

SITE PLAN FOR SUBDIVISION - REQUIRED INFORMATION

PURPOSE OF SITE PLAN:
The purpose of the Site Plan for Subdivision is to include the additional tracts to the South along Pan American Freeway as part of the overall Site Plan for Subdivision and development.

THE SITE:
The site consists of approximately 37.7 acres. Tract A-1 is currently being replatted into Tracts A-1-A-1, A-1-B, A-1-C, A-1-D, & A-1-E-1. All other tracts being added and modified are to be replatted at a future time.

PROPOSED USE:
The site is currently zoned M-1. No rezoning is required for the proposed commercial uses.

PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
VEHICULAR ACCESS: All vehicular access except for the new access to Pan American Freeway is in place as approved by the zoning Hearing Examiner in ZA-99-025. The new access point at Pan American Freeway will require permission from NMDOT.

PEDESTRIAN ACCESS: A minimum of one pedestrian access from each site along Paseo Del Norte and San Pedro will be provided as per ADA Criteria. Tracts located along Pan American Freeway will not have pedestrian access since a public sidewalk does not exist and will not be required by the State.

BICYCLE and TRAIL ACCESS: Bicycle and trail access is not currently provided. A combined pedestrian and bicycle trail is required along the Domingo Baca Channel and will be constructed as part of this development.

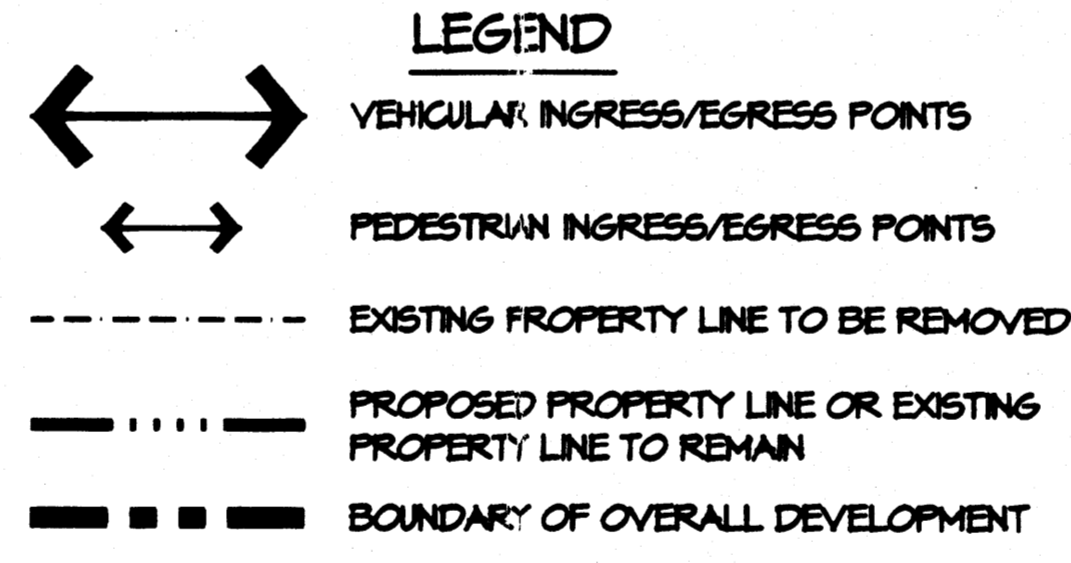
TRANSIT ACCESS: Transit access shall remain as provided for in case number ZA-99-025.

INTERNAL CIRCULATION REQUIREMENTS:
Access points as shown on this plan have been previously approved by ZA-99-025, with the exception of the new access point along Pan American Freeway. This new access point will require NMDOT approval.

BUILDING HEIGHTS AND SETBACKS:
See Sheet 2 of 4, Design Standards.

MAXIMUM FAR:
Maximum FAR shall be in accordance with M-1 Zoning Requirements.

LANDSCAPE PLAN:
See Sheet 2 of 4 or General Landscape Requirements within the Subdivision.



(ALL PROPERTIES ZONED M-1)

- GENERAL NOTES**
- THIS DRAWING CONSTITUTES THE REQUIRED SUBMISSION FOR APPROVAL OF A SITE PLAN FOR SUBDIVISION.
 - THE ATTACHED "DESIGN STANDARDS" ON SHEET 2 OF 4 ARE MADE PART OF THIS SITE PLAN FOR SUBDIVISION.
 - THE SITE PLAN FOR SUBDIVISION IS SUBJECT TO THE REGULATIONS OF THE CITY OF ALBUQUERQUE DPM (DEVELOPMENT PROCESS MANUAL).
 - ANY SIGNIFICANT AMENDMENT OF THIS SITE PLAN FOR SUBDIVISION SHALL REQUIRE APPROVAL OF THE PLANNING COMMISSION; THE PLANNING DIRECTOR OR HIS/HER DESIGNEE SHALL HAVE THE AUTHORITY TO MAKE ADMINISTRATIVE AMENDMENTS.
 - ALL DEVELOPMENT ON THESE SITES MUST BE IN CONFORMANCE WITH THIS SITE PLAN FOR SUBDIVISION AND STANDARDS.
 - APPROVAL OF DEVELOPMENT PROPOSALS CONSISTENT WITH THIS SITE PLAN FOR SUBDIVISION AND STANDARDS SHALL BE BY THE PLANNING DIRECTOR OR HIS/HER DESIGNEE, AND THE CITY ENGINEER.

PROJECT NUMBER: 1001946
Application Number: 05 243 01348

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 3/26/05 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No. If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>[Signature]</i> Transportation Division	8-11-05 Date
<i>[Signature]</i> Utilities Development	8-31-05 Date
<i>[Signature]</i> Parks and Recreation Department	8/21/05 Date
<i>[Signature]</i> City Engineer	8/31/05 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	9/10/05 Date
<i>[Signature]</i> Environmental Health	09-01-05 Date

LANDFILL DISCLOSURE STATEMENT

THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE INTERIM GUIDELINES FOR DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL BUFFER ZONE) SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

Behanan & Heston
Court yard | 7500 Jefferson St. NE | Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

**SITE PLAN FOR SUBDIVISION
LOS ANGELES CENTER
PREPARED FOR: LOWE'S H.I.W.**

Design Standards

Design Standards

The purpose of these design standards is to establish a framework for the continued quality development of the subject development area shown on the Site Development Plan. These standards are being proposed following the approval of the first buildings: Lowe's Home Improvement Center and the Target store, in anticipation of the development of the remaining tracts at the northeast and southwest corners. These standards address the issues of pedestrian pathways and plazas, parking, setbacks, landscape, screen walls and fences, architecture, lighting, and signage to create the quality image desired for this development.



PEDESTRIAN PATH



PLAZA

Subsequent Site Development Plans for Building Permit shall be consistent with the design standards established in this Site Development Plan for Subdivision and shall be approved by the planning director. Major amendments to this Site Development Plan for Subdivision shall be approved by the Environmental Planning Commission.

Pedestrian Pathways and Plazas

Creation of a pedestrian friendly environment is a primary goal of these design standards. Objectives for achieving this goal include establishing an organized and continuous network of pedestrian paths and the use of consistent site furnishings, pathway materials and lighting throughout the development. The pedestrian pathway system includes sidewalks and pedestrian pathways across parking areas and other vehicular paths.

- Perimeter sidewalks shall connect with the internal pedestrian pathway system.
- Pedestrian pathways through vehicular areas shall be clearly demarcated through the use of contrasting paving material, such as colored concrete, brick or concrete pavers.
- Pedestrian pathways connecting buildings to perimeter sidewalks shall be provided through parking areas. These pathways can be provided at the perimeter of parking areas, and between parking rows.
- Plaza areas for gathering or outdoor dining shall be located at or near building entries and at major pedestrian pathway intersections. Plazas shall be shaded with trees and/or shade structures architecturally integrated with the adjacent building.
- The pedestrian pathways and plazas shall comply with the City of Albuquerque Zoning Code, Section 14-16-3-1(G), Pedestrian Connections, and Section 14-16-3-18, General Building and Site Design Regulations for Non-Residential Uses.

Parking

Lessening the impact of parking areas is a primary goal of this development; therefore, careful attention should be paid to parking area design. The overall number of parking spaces required for each tract shall be broken into smaller areas through the careful placement of buildings and the location of pedestrian pathways or landscaped areas.

- The maximum number of parking spaces for each tract shall meet the requirements of the Albuquerque Comprehensive Zoning Ordinance, plus fifteen percent.
- Handicapped parking spaces shall be provided at or near building entries.
- Parking areas shall be designed to include pedestrian links between perimeter sidewalks and adjacent buildings.
- Where parking is adjacent to public roadways, low walls, berms or landscaping shall be utilized to screen cars from view. Walls and mature landscaping shall be at least thirty inches but not more than forty-two inches tall.

Setbacks

Building and parking area setbacks are required to create a visually appealing environment. These setbacks shall contain pedestrian pathways, screen walls, landscaping and/or signage. Setbacks shall be in accordance with the Albuquerque Comprehensive Zoning Code for the O-1 zone.

Landscape

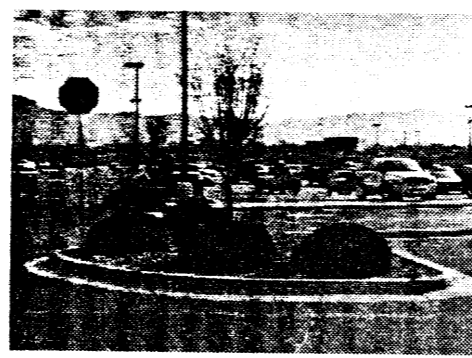
The purpose of the following landscape standards is to provide a framework for a unifying landscape design which is considerate of the site's existing developed conditions, recent project approvals and pending development. Achieving overall project unity will generally be accomplished through a coordinated palette of low water use native and adapted plants and mulches appropriate to the site, along with guidelines that recognize existing patterns of density, variety and location of plant materials. The site is located in an urbanizing high desert grassland landscape. Landscape designs featuring native and drought tolerant grasses are encouraged to reinforce the sense of place and reduce demands for soil amendment and irrigation.

Minimum standards for development of specific landscape plans:

- Landscape design shall comply with the City of Albuquerque Zoning Code, Section 14-16-3-10, Landscape Regulations, and the City's Water and Wastewater Ordinance (Section 6-1-1-1).
- Xeriscape principals shall be applied to all landscape areas including the use of drought tolerant plant materials and water harvesting areas where practical.
- A 20' landscape buffer shall be provided on the North edge of tracts A-1-A-1 and A-1-B adjacent to the Paseo Del Norte right of way and on the east edge of tracts A-1-C and A-1-D adjacent to the San Pedro right of way, and shall be planted with material complimentary to the naturalistic aesthetic of the Paseo Del Norte landscape improvements.
- A minimum of 15% of the net site area will be landscape area with an emphasis placed on areas with internal street pedestrian street exposure.
- Landscaping shall comply with the intent of the City regulation requiring 75% vegetative coverage for landscape areas. No high water use turf shall be permitted.



VEGETATION ALONG PASEO DEL NORTE



VEGETATION AT ISLAND



SIDEWALK ALONG PASEO DEL NORTE



VEGETATION AT ISLAND

- All planting areas shall be mulched with 3/4 inch gravel, primarily grey in color.
- One tree is required for every twenty-five linear feet of public or main access roadway. Trees shall be informally clustered or planted 25 feet on center. No more than 40-foot gaps between trees shall be permitted.
- The landscape treatment at prominent entryways shall achieve a greater concentration or density of plant material.
- Off street parking areas shall have a minimum of one tree for every ten parking spaces.
- All required parking area trees shall be deciduous and have a minimum mature height and canopy of at least 25 feet.
- A minimum 36" high wall or landscape screen, or a combination of the wall and plantings, shall be used to obscure views of parking areas from adjacent right of way.
- A 6' landscape buffer shall be located along the north side of the bike trail which runs along the north side of the Domingo Baca Arroyo. This buffer shall be planted with clustered plantings of trees and shrubs.
- An automatic underground irrigation system is required to support all landscaping. Irrigation components should be checked periodically to ensure maximum efficiency.
- All plant material including trees, shrubs and groundcovers shall be maintained by owners in living, attractive conditions. All area shall be maintained free of weeds and litter.
- The plant palette shall consist of the species in the following list:

- Trees:
- Ash (Autumn Purple), *Fraxinus americana* "Autumn Purple" ...
 - Ash (Modesto), *Fraxinus velutina* "Modesto"
 - Ash (Raywood), *Fraxinus angustifolia* "Raywood"
 - Chaste Tree, *Vitex agnus-castus*
 - Desert Willow, *Chilopsis linearis*
 - Flowering Pear, *Pyrus calleryana* var.
 - Golden Rain Tree, *Koelreuteria paniculata*
 - Honey Locust, *Gleditsia triacanthos inermis* (parking lots islands)
- Shrubs:
- Apache Plume, *Fallugia paradoxa*
 - Bearberry, *Cotoneaster domeri*
 - Chamisa, *Chrysothamnus nauseosus*
 - Cherry Sage, *Salvia greggii*
 - Dwarf Butterfly Bush, *Buddleia* var.
 - Greyleaf Cotoneaster, *Cotoneaster buxifolius*
 - Sage (Powis Castle), *Artemisia tridentata*
 - Sage (Prairie), *Ariemesia lasiolepis*
 - Rosemary (Semi-Prostrate), *Rosmarinus prostratus* var.
 - Shrub Cinquefoil, *Potentilla fruticosa* var.
 - Three Leaf Sumac, *Rhus trilobata*

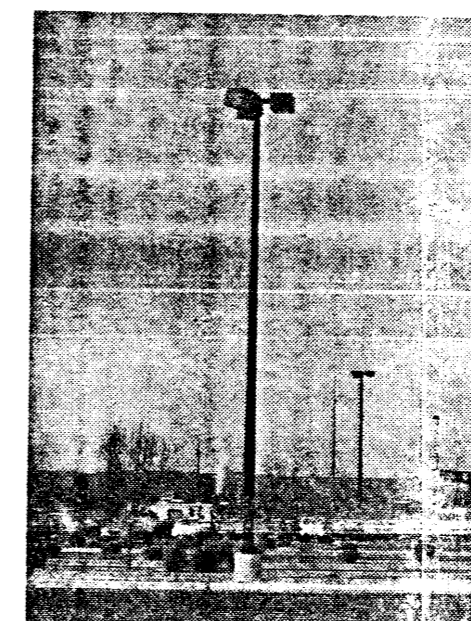
- Accents and Ornamental Grasses
- Alkali Sacaton "Los Lunas", *Sporobolus wrightii* "Los Lunas"
 - Maidengrass, *Miscanthus sinensis* var.
 - Red Yucca, *Hesperaloe parviflora*
 - Regal Mist Grass, *Muhlenbergia capillaris* "Regal Mist"
 - Threadgrass, *Nasella tenuissima*

- Ground Covers
- Blue Grama Grass (Hachita), *Bouteloua gracilis* "Hachita"
 - Buffalo Grass (Legacy), *Bouteloua dactyloides* "Legacy"
 - Galleta Grass (Viva), *Hilaria jamesii* "Viva"
 - Hall's Honeysuckle, *Lonicera japonica* "Halliana"

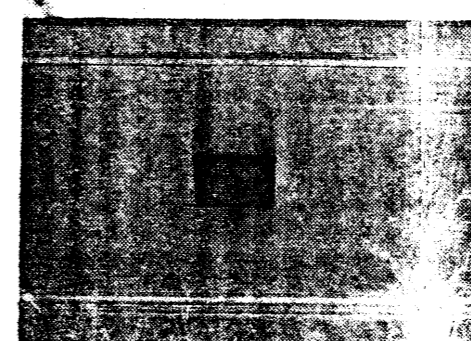
- Seed Mixes
- Native Grass and native wildflower seeding is allowed. Seeding is not acceptable for turf areas. Rates should be per the manufacturer's suggestion for the use and location intended. The following is a list of acceptable mixes:



TRASH ENCLOSURE



TYPICAL PARKING LOT LIGHT



BUILDING MOUNTED LIGHT

- City of Albuquerque: East Side Native Seed Mix
- Plants of the Southwest: Dryland Blend, Sandy Soil Stabilizer, High Desert Wildflower Mix
- Curtis and Curtis: Pioneer's Pride or Homesteader's Choice native grass seed blend, Llano Estacado or Showy Plains and Juniper Hills wildflower mixes.

- Minimum planting sizes shall be as follows:

- Trees:
- 24" Box: Desert Willow, Chaste Tree
 - 2" Caliper: Ash, Honeylocust and Pear

Shrubs

- 1 Gallon: Apache Plume, Chamisa, Salvia Greggii, Dwarf Butterfly Bush, Powis Castle Sage, and Prairie Sage
- 5 Gallon: Greyleaf Cotoneaster, Rosemary, and Shrub Cinquefoil

Accents and Ornamental Grasses

- 1 Gallon: Alkali Sacaton, Maidengrass, Regal Mist Grass, and Threadgrass
- 5 Gallon: Red Yucca

Ground Covers

- Plugs (For turf areas only): Blue Grama Grass, Buffalo Grass, and Galleta Grass
- 1 Gallon: Blue Grama Grass, Buffalo Grass, Galleta Grass, and Hall's Honeysuckle

Screen Walls and Fences

Screening of equipment and utilitarian spaces will reinforce the overall quality and appearance of the development. These screening requirements are in addition to those listed in the parking and landscape sections.

- Refuse containers shall be screened from view through the use of walls at least six feet high that are architecturally coordinated with the buildings they serve and meet City design standards. Refuse enclosures shall be further screened through the use of trees and shrubs.
- Loading areas shall be located, if possible, at the rear of buildings and away from public streets. Loading areas that are visible from public streets shall be screened through the use of walls at least six feet high that are architecturally coordinated with the buildings they serve.
- Roof and ground mounted equipment shall be screened from public view through the use of walls that are architecturally coordinated with the buildings they serve.
- Perimeter walls and fences, if used, shall be designed to be architecturally coordinated with the buildings they serve. Openings for pedestrian pathways shall be provided where they occur. The use of barbed wire, concertina wire, chain link or plastic fencing is not allowed.

Architecture

The creation of a quality architectural environment is a primary goal of these design standards. The design of individual buildings may be unique, or based on the prototypical design of national tenants, but shall be based on sound design principles and constructed of high quality, durable building materials.

- All structures within a single tract, including walls, screens, and ancillary structures, shall be architecturally coordinated with the buildings to which they relate.
- The use of architecturally integrated shading devices along pedestrian pathways adjacent to building facades is encouraged.
- Building detailing, colors and materials shall be selected to reinforce New Mexico's unique architectural character. Materials allowed include: stucco, decorative concrete masonry units, brick, and metal accents. Colors shall be earthtones, ranging from light tans to dark browns, reds from terra cotta to brick red, and muted greens and blues. Accent colors relevant to the corporate identity of specific tenants may be used as accents.
- All buildings shall be designed "...to mitigate the negative visual impacts arising from the scale, bulk and mass inherent to large commercial buildings" in full compliance with the Albuquerque Comprehensive Zoning Code, section 14-16-3-18, General Building and Site Design Regulation for Non-Residential uses.

Lighting

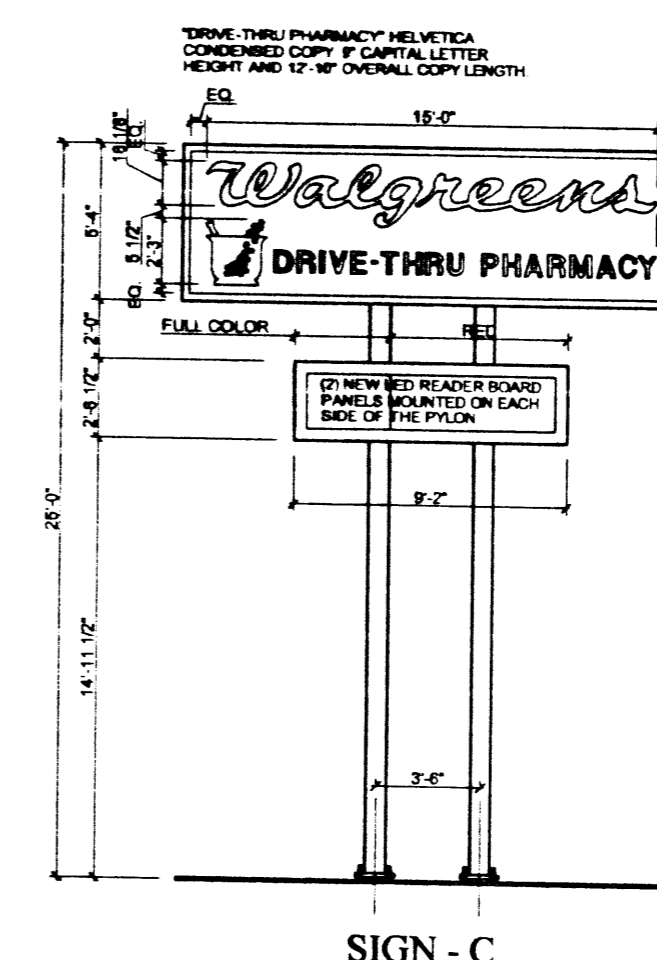
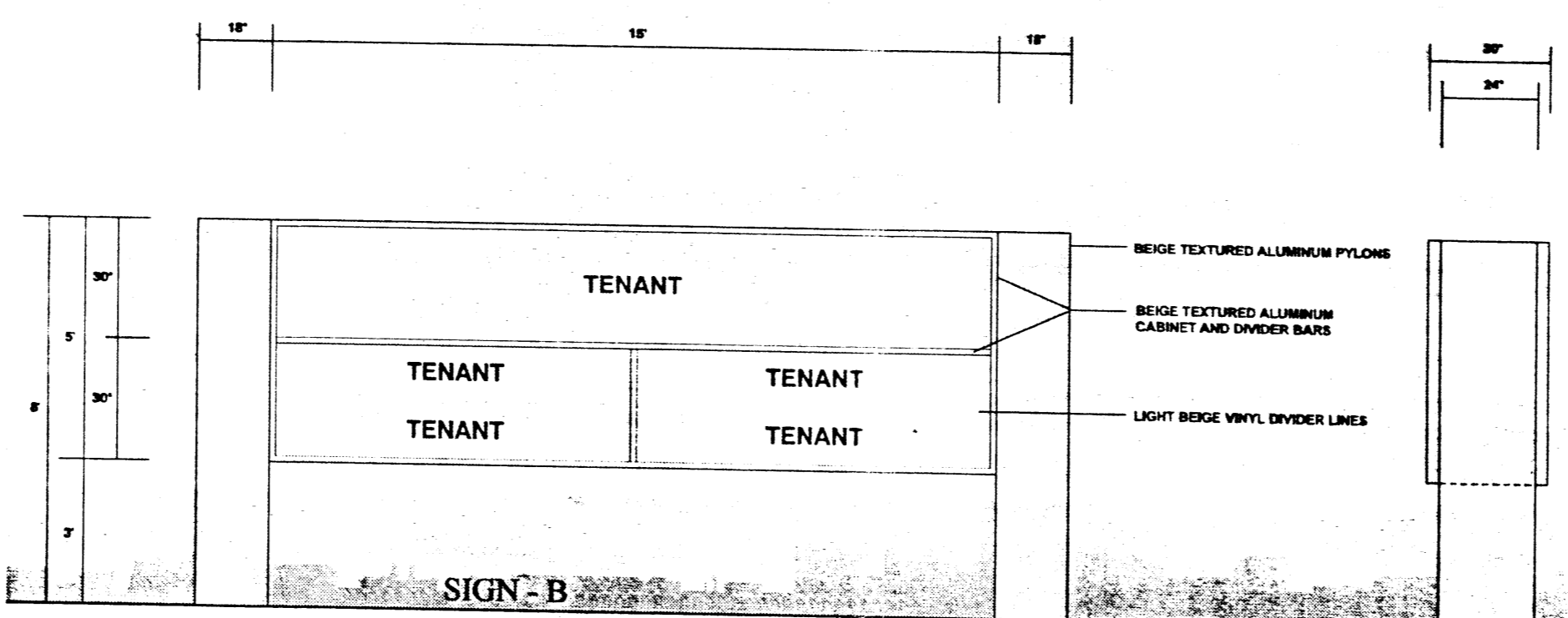
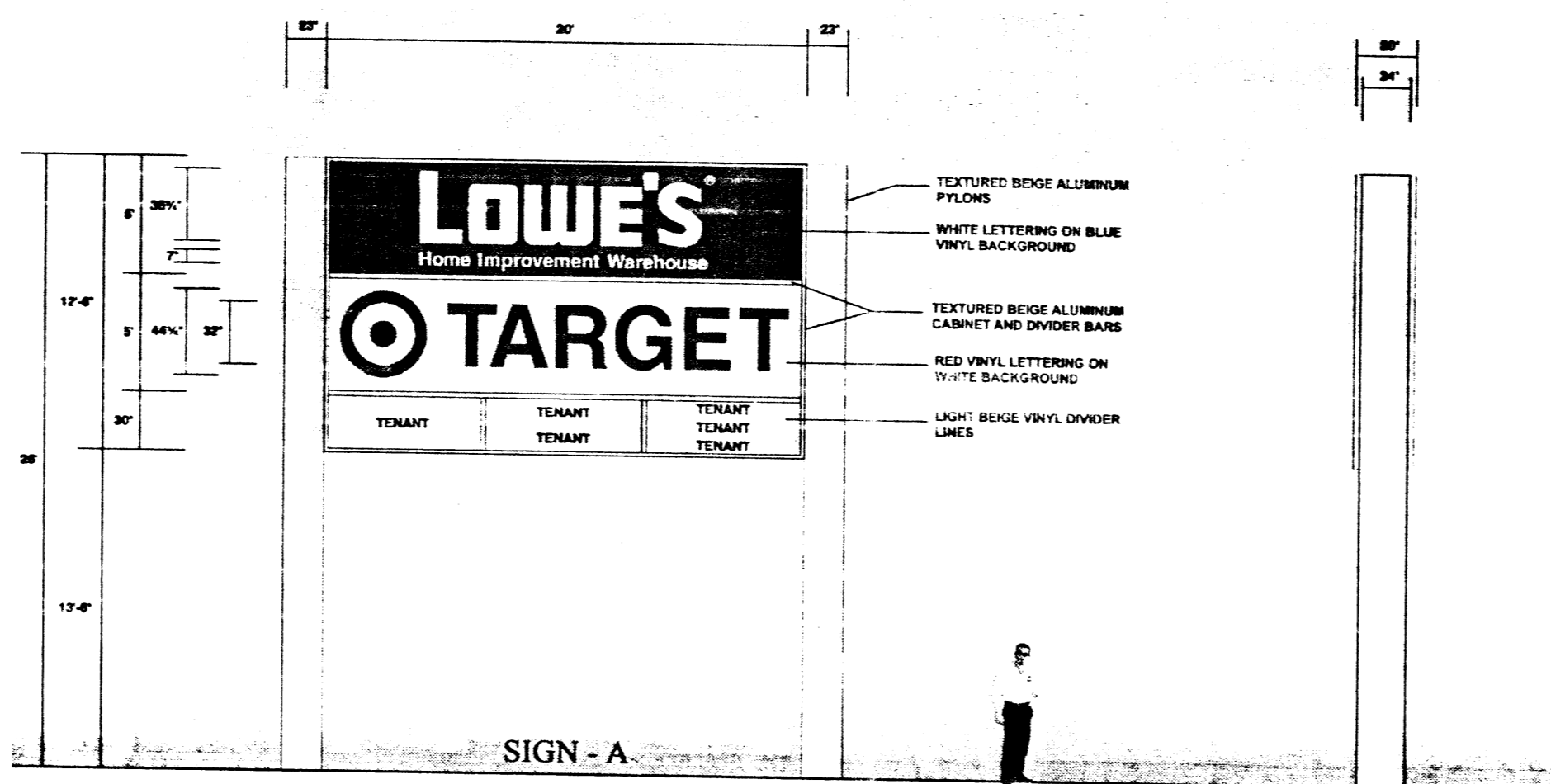
Consistency in lighting design is a primary goal of these design standards. In order to enhance security and visual aesthetics, careful consideration of site lighting design is required to maximize public safety while minimizing glare both on site and on adjacent properties.

- Lighting design shall comply with the City of Albuquerque Zoning Code, Section 14-16-3-9, Area Lighting Regulations, and the State Statute on Dark Skies.
- Parking area lighting shall be provided with fixtures of a similar design, color and height for all tracts within the development.
- Area light fixtures shall be full cut-off design with no visible light source above a horizontal line projected from the bottom of the fixture housing. Building mounted fixtures shall also comply with this requirement.

Signage

The following standards were developed to regulate the size, location, type and quality of sign elements within the overall development. The goal is to provide consistency in appearance and quality, and compliments the visual character of the development.

- All signs shall comply with section 14-16-3-5 General Sign Regulations of the Comprehensive Zoning Code.
- Building mounted signs shall not exceed six percent of the facade area on which they are mounted, and shall be channel type, internally illuminated individual letters with metal sides and plastic faces. No building mounted box signs are allowed except business logos.
- Multi-tenant development signs are allowed at the locations indicated on the site plan, and as shown in the illustrations on this sheet.

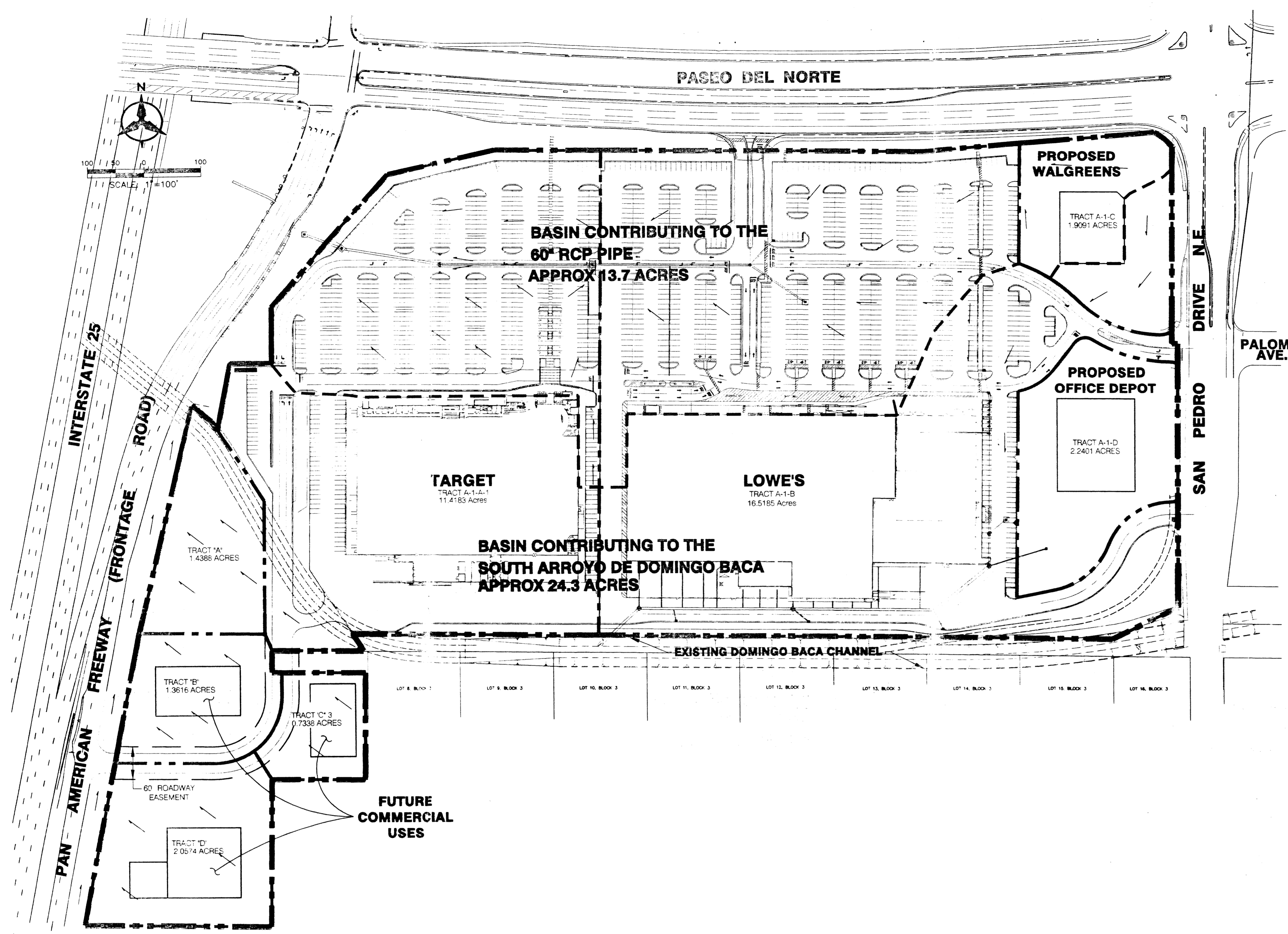


SIGN - C

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**SITE PLAN FOR SUBDIVISION
 LOS ANGELES CENTER**

PREPARED FOR: LOWE'S H.I.W.



CONCEPTUAL DRAINAGE MANAGEMENT PLAN

I. INTRODUCTION:
 The purpose of this submittal is to present a conceptual grading and drainage plan for the development of the Southeast Corner of Pan American Freeway and Paseo Del Norte. The project will include the construction of various commercial buildings in addition to associated parking and landscaped areas. This submittal is in support of site development for subdivision approval.

II. SITE LOCATION:
 The site is located within zone atlas map #D-16-Z. In reference to the Federal Emergency Management Agency map #3500101377 the site does not lie within a 100yr flood plain.

III. EXISTING HYDROLOGIC CONDITIONS:
 The site is approximately 38 acres and is partially developed. Drainage from the site exits in two locations; the South Arroyo De Domingo Baca or the existing 60" RCP culvert that runs under the frontage road.

There is currently an approved drainage report for Tract A-1-A-1, A-1-B, A-1-C, and A-1-D. This report is entitled Lowe's of NE Albuquerque Drainage Report-D16/D14 (Engineer's Stamp dated 1-3-00). The report clearly describes basins and outfall locations for these tracts. Tract A-1-B (Lowe's) is the only tract that has been developed under this report. A Walgreens (Tract A-1-C), Office Depot (Tract A-1-D) and a Target (Tract A-1-A-1) are planned for the remainder of the tracts. Separate hydrology submittals will be required for each of these tracts and their drainage systems shall comply with the approved report.

The properties to the south of the Tract A-1-A-1 are currently developed and drain directly to the South Arroyo De Domingo Baca via a bar ditch that runs parallel with the Pan American Freeway. These historic flows shall remain upon future development.

IV. PROPOSED HYDROLOGIC CONDITIONS:
 The entire site will eventually be fully developed with commercial buildings, landscaped areas, and associated parking. Drainage will continue to outfall into the two locations as described in the existing conditions.

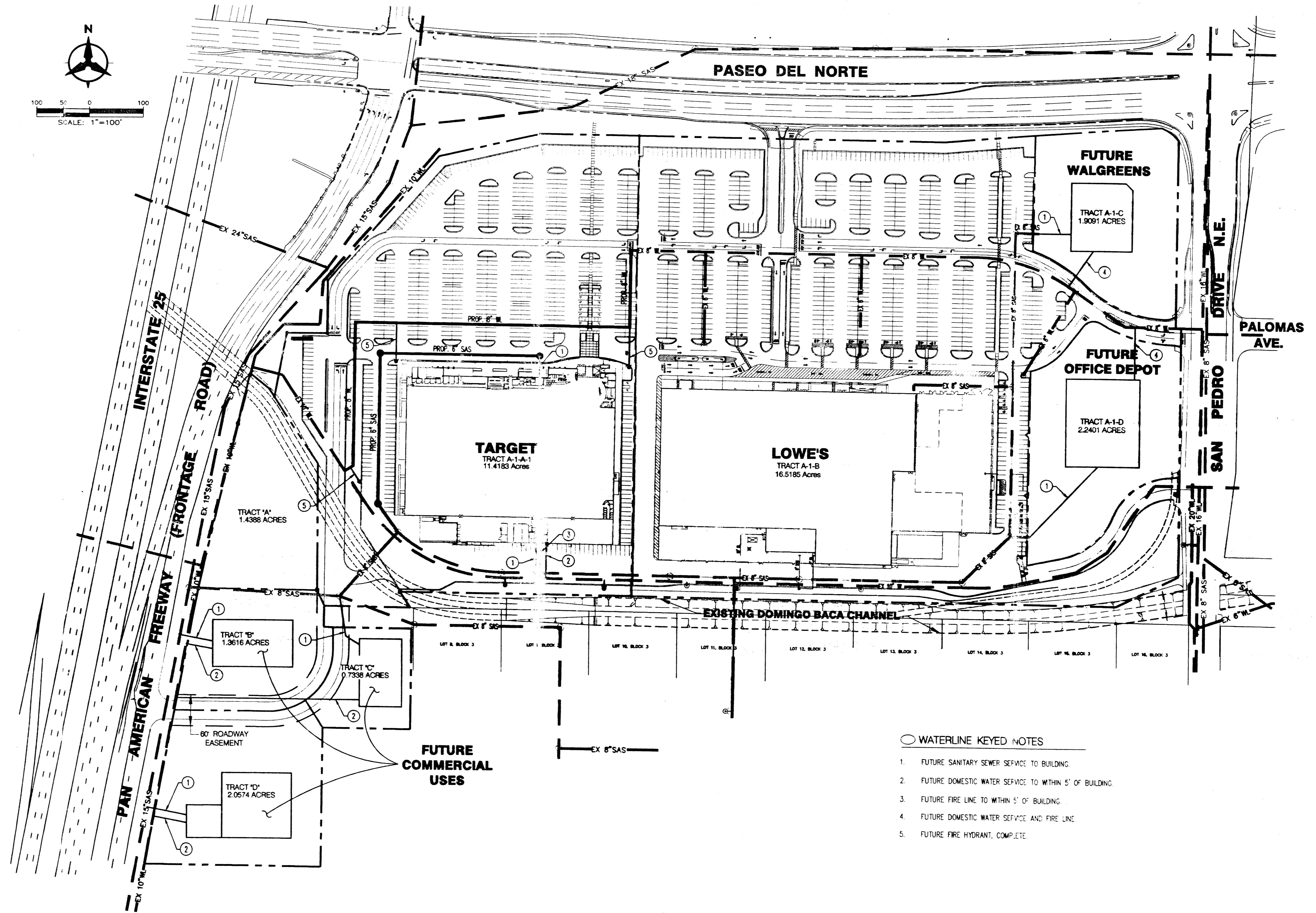
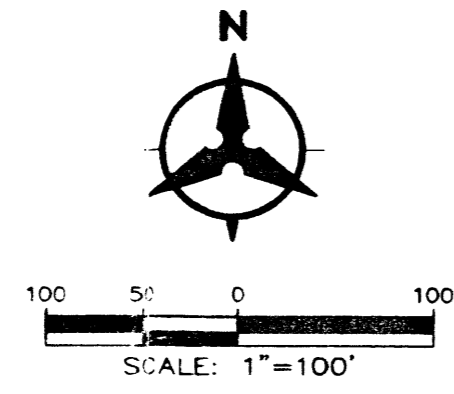
Separate hydrology submittals will be required for each tract prior to hydrology approval. Tracts A-1-A-1, A-1-B, A-1-C, and A-1-D will require submittals that comply with the approved drainage report.

The lots to the south of Tract A-1-A-1 will continue to outfall to the north into the South Arroyo De Domingo Baca. Upon updated development of these lots, historic flows shall be maintained. Hydrology submittals will be required for these lots for city approval.

V. CONCLUSION:
 This drainage submittal has been prepared in accordance with City of Albuquerque requirements. This plan clearly demonstrates the proposed grading and drainage concepts. The implementation of these concepts would result in the safe passage of the 100 year storm event. With this submittal we request hydrology department approval of the Conceptual Grading and Drainage Plan for Site Development Plan approved by the DRB.

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**SITE PLAN FOR SUBDIVISION
 LOS ANGELES CENTER**
 PREPARED FOR: LOWE'S H.I.W.
 CONCEPTUAL GRADING AND DRAINAGE PLAN



- WATERLINE KEYED NOTES
1. FUTURE SANITARY SEWER SERVICE TO BUILDING.
 2. FUTURE DOMESTIC WATER SERVICE TO WITHIN 5' OF BUILDING.
 3. FUTURE FIRE LINE TO WITHIN 5' OF BUILDING.
 4. FUTURE DOMESTIC WATER SERVICE AND FIRE LINE.
 5. FUTURE FIRE HYDRANT, COMPLETE.

Bohannon & Huston
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SITE PLAN FOR SUBDIVISION
 LOS ANGELES CENTER
 PREPARED FOR: LOWE'S H.I.W.
 CONCEPTUAL UTILITY PLAN

BHI PROJECT #: 00179