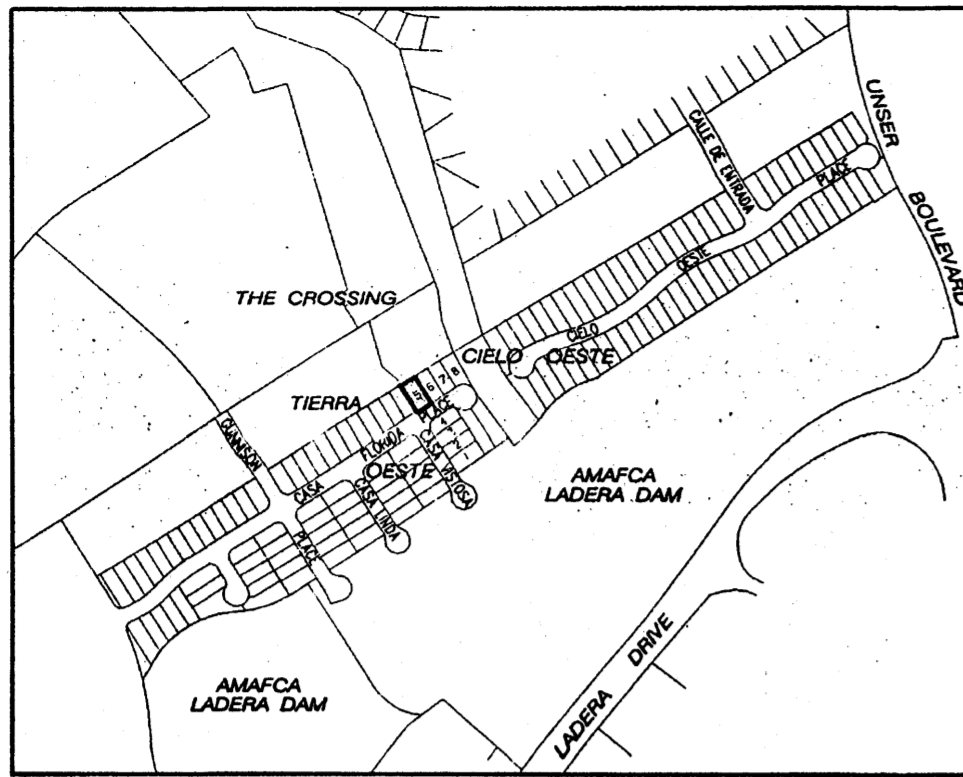


SP-2009281340



LOCATION MAP

ZONE ATLAS INDEX MAP No. H-9 NOT TO SCALE

SUBDIVISION DATA

- 1. DRB No.
2. Zone Atlas Index No. H-9.
3. Gross Subdivision Acreage: 0.1252 Acre.
4. Total Number of Lots created: One (1) Lot.
5. No streets were created.
6. Date of Survey: June 23, 2009.
7. Plat is located within the Town of Atrisco Grant, within projected Section 9, T10N, R2E, NMPM.

DISCLOSURE STATEMENT

The purpose of this Plat is to replat Lot 5, Cielo Oeste filed on December 10, 2002 in Book 2002C, Page 393, Document No. 2002163815 and to vacate a portion of an existing sanitary sewer easement and to grant easements.

DOCH 2010077095

07/30/2010 11:51 AM Page 1 of 1
PLAT R 57 00 9 2010C P 0089 M Toulous Olivere, Bernalillo Coun

DESCRIPTION

A certain tract of land situate within the Town of Atrisco Grant, within projected Section 9, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Lot 5, Cielo Oeste, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on December 10, 2002 in Book 2002C, Page 393 as Document No. 2002163815.

Tract contains 5452 square feet or 0.1252 acre, more or less.

NOTES

- 1. Basis of Bearings: New Mexico State Plane Grid Bearings (Central Zone) NAD 1983 Datum also being the same as Bearings shown on the Plat of Cielo Oeste filed on December 10, 2002 in Book 2002C, Page 393, Document No. 2002163815. Record bearings and distances are the same as shown on the plat.
2. Distances are Ground Distances.
3. Lot 5-A is within Zone 7* as shown on Insurance Program Rate Map 35001CO326G Revised September 28, 2008.
4. Pursuant to Section 14-14-4-7 of the City of Albuquerque Code of Ordinances, 'No property within the area of this Plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed Plat. The foregoing requirement shall be a condition to approval of this plat.'

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Town of Atrisco Grant, within projected Section 9, Township 10 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Lot 5, Cielo Oeste as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on December 10, 2002 in Volume 2002C, Folio 393 as Document No. 2002163815, now comprising Lot 5-A, Cielo Oeste, is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof. Said owner(s) and/or proprietor(s) do hereby grant: All Access, Utility and Drainage Easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility Easements shown hereon for the common and joint use of Gas, Electrical Power, and Communication Services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantee's Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ('Work') it deems appropriate without liability to the City. If the Work effects any improvements or Encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of improvements or encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the improvements or encroachments, the Grantee shall, at its own expense, take whatever protective measures are required to safeguard the improvements or encroachments: Said owner warrants that they hold complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and/or proprietor(s) affirm that the property described does lie within the planning jurisdiction of the City of Albuquerque and do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

UGENIA MECCHI (Owner of Lot 5)

By: Ugenia Mecci

State of New Mexico)
SS
County of Bernalillo)

This instrument was acknowledged before me on 9 day of October 2009, by Ugenia Mecci.

My Commission Expires: Roberta A. Campbell Notary Public



PLAT OF LOT 5-A CIELO OESTE (A REPLAT OF LOT 5 CIELO OESTE) ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO JULY, 2009

APPROVALS

Table with columns for PROJECT NUMBER, APPLICATION NUMBER, CITY APPROVALS, CITY SURVEYOR, TRAFFIC ENGINEERING, WATER UTILITY AUTHORITY, PARKS & RECREATION DEPARTMENT, CITY ENGINEER, DRB CHAIRPERSON, REAL PROPERTY DIVISION, and DATE.

TAX CERTIFICATION

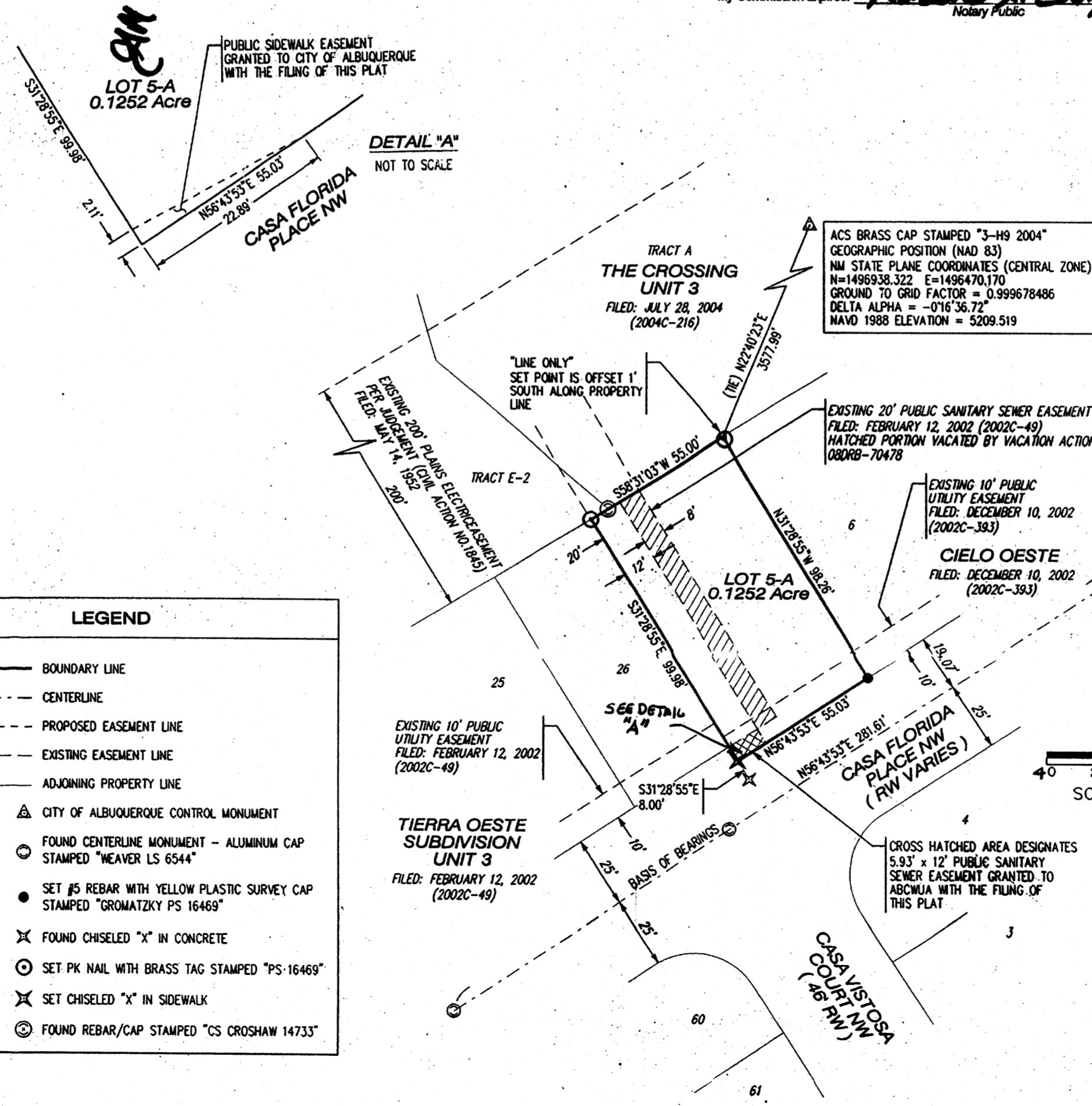
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #

PARCEL # 100905928607330313
BERNALILLO COUNTY TREASURER'S OFFICE DATE 7/30/10

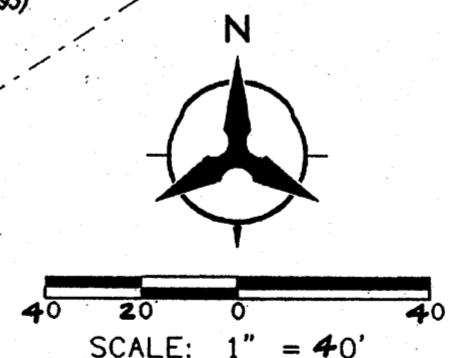
SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements as shown on the plat of record, or made known to me by the owner, utility companies, or other interested parties and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and surveys contained in the City of Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky
New Mexico Professional Surveyor 16469
Date: July 13, 2009

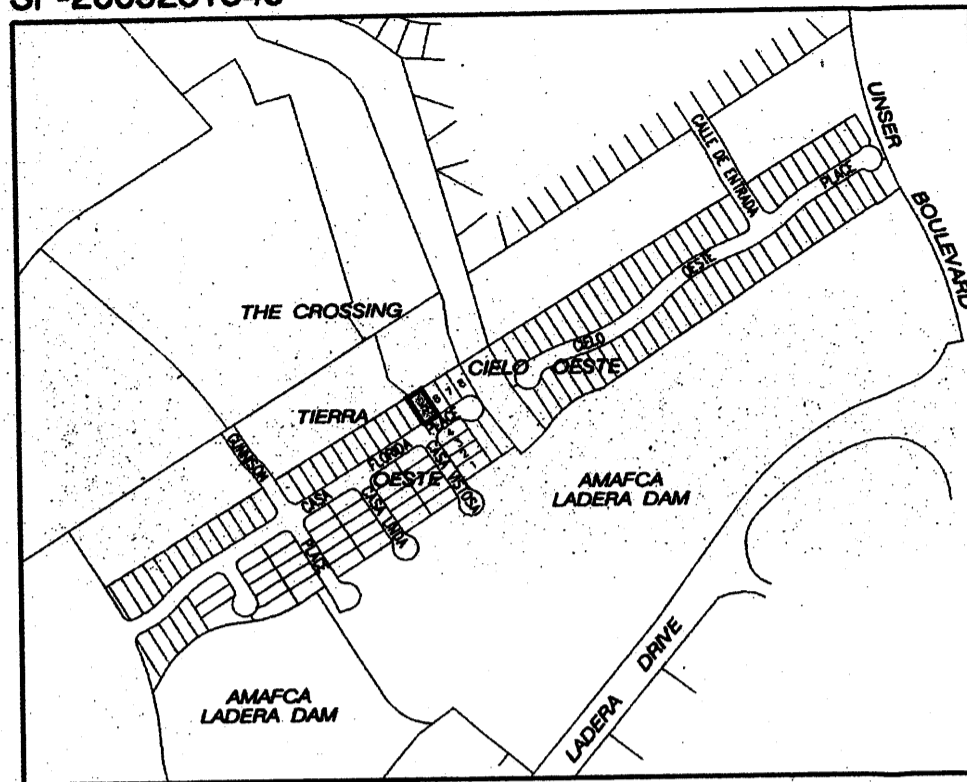


LEGEND table with symbols for boundary lines, centerlines, proposed and existing easement lines, adjoining property lines, and various survey monuments and markers.



Bohannon & Huston logo and address: Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335. Services: ENGINEERING, SPATIAL DATA, ADVANCED TECHNOLOGIES.

SP-2009281340



LOCATION MAP
ZONE ATLAS INDEX MAP No. H-9
NOT TO SCALE

SUBDIVISION DATA

1. DRB No.
2. Zone Atlas Index No. H-9
3. Gross Subdivision Acreage: 0.1252 Acre.
4. Total Number of Lots created: One (1) Lot.
5. No streets were created.
6. Date of Survey: June 23, 2009.
7. Plat is located within the Town of Atrisco Grant, within projected Section 9, Township 10 North, Range 2 East, New Mexico Principal Meridian.

DISCLOSURE STATEMENT

The purpose of this Plat is to replat Lot 5, Cielo Oeste filed on December 10, 2002 in Book 2002C, Page 393, Document No. 2002163815 and to vacate a portion of an existing sanitary sewer easement and to grant easements.

DESCRIPTION

A certain tract of land situate within the Town of Atrisco Grant, within projected Section 9, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Lot 5, Cielo Oeste, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on December 10, 2002 in Book 2002C, Page 393 as Document No. 2002163815.

Tract contains 5452 square feet or 0.1252 acre, more or less.

NOTES

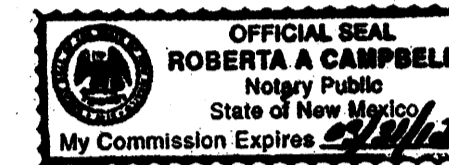
1. Basis of Bearings: New Mexico State Plane Grid Bearings (Central Zone) NAD 1983 Datum also being the same as Bearings shown on the Plat of Cielo Oeste filed on December 10, 2002 in Book 2002C, Page 393, Document No. 2002163815. Record bearings and distances are the same as shown on the plat.
2. Distances are Ground Distances.
3. Lot 5-A is within Zone "X" as shown on Insurance Program Rate Map 35001CO326G Revised September 26, 2008.
4. Pursuant to Section 14-14-4-7 of the City of Albuquerque Code of Ordinances, "No property within the area of this Plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed Plat. The foregoing requirement shall be a condition to approval of this plat."

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Town of Atrisco Grant, within projected Section 9, Township 10 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Lot 5, Cielo Oeste as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on December 10, 2002 in Volume 2002C, Folio 393 as Document No. 2002163815, now comprising Lot 5-A, Cielo Oeste, is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof. Said owner(s) and/or proprietor(s) do hereby grant: All Access, Utility and Drainage Easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility Easements shown hereon for the common and joint use of Gas, Electrical Power, and Communication Services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantee's Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If the Work effects any improvements or Encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of improvements or encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the improvements or encroachments, the Grantee shall, at its own expense, take whatever protective measures are required to safeguard the improvements or encroachments. Said owner warrants that they hold complete and indefeasible title in fee simple to the land subdivided. Said owner(s) and/or proprietor(s) affirm that the property described does lie within the platting jurisdiction of the City of Albuquerque and do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed.

UGENIA MECCHI (Owner of Lot 5)

By: *Ugenia Mecci*
Ugenia Mecci
State of New Mexico)
SS
County of Bernalillo)



This instrument was acknowledged before me on 9 day of October 2009, by Ugenia Mecci.

My Commission Expires: *Roberta A. Campbell*
Notary Public

**PLAT OF
LOT 5-A
CIELO OESTE**
(A REPLAT OF LOT 5 CIELO OESTE)
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JULY, 2009

APPROVALS

PROJECT NUMBER	_____
APPLICATION NUMBER	_____
CITY APPROVALS	<i>Ugenia Mecci</i> 10-12-09
CITY SURVEYOR	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY	DATE
PARKS & RECREATION DEPARTMENT	DATE
A.M.A.F.C.A.	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
REAL PROPERTY DIVISION	DATE

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # _____

PARCEL # _____
BERNALILLO COUNTY TREASURER'S OFFICE DATE _____

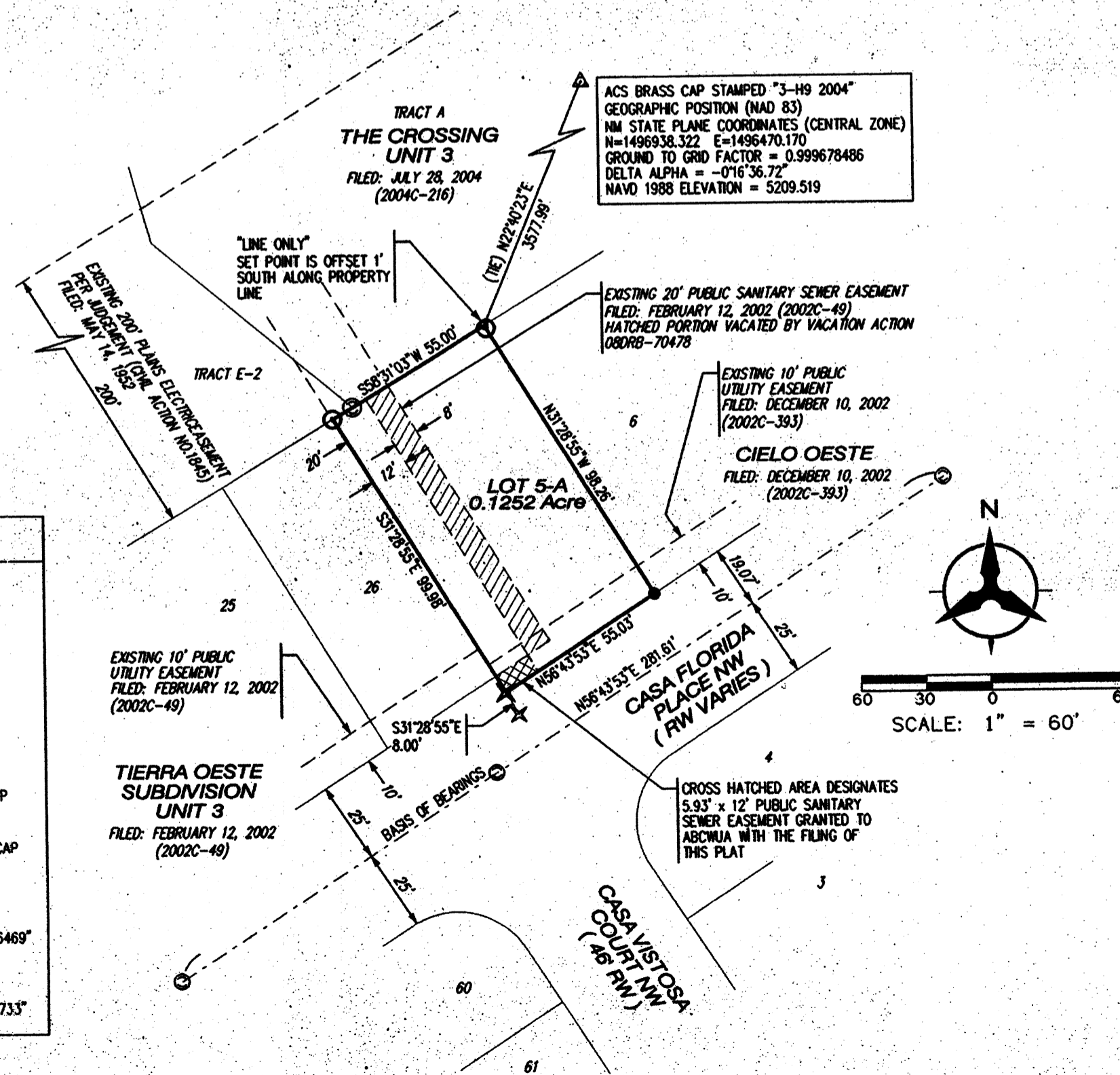
SURVEYOR'S CERTIFICATION

I, Robert Gromatzky, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements as shown on the plat of record, or made known to me by the owner, utility companies, or other interested parties and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors and meets the minimum requirements for monumentation and surveys contained in the City of Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Robert Gromatzky
Robert Gromatzky
New Mexico Professional Surveyor 16469
Date: July 13, 2009

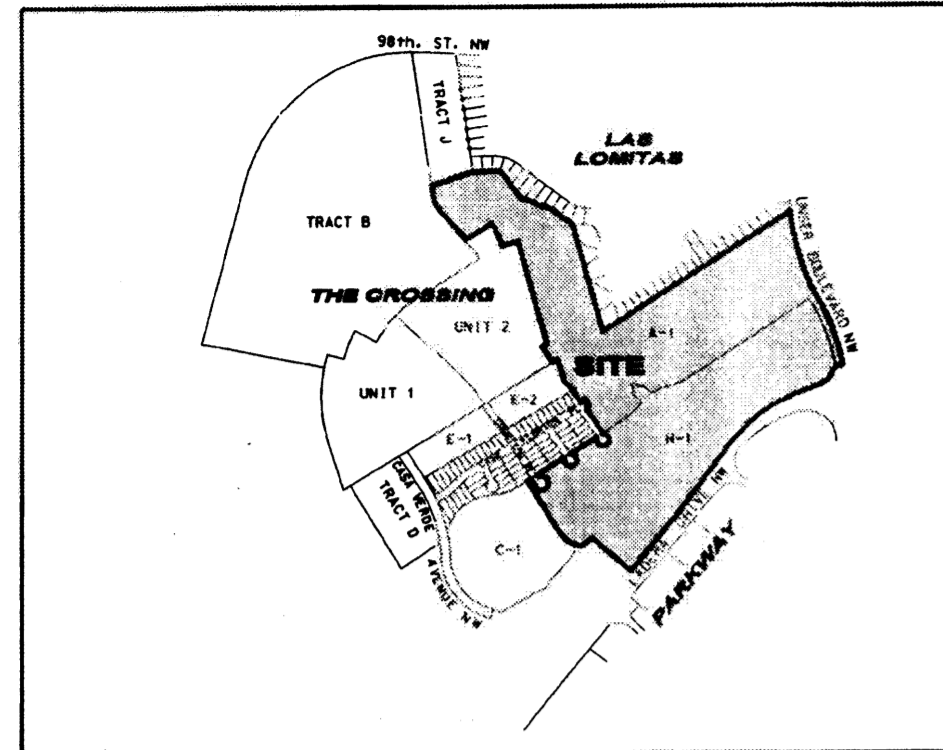


LEGEND	
	BOUNDARY LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	FOUND CENTERLINE MONUMENT - ALUMINUM CAP STAMPED "WEAVER LS 6544"
	SET #5 REBAR WITH YELLOW PLASTIC SURVEY CAP STAMPED "GROMATZKY PS 16469"
	FOUND CHISELED "X" IN CONCRETE
	SET PK NAIL WITH BRASS TAG STAMPED "PS 16469"
	SET CHISELED "X" IN SIDEWALK
	FOUND REBAR/CAP STAMPED "CS GROSHAW 14733"



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SP-2002430787



LOCATION MAP

ZONE ATLAS INDEX MAP Nos. H-9-Z & J-9-Z NOT TO SCALE

SUBDIVISION DATA

- 1. DRB No. 1001939
2. Zone Atlas Index No. H-9-Z & J-9-Z
3. Gross Subdivision Acreage: 62.9545 Acres.
4. Total Number of Tracts/Lots created: Five (5) Tracts and Seventy-five (75) Lots.
5. Total Mileage of full width Streets created: 0.3647 Miles.
6. Date of Survey: August, 2002
7. Plat is located within the Town of Atrisco Grant, within projected Sections 9 and 16, T10N, R2E, NMPM.

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide Tracts A-1, H-1, & a portion of Casa Florida Place, NW of the PLAT OF TIERRA OESTE SUBDIVISION UNIT 3, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 12, 2002 in Book 2002C, Page 49 as Document No. 2002018574 into Five (5) Tracts and Seventy-five (75) Lots, to dedicate additional Public Street right-of-way to the City of Albuquerque, to vacate Public Street Right-of-Way, to grant easements and to vacate easements.

PNM NOTE

Any grading conducted, or improvements installed within PNM utility easements must comply with clearance provisions of the National Electrical Safety Code (NESC), and shall not interfere with PNM's ability to operate and maintain its electric facilities. Prior to installation or construction of improvements within PNM utility easements, the party responsible for such improvements must first contact PNM's Right-of-Way Department in order to execute an Easement Encroachment Agreement with PNM.

PUBLIC UTILITY EASEMENTS

(TO BE GRANTED WITH THE FILING OF THIS PLAT)

PUBLIC UTILITY EASEMENTS granted with this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. ONEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such buried lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subterranean), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgear, as installed shall extend ten feet (10') in front of transformers/switchgear door and five feet (5') on each side.

DESCRIPTION

A certain tract of land situate within the Town of Atrisco Grant, within projected Sections 9 and 16, Township 10 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tracts A-1, H-1 and a northerly portion of Casa Florida Place NW right-of-way of the PLAT OF TIERRA OESTE SUBDIVISION UNIT 3, Albuquerque, New Mexico, as the same are shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 12, 2002 in Book 2002C, Page 49 as Document No. 2002018574 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD27 Datum) and ground distances as follows:

BEGINNING at the southeast corner of said Tract A-1, a point on the westerly right-of-way line of Unser Boulevard NW, whence the Albuquerque City Survey (ACS) monument "3-H10" a standard ACS brass tablet, having New Mexico State Plane Coordinates, Central Zone (NAD 1927) of X=356,889.72 and Y=1,493,922.98 bears N57°03'34"E, a distance of 410.11 feet and from said point of beginning crossing said right-of-way line, S79°29'21"W, a distance of 50.00 feet to the southeast corner of said Tract H-1, a point of curvature (non-tangent) on the northwesterly right-of-way line of Ladera Drive NW, thence running along the southeasterly boundary line of said Tract H-1 and also along said right-of-way line, 175.26 feet along the arc of a curve to the right having a radius of 200.00 feet and a chord which bears S44°22'36"W, a distance of 173.32 feet to a point of tangency; thence, S70°03'14"W, a distance of 94.29 feet to a point of curvature; thence, S93.80 feet along the arc of a curve to the left having a radius of 993.00 feet and a chord which bears S52°55'22"W, a distance of 584.99 feet to a point of non-tangency; thence, S35°47'30"W, a distance of 407.19 feet to a point of curvature; thence, 66.28 feet along the arc of a curve to the right having a radius of 1047.00 feet and a chord which bears S37°36'19"W, a distance of 66.27 feet to a point of tangency; thence, S39°25'08"W, a distance of 573.06 feet to the most southerly corner of said Tract H-1, thence leaving said right-of-way line and running thence along the westerly boundary line of said Tract H-1, N50°34'52"W, a distance of 214.35 feet to a point; thence, N48°00'34"W, a distance of 111.00 feet to a point; thence, S53°21'54"W, a distance of 80.91 feet to a point of curvature (non-tangent); thence, 176.83 feet along the arc of a curve to the right having a radius of 160.00 feet and a chord which bears N60°14'06"W, a distance of 169.80 feet to a point of tangency; thence, N32°05'33"W, a distance of 395.52 feet to the northwest corner of said Tract H-1, thence running along the northerly boundary line of said Tract H-1, N56°43'01"E, a distance of 33.00 feet to a point on the westerly right-of-way line of Gunnison Place NW, thence running along said right-of-way line, S31°28'55"E, a distance of 34.56 feet to a point of curvature; thence, 59.69 feet along the arc of a curve to the right having a radius of 277.00 feet and a chord which bears S25°18'30"E, a distance of 59.58 feet to a point of non-tangency on the southerly right-of-way line of Gunnison Place NW, thence running along the southerly and easterly right-of-way line of Gunnison Place NW, N70°51'56"E, a distance of 41.50 feet to a point of curvature; thence, 116.25 feet along the arc of a curve to the left having a radius of 40.00 feet and a chord which bears N12°23'45"W, a distance of 79.45 feet to a point of reverse curvature; thence, 28.00 feet along the arc of a curve to the right having a radius of 25.00 feet and a chord which bears N63°34'10"W, a distance of 26.56 feet to a point of tangency; thence, N31°28'55"W, a distance of 6.53 feet to a point on the northerly boundary line of said Tract H-1, thence leaving said right-of-way line and running thence along the northerly boundary line of said Tract H-1, N56°43'01"E, a distance of 207.32 feet to a point of curvature (non-tangent) on the westerly right-of-way line of Casa Linda Court NW, thence running along the westerly, the southerly and the easterly right-of-way line of said Casa Linda Court NW, 14.61 feet along the arc of a curve to the right having a radius of 25.00 feet and a chord which bears S07°36'34"E, a distance of 14.40 feet to a point of reverse curvature; thence, 184.86 feet along the arc of a curve to the left having a radius of 40.00 feet and a chord which bears N56°43'53"E, a distance of 59.08 feet to a point of reverse curvature; thence, 14.62 feet along the arc of a curve to the right having a radius of 25.00 feet and a chord which bears N58°54'52"W, a distance of 14.41 feet to a point of non-tangency on the northerly boundary line of said Tract H-1, thence leaving said right-of-way line and running thence along the northerly boundary line of said Tract H-1, N56°43'01"E, a distance of 201.81 feet to a point of curvature (non-tangent) on the westerly right-of-way line of Casa Vistosa Court NW, thence running along the westerly, the southerly and the easterly right-of-way line of said Casa Vistosa Court NW, 14.67 feet along the arc of a curve to the right having a radius of 25.00 feet and a chord which bears S07°40'54"E, a distance of 14.46 feet to a point of reverse curvature; thence, 184.86 feet along the arc of a curve to the left having a radius of 40.00 feet and a chord which bears N56°43'53"E, a distance of 59.08 feet to a point of reverse curvature; thence, 18.50 feet along the arc of a curve to the right having a radius of 25.00 feet and a chord which bears N54°28'06"W, a distance of 18.08 feet to a point of tangency on the westerly boundary line of said Tract A-1, thence running along the westerly boundary line of said Tract A-1 and also along the easterly right-of-way line of said Casa Vistosa Court NW, N33°16'07"W, a distance of 176.17 feet to a point of curvature; thence, 39.21 feet along the arc of a curve to the right having a radius of 25.00 feet and a chord which bears N11°43'16"E, a distance of 35.36 feet to a point of non-tangency on the right-of-way line of Casa Florida Place NW, thence running along the westerly boundary line of said Tract A-1 and also along said right-of-way line, N33°16'07"W, a distance of 44.07 feet to a point, thence leaving the westerly boundary line of said Tract A-1 and also said right-of-way line and running thence into the right-of-way of said Casa Florida Place NW, S56°43'53"W, a distance of 32.01 feet to a point; thence, N31°28'55"W, a distance of 99.98 feet to a point on the westerly boundary line of said Tract A-1, thence running along the westerly boundary line of said Tract A-1, N58°31'03"E, a distance of 7.14 feet to a point; thence, N50°00'47"E, a distance of 79.72 feet to a point; thence, N15°46'23"W, a distance of 152.21 feet to a point; thence, S51°54'25"W, a distance of 40.66 feet to a point; thence, N32°05'35"W, a distance of 122.13 feet to a point; thence, N51°54'25"E, a distance of 35.35 feet to a point; thence, N15°51'19"W, a distance of 680.39 feet to a point; thence, S74°08'41"W, a distance of 110.00 feet to a point; thence, N15°51'19"W, a distance of 8.00 feet to a point of curvature; thence, 149.79 feet along the arc of a curve to the left having a radius of 525.00 feet and a chord which bears N24°01'44"W, a distance of 149.28 feet to a point of non-tangency; thence, S57°47'50"W, a distance of 198.73 feet to a point; thence, N40°14'59"W, a distance of 315.85 feet to a point; thence, N08°19'45"W, a distance of 114.79 feet to the northwest corner of said Tract A-1, thence running along the northwesterly and northeasterly boundary of said Tract A-1, N71°44'43"E, a distance of 284.25 feet to a point; thence, N89°37'08"E, a distance of 180.00 feet to a point; thence, S35°38'34"E, a distance of 210.34 feet to a point; thence, S69°24'29"E, a distance of 216.01 feet to a point; thence, S53°49'09"E, a distance of 168.93 feet to a point; thence, S15°51'59"E, a distance of 708.60 feet to a point; thence, N57°54'25"E, a distance of 1430.45 feet to the northeast corner of said Tract A-1, a point of curvature (non-tangent) on the westerly right-of-way line of Unser Boulevard NW, thence running along the easterly boundary line of said Tract A-1 and also along said right-of-way line, 608.33 feet along the arc of a curve to the left having a radius of 1478.00 feet and a chord which bears S18°03'18"E, a distance of 604.04 feet to a point of reverse curvature; thence, 446.13 feet along the arc of a curve to the right having a radius of 1322.00 feet and a chord which bears S20°10'42"E, a distance of 444.02 feet to the point and place of beginning.

Tract contains 62.9545 acres, more or less.

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Town of Atrisco Grant, within projected Sections 9 and 16, Township 10 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tracts A-1 and H-1 of the PLAT OF TIERRA OESTE SUBDIVISION UNIT 3, Albuquerque, New Mexico, as the same are shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 12, 2002 in Volume 2002C, Folio 49 as Document No. 2002018574, now comprising Tracts A-1-A, A-1-B, A-1-C, A-1-D, H-1-A, and Lots 1 through 75, inclusive of the PLAT OF CIELO OESTE, Albuquerque, New Mexico is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets and public rights-of-way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants and do hereby dedicate Tract A-1-A to Albuquerque Metropolitan Arroyo Flood Control Authority in Fee Simple with Warranty Covenants and do hereby grant: All Access, Utility and Drainage Easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried/overhead distribution lines, conduits, pipes for underground Utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. In the event Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the encroachments (Work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the Work effects any of the Encroachments. The City shall also have the right if necessary, to enter Grantor's property to access the easement areas for the purposes of performing the Work. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

WESTLAND DEVELOPMENT COMPANY, INC. 401 Coors Boulevard, NW Albuquerque, NM 87121

BY: Barbara Page, President & C.E.O.

State of New Mexico) County of Bernalillo)

This instrument was acknowledged before me on 14 day of November, 2002, by Barbara Page, President & C.E.O. of Westland Development Company, Inc.



Lindsey Blair, Notary Public, My Commission Expires 11/30/05

- 1. Basis of Bearings: New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 Datum also being the same as Bearings shown on PLAT OF THE CROSSING, filed: July 9, 1996 as Document No. 96076305 in Volume 96C, Folio 302.
2. Distances are Ground Distances.
3. All easements of record are shown.
4. Centerline (in lieu of R/I monumentation) to be installed at all centerline PC's, PI's, angle points and street intersections prior to acceptance of subdivision street improvements and shall consist of a standard four-inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monumentation", "Survey Marker", "Do Not Disturb", "PLS#6544".
5. Tracts A-1-A, A-1-B, A-1-C, A-1-D & H-1-A are subject to an existing Temporary Drainage Easement that was granted to ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY, for drainage, flood control, conveyance of storm water, stockpiling of sediment, and the construction, reconstruction, operation, maintenance of, and access to such facilities by the Plat Of The Crossing, filed: July 9, 1996 in Volume 96C, Folio 302. This easement is temporary and any portion of the Easement shall revert to the Grantor, its successors or assigns, as and to the extent said portion is declared unnecessary for flood control or drainage by the Board of Directors of AMAFCA. Any reversion shall be conveyed by quitclaim deed. There is reserved to the Grantor, its successors and assigns, the right to use said Easement area for open space, landscaping and other purposes which will not interfere with the rights and Easement granted, provided the grantor obtains Grantee's prior written Licensed approval for such use, not to be unreasonably withheld.
6. Existing Temporary Drainage Easement on Lots 1 thru 75 and Tracts A-1-C and A-1-D to be vacated by Vacation Action V-1001939-02DRB and AMAFCA quitclaim deed.
7. Lots 1 thru 11 and 75 are within a 100-year Floodplain as shown on National Flood Insurance Program Rate Map 35001C0326D and are within an existing AMAFCA Floodplain Easement granted by Plat filed July 9, 1996 in Volume 96C, Folio 302 as Document No. 96076305. Until such time that a LOMR is issued by FEMA to remove the Floodplain, Flood Insurance may be required by the Mortgage Company. Final release of AMAFCA Easement is subject to receipt of a Quitclaim Deed from AMAFCA.
8. Total remaining open space requirements are met via the provisions of the detached open space per the provisions of Section 14-16-3-8(A)(3), The Crossing Agreement.

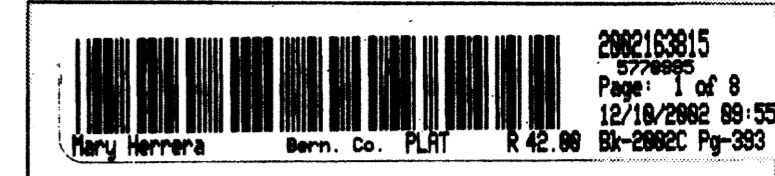
ENCROACHMENT AGREEMENT

Public Service Company (PNM) and Landowner, and its successors and assigns agree that encroachments into PNM utility easements as shown on this plat are permissible subject to the following:

- 1. By granting the right to encroach, PNM does not waive or relinquish any prior easement rights possessed by PNM, nor shall Landowner erect any structure or perform any activity that diminishes PNM's access and maintenance easement rights.
2. PNM shall not be responsible for any damage to facilities, equipment, structures or other property of Landowner if damaged by reason of PNM's use of the easements.
3. Landowner shall indemnify and hold harmless PNM for any and all claims resulting from the encroachments into the PNM easements.
4. All encroachments must comply with clearance provisions of the National Electrical Safety Code (NESC). If not, corrections shall be made at expense of Landowner.

PNM STAMP

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.



PLAT OF CIELO OESTE (A REPLAT OF TRACTS A-1 & H-1 TIERRA OESTE SUBDIVISION UNIT 3) ALBUQUERQUE, NEW MEXICO NOVEMBER, 2002

APPROVALS

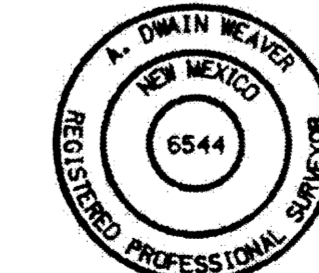
Table with columns for Title, Name, and Date. Approvals include Planning Director (12-10-02), City Engineer (12/4/02), Traffic Engineer (11-26-02), City Surveyor (12-04-02), Property Management (12/04/02), Utility Development Department (12/4/02), Parks & Recreation (11-19-02), Onest (11/18/02), Comcast Cable (11-18-02), PNM Electric Services (11-18-02), and PNM Gas Services (11-18-02).

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 1-005-097-346-042-40787. PROPERTY OWNER OF RECORD: Westland Dev. Co Inc, Date: 12-10-02

SURVEYOR'S CERTIFICATION

I, A. Dwin Weaver, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.



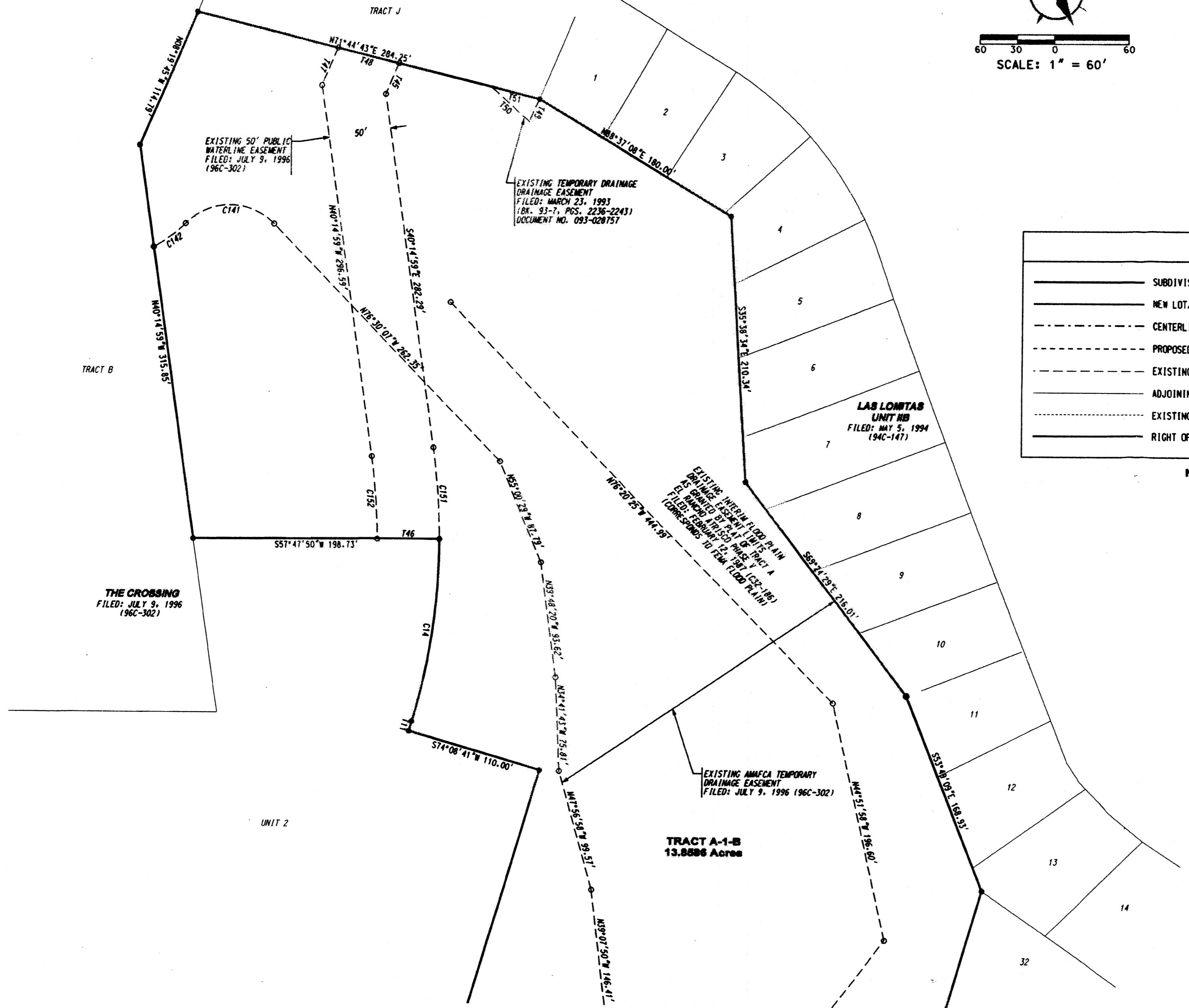
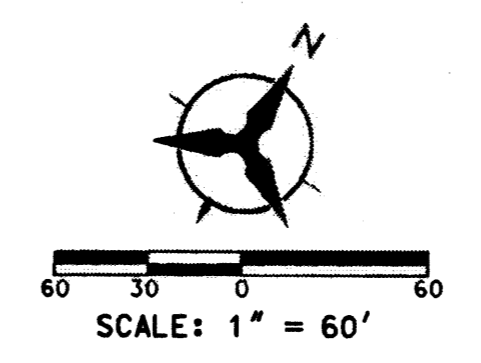
A. Dwin Weaver, New Mexico Professional Surveyor 6544, Date: November 14, 2002

Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

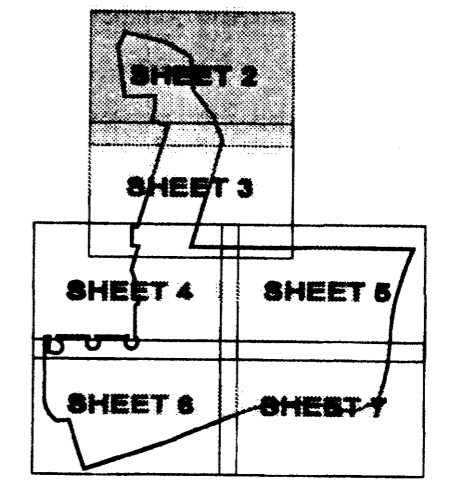
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PLAT OF
CIELO OESTE
 (A REPLAT OF TRACTS A-1 & H-1
 TIERRA OESTE SUBDIVISION
 UNIT 3)
 ALBUQUERQUE, NEW MEXICO
 NOVEMBER, 2002



LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT/TRACT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) TRACT LINE
	RIGHT OF WAY
	10' PUE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	FOUND PK NAIL IN TOP OF CONCRETE WALL
	5/8" REBAR WITH 1 1/2" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
	FOUND 5/8" REBAR
	FOUND 5/8" REBAR WITH SURVEY CAP STAMPED "LS 8478"

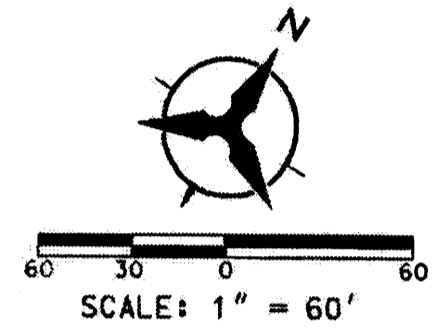
NOTE: SEE SHEET 6 FOR CURVE & TANGENT DATA



Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87108-4335
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

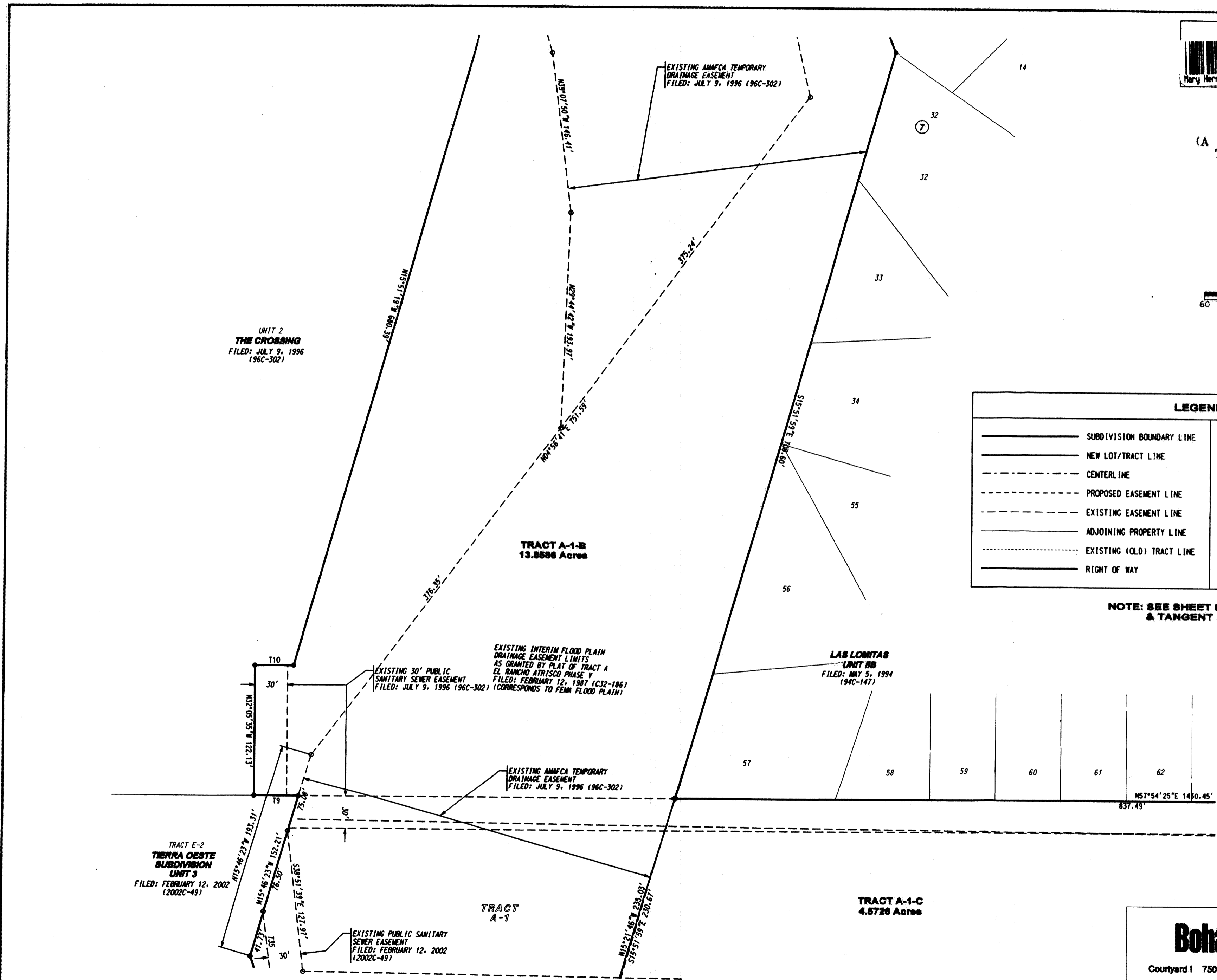
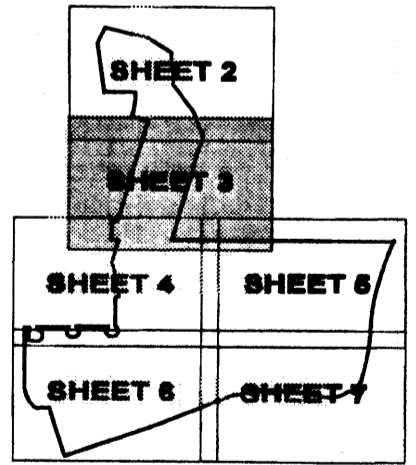
2697

PLAT OF
CIELO OESTE
 (A REPLAT OF TRACTS A-1 & H-1
 TIERRA OESTE SUBDIVISION
 UNIT 3)
 ALBUQUERQUE, NEW MEXICO
 NOVEMBER, 2002



LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT/TRACT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) TRACT LINE
	RIGHT OF WAY
	10' PUE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	FOUND PK NAIL IN TOP OF CONCRETE WALL
	5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
	FOUND 5/8" REBAR
	FOUND 5/8" REBAR WITH SURVEY CAP STAMPED "LS 8478"

NOTE: SEE SHEET 8 FOR CURVE & TANGENT DATA



Bohannon & Huston
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

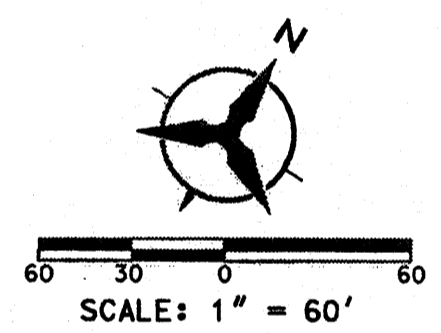
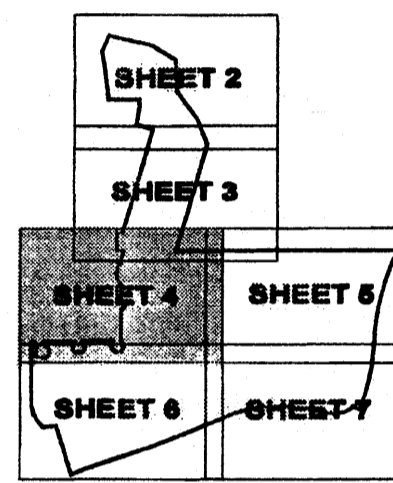
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LEGEND			
	SUBDIVISION BOUNDARY LINE	10' PUE	10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
	NEW LOT/TRACT LINE		CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE		CENTERLINE MONUMENT TO BE INSTALLED
	PROPOSED EASEMENT LINE		FOUND PK NAIL IN TOP OF CONCRETE WALL
	EXISTING EASEMENT LINE		5/8" REBAR WITH 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
	ADJOINING PROPERTY LINE		FOUND 5/8" REBAR
	EXISTING (OLD) TRACT LINE		FOUND 5/8" REBAR WITH SURVEY CAP STAMPED "LS 8478"
	RIGHT OF WAY		

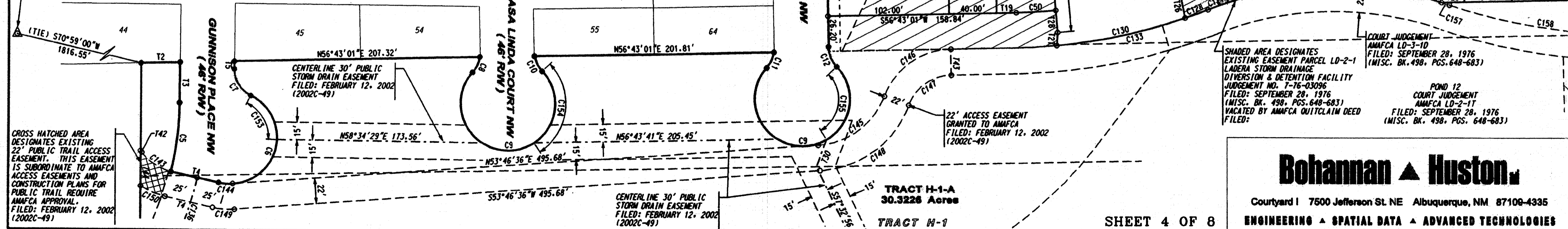
NOTE: SEE SHEET 8 FOR CURVE & TANGENT DATA

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Page: 4 of 8
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Mary Herrera Bern. Co. PLRT R 42.00 BI-2002C Pg-393

**PLAT OF
CIELO OESTE**
(A REPLAT OF TRACTS A-1 & H-1
TIERRA OESTE SUBDIVISION
UNIT 3)
ALBUQUERQUE, NEW MEXICO
NOVEMBER, 2002



BOHANNAN & HUSTON BRASS CAP STAMPED "BH-40"
GEOGRAPHIC POSITION (NAD 1927)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X=352,790.66 Y=1,492,346.53
GROUND TO GRID FACTOR = 0.99967105
DELTA ALPHA = -00°16'59"
NGVD 1929 ELEVATION = 5305.43



SHADED AREA DESIGNATES
EXISTING EASEMENT PARCEL LD-2-1
LADERA STORM DRAINAGE
DIVERSION & DETENTION FACILITY
JUDGEMENT NO. 7-76-03096
FILED: SEPTEMBER 28, 1976
(MISC. BK. 498, PGS. 648-683)
VACATED BY AMAFCA OUTCLAIM DEED
FILED:

COURT JUDGEMENT
AMAFCA LD-3-10
FILED: SEPTEMBER 28, 1976
(MISC. BK. 498, PGS. 648-683)

POND 12
COURT JUDGEMENT
AMAFCA LD-2-1T
FILED: SEPTEMBER 28, 1976
(MISC. BK. 498, PGS. 648-683)

Bohannon & Huston
Court yard | 7500 Jefferson St NE Albuquerque, NM 87106-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

SHEET 4 OF 8

2697

PLAT OF
CIELO OESTE
 (A REPLAT OF TRACTS A-1 & H-1
 TIERRA OESTE SUBDIVISION
 UNIT 3)
 ALBUQUERQUE, NEW MEXICO
 NOVEMBER, 2002

LEGEND

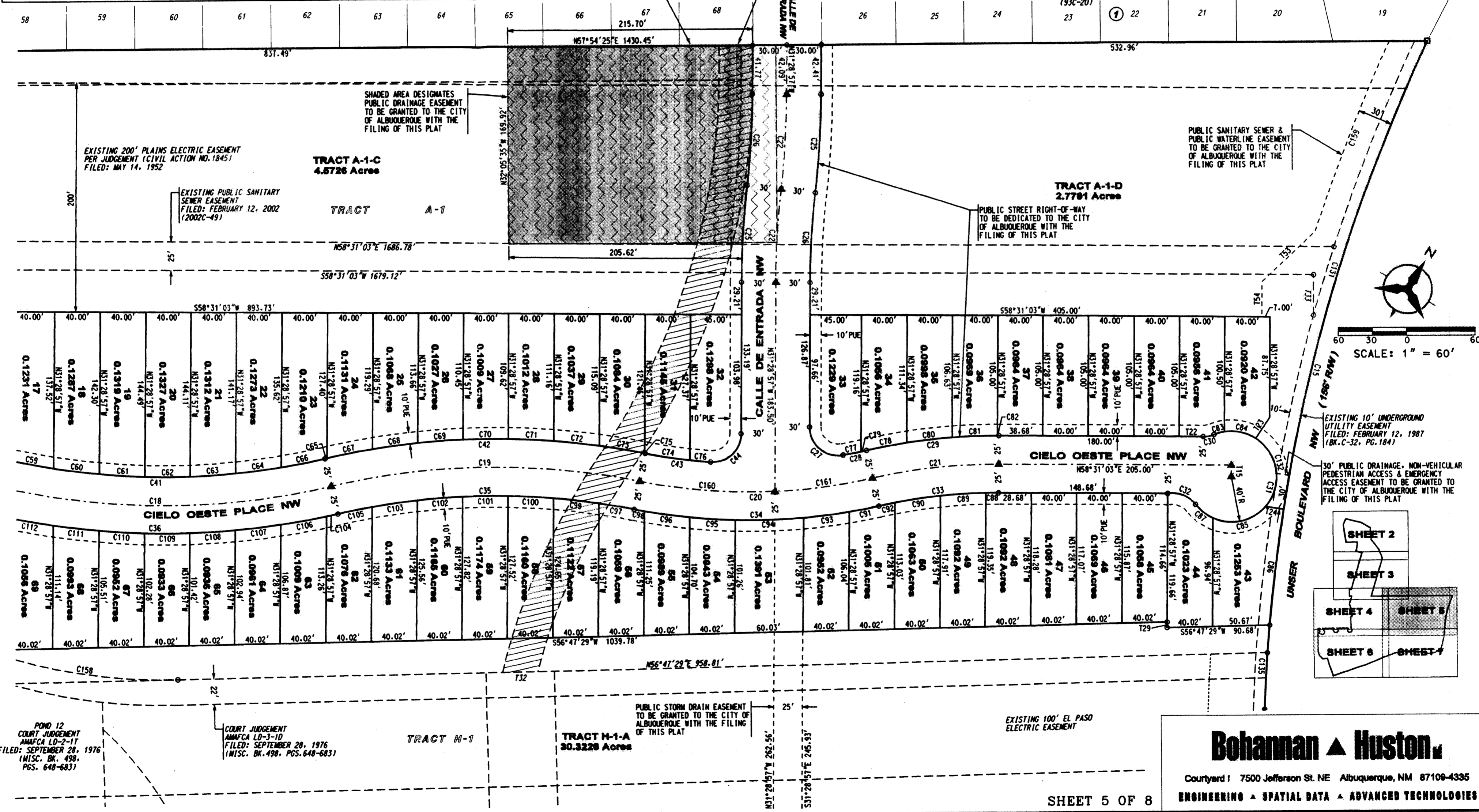
	SUBDIVISION BOUNDARY LINE	10' PUE	10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
	NEW LOT/TRACT LINE		CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE		CENTERLINE MONUMENT TO BE INSTALLED
	PROPOSED EASEMENT LINE		FOUND PK NAIL IN TOP OF CONCRETE WALL
	EXISTING EASEMENT LINE		5/8" REBAR WITH 1 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
	ADJOINING PROPERTY LINE		FOUND 5/8" REBAR
	EXISTING (OLD) TRACT LINE		FOUND 5/8" REBAR WITH SURVEY CAP STAMPED "LS 8478"
	RIGHT OF WAY		

NOTE: SEE SHEET 8 FOR CURVE & TANGENT DATA

PATTERNED AREA DESIGNATES EXISTING CITY OF ALBUQUERQUE TEMPORARY DRAINAGE EASEMENT FILED: JUNE 26, 1992 (BK. 92-15, PGS. 640-651) DOCUMENT NO. 08261497 VACATED BY VACATION V-100939-02DRB-00716

HATCHED AREA DESIGNATES EXISTING 30' PUBLIC STORM DRAIN EASEMENT FILED: JUNE 26, 1992 (BK. 92-15, PG. 652) DOCUMENT NO. 09261497 VACATED BY VACATION V-100939-02DRB-00716

LAS LONITAS
 UNIT I & UNIT II
 FILED: JANUARY 20, 1993
 (93C-20)

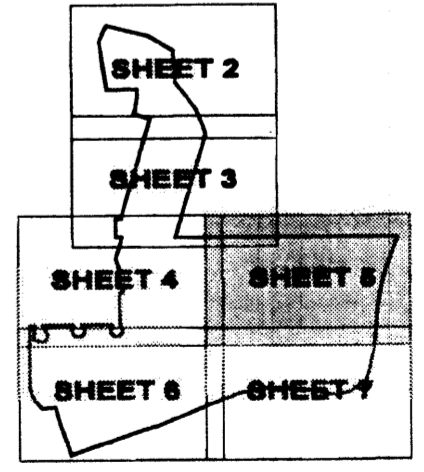


POND 12
 COURT JUDGEMENT
 AMAFCA LD-2-1T
 FILED: SEPTEMBER 28, 1976
 (MISC. BK. 498,
 PGS. 640-683)

COURT JUDGEMENT
 AMAFCA LD-3-1D
 FILED: SEPTEMBER 28, 1976
 (MISC. BK. 498, PGS. 640-683)

PUBLIC STORM DRAIN EASEMENT
 TO BE GRANTED TO THE CITY OF
 ALBUQUERQUE WITH THE FILING
 OF THIS PLAT

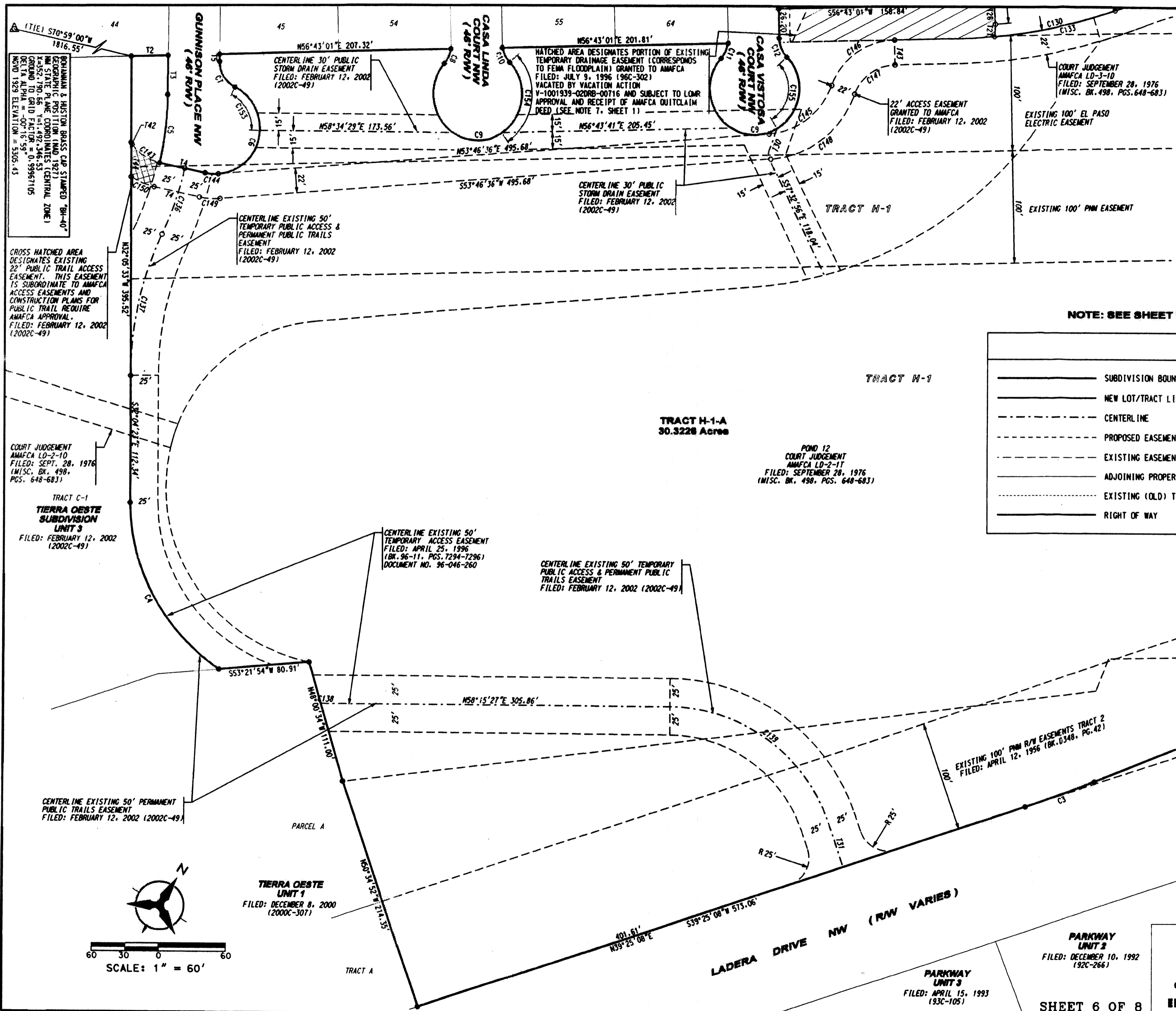
EXISTING 100' EL PASO
 ELECTRIC EASEMENT



Bohannon & Huston
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

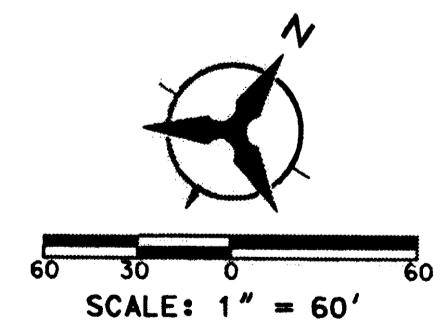
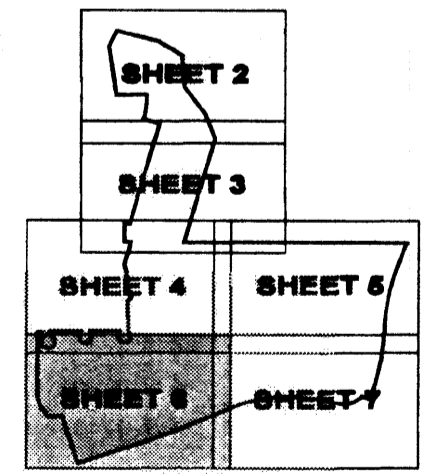
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PLAT OF
CIELO OESTE
 (A REPLAT OF TRACTS A-1 & H-1
 TIERRA OESTE SUBDIVISION
 UNIT 3)
 ALBUQUERQUE, NEW MEXICO
 NOVEMBER, 2002



NOTE: SEE SHEET 8 FOR CURVE AND TANGENT DATA

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT/TRACT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) TRACT LINE
	RIGHT OF WAY
	10' PUE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	FOUND PK NAIL IN TOP OF CONCRETE WALL
	5/8" REBAR WITH 1 1/2" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
	FOUND 5/8" REBAR
	FOUND 5/8" REBAR WITH SURVEY CAP STAMPED "LS 8478"



Bohannon & Huston
 Engineering & Spatial Data & Advanced Technologies
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 FILED: DECEMBER 10, 1992 (192C-266)

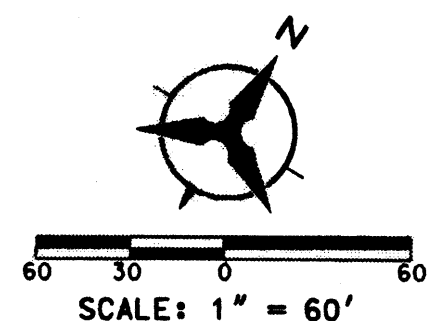
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LEGEND

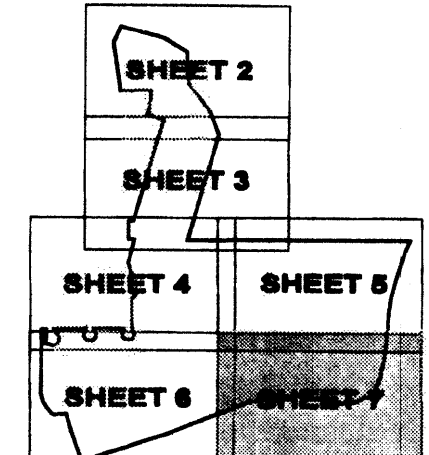
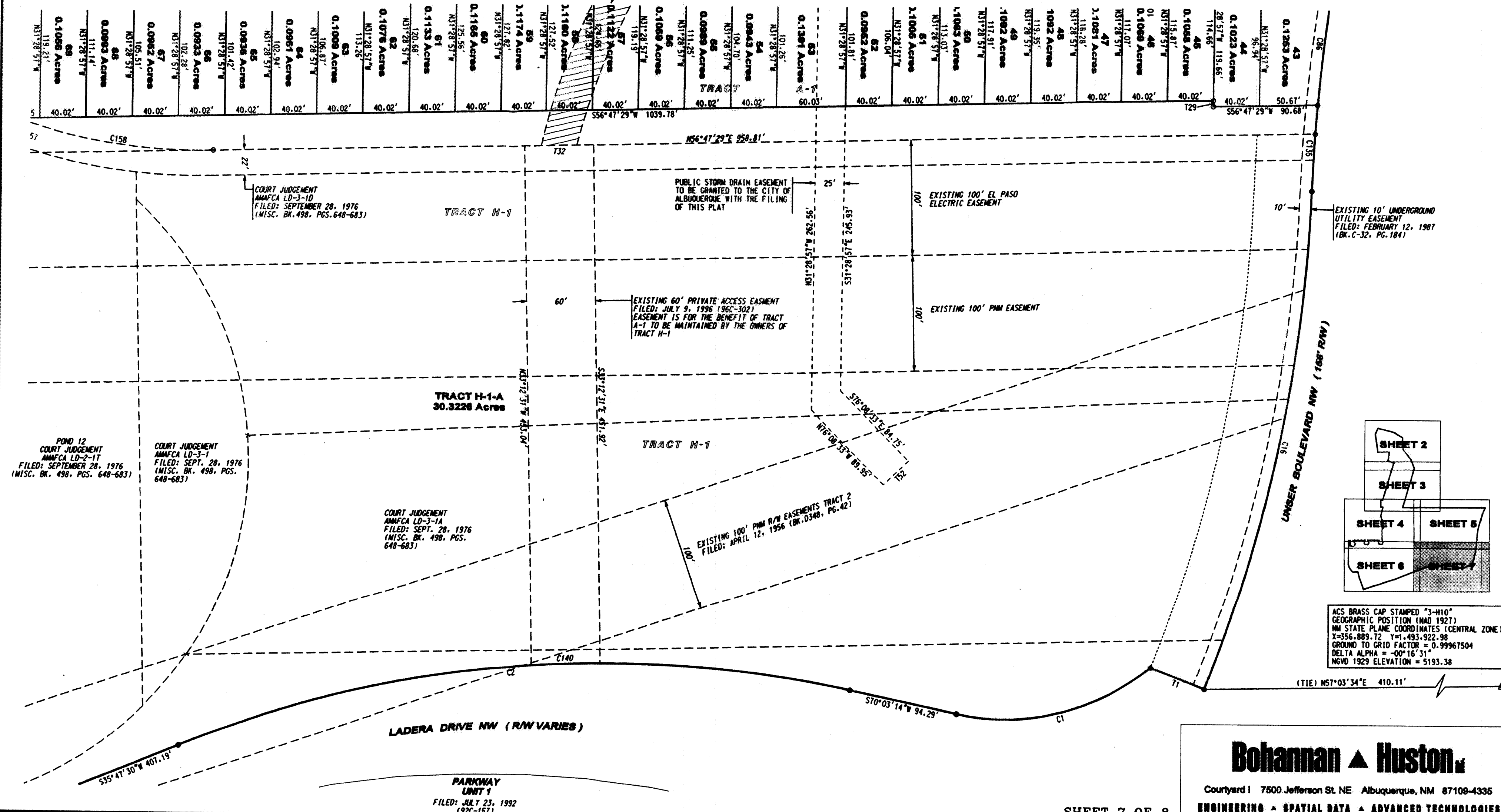
	SUBDIVISION BOUNDARY LINE	10' PUE	10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
	NEW LOT/TRACT LINE		CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE		CENTERLINE MONUMENT TO BE INSTALLED
	PROPOSED EASEMENT LINE		FOUND PK NAIL IN TOP OF CONCRETE WALL
	EXISTING EASEMENT LINE		5/8" REBAR WITH 1 1/2" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
	ADJOINING PROPERTY LINE		FOUND 5/8" REBAR
	EXISTING (OLD) TRACT LINE		FOUND 5/8" REBAR WITH SURVEY CAP STAMPED "LS 8478"
	RIGHT OF WAY		

NOTE: SEE SHEET 8 FOR CURVE & TANGENT DATA

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 Page: 7 of 8
 12/18/2002 09:35R
 Mary Herrera Bern. Co. PLRT R 42.00 Bk-2802C Pg-393



**PLAT OF
 CIELO OESTE**
 (A REPLAT OF TRACTS A-1 & H-1
 TIERRA OESTE SUBDIVISION
 UNIT 3)
 ALBUQUERQUE, NEW MEXICO
 NOVEMBER, 2002



ACS BRASS CAP STAMPED "3-H10"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X=356,889.72 Y=1,493,922.38
 GROUND TO GRID FACTOR = 0.99967504
 DELTA ALPHA = -00°16'31"
 NGVD 1929 ELEVATION = 5193.38

Bohannon & Huston
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87108-4335
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

SHEET 7 OF 8

2697

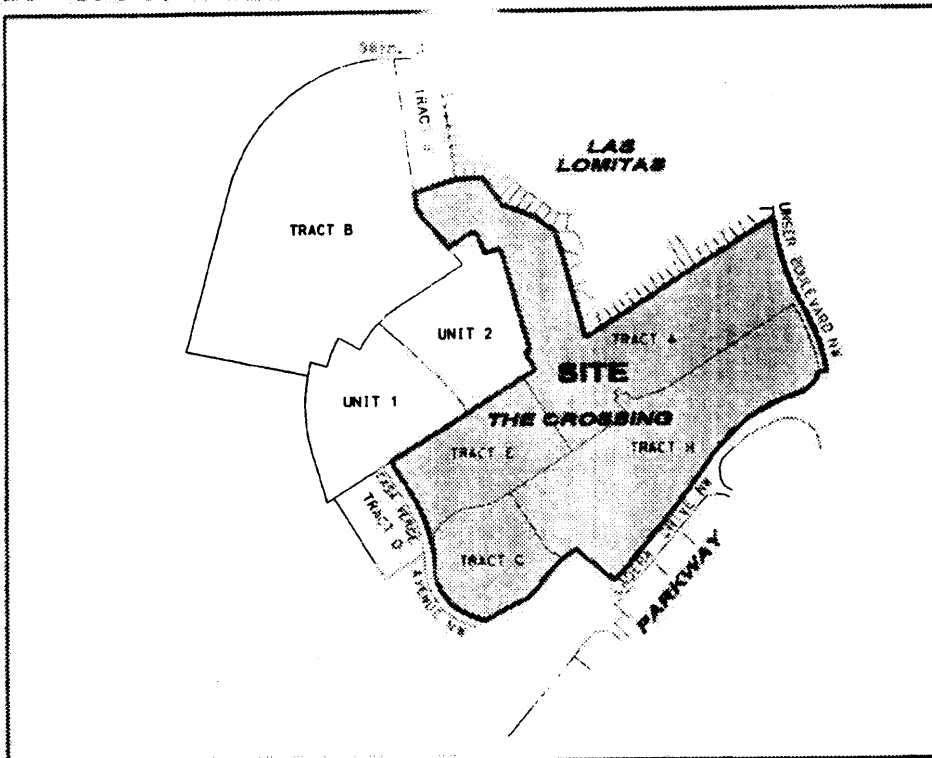
CURVE DATA						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	51°21'17"	96.16'	179.26'	200.00'	173.32'	S44°22'36"W
C2	34°15'44"	306.08'	593.80'	993.00'	584.99'	S52°55'22"W
C3	03°31'38"	33.15'	66.28'	1047.00'	66.27'	S37°36'19"W
C4	56°11'07"	96.28'	166.83'	180.00'	169.80'	N60°14'06"W
C5	12°20'50"	29.96'	59.69'	277.00'	59.58'	S25°18'30"E
C6	166°31'21"	338.53'	116.25'	40.00'	79.45'	N12°23'45"W
C7	64°10'30"	15.67'	28.00'	25.00'	26.56'	N63°34'10"W
C8	33°28'49"	7.52'	14.61'	25.00'	14.40'	S07°36'34"E
C9	26°47'56"	184.86'	40.00'	59.08'	N56°43'53"E	
C10	33°30'27"	7.53'	14.62'	25.00'	14.41'	N58°54'52"W
C11	33°37'29"	7.55'	14.67'	25.00'	14.46'	S07°40'54"E
C12	42°23'58"	9.70'	18.50'	25.00'	18.08'	N54°28'06"W
C13	30°00'00"	25.00'	39.27'	25.00'	35.36'	N11°43'53"E
C14	16°20'51"	75.41'	149.79'	525.00'	149.28'	N24°01'14"W
C15	23°34'56"	308.53'	608.33'	1478.00'	604.04'	S18°03'18"E
C16	19°20'07"	225.21'	446.13'	1322.00'	444.02'	S20°10'42"E
C17	14°11'13"	80.89'	160.95'	650.00'	160.54'	N63°36'40"E
C18	27°31'23"	159.19'	312.24'	650.00'	309.24'	N58°56'35"E
C19	24°07'48"	138.93'	273.74'	650.00'	271.73'	N57°14'47"E
C20	23°37'01"	104.53'	206.10'	500.00'	204.64'	N57°30'11"E
C21	12°49'23"	56.19'	111.90'	500.00'	111.67'	N52°06'22"E
C22	06°18'00"	41.06'	82.03'	150.00'	81.99'	N20°20'57"W
C23	24°32'14"	169.85'	40.00'	68.05'	N51°33'01"E	
C24	63°26'13"	15.45'	27.68'	25.00'	26.29'	S88°26'59"W
C25	06°16'00"	42.70'	85.31'	780.00'	85.27'	S28°20'57"E
C26	06°16'00"	39.41'	78.75'	720.00'	78.71'	S28°20'57"E
C27	100°19'15"	29.96'	43.77'	25.00'	38.39'	S81°38'34"E
C28	02°30'08"	10.37'	20.75'	475.00'	20.74'	N46°56'44"E
C29	12°49'23"	59.00'	117.50'	525.00'	117.25'	N52°06'22"E
C30	22°37'13"	5.00'	9.87'	25.00'	9.81'	N47°12'27"E
C31	25°38'25"	177.77'	40.00'	63.62'	S16°46'57"E	
C32	59°52'51"	15.34'	27.84'	26.64'	26.59'	S19°42'59"W
C33	12°49'23"	53.38'	106.31'	475.00'	106.09'	S52°06'22"W
C34	23°37'01"	109.76'	216.40'	525.00'	214.87'	S51°30'11"W
C35	24°07'48"	133.59'	263.22'	625.00'	261.28'	S51°14'47"W
C36	27°31'23"	165.31'	324.25'	675.00'	321.14'	S58°56'35"W
C37	10°00'30"	54.73'	109.17'	625.00'	109.04'	S67°42'01"W
C38	59°54'54"	14.41'	26.14'	25.00'	24.97'	S32°44'18"W
C39	23°44'11"	164.58'	40.00'	70.72'	N59°21'03"W	
C40	14°11'13"	84.00'	167.14'	675.00'	166.71'	N65°36'40"E
C41	27°31'23"	153.07'	300.23'	625.00'	297.35'	N58°56'35"E
C42	24°07'48"	144.28'	284.27'	675.00'	282.18'	N57°14'47"E
C43	07°03'02"	29.26'	58.45'	475.00'	47.50'	N65°47'10"E
C44	93°44'36"	26.69'	40.90'	25.00'	36.49'	N15°23'21"E
C45	46°30'53"	10.74'	20.30'	25.00'	19.74'	N79°59'13"E
C46	86°29'10"	37.62'	60.38'	40.00'	54.81'	S80°01'32"E
C47	16°55'20"	3.72'	7.38'	25.00'	7.36'	S68°17'35"E
C48	63°26'13"	24.72'	44.29'	40.00'	42.06'	N88°26'59"E
C49	78°05'07"	32.44'	54.51'	40.00'	50.39'	S17°41'19"W
C50	04°24'04"	16.66'	33.31'	433.58'	33.30'	N54°30'59"E
C51	89°13'20"	39.46'	62.29'	40.00'	56.18'	S05°56'52"W
C52	02°04'31"	12.23'	24.47'	675.00'	24.47'	S59°33'21"W
C53	07°57'31"	2.78'	5.56'	40.00'	5.55'	S54°35'18"W
C54	03°24'12"	20.05'	40.09'	675.00'	40.09'	S62°17'56"W
C55	03°25'22"	20.17'	40.32'	675.00'	40.32'	S65°42'32"W
C56	03°27'18"	20.36'	40.70'	675.00'	40.70'	S69°08'52"W
C57	01°47'33"	9.78'	19.55'	625.00'	19.55'	S71°48'30"W
C58	01°49'45"	10.78'	21.55'	675.00'	21.55'	S71°47'24"W
C59	03°43'49"	20.35'	40.69'	625.00'	40.69'	S69°02'49"W
C60	03°41'31"	20.15'	40.29'	625.00'	40.28'	S65°20'05"W
C61	03°40'23"	20.04'	40.07'	625.00'	40.06'	S61°39'05"W
C62	03°40'04"	20.01'	40.01'	625.00'	40.00'	S57°58'52"W
C63	03°40'39"	20.06'	40.12'	625.00'	40.11'	S54°18'31"W
C64	03°42'10"	20.20'	40.35'	625.00'	40.38'	S50°31'06"W
C65	00°08'49"	0.87'	1.73'	675.00'	1.73'	S45°15'18"W
C66	03°35'08"	19.56'	39.11'	625.00'	39.11'	S46°58'27"W
C67	03°27'53"	20.42'	40.82'	675.00'	40.81'	S47°03'40"W
C68	03°25'45"	20.21'	40.40'	675.00'	40.39'	S50°30'29"W
C69	03°24'24"	20.07'	40.13'	675.00'	40.13'	S53°55'34"W
C70	03°23'48"	20.01'	40.01'	675.00'	40.01'	S57°19'40"W
C71	03°23'54"	20.02'	40.04'	675.00'	40.03'	S60°43'30"W
C72	03°24'44"	20.11'	40.20'	675.00'	40.19'	S64°07'49"W
C73	03°26'19"	20.26'	40.51'	675.00'	40.50'	S67°33'21"W
C74	04°49'37"	20.02'	40.02'	675.00'	40.01'	S66°53'56"W
C75	00°02'11"	0.21'	0.43'	675.00'	0.43'	S69°11'36"W
C76	02°13'25"	9.22'	18.44'	475.00'	18.43'	S63°22'21"W
C77	01°54'33"	7.91'	15.83'	475.00'	15.83'	S47°14'33"W
C78	03°54'45"	17.93'	35.85'	525.00'	35.84'	S47°39'02"W
C79	00°35'36"	2.46'	4.92'	475.00'	4.92'	S45°59'25"W
C80	04°23'48"	20.15'	40.29'	525.00'	40.28'	S51°48'18"W
C81	04°22'12"	20.03'	40.04'	525.00'	40.03'	S56°11'18"W
C82	00°08'39"	0.66'	1.32'	525.00'	1.32'	S58°26'44"W
C83	13°31'44"	4.74'	9.44'	40.00'	9.42'	S42°39'42"W
C84	41°35'38"	15.19'	29.04'	40.00'	28.40'	S70°13'22"W
C85	73°42'35"	29.98'	51.46'	40.00'	47.98'	N45°44'33"E
C86	04°02'20"	52.12'	104.19'	1478.00'	104.17'	S24°55'53"E
C87	27°56'25"	9.95'	19.51'	40.00'	19.31'	S83°25'57"E
C88	01°21'56"	5.66'	11.32'	475.00'	11.32'	S57°50'05"W
C89	04°50'13"	20.06'	40.10'	475.00'	40.09'	S54°44'01"W
C90	04°52'55"	20.25'	40.47'	475.00'	40.46'	S49°52'27"W
C91	02°53'00"	13.21'	26.42'	525.00'	26.42'	N47°08'10"E
C92	01°44'20"	7.21'	14.42'	475.00'	14.41'	N49°33'50"E
C93	04°24'24"	20.20'	40.38'	525.00'	40.37'	S50°46'52"W
C94	06°33'24"	30.07'	60.08'	525.00'	60.05'	S56°15'46"W
C95	04°22'24"	20.05'	40.07'	525.00'	40.06'	S61°43'40"W
C96	04°24'19"	20.19'	40.36'	525.00'	40.35'	S66°07'01"W
C97	02°53'09"	15.74'	31.48'	625.00'	31.48'	N67°52'07"E
C98	00°59'31"	4.54'	9.09'	525.00'	9.09'	N68°48'56"E
C99	03°41'18"	20.12'	40.23'	625.00'	40.23'	S64°34'53"W

TANGENT DATA					
ID	BEARING	DISTANCE			
T1	S79°29'21"W	50.00'			
T2	N56°43'01"E	33.00'			
T3	S31°28'55"E	34.56'			
T4	N70°51'56"E	41.50'			
T5	N31°28'55"W	6.53'			
T6	N33°16'07"W	44.07'			
T7	S56°43'53"W	32.01'			
T8	N58°31'03"E	7.14'			
T9	S57°54'25"W	40.66'			
T10	N57°54'25"E	35.35'			
T11	N15°51'19"W	8.00'			
T12	S33°16'07"E	20.93'			
T13	N31°28'57"W	15.00'			
T14	N58°31'03"E	10.00'			
T15	S31°28'57"E	10.00'			
T16	N33°16'07"W	19.97'			
T17	S58°31'03"W	55.00'			
T18	S56°43'53"W	3.94'			
T19	S56°43'01"W	16.84'			
T20	N36°58'31"W	6.44'			
T21	S58°31'03"W	20.01'			
T22	S58°31'03"W	21.32'			
T23	S01°51'49"W	22.17'			
T24	S67°40'11"W	15.93'			
T25	S56°47'29"W	19.31'			
T26	N43°18'46"W	21.41'			
T27	N29°05'24"W	11.22'			
T28	N36°58'31"W	18.91'			
T29	N31°28'57"W	13.23'			
T30	S12°32'56"E	24.84'			
T31	S50°34'52"E	43.97'			
T32	N56°47'29"E	60.00'			
T33	N31°28'57"W	35.71'			
T34	S56°43'53"W	20.01'			
T35	N38°51'39"W	53.71'			
T36	S28°59'41"E	3.63'			
T37	S58°31'04"E	3.00'			
T38	S36°58'31"E	20.23'			
T39	S28°59'41"E	59.63'			
T40	S75°42'14"E	13.23'			
T41	S36°58'31"E	63.34'			
T42	S67°08'25"E	1.80'			
T43	S33°16'59"E	22.00'			
T44	N32°05'33"W	30.60'			
T45	S08°19'45"E	26.60'			
T46	S57°47'50"W	50.00'			
T47	N08°19'45"W	32.15'			
T48	N11°44'43"E	50.76'			
T49	S08°19'45"E	20.00'			
T50	N08°19'45"W	42.07'			
T51	N11°44'43"E	40.62'			
T52	S13°51'28"W	30.00'			
T53	S14°31'03"W	64.48'			
T54	S31°28'57"E	31.12'			

PLAT OF
CIELO OESTE
 (A REPLAT OF TRACTS A-1 & H-1
 TIERRA OESTE SUBDIVISION
 UNIT 3)
 ALBUQUERQUE, NEW MEXICO
 NOVEMBER, 2002

2697

SP-2002030196



LOCATION MAP

ZONE ATLAS INDEX MAP No. H-9-Z & J-9-Z
NOT TO SCALE

SUBDIVISION DATA

- 1. Dto. No.
2. Zone Atlas Index No. H-9-Z and J-9-Z.
3. Gross Subdivision Acreage: 88.1628 Acres.
4. Total Number of Tracts/Lots created: Seven (7) Tracts and Sixty-Four (64) Lots.
5. Total Mileage of full width Streets created: 0.4872 Mile.
6. Date of Survey: September, 2001
7. Plat is located within the Town of Atrisco Grant, within projected Sections 9 and 16, T10N, R2E, NMPM.

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide Tracts A, C, E, and H of the PLAT OF THE CROSSING, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on July 9, 1996 in Volume 96C, Folio 302 as Document No. 96076305 into Seven (7) Tracts and Sixty-Four (64) Lots, to dedicate additional Public Street right-of-way to the City of Albuquerque, to grant easements and to vacate easements.

PUBLIC UTILITY EASEMENTS

(TO BE GRANTED WITH THE FILING OF THIS PLAT)

PUBLIC UTILITY EASEMENTS granted with this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformers/switchgear door and five feet (5') on each side.

DESCRIPTION

A certain tract of land situate within the Town of Atrisco Grant, within projected Sections 9 and 16, Township 10 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tracts A, C, E, and H of the PLAT OF THE CROSSING, Albuquerque, New Mexico, as the same are shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on July 9, 1996 in Volume 96C, Folio 302 as Document No. 96076305 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD27 Datum) and ground distances as follows:

BEGINNING at the northeast corner of said Tract E, a point on the easterly right-of-way line of Casa Verde Avenue NW, whence the Albuquerque City Survey (ACS) monument "BH-40" a Bahannon & Huston brass tablet, having New Mexico State Plane Coordinates, Central Zone (NAD 1927) of X=352,790.66 and Y=1,492,346.53 bears S49°54'09"W, a distance of 1233.37 feet and from said point of beginning leaving said right-of-way line and running thence along the northwesterly boundary line of said Tract E and a portion of the westerly boundary line of said Tract A,
N57°54'25"E, a distance of 1102.63 feet to a point on the westerly boundary line of said Tract A, thence running along the westerly boundary line of said Tract A,
N32°05'35"W, a distance of 122.13 feet to a point; thence,
N67°54'25"E, a distance of 35.35 feet to a point; thence,
N15°51'19"W, a distance of 680.39 feet to a point; thence,
S74°08'41"W, a distance of 110.00 feet to a point; thence,
N15°51'19"W, a distance of 8.00 feet to a point of curvature; thence,
149.79 feet along the arc of a curve to the left having a radius of 525.00 feet and a chord which bears N24°01'44"W, a distance of 149.28 feet to a point of non-tangency; thence,
S57°47'50"W, a distance of 198.73 feet to a point; thence,
N40°14'59"W, a distance of 315.85 feet to a point; thence,
N08°19'45"W, a distance of 114.79 feet to the northeast corner of said Tract A, thence running along the northwesterly and northeasterly boundary of said Tract A,
N71°44'43"E, a distance of 284.25 feet to a point; thence,
N88°17'08"E, a distance of 180.00 feet to a point; thence,
S35°38'34"E, a distance of 210.34 feet to a point; thence,
S69°24'29"E, a distance of 216.01 feet to a point; thence,
S33°49'09"E, a distance of 168.93 feet to a point; thence,
S15°51'59"E, a distance of 708.60 feet to a point; thence,
N57°54'25"E, a distance of 1430.45 feet to the northeast corner of said Tract A, a point of curvature (non-tangent) on the westerly right-of-way line of Unser Boulevard NW, thence running along the easterly boundary line of said Tract A and also along said right-of-way line,
608.33 feet along the arc of a curve to the left having a radius of 1478.00 feet and a chord which bears S18°03'18"E, a distance of 604.04 feet to a point of reverse curvature; thence,
446.13 feet along the arc of a curve to the right having a radius of 1322.00 feet and a chord which bears S20°10'42"E, a distance of 444.02 feet to the most easterly corner of said Tract A, thence crossing said right-of-way line,
S19°29'21"W, a distance of 50.00 feet to the southeast corner of said Tract H, a point of curvature (non-tangent) on the northwesterly right-of-way line of Ladera Drive NW, thence running along the southeasterly boundary line of said Tract H and also along said right-of-way line,
179.26 feet along the arc of a curve to the left having a radius of 200.00 feet and a chord which bears S44°22'36"W, a distance of 173.32 feet to a point of tangency; thence,
S70°03'14"W, a distance of 94.29 feet to a point of curvature; thence,
S93.80 feet along the arc of a curve to the left having a radius of 993.00 feet and a chord which bears S52°55'22"W, a distance of 584.99 feet to a point of non-tangency; thence,
S35°47'30"W, a distance of 407.19 feet to a point of curvature; thence,
66.28 feet along the arc of a curve to the right having a radius of 1047.00 feet and a chord which bears S37°36'19"W, a distance of 66.27 feet to a point of tangency; thence,
S39°25'08"W, a distance of 573.06 feet to the most southerly corner of said Tract H, thence leaving said right-of-way line and running along the westerly boundary line of said Tract H and also along the southeasterly boundary line of said Tract C,
N50°34'52"W, a distance of 214.35 feet to a point; thence,
N48°00'34"W, a distance of 111.00 feet to a point; thence,
S33°21'54"W, a distance of 135.94 feet to a point; thence,
S39°25'08"W, a distance of 301.00 feet to a point; thence,
S63°39'20"W, a distance of 135.54 feet to a point; thence,
S60°59'20"W, a distance of 195.78 feet to the southwest corner of said Tract C, a point of curvature (non-tangent) on the northeasterly line of an existing Public Access and Utility Easement, granted by Document No. 96059284, recorded May 26, 1996 in Book 96-14, Pages 8832-8835, of the County Records of Bernalillo County, New Mexico, thence running along the westerly boundary line of said Tract C and also along said northeasterly line,
48.96 feet along the arc of a curve to the left having a radius of 443.00 feet and a chord which bears N66°20'41"W, a distance of 48.94 feet to a point of tangency on the northeasterly right-of-way line of Casa Verde Avenue NW, thence running along the westerly boundary line of said Tracts C and E, and also along said right-of-way line,
N69°30'40"W, a distance of 53.96 feet to a point of curvature; thence,
408.69 feet along the arc of a curve to the right having a radius of 350.00 feet and a chord which bears N36°03'33"W, a distance of 385.86 feet to a point of reverse curvature; thence,
514.61 feet along the arc of a curve to the left having a radius of 1000.00 feet and a chord which bears N17°21'00"W, a distance of 508.95 feet to a point of tangency; thence,
N32°05'33"W, a distance of 243.24 feet to the point and place of beginning.

Tract contains 88.1628 acres, more or less.

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Town of Atrisco Grant, within projected Sections 9 and 16, Township 10 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tracts A, C, E, and H of the PLAT OF THE CROSSING, Albuquerque, New Mexico, as the same are shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on July 9, 1996 in Volume 96C, Folio 302 as Document No. 96076305, now comprising Tracts A-1, C-1, E-1, E-2, E-3, E-4, H-1, and Lots 1 P1 through 64 P1, inclusive of the PLAT OF TIERRA OESTE SUBDIVISION UNIT 3, Albuquerque, New Mexico is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets and public right-of-ways shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants and do hereby grant: All Access, Utility and Drainage Easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried/overhead distribution lines, conduits, pipes for underground utilities where shown or indicated, including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. In the event the Grantor, its successors and assigns, constructs any improvements other than curb and gutter (Encroachments) within any easement area granted to or for the benefit of the City, the City shall have the right to access and to enter upon any such easement area at any time and perform such inspections, installations, maintenance and repair, including removal of the encroachments (work) without liability to the City. The City shall not be financially responsible for rebuilding or repair of the Encroachments, nor shall the City be financially responsible if the work affects any of the Encroachments. The City shall also have the right if necessary, to enter Grantor's property to access the easement areas for the purposes of performing the work. Grantor does hereby consent to all of the foregoing and does hereby certify that this subdivision is made with its free act and deed.

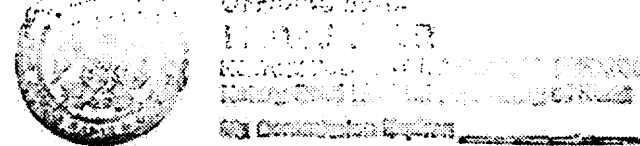
WESTLAND DEVELOPMENT COMPANY, INC.
401 Coors Boulevard, NW
Albuquerque, NM 87121

By: Barbara Page, President & C.E.O.

State of New Mexico)
County of Bernalillo)

This instrument was acknowledged before me on 14 day of January 2002 by Barbara Page, President & C.E.O. of Westland Development Company, Inc.

My Commission Expires: 8/15/05 Notary Public

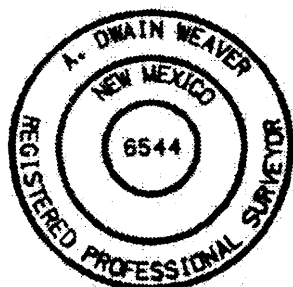


NOTES

- 1. Basis of Bearings: New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 Datum also being the same as Bearings shown on PLAT OF THE CROSSING, Filed: July 9, 1996 as Document No. 96076305 in Volume 96C, Folio 302.
2. Distances are Ground Distances.
3. All easements of record are shown.
4. Centerline (in lieu of R/W monumentation) to be installed at all centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and shall consist of a standard four-inch (4") aluminum alloy cap stamped "City of Albuquerque", "Centerline Monumentation", "Survey Marker", "Do Not Disturb", "PLS#6544".
5. Tracts A-1, C-1, & H-1 are subject to an existing "Temporary Drainage Easement" that was granted to ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY, for drainage, flood control, conveyance of storm water, stockpiling of sediment, and the construction, reconstruction, operation, maintenance of, and access to such facilities by the Plat Of The Crossing, filed: July 9, 1996 in Volume 96C, Folio 302. This easement is temporary and any portion of the Easement shall revert to the Grantor, its successors or assigns, as to the extent said portion is declared unnecessary for flood control or drainage by the Board of Directors of AMAFCA. Any reversion shall be conveyed by quitclaim deed. There is reserved to the Grantor, its successors and assigns, the right to use said Easement area for open space, landscaping and other purposes which will not interfere with the rights and Easement granted, provided the grantor obtains Grantee's prior written Licensed approval for such use, not to be unreasonably withheld.
6. A 0.3920 acre portion of the existing 22' Easement Parcel LD-2-1A, Ladera Storm Drainage Diversion & Detention Facility Judgment No.7-76-03096 Filed: September 28, 1976 in Misc.Bk.498, pages 648-683; vacated by Vacation Action V-01410-00000-01012 and AMAFCA Quitclaim Deed Filed: 1/2/02 # 2002018443 is to be replaced with a relocated 0.4303 acre 22' Access Easement Granted to AMAFCA with the filing of this plat.
7. Tracts E-3 and E-4 shall be owned and maintained by the Tierra Oeste Homeowners Association.

SURVEYOR'S CERTIFICATION

I, A. Duain Weaver, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.



A. Duain Weaver
A. Duain Weaver
New Mexico Professional Surveyor 6544

Date: January 14, 2002

PLAT OF TIERRA OESTE SUBDIVISION UNIT 3

(A REPLAT OF TRACTS A, C, E, & H, THE CROSSING)

ALBUQUERQUE, NEW MEXICO
JANUARY, 2002

APPROVALS

PLAT NUMBER: 02480-00064/1001243

Table with columns for Role, Name, and Date. Approvals include Planning Director (2/11/02), Engineer (1-30-02), A.M.A.F.C.A. (2-5-02), Traffic Engineer (1-30-02), City Surveyor (1-15-02), Property Management (1-30-02), Utility Development Department (1/30/02), Parks & Recreation (2-06-02), QWEST (1-30-02), and PNM Electric Services (2-7-02).

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # See attached

PROPERTY OWNER OF RECORD: Westland Development Co. Inc

PNM STAMP

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive or release any easement or easement rights to which it may be entitled.

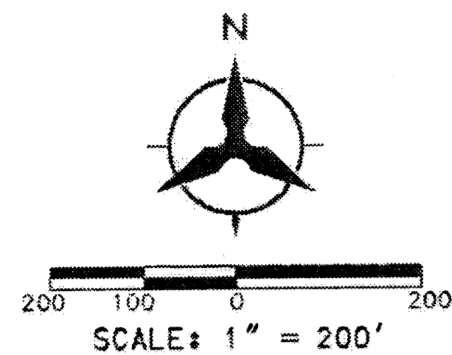


Bohannon & Huston

Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

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 Mary Herrera Bern. Co. PLRT

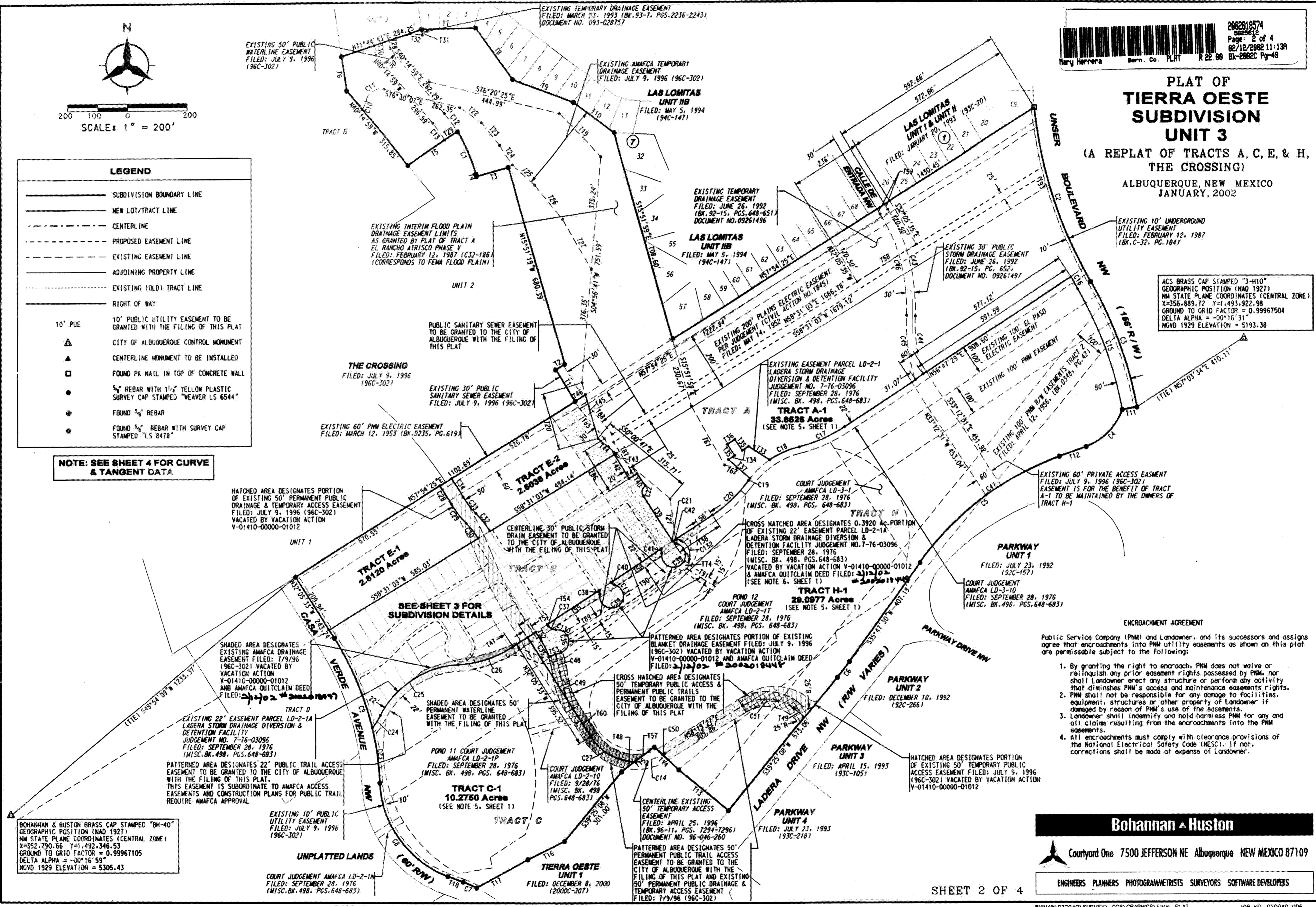
**PLAT OF
 TIERRA OESTE
 SUBDIVISION
 UNIT 3**
 (A REPLAT OF TRACTS A, C, E, & H,
 THE CROSSING)
 ALBUQUERQUE, NEW MEXICO
 JANUARY, 2002

LEGEND

	SUBDIVISION BOUNDARY LINE
	NEW LOT/TRACT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) TRACT LINE
	RIGHT OF WAY
	10' PUE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	FOUND PK NAIL IN TOP OF CONCRETE WALL
	1/2" REBAR WITH 1/2" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
	FOUND 3/8" REBAR
	FOUND 3/8" REBAR WITH SURVEY CAP STAMPED "LS 8478"

NOTE: SEE SHEET 4 FOR CURVE & TANGENT DATA.

ACS BRASS CAP STAMPED "3-110"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X=356,889.72 Y=493,922.98
 GROUND TO GRID FACTOR = 0.99967504
 DELTA ALPHA = -00°16'31"
 NGVD 1929 ELEVATION = 5193.38



ENCROACHMENT AGREEMENT

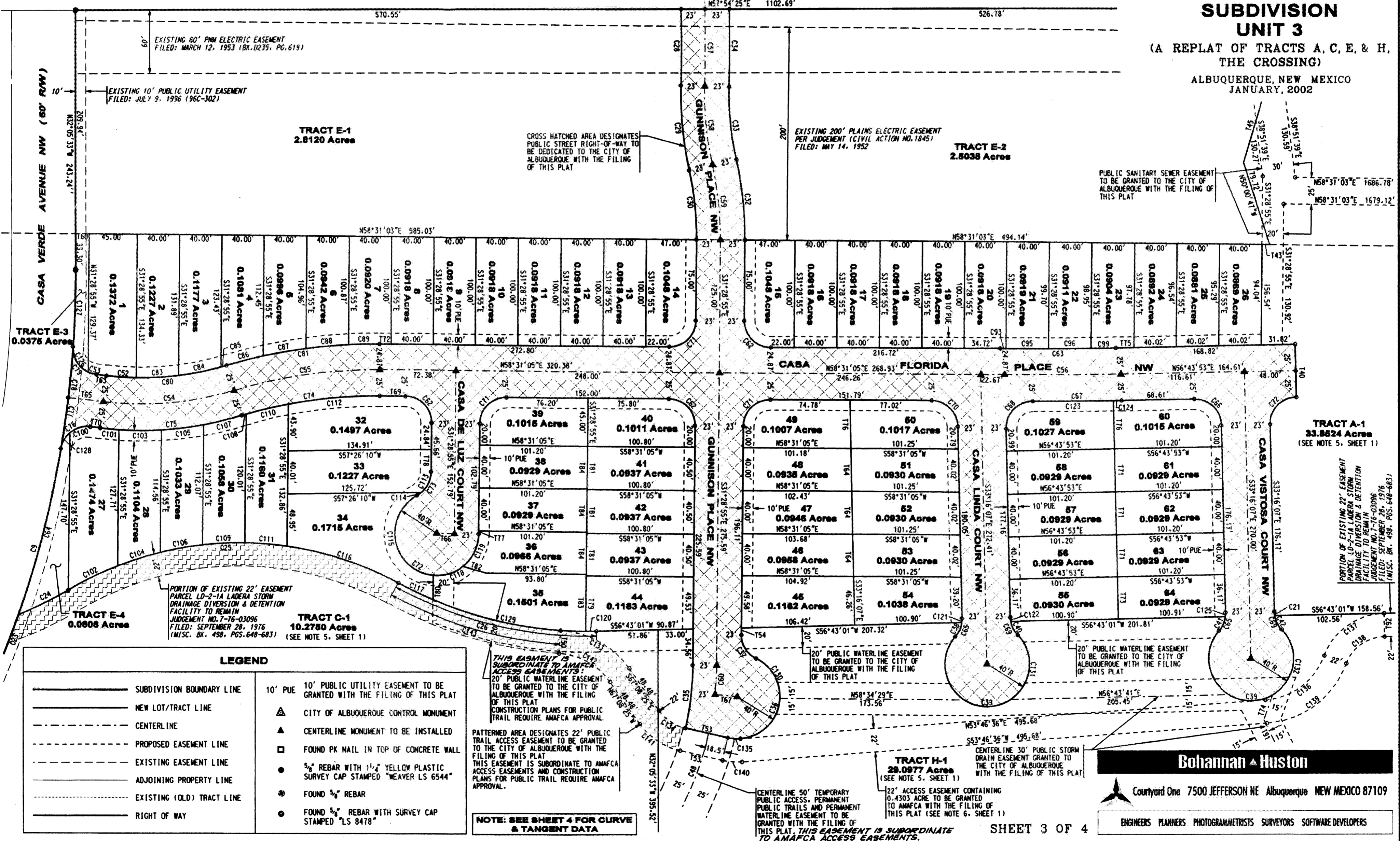
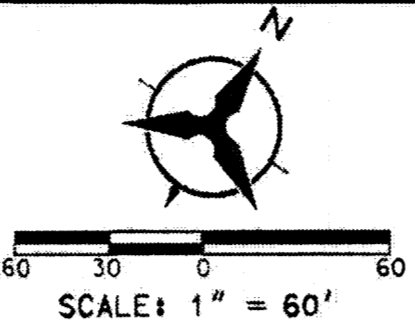
Public Service Company (PNM) and Landowner, and its successors and assigns agree that encroachments into PNM utility easements as shown on this plat are permissible subject to the following:

1. By granting the right to encroach, PNM does not waive or relinquish any prior easement rights possessed by PNM, nor shall Landowner erect any structure or perform any activity that diminishes PNM's access and maintenance easement rights.
2. PNM shall not be responsible for any damage to facilities, equipment, structures or other property of Landowner if damaged by reason of PNM's use of the easements.
3. Landowner shall indemnify and hold harmless PNM for any and all claims resulting from the encroachments into the PNM easements.
4. All encroachments must comply with clearance provisions of the National Electrical Safety Code (NESC). If not, corrections shall be made at expense of Landowner.

Bohannon & Huston
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

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 TIERRA OESTE
 SUBDIVISION
 UNIT 3**
 (A REPLAT OF TRACTS A, C, E, & H,
 THE CROSSING)
 ALBUQUERQUE, NEW MEXICO
 JANUARY, 2002



EXISTING 60' PNM ELECTRIC EASEMENT
 FILED: MARCH 12, 1953 BK. 0235, PG. 6191

EXISTING 10' PUBLIC UTILITY EASEMENT
 FILED: JULY 9, 1996 (196C-302)

CROSS HATCHED AREA DESIGNATES
 PUBLIC STREET RIGHT-OF-WAY TO
 BE DEDICATED TO THE CITY OF
 ALBUQUERQUE WITH THE FILING
 OF THIS PLAT

EXISTING 200' PLAINS ELECTRIC EASEMENT
 PER JUDGEMENT (CIVIL ACTION NO. 1845)
 FILED: MAY 14, 1952

PUBLIC SANITARY SEWER EASEMENT
 TO BE GRANTED TO THE CITY OF
 ALBUQUERQUE WITH THE FILING OF
 THIS PLAT

TRACT A-1
 33.8624 Acres
 (SEE NOTE 5, SHEET 1)

PORTION OF EXISTING 22' EASEMENT
 PARCEL LD-2-1A LADERA STORM
 DRAINAGE DIVERSION & DETENTION
 FACILITY TO REMAIN
 JUDGEMENT NO. 7-76-03096
 FILED: SEPTEMBER 28, 1976
 MISC. BK. 498, PGS. 648-683

PORTION OF EXISTING 22' EASEMENT
 PARCEL LD-2-1A LADERA STORM
 DRAINAGE DIVERSION & DETENTION
 FACILITY TO REMAIN
 JUDGEMENT NO. 7-76-03096
 FILED: SEPTEMBER 28, 1976
 MISC. BK. 498, PGS. 648-683

20' PUBLIC WATERLINE EASEMENT
 TO BE GRANTED TO THE CITY OF
 ALBUQUERQUE WITH THE FILING
 OF THIS PLAT

20' PUBLIC WATERLINE EASEMENT
 TO BE GRANTED TO THE CITY OF
 ALBUQUERQUE WITH THE FILING
 OF THIS PLAT

TRACT H-1
 29.0977 Acres
 (SEE NOTE 5, SHEET 1)

CENTERLINE 30' PUBLIC STORM
 DRAIN EASEMENT GRANTED TO
 THE CITY OF ALBUQUERQUE
 WITH THE FILING OF THIS PLAT

CENTERLINE 50' TEMPORARY
 PUBLIC ACCESS, PERMANENT
 PUBLIC TRAILS AND PERMANENT
 WATERLINE EASEMENT TO BE
 GRANTED WITH THE FILING OF
 THIS PLAT. THIS EASEMENT IS SUBORDINATE
 TO AMAFCA ACCESS EASEMENTS.

22' ACCESS EASEMENT CONTAINING
 0.4303 ACRE TO BE GRANTED
 TO AMAFCA WITH THE FILING OF
 THIS PLAT (SEE NOTE 6, SHEET 1)

THIS EASEMENT IS
 SUBORDINATE TO AMAFCA
 ACCESS EASEMENTS.
 20' PUBLIC WATERLINE EASEMENT
 TO BE GRANTED TO THE CITY OF
 ALBUQUERQUE WITH THE FILING
 OF THIS PLAT
 CONSTRUCTION PLANS FOR PUBLIC
 TRAIL REQUIRE AMAFCA APPROVAL

PATTERNED AREA DESIGNATES 22' PUBLIC
 TRAIL ACCESS EASEMENT TO BE GRANTED
 TO THE CITY OF ALBUQUERQUE WITH THE
 FILING OF THIS PLAT
 THIS EASEMENT IS SUBORDINATE TO AMAFCA
 ACCESS EASEMENTS AND CONSTRUCTION
 PLANS FOR PUBLIC TRAIL REQUIRE AMAFCA
 APPROVAL.

NOTE: SEE SHEET 4 FOR CURVE
 & TANGENT DATA

LEGEND

	SUBDIVISION BOUNDARY LINE		10' PUE	10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
	NEW LOT/TRACT LINE			CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE			CENTERLINE MONUMENT TO BE INSTALLED
	PROPOSED EASEMENT LINE			FOUND PK NAIL IN TOP OF CONCRETE WALL
	EXISTING EASEMENT LINE			3/8" REBAR WITH 1/2" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
	ADJOINING PROPERTY LINE			FOUND 3/8" REBAR
	EXISTING (OLD) TRACT LINE			FOUND 3/8" REBAR WITH SURVEY CAP STAMPED "LS 8478"
	RIGHT OF WAY			

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 (A REPLAT OF TRACTS A, C, E, & H,
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 ALBUQUERQUE, NEW MEXICO
 JANUARY, 2002

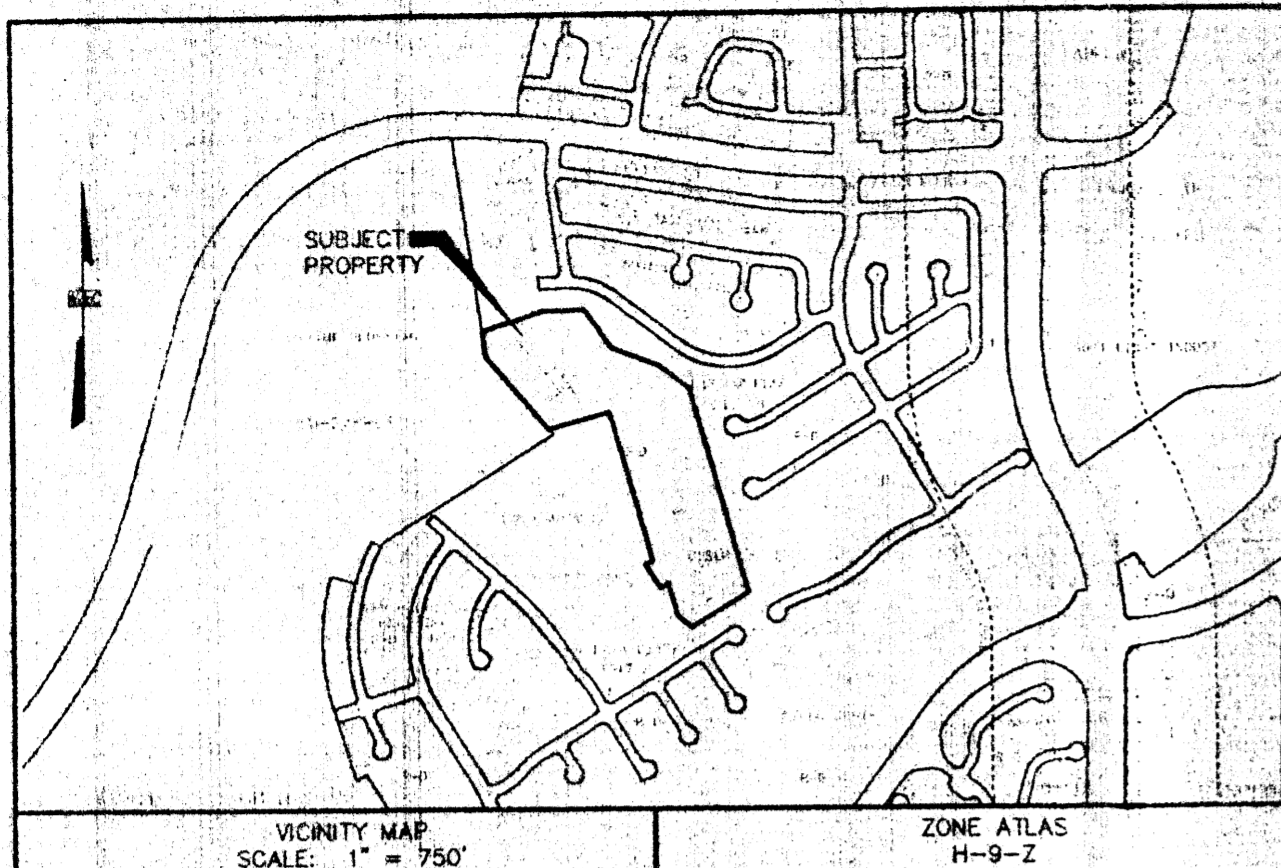
CURVE DATA						
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	16°20'51"	75.41'	149.79'	525.00'	149.28'	N24°01'44"W
C2	23°34'56"	308.53'	608.33'	1478.00'	604.04'	S18°03'18"E
C3	19°20'07"	225.21'	446.13'	1322.00'	444.02'	S20°10'42"E
C4	51°21'17"	96.18'	179.26'	200.00'	173.32'	S84°22'36"E
C5	34°15'44"	33.15'	66.80'	93.00'	98.99'	S52°55'22"W
C6	03°37'38"	24.51'	48.96'	443.00'	48.94'	N66°20'41"W
C7	06°19'58"	24.51'	48.96'	443.00'	48.94'	N66°20'41"W
C8	66°54'13"	231.24'	408.69'	350.00'	395.86'	N36°03'33"W
C9	29°29'06"	263.14'	514.61'	1060.00'	508.95'	N17°21'00"W
C10	18°09'38"	15.98'	31.70'	100.00'	31.56'	N21°41'18"E
C11	90°53'24"	50.78'	79.32'	50.00'	71.26'	N58°03'11"E
C12	08°02'49"	33.41'	66.71'	475.00'	66.66'	N36°13'34"W
C13	08°02'49"	33.41'	66.71'	475.00'	66.66'	N36°13'34"W
C14	30°53'36"	49.74'	97.05'	180.00'	95.88'	N76°10'32"E
C15	19°20'07"	216.69'	429.26'	1272.00'	427.22'	N20°10'42"W
C16	01°44'52"	23.31'	46.61'	1528.00'	46.61'	N28°58'20"W
C17	20°25'53"	83.61'	165.45'	463.58'	164.57'	S68°26'11"W
C18	21°20'05"	54.85'	108.45'	291.25'	107.25'	S66°36'47"W
C19	01°57'55"	5.00'	9.99'	291.25'	9.99'	S37°15'08"W
C20	20°26'51"	83.61'	165.44'	463.58'	164.56'	S46°29'36"W
C21	08°44'52"	1.91'	3.82'	25.00'	3.81'	N37°38'33"W
C22	90°00'00"	25.00'	39.27'	25.00'	35.36'	N11°43'53"E
C23	10°29'31"	91.82'	183.12'	1000.00'	182.86'	N07°51'12"E
C24	08°06'54"	26.47'	52.84'	373.09'	52.80'	N30°54'42"E
C25	59°43'32"	179.28'	325.49'	312.25'	310.95'	N56°43'01"E
C26	29°51'46"	99.49'	194.46'	373.09'	192.26'	N71°38'54"E
C27	56°11'07"	96.28'	176.83'	180.00'	169.80'	S60°14'06"E
C28	03°05'49"	35.81'	71.72'	327.00'	71.71'	S31°59'35"E
C29	14°21'56"	40.71'	80.99'	323.00'	80.77'	S37°37'39"E
C30	13°21'22"	32.43'	64.57'	277.00'	64.42'	S38°07'57"E
C31	01°47'12"	52.61'	105.21'	3373.80'	105.21'	S57°37'29"W
C32	13°21'07"	37.81'	75.27'	323.00'	75.10'	N38°08'04"W
C33	14°21'56"	34.91'	69.45'	277.00'	69.27'	N37°37'39"W
C34	03°02'54"	36.53'	73.05'	1373.00'	73.04'	N31°58'08"W
C35	12°20'50"	29.96'	59.69'	277.00'	59.58'	S25°18'30"E
C36	166°31'21"	338.53'	116.25'	40.00'	79.45'	N12°23'45"W
C37	64°10'30"	15.67'	28.00'	25.00'	26.56'	N63°34'10"W
C38	11°54'15"	7.52'	14.61'	25.00'	14.40'	S07°36'34"E
C39	26°47'56"	66.13'	132.18'	300.00'	129.16'	S19°39'41"E
C40	33°30'27"	7.33'	14.62'	25.00'	14.41'	N58°54'52"W
C41	33°37'29"	7.55'	14.67'	25.00'	14.46'	S07°40'54"E
C42	33°39'06"	7.56'	14.68'	25.00'	14.47'	N58°50'32"W
C43	35°01'08"	192.44'	372.83'	610.00'	367.05'	S14°35'01"E
C44	20°38'00"	100.12'	198.07'	550.00'	197.00'	S07°23'27"E
C45	21°27'14"	109.87'	217.17'	500.00'	215.91'	N07°48'03"W
C46	35°01'08"	182.98'	354.49'	580.00'	349.00'	N14°35'01"W
C47	03°27'47"	30.02'	60.02'	993.00'	60.01'	S59°43'23"W
C48	11°54'15"	71.28'	142.33'	300.00'	142.22'	S13°10'51"E
C49	24°51'44"	66.13'	132.18'	300.00'	129.16'	S19°39'41"E
C50	02°28'17"	3.88'	7.76'	180.00'	7.76'	N59°29'36"E
C51	71°09'41"	107.31'	186.30'	150.00'	174.55'	S06°09'43"E
C52	05°47'59"	13.93'	27.84'	275.00'	27.83'	S62°05'53"W
C53	18°15'24"	4.02'	7.97'	25.00'	7.93'	S74°07'35"W
C54	23°48'28"	63.24'	124.66'	300.00'	123.76'	N53°05'38"E
C55	17°19'41"	70.09'	139.12'	460.00'	138.59'	N49°51'15"E
C56	01°47'12"	54.58'	109.15'	3500.00'	109.14'	N57°37'29"E
C57	03°44'20"	36.20'	72.39'	1350.00'	72.38'	S31°58'51"E
C58	14°21'56"	37.81'	75.22'	300.00'	75.02'	S37°37'39"E
C59	13°19'42"	35.05'	69.79'	300.00'	69.63'	S38°08'40"E
C60	05°11'21"	13.59'	27.17'	300.00'	27.16'	S28°53'15"E
C62	90°00'00"	25.00'	39.27'	25.00'	35.36'	S76°28'55"E
C63	01°47'12"	54.19'	108.37'	3475.00'	108.36'	N57°37'29"E
C64	09°16'57"	81.18'	162.01'	1000.00'	161.84'	N17°44'27"W
C65	42°23'58"	9.70'	18.50'	25.00'	18.08'	N12°04'08"W
C66	90°00'00"	25.00'	39.27'	25.00'	35.36'	N78°16'07"W
C67	01°21'09"	41.60'	83.20'	3525.00'	83.20'	S57°24'27"W
C68	91°21'09"	25.60'	39.86'	25.00'	35.77'	S12°24'27"W
C69	42°23'58"	9.70'	18.50'	25.00'	18.08'	S54°28'06"E
C70	89°12'48"	24.23'	38.49'	25.00'	34.80'	N77°22'31"W
C71	90°00'00"	25.00'	39.27'	25.00'	35.36'	N13°31'05"E
C72	241°30'55"	168.61'	40.00'	40.00'	68.75'	S89°16'33"W
C73	61°30'55"	14.88'	28.84'	25.00'	25.57'	N09°43'27"W
C74	17°19'41"	66.28'	131.56'	435.00'	131.06'	S49°51'15"W
C75	23°48'28"	68.51'	135.05'	325.00'	134.08'	S53°05'38"W
C76	87°22'48"	23.88'	38.13'	25.00'	34.54'	S21°18'29"W
C77	02°48'01"	24.44'	48.87'	1000.00'	48.87'	N23°46'56"W
C78	02°47'30"	24.37'	48.72'	1000.00'	48.72'	N26°34'41"W
C79	87°01'40"	23.74'	37.97'	25.00'	34.43'	S71°29'17"E
C80	23°46'29"	57.89'	114.11'	275.00'	113.29'	N59°06'36"E
C81	17°17'41"	73.76'	146.40'	485.00'	145.84'	N49°52'14"E
C83	08°21'25"	20.09'	40.11'	275.00'	40.07'	S55°01'11"W
C84	08°31'34"	20.50'	40.92'	275.00'	40.88'	S46°34'42"W
C85	01°05'31"	2.62'	5.24'	275.00'	5.24'	S41°46'09"W
C86	04°16'57"	18.13'	36.25'	485.00'	36.24'	S43°21'52"W
C87	04°48'32"	20.37'	40.71'	485.00'	40.70'	S47°54'37"W
C88	04°45'05"	20.12'	40.22'	485.00'	40.21'	S62°41'25"W
C89	03°27'07"	14.61'	29.22'	485.00'	29.22'	S56°47'31"W
C92	00°01'06"	0.54'	1.07'	3373.80'	1.07'	N58°30'32"E
C93	00°05'13"	2.64'	5.28'	3475.00'	5.28'	S58°28'28"W
C95	00°39'42"	20.06'	40.13'	3475.00'	40.13'	S58°06'01"W
C96	00°39'27"	19.94'	39.88'	3475.00'	39.88'	S57°26'26"W
C99	00°22'50"	11.54'	23.08'	3475.00'	23.08'	S56°55'18"W

TANGENT DATA						
ID	BEARING	DISTANCE				
T1	N32°05'35"W	122.13'				
T2	N57°54'25"E	35.35'				
T3	S74°08'41"W	110.00'				
T4	N15°51'19"W	8.00'				
T5	S57°47'50"W	198.73'				
T6	N08°19'45"W	114.79'				
T7	N88°37'08"E	180.00'				
T8	S39°38'34"E	210.34'				
T9	S59°24'29"E	216.01'				
T10	S33°49'09"E	168.93'				
T11	S79°29'21"W	50.00'				
T12	S70°03'14"W	94.29'				
T13	N50°34'52"W	214.35'				
T14	N48°00'34"W	111.00'				
T15	S53°21'54"W	135.94'				
T16	S63°39'20"W	135.54'				
T17	S60°59'20"W	195.78'				
T18	N69°30'40"W	53.96'				
T19	S44°51'58"E	196.60'				
T20	S15°46'23"E	193.31'				
T21	S07°21'55"E	136.48'				
T22	S59°00'29"E	81.79'				
T23	S39°48'20"E	93.62'				
T24	S34°41'43"E	75.81'				
T25	S47°56'58"E	99.57'				
T26	S39°07'50"E	146.41'				
T27	S29°44'42"E	193.97'				
T28	S08°19'45"E	26.60'				
T29	S57°47'50"W	50.00'				
T30	N08°19'45"W	32.15'				
T31	S08°19'45"E	20.00'				
T32	N09°19'45"W	42.07'				
T33	N50°51'00"W	84.52'				
T34	S56°43'01"W	25.00'				
T35	N33°16'59"W	45.00'				
T36	S56°43'01"W	30.00'				
T37	S48°38'04"E	95.89'				
T38	S56°43'01"W	158.56'				
T39	N33°16'07"W	176.17'				
T40	N33°16'07"W	50.00'				
T41	S56°43'53"W	31.82'				
T42	N31°28'55"W	94.04'				
T43	N50°51'03"E	7.14'				
T44	N50°00'47"W	79.72'				
T45	N15°46'23"W	152.21'				
T46	S57°54'25"W	40.66'				
T47	N56°43'01"E	57.86'				
T48	S53°21'54"W	55.03'				
T49	S50°34'52"E	43.97'				
T50	N28°08'40"W	22.00'				
T51	N56°43'01"E	33.00'				
T52	S31°28'55"E	34.56'				
T53	N70°51'57"E	41.50'				
T54	N51°28'55"W	6.53'				
T55	N56°43'01"E	207.32'				
T56	N56°43'01"E	201.81'				
T57	S53°21'54"W	80.91'				
T58	S57°54'25"W	236.00'				
T59	S32°05'35"E	20.00'				
T60	S32°04'23"E	112.34'				
T61	S28°59'41"E	227.15'				
T62	S75°42'14"E	47.94'				
T63	S64°59'53"W	9.65'				
T64	S33°16'07"E	40.02'				
T65	N64°59'53"E	33.28'				
T66	S56°31'05"W	17.00'				
T67	N63°42'26"E	21.00'				
T68	N58°31'03"E	13.03'				
T69	S58°31'05"W	24.38'				
T70	S64°59'53"W	9.34'				
T71	S33°16'07"E	40.00'				
T72	S58°31'05"W	10.80'				
T73	S33°16'07"E	40.01'				
T74	S12°32'56"E	24.84'				
T75	S56°43'53"W	16.94'				
T76	S33°16'07"E	45.01'				
T77	N31°28'55"W	2.79'				
T78	S31°28'55"E	20.82'				
T79	N31°28'55"W	52.57'				
T80	S31°28'55"E	23.13'				
T81	N31°28'55"W	40.50'				
T82	N74°18'12"E	22.95'				
T83	S31°28'55"E	54.07'				
T84	S31°28'55"E	40.00'				
T85	S38°51'39"E	130.27'				
T86	S31°28'55"E	156.54'				
T87	S31°28'55"E	130.92'				
T88	S38°51'39"E	130.59'				
T89	N58°34'29"E	173.56'				
T90	N56°43'41"E	205.45'				
T91	S57°32'56"E	118.04'				
T92	S33°16'59"E	22.00'				
T93	N31°28'57"W	35.71'				

Bohannon & Huston
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

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 Page 1 of 5
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 Barry Herrera Bern Co. PLRT

PLAT OF
THE CROSSING - UNIT 3
 (Being a Replat of Tract A-1-B, Cielo Oeste Subdivision
 and
 Tract A-1 of The Crossing, Unit 2-B)
 WITHIN THE TOWN OF ATRISCO GRANT,
 PROJECTED SECTION 9, T10N., R2E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 M 004

LEGAL DESCRIPTION:
 SEE SHEET 2 OF 5

FREE CONSENT AND DEDICATION:
 THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S); SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED; AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHT OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON; AND DO HEREBY DEDICATE TRACT B, A DRAINAGE CHANNEL RIGHT-OF-WAY SHOWN HEREON TO ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY, IN FEE SIMPLE, WITH WARRANTY COVENANTS, AND DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

PROJECT NUMBER: 100-~~000000~~
 APPLICATION NUMBER: 04-00933

UTILITY APPROVALS:

<u>Lenal R. Maris</u>	<u>7-2-04</u>	<u>7-2-04</u>
PNM ELECTRIC SERVICES		DATE
<u>Lenal R. Maris</u>		<u>7-2-04</u>
PNM GAS SERVICES		DATE
<u>Dave R. Muller</u>		<u>7-2-04</u>
QWEST TELECOMMUNICATIONS		DATE
<u>Rita Euchs</u>	<u>7-7-04</u>	
COMCAST		DATE
N/A		
NEW MEXICO UTILITIES		DATE

SUBDIVISION DATA:
 ZONE ATLAS INDEX NO. H-9-Z TOTAL MILES OF STREETS CREATED: 0.251 Mile
 TOTAL NO. OF LOTS EXISTING: TWO TALOS LOG NO. 2003172944
 TOTAL NO. OF LOTS CREATED: 37 DATE OF SURVEY: MARCH 13, 2003
 GROSS SUBDIVISION ACREAGE: 14.4252 Acres **ZONING: R-D**

FOR: LOTS 11-P1 THRU 37-P1 AND TRACTS A AND B
THE CROSSING - UNIT 3
 BY: Barbara Page, President and CEO
Westland Development Company, Inc.
 401 Coors Boulevard, N.W.
 ALBUQUERQUE, NEW MEXICO 87121

CITY APPROVALS:

<u>W.B. Jal</u>		<u>6-15-04</u>
CITY SURVEYOR		DATE
N/A		
REAL PROPERTY DIVISION		DATE
<u>AP AT</u>		<u>6-23-04</u>
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION		DATE
<u>Dave L. Hearn</u>		<u>6/23/04</u>
UTILITIES DEVELOPMENT		DATE
<u>Christina Sandoval</u>		<u>6/23/04</u>
PARKS AND RECREATION DEPARTMENT		DATE
<u>Lynn M. Mayan</u>		<u>7-06-04</u>
A.M.A.F.C.A.		DATE
<u>Brenda L. Bishop</u>		<u>7/14/04</u>
CITY ENGINEER		DATE
<u>Sharon Nelson</u>		<u>6/23/04</u>
DRB CHAIRPERSON, PLANNING DEPARTMENT		DATE

GENERAL NOTES:

- ALBUQUERQUE CONTROL STATION "BH-40" DATA: BOHANNON AND HUSTON BRASS TABLET SET 0.3 FT. BELOW THE GROUND NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE) X= 352,790.66 Y= 1,492,346.53 ELEVATION= 5305.43 (SLD 1929) GROUND TO GRID FACTOR = 0.99967105 DELTA ALPHA = (-)00'16'59" NAD 1927
- ALBUQUERQUE CONTROL STATION "BH-41" DATA: BOHANNON AND HUSTON BRASS TABLET SET 0.4 FT. BELOW THE GROUND NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE) X= 351,455.56 Y= 1,496,546.13 ELEVATION= 5398.63 (SLD 1929) GROUND TO GRID FACTOR = 0.99966704 DELTA ALPHA = (-)00'17'08" NAD 1927
- FIELD SURVEY PERFORMED ON MARCH 13, 2003.
- BEARINGS ARE NEW MEXICO STATE PLANE GRID BASED ON A LINE FROM "BH-40" TO "BH-41", BEARING = N.17°38'10"W.
- ALL DISTANCES ARE GROUND DISTANCES.
- CORNERS IDENTIFIED AS "SET", ARE 5/8" REBAR WITH CAP STAMPED "PS 14733", AND SHOWN AS UNLESS OTHERWISE INDICATED.
- DISTANCES SHOWN IN PARENTHESIS () ARE PER RECORDED DOCUMENT LISTED IN DOCUMENTS USED AS NOTE 1 ON SHEET 2 OF 5.
- LOTS WITH A "P1" DESIGNATION SHALL COMPLY WITH OFF-STREET PARKING REQUIREMENTS PER SECTION 40.A.1.00 OF THE COMPREHENSIVE ZONING CODE.
- FINAL CONFIRMATION AND RELEASE OF A.M.A.F.C.A.'S TEMPORARY DRAINAGE EASEMENTS AND INTERIM FLOOD PLAIN DRAINAGE EASEMENT WILL BE COMPLETED UPON ISSUANCE OF A LETTER OF MAP REVISION (LOMR) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AND UPON ISSUANCE OF QUITCLAIM RECEIVED FROM A.M.A.F.C.A..
- PORTION OF THIS SUBDIVISION IS LOCATED WITHIN A 100-YEAR FLOOD PLAIN AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM "FLOOD INSURANCE RATE MAP". A LETTER OF MAP REVISION (LOMR) WILL BE REQUESTED FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) TO REMOVE THE EXISTING FLOOD PLAIN UNTIL THE LOMR IS ISSUED BY FEMA, PROPERTY OWNERS MAY BE REQUIRED TO PURCHASE FLOOD INSURANCE.

ACKNOWLEDGMENT
 STATE OF NEW MEXICO)
 COUNTY OF BERNALILLO) SS.
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 14 DAY OF JUNE, 2004, BY BARBARA PAGE, PRESIDENT AND CEO OF WESTLAND DEVELOPMENT COMPANY, INC. OF ALBUQUERQUE, NEW MEXICO

NOTARY PUBLIC: Tracy Blair
 MY COMMISSION EXPIRES: 7/5/05

PUBLIC UTILITY EASEMENTS:

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- THE PUBLIC SERVICE COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- THE PUBLIC SERVICE COMPANY OF NEW MEXICO FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE-GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

SURVEYOR'S CERTIFICATION:
 I, CHRISTOPHER S. CROSHAW, A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES, OR OTHER PARTIES EXPRESSING AN INTEREST, IS CORRECT AND TRUE TO THE BEST OF MY BELIEF AND KNOWLEDGE AND THAT THIS SURVEY AND PLAT MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE OCTOBER 1, 2000.

Christopher S. Croshaw
 CHRISTOPHER S. CROSHAW
 N.M.P.L.S. #14733
 14 JUNE 2004
 DATE

WILSON & COMPANY
 4900 LANG AVENUE N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 (505) 348-4000
 SHEET 1 OF 5

DISCLOSURE STATEMENT:
 THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE AND CREATE LOTS AND TRACTS, TO DEDICATE STREET RIGHTS-OF-WAY TO THE CITY OF ALBUQUERQUE, AND TO DEDICATE DRAINAGE RIGHTS-OF-WAY TO A.M.A.F.C.A., AND VACATES EASEMENTS.
 THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON 26915330108
 UNIFORM PROPERTY CODE # : 1-009-059-300-094-109-09
 PROPERTY OWNER OF RECORD: WESTLAND DEVELOPMENT CO., INC.
 BERNALILLO COUNTY TREASURER'S OFFICE:
Wanda Taylor 27 July 04

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN; NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL OR SAFETY CODE CAUSED BY CONSTRUCTION OR POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

GENERAL NOTES: (CONT.)
 11. TRACT A SHALL BE MAINTAINED BY THE OWNER.

LEGAL DESCRIPTION:

A certain parcel of land situate within The Town of Atrisco Grant in projected Section 9, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico comprised of Tract A-1-B, as shown and designated on the plat entitled "Cielo Oeste", which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on December 10, 2002, in Book 2002C, Page 393 TOGETHER WITH Tract A-1 of The Crossing, Unit 2-B, as shown and designated on the plat which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on November 11, 2003, in Book 2003C, Page 347; and being more particularly described as follows:

BEGINNING, at the Albuquerque Control Station Brass Cap stamped "BH-40" having NAD 27 New Mexico State Plane Coordinate values of X=352,790.66 and Y=1,492,346.53, whence, the Albuquerque Control Station Brass Cap stamped "BH-41, 1979" having NAD 27 New Mexico Central Zone State Plane Coordinate values of X=351,455.56 and Y=1,496,546.13 bears N. 17°38'10" W., a distance of 4408.16 feet; thence,

N. 59°07'45" E., a distance of 2346.94 feet to the TRUE POINT OF BEGINNING of the parcel of land herein described also being the northeast corner of Tract E-2, Tierra Oeste Subdivision, Unit 3, plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on February 12, 2002, in Book 2002C, Page 49; Thence,

Along the line common to the northeasterly boundary line of said Tract E-2 and the southwesterly boundary line of the parcel of land herein described as follows:

- N. 50°00'47" W., a distance of 79.72 feet to a point; Thence,
- N. 15°46'23" W., a distance of 152.21 feet to a point; Thence,
- S. 57°54'25" W., a distance of 40.66 feet to a point being the northeasterly corner of Unit 2B, The Crossing, plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on November 18, 2003, in Book 2003C, Page 347; Thence,

Along the line common to the northeasterly boundary line of said Unit 2B, The Crossing and the southwesterly boundary line of the parcel of land herein described as follows:

- N. 32°05'35" W., a distance of 122.13 feet to a point; Thence,
- N. 57°54'25" E., a distance of 35.35 feet to a point; Thence,
- N. 15°51'19" W., a distance of 680.39 feet to a point; Thence,
- S. 74°08'41" W., a distance of 160.00 feet to a point; Thence,
- S. 15°51'19" E., a distance of 3.18 feet to a point; Thence,

S. 74°08'41" W., a distance of 115.20 feet to a point on the northeasterly boundary line of Tract B, The Crossing, plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on July 9, 1996, in Book 96C, Page 302; Thence,

Along the line common to the boundary line of said Tract B, The Crossing and the boundary line of the parcel of land herein described as follows:

- N. 40°14'59" W., 428.96 feet to a point; Thence,
- N. 08°19'45" W., 114.79 feet to a point; Thence,
- N. 71°44'43" E., a distance of 284.25 feet to a point being the southwest corner of Las Lomitas, Unit IIB, plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on May 5, 1994, in Book 94C, Page 147; Thence,

Along the line common to the boundary line of said Las Lomitas, Unit IIB, and the boundary line of the parcel of land herein described as follows:

- N. 88°40'59" E., 180.00 feet to a point; Thence,
- S. 35°38'54" E., a distance of 210.34 feet to a point; Thence,
- S. 69°28'07" E., a distance of 215.70 feet to a point; Thence,
- S. 53°50'07" E., a distance of 168.93 feet to a point; Thence,
- S. 15°52'57" E., a distance of 708.96 feet to a point; Thence,

S. 15°18'47" E., a distance of 234.91 feet to a point being the most northerly corner of Tract A-1-A, Cielo Oeste, plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on December 10, 2002, in Book 2002C, Page 393; Thence,

S. 58°31'03" W., a distance of 294.96 feet to the most southerly corner and POINT OF BEGINNING of the parcel of land herein described, and containing 628,363.86 square feet (14.4252 acres), more or less.

DOCUMENTS USED:

- 1) PLAT OF CIELO OESTE, FILED IN THE OFFICE OF THE BERNALILLO COUNTY RECORDER ON DECEMBER 10, 2002, IN BOOK 2002C, PAGE 393.
- 2) PLAT OF THE CROSSING, FILED IN THE OFFICE OF THE BERNALILLO COUNTY RECORDER ON JULY 9, 1996, IN VOLUME 93C, FOLIO 302.
- 3) PLAT OF TIERRA OESTE SUBDIVISION, UNIT 3, FILED IN THE OFFICE OF THE BERNALILLO COUNTY RECORDER ON FEBRUARY 12, 2002, IN BOOK 2002C, PAGE 49.
- 4) PLAT OF EL RANCHO ATRISCO, PHASE V, FILED IN THE OFFICE OF THE BERNALILLO COUNTY RECORDER ON FEBRUARY 12, 1987, IN VOLUME C32, FOLIO 186.
- 5) EXISTING TEMPORARY DRAINAGE EASEMENT, FILED IN THE OFFICE OF THE BERNALILLO COUNTY RECORDER ON MARCH 23, 1993, IN BOOK 93-7, PAGES 2236-2243, DOCUMENT #093-028757.
- 6) PLAT OF THE CROSSING UNIT 2-B, FILED IN THE OFFICE OF THE BERNALILLO COUNTY RECORDER ON NOVEMBER 18, 2003 IN BOOK 2003C, PAGE 347.

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Page: 2 of 5
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Mary Herrera Bern. Co. PLAT R 27/00

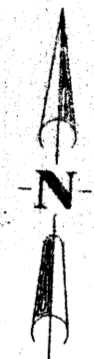
PLAT OF
THE CROSSING - UNIT 3
(Being a Replat of Tract A-1-B, Cielo Oeste Subdivision and Tract A-1 of The Crossing, Unit 2-B) WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 9, T.10N., R2E., N.M.P.M. CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO MAY 2004

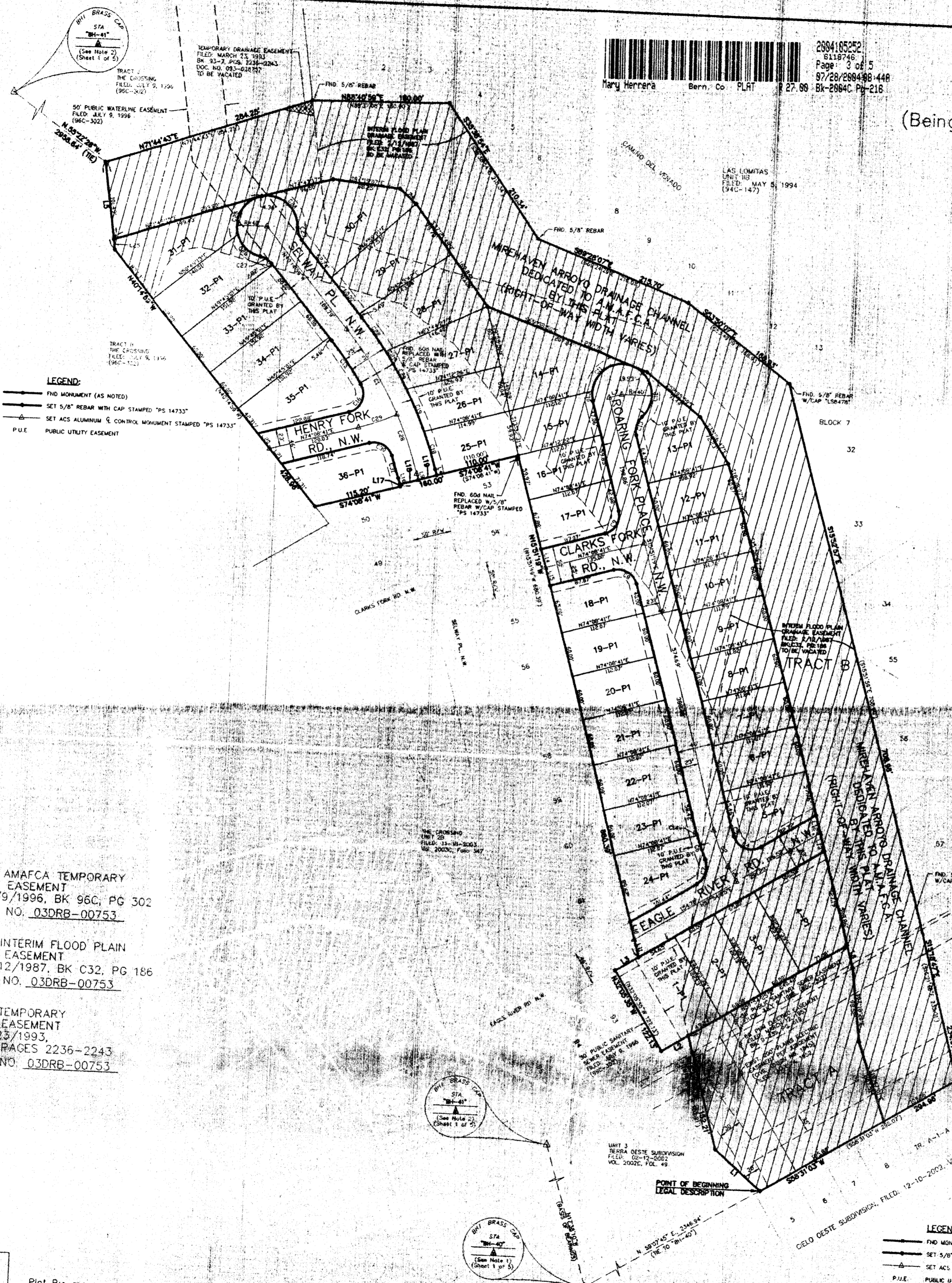
CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD
C1	130.40'	500.00'	65.57'	14°58'33"	S32°46'42"E	130.03'
C2	51.01'	180.00'	25.88'	16°14'16"	N23°58'27"W	50.84'
C3	NOT USED					
C4	44.14'	25.00'	30.41'	101°09'04"	N71°31'03"W	38.62'
C5	13.66'	157.00'	6.84'	04°59'12"	N48°26'55"W	13.66'
C6	33.17'	203.00'	16.62'	09°21'41"	N20°58'59"W	33.13'
C7	36.46'	25.00'	22.34'	83°34'14"	S16°07'18"W	33.32'
C8	39.27'	25.00'	25.00'	90°00'00"	S60°51'19"E	35.36'
C9	39.27'	25.00'	25.00'	90°00'00"	S29°08'41"W	35.36'
C10	13.24'	40.00'	6.68'	18°57'35"	N05°03'01"W	13.18'
C11	73.78'	40.00'	52.77'	105°40'32"	N57°16'03"E	63.75'
C12	80.87'	40.00'	63.45'	115°32'39"	S12°07'21"E	67.67'
C13	26.84'	25.00'	14.87'	61°30'17"	S14°53'49"W	25.57'
C14	1.58'	203.00'	0.79'	00°26'49"	S16°04'43"E	1.58'
C15	68.65'	475.00'	34.38'	08°18'50"	S36°06'34"E	68.59'
C16	46.30'	25.00'	33.24'	106°06'50"	S21°05'16"W	39.96'
C17	NOT USED					
C18	51.96'	525.00'	26.00'	05°40'16"	N18°41'27"W	51.94'
C19	60.92'	525.00'	30.49'	06°38'53"	N24°51'02"W	60.88'
C20	36.91'	525.00'	18.46'	04°01'42"	N30°11'19"W	36.90'
C21	18.84'	525.00'	9.42'	02°03'22"	N33°14'45"W	18.84'
C22	54.75'	525.00'	27.40'	05°58'11"	N37°15'47"W	54.73'
C23	17.35'	25.00'	9.04'	39°45'51"	S10°22'45"E	17.00'
C24	75.23'	40.00'	54.81'	107°45'12"	S54°22'09"E	64.62'
C25	62.53'	40.00'	39.70'	89°33'49"	S26°58'21"W	56.35'
C26	43.36'	40.00'	24.09'	62°06'47"	S48°51'58"E	41.27'
C27	17.31'	25.00'	9.02'	39°40'22"	S60°05'10"E	16.97'
C28	82.35'	500.00'	41.27'	9°26'13"	S20°35'19"E	82.26'
C29	53.57'	275.00'	26.87'	11°09'38"	S68°33'52"E	53.48'
C30	37.67'	25.00'	23.45'	86°20'06"	S62°41'16"E	34.21'
C31	30.38'	475.00'	15.20'	03°39'54"	S17°41'16"E	30.38'

LINE TABLE		
LINE	BEARING	LENGTH
L1	N50°00'47"W (N50°00'47"W)	79.72' (79.72')
L2	S57°54'25"W (S57°54'25"W)	40.66' (40.66')
L3	N57°54'25"E (N57°54'25"E)	35.35' (35.35')
L4	N15°51'19"W (N15°51'19"W)	8.00' (8.00')
L5	N08°19'45"W (N08°19'45"W)	114.79' (114.79')
L6	N32°05'35"W	22.47'
L7	N74°08'41"E	17.00'
L8	S15°52'57"E	30.65'
L9	S15°34'48"E	8.00'
L10	S15°51'19"E	23.96'
L11	N15°51'19"W	23.96'
L12	S16°52'57"E	23.95'
L13	N15°52'57"W	23.96'
L14	S15°51'19"E	25.00'
L15	N15°51'19"W	25.00'
L16	S15°51'19"E	8.00'
L17	S15°51'19"E	3.18'
L18	S74°08'41"W	25.00'
L19	S74°08'41"W	25.00'
L20	S40°14'59"E	25.25'
L21	N40°14'59"W	25.25'
L22	NOT USED	
L23	NOT USED	
L24	S49°17'58"E	28.77'
L25	N08°19'45"W	13.30'

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 Page: 3 of 5
 87/28/2884185448
 BK-2884C Pg-216
 Mary Herrera Bern. Co. PLAT 27.09

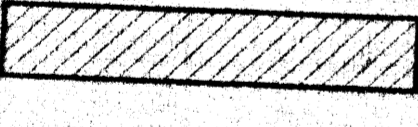
PLAT OF
THE CROSSING - UNIT 3
 (Being a Replat of Tract A-1-B, Cielo Oeste Subdivision
 and
 Tract A-1 of The Crossing, Unit 2-B)
 WITHIN THE TOWN OF ATRISCO GRANT,
 PROJECTED SECTION 9, T.10N., R2E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY 2004

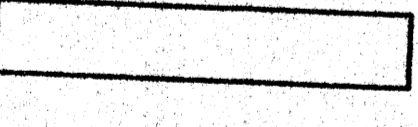

 1 inch = 100 ft.
VACATION EXHIBIT




LEGEND:
 — FND MONUMENT (AS NOTED)
 — SET 5/8" REBAR WITH CAP STAMPED "PS 14733"
 — SET ACS ALUMINUM CONTROL MONUMENT STAMPED "PS 14733"
 P.U.E. PUBLIC UTILITY EASEMENT

LEGEND

 VACATED AMAFCA TEMPORARY DRAINAGE EASEMENT FILED: 7/9/1996, BK 96C, PG 302 VACATION NO. 03DRB-00753

 VACATED INTERIM FLOOD PLAIN DRAINAGE EASEMENT FILED: 2/12/1987, BK C32, PG 186 VACATION NO. 03DRB-00753

 VACATED TEMPORARY DRAINAGE EASEMENT FILED: 3/23/1993, BK 93-7, PAGES 2236-2243 VACATION NO. 03DRB-00753

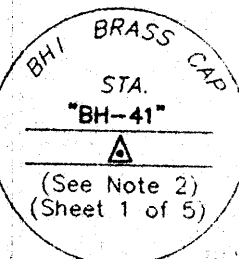
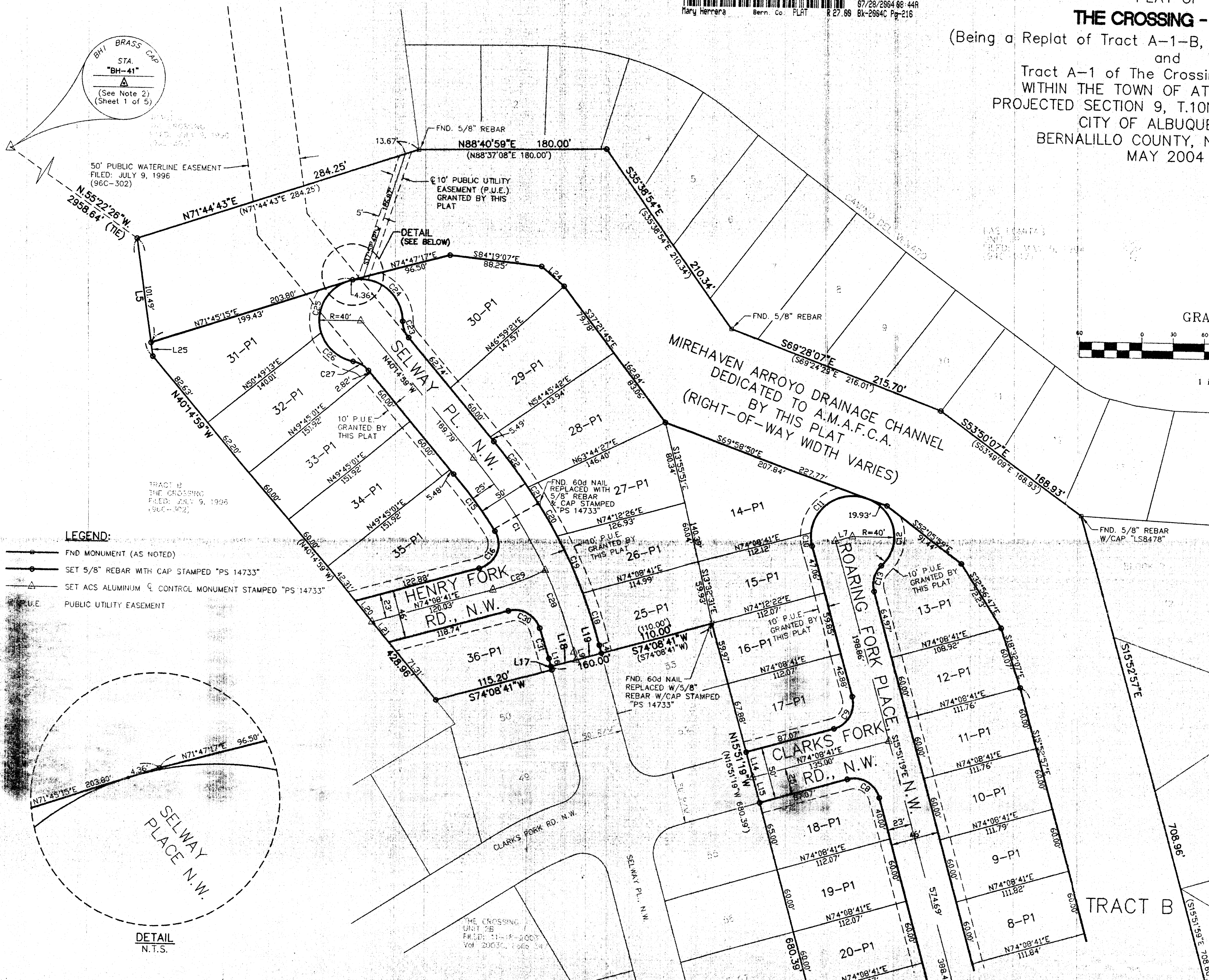
LEGEND:
 — FND MONUMENT (AS NOTED)
 — SET 5/8" REBAR WITH CAP STAMPED "PS 14733"
 — SET ACS ALUMINUM CONTROL MONUMENT STAMPED "PS 14733"
 P.U.E. PUBLIC UTILITY EASEMENT

WILSON & COMPANY
 4900 LANG AVENUE N.E.
 ALBUQUERQUE, NEW MEXICO
 87109
 (505) 348-4000
 SHEET 3 OF 5

Layout Name: Sheet 3 of 5
 Drawing Name: SX3218008_DRB.DWG
 Network Address: X:\PUBLIC\PROJECTS\X3218008\5

Plot By: mav

PLAT OF
THE CROSSING - UNIT 3
 (Being a Replat of Tract A-1-B, Cielo Oeste Subdivision
 and
 Tract A-1 of The Crossing, Unit 2-B)
 WITHIN THE TOWN OF ATRISCO GRANT,
 PROJECTED SECTION 9, T.10N., R2E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY 2004

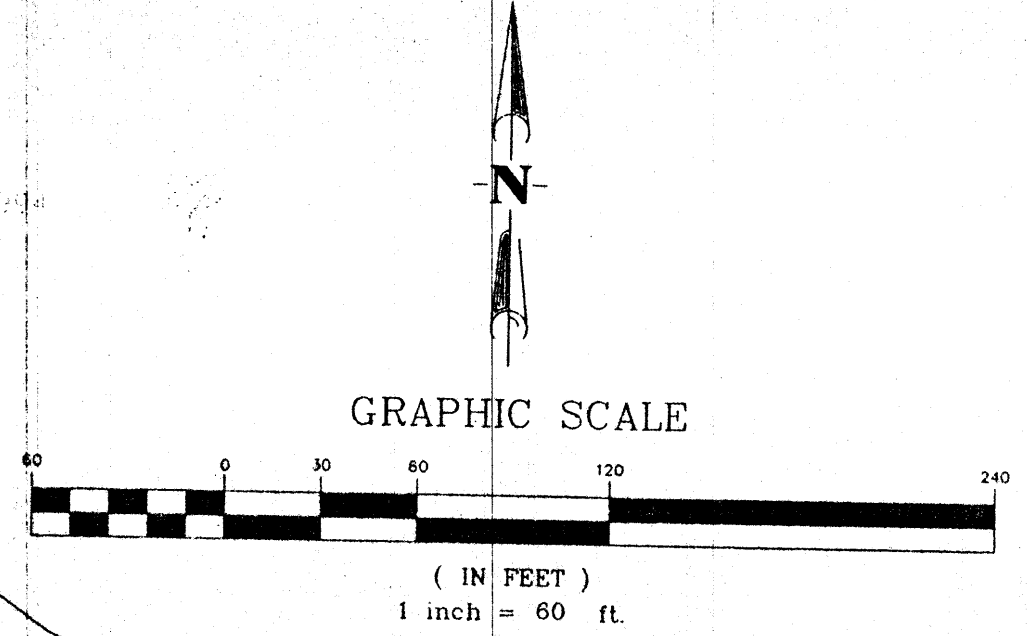
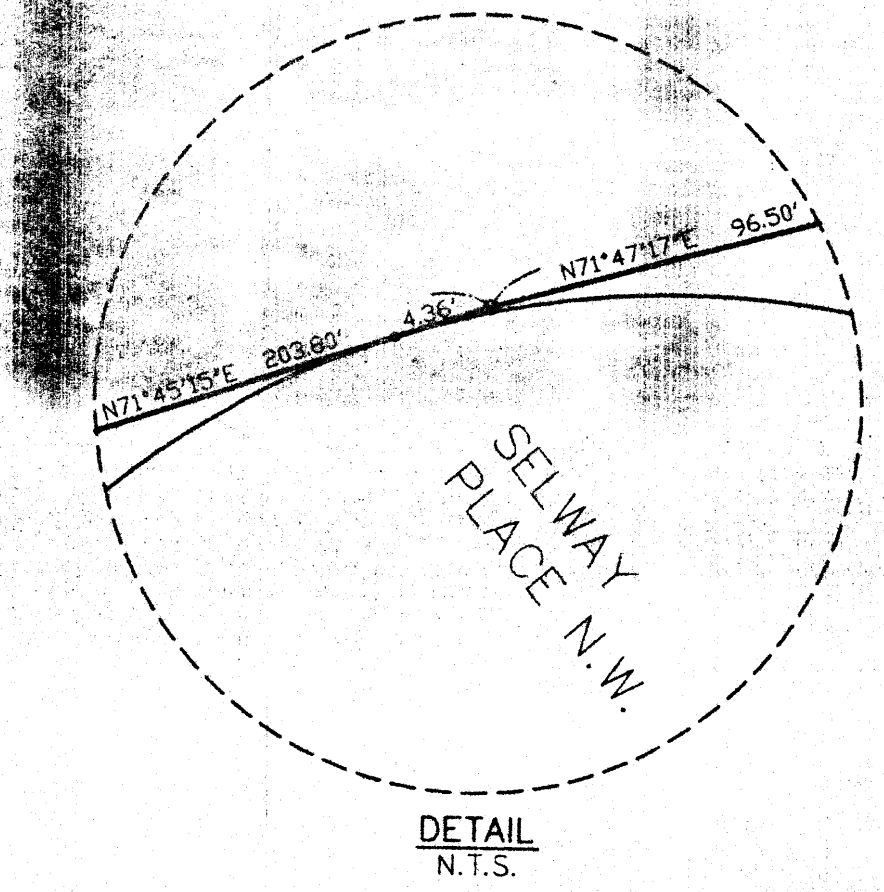


50' PUBLIC WATERLINE EASEMENT
 FILED: JULY 9, 1996
 (96C-302)

TRACT B
 THE CROSSING
 FILED: JULY 9, 1996
 (96C-302)

LEGEND:

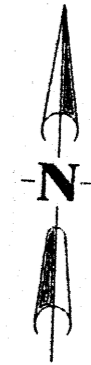
- FND MONUMENT (AS NOTED)
- SET 5/8" REBAR WITH CAP STAMPED "PS 14733"
- △— SET ACS ALUMINUM CONTROL MONUMENT STAMPED "PS 14733"
- P.U.E. PUBLIC UTILITY EASEMENT



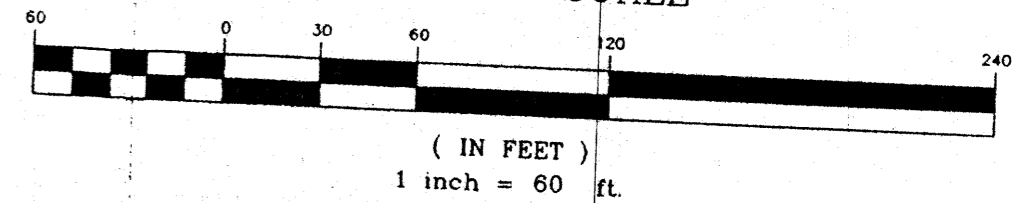
SEE SHEET 4 OF 5

2004185252
6118746
Page: 5 of 5
07/28/2004 08:44A
Bk-2804C Pg-216

PLAT OF
THE CROSSING - UNIT 3
(Being a Replat of Tract A-1-B, Cielo Oeste Subdivision
and
Tract A-1 of The Crossing, Unit 2-B)
WITHIN THE TOWN OF ATRISCO GRANT,
PROJECTED SECTION 9, T.10N., R.2E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY 2004



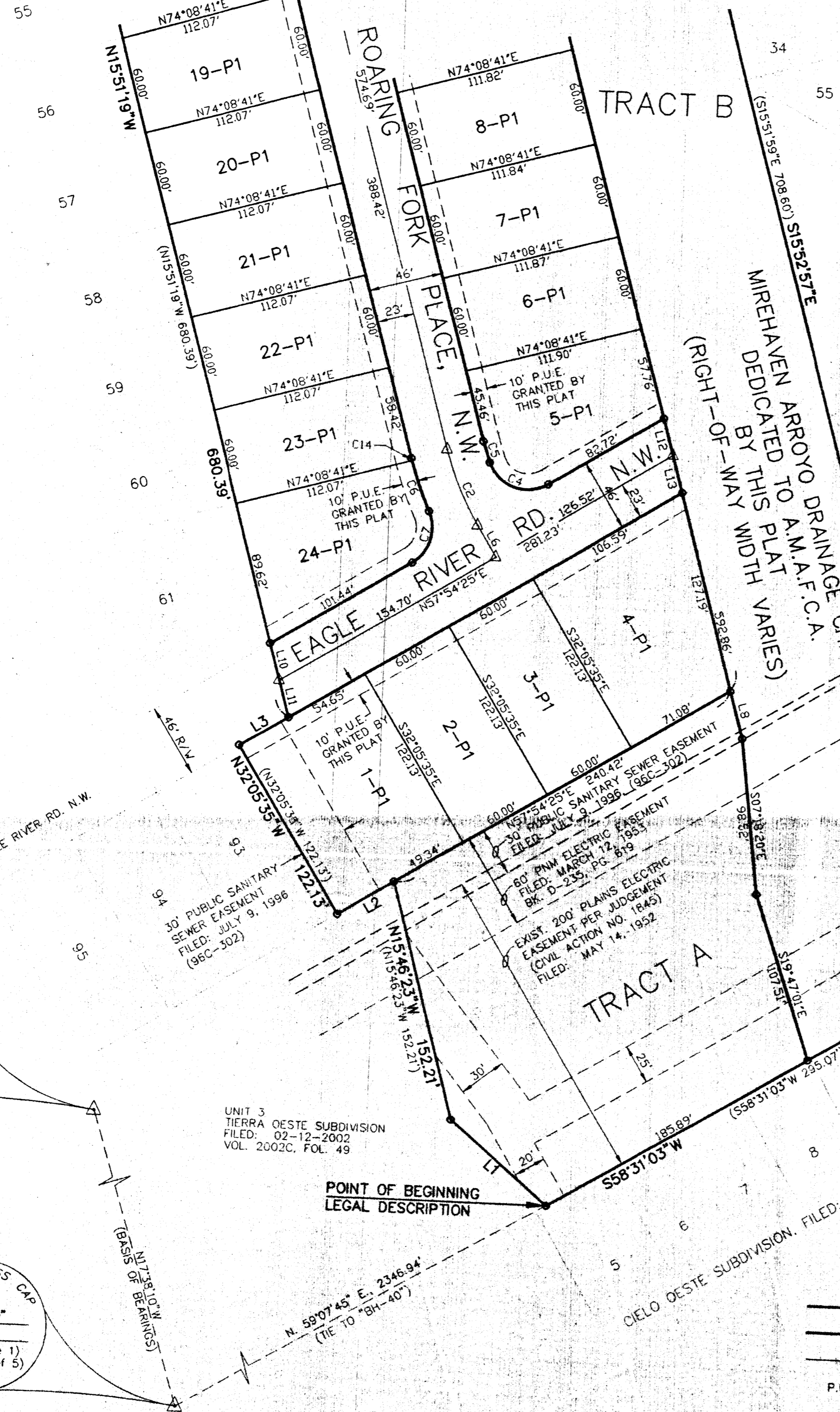
GRAPHIC SCALE



LOT	AREA (Acres)	AREA (Square Feet)
1-P1	0.2523	10,992
2-P1	0.1682	7,328
3-P1	0.1682	7,328
4-P1	0.2491	10,849
5-P1	0.1840	8,016
6-P1	0.1541	6,713
7-P1	0.1541	6,711
8-P1	0.1540	6,710
9-P1	0.1540	6,708
10-P1	0.1540	6,706
11-P1	0.1539	6,705
12-P1	0.1520	6,620
13-P1	0.2193	9,553
14-P1	0.2848	12,406
15-P1	0.1528	6,656
16-P1	0.1541	6,714
17-P1	0.1715	7,473
18-P1	0.1641	7,150
19-P1	0.1544	6,724
20-P1	0.1544	6,724
21-P1	0.1544	6,724
22-P1	0.1544	6,724
23-P1	0.1544	6,724
24-P1	0.1896	8,260
25-P1	0.1539	6,704
26-P1	0.1660	7,229
27-P1	0.2097	9,134
28-P1	0.2356	10,262
29-P1	0.2332	10,159
30-P1	0.2904	12,650
31-P1	0.2383	10,382
32-P1	0.1994	8,684
33-P1	0.2093	9,115
34-P1	0.2093	9,115
35-P1	0.2533	11,033
36-P1	0.1899	8,273

TRACT	AREA (Acres)	AREA (Square Feet)
A	1.1465	49,943.56
B	4.6038	200,539.71

SELMAN P.L. N.W.



- LEGEND:**
- FND MONUMENT (AS NOTED)
 - SET 5/8" REBAR WITH CAP STAMPED "PS 14733"
 - ▲— SET ACS ALUMINUM & CONTROL MONUMENT STAMPED "PS 14733"
 - P.U.E. — PUBLIC UTILITY EASEMENT

THE CROSSING
UNIT 2B
FILED: 11-18-2003
Vol. 2003C, Folio 347

LAS LOMITAS
UNIT 1B
FILED: MAY 5, 1994
(94C-147)

TRACT A-1-C
CIELO OESTE SUBDIVISION
FILED: 12-10-2002
VOL. 2002C, FOL. 393

EXIST. PUBLIC SANITARY
SEWER EASEMENT
FILED:
FEBRUARY 12, 2002
(2002C-49)

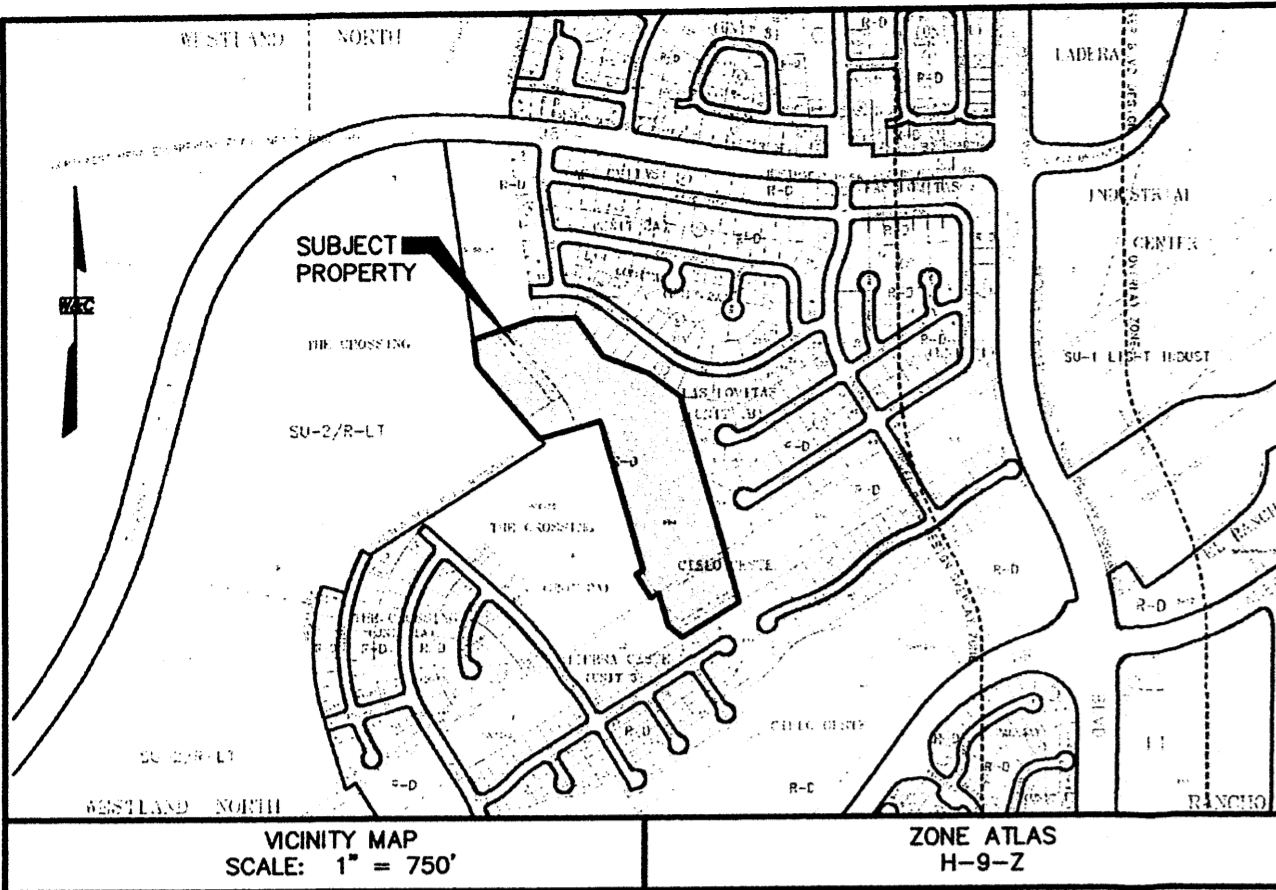
UNIT 3
TIERRA OESTE SUBDIVISION
FILED: 02-12-2002
VOL. 2002C, FOL. 49

BHI BRASS CAP
STA.
"BH-41"
▲
(See Note 2)
(Sheet 1 of 5)

BHI BRASS CAP
STA.
"BH-40"
▲
(See Note 1)
(Sheet 1 of 5)

Layout Name: Sheet 5 of 5
Drawing Name: SX3218008_DRB.DWG
WORK ADDRESS: X:\PUBLIC\PROJECTS\X3218008\


Plot By: mav



SUBDIVISION DATA:

ZONE ATLAS INDEX NO. H-9-Z TOTAL MILES OF STREETS CREATED: 0.2511 Mile
 TOTAL NO. OF LOTS EXISTING: TWO TALOS LOG NO. 2003172944
 TOTAL NO. OF LOTS CREATED: 37 DATE OF SURVEY: MARCH 13, 2003
 GROSS SUBDIVISION ACREAGE: 14.4252 Acres

GENERAL NOTES:

- ALBUQUERQUE CONTROL STATION "BH-40" DATA:
BOHANNON AND HUSTON BRASS TABLET SET 0.3 FT. BELOW THE GROUND
NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE)
X= 352,790.66 Y= 1,492,346.53 ELEVATION= 5305.43 (SLD 1929)
GROUND TO GRID FACTOR = 0.99967105
DELTA ALPHA = (-)00°16'59"
NAD 1927
- ALBUQUERQUE CONTROL STATION "BH-41" DATA:
BOHANNON AND HUSTON BRASS TABLET SET 0.4 FT. BELOW THE GROUND
NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE)
X= 351,455.56 Y= 1,496,546.13 ELEVATION= 5398.63 (SLD 1929)
GROUND TO GRID FACTOR = 0.99966704
DELTA ALPHA = (-)00°17'08"
NAD 1927
- FIELD SURVEY PERFORMED ON MARCH 13, 2003.
- BEARINGS ARE NEW MEXICO STATE PLANE GRID BASED ON A LINE FROM
"BH-40" TO "BH-41". BEARING = N.17°38'10"W.
- ALL DISTANCES ARE GROUND DISTANCES.
- CORNERS IDENTIFIED AS "SET", ARE 5/8" REBAR WITH CAP STAMPED
"PS 14733", AND SHOWN AS , UNLESS OTHERWISE INDICATED.
- DISTANCES SHOWN IN PARENTHESIS () ARE PER RECORDED DOCUMENT
LISTED IN DOCUMENTS USED AS NOTE 1 ON SHEET 2 OF 5.
- LOTS WITH A "P1" DESIGNATION SHALL COMPLY WITH OFF-STREET PARKING
REQUIREMENTS PER SECTION 40.A.1.00 OF THE COMPREHENSIVE ZONING CODE.
- FINAL CONFIRMATION AND RELEASE OF A.M.A.F.C.A.'S TEMPORARY DRAINAGE
EASEMENTS AND INTERIM FLOOD PLAIN DRAINAGE EASEMENT WILL BE COMPLETED
UPON ISSUANCE OF A LETTER OF MAP REVISION (LOMR) BY THE FEDERAL
EMERGENCY MANAGEMENT AGENCY (FEMA) AND UPON ISSUANCE OF QUITCLAIM
DEEDS FROM A.M.A.F.C.A. TO THE UNDERLYING PROPERTY OWNER.

DISCLOSURE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE AND CREATE LOTS AND TRACTS, TO DEDICATE STREET RIGHTS-OF-WAY TO THE CITY OF ALBUQUERQUE, AND TO DEDICATE DRAINAGE RIGHTS-OF-WAY TO A.M.A.F.C.A.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
 UNIFORM PROPERTY CODE # : 1-009-059-300-094-409-69
 PROPERTY OWNER OF RECORD: WESTLAND DEVELOPMENT CO., INC.
 BERNALILLO COUNTY TREASURER'S OFFICE:

Layout Name: Sheet 1 of 5
 Drawing Name: SX3218008_DRB.DWG
 NETWORK ADDRESS: X:\PUBLIC\PROJECTS\X3218008\

Plot By: mav

LEGAL DESCRIPTION:

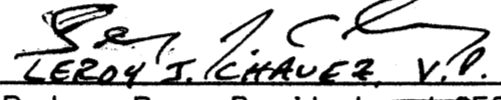
SEE SHEET 2 OF 5

FREE CONSENT AND DEDICATION:

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S); SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED. AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHT OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON, AND DO HEREBY DEDICATE TRACT B, A DRAINAGE CHANNEL RIGHT-OF-WAY SHOWN HEREON TO ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY, IN FEE SIMPLE, WITH WARRANTY COVENANTS, AND DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

FOR: LOTS 1-P1 thru 37-P1 AND TRACTS A AND B

THE CROSSING - UNIT 3

BY: 
BARBARA PAGE, V.P. of Dev.
 Barbara Page, President and CEO
 Westland Development Company, Inc.
 401 Coors Boulevard, N.W.
 ALBUQUERQUE, NEW MEXICO 87121

ACKNOWLEDGMENT

STATE OF New Mexico)
 COUNTY OF Bernalillo) SS.

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 14 DAY OF JUNE, 2004, BY BARBARA PAGE, PRESIDENT AND CEO OF WESTLAND DEVELOPMENT COMPANY, INC.

NOTARY PUBLIC Linda Blair
 MY COMMISSION EXPIRES: _____

OFFICIAL SEAL
 LINDA J. BLAIR
 Notary Public in and for the State of New Mexico
 My Commission Expires 8/5/05

PUBLIC UTILITY EASEMENTS:

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- THE PUBLIC SERVICE COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- THE PUBLIC SERVICE COMPANY OF NEW MEXICO FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

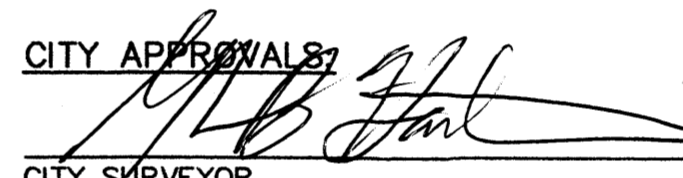
INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL OR SAFETY CODE CAUSED BY CONSTRUCTION OR POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

PLAT OF
THE CROSSING - UNIT 3
 (Being a Replat of Tract A-1-B, Cielo Oeste Subdivision and Tract A-1 of The Crossing, Unit 2-B) WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 9, T.10N., R2E., N.M.P.M. CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO MAY 2004

PROJECT NUMBER: 1001939


APPLICATION NUMBER: _____

UTILITY APPROVALS:

PNM ELECTRIC SERVICES	DATE _____
PNM GAS SERVICES	DATE _____
QWEST TELECOMMUNICATIONS	DATE _____
COMCAST	DATE _____
N/A	DATE _____
NEW MEXICO UTILITIES	DATE _____
CITY APPROVALS: 	<u>6-15-04</u>
CITY SURVEYOR	DATE _____
REAL PROPERTY DIVISION	DATE _____
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE _____
UTILITIES DEVELOPMENT	DATE _____
PARKS AND RECREATION DEPARTMENT	DATE _____
A.M.A.F.C.A.	DATE _____
CITY ENGINEER	DATE _____
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE _____

SURVEYOR'S CERTIFICATION:

I, CHRISTOPHER S. CROSHAW, A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES, OR OTHER PARTIES EXPRESSING AN INTEREST, IS CORRECT AND TRUE TO THE BEST OF MY BELIEF AND KNOWLEDGE AND THAT THIS SURVEY AND PLAT MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE OCTOBER 1, 2000.


 CHRISTOPHER S. CROSHAW
 N.M.P.L.S. #14733
14 JUNE 2004
 DATE



WILSON & COMPANY
 4900 LANG AVENUE N.E.
 ALBUQUERQUE, NEW MEXICO 87109
 (505) 348-4000
SHEET 1 OF 5
 WCEA PROJ. NO. X3-218-008

PLAT OF
THE CROSSING - UNIT 3

(Being a Replat of Tract A-1-B, Cielo Oeste Subdivision
and
Tract A-1 of The Crossing, Unit 2-B)
WITHIN THE TOWN OF ATRISCO GRANT,
PROJECTED SECTION 9, T.10N., R2E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
MAY 2004

LEGAL DESCRIPTION:

A certain parcel of land situate within The Town of Atrisco Grant in projected Section 9, Township 10 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico comprised of Tract A-1-B, as shown and designated on the plat entitled "Cielo Oeste", which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on December 10, 2002, in Book 2002C, Page 393 TOGETHER WITH Tract A-1 of The Crossing, Unit 2-B, as shown and designated on the plat which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on November 11, 2003, in Book 2003C, Page 347; and being more particularly described as follows:

BEGINNING, at the Albuquerque Control Station Brass Cap stamped "BH-40" having NAD 27 New Mexico State Plane Coordinate values of X=352,790.66 and Y=1,492,346.53, whence, the Albuquerque Control Station Brass Cap stamped "BH-41, 1979" having NAD 27 New Mexico Central Zone State Plane Coordinate values of X=351,455.56 and Y=1,496,546.13 bears N. 17°38'10" W., a distance of 4408.16 feet; thence,

N. 59°07'45" E., a distance of 2346.94 feet to the TRUE POINT OF BEGINNING of the parcel of land herein described also being the northeast corner of Tract E-2, Tierra Oeste Subdivision, Unit 3, plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on February 12, 2002, in Book 2002C, Page 49; Thence,

Along the line common to the northeasterly boundary line of said Tract E-2 and the southwesterly boundary line of the parcel of land herein described as follows:

N. 50°00'47" W., a distance of 79.72 feet to a point; Thence,

N. 15°46'23" W., a distance of 152.21 feet to a point; Thence,

S. 57°54'25" W., a distance of 40.66 feet to a point being the northeasterly corner of Unit 2B, The Crossing, plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on November 18, 2003, in Book 2003C, Page 347; Thence,

Along the line common to the northeasterly boundary line of said Unit 2B, The Crossing and the southwesterly boundary line of the parcel of land herein described as follows:

N. 32°05'35" W., a distance of 122.13 feet to a point; Thence,

N. 57°54'25" E., a distance of 35.35 feet to a point; Thence,

N. 15°51'19" W., a distance of 680.39 feet to a point; Thence,

S. 74°08'41" W., a distance of 160.00 feet to a point; Thence,

S. 15°51'19" E., a distance of 3.18 feet to a point; Thence,

S. 74°08'41" W., a distance of 115.20 feet to a point on the northeasterly boundary line of Tract B, The Crossing, plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on July 9, 1996, in Book 96C, Page 302; Thence,

Along the line common to the boundary line of said Tract B, The Crossing and the boundary line of the parcel of land herein described as follows:

N. 40°14'59" W., 428.96 feet to a point; Thence,

N. 08°19'45" W., 114.79 feet to a point; Thence,

N. 71°44'43" E., a distance of 284.25 feet to a point being the southwest corner of Las Lomitas, Unit IIB, plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on May 5, 1994, in Book 94C, Page 147; Thence,

Along the line common to the boundary line of said Las Lomitas, Unit IIB, and the boundary line of the parcel of land herein described as follows:

N. 88°40'59" E., 180.00 feet to a point; Thence,

S. 35°38'54" E., a distance of 210.34 feet to a point; Thence,

S. 69°28'07" E., a distance of 215.70 feet to a point; Thence,

S. 53°50'07" E., a distance of 168.93 feet to a point; Thence,

S. 15°52'57" E., a distance of 708.96 feet to a point; Thence,

S. 15°18'47" E., a distance of 234.91 feet to a point being the most northerly corner of Tract A-1-A, Cielo Oeste, plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on December 10, 2002, in Book 2002C, Page 393; Thence,

S. 58°31'03" W., a distance of 294.96 feet to the most southerly corner and POINT OF BEGINNING of the parcel of land herein described, and containing 628,363.86 square feet (14.4252 acres), more or less.

DOCUMENTS USED:

1) PLAT OF CIELO OESTE, FILED IN THE OFFICE OF THE BERNALILLO COUNTY RECORDER ON DECEMBER 10, 2002, IN BOOK 2002C, PAGE 393.

2) PLAT OF THE CROSSING, FILED IN THE OFFICE OF THE BERNALILLO COUNTY RECORDER ON JULY 9, 1996, IN VOLUME 93C, FOLIO 302.

3) PLAT OF TIERRA OESTE SUBDIVISION, UNIT 3, FILED IN THE OFFICE OF THE BERNALILLO COUNTY RECORDER ON FEBRUARY 12, 2002, IN BOOK 2002C, PAGE 49.

4) PLAT OF EL RANCHO ATRISCO, PHASE V, FILED IN THE OFFICE OF THE BERNALILLO COUNTY RECORDER ON FEBRUARY 12, 1987, IN VOLUME C32, FOLIO 186.

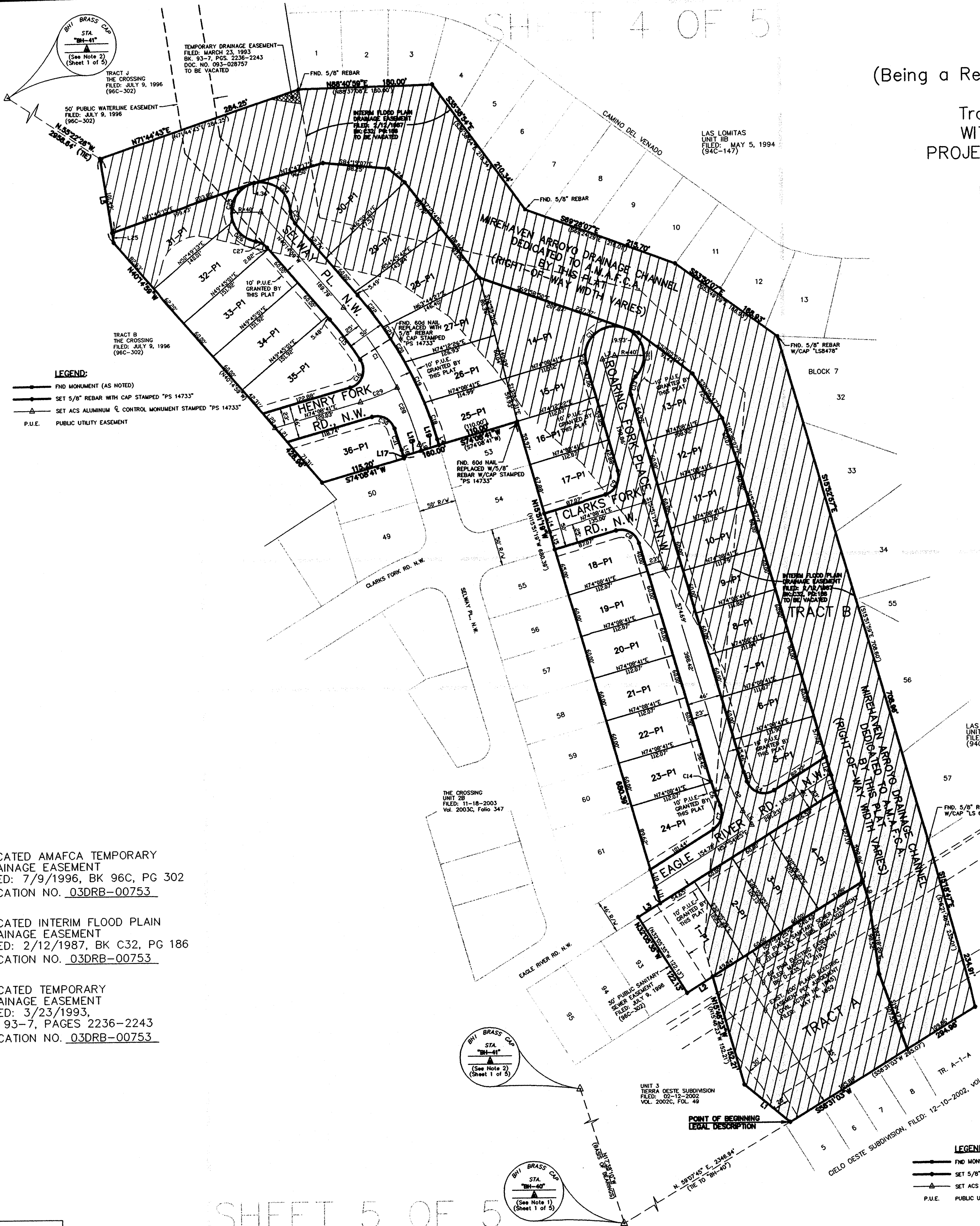
5) EXISTING TEMPORARY DRAINAGE EASEMENT, FILED IN THE OFFICE OF THE BERNALILLO COUNTY RECORDER ON MARCH 23, 1993, IN BOOK 93-7, PAGES 2236-2243, DOCUMENT #093-028757.

6) PLAT OF THE CROSSING UNIT 2-B, FILED IN THE OFFICE OF THE BERNALILLO COUNTY RECORDER ON NOVEMBER 18, 2003 IN BOOK 2003C, PAGE 347.

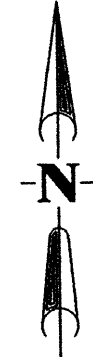
CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD
C1	130.40'	500.00'	65.57'	14°56'33"	S32°46'42"E	130.03'
C2	51.01'	180.00'	25.68'	16°14'16"	N23°58'27"W	50.84'
C3	NOT USED					
C4	44.14'	25.00'	30.41'	101°09'04"	N71°31'03"W	38.62'
C5	13.66'	157.00'	6.84'	04°59'12"	N18°26'55"W	13.66'
C6	33.17'	203.00'	16.62'	09°21'41"	N20°58'59"W	33.13'
C7	36.46'	25.00'	22.34'	83°34'14"	S16°07'18"W	33.32'
C8	39.27'	25.00'	25.00'	90°00'00"	S60°51'19"E	35.36'
C9	39.27'	25.00'	25.00'	90°00'00"	S29°08'41"W	35.36'
C10	13.24'	40.00'	6.68'	18°57'35"	N05°03'01"W	13.18'
C11	73.78'	40.00'	52.77'	105°40'32"	N57°16'03"E	63.75'
C12	80.67'	40.00'	63.45'	115°32'39"	S12°07'21"E	67.67'
C13	26.84'	25.00'	14.87'	61°30'17"	S14°53'49"W	25.57'
C14	1.58'	203.00'	0.79'	00°26'49"	S16°04'43"E	1.58'
C15	68.65'	475.00'	34.38'	08°16'50"	S36°06'34"E	68.59'
C16	46.30'	25.00'	33.24'	106°06'50"	S21°05'16"W	39.96'
C17	NOT USED					
C18	51.96'	525.00'	26.00'	05°40'16"	N18°41'27"W	51.94'
C19	60.92'	525.00'	30.49'	06°38'53"	N24°51'02"W	60.88'
C20	36.91'	525.00'	18.46'	04°01'42"	N30°11'19"W	36.90'
C21	18.84'	525.00'	9.42'	02°03'23"	N33°14'45"W	18.84'
C22	54.75'	525.00'	27.40'	05°58'32"	N37°15'43"W	54.73'
C23	17.35'	25.00'	9.04'	39°45'26"	S20°22'16"E	17.00'
C24	75.23'	40.00'	54.81'	107°45'12"	S54°22'09"E	64.62'
C25	62.53'	40.00'	39.70'	89°33'49"	S26°58'21"W	56.35'
C26	43.36'	40.00'	24.09'	62°06'47"	S48°51'58"E	41.27'
C27	17.31'	25.00'	9.02'	39°40'22"	S60°05'10"E	16.97'
C28	82.35'	500.00'	41.27'	9°26'13"	S20°35'19"E	82.26'
C29	53.57'	275.00'	26.87'	11°09'38"	S68°33'52"E	53.48'
C30	37.67'	25.00'	23.45'	86°20'06"	S62°41'16"E	34.21'
C31	30.38'	475.00'	15.20'	03°39'54"	S17°41'16"E	30.38'

LINE TABLE		
LINE	BEARING	LENGTH
L1	N50°00'47"W (N50°00'47"W)	79.72' (79.72')
L2	S57°54'25"W (S57°54'25"W)	40.66' (40.66')
L3	N57°54'25"E (N57°54'25"E)	35.35' (35.35')
L4	N15°51'19"W (N15°51'19"W)	8.00' (8.00')
L5	N08°19'45"W (N08°19'45"W)	114.79' (114.79')
L6	N32°05'35"W	22.47'
L7	N74°08'41"E	17.00'
L8	S15°52'57"E	30.65'
L9	S15°34'48"E	8.00'
L10	S15°51'19"E	23.96'
L11	N15°51'19"W	23.96'
L12	S15°52'57"E	23.95'
L13	N15°52'57"W	23.96'
L14	S15°51'19"E	25.00'
L15	N15°51'19"W	25.00'
L16	S15°51'19"E	8.00'
L17	S15°51'19"E	3.18'
L18	S74°08'41"W	25.00'
L19	S74°08'41"W	25.00'
L20	S40°14'59"E	25.25'
L21	N40°14'59"W	25.25'
L22	NOT USED	
L23	NOT USED	
L24	S49°17'58"E	28.77'
L25	N08°19'45"W	13.30'

PLAT OF
THE CROSSING - UNIT 3
 (Being a Replat of Tract A-1-B, Cielo Oeste Subdivision
 and
 Tract A-1 of The Crossing, Unit 2-B)
 WITHIN THE TOWN OF ATRISCO GRANT,
 PROJECTED SECTION 9, T.10N., R2E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 MAY 2004



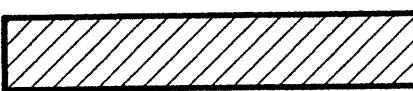

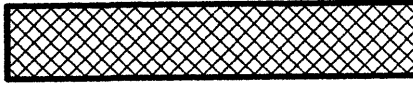
LEGEND:
 — FND MONUMENT (AS NOTED)
 — SET 5/8" REBAR WITH CAP STAMPED "PS 14733"
 — SET ACS ALUMINUM \square CONTROL MONUMENT STAMPED "PS 14733"
 P.U.E. PUBLIC UTILITY EASEMENT



1 inch = 100 ft.

VACATION EXHIBIT

LEGEND

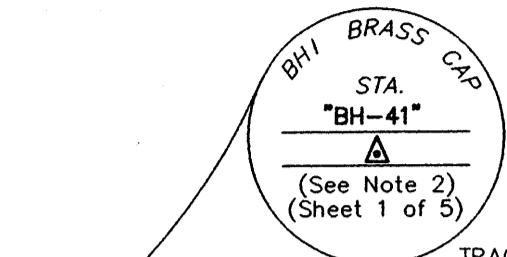
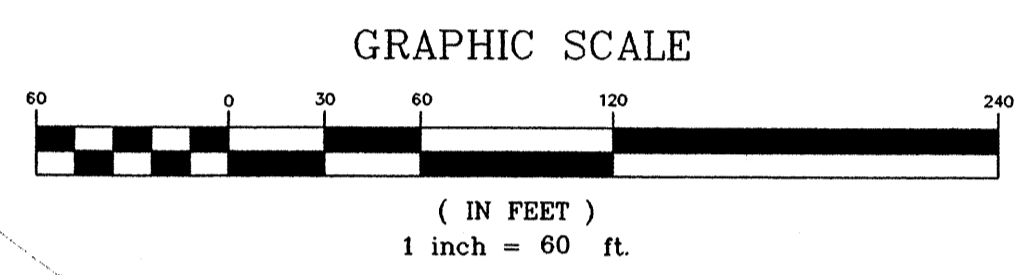
-  VACATED AMAFCA TEMPORARY DRAINAGE EASEMENT
FILED: 7/9/1996, BK 96C, PG 302
VACATION NO. 03DRB-00753
-  VACATED INTERIM FLOOD PLAIN DRAINAGE EASEMENT
FILED: 2/12/1987, BK C32, PG 186
VACATION NO. 03DRB-00753
-  VACATED TEMPORARY DRAINAGE EASEMENT
FILED: 3/23/1993,
BK 93-7, PAGES 2236-2243
VACATION NO. 03DRB-00753

LEGEND:
 — FND MONUMENT (AS NOTED)
 — SET 5/8" REBAR WITH CAP STAMPED "PS 14733"
 — SET ACS ALUMINUM \square CONTROL MONUMENT STAMPED "PS 14733"
 P.U.E. PUBLIC UTILITY EASEMENT

WILSON & COMPANY
 4900 LANG AVENUE N.E.
 ALBUQUERQUE, NEW MEXICO
 87109
 (505) 348-4000
SHEET 3 OF 5
 WCEA PROJ. NO. X3-218-008

PLAT OF
THE CROSSING - UNIT 3

(Being a Replat of Tract A-1-B, Cielo Oeste Subdivision and Tract A-1 of The Crossing, Unit 2-B) WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 9, T.10N., R.2E., N.M.P.M. CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO MAY 2004

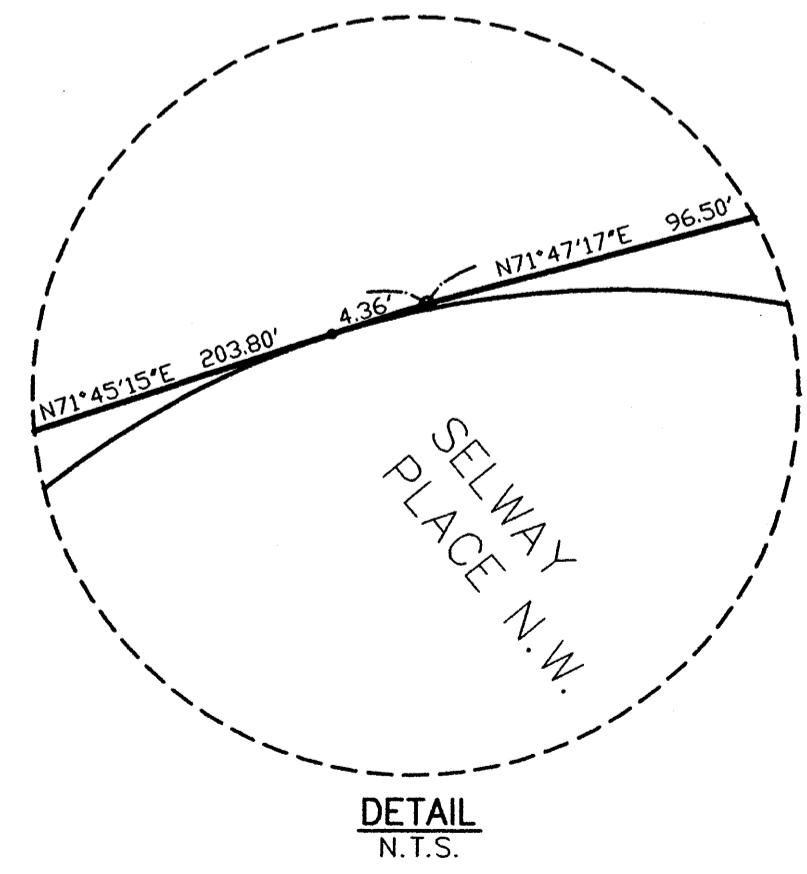


TRACT J
THE CROSSING
FILED: JULY 9, 1996
(96C-302)

50' PUBLIC WATERLINE EASEMENT
FILED: JULY 9, 1996
(96C-302)

LAS LOMITAS
UNIT IIB
FILED: MAY 5, 1994
(94C-147)

- LEGEND:**
- FND MONUMENT (AS NOTED)
 -
 -
 -



DETAIL
N.T.S.

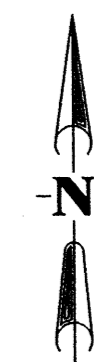
THE CROSSING
UNIT 2B
FILED: 11-18-2003
Vol. 2003C, Folio 347

WILSON & COMPANY
4900 LANG AVENUE N.E.
ALBUQUERQUE, NEW MEXICO
87109
(505) 348-4000
SHEET 4 OF 5
WCEA PROJ. NO. X3-218-008

SEE SHEET 4 OF 5

PLAT OF
THE CROSSING - UNIT 3

(Being a Replat of Tract A-1-B, Cielo Oeste Subdivision and Tract A-1 of The Crossing, Unit 2-B) WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 9, T.10N., R.2E., N.M.P.M. CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO MAY 2004



GRAPHIC SCALE



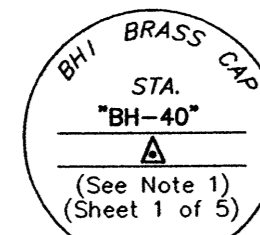
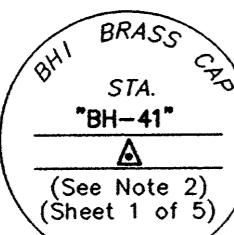
(IN FEET)
1 inch = 60 ft.

THE CROSSING
UNIT 2B
FILED: 11-18-2003
Vol. 2003C, Folio 347

LAS LOMITAS
UNIT IIB
FILED: MAY 5, 1994
(94C-147)

TRACT A-1-C
CIELO OESTE SUBDIVISION
FILED: 12-10-2002
VOL. 2002C, FOL. 393

UNIT 3
TIERRA OESTE SUBDIVISION
FILED: 02-12-2002
VOL. 2002C, FOL. 49



- LEGEND:**
- FND MONUMENT (AS NOTED)
 - SET 5/8" REBAR WITH CAP STAMPED "PS 14733"
 - △— SET ACS ALUMINUM CONTROL MONUMENT STAMPED "PS 14733"
 - P.U.E. PUBLIC UTILITY EASEMENT

LOT	AREA (Acres)	AREA (Square Feet)
1-P1	0.2523	10,992
2-P1	0.1682	7,328
3-P1	0.1682	7,328
4-P1	0.2491	10,849
5-P1	0.1840	8,016
6-P1	0.1541	6,713
7-P1	0.1541	6,711
8-P1	0.1540	6,710
9-P1	0.1540	6,708
10-P1	0.1540	6,706
11-P1	0.1539	6,705
12-P1	0.1520	6,620
13-P1	0.2193	9,553
14-P1	0.2848	12,406
15-P1	0.1528	6,656
16-P1	0.1541	6,714
17-P1	0.1715	7,473
18-P1	0.1641	7,150
19-P1	0.1544	6,724
20-P1	0.1544	6,724
21-P1	0.1544	6,724
22-P1	0.1544	6,724
23-P1	0.1544	6,724
24-P1	0.1896	8,260
25-P1	0.1539	6,704
26-P1	0.1660	7,229
27-P1	0.2097	9,134
28-P1	0.2356	10,262
29-P1	0.2332	10,159
30-P1	0.2904	12,650
31-P1	0.2383	10,382
32-P1	0.1994	8,684
33-P1	0.2093	9,115
34-P1	0.2093	9,115
35-P1	0.2533	11,033
36-P1	0.1899	8,273

TRACT	AREA (Acres)	AREA (Square Feet)
A	1.1465	49,943.56
B	4.6038	200,539.71

GRADING AND DRAINAGE NOTES

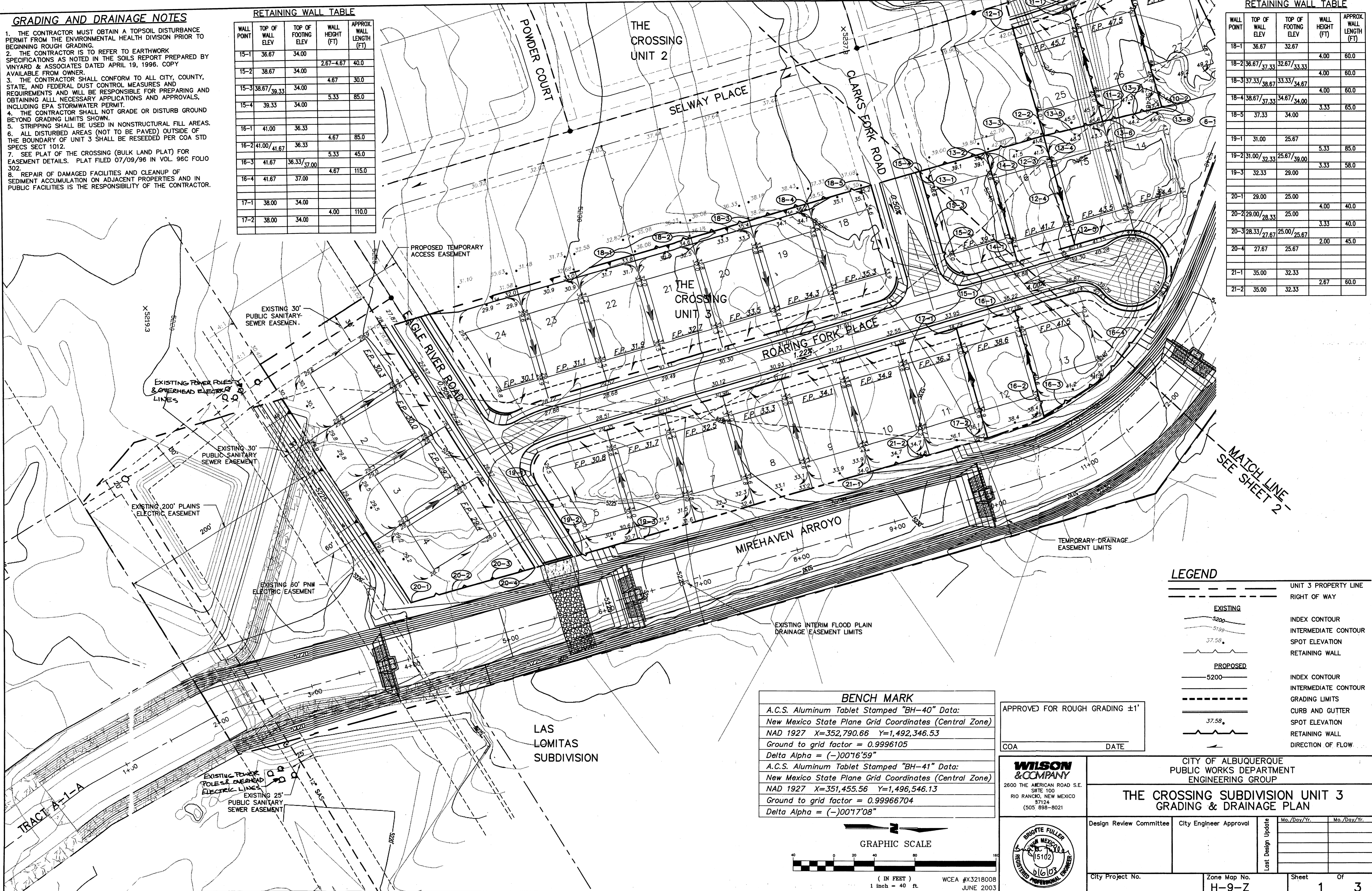
1. THE CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO BEGINNING ROUGH GRADING.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATIONS AS NOTED IN THE SOILS REPORT PREPARED BY VINYARD & ASSOCIATES DATED APRIL 19, 1996. COPY AVAILABLE FROM OWNER.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS, INCLUDING EPA STORMWATER PERMIT.
4. THE CONTRACTOR SHALL NOT GRADE OR DISTURB GROUND BEYOND GRADING LIMITS SHOWN.
5. STRIPPING SHALL BE USED IN NONSTRUCTURAL FILL AREAS.
6. ALL DISTURBED AREAS (NOT TO BE PAVED) OUTSIDE OF THE BOUNDARY OF UNIT 3 SHALL BE RESEDED PER COA STD SPECS SECT 1012.
7. SEE PLAT OF THE CROSSING (BULK LAND PLAT) FOR EASEMENT DETAILS. PLAT FILED 07/09/96 IN VOL. 96C FOLIO 302.
8. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.

RETAINING WALL TABLE

WALL POINT	TOP OF WALL ELEV	TOP OF FOOTING ELEV	WALL HEIGHT (FT)	APPROX. WALL LENGTH (FT)
15-1	36.67	34.00	2.67-4.67	40.0
15-2	38.67	34.00	4.67	30.0
15-3	38.67/39.33	34.00	5.33	85.0
15-4	39.33	34.00	5.33	85.0
16-1	41.00	36.33	4.67	85.0
16-2	41.00/41.67	36.33	5.33	45.0
16-3	41.67	36.33/37.00	4.67	115.0
16-4	41.67	37.00	4.67	115.0
17-1	38.00	34.00	4.00	110.0
17-2	38.00	34.00	4.00	110.0

RETAINING WALL TABLE

WALL POINT	TOP OF WALL ELEV	TOP OF FOOTING ELEV	WALL HEIGHT (FT)	APPROX. WALL LENGTH (FT)
18-1	36.67	32.67	4.00	60.0
18-2	36.67/37.33	32.67/33.33	4.00	60.0
18-3	37.33/38.67	33.33/34.67	4.00	60.0
18-4	38.67/37.33	34.67/34.00	3.33	65.0
18-5	37.33	34.00	3.33	65.0
19-1	31.00	25.67	5.33	85.0
19-2	31.00/32.33	25.67/39.00	3.33	58.0
19-3	32.33	29.00	3.33	58.0
20-1	29.00	25.00	4.00	40.0
20-2	29.00/28.33	25.00	3.33	40.0
20-3	28.33/27.67	25.00/25.67	2.00	45.0
20-4	27.67	25.67	2.00	45.0
21-1	35.00	32.33	2.67	60.0
21-2	35.00	32.33	2.67	60.0



LEGEND

	UNIT 3 PROPERTY LINE
	RIGHT OF WAY
	EXISTING INDEX CONTOUR
	EXISTING INTERMEDIATE CONTOUR
	SPOT ELEVATION
	RETAINING WALL
	PROPOSED INDEX CONTOUR
	PROPOSED INTERMEDIATE CONTOUR
	GRADING LIMITS
	CURB AND GUTTER
	SPOT ELEVATION
	RETAINING WALL
	DIRECTION OF FLOW

BENCH MARK

A.C.S. Aluminum Tablet Stamped "BH-40" Data:
 New Mexico State Plane Grid Coordinates (Central Zone)
 NAD 1927 X=352,790.66 Y=1,492,346.53
 Ground to grid factor = 0.9996105
 Delta Alpha = (-)00'16"59"

A.C.S. Aluminum Tablet Stamped "BH-41" Data:
 New Mexico State Plane Grid Coordinates (Central Zone)
 NAD 1927 X=351,455.56 Y=1,496,546.13
 Ground to grid factor = 0.99966704
 Delta Alpha = (-)00'17"08"

APPROVED FOR ROUGH GRADING ±1'

COA _____ DATE _____

WILSON & COMPANY
 2600 THE AMERICAN ROAD S.E.
 SUITE 100
 RIO RANCHO, NEW MEXICO
 87124
 (505) 898-8021

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING GROUP

**THE CROSSING SUBDIVISION UNIT 3
 GRADING & DRAINAGE PLAN**

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of	
	H-9-Z	1	3	

GRAPHIC SCALE

(IN FEET)
 1 inch = 40 ft. WCEA #X3218008
 JUNE 2003

RETAINING WALL TABLE

WALL POINT	TOP OF WALL ELEV	TOP OF FOOTING ELEV	WALL HEIGHT (FT)	APPROX. WALL LENGTH (FT)
2-1	54.00	50.00	4.00	110.0
2-2	54.00	50.00		
3-1	53.00	48.33		
3-2	53.00	48.33	4.67	110.0
6-1	48.00	46.00		
6-2	50.00	46.00	2.00-4.00	30.0
6-3	51.33	46.00	4.00	40.0
6-4	52.00	46.00	5.33	40.0
6-5	52.67/54.00	46.00	6.00	40.0
6-6	54.00/55.33	46.00	6.67-8.00	40.0
6-7	55.33	46.00	8.00-9.33	30.0
6-8	56.00	49.33	9.33-6.67	40.0
6-9	56.00	49.33	6.67	30.0
6-10	53.33	49.33	6.67-4.00	70.0
7-1	54.33	50.33		
7-2	54.33	50.33	4.00	105.0
8-1	52.67	48.67		
8-2	52.67	48.67	4.00	105.0
9-1	50.67	46.67		
9-2	50.67	46.67	4.00	90.0
10-1	48.67	44.67		
10-2	48.67	44.67	4.00	125.0

RETAINING WALL TABLE

WALL POINT	TOP OF WALL ELEV	TOP OF FOOTING ELEV	WALL HEIGHT (FT)	APPROX. WALL LENGTH (FT)
11-1	47.33	43.33	4.00	115.0
11-2	47.33	43.33		
12-1	45.33	41.33		
12-2	45.33	41.33/40.67	4.00	110.0
12-3	43.33	40.67/40.00	4.00-3.33	25.0
12-4	43.33/42.67	40.00/39.33	3.33	45.0
12-5	42.67	39.33		
13-1	41.33	38.00		
13-2	41.33/44.00	38.00/40.00	3.33	68.0
13-3	44.00/44.67	40.00/40.67	4.00	30.0
13-4	44.67/46.00	40.67/41.33	4.00	30.0
13-5	46.00/46.67	41.33/42.00	4.67	30.0
13-6	46.67/48.00	42.00/42.67	4.67	30.0
13-7	48.00	42.67/43.33	5.33	30.0
13-8	48.00	43.33	4.67	30.0
14-1	41.33	36.67		
14-2	41.33	36.67	4.67	110.0



BENCH MARK
 A.C.S. Aluminum Tablet Stamped "BH-40" Data:
 New Mexico State Plane Grid Coordinates (Central Zone)
 NAD 1927 X=352,790.66 Y=1,492,346.53
 Ground to grid factor = 0.9996105
 Delta Alpha = (-)00°16'59"
 A.C.S. Aluminum Tablet Stamped "BH-41" Data:
 New Mexico State Plane Grid Coordinates (Central Zone)
 NAD 1927 X=351,455.56 Y=1,496,546.13
 Ground to grid factor = 0.99966704
 Delta Alpha = (-)00°17'08"

LEGEND

---	UNIT 3 PROPERTY LINE
---	RIGHT OF WAY
---	EXISTING
---	INDEX CONTOUR
---	INTERMEDIATE CONTOUR
---	SPOT ELEVATION
---	RETAINING WALL
---	PROPOSED
---	INDEX CONTOUR
---	INTERMEDIATE CONTOUR
---	GRADING LIMITS
---	CURB AND GUTTER
---	SPOT ELEVATION
---	RETAINING WALL
---	DIRECTION OF FLOW

APPROVED FOR ROUGH GRADING ±1'
 COA _____ DATE _____

WILSON & COMPANY
 2800 THE AMERICAN ROAD S.E.
 SUITE 100
 RIO RANCHO, NEW MEXICO
 87124
 (505) 898-8021

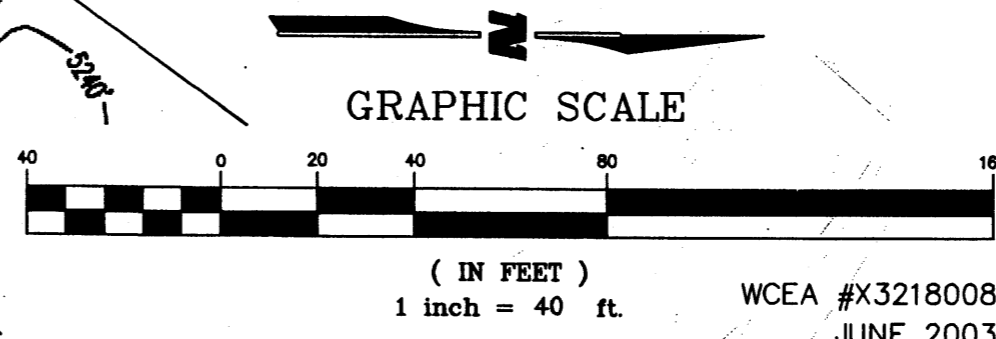
CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING GROUP

**THE CROSSING SUBDIVISION UNIT 3
 GRADING & DRAINAGE PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	H-9-Z	2	3

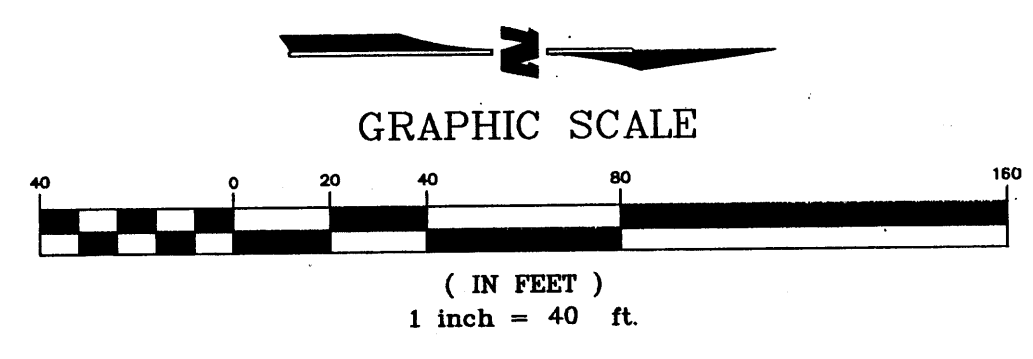
BRIGITTE FULLER
 NEW MEXICO
 15102
 REGISTERED PROFESSIONAL ENGINEER

WCEA #X3218008
 JUNE 2003



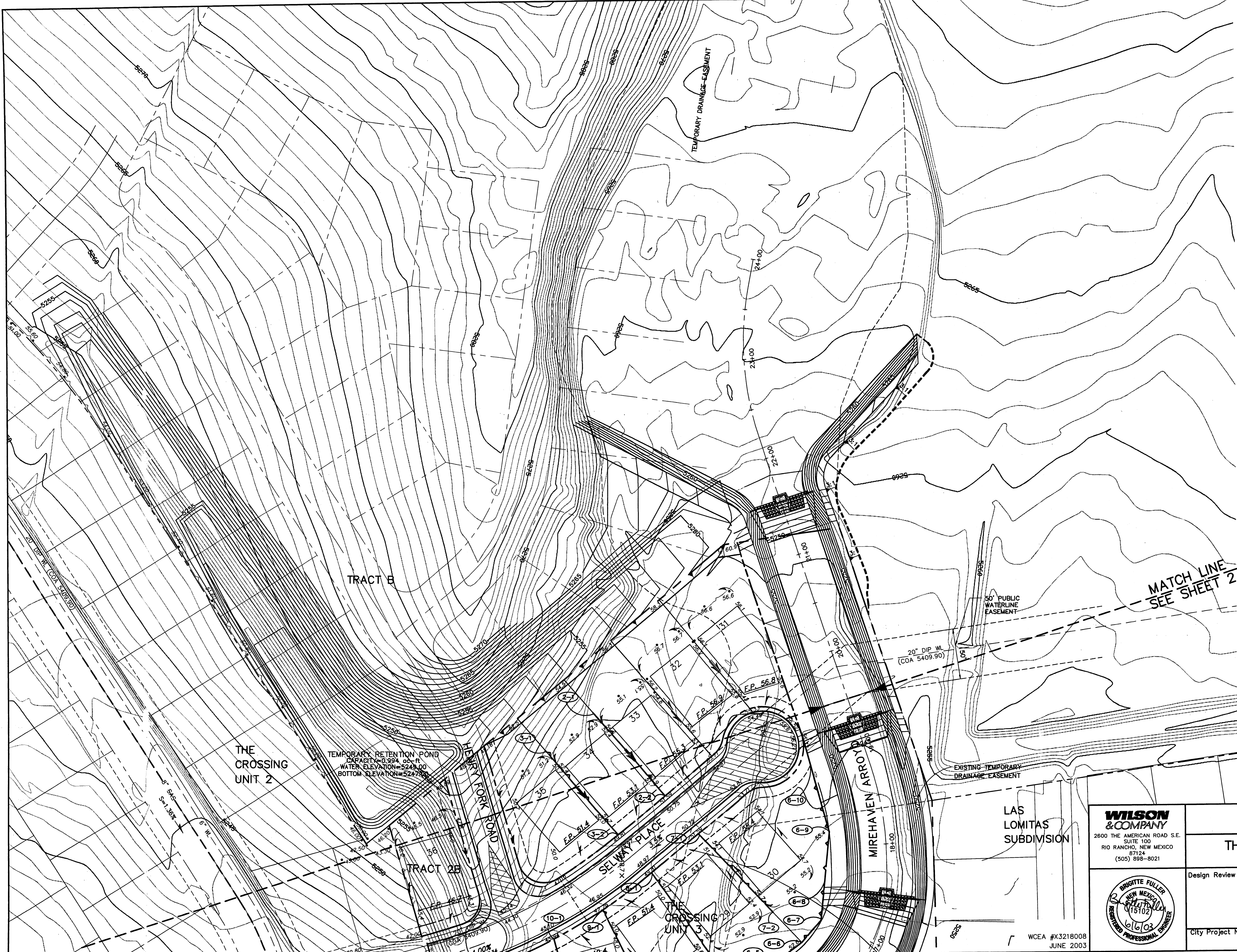
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BENCH MARK
 A.C.S. Aluminum Tablet Stamped "BH-40" Data:
 New Mexico State Plane Grid Coordinates (Central Zone)
 NAD 1927 X=352,790.66 Y=1,492,346.53
 Ground to grid factor = 0.9996105
 Delta Alpha = (-)00°16'59"
 A.C.S. Aluminum Tablet Stamped "BH-41" Data:
 New Mexico State Plane Grid Coordinates (Central Zone)
 NAD 1927 X=351,455.56 Y=1,496,546.13
 Ground to grid factor = 0.99966704
 Delta Alpha = (-)00°17'08"



APPROVED FOR ROUGH GRADING ±1'

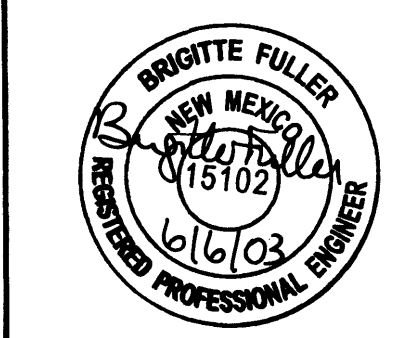
COA _____ DATE _____



LEGEND

---	UNIT 3 PROPERTY LINE
---	RIGHT OF WAY
---	EXISTING
---	INDEX CONTOUR
---	INTERMEDIATE CONTOUR
---	SPOT ELEVATION
---	RETAINING WALL
---	PROPOSED
---	INDEX CONTOUR
---	INTERMEDIATE CONTOUR
---	GRADING LIMITS
---	CURB AND GUTTER
---	SPOT ELEVATION
---	RETAINING WALL
---	DIRECTION OF FLOW

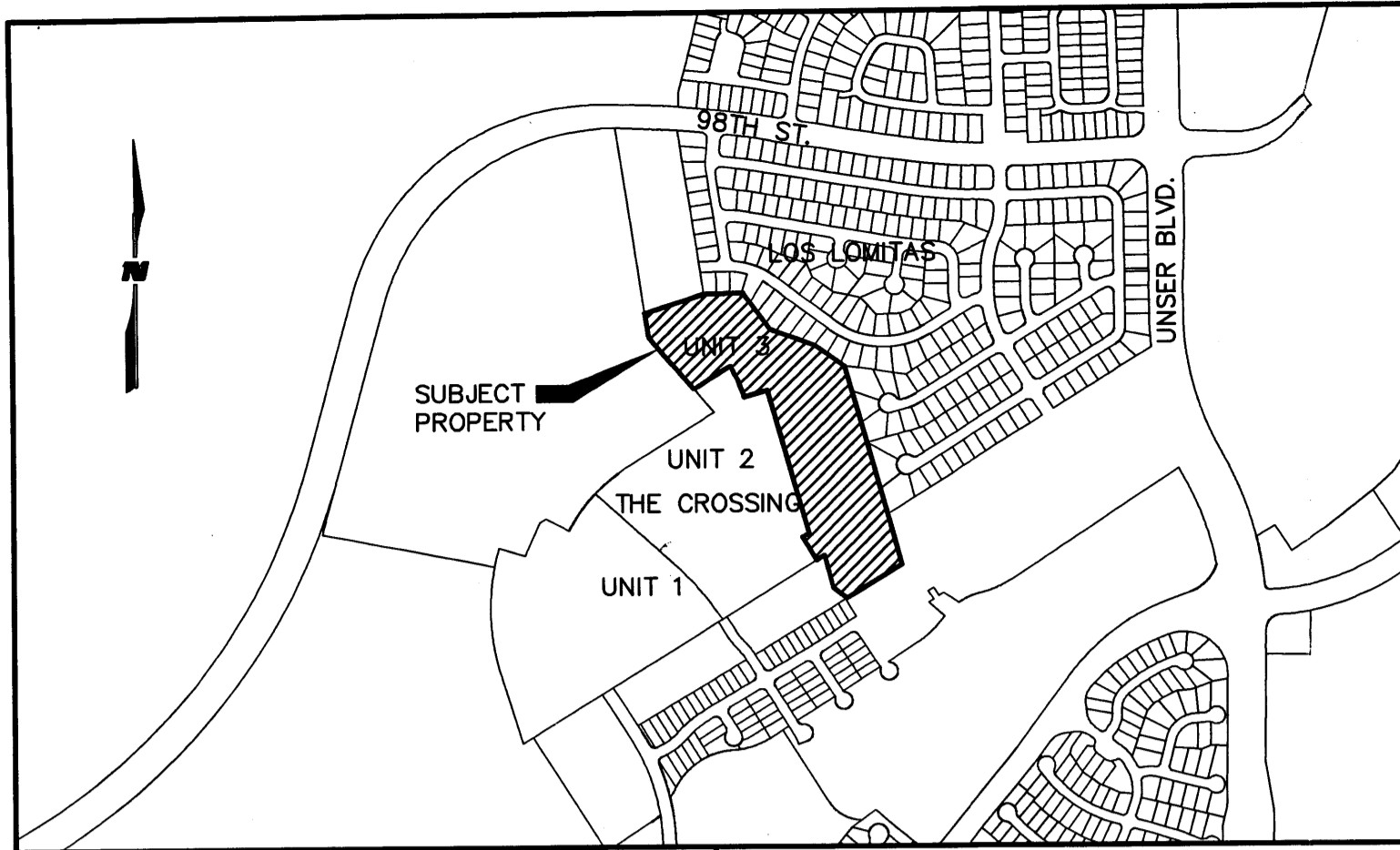
WILSON & COMPANY
 2600 THE AMERICAN ROAD S.E.
 SUITE 100
 RIO RANCHO, NEW MEXICO
 87124
 (505) 898-8021



CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING GROUP
**THE CROSSING SUBDIVISION UNIT 3
 GRADING & DRAINAGE PLAN**

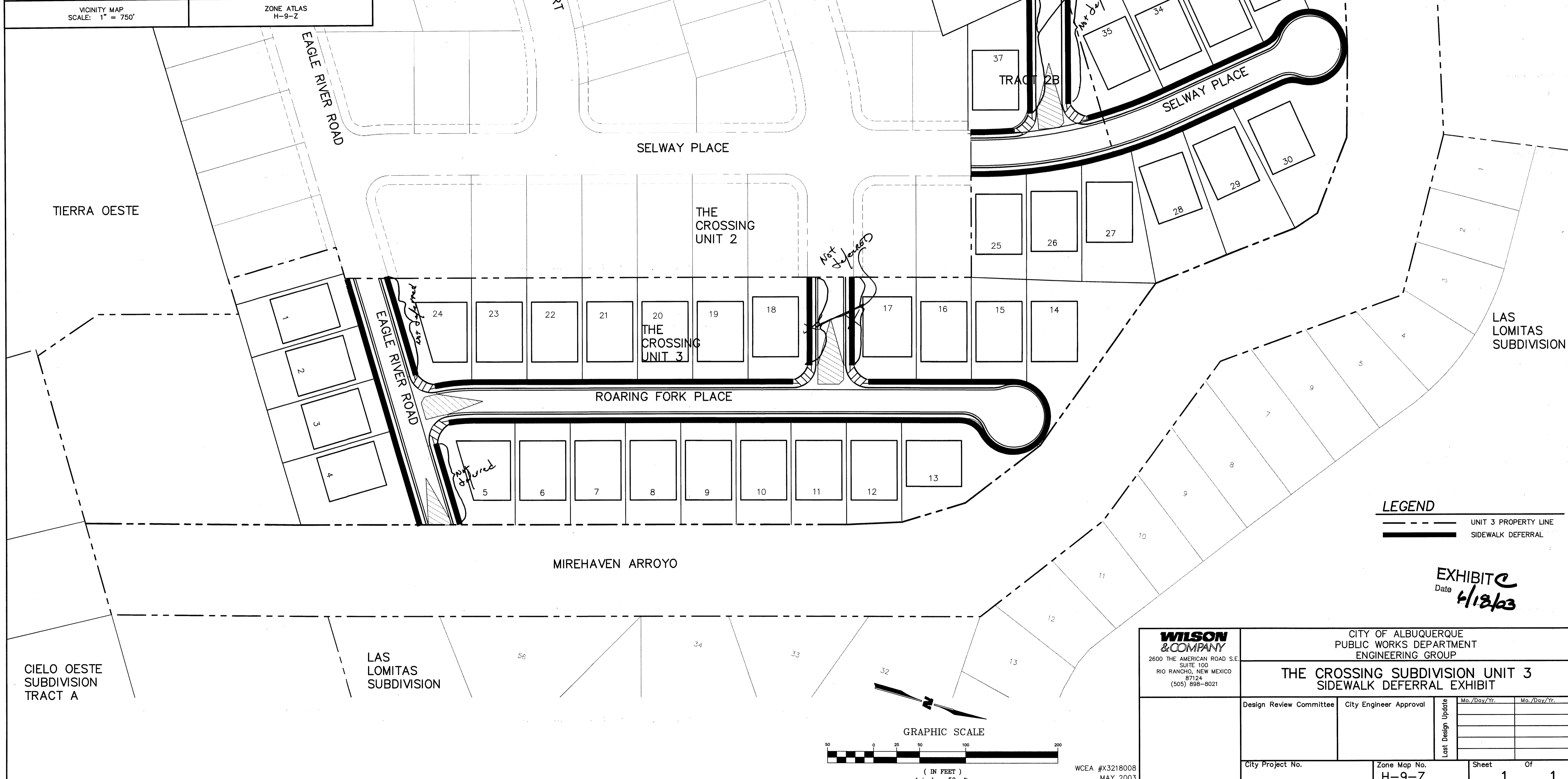
Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	H-9-Z	3	3

WCEA #X3218008
 JUNE 2003



VICINITY MAP
SCALE: 1" = 750'

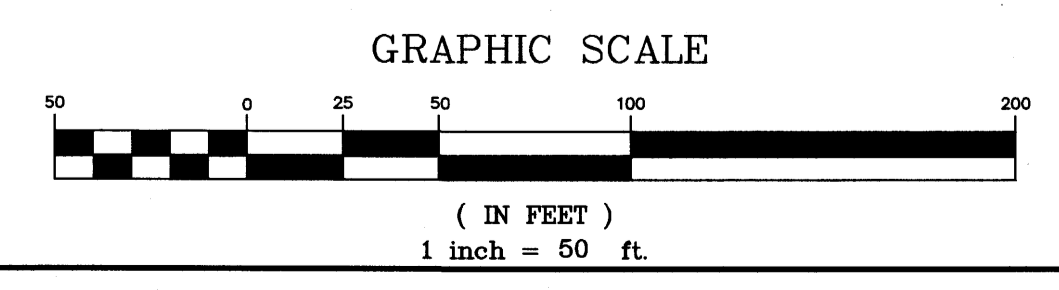
ZONE ATLAS
H-9-Z



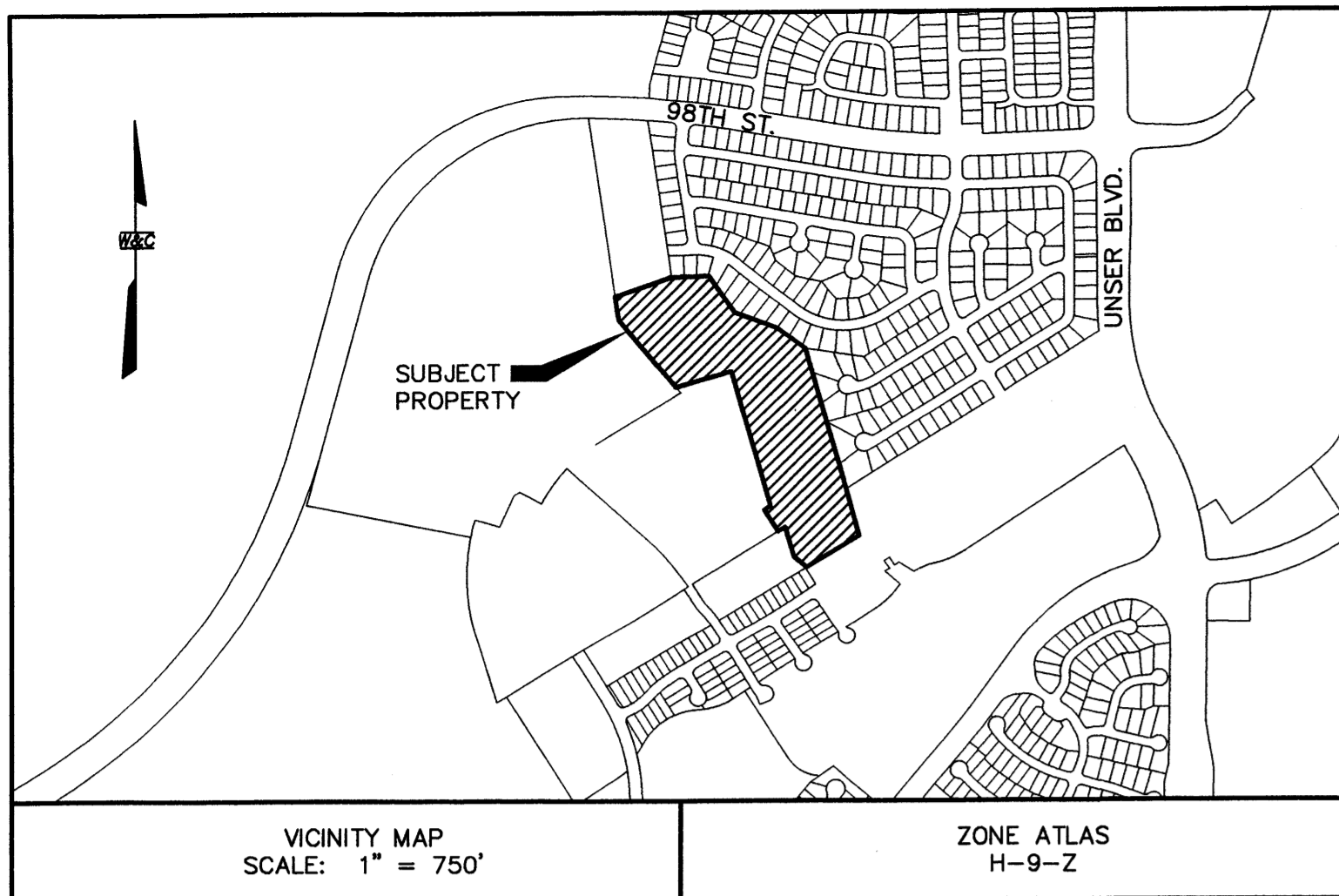
LEGEND
 - - - - - UNIT 3 PROPERTY LINE
 ———— SIDEWALK DEFERRAL

EXHIBIT C
 Date 4/12/03

WILSON & COMPANY 2600 THE AMERICAN ROAD S.E. SUITE 100 RIO RANCHO, NEW MEXICO 87124 (505) 898-8021		CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP	
THE CROSSING SUBDIVISION UNIT 3 SIDEWALK DEFERRAL EXHIBIT			
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Dsv./Yr.
City Project No.	Zone Map No.	Sheet	Of
	H-9-Z	1	1



WCEA #X3218008
MAY 2003



VICINITY MAP
SCALE: 1" = 750'

ZONE ATLAS
H-9-Z

LEGAL DESCRIPTION:

TRACT A-1-B OF CIELO OESTE SUBDIVISION AS SHOWN IN BOOK 2002C, PAGE 393, FILED 12-10-2002 AND A PORTION OF TRACT A-1 OF UNIT 2B, THE CROSSING AS SHOWN IN BOOK _____, PAGE _____, FILED _____

SUBDIVISION DATA:

D.R.B. CASE NO. _____

ZONE ATLAS INDEX NO. H - 9 - Z

TOTAL NO. OF LOTS EXISTING: TWO

TOTAL NO. OF LOTS CREATED: 38

GROSS SUBDIVISION ACREAGE: 14.4252 ACRES

TOTAL MILES OF STREETS CREATED: 0.2511 MILE

TALOS LOG NO. 2003172944

DATE OF SURVEY: MARCH 13, 2003

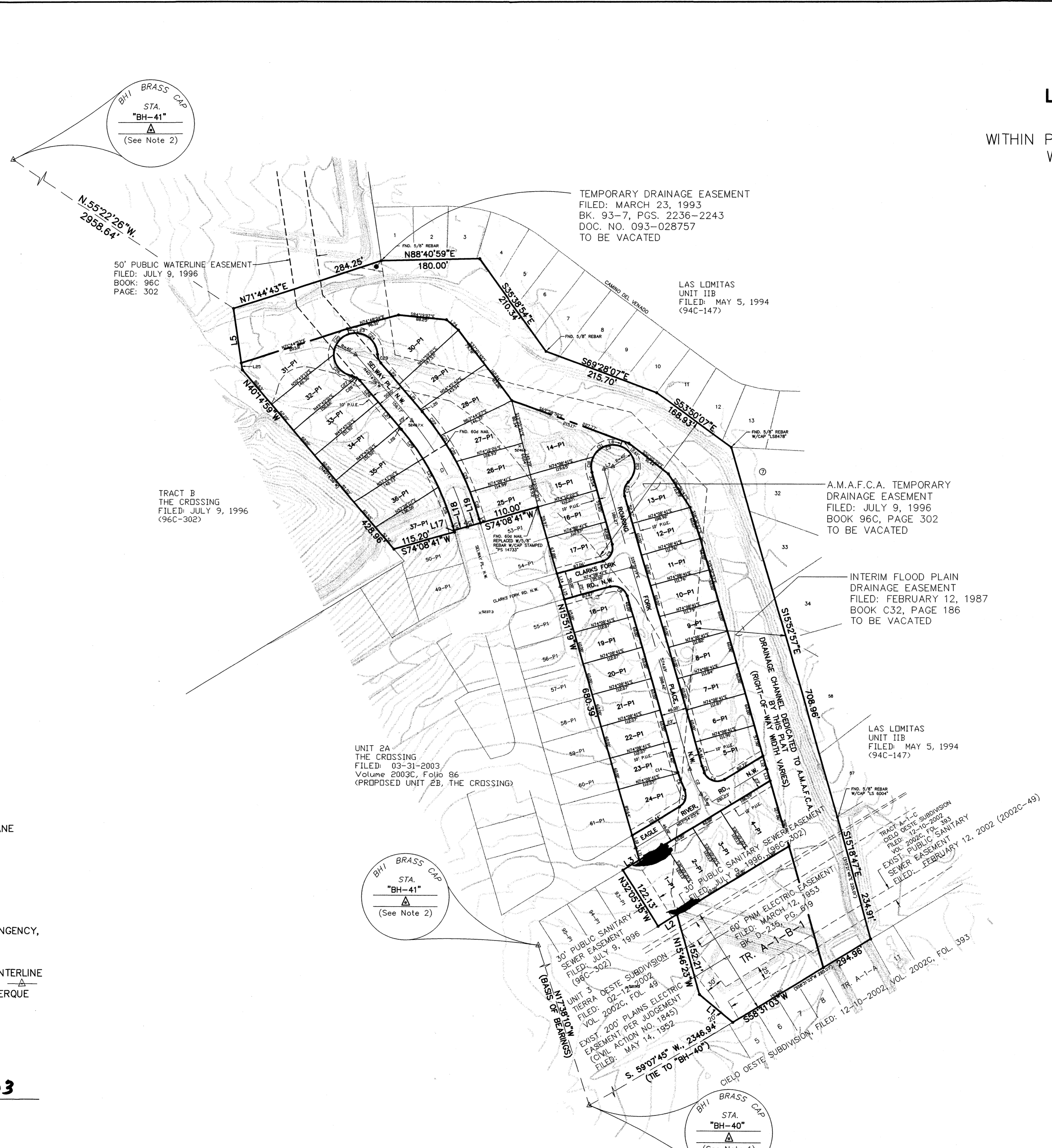
GENERAL NOTES:

- ALBUQUERQUE CONTROL STATION "BH-40" DATA: STANDARD BRASS TABLET SET 0.3 FT. BELOW THE GROUND NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE)
X = 352,790.66
Y = 1,492,346.53
GROUND TO GRID FACTOR = 0.9996105
DELTA ALPHA = (-)00'16"59"
NAD 1927
- ALBUQUERQUE CONTROL STATION "BH-41" DATA: STANDARD BRASS TABLET SET 0.4 FT. BELOW THE GROUND NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE)
X = 351,455.56
Y = 1,496,546.13
GROUND TO GRID FACTOR = 0.99966704
DELTA ALPHA = (-)00'17"08"
NAD 1927
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- CORNERS IDENTIFIED AS "SET", ARE 5/8" REBAR WITH CAP STAMPED "PS 14733", AND SHOWN AS , UNLESS OTHERWISE INDICATED.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS AND WILL BE MARKED BY (F) ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PS 14733"

APPROVED FOR MONUMENTATION AND STREET NAMES:

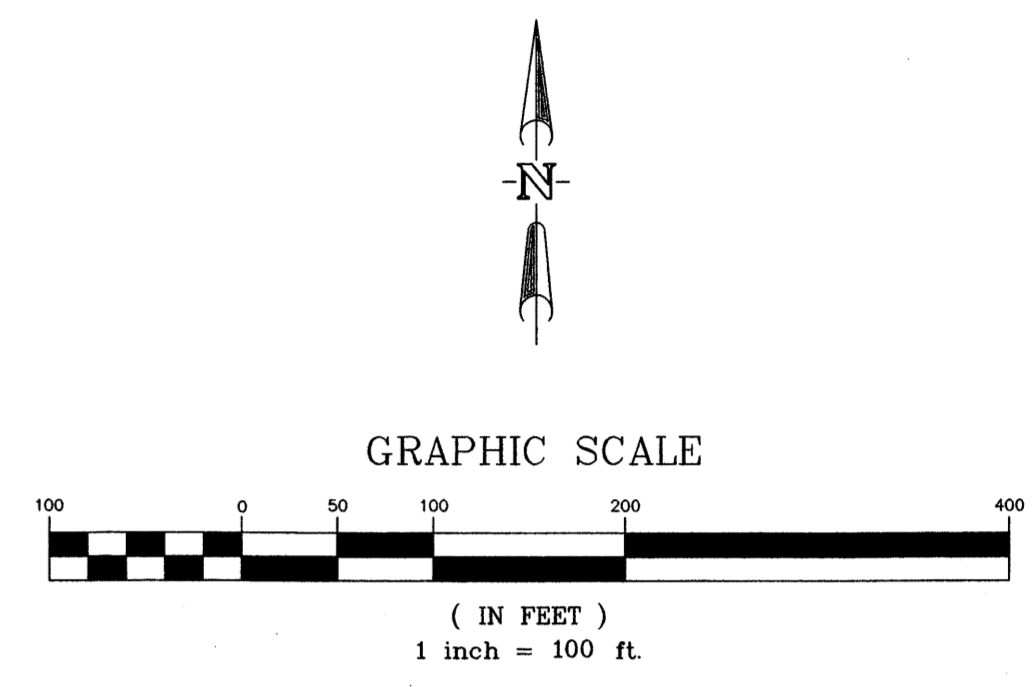
5/8/03
CITY SURVEYOR, ALBUQUERQUE, NM DATE

5/8/03
WESTLAND DEVELOPMENT CO., INC. DATE



PRELIMINARY PLAT
FOR
Lots 1-P1 thru 37-P1 and Tract A-1-B-1
THE CROSSING - UNIT 3

WITHIN PROJECTED SECTION 9, T.10N., R.2E., N.M.P.M.
WITHIN THE TOWN OF ATRISCO GRANT
BERNALILLO COUNTY, NEW MEXICO
MAY 2003



LINE TABLE		
LINE	BEARING	LENGTH
L1	N50°00'47"W (N50°00'47"W)	79.72' (79.72')
L2	S57°54'25"W (S57°54'25"W)	40.66' (40.66')
L3	N57°54'25"E (N57°54'25"E)	35.35' (35.35')
L4	N15°51'19"W (N15°51'19"W)	8.00' (8.00')
L5	N08°19'45"W (N08°19'45"W)	114.79' (114.79')

LOT	AREA (Acres)	AREA (Square Feet)
1-P1	0.2523	10,992
2-P1	0.1682	7,328
3-P1	0.1682	7,328
4-P1	0.2491	10,849
5-P1	0.1840	8,016
6-P1	0.1541	6,713
7-P1	0.1541	6,711
8-P1	0.1540	6,710
9-P1	0.1540	6,708
10-P1	0.1540	6,706
11-P1	0.1539	6,705
12-P1	0.1520	6,620
13-P1	0.2134	9,295
14-P1	0.3023	13,170
15-P1	0.1545	6,728
16-P1	0.1541	6,714
17-P1	0.1715	7,473
18-P1	0.1641	7,150
19-P1	0.1544	6,724
20-P1	0.1544	6,724
21-P1	0.1544	6,724
22-P1	0.1544	6,724
23-P1	0.1544	6,724
24-P1	0.1896	8,260
25-P1	0.1539	6,704
26-P1	0.1660	7,229
27-P1	0.2097	9,134
28-P1	0.2356	10,262
29-P1	0.2332	10,159
30-P1	0.2924	12,736
31-P1	0.2509	10,929
32-P1	0.1972	8,589
33-P1	0.2092	9,112
34-P1	0.2093	9,115
35-P1	0.2130	9,278
36-P1	0.1959	8,533
37-P1	0.1933	8,642
A1B1	1.1900	51,835

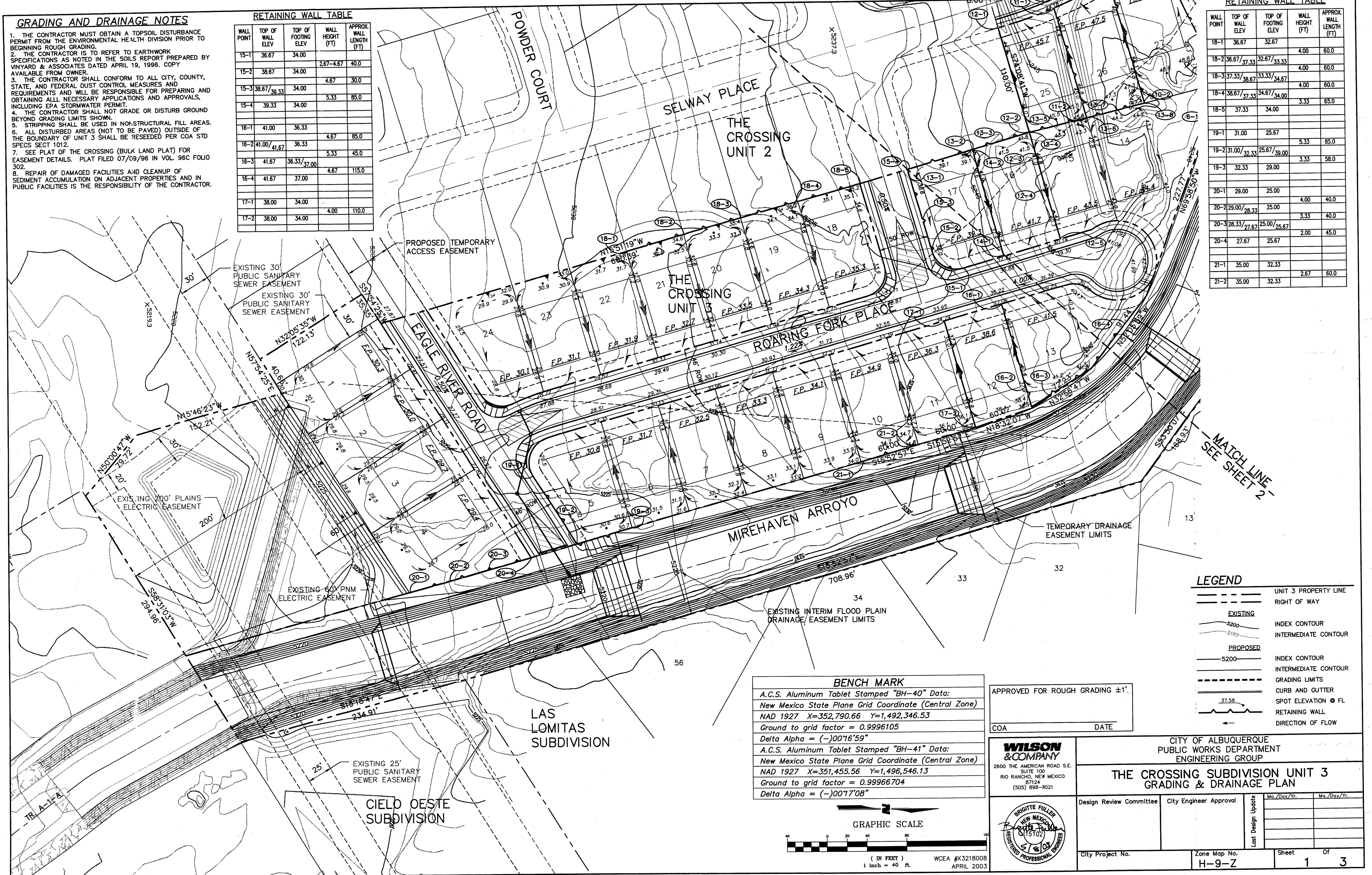
GRADING AND DRAINAGE NOTES

1. THE CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO BEGINNING ROUGH GRADING.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATIONS AS NOTED IN THE SOILS REPORT PREPARED BY VINYARD & ASSOCIATES DATED APRIL 19, 1996. COPY AVAILABLE FROM OWNER.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS, INCLUDING EPA STORMWATER PERMIT.
4. THE CONTRACTOR SHALL NOT GRADE OR DISTURB GROUND BEYOND GRADING LIMITS SHOWN.
5. STRIPPING SHALL BE USED IN NON-STRUCTURAL FILL AREAS.
6. ALL DISTURBED AREAS (NOT TO BE PAVED) OUTSIDE OF THE BOUNDARY OF UNIT 3 SHALL BE RESEED PER COA STD SPECS SECT 1012.
7. SEE PLAT OF THE CROSSING (BULK LAND PLAT) FOR EASEMENT DETAILS. PLAT FILED 07/09/96 IN VOL. 96C FOLIO 302.
8. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.

RETAINING WALL TABLE

WALL POINT	TOP OF WALL ELEV	TOP OF FOOTING ELEV	WALL HEIGHT (FT)	APPROX. WALL LENGTH (FT)
15-1	36.67	34.00	2.67-4.67	40.0
15-2	38.67	34.00	4.67	30.0
15-3	38.67/39.33	34.00	5.33	85.0
15-4	39.33	34.00	4.67	85.0
16-1	41.00	36.33	4.67	45.0
16-2	41.00/41.67	36.33	4.67	115.0
16-3	41.67	36.33/37.00	4.67	115.0
16-4	41.67	37.00	4.67	115.0
17-1	38.00	34.00	4.00	110.0
17-2	38.00	34.00	4.00	110.0

WALL POINT	TOP OF WALL ELEV	TOP OF FOOTING ELEV	WALL HEIGHT (FT)	APPROX. WALL LENGTH (FT)
18-1	36.67	32.67	4.00	60.0
18-2	36.67/37.33	32.67/33.33	4.00	60.0
18-3	37.33/38.67	33.33/34.67	4.00	60.0
18-4	38.67/37.33	34.67/34.00	3.33	65.0
18-5	37.33	34.00	3.33	65.0
19-1	31.00	25.67	5.33	85.0
19-2	31.00/32.33	25.67/39.00	3.33	58.0
19-3	32.33	29.00	3.33	58.0
20-1	29.00	25.00	4.00	40.0
20-2	29.00/28.33	25.00	3.33	40.0
20-3	28.33/27.67	25.00/25.67	2.00	45.0
20-4	27.67	25.67	2.00	45.0
21-1	35.00	32.33	2.67	60.0
21-2	35.00	32.33	2.67	60.0



LEGEND

- UNIT 3 PROPERTY LINE
- RIGHT OF WAY
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- GRADING LIMITS
- CURB AND GUTTER
- SPOT ELEVATION @ FL
- RETAINING WALL
- DIRECTION OF FLOW

BENCH MARK

A.C.S. Aluminum Tablet Stamped "BH-40" Data:
 New Mexico State Plane Grid Coordinate (Central Zone)
 NAD 1927 X=352,790.66 Y=1,492,346.53
 Ground to grid factor = 0.9996105
 Delta Alpha = (-)00'16"59"

A.C.S. Aluminum Tablet Stamped "BH-41" Data:
 New Mexico State Plane Grid Coordinate (Central Zone)
 NAD 1927 X=351,455.56 Y=1,496,546.13
 Ground to grid factor = 0.99966704
 Delta Alpha = (-)00'17"08"

APPROVED FOR ROUGH GRADING ±1'

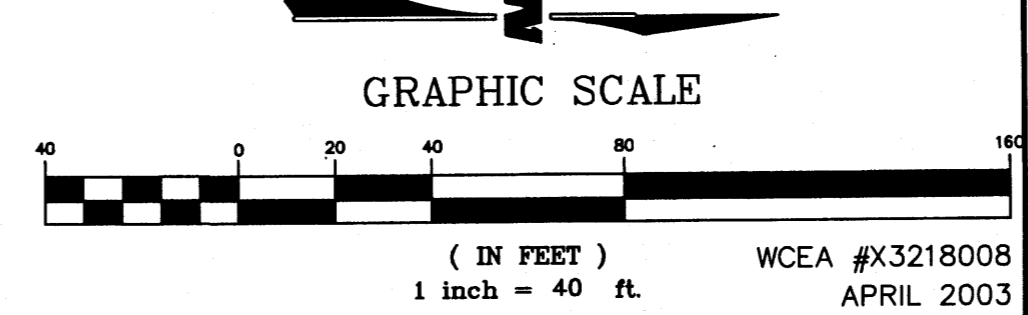
COA _____ DATE _____

WILSON & COMPANY
 2600 THE AMERICAN ROAD S.E.
 SUITE 100
 RIO RANCHO, NEW MEXICO
 87124
 (505) 898-8021

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING GROUP

**THE CROSSING SUBDIVISION UNIT 3
 GRADING & DRAINAGE PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	H-9-Z	1	3



RETAINING WALL TABLE

WALL POINT	TOP OF WALL ELEV	TOP OF FOOTING ELEV	WALL HEIGHT (FT)	APPROX. WALL LENGTH (FT)
1-1	61.00	59.00	2.00-5.33	10.0
1-2	61.00	55.67	5.33	20.0
1-3	61.00	55.67/55.00	6.00	20.0
1-4	61.00	55.00/54.33	6.67	35.0
1-5	61.00/56.33	54.33/53.67	6.67-2.00	35.0
1-6	56.33	53.67		
2-1	53.33	50.00	3.33	110.0
2-2	53.33	50.00	3.33	110.0
3-1	51.67	48.33	3.33	110.0
3-2	51.67	48.33	3.33	110.0
4-1	50.33	48.33	4.00	110.0
4-2	50.33	48.33	4.00	110.0
5-1	48.33	44.33	4.00	110.0
5-2	48.33	44.33	4.00	110.0
6-1	48.00	46.00	2.00-4.00	30.0
6-2	50.00	46.00	4.00	40.0
6-3	51.33	46.00	5.33	40.0
6-4	52.00	46.00	6.00	40.0
6-5	52.67	46.00	6.67	40.0
6-6	52.67/53.33	46.00/46.67	6.67	40.0
6-7	53.33/54.67	46.67/47.33	6.67-2.00	40.0
6-8	54.67	52.67	6.67-2.00	40.0
7-1	53.67	49.67	4.00	105.0
7-2	53.67	49.67	4.00	105.0
8-1	52.00	48.00	4.00	105.0
8-2	52.00	48.00	4.00	105.0
9-1	50.00	46.67	3.33	90.0
9-2	50.00	46.67	3.33	90.0
10-1	48.67	44.67	4.00	125.0
10-2	48.67	44.67	4.00	125.0

RETAINING WALL TABLE

WALL POINT	TOP OF WALL ELEV	TOP OF FOOTING ELEV	WALL HEIGHT (FT)	APPROX. WALL LENGTH (FT)
11-1	47.33	43.33	4.00	115.0
11-2	47.33	43.33	4.00	115.0
12-1	45.33	41.33	4.00	110.0
12-2	45.33	41.33/40.67	4.00-3.33	25.0
12-3	43.33	40.67/40.00	3.33	40.0
12-4	43.33/42.67	40.00/39.33	3.33	45.0
12-5	42.67	39.33	3.33	45.0
13-1	41.33	38.00	3.33	68.0
13-2	41.33/44.00	38.00/40.00	4.00	30.0
13-3	44.00/44.67	40.00/40.67	4.00	30.0
13-4	44.67/46.00	40.67/41.33	4.67	30.0
13-5	46.00/46.67	41.33/42.00	4.67	30.0
13-6	46.67/48.00	42.00/42.67	5.33	30.0
13-7	48.00	42.67/43.33	4.67	30.0
13-8	48.00	43.33	4.67	30.0
14-1	41.33	36.67	4.67	110.0
14-2	41.33	36.67	4.67	110.0

BENCH MARK

A.C.S. Aluminum Tablet Stamped "BH-40" Data:
 New Mexico State Plane Grid Coordinate (Central Zone)
 NAD 1927 X=352,790.66 Y=1,492,346.53
 Ground to grid factor = 0.9996105
 Delta Alpha = (-)00'16"59"
 A.C.S. Aluminum Tablet Stamped "BH-41" Data:
 New Mexico State Plane Grid Coordinate (Central Zone)
 NAD 1927 X=351,455.56 Y=1,496,546.13
 Ground to grid factor = 0.99966704
 Delta Alpha = (-)00'17"08"

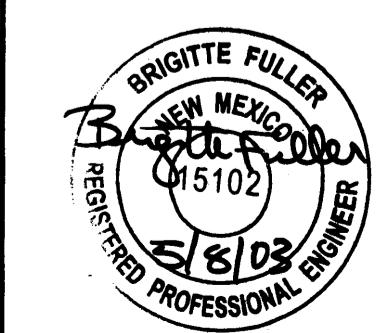
LEGEND

- UNIT 3 PROPERTY LINE
- RIGHT OF WAY
- EXISTING INDEX CONTOUR
- INTERMEDIATE CONTOUR
- PROPOSED INDEX CONTOUR
- INTERMEDIATE CONTOUR
- GRADING LIMITS
- CURB AND GUTTER
- SPOT ELEVATION @ FL
- RETAINING WALL
- DIRECTION OF FLOW

APPROVED FOR ROUGH GRADING ±1'

COA _____ DATE _____

WILSON & COMPANY
 2800 THE AMERICAN ROAD S.E.
 SUITE 100
 RIO RANCHO, NEW MEXICO
 87124
 (505) 898-8021

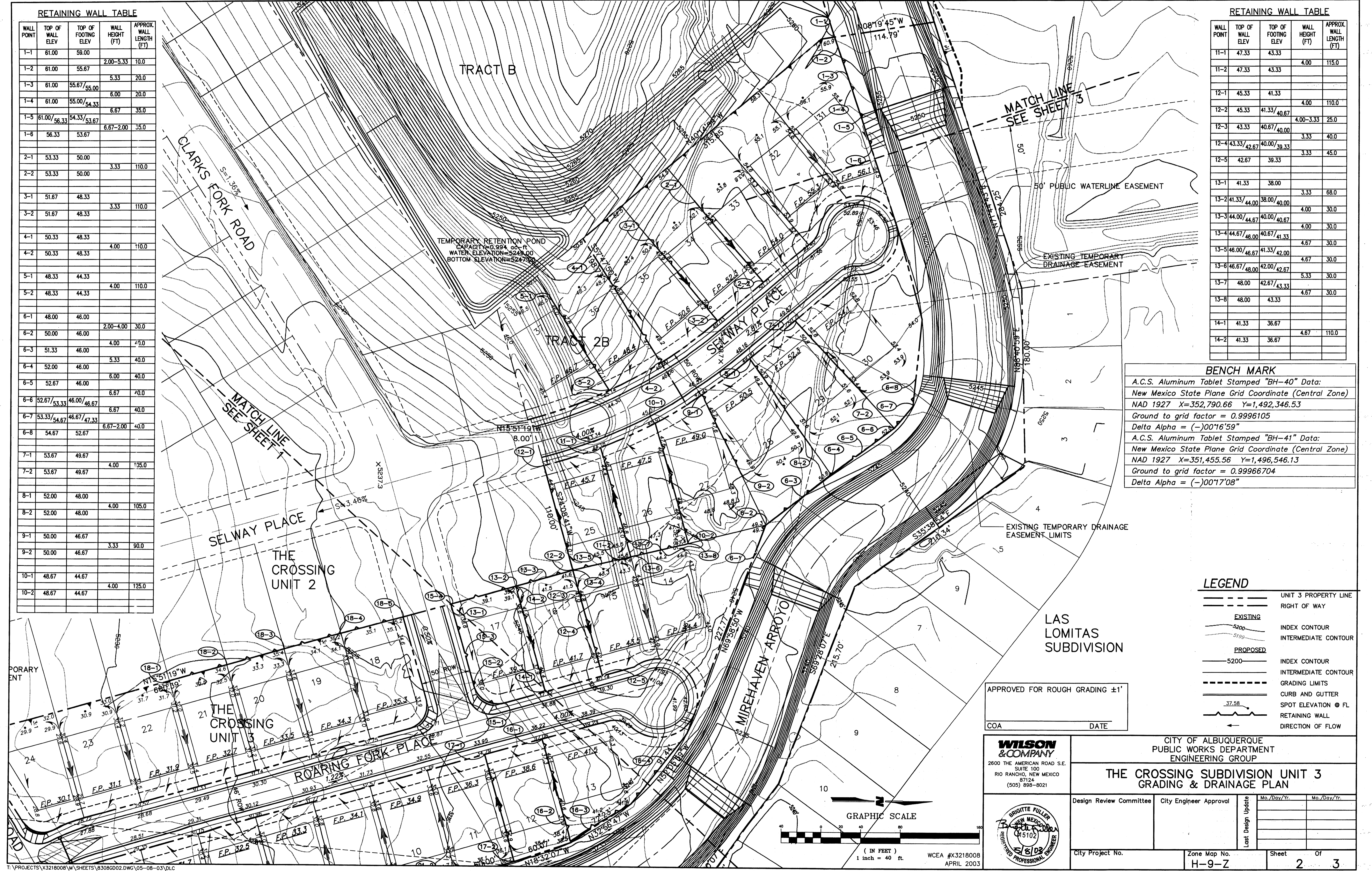
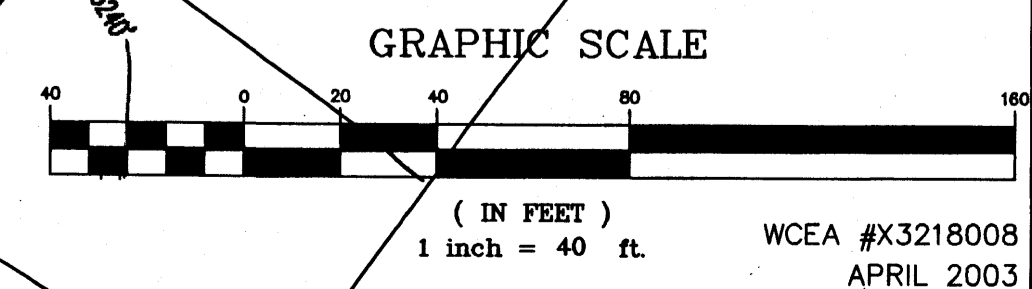


CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING GROUP

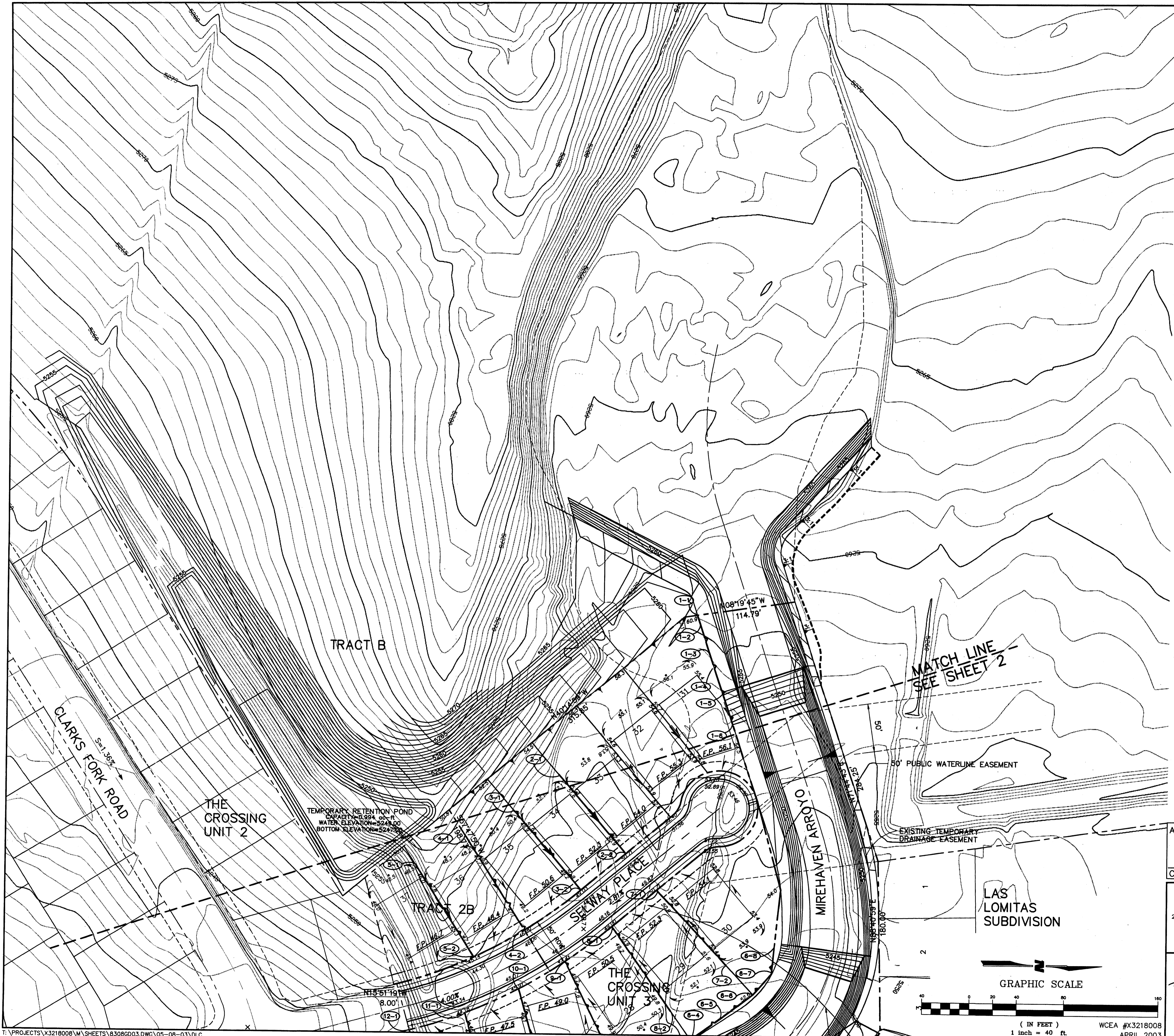
**THE CROSSING SUBDIVISION UNIT 3
 GRADING & DRAINAGE PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. _____ Zone Map No. **H-9-Z** Sheet **2** Of **3**



T:\PROJECTS\X3218008\W\SHEETS\X3218008D02.DWG(05-08-03)DLG



BENCH MARK	
A.C.S. Aluminum Tablet Stamped "BH-40" Data:	
New Mexico State Plane Grid Coordinate (Central Zone)	
NAD 1927	X=352,790.66 Y=1,492,346.53
Ground to grid factor = 0.9996105	
Delta Alpha = (-)00'16"59"	
A.C.S. Aluminum Tablet Stamped "BH-41" Data:	
New Mexico State Plane Grid Coordinate (Central Zone)	
NAD 1927	X=351,455.56 Y=1,496,546.13
Ground to grid factor = 0.99966704	
Delta Alpha = (-)00'17"08"	

LEGEND	
	UNIT 3 PROPERTY LINE
	RIGHT OF WAY
	EXISTING
	INDEX CONTOUR
	INTERMEDIATE CONTOUR
	PROPOSED
	INDEX CONTOUR
	INTERMEDIATE CONTOUR
	GRADING LIMITS
	CURB AND GUTTER
	SPOT ELEVATION @ FL
	RETAINING WALL
	DIRECTION OF FLOW

APPROVED FOR ROUGH GRADING ±1'

COA _____ DATE _____

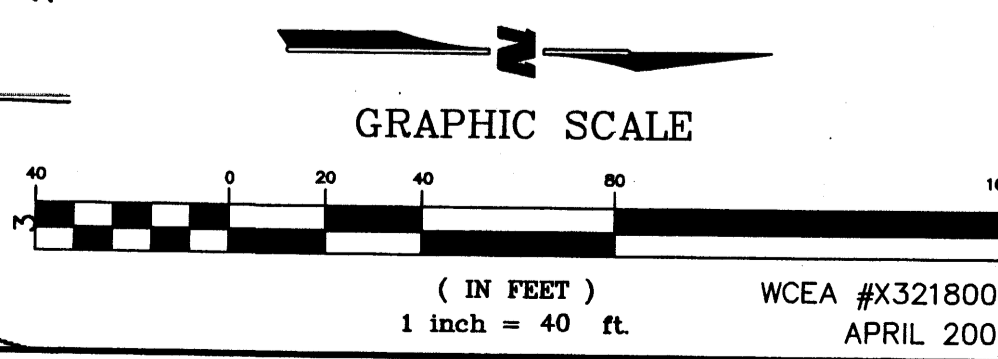
WILSON & COMPANY
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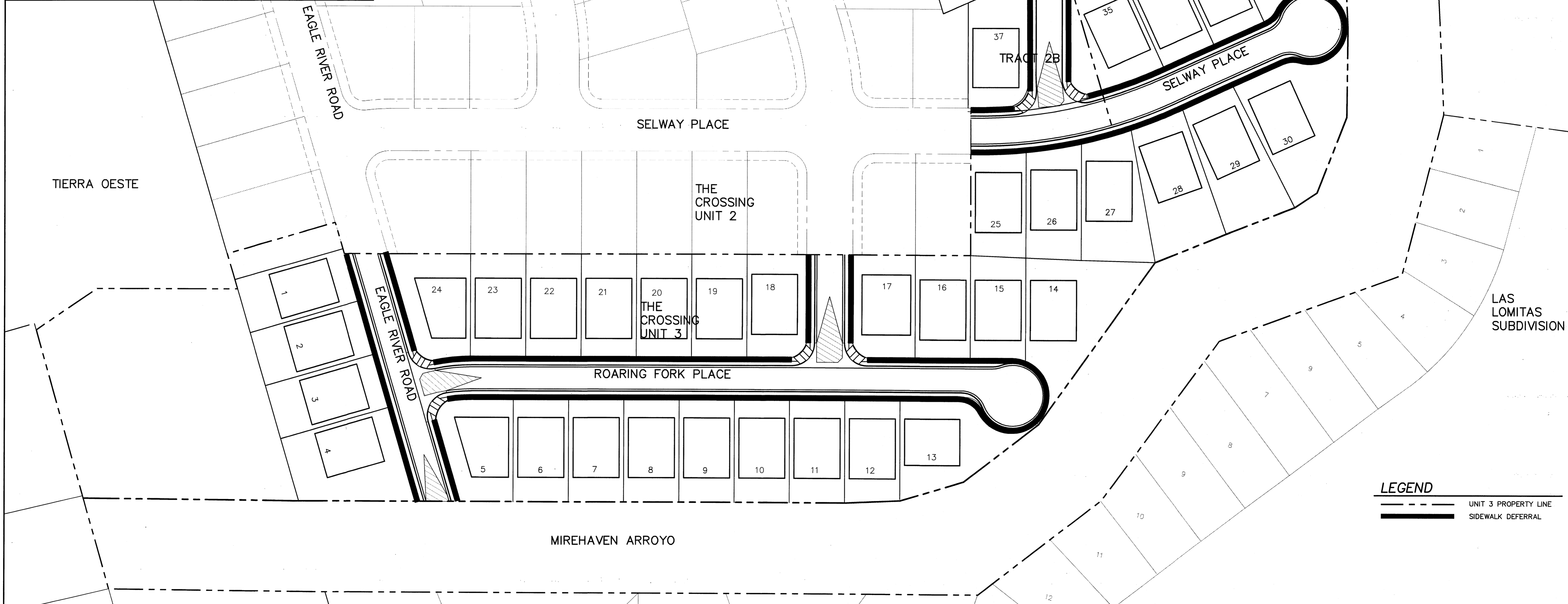
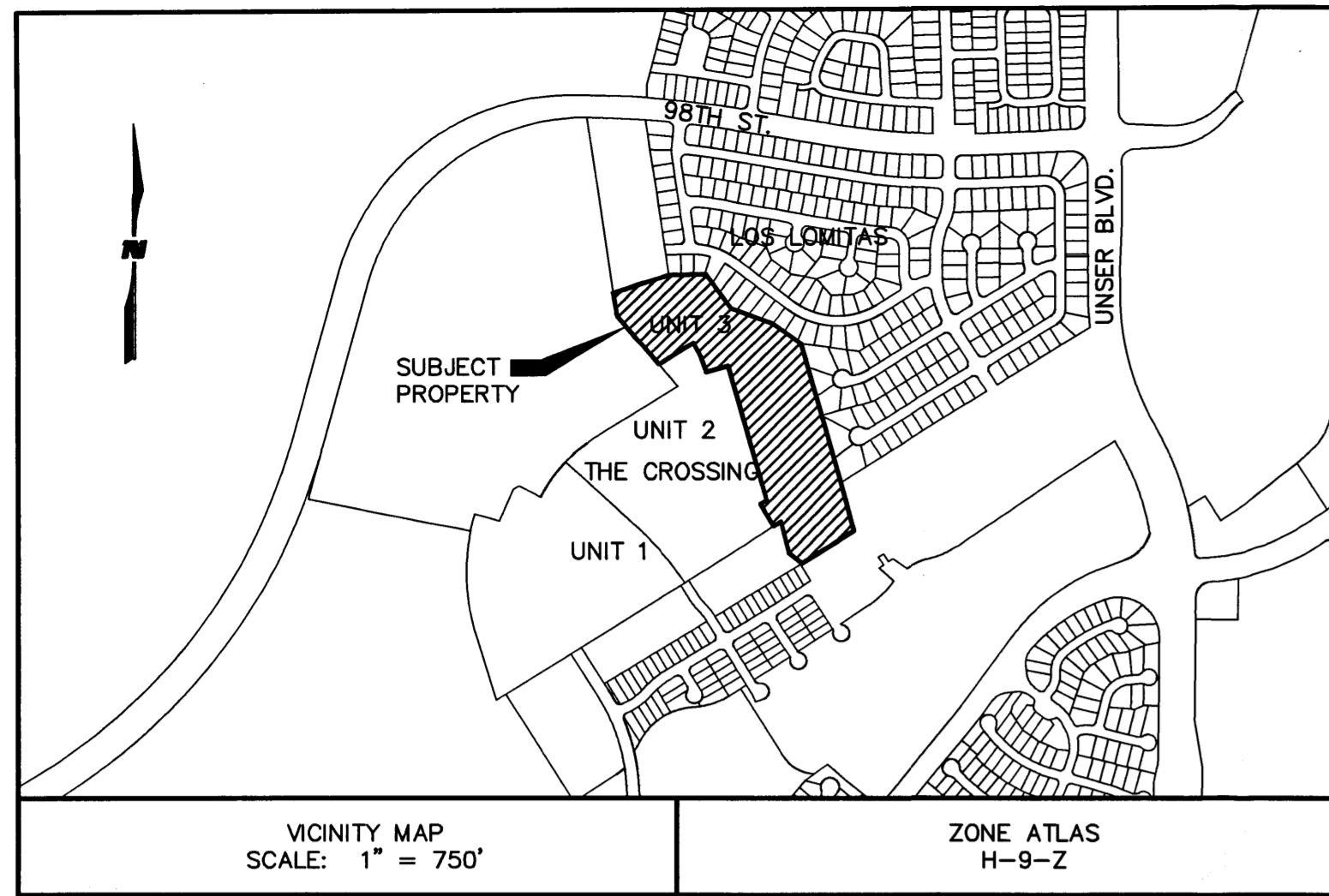
CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING GROUP

**THE CROSSING SUBDIVISION UNIT 3
 GRADING & DRAINAGE PLAN**

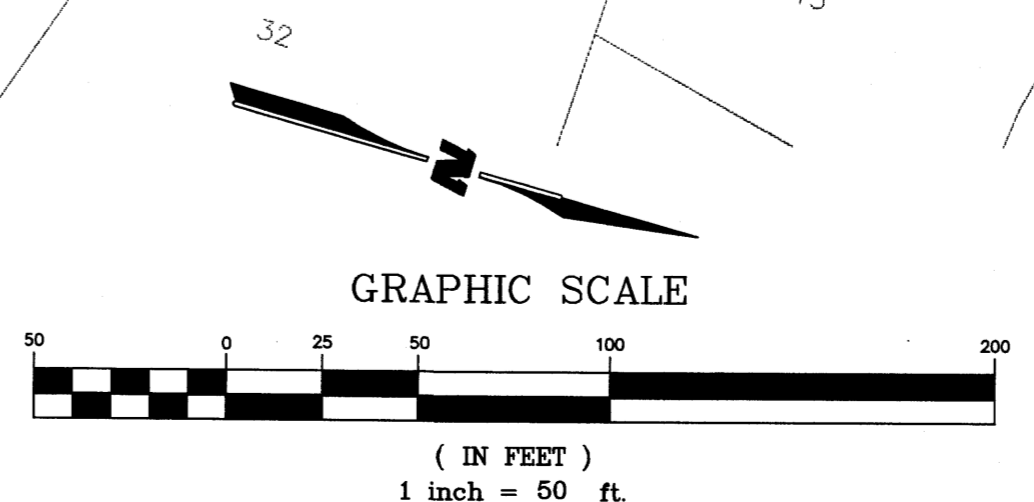
BRIGHTIE FULLER
 REGISTERED PROFESSIONAL ENGINEER
 NEW MEXICO
 15102
 5/14/03

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
	H-9-Z	3	3

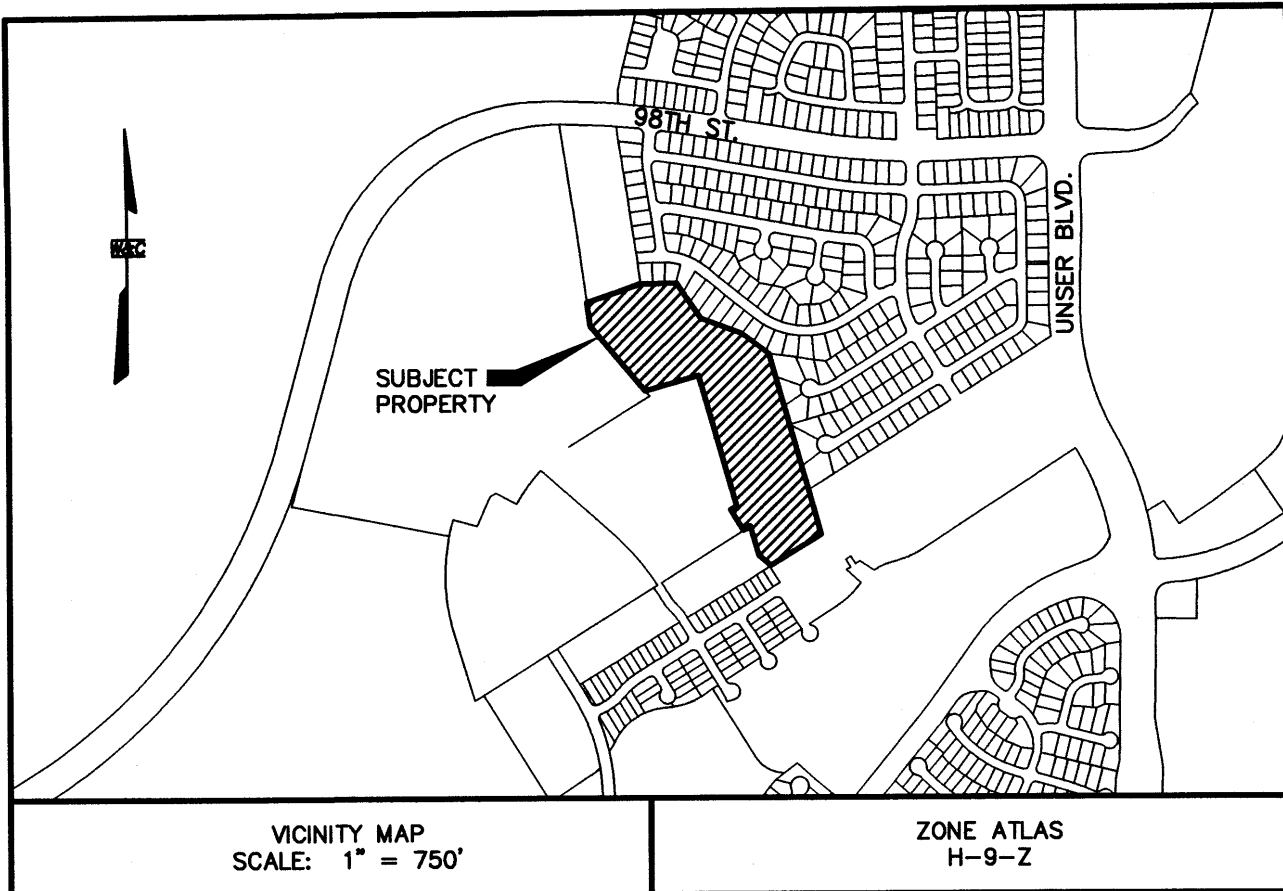




LEGEND
 - - - - - UNIT 3 PROPERTY LINE
 ———— SIDEWALK DEFERRAL



WILSON & COMPANY 2600 THE AMERICAN ROAD S.E. SUITE 100 RIO RANCHO, NEW MEXICO 87124 (505) 898-8021		CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP									
THE CROSSING SUBDIVISION UNIT 3 SIDEWALK DEFERRAL EXHIBIT											
Design Review Committee	City Engineer Approval	Last Design Update	<table border="1"> <tr> <th>Mo./Day/Yr.</th> <th>Mo./Day/Yr.</th> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table>	Mo./Day/Yr.	Mo./Day/Yr.						
Mo./Day/Yr.	Mo./Day/Yr.										
City Project No.	Zone Map No. H-9-Z	Sheet	Of 1 1								



SKETCH PLAT
DATE 05-06-2003

PLAT OF
Lots 1-P1 thru 37-P1 and Tract A-1-B-1
THE CROSSING - UNIT 3

WITHIN PROJECTED SECTION 9, T.10N., R2E., N.M.P.M.
WITHIN THE TOWN OF ATRISCO GRANT
BERNALILLO COUNTY, NEW MEXICO
MARCH 2003

SUBDIVISION DATA:

D.R.B. CASE NO. _____
ZONE ATLAS INDEX NO. H-9-Z
TOTAL NO. OF LOTS EXISTING: TWO
TOTAL NO. OF LOTS CREATED: 38
GROSS SUBDIVISION ACREAGE: 14.4252 Acres
TOTAL MILES OF STREETS CREATED: 0.2511 Mile
TALOS LOG NO. 2003172944
DATE OF SURVEY: MARCH 13, 2003

GENERAL NOTES:

- ALBUQUERQUE CONTROL STATION "BH-40" DATA:
STANDARD BRASS TABLET SET 0.3 FT. BELOW THE GROUND
NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE)
X= 352,790.66
Y= 1,492,346.53
GROUND TO GRID FACTOR = 0.9996105
DELTA ALPHA = (-)00'16'59"
NAD 1927
- ALBUQUERQUE CONTROL STATION "BH-41" DATA:
STANDARD BRASS TABLET SET 0.4 FT. BELOW THE GROUND
NEW MEXICO STATE PLANE GRID COORDINATES (CENTRAL ZONE)
X= 351,455.56
Y= 1,496,546.13
GROUND TO GRID FACTOR = 0.99966704
DELTA ALPHA = (-)00'17'08"
NAD 1927
- FIELD SURVEY PERFORMED ON MARCH 13, 2003.
- BEARINGS ARE NEW MEXICO STATE PLANE GRID BASED ON A LINE FROM "BH-40" TO "BH-41". BEARING = N.17'38'10"W.
- ALL DISTANCES ARE GROUND DISTANCES.
- CORNERS IDENTIFIED AS "SET", ARE 5/8" REBAR WITH CAP STAMPED "PS 14733", AND SHOWN AS , UNLESS OTHERWISE INDICATED.
- FINAL CONFIRMATION AND RELEASE OF THE A.M.A.F.C.A. DRAINAGE EASEMENT WILL BE COMPLETED UPON ISSUANCE OF A LETTER OF MAP REVISION (LOMR) BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) AND UPON ISSUANCE OF A QUITCLAIM DEED FROM A.M.A.F.C.A. TO THE UNDERLYING PROPERTY OWNER.

FREE CONSENT AND DEDICATION:

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S). AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHT OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON, AND DO HEREBY DEDICATE A DRAINAGE CHANNEL RIGHT-OF-WAY SHOWN HEREON TO ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY, IN FEE SIMPLE, WITH WARRANTY COVENANTS, AND DO HEREBY REPRESENT THAT THEY ARE SO AUTHORIZED TO ACT.

FOR: LOTS 1-P1 thru 37-P1 AND TRACT A-1-B-1

THE CROSSING - UNIT 3

BY: _____
Barbara Page, President and CEO
Westland Development Company, Inc.
401 Coors Boulevard, N.W.
ALBUQUERQUE, NEW MEXICO 87121

ACKNOWLEDGMENT

STATE OF _____)
COUNTY OF _____) SS.

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS _____ DAY OF _____, 2003, FOR AND ON THE BEHALF OF WESTLAND DEVELOPMENT COMPANY, INC.

BY: _____
Barbara Page, President and CEO

NOTARY PUBLIC: _____

MY COMMISSION EXPIRES: _____

UTILITY COMPANY APPROVALS:

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE NOT EXCLUSIVE AND ARE GRANTED FOR THE COMMON AND JOINT USE OF THE UTILITIES DESIGNATED ON THIS PLAT, THEIR SUCCESSORS AND ASSIGNS, AND FOR THE USE OF ANY OTHER PUBLIC UTILITIES WHOSE USE OF SAID EASEMENT IS DEEMED TO BE IN THE PUBLIC INTEREST. P.N.M. GAS & ELECTRIC SERVICES DISCLAIMER:

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT, OR OTHER DOCUMENT WHICH ARE NOT SHOWN ON THIS PLAT.

P.N.M. ELECTRIC SERVICES DATE _____

P.N.M. GAS SERVICES DATE _____

QWEST COMMUNICATIONS DATE _____

COMCAST DIGITAL CABLE DATE _____

APPROVALS:

_____	D.R.B. NO. _____
_____	DATE _____
_____	DATE _____
_____	DATE _____
_____	DATE _____
_____	DATE _____
_____	DATE _____
_____	DATE _____

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, ARTICLE 14 OF CHAPTER 14 OF THE REVISED ORDINANCES OF ALBUQUERQUE, NEW MEXICO, DATED 1994.

CITY PLANNER, ALBUQUERQUE PLANNING DIVISION DATE _____

SURVEYOR'S CERTIFICATION:

I, CHRISTOPHER S. CROSHAW, A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES, OR OTHER PARTIES EXPRESSING AN INTEREST, IS CORRECT AND TRUE TO THE BEST OF MY BELIEF AND KNOWLEDGE AND THAT THIS SURVEY AND PLAT MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE OCTOBER 1, 2000.

CHRISTOPHER S. CROSHAW
N.M.P.L.S. #14733



WILSON & COMPANY
4900 LANG AVENUE N.E.
ALBUQUERQUE, NEW MEXICO 87109
(505) 348-4000
SHEET 1 OF 5
WCEA PROJ. NO. X3-218-008

LEGAL DESCRIPTION:

A certain parcel of situate within projected Section 9, Township 10 North, Range 2 East, New Mexico Principal Meridian and within the Town of Atrisco Grant, Bernalillo County, New Mexico comprised of Tract A-1-B, as shown and designated on the plat entitled "Cielo Oeste", which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on December 10, 2002, in Book 2002C, Page 393 TOGETHER WITH a portion of Unit 2-B, The Crossing, as shown and designated on the plat which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on _____ in Volume _____, Folio _____; and being more particularly described as follows:

BEGINNING, at the Albuquerque Control Station Brass Cap stamped "BH-40" having New Mexico State Plane Coordinate values of X=352,790.66 and Y=1,492,346.53, whence, the Albuquerque Control Station Brass Cap stamped "BH-41, 1979" having New Mexico State Plane Coordinate values of X=351,455.56 and Y=1,496,546.13 bears N. 17°38'10" W., a distance of 4408.16 feet; thence,

S. 59°07'45" W., a distance of 2346.94 feet to the TRUE POINT OF BEGINNING of the parcel of land herein described also being the northeast corner of Tract E-2, Tierra Oeste Subdivision, Unit 3, plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on February 12, 2002, in Book 2002C, Page 49; thence,

Along the line common to the northeasterly boundary line of said Tract E-2 and the southwesterly boundary line of the parcel of land herein described as follows:

N. 50°00'07" W., a distance of 79.72 feet to a point; thence,

N. 15°46'23" W., a distance of 152.21 feet to a point; thence,

S. 57°54'25" W., a distance of 40.66 feet to a point being the northeasterly corner of Unit 2, The Crossing, plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on July 9, 1996, in Book 96C, Page 302; thence,

Along the line common to the northeasterly boundary line of said Unit 2, The Crossing and the southwesterly boundary line of the parcel of land herein described as follows:

N. 32°05'35" W., a distance of 122.13 feet to a point; thence,

N. 57°54'25" E., a distance of 35.35 feet to a point; thence,

N. 15°51'19" W., a distance of 680.39 feet to a point; thence,

S. 74°08'41" W., a distance of 160.00 feet to a point; thence,

S. 15°51'19" E., a distance of 3.18 feet to a Point; thence,

S. 74°08'41" W., a distance of 115.20 feet to a point on the northeasterly boundary line of Tract B, The Crossing, plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on July 9, 1996, in Book 96C, Page 302; thence,

Along the line common to the boundary line of said Tract B, The Crossing and the boundary line of the parcel of land herein described as follows:

N. 40°14'59" W., 315.85 feet to a point; thence,

N. 08°19'45" W., 114.79 feet to a point; thence,

N. 71°44'43" E., a distance of 284.25 feet to a point being the southwest corner of Las Lomas, Unit IIB, plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on May 5, 1994, in Book 94C, Page 147; thence,

Along the line common to the boundary line of said Las Lomas, Unit IIB, and the boundary line of the parcel of land herein described as follows:

N. 88°40'59" E., 180.00 feet to a point; thence,

S. 35°38'54" E., a distance of 210.34 feet to a point; thence,

S. 69°28'07" E., a distance of 215.70 feet to a point; thence

S. 53°50'07" E., a distance of 168.93 feet to a point; thence,

S. 15°52'57" E., a distance of 708.96 feet to a point; thence,

S. 15°18'47" E., a distance of 234.91 feet to a point being also the most northerly corner of Tract A-1-A, Cielo Oeste, plat of which was filed for record in the Office of the County Clerk of Bernalillo County, New Mexico, on December 10, 2002, in Book 2002C, Page 393; thence,

S. 58°31'03" W., a distance of 294.96 feet to the most southerly corner and POINT OF BEGINNING of the parcel of land herein described, and containing 603,615 square feet (13.8571 acres), more or less.

SKETCH PLAT
DATE 05-06-2003

PLAT OF
Lots 1-P1 thru 37-P1 and Tract A-1-B-1
THE CROSSING - UNIT 3

WITHIN PROJECTED SECTION 9, T.10N., R2E., N.M.P.M.
WITHIN THE TOWN OF ATRISCO GRANT
BERNALILLO COUNTY, NEW MEXICO
MARCH 2003

PUBLIC UTILITY EASEMENTS:

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The Public Service Company of New Mexico for the installation, maintenance, and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical service.
2. The Gas Company of New Mexico for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. U.S. West for the installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical or Safety Code caused by construction or pools, decking, or any structures adjacent to within or near easements shown on this plat.

DOCUMENTS USED:

- 1) PLAT OF CIELO OESTE, FILED IN THE OFFICE OF THE BERNALILLO COUNTY RECORDER ON DECEMBER 10, 2002, IN BOOK 2002C, PAGE 393.
- 2) PLAT OF THE CROSSING, FILED IN THE OFFICE OF THE BERNALILLO COUNTY RECORDER ON JULY 9, 1996, IN VOLUME 93C, FOLIO 302.
- 3) PLAT OF TIERRA OESTE SUBDIVISION, UNIT 3, FILED IN THE OFFICE OF THE BERNALILLO COUNTY RECORDER ON FEBRUARY 12, 2002, IN BOOK 2002C, PAGE 49.
- 4) PLAT OF EL RANCHO ATRISCO, PHASE V, FILED IN THE OFFICE OF THE BERNALILLO COUNTY RECORDER ON FEBRUARY 12, 1987, IN VOLUME C32, FOLIO 186.
- 5) EXISTING TEMPORARY DRAINAGE EASEMENT, FILED IN THE OFFICE OF THE BERNALILLO COUNTY RECORDER ON MARCH 23, 1993, IN BOOK 93-7, PAGES 2236-2243, DOCUMENT #093-028757.

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	DELTA	CHORD BEARING	CHORD
C1	212.75'	500.00'	108.01'	24°22'46"	S28°03'36"E	211.15'
C2	51.01'	180.00'	25.68'	16°14'16"	N23°58'27"W	50.84'
C3	168.61'	40.00'		241°30'55"	S75°05'51"E	68.75'
C4	44.14'	25.00'	30.41'	101°09'04"	N71°31'03"W	38.62'
C5	13.66'	157.00'	6.84'	04°59'12"	N18°26'55"W	13.66'
C6	33.17'	203.00'	16.62'	09°21'42"	N20°58'59"W	33.13'
C7	36.46'	25.00'	22.34'	83°34'14"	S16°07'18"W	33.32'
C8	39.27'	25.00'	25.00'	90°00'00"	N60°51'19"W	35.36'
C9	39.27'	25.00'	25.00'	90°00'00"	N29°08'41"E	35.36'
C10	28.91'	40.00'	15.12'	41°24'30"	N04°50'56"E	28.28'
C11	58.97'	40.00'	36.31'	84°27'59"	N67°47'10"E	53.77'
C12	80.73'	40.00'	63.57'	115°38'26"	S12°09'37"E	67.71'
C13	26.84'	40.00'	14.88'	61°30'55"	S14°54'09"W	25.57'
C14	1.58'	203.00'	0.79'	00°26'49"	S16°04'43"E	1.58'
C15	59.32'	475.00'	29.70'	07°09'20"	S28°37'30"E	59.28'
C16	76.20'	475.00'	38.18'	09°11'31"	S20°27'04"E	76.12'
C17	NOT USED					
C18	51.96'	525.00'	26.00'	05°40'16"	N18°41'27"W	51.94'
C19	60.92'	525.00'	30.49'	06°38'53"	N24°51'02"W	60.88'
C20	36.91'	525.00'	18.46'	04°01'42"	N30°11'19"W	36.90'
C21	18.84'	525.00'	9.42'	02°58'32"	N33°15'43"W	18.84'
C22	54.75'	525.00'	27.40'	05°46'32"	N37°21'43"W	54.73'
C23	17.33'	25.00'	9.03'	39°42'54"	N20°23'32"W	16.98'
C24	74.78'	40.00'	54.18'	107°07'14"	N54°05'41"W	64.36'
C25	50.60'	40.00'	29.32'	72°28'49"	S36°06'17"W	47.29'
C26	55.73'	40.00'	33.46'	79°49'46"	S40°03'01"E	51.33'
C27	9.35'	25.00'	4.73'	21°25'50"	S69°14'58"E	9.30'
C28	7.98'	25.00'	4.02'	18°17'04"	S49°23'31"E	7.94'
C29	66.57'	475.00'	33.34'	08°01'49"	S36°14'04"E	66.52'

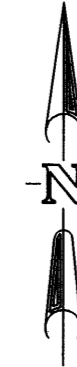
LINE TABLE		
LINE	BEARING	LENGTH
L1	N50°00'47"W (N50°00'47"W)	79.72' (79.72')
L2	S57°54'25"W (S57°54'25"W)	40.66' (40.66')
L3	N57°54'25"E (N57°54'25"E)	35.35' (35.35')
L4	N15°51'19"W (N15°51'19"W)	8.00' (8.00')
L5	N08°19'45"W (N08°19'45"W)	114.79' (114.79')
L6	N32°05'35"W	22.47'
L7	N74°08'41"E	17.00'
L8	S20°01'10"W	10.19'
L9	S15°34'48"E	8.00'
L10	S15°51'19"E	23.96'
L11	N15°51'19"W	23.96'
L12	S15°52'57"E	23.95'
L13	N15°52'57"W	23.96'
L14	S15°51'19"E	25.00'
L15	N15°51'19"W	25.00'
L16	S15°51'19"E	8.00'
L17	S15°51'19"E	3.18'
L18	S74°08'41"W	25.00'
L19	S74°08'41"W	25.00'
L20	S40°14'59"E	5.49'
L21	N40°14'59"W	60.00'
L22	N40°14'59"W	52.16'
L23	N18°14'32"W	9.88'
L24	S49°17'58"E	28.77'
L25	N08°19'45"W	13.30'
L26	S40°14'59"E	52.16'
L27	S40°14'59"E	60.00'
L28	S40°14'59"E	5.48'

SHEET 4 OF 5

SKETCH PLAT
DATE 05-06-2003

PLAT OF
Lots 1-P1 thru 37-P1 and Tract A-1-B-1
THE CROSSING - UNIT 3

WITHIN PROJECTED SECTION 9, T.10N., R.2E., N.M.P.M.
WITHIN THE TOWN OF ATRISCO GRANT
BERNALILLO COUNTY, NEW MEXICO
MARCH 2003



NOT TO SCALE

LEGEND



PROPOSED VACATION OF EXISTING TEMPORARY EASEMENTS
AND INTERIM FLOOD PLAIN EASEMENTS

50' PUBLIC WATERLINE EASEMENT
FILED: JULY 9, 1996
BOOK: 98C
PAGE: 302

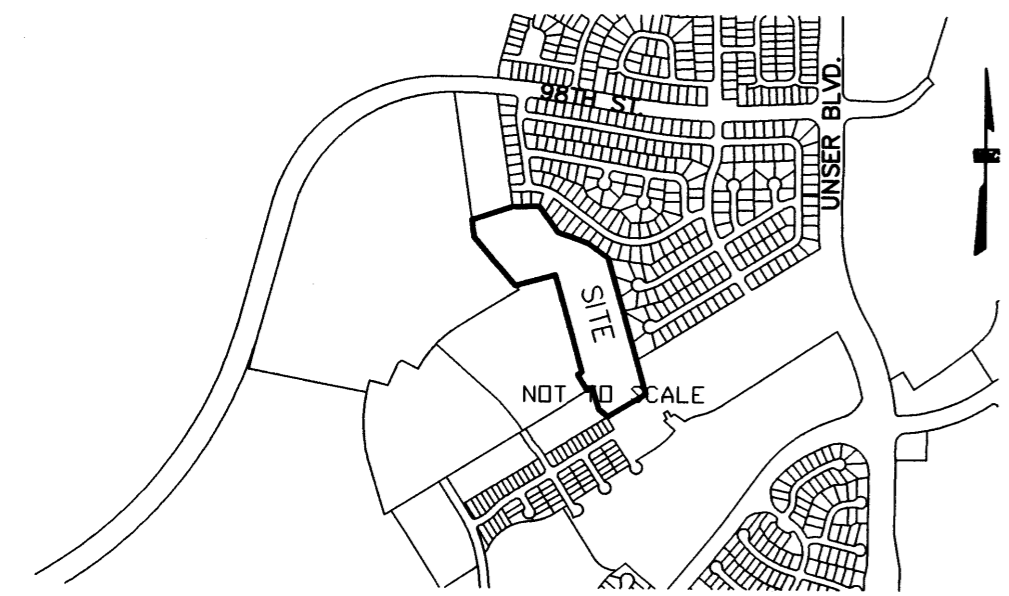
TRACT B
THE CROSSING
FILED: JULY 9, 1996
94C-382

LEGEND:
— FND MONUMENT (AS NOTED)
— SET 5/8" REBAR WITH CAP STAMPED "PS 14733"
— SET ACS ALUMINUM E CONTROL MONUMENT STAMPED "PS 14733"

BRASS CAP
STA
"11-41"
(See Note 2)
(Sheet 1 of 5)

BRASS CAP
STA
"11-40"
(See Note 1)
(Sheet 1 of 5)

LEGEND:
— FND MONUMENT (AS NOTED)
— SET 5/8" REBAR WITH CAP STAMPED "PS 14733"
— SET ACS ALUMINUM E CONTROL MONUMENT STAMPED "PS 14733"



Vicinity Map

Layout Name: Sheet 3 of 5
Drawing Name: SX3218008_DRB.DWG
NETWORK ADDRESS: T:\PROJECTS\X3218008\

Plot By: mav

SHEET 5 OF 5

WILSON & COMPANY
4900 LANG AVENUE N.E.
ALBUQUERQUE, NEW MEXICO
87109
(505) 348-4000
SHEET 3 OF 5
WCEA PROJ. NO. X3-218-008

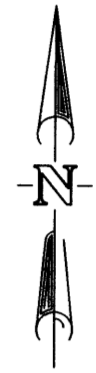
SKETCH PLAT
DATE 05-06-2003

PLAT OF
Lots 1-P1 thru 37-P1 and Tract A-1-B-1
THE CROSSING - UNIT 3

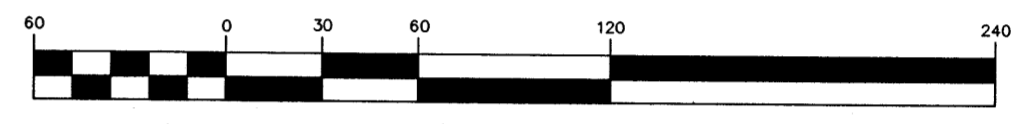
WITHIN PROJECTED SECTION 9, T.10N., R2E., N.M.P.M.
WITHIN THE TOWN OF ATRISCO GRANT
BERNALILLO COUNTY, NEW MEXICO
MARCH 2003

50' PUBLIC WATERLINE EASEMENT
FILED: JULY 9, 1996
BOOK: 96C
PAGE: 302

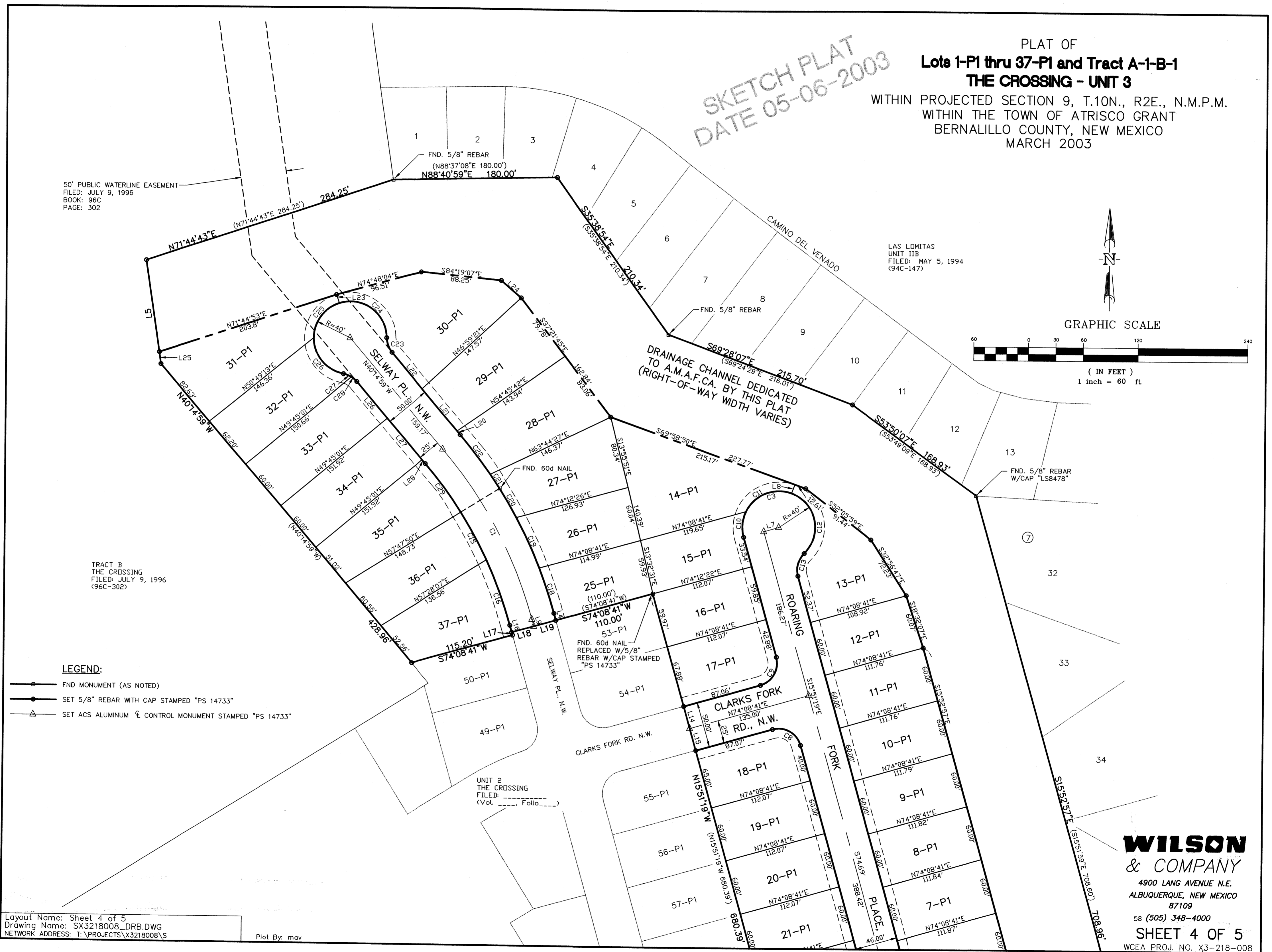
LAS LOMITAS
UNIT IIB
FILED: MAY 5, 1994
(94C-147)



GRAPHIC SCALE



(IN FEET)
1 inch = 60 ft.



LEGEND:

- FND MONUMENT (AS NOTED)
- SET 5/8" REBAR WITH CAP STAMPED "PS 14733"
- △— SET ACS ALUMINUM & CONTROL MONUMENT STAMPED "PS 14733"

TRACT B
THE CROSSING
FILED: JULY 9, 1996
(96C-302)

UNIT 2
THE CROSSING
FILED:
(Vol. --- Folio ---)

Layout Name: Sheet 4 of 5
Drawing Name: SX3218008_DRB.DWG
NETWORK ADDRESS: T:\PROJECTS\X3218008\

Plot By: mav

WILSON & COMPANY

4900 LANG AVENUE N.E.
ALBUQUERQUE, NEW MEXICO
87109

58 (505) 348-4000

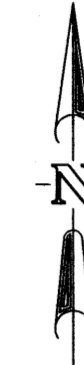
SHEET 4 OF 5

WCEA PROJ. NO. X3-218-008

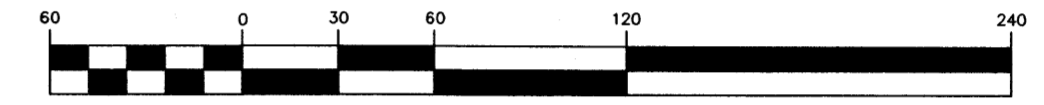
PLAT OF
Lots 1-P1 thru 37-P1 and Tract A-1-B-1
THE CROSSING - UNIT 3

WITHIN PROJECTED SECTION 9, T.10N., R2E., N.M.P.M.
 WITHIN THE TOWN OF ATRISCO GRANT
 BERNALILLO COUNTY, NEW MEXICO
 MARCH 2003

SKETCH PLAT
 DATE 05-06-2003



GRAPHIC SCALE

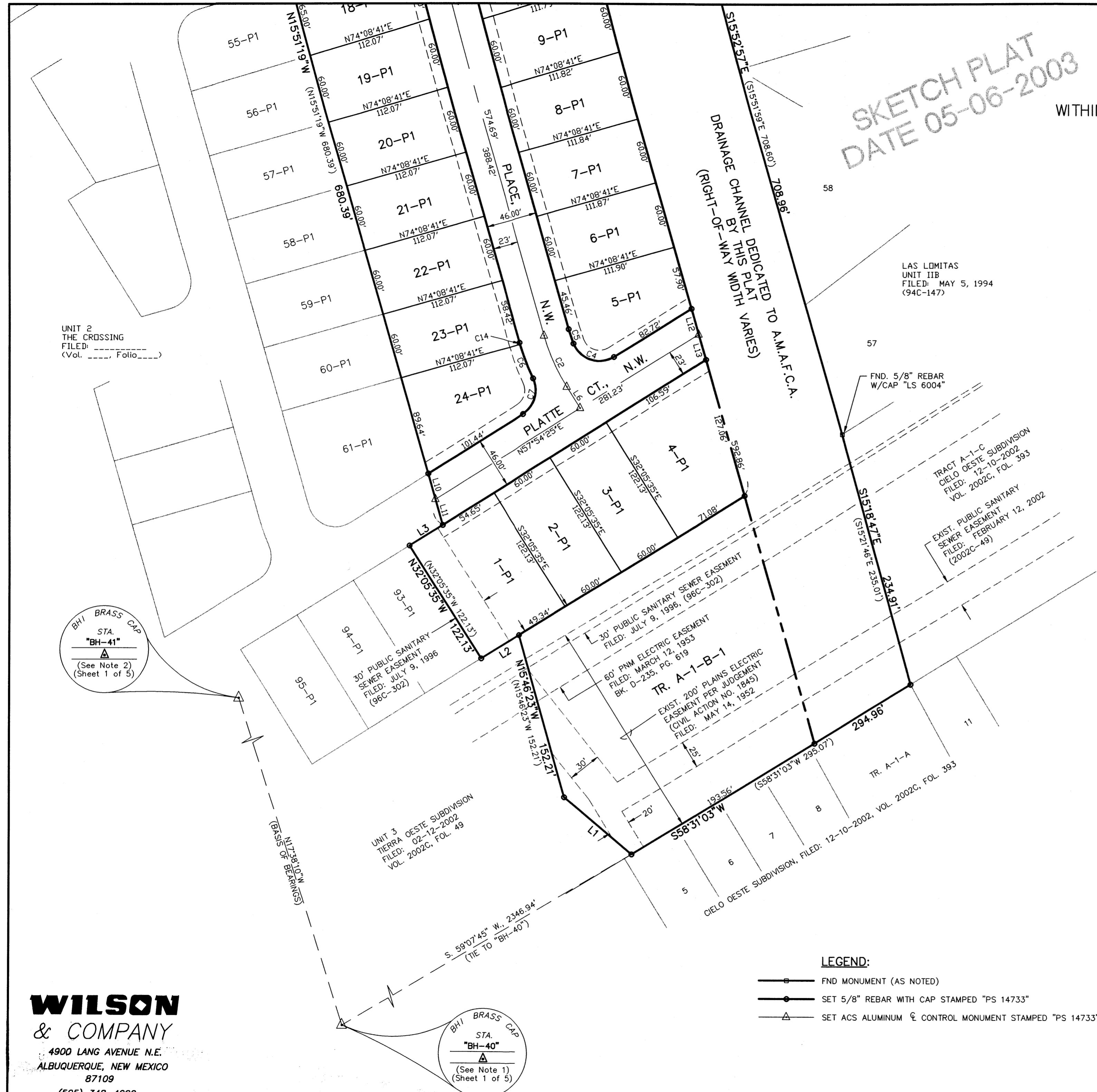


(IN FEET)
 1 inch = 60 ft.

LOT	AREA (Acres)	AREA (Square Feet)
1-P1	0.2523	10,992
2-P1	0.1682	7,328
3-P1	0.1682	7,328
4-P1	0.2491	10,849
5-P1	0.1840	8,016
6-P1	0.1541	6,713
7-P1	0.1541	6,711
8-P1	0.1540	6,710
9-P1	0.1540	6,708
10-P1	0.1540	6,706
11-P1	0.1539	6,705
12-P1	0.1520	6,620
13-P1	0.2134	9,295
14-P1	0.3023	13,170
15-P1	0.1545	6,728
16-P1	0.1541	6,714
17-P1	0.1715	7,473
18-P1	0.1641	7,150
19-P1	0.1544	6,724
20-P1	0.1544	6,724
21-P1	0.1544	6,724
22-P1	0.1544	6,724
23-P1	0.1544	6,724
24-P1	0.1896	8,260
25-P1	0.1539	6,704
26-P1	0.1660	7,229
27-P1	0.2097	9,134
28-P1	0.2356	10,262
29-P1	0.2332	10,159
30-P1	0.2924	12,736
31-P1	0.2509	10,929
32-P1	0.1972	8,589
33-P1	0.2092	9,112
34-P1	0.2093	9,115
35-P1	0.2130	9,278
36-P1	0.1959	8,533
37-P1	0.1933	8,642
A1B1	1.1900	51,835

LEGEND:

- FND MONUMENT (AS NOTED)
- SET 5/8" REBAR WITH CAP STAMPED "PS 14733"
- △— SET ACS ALUMINUM & CONTROL MONUMENT STAMPED "PS 14733"



UNIT 2
 THE CROSSING
 FILED: []
 (Vol. [] Folio [])

BH1 BRASS CAP
 STA.
 "BH-41"
 (See Note 2)
 (Sheet 1 of 5)

BH1 BRASS CAP
 STA.
 "BH-40"
 (See Note 1)
 (Sheet 1 of 5)

WILSON & COMPANY
 4900 LANG AVENUE N.E.
 ALBUQUERQUE, NEW MEXICO
 87109
 (505) 348-4000

Layout Name: Sheet 5 of 5
 Drawing Name: SX3218008_DRB.DWG
 NETWORK ADDRESS: T:\PROJECTS\X3218008\

Plot By: mav

GRADING AND DRAINAGE NOTES

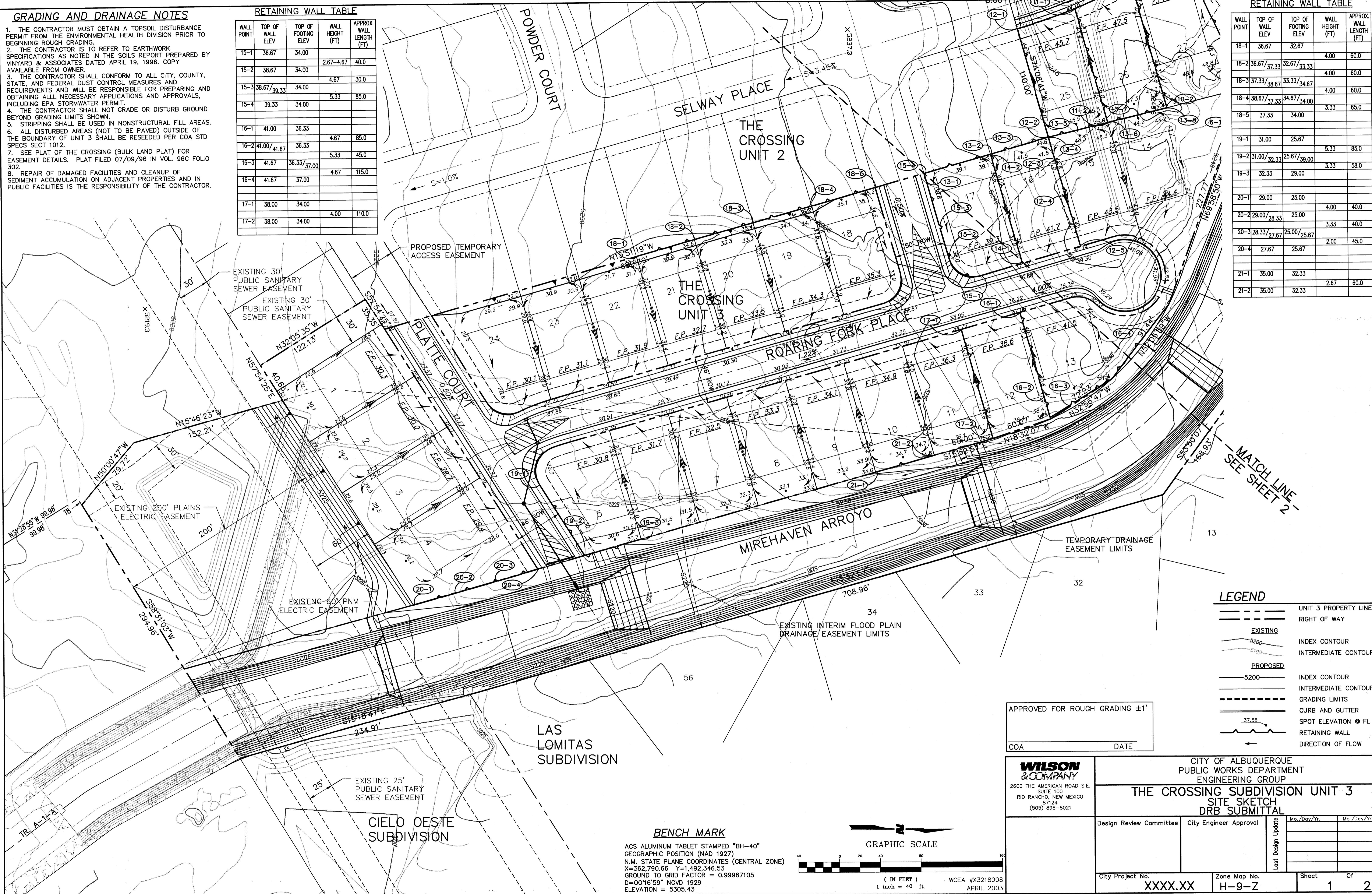
1. THE CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO BEGINNING ROUGH GRADING.
2. THE CONTRACTOR IS TO REFER TO EARTHWORK SPECIFICATIONS AS NOTED IN THE SOILS REPORT PREPARED BY VINYARD & ASSOCIATES DATED APRIL 19, 1996. COPY AVAILABLE FROM OWNER.
3. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS, INCLUDING EPA STORMWATER PERMIT.
4. THE CONTRACTOR SHALL NOT GRADE OR DISTURB GROUND BEYOND GRADING LIMITS SHOWN.
5. STRIPPING SHALL BE USED IN NONSTRUCTURAL FILL AREAS.
6. ALL DISTURBED AREAS (NOT TO BE PAVED) OUTSIDE OF THE BOUNDARY OF UNIT 3 SHALL BE RESEED PER COA STD SPECS SECT 1012.
7. SEE PLAT OF THE CROSSING (BULK LAND PLAT) FOR EASEMENT DETAILS. PLAT FILED 07/09/96 IN VOL. 96C FOLIO 302.
8. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.

RETAINING WALL TABLE

WALL POINT	TOP OF WALL ELEV	TOP OF FOOTING ELEV	WALL HEIGHT (FT)	APPROX. WALL LENGTH (FT)
15-1	36.67	34.00	2.67-4.67	40.0
15-2	38.67	34.00	4.67	30.0
15-3	38.67/39.33	34.00	5.33	85.0
15-4	39.33	34.00		
16-1	41.00	36.33	4.67	85.0
16-2	41.00/41.67	36.33	5.33	45.0
16-3	41.67	36.33/37.00	4.67	115.0
16-4	41.67	37.00		
17-1	38.00	34.00	4.00	110.0
17-2	38.00	34.00		

RETAINING WALL TABLE

WALL POINT	TOP OF WALL ELEV	TOP OF FOOTING ELEV	WALL HEIGHT (FT)	APPROX. WALL LENGTH (FT)
18-1	36.67	32.67	4.00	60.0
18-2	36.67/37.33	32.67/33.33	4.00	60.0
18-3	37.33/38.67	33.33/34.67	4.00	60.0
18-4	38.67/37.33	34.67/34.00	3.33	65.0
18-5	37.33	34.00		
19-1	31.00	25.67	5.33	85.0
19-2	31.00/32.33	25.67/29.00	3.33	58.0
19-3	32.33	29.00		
20-1	29.00	25.00	4.00	40.0
20-2	29.00/28.33	25.00	3.33	40.0
20-3	28.33/27.67	25.00/25.67	2.00	45.0
20-4	27.67	25.67		
21-1	35.00	32.33	2.67	60.0
21-2	35.00	32.33		



LEGEND

- UNIT 3 PROPERTY LINE
- RIGHT OF WAY
- EXISTING
 - INDEX CONTOUR
 - INTERMEDIATE CONTOUR
- PROPOSED
 - INDEX CONTOUR
 - INTERMEDIATE CONTOUR
- GRADING LIMITS
- CURB AND GUTTER
- SPOT ELEVATION @ FL
- RETAINING WALL
- DIRECTION OF FLOW

APPROVED FOR ROUGH GRADING ±1'

COA _____ DATE _____

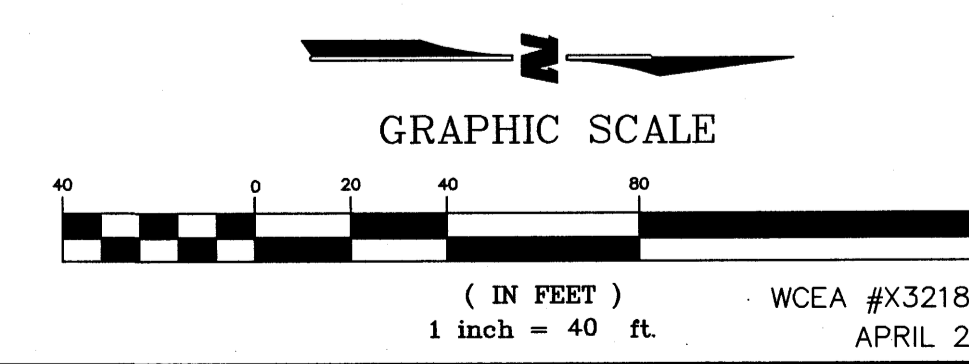
WILSON & COMPANY
 2600 THE AMERICAN ROAD S.E.
 SUITE 100
 RIO RANCHO, NEW MEXICO 87124
 (505) 898-8021

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING GROUP

**THE CROSSING SUBDIVISION UNIT 3
 SITE SKETCH
 DRB SUBMITTAL**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. XXXX.XX	Zone Map No. H-9-Z	Sheet 1	Of 2

BENCH MARK
 ACS ALUMINUM TABLET STAMPED "BH-40"
 GEOGRAPHIC POSITION (NAD 1927)
 N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
 X=362,790.66 Y=1,492,346.53
 GROUND TO GRID FACTOR = 0.99967105
 D=00°16'59" NGVD 1929
 ELEVATION = 5305.43



RETAINING WALL TABLE

WALL POINT	TOP OF WALL ELEV	TOP OF FOOTING ELEV	WALL HEIGHT (FT)	APPROX. WALL LENGTH (FT)
1-1	61.00	59.00	2.00-5.33	10.0
1-2	61.00	55.67	5.33	20.0
1-3	61.00	55.67/55.00	6.00	20.0
1-4	61.00	55.00/54.33	6.67	35.0
1-5	61.00/56.33	54.33/53.67	6.67-2.00	35.0
1-6	56.33	53.67		
2-1	53.33	50.00	3.33	110.0
2-2	53.33	50.00		
3-1	51.67	48.33	3.33	110.0
3-2	51.67	48.33		
4-1	50.33	48.33	4.00	110.0
4-2	50.33	48.33		
5-1	48.33	44.33	4.00	110.0
5-2	48.33	44.33		
6-1	48.00	46.00	2.00-4.00	30.0
6-2	50.00	48.00	4.00	40.0
6-3	51.33	46.00	5.33	40.0
6-4	52.00	46.00	6.00	40.0
6-5	52.67	46.00	6.67	40.0
6-6	52.67/53.33	46.00/46.67	6.67	40.0
6-7	53.33/54.67	46.67/47.33	6.67-2.00	40.0
6-8	54.67	52.67		
7-1	53.67	49.67	4.00	105.0
7-2	53.67	49.67		
8-1	52.00	48.00	4.00	105.0
8-2	52.00	48.00		
9-1	50.00	46.67	3.33	90.0
9-2	50.00	46.67		
10-1	48.67	44.67	4.00	125.0
10-2	48.67	44.67		

RETAINING WALL TABLE

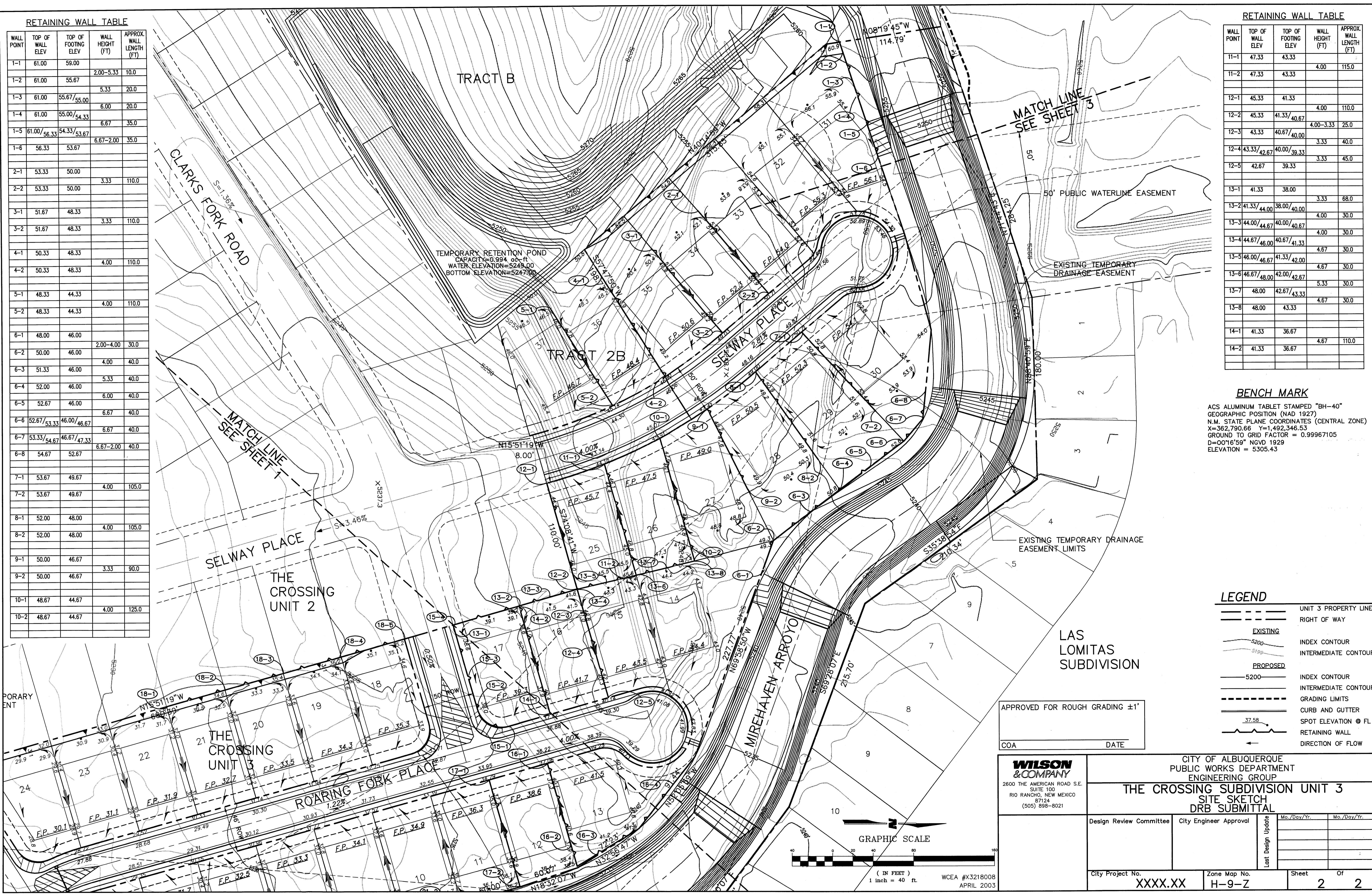
WALL POINT	TOP OF WALL ELEV	TOP OF FOOTING ELEV	WALL HEIGHT (FT)	APPROX. WALL LENGTH (FT)
11-1	47.33	43.33	4.00	115.0
11-2	47.33	43.33		
12-1	45.33	41.33	4.00	110.0
12-2	45.33	41.33/40.67	4.00-3.33	25.0
12-3	43.33	40.67/40.00	3.33	40.0
12-4	43.33/42.67	40.00/39.33	3.33	45.0
12-5	42.67	39.33		
13-1	41.33	38.00	3.33	68.0
13-2	41.33/44.00	38.00/40.00	4.00	30.0
13-3	44.00/44.67	40.00/40.67	4.00	30.0
13-4	44.67/46.00	40.67/41.33	4.67	30.0
13-5	46.00/46.67	41.33/42.00	4.67	30.0
13-6	46.67/48.00	42.00/42.67	5.33	30.0
13-7	48.00	42.67/43.33	4.67	30.0
13-8	48.00	43.33		
14-1	41.33	36.67	4.67	110.0
14-2	41.33	36.67		

BENCH MARK

ACS ALUMINUM TABLE STAMPED "BH-40"
 GEOGRAPHIC POSITION (NAD 1927)
 N.M. STATE PLANE COORDINATES (CENTRAL ZONE)
 X=362,790.66 Y=1,492,346.53
 GROUND TO GRID FACTOR = 0.999967105
 D=0016'59" NGVD 1929
 ELEVATION = 5305.43

LEGEND

- UNIT 3 PROPERTY LINE
- RIGHT OF WAY
- EXISTING
- 5200 INDEX CONTOUR
- 5180 INTERMEDIATE CONTOUR
- PROPOSED
- 5200 INDEX CONTOUR
- INTERMEDIATE CONTOUR
- GRADING LIMITS
- CURB AND GUTTER
- SPOT ELEVATION @ FL
- RETAINING WALL
- DIRECTION OF FLOW



APPROVED FOR ROUGH GRADING ±1'

COA _____ DATE _____

WILSON & COMPANY
 2600 THE AMERICAN ROAD S.E.
 SUITE 100
 RIO RANCHO, NEW MEXICO
 87124
 (505) 898-8021

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING GROUP
THE CROSSING SUBDIVISION UNIT 3
 SITE SKETCH
 DRB SUBMITTAL

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. XXXX.XX	Zone Map No. H-9-Z	Sheet 2 Of 2	

