EXISTING 12' PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF AND TO BE MAINTAINED BY TRACT 5A1 AND 5A2-A1-1 (04-03-98, 98C-89)
- * 8. EXISTING 200' EASEMENT UNITED STATES DISTRICT COURT CAUSE NO. 1845 (02-05-52, BK. MISC. D197, PGS. 571-572) - PORTION SHOWN VACATED WITH V# 02DRB-01580
- * 9. EXISTING EASEMENT AGREEMENT, (09-14-90, BK. BCR 90-15, PG. 3409) VACATED WITH V# 02DRB-01580
10. EXISTING PRIVATE DRAINAGE EASEMENTS, FOR THE BENEFIT OF TRACT 5A1-B. (03-26-02, 02C-96)
11. EXISTING PNM EASEMENT (03-11-02, BK. A33, P G. 1956) - EASEMENT TO REMAIN, NOT A PART OF VACATION REQUEST
12. EXISTING 40' PLAINS ELECTRIC ANCHOR EASEMENT (12-23-87, BK. MISC. 571A, PG. 394)
- * 13. THESE TRACTS ARE AFFECTED BY A RIGHT-OF-WAY EASEMENT TO AMERICAN TELEPHONE AND TELEGRAPH COMPANY, DATED DECEMBER 13, 1929, RECORDED IN BOOK 112, PAGE 290, SAID EASEMENT AMENDED BY A MODIFICATION EASEMENT, DATED JANUARY 31, 1973, RECORDED IN BOOK MISC. 298, PAGE 635, SAID EASEMENT ASSIGNED TO THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY BY ASSIGNMENT DATED DECEMBER 26, 1974, RECORDED IN BOOK 575, PAGE 928 RECORDS OF BERNALILLO COUNTY, NEW MEXICO. - VACATED WITH V# 02DRB-01810

LINE	DIRECTION	DISTANCE
L1	N89°21'18"W (N89°22'42"W)	249.86' (249.86')
L2	N00°14'03"W (N00°13'32"W)	23.81' (24.03')
L3	N36°08'53"E (N36°09'24"E)	111.22' (111.22')
L4	S70°47'08"E (S70°47'45"E)	129.37'
L5	S00°31'10"W (S00°34'59"W)	460.02' (459.38')
L6	N89°20'50"W (N89°25'03"W)	483.97' (483.62')
L7	S19°39'38"E (S19°39'13"E)	324.13'
L8	S00°30'08"W (S00°30'41"W)	442.52' (442.49')
L9	N89°28'08"W (N89°27'48"W)	190.41'
L10	S00°38'29"W (S02°29'00"W)	518.45' (518.50')
L11	S00°37'09"W	56.94'
L12	N89°22'47"W (N00°13'32"W)	1076.02'
L13	N00°13'43"E	22.73'
L14	N21°38'44"W	61.88'
L15	N00°14'03"W	49.22'
L16	S89°21'18"E	725.71'
L17	S89°27'44"E	420.00'
L18	S89°28'50"E	1497.99'
L19	S00°34'47"W	60.00'
L20	N89°31'13"W (N89°31'02"W)	455.56'
L21	N89°19'36"W (N89°19'25"W)	268.09'
L22	S88°33'57"E (S88°33'46"E)	51.36'
L23	S89°22'33"E (S89°22'22"E)	1014.26'
L24	S89°22'47"E (S89°22'36"E)	378.64'

CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C1	77.77' (77.78')	89°07'15" (89°07'46")	50.00'	49.24'	N44°47'40"W (N44°47'25"W)	70.17'
C2	1171.95'	50°47'33"	1322.00'	627.63'	N25°09'44"E (N25°10'14"E)	1133.95'
C3	449.50' (449.49')	17°25'30" (17°25'29")	1478.00'	226.50'	N41°50'45"E (N41°51'16"E)	447.77'
C4	284.65' (284.69')	10°57'38" (10°57'43")	1488.00'	142.76' (142.80')	N23°22'21"E (N23°22'50"E)	284.22' (284.30')
C5	95.63' (95.67')	91°19'20" (91°21'38")	60.00'	61.40' (61.38')	N63°33'12"E (N63°34'47"E)	85.83' (85.81')
C6	78.36'	05°38'50"	795.00'	39.21'	S73°36'33"E (S73°37'10"E)	78.33'
C7	104.51'	04°44'01"	1265.00'	52.28'	S74°27'06"E (S74°27'43"E)	104.48'
C8	273.34' (273.36')	25°40'01" (25°40'07")	610.17'	139.00' (139.01')	S85°22'31"E (S85°23'08"E)	271.06' (271.08')
C9	59.98'	45°49'04"	75.00'	31.69'	S67°42'51"W	58.39'



ACS MONUMENT
"2-G9"
Y=1499064.48
X=356680.72
C-G=0.9996684
Δα=-00°16'33"
CENTRAL ZONE
(NAD 1927/SLD 1929)
ELEVATION= 5334.50

EXISTING ROAD EASEMENT
AGREEMENT
VACATED PER
V# 02DRB-01810

RIGHT-OF-WAY
EASEMENT FOR MOUNTAIN
STATES TELEPHONE &
TELEGRAPH COMPANY
V# 02DRB-01810

OLD OURAY ROAD N.W.
1.0211 AC RIGHT-OF-WAY
VACATED PER
V# 02DRB-01579

EXISTING PNM EASEMENTS
PORTION VACATED PER
V# 02DRB-01580

OLD OURAY ROAD N.W.
2.9097 AC RIGHT-OF-WAY
VACATED PER
V# 03400-00000-00220

PROPERTY CORNERS

- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- FOUND "+" CROSS ON SIDEWALK (TYP)
- CORNERS TO BE SET BY OTHERS "NMPS NO. 11993" (TYP)

DENOTES PORTION OF
EXISTING RIGHT-OF-WAY
VACATED PER
V# 03400-00000-00220

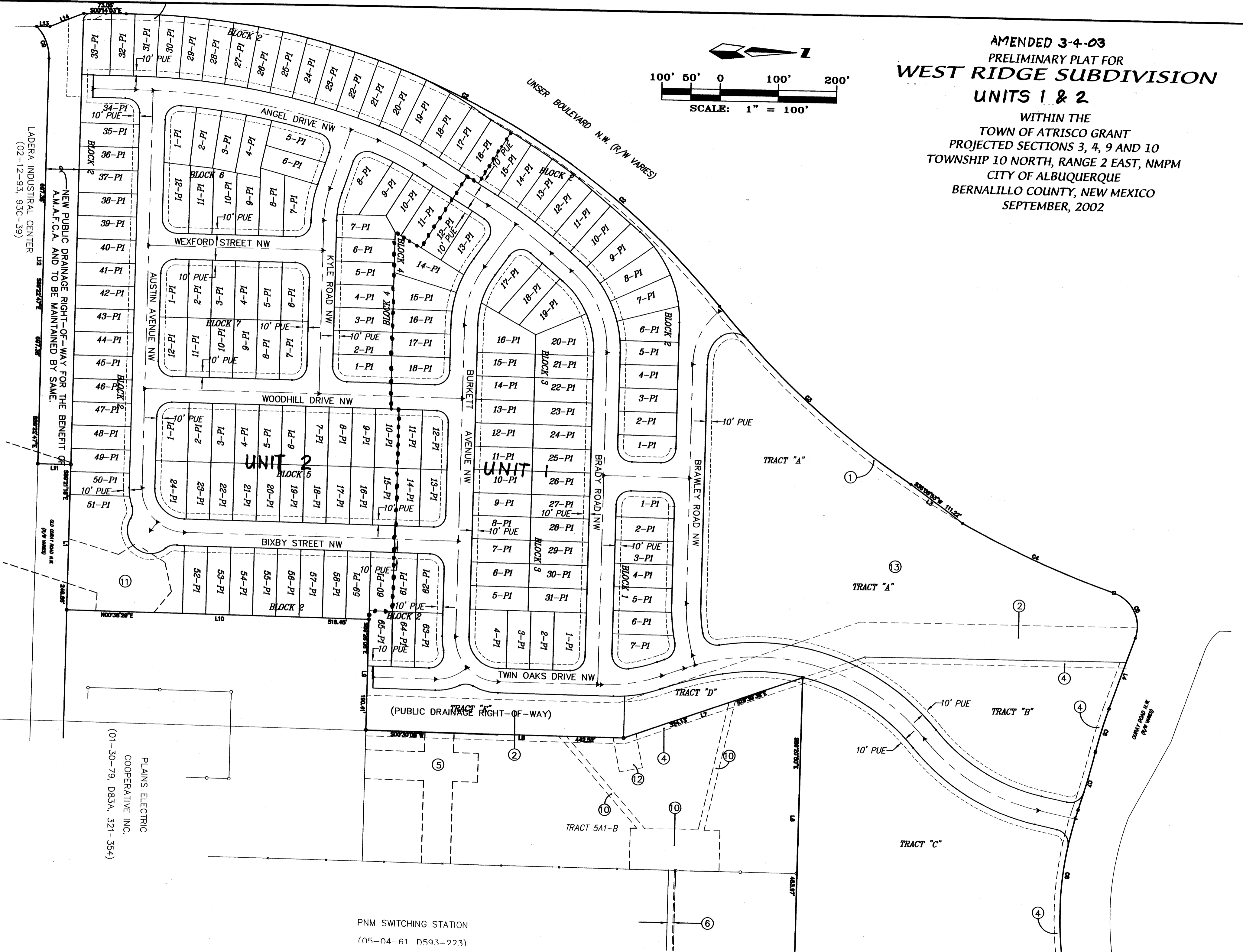
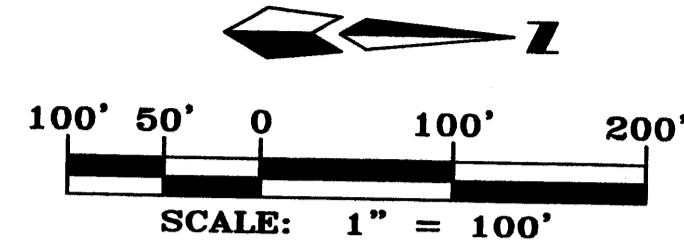
DENOTES PORTION OF EXISTING
EASEMENTS & RIGHT-OF-WAY
VACATED PER
V# 02DRB-01579
V# 02DRB-01580
V# 02DRB-01810

Dwg: A2031FPSHT2.dwg	Drawn: RICHARD	Checked: ALS	Sheet 2 of 8
Scale: 1"=200'	Date: 02/21/03	Job: A02031	

F:\A02JOB\S\A2031WRD\FINAL PLAT\A2031FPSHT2.dwg, 02/21/03 01:49:02 PM, PLOTTED BY RDQ

AMENDED 3-4-03
 PRELIMINARY PLAT FOR
WEST RIDGE SUBDIVISION
 UNITS 1 & 2

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 3, 4, 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2002



LADERA INDUSTRIAL CENTER
 (02-12-93, 93C-39)

NEW PUBLIC DRAINAGE RIGHT-OF-WAY FOR THE BENEFIT OF
 A.M.A.F.C.A. AND TO BE MAINTAINED BY SAME.

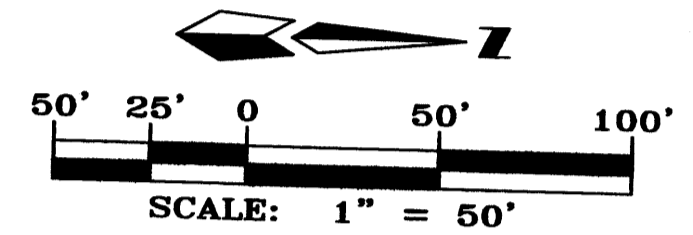
PLAINS ELECTRIC
 COOPERATIVE INC.
 (01-30-79, D83A, 321-354)

PNM SWITCHING STATION
 (05-04-61 D593-223)

Dwg: sheet3.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 3 of 8
Scale: 1"=100'	Date: 12/23/02	Job: A02031	

AMENDED 3-4-03
 PRELIMINARY PLAT FOR
WEST RIDGE SUBDIVISION
 UNITS 1 & 2

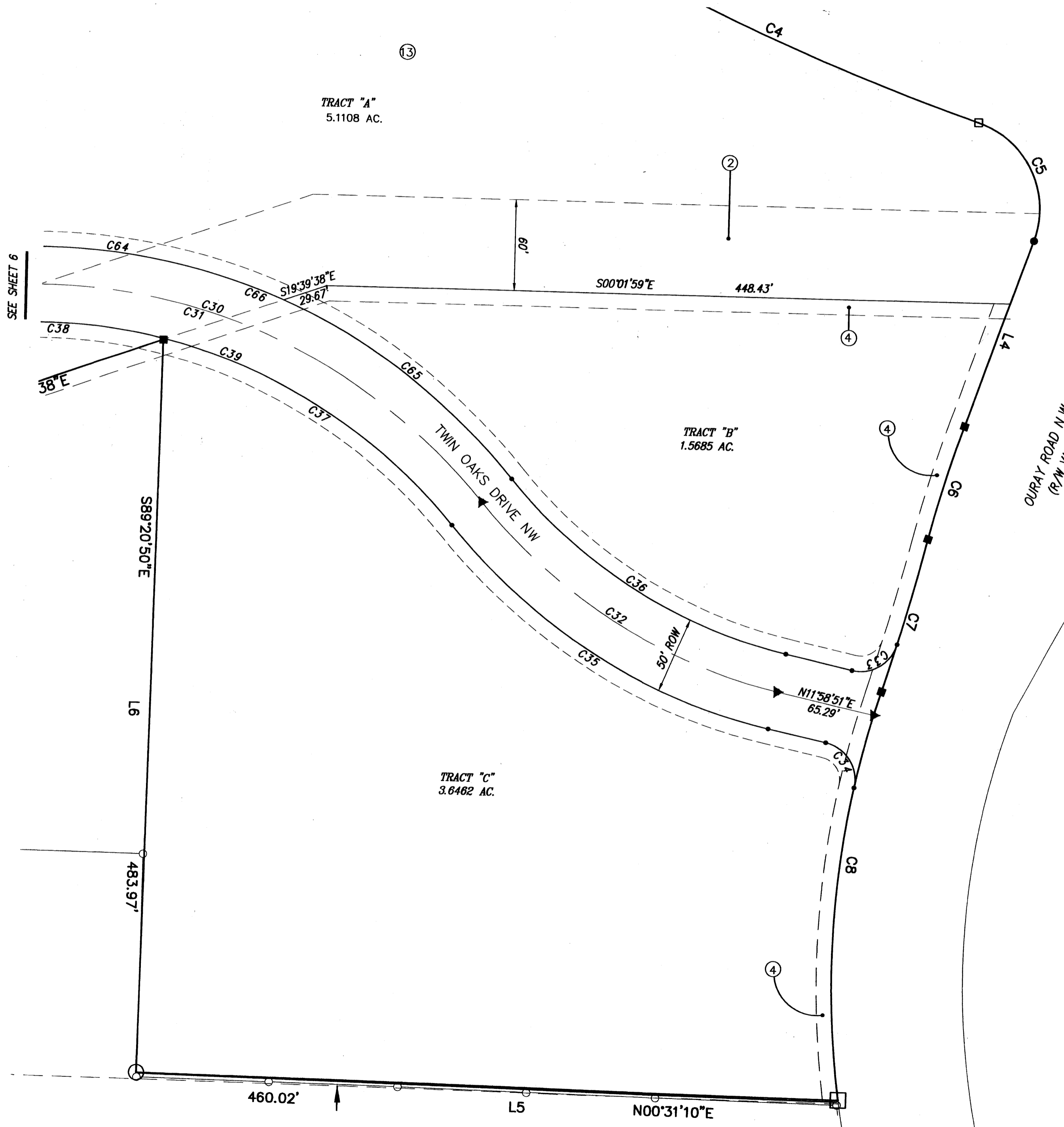
WITHIN THE
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 PROJECTED SECTIONS 3, 4, 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2002



NOTE: ▲
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ABBREVIATIONS
 10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
 ROW = RIGHT-OF-WAY

ALL STREETS SHOWN
 HEREON ARE HEREBY
 DEDICATED AS PUBLIC
 RIGHT-OF-WAY



Dwg: BASE1.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 4 of 8
Scale: 1"=50'	Date: 12/23/02	Job: A02031	

AMENDED 3-4-03
 PRELIMINARY PLAT FOR
WEST RIDGE SUBDIVISION
 UNITS 1 & 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 3, 4, 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
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 SEPTEMBER, 2002

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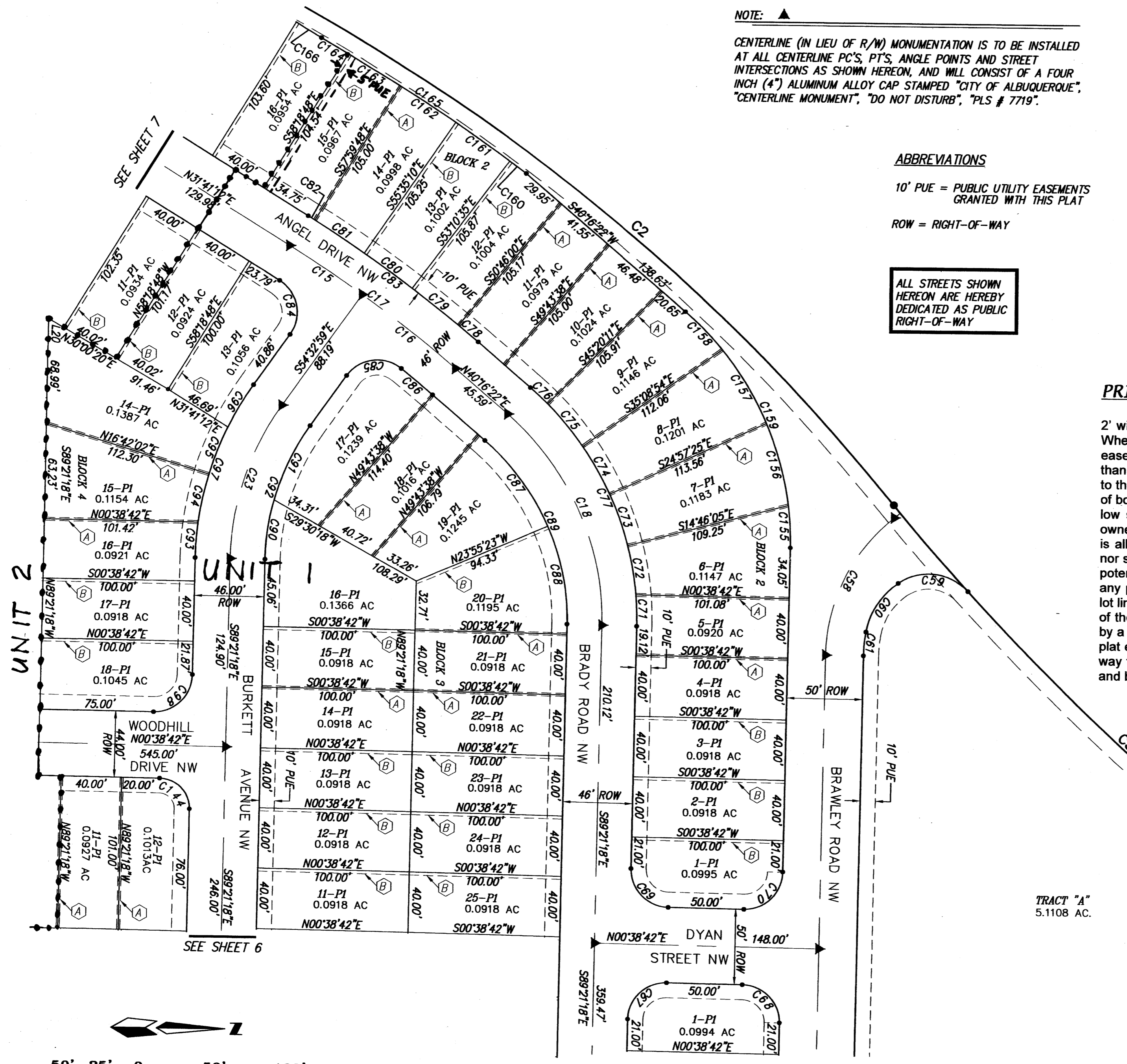
ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

PRIVATE DRAINAGE EASEMENTS:

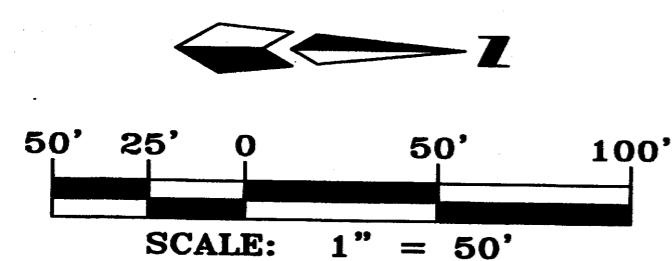
2' wide private drainage easements are located in some side yards as shown hereon. Where the difference in elevation between the two adjacent pads is 0.8' or less the easement is centered on the lot line. Where the difference is more than 0.8' but less than 1.4' the easement is entirely on the low side of the lot line and immediately adjacent to that lot line. Where the easement is centered on the lot line it is for the mutual benefit of both lot owners and is to be jointly maintained. Where the easement is entirely on the low side of the lot line the easement is for the benefit of the adjacent "high side" lot owner and shall be maintained by the underlying "low side" lot owner. Neither lot owner is allowed to change the planned grade within the 2' wide private drainage easement, nor shall either lot owner place any loose material adjacent to the easement that has the potential to be moved into the drainage easement or in any other way block drainage in any portion of the easement, except that a fence or block wall may be centered on the lot line. Under no circumstances shall the grade adjacent to the easement on either side of the easement be changed except by a structurally sound retaining wall, as designed by a registered professional engineer or architect. Where no easement is shown on the plat each lot owner must construct, operate and maintain his own separate swale all the way to the street and cross lot drainage will be prevented by some combination of walls and berms on the common lot line to be jointly maintained by both lot owners.

EASEMENTS

- (A) 2' PRIVATE DRAINAGE EASEMENT CENTERED ON LOT LINE (SEE NOTE THIS SHEET)
- (B) 2' PRIVATE DRAINAGE EASEMENT ON LOW SIDE OF LOT LINE (SEE NOTE THIS SHEET)



TRACT "A"
 5.1108 AC.



SEE SHEET 6 SEE SHEET 6 SEE SHEET 4

Dwg: BASE1.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 5 of 8
Scale: 1"=50'	Date: 12/23/02	Job: A02031	

AMENDED 3-4-03
PRELIMINARY PLAT FOR
WEST RIDGE SUBDIVISION

UNITS 1 & 2

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 3, 4, 9 AND 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2002

NOTE: ▲

CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ABBREVIATIONS

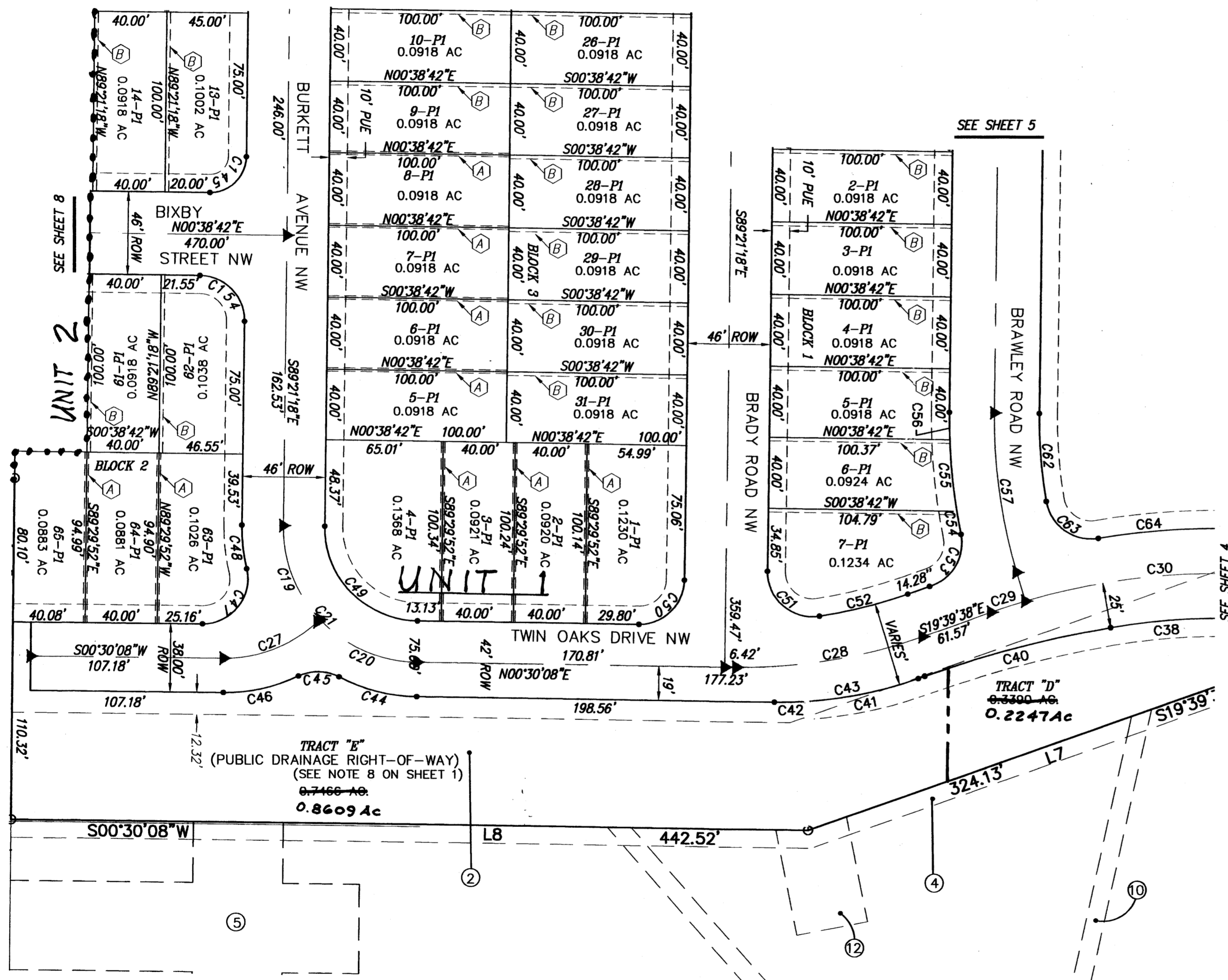
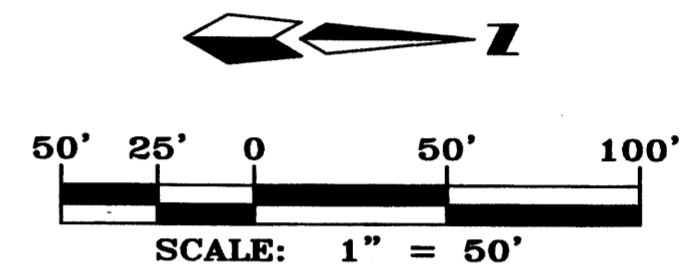
10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
ROW = RIGHT-OF-WAY

ALL STREETS SHOWN
HEREON ARE HEREBY
DEDICATED AS PUBLIC
RIGHT-OF-WAY

SEE SHEET 5

SEE SHEET 5

SEE SHEET 5



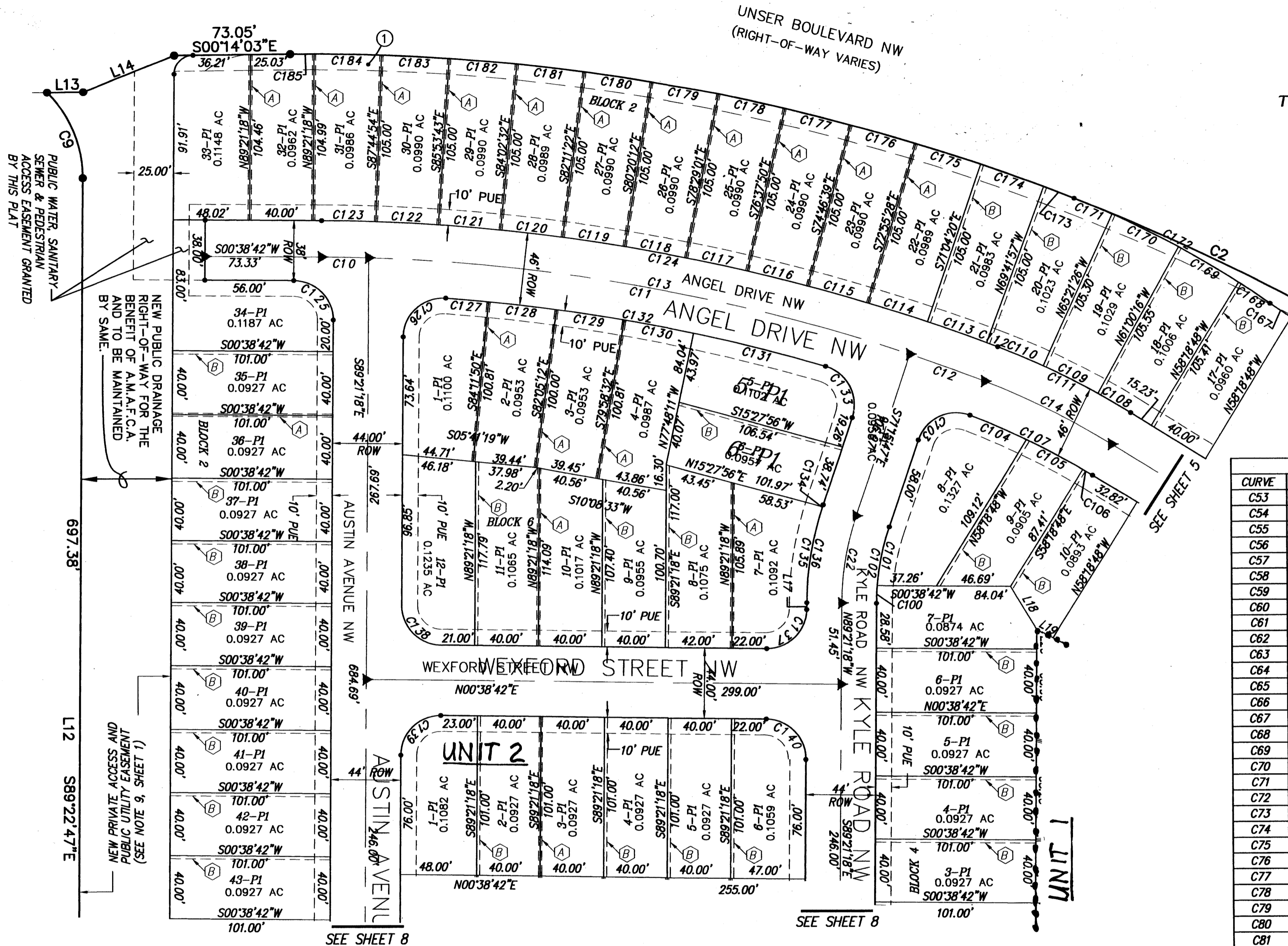
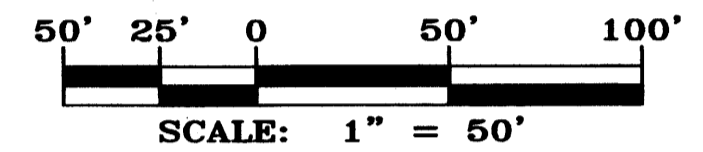
EASEMENTS

- (A) 2' PRIVATE DRAINAGE EASEMENT CENTERED ON LOT LINE (SEE NOTE SHEET 5)
- (B) 2' PRIVATE DRAINAGE EASEMENT ON LOW SIDE OF LOT LINE (SEE NOTE SHEET 5)

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C10	1194.00	29.67	1°25'26"	14.84	S01°21'25"W	29.67
C11	1194.00	347.35	16°40'05"	174.91	S10°24'11"W	346.12
C12	1194.00	50.03	2°24'02"	25.02	S19°56'14"W	50.02
C13	1194.00	427.05	20°29'33"	215.83	S10°53'28"W	424.77
C14	484.04	89.12	10°32'58"	44.69	S26°24'44"W	89.00
C15	907.58	57.70	3°38'34"	28.86	S33°30'29"W	57.69
C16	907.58	78.30	4°56'36"	39.18	S37°48'04"W	78.28
C17	907.58	136.01	8°35'10"	68.13	S35°58'47"W	135.88
C18	180.00	158.25	50°22'20"	84.65	S65°27'32"W	153.20
C19	75.00	59.00	45°04'17"	31.12	N68°06'34"E	57.49
C20	75.00	59.00	45°04'17"	31.12	N23°02'16"E	57.49
C21	75.00	118.00	90°08'35"	75.19	N45°34'25"E	106.20
C22	180.00	56.84	18°05'31"	28.66	S80°18'32"E	56.60
C23	182.15	110.97	34°54'27"	57.27	S71°47'40"E	109.27
C24	75.00	67.48	51°32'54"	36.21	N64°52'15"E	65.22
C25	75.00	50.33	38°27'06"	26.16	N19°52'15"E	49.39
C26	75.00	117.81	90°00'00"	75.00	N45°38'42"E	106.07
C27	75.00	58.81	44°55'43"	31.01	N21°57'44"W	57.32
C28	300.00	105.57	20°09'46"	53.34	N09°34'45"W	105.03
C29	375.00	20.03	3°03'36"	10.02	S18°07'50"E	20.02
C30	375.00	438.00	66°55'19"	247.84	S16°51'37"W	413.53
C31	375.00	458.03	69°58'55"	262.49	S15°19'49"W	430.08
C32	350.00	234.21	38°20'26"	121.68	N31°09'04"E	229.86
C33	25.00	37.31	85°30'44"	23.11	N30°46'32"W	33.94
C34	25.00	38.96	89°16'45"	24.69	S56°37'13"W	35.13
C35	375.00	250.94	38°20'26"	130.37	N31°09'04"E	246.28
C36	325.00	217.48	38°20'26"	112.99	N31°09'04"E	213.44
C37	350.00	229.04	37°29'37"	118.79	S31°34'28"W	224.97
C38	350.00	138.44	22°39'49"	70.14	S01°29'45"W	137.54
C39	350.00	367.48	60°09'26"	202.71	S20°14'34"W	350.83
C40	622.75	106.78	9°49'29"	53.52	S14°44'54"E	106.65
C41	231.64	62.11	15°21'50"	31.24	N11°58'43"W	61.93
C42	231.64	19.40	4°47'56"	9.71	N01°53'50"W	19.40
C43	231.64	81.51	20°09'46"	41.18	N09°34'45"W	81.09
C44	94.00	44.86	27°20'34"	22.86	N14°10'25"E	44.43
C45	25.00	23.99	54°58'59"	13.01	S00°21'12"W	23.08
C46	91.50	44.14	27°38'25"	22.51	N13°19'05"W	43.71
C47	25.00	45.64	104°35'52"	32.34	N51°47'48"W	39.56
C48	98.00	25.21	14°44'27"	12.68	N83°16'29"E	25.14
C49	52.00	81.81	90°08'35"	52.13	N45°34'25"E	73.63
C50	25.00	39.21	89°51'25"	24.94	N44°25'35"W	35.31
C51	25.00	43.52	99°44'59"	29.66	N40°46'12"E	38.23
C52	275.00	50.66	10°33'21"	25.40	N14°22'58"W	50.59

AMENDED 3-4-03
 PRELIMINARY PLAT FOR
WEST RIDGE SUBDIVISION
 UNITS 1 & 2

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 3, 4, 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2002



CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C53	25.00	35.70	81°49'20"	21.66	N60°34'18"W	32.74
C54	325.00	12.95	2°17'00"	6.48	N79°39'32"E	12.95
C55	325.00	40.27	7°05'57"	20.16	N84°21'00"E	40.24
C56	325.00	15.57	2°44'44"	7.79	N89°16'20"E	15.57
C57	300.00	90.30	17°14'45"	45.49	N82°01'20"E	89.96
C58	120.00	105.33	50°17'32"	56.33	S64°12'32"E	101.98
C59	35.00	50.51	82°41'17"	30.80	S06°17'07"W	46.24
C60	51.00	39.81	44°43'15"	20.98	S57°25'09"E	38.80
C61	95.00	15.88	9°34'31"	7.96	S84°34'02"E	15.86
C62	275.00	49.65	10°20'38"	24.89	N85°28'23"E	49.58
C63	25.00	39.23	89°53'59"	24.96	N35°21'05"E	35.32
C64	400.00	226.96	32°30'36"	116.63	S06°39'24"W	223.93
C65	400.00	191.36	27°24'35"	97.55	S36°36'59"W	189.54
C66	400.00	418.32	59°55'11"	230.57	S20°21'41"W	399.51
C67	25.00	39.27	90°00'00"	25.00	S44°21'18"E	35.36
C68	25.00	39.55	90°38'41"	25.28	S45°19'22"W	35.55
C69	25.00	39.55	90°38'43"	25.28	N45°19'21"E	35.55
C70	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C71	203.00	20.91	5°54'11"	10.47	S87°41'37"W	20.91
C72	203.00	33.69	9°30'36"	16.89	S79°59'13"W	33.66
C73	203.00	36.10	10°11'20"	18.10	S70°08'15"W	36.05
C74	203.00	36.11	10°11'30"	18.10	S59°56'51"W	36.06
C75	203.00	36.10	10°11'17"	18.10	S49°45'27"W	36.05
C76	203.00	15.56	4°23'26"	7.78	S42°28'05"W	15.55
C77	203.00	178.47	50°22'20"	95.46	S65°27'32"W	172.78
C78	930.58	16.88	1°02'22"	8.44	S39°45'11"W	16.88
C79	930.58	39.14	2°24'36"	19.57	S38°01'43"W	39.14
C80	930.58	39.14	2°24'35"	19.57	S35°37'07"W	39.14
C81	930.58	39.15	2°24'38"	19.58	S33°12'31"W	39.15
C82	930.58	5.14	0°18'59"	2.57	S31°50'42"W	5.14
C83	930.58	139.45	8°35'10"	69.86	S35°58'47"W	139.32
C84	25.00	40.86	9°38'34"	26.64	S78°30'29"W	36.46
C85	25.00	40.66	9°31'48"	26.44	S08°04'19"E	36.33
C86	884.58	26.90	1°44'32"	13.45	S39°24'06"W	26.90
C87	157.00	70.71	25°48'14"	35.96	S53°10'29"W	70.11
C88	157.00	67.32	24°34'05"	34.19	S78°21'39"W	66.81
C89	157.00	138.03	50°22'20"	73.83	S65°27'32"W	133.63
C90	157.00	40.36	14°43'45"	20.29	S81°59'25"E	40.25
C91	157.00	54.68	19°57'19"	27.62	S64°38'53"E	54.41
C92	157.00	95.04	34°41'04"	49.03	S72°00'46"E	93.60
C93	203.00	24.03	6°46'58"	12.03	S85°57'49"E	24.02
C94	203.00	32.85	9°16'22"	16.46	S77°56'09"E	32.82
C95	203.00	33.33	9°24'27"	16.70	S68°35'45"E	33.29

ALL STREETS SHOWN
 HEREON ARE HEREBY
 DEDICATED AS PUBLIC
 RIGHT-OF-WAY

- EASEMENTS**
- (A) 2' PRIVATE DRAINAGE EASEMENT
 CENTERED ON LOT LINE
 (SEE NOTE SHEET 5)
 - (B) 2' PRIVATE DRAINAGE EASEMENT
 ON LOW SIDE OF LOT LINE
 (SEE NOTE SHEET 5)

ABBREVIATIONS

10' PUE = PUBLIC UTILITY EASEMENTS
 GRANTED WITH THIS PLAT

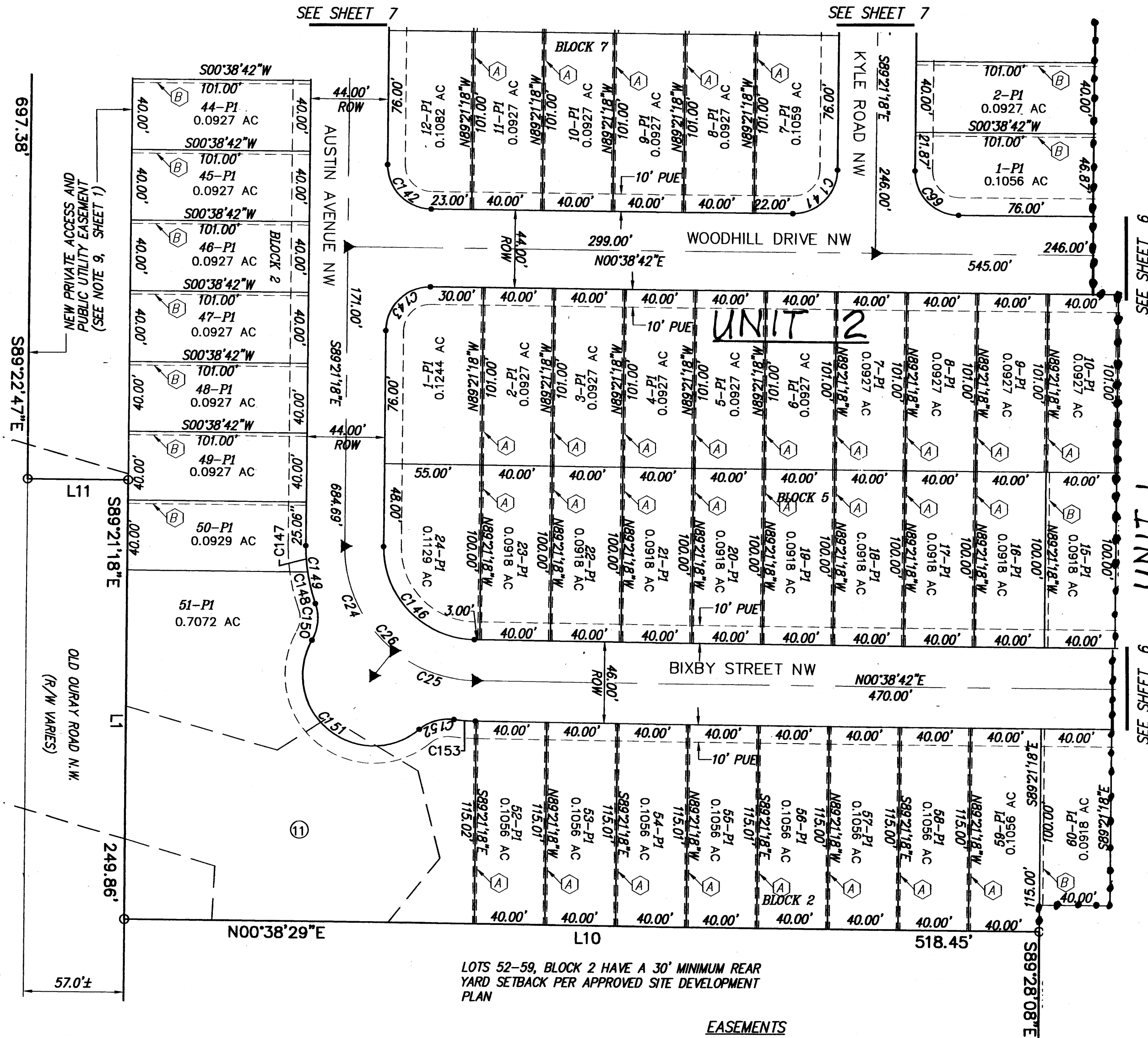
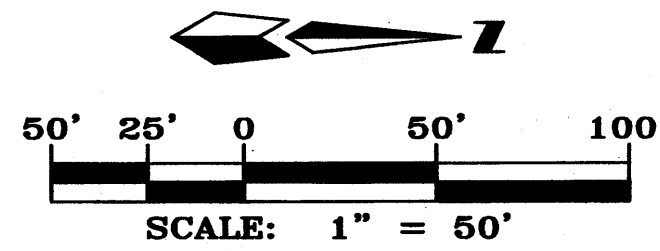
ROW = RIGHT-OF-WAY

NOTE:

CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED
 AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET
 INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR
 INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE",
 "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

AMENDED 3-4-03
 PRELIMINARY PLAT FOR
WEST RIDGE SUBDIVISION
 UNITS 1 & 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 3, 4, 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2002

NOTE: ▲
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".



LOTS 52-59, BLOCK 2 HAVE A 30' MINIMUM REAR YARD SETBACK PER APPROVED SITE DEVELOPMENT PLAN

EASEMENTS

- (A) 2' PRIVATE DRAINAGE EASEMENT CENTERED ON LOT LINE (SEE NOTE SHEET 5)
- (B) 2' PRIVATE DRAINAGE EASEMENT ON LOW SIDE OF LOT LINE (SEE NOTE SHEET 5)

ABBREVIATIONS

- 10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
- ROW = RIGHT-OF-WAY

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

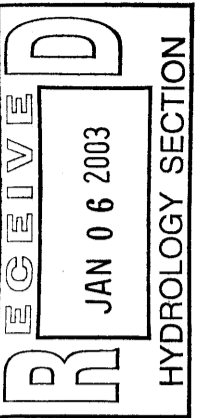
CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C96	203.00	32.67	97°17'	16.37	S59°16'52"E	32.64
C97	203.00	122.89	34°41'04"	63.39	S72°00'46"E	121.02
C98	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C99	25.00	39.27	90°00'00"	25.00	N45°38'42"E	35.36
C100	158.00	8.08	2°55'51"	4.04	S87°53'22"E	8.08
C101	158.00	38.46	13°56'55"	19.33	S78°14'15"E	38.37
C102	158.00	49.89	18°05'31"	25.15	S80°18'32"E	49.68
C103	25.00	24.97	57°13'37"	13.64	S42°38'59"E	23.94
C104	461.04	38.68	4°48'26"	19.35	S23°24'34"W	38.67
C105	461.04	40.08	4°58'52"	20.05	S28°18'13"W	40.07
C106	461.04	7.18	0°53'33"	3.59	S31°14'26"W	7.18
C107	461.04	85.95	10°40'51"	43.10	S26°20'47"W	85.82
C108	507.04	23.82	2°41'29"	11.91	S30°20'28"W	23.82
C109	507.04	38.52	4°21'10"	19.27	S26°49'09"W	38.51
C110	507.04	31.02	3°30'19"	15.52	S22°53'24"W	31.02
C111	507.04	93.36	10°32'58"	46.81	S26°24'44"W	93.22
C112	1217.00	7.40	0°20'55"	3.70	S20°57'47"W	7.40
C113	1217.00	39.53	1°51'39"	19.77	S19°51'30"W	39.53
C114	1217.00	39.34	1°51'08"	19.67	S18°00'06"W	39.34
C115	1217.00	39.36	1°51'11"	19.68	S16°08'57"W	39.36
C116	1217.00	39.36	1°51'11"	19.68	S14°17'46"W	39.36
C117	1217.00	39.36	1°51'11"	19.68	S12°26'35"W	39.36
C118	1217.00	39.36	1°51'11"	19.68	S10°35'23"W	39.36
C119	1217.00	39.35	1°51'10"	19.68	S08°44'13"W	39.35
C120	1217.00	39.35	1°51'10"	19.68	S06°53'03"W	39.35
C121	1217.00	39.36	1°51'11"	19.68	S05°01'52"W	39.36
C122	1217.00	39.36	1°51'11"	19.68	S03°10'41"W	39.36
C123	1217.00	34.12	1°36'24"	17.06	S01°26'54"W	34.12
C124	1217.00	435.27	20°29'33"	219.99	S10°53'28"W	432.96
C125	25.00	39.27	90°00'00"	25.00	S45°38'42"W	35.36
C126	25.00	40.94	93°49'56"	26.73	S42°26'20"E	36.52
C127	1171.00	27.01	1°19'18"	13.51	S05°08'31"W	27.01
C128	1171.00	43.14	2°06'38"	21.57	S06°51'29"W	43.13
C129	1171.00	43.15	2°06'40"	21.58	S08°58'08"W	43.14
C130	1171.00	44.40	2°10'21"	22.20	S11°06'39"W	44.40
C131	1171.00	85.63	4°11'22"	42.83	S14°17'30"W	85.61
C132	1171.00	243.32	11°54'19"	122.10	S10°26'02"W	242.88
C133	25.00	40.29	92°20'48"	26.05	S62°33'49"W	36.07
C134	202.00	1.33	0°22'35"	0.66	S71°27'04"E	1.33
C135	202.00	62.46	17°42'56"	31.48	S80°29'50"E	62.21
C136	202.00	63.78	18°05'31"	32.16	S80°18'32"E	63.52
C137	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C138	25.00	39.27	90°00'00"	25.00	N45°38'42"E	35.36
C139	25.00	39.27	90°00'00"	25.00	S44°21'18"E	35.36
C140	25.00	39.27	90°00'00"	25.00	S45°38'42"W	35.36
C141	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C142	25.00	39.27	90°00'00"	25.00	N45°38'42"E	35.36
C143	25.00	39.27	90°00'00"	25.00	S44°21'18"E	35.36
C144	25.00	39.27	90°00'00"	25.00	S45°38'42"W	35.36
C145	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C146	52.00	81.68	90°00'00"	52.00	N45°38'42"E	73.54
C147	97.00	15.00	8°51'42"	7.52	N86°12'51"E	14.99
C148	97.00	18.55	10°57'32"	9.30	N76°18'14"E	18.52
C149	97.00	33.56	19°49'14"	16.95	N80°44'05"E	33.39
C150	25.00	21.40	49°02'19"	11.40	N84°39'22"W	20.75
C151	40.00	111.95	160°21'31"	231.08	N39°41'02"E	78.83
C152	25.00	21.06	48°16'34"	11.20	S16°21'27"E	20.45
C153	98.00	12.20	7°08'08"	6.11	N04°12'46"E	12.20
C154	25.00	39.27	90°00'00"	25.00	S45°38'42"W	35.36

Need added overall sheet (smaller scale) showing proposed layout to help reader better understand what's proposed

PRELIMINARY PLAT WEST RIDGE SUBDIVISION

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 3, 4, 9 & 10
TOWNSHIP 10, NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2002

Please return markup w/ Revised set



SUBDIVISION DATA

GROSS ACREAGE 37.2568 AC.
ZONE ATLAS NO. G-9, G-10, H-9 & H-10
NO. OF EXISTING TRACTS 4
NO. OF TRACTS/LOTS CREATED 5 TRACTS / 169 LOTS
NO. OF TRACTS ELIMINATED 4
AREA DEDICATED TO CITY OF ALBUQUERQUE 7.5056 AC
DATE OF SURVEY JUNE, 2002
ZONING SU-1/RD

OWNERS

KB HOME NEW MEXICO, INC.
4921 ALEXANDER NE, SUITE B
ALBUQUERQUE, N.M. 87107
(505) 344-9400

WESTLAND DEVELOPMENT CO., INC.
401 COORS BLVD. NW
ALBUQUERQUE, N.M. 87121
(505) 881-9600

SUNSET PLAZA GENERAL PARTNERS
4325 CARLISLE BLVD. NE
ALBUQUERQUE, N.M. 87107
(505) 883-1606

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

SURVEYOR

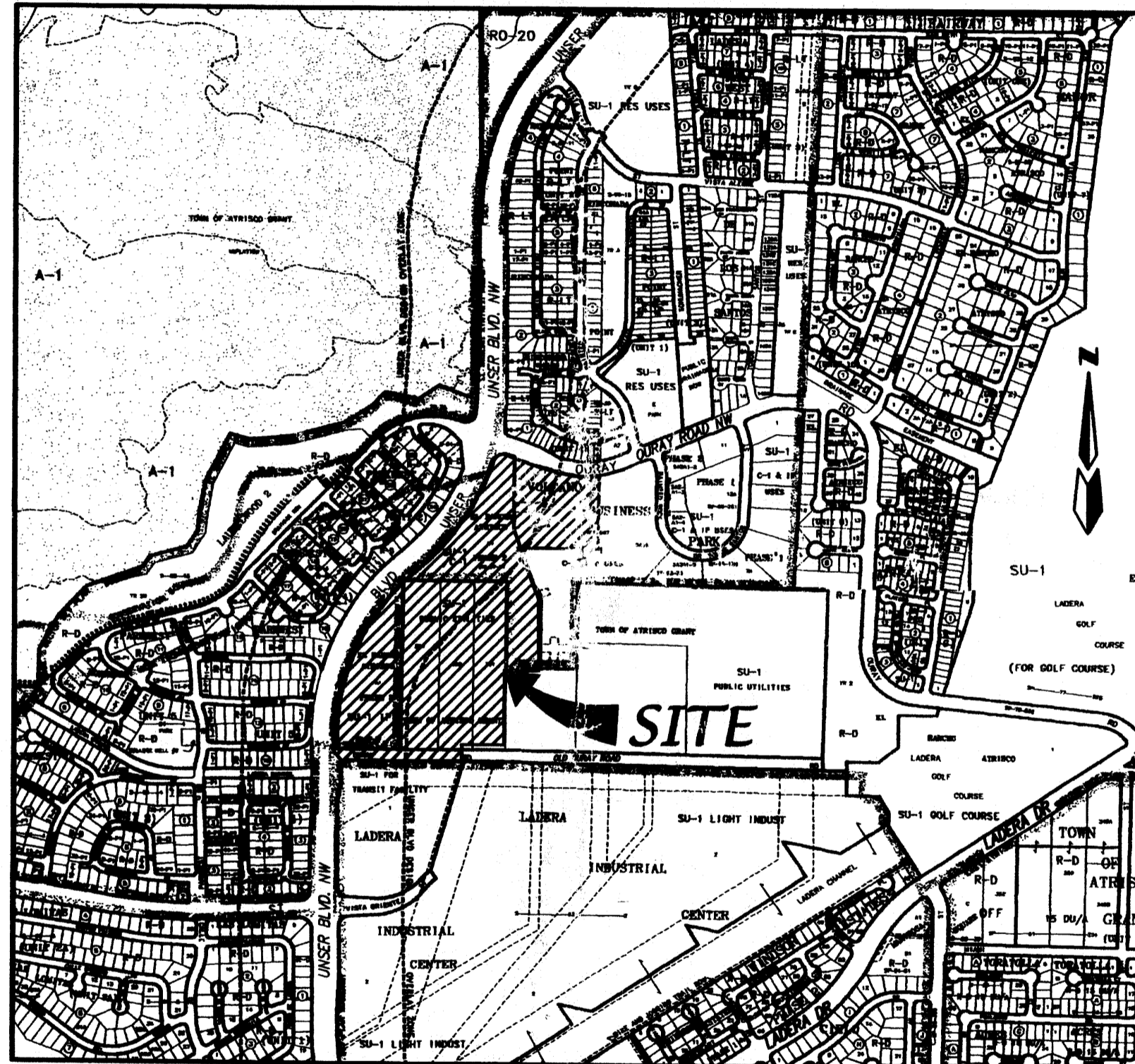
ALDRICH LAND SURVEY
P.O. BOX 30701
ALBUQUERQUE, N.M. 87190-0701
(505) 884-1990

OWNERS:

[Signature] 9/24/02
GREG BREEDLOVE
VP OF LAND DEVELOPMENT
KB HOME NEW MEXICO INC.

[Signature] 10/4/02
JOAN WERSHAW
MANAGING PARTNER
SUNSET PLAZA GENERAL PARTNERSHIP

[Signature] 9/30/02
LEROY J. CHAVEZ
V.P. OF DEVELOPMENT
WESTLAND DEVELOPMENT CO., INC.



LOCATION MAP
NOT TO SCALE

Add special note for private drainage easements

[Signature]

Add note - Setback per ordinance of approval SITE DEVELOPMENT plan

PURPOSE OF PLAT

1. SUBDIVIDE FOUR TRACTS INTO 169 RESIDENTIAL LOTS AND 5 TRACTS
2. DEDICATE RIGHT-OF-WAY AS SHOWN
3. GRANT NEW EASEMENTS AS SHOWN
4. VACATE EASEMENTS AND RIGHT-OF-WAY AS SHOWN

LEGAL DESCRIPTION

SEE SHEET 2

NOTES

1. UNLESS OTHERWISE NOTED ALL POINTS ARE "SET 5/8" REBAR WITH CAP "ALS LS 7719".
2. ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS ▲, WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED: "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION" "DO NOT DISTURB" "PLS # 7719".
3. BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
4. BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
5. ALL DISTANCES SHALL BE GROUND DISTANCES.
6. MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
7. TRACTS A, B, C, & D ARE HEREBY CREATED FOR FUTURE DEVELOPMENT.
8. TRACT E IS DEDICATED TO THE CITY OF ALBUQUERQUE FOR PUBLIC DRAINAGE RIGHT-OF-WAY BY THIS PLAT.
9. NEW PRIVATE ACCESS EASEMENT GRANTED TO THE OWNERS OF THE LANDS OF PLAINS ELECTRIC GENERATION AND TRANSMISSION CO-OP, INC. (01-30-79, BK D83A, PG. 321-354) AND THE LANDS OF PNM (05-04-61, BK D-593, PG 223), ITS SUCCESSORS OR ASSIGNS, BY THIS PLAT AND TO BE JOINTLY MAINTAINED BY SAID OWNERS. ACCESS BY BENEFICIARIES SHALL BE FREE AND UNRESTRICTED.

APPROVED FOR MONUMENTATION AND STREET NAMES

[Signature] 10-4-02
CITY SURVEYOR, CITY OF ALBUQUERQUE, N.M. DATE

Dwg: PPSHT1.dwg	Drawn: RICHARD	Checked: ALS	Sheet 1 of 7
Scale: 1:1	Date: 09/24/02	Job: A02031	

F:\A02\JOB S\A02031\WARD\PRELIMINARY PLAT\PPSHT1.dwg, 09/24/02 01:47:28 PM, PLOTTED BY RDQ

NOTES:

- Bearings are grid based on the New Mexico State Plane Coordinate System (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:
 PLAT FOR "LADERA INDUSTRIAL CENTER, LOTS 1 AND 2", (02-12-93, 93C-39)
 PLAT FOR "VOLCANO BUSINESS PARK", (03-26-02, 02C-96)
 PLAT FOR "VOLCANO BUSINESS PARK, PHASE I", (04-24-86, C30-78)
 PLAT FOR "VOLCANO BUSINESS PARK, PHASE II", (04-03-98, 98C-89)
 PLAT FOR "EL RANCHO ATRISCO, PHASE 3, TRACTS 5-A & 6-A", (02-12-87, C32-184)
 PLAT FOR "EL RANCHO ATRISCO, PHASE 2, TRACTS A-1 & B-1", (02-12-87, C32-185)
 PNM SWITCHING STATION (WD: 05-04-61, BK. D593, PG. 223)
 PLAINS ELECTRIC COOPERATIVE, INC. (WD: 09-14-64, BK. D756, PG. 258)
 PLAINS ELECTRIC COOPERATIVE, INC. (QCD: 01-30-79, BK. D83A, PGS. 321-354)
 all being records of Bernalillo County, New Mexico.
- Field Survey performed June, 2002.
- Title Report: provided by First American Title Insurance Company, Commitment No.: 05020221 (Effective date: 04-25-02) (TRI-STATE TRACT)
- UTILITY COUNCIL LOCATION SYSTEM LOG NO.: 2002240820

PRELIMINARY PLAT FOR
WEST RIDGE SUBDIVISION
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 3, 4, 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2002

DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Sections 3, 4, 9 and 10, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 5A1-A, VOLCANO BUSINESS PARK as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 26, 2002 in Book 2002C, Page 96 and all of TRACTS A-1 and B-1, EL RANCHO ATRISCO, PHASE II as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 12, 1987 in Volume C32, Folio 185 together with all of LANDS OF PLAINS ELECTRIC COOPERATIVE, INC. as the same is described in a WARRANTY DEED filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 14, 1964 in Book D756, Page 258 together with a portion of VACATED OLD OURAY ROAD N.W. and containing 37.2568 acres more or less.

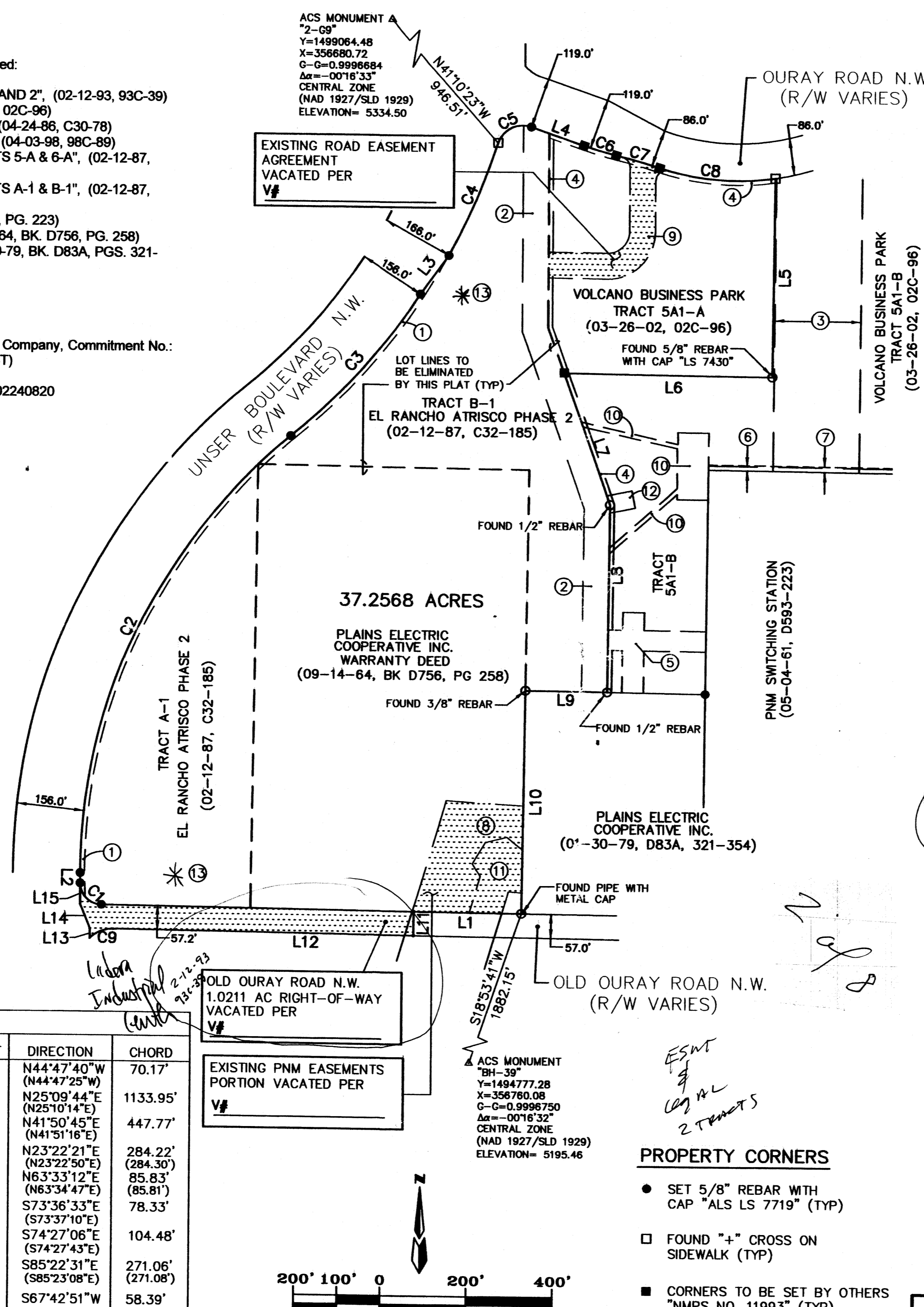
EASEMENTS

- EXISTING 10' PNM AND MT. BELL EASEMENT 1 (BURIED UTILITIES ONLY) (02-12-87, C32-185)
- EXISTING 60' PLAINS ELECTRIC EASEMENT (02-12-87, C32-185) (12-23-87, BK. MISC. 571A, PG. 394)
- EXISTING 200' PNM EASEMENT (04-24-86, C30-78)
- EXISTING 10' PNM EASEMENT (03-26-02, 02C-96)
- EXISTING 50' PNM EASEMENT (04-24-86, C30-78)
- EXISTING 10' PUE (06-12-95, 95C-208)
- EXISTING 12' PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF AND TO BE MAINTAINED BY TRACT 5A1 AND 5A2-A1-1 (04-03-98, 98C-89)
- EXISTING 200' EASEMENT UNITED STATES DISTRICT COURT CAUSE NO. 1845 (02-05-52, BK. MISC. D197, PGS. 571-572) - PORTION SHOWN VACATED WITH V#
- EXISTING EASEMENT AGREEMENT, FINAL LOCATION TO BE COMPLETED AND EXECUTED AS THE FINAL DEVELOPMENT PLAN FOR TRACT 5A1-A IS APPROVED BY C.O.A. (09-14-90, BK. BCR 90-15, PG. 3409) - VACATED WITH V#
- EXISTING PRIVATE DRAINAGE EASEMENTS, FOR THE BENEFIT OF TRACT 5A1-B. (03-26-02, 02C-96)
- EXISTING PNM EASEMENT (03-11-02, BK. A33, P. G. 1956) - EASEMENT TO REMAIN, NOT A PART OF VACATION REQUEST
- EXISTING 40' PLAINS ELECTRIC ANCHOR EASEMENT (12-23-87, BK. MISC. 571A, PG. 394)
- THESE TRACTS ARE AFFECTED BY A RIGHT-OF-WAY EASEMENT TO AMERICAN TELEPHONE AND TELEGRAPH COMPANY, DATED DECEMBER 13, 1929, RECORDED IN BOOK 112, PAGE 290, SAID EASEMENT AMENDED BY A MODIFICATION EASEMENT, DATED JANUARY 31, 1973, RECORDED IN BOOK MISC. 298, PAGE 635, SAID EASEMENT ASSIGNED TO THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY BY ASSIGNMENT DATED DECEMBER 28, 1974, RECORDED IN BOOK 575, PAGE 928 RECORDS OF BERNALILLO COUNTY, NEW MEXICO.

* DENOTES PORTION OF EXISTING EASEMENTS & RIGHT-OF-WAY VACATED PER V#

LINE TABLE		
LINE	DIRECTION	DISTANCE
L1	N89°21'18"W (N89°22'42"W)	249.86'
L2	N00°14'03"W (N00°13'32"W)	23.81' (24.03')
L3	N36°08'53"E (N36°09'24"E)	111.22'
L4	S70°47'08"E (S70°47'45"E)	129.37'
L5	S00°31'10"W (S00°34'59"W)	460.02' (459.38')
L6	N89°20'50"W (N89°25'03"W)	483.97' (483.62')
L7	S19°39'38"E (S19°39'13"E)	324.13'
L8	S00°30'08"W (S00°30'41"W)	442.52' (442.49')
L9	N89°28'08"W (N89°27'48"W)	190.41'
L10	S00°38'29"W (S02°29'00"W)	518.45' (518.50')
L11	S00°37'09"W	56.94'
L12	N89°22'47"W (N00°13'32"W)	697.38'
L13	N00°13'43"E	22.73'
L14	N21°38'44"W	61.88'
L15	N00°14'03"W	49.22'
L16	S89°21'18"E	725.71'

CURVE TABLE						
CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C1	77.77' (77.78')	89°07'15" (89°07'46")	50.00'	49.24'	N44°47'40"W (N44°47'25"W)	70.17'
C2	1171.95'	50°47'33"	1322.00'	627.63'	N25°09'44"E (N25°10'14"E)	1133.95'
C3	449.50' (449.49')	17°25'30" (17°25'29")	1478.00'	226.50'	N41°50'45"E (N41°51'16"E)	447.77'
C4	284.65' (284.69')	10°57'38" (10°57'43")	1488.00'	142.76' (142.80')	N23°22'21"E (N23°22'50"E)	284.22' (284.30')
C5	95.63' (95.67')	91°19'20" (91°21'38")	60.00'	61.40' (61.38')	N63°33'12"E (N63°34'47"E)	85.83' (85.81')
C6	78.36'	05°38'50"	795.00'	39.21'	S73°36'33"E (S73°37'10"E)	78.33'
C7	104.51'	04°44'01"	1265.00'	52.28'	S74°27'06"E (S74°27'43"E)	104.48'
C8	273.34' (273.36')	25°40'01" (25°40'07")	610.17'	139.00' (139.01')	S85°22'31"E (S85°23'08"E)	271.06' (271.08')
C9	59.98'	45°49'04"	75.00'	31.69'	S67°42'51"W	58.39'



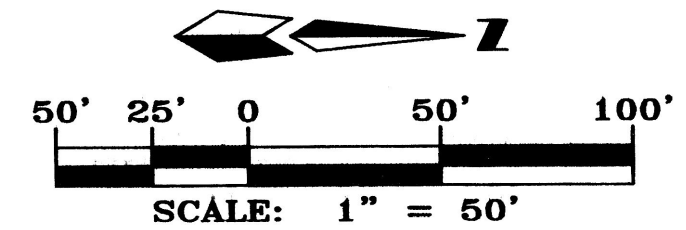
PROPERTY CORNERS

- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- FOUND "+" CROSS ON SIDEWALK (TYP)
- CORNERS TO BE SET BY OTHERS "NMPS NO. 11993" (TYP)

F:\A02JOB\S\A2031\PRD\PRELIMINARY PLAT\PPSHT2.dwg, 10/02/02 07:47:22 AM, PLOTTED BY RDQ

PRELIMINARY PLAT FOR
WEST RIDGE SUBDIVISION
SUBDIVISION

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 3, 4, 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2002



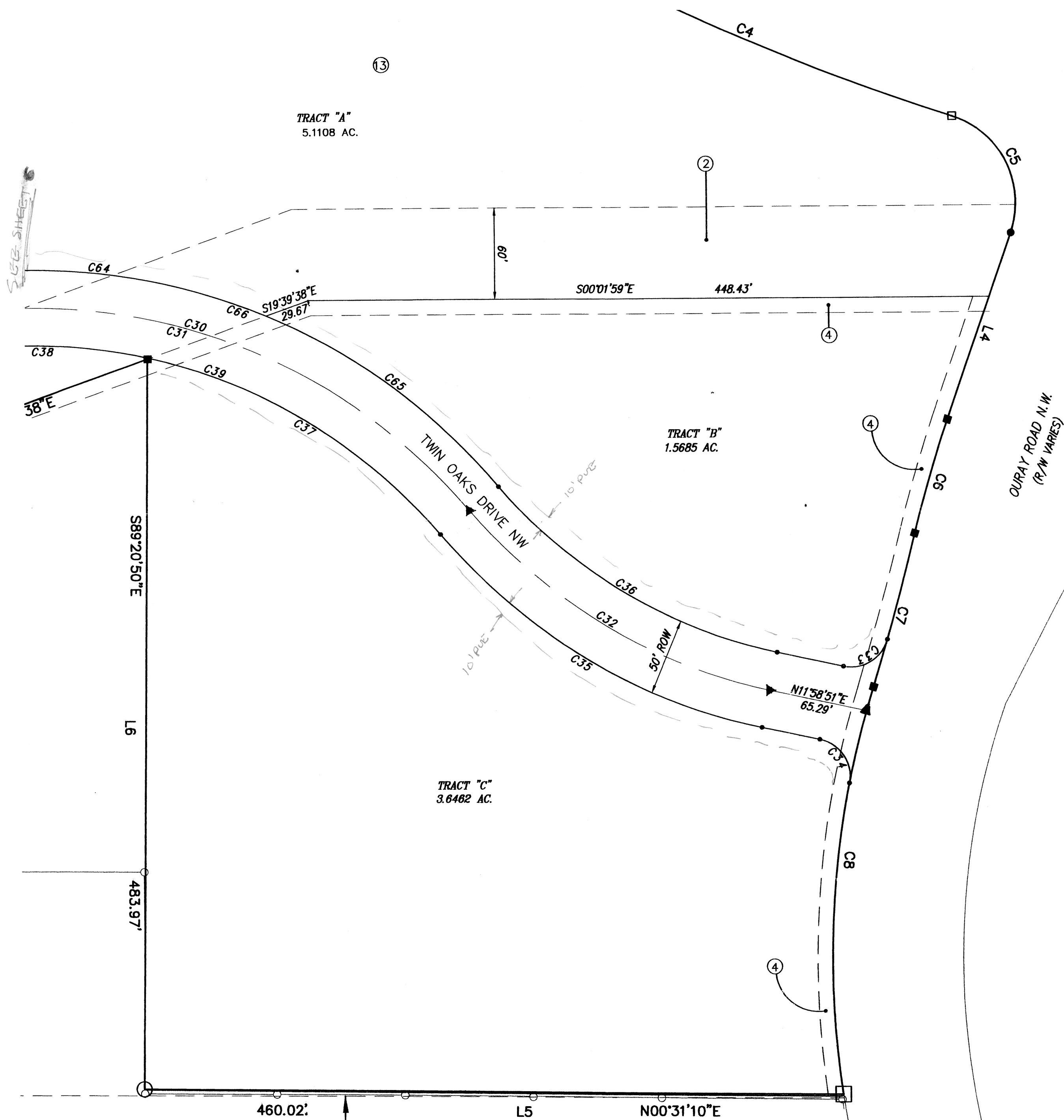
NOTE: ▲
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ABBREVIATIONS

10' PUE = PUBLIC UTILITY EASEMENTS
 GRANTED WITH THIS PLAT
 ROW = RIGHT-OF-WAY

ALL STREETS SHOWN
 HEREON ARE HEREBY
 DEDICATED AS PUBLIC
 RIGHT-OF-WAY

Handwritten signature/initials



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Dwg: BASE1.dwg	Drawn: RICHARD	Checked: ALS	Sheet 3 of 7
Scale: 1"=50'	Date: 10/02/02	Job: A02031	

PRELIMINARY PLAT FOR
WEST RIDGE SUBDIVISION
 SUBDIVISION

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 3, 4, 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2002

NOTE: ▲

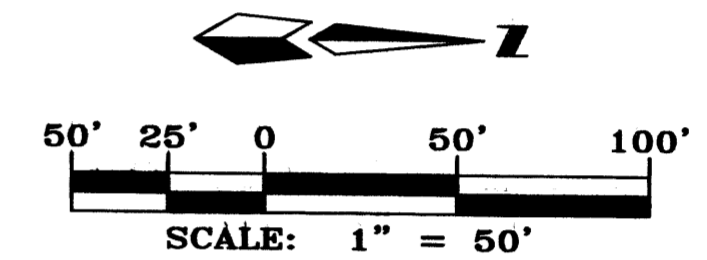
CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ABBREVIATIONS

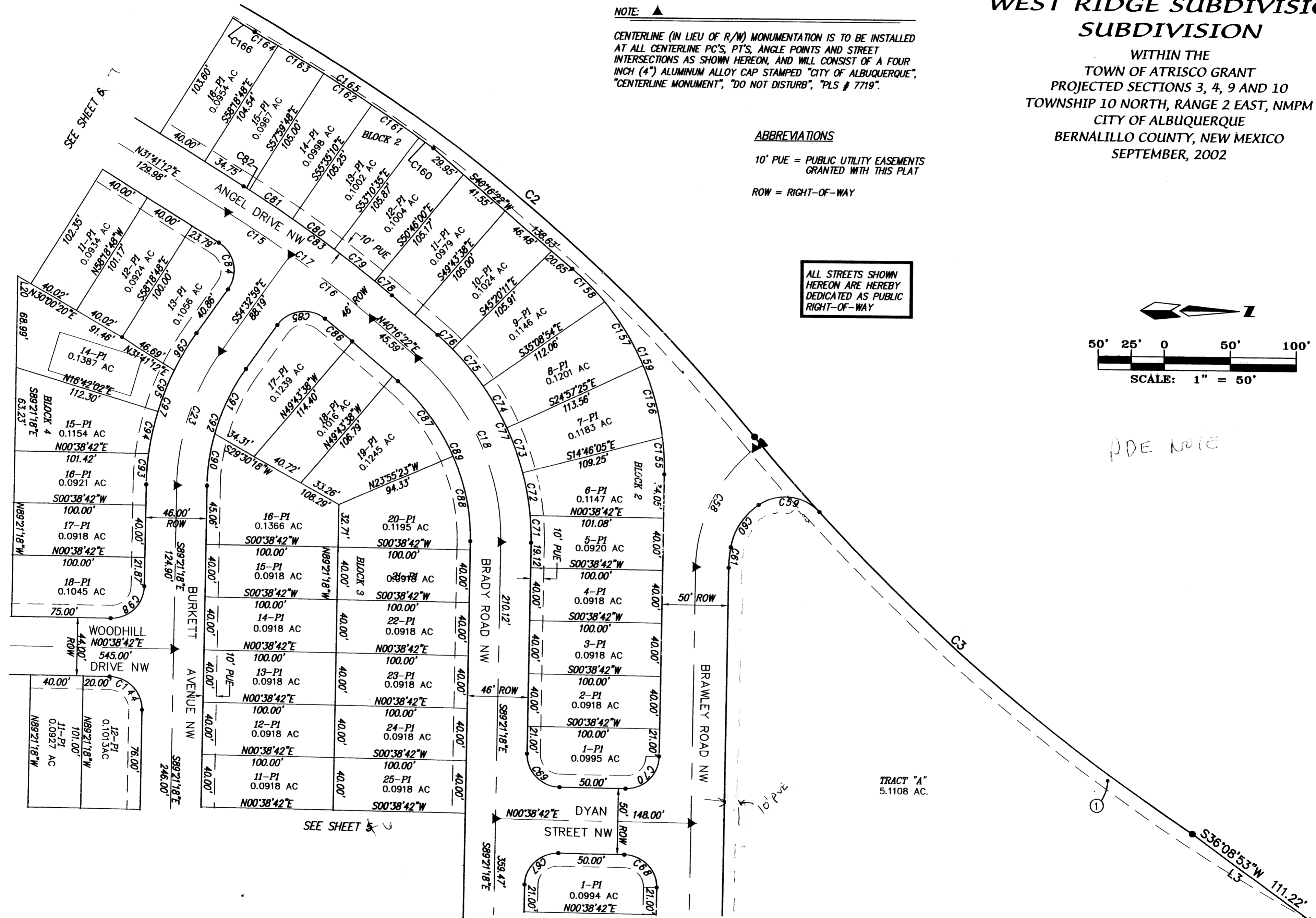
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PDE NOTE



SEE SHEET 7

SEE SHEET 5

SEE SHEET 6

SEE SHEET 4

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Dwg: BASE1.dwg	Drawn: RICHARD	Checked: ALS	Sheet 4 of 7
Scale: 1"=50'	Date: 10/02/02	Job: A02031	

PRELIMINARY PLAT FOR
WEST RIDGE SUBDIVISION
SUBDIVISION

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 3, 4, 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2002

NOTE: ▲

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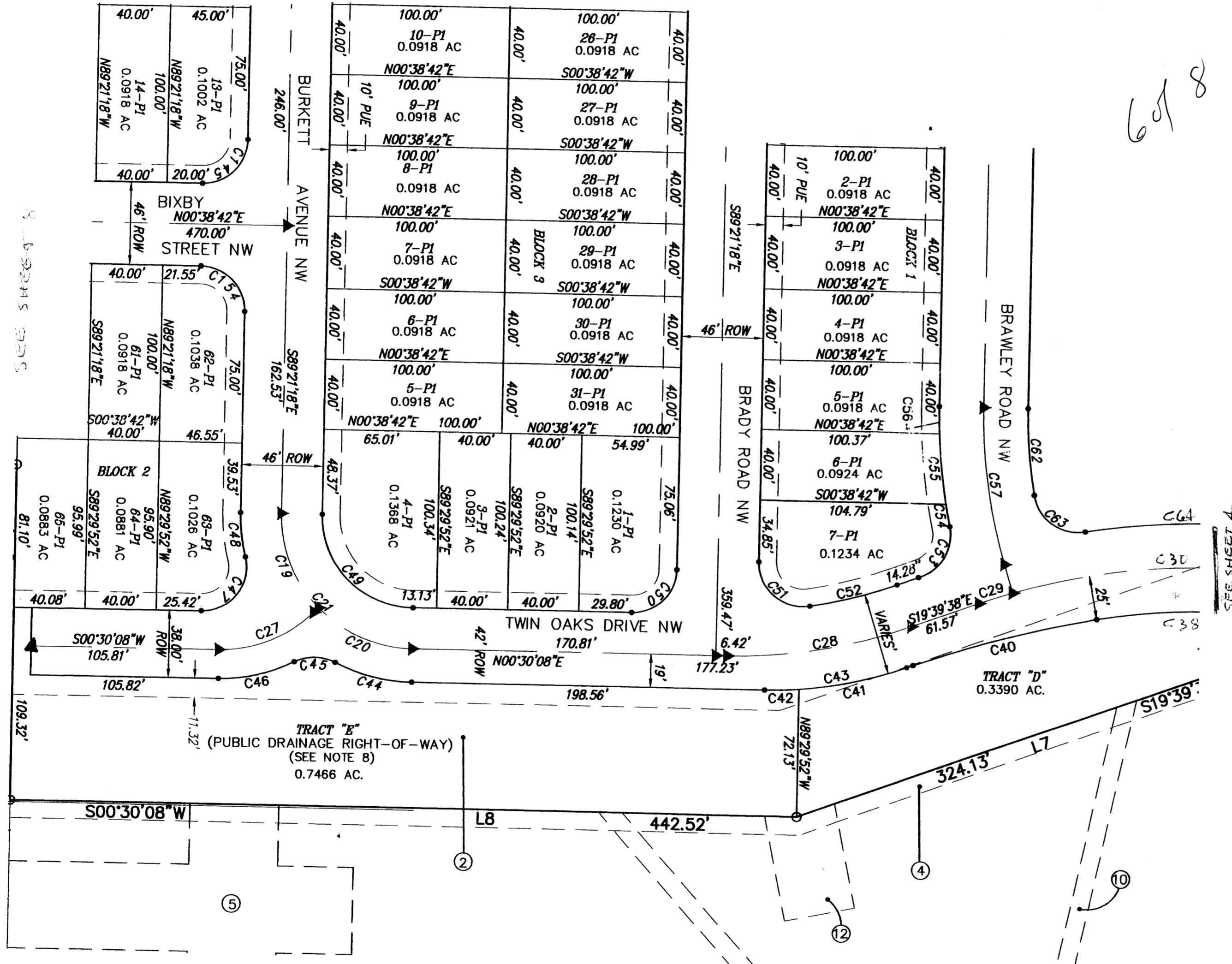
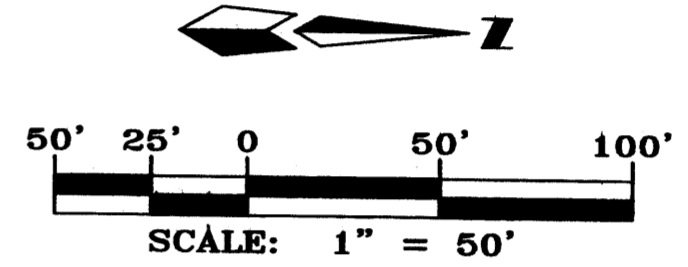
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SEE SHEET 5

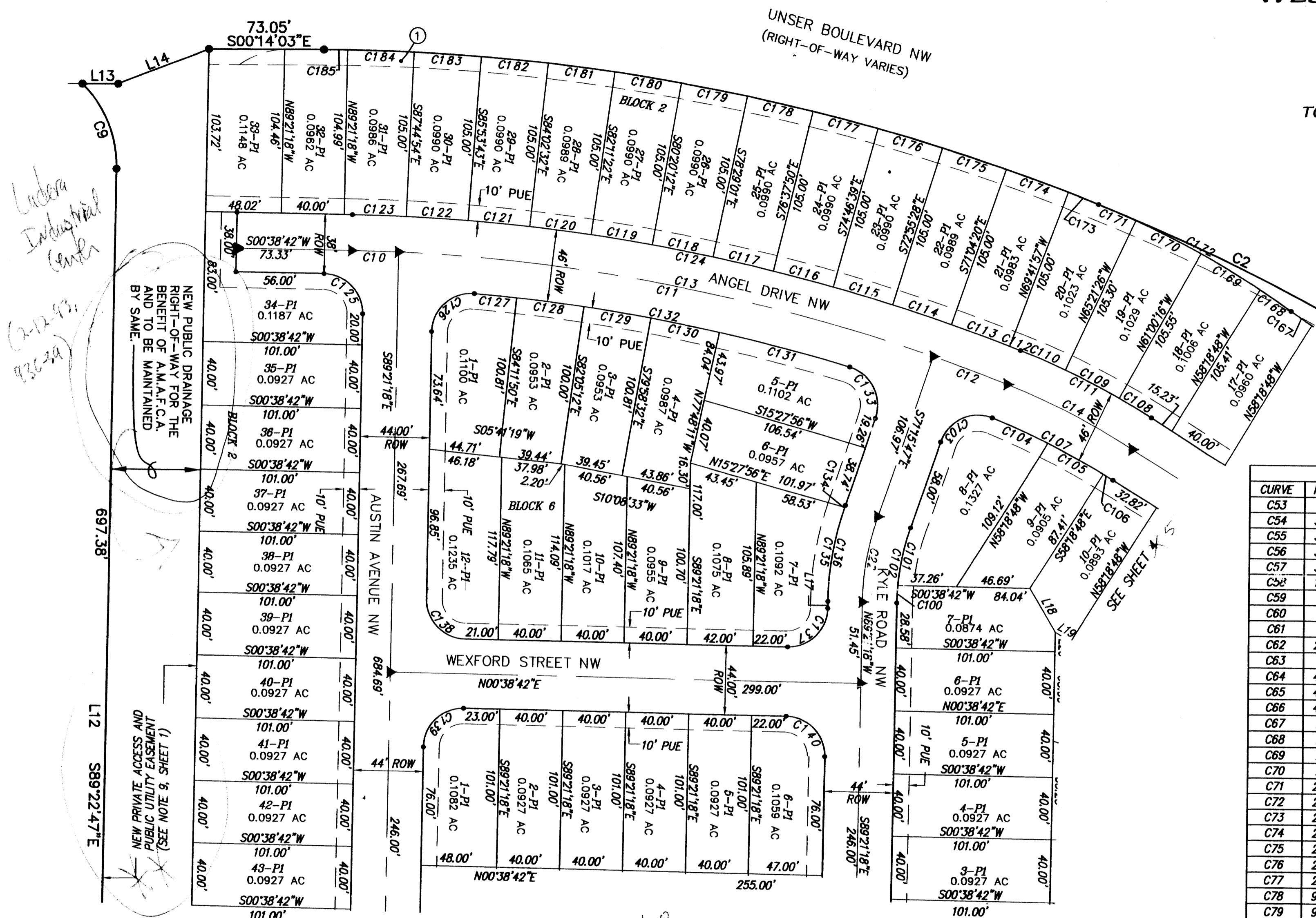
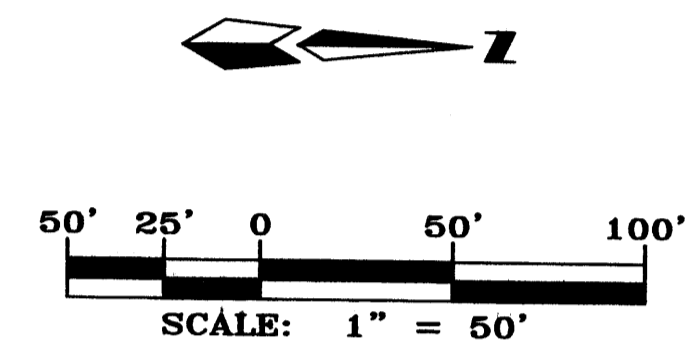
6 of 8



CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C10	1194.00	29.67	1°25'26"	14.84	S01°21'25"W	29.67
C11	1194.00	347.35	16°40'05"	174.91	S10°24'11"W	346.12
C12	1194.00	50.03	2°24'02"	25.02	S19°56'14"W	50.02
C13	1194.00	427.05	20°29'33"	215.83	S10°53'28"W	424.77
C14	484.04	89.12	10°32'58"	44.69	S26°24'44"W	89.00
C15	907.58	57.70	3°38'34"	28.86	S33°30'29"W	57.69
C16	907.58	77.30	4°56'36"	39.18	S37°48'04"W	78.28
C17	907.58	136.01	8°35'10"	68.13	S35°58'47"W	135.88
C18	180.00	158.25	50°22'20"	84.65	S65°27'32"W	153.20
C19	75.00	59.00	45°04'17"	31.12	N68°06'34"E	57.49
C20	75.00	59.00	45°04'17"	31.12	N23°02'16"E	57.49
C21	75.00	118.00	90°08'35"	75.19	N45°34'25"E	106.20
C22	180.00	56.84	18°05'31"	28.66	S80°18'32"E	56.60
C23	182.15	110.97	34°54'27"	57.27	S71°47'40"E	109.27
C24	75.00	67.48	51°32'54"	36.21	N64°52'15"E	65.22
C25	75.00	50.33	38°27'06"	26.16	N19°52'15"E	49.39
C26	75.00	117.81	90°00'00"	75.00	N45°38'42"E	106.07
C27	75.00	58.81	44°55'43"	31.01	N21°57'44"W	57.32
C28	300.00	105.57	20°09'46"	53.34	N09°34'45"W	105.03
C29	375.00	20.03	3°03'36"	10.02	S18°07'50"E	20.02
C30	375.00	438.00	66°55'19"	247.84	S16°51'37"W	413.53
C31	375.00	458.03	69°58'55"	262.49	S15°19'49"W	430.08
C32	350.00	234.21	38°20'26"	121.68	S11°09'04"E	229.86
C33	25.00	37.31	85°30'44"	23.11	N30°46'32"W	33.94
C34	25.00	38.96	89°16'45"	24.69	S56°37'13"W	35.13
C35	375.00	250.94	38°20'26"	130.37	N31°09'04"E	246.28
C36	325.00	217.48	38°20'26"	112.99	N31°09'04"E	213.44
C37	350.00	229.04	37°29'37"	118.79	S31°34'28"W	224.97
C38	350.00	138.44	22°39'49"	70.14	S01°29'45"W	137.54
C39	350.00	367.48	60°09'26"	202.71	S20°14'34"W	350.83
C40	622.75	106.78	9°49'29"	53.52	S14°44'54"E	106.65
C41	231.64	62.11	15°21'50"	31.24	N11°58'43"W	61.93
C42	231.64	19.40	4°47'56"	9.71	N01°53'50"W	19.40
C43	231.64	81.51	20°09'46"	41.18	N09°34'45"W	81.09
C44	94.00	44.86	27°20'34"	22.86	N14°10'25"E	44.43
C45	25.00	23.99	54°58'59"	13.01	S00°21'12"W	23.08
C46	91.50	44.14	27°38'25"	22.51	N13°19'05"W	43.71
C47	25.00	45.64	104°35'52"	32.34	N51°47'48"W	39.56
C48	98.00	25.21	14°44'27"	12.68	N83°16'29"E	25.14
C49	52.00	81.81	90°08'35"	52.13	N45°34'25"E	73.63
C50	25.00	39.21	89°51'25"	24.94	N44°25'35"W	35.31
C51	25.00	43.52	99°44'59"	29.66	N40°46'12"E	38.23
C52	275.00	50.66	10°33'21"	25.40	N14°22'58"W	50.59

PRELIMINARY PLAT FOR WEST RIDGE SUBDIVISION SUBDIVISION

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 3, 4, 9 AND 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2002



CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C53	25.00	35.70	81°49'20"	21.66	N60°34'18"W	32.74
C54	325.00	12.95	2°17'00"	6.48	N79°39'32"E	12.95
C55	325.00	40.27	7°05'57"	20.16	N84°21'00"E	40.24
C56	325.00	15.57	2°44'44"	7.79	N89°16'20"E	15.57
C57	300.00	90.30	17°14'45"	45.49	N82°01'20"E	89.96
C58	120.00	105.33	50°17'32"	56.33	S64°12'32"E	101.98
C59	35.00	50.51	82°41'17"	30.80	S06°17'07"W	46.24
C60	51.00	39.81	44°43'15"	20.98	S57°25'09"E	38.80
C61	95.00	15.88	9°34'31"	7.96	S84°34'02"E	15.86
C62	275.00	49.65	10°20'38"	24.89	N85°28'23"E	49.58
C63	25.00	39.23	89°53'59"	24.96	N35°21'05"E	35.32
C64	400.00	226.96	32°30'36"	116.63	S06°39'24"W	223.93
C65	400.00	191.36	27°24'35"	97.55	S36°36'59"W	189.54
C66	400.00	418.32	59°55'11"	230.57	S20°21'41"W	399.51
C67	25.00	39.27	90°00'00"	25.00	S44°21'18"E	35.36
C68	25.00	39.55	90°38'41"	25.28	S45°19'22"W	35.55
C69	25.00	39.55	90°38'43"	25.28	N45°19'21"E	35.55
C70	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C71	203.00	20.91	5°54'11"	10.47	S54°11'37"W	20.91
C72	203.00	33.69	9°30'36"	16.89	S79°59'13"W	33.66
C73	203.00	36.10	10°11'20"	18.10	S70°08'15"W	36.05
C74	203.00	36.11	10°11'30"	18.10	S59°56'51"W	36.06
C75	203.00	36.10	10°11'17"	18.10	S49°45'27"W	36.05
C76	203.00	15.56	4°23'26"	7.78	S42°28'05"W	15.55
C77	203.00	178.47	50°22'20"	95.46	S65°27'32"W	172.78
C78	930.58	16.88	1°02'22"	8.44	S39°45'11"W	16.88
C79	930.58	39.14	2°24'36"	19.57	S38°01'43"W	39.14
C80	930.58	39.14	2°24'35"	19.57	S35°37'07"W	39.14
C81	930.58	39.15	2°24'38"	19.58	S33°12'31"W	39.15
C82	930.58	5.14	0°18'59"	2.57	S31°50'42"W	5.14
C83	930.58	139.45	8°35'10"	69.86	S35°58'47"W	139.32
C84	25.00	40.86	93°38'34"	26.64	S78°30'29"W	36.46
C85	25.00	40.66	93°11'48"	26.44	S08°04'19"E	36.33
C86	884.58	26.90	1°44'32"	13.45	S39°24'06"W	26.90
C87	157.00	70.71	25°48'14"	35.96	S53°10'29"W	70.11
C88	157.00	67.32	24°34'05"	34.19	S78°21'39"W	66.81
C89	157.00	138.03	50°22'20"	73.83	S65°27'32"W	133.63
C90	157.00	40.36	14°43'45"	20.29	S81°59'25"E	40.25
C91	157.00	54.68	19°57'19"	27.62	S64°38'53"E	54.41
C92	157.00	95.04	34°41'04"	49.03	S72°00'46"E	93.60
C93	203.00	24.03	6°46'58"	12.03	S85°57'49"E	24.02
C94	203.00	32.85	9°16'22"	16.46	S77°56'09"E	32.82
C95	203.00	33.33	9°24'27"	16.70	S68°35'45"E	33.29

NOTE: ▲
CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ABBREVIATIONS
10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
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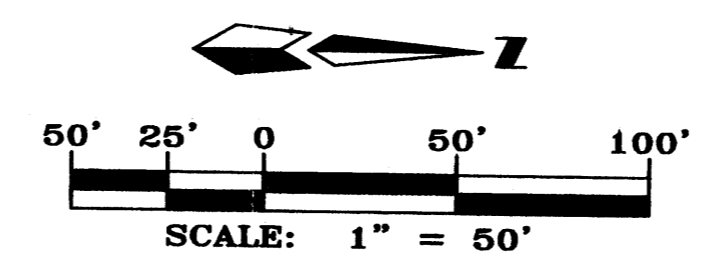
SEE SHEET # 8
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708

PRELIMINARY PLAT FOR
WEST RIDGE SUBDIVISION
SUBDIVISION

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 3, 4, 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2002

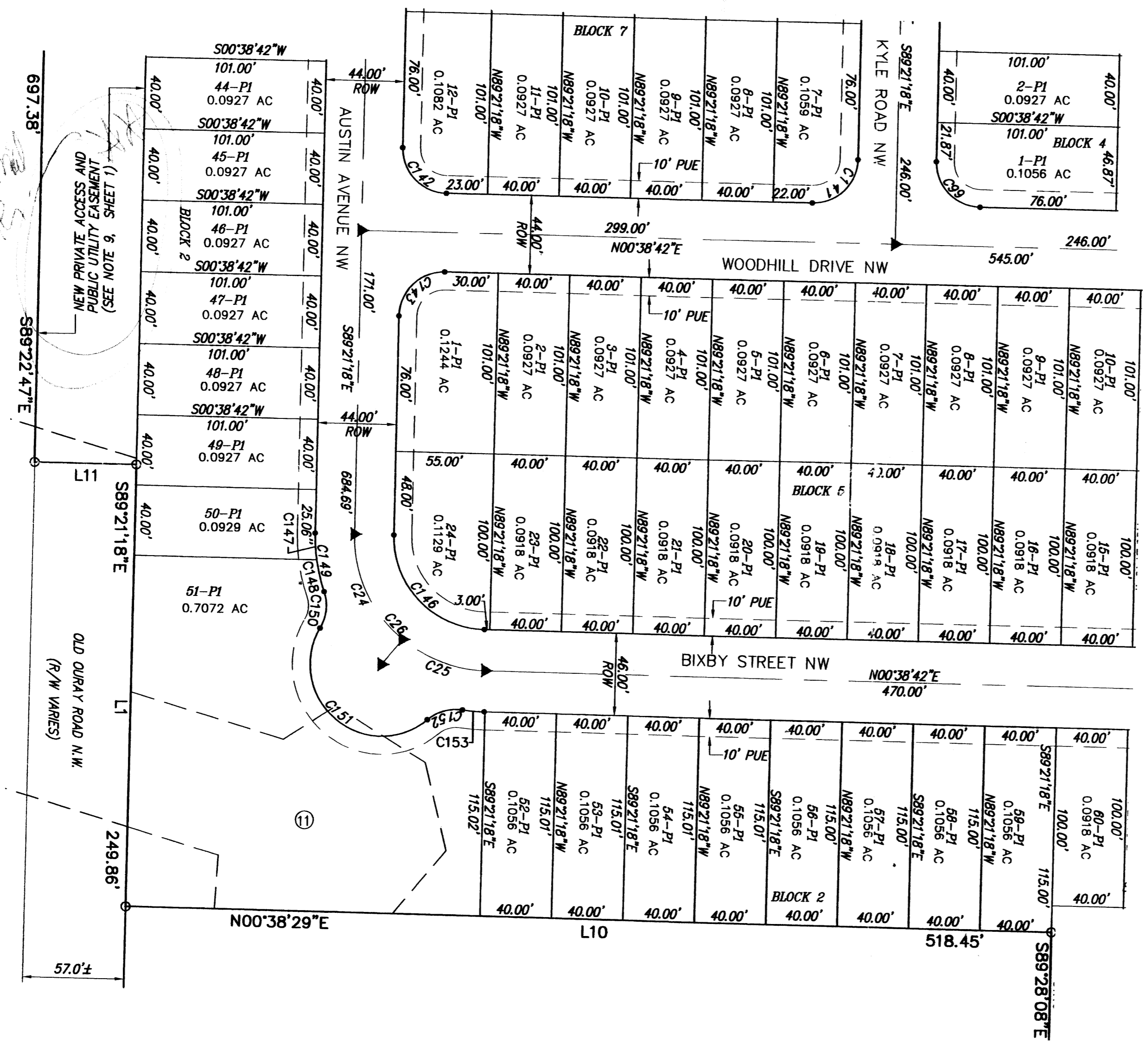
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 INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR
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 "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

*All should be turned
 around except XX*



8 of 8

SEE SHEET 1



Center Industrial Center etc

SEE SHEET 335

ALL STREETS SHOWN
 HEREON ARE HEREBY
 DEDICATED AS PUBLIC
 RIGHT-OF-WAY

ABBREVIATIONS
 10' PUE = PUBLIC UTILITY EASEMENTS
 GRANTED WITH THIS PLAT
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CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C96	203.00	32.67	97°3'17"	16.37	S59°16'52"E	32.64
C97	203.00	122.89	34°41'04"	63.39	S72°00'46"E	121.02
C98	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C99	25.00	39.27	90°00'00"	25.00	N45°38'42"E	35.36
C100	158.00	8.08	2°55'51"	4.04	S87°53'22"E	8.08
C101	158.00	38.46	13°56'55"	19.33	S78°14'15"E	38.37
C102	158.00	49.89	18°05'31"	25.15	S80°18'32"E	49.68
C103	25.00	24.97	57°13'37"	13.64	S42°38'59"E	23.94
C104	461.04	38.68	4°48'26"	19.35	S23°24'34"W	38.67
C105	461.04	40.08	4°58'52"	20.05	S28°18'13"W	40.07
C106	461.04	7.18	0°53'33"	3.59	S31°14'26"W	7.18
C107	461.04	85.95	10°40'51"	43.10	S26°20'47"W	85.82
C108	507.04	23.82	2°41'29"	11.91	S30°20'28"W	23.82
C109	507.04	38.52	4°21'10"	19.27	S26°49'09"W	38.51
C110	507.04	31.02	3°30'19"	15.52	S22°53'24"W	31.02
C111	507.04	93.36	10°32'58"	46.81	S26°24'44"W	93.22
C112	1217.00	7.40	0°20'55"	3.70	S20°57'47"W	7.40
C113	1217.00	39.53	1°51'39"	19.77	S19°51'30"W	39.53
C114	1217.00	39.34	1°51'08"	19.67	S18°00'06"W	39.34
C115	1217.00	39.36	1°51'11"	19.68	S16°08'57"W	39.36
C116	1217.00	39.36	1°51'11"	19.68	S14°17'46"W	39.36
C117	1217.00	39.36	1°51'11"	19.68	S12°26'35"W	39.36
C118	1217.00	39.36	1°51'11"	19.68	S10°35'23"W	39.36
C119	1217.00	39.35	1°51'10"	19.68	S08°44'13"W	39.35
C120	1217.00	39.35	1°51'10"	19.68	S06°53'03"W	39.35
C121	1217.00	39.36	1°51'11"	19.68	S05°01'52"W	39.36
C122	1217.00	39.36	1°51'11"	19.68	S03°10'41"W	39.36
C123	1217.00	34.12	1°36'24"	17.06	S01°26'54"W	34.12
C124	1217.00	435.27	20°29'33"	219.99	S10°53'28"W	432.96
C125	25.00	39.27	90°00'00"	25.00	S45°38'42"W	35.36
C126	25.00	40.94	93°49'56"	26.73	S42°26'20"E	36.52
C127	1171.00	27.01	1°19'18"	13.51	S05°08'31"W	27.01
C128	1171.00	43.14	2°06'38"	21.57	S06°51'29"W	43.13
C129	1171.00	43.15	2°06'40"	21.58	S08°58'08"W	43.14
C130	1171.00	44.40	2°10'21"	22.20	S11°06'39"W	44.40
C131	1171.00	85.63	4°11'22"	42.83	S14°17'30"W	85.61
C132	1171.00	243.32	11°54'19"	122.10	S10°26'02"W	242.88
C133	25.00	40.29	92°20'48"	26.05	S62°33'49"W	36.07
C134	202.00	1.33	0°22'35"	0.66	S71°27'04"E	1.33
C135	202.00	62.46	17°42'56"	31.48	S80°29'50"E	62.21
C136	202.00	63.78	18°05'31"	32.16	S80°18'32"E	63.52
C137	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C138	25.00	39.27	90°00'00"	25.00	N45°38'42"E	35.36
C139	25.00	39.27	90°00'00"	25.00	S44°21'18"E	35.36
C140	25.00	39.27	90°00'00"	25.00	S45°38'42"W	35.36
C141	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C142	25.00	39.27	90°00'00"	25.00	N45°38'42"E	35.36
C143	25.00	39.27	90°00'00"	25.00	S44°21'18"E	35.36
C144	25.00	39.27	90°00'00"	25.00	S45°38'42"W	35.36
C145	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C146	52.00	81.68	90°00'00"	52.00	N45°38'42"E	73.54
C147	97.00	15.00	8°51'42"	7.52	N86°12'51"E	14.99
C148	97.00	18.55	10°57'32"	9.30	N76°18'14"E	18.52
C149	97.00	33.56	19°49'14"	16.95	N80°44'05"E	33.39
C150	25.00	21.40	49°02'19"	11.40	N84°39'22"W	20.75
C151	40.00	111.95	160°21'31"	231.08	N39°41'02"E	78.83
C152	25.00	21.06	48°16'34"	11.20	S16°21'27"E	20.45
C153	98.00	12.20	7°08'08"	6.11	N04°12'46"E	12.20
C154	25.00	39.27	90°00'00"	25.00	S45°38'42"W	35.36

F:\A02\JOBS\A02031\RD\PRELIMINARY PLAT\BASE1.dwg, 10/01/02 04:01:00 PM, PLOTTED BY RDO

PRELIMINARY PLAT WEST RIDGE SUBDIVISION

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 3, 4, 9 & 10
TOWNSHIP 10, NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
SEPTEMBER, 2002

SUBDIVISION DATA

GROSS ACREAGE 37.2568 AC.
ZONE ATLAS NO. G-9, G-10, H-9 & H-10
NO. OF EXISTING TRACTS 4
NO. OF TRACTS/LOTS CREATED 5 TRACTS / 169 LOTS
NO. OF TRACTS ELIMINATED 4
AREA DEDICATED TO CITY OF ALBUQUERQUE 7.5056 AC
DATE OF SURVEY JUNE, 2002
ZONING SU-1/RD

OWNERS

KB HOME NEW MEXICO, INC.
4921 ALEXANDER NE, SUITE B
ALBUQUERQUE, N.M. 87107
(505) 344-9400

WESTLAND DEVELOPMENT CO., INC.
401 CLOURS BLVD., N.W.
ALBUQUERQUE, N.M. 87121
(505) 881-9600

SUNSET PLAZA GENERAL PARTNERS
4325 CARLISLE BLVD. NE
ALBUQUERQUE, N.M. 87107
(505) 883-1606

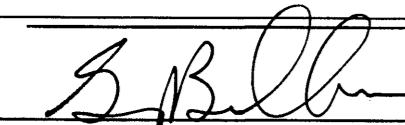
ENGINEERS


D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

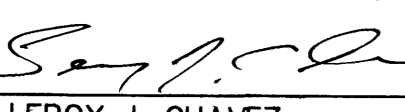
SURVEYOR

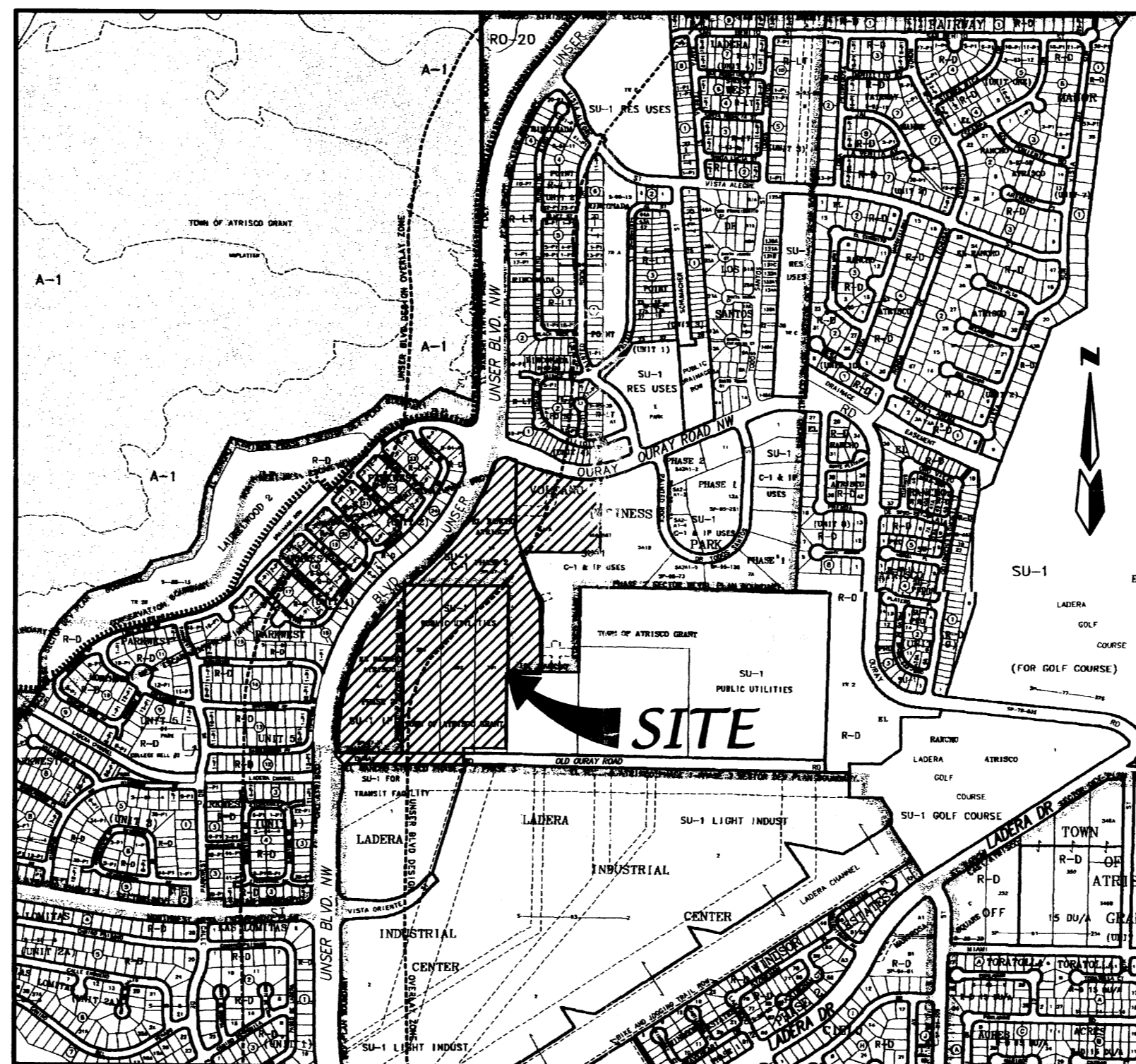
ALDRICH LAND SURVEY
P.O. BOX 30701
ALBUQUERQUE, N.M. 87190-0701
(505) 884-1990

OWNERS:

 9/20/02
DATE
GREG BREEDLOVE
VP OF LAND DEVELOPMENT
KB HOME NEW MEXICO INC.

 10/4/02
DATE
JOAN WERSHAW
MANAGING PARTNER
SUNSET PLAZA GENERAL PARTNERSHIP

 9/30/02
DATE
LEROY J. CHAVEZ
V.P. OF DEVELOPMENT
WESTLAND DEVELOPEMENT CO., INC.



LOCATION MAP
NOT TO SCALE

PURPOSE OF PLAT

1. SUBDIVIDE FOUR TRACTS INTO 169 RESIDENTIAL LOTS AND 5 TRACTS
2. DEDICATE RIGHT-OF-WAY AS SHOWN
3. GRANT NEW EASEMENTS AS SHOWN
4. VACATE EASEMENTS AND RIGHT-OF-WAY AS SHOWN

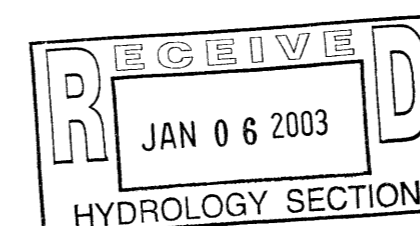
LEGAL DESCRIPTION

SEE SHEET 2

NOTES

1. UNLESS OTHERWISE NOTED ALL POINTS ARE "SET 5/8" REBAR WITH CAP "ALS LS 7719".
2. ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS ▲, WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED:
"CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION"
"DO NOT DISTURB"
"PLS # 7719".
3. BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
4. BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
5. ALL DISTANCES SHALL BE GROUND DISTANCES.
6. MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
7. TRACTS A, B, C, & D ARE HEREBY CREATED FOR FUTURE DEVELOPMENT.
8. TRACT E IS DEDICATED TO THE CITY OF ALBUQUERQUE FOR PUBLIC DRAINAGE RIGHT-OF-WAY BY THIS PLAT.
9. NEW PRIVATE ACCESS EASEMENT GRANTED TO THE OWNERS OF THE LANDS OF PLAINS ELECTRIC GENERATION AND TRANSMISSION CO-OP, INC. (01-30-79, BK D83A, PG. 321-354) AND THE LANDS OF PNM (05-04-61, BK D-593, PG 223), ITS SUCCESSORS OR ASSIGNS, BY THIS PLAT AND TO BE JOINTLY MAINTAINED BY SAID OWNERS. ACCESS BY BENEFICIARIES SHALL BE FREE AND UNRESTRICTED.
10. ALL OPEN SPACE REQUIREMENTS ARE MET ON THE LOT WITH THE DWELLING PER PROVISIONS OF SECTION 14-16-3-8 (A) (1).

APPROVED FOR MONUMENTATION AND STREET NAMES



 10-4-02
DATE
CITY SURVEYOR, CITY OF ALBUQUERQUE, N.M.

Dwg: PPSHT1.dwg	Drawn: RICHARD	Checked: ALS	Sheet 1 of 8
Scale: 1:1	Date: 09/24/02	Job: A02031	

NOTES:

- Bearings are grid based on the New Mexico State Plane Coordinate System (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:
 PLAT FOR "LADERA INDUSTRIAL CENTER, LOTS 1 AND 2", (02-12-93, 93C-39)
 PLAT FOR "VOLCANO BUSINESS PARK", (03-26-02, 02C-96)
 PLAT FOR "VOLCANO BUSINESS PARK, PHASE I", (04-24-86, C30-78)
 PLAT FOR "VOLCANO BUSINESS PARK, PHASE II", (04-03-98, 98C-89)
 PLAT FOR "EL RANCHO ATRISCO, PHASE 3, TRACTS 5-A & 6-A", (02-12-87, C32-184)
 PLAT FOR "EL RANCHO ATRISCO, PHASE 2, TRACTS A-1 & B-1", (02-12-87, C32-185)
 PNM SWITCHING STATION (WD: 05-04-61, BK. D593, PG. 223)
 PLAINS ELECTRIC COOPERATIVE, INC. (WD: 09-14-64, BK. D756, PG. 258)
 PLAINS ELECTRIC COOPERATIVE, INC. (QCD: 01-30-79, BK. D83A, PGS. 321-354)
 all being records of Bernalillo County, New Mexico.
- Field Survey performed June, 2002.
- Title Report: provided by First American Title Insurance Company, Commitment No.: 05020221 (Effective date: 04-25-02) (TRI-STATE TRACT)
- UTILITY COUNCIL LOCATION SYSTEM LOG NO.: 2002240820

PRELIMINARY PLAT FOR
WEST RIDGE SUBDIVISION
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 3, 4, 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2002

DESCRIPTION

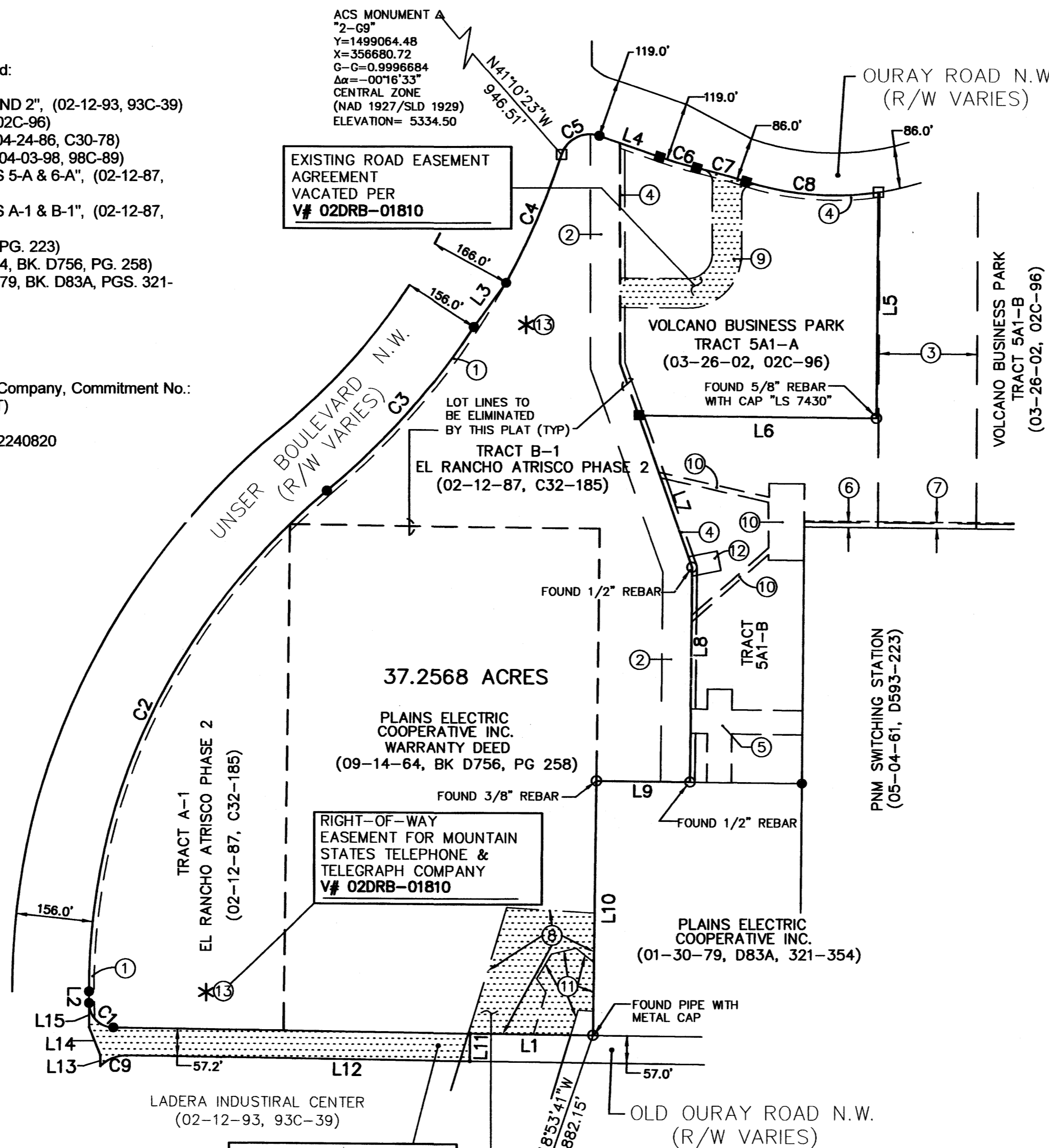
A tract of land situate within the Town of Atrisco Grant, projected Sections 3, 4, 9 and 10, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 5A1-A, VOLCANO BUSINESS PARK as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 26, 2002 in Book 2002C, Page 96 and all of TRACTS A-1 and B-1, EL RANCHO ATRISCO, PHASE II as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 12, 1987 in Volume C32, Folio 185 together with all of LANDS OF PLAINS ELECTRIC COOPERATIVE, INC. as the same is described in a WARRANTY DEED filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 14, 1964 in Book D756, Page 258 together with a portion of VACATED OLD OURAY ROAD N.W. and containing 37.2568 acres more or less.

EASEMENTS

- EXISTING 10' PNM AND MT. BELL EASEMENT 1 (BURIED UTILITIES ONLY) (02-12-87, C32-185)
- EXISTING 60' PLAINS ELECTRIC EASEMENT (02-12-87, C32-185) (12-23-87, BK. MISC. 571A, PG. 394)
- EXISTING 200' PNM EASEMENT (04-24-86, C30-78)
- EXISTING 10' PNM EASEMENT (03-26-02, 02C-96)
- EXISTING 50' PNM EASEMENT (04-24-86, C30-78)
- EXISTING 10' PUE (06-12-95, 95C-208)
- EXISTING 12' PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF AND TO BE MAINTAINED BY TRACT 5A1 AND 5A2-A1-1 (04-03-98, 98C-89)
- * EXISTING 200' EASEMENT UNITED STATES DISTRICT COURT CAUSE NO. 1845 (02-05-52, BK. MISC. D197, PGS. 571-572) - PORTION SHOWN VACATED WITH V# 02DRB-01580
- * EXISTING EASEMENT AGREEMENT, (09-14-90, BK. BCR 90-15, PG. 3409) VACATED WITH V# 02DRB-01580
- EXISTING PRIVATE DRAINAGE EASEMENTS, FOR THE BENEFIT OF TRACT 5A1-B. (03-26-02, 02C-96)
- EXISTING PNM EASEMENT (03-11-02, BK. A33, P G. 1956) - EASEMENT TO REMAIN, NOT A PART OF VACATION REQUEST
- EXISTING 40' PLAINS ELECTRIC ANCHOR EASEMENT (12-23-87, BK. MISC. 571A, PG. 394)
- * THESE TRACTS ARE AFFECTED BY A RIGHT-OF-WAY EASEMENT TO AMERICAN TELEPHONE AND TELEGRAPH COMPANY, DATED DECEMBER 13, 1929, RECORDED IN BOOK 112, PAGE 290, SAID EASEMENT AMENDED BY A MODIFICATION EASEMENT, DATED JANUARY 31, 1973, RECORDED IN BOOK MISC. 298, PAGE 635, SAID EASEMENT ASSIGNED TO THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY BY ASSIGNMENT DATED DECEMBER 26, 1974, RECORDED IN BOOK 575, PAGE 928 RECORDS OF BERNALILLO COUNTY, NEW MEXICO. - VACATED WITH V# 02DRB-01810

LINE TABLE		
LINE	DIRECTION	DISTANCE
L1	N89°21'18"W (N89°22'42"W)	249.86'
L2	N00°14'03"W (N00°13'32"W)	23.81' (24.03')
L3	N36°08'53"E (N36°09'24"E)	111.22'
L4	S70°47'08"E (S70°47'45"E)	129.37'
L5	S00°31'10"W (S00°34'59"W)	460.02' (459.38')
L6	N89°20'50"W (N89°25'03"W)	483.97' (483.62')
L7	S19°39'38"E (S19°39'13"E)	324.13'
L8	S00°30'08"W (S00°30'41"W)	442.52' (442.49')
L9	N89°28'08"W (N89°27'48"W)	190.41'
L10	S00°38'29"W (S02°29'00"W)	518.45' (518.50')
L11	S00°37'09"W	56.94'
L12	N89°22'47"W (N00°13'32"W)	697.38'
L13	N00°13'43"E	22.73'
L14	N21°38'44"W	61.88'
L15	N00°14'03"W	49.22'
L16	S89°21'18"E	725.71'

CURVE TABLE						
CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C1	77.77' (77.78')	89°07'15" (89°07'46")	50.00'	49.24'	N44°47'40"W (N44°47'25"W)	70.17'
C2	1171.95'	50°47'33"	1322.00'	627.63'	N25°09'44"E (N25°10'14"E)	1133.95'
C3	449.50' (449.49')	17°25'30" (17°25'29")	1478.00'	226.50'	N41°50'45"E (N41°51'16"E)	447.77'
C4	284.65' (284.69')	10°57'38" (10°57'43")	1488.00'	142.76' (142.80')	N23°22'21"E (N23°22'50"E)	284.22' (284.30')
C5	95.63' (95.67')	91°19'20" (91°21'38")	60.00'	61.40' (61.38')	N63°33'12"E (N63°34'47"E)	85.83' (85.81')
C6	78.36'	05°38'50"	795.00'	39.21'	S73°36'33"E (S73°37'10"E)	78.33'
C7	104.51'	04°44'01"	1265.00'	52.28'	S74°27'06"E (S74°27'43"E)	104.48'
C8	273.34' (273.36')	25°40'01" (25°40'07")	610.17'	139.00' (139.01')	S85°22'31"E (S85°23'08"E)	271.06' (271.08')
C9	59.98'	45°49'04"	75.00'	31.69'	S67°42'51"W	58.39'



OLD OURAY ROAD N.W.
 1.0211 AC RIGHT-OF-WAY
 VACATED PER
 V# 02DRB-01579

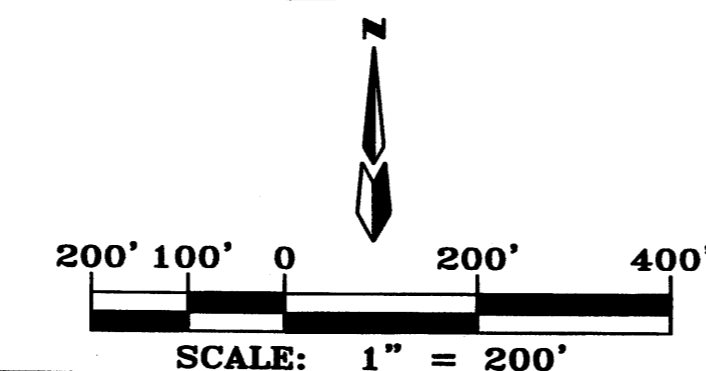
EXISTING PNM EASEMENTS
 PORTION VACATED PER
 V# 02DRB-01580

ACS MONUMENT
 "BH-39"
 Y=1494777.28
 X=356760.08
 G-G=0.9996750
 Δα=-00°16'32"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION= 5195.46

PROPERTY CORNERS

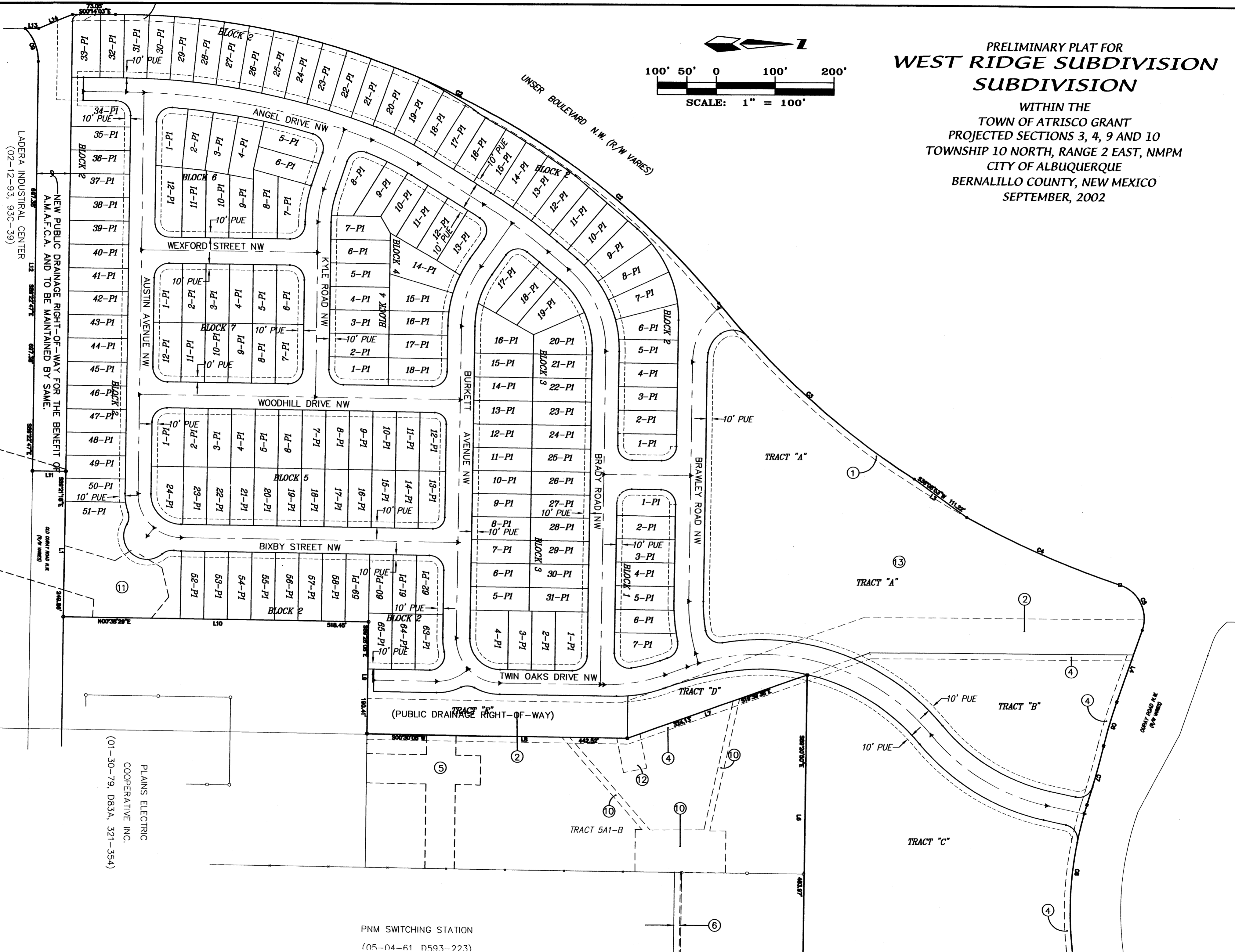
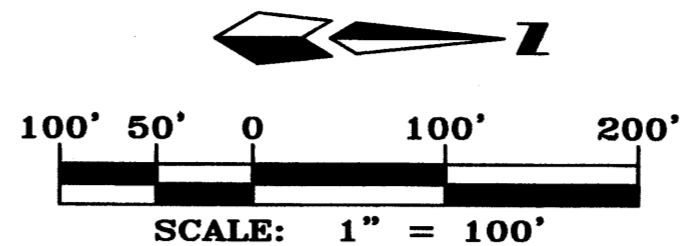
- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- FOUND "+" CROSS ON SIDEWALK (TYP)
- CORNERS TO BE SET BY OTHERS "NMP NO. 11993" (TYP)

* DENOTES PORTION OF EXISTING EASEMENTS & RIGHT-OF-WAY VACATED PER V#



PRELIMINARY PLAT FOR
WEST RIDGE SUBDIVISION
SUBDIVISION

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 3, 4, 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2002



LADERA INDUSTRIAL CENTER
 (02-12-93, 93C-39)

NEW PUBLIC DRAINAGE RIGHT-OF-WAY FOR THE BENEFIT OF
 A.M.A.F.C.A. AND TO BE MAINTAINED BY SAME.

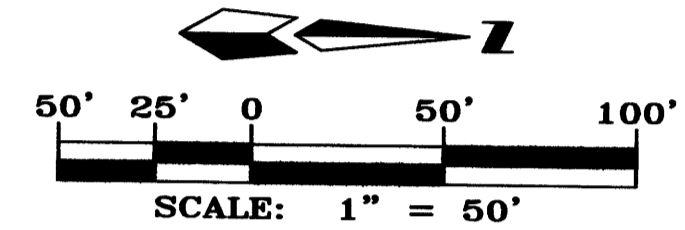
PLAINS ELECTRIC
 COOPERATIVE INC.
 (01-30-79, D83A, 321-354)

PNM SWITCHING STATION
 (05-04-61 D593-223)

Dwg: sheet3.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 3 of 8
Scale: 1"=100'	Date: 12/23/02	Job: A02031	

PRELIMINARY PLAT FOR
WEST RIDGE SUBDIVISION
SUBDIVISION

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 3, 4, 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2002



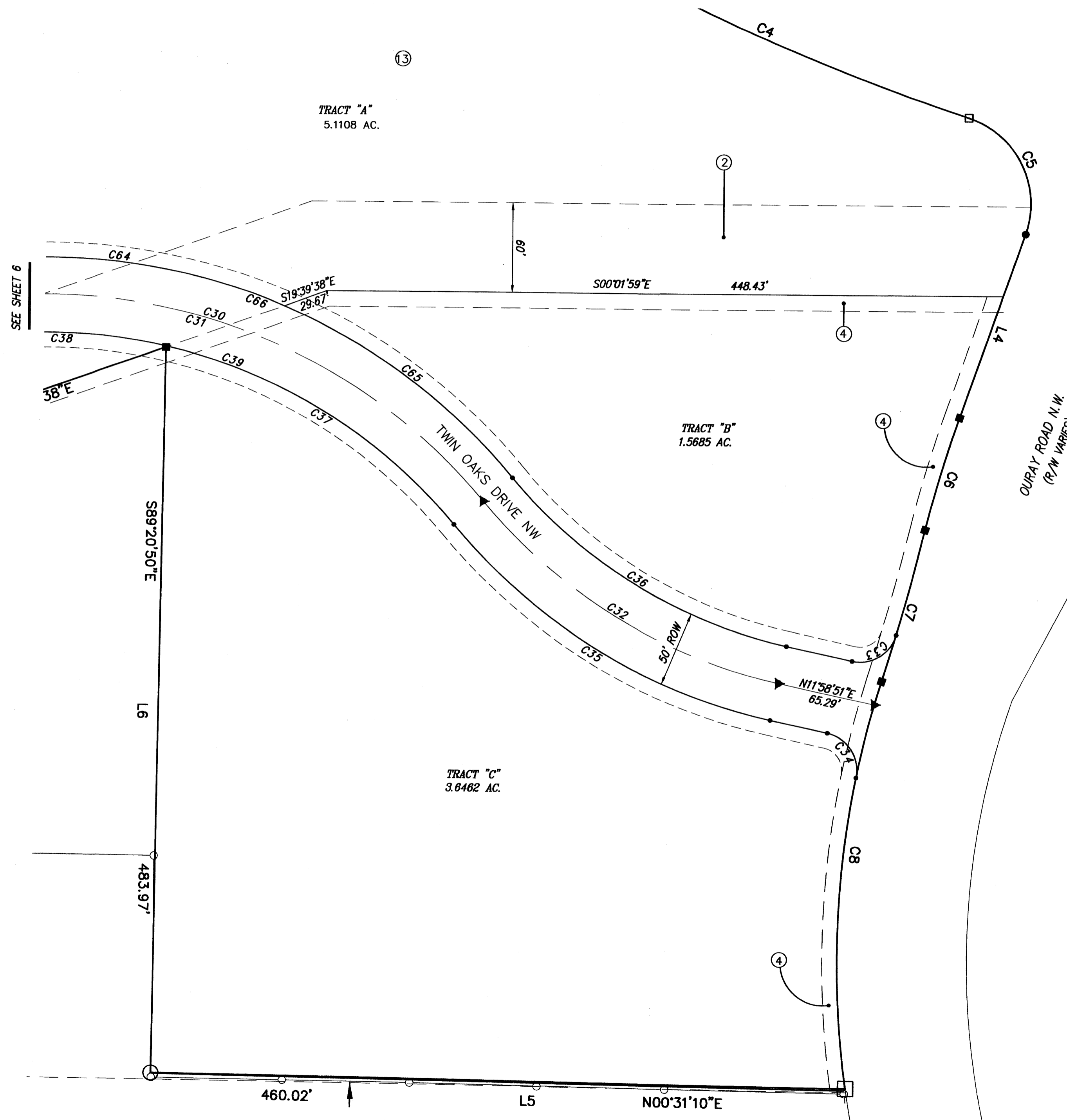
NOTE: ▲
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ABBREVIATIONS

10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT

ROW = RIGHT-OF-WAY

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY



Dwg: BASE1.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 4 of 8
Scale: 1"=50'	Date: 12/23/02	Job: A02031	

PRELIMINARY PLAT FOR
WEST RIDGE SUBDIVISION
SUBDIVISION

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 3, 4, 9 AND 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
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SEPTEMBER, 2002

NOTE: ▲
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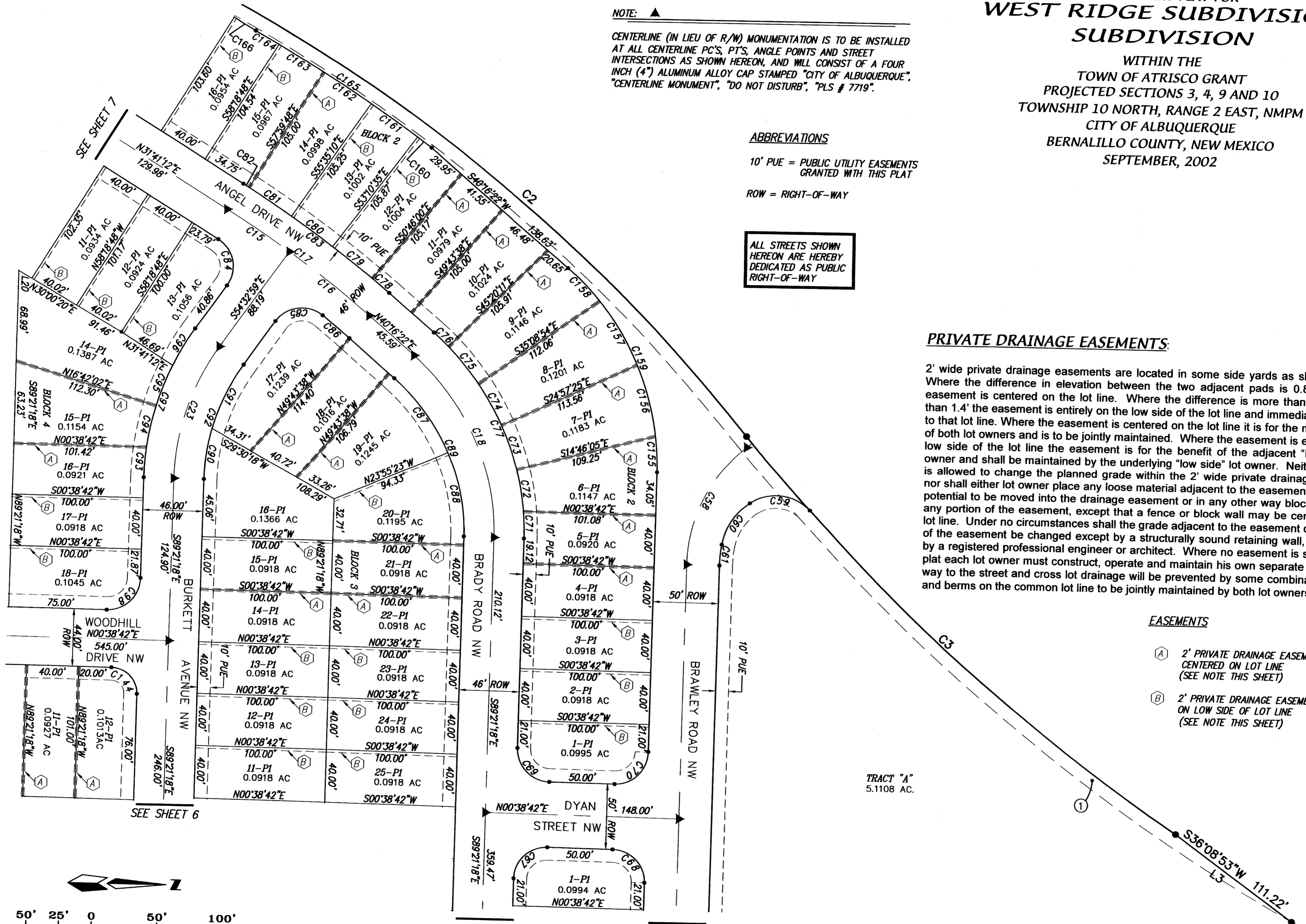
ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

PRIVATE DRAINAGE EASEMENTS:

2' wide private drainage easements are located in some side yards as shown hereon. Where the difference in elevation between the two adjacent pads is 0.8' or less the easement is centered on the lot line. Where the difference is more than 0.8' but less than 1.4' the easement is entirely on the low side of the lot line and immediately adjacent to that lot line. Where the easement is centered on the lot line it is for the mutual benefit of both lot owners and is to be jointly maintained. Where the easement is entirely on the low side of the lot line the easement is for the benefit of the adjacent "high side" lot owner and shall be maintained by the underlying "low side" lot owner. Neither lot owner is allowed to change the planned grade within the 2' wide private drainage easement, nor shall either lot owner place any loose material adjacent to the easement that has the potential to be moved into the drainage easement or in any other way block drainage in any portion of the easement, except that a fence or block wall may be centered on the lot line. Under no circumstances shall the grade adjacent to the easement on either side of the easement be changed except by a structurally sound retaining wall, as designed by a registered professional engineer or architect. Where no easement is shown on the plat each lot owner must construct, operate and maintain his own separate swale all the way to the street and cross lot drainage will be prevented by some combination of walls and berms on the common lot line to be jointly maintained by both lot owners.

EASEMENTS

- (A) 2' PRIVATE DRAINAGE EASEMENT CENTERED ON LOT LINE (SEE NOTE THIS SHEET)
- (B) 2' PRIVATE DRAINAGE EASEMENT ON LOW SIDE OF LOT LINE (SEE NOTE THIS SHEET)



TRACT "A"
5.1108 AC.

SEE SHEET 4

SEE SHEET 6

SEE SHEET 6

Dwg: BASE1.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 5 of 8
Scale: 1"=50'	Date: 12/23/02	Job: A02031	

PRELIMINARY PLAT FOR
WEST RIDGE SUBDIVISION
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WITHIN THE
 TOWN OF ATRISCO GRANT
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 SEPTEMBER, 2002

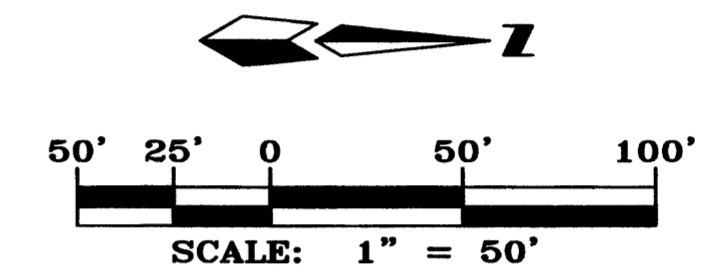
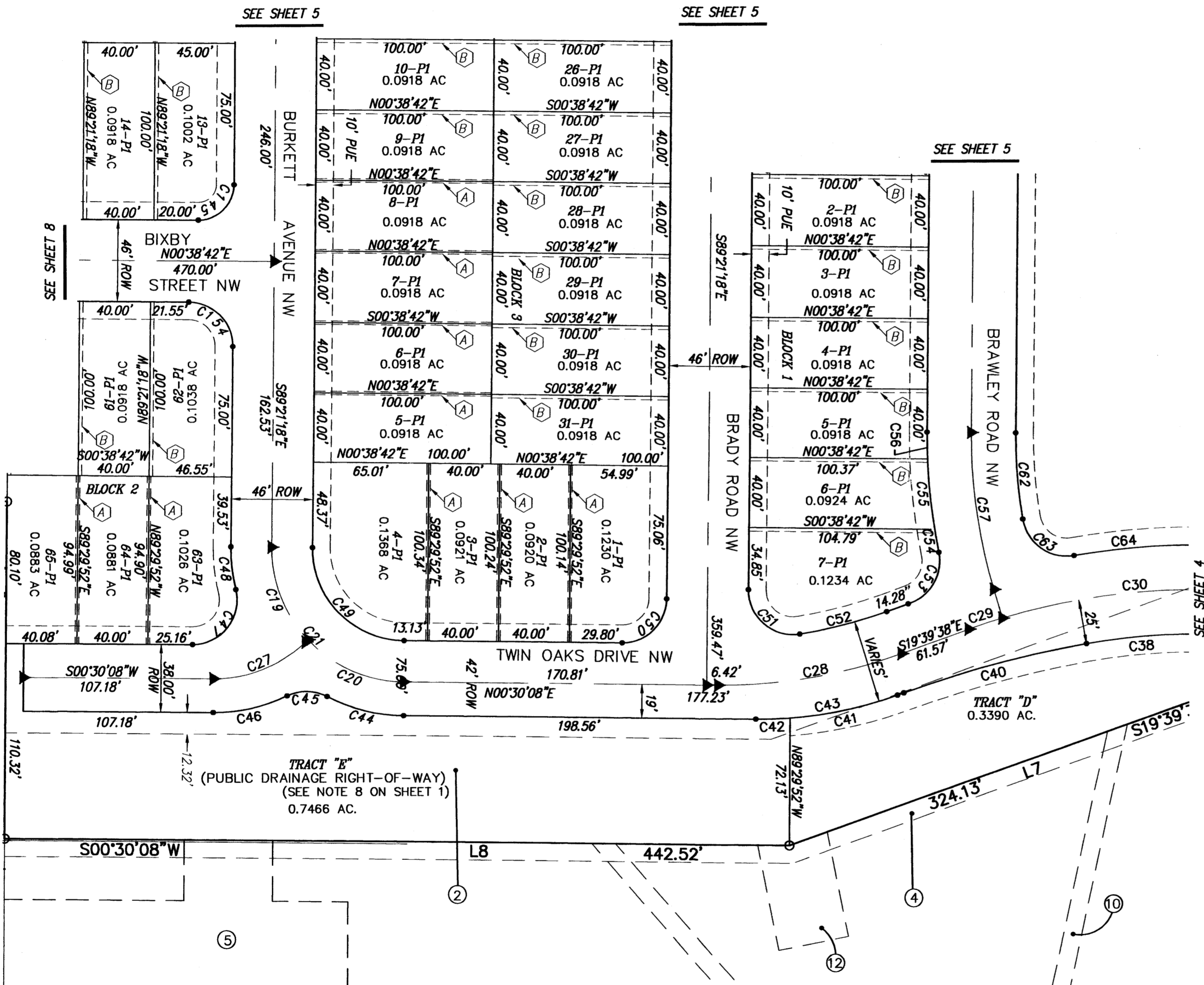
NOTE: ▲

CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ABBREVIATIONS

10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
 ROW = RIGHT-OF-WAY

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY



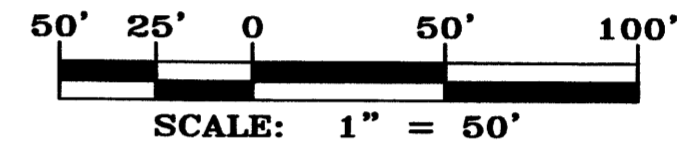
CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C10	1194.00	29.67	1°25'26"	14.84	S01°21'25"W	29.67
C11	1194.00	347.35	16°40'05"	174.91	S10°24'11"W	346.12
C12	1194.00	50.03	2°24'02"	25.02	S19°56'14"W	50.02
C13	1194.00	427.05	20°29'33"	215.83	S10°53'28"W	424.77
C14	484.04	89.12	10°32'58"	44.69	S26°24'44"W	89.00
C15	907.58	57.70	3°38'34"	28.86	S33°30'29"W	57.69
C16	907.58	78.30	4°56'36"	39.18	S37°48'04"W	78.28
C17	907.58	136.01	8°35'10"	68.13	S35°58'47"W	135.88
C18	180.00	158.25	50°22'20"	84.65	S65°27'32"W	153.20
C19	75.00	59.00	45°04'17"	31.12	N68°06'34"E	57.49
C20	75.00	59.00	45°04'17"	31.12	N23°02'16"E	57.49
C21	75.00	118.00	90°08'35"	75.19	N45°34'25"E	106.20
C22	180.00	56.84	18°05'31"	28.66	S80°18'32"E	56.60
C23	182.15	110.97	34°54'27"	57.27	S71°47'40"E	109.27
C24	75.00	67.48	51°32'54"	36.21	N64°52'15"E	65.22
C25	75.00	50.33	38°27'06"	26.16	N19°52'15"E	49.39
C26	75.00	117.81	90°00'00"	75.00	N45°38'42"E	106.07
C27	75.00	58.81	44°55'43"	31.01	N21°57'44"W	57.32
C28	300.00	105.57	20°09'46"	53.34	N09°34'45"W	105.03
C29	375.00	20.03	3°03'36"	10.02	S18°07'50"E	20.02
C30	375.00	438.00	66°55'19"	247.84	S16°51'37"W	413.53
C31	375.00	458.03	69°58'55"	262.49	S15°19'49"W	430.08
C32	350.00	234.21	38°20'26"	121.68	N31°09'04"E	229.86
C33	25.00	37.31	85°30'44"	23.11	N30°46'32"W	33.94
C34	25.00	38.96	89°16'45"	24.69	S56°37'13"W	35.13
C35	375.00	250.94	38°20'26"	130.37	N31°09'04"E	246.28
C36	325.00	217.48	38°20'26"	112.99	N31°09'04"E	213.44
C37	350.00	229.04	37°29'37"	118.79	S31°34'28"W	224.97
C38	350.00	138.44	22°39'49"	70.14	S01°29'45"W	137.54
C39	350.00	367.48	60°09'26"	202.71	S20°14'34"W	350.83
C40	622.75	106.78	9°49'29"	53.52	S14°44'54"E	106.65
C41	231.64	62.11	15°21'50"	31.24	N11°58'43"W	61.93
C42	231.64	19.40	4°47'56"	9.71	N01°53'50"W	19.40
C43	231.64	81.51	20°09'46"	41.18	N09°34'45"W	81.09
C44	94.00	44.86	27°20'34"	22.86	N14°10'25"E	44.43
C45	25.00	23.99	54°58'59"	13.01	S00°21'12"W	23.08
C46	91.50	44.14	27°38'25"	22.51	N13°19'05"W	43.71
C47	25.00	45.64	104°35'52"	32.34	N51°47'48"W	39.56
C48	98.00	25.21	14°44'27"	12.68	N83°16'29"E	25.14
C49	52.00	81.81	90°08'35"	52.13	N45°34'25"E	73.63
C50	25.00	39.21	89°51'25"	24.94	N44°25'35"W	35.31
C51	25.00	43.52	99°44'59"	29.66	N40°46'12"E	38.23
C52	275.00	50.66	10°33'21"	25.40	N14°22'58"W	50.59

EASEMENTS

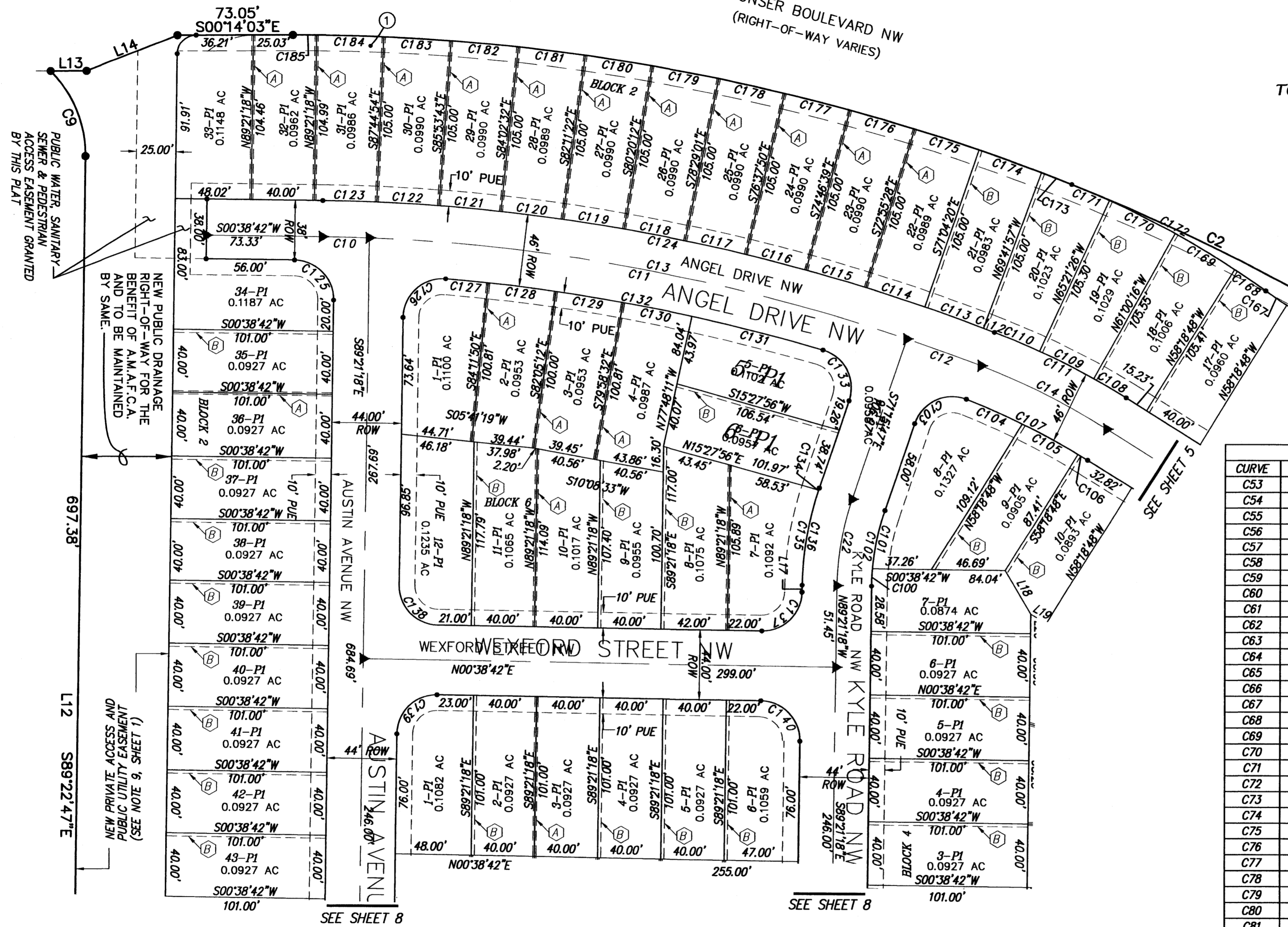
- (A) 2' PRIVATE DRAINAGE EASEMENT CENTERED ON LOT LINE (SEE NOTE SHEET 5)
- (B) 2' PRIVATE DRAINAGE EASEMENT ON LOW SIDE OF LOT LINE (SEE NOTE SHEET 5)

PRELIMINARY PLAT FOR
WEST RIDGE SUBDIVISION
SUBDIVISION

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 3, 4, 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 SEPTEMBER, 2002



CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C53	25.00	35.70	81°49'20"	21.66	N60°34'18"W	32.74
C54	325.00	12.95	2°17'00"	6.48	N79°39'32"E	12.95
C55	325.00	40.27	7°05'57"	20.16	N84°21'00"E	40.24
C56	325.00	15.57	2°44'44"	7.79	N89°16'20"E	15.57
C57	300.00	90.30	17°14'45"	45.49	N82°01'20"E	89.96
C58	120.00	105.33	50°17'32"	56.33	S64°12'32"E	101.98
C59	35.00	50.51	82°41'17"	30.80	S06°17'07"W	46.24
C60	51.00	39.81	44°43'15"	20.98	S57°25'09"E	38.80
C61	95.00	15.88	9°34'31"	7.96	S84°34'02"E	15.86
C62	275.00	49.65	10°20'38"	24.89	N85°28'23"E	49.58
C63	25.00	39.23	89°53'59"	24.96	N35°21'05"E	35.32
C64	400.00	226.96	32°30'36"	116.63	S06°39'24"W	223.93
C65	400.00	191.36	27°24'35"	97.55	S36°36'59"W	189.54
C66	400.00	418.32	59°55'11"	230.57	S20°21'41"W	399.51
C67	25.00	39.27	90°00'00"	25.00	S44°21'18"E	35.36
C68	25.00	39.55	90°38'41"	25.28	S45°19'22"W	35.55
C69	25.00	39.55	90°38'43"	25.28	N45°19'21"E	35.55
C70	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C71	203.00	20.91	5°54'11"	10.47	S87°41'37"W	20.91
C72	203.00	33.69	9°30'36"	16.89	S79°59'13"W	33.66
C73	203.00	36.10	10°11'20"	18.10	S70°08'15"W	36.05
C74	203.00	36.11	10°11'30"	18.10	S59°56'51"W	36.06
C75	203.00	36.10	10°11'17"	18.10	S49°45'27"W	36.05
C76	203.00	15.56	4°23'26"	7.78	S42°28'05"W	15.55
C77	203.00	178.47	50°22'20"	95.46	S65°27'32"W	172.78
C78	930.58	16.88	1°02'22"	8.44	S39°45'11"W	16.88
C79	930.58	39.14	2°24'36"	19.57	S38°01'43"W	39.14
C80	930.58	39.14	2°24'35"	19.57	S35°37'07"W	39.14
C81	930.58	39.15	2°24'38"	19.58	S33°12'31"W	39.15
C82	930.58	5.14	0°18'59"	2.57	S31°50'42"W	5.14
C83	930.58	139.45	8°35'10"	69.86	S35°58'47"W	139.32
C84	25.00	40.86	93°38'34"	26.64	S78°30'29"W	36.46
C85	25.00	40.66	93°11'48"	26.44	S08°04'19"E	36.33
C86	884.58	26.90	1°44'32"	13.45	S39°24'06"W	26.90
C87	157.00	70.71	25°48'14"	35.96	S53°10'29"W	70.11
C88	157.00	67.32	24°34'05"	34.19	S78°21'39"W	66.81
C89	157.00	138.03	50°22'20"	73.83	S65°27'32"W	133.63
C90	157.00	40.36	14°43'45"	20.29	S81°59'25"E	40.25
C91	157.00	54.68	19°57'19"	27.62	S64°38'53"E	54.41
C92	157.00	95.04	34°41'04"	49.03	S72°00'46"E	93.60
C93	203.00	24.03	6°46'58"	12.03	S85°57'49"E	24.02
C94	203.00	32.85	9°16'22"	16.46	S77°56'09"E	32.82
C95	203.00	33.33	9°24'27"	16.70	S68°35'45"E	33.29



ALL STREETS SHOWN
 HEREON ARE HEREBY
 DEDICATED AS PUBLIC
 RIGHT-OF-WAY

EASEMENTS

(A) 2' PRIVATE DRAINAGE EASEMENT
 CENTERED ON LOT LINE
 (SEE NOTE SHEET 5)

(B) 2' PRIVATE DRAINAGE EASEMENT
 ON LOW SIDE OF LOT LINE
 (SEE NOTE SHEET 5)

ABBREVIATIONS

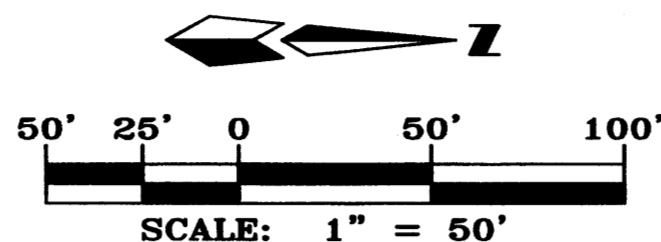
10' PUE = PUBLIC UTILITY EASEMENTS
 GRANTED WITH THIS PLAT

ROW = RIGHT-OF-WAY

NOTE: ▲
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED
 AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET
 INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR
 INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE",
 "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

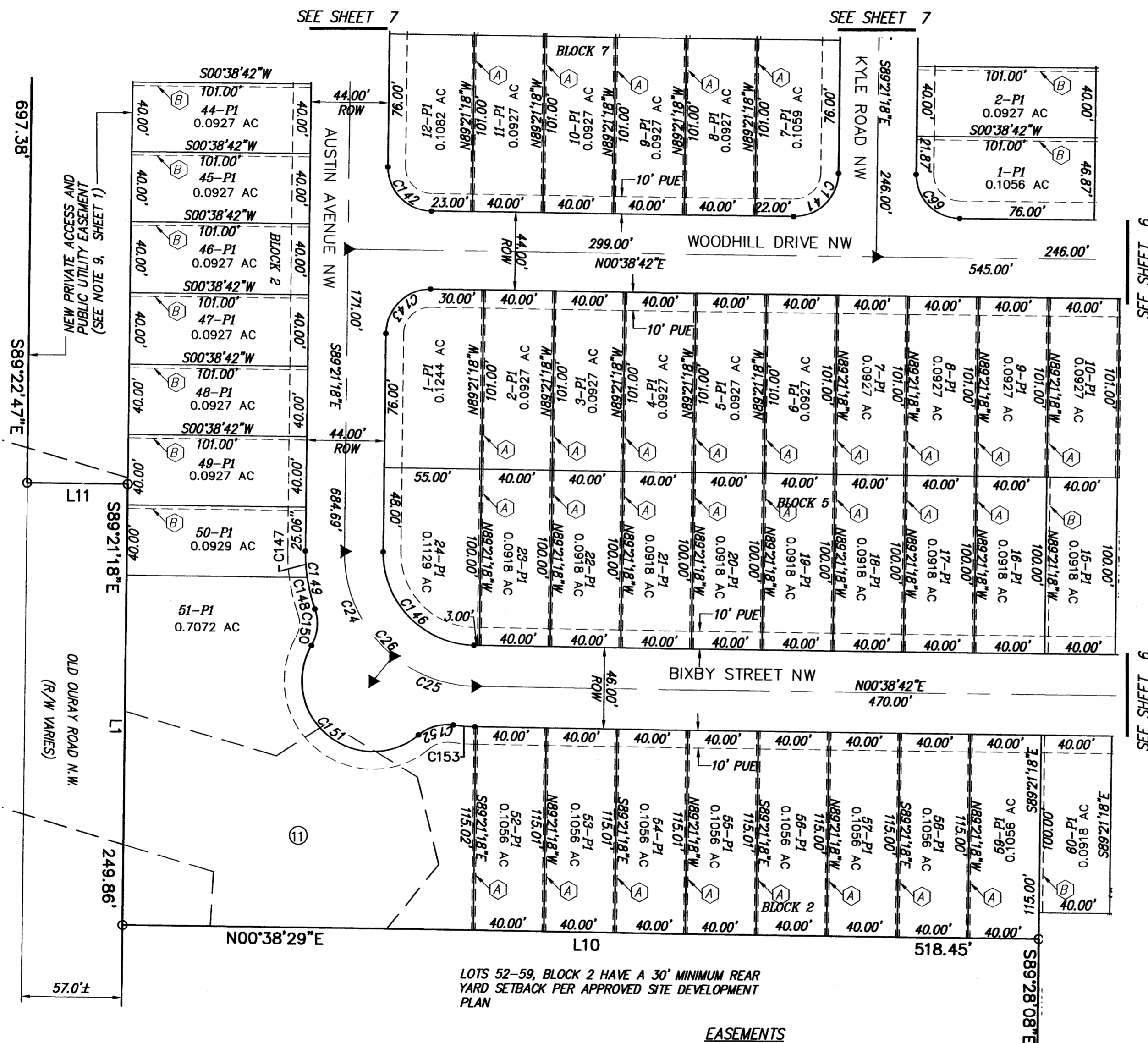
NOTE:

CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".



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TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
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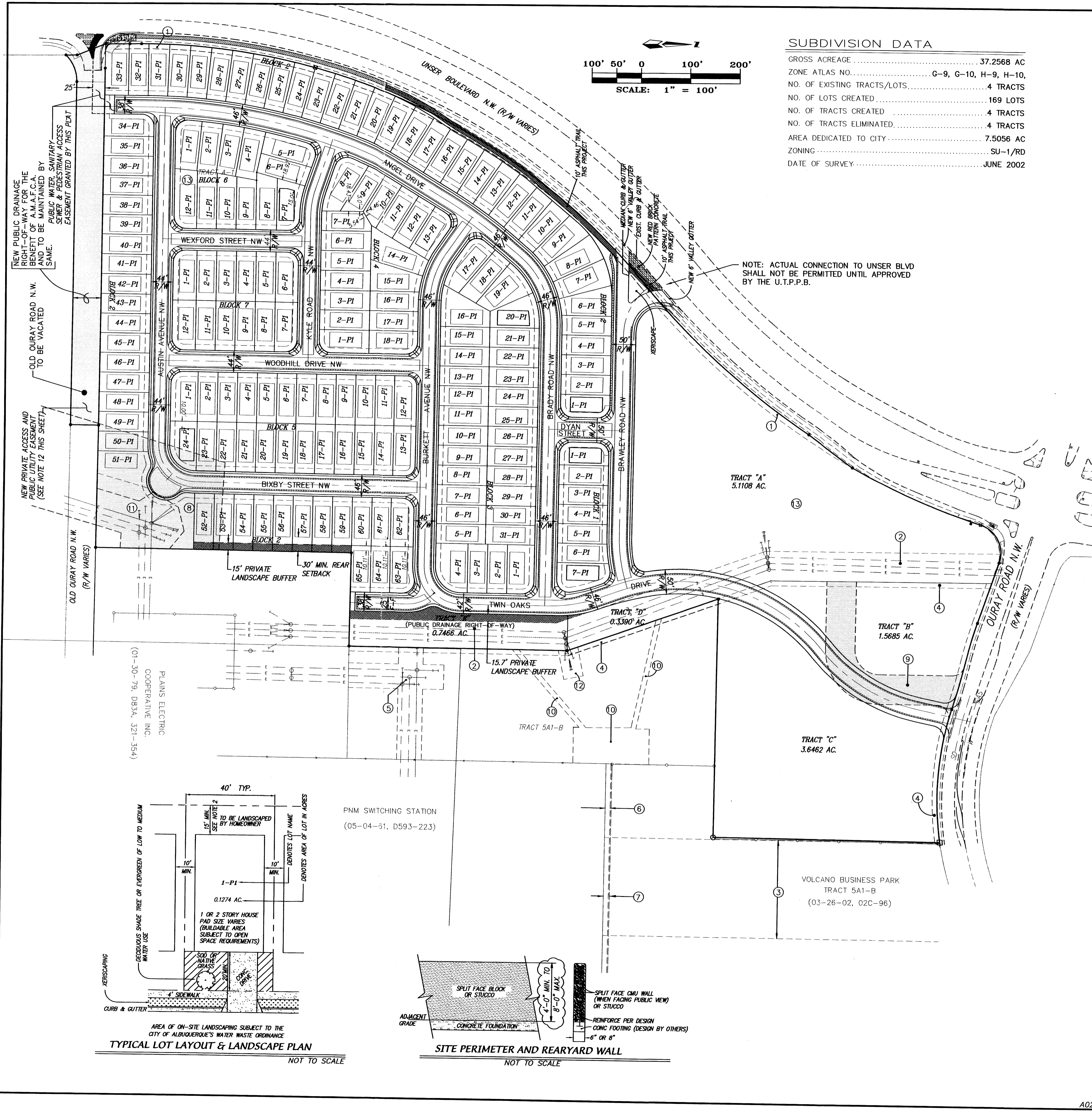


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(SEE NOTE SHEET 5)
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ON LOW SIDE OF LOT LINE
(SEE NOTE SHEET 5)

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C96	203.00	32.67	9°13'17"	16.37	S59°16'52"E	32.64
C97	203.00	122.89	34°41'04"	63.39	S72°00'46"E	121.02
C98	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C99	25.00	39.27	90°00'00"	25.00	N45°38'42"E	35.36
C100	158.00	8.08	2°55'51"	4.04	S87°53'22"E	8.08
C101	158.00	38.46	13°56'55"	19.33	S78°14'15"E	38.37
C102	158.00	49.89	18°05'31"	25.15	S80°18'32"E	49.68
C103	25.00	24.97	57°13'37"	13.64	S42°38'59"E	23.94
C104	461.04	38.68	4°48'26"	19.35	S23°24'34"W	38.67
C105	461.04	40.08	4°58'52"	20.05	S28°18'13"W	40.07
C106	461.04	7.18	0°53'33"	3.59	S31°14'26"W	7.18
C107	461.04	85.95	10°40'51"	43.10	S26°20'47"W	85.82
C108	507.04	23.82	2°41'29"	11.91	S30°20'28"W	23.82
C109	507.04	38.52	4°21'10"	19.27	S26°49'09"W	38.51
C110	507.04	31.02	3°30'19"	15.52	S22°53'24"W	31.02
C111	507.04	93.36	10°32'58"	46.81	S26°24'44"W	93.22
C112	1217.00	7.40	0°20'55"	3.70	S20°57'47"W	7.40
C113	1217.00	39.53	1°51'39"	19.77	S19°51'30"W	39.53
C114	1217.00	39.34	1°51'08"	19.67	S18°00'06"W	39.34
C115	1217.00	39.36	1°51'11"	19.68	S16°08'57"W	39.36
C116	1217.00	39.36	1°51'11"	19.68	S14°17'46"W	39.36
C117	1217.00	39.36	1°51'11"	19.68	S12°26'35"W	39.36
C118	1217.00	39.36	1°51'11"	19.68	S10°35'23"W	39.36
C119	1217.00	39.35	1°51'10"	19.68	S08°44'13"W	39.35
C120	1217.00	39.35	1°51'10"	19.68	S06°53'03"W	39.35
C121	1217.00	39.36	1°51'11"	19.68	S05°01'52"W	39.36
C122	1217.00	39.36	1°51'11"	19.68	S03°10'41"W	39.36
C123	1217.00	435.27	20°29'33"	219.99	S10°53'28"W	432.96
C125	25.00	39.27	90°00'00"	25.00	S45°38'42"W	35.36
C126	25.00	40.94	93°49'56"	26.73	S42°26'20"E	36.52
C127	1171.00	27.01	1°19'18"	13.51	S05°08'31"W	27.01
C128	1171.00	43.14	2°06'38"	21.57	S06°51'29"W	43.13
C129	1171.00	43.15	2°06'40"	21.58	S08°58'08"W	43.14
C130	1171.00	44.40	2°10'21"	22.20	S11°06'39"W	44.40
C131	1171.00	85.63	4°11'22"	42.83	S14°17'30"W	85.61
C132	1171.00	243.32	11°54'19"	122.10	S10°26'02"W	242.88
C133	25.00	40.29	92°20'48"	26.05	S62°33'49"W	36.07
C134	202.00	1.33	0°22'35"	0.66	S71°27'04"E	1.33
C135	202.00	62.46	17°42'56"	31.48	S80°29'50"E	62.21
C136	202.00	63.78	18°05'31"	32.16	S80°18'32"E	63.52
C137	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C138	25.00	39.27	90°00'00"	25.00	N45°38'42"E	35.36
C139	25.00	39.27	90°00'00"	25.00	S44°21'18"E	35.36
C140	25.00	39.27	90°00'00"	25.00	S45°38'42"W	35.36
C141	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C142	25.00	39.27	90°00'00"	25.00	N45°38'42"E	35.36
C143	25.00	39.27	90°00'00"	25.00	S44°21'18"E	35.36
C144	25.00	39.27	90°00'00"	25.00	S45°38'42"W	35.36
C145	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C146	52.00	81.68	90°00'00"	52.00	N45°38'42"E	73.54
C147	97.00	15.00	8°51'42"	7.52	N86°12'51"E	14.99
C148	97.00	18.55	10°57'32"	9.30	N76°18'14"E	18.52
C149	97.00	33.56	19°49'14"	16.95	N80°44'05"E	33.39
C150	25.00	21.40	49°02'19"	11.40	N84°39'22"W	20.75
C151	40.00	111.95	160°21'31"	231.08	N39°41'02"E	78.83
C152	25.00	21.06	48°16'34"	11.20	S16°21'27"E	20.45
C153	98.00	12.20	7°08'08"	6.11	N04°12'46"E	12.20
C154	25.00	39.27	90°00'00"	25.00	S45°38'42"W	35.36



SUBDIVISION DATA

GROSS ACREAGE	37.2568 AC
ZONE ATLAS NO.	G-9, C-10, H-9, H-10,
NO. OF EXISTING TRACTS/LOTS	4 TRACTS
NO. OF LOTS CREATED	169 LOTS
NO. OF TRACTS CREATED	4 TRACTS
NO. OF TRACTS ELIMINATED	4 TRACTS
AREA DEDICATED TO CITY	7.5056 AC
ZONING	SU-1/RD
DATE OF SURVEY	JUNE 2002

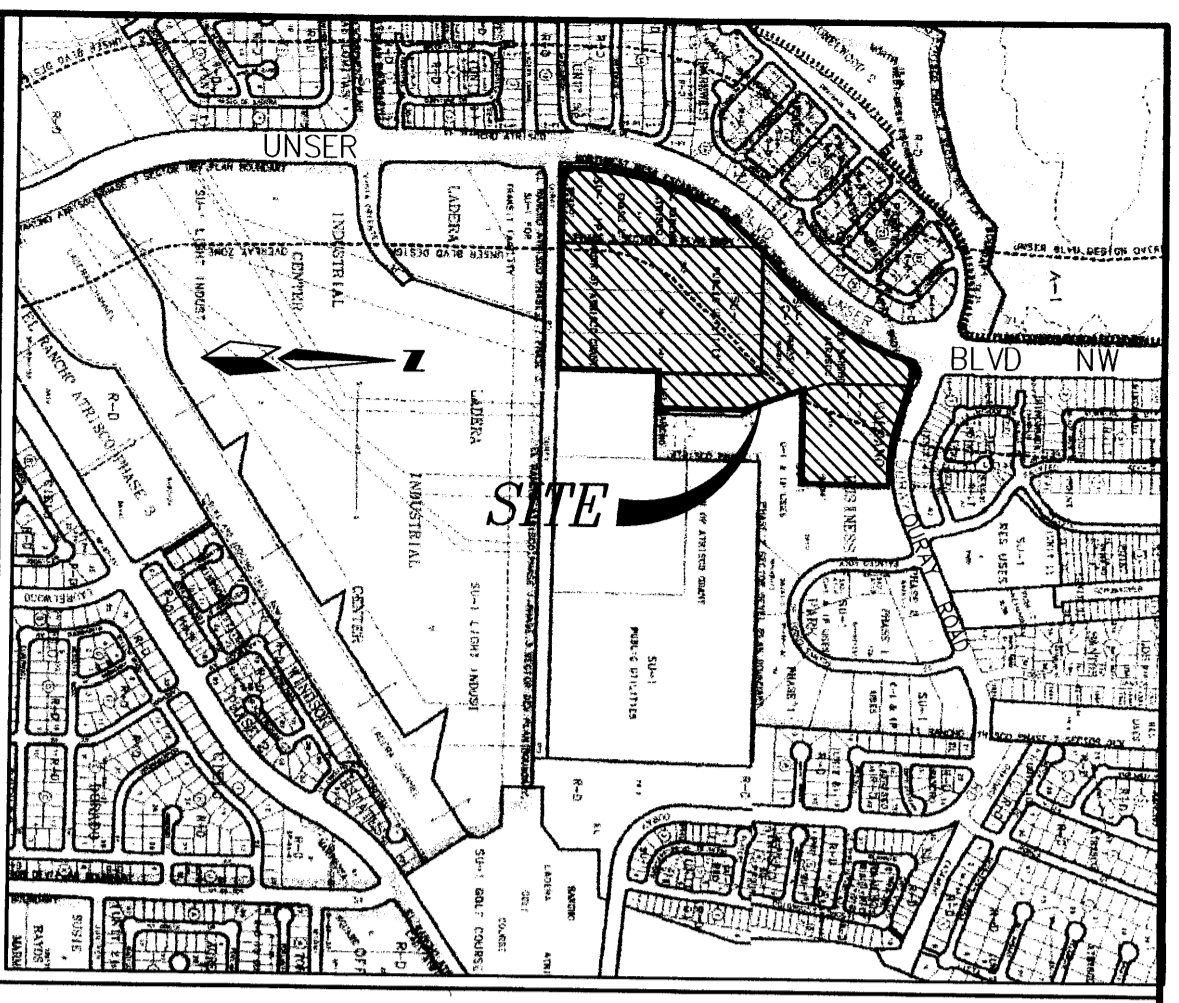
NOTE: ACTUAL CONNECTION TO UNSER BLVD SHALL NOT BE PERMITTED UNTIL APPROVED BY THE U.T.P.P.B.

GENERAL NOTES:

- DEVELOPMENT DENSITY:**
Gross site area is 36.2357 acres.
Site is zoned SU-1 (RD, C1 & IP)
- MINIMUM BUILDING SETBACK:**
There is no sideyard setback.
Front yard setback is 15'.
Minimum driveway length is 20'.
Minimum distance between buildings is 10'.
Backyard setback is 15', unless otherwise noted the following lots:
Lots 52 thru 59, Block 2 (30' per EPC)
Lots 63, 64 & 65, Block 4
Lots 7, 9, & 10, Block 4
- BUILDING HEIGHT:**
Structure shall not exceed 26 feet in height.
- PARK DEVELOPMENT:**
The developer will be paying cash in lieu of dedicating land for a park.
- OPEN SPACE:**
All open space requirements are met on the lot with the dwelling per the provisions of Section 14-16-3-8 (A) (2).
- WATER AND SEWER:**
Prior to development, City of Albuquerque Water and Sanitary Sewer Service to the site must be verified and coordinated with the Utility Development Section, City of Albuquerque Public Works Department.
- PARKING:**
Off-street parking is provided on each site in accordance with Section 14-16-3-1 of the zoning code for lots with the "PI" designation.
- ACCESS:**
Site ingress/egress is provided entirely by public streets.
- BUILDINGS:**
Buildings will be traditional or southwest style with flat or pitched roofs.
The exterior stucco finish will consist of colors in shades of earthtones.
- LANDSCAPING:**
Both individual and community landscaping shall comply with the Water Conservation Landscaping and Water Waste Ordinance. Perimeter landscaping shall be in accordance with the Street Tree Ordinance and trees planted will be in accordance with the list of deciduous and evergreen trees listed in the City of Albuquerque Guide to Landscaping.
- PERIMETER WALL:**
The subdivision perimeter garden wall will be constructed of CMU and will be covered by either stucco or consist of a Split-Faced texture. The maximum wall height will be 8.0 feet, and minimum of 4.0 feet.
- NEW EASEMENTS:**
New Private Access Easement granted to the Owners of the Lands of Plains Electric Generation and Transmission CO-OP, Inc. (01-30-79, Bk D83A, Pg. 321-354) and the Lands of PNM (05-04-51, Bk D-593, Pg. 223), its Successors or Assigns, by this plat and to be jointly maintained by said owners. Access by beneficiaries shall be free and unrestricted.

EASEMENTS

- EXISTING 10' PNM AND MT. BELL EASEMENT (BURIED UTILITIES ONLY) (02-12-87, C32-185)
- EXISTING 60' PLAINS ELECTRIC EASEMENT (02-12-87, C32-185) (12-23-87, BK. MISC. 571A, PG. 394)
- EXISTING 200' PNM EASEMENT (04-24-86, C30-78)
- EXISTING 10' PNM EASEMENT (03-26-02, 02C-96)
- EXISTING 50' PNM EASEMENT (04-24-86, C30-78)
- EXISTING 10' PUE (06-12-95, 95C-208)
- EXISTING 12' PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF AND TO BE MAINTAINED BY TRACT 5A1 AND 5A2-A1-1 (04-03-98, 98C-89)
- EXISTING 200' EASEMENT UNITED STATES DISTRICT COURT CAUSE NO. 1845 (02-05-52, BK.MISC. D197, PGS. 571-572) VACATED PORTION SHOWN PER V#
- EXISTING EASEMENT AGREEMENT, FINAL LOCATION TO BE COMPLETED AND EXECUTED AS THE FINAL DEVELOPMENT PLAN FOR TRACT 5A1-A IS APPROVED BY G.O.M. (09-14-90, BK. BCR 90-15, PG. 3409) VACATED PER V#
- EXISTING PRIVATE DRAINAGE EASEMENTS, FOR THE BENEFIT OF TRACT 5A1-B. (03-26-02, 02C-96)
- EXISTING PNM EASEMENT (03-11-02, BK. A33, PG. 1956) - TO REMAIN
- EXISTING 40' PLAINS ELECTRIC ANCHOR EASEMENT (12-23-87, BK.MISC. 571A, PG. 394)
- THESE TRACTS ARE AFFECTED BY A RIGHT-OF-WAY EASEMENT TO AMERICAN TELEPHONE AND TELEGRAPH COMPANY, DATED DECEMBER 13, 1929, RECORDED IN BOOK 112, PAGE 290, SAID EASEMENT AMENDED BY A MODIFICATION EASEMENT, DATED JANUARY 31, 1973, RECORDED IN BOOK MISC. 298, PAGE 635, SAID EASEMENT ASSIGNED TO THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY BY ASSIGNMENT DATED DECEMBER 26, 1974, RECORDED IN BOOK 575, PAGE 928, ALL BEING RECORDS OF BERNALILLO COUNTY, NEW MEXICO.



VICINITY MAP ZONE MAP: H-9/10-Z

DESCRIPTION

A tract of land situate within the Town of Atasco Grant, projected Sections 3, 4, 9 and 10, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 5A1-A, VOLCANO BUSINESS PARK as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 26, 2002 in Book 2002C, Page 96 and all of TRACTS A-1 and B-1, EL RANCHO ATRISCO, PHASE II as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 12, 1987 in Volume C32, Folio 185 together with all of LANDS OF PLAINS ELECTRIC COOPERATIVE, INC. as the same is described in a WARRANTY DEED filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 14, 1964 in Book D756, Page 258 together with a portion of VACATED OLD DURAY ROAD N.W. and containing 37.2568 acres, more or less.

PROJECT NO. _____
APPLICATION NO. _____
APPROVED AND ACCEPTED BY: _____

- Planning Department
- City Engineer
- Transportation Development
- Utility Development
- Parks and Recreation

LEGEND

- EXISTING EDGE OF PAVEMENT
- EXISTING 8" WL
- EXISTING 8" SAS
- EX 36" SD
- EXISTING CURB AND GUTTER
- EXISTING PROPERTY LINE
- NEW FIRE HYDRANT
- ASPHALT PATH/TRAIL (WIDTH VARIES)
- DENOTES EASEMENT/RIGHT-OF-WAY VACATION

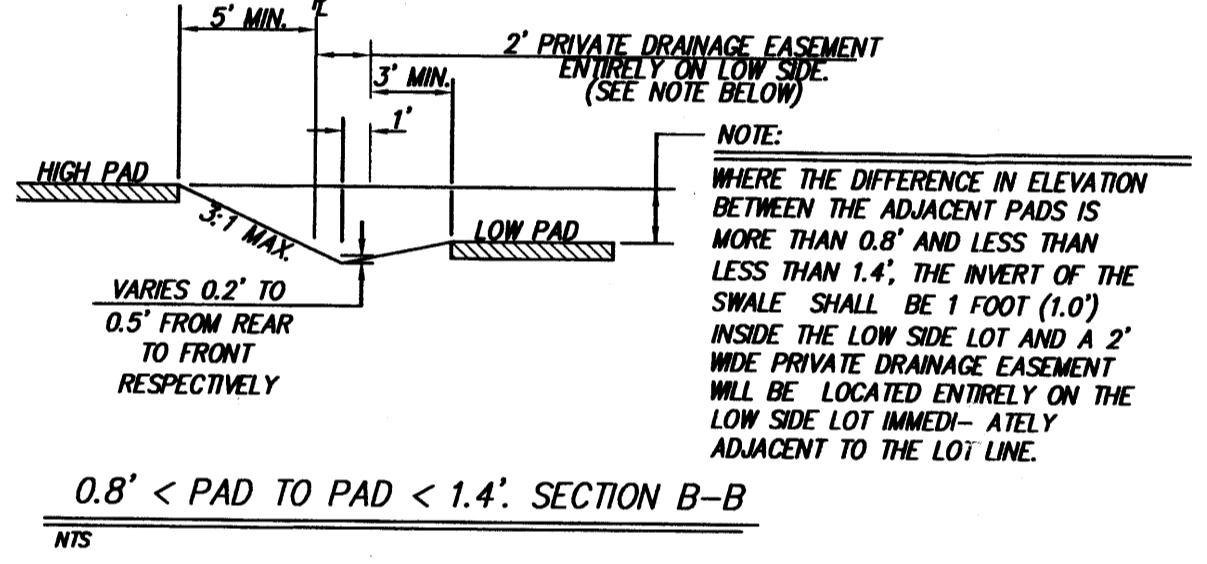
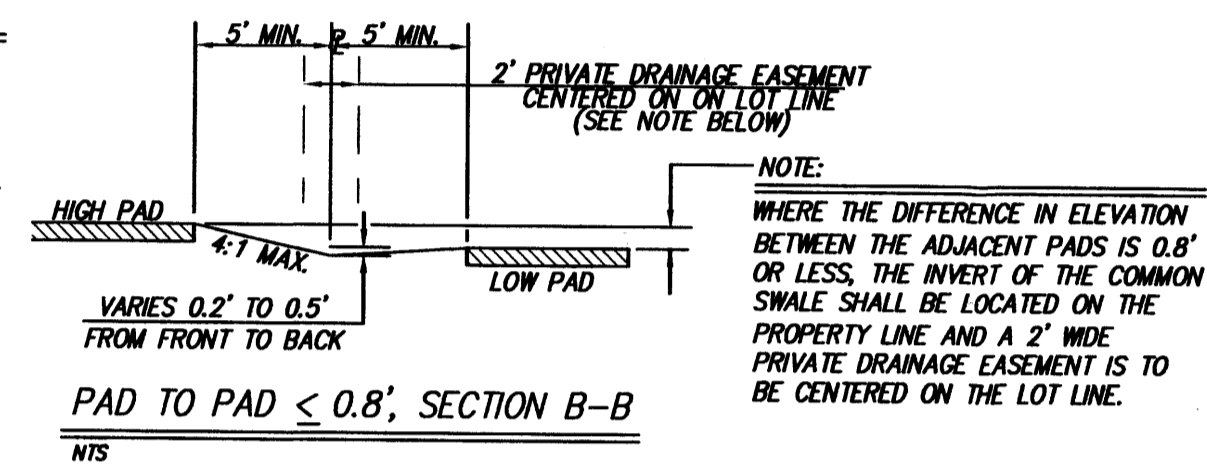
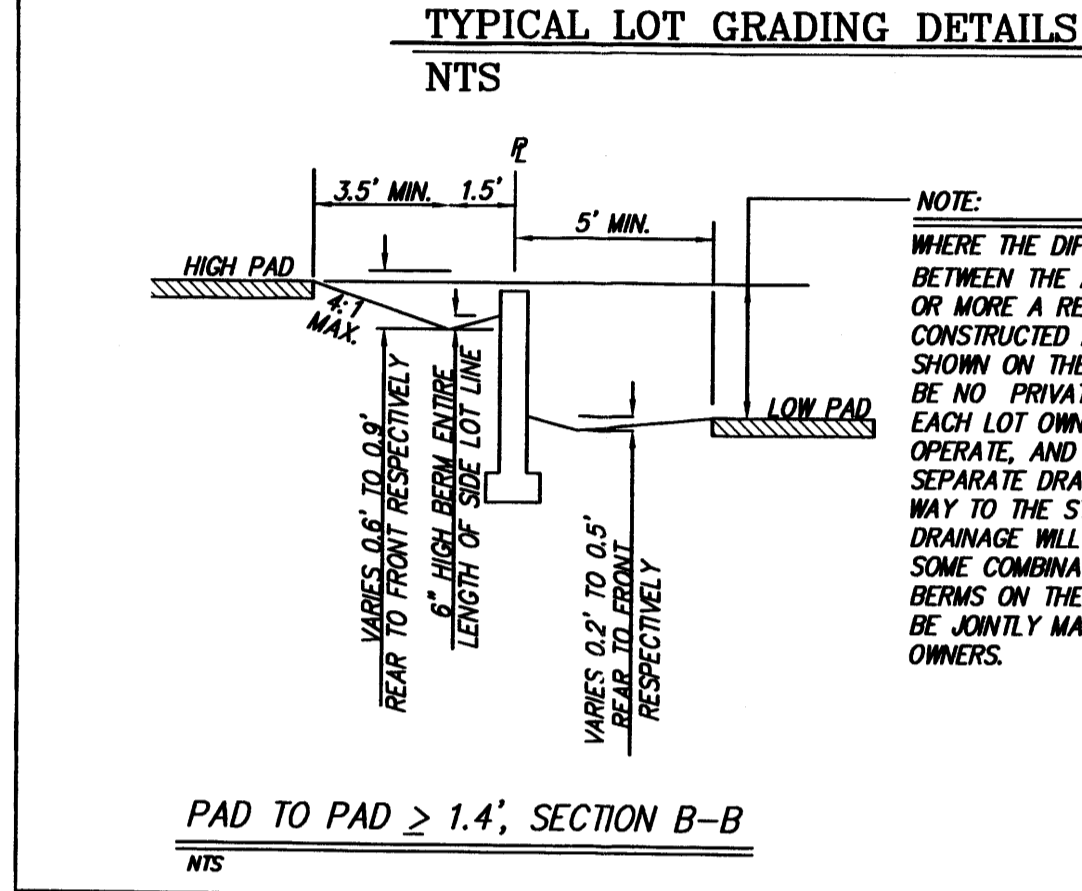
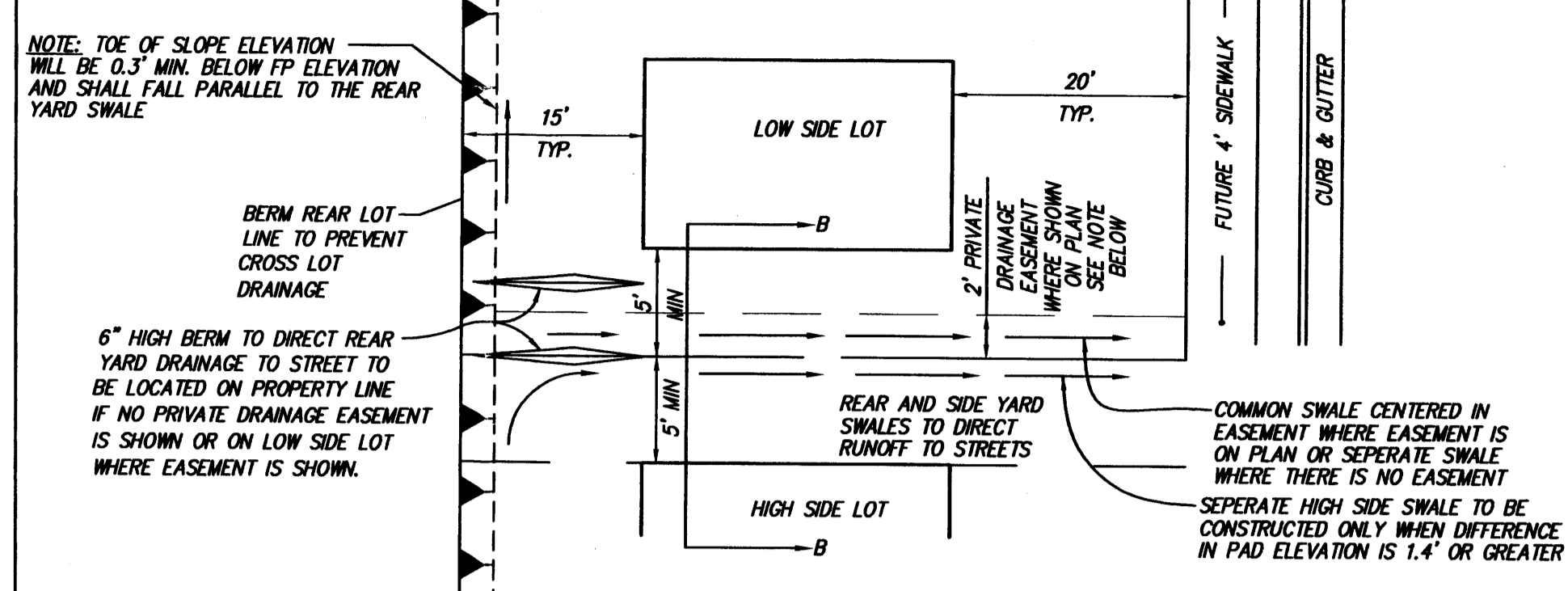
WEST RIDGE SITE DEVELOPMENT PLAN

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JMM	Drawn: [Symbol]	Checked: DMG	Sheet I of I
Scale: 1" = 100'	Date: [Symbol]	Job: A02031	

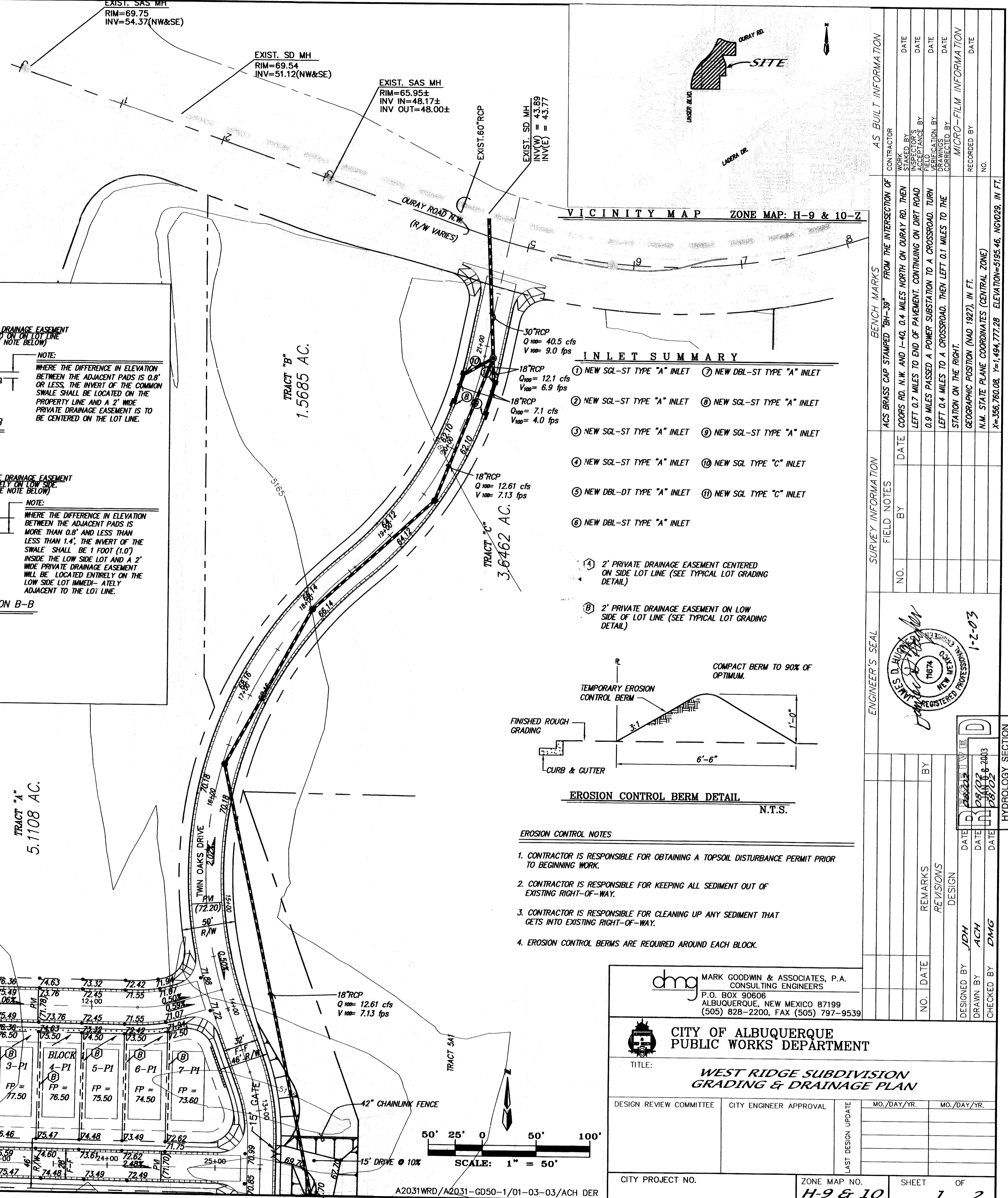
LEGEND

- 5180 EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- EXISTING SPOT ELEVATION
- EXISTING CONCRETE CURB
- EXISTING WALL OR HEAD WALL
- EXISTING SIGN
- EXISTING WOOD FENCE
- EXISTING CHAIN LINK FENCE
- EXISTING TREE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM SEWER MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING ELECTRIC TRANSFORMER
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING GUY WIRE
- EXISTING POWER POLE
- EXISTING TELEPHONE BOX
- EXISTING SPRINKLER CONTROL
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING DRAIN INLET
- EXISTING TRAFFIC LIGHT
- EXISTING PULLBOX
- EXISTING STREET LIGHT
- EXISTING BOLLARD
- NEW CURB & GUTTER
- NEW SIDEWALK
- NEW RIGHT-OF-WAY
- NEW CENTERLINE
- NEW LOT LINES
- NEW EASEMENTS
- NEW GARDEN WALL
- NEW PERIMETER RETAINING WALL
- NEW SIDE LOT RETAINING WALL
- NEW SPOT ELEVATIONS
- NEW FLOW
- NEW ROCK SWALE
- NEW SLOPE
- 10' ASPHALT TRAIL THIS PROJECT
- NATIVE SEED & GRAVEL MULCH WITH FERTILIZER AND SUPPLEMENTAL WATER ON 2:1 SLOPE.
- NEW 4" SIDEWALK CONSTRUCTED THIS PROJECT



PRIVATE DRAINAGE EASEMENTS

2" WIDE PRIVATE DRAINAGE EASEMENTS ARE LOCATED IN SOME SIDE YARDS AS SHOWN HEREON. WHERE THE DIFFERENCE IN ELEVATION BETWEEN THE TWO ADJACENT PADS IS 0.8' OR LESS THE EASEMENT IS CENTERED ON THE LOT LINE. WHERE THE DIFFERENCE IS MORE THAN 0.8' BUT LESS THAN 1.4' THE EASEMENT IS ENTIRELY ON THE LOW SIDE OF THE LOT LINE AND IMMEDIATELY ADJACENT TO THAT LOT LINE. WHERE THE EASEMENT IS CENTERED ON THE LOT LINE IT IS FOR THE MUTUAL BENEFIT OF BOTH LOT OWNERS AND IS TO BE JOINTLY MAINTAINED. WHERE THE EASEMENT IS ENTIRELY ON THE LOW SIDE OF THE LOT LINE THE EASEMENT IS FOR THE BENEFIT OF THE ADJACENT "HIGH SIDE" LOT OWNER AND SHALL BE MAINTAINED BY THE UNDERLYING "LOW SIDE" LOT OWNER. NEITHER LOT OWNER IS ALLOWED TO CHANGE THE PLANNED GRADE WITHIN THE 2" WIDE PRIVATE DRAINAGE EASEMENT, NOR SHALL EITHER LOT OWNER PLACE ANY LOOSE MATERIAL ADJACENT TO THE EASEMENT THAT HAS THE POTENTIAL TO BE MOVED INTO THE DRAINAGE EASEMENT OR IN ANY OTHER WAY BLOCK DRAINAGE IN ANY PORTION OF THE EASEMENT. WHERE NO EASEMENT IS SHOWN ON THE PLAN EACH LOT OWNER MUST CONSTRUCT, OPERATE AND MAINTAIN HIS OWN SEPARATE SWALE ALL THE WAY TO THE STREET AND CROSS LOT DRAINAGE WILL BE PREVENTED BY SOME COMBINATION OF WALLS AND BERMS ON THE COMMON LOT LINE TO BE JOINTLY MAINTAINED BY BOTH LOT OWNERS.



AS BUILT INFORMATION

NO.	DATE	BY	REVISIONS

SURVEY INFORMATION

NO.	DATE	BY	REVISIONS

ENGINEER'S SEAL

MARK GOODWIN & ASSOCIATES, P.A.
REGISTERED PROFESSIONAL ENGINEER
NO. 1674
1-2-03

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 9006
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **WEST RIDGE SUBDIVISION GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	DATE	MO./DAY/YR.

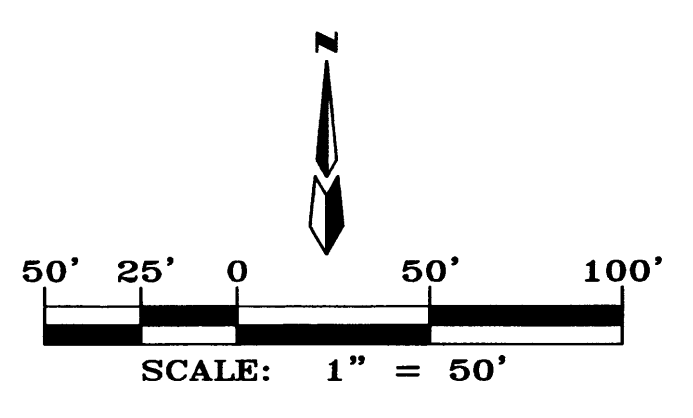
CITY PROJECT NO. _____ ZONE MAP NO. **H-9 & 10** SHEET **1** OF **2**

LAST DESIGN UPDATE: _____

DESIGNED BY: **JDH** DRAWN BY: **ACH** CHECKED BY: **ZMG**

SCALE: 1" = 50'

A2031WRD/A2031-GD50-1/01-03-03/ACH DER

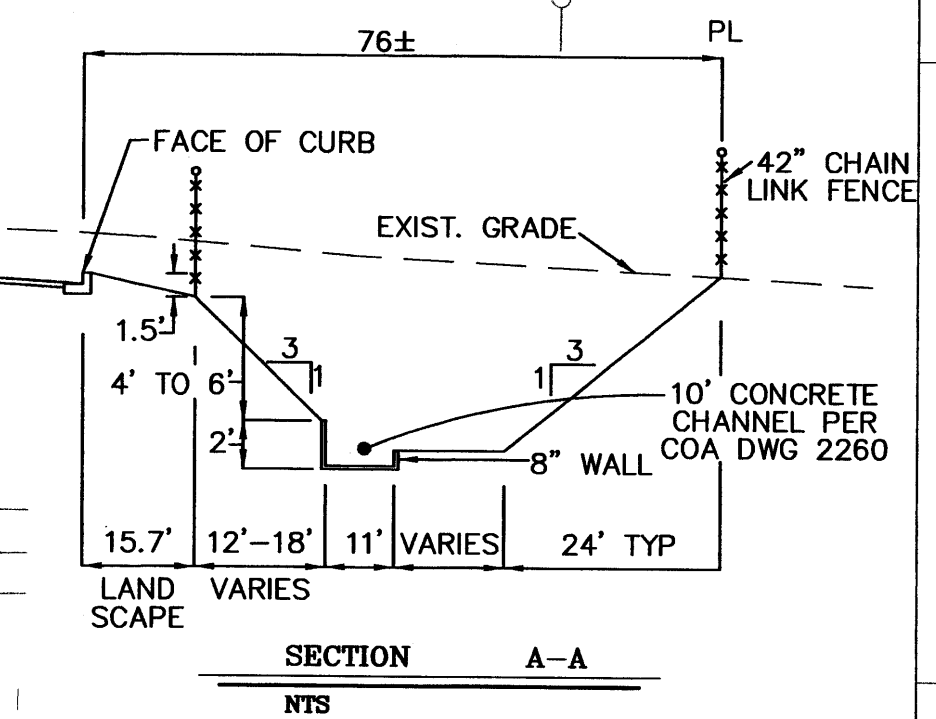
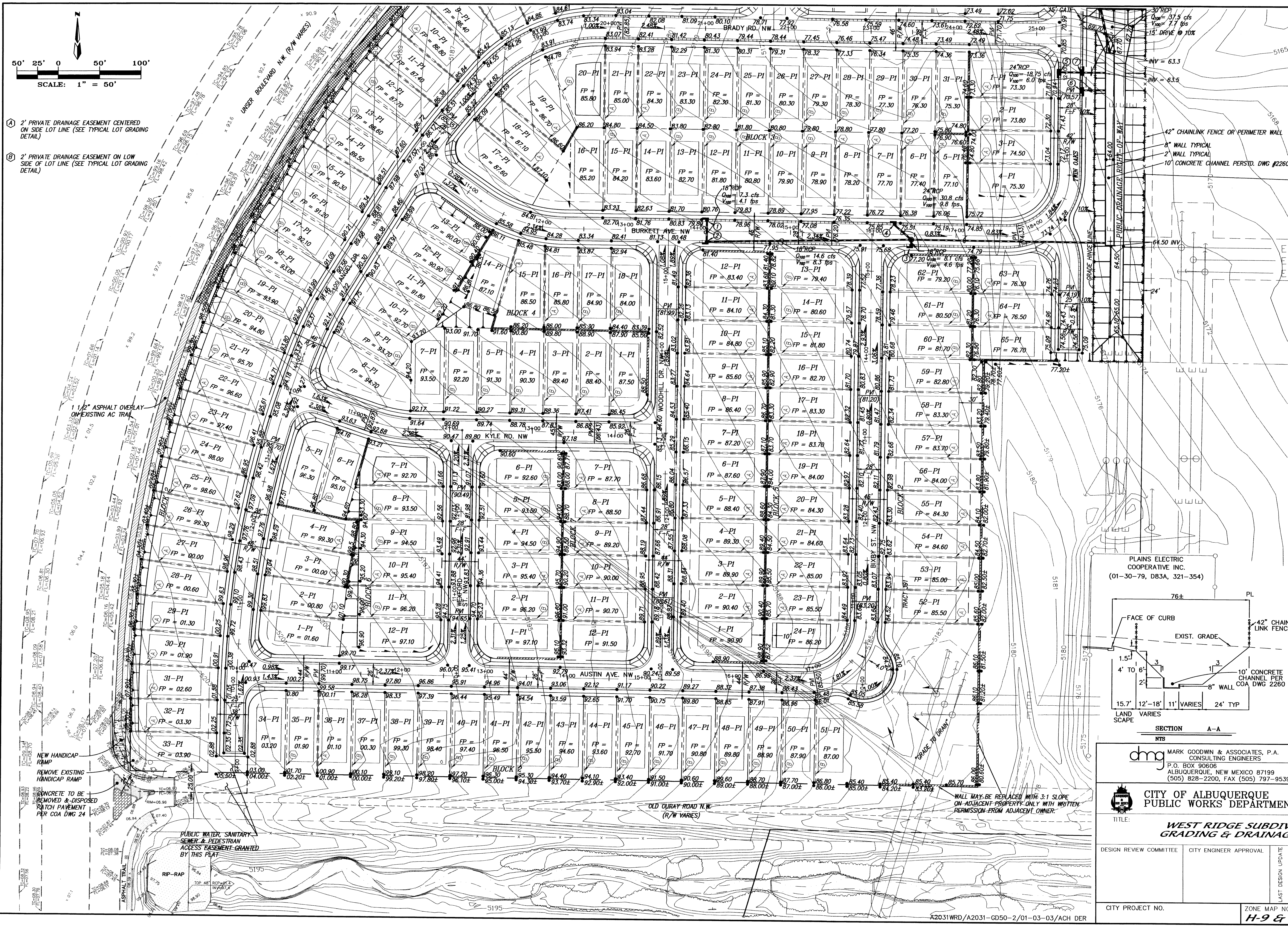


- Ⓐ 2' PRIVATE DRAINAGE EASEMENT CENTERED ON SIDE LOT LINE (SEE TYPICAL LOT GRADING DETAIL)
- Ⓑ 2' PRIVATE DRAINAGE EASEMENT ON LOW SIDE OF LOT LINE (SEE TYPICAL LOT GRADING DETAIL)

1 1/2" ASPHALT OVERLAY ON EXISTING AC TRAIL

NEW HANDICAP RAMP
REMOVE EXISTING HANDICAP RAMP
CONCRETE TO BE REMOVED & DISPOSED
PATCH PAVEMENT PER COA DWG 24

PUBLIC WATER, SANITARY SEWER & PEDESTRIAN ACCESS EASEMENT GRANTED BY THIS PLAN



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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

**WEST RIDGE SUBDIVISION
GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.		ZONE MAP NO.	SHEET OF
		H-9 & 10	2 2

AS-BUILT INFORMATION

CONTRACTOR: _____
 WORK SUBMITTED: _____
 DATE: _____
 ACCEPTANCE BY: _____
 DATE: _____
 FIELD VERIFICATION BY: _____
 DATE: _____
 DRAWINGS CORRECTED BY: _____
 DATE: _____
 MICRO-FILM INFORMATION: _____
 RECORDED BY: _____
 DATE: _____

BENCH MARKS

ACS BRASS CAP STAMPED "BH-39" FROM THE INTERSECTION OF COOPS RD. N.W. AND I-40. 0.4 MILES NORTH ON OURAY RD. THEN LEFT 0.7 MILES TO END OF PAVEMENT. CONTINUING ON DIRT ROAD 0.9 MILES PASSED A POWER SUBSTATION TO A CROSSROAD. TURN LEFT 0.4 MILES TO A CROSSROAD. THEN LEFT 0.1 MILES TO THE STATION ON THE RIGHT.

SURVEY INFORMATION

FIELD NOTES BY: _____
 NO. _____

ENGINEER'S SEAL

REGISTERED PROFESSIONAL ENGINEER
 STATE OF NEW MEXICO
 NO. 12-03

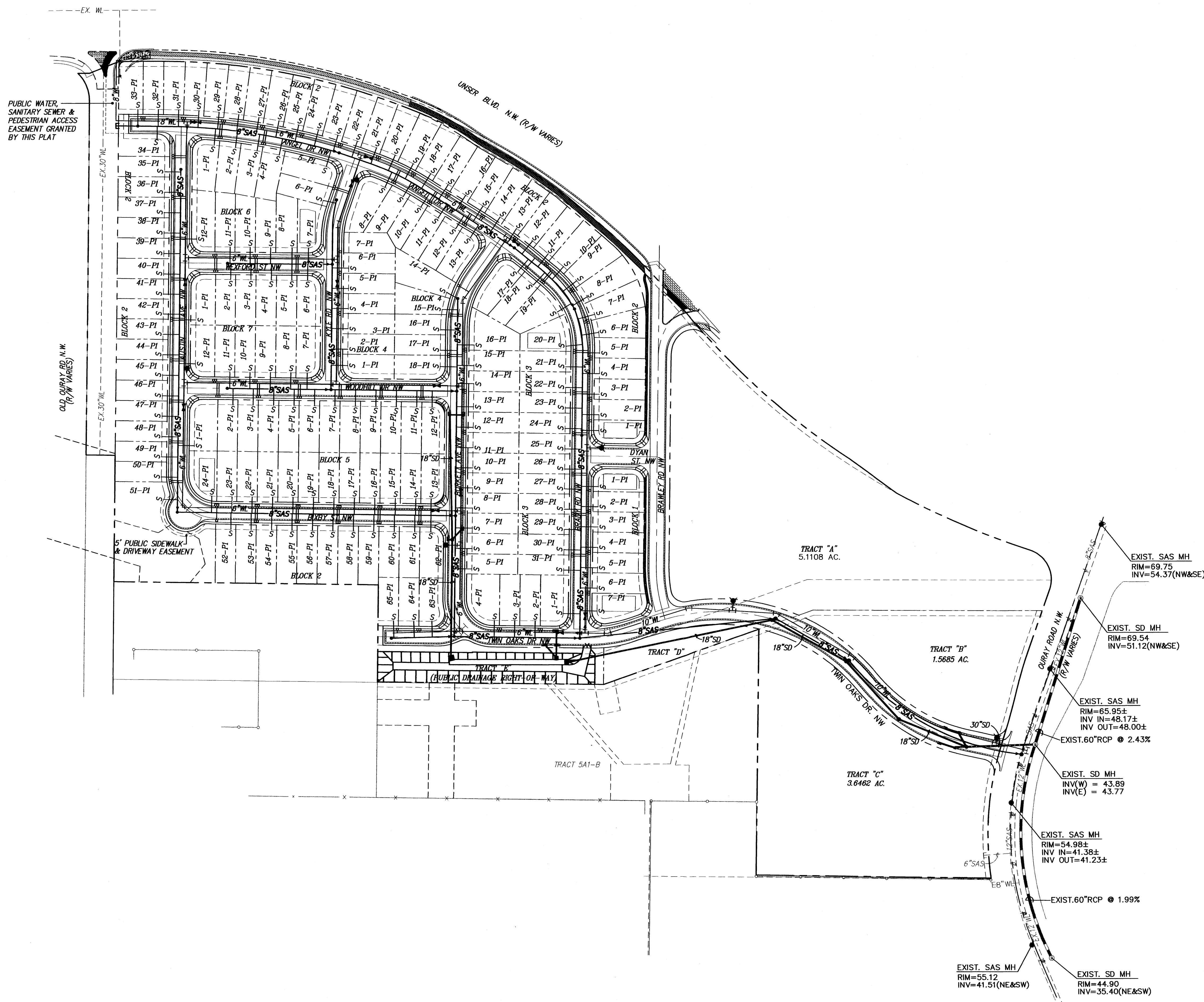
REVISIONS

NO.	DATE	REMARKS

DESIGNED BY: JGH DATE: 08/02
 DRAWN BY: ACH DATE: 08/02
 CHECKED BY: DMG DATE: 08/02

F:\A02\085\A2031\WRD\A2031-GD50-2\01-03-03\ACH DER Mon Jan 06 06:35:02 2003 D. MARK GOODWIN & ASSOCIATES, PLTTED BY: DER

NOTES



PUBLIC WATER, SANITARY SEWER & PEDESTRIAN ACCESS EASEMENT GRANTED BY THIS PLAT

OLD CURRAY RD. N.W. (R/W VARIES)

5' PUBLIC SIDEWALK & DRIVEWAY EASEMENT

UNSER BLVD. N.W. (R/W VARIES)

TRACT "A" 5.1108 AC.

TRACT "B" 1.5685 AC.

TRACT "C" 3.6462 AC.

TRACT 5A1-B

TRACT "D" (PUBLIC DRAINAGE RIGHT-OF-WAY)

EXIST. SAS MH
RIM=69.75
INV=54.37(NW&E)

EXIST. SD MH
RIM=69.54
INV=51.12(NW&E)

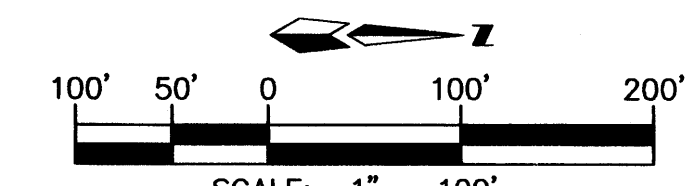
EXIST. SAS MH
RIM=65.95±
INV IN=48.17±
INV OUT=48.00±

EXIST. SD MH
INV(W) = 43.89
INV(E) = 43.77

EXIST. SAS MH
RIM=54.98±
INV IN=41.38±
INV OUT=41.23±

EXIST. SAS MH
RIM=55.12
INV=41.51(NE&SW)

EXIST. SD MH
RIM=44.90
INV=35.40(NE&SW)



AS BUILT INFORMATION	
CONTRACTOR	
WORK STARTED BY	
DATE	
ACCEPTED BY	
DATE	
FIELD CHECK BY	
DATE	
DRAWINGS CORRECTED BY	
DATE	
MICRO-FILM INFORMATION	
RECORDED BY	
NO.	

BENCH MARKS	
ACS BRASS CAP STAMPED "BH-39"	FROM THE INTERSECTION OF COORS RD. N.W. AND I-40, 0.4 MILES NORTH ON CURAY RD. THEN LEFT 0.7 MILES TO END OF PAVEMENT, CONTINUING ON DIRT ROAD 0.9 MILES PASSED A POWER SUBSTATION TO A CROSSROAD, TURN LEFT 0.4 MILES TO A CROSSROAD, THEN LEFT 0.1 MILES TO THE STATION ON THE RIGHT.
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)	X=556,760.08, Y=1,494,772.28 ELEVATION=5195.46, NGVD03, IN FT.

SURVEY INFORMATION	
FIELD NOTES	
NO.	
BY	
DATE	

ENGINEER'S SEAL	
NO.	
REMARKS	
BY	
DESIGN	
DATE	12/02
DESIGNED BY	JDH
DATE	12/02
DRAWN BY	KJS
DATE	12/02
CHECKED BY	DWG
DATE	12/02

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
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ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **WEST RIDGE SUBDIVISION MASTER UTILITY PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. _____ ZONE MAP NO. **H-9 & 10** SHEET **1** OF **1**

F:\A02\055\A2031MUTL\A2031MUTL.dwg Mon Jan 05 13:36:36 2003 D. MARK GOODWIN & ASSOCIATES, PLTIED BY: ACH

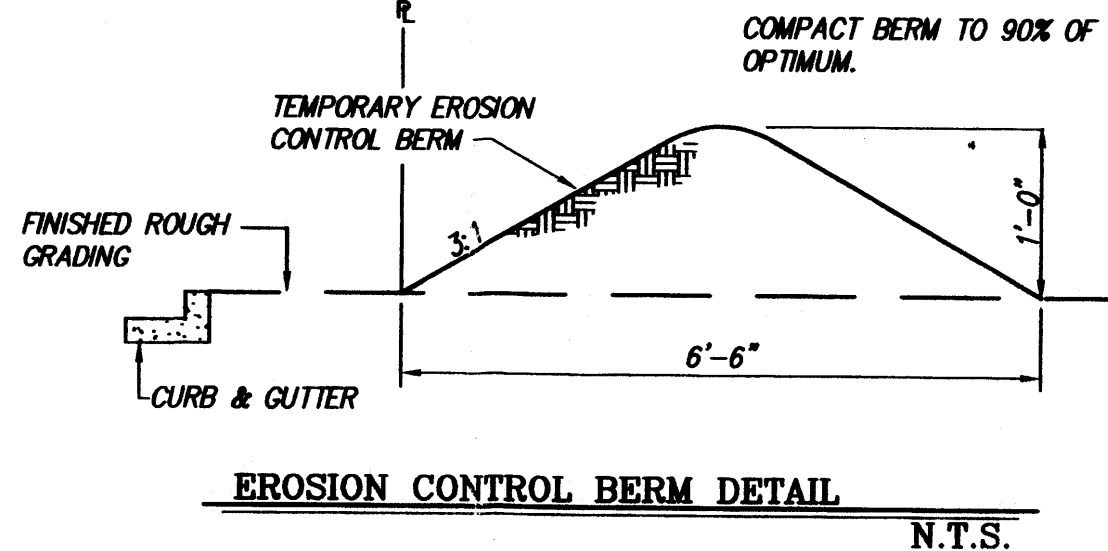
LEGEND

- 5180 EXISTING CONTOUR (MAJOR)
- 5179 EXISTING CONTOUR (MINOR)
- EXISTING SPOT ELEVATION
- EXISTING CONCRETE CURB
- EXISTING WALL OR HEAD WALL
- EXISTING SIGN
- EXISTING WOOD FENCE
- EXISTING CHAIN LINK FENCE
- EXISTING TREE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING STORM SEWER MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING ELECTRIC TRANSFORMER
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING GUY WIRE
- EXISTING POWER POLE
- EXISTING TELEPHONE BOX
- EXISTING SPRINKLER CONTROL
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING DROP INLET
- EXISTING TRAFFIC LIGHT
- EXISTING PULLBOX
- EXISTING STREET LIGHT
- EXISTING BOLLARD
- NEW CURB & GUTTER
- NEW STANDARD CURB & GUTTER
- NEW SIDEWALK
- NEW RIGHT-OF-WAY
- NEW CENTERLINE
- NEW LOT LINES
- NEW EASEMENTS
- NEW GARDEN WALL
- NEW PERIMETER RETAINING WALL
- NEW SIDE LOT RETAINING WALL
- NEW SPOT ELEVATIONS
- NEW FLOW
- NEW ROCK SWALE
- NEW SLOPE

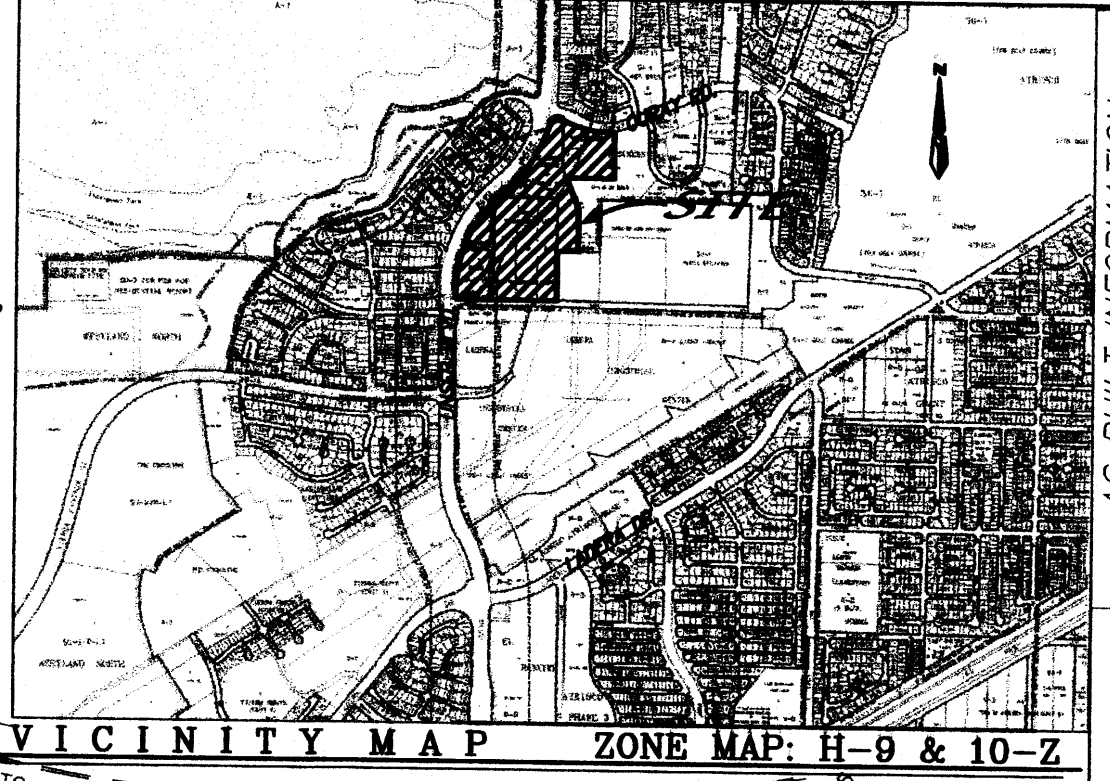
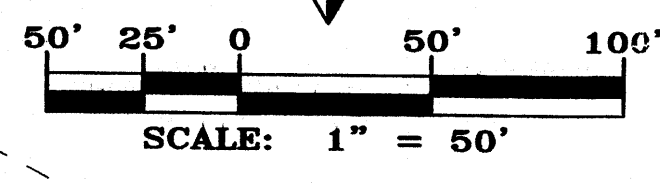
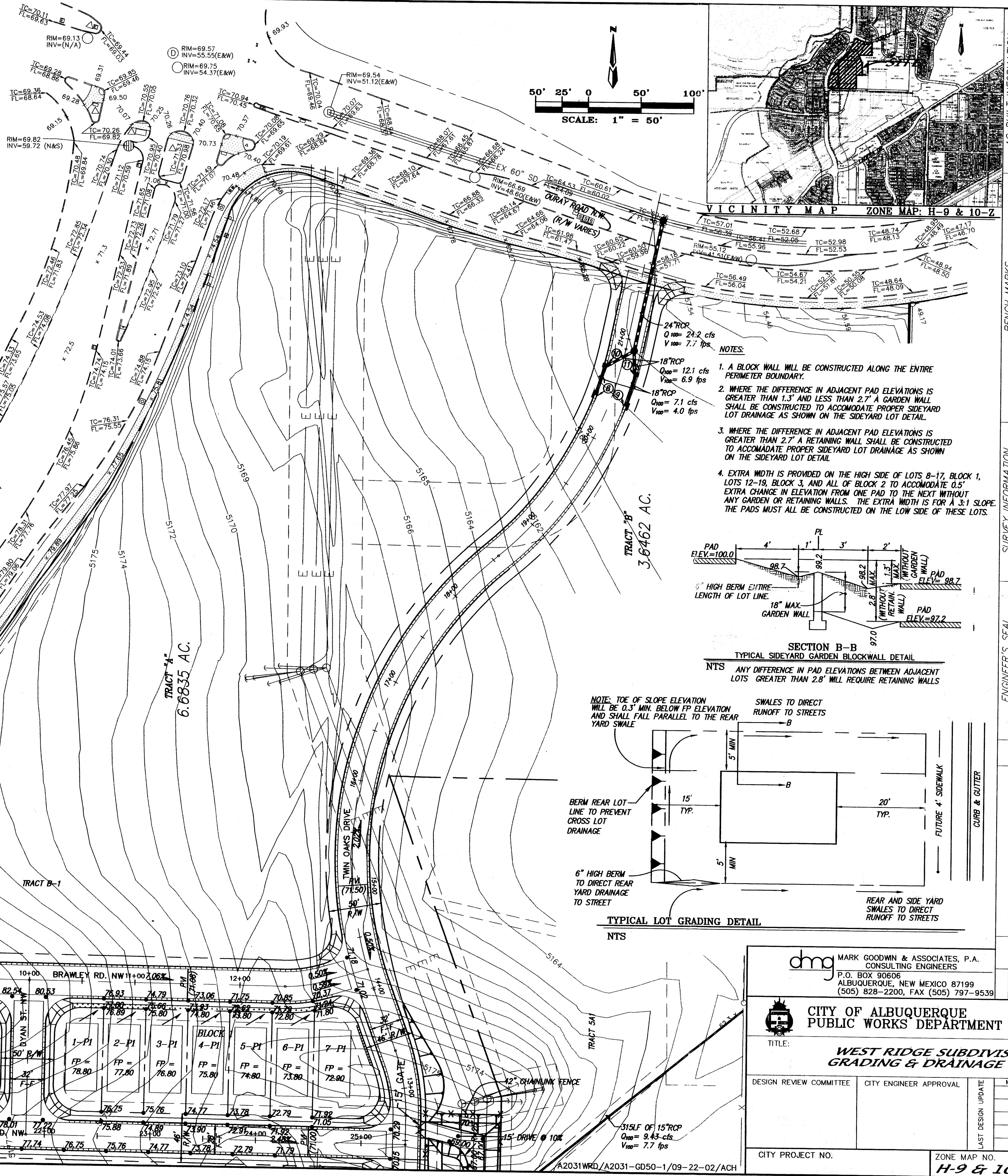
- 10' ASPHALT TRAIL THIS PROJECT
- NATIVE SEED & GRAVEL MULCH WITH FERTILIZER AND SUPPLEMENTAL WATER ON 2:1 SLOPE.
- NEW 4' SIDEWALK CONSTRUCTED THIS PROJECT

INLET SUMMARY

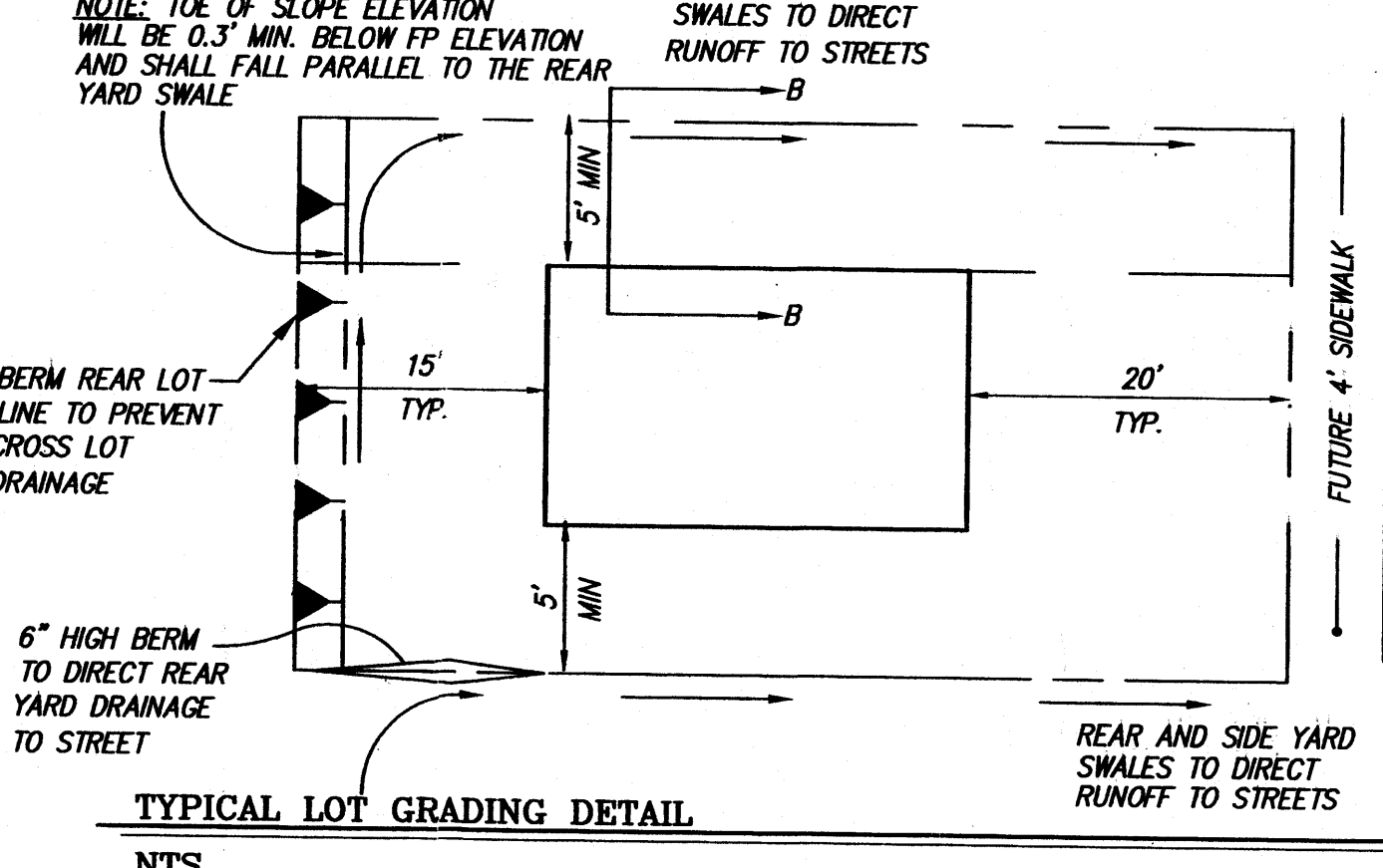
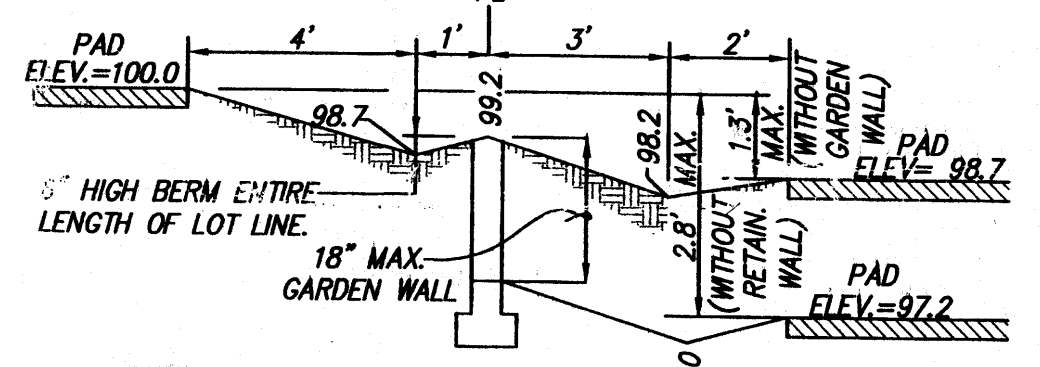
- ① NEW SQL-ST TYPE "A" INLET
- ② NEW SQL-ST TYPE "A" INLET
- ③ NEW SQL-ST TYPE "A" INLET
- ④ NEW SQL-ST TYPE "A" INLET
- ⑤ NEW DBL-DT TYPE "A" INLET
- ⑥ NEW DBL-ST TYPE "A" INLET
- ⑦ NEW DBL-ST TYPE "A" INLET
- ⑧ NEW SQL-ST TYPE "A" INLET
- ⑨ NEW SQL-ST TYPE "A" INLET
- ⑩ NEW SQL TYPE "C" INLET
- ⑪ NEW SQL TYPE "C" INLET



- EROSION CONTROL NOTES**
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
 - CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
 - CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
 - EROSION CONTROL BERMS ARE REQUIRED AROUND THE ENTIRE SITE.
 - ALL EROSION CONTROL BERMS MUST BE IN PLACE AND ENGINEER CERTIFIED PRIOR TO BUILDING PERMIT RELEASE.



- NOTES:**
- A BLOCK WALL WILL BE CONSTRUCTED ALONG THE ENTIRE PERIMETER BOUNDARY.
 - WHERE THE DIFFERENCE IN ADJACENT PAD ELEVATIONS IS GREATER THAN 1.3' AND LESS THAN 2.7' A GARDEN WALL SHALL BE CONSTRUCTED TO ACCOMMODATE PROPER SIDEYARD LOT DRAINAGE AS SHOWN ON THE SIDEYARD LOT DETAIL.
 - WHERE THE DIFFERENCE IN ADJACENT PAD ELEVATIONS IS GREATER THAN 2.7' A RETAINING WALL SHALL BE CONSTRUCTED TO ACCOMMODATE PROPER SIDEYARD LOT DRAINAGE AS SHOWN ON THE SIDEYARD LOT DETAIL.
 - EXTRA WIDTH IS PROVIDED ON THE HIGH SIDE OF LOTS 8-17, BLOCK 1, LOTS 12-19, BLOCK 3, AND ALL OF BLOCK 2 TO ACCOMMODATE 0.5' EXTRA CHANGE IN ELEVATION FROM ONE PAD TO THE NEXT WITHOUT ANY GARDEN OR RETAINING WALLS. THE EXTRA WIDTH IS FOR A 3:1 SLOPE. THE PADS MUST ALL BE CONSTRUCTED ON THE LOW SIDE OF THESE LOTS.



AS BUILT INFORMATION		CONTRACTOR		DATE	
ACS BRASS CAP STAMPED "B-8"	FROM THE INTERSECTION OF CURRY RD. N.W. AND I-40, 0.4 MILES NORTH ON CURRY RD. THEN LEFT 0.7 MILES TO END OF PAVEMENT, CONTINUING ON DIRT ROAD 0.9 MILES PASSED A POWER SUBSTATION TO A CROSSROAD. TURN LEFT 0.4 MILES TO A CROSSROAD. THEY LEFT 0.1 MILES TO THE STATION ON THE RIGHT.	CONTRACTOR	DATE	CONTRACTOR	DATE
BENCH MARKS		INSPECTOR'S	DATE	INSPECTOR'S	DATE
FIELD NOTES		FIELD CHANGE BY	DATE	FIELD CHANGE BY	DATE
NO.	BY	NO.	BY	NO.	BY
<p>ENGINEER'S SEAL</p>					
REVISIONS	NO.	DATE	BY	REVISIONS	NO.
DESIGN		08/02	JDH	DESIGN	
DRAWN		08/02	ACH	DRAWN	
CHECKED		08/02	DMG	CHECKED	

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

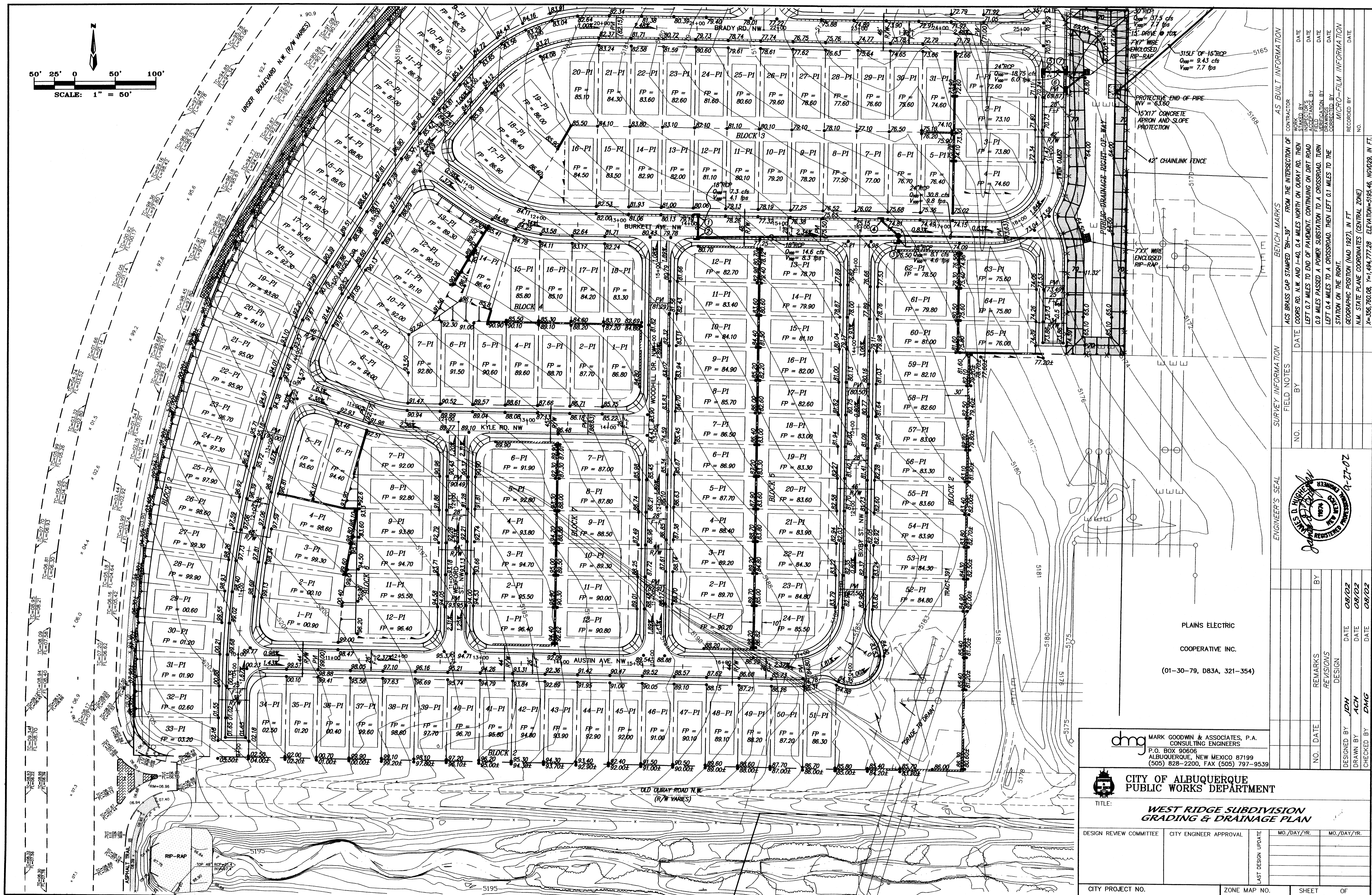
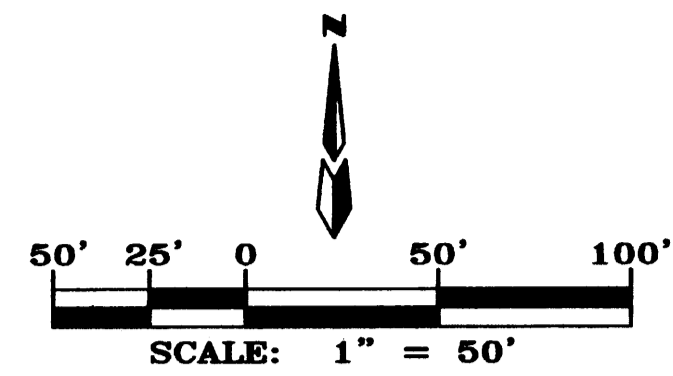
**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

TITLE: **WEST RIDGE SUBDIVISION
GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. _____ ZONE MAP NO. **H-9 & 10** SHEET **1** OF **2**

A2031WRD/A2031-GD50-1/09-22-02/ACH



PLAINS ELECTRIC
COOPERATIVE INC.
(01-30-79, D83A, 321-354)

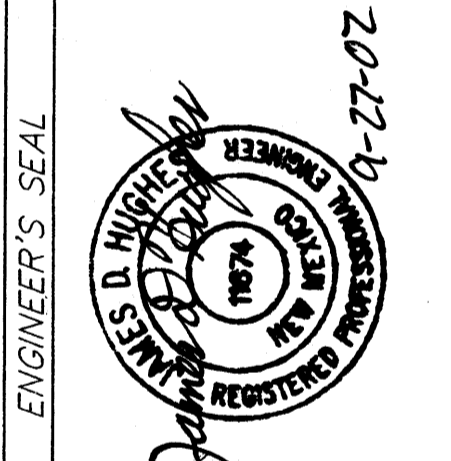
dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
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**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT**

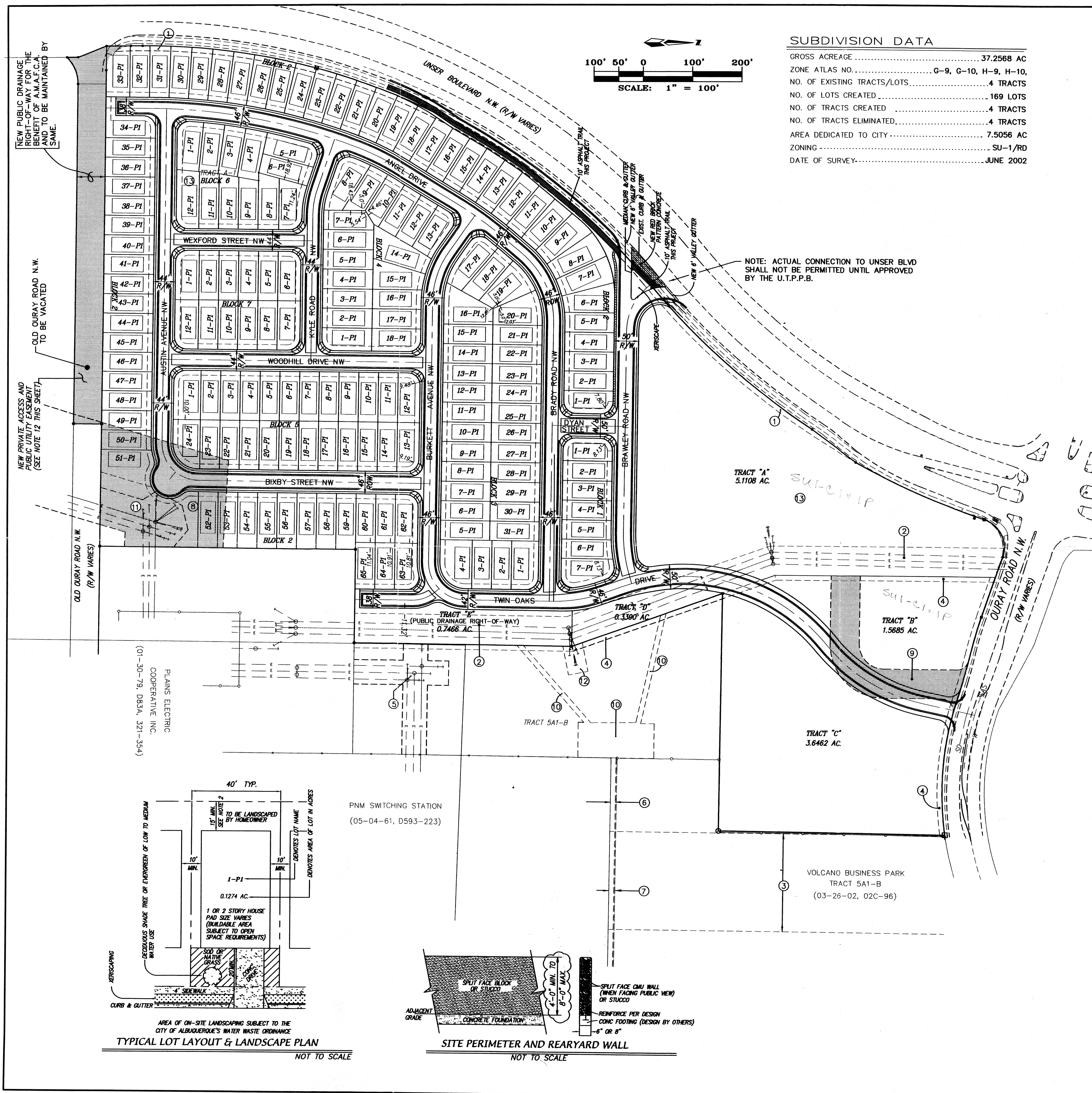
**TITLE:
WEST RIDGE SUBDIVISION
GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
	#	2	2

SURVEY INFORMATION		FIELD NOTES		ENGINEER'S SEAL	
NO.	DATE	NO.	DATE	NO.	DATE
CONTRACTOR		BENCH MARKS		AS BUILT INFORMATION	
FROM THE INTERSECTION OF		ACS BRASS CAP STAMPED BH-39		CONTRACTOR	
COORS. RD. N.W. AND I-40, 0.4 MILES NORTH ON QUARRY RD. THEN				INSPECTOR'S	
LEFT 0.7 MILES TO END OF PAVEMENT CONTINUING ON DIRT ROAD				DATE	
0.9 MILES PASSED A POWER SUBSTATION TO A CROSSROAD. TURN				FIELD BY	
LEFT 0.4 MILES TO A CROSSROAD. THEN LEFT 0.1 MILES TO THE				DATE	
STATION ON THE RIGHT.				VERIFICATION BY	
GEOGRAPHIC POSITION (NAD 1982), IN FT				DATE	
N.M. STATE PLANE COORDINATES (CENTRAL ZONE)				MICRO-FILM INFORMATION	
X=556,760.08, Y=1,494,777.28 ELEVATION=5195.46, NAD028, IN FT.				RECORDED BY	
				NO.	



NO.	DATE	REMARKS	BY
	08/02	DESIGN	JDH
	08/02	REVISIONS	ACH
	08/02	DESIGN	DMG



SUBDIVISION DATA

GROSS ACRES	37.2568 AC
ZONE ATLAS NO.	G-9, G-10, H-9, H-10
NO. OF EXISTING TRACTS/LOTS	4 TRACTS
NO. OF LOTS CREATED	169 LOTS
NO. OF TRACTS CREATED	4 TRACTS
NO. OF TRACTS ELIMINATED	4 TRACTS
AREA DEDICATED TO CITY	7.5056 AC
ZONING	SU-1/RD
DATE OF SURVEY	JUNE 2002

GENERAL NOTES:

- DEVELOPMENT DENSITY:**
Gross site area is 36,2357 acres.
Site is zoned SU-1 (RD, C1 & IP)
- MINIMUM BUILDING SETBACK:**
There is no sidewalk setback.
Front yard setback is 15'.
Minimum driveway length is 20'.
Minimum distance between buildings is 10'.
Backyard setback is 15', unless otherwise noted the following lots:
Lot 1 & 7, Block 1
Lot 1, 63, 54 & 55, Block 2
Lot 16, 19, & 20, Block 3
Lot 7, 9, & 10, Block 4
Lot 12, 13, & 24, Block 5
Lot 7, Block 6
- BUILDING HEIGHT:**
Structure shall not exceed 26 feet in height.
- PARK DEVELOPMENT:**
The developer will be paying cash in lieu of dedicating land for a park.
- OPEN SPACE:**
Total remaining Open Space requirements, if any, are to be met via the Provision of Detached Open Space per the Provisions of Section 14-16-3-B(A)(3).
- WATER AND SEWER:**
Prior to development, City of Albuquerque Water and Sanitary Sewer Service to the site must be verified and coordinated with the Utility Development Section, City of Albuquerque Public Works Department.
- PARKING:**
Off-street parking is provided on each site in accordance with Section 14-16-3-1 of the zoning code for lots with the "PI" designation.
- ACCESS:**
Site ingress/egress is provided entirely by public streets.
- BUILDINGS:**
Buildings will be traditional or southwest style with flat or pitched roofs.
The exterior stucco finish will consist of colors in shades of earth tones.
- LANDSCAPING:**
Both individual and community landscaping shall comply with the Water Conservation Landscaping and Water Waste Ordinance. Perimeter landscaping shall be in accordance with the Street Tree Ordinance and trees planted will be in accordance with the list of deciduous and evergreen trees listed in the City of Albuquerque Guide to Zoning.
- PERIMETER WALL:**
The subdivision perimeter garden wall will be constructed of CMU and will be covered by either stucco or consist of a Split-Faced texture. The maximum wall height will be 8.0 feet, and minimum of 4.0 feet.
- NEW EASEMENTS:**
New Private Access Easement granted to the Owners of the Lands of Plains Electric Generation and Transmission CO-OP, Inc. (01-30-79, Bk D83A, Pg. 321-354) and the Lands of PNM (05-04-61, Bk D-593, Pg. 223), its Successors or Assigns, by this plat c.d. to be jointly maintained by said owners. Access by beneficiaries shall be free and unrestricted.

EASEMENTS

- EXISTING 10' PNM AND MT. BELL EASEMENT (BURIED UTILITIES ONLY) (02-12-87, C32-185)
- EXISTING 60' PLAINS ELECTRIC EASEMENT (02-12-87, C32-185) (12-23-87, BK. MISC. 571A, PG. 394)
- EXISTING 200' PNM EASEMENT (04-24-86, C30-78)
- EXISTING 10' PNM EASEMENT (03-26-02, 02C-96)
- EXISTING 50' PNM EASEMENT (04-24-86, C30-78)
- EXISTING 10' PUE (06-12-95, 95C-208)
- EXISTING 12' PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF AND TO BE MAINTAINED BY TRACT 5A1 AND 5A2-A1-1 (04-03-98, 98C-89)
- EXISTING 200' EASEMENT UNITED STATES DISTRICT COURT CAUSE NO. 1845 (02-05-52, BK.MISC. D197, PGS. 571-572) VACATED PORTION SHOWN PER VJ
- EXISTING EASEMENT AGREEMENT, FINAL LOCATION TO BE COMPLETED AND EXECUTED AS THE FINAL DEVELOPMENT PLAN FOR TRACT 5A1-A IS APPROVED BY C.O.A. (09-14-90, BK. BCR 90-15, PG. 3409) VACATED PER VJ
- EXISTING PRIVATE DRAINAGE EASEMENTS, FOR THE BENEFIT OF TRACT 5A1-B. (03-26-02, 02C-96)
- EXISTING PNM EASEMENT (03-11-02, BK. A33, PG. 1956) - TO REMAIN
- EXISTING 40' PLAINS ELECTRIC ANCHOR EASEMENT (12-23-87, BK.MISC. 571A, PG. 394)
- THESE TRACTS ARE AFFECTED BY A RIGHT-OF-WAY EASEMENT TO AMERICAN TELEPHONE AND TELEGRAPH COMPANY, DATED DECEMBER 13, 1929, RECORDED IN BOOK 112, PAGE 290, SAID EASEMENT AMENDED BY A MODIFICATION EASEMENT, DATED JANUARY 31, 1973, RECORDED IN BOOK MISC. 298, PAGE 635, SAID EASEMENT ASSIGNED TO THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY BY ASSIGNMENT DATED DECEMBER 26, 1974, RECORDED IN BOOK 575, PAGE 928, ALL BEING RECORDS OF BERNALILLO COUNTY, NEW MEXICO.



VICINITY MAP ZONE MAP: H-9/10-Z

DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Sections 3, 4, 9 and 10, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 5A1-A, VOLCANO BUSINESS PARK as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 26, 2002 in Book 2002C, Page 96 and all of TRACTS A-1 and B-1, EL RANCHO ATRISCO, PHASE II as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 12, 1987 in Volume C32, Folio 185 together with all of LANDS OF PLAINS ELECTRIC COOPERATIVE, INC. as the same is described in a WARRANTY DEED filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 14, 1964 in Book D756, Page 258 together with a portion of VACATED OLD OURAY ROAD N.W. and containing 37.2568 acres, more or less.

PROJECT NO. _____
APPLICATION NO. _____
APPROVED AND ACCEPTED BY: _____

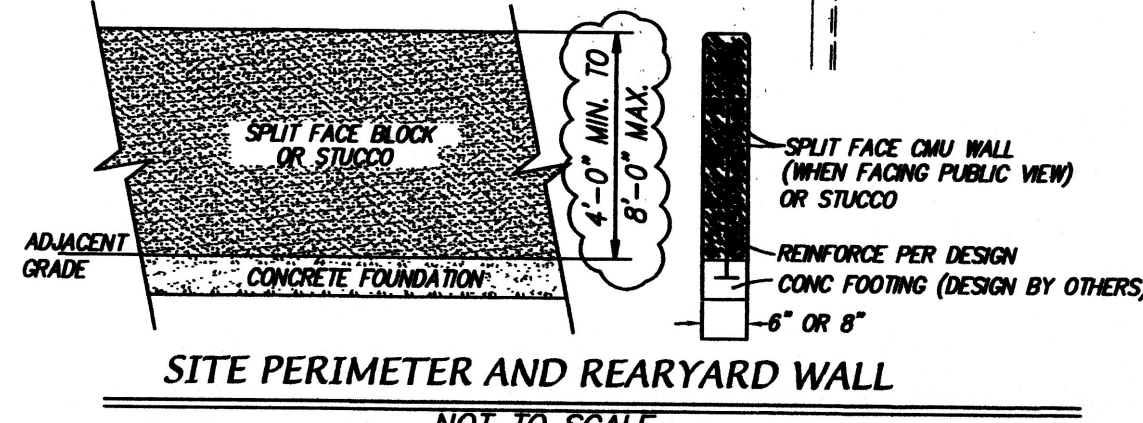
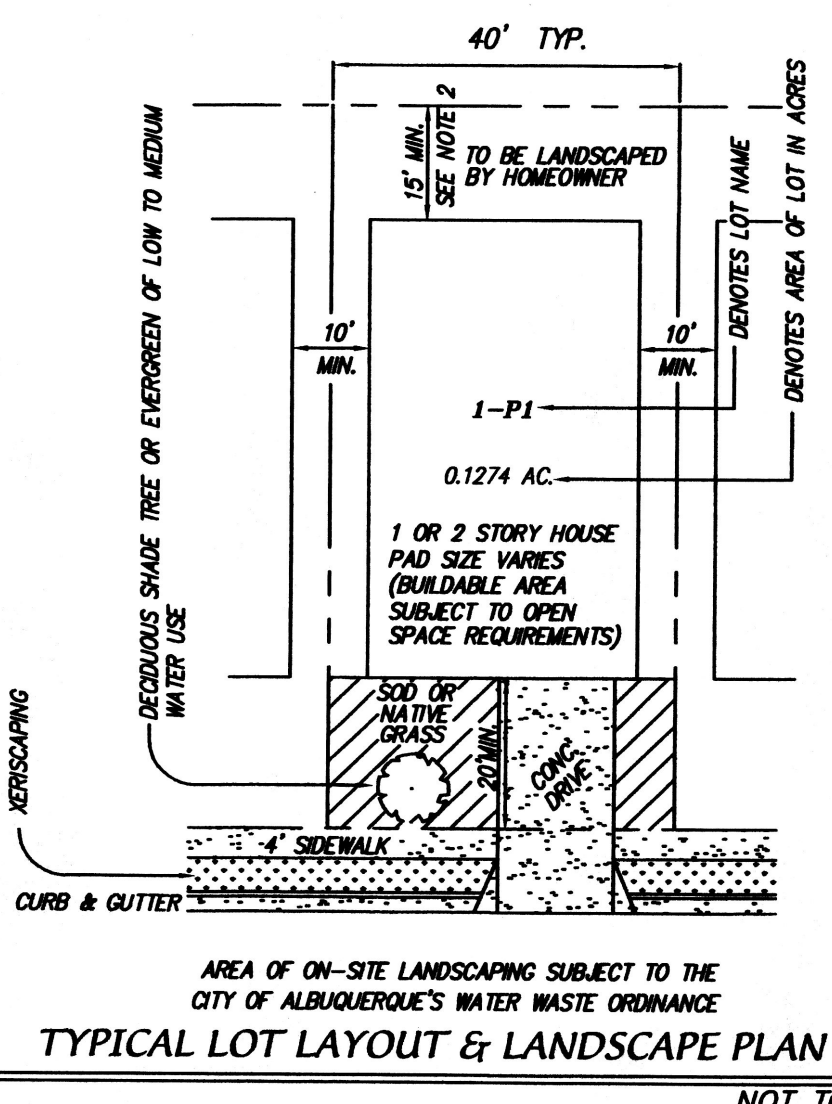
- Planning Department
- City Engineer
- Transportation Development
- Utility Development
- Parks and Recreation

LEGEND

- EXISTING EDGE OF PAVEMENT
- EXISTING 8" WL --- EXISTING WATERLINE
- EXISTING 8" SAS --- EXISTING SANITARY SEWER LINE
- EX 36" SD --- EXISTING STORM DRAIN
- === EXISTING CURB AND GUTTER
- EXISTING PROPERTY LINE
- NEW FIRE HYDRANT
- ASPHALT PATH/TRAIL (WIDTH VARIES)
- * DENOTES EASEMENT/RIGHT-OF-WAY VACATION

WEST RIDGE SITE DEVELOPMENT PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539





VICINITY MAP ZONE MAP: H-9/10-Z

DESCRIPTION
 A tract of land situate within the Town of Atrisco Grant, projected Sections 3, 4, 9 and 10, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 5A1-A, VOLCANO BUSINESS PARK as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 26, 2002 in Book 2002C, Page 96 and all of TRACTS A-1 and B-1, EL RANCHO ATRISCO, PHASE II as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 12, 1987 in Volume C32, Folio 185 together with all of LANDS OF PLAINS ELECTRIC COOPERATIVE, INC. as the same is described in a WARRANTY DEED filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 14, 1984 in Book D756, Page 258 together with a portion of VACATED OLD OURAY ROAD N.W. and containing 37.2568 acres, more or less.

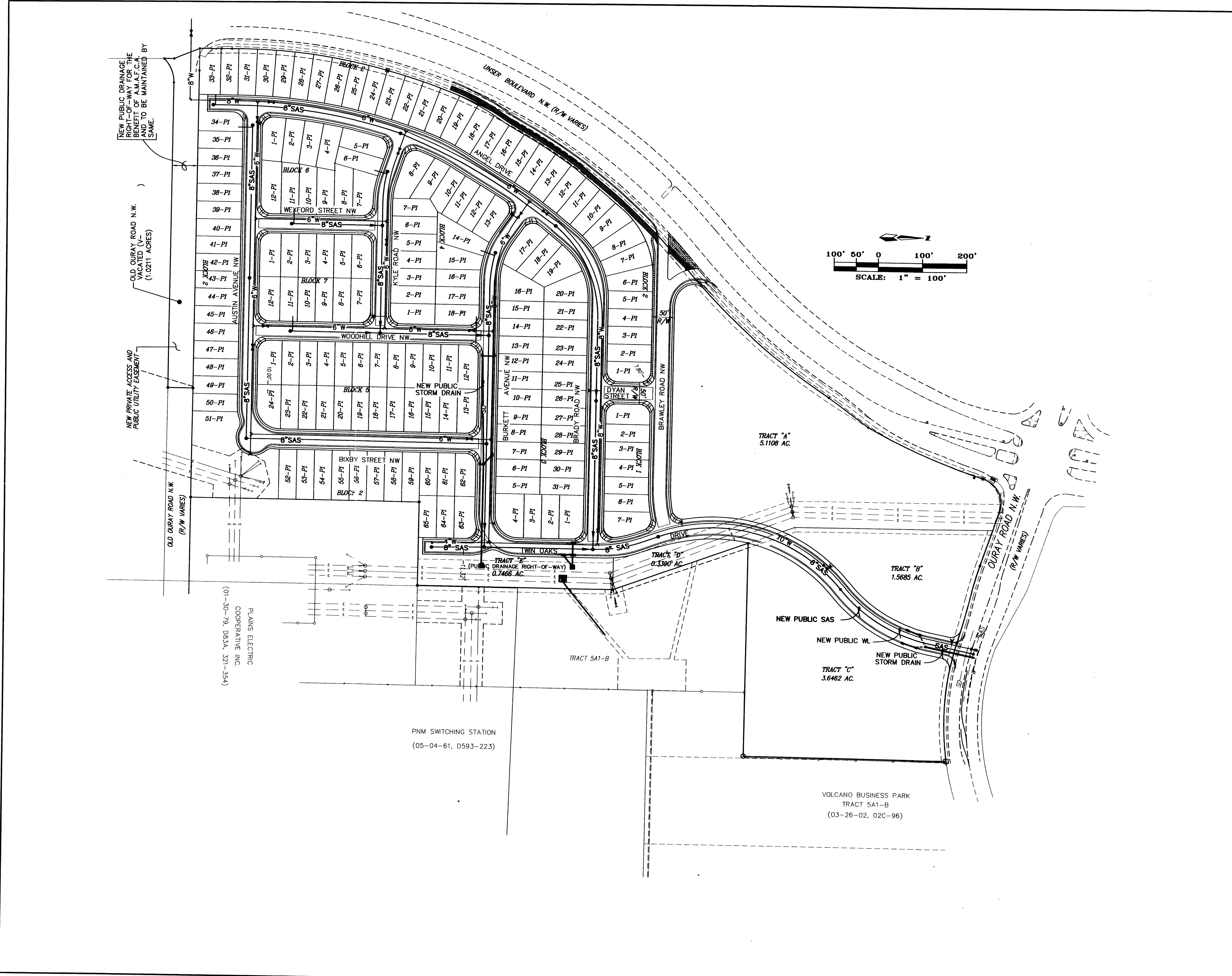
PROJECT NO. _____
 APPLICATION NO. _____
 APPROVED AND ACCEPTED BY: _____
 Planning Department _____
 City Engineer _____
 Transportation Development _____
 Utility Development _____
 Parks and Recreation _____

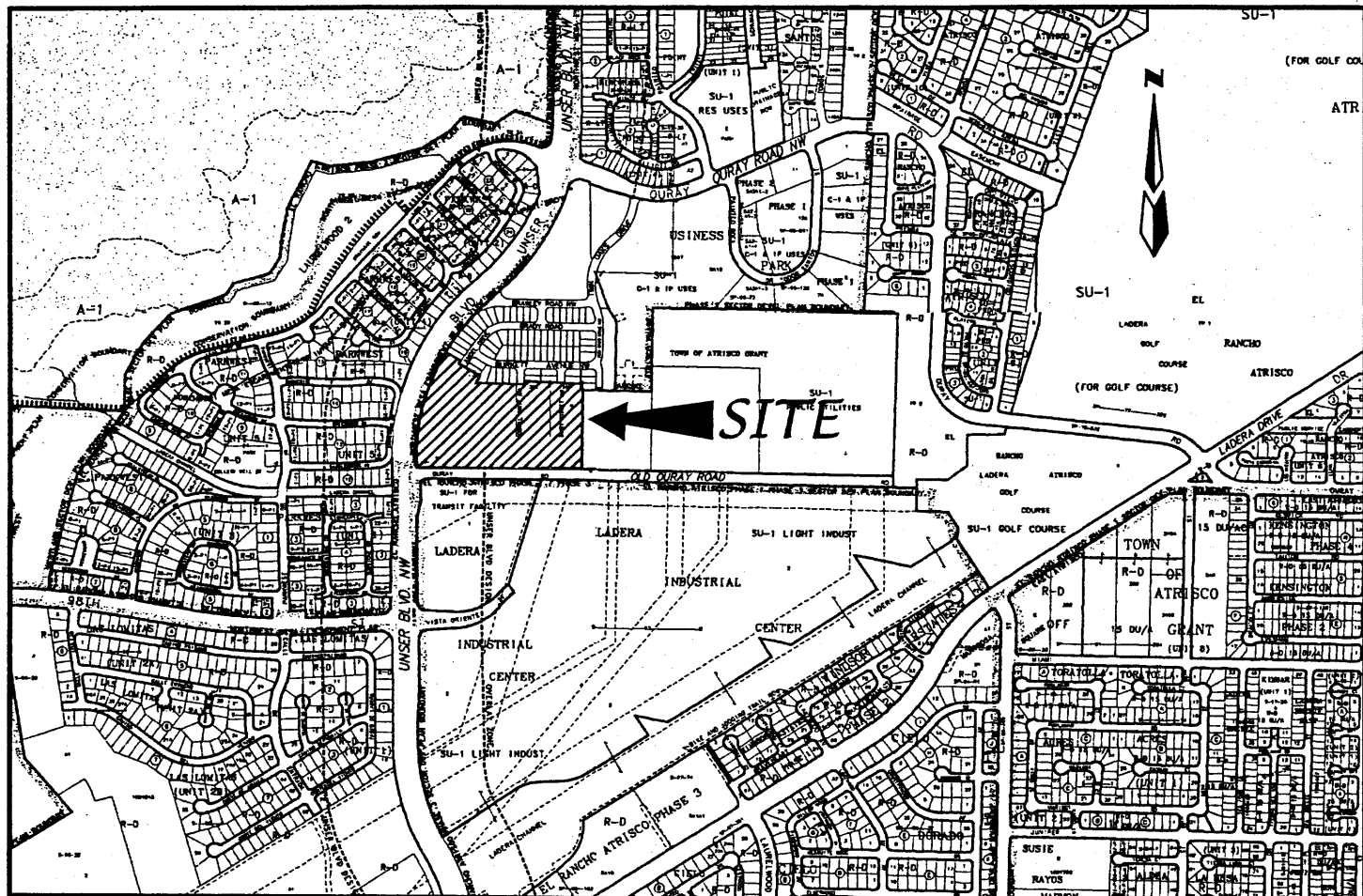
LEGEND

---	EXISTING EDGE OF PAVEMENT
---	EXISTING WATERLINE
---	EXISTING SANITARY SEWER LINE
---	EXISTING STORM DRAIN
---	EXISTING CURB AND GUTTER
---	NEW STORM DRAIN
---	NEW WATERLINE
---	NEW SANITARY SEWER LINE AND MANHOLE
---	NEW REAR YARD & PERIMETER WALL
---	NEW CURB AND GUTTER
---	EXISTING PROPERTY LINE
---	NEW FIRE HYDRANT
---	ASPHALT PATH/TRAIL (WIDTH VARIES)

**WEST RIDGE
 CONCEPTUAL UTILITY PLAN**

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539





LOCATION MAP **ZONE ATLAS G-9, G-10, H-9 & H-10**

SUBDIVISION DATA

Plat Case No.'s DRB Project No. 1001932
 Case No.'s 02DRB-01578, 02DRB-01579
 02DRB-01580, 02DRB-01581
 03DRB-00220, 03DRB-00353

Gross Acreage 13.4549 AC.
 Zone Atlas No. G-9, G-10, H-9, & H-10
 No. of existing Tracts/Lots 1 Tract
 No. of Tracts/Lots created 100 Lots
 No. of Tracts/Lots eliminated 1 Tract
 Miles of full width streets created 0.57
 Area dedicated to the City of Albuquerque 3.6994 AC.
 Date of Survey JUNE 2002
 Utility Control Location System Log Number 2002240820
 Zoning SU-1/RD

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets, public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

OWNER: KB HOME New Mexico, Inc., a New Mexico Corporation
 BY: Greg Breedlove, Vice-President of Land Development

Greg Breedlove 3/21/03
 Greg Breedlove DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on 21 day of March 2003
 By Greg Breedlove, Vice-President of Land Development for KB HOMES New Mexico, Inc.,
 A New Mexico Corporation on behalf of said corporation

Bernadette Hayes
 Bernadette Hayes
 NOTARY PUBLIC
 MY COMMISSION EXPIRES

LEGAL DESCRIPTION (SEE SHEET 2)

NOTES: (SEE SHEET 2)

PURPOSE OF PLAT

1. Subdivide one existing tract into 100 Residential Lots.
2. Grant easements as shown hereon.
3. Dedicate right-of-way as shown hereon.

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 618551
 Page: 1 of 5
 12/08/2004 11:56A
 Bk-2804C Pg-373
 Mary Herrera Bern. Co. PLAT R 27.00

PURPOSE OF AMENDED PLAT IS TO REMOVE INCORRECT P1 DESIGNATION FROM SELECTED LOTS

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgear, as installed, shall extend ten feet (10') in front of transformer/switchgear and five feet (5') on each side.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 1949 874 000 000 00403
 PROPERTY OWNER OF RECORD: TRISTate
 BERNALILLO COUNTY TREASURER'S OFFICE
 12.8.04

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 2140 000 000 00403
 PROPERTY OWNER OF RECORD: Westland Development Co., Inc.
 BERNALILLO COUNTY TREASURER'S OFFICE
 1/14/04

AMENDED PLAT FOR WEST RIDGE SUBDIVISION UNIT 2 WITHIN THE TOWN OF ATRISCO GRANT PROJECTED SECTIONS 9 AND 10 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO MARCH, 2003

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

DRB Project No. 1001932

Application No. 03-02108
Sharon Malson 12/31/03
 Planning Director, City of Albuquerque, N.M. Date
Bradley B. Bigham 12/31/03
 City Engineer, City of Albuquerque, N.M. Date
Lynn M. Mason 1-8-04
 Albuquerque Metropolitan Arroyo Flood Control Authority Date
Sheila 12-31-03
 Transportation Development, City of Albuquerque, N.M. Date
Roger A. Huan 12-31-03
 Utility Development Division, City of Albuquerque, N.M. Date
Christina Sandoval 11/3/04
 Parks and Recreation Date
John B. Hart 4/8/03
 City Surveyor, City of Albuquerque, N.M. Date
NA 10/25/01
 Property Management, City of Albuquerque, N.M. Date
Leand D. Mart 4-8-03
 PNM Gas Date
Leand D. Mart 4-8-03
 PNM Electric Date
Mary Ann Gajola 4-10-03
 Qwest Telecommunications Date
Rita Eubank 4-8-03
 Comcast Cable Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich
 Timothy Aldrich P.S. No. 7719
 04-08-03
 Date

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBU., N.M. 87190
 505-884-1990

Dwg: A2031U2SHT1.dwg	Drawn: RICHARD	Checked: ALS	Sheet 1 of 5
Scale: N/A	Date: 03/21/03	Job: A02031	

200400069
 361859
 Page: 1 of 5
 6/14/2004 02:00P
 Bk-2804C Pg-13
 Mary Herrera Bern. Co. PLAT R 27.00

AMENDED PLAT FOR
WEST RIDGE SUBDIVISION
UNIT 2

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2003

LEGAL DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Sections 9 and 10, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT "F", WEST RIDGE SUBDIVISION UNIT 1 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 13, 2003 in Book 2003C, Page 133 and containing 13.4549 acres more or less.



NOTES:

- Bearings are grid based on the New Mexico State Plane Coordinate System (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:
 PLAT FOR WEST RIDGE SUBDIVISION UNIT 1, (05-13-03, 03C-133)
 PLAT FOR "LADERA INDUSTRIAL CENTER, LOTS 1 AND 2", (02-12-93, 93C-39)
 PLAT FOR "VOLCANO BUSINESS PARK", (03-26-02, 02C-96)
 PLAT FOR "VOLCANO BUSINESS PARK, PHASE I", (04-24-86, C30-78)
 PLAT FOR "VOLCANO BUSINESS PARK, PHASE II", (04-03-98, 98C-89)
 PLAT FOR "EL RANCHO ATRISCO, PHASE 3, TRACTS 5-A & 6-A", (02-12-87, C32-184)
 PLAT FOR "EL RANCHO ATRISCO, PHASE 2, TRACTS A-1 & B-1", (02-12-87, C32-185)
 PNM SWITCHING STATION (WD: 05-04-61, BK. D593, PG. 223)
 PLAINS ELECTRIC COOPERATIVE, INC. (WD: 09-14-64, BK. D756, PG. 258)
 PLAINS ELECTRIC COOPERATIVE, INC. (QCD: 01-30-79, BK. D83A, PGS. 321-354)
 all being records of Bernalillo County, New Mexico.
- Title Report: provided by First American Title Insurance Company, Commitment No.: 05020221 (Effective date: 04-25-02) (TRI-STATE TRACT)
- Except for the following 83 lots open space requirements of the City of Albuquerque are met on the lot with the dwellings as shown on the plat. Lots 16-32, Lots 35-50, and Lots 52-60, Block 2; Lots 2-7 and Lots 9-11, Block 4; Lots 2-10 and Lots 15-23, Block 5; Lots 2-4 and Lots 9 and 10, Block 6; Lots 2-5 and Lots 8-11, Block 7, a total of 83 lots, shall have a maximum combined structure foot print and drive way area such that the remaining open space is 2400 square feet or provide payment to the Parks and Recreation Division (cash-in-lieu) for the deficit in meeting the 2400 S.F. open space requirement.
- Setbacks are as shown and noted on the Amended Site Development Plan for Subdivision. (Case No. 02DRB-01581)
- New 38' Public Water, Sanitary Sewer and Pedestrian Access Easement granted to, for the benefit of, and to be maintained by the City of Albuquerque.

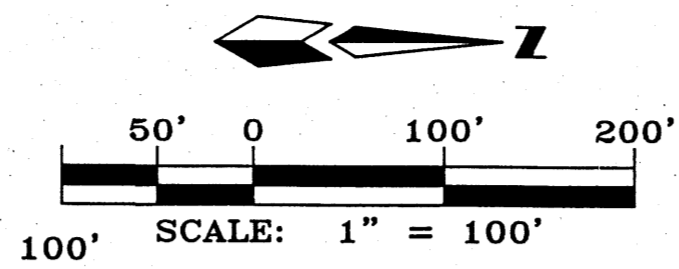
PROPERTY CORNERS

- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)

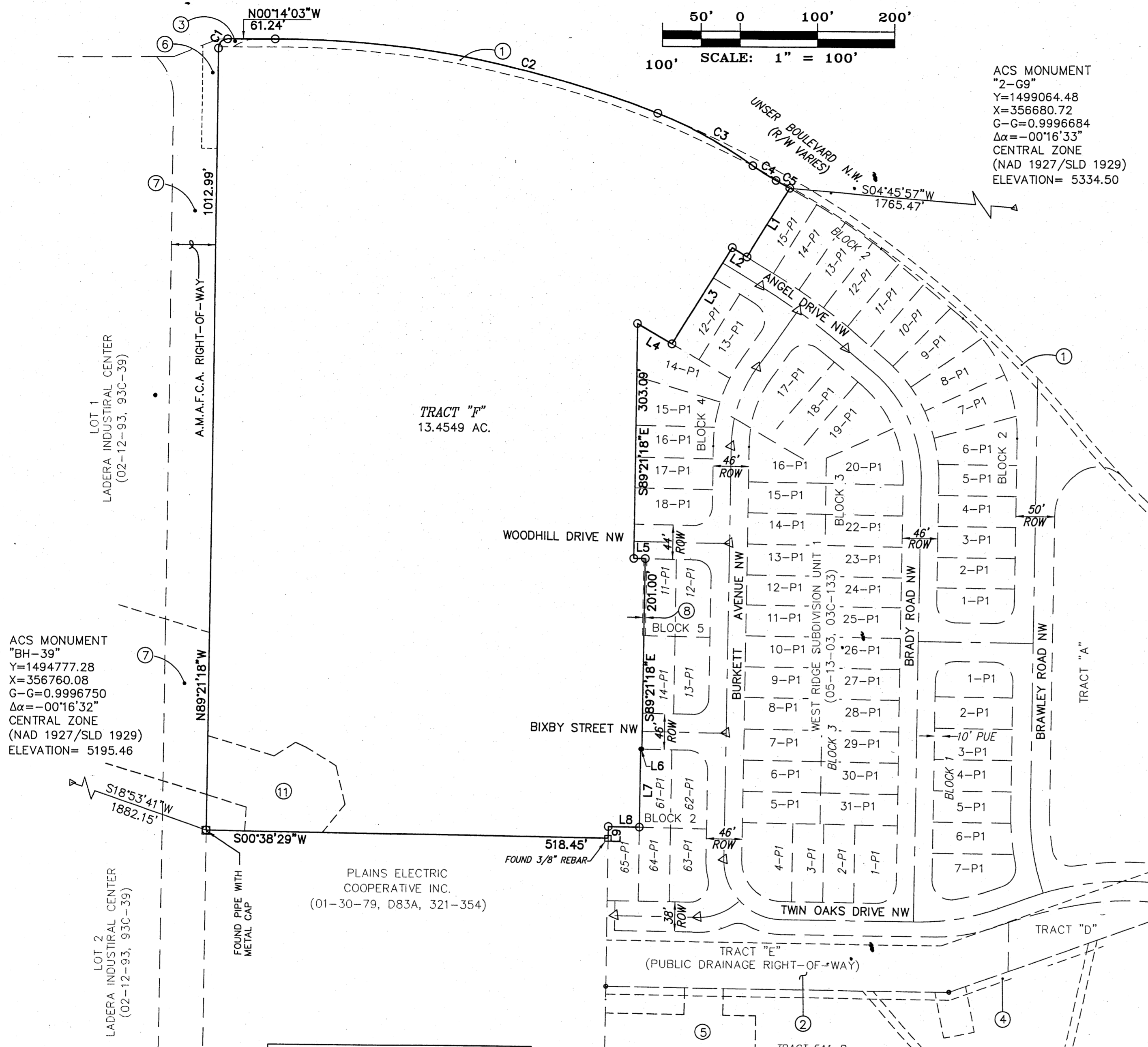


SEE EASEMENT KEYED NOTES ON SHEET 3

Dwg: A2031U2SHT2&3B.dwg	Drawn: RICHARD	Checked: ALS	Sheet 2 of 5
Scale: 1"=100'	Date: 01/07/04	Job: A02031	



ACS MONUMENT
 "2-G9"
 Y=1499064.48
 X=356680.72
 G-G=0.9996684
 $\Delta\alpha = -00^{\circ}16'33''$
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION= 5334.50



TRACT "F"
 13.4549 AC.

ACS MONUMENT
 "BH-39"
 Y=1494777.28
 X=356760.08
 G-G=0.9996750
 $\Delta\alpha = -00^{\circ}16'32''$
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION= 5195.46

PLAINS ELECTRIC
 COOPERATIVE INC.
 (01-30-79, D83A, 321-354)

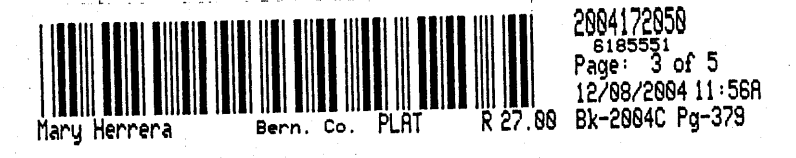
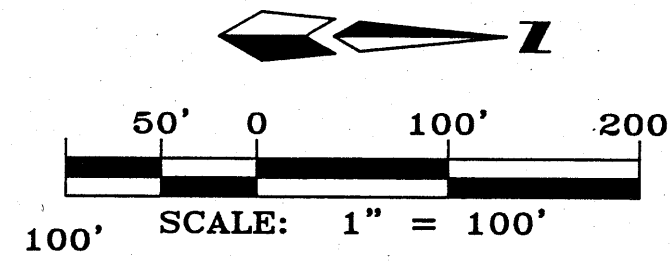
LINE ID	LENGTH	BEARING
L1	104.54	S58°18'48"E
L2	22.41	N31°41'12"E
L3	147.17	N58°18'48"W
L4	51.44	N30°00'20"E
L5	15.00	N00°38'42"E
L6	1.55	S00°38'42"W
L7	100.00	N89°21'18"W
L8	40.00	N00°38'42"E
L9	15.00	N89°21'18"W

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C1	12.00	18.67	89°07'15"	11.82	S44°47'40"E	16.84
C2	1322.00	504.75	21°52'34"	255.49	S10°42'14"W	501.69
C3	577.00	140.36	13°56'16"	70.53	S28°35'46"W	140.01
C4	323.00	35.50	6°17'50"	17.77	N32°24'59"E	35.48
C5	1310.00	20.55	0°53'56"	10.28	S29°43'02"W	20.55



AMENDED PLAT FOR
WEST RIDGE SUBDIVISION
UNIT 2

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2003



EASEMENTS:

- ① Existing 10' PNM and Mountain Bell Easement (Buried utilities only) (02-12-87, C32-185)
- ② Existing 60' Plains Electric Easement (02-12-87, C32-185) (12-23-87, BK. MISC. 571A, PG. 394)
- ③ Existing 10' (PUE) Public Utility Easement. (05-13-03, 03C-133)
- ④ Existing 10' PNM Easement (03-26-02, 02C-96)
- ⑤ Existing 50' PNM Easement (04-24-86, C30-78)
- ⑥ Existing 20' Pedestrian Access Easement granted to, for the benefit of, and to be maintained by the City of Albuquerque. Existing 20' (PUE) Public Utility Easement. (05-13-03, 03C-133)
- ⑦ Existing A.M.A.F.C.A. Drainage Right-of-way. Existing City of Albuquerque Public Water, Sanitary Sewer, and Drainage Easement. Existing Private Access Easement granted to the owners of the Lands of Plains Electric Generation and Transmission Co-op, Inc. (01-30-79, Bk d83a, Pg. 321-354) and the Lands of PNM (05-04-61, Bk. D-593, Pg 223), its successors and assigns, and to be maintained by PNM. Access by beneficiaries shall be free and unrestricted. Existing Public Utility Easement (05-13-03, 03C-133).
- ⑧ Existing 2' Private Drainage Easement centered on lot line (05-13-03, 03C-133).
- ⑩ Existing PNM Easement (03-11-02, Bk. A33, Pg. 1956)

NOTE:

CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ABBREVIATIONS

10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
 ROW = RIGHT-OF-WAY

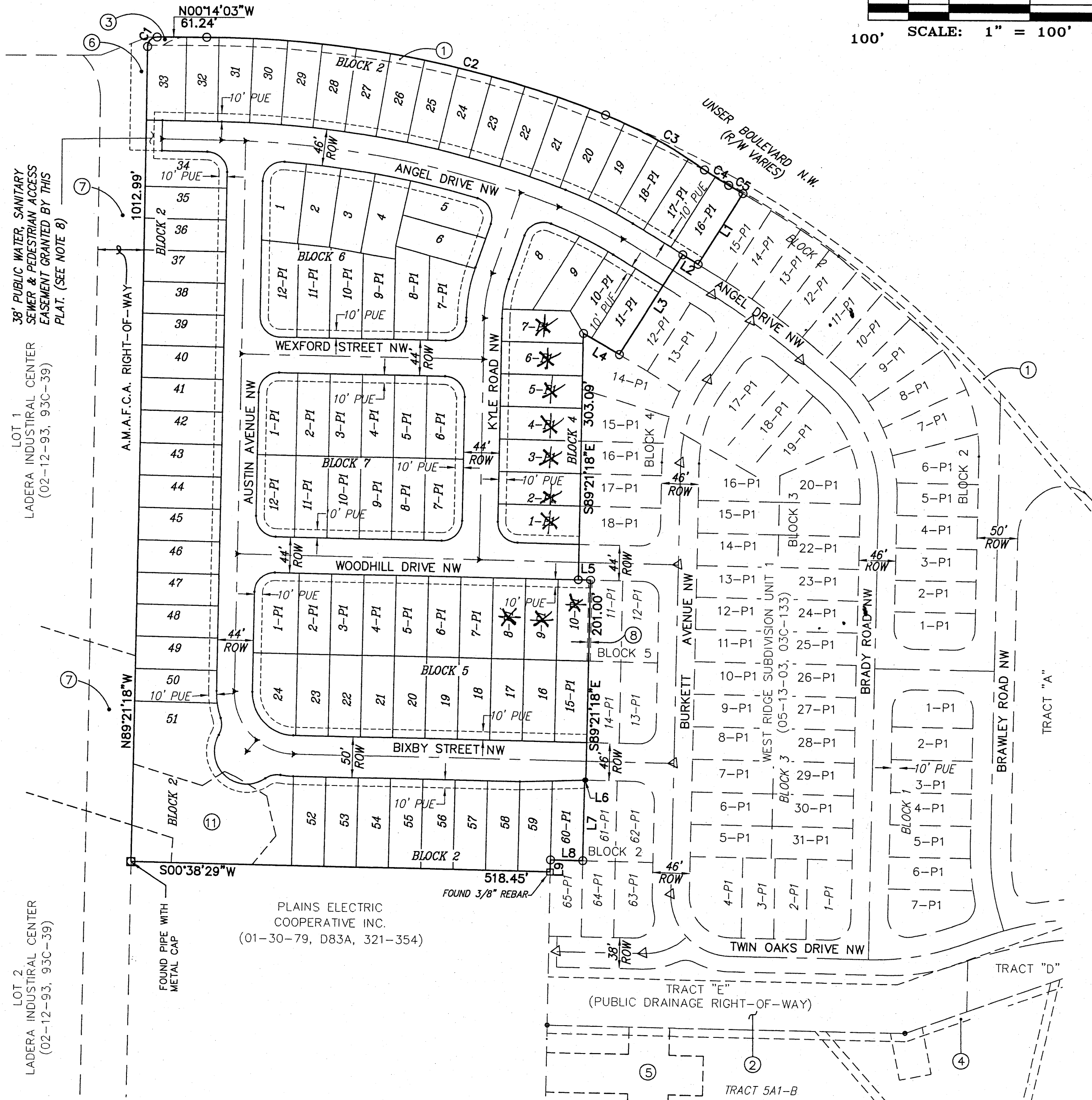
PROPERTY CORNERS

- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

[Handwritten Signature]
 01-08-04

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Scale: 1"=100'	Date: 01/08/04	Job: A02031	



LOT 1
 LADERA INDUSTRIAL CENTER
 (02-12-93, 93C-39)
 38' PUBLIC WATER, SANITARY SEWER & PEDESTRIAN ACCESS EASEMENT GRANTED BY THIS PLAT. (SEE NOTE 8)

LOT 2
 LADERA INDUSTRIAL CENTER
 (02-12-93, 93C-39)

PLAINS ELECTRIC COOPERATIVE INC.
 (01-30-79, D83A, 321-354)

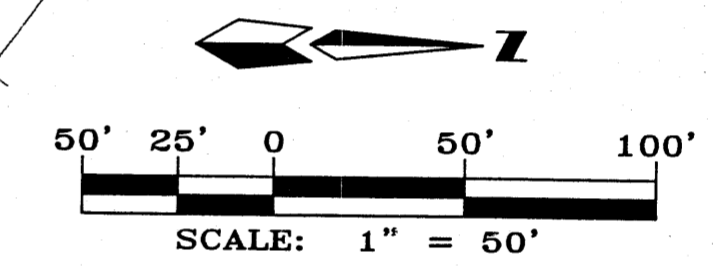
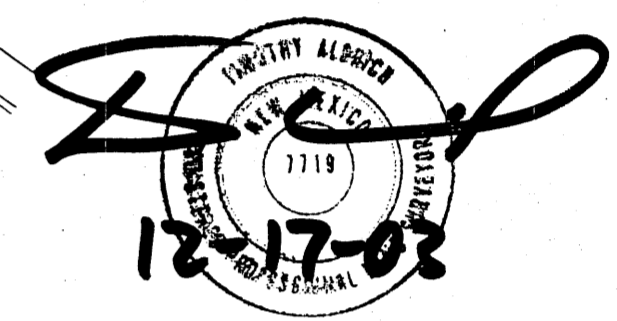
FOUND 3/8" REBAR

FOUND PIPE WITH METAL CAP

AMENDED PLAT FOR
WEST RIDGE SUBDIVISION
UNIT 2

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 3, 4, 9 AND 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2003

- PROPERTY CORNERS**
- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
 - SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)



CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C1	12.00	18.67	89°07'15"	11.82	S44°47'40"E	16.84
C2	1322.00	504.75	21°52'34"	255.49	S10°42'14"W	501.69
C3	577.00	140.36	13°56'16"	70.53	S28°35'46"W	140.01
C4	323.00	35.50	6°17'50"	17.77	N32°24'59"E	35.48
C5	1310.00	20.55	0°53'56"	10.28	S29°43'02"W	20.55
C10	1194.00	29.67	1°25'26"	14.84	S01°21'25"W	29.67
C11	1194.00	347.35	16°40'05"	174.91	S10°24'11"W	346.12
C12	1194.00	50.03	2°24'02"	25.02	S19°56'14"W	50.02
C13	1194.00	427.05	20°29'33"	215.83	S10°53'28"W	424.77
C14	484.04	89.12	10°32'58"	44.69	S26°24'44"W	89.00
C22	180.00	56.84	18°05'31"	28.66	S80°18'32"E	56.60
C23	180.00	108.96	34°41'04"	56.21	S72°00'46"E	107.31
C24	75.00	67.48	51°32'54"	36.21	N64°52'15"E	65.22
C25	75.00	50.33	38°27'06"	26.16	N19°52'15"E	49.39
C26	75.00	117.81	90°00'00"	75.00	N45°38'42"E	106.07
C99	25.00	39.27	90°00'00"	25.00	N45°38'42"E	35.36
C100	158.00	8.08	2°55'51"	4.04	S87°53'22"E	8.08
C101	158.00	38.46	13°56'55"	19.33	S78°14'15"E	38.37
C102	158.00	49.89	18°05'31"	25.15	S80°18'32"E	49.68
C103	25.00	40.26	92°16'08"	26.01	S25°07'43"E	36.05
C104	461.04	38.68	4°48'26"	19.35	S23°24'34"W	38.67
C105	461.04	40.08	4°58'52"	20.05	S28°18'13"W	40.07
C106	461.04	7.18	0°53'33"	3.59	S31°14'26"W	7.18
C107	461.04	85.95	10°40'51"	43.10	S26°20'47"W	85.82
C108	507.04	23.82	2°41'29"	11.91	S30°20'28"W	23.82
C109	507.04	38.52	4°21'10"	19.27	S26°49'09"W	38.51

PRIVATE DRAINAGE EASEMENTS:

2' wide private drainage easements are located in some side yards as shown hereon. Where the difference in elevation between the two adjacent pads is 0.8' or less the easement is centered on the lot line. Where the difference is more than 0.8' but less than 1.4' the easement is entirely on the low side of the lot line and immediately adjacent to that lot line. Where the easement is centered on the lot line it is for the mutual benefit of both lot owners and is to be jointly maintained. Where the easement is entirely on the low side of the lot line the easement is for the benefit of the adjacent "high side" lot owner and shall be maintained by the underlying "low side" lot owner. Neither lot owner is allowed to change the planned grade within the 2' wide private drainage easement, nor shall either lot owner place any loose material adjacent to the easement that has the potential to be moved into the drainage easement or in any other way block drainage in any portion of the easement, except that a fence or block wall may be centered on the lot line. Under no circumstances shall the grade adjacent to the easement on either side of the easement be changed except by a structurally sound retaining wall, as designed by a registered professional engineer or architect. Where no easement is shown on the plat each lot owner must construct, operate and maintain his own separate swale all the way to the street and cross lot drainage will be prevented by some combination of walls and berms on the common lot line to be jointly maintained by both lot owners.

EASEMENTS

- (A) 2' PRIVATE DRAINAGE EASEMENT CENTERED ON LOT LINE (SEE NOTE THIS SHEET)
- (B) 2' PRIVATE DRAINAGE EASEMENT ON LOW SIDE OF LOT LINE (SEE NOTE THIS SHEET)

NOTE: ▲
CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

ABBREVIATIONS
10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
ROW = RIGHT-OF-WAY

NOTE: ▲

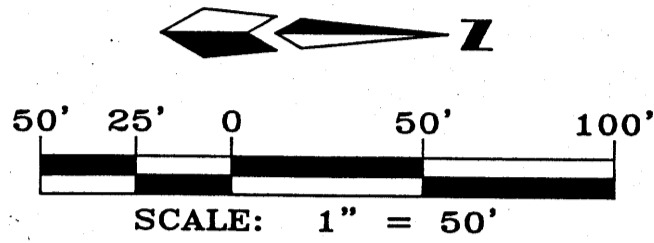
CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY



EASEMENTS

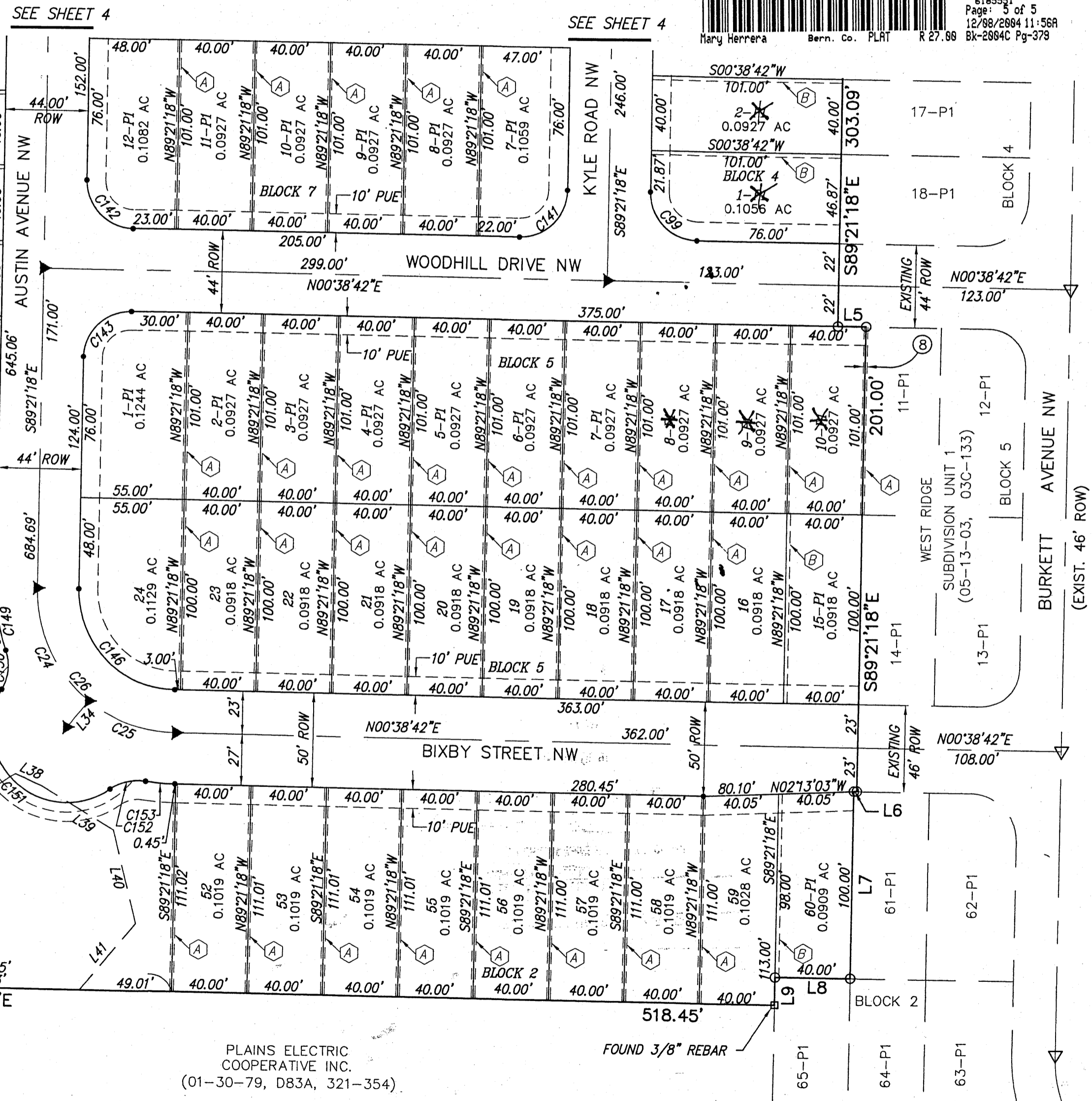
- (A) 2' PRIVATE DRAINAGE EASEMENT CENTERED ON LOT LINE (SEE NOTE ON SHEET 4)
- (B) 2' PRIVATE DRAINAGE EASEMENT ON LOW SIDE OF LOT LINE (SEE NOTE ON SHEET 4)



LINE TABLE					
LINE ID	LENGTH	BEARING	LINE ID	LENGTH	BEARING
L1	104.54	S58°18'48"E	L31	23.00	N89°21'18"W
L2	22.41	N31°41'12"E	L32	15.00	N89°21'18"W
L3	147.17	N58°18'48"E	L33	20.00	S00°38'42"W
L4	51.44	N30°00'20"E	L34	18.34	S50°54'12"E
L5	15.00	N00°38'42"E	L36	89.38	N16°22'38"E
L6	1.55	S00°38'42"W	L37	32.42	N33°03'06"W
L7	100.00	N89°21'18"W	L38	14.96	N23°50'44"E
L8	40.00	N00°38'42"E	L39	45.32	N31°07'45"E
L9	15.00	N89°21'18"W	L40	50.93	N76°13'00"E
L25	32.38	N59°43'02"E	L41	46.73	S50°54'18"E
L26	11.42	N30°00'20"E	L42	53.15	N16°40'26"E
L27	12.22	S89°21'18"E	L43	30.70	S86°36'04"E
L30	4.45	S89°21'18"E	L44	10.01	N00°30'08"E

AMENDED PLAT FOR
WEST RIDGE SUBDIVISION
 UNIT 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 3, 4, 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2003

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C110	507.04	31.02	3°30'19"	15.52	S22°53'24"W	31.02
C111	507.04	93.36	10°32'58"	46.81	S26°24'44"W	93.22
C112	1217.00	7.40	0°20'55"	3.70	S20°57'47"W	7.40
C113	1217.00	39.53	1°51'39"	19.77	S19°51'30"W	39.53
C114	1217.00	39.34	1°51'08"	19.67	S18°00'06"W	39.34
C115	1217.00	39.36	1°51'11"	19.68	S16°08'57"W	39.36
C116	1217.00	39.36	1°51'11"	19.68	S14°17'46"W	39.36
C117	1217.00	39.36	1°51'11"	19.68	S12°26'35"W	39.36
C118	1217.00	39.36	1°51'11"	19.68	S10°35'23"W	39.36
C119	1217.00	39.35	1°51'10"	19.68	S08°44'13"W	39.35
C120	1217.00	39.35	1°51'10"	19.68	S06°53'03"W	39.35
C121	1217.00	39.36	1°51'11"	19.68	S05°01'52"W	39.36
C122	1217.00	39.36	1°51'11"	19.68	S03°10'41"W	39.36
C123	1217.00	34.12	1°36'24"	17.06	S01°26'54"W	34.12
C124	1217.00	435.27	20°29'33"	219.99	S10°53'28"W	432.96
C125	25.00	39.27	90°00'00"	25.00	S45°38'42"W	35.36
C126	25.00	40.94	93°49'56"	26.73	S42°26'20"E	36.52
C127	1171.00	27.01	1°19'18"	13.51	S05°08'31"W	27.01
C128	1171.00	43.14	2°06'38"	21.57	S06°51'29"W	43.13
C129	1171.00	43.15	2°06'40"	21.58	S08°58'08"W	43.14
C130	1171.00	44.40	2°10'21"	22.20	S11°06'39"W	44.40
C131	1171.00	85.63	4°11'22"	42.83	S14°17'30"W	85.61
C132	1171.00	243.32	11°54'19"	122.10	S10°26'02"W	242.88
C133	25.00	40.29	92°20'48"	26.05	S62°33'49"E	36.07
C134	202.00	1.33	0°22'35"	0.66	S71°27'04"E	1.33
C135	202.00	62.46	17°42'56"	31.48	S80°29'50"E	62.21
C136	202.00	63.78	18°05'31"	32.16	S80°18'32"E	63.52
C137	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C138	25.00	39.27	90°00'00"	25.00	N45°38'42"E	35.36
C139	25.00	39.27	90°00'00"	25.00	S44°21'18"W	35.36
C140	25.00	39.27	90°00'00"	25.00	S45°38'42"E	35.36
C141	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C142	25.00	39.27	90°00'00"	25.00	N45°38'42"E	35.36
C143	25.00	39.27	90°00'00"	25.00	S44°21'18"W	35.36
C146	52.00	81.68	90°00'00"	52.00	N45°38'42"E	73.54
C147	97.00	15.00	8°51'42"	7.52	N86°12'51"E	14.99
C148	97.00	18.55	10°57'32"	9.30	N76°18'14"E	18.52
C149	97.00	33.56	19°49'14"	16.95	N80°44'05"E	33.39
C150	25.00	21.40	49°02'19"	11.40	N84°39'22"W	20.75
C151	40.00	108.57	155°30'51"	184.34	N42°06'21"E	78.18
C152	25.00	19.70	45°09'30"	10.40	S13°04'19"E	19.20
C153	102.00	15.78	8°51'44"	7.90	N05°04'34"E	15.76
C166	323.00	19.46	3°27'08"	9.73	N30°59'38"E	19.46
C167	323.00	16.04	2°50'42"	8.02	N34°08'33"E	16.04
C168	577.00	24.01	2°23'02"	12.00	S34°22'23"W	24.00
C169	577.00	44.01	4°22'12"	22.02	S30°59'46"W	44.00
C170	577.00	46.53	4°37'14"	23.28	S26°30'03"W	46.52
C171	577.00	25.81	2°33'48"	12.91	S22°54'33"W	25.81
C173	1322.00	20.58	0°53'30"	10.29	S21°11'46"W	20.58
C174	1322.00	42.04	1°49'20"	21.02	S19°50'20"W	42.04
C175	1322.00	42.74	1°51'08"	21.37	S18°00'06"W	42.73
C176	1322.00	42.76	1°51'11"	21.38	S16°08'57"W	42.75
C177	1322.00	42.76	1°51'11"	21.38	S14°17'46"W	42.76
C178	1322.00	42.76	1°51'11"	21.38	S12°26'35"W	42.75
C179	1322.00	42.76	1°51'11"	21.38	S10°35'23"W	42.76
C180	1322.00	42.75	1°51'10"	21.38	S08°44'13"W	42.75
C181	1322.00	42.75	1°51'10"	21.38	S06°53'03"W	42.75
C182	1322.00	42.76	1°51'11"	21.38	S05°01'52"W	42.75
C183	1322.00	42.76	1°51'11"	21.38	S03°10'41"W	42.76
C184	1322.00	42.38	1°50'12"	21.19	S01°20'00"W	42.37
C185	1322.00	14.98	0°38'57"	7.49	S00°05'25"W	14.98

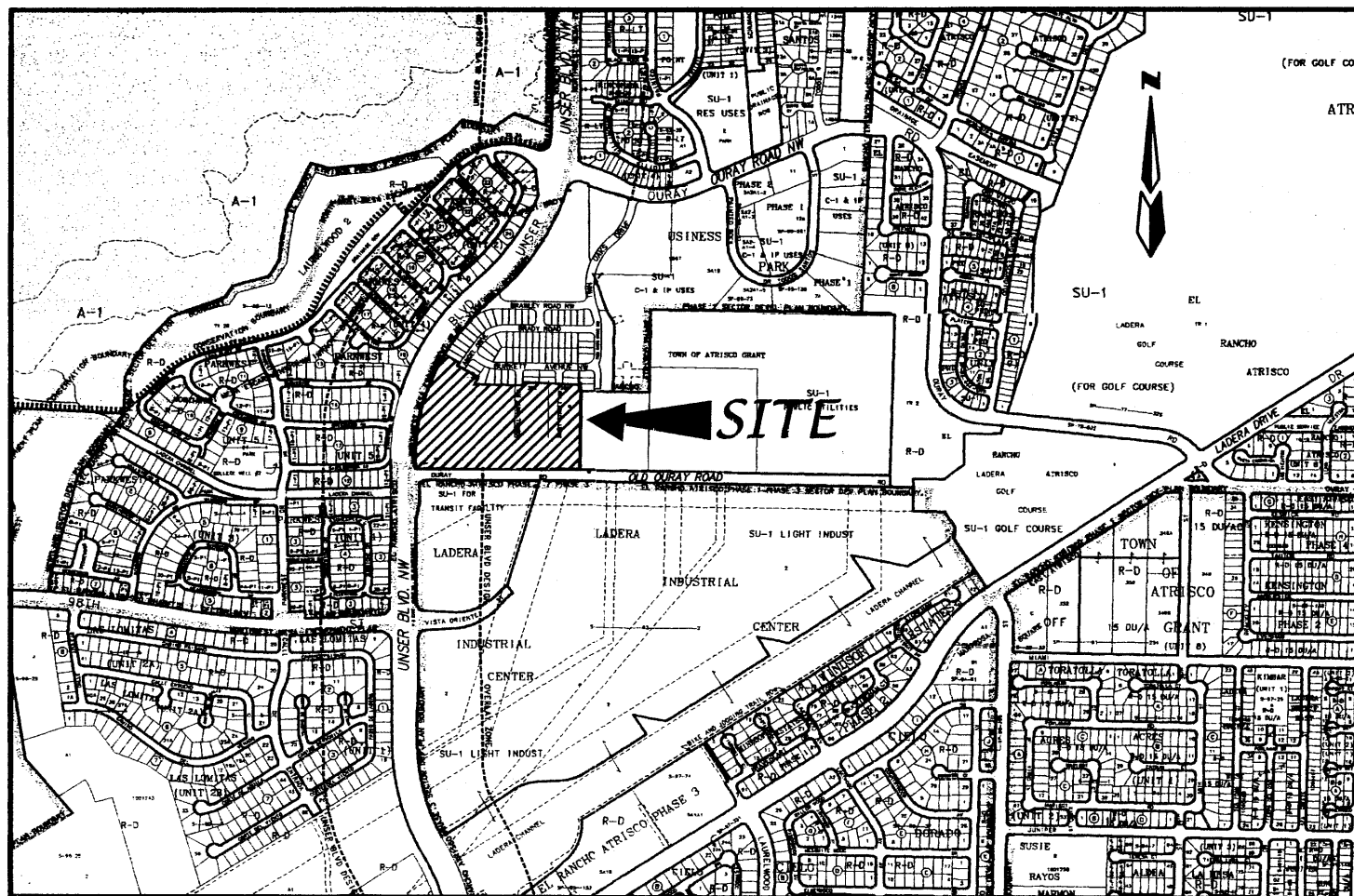


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 Bk-2894C Pg-379

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 Page: 5 of 5
 01/14/2004 02:06P
 Bk-2894C Pg-19

AGTS ✓



LOCATION MAP ZONE ATLAS G-9, G-10, H-9 & H-10

SCALE: NONE

SUBDIVISION DATA

Plat Case No.'s DRB Project No. 1001932
 Case No.'s 02DRB-01578, 02DRB-01579
 02DRB-01580, 02DRB-01581
 03DRB-00220, 03DRB-00353

Gross Acreage 13.4549 AC.
 Zone Atlas No. G-9, G-10, H-9, & H-10
 No. of existing Tracts/Lots 1 Tract
 No. of Tracts/Lots created 100 Lots
 No. of Tracts/Lots eliminated 1 Tract
 Miles of full width streets created 0.57
 Area dedicated to the City of Albuquerque 3.6994 AC.
 Date of Survey JUNE 2002
 Utility Control Location System Log Number 2002240820
 Zoning SU-1/RD

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets, public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

OWNER: KB HOME New Mexico, Inc., a New Mexico Corporation
 BY: Greg Breedlove, Vice-President of Land Development

Greg Breedlove 3/21/03
 Greg Breedlove DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on 21 day of March 2003
 By Greg Breedlove, Vice-President of Land Development for KB HOME New Mexico, Inc.,
 A New Mexico Corporation on behalf of said corporation

Bernadette Hayes
 NOTARY PUBLIC 12/14/05
 MY COMMISSION EXPIRES

LEGAL DESCRIPTION (SEE SHEET 2)

NOTES: (SEE SHEET 2)

PURPOSE OF PLAT

1. Subdivide one existing tract into 100 Residential Lots.
2. Grant easements as shown hereon.
3. Dedicate right-of-way as shown hereon.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

PLAT FOR
WEST RIDGE SUBDIVISION
 UNIT 2
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2003

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

DRB Project No. 1001932

Application No. 03-02108

Akron Malaso 12/31/03
 Planning Director, City of Albuquerque, N.M. Date

Brad D. Bigham 12/31/03
 City Engineer, City of Albuquerque, N.M. Date

Lynn M. Masur 1-8-04
 Albuquerque Metropolitan Arroyo Flood Control Authority Date

Jeffrey 12-31-03
 Transportation Development, City of Albuquerque, N.M. Date

Roger A. Duran 12-31-03
 Utility Development Division, City of Albuquerque, N.M. Date

Christina Sanborn 1/13/04
 Parks and Recreation Date

W.B. Hart 4/8/03
 City Surveyor, City of Albuquerque, N.M. Date

N/A
 Property Management, City of Albuquerque, N.M. Date

Sean D. Mast 4-8-03
 PNM Gas Date

Sean D. Mast 4-8-03
 PNM Electric Date

Mary Ann Gjost 4-10-03
 Qwest Telecommunications Date

Rita Eickson 4-8-03
 Comcast Cable Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich 04-08-03
 Timothy Aldrich P.S. No. 7719 Date

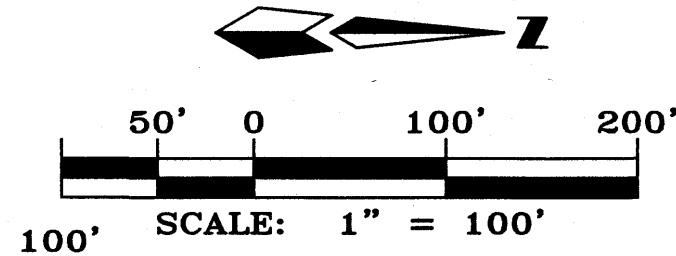


P.O. BOX 30701, ALBQ., N.M. 87190
 505-884-1990

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC & 2.50 CENTS PER SQ FT. PROPERTY OWNER OF RECORD: *Westland Development, Inc.* BERNALILLO COUNTY TREASURER'S OFFICE *P. Rodriguez 11/14/04*

PLAT FOR
**WEST RIDGE SUBDIVISION
UNIT 2**

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 9 AND 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2003



ACS MONUMENT
"2-G9"
Y=1499064.48
X=356680.72
G-G=0.9996684
 $\Delta\alpha=-00^{\circ}16'33''$
CENTRAL ZONE
(NAD 1927/SLD 1929)
ELEVATION= 5334.50

LEGAL DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Sections 9 and 10, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT "F", WEST RIDGE SUBDIVISION UNIT 1 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 13, 2003 in Book 2003C, Page 133 and containing 13.4549 acres more or less.

NOTES:

- Bearings are grid based on the New Mexico State Plane Coordinate System (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:

PLAT FOR WEST RIDGE SUBDIVISION UNIT 1, (05-13-03, 03C-133)
PLAT FOR "LADERA INDUSTRIAL CENTER, LOTS 1 AND 2", (02-12-93, 93C-39)
PLAT FOR "VOLCANO BUSINESS PARK", (03-26-02, 02C-96)
PLAT FOR "VOLCANO BUSINESS PARK, PHASE I", (04-24-86, C30-78)
PLAT FOR "VOLCANO BUSINESS PARK, PHASE II", (04-03-98, 98C-89)
PLAT FOR "EL RANCHO ATRISCO, PHASE 3, TRACTS 5-A & 6-A", (02-12-87, C32-184)
PLAT FOR "EL RANCHO ATRISCO, PHASE 2, TRACTS A-1 & B-1", (02-12-87, C32-185)
PNM SWITCHING STATION (WD: 05-04-61, BK. D593, PG. 223)
PLAINS ELECTRIC COOPERATIVE, INC. (WD: 09-14-64, BK. D756, PG. 258)
PLAINS ELECTRIC COOPERATIVE, INC. (QCD: 01-30-79, BK. D83A, PGS. 321-354)
all being records of Bernalillo County, New Mexico.

- Title Report: provided by First American Title Insurance Company, Commitment No.: 05020221 (Effective date: 04-25-02) (TRI-STATE TRACT)
- Except for the following 83 lots open space requirements of the City of Albuquerque are met on the lot with the dwellings as shown on the plat. Lots 16-32, Lots 35-50, and Lots 52-60, Block 2; Lots 2-7 and Lots 9-11, Block 4; Lots 2-10 and Lots 15-23, Block 5; Lots 2-4 and Lots 9 and 10, Block 6; Lots 2-5 and Lots 8-11, Block 7, a total of 83 lots, shall have a maximum combined structure foot print and drive way area such that the remaining open space is 2400 square feet or provide payment to the Parks and Recreation Division (cash-in-lieu) for the deficit in meeting the 2400 S.F. open space requirement.
- Setbacks are as shown and noted on the Amended Site Development Plan for Subdivision. (Case No. 02DRB-01581)
- New 38' Public Water, Sanitary Sewer and Pedestrian Access Easement granted to, for the benefit of, and to be maintained by the City of Albuquerque.

PROPERTY CORNERS

- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)



SEE EASEMENT KEYED NOTES ON SHEET 3

Dwg: A2031U2SHT2&3B.dwg	Drawn: RICHARD	Checked: ALS	Sheet 2 of 5
Scale: 1"=100'	Date: 01/07/04	Job: A02031	

TRACT "F"
13.4549 AC.

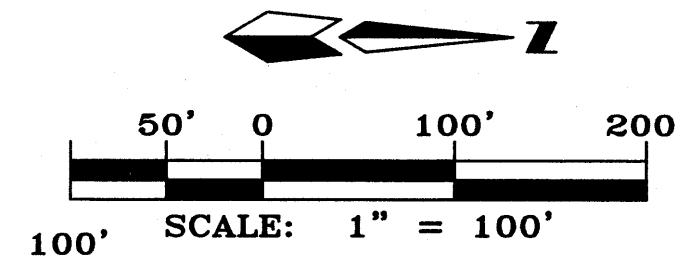
ACS MONUMENT
"BH-39"
Y=1494777.28
X=356760.08
G-G=0.9996750
 $\Delta\alpha=-00^{\circ}16'32''$
CENTRAL ZONE
(NAD 1927/SLD 1929)
ELEVATION= 5195.46

LINE ID	LENGTH	BEARING
L1	104.54	S58°18'48"E
L2	22.41	N31°41'12"E
L3	147.17	N58°18'48"W
L4	51.44	N30°00'20"E
L5	15.00	N00°38'42"E
L6	1.55	S00°38'42"W
L7	100.00	N89°21'18"W
L8	40.00	N00°38'42"E
L9	15.00	N89°21'18"W

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C1	12.00	18.67	89°07'15"	11.82	S44°47'40"E	16.84
C2	1322.00	504.75	21°52'34"	255.49	S10°42'14"W	501.69
C3	577.00	140.36	13°56'16"	70.53	S28°35'46"W	140.01
C4	323.00	35.50	6°17'50"	17.77	N32°24'59"E	35.48
C5	1310.00	20.55	0°53'56"	10.28	S29°43'02"W	20.55

PLAT FOR
WEST RIDGE SUBDIVISION
UNIT 2

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2003



EASEMENTS:

- ① Existing 10' PNM and Mountain Bell Easement (Buried utilities only) (02-12-87, C32-185)
- ② Existing 60' Plains Electric Easement (02-12-87, C32-185) (12-23-87, BK. MISC. 571A, PG. 394)
- ③ Existing 10' (PUE) Public Utility Easement. (05-13-03, 03C-133)
- ④ Existing 10' PNM Easement (03-26-02, 02C-96)
- ⑤ Existing 50' PNM Easement (04-24-86, C30-78)
- ⑥ Existing 20' Pedestrian Access Easement granted to, for the benefit of, and to be maintained by the City of Albuquerque. Existing 20' (PUE) Public Utility Easement. (05-13-03, 03C-133)
- ⑦ Existing A.M.A.F.C.A. Drainage Right-of-way. Existing City of Albuquerque Public Water, Sanitary Sewer, and Drainage Easement. Existing Private Access Easement granted to the owners of the Lands of Plains Electric Generation and Transmission Co-op, Inc. (01-30-79, Bk d83a, Pg. 321-354) and the Lands of PNM (05-04-61, Bk. D-593, Pg 223), its successors and assigns, and to be maintained by PNM. Access by beneficiaries shall be free and unrestricted. Existing Public Utility Easement (05-13-03, 03C-133).
- ⑧ Existing 2' Private Drainage Easement centered on lot line (05-13-03, 03C-133).
- ⑪ Existing PNM Easement (03-11-02, Bk. A33, Pg. 1956)

NOTE: ▲

CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ABBREVIATIONS

10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT

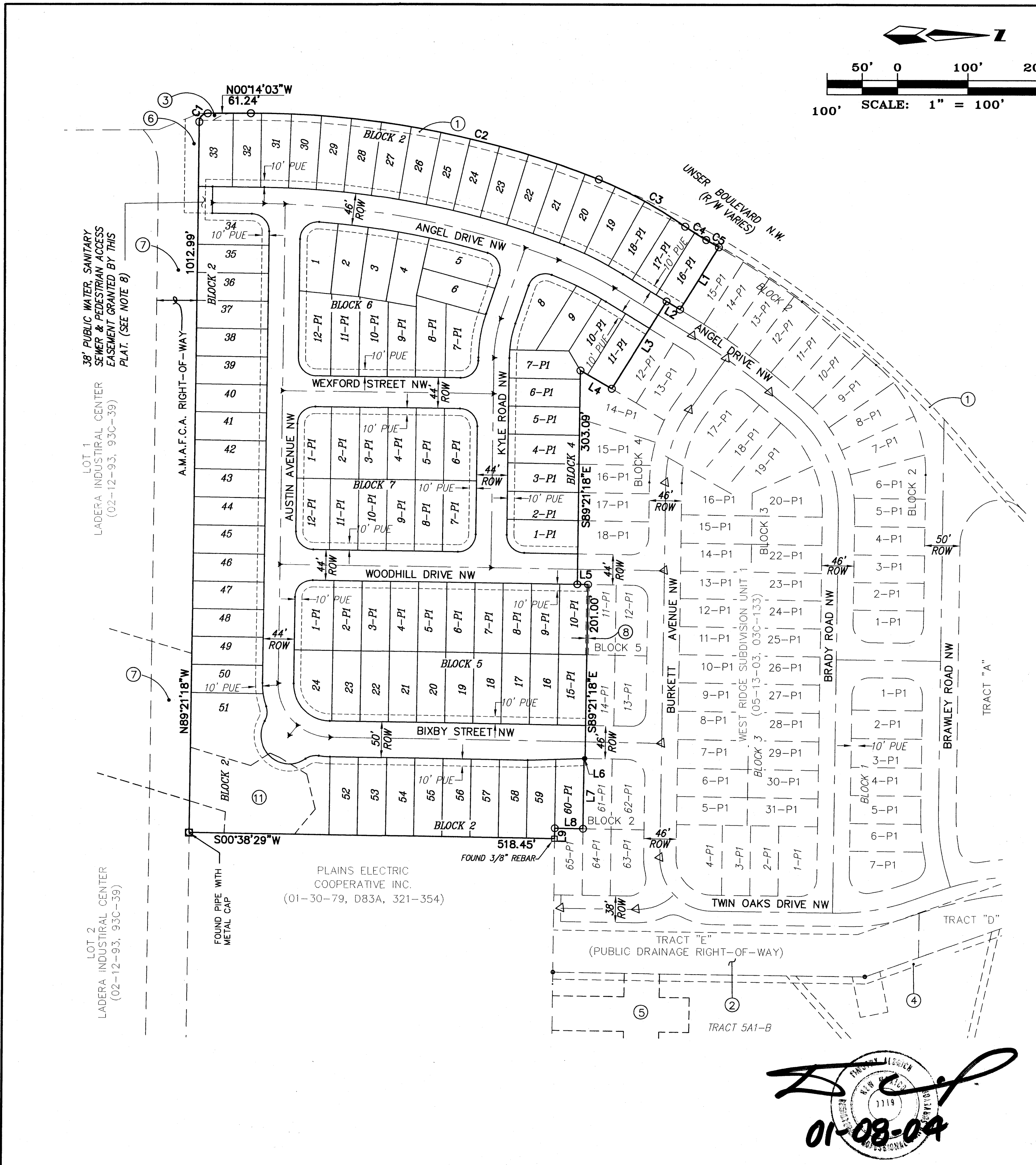
ROW = RIGHT-OF-WAY

PROPERTY CORNERS

- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

[Handwritten Signature]
 01-08-04



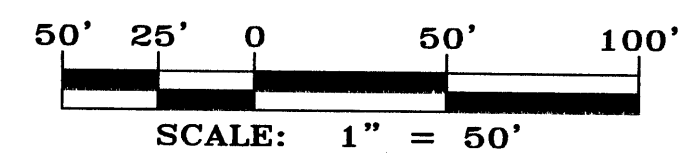
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Scale: 1"=100'	Date: 01/08/04	Job: A02031	

PLAT FOR
**WEST RIDGE SUBDIVISION
UNIT 2**

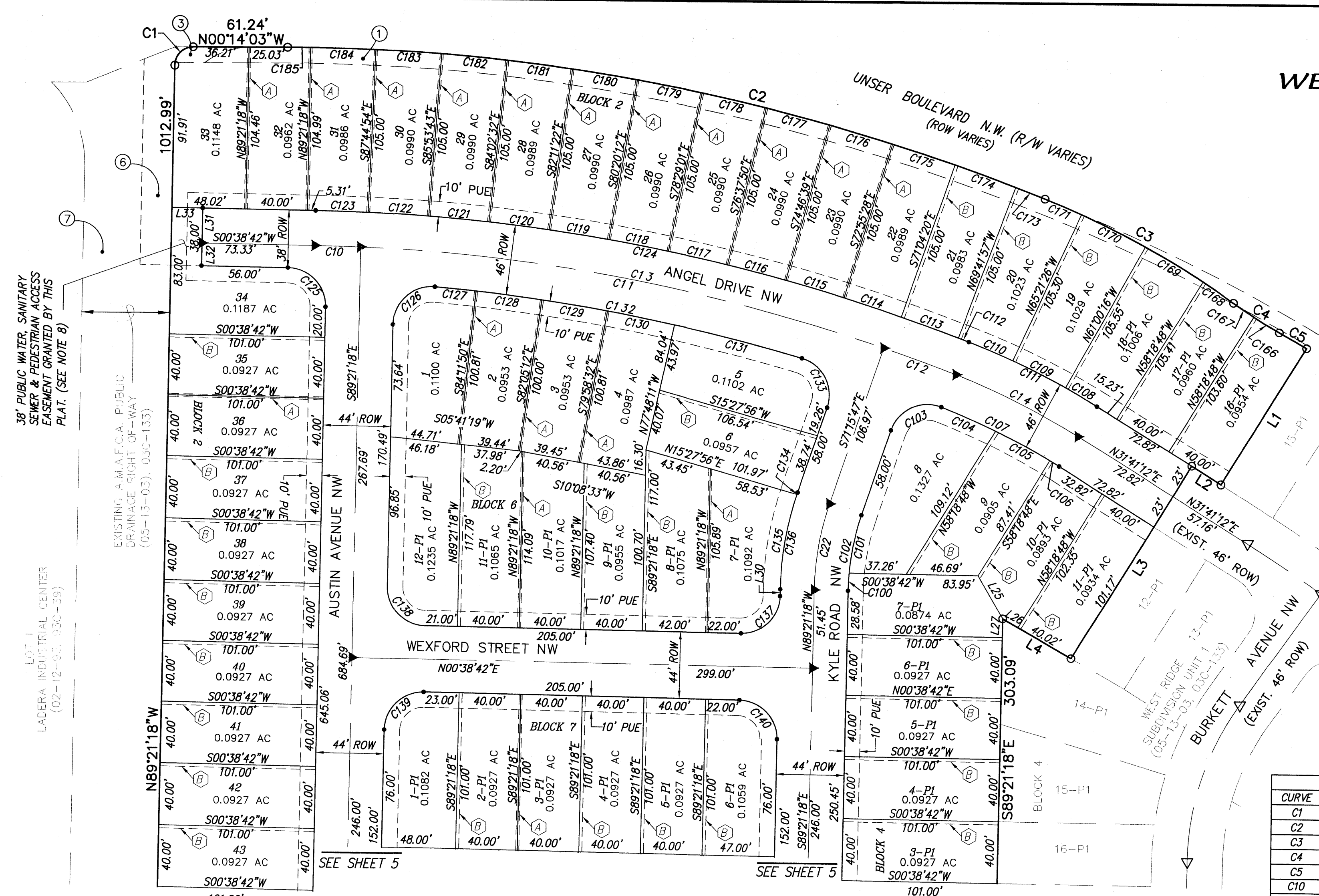
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 3, 4, 9 AND 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2003

PROPERTY CORNERS

- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)



CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C1	12.00	18.67	89°07'15"	11.82	S44°47'40"E	16.84
C2	1322.00	504.75	21°52'34"	255.49	S10°42'14"W	501.69
C3	577.00	140.36	13°56'16"	70.53	S28°35'46"W	140.01
C4	323.00	35.50	6°17'50"	17.77	N32°24'59"E	35.48
C5	1310.00	20.55	0°53'56"	10.28	S29°43'02"W	20.55
C10	1194.00	29.67	1°25'26"	14.84	S01°21'25"W	29.67
C11	1194.00	347.35	16°40'05"	174.91	S10°24'11"W	346.12
C12	1194.00	50.03	2°24'02"	25.02	S19°56'14"W	50.02
C13	1194.00	427.05	20°29'33"	215.83	S10°53'28"W	424.77
C14	484.04	89.12	10°32'58"	44.69	S26°24'44"W	89.00
C22	180.00	56.84	18°05'31"	28.66	S80°18'32"E	56.60
C23	180.00	108.96	34°41'04"	56.21	S72°00'46"E	107.31
C24	75.00	67.48	51°32'54"	36.21	N64°52'15"E	65.22
C25	75.00	50.33	38°27'06"	26.16	N19°52'15"E	49.39
C26	75.00	117.81	90°00'00"	75.00	N45°38'42"E	106.07
C99	25.00	39.27	90°00'00"	25.00	N45°38'42"E	35.36
C100	158.00	8.08	2°55'51"	4.04	S87°53'22"E	8.08
C101	158.00	38.46	13°56'55"	19.33	S78°14'15"E	38.37
C102	158.00	49.89	18°05'31"	25.15	S80°18'32"E	49.68
C103	25.00	40.26	92°16'08"	26.01	S25°07'43"E	36.05
C104	461.04	38.68	4°48'26"	19.35	S23°24'34"W	38.67
C105	461.04	40.08	4°58'52"	20.05	S28°18'13"W	40.07
C106	461.04	7.18	0°53'33"	3.59	S31°14'26"W	7.18
C107	461.04	85.95	10°40'51"	43.10	S26°20'47"W	85.82
C108	507.04	23.82	2°41'29"	11.91	S30°20'28"W	23.82
C109	507.04	38.52	4°21'10"	19.27	S26°49'09"W	38.51



PRIVATE DRAINAGE EASEMENTS:

2' wide private drainage easements are located in some side yards as shown hereon. Where the difference in elevation between the two adjacent pads is 0.8' or less the easement is centered on the lot line. Where the difference is more than 0.8' but less than 1.4' the easement is entirely on the low side of the lot line and immediately adjacent to that lot line. Where the easement is centered on the lot line it is for the mutual benefit of both lot owners and is to be jointly maintained. Where the easement is entirely on the low side of the lot line the easement is for the benefit of the adjacent "high side" lot owner and shall be maintained by the underlying "low side" lot owner. Neither lot owner is allowed to change the planned grade within the 2' wide private drainage easement, nor shall either lot owner place any loose material adjacent to the easement that has the potential to be moved into the drainage easement or in any other way block drainage in any portion of the easement, except that a fence or block wall may be centered on the lot line. Under no circumstances shall the grade adjacent to the easement on either side of the easement be changed except by a structurally sound retaining wall, as designed by a registered professional engineer or architect. Where no easement is shown on the plat each lot owner must construct, operate and maintain his own separate swale all the way to the street and cross lot drainage will be prevented by some combination of walls and berms on the common lot line to be jointly maintained by both lot owners.

EASEMENTS

- (A) 2' PRIVATE DRAINAGE EASEMENT CENTERED ON LOT LINE (SEE NOTE THIS SHEET)
- (B) 2' PRIVATE DRAINAGE EASEMENT ON LOW SIDE OF LOT LINE (SEE NOTE THIS SHEET)

NOTE:
▲
CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

ABBREVIATIONS

10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
ROW = RIGHT-OF-WAY

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Scale: 1"=50'	Date: 12/15/03	Job: A02031	

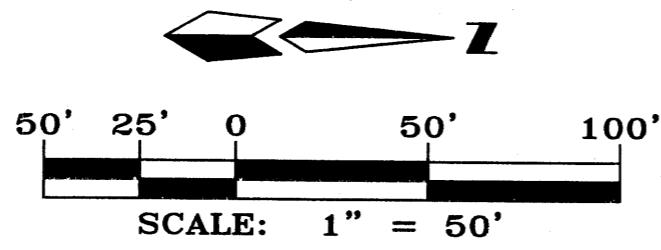
NOTE: ▲

CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

EASEMENTS

- Ⓐ 2' PRIVATE DRAINAGE EASEMENT CENTERED ON LOT LINE (SEE NOTE ON SHEET 4)
- Ⓑ 2' PRIVATE DRAINAGE EASEMENT ON LOW SIDE OF LOT LINE (SEE NOTE ON SHEET 4)



LINE TABLE					
LINE ID	LENGTH	BEARING	LINE ID	LENGTH	BEARING
L1	104.54	S58°18'48"E	L31	23.00	N89°21'18"W
L2	22.41	N31°41'12"E	L32	15.00	N89°21'18"W
L3	147.17	N58°18'48"W	L33	20.00	S00°38'42"W
L4	51.44	N30°00'20"E	L34	18.34	S50°54'12"E
L5	15.00	N00°38'42"E	L36	89.38	N16°22'38"E
L6	1.55	S00°38'42"W	L37	32.42	N33°03'06"W
L7	100.00	N89°21'18"W	L38	14.96	N23°50'44"E
L8	40.00	N00°38'42"E	L39	45.32	N13°07'45"E
L9	15.00	N89°21'18"W	L40	50.93	N76°13'00"E
L25	32.38	N59°43'02"E	L41	46.73	S50°54'18"E
L26	11.42	N30°00'20"E	L42	53.15	N16°40'26"E
L27	12.22	S89°21'18"E	L43	30.70	S86°36'04"E
L30	4.45	S89°21'18"E	L44	10.01	N00°30'08"E

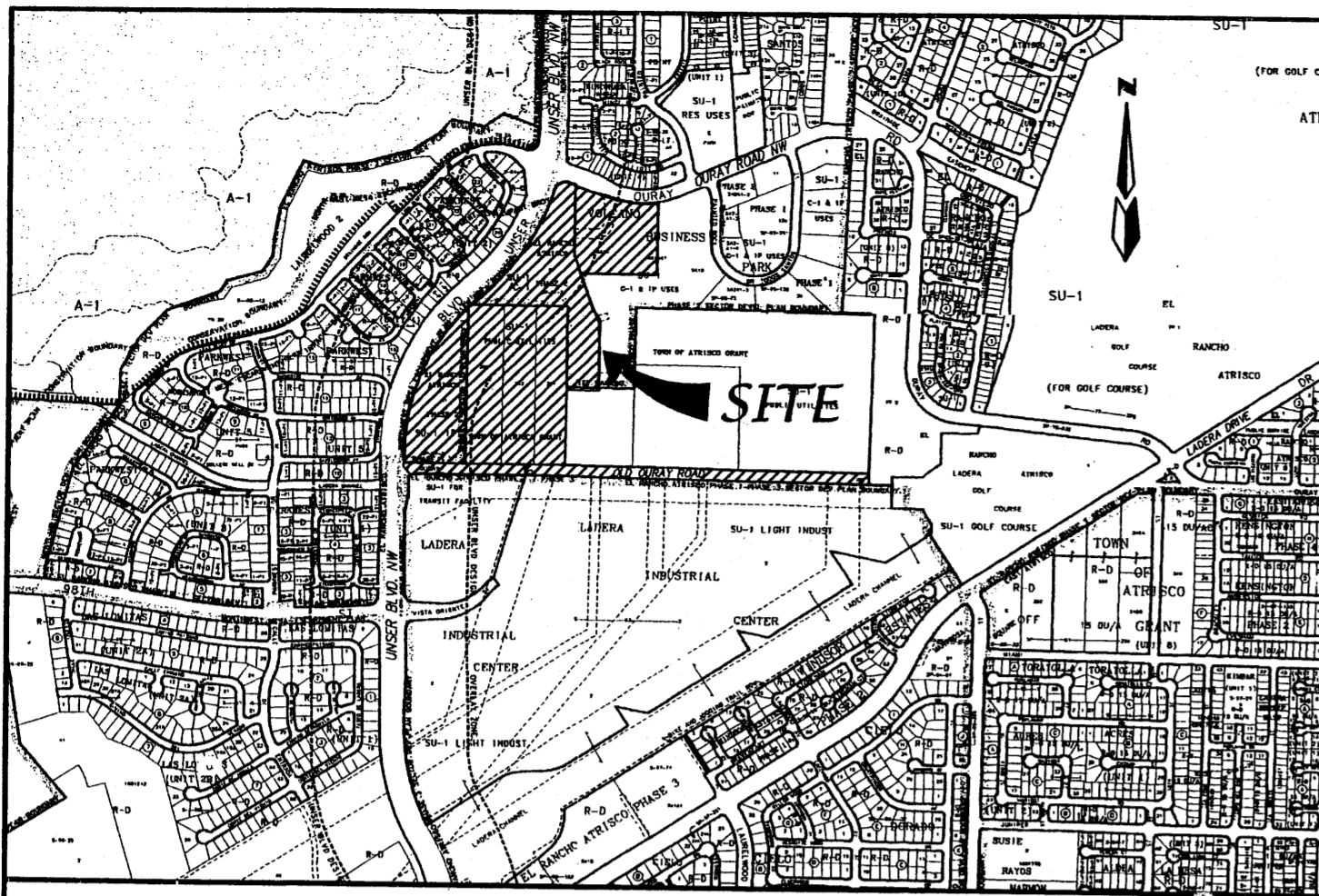
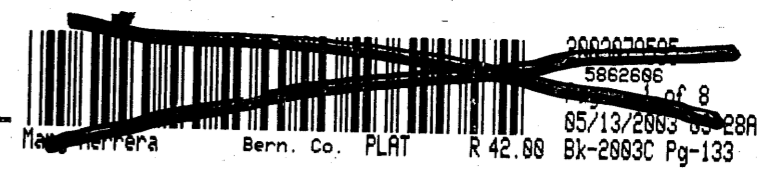
PLAT FOR
WEST RIDGE SUBDIVISION
UNIT 2
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 3, 4, 9 AND 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2003

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C110	507.04	31.02	3°30'19"	15.52	S22°53'24"W	31.02
C111	507.04	93.36	10°32'58"	46.81	S26°24'44"W	93.22
C112	1217.00	7.40	0°20'55"	3.70	S20°57'47"W	7.40
C113	1217.00	39.53	1°51'39"	19.77	S19°51'30"W	39.53
C114	1217.00	39.34	1°51'08"	19.67	S18°00'06"W	39.34
C115	1217.00	39.36	1°51'11"	19.68	S16°08'57"W	39.36
C116	1217.00	39.36	1°51'11"	19.68	S14°17'46"W	39.36
C117	1217.00	39.36	1°51'11"	19.68	S12°26'35"W	39.36
C118	1217.00	39.36	1°51'11"	19.68	S10°35'23"W	39.36
C119	1217.00	39.35	1°51'10"	19.68	S08°44'13"W	39.35
C120	1217.00	39.35	1°51'10"	19.68	S06°53'03"W	39.35
C121	1217.00	39.36	1°51'11"	19.68	S05°01'52"W	39.36
C122	1217.00	39.36	1°51'11"	19.68	S03°10'41"W	39.36
C123	1217.00	34.12	1°36'24"	17.06	S01°26'54"W	34.12
C124	1217.00	435.27	20°29'33"	219.99	S10°53'28"W	432.96
C125	25.00	39.27	90°00'00"	25.00	S45°38'42"W	35.36
C126	25.00	40.94	93°49'56"	26.73	S42°26'20"E	36.52
C127	1171.00	27.01	1°19'18"	13.51	S05°08'31"W	27.01
C128	1171.00	43.14	2°06'38"	21.57	S06°51'29"W	43.13
C129	1171.00	43.15	2°06'40"	21.58	S08°58'08"W	43.14
C130	1171.00	44.40	2°10'21"	22.20	S11°06'39"W	44.40
C131	1171.00	85.63	4°11'22"	42.83	S14°17'30"W	85.61
C132	1171.00	243.32	11°54'19"	122.10	S10°26'02"W	242.88
C133	25.00	40.29	92°20'48"	26.05	S62°33'49"W	36.07
C134	202.00	1.33	0°22'35"	0.66	S71°27'04"E	1.33
C135	202.00	62.46	17°42'56"	31.48	S80°29'50"E	62.21
C136	202.00	63.78	18°05'31"	32.16	S80°18'32"E	63.52
C137	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C138	25.00	39.27	90°00'00"	25.00	N45°38'42"E	35.36
C139	25.00	39.27	90°00'00"	25.00	S44°21'18"E	35.36
C140	25.00	39.27	90°00'00"	25.00	S45°38'42"W	35.36
C141	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C142	25.00	39.27	90°00'00"	25.00	N45°38'42"E	35.36
C143	25.00	39.27	90°00'00"	25.00	S44°21'18"E	35.36
C144	25.00	39.27	90°00'00"	25.00	S45°38'42"E	35.36
C145	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C146	52.00	81.68	90°00'00"	52.00	N45°38'42"E	73.54
C147	97.00	15.00	8°51'42"	7.52	N86°12'51"E	14.99
C148	97.00	18.55	10°57'32"	9.30	N76°18'14"E	18.52
C149	97.00	33.56	19°49'14"	16.95	N80°44'05"E	33.39
C150	25.00	21.40	49°02'19"	11.40	N84°39'22"W	20.75
C151	40.00	108.57	155°30'51"	184.34	N42°06'21"E	78.18
C152	25.00	19.70	45°09'30"	10.40	S13°04'19"E	19.20
C153	102.00	15.78	8°51'44"	7.90	N05°04'34"E	15.76
C166	323.00	19.46	3°27'08"	9.73	N30°59'38"E	19.46
C167	323.00	16.04	2°50'42"	8.02	N34°08'33"E	16.04
C168	577.00	24.01	2°23'02"	12.00	S34°22'23"W	24.00
C169	577.00	44.01	4°22'12"	22.02	S30°59'46"W	44.00
C170	577.00	46.53	4°37'14"	23.28	S26°30'03"W	46.52
C171	577.00	25.81	2°33'48"	12.91	S22°54'33"W	25.81
C173	1322.00	20.58	0°53'30"	10.29	S21°11'46"W	20.58
C174	1322.00	42.04	1°49'20"	21.02	S19°50'20"W	42.04
C175	1322.00	42.74	1°51'08"	21.37	S18°00'06"W	42.73
C176	1322.00	42.76	1°51'11"	21.38	S16°08'57"W	42.75
C177	1322.00	42.76	1°51'11"	21.38	S14°17'46"W	42.76
C178	1322.00	42.76	1°51'11"	21.38	S12°26'35"W	42.75
C179	1322.00	42.76	1°51'11"	21.38	S10°35'23"W	42.76
C180	1322.00	42.75	1°51'10"	21.38	S08°44'13"W	42.75
C181	1322.00	42.75	1°51'10"	21.38	S06°53'03"W	42.75
C182	1322.00	42.76	1°51'11"	21.38	S05°01'52"W	42.75
C183	1322.00	42.76	1°51'11"	21.38	S03°10'41"W	42.76
C184	1322.00	42.38	1°50'12"	21.19	S01°20'00"W	42.37
C185	1322.00	14.98	0°38'57"	7.49	S00°05'25"W	14.98

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Page: 5 of 5
81/14/2884 82-88P
Mary Herrera Bern. Co. PLAT R 27.88 BK-2884C Pg-19

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AMENDED PLAT FOR WEST RIDGE SUBDIVISION UNIT 1 WITHIN THE TOWN OF ATRISCO GRANT PROJECTED SECTIONS 3, 4, 9 AND 10 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO MARCH, 2003

PURPOSE OF AMENDED PLAT IS TO REMOVE INCORRECT PI DESIGNATION FROM SELECTED LOTS

LEGAL DESCRIPTION (SEE SHEET 3)

NOTES: (SEE SHEET 4)

PURPOSE OF PLAT

- 1. Subdivide four existing tracts into 69 Residential Lots and 6 Tracts
2. Grant easements as shown hereon.
3. Dedicate right-of-way as shown hereon.
4. Vacate easements and right-of-way as shown hereon.

PUBLIC UTILITY EASEMENTS PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- 1. The PNM Electric Services Division for the installation, maintenance and service of underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

OWNER: Westland Development Co., Inc, a New Mexico Corporation BY: Leroy Chavez, Vice President of Development 3/14/03 DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO COUNTY OF BERNALILLO

This instrument was acknowledged before me on MARCH 14, 2003 By Leroy Chavez, Vice President of Development for Westland Development Co., Inc., a New Mexico Corporation on behalf of said corporation.

Notary Public: Linda J. Blair 8/9/05 MY COMMISSION EXPIRES

OWNER: SUNSET PLAZA, General Partnership BY: Joan Wershaw, Managing Partner 8/9/05 DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO COUNTY OF BERNALILLO

This instrument was acknowledged before me on March 17, 2003 By Joan Wershaw, Managing Partner for SUNSET PLAZA, a New Mexico General Partnership on behalf of said partnership.

Notary Public: Karen Lee Arfman 11-18-2005 MY COMMISSION EXPIRE

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # See attached PROPERTY OWNER OF RECORD: Westland Development Co. Inc BERNALILLO COUNTY TREASURER'S OFFICE: 05-13-03

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

DRB Project No. 1001932

Application No. 03DRB-00577

Sharon Watson Planning Director, City of Albuquerque, N.M. 5/9/03 Date

Brenda D. Bigham City Engineer, City of Albuquerque, N.M. 4/30/03 Date

Martin W. Gikert Albuquerque Metropolitan Area Flood Control Authority 5-7-03 Date

Richard Dante Transportation Development, City of Albuquerque, N.M. 4-30-03 Date

Roger A. Green Utility Development Division, City of Albuquerque, N.M. 4-30-03 Date

Christine Sandoval Parks and Recreation 4/30/03 Date

City Surveyor, City of Albuquerque, N.M. 4-1-03 Date

Property Management, City of Albuquerque, N.M. 5-6-03 Date

PNM Gas 4-8-03 Date

PNM Electric 4-8-03 Date

Mary Ann Gajola Qwest Telecommunications 4-10-03 Date

Rita E. Sicks Comcast Cable 4-8-03 Date



SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

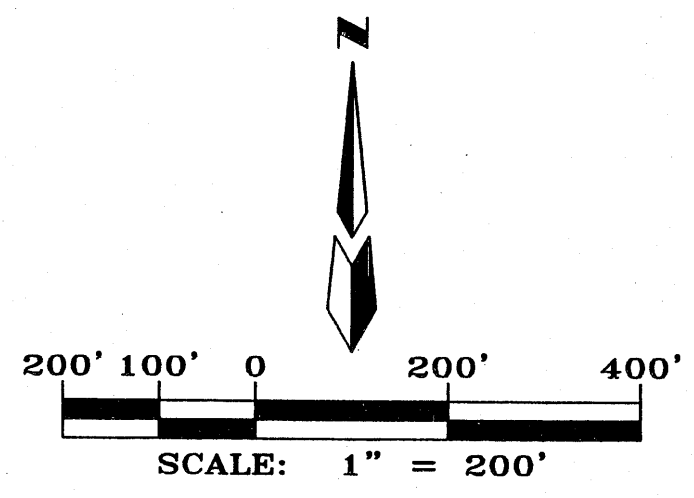
Timothy Aldrich P.S. No. 7719 03-27-03 Date

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 1999 999 000 000 00403 PROPERTY OWNER OF RECORD: TBC STATE BERNALILLO COUNTY TREASURER'S OFFICE: 12-8-04

Table with 4 columns: Dwg: A2031FPSHT1.dwg, Drawn: RICHARD, Checked: [initials], Sheet 1 of 8; Scale: N/A, Date: 03/13/03, Job: A02031

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**AMENDED PLAT FOR
 WEST RIDGE SUBDIVISION
 UNIT 1**
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 3, 4, 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2003

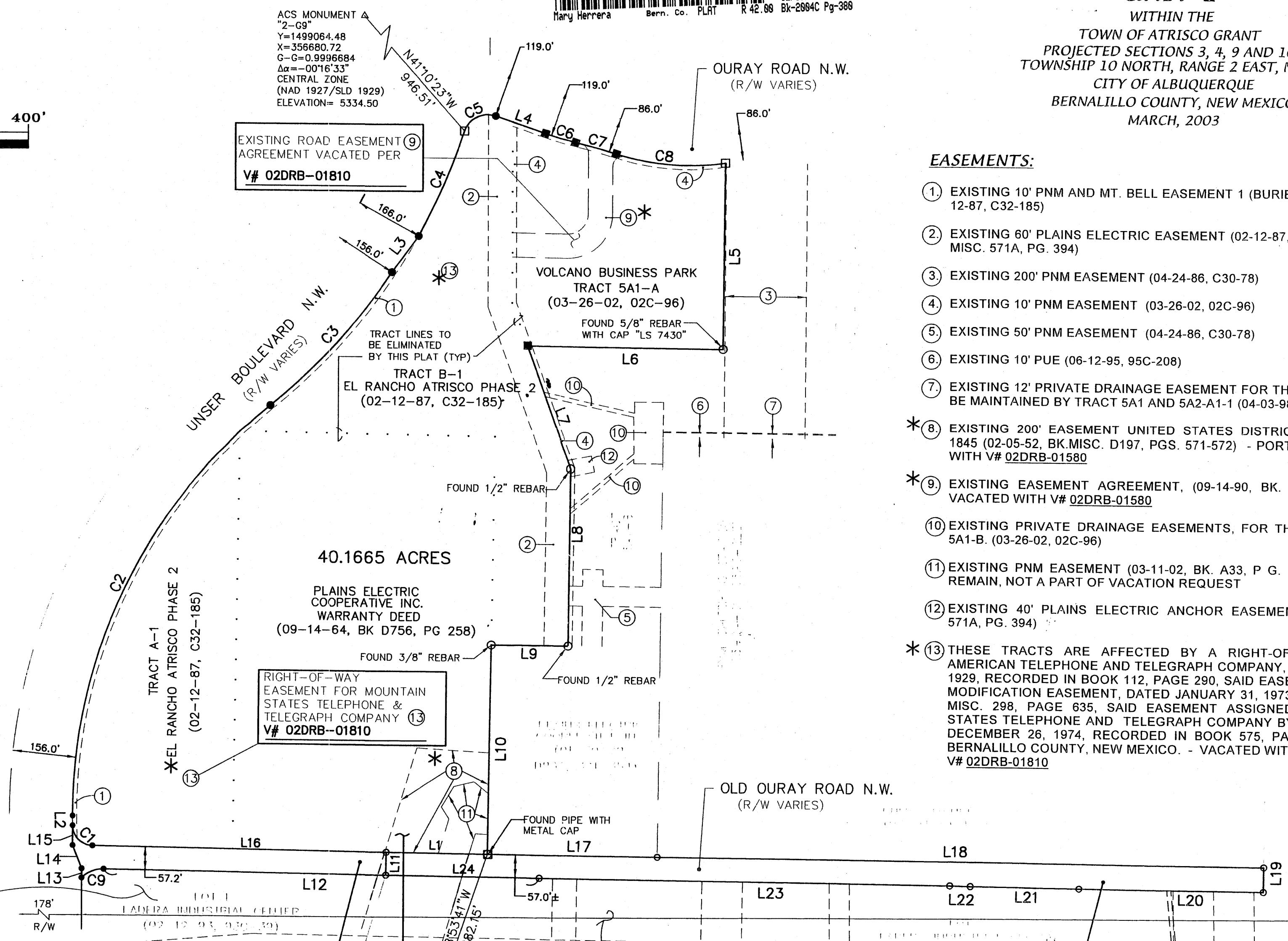


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 Page: 2 of 8
 12/88/2884 11-56R
 Bk-2884C Pg-388

EASEMENTS:

- ① EXISTING 10' PNM AND MT. BELL EASEMENT 1 (BURIED UTILITIES ONLY) (02-12-87, C32-185)
- ② EXISTING 60' PLAINS ELECTRIC EASEMENT (02-12-87, C32-185) (12-23-87, BK. MISC. 571A, PG. 394)
- ③ EXISTING 200' PNM EASEMENT (04-24-86, C30-78)
- ④ EXISTING 10' PNM EASEMENT (03-26-02, 02C-96)
- ⑤ EXISTING 50' PNM EASEMENT (04-24-86, C30-78)
- ⑥ EXISTING 10' PUE (06-12-95, 95C-208)
- ⑦ EXISTING 12' PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF AND TO BE MAINTAINED BY TRACT 5A1 AND 5A2-A1-1 (04-03-98, 98C-89)
- * ⑧ EXISTING 200' EASEMENT UNITED STATES DISTRICT COURT CAUSE NO. 1845 (02-05-52, BK. MISC. D197, PGS. 571-572) - PORTION SHOWN VACATED WITH V# 02DRB-01580
- * ⑨ EXISTING EASEMENT AGREEMENT, (09-14-90, BK. BCR 90-15, PG. 3409) VACATED WITH V# 02DRB-01580
- ⑩ EXISTING PRIVATE DRAINAGE EASEMENTS, FOR THE BENEFIT OF TRACT 5A1-B. (03-26-02, 02C-96)
- ⑪ EXISTING PNM EASEMENT (03-11-02, BK. A33, P G. 1956) - EASEMENT TO REMAIN, NOT A PART OF VACATION REQUEST
- ⑫ EXISTING 40' PLAINS ELECTRIC ANCHOR EASEMENT (12-23-87, BK. MISC. 571A, PG. 394)
- * ⑬ THESE TRACTS ARE AFFECTED BY A RIGHT-OF-WAY EASEMENT TO AMERICAN TELEPHONE AND TELEGRAPH COMPANY, DATED DECEMBER 13, 1929, RECORDED IN BOOK 112, PAGE 290, SAID EASEMENT AMENDED BY A MODIFICATION EASEMENT, DATED JANUARY 31, 1973, RECORDED IN BOOK MISC. 298, PAGE 635, SAID EASEMENT ASSIGNED TO THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY BY ASSIGNMENT DATED DECEMBER 26, 1974, RECORDED IN BOOK 575, PAGE 928 RECORDS OF BERNALILLO COUNTY, NEW MEXICO. - VACATED WITH V# 02DRB-01810

LINE	DIRECTION	DISTANCE
L1	N89°21'18"W (N89°22'42"W)	249.86'
L2	N00°14'03"W (N00°13'32"W)	23.83' (24.03')
L3	N36°08'53"E (N36°09'24"E)	111.22'
L4	S70°47'08"E (S70°47'45"E)	129.37'
L5	S00°31'10"W (S00°34'59"W)	460.02' (459.38')
L6	N89°20'50"W (N89°25'03"W)	483.97' (483.62')
L7	S19°39'38"E (S19°39'13"E)	324.13'
L8	S00°30'08"W (S00°30'41"W)	442.52' (442.49')
L9	N89°28'08"W (N89°27'48"W)	190.41'
L10	S00°38'29"W (S02°29'00"W)	518.45' (518.50')
L11	S00°37'09"W	56.94'
L12	N89°22'47"W (N00°13'32"W)	1076.02'
L13	N00°13'43"E	22.73'
L14	N21°38'44"W	61.88'
L15	N00°14'03"W	49.22'
L16	S89°21'18"E	725.71'
L17	S89°27'44"E	420.00'
L18	S89°28'50"E	1497.99'
L19	S00°34'47"W	60.00'
L20	N89°31'13"W (N89°31'02"W)	455.56'
L21	N89°19'36"W (N89°19'25"W)	268.09'
L22	S88°33'57"E (S88°33'46"E)	51.36'
L23	S89°22'33"E (S89°22'22"E)	1014.26'
L24	S89°22'47"E (S89°22'36"E)	378.64'



EXISTING A.M.A.F.C.A. DRAINAGE EASEMENT
 DISTRICT COURT CASE NO. 7-76-03096
 (09-28-76, BK. MISC. 498, PGS. 648-683)

CURVE	LENGTH	DELTA	RADIUS	TANGENT	DIRECTION	CHORD
C1	77.77' (77.78')	89°07'15" (89°07'46")	50.00'	49.24'	N44°47'40"W (N44°47'25"W)	70.17'
C2	1171.95'	50°47'33"	1322.00'	627.63'	N25°09'44"E (N25°10'14"E)	1133.95'
C3	449.50' (449.49')	17°25'30" (17°25'29")	1478.00'	226.50'	N41°50'45"E (N41°51'16"E)	447.77'
C4	284.65' (284.69')	10°57'38" (10°57'43")	1488.00'	142.76' (142.80')	N23°22'21"E (N23°22'50"E)	284.22' (284.30')
C5	95.63' (95.67')	91°19'20" (91°21'38")	60.00'	61.40' (61.38')	N63°33'12"E (N63°34'47"E)	85.83' (85.81')
C6	78.36'	05°38'50"	795.00'	39.21'	S73°36'33"E (S73°37'10"E)	78.33'
C7	104.51'	04°44'01"	1265.00'	52.28'	S74°27'06"E (S74°27'43"E)	104.48'
C8	273.34' (273.36')	25°40'01" (25°40'07")	610.17'	139.00' (139.01')	S85°22'31"E (S85°23'08"E)	271.06' (271.08')
C9	59.98'	45°49'04"	75.00'	31.69'	S67°42'51"W	58.39'

OLD OURAY ROAD N.W.
 1.0211 AC RIGHT-OF-WAY
 VACATED PER
 V# 02DRB-01579

EXISTING PNM EASEMENT
 PORTION VACATED PER
 V# 02DRB-01580

ACS MONUMENT
 "BH-39"
 Y=1494777.28
 X=356760.08
 G-C=0.9996750
 Δα=-00°16'32"
 CENTRAL ZONE
 (NAD 1927/SLD 1929)
 ELEVATION= 5195.46

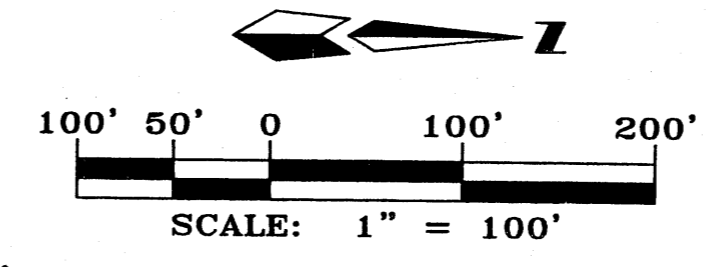
- PROPERTY CORNERS**
- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
 - SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
 - FOUND "+" CROSS ON SIDEWALK (TYP)
 - FOUND 5/8" REBAR WITH CAP "NMP5 NO. 11993" (TYP)

OLD OURAY ROAD N.W.
 2.9097 AC RIGHT-OF-WAY
 VACATED PER
 V# 03DRB-00220

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 05-07-03

AMENDED PLAT FOR WEST RIDGE SUBDIVISION UNIT 1

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 3, 4, 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2003



* Clear Site Easement
 for Benefit of Public to
 be maintained by the owners
 of lots 17 and 18 Block 3
 to be kept clear of any
 obstruction.

NOTE: ▲
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED
 AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET
 INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR
 INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE",
 "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ABBREVIATIONS
 10' PUE = PUBLIC UTILITY EASEMENTS
 GRANTED WITH THIS PLAT
 ROW = RIGHT-OF-WAY

ALL STREETS SHOWN
 HEREON ARE HEREBY
 DEDICATED AS PUBLIC
 RIGHT-OF-WAY

20' PUBLIC PEDESTRIAN ACCESS
 EASEMENT GRANTED BY THIS
 PLAT. (SEE NOTE 10, SHEET 4)

TRACT "F"
 13.4549 AC.

TRACT "A"
 5.0719 AC.

TRACT "B"
 1.5684 AC.

TRACT "C"
 3.6462 AC.

TRACT "E"
 (PUBLIC DRAINAGE RIGHT-OF-WAY)
 0.8609 AC.

TRACT "D"
 0.2247 AC.

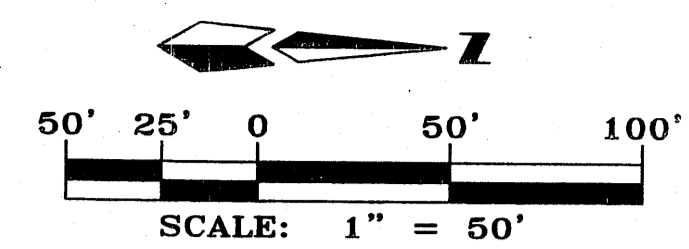
NEW PUBLIC DRAINAGE RIGHT-OF-WAY
 DEDICATED IN FEE SIMPLE TO
 A.M.A.F.C.A., FOR THE BENEFIT OF
 A.M.A.F.C.A. BY THIS PLAT AND TO BE
 MAINTAINED BY PNM. (3.9196 AC.)
 NEW PUBLIC WATER, SANITARY
 SEWER, AND DRAINAGE EASEMENT
 GRANTED TO THE CITY OF
 ALBUQUERQUE BY THIS PLAT.
 NEW PRIVATE ACCESS EASEMENT
 GRANTED BY THIS PLAT. (SEE
 NOTE 7 SHEET 4)
 NEW PUBLIC UTILITY EASEMENT
 (PUE) GRANTED WITH THIS PLAT

05-07-03

Dwg: A2031FPSHT3A.dwg	Drawn: CHRIS	Checked: ALS	Sheet 3 of 8
Scale: 1"=100'	Date: 05/06/03	Job: A02031	

**AMENDED PLAT FOR
 WEST RIDGE SUBDIVISION
 SUBDIVISION**

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 3, 4, 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 FEBRUARY, 2003



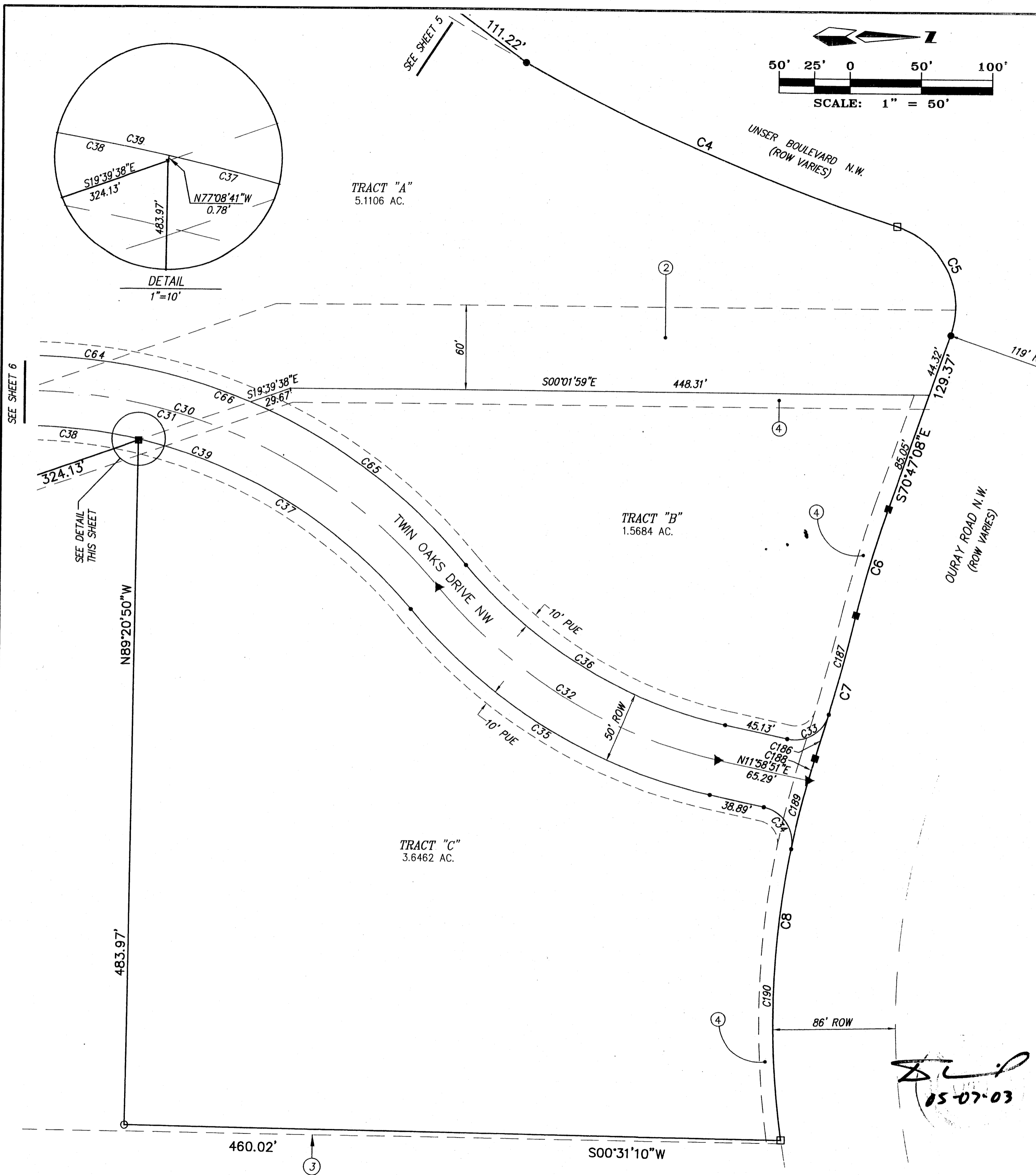
NOTE: ▲
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

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ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

- NOTES:**
- Bearings are grid based on the New Mexico State Plane Coordinate System (Central Zone).
 - Distances are ground distances.
 - Bearings and distances in parenthesis are record.
 - Basis of boundary are the following plats of record entitled:
 - PLAT FOR "LADERA INDUSTRIAL CENTER, LOTS 1 AND 2", (02-12-93, 93C-39)
 - PLAT FOR "VOLCANO BUSINESS PARK", (03-26-02, 02C-96)
 - PLAT FOR "VOLCANO BUSINESS PARK, PHASE I", (04-24-86, C30-78)
 - PLAT FOR "VOLCANO BUSINESS PARK, PHASE II", (04-03-98, 98C-89)
 - PLAT FOR "EL RANCHO ATRISCO, PHASE 3, TRACTS 5-A & 6-A", (02-12-87, C32-184)
 - PLAT FOR "EL RANCHO ATRISCO, PHASE 2, TRACTS A-1 & B-1", (02-12-87, C32-185)
 - PNM SWITCHING STATION (WD: 05-04-61, BK. D593, PG. 223)
 - PLAINS ELECTRIC COOPERATIVE, INC. (WD: 09-14-64, BK. D756, PG. 258)
 - PLAINS ELECTRIC COOPERATIVE, INC. (QCD: 01-30-79, BK. D83A, PGS. 321-354)
 all being records of Bernalillo County, New Mexico.
 - Tracts A, B, C, & D are hereby created for future development.
 - Tract E is dedicated to the City of Albuquerque for Public Drainage Right-of-way by this plat.
 - New Private Access Easement granted to the owners of Lands of Plains Electric generation and Transmission Co-op, Inc. (01-30-79, BK D83A, PG. 321-354) and the Lands of PNM (05-04-61, BK D-593, PG 223), its successors or assigns, by this plat and to be jointly maintained by said owners. Access by beneficiaries shall be free and unrestricted.
 - Except for the following 53 lots open space requirements of the city of Albuquerque are met on the lot with the dwellings as shown on the plat. Lots 1-6, Block 1, Lots 1-5, 10-15, 61, 63-65 Block 2, Lots 2, 4-15, 18, 21-31, Block 3, Lots 12, 16-17, Block 4, Lots 11-14, Block 5, a total of 53 lots, shall have a maximum combined structure foot print and drive way area such that the remaining open space is 2400 square feet or provide payment to the Parks and Recreation Diversion (cash-in-lieu) for the deficit in meeting the 2400 S.F. open space
 - Setbacks are as shown and noted on the Amended Site Development Plan for Subdivision. (Case No. 02DRB-01581)
 - 20' Pedestrian Access Easement granted to, for the benefit of, and to be maintained by the City of Albuquerque. 20' Public Utility Easement (PUE) granted with this plat.
 - Blanket Public Water, Sanitary Sewer and Pedestrian Access Easement granted to, for the benefit of, and to be maintained by the City of Albuquerque.

ALS
 05-07-03



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Scale: 1"=50'	Date: 04/22/03	Job: A02031	

AMENDED PLAT FOR WEST RIDGE SUBDIVISION UNIT 1

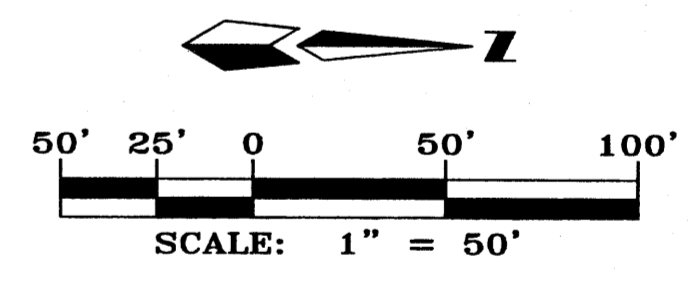
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 3, 4, 9 AND 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2003

PRIVATE DRAINAGE EASEMENTS:

2' wide private drainage easements are located in some side yards as shown hereon. Where the difference in elevation between the two adjacent pads is 0.8' or less the easement is centered on the lot line. Where the difference is more than 0.8' but less than 1.4' the easement is entirely on the low side of the lot line and immediately adjacent to that lot line. Where the easement is centered on the lot line it is for the mutual benefit of both lot owners and is to be jointly maintained. Where the easement is entirely on the low side of the lot line the easement is for the benefit of the adjacent "high side" lot owner and shall be maintained by the underlying "low side" lot owner. Neither lot owner is allowed to change the planned grade within the 2' wide private drainage easement, nor shall either lot owner place any loose material adjacent to the easement that has the potential to be moved into the drainage easement or in any other way block drainage in any portion of the easement, except that a fence or block wall may be centered on the lot line. Under no circumstances shall the grade adjacent to the easement on either side of the easement be changed except by a structurally sound retaining wall, as designed by a registered professional engineer or architect. Where no easement is shown on the plat each lot owner must construct, operate and maintain his own separate swale all the way to the street and cross lot drainage will be prevented by some combination of walls and berms on the common lot line to be jointly maintained by both lot owners.

EASEMENTS

- (A) 2' PRIVATE DRAINAGE EASEMENT CENTERED ON LOT LINE (SEE NOTE THIS SHEET)
- (B) 2' PRIVATE DRAINAGE EASEMENT ON LOW SIDE OF LOT LINE (SEE NOTE THIS SHEET)



NOTE: ▲
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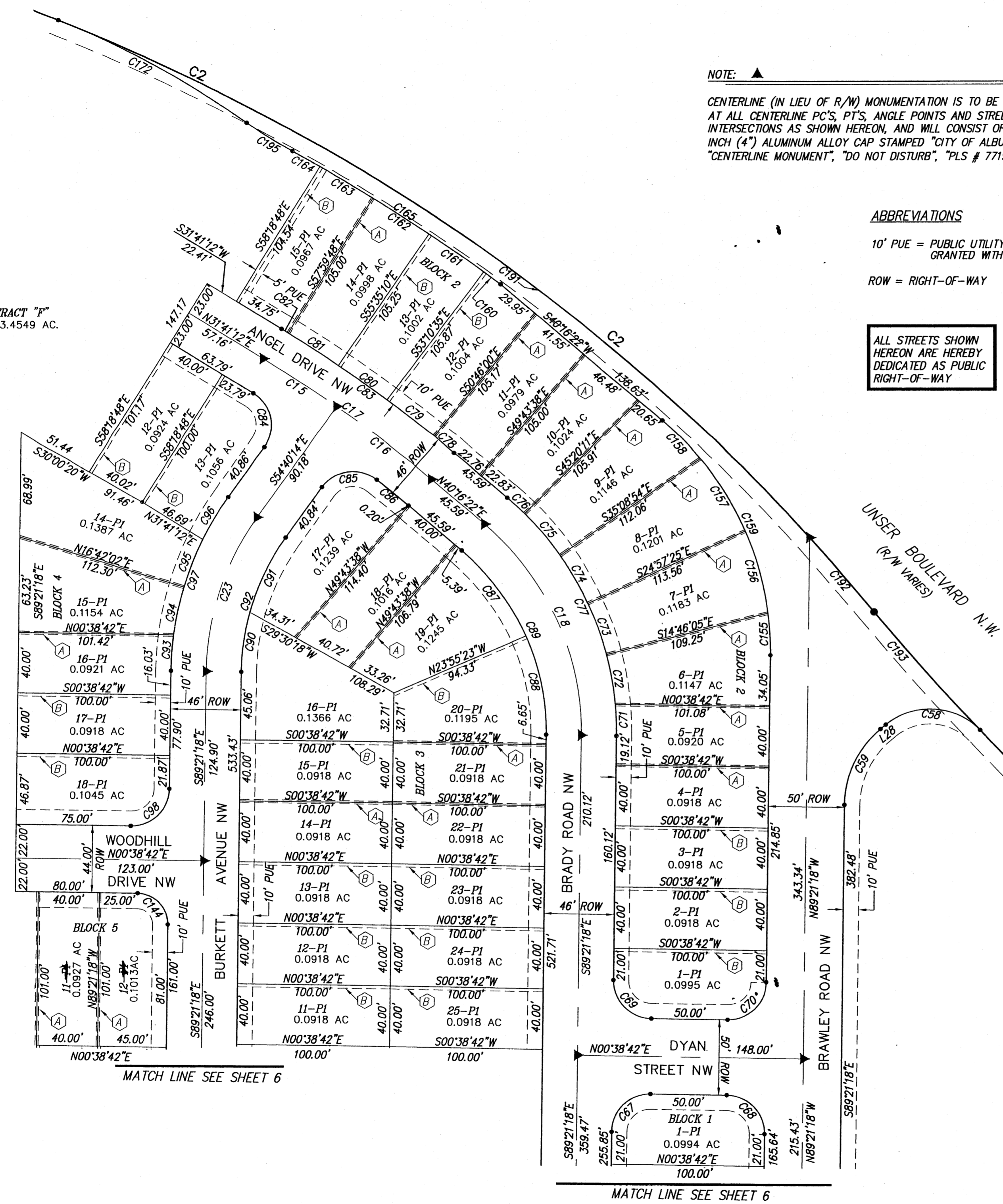
ABBREVIATIONS

- 10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
- ROW = RIGHT-OF-WAY

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

TRACT "F"
13.4549 AC.

TRACT "F"
(SEE SHEETS 7 & 8)



TRACT "A"
5.0719 AC.

[Signature]
03-27-03

SEE SHEET 4

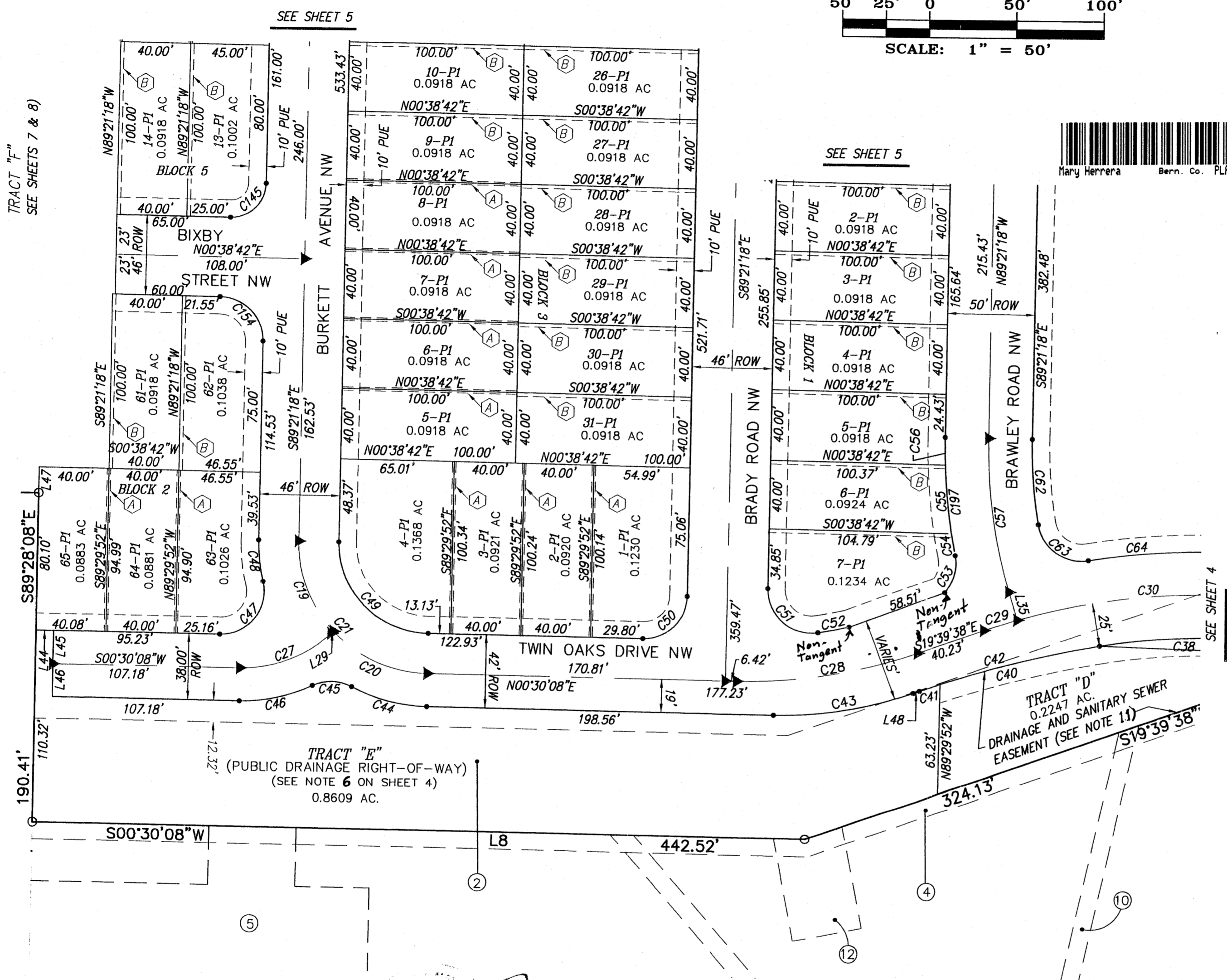
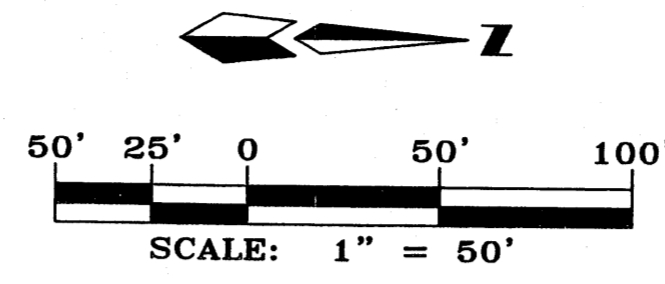
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NOTE: ▲

CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

AMENDED PLAT FOR WEST RIDGE SUBDIVISION UNIT 1

WITHIN THE TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 3, 4, 9 AND 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2003



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Page: 8 of 8
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5865886
05/13/2883 09:28R
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CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C15	907.58	57.70	3°38'34"	28.86	S33°30'29"W	57.69
C16	907.58	78.30	4°56'36"	39.18	S37°48'04"W	78.28
C17	907.58	136.01	8°35'10"	68.13	S35°58'47"W	135.88
C18	180.00	158.25	50°22'20"	84.65	S65°27'32"W	153.20
C19	75.00	57.51	43°55'55"	30.25	N68°40'45"E	56.11
C20	75.00	60.49	46°12'39"	32.00	N23°36'27"E	58.86
C21	75.00	118.00	90°08'35"	75.19	N45°34'25"E	106.20
C23	180.00	108.96	34°41'04"	56.21	S72°00'46"E	107.31
C27	75.00	57.32	43°47'21"	30.14	N21°23'33"W	55.94
C28	300.00	105.57	20°09'46"	53.34	N09°34'45"W	105.03
C29	375.00	20.03	3°03'36"	10.02	S18°07'50"E	20.02
C30	375.00	438.00	66°55'19"	247.84	S16°51'37"W	413.53
C31	375.00	458.03	69°58'55"	262.49	S15°19'49"W	430.08
C32	350.00	234.21	38°20'26"	121.68	N31°09'04"E	229.86
C33	25.00	37.31	85°30'44"	23.11	N30°46'32"W	33.94
C34	25.00	38.96	89°16'45"	24.69	S56°37'13"W	35.13
C35	375.00	250.94	38°20'26"	130.37	N31°09'04"E	246.28
C36	325.00	217.48	38°20'26"	112.99	N31°09'04"E	213.44
C37	350.00	229.04	37°29'37"	118.79	S31°34'28"W	224.97
C38	350.00	138.44	22°39'49"	70.14	S01°29'45"W	137.54
C39	350.00	367.48	60°09'26"	202.71	S20°14'34"W	350.83
C40	622.75	94.19	8°39'58"	47.19	S14°10'08"E	94.10
C41	622.75	12.59	1°09'31"	6.30	S19°04'52"E	12.59
C42	622.75	106.78	9°49'29"	53.52	S14°44'54"E	106.65
C43	231.64	81.51	20°09'46"	41.18	N09°34'45"W	81.09
C44	94.00	44.86	27°20'34"	22.86	N14°10'25"E	44.43
C45	25.00	23.99	54°58'59"	13.01	S00°21'12"W	23.08
C46	94.00	43.11	26°16'31"	21.94	N12°38'08"W	42.73
C47	25.00	45.43	104°07'01"	32.07	N51°33'23"W	39.43
C48	98.00	24.39	14°15'36"	12.26	N83°30'54"E	24.33
C49	52.00	81.81	90°08'35"	52.13	N45°34'25"E	73.63
C50	25.00	39.21	89°51'25"	24.94	N44°25'35"W	35.31
C51	25.00	43.52	99°44'59"	29.66	N40°46'12"E	38.23
C52	275.00	18.22	3°47'46"	8.35	N11°00'10"W	18.22
C53	25.00	23.35	53°30'47"	12.55	N74°43'35"W	22.51
C54	325.00	12.95	2°17'00"	6.48	N79°39'32"E	12.95
C55	325.00	40.27	7°05'57"	20.16	N84°21'00"E	40.24
C56	325.00	15.57	2°44'44"	7.79	N89°16'20"E	15.57
C57	300.00	90.30	17°14'45"	45.49	N82°01'20"E	89.96
C58	45.00	67.96	86°31'47"	42.35	S03°13'50"W	61.68
C59	66.00	56.81	49°19'15"	30.30	S64°41'40"E	55.08
C62	275.00	49.65	10°20'38"	24.89	N85°28'23"E	49.58
C63	25.00	39.23	89°53'59"	24.96	N35°21'05"E	35.32
C64	400.00	226.96	32°30'36"	116.63	S06°39'24"W	223.93
C65	400.00	191.36	27°24'35"	97.55	S36°36'59"W	189.54
C66	400.00	418.32	59°55'11"	230.57	S20°21'41"W	399.51
C67	25.00	39.27	90°00'00"	25.00	S44°21'18"E	35.36
C68	25.00	39.27	90°00'00"	25.00	S45°38'42"W	35.36
C69	25.00	39.27	90°00'00"	25.00	N45°38'42"E	35.36
C70	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C71	203.00	20.91	5°54'11"	10.47	S87°41'37"W	20.91
C72	203.00	33.69	9°30'36"	16.89	S79°59'13"W	33.66

LINE ID	LENGTH	BEARING	LINE ID	LENGTH	BEARING
L17	420.00	S89°27'44"E	L37	32.42	N33°03'06"W
L18	1497.99	S89°28'50"E	L38	14.96	N23°50'44"E
L19	60.00	S00°34'47"W	L39	45.32	N31°07'45"E
L20	455.56	N89°31'13"W	L40	50.93	N76°13'00"E
L21	268.09	N89°19'36"W	L41	46.73	S50°54'18"E
L22	51.36	N88°33'57"W	L42	53.15	N16°40'26"E
L23	1014.26	N89°22'33"W	L43	30.70	S86°36'04"E
L24	378.63	N89°22'47"W	L44	10.01	N00°30'08"E
L28	4.52	N40°02'03"W	L45	19.00	S89°29'52"E
L29	1.79	N43°17'13"W	L46	19.00	S89°29'52"E
L35	16.79	N73°23'57"E	L47	15.00	S89°21'18"E
L36	89.38	N16°22'38"E	L48	3.78	S19°39'38"E

ABBREVIATIONS

10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT

ROW = RIGHT-OF-WAY

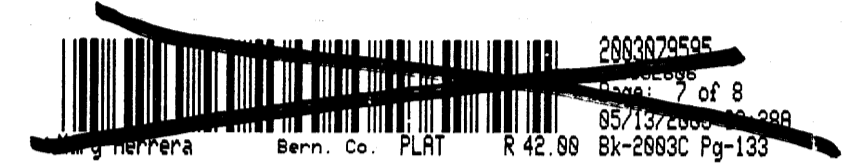
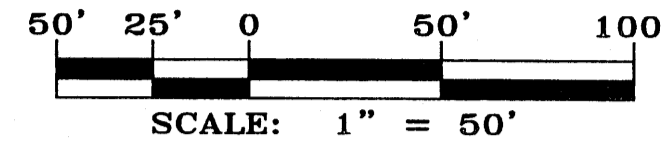
EASEMENTS

- (A) 2' PRIVATE DRAINAGE EASEMENT CENTERED ON LOT LINE (SEE NOTE SHEET 5)
- (B) 2' PRIVATE DRAINAGE EASEMENT ON LOW SIDE OF LOT LINE (SEE NOTE SHEET 5)

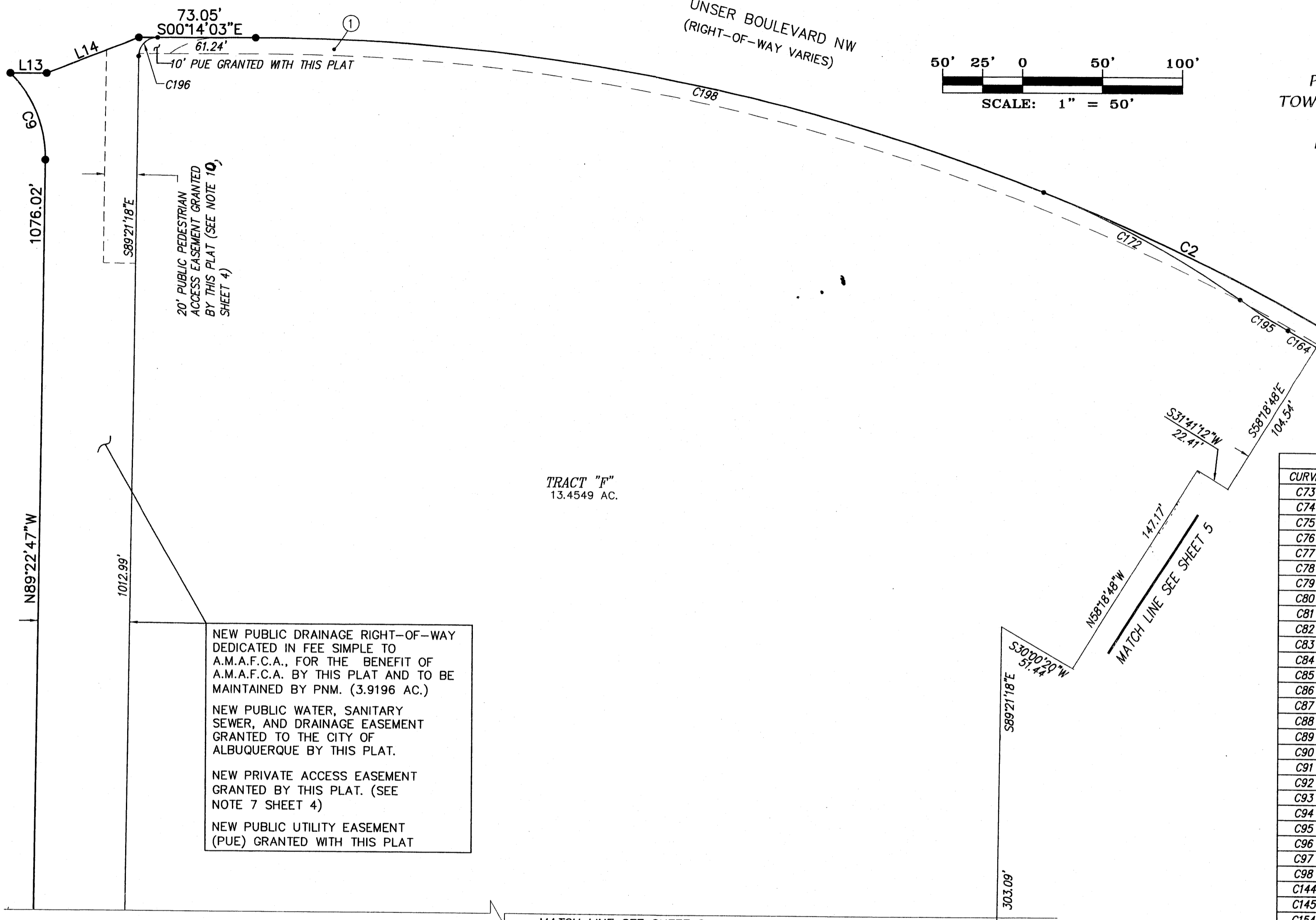
ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

AMENDED PLAT FOR
WEST RIDGE SUBDIVISION
UNIT 1

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 3, 4, 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2003



CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C73	203.00	36.10	10°11'20"	18.10	S70°08'15"W	36.05
C74	203.00	36.11	10°11'30"	18.10	S59°56'51"W	36.06
C75	203.00	36.10	10°11'17"	18.10	S49°45'27"W	36.05
C76	203.00	15.56	4°23'26"	7.78	S42°28'05"W	15.55
C77	203.00	178.47	50°22'20"	95.46	S65°27'32"W	172.78
C78	930.58	16.88	1°02'22"	8.44	S39°45'11"W	16.88
C79	930.58	39.14	2°24'36"	19.57	S38°01'43"W	39.14
C80	930.58	39.14	2°24'35"	19.57	S35°37'07"W	39.14
C81	930.58	39.15	2°24'38"	19.58	S33°12'31"W	39.15
C82	930.58	5.14	0°18'59"	2.57	S31°50'42"W	5.14
C83	930.58	139.45	8°35'10"	69.86	S35°58'47"W	139.32
C84	25.00	40.86	93°38'34"	26.64	S78°30'29"W	36.46
C85	25.00	40.67	93°12'04"	26.44	S08°04'12"E	36.33
C86	884.58	26.90	1°44'32"	13.45	S39°24'06"W	26.90
C87	157.00	70.71	25°48'14"	35.96	S53°10'29"W	70.11
C88	157.00	67.32	24°34'05"	34.19	S78°21'39"W	66.81
C89	157.00	138.03	50°22'20"	73.83	S65°27'32"W	133.63
C90	157.00	40.36	14°43'45"	20.29	S81°59'25"E	40.25
C91	157.00	54.68	19°57'19"	27.62	S64°38'53"E	54.41
C92	157.00	95.04	34°41'04"	49.03	S72°00'46"E	93.60
C93	203.00	24.03	6°46'58"	12.03	S85°57'49"E	24.02
C94	203.00	32.85	9°16'22"	16.46	S77°56'09"E	32.82
C95	203.00	33.33	9°24'27"	16.70	S68°35'45"E	33.29
C96	203.00	32.67	9°13'17"	16.37	S59°16'52"E	32.64
C97	203.00	122.89	34°41'04"	63.39	S72°00'46"E	121.02
C98	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C144	20.00	31.42	90°00'00"	20.00	S45°38'42"W	28.28
C145	20.00	31.42	90°00'00"	20.00	N44°21'18"W	28.28
C154	25.00	39.27	90°00'00"	25.00	S45°38'42"W	35.36
C155	200.00	28.15	8°03'55"	14.10	S86°36'45"W	28.13
C156	200.00	56.19	16°05'45"	28.28	S74°31'55"W	56.00
C157	200.00	56.31	16°07'50"	28.34	S58°25'07"W	56.12
C158	200.00	35.19	10°04'49"	17.64	S45°18'47"W	35.14
C159	200.00	175.83	50°22'20"	94.05	S65°27'32"W	170.22
C160	1310.00	13.65	0°35'50"	6.83	S36°02'51"W	13.65
C161	1310.00	43.58	1°54'22"	21.79	S34°47'45"W	43.58
C162	1310.00	43.57	1°54'21"	21.79	S32°53'23"W	43.57
C163	1310.00	40.47	1°46'13"	20.24	S31°03'07"W	40.47
C164	1310.00	20.55	0°53'56"	10.28	S29°43'02"W	20.55
C165	1310.00	161.84	7°04'42"	81.02	S32°48'25"W	161.73
C172	577.00	140.36	13°56'16"	70.53	S28°35'46"W	140.01
C186	1265.00	31.94	1°26'48"	15.97	N72°48'30"W	31.94
C187	1265.00	72.57	3°17'13"	36.29	N75°10'30"W	72.56
C188	610.17	16.29	1°31'47"	8.15	S73°18'24"E	16.29
C189	610.17	49.72	4°40'07"	24.87	S76°24'21"E	49.71



20' PUBLIC PEDESTRIAN ACCESS EASEMENT GRANTED BY THIS PLAT (SEE NOTE 10, SHEET 4)

NEW PUBLIC DRAINAGE RIGHT-OF-WAY DEDICATED IN FEE SIMPLE TO A.M.A.F.C.A., FOR THE BENEFIT OF A.M.A.F.C.A. BY THIS PLAT AND TO BE MAINTAINED BY PNM. (3.9196 AC.)
 NEW PUBLIC WATER, SANITARY SEWER, AND DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.
 NEW PRIVATE ACCESS EASEMENT GRANTED BY THIS PLAT. (SEE NOTE 7 SHEET 4)
 NEW PUBLIC UTILITY EASEMENT (PUE) GRANTED WITH THIS PLAT

TRACT "F"
 13.4549 AC.

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

ABBREVIATIONS

10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
 ROW = RIGHT-OF-WAY

EASEMENTS

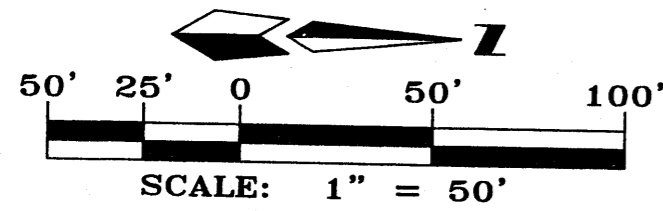
- (A) 2' PRIVATE DRAINAGE EASEMENT CENTERED ON LOT LINE (SEE NOTE SHEET 5)
- (B) 2' PRIVATE DRAINAGE EASEMENT ON LOW SIDE OF LOT LINE (SEE NOTE SHEET 5)

NOTE: ▲
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

DCI
 05-07-03

NOTE: ▲

CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".



MATCH LINE SEE SHEET 7

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C190	610.17	207.33	19°28'07"	104.67	S88°28'28"E	206.33
C191	1322.00	602.65	26°07'08"	306.65	S34°42'05"W	597.44
C192	1322.00	64.55	2°47'51"	32.28	S49°09'35"W	64.54
C193	1478.00	104.81	4°03'46"	52.43	N48°31'37"E	104.78
C194	1478.00	344.69	13°21'44"	173.13	N39°48'52"E	343.91
C195	323.00	35.50	6°17'50"	17.77	N32°24'59"E	35.48
C196	12.00	18.67	89°07'15"	11.82	S44°47'40"E	18.84
C197	325.00	68.79	12°07'41"	34.53	N84°34'52"E	68.67
C198	1322.00	504.75	21°52'34"	255.49	S10°42'14"W	501.69

AMENDED PLAT FOR
WEST RIDGE SUBDIVISION
UNIT 1

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 3, 4, 9 AND 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMMP
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2003

DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Sections 3, 4, 9 and 10, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 5A1-A, VOLCANO BUSINESS PARK as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 26, 2002 in Book 2002C, Page 96 and all of TRACTS A-1 and B-1, EL RANCHO ATRISCO, PHASE II as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 12, 1987 in Volume C32, Folio 185 together with all of LANDS OF PLAINS ELECTRIC COOPERATIVE, INC. as the same is described in a WARRANTY DEED filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 14, 1964 in Book D756, Page 258 together with a portion of VACATED OLD OURAY ROAD N.W. and being more particularly described as follows:

BEGINNING at a point of the herein described tract from whence the Albuquerque Control Survey Monument "2-G9" bears N 41°10'23" W, 946.51 feet;

THENCE 95.63 feet along a curve to the right, whose radius is 60.00 feet through a central angle of 91°19'20" and whose chord bears N 63°33'12" E, 85.83 feet to a point of tangency;

THENCE S 70°47'08" E, 129.37 to a point of curvature;

THENCE 78.36 feet along a curve to the left, whose radius is 795.00 feet through a central angle of 05°38'50" and whose chord bears S 73°36'33" E, 78.33 feet to a point of reverse curvature;

THENCE 104.51 feet along a curve to the right, whose radius is 1265.00 feet through a central angle of 04°44'01" and whose chord bears S 74°27'06" E, 104.48 feet to a point of reverse curvature;

THENCE 273.34 feet along a curve to the left, whose radius is 610.17 feet through a central angle of 25°40'01" and whose chord bears S 85°22'31" E, 271.06 feet to a point;

- | | |
|--|---|
| THENCE S 00°31'10" W, 460.02 feet to a point; | THENCE N 89°20'50" W, 483.97 feet to a point; |
| THENCE S 19°39'38" E, 324.13 feet to a point; | THENCE S 00°30'08" W, 442.52 feet to a point; |
| THENCE N 89°28'08" W, 190.41 feet to a point; | THENCE S 00°38'29" W, 518.45 feet to a point; |
| THENCE S 89°27'44" E, 420.00 feet to a point; | THENCE S 89°28'50" E, 1497.99 feet to a point |
| THENCE S 00°34'47" W, 60.00 feet to a point; | THENCE N 89°31'13" W, 455.56 feet to a point; |
| THENCE N 89°19'36" W, 268.09 feet to a point; | THENCE N 88°33'57" W, 51.36 feet to a point; |
| THENCE N 89°22'33" W, 1014.26 feet to a point; | THENCE N 89°22'47" W, 1076.02 feet to a point of curvature; |

THENCE 59.98 feet along a curve to the left, whose radius is 75.00 feet through a central angle of 45°49'04" and whose chord bears S 67°42'51" W, 58.39 feet to a point on tangent;

THENCE N 00°13'43" E, 22.73 feet to a point; THENCE N 21°38'44" W, 61.88 feet to a point;

THENCE N 00°14'03" W, 73.03 feet to a point of curvature;

THENCE 1171.95 feet along a curve to the right, whose radius is 1322.00 feet through a central angle of 50°47'33" and whose chord bears N 25°09'44" E, 1133.95 feet to a point of reverse curvature;

THENCE 449.50 feet along a curve to the left, whose radius is 1478.00 feet through a central angle of 17°25'30" and whose chord bears N 41°50'45" E, 447.77 feet to a point on tangent;

THENCE N 36°08'53" E, 111.22 feet to a point on curvature;

THENCE 284.65 feet along a curve to the left, whose radius is 1488.00 feet through a central angle of 10°57'38" and whose chord bears N 23°22'21" E, 284.22 feet to the point of beginning and containing 40.1665 acres more or less.

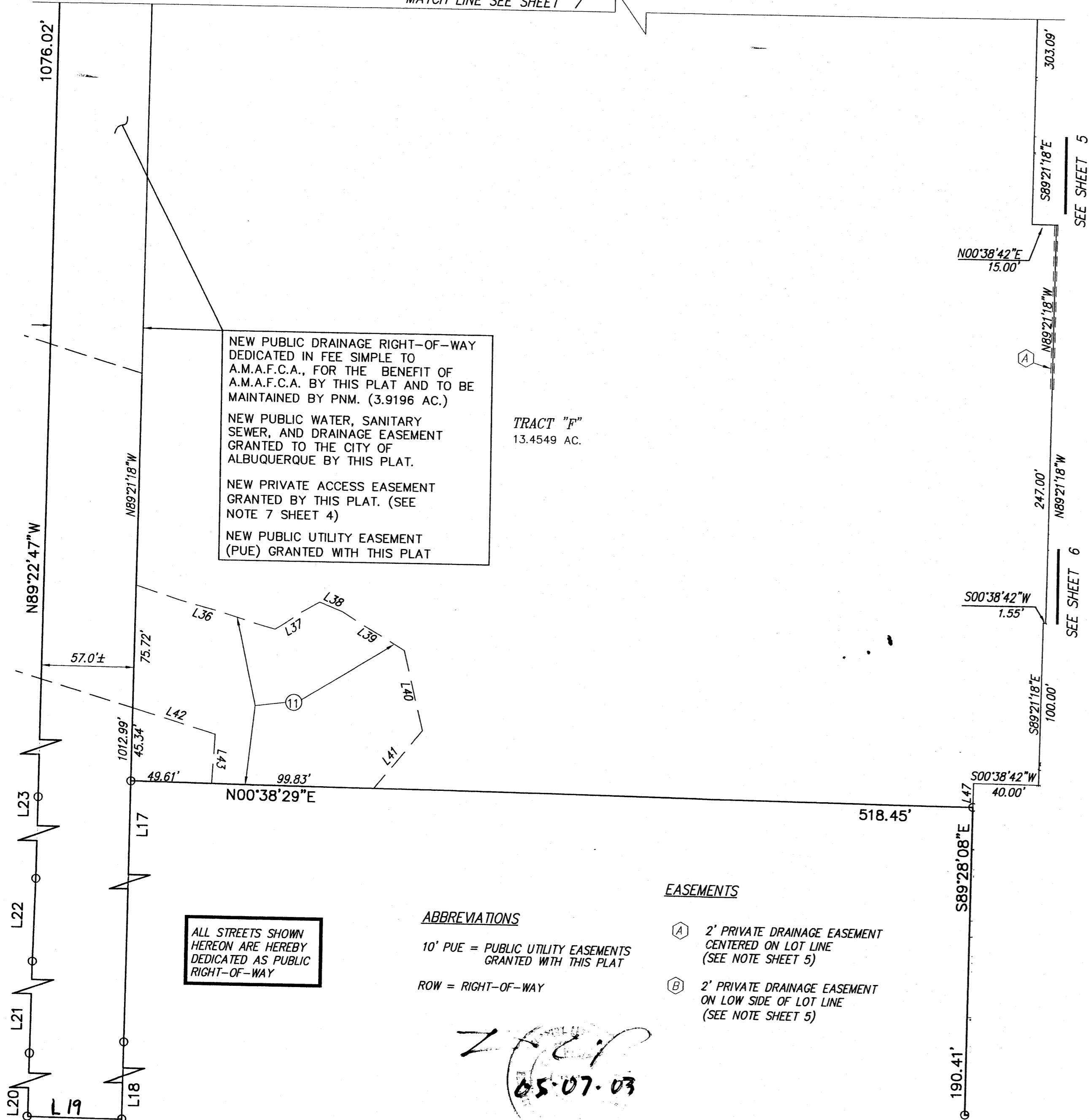
NEW PUBLIC DRAINAGE RIGHT-OF-WAY DEDICATED IN FEE SIMPLE TO A.M.A.F.C.A., FOR THE BENEFIT OF A.M.A.F.C.A. BY THIS PLAT AND TO BE MAINTAINED BY PNM. (3.9196 AC.)

NEW PUBLIC WATER, SANITARY SEWER, AND DRAINAGE EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE BY THIS PLAT.

NEW PRIVATE ACCESS EASEMENT GRANTED BY THIS PLAT. (SEE NOTE SHEET 4)

NEW PUBLIC UTILITY EASEMENT (PUE) GRANTED WITH THIS PLAT

TRACT "F"
13.4549 AC.

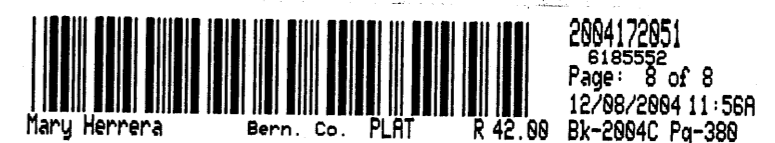


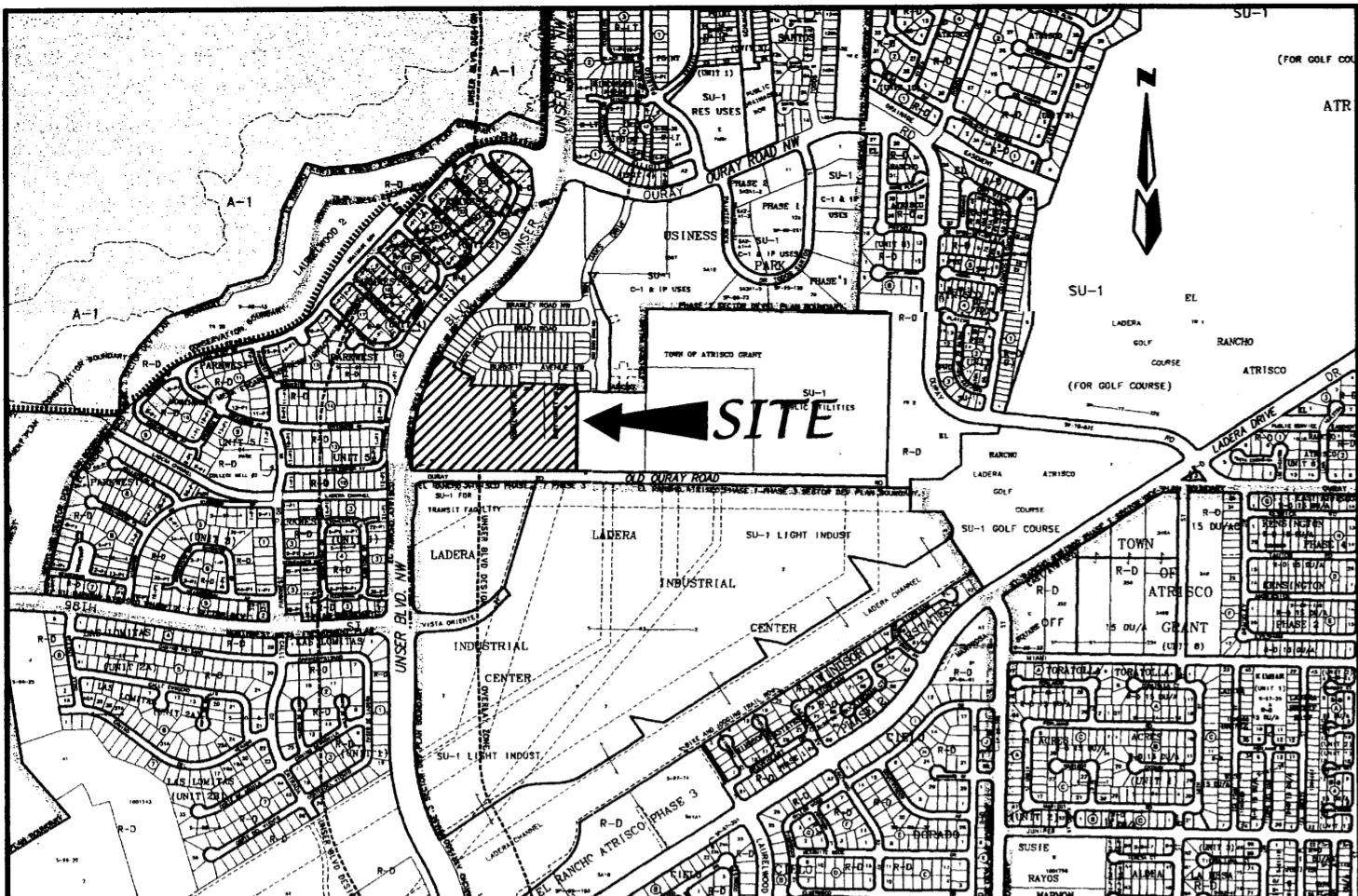
ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

ABBREVIATIONS
10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
ROW = RIGHT-OF-WAY

EASEMENTS
A 2' PRIVATE DRAINAGE EASEMENT CENTERED ON LOT LINE (SEE NOTE SHEET 5)
B 2' PRIVATE DRAINAGE EASEMENT ON LOW SIDE OF LOT LINE (SEE NOTE SHEET 5)

Z. C. J.
05-07-03





LOCATION MAP **ZONE ATLAS G-9, G-10, H-9 & H-10**
SCALE: NONE


SUBDIVISION DATA

Plat Case No.'s.....	DRB Project No. 1001932
Case No.'s.....	02DRB-01578, 02DRB-01579 02DRB-01580, 02DRB-01581 03DRB-00220, 03DRB-00353
Gross Acreage.....	13.4549 AC.
Zone Atlas No.....	G-9, G-10, H-9, & H-10
No. of existing Tracts/Lots.....	1 Tract
No. of Tracts/Lots created.....	100 Lots
No. of Tracts/Lots eliminated.....	1 Tract
Miles of full width streets created.....	0.57
Area dedicated to the City of Albuquerque.....	3.6994 AC.
Date of Survey.....	JUNE 2002
Utility Control Location System Log Number.....	2002240820
Zoning.....	SU-1/RD

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets, public right-of-ways shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

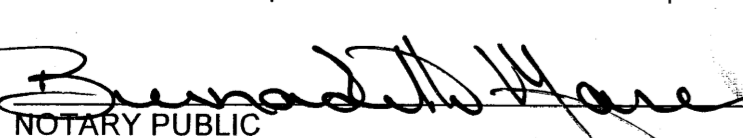
OWNER: KB HOME New Mexico, Inc., a New Mexico Corporation
BY: Greg Breedlove, Vice-President of Land Development

 3/21/03
Greg Breedlove DATE

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
COUNTY OF BERNALILLO

This instrument was acknowledged before me on 21 day of March 2003
By Greg Breedlove, Vice-President of Land Development for KB HOME New Mexico, Inc.,
A New Mexico Corporation on behalf of said corporation

 12/14/05
NOTARY PUBLIC MY COMMISSION EXPIRES

LEGAL DESCRIPTION (SEE SHEET 2)

NOTES: (SEE SHEET 2)

PURPOSE OF PLAT

1. Subdivide one existing tract into 100 Residential Lots.
2. Grant easements as shown hereon.
3. Dedicate right-of-way as shown hereon.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The PNM Gas Services Division for installation, maintenance, and service of natural gas lines, valves and any other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, Relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with the free access to from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

PLAT FOR
WEST RIDGE SUBDIVISION
UNIT 2
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 9 AND 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2003

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994. 12/31/03

DRB Project No. 1001932

Application No. _____

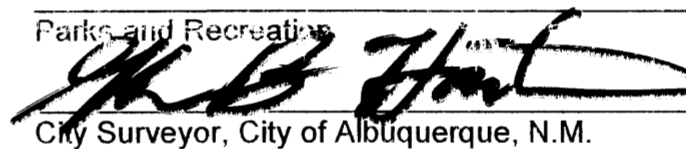
Planning Director, City of Albuquerque, N.M. _____ Date

City Engineer, City of Albuquerque, N.M. _____ Date

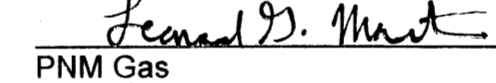
Albuquerque Metropolitan Arroyo Flood Control Authority _____ Date

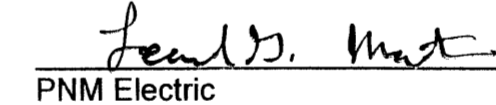
Transportation Development, City of Albuquerque, N.M. _____ Date


Utility Development Division, City of Albuquerque, N.M. _____ Date


Parks and Recreation _____ Date
 4/8/03
City Surveyor, City of Albuquerque, N.M. _____ Date

Property Management, City of Albuquerque, N.M. _____ Date

 4-8-03
PNM Gas _____ Date

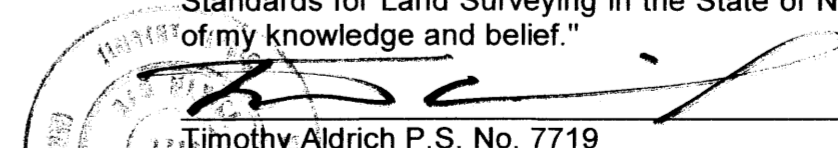
 4-8-03
PNM Electric _____ Date

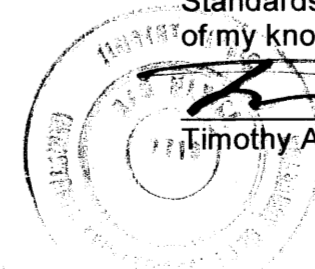
 4-10-03
Qwest Telecommunications _____ Date

 4-8-03
Comcast Cable _____ Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

 04-08-03
Timothy Aldrich P.S. No. 7719 Date



P.O. BOX 30701, ALBU., N.M. 87190
505-884-1990

Dwg: A2031U2SHT1.dwg	Drawn: RICHARD	Checked: ALS	Sheet 1 of 5
Scale: N/A	Date: 03/21/03	Job: A02031	

PLAT FOR
**WEST RIDGE SUBDIVISION
UNIT 2**

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 9 AND 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2003

LEGAL DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Sections 9 and 10, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT "F", WEST RIDGE SUBDIVISION UNIT 1 as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 13, 2003 in Book 2003C, Page 133 and containing 13.4549 acres more or less.

NOTES:

- Bearings are grid based on the New Mexico State Plane Coordinate System (Central Zone).
- Distances are ground distances.
- Bearings and distances in parenthesis are record.
- Basis of boundary are the following plats of record entitled:

PLAT FOR WEST RIDGE SUBDIVISION UNIT 1, (05-13-03, 03C-133)
 PLAT FOR "LADERA INDUSTRIAL CENTER, LOTS 1 AND 2", (02-12-93, 93C-39)
 PLAT FOR "VOLCANO BUSINESS PARK", (03-26-02, 02C-96)
 PLAT FOR "VOLCANO BUSINESS PARK, PHASE I", (04-24-86, C30-78)
 PLAT FOR "VOLCANO BUSINESS PARK, PHASE II", (04-03-98, 98C-89)
 PLAT FOR "EL RANCHO ATRISCO, PHASE 3, TRACTS 5-A & 6-A", (02-12-87, C32-184)
 PLAT FOR "EL RANCHO ATRISCO, PHASE 2, TRACTS A-1 & B-1", (02-12-87, C32-185)
 PNM SWITCHING STATION (WD: 05-04-61, BK. D593, PG. 223)
 PLAINS ELECTRIC COOPERATIVE, INC. (WD: 09-14-64, BK. D756, PG. 258)
 PLAINS ELECTRIC COOPERATIVE, INC. (QCD: 01-30-79, BK. D83A, PGS. 321-354)
 all being records of Bernalillo County, New Mexico.

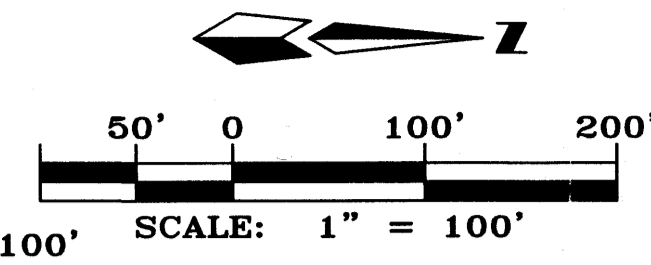
- Title Report: provided by First American Title Insurance Company, Commitment No.: 05020221 (Effective date: 04-25-02) (TRI-STATE TRACT)
- Total remaining Open Space requirements are met via a cash payment to the City of Albuquerque per the provisions of Section 14-16-3-8 (A) (3).
- Setbacks are as shown and noted on the Amended Site Development Plan for Subdivision. (Case No. 02DRB-01581)
- New 38' Public Water, Sanitary Sewer and Pedestrian Access Easement granted to, for the benefit of, and to be maintained by the City of Albuquerque.

PROPERTY CORNERS

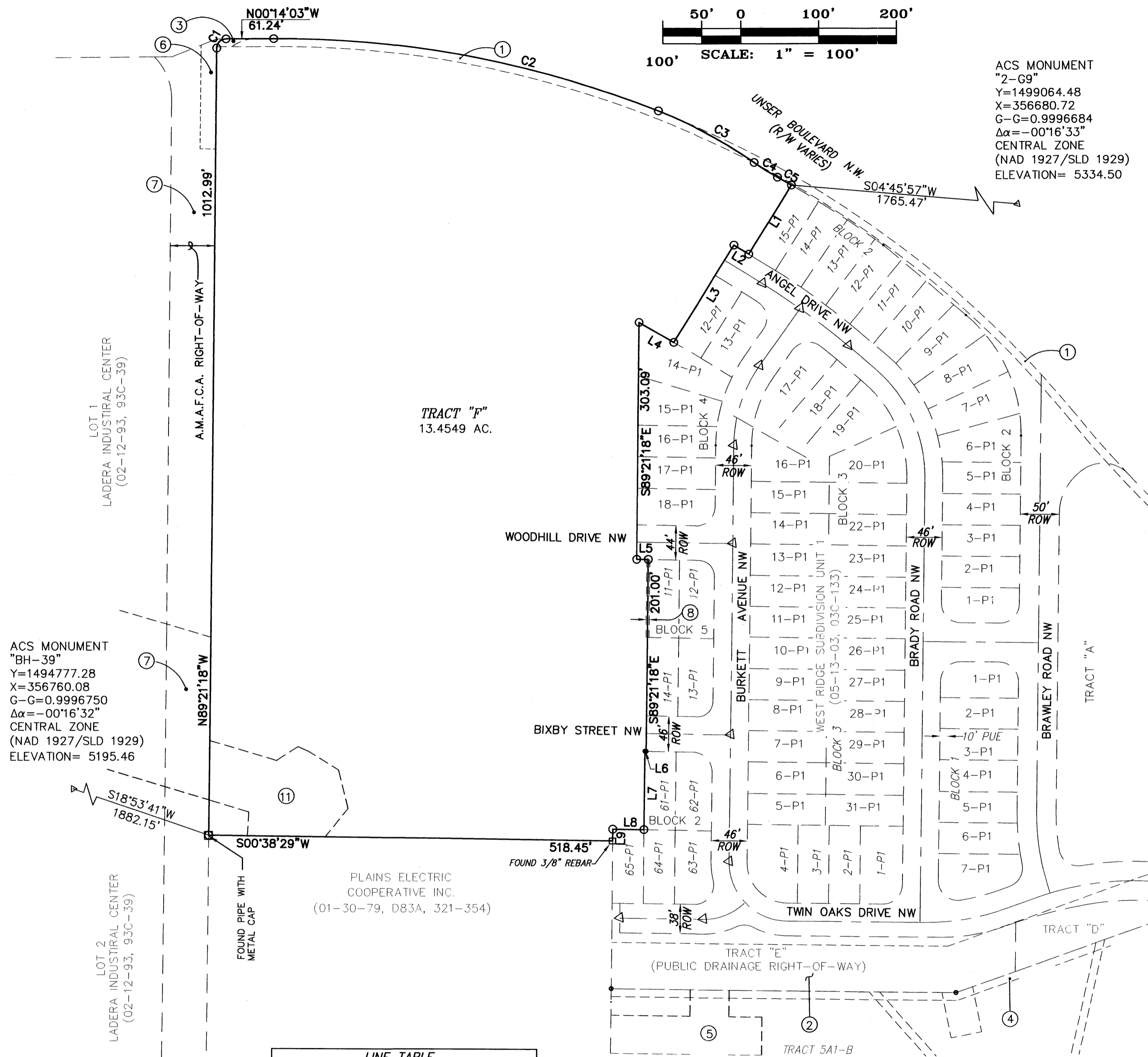
- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)

SEE EASEMENT KEYED NOTES ON SHEET 3

Dwg: A2031U2SHT2&3B.dwg	Drawn: RICHARD	Checked: ALS	Sheet 2 of 5
Scale: 1"=100'	Date: 12/15/03	Job: A02031	



ACS MONUMENT
"2-G9"
Y=1499064.48
X=356680.72
G-G=0.9996684
Δα=-00°16'33"
CENTRAL ZONE
(NAD 1927/SLD 1929)
ELEVATION= 5334.50



TRACT "F"
13.4549 AC.

ACS MONUMENT
"BH-39"
Y=1494777.28
X=356760.08
G-G=0.9996750
Δα=-00°16'32"
CENTRAL ZONE
(NAD 1927/SLD 1929)
ELEVATION= 5195.46

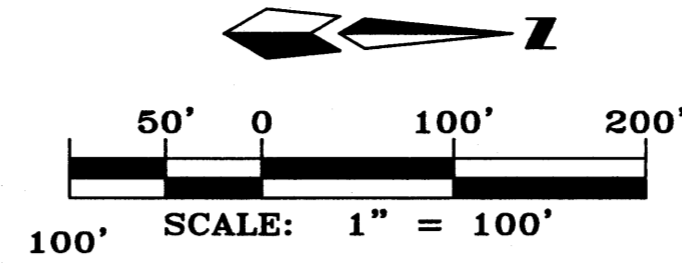
PLAINS ELECTRIC
COOPERATIVE INC.
(01-30-79, D83A, 321-354)

LINE TABLE		
LINE ID	LENGTH	BEARING
L1	104.54	S58°18'48"E
L2	22.41	N31°41'12"E
L3	147.17	N58°18'48"W
L4	51.44	N30°00'20"E
L5	15.00	N00°38'42"E
L6	1.55	S00°38'42"W
L7	100.00	N89°21'18"W
L8	40.00	N00°38'42"E
L9	15.00	N89°21'18"W

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C1	12.00	18.67	89°07'15"	11.82	S44°47'40"E	16.84
C2	1322.00	504.75	21°52'34"	255.49	S10°42'14"W	501.69
C3	577.00	140.36	13°56'16"	70.53	S28°35'46"W	140.01
C4	323.00	35.50	6°17'50"	17.77	N32°24'59"E	35.48
C5	1310.00	20.55	0°53'56"	10.28	S29°43'02"W	20.55

PLAT FOR
WEST RIDGE SUBDIVISION
UNIT 2

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTIONS 9 AND 10
 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MARCH, 2003



EASEMENTS:

- ① Existing 10' PNM and Mountain Bell Easement (Buried utilities only) (02-12-87, C32-185)
- ② Existing 60' Plains Electric Easement (02-12-87, C32-185) (12-23-87, BK. MISC. 571A, PG. 394)
- ③ Existing 10' (PUE) Public Utility Easement. (05-13-03, 03C-133)
- ④ Existing 10' PNM Easement (03-26-02, 02C-96)
- ⑤ Existing 50' PNM Easement (04-24-86, C30-78)
- ⑥ Existing 20' Pedestrian Access Easement granted to, for the benefit of, and to be maintained by the City of Albuquerque. Existing 20' (PUE) Public Utility Easement. (05-13-03, 03C-133)
- ⑦ Existing A.M.A.F.C.A. Drainage Right-of-way. Existing City of Albuquerque Public Water, Sanitary Sewer, and Drainage Easement. Existing Private Access Easement granted to the owners of the Lands of Plains Electric Generation and Transmission Co-op, Inc. (01-30-79, Bk d83a, Pg. 321-354) and the Lands of PNM (05-04-61, Bk. D-593, Pg 223), its successors and assigns, and to be jointly maintained by said owners. Access by beneficiaries shall be free and unrestricted. Existing Public Utility Easement (05-13-03, 03C-133).
- ⑧ Existing 2' Private Drainage Easement centered on lot line (05-13-03, 03C-133).
- ⑪ Existing PNM Easement (03-11-02, Bk. A33, Pg. 1956)

NOTE:

CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ABBREVIATIONS

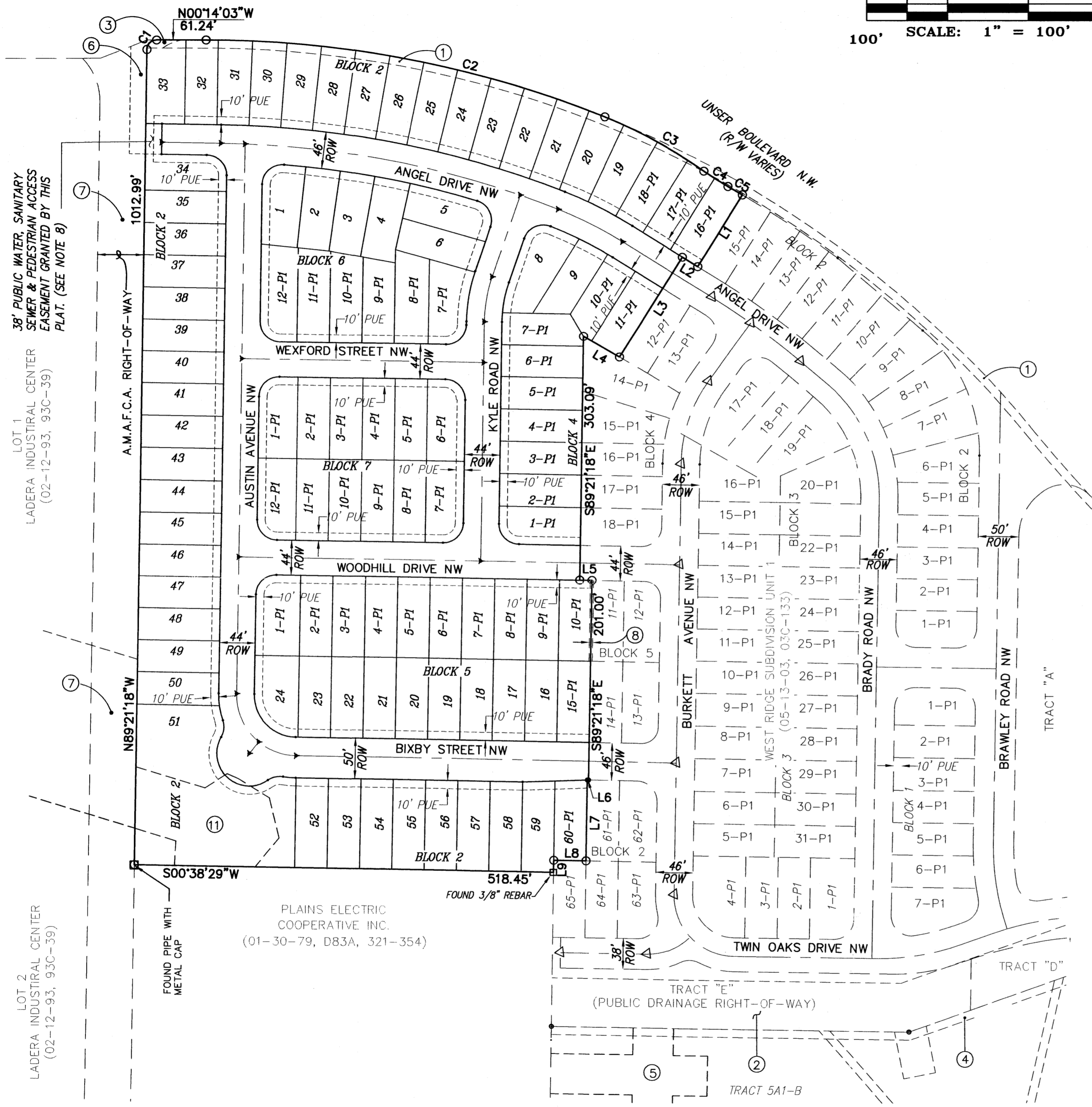
10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT

ROW = RIGHT-OF-WAY

PROPERTY CORNERS

- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

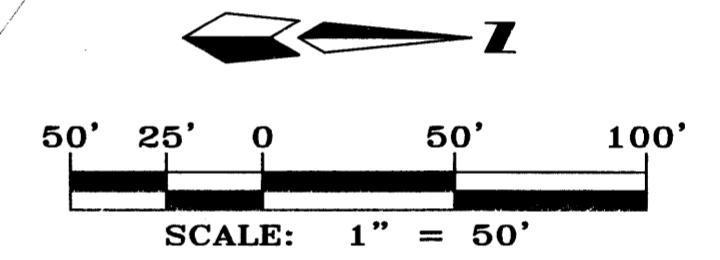


Dwg: A2031U2SHT2&3B.dwg	Drawn: RICHARD	Checked: ALS	Sheet 3 of 5
Scale: 1"=100'	Date: 12/15/03	Job: A02031	

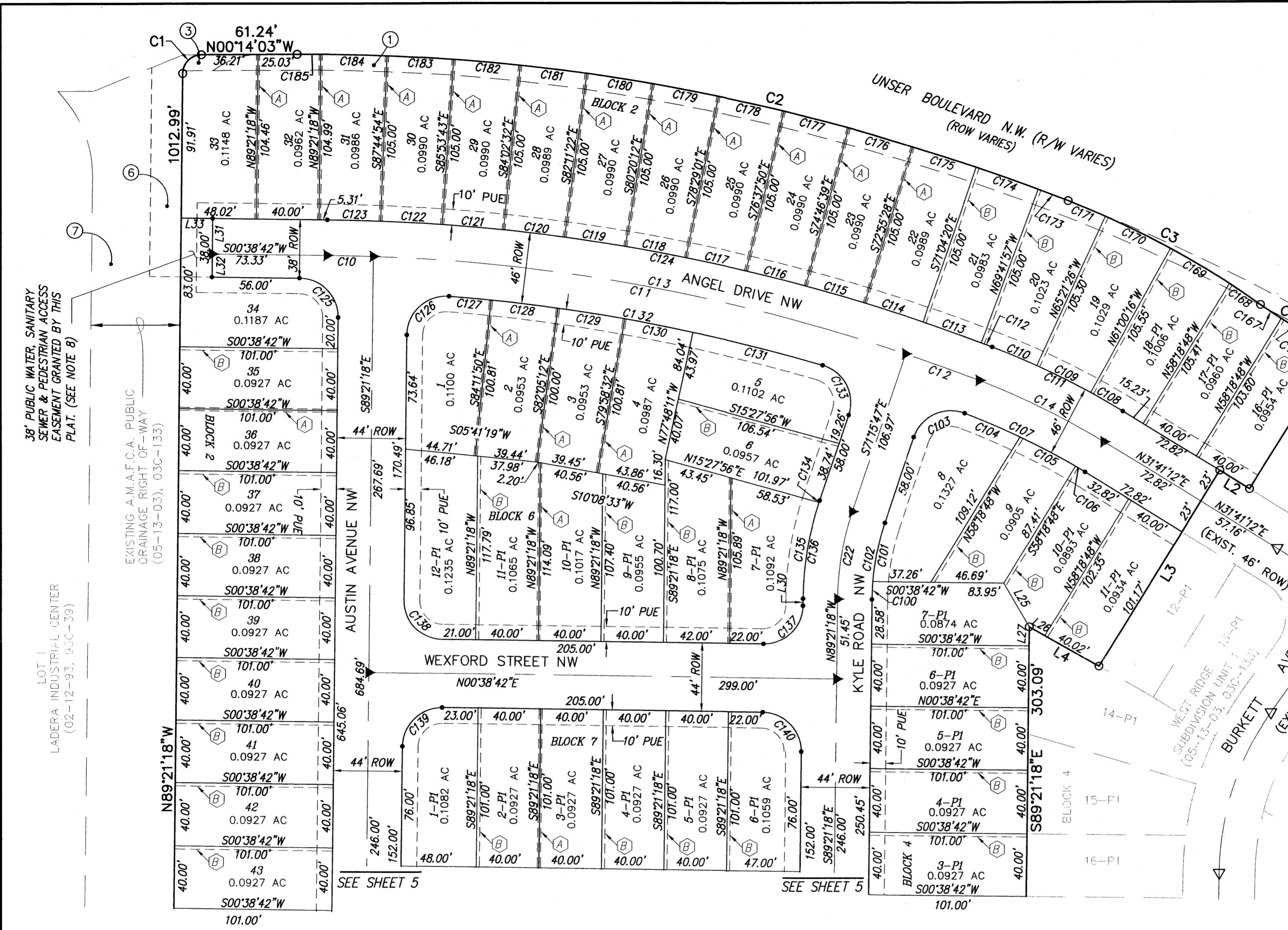
PLAT FOR
WEST RIDGE SUBDIVISION
UNIT 2

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 3, 4, 9 AND 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2003

- PROPERTY CORNERS**
- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
 - SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)



CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C1	12.00	18.67	89°07'15"	11.82	S44°47'40"E	16.84
C2	1322.00	504.75	21°52'34"	255.49	S10°42'14"W	501.69
C3	577.00	140.36	13°56'16"	70.53	S28°35'46"W	140.01
C4	323.00	35.50	6°17'50"	17.77	N32°24'59"E	35.48
C5	1310.00	20.55	0°53'56"	10.28	S29°43'02"W	20.55
C10	1194.00	29.67	1°25'26"	14.84	S01°21'25"W	29.67
C11	1194.00	347.35	16°40'05"	174.91	S10°24'11"W	346.12
C12	1194.00	50.03	2°24'02"	25.02	S19°56'14"W	50.02
C13	1194.00	427.05	20°29'33"	215.83	S10°53'28"W	424.77
C14	484.04	89.12	10°32'58"	44.69	S26°24'44"W	89.00
C22	180.00	56.84	18°05'31"	28.66	S80°18'32"E	56.60
C23	180.00	108.96	34°41'04"	56.21	S72°00'46"E	107.31
C24	75.00	67.48	51°32'54"	36.21	N64°52'15"E	65.22
C25	75.00	50.33	38°27'06"	26.16	N19°52'15"E	49.39
C26	75.00	117.81	90°00'00"	75.00	N45°38'42"E	106.07
C99	25.00	39.27	90°00'00"	25.00	N45°38'42"E	35.36
C100	158.00	8.08	2°55'51"	4.04	S87°53'22"E	8.08
C101	158.00	38.46	13°56'55"	19.33	S78°14'15"E	38.37
C102	158.00	49.89	18°05'31"	25.15	S80°18'32"E	49.68
C103	25.00	40.26	92°16'08"	26.01	S25°07'43"E	36.05
C104	461.04	38.68	4°48'26"	19.35	S23°24'34"W	38.67
C105	461.04	40.08	4°58'52"	20.05	S28°18'13"W	40.07
C106	461.04	7.18	0°53'33"	3.59	S31°14'26"W	7.18
C107	461.04	85.95	10°40'51"	43.10	S26°20'47"W	85.82
C108	507.04	23.82	2°41'29"	11.91	S30°20'28"W	23.82
C109	507.04	38.52	4°21'10"	19.27	S26°49'09"W	38.51



PRIVATE DRAINAGE EASEMENTS:

2' wide private drainage easements are located in some side yards as shown hereon. Where the difference in elevation between the two adjacent pads is 0.8' or less the easement is centered on the lot line. Where the difference is more than 0.8' but less than 1.4' the easement is entirely on the low side of the lot line and immediately adjacent to that lot line. Where the easement is centered on the lot line it is for the mutual benefit of both lot owners and is to be jointly maintained. Where the easement is entirely on the low side of the lot line the easement is for the benefit of the adjacent "high side" lot owner and shall be maintained by the underlying "low side" lot owner. Neither lot owner is allowed to change the planned grade within the 2' wide private drainage easement, nor shall either lot owner place any loose material adjacent to the easement that has the potential to be moved into the drainage easement or in any other way block drainage in any portion of the easement, except that a fence or block wall may be centered on the lot line. Under no circumstances shall the grade adjacent to the easement on either side of the easement be changed except by a structurally sound retaining wall, as designed by a registered professional engineer or architect. Where no easement is shown on the plat each lot owner must construct, operate and maintain his own separate swale all the way to the street and cross lot drainage will be prevented by some combination of walls and berms on the common lot line to be jointly maintained by both lot owners.

- EASEMENTS**
- (A) 2' PRIVATE DRAINAGE EASEMENT CENTERED ON LOT LINE (SEE NOTE THIS SHEET)
 - (B) 2' PRIVATE DRAINAGE EASEMENT ON LOW SIDE OF LOT LINE (SEE NOTE THIS SHEET)

NOTE: ▲
CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ABBREVIATIONS
10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
ROW = RIGHT-OF-WAY

F:\A02\JOB\A2031\WRD\FINAL PLATS\UNIT 2\A2031U2BASEB.dwg, 12/15/03 02:10:10 PM, Mark Goodwin & Associates, Plotted By RDC

PLAT FOR
WEST RIDGE SUBDIVISION
UNIT 2

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTIONS 3, 4, 9 AND 10
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MARCH, 2003

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C110	507.04	31.02	3°30'19"	15.52	S22°53'24"W	31.02
C111	507.04	93.36	10°32'58"	46.81	S26°24'44"W	93.22
C112	1217.00	7.40	0°20'55"	3.70	S20°57'47"W	7.40
C113	1217.00	39.53	1°51'39"	19.77	S19°51'30"W	39.53
C114	1217.00	39.34	1°51'08"	19.67	S18°00'06"W	39.34
C115	1217.00	39.36	1°51'11"	19.68	S16°08'57"W	39.36
C116	1217.00	39.36	1°51'11"	19.68	S14°17'46"W	39.36
C117	1217.00	39.36	1°51'11"	19.68	S12°26'35"W	39.36
C118	1217.00	39.36	1°51'11"	19.68	S10°35'23"W	39.36
C119	1217.00	39.35	1°51'10"	19.68	S08°44'13"W	39.35
C120	1217.00	39.35	1°51'10"	19.68	S06°53'03"W	39.35
C121	1217.00	39.36	1°51'11"	19.68	S05°01'52"W	39.36
C122	1217.00	39.36	1°51'11"	19.68	S03°10'41"W	39.36
C123	1217.00	34.12	1°36'24"	17.06	S01°26'54"W	34.12
C124	1217.00	435.27	20°29'33"	219.99	S10°53'28"W	432.96
C125	25.00	39.27	90°00'00"	25.00	S45°38'42"W	35.36
C126	25.00	40.94	93°49'56"	26.73	S42°26'20"E	36.52
C127	1171.00	27.01	1°19'18"	13.51	S05°08'31"W	27.01
C128	1171.00	43.14	2°06'38"	21.57	S06°51'29"W	43.13
C129	1171.00	43.15	2°06'40"	21.58	S08°58'08"W	43.14
C130	1171.00	44.40	2°10'21"	22.20	S11°06'39"W	44.40
C131	1171.00	85.63	4°11'22"	42.83	S14°17'30"W	85.61
C132	1171.00	243.32	11°54'19"	122.10	S10°26'02"W	242.88
C133	25.00	40.29	92°20'48"	26.05	S62°33'49"W	36.07
C134	202.00	1.33	0°22'35"	0.66	S71°27'04"E	1.33
C135	202.00	62.46	17°42'56"	31.48	S80°29'50"E	62.21
C136	202.00	63.78	18°05'31"	32.16	S80°18'32"E	63.52
C137	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C138	25.00	39.27	90°00'00"	25.00	N45°38'42"E	35.36
C139	25.00	39.27	90°00'00"	25.00	N44°21'18"E	35.36
C140	25.00	39.27	90°00'00"	25.00	S45°38'42"W	35.36
C141	25.00	39.27	90°00'00"	25.00	N44°21'18"W	35.36
C142	25.00	39.27	90°00'00"	25.00	N45°38'42"E	35.36
C143	25.00	39.27	90°00'00"	25.00	S44°21'18"E	35.36
C146	52.00	81.68	90°00'00"	52.00	N45°38'42"E	73.54
C147	97.00	15.00	8°51'42"	7.52	N86°12'51"E	14.99
C148	97.00	18.55	10°57'32"	9.30	N76°18'14"E	18.52
C149	97.00	33.56	19°49'14"	16.95	N80°44'05"E	33.39
C150	25.00	21.40	49°02'19"	11.40	N84°39'22"W	20.75
C151	40.00	108.57	155°30'51"	184.34	N42°06'21"E	78.18
C152	25.00	19.70	45°09'30"	10.40	S13°04'19"E	19.20
C153	102.00	15.78	8°51'44"	7.90	N05°04'34"E	15.76
C166	323.00	19.46	3°27'08"	9.73	N30°59'38"E	19.46
C167	323.00	16.04	2°50'42"	8.02	N34°08'33"E	16.04
C168	577.00	24.01	2°23'02"	12.00	S34°22'23"W	24.00
C169	577.00	44.01	4°22'12"	22.02	S30°59'46"W	44.00
C170	577.00	46.53	4°37'14"	23.28	S26°30'03"W	46.52
C171	577.00	25.81	2°33'48"	12.91	S22°54'33"W	25.81
C173	1322.00	20.58	0°53'30"	10.29	S21°11'46"W	20.58
C174	1322.00	42.04	1°49'20"	21.02	S19°50'20"W	42.04
C175	1322.00	42.74	1°51'08"	21.37	S18°00'06"W	42.73
C176	1322.00	42.76	1°51'11"	21.38	S16°08'57"W	42.75
C177	1322.00	42.76	1°51'11"	21.38	S14°17'46"W	42.76
C178	1322.00	42.76	1°51'11"	21.38	S12°26'35"W	42.75
C179	1322.00	42.76	1°51'11"	21.38	S10°35'23"W	42.76
C180	1322.00	42.75	1°51'10"	21.38	S08°44'13"W	42.75
C181	1322.00	42.75	1°51'10"	21.38	S06°53'03"W	42.75
C182	1322.00	42.76	1°51'11"	21.38	S05°01'52"W	42.75
C183	1322.00	42.76	1°51'11"	21.38	S03°10'41"W	42.76
C184	1322.00	42.38	1°50'12"	21.19	S01°20'00"W	42.37
C185	1322.00	14.98	0°38'57"	7.49	S00°05'25"W	14.98

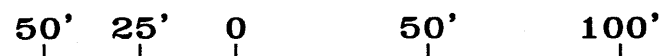
NOTE: ▲

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ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

EASEMENTS

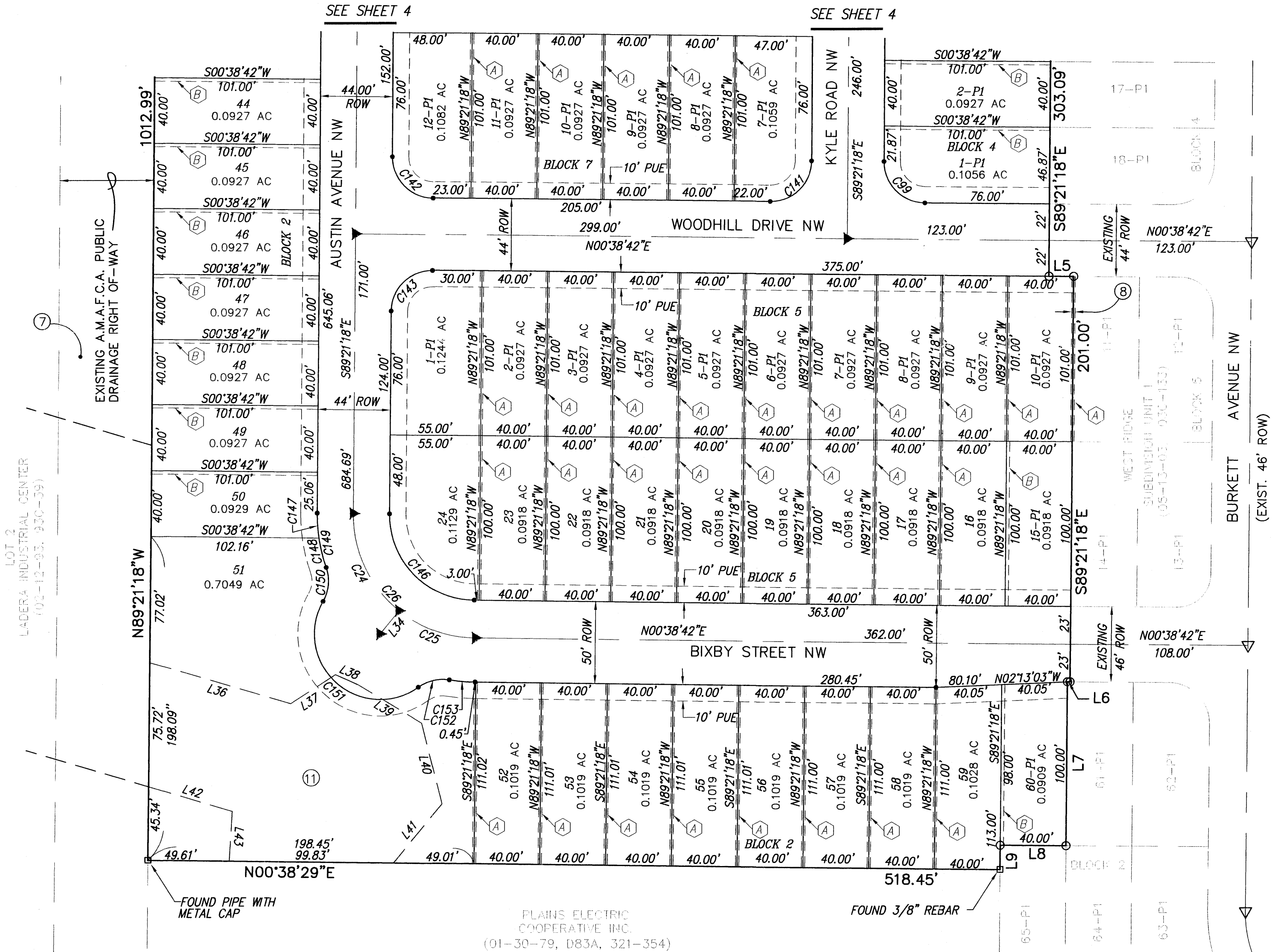
- (A) 2' PRIVATE DRAINAGE EASEMENT CENTERED ON LOT LINE (SEE NOTE ON SHEET 4)
- (B) 2' PRIVATE DRAINAGE EASEMENT ON LOW SIDE OF LOT LINE (SEE NOTE ON SHEET 4)



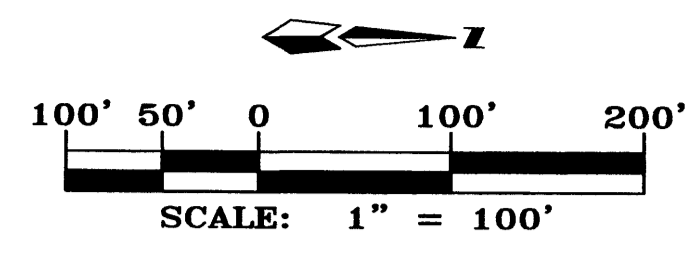
SCALE: 1" = 50'

LINE TABLE

LINE ID	LENGTH	BEARING	LINE ID	LENGTH	BEARING
L1	104.54	S58°18'48"E	L31	23.00	N89°21'18"W
L2	22.41	N31°41'12"E	L32	15.00	N89°21'18"W
L3	147.17	N58°18'48"W	L33	20.00	S00°38'42"W
L4	51.44	N30°00'20"E	L34	18.34	S50°54'12"E
L5	15.00	N00°38'42"E	L36	89.38	N16°22'38"E
L6	1.55	S00°38'42"W	L37	32.42	N33°03'06"W
L7	100.00	N89°21'18"W	L38	14.96	N23°50'44"E
L8	40.00	N00°38'42"E	L39	45.32	N31°07'45"E
L9	15.00	N89°21'18"W	L40	50.93	N76°13'00"E
L25	32.38	N59°43'02"E	L41	46.73	S50°54'18"E
L26	11.42	N30°00'20"E	L42	53.15	N16°40'26"E
L27	12.22	S89°21'18"E	L43	30.70	S86°36'04"E
L30	4.45	S89°21'18"E	L44	10.01	N00°30'08"E



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SUBDIVISION DATA

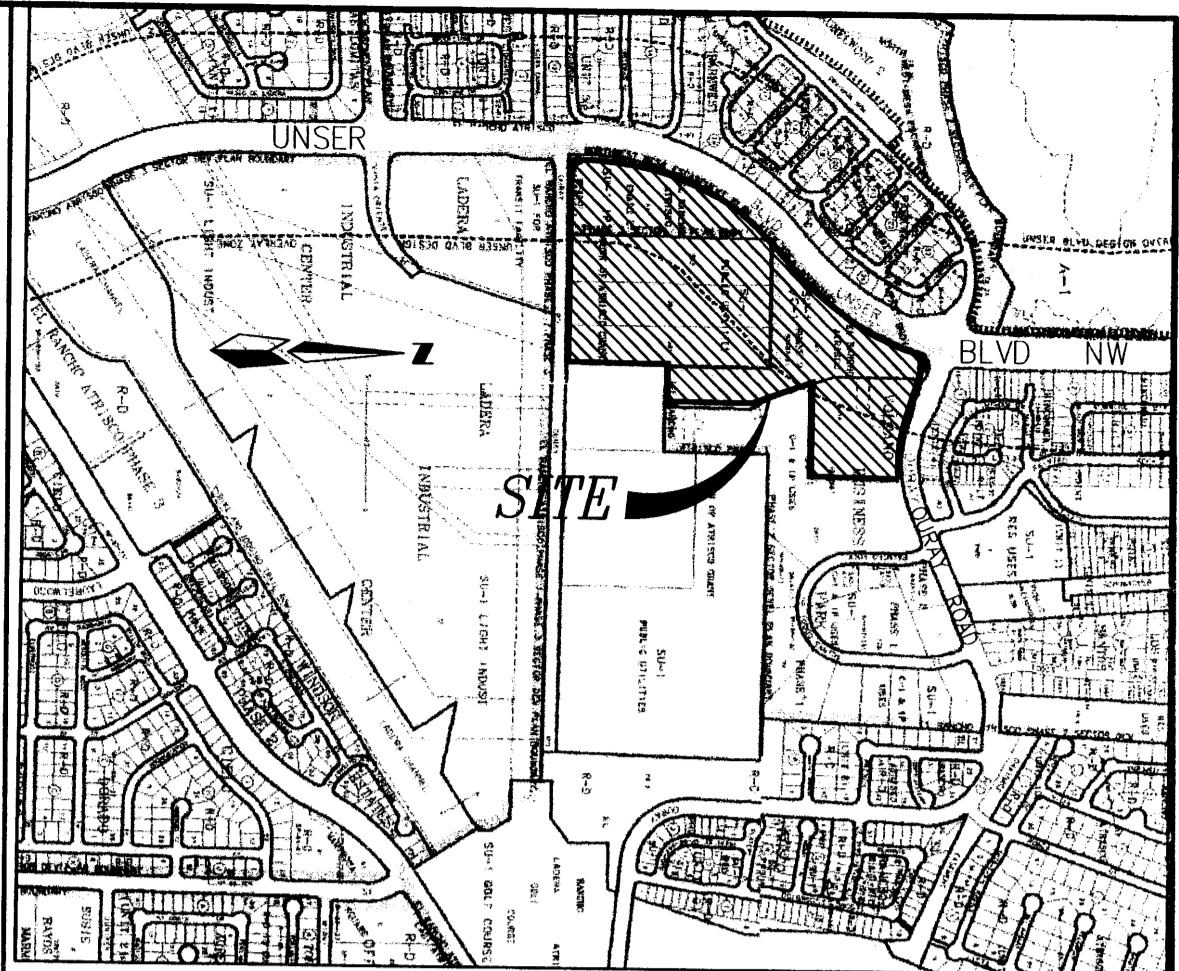
GROSS ACREAGE	37.2568 AC
ZONE ATLAS NO.	G-9, G-10, H-9, H-10,
NO. OF EXISTING TRACTS/LOTS	4 TRACTS
NO. OF LOTS CREATED	169 LOTS
NO. OF TRACTS CREATED	4 TRACTS
NO. OF TRACTS ELIMINATED	4 TRACTS
AREA DEDICATED TO CITY	7.5056 AC
ZONING	SU-1/RD
DATE OF SURVEY	JUNE 2002

GENERAL NOTES:

- DEVELOPMENT DENSITY:**
Gross site area is 36.2357 acres.
Site is zoned SU-1 (RD, C1 & IP)
- MINIMUM BUILDING SETBACK:**
There is no sideyard setback.
Front yard setback is 15'.
Minimum driveway length is 20'.
Minimum distance between buildings is 10'.
Backyard setback is 15', unless otherwise noted the following lots:
Lots 52 thru 59, Block 2 (30' per EPC)
Lots 63, 64 & 65, Block 2
Lots 7, 9, & 10, Block 4
- BUILDING HEIGHT:**
Structure shall not exceed 26 feet in height.
- PARK DEVELOPMENT:**
The developer will be paying cash in lieu of dedicating land for a park.
- OPEN SPACE:**
All open space requirements are met on the lot with the dwelling per the provisions of Section 14-16-3-B (A) (2).
- WATER AND SEWER:**
Prior to development, City of Albuquerque Water and Sanitary Sewer Service to the site must be verified and coordinated with the Utility Development Section, City of Albuquerque Public Works Department.
- PARKING:**
Off-street parking is provided on each site in accordance with Section 14-16-3-1 of the zoning code for lots with the "PI" designation.
- ACCESS:**
Site ingress/egress is provided entirely by public streets.
- BUILDINGS:**
Buildings will be traditional or southwest style with flat or pitched roofs.
The exterior stucco finish will consist of colors in shades of earthtones.
- LANDSCAPING:**
Both individual and community landscaping shall comply with the Water Conservation Landscaping and Water Waste Ordinance. Perimeter landscaping shall be in accordance with the Street Tree Ordinance and trees planted will be in accordance with the list of deciduous and evergreen trees listed in the City of Albuquerque Guide to Landscaping.
- PERIMETER WALL:**
The subdivision perimeter garden wall will be constructed of CMU and will be covered by either stucco or consist of a Split-Faced texture. The maximum wall height will be 8.0 feet, and minimum of 4.0 feet.
- NEW EASEMENTS:**
New Private Access Easement granted to the Owners of the Lands of Plains Electric Generation and Transmission CO-OP, Inc. (01-30-79, Bk D83A, Pg. 321-354) and the Lands of PNM (05-04-61, Bk D-593, Pg 223), its Successors or Assigns, by this plan and to be jointly maintained by said owners. Access by beneficiaries shall be free and unrestricted.

EASEMENTS

- EXISTING 10' PNM AND MT. BELL EASEMENT (BURIED UTILITIES ONLY) (02-12-87, C32-185)
- EXISTING 60' PLAINS ELECTRIC EASEMENT (02-12-87, C32-185) (12-23-87, BK. MISC. 571A, PG. 394)
- EXISTING 200' PNM EASEMENT (04-24-86, C30-78)
- EXISTING 10' PNM EASEMENT (03-26-02, 02C-96)
- EXISTING 50' PNM EASEMENT (04-24-86, C30-78)
- EXISTING 10' PUE (06-12-95, 95C-208)
- EXISTING 12' PRIVATE DRAINAGE EASEMENT FOR THE BENEFIT OF AND TO BE MAINTAINED BY TRACT 5A1 AND 5A2-A1-1 (04-03-98, 98C-89)
- EXISTING 200' EASEMENT UNITED STATES DISTRICT COURT CAUSE NO. 1845 (02-05-52, BK.MISC. D197, PGS. 571-572) VACATED PORTION SHOWN PER V#
- EXISTING EASEMENT AGREEMENT, FINAL LOCATION TO BE COMPLETED AND EXCLUDED AS THE FINAL DEVELOPMENT PLAN FOR TRACT 5A1-A IS APPROVED BY G.O.A. (09-14-90, BK. BCR 90-15, PG. 3409) VACATED PER V#
- EXISTING PRIVATE DRAINAGE EASEMENTS, FOR THE BENEFIT OF TRACT 5A1-B. (03-26-02, 02C-96)
- EXISTING PNM EASEMENT (03-11-02, BK. A33, PG. 1956) - TO R:MAIN
- EXISTING 40' PLAINS ELECTRIC ANCHOR EASEMENT (12-23-87, BK.MISC. 571A, PG. 394)
- THESE TRACTS ARE AFFECTED BY A RIGHT-OF-WAY EASEMENT TO AMERICAN TELEPHONE AND TELEGRAPH COMPANY, DATED DECEMBER 13, 1929, RECORDED IN BOOK 112, PAGE 290, SAID EASEMENT AMENDED BY A MODIFICATION EASEMENT, DATED JANUARY 31, 1973, RECORDED IN BOOK MISC. 298, PAGE 635, SAID EASEMENT ASSIGNED TO THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY BY ASSIGNMENT DATED DECEMBER 26, 1974, RECORDED IN BOOK 575, PAGE 928, ALL BEING RECORDS OF BERNALILLO COUNTY, NEW MEXICO.



VICINITY MAP ZONE MAP: H-9/10-Z

DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Sections 3, 4, 9 and 10, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 5A1-A, VOLCANO BUSINESS PARK as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on March 26, 2002 in Book 2002C, Page 96 and all of TRACTS A-1 and B-1, EL RANCHO ATRISCO, PHASE II as the same is shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on February 12, 1987 in Volume C32, Folio 185 together with all of LANDS OF PLAINS ELECTRIC COOPERATIVE, INC. as the same is described in a WARRANTY DEED filed for record in the office of the County Clerk of Bernalillo County, New Mexico on September 14, 1964 in Book D756, Page 258 together with a portion of VACATED OLD OURAY ROAD N.W. and containing 37.2568 acres, more or less.

PROJECT NO. _____
APPLICATION NO. _____
APPROVED AND ACCEPTED BY:

- Planning Department _____
- City Engineer _____
- Transportation Development _____
- Utility Development _____
- Parks and Recreation _____

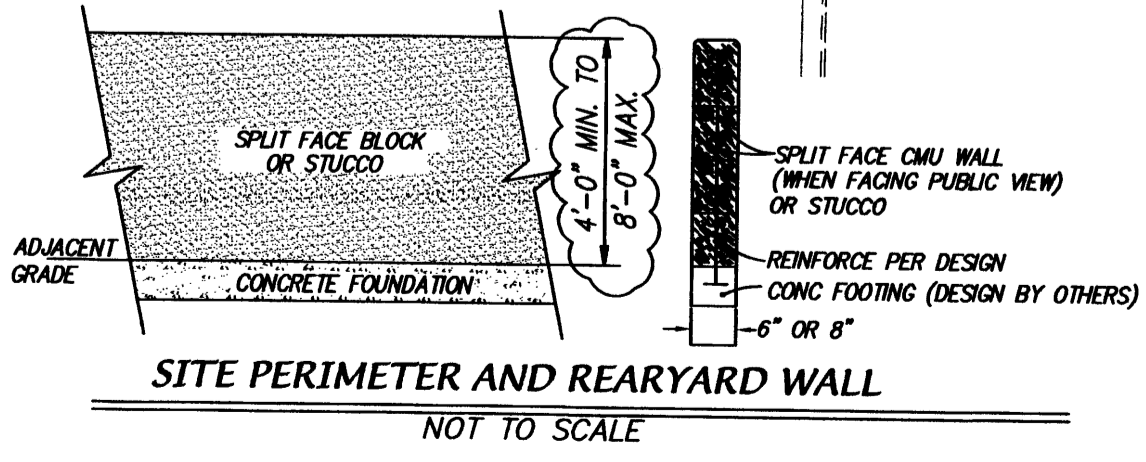
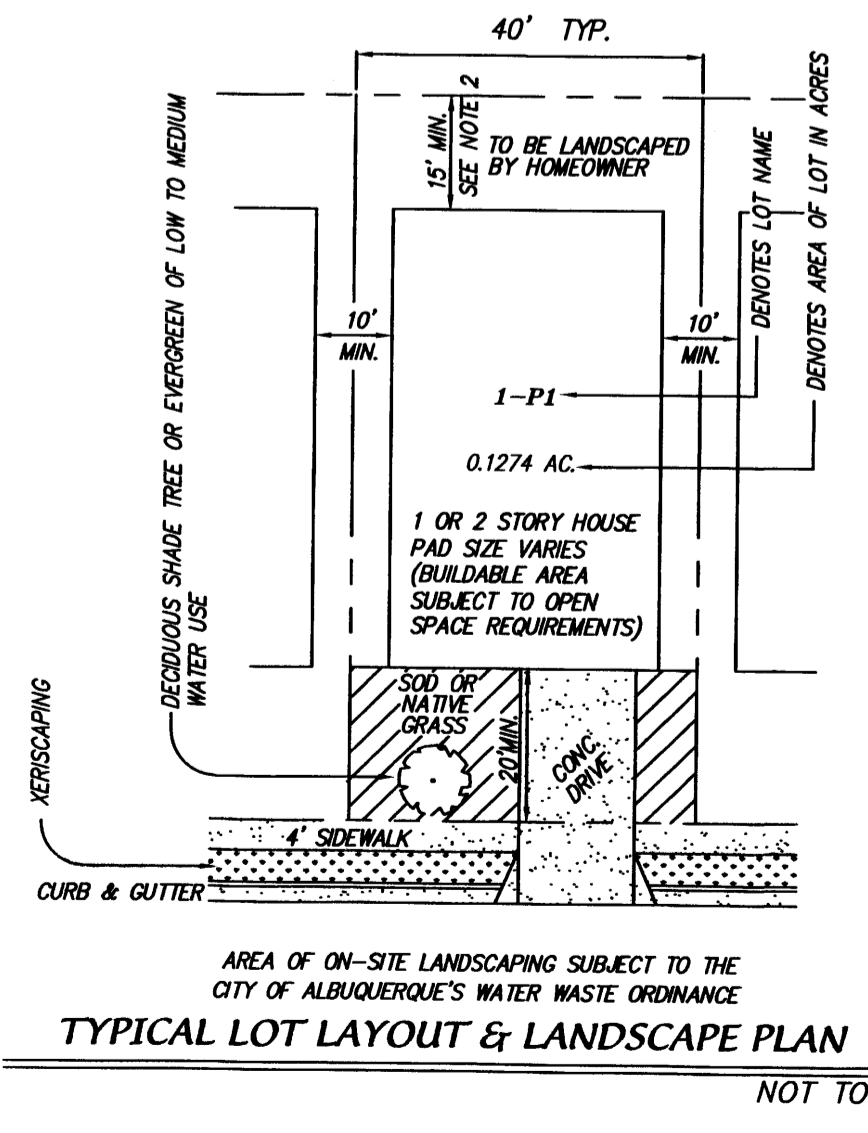
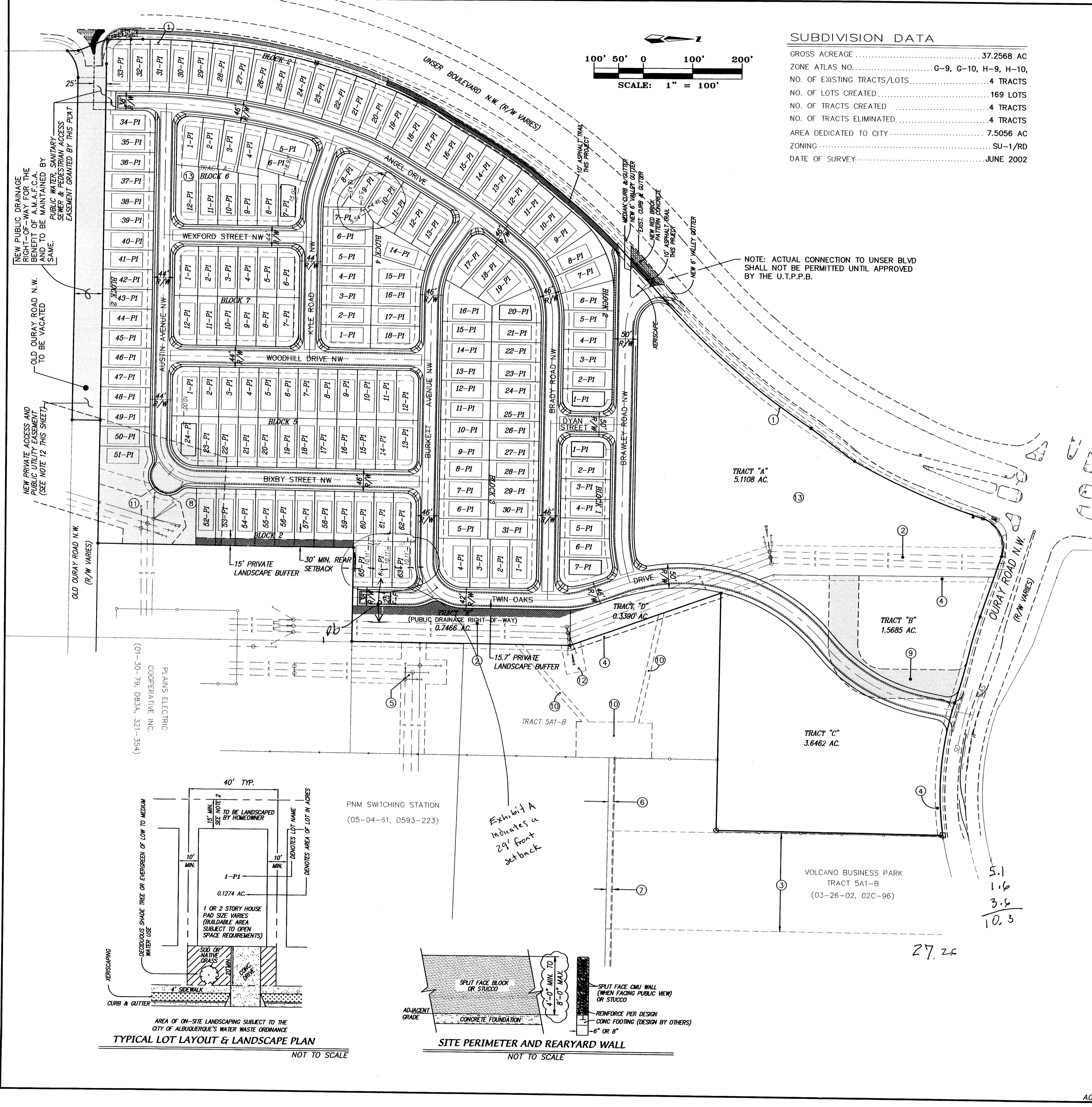
LEGEND

	EXISTING EDGE OF PAVEMENT
	EXISTING 8" WL
	EXISTING WATERLINE
	EXISTING 8" SAS
	EXISTING SANITARY SEWER LINE
	EX 36" SD
	EXISTING STORM DRAIN
	EXISTING CURB AND GUTTER
	EXISTING PROPERTY LINE
	NEW FIRE HYDRANT
	ASPHALT PATH/TRAIL (WIDTH VARIES)
	DENOTES EASEMENT/RIGHT-OF-WAY VACATION

WEST RIDGE SITE DEVELOPMENT PLAN

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: JMM Drawn: _____ Checked: DMG
Scale: 1" = 100' Date: _____ Job: A02031 Sheet 1 of 1

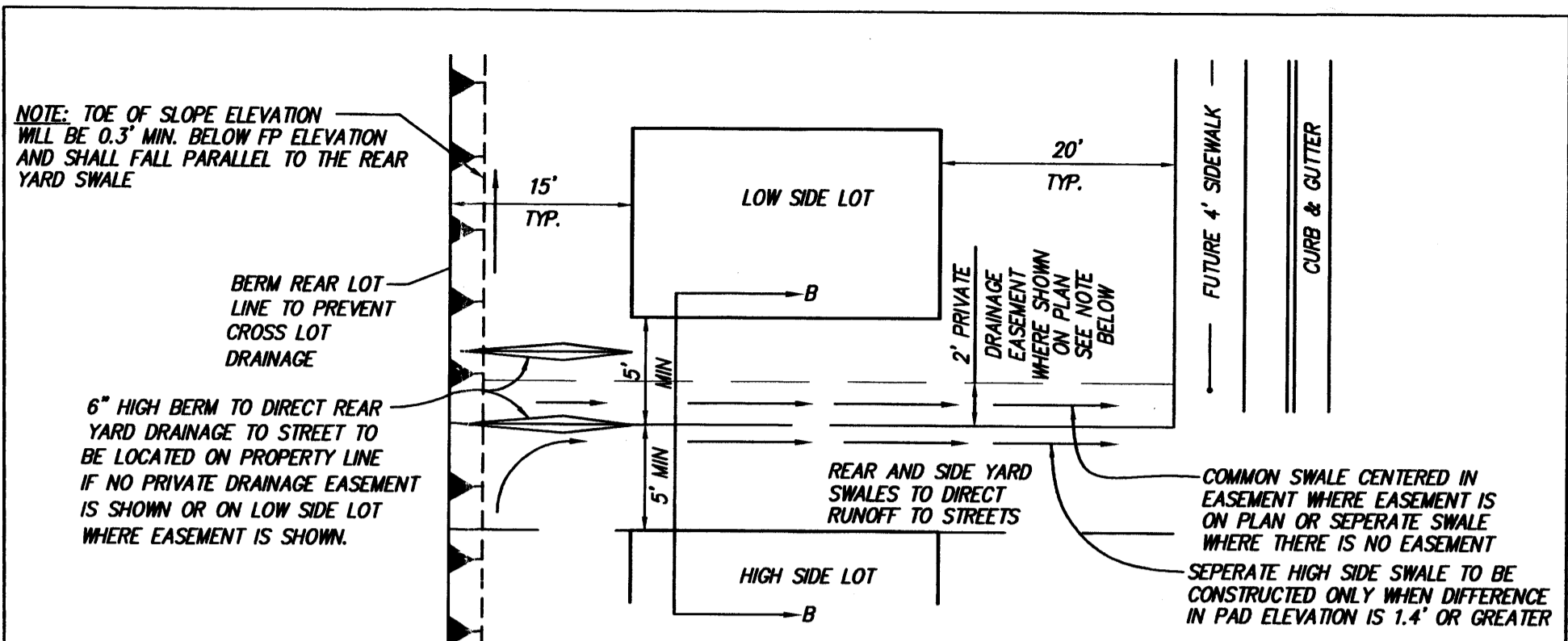


5.1
1.6
3.6
10.3
27.26

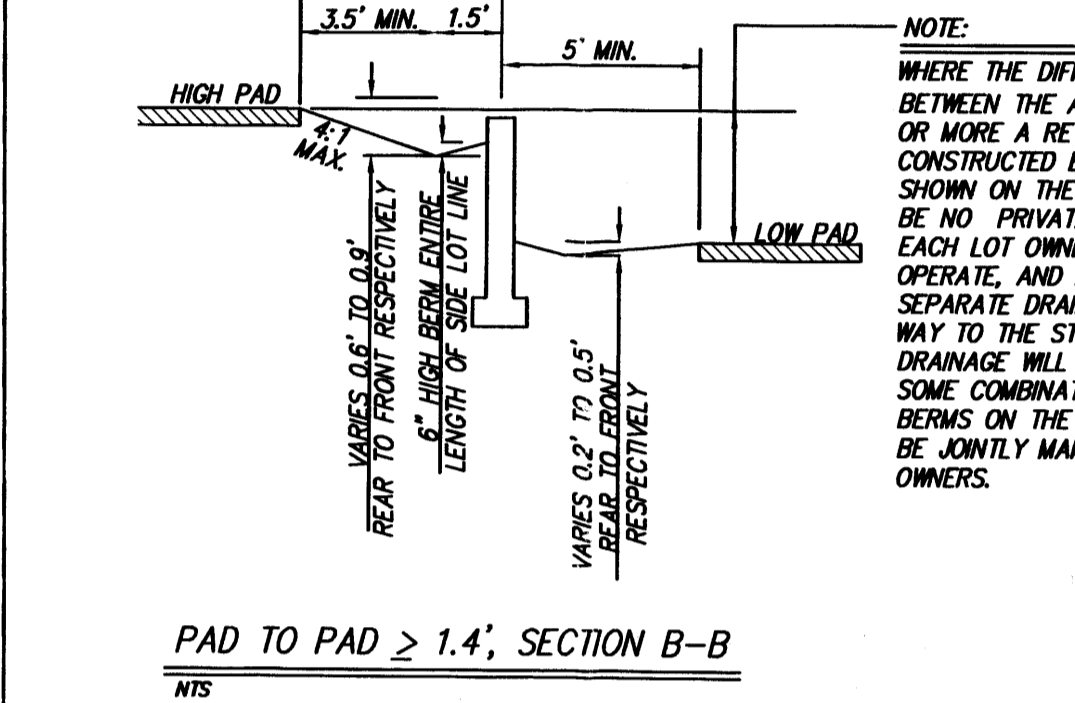
Exhibit A indicates a 29' front setback

LEGEND

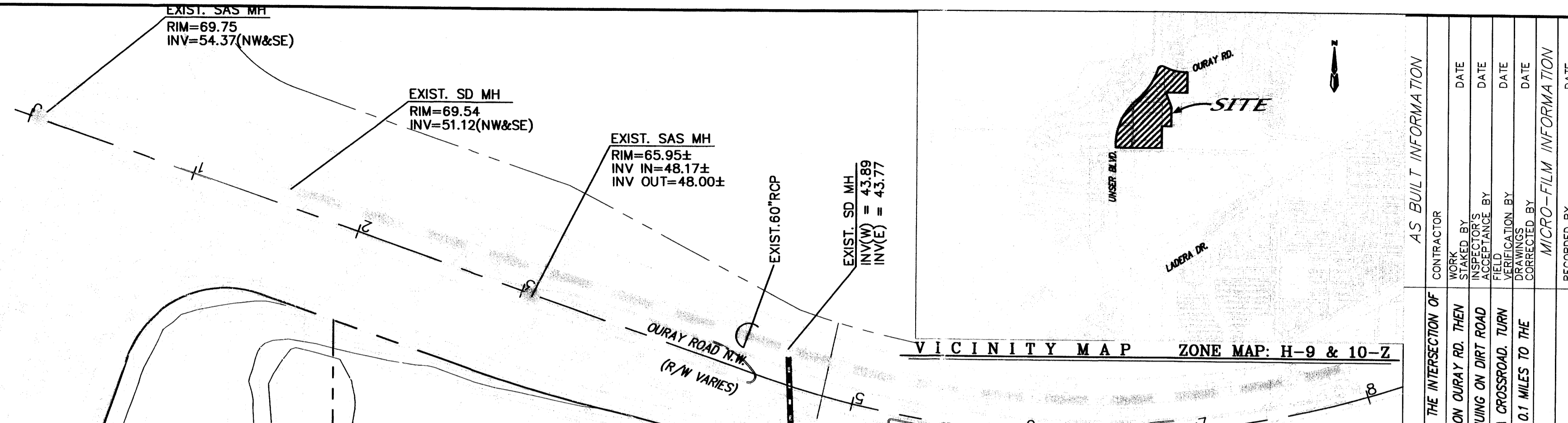
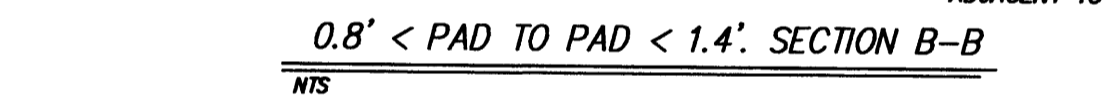
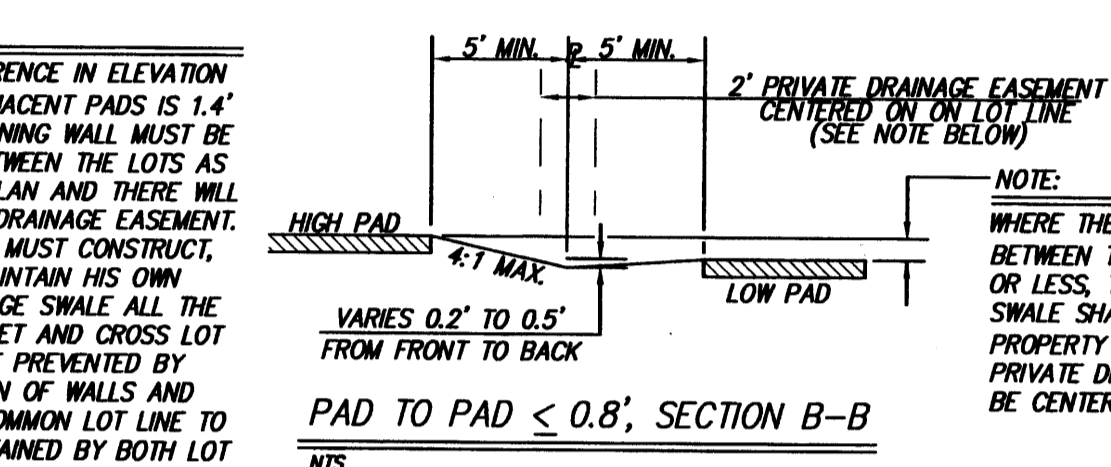
- 5180 EXISTING CONTOUR (MAJOR)
EXISTING CONTOUR (MINOR)
EXISTING SPOT ELEVATION
EXISTING CONCRETE CURB
EXISTING WALL OR HEAD WALL
EXISTING SIGN
EXISTING WOOD FENCE
EXISTING CHAIN LINK FENCE
EXISTING TREE
EXISTING SANITARY SEWER MANHOLE
EXISTING STORM SEWER MANHOLE
EXISTING FIRE HYDRANT
EXISTING ELECTRIC TRANSFORMER
EXISTING OVERHEAD ELECTRIC LINE
EXISTING GUY WIRE
EXISTING POWER POLE
EXISTING TELEPHONE BOX
EXISTING SPRINKLER CONTROL
EXISTING WATER VALVE
EXISTING WATER METER
EXISTING DROP INLET
EXISTING TRAFFIC LIGHT
EXISTING PULLBOX
EXISTING STREET LIGHT
EXISTING BOLLARD
NEW CURB & GUTTER
NEW STANDARD CURB & GUTTER
NEW SIDEWALK
NEW RIGHT-OF-WAY
NEW CENTERLINE
NEW LOT LINES
NEW EASEMENTS
NEW GARDEN WALL
NEW PERIMETER RETAINING WALL
NEW SIDE LOT RETAINING WALL
NEW SPOT ELEVATIONS
NEW FLOW
NEW ROCK SWALE
NEW SLOPE
10' ASPHALT TRAIL THIS PROJECT
NATIVE SEED & GRAVEL MULCH WITH FERTILIZER AND SUPPLEMENTAL WATER ON 2:1 SLOPE.
NEW 4' SIDEWALK CONSTRUCTED THIS PROJECT



TYPICAL LOT GRADING DETAILS

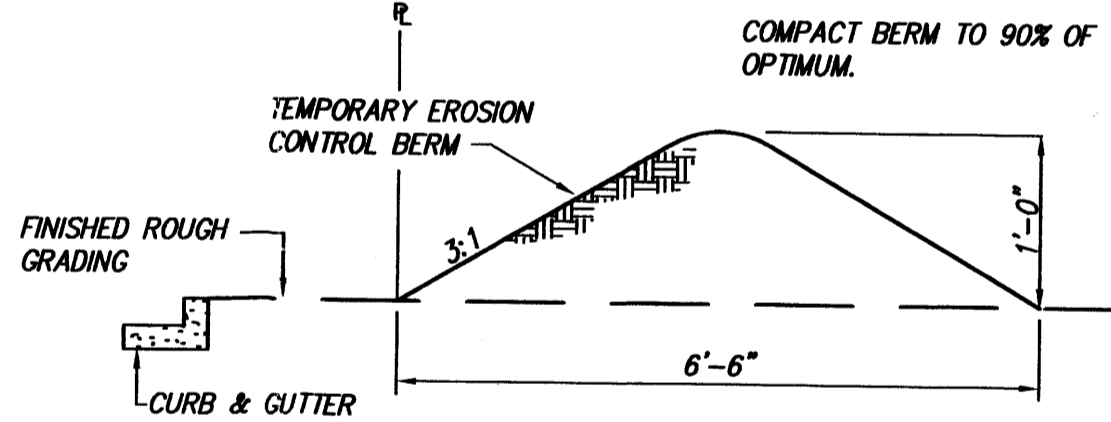


PRIVATE DRAINAGE EASEMENTS
2' WIDE PRIVATE DRAINAGE EASEMENTS ARE LOCATED IN SOME SIDE YARDS AS SHOWN HEREON...



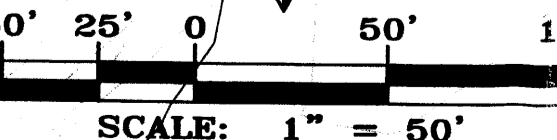
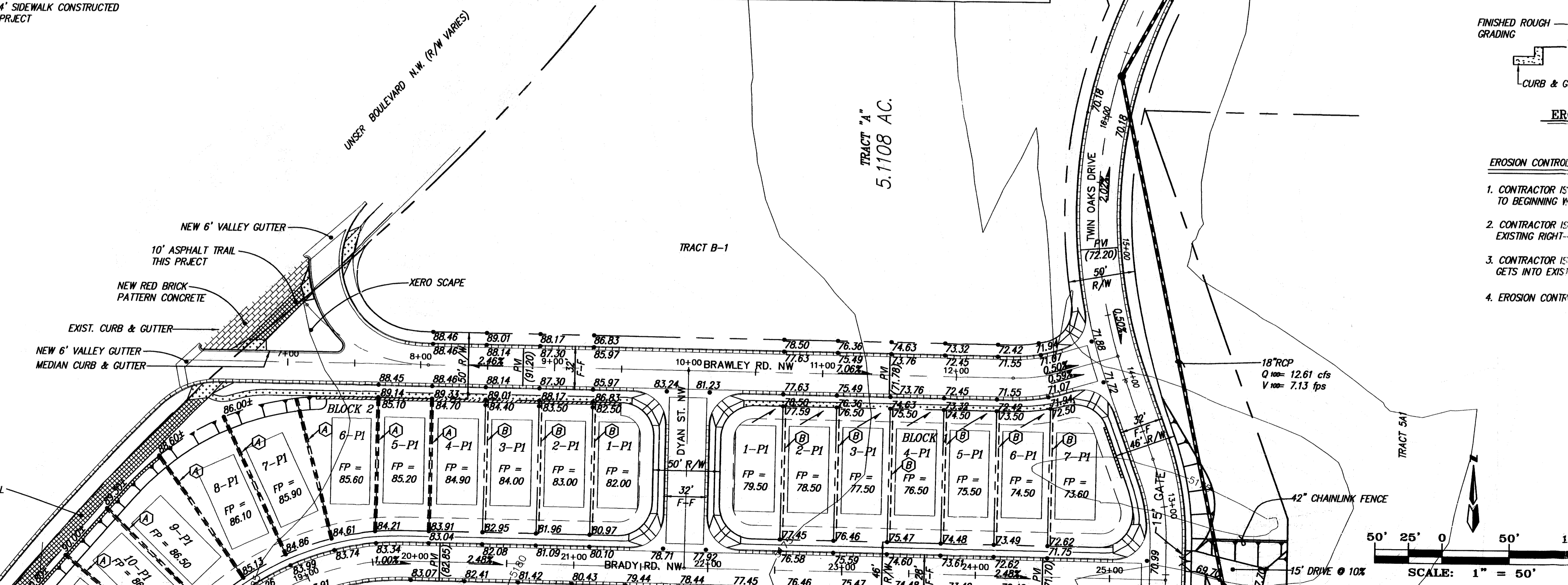
INLET SUMMARY

- 1 NEW SGL-ST TYPE "A" INLET
2 NEW SGL-ST TYPE "A" INLET
3 NEW SGL-ST TYPE "A" INLET
4 NEW SGL-ST TYPE "A" INLET
5 NEW DBL-DT TYPE "A" INLET
6 NEW DBL-ST TYPE "A" INLET
7 NEW DBL-ST TYPE "A" INLET
8 NEW SGL-ST TYPE "A" INLET
9 NEW SGL-ST TYPE "A" INLET
10 NEW SGL TYPE "C" INLET
11 NEW SGL TYPE "C" INLET
12 PRIVATE DRAINAGE EASEMENT CENTERED ON SIDE LOT LINE
13 PRIVATE DRAINAGE EASEMENT ON LOW SIDE OF LOT LINE

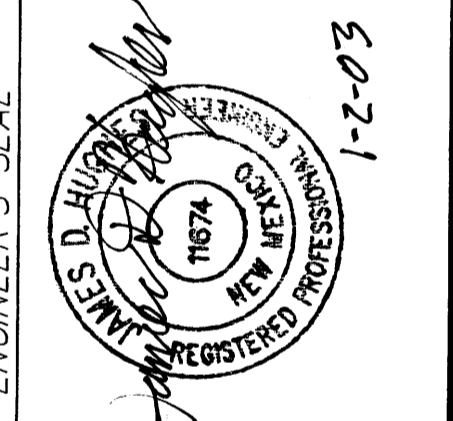


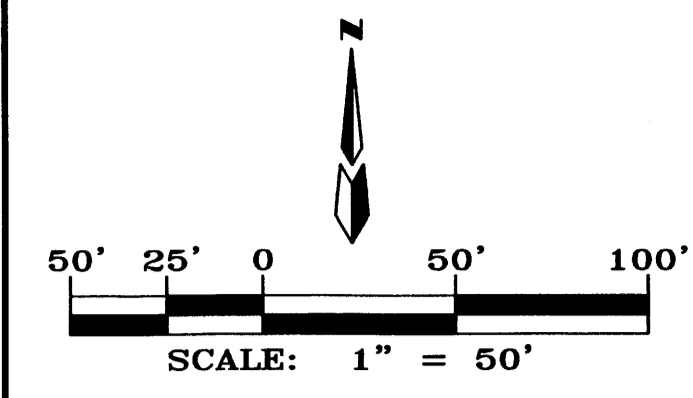
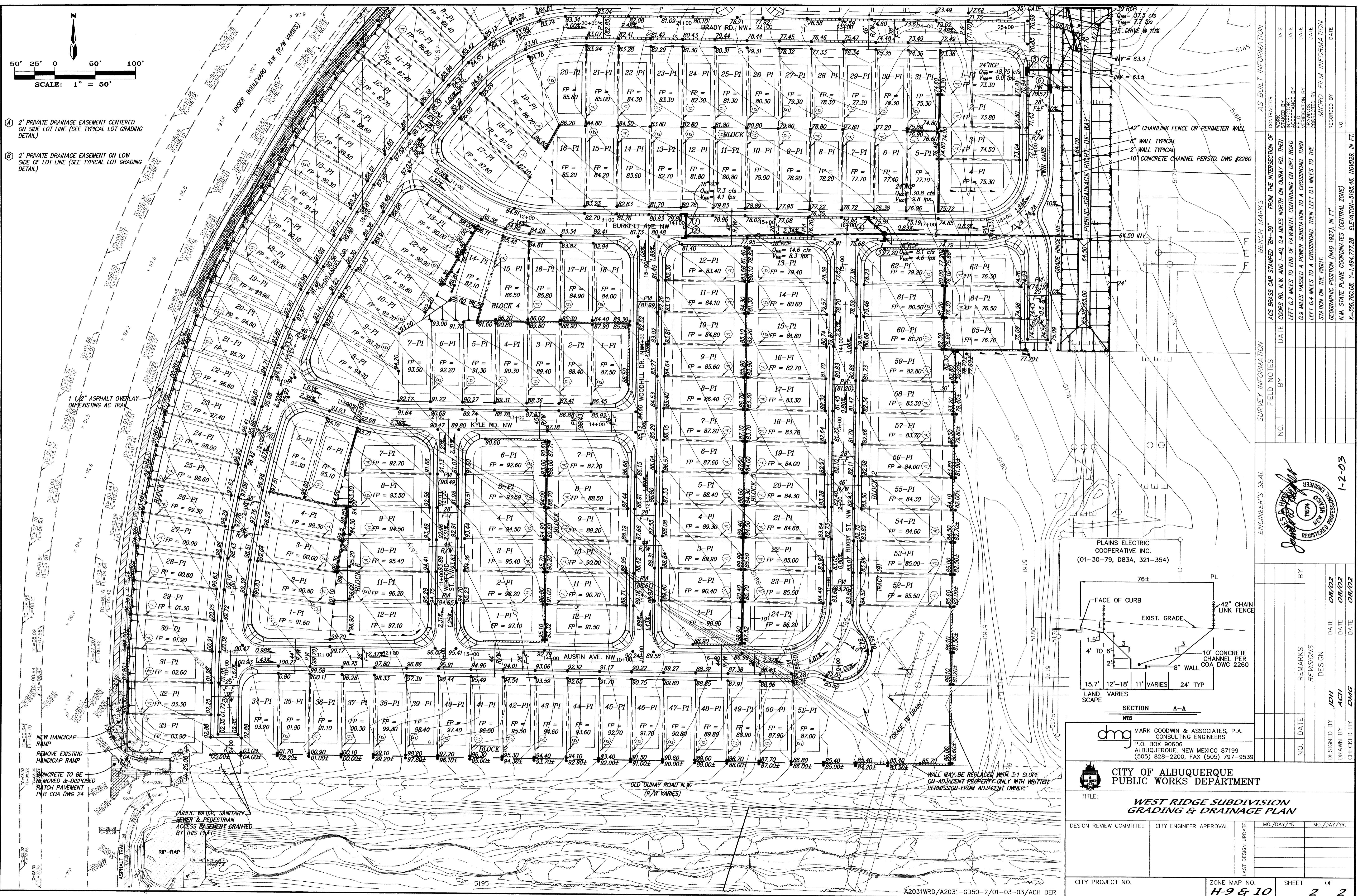
EROSION CONTROL BERM DETAIL

- EROSION CONTROL NOTES
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING UP ANY SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. EROSION CONTROL BERMS ARE REQUIRED AROUND EACH BLOCK.



MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT
WEST RIDGE SUBDIVISION GRADING & DRAINAGE PLAN
DESIGNED BY JAH, DRAWN BY ACH, CHECKED BY DMG





- (A) 2' PRIVATE DRAINAGE EASEMENT CENTERED ON SIDE LOT LINE (SEE TYPICAL LOT GRADING DETAIL)
- (B) 2' PRIVATE DRAINAGE EASEMENT ON LOW SIDE OF LOT LINE (SEE TYPICAL LOT GRADING DETAIL)

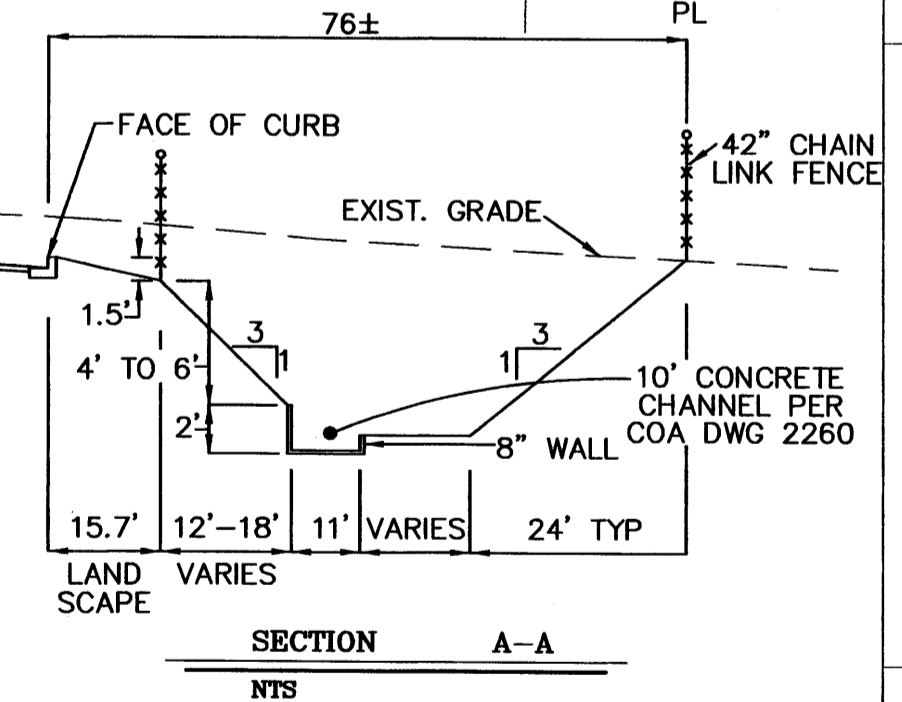
1 1/2" ASPHALT OVERLAY OVER EXISTING AC TRAIL

NEW HANDICAP RAMP
REMOVE EXISTING HANDICAP RAMP
CONCRETE TO BE REMOVED & DISPOSED
PATCH PAVEMENT PER COA DWG 24

PUBLIC WATER, SANITARY SEWER & PEDESTRIAN ACCESS EASEMENT GRANTED BY THIS PLAT

WALL MAY BE REPLACED WITH 3:1 SLOPE ON ADJACENT PROPERTY ONLY WITH WRITTEN PERMISSION FROM ADJACENT OWNER.

PLAINS ELECTRIC COOPERATIVE INC.
(01-30-79, DB3A, 321-354)



dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

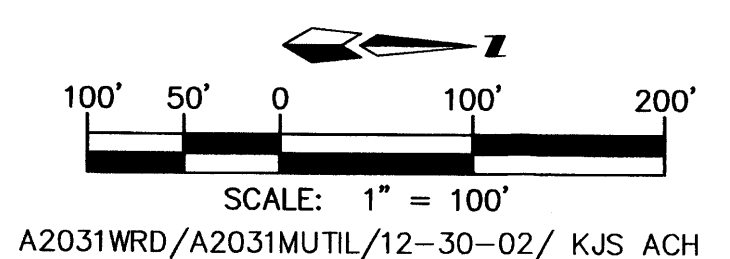
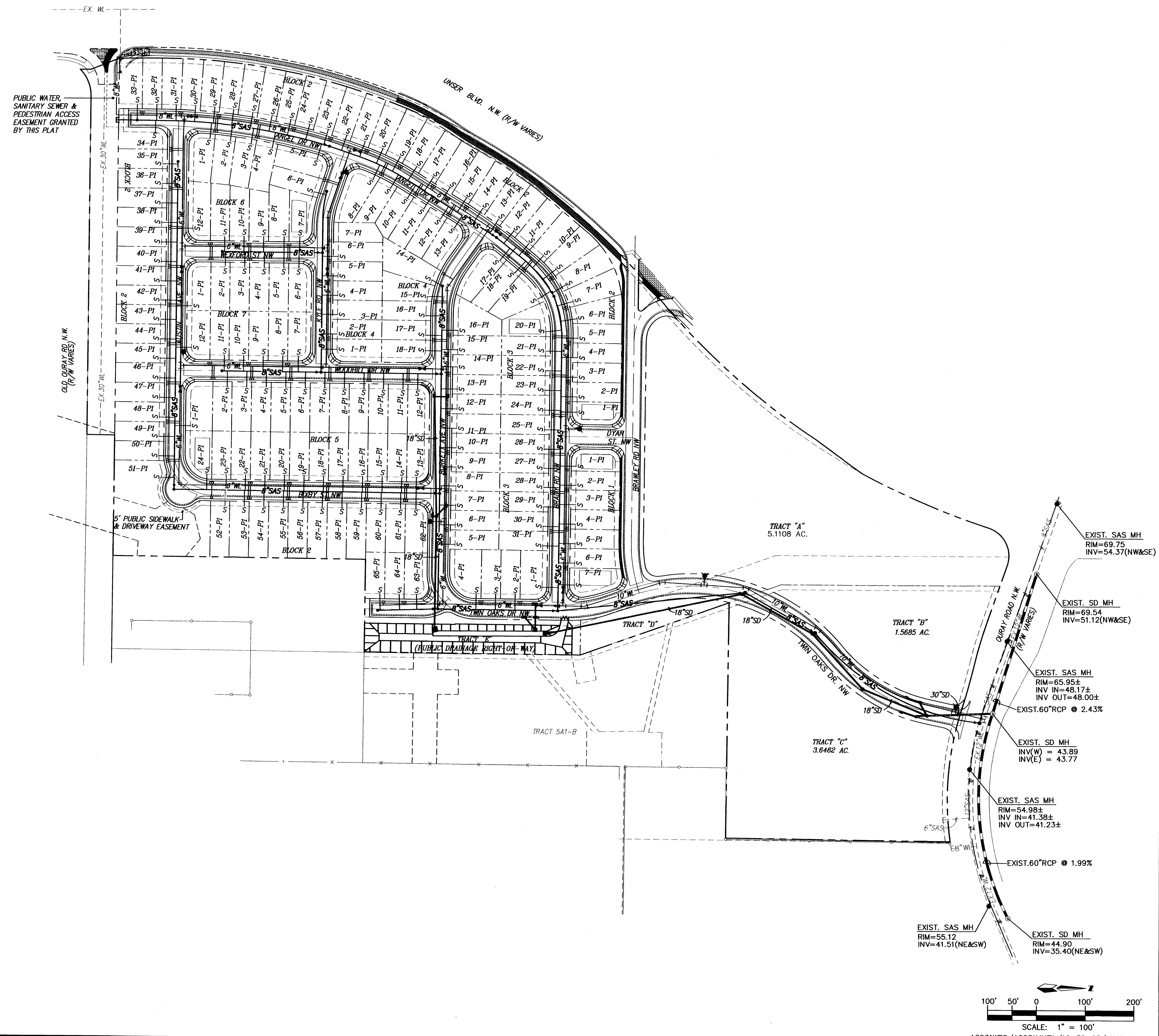
TITLE: **WEST RIDGE SUBDIVISION GRADING & DRAINAGE PLAN**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
CITY PROJECT NO.		ZONE MAP NO.	SHEET OF
		H-9 & 10	2 2

SURVEY INFORMATION		FIELD NOTES		ENGINEER'S SEAL		AS BUILT INFORMATION	
NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
CONTRACTOR		CONTRACTOR		CONTRACTOR		CONTRACTOR	
WORKING BY		WORKING BY		WORKING BY		WORKING BY	
INSPECTOR'S ACCEPTANCE BY		INSPECTOR'S ACCEPTANCE BY		INSPECTOR'S ACCEPTANCE BY		INSPECTOR'S ACCEPTANCE BY	
DATE		DATE		DATE		DATE	
DRAWING REVISION BY		DRAWING REVISION BY		DRAWING REVISION BY		DRAWING REVISION BY	
DATE		DATE		DATE		DATE	
MICRO-FILM INFORMATION		MICRO-FILM INFORMATION		MICRO-FILM INFORMATION		MICRO-FILM INFORMATION	
RECORDED BY		RECORDED BY		RECORDED BY		RECORDED BY	
NO.		NO.		NO.		NO.	

1-2-03

NOTES



AS-BUILT INFORMATION CONTRACTOR: _____ WORKED BY: _____ INSPECTOR'S ACCEPTANCE BY: _____ DATE: _____ VERIFICATION BY: _____ DATE: _____ DRAWINGS BY: _____ DATE: _____ CORRECTED BY: _____ DATE: _____ MICRO-FILM INFORMATION: _____ RECORDED BY: _____ DATE: _____	
BENCH MARKS ACS BRASS CAP STAMPED "BH-39" FROM THE INTERSECTION OF COOPERS RD. N.W. AND I-40, 0.4 MILES NORTH ON OURAY RD. THEN LEFT 0.7 MILES TO END OF PAVEMENT, CONTINUING ON DIRT ROAD 0.9 MILES PASSED A POWER SUBSTATION TO A CROSSROAD, TURN LEFT 0.4 MILES TO A CROSSROAD, THEN LEFT 0.1 MILES TO THE STATION ON THE RIGHT. GEOGRAPHIC POSITION (NAD 1927), IN FT. N.M. STATE PLANE COORDINATES (CENTRAL ZONE) X=356,760.08, Y=1,494,772.28 ELEVATION=5185.46, NG1029, IN FT.	
SURVEY INFORMATION FIELD NOTES: _____ BY: _____ DATE: _____ NO.: _____	
ENGINEER'S SEAL NO. _____ DATE _____ BY _____ REMARKS _____ REVISIONS _____ DESIGN _____ DATE 12/02 DRAWN BY KJS DATE 12/02 CHECKED BY DMG DATE 12/02	
DESIGNED BY JDH DATE 12/02 DRAWN BY KJS DATE 12/02 CHECKED BY DMG DATE 12/02	
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT TITLE: WEST RIDGE SUBDIVISION MASTER UTILITY PLAN DESIGN REVIEW COMMITTEE: _____ CITY ENGINEER APPROVAL: _____ LAST DESIGN UPDATE: _____ CITY PROJECT NO. _____ ZONE MAP NO. H-9 & 10 SHEET 1 OF 1	

1001932

SKETCH PLAT WESTRIDIGE RESIDENTIAL

WITHIN THE
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL 30, 2002

LEGAL DESCRIPTION

SUBDIVISION DATA

GROSS ACREAGE 23.7217 AC
 ZONE ATLAS NO. H-9-Z, H-10-Z
 G-9-Z, G-10-Z
 NO. OF EXISTING TRACTS 5
 NO. OF TRACTS/LOTS CREATED 166
 NO. OF TRACTS ELIMINATED 5
 DATE OF SURVEY

OWNERS

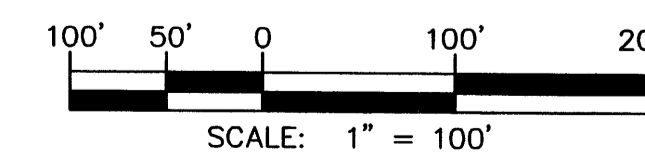
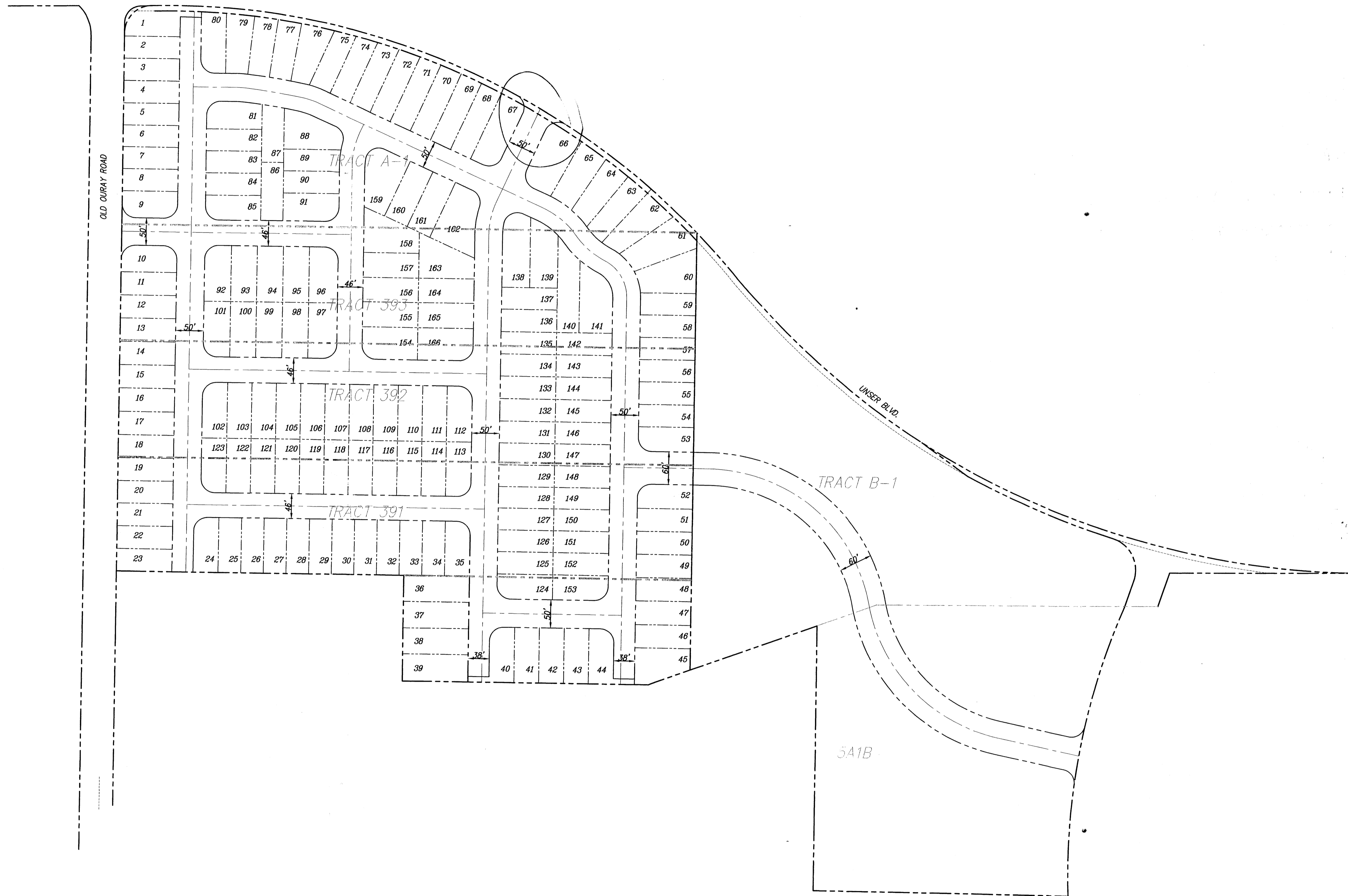
K & B HOMES
 4921 ALEXANDER N.E., SUITE 8
 ALBUQUERQUE, N.M. 87107
 (505) 344-9400

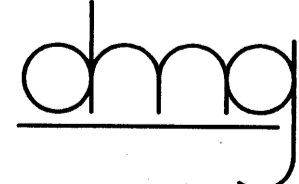
ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200

SURVEYOR

ALDRICH LAND SURVEY
 P.O. BOX 30701
 ALBUQUERQUE, N.M. 87190-0701

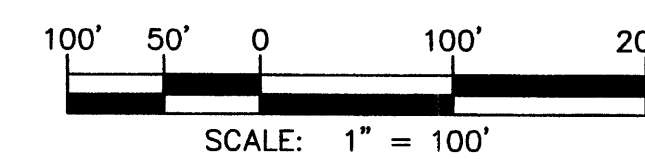
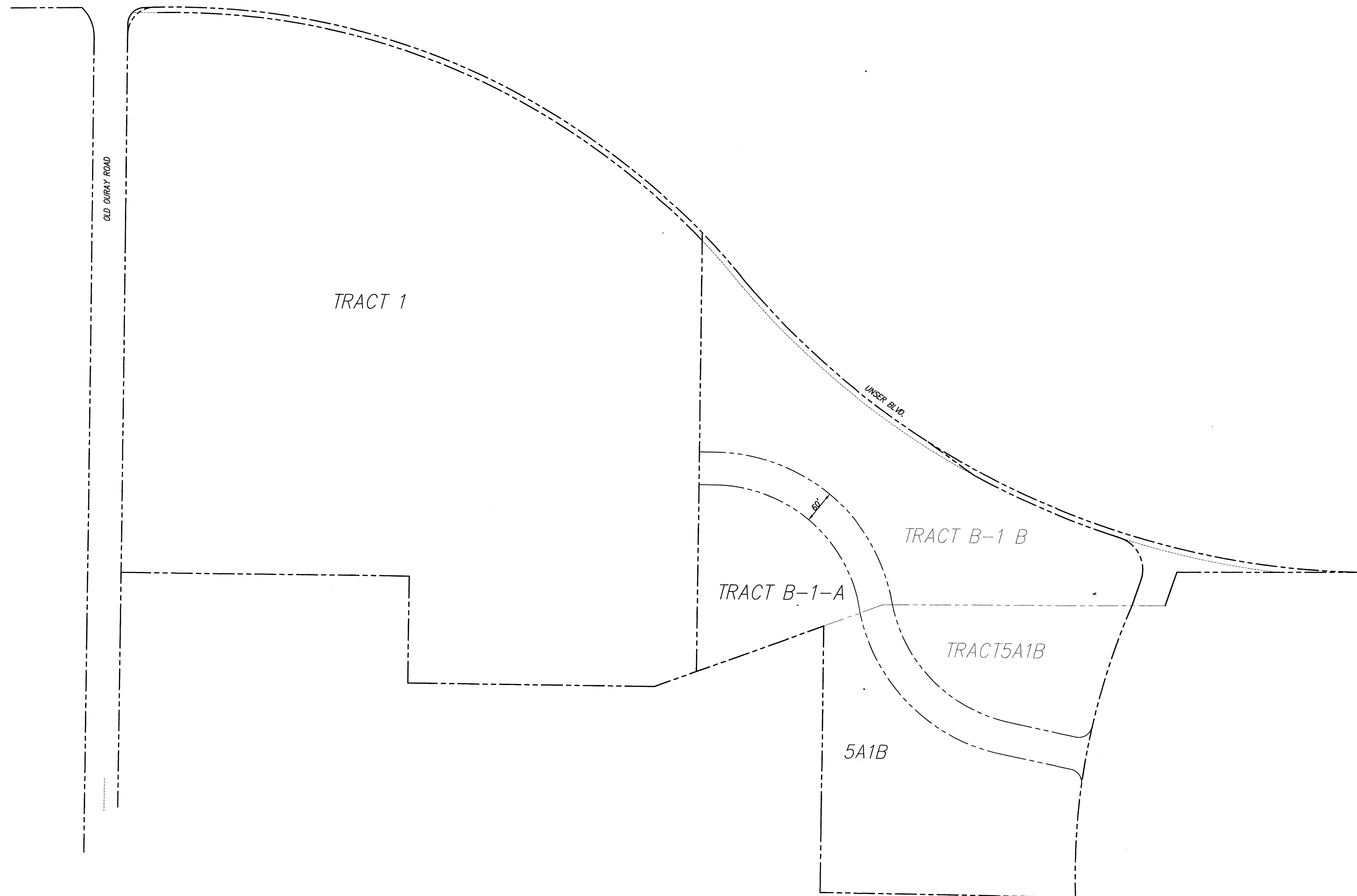



WESTRIDIGE RESIDENTIAL			
SKETCH PLAT			
		MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505)828-2200, FAX (505)797-9539	
Designed: DMG	Drawn: KJS	Checked: DMG	Sheet I of I
Scale: 1" = 100'	Date: 04-26-02	Job: A02031	

SKETCH PLAT

PROPOSED BULK LAND PLAT

WITHIN THE
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL 30, 2002



WESTRIDGE RESIDENTIAL			
SKETCH PLAT			
 MARK GOODWIN & ASSOCIATES, P.A. CONSULTING ENGINEERS			
P.O. BOX 90606 ALBUQUERQUE, NEW MEXICO 87199 (505)828-2200, FAX (505)797-9539			
Designed: <i>DMG</i>	Drawn: <i>KJS</i>	Checked: <i>DMG</i>	Sheet I of I
Scale: 1" = 100'	Date: 04-26-02	Job: A02031	

A2031WBR/BULK/05-07-02 KJS

F:\A02031\A02031WBR\BULK.dwg Mon May 06 13:34:40 2002 0: M:\M. GOODWIN & ASSOCIATES, PLOTTED BY: KJS