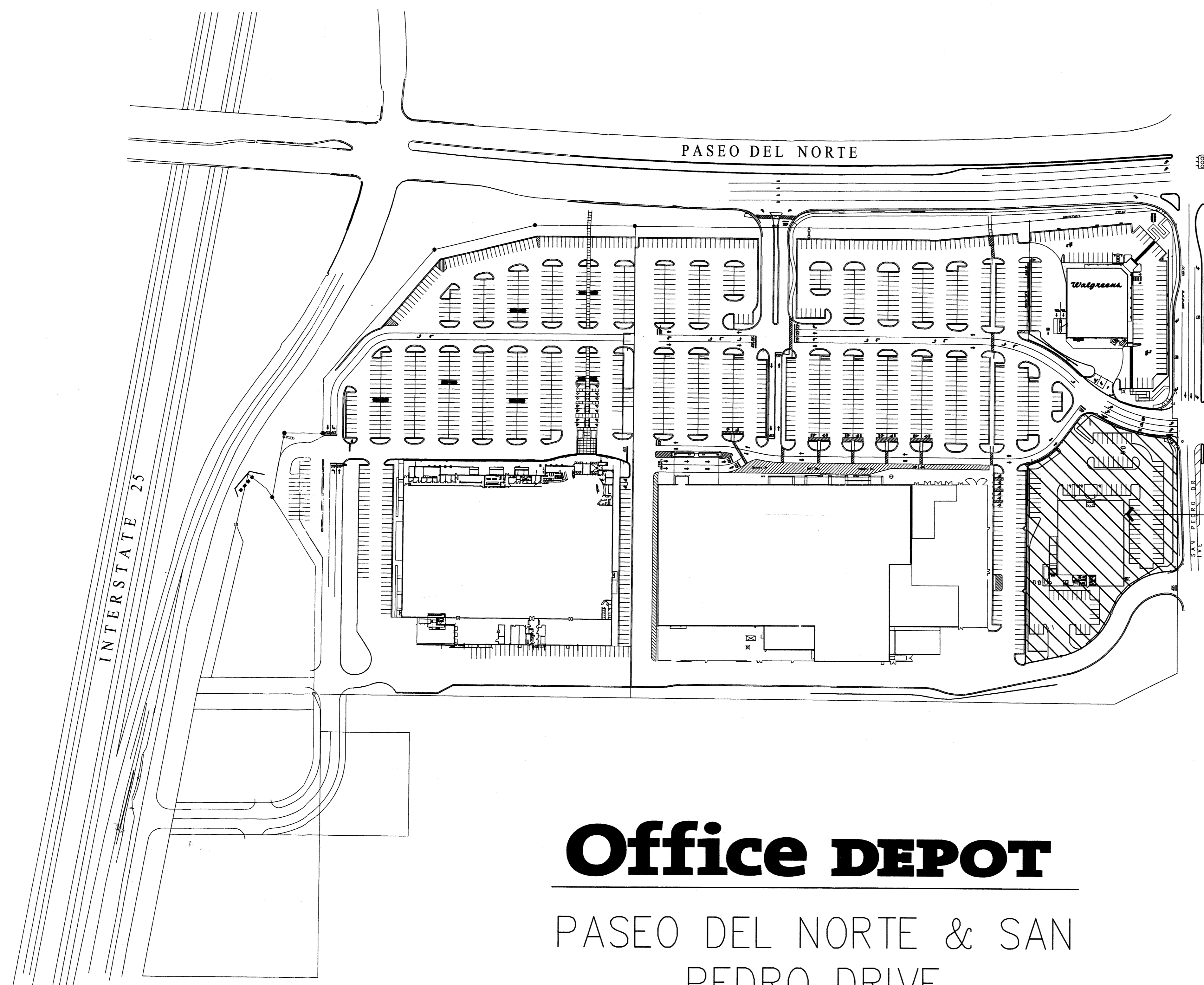


BARRY JAY GREENBERG ARCHITECT

2710 SUTTON BLVD
ST. LOUIS, MO 63143
PH: 314. 644. 1234
FAX: 314. 644. 4373

IN CONSULTATION WITH
ARCHITECTURAL DESIGN GUILD:

#1001446
Office Depot



SITE DIAGRAM NOTES

1. THIS SITE PLAN DUPLICATES OTHER PLANS AND ATLAS MAPS SHOWN ON SUBSEQUENT SHEETS. THIS PLAN SHOWN FOR REFERENCE ONLY.
2. THE LEGAL DESCRIPTION OF THE LOWE'S PLAT (#1001946) IS: "TRACT A-1-D, AS DESCRIBED ON THE PLAT OF TRACTS A-1-A, A-1-B, A-1-C, A-1-D & A-1-E, LOS ANGELES CENTER, FILED OF RECORD JANUARY 24, 2005 IN BOOK 2005G, PAGE 25, OFFICIAL RECORDS OF BERNALILLO COUNTY, NEW MEXICO"
3. ON MARCH 17, 2005 THE EPC APPROVED PROJECT 1001946/05EPC-00176, A SITE DEVELOPMENT PLAN FOR SUBDIVISION LOT A (LOS ANGELES CENTER); REMAINDER 28, 27, 22 & 6, BLOCK 2; LOT 5, 6, 7, 27 & 28, BLOCK 3, SAA TR. A UNIT A, LOCATED ON PASEO DEL NORTE BETWEEN INTERSTATE 25 AND SAN PEDRO DRIVE, ZONED M-1. THE SITE PLANS AND BUILDING ELEVATIONS HEREIN INDICATE INTENT TO AMEND THE TRACT A-1-D FOR THE DEVELOPMENT OF AN OFFICE DEPOT STORE. THE LOT IS 2.5 ACRES IN SIZE.

Office DEPOT

Office DEPOT

PASEO DEL NORTE & SAN PEDRO DRIVE
ALBUQUERQUE, NM

1 VICINITY MAP (ZONE ATLAS PAGE D-18)
11 SCALE: N.T.S.

DRAWING INDEX

- TITLE SHEET
T1 TITLE SHEET
- SITE PLAN
C1 SITE PLAN
- CIVIL & LANDSCAPING
C2 GRADING PLAN
C3 LANDSCAPING PLAN
C4 CONCEPTUAL UTILITIES PLAN
- ARCHITECTURAL
A1 EXTERIOR BUILDING ELEVATIONS
A9 SECTION AT PLANTER
A09 SITE DETAILS

Office DEPOT

Taking Care of Business

2200 Old Germantown Road
Delray Beach, FL 33445
TEL: 561/438-4800
FAX: 561/438-4178

TITLE SHEET

OFFICE DEPOT
LOS ANGELES CENTER
ALBUQUERQUE, NM

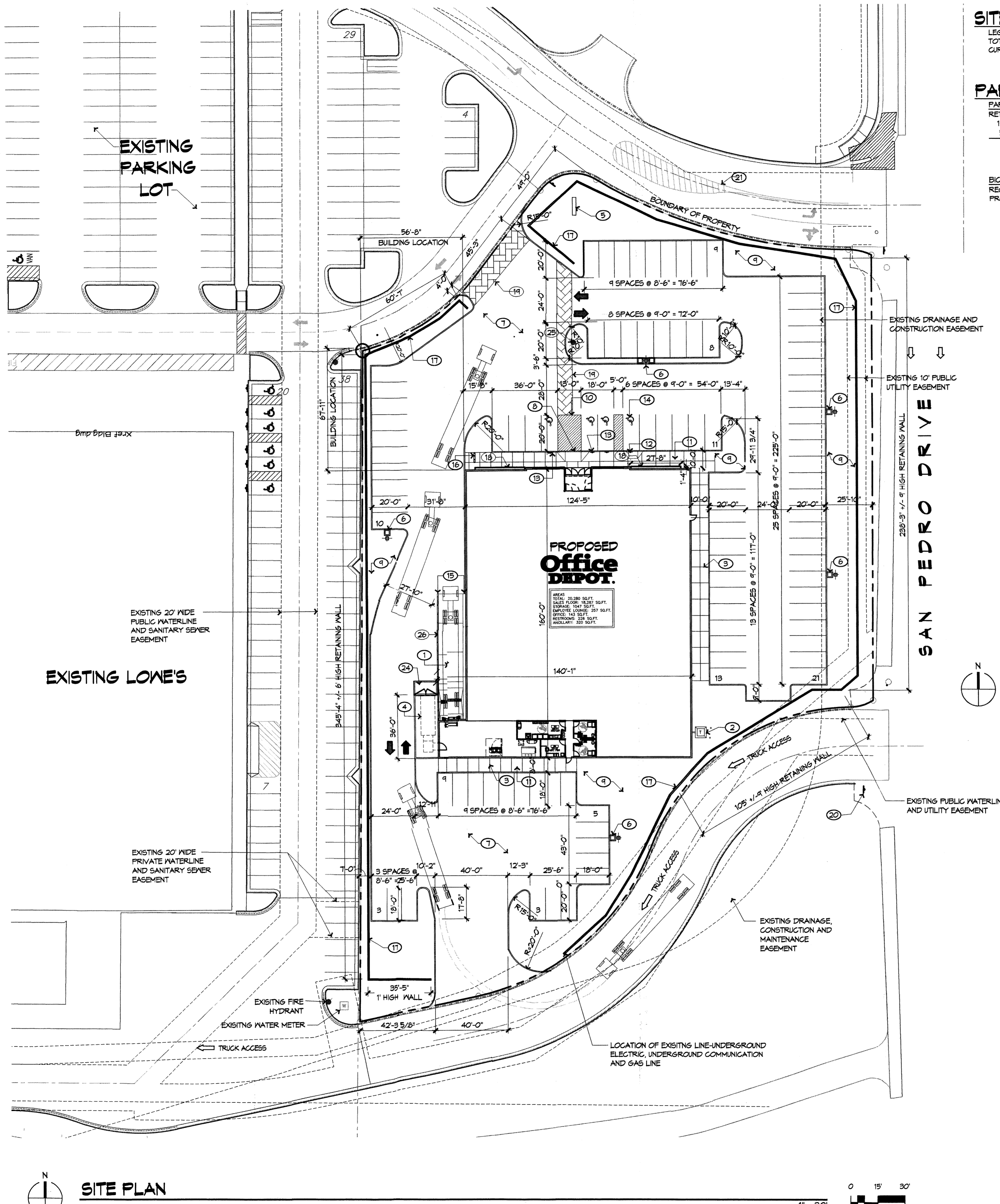
DATE	STORE NO.	JOB NUMBER	DRAWN BY
06.17.05	#04145	25-114	XXX
FLOOR AREA (NET)	TRAVEL/LOADS DCK	GROSS BLD SIZE	CHECK BY
-	-	20,280	XXX

T1

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SITE DATA

LEGAL DESCRIPTION: LOS ANGELES CENTER, TRACT A-1-D
 TOTAL LOT AREA: 2.5 ACRES
 CURRENT ZONING: M-1

PARKING DATA

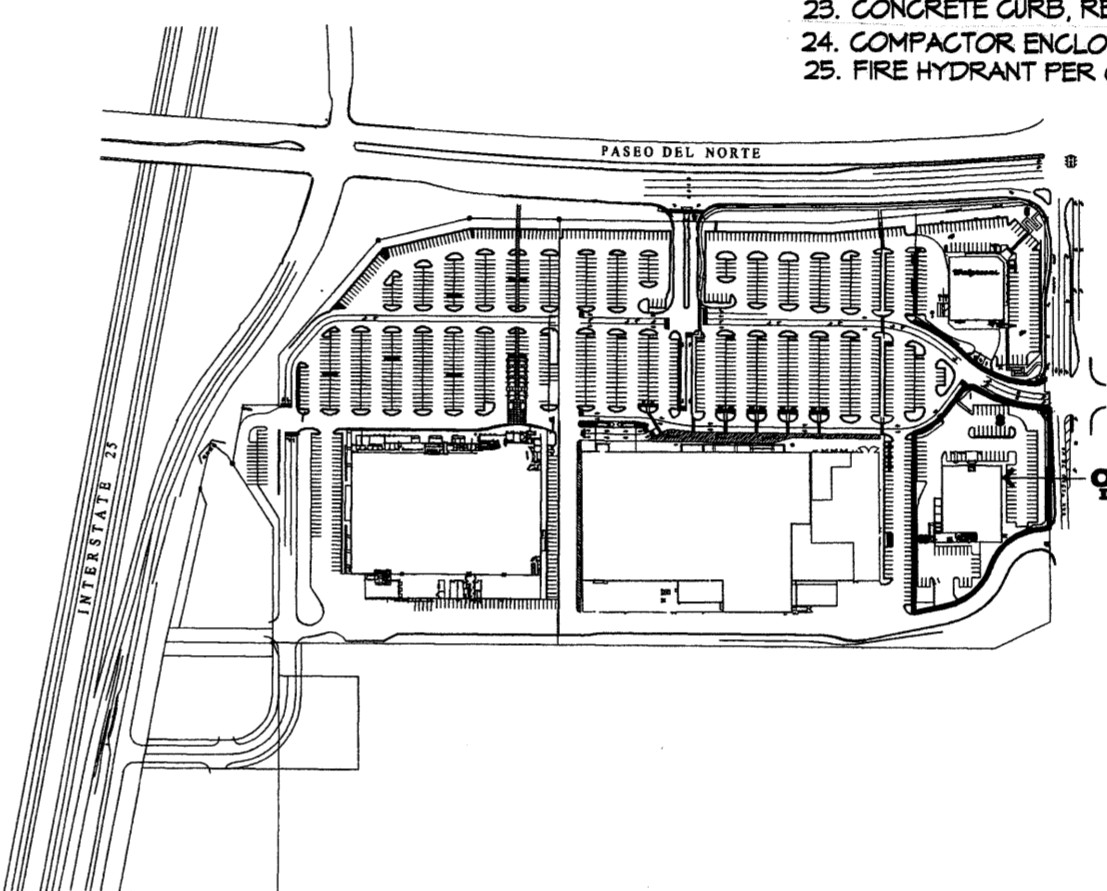
PARKING (2003 ALBUQUERQUE CITY ZONING CODE)
 RETAIL LEASABLE S.F. = 20,500 S.F.
 15,000/200 = 75 SPACES
 5,500/250 = 22 SPACES
 97 SPACES REQUIRED
 93 SPACES PROVIDED INCLUDING 4 HC ACCESSIBLE SPACES
 BICYCLE PARKING (2003 ALBUQUERQUE CITY ZONING CODE)
 REQUIRED: 75/20 = 4
 PROVIDED: = 4

GENERAL NOTES

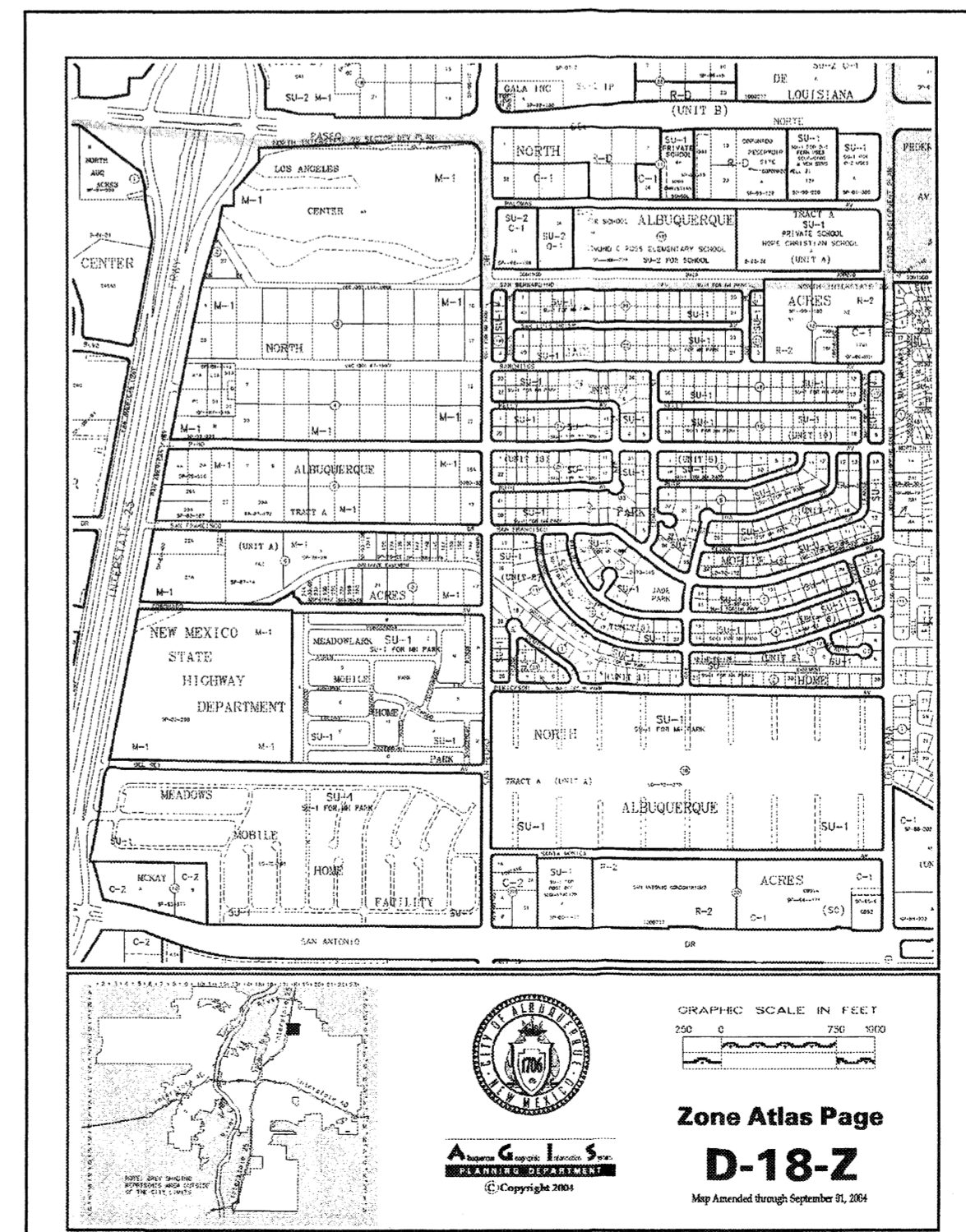
- A. RADI CENTER POINTS TO BE LOCATED BY MEASURING PERPENDICULAR TO THE ADJACENT STRAIGHT CURB LINE.
- B. DIMENSIONS ARE TO FACE OF CURB.
- C. IF LAYOUT DIFFERS SIGNIFICANTLY FROM CIVIL DRAWINGS, NOTIFY ARCHITECT IMMEDIATELY.
- D. ATTENTION SOLID WASTE DEPARTMENT: TENANT FOR THIS BUILDING WILL HAVE AN ON-SITE COMPACTOR.

KEYED NOTES

1. RECESSED LOADING DOCK, REFER TO CIVIL.
2. TRANSFORMER LOCATION, REFER TO CIVIL AND ELECTRICAL.
3. SIDEWALK WITH CONTROL JOINTS EVERY 6'-0", SEE DETAIL C1/A091.
4. TRASH COMPACTOR ON 6" REINFORCED CONCRETE SLAB. TRASH COMPACTOR PROVIDED BY OFFICE DEPOT.
5. MONUMENT SIGN, REFER TO B2/A091.
6. LIGHT POLES BY COOPER LIGHTING "LUCMARK-PHF" - 20 FOOT POLE WITH 250-WATT METAL HALIDE LAMP. SEE C2/A091.
7. ASPHALTIC PAVING OVER PREPARED SUBGRADE, REFER TO CIVIL.
8. ACCESSIBLE SIDEWALK RAMP, REF. C3/A091.
9. LANDSCAPED AREA, REF. TO LANDSCAPE PLANS.
10. ACCESSIBLE PARKING SPACE W/ LOADING ZONE, PAINT WITH 4" WIDE WHITE STRIPES AT 45° HATCH LINES AT 18" O.C.
11. CONCRETE WALK, REFER D2/A091.
12. ACCESSIBLE SIGN, REF. C5/A091.
13. VAN ACCESSIBLE SIGN, REFER C5/A091.
14. ADA PAVEMENT SIGNAGE, REFER TO C4/A091.
15. 4" DIA. MTL. BOLLARD, PAINT "MODERATE WHITE" REFER TO D5/A091.
16. BIKE RACK, PAINT "PRACTICAL BEIGE" REFER TO C4/A091.
17. RETAINING WALL CMU WITH STUCCO TO MATCH SHERWIN-WILLIAMS "PRACTICAL BEIGE" #5N100. VERIFY ACTUAL DIMENSIONS AND REQUIRED HEIGHT WITH CIVIL DRAWINGS. REFER TO A1/A091 & A2/A091.
18. 2'-4" HIGH RAISED BRICK PLANTER/SEATING W/ 6" WIDE PRECAST CONCRETE COPING, TYP BOTH SIDES OF ENTRANCE.
19. BOMANITE STAMPED CONCRETE PAVING, COLOR: "MEXICAN TILE" BC-1.
20. EXISTING STOP SIGN
21. EXISTING MEDIAN
22. CONCRETE CURB, REFER D1/A091.
23. CONCRETE CURB, REFER D3/A091.
24. COMPACTOR ENCLOSURE, REFER B5/A091.
25. FIRE HYDRANT PER COA STANDARDS, REFER TO PLUMBING SHEETS.



VICINITY MAP 1:320



BRB BARRY JAY GREENBERG ARCHITECT
 2710 SUTTON BLVD
 ST. LOUIS, MO 63143
 PH: 314. 644. 1234
 FAX: 314. 644. 4373

IN CONSULTATION WITH ARCHITECTURAL DESIGN GUILD:

PROJECT NUMBER: #1001946
 Application Number: 05 DRB-21047 - Mirror Site Dev. Plan
 This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 3/11/05, and the Findings and Conditions in the Official Notification of Decision are satisfied.
 Is an Infrastructure List required? () Yes (X) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.
 DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:
 [Signatures and dates for various departments: Transportation Division, Water Utility Department, Parks and Recreation Department, City Engineer, Environmental Health Department, Solid Waste Management, DRB Chairperson/Planning Department]

Office DEPOT
 Taking Care of Business
 2200 Old Germantown Road
 Delray Beach, FL 33445
 TEL: 561/438-4800
 FAX: 561/438-4178

REVISED SITE PLAN

OFFICE DEPOT
 LOS ANGELES CENTER
 ALBUQUERQUE, NM

DATE	STORE NO.	JOB NUMBER	DRAWN BY
09.06.05	#04145	25-114	AMC
FLOOR AREA (NET)	TRKWELL/ LOADING DOCK	GROSS BLD SIZE	CHECK BY
-	-	20,280	AMC

C1

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ST. LOUIS, MO 63143
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IN CONSULTATION WITH
ARCHITECTURAL DESIGN GUILD:

GENERAL NOTES

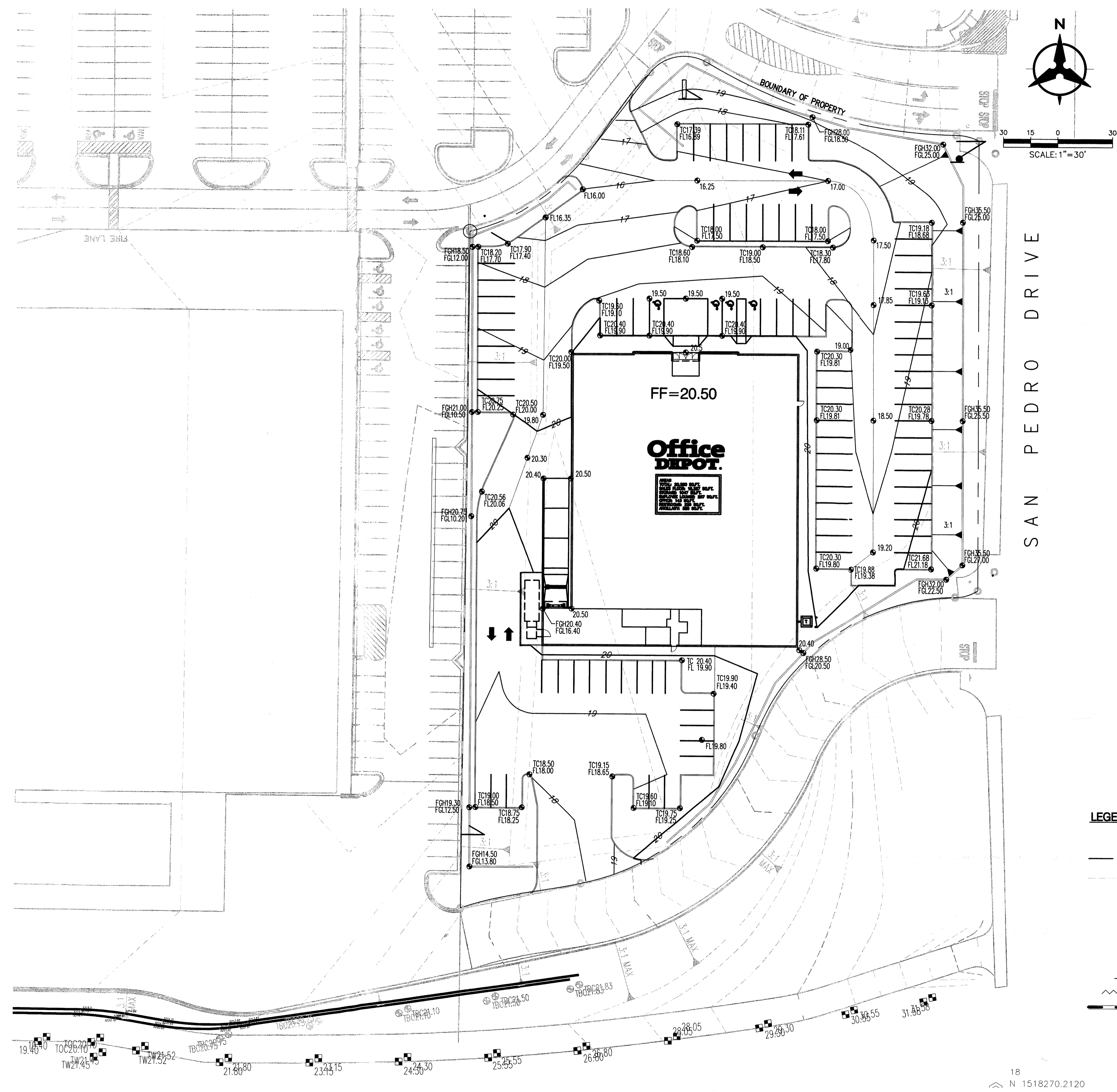
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10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADEING AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

LEGEND

	PROPERTY LINE		PROPOSED INDEX CONTOURS
	EXISTING CONTOURS		PROPOSED INTER CONTOURS
	EXISTING GROUND SPOT ELEVATION		PROPOSED CURB & GUTTER
	EXISTING ELECTRICAL POLE		EASEMENT
	PROPOSED SPOT ELEVATION		EXISTING TREE
	TO-TOP OF CURB, FL-FLOW LINE		PROPOSED LIGHTING
	FGH-TOP OF WALL, FGL-BOTTOM OF WALL		PROPOSED STORM DRAIN LINE
	EX-EXISTING, TG-TOP OF GRADE		PROPOSED STORM DRAIN MANHOLE
	PROPOSED DIRECTION OF FLOW		PROPOSED STORM DRAIN INLET
	WATER BLOCK		EXISTING STORM DRAIN MANHOLE
	PROPOSED RETAINING WALL		



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Thu, 16-Jun-2006 - 10:59:am, Plotted by: JWCOTEN

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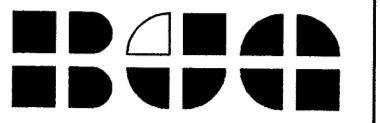
GRADING & DRAINAGE PLAN

OFFICE DEPOT
 7901 SAN PEDRO DRIVE NE
 ALBUQUERQUE, NM 87109

DATE	STORE NO.	JOB NUMBER	DRAWN BY
	#04145	25-114	
FLOOR AREA (NET)	TRIMWELL/ LDRG DCK	GROSS BLD SIZE	CHECK BY
		20,280	

C2

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GREENBERG
ARCHITECT

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ST. LOUIS, MO 63143
PH: 314.644.1234
FAX: 314.644.4373

IN CONSULTATION WITH
ARCHITECTURAL DESIGN GUILD:

PLANT LEGEND

- ASH (M) 7 OR HONEY LOCUST (M) 10
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal. 60" Tall, 60" Canopy
- CHASTE TREE (M) 3
Vitex angustifolia
2" Cal. 20' Tall, 20' Canopy
- FLOWERING FEAR (M+) 12
Pyrus calleryana
2" Cal. 20-25' Tall, 10-15' Canopy
- APACHE PLUME (L) 27
Falugia paradoxa
5 Gal. 25sf
- ROSEMARY (M) 53
Rosmarinus officinalis
5 Gal. 4sf
- SHRUB CINQUEFOIL (M) 41
Potentilla fruticosa
2 Gal.
- HALL'S HONEYSUCKLE (M) 97
Japonica Halliana
1 Gal. 144sf
Unstaked-Groundcover
- RED YUCCA (L) 47
Hesperaloe parviflora
5 Gal. 4sf
- CHAMISA (L) 24
Chrysothamnus nauseosus
1 Gal. 25sf
- MAIDENGRASS (M) 51
Miscanthus sinensis
5 Gal. 16sf
- REGAL MIST (M) 35
Muhlenbergia capillaris
5 Gal. 4sf
- THREADGRASS (M) 111
Stipa tenuissima
1 Gal. 4sf
- GREYLEAF COTONEASTER (M) 27
Cotoneaster buxifolius
5 Gal. 21sf
Symbol indicates 3 plants
- COMMERCIAL GRADE
STEEL EDGING
- 3/4" GRAY GRAVEL
WITH FILTER FABRIC

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Grey Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

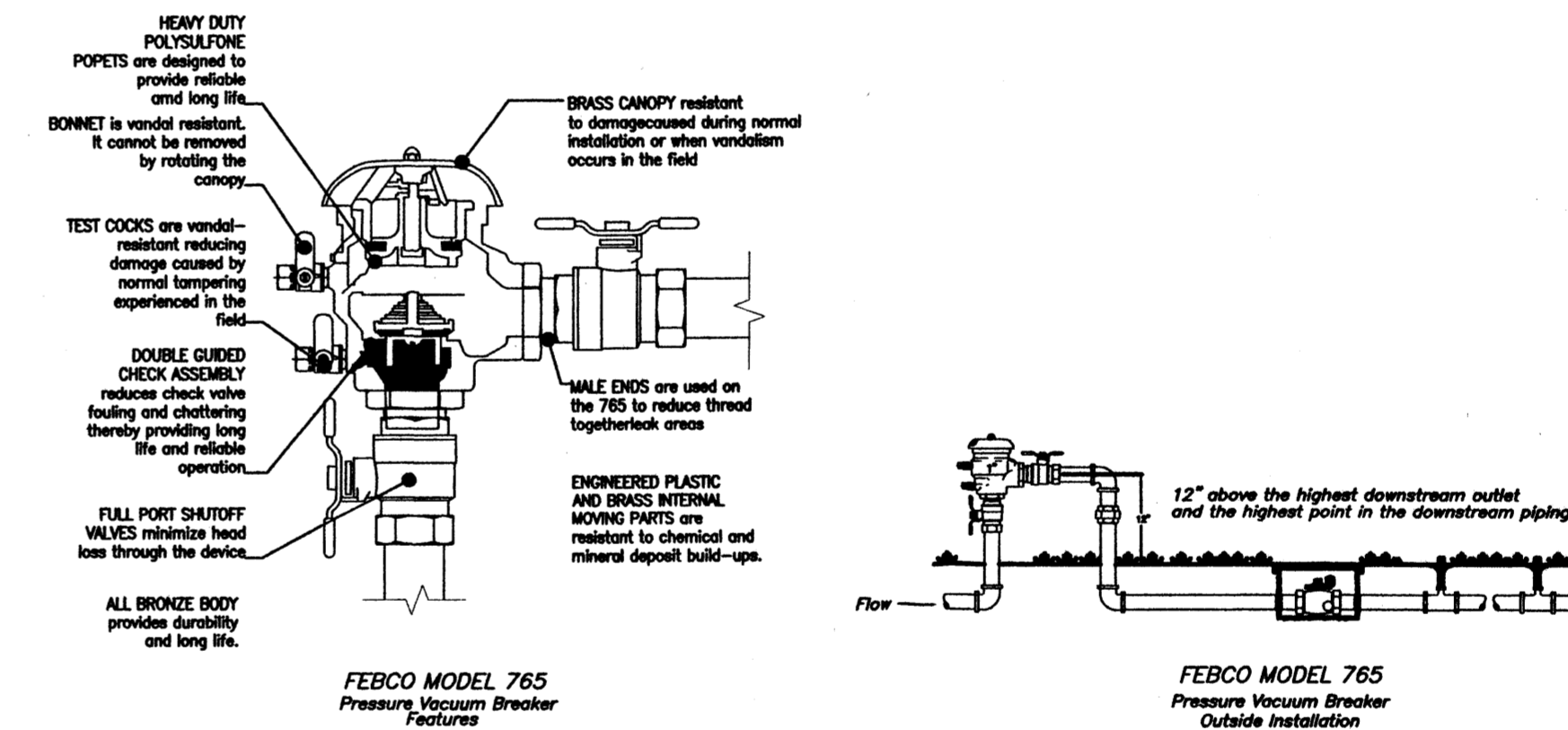
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.

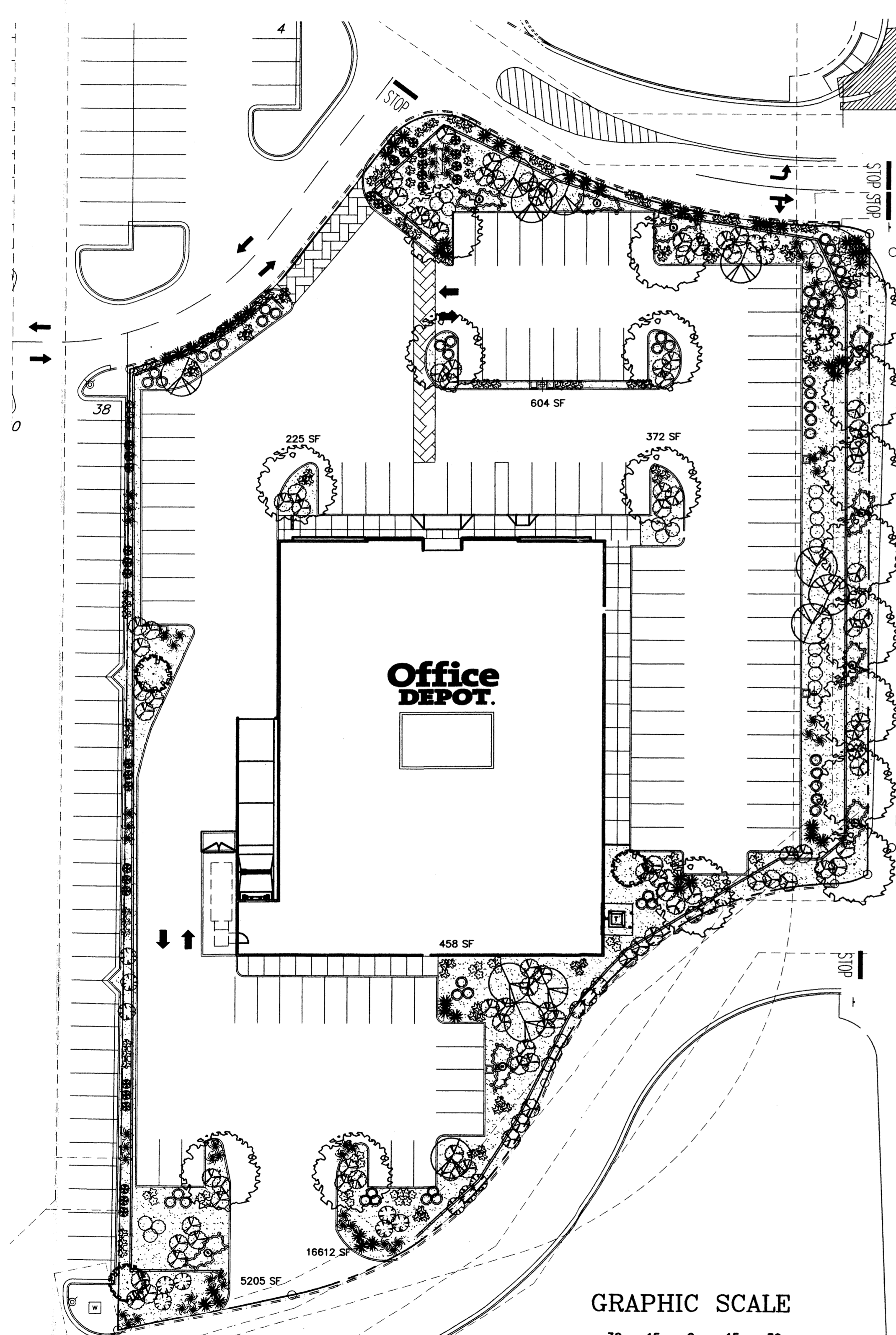
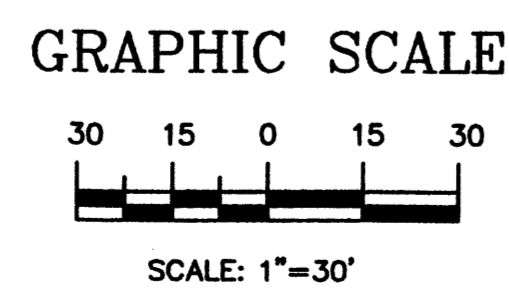


BACKFLOW PREVENTER DETAIL

no scale

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	98076	square feet
TOTAL BUILDINGS AREA	20280	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	77796	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	11669	square feet
TOTAL BED PROVIDED	23945	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	17959	square feet
TOTAL GROUNDCOVER PROVIDED	20328 (85%)	square feet
TOTAL LANDSCAPE PROVIDED	23945	square feet



The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cjohnson@hilltoplandscaping.com



Office DEPOT
Taking Care of Business
2200 Old Germantown Road
Dolray Beach, FL 33445
TEL: 561/438-4800
FAX: 561/438-4178

REVISED LANDSCAPE PLAN

OFFICE DEPOT
LOS ANGELES CENTER
ALBUQUERQUE, NM

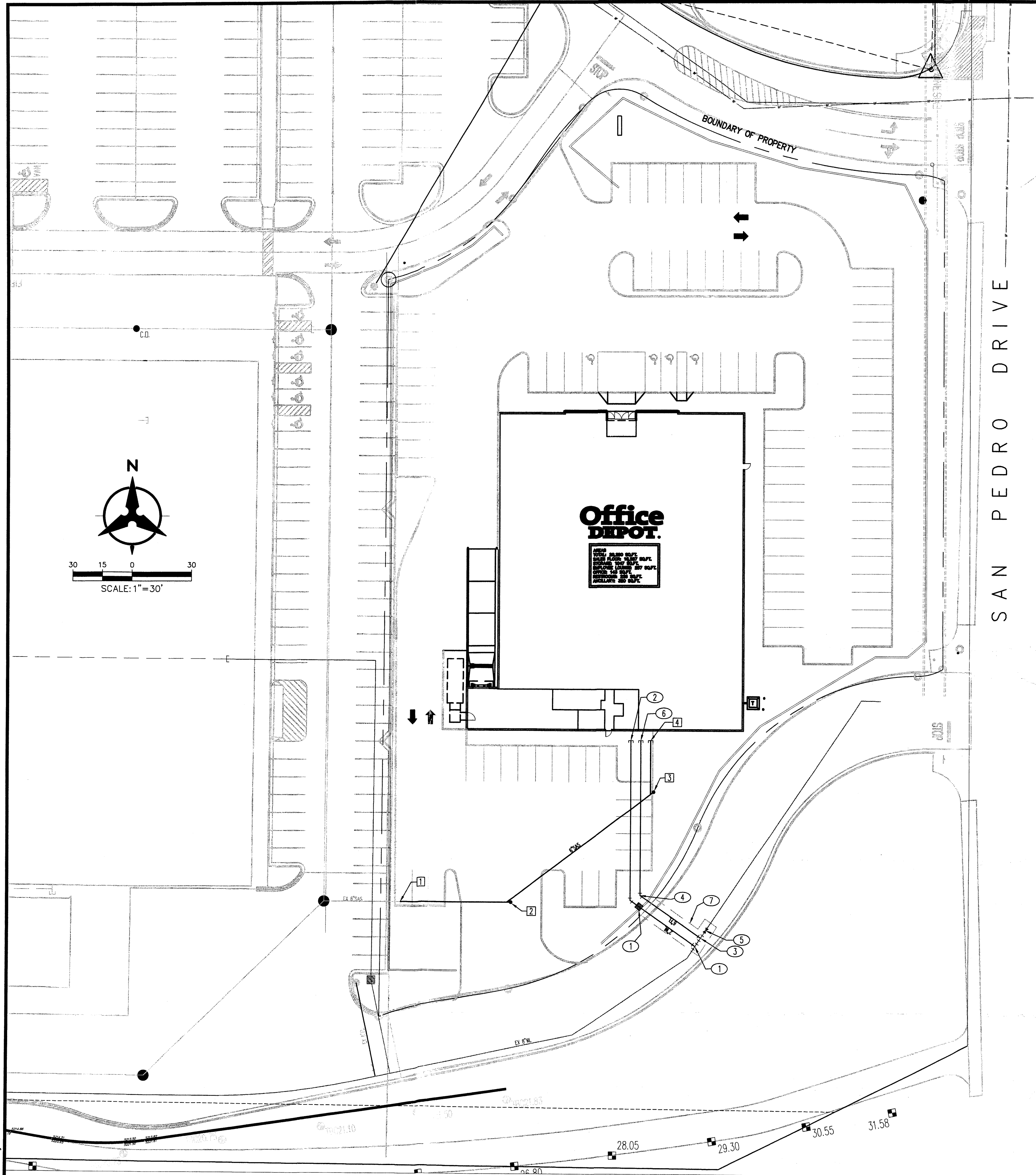
DATE	STORE NO.	JOB NUMBER	DRAWN BY
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-	-	20,280	

C3

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9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE ADJACENT PROPERTY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT PROPERTY.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

UTILITY NOTES

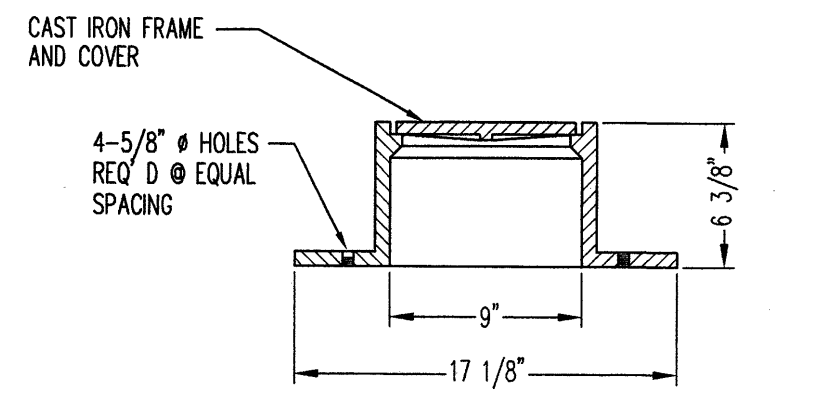
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (+0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
11. CONTRACTOR SHALL PREPARE ALL SUBMITTAL MATERIALS & PAY APPLICABLE FEES REQUIRED TO OBTAIN THE "MINI WORK ORDER" REQUIRED FOR CONNECTION TO THE EXISTING CITY WATER MAIN AND OTHER "PUBLIC" WATER LINE CONSTRUCTION.

WATERLINE KEYED NOTES

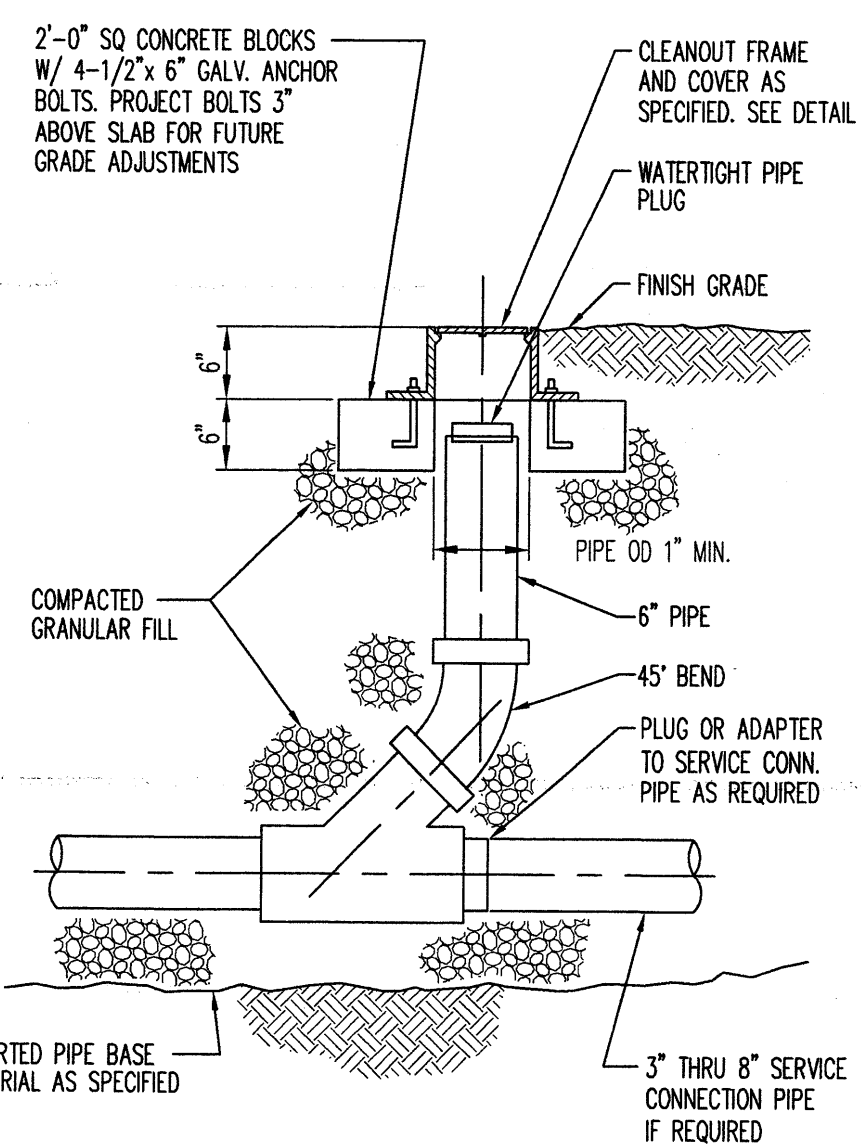
1. INSTALL 2" METERED DOMESTIC WATER SERVICE AS PER COA STD DWG 2363. CONTRACTOR SHALL PAY ALL CITY FEES ASSOCIATED WITH WATER SERVICE INSTALLATION. (SEE UTILITY NOTE #11)
2. REFERENCE MEP PLANS FOR CONTINUATION OF 2" WATER LINE.
3. INSTALL 8"x6" TEE AND 6" GATE VALVE. GATE VALVE PER COA STD DWGS 2326 & 2328. (SEE UTILITY NOTE #11)
4. INSTALL 6" 45° BEND WITH BLOCKING.
5. INSTALL NEW 8" GATE VALVE ON EXISTING 8" WATER LINE. (SEE UTILITY NOTE #11)
6. REFERENCE MEP PLANS FOR CONTINUATION OF 6" FIRE LINE. BACKFLOW PREVENTION INSIDE BUILDING.
7. SAWCUT, REMOVE, AND REPLACE EXISTING PAVEMENT TO MEET OR EXCEED EXISTING CONDITIONS.

SANITARY SEWER KEYED NOTES

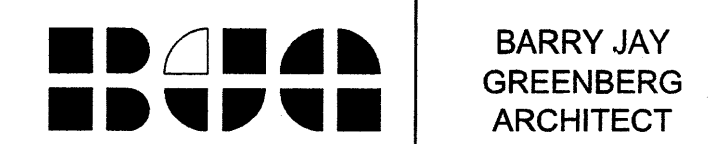
1. TIE PROPOSED 6" SANITARY SEWER SERVICE INTO EXISTING 6" SANITARY SEWER LINE. INV=5203.60±.
2. INSTALL WYE AND CLEANOUT (SEE DETAIL THIS SHEET).
3. INSTALL WYE AND CLEANOUT (SEE DETAIL THIS SHEET).
4. SEE MEP PLANS FOR CONTINUATION OF 6" SANITARY SEWER SERVICE.



CLEANOUT FRAME & COVER
N.T.S.



CLEANOUT
N.T.S.



2710 SUTTON BLVD
ST. LOUIS, MO 63143
PH: 314.644.1234
FAX: 314.644.4373

IN CONSULTATION WITH
ARCHITECTURAL DESIGN GUILD:

Office DEPOT
Taking Care of Business

2200 Old Germantown Road
Delray Beach, FL 33445
TEL: 561/438-4800
FAX: 561/438-4178

CONCEPTUAL
UTILITIES PLAN

OFFICE DEPOT
7901 SAN PEDRO DRIVE NE
ALBUQUERQUE, NM 87109

DATE	STORE NO.	JOB NUMBER	DRAWN BY
06.17.05	#04145	25-114	RMM
FLOOR AREA (NET)	TAKWELL/ LPSNG BCK	GROSS BLD SIZE	CHECK BY
-	-	20,280	JTW

Bohannon & Huston
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

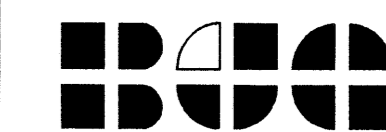
C4

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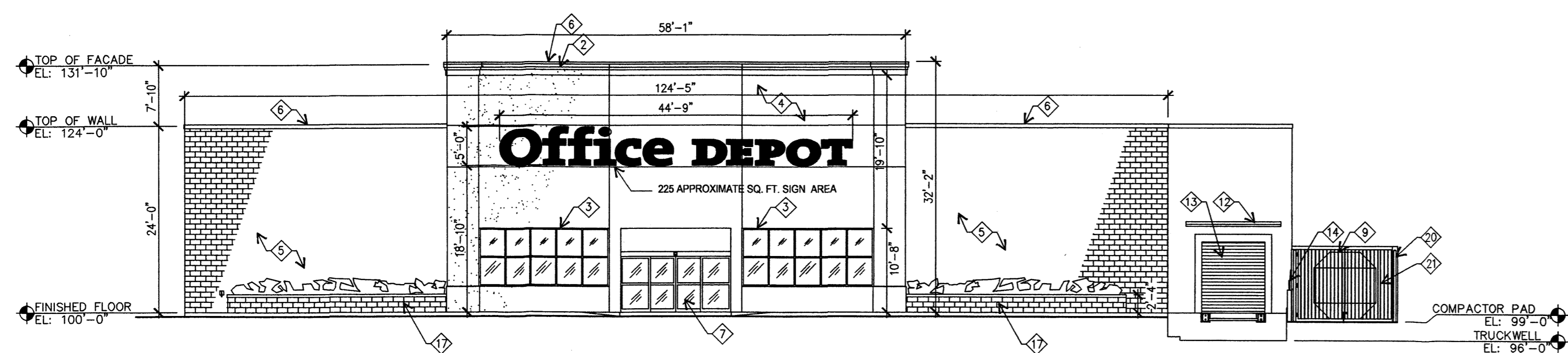
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Thu, 16-Jun-2005 - 11:03:am, Plotted by: JWOOTEN



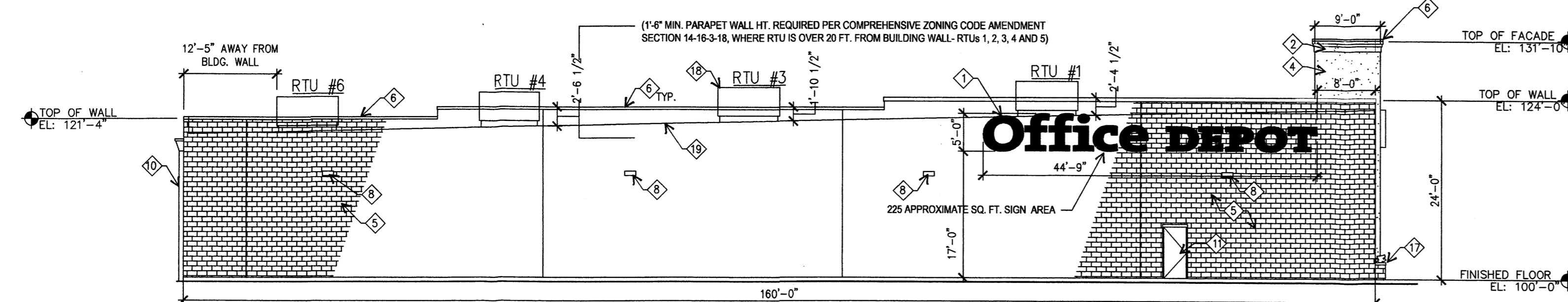
BARRY JAY
GREENBERG
ARCHITECT

2710 SUTTON BLVD
ST. LOUIS, MO 63143
PH: 314.644.1234
FAX: 314.644.4373

IN CONSULTATION WITH
ARCHITECTURAL DESIGN GUILD:



1 FRONT ELEVATION (NORTH- MAJOR FACADE)
SCALE: 3/32" = 1'-0"



2 SIDE ELEVATION (EAST)
SCALE: 3/32" = 1'-0"

ELEVATION GENERAL NOTES

- ALL EXTERIOR TENANT SIGNS SHOWN ARE ELECTRICALLY ILLUMINATED AT SUNDOWN HOURS OF STORE OPERATION. ALL TENANT SIGNS ARE COLORED RED.
- LANDSCAPING VEGETATION SPECIES IS NOT YET KNOWN. PLANTS SHOWN (NORTH ELEVATION) ARE REPRESENTATIONAL ONLY.

ELEVATION FACADE AREAS

NORTH ELEVATION:
FACADE AREA 1: 24' X 124'-5" = 3,010 SF
FACADE AREA 2 (PARAPET ABOVE MASONRY WALL): 7'-10" X 58'-1" = 461 SF
TOTAL AREA OF FACADE: 3,471 SF
AREA OF SIGNAGE: 225 SF
TOTAL PERCENTAGE OF SIGNAGE AT FACADE: 225/3,471 = .064, OR 6%

EAST ELEVATION:
FACADE AREA: 160' X 24" = 3,840 SF
AREA OF SIGNAGE: 225 SF
TOTAL PERCENTAGE OF SIGNAGE AT FACADE: 225/3,840 = .058, OR 6%

WEST ELEVATION:
SAME AS EAST ELEVATION

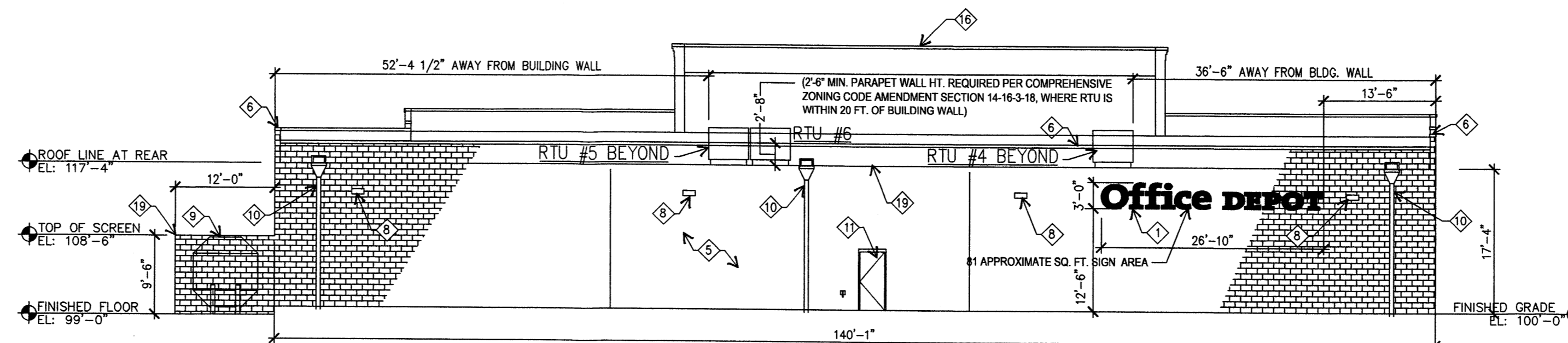
SOUTH ELEVATION:
FACADE AREA 1 (WALL AT COMPACTOR): 9'-6" X 12" = 114 SF
FACADE AREA 2: 140'-1" X 17'-4" = 2,800 SF
AREA OF SIGNAGE: 81 SF
TOTAL PERCENTAGE OF SIGNAGE AT FACADE: 81/2,800 = .028, OR 3%

ELEVATION KEY NOTES

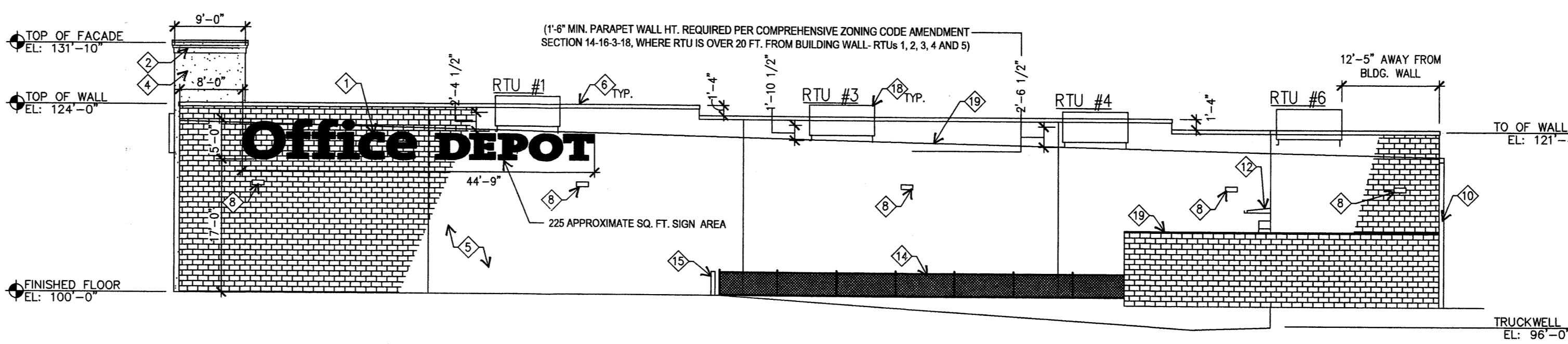
- PROPOSED OFFICE DEPOT SIGNAGE PER CODE ALLOWANCES.
- E.F.S. CORNICE (E-2)
- CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM AND GLAZING
- E.I.F.S. FACADE (E-1)
- SMOOTH FACE CONCRETE MASONRY UNITS, PAINT EP-2.
- METAL COPING, PAINT EP-3.
- CLEAR ANODIZED AUTOMATIC SLIDING DOOR.
- WALL MOUNTED SECURITY LIGHT FIXTURES
- COMPACTOR AND RECYCLE CONTAINER.
- SCUPPERS AND DOWNSPOUTS, PAINTED EP-1 TO MATCH ADJACENT WALL.
- DOOR AND FRAME PAINT EP-3.
- METAL HOOD TO BE PAINTED EP-1.
- OVERHEAD LOADING DOOR (CHECK COLOR IN SPEC)
- GALVANIZED CHAIN LINK FENCE AND POSTS AT TRUCK WELL RETAINING WALL
- PIPE BOLLARDS TO BE PAINTED EP-1.
- FACADE PARAPET BEYOND
- CONTINUOUS RAISED PLANTERS, PER COMPREHENSIVE ZONING CODE AMENDMENT SECTION 14-16-3-18, PART 2.
- ROOF TOP HVAC UNIT, SCREENED PER REQUIREMENTS OF THE COMPREHENSIVE ZONING CODE AMENDMENT SECTION 14-16-3-18, PART 5.
- ROOF LINE BEYOND PARAPET WALL
- MASONRY COMPACTOR SCREEN WALL TO MATCH EXTERIOR BUILDING WALL.
- METAL GATES COMPACTOR ENCLOSURE GATES, PAINTED TO MATCH EXTERIOR WALL.

MATERIAL SCHEDULE

EXTERIOR PAINT & E.I.F.S. SYSTEM	
EP-1	EXTERIOR PAINT 'POSITIVE RED' (LOCATION: BOLLARDS)
EP-2	EXTERIOR PAINT 'MODERATE WHITE' (LOCATION: ELEVATION WALLS, METAL COPING)
EP-3	EXTERIOR PAINT 'PRACTICAL BEIGE' (LOCATION: METAL COPING, EXT. DOOR & DOOR FRAME, OVERHEAD SECTIONAL DOOR)
E-1	INHERENT COLOR TO MATCH EXTERIOR PAINT COLOR EP-2
E-2	INHERENT COLOR TO MATCH EXTERIOR PAINT COLOR EP-3



3 REAR ELEVATION (SOUTH)
SCALE: 3/32" = 1'-0"



4 SIDE ELEVATION (WEST)
SCALE: 3/32" = 1'-0"

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FAX: 561/438-4178

EXTERIOR ELEVATIONS

OFFICE DEPOT
LOS ANGELES CENTER
ALBUQUERQUE, NM

DATE	STORE NO.	JOB NUMBER	DRAWN BY
06.17.05	#04145	25-114	XXX
FLOOR AREA (NET)	TRUCKWELL/ LTRNG DCK	GROSS BLD SIZE	CHECK BY
-	-	20,280	XXX

A1

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ARCHITECTURAL
DESIGN GUILD

2710 SUTTON BLVD
ST. LOUIS, MO 63143
PH: 314.644.1234
FAX: 314.644.4373
WEB: www.adgdl.com

ARCHITECTURE
INTERIOR DESIGN
STORE PLANNING
ENGINEERING

2005 EDITION VERSION 1.0 - 2/1/05

ISSUES

SYMBOL	DATE	BY	DESCRIPTION
	08/01/05		ISSUED FOR PERMIT

Office Depot Approval Stamp

Office DEPOT
Taking Care of Business

2200 Old Germantown Road
Daytona Beach, FL 32145
TEL: 561/438-4800
FAX: 561/438-4178

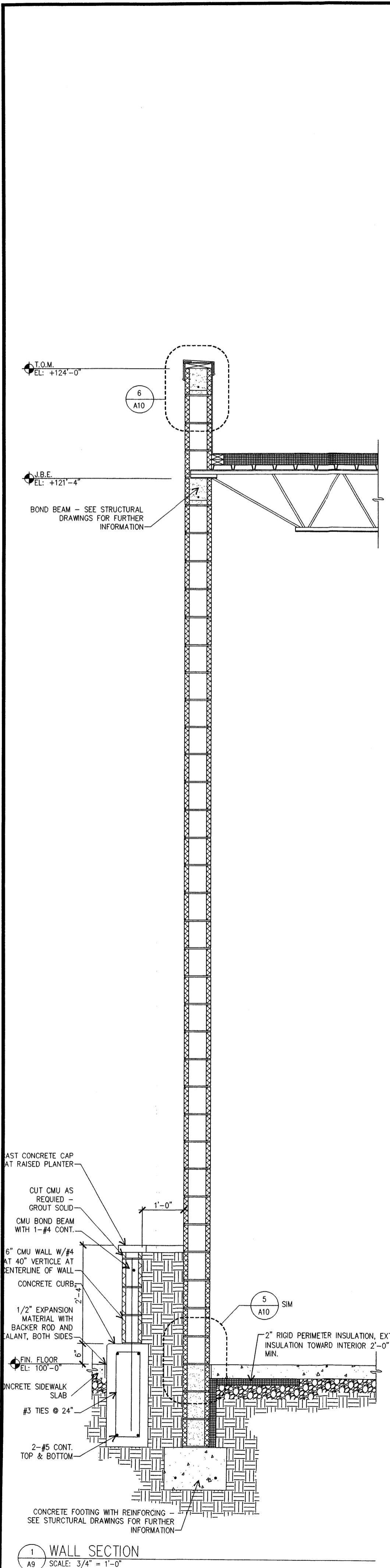
WALL SECTIONS
AND DETAILS

PASEO DEL NORTE &
SAN PEDRO DRIVE
ALBUQUERQUE, NM

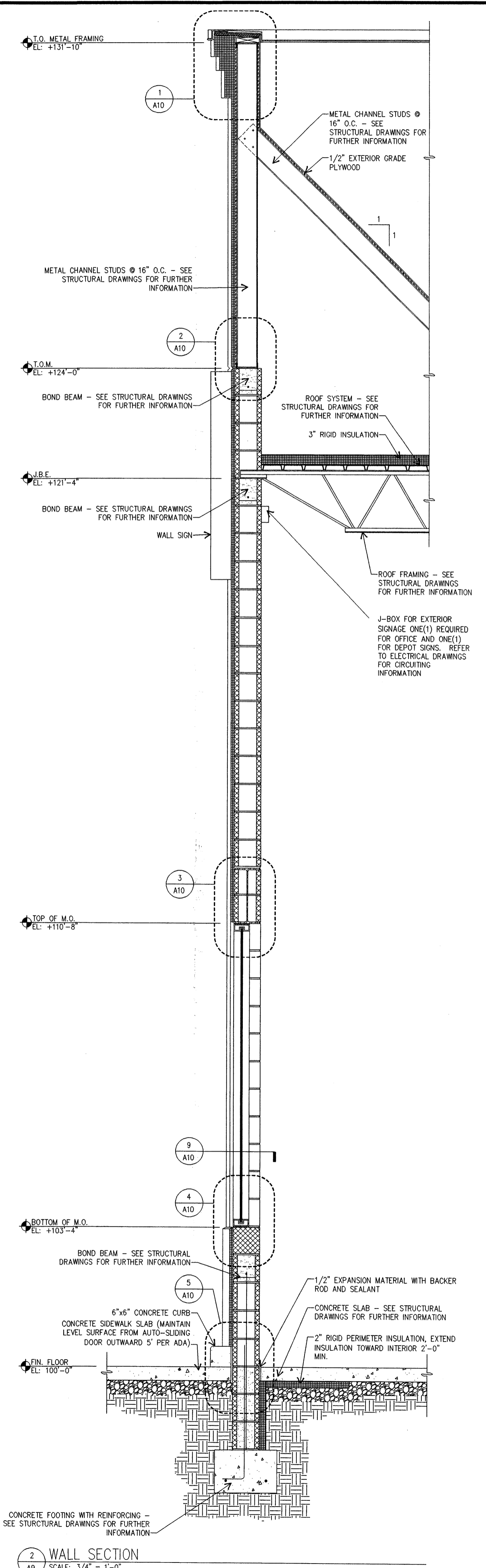
DATE	JOB NUMBER	DRAWN BY
06.17.05	25-114	NLS
STORE NO.	GROSS BLD. SQ. FT.	CHECK BY
240300	20,280	SRE

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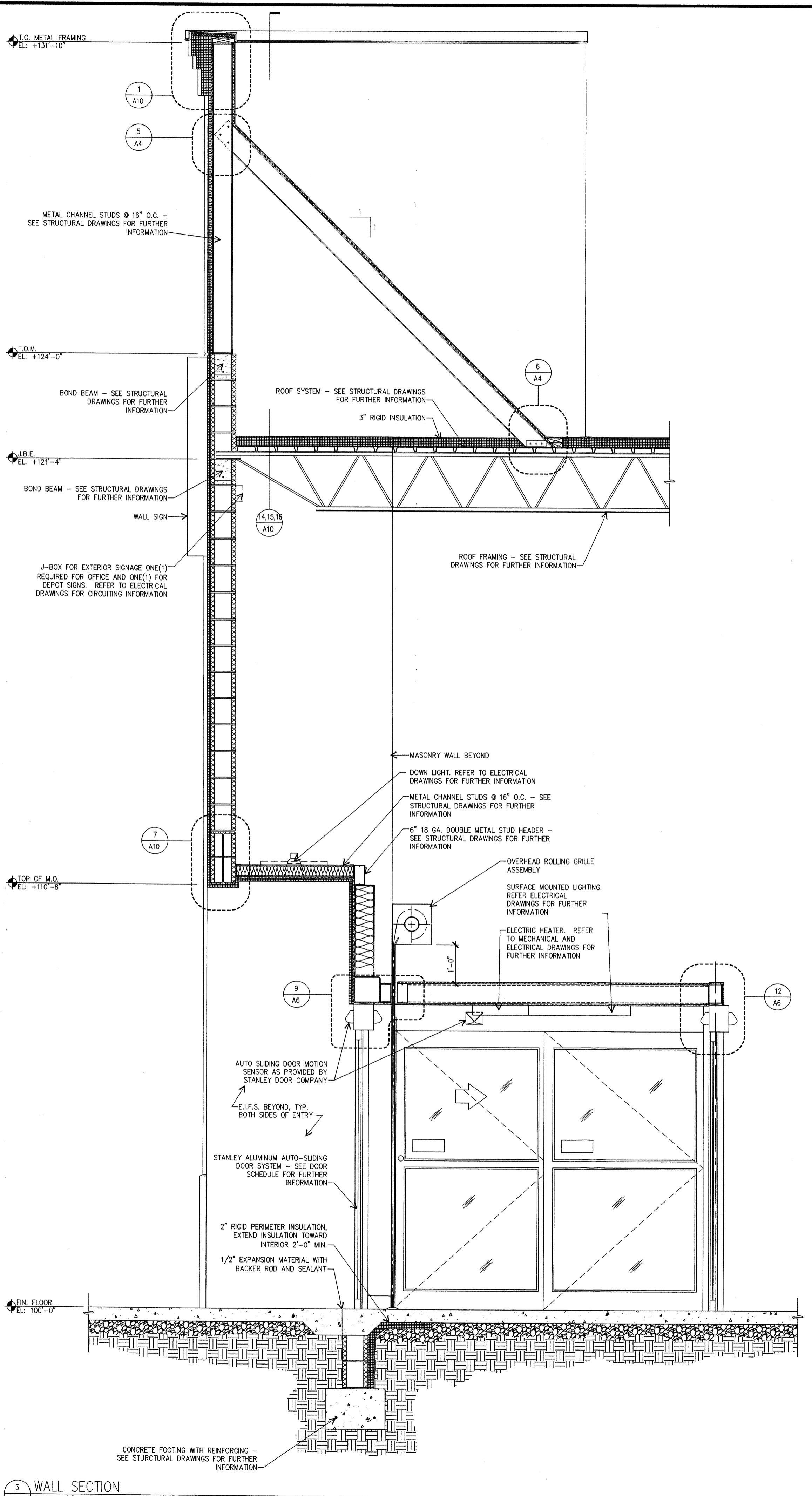
A9



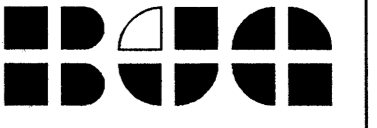
1 WALL SECTION
A9 SCALE: 3/4" = 1'-0"



2 WALL SECTION
A9 SCALE: 3/4" = 1'-0"



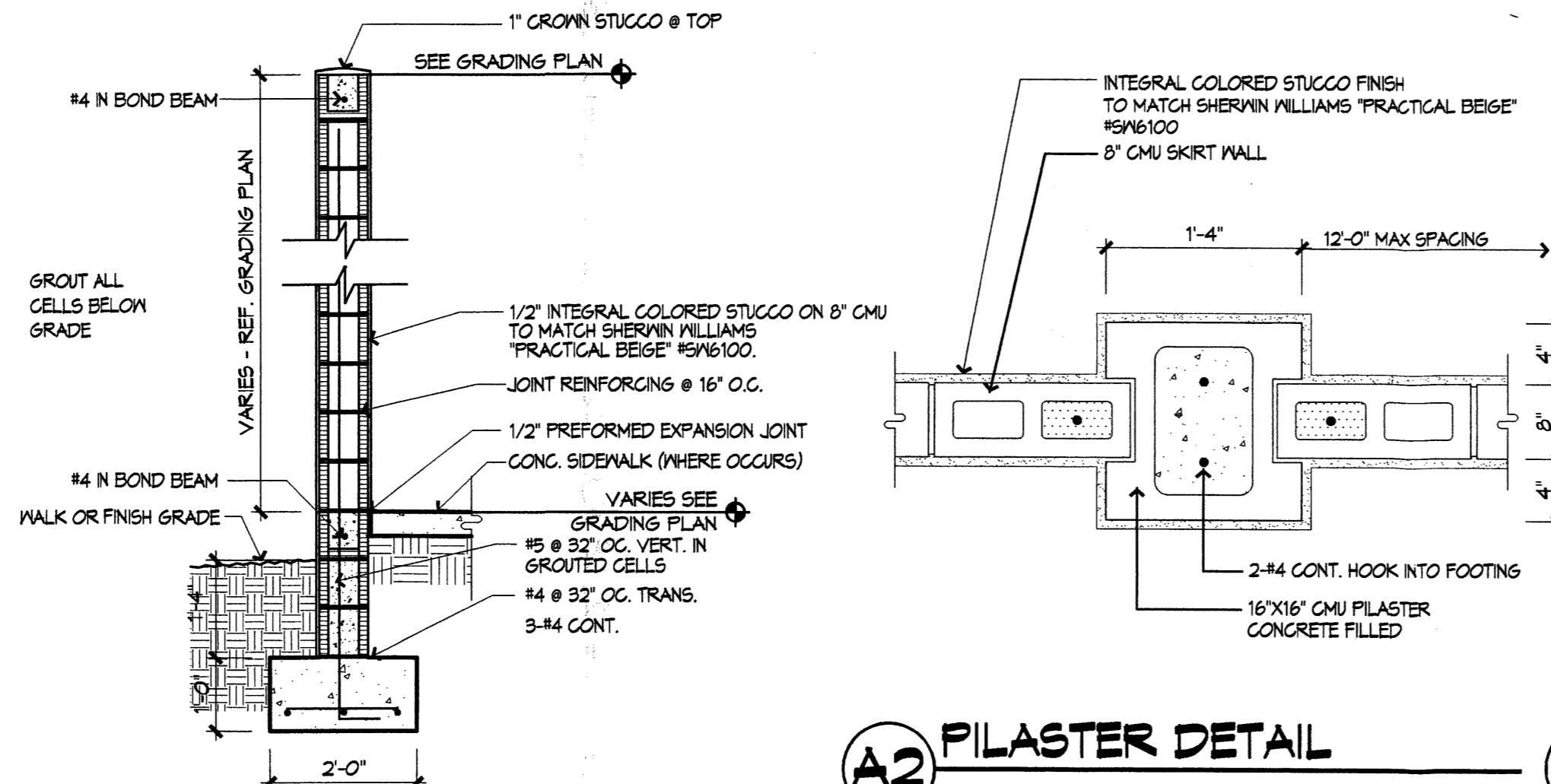
3 WALL SECTION
A9 SCALE: 3/4" = 1'-0"



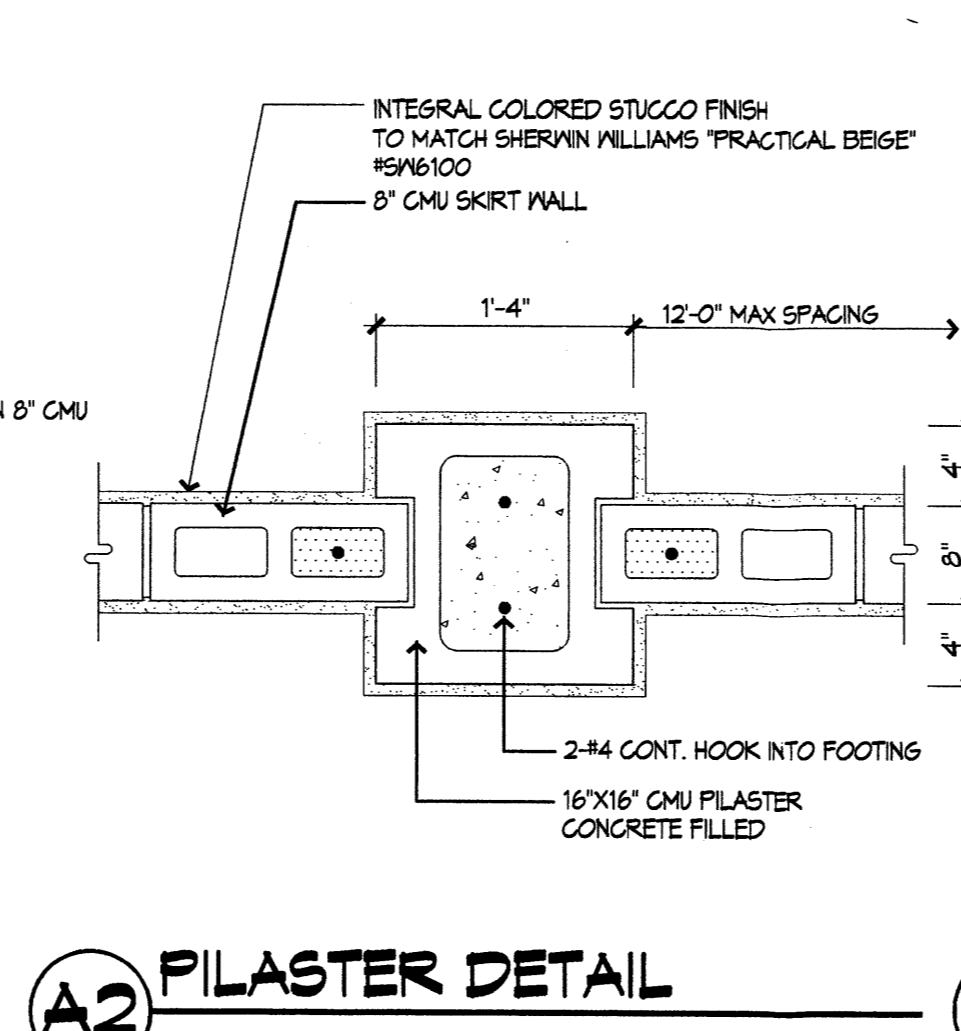
BARRY JAY GREENBERG ARCHITECT

2710 SUTTON BLVD
ST. LOUIS, MO 63143
PH: 314. 644. 1234
FAX: 314. 644. 4373

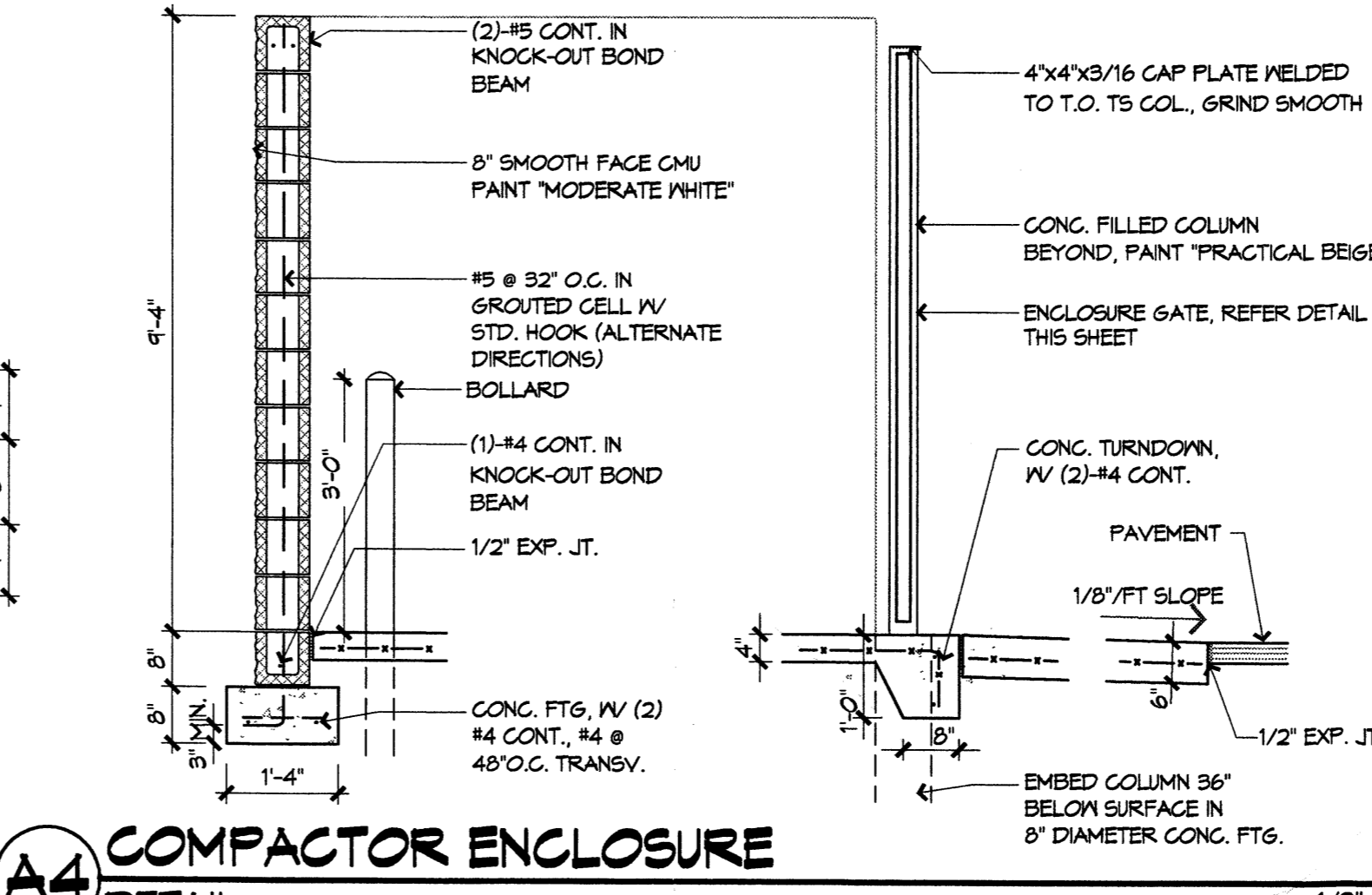
IN CONSULTATION WITH
ARCHITECTURAL DESIGN GUID: [REDACTED]



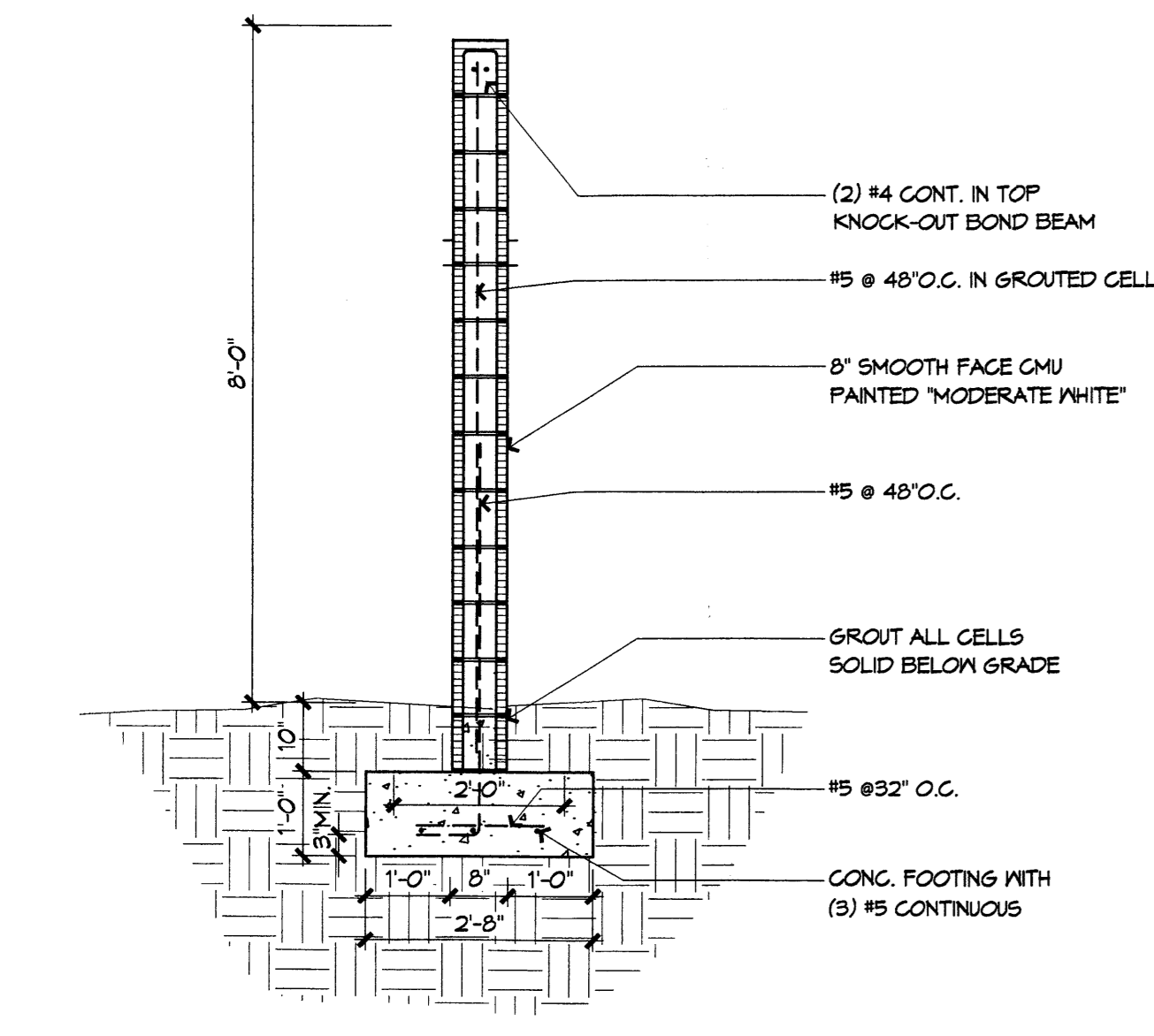
A1 RETAINING WALL SECTION
1/2" = 1'-0"



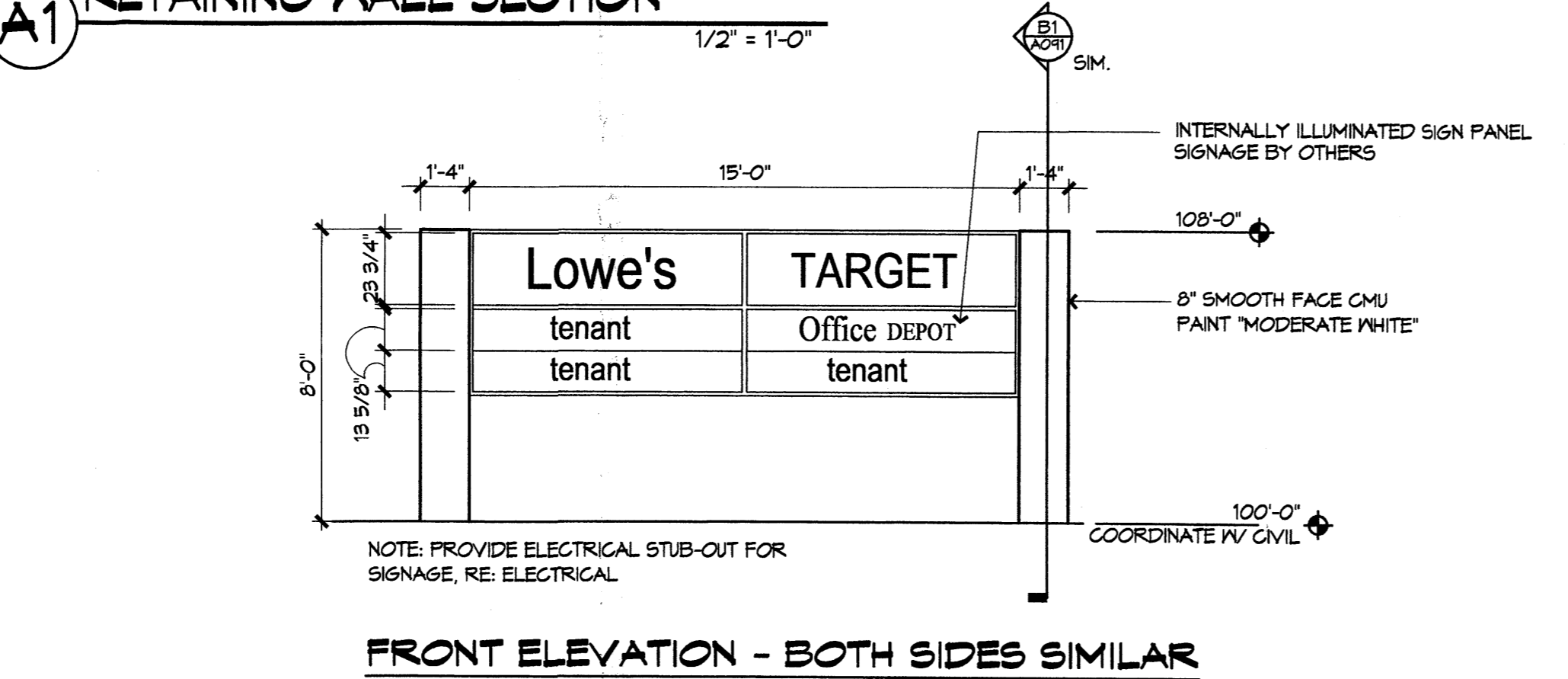
A2 PILASTER DETAIL



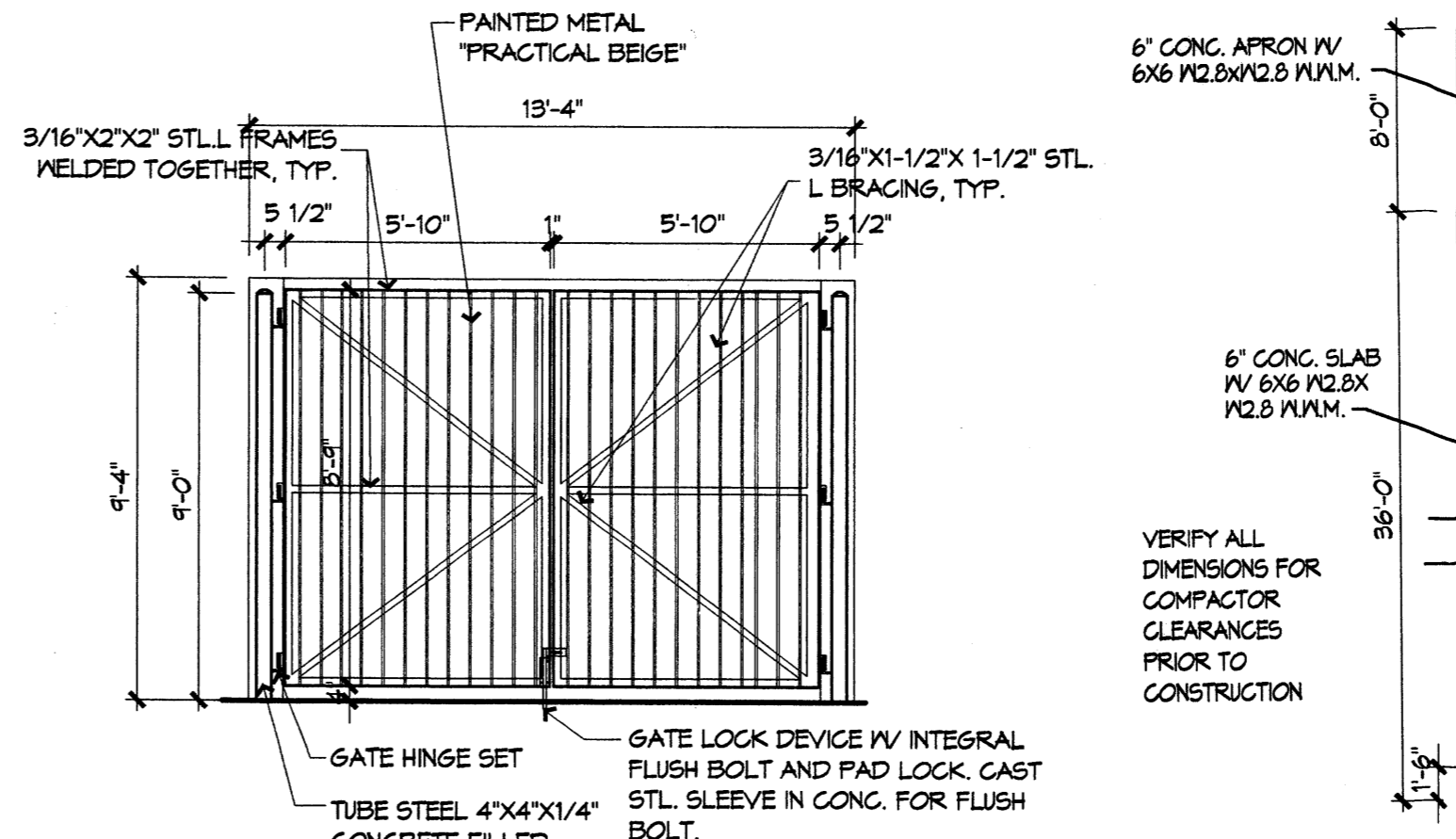
A4 COMPACTOR ENCLOSURE DETAIL



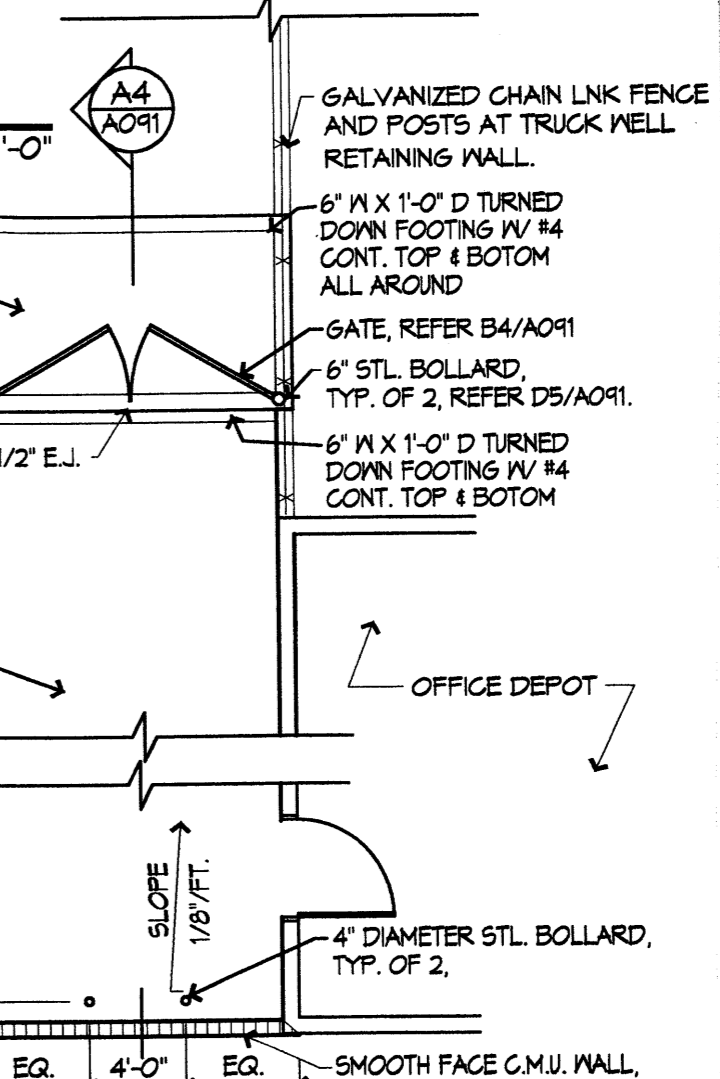
B1 MONUMENT SIGN DETAIL
1/2" = 1'-0"



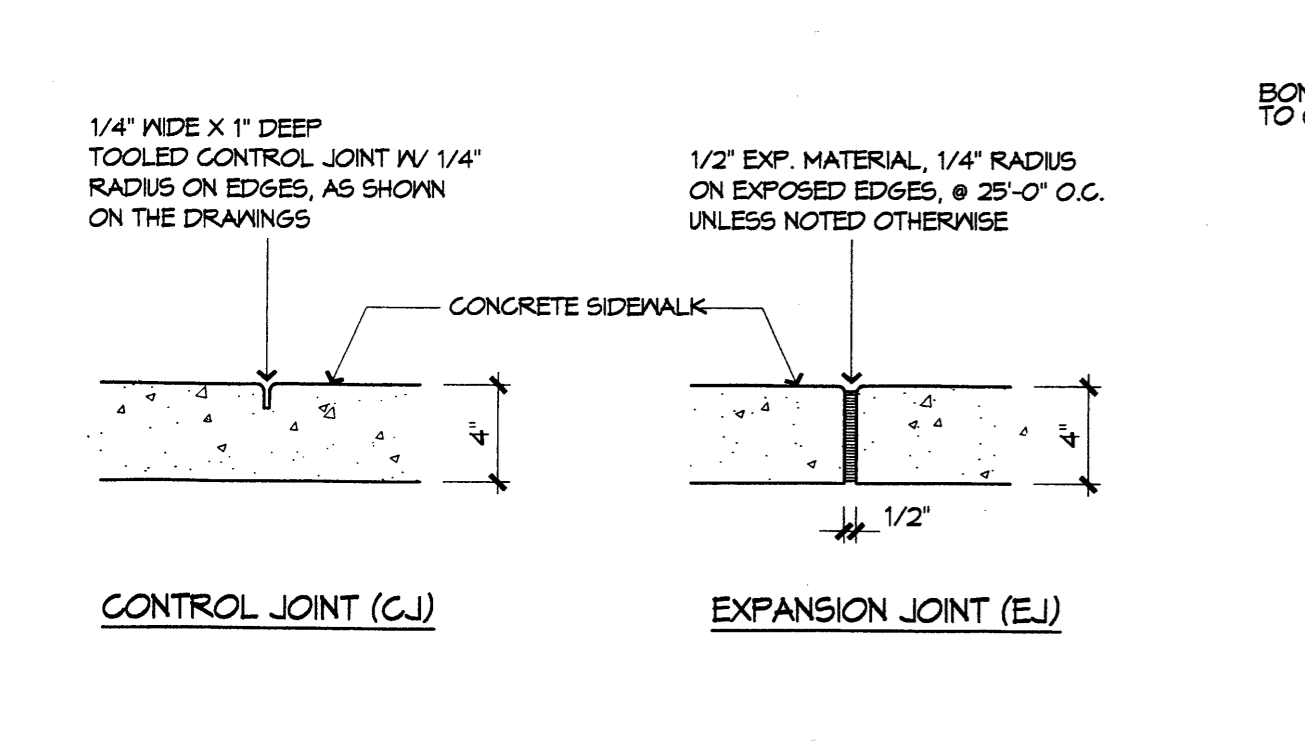
B2 MONUMENT SIGN at SAN PEDRO
1/4" = 1'-0"



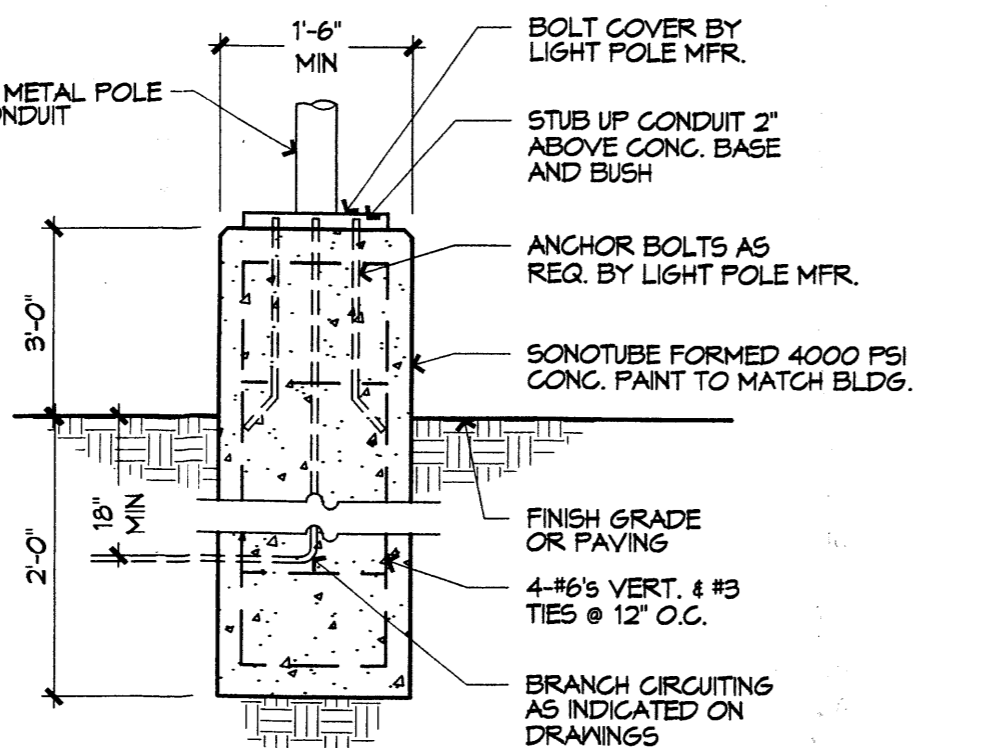
B4 COMPACTOR ENCLOSURE GATE DETAIL
1/4" = 1'-0"



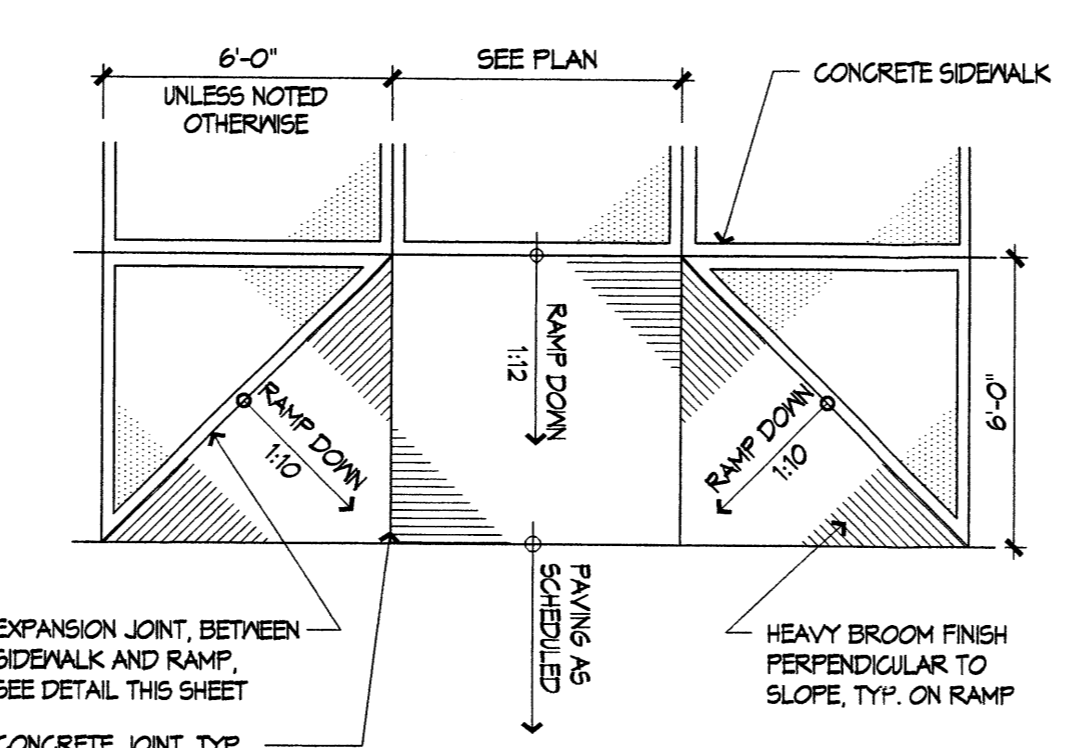
B5 COMPACTOR ENCLOSURE
CITY OF ALBUQUERQUE APPROVED
1/8" = 1'-0"



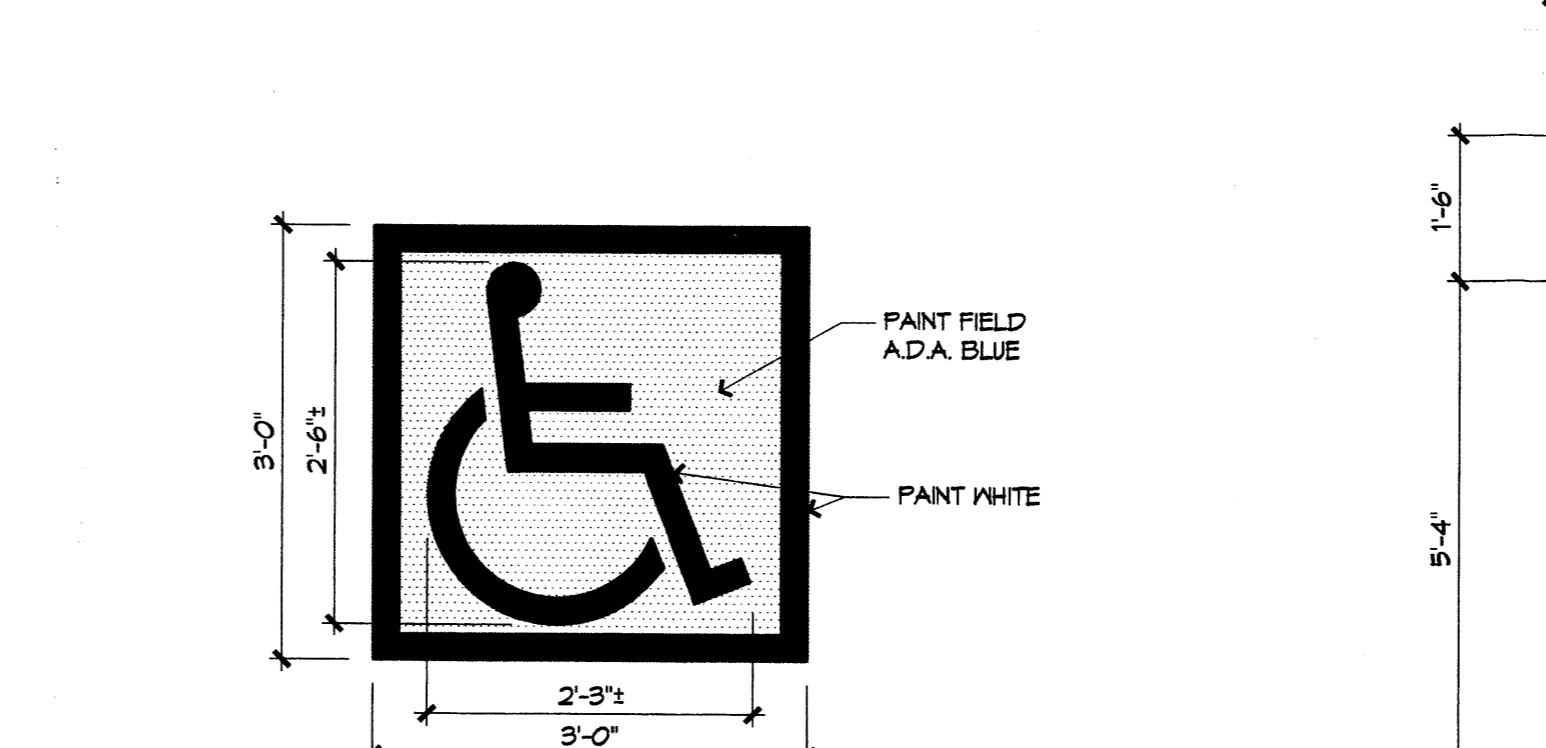
C1 CONCRETE JOINT DETAILS
1 1/2" = 1'-0"



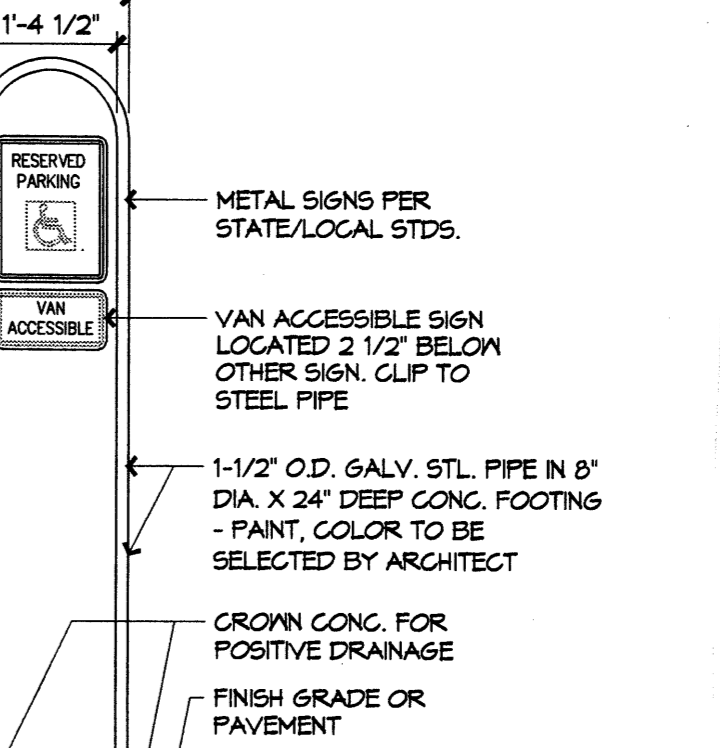
C2 LIGHT POLE BASE DETAIL
1/2" = 1'-0"



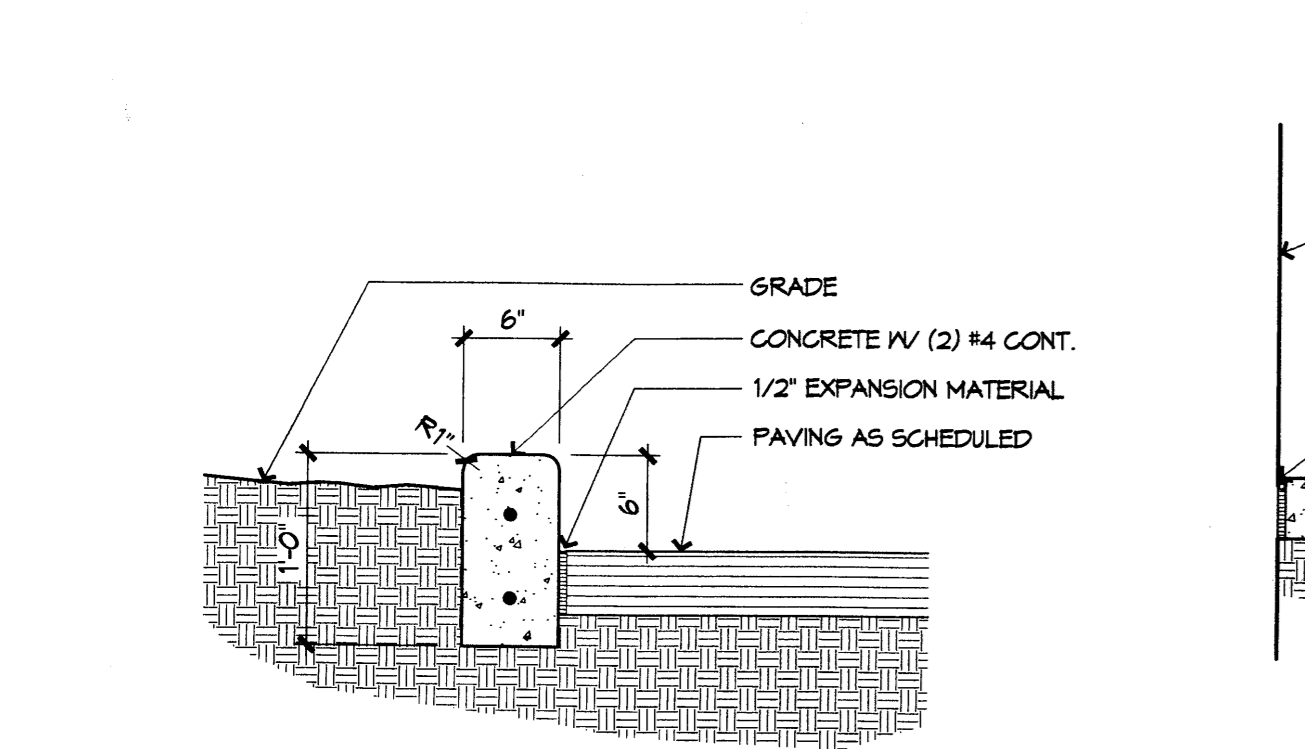
C3 ACCESSIBLE RAMP DETAIL
1/4" = 1'-0"



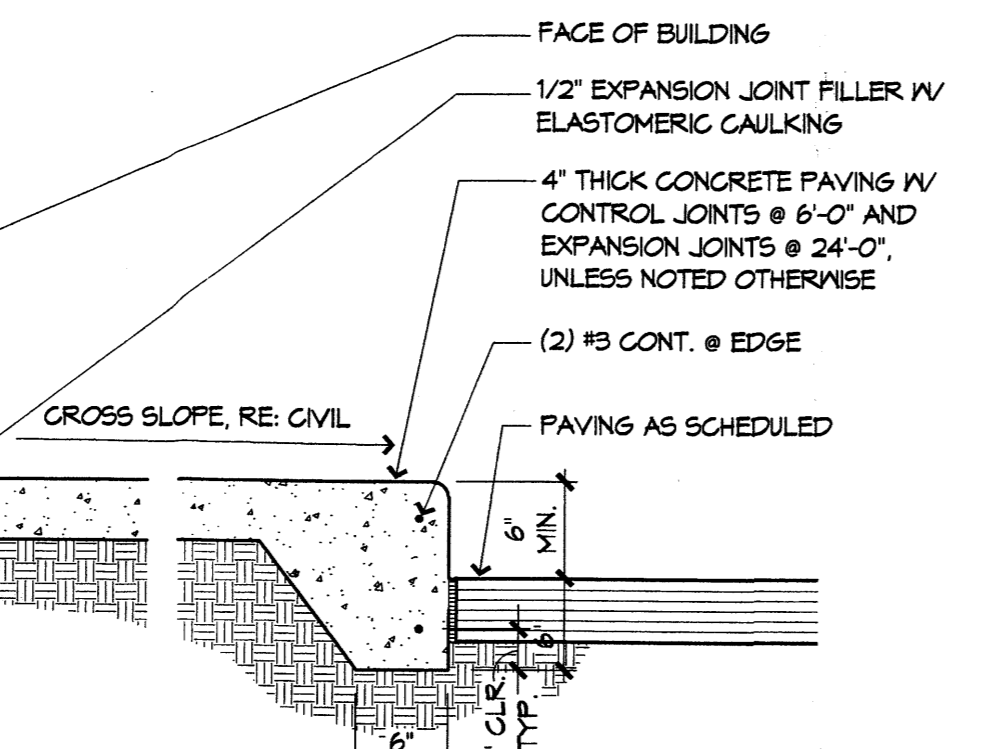
C4 A.D.A. PAVEMENT SIGNAGE DETAIL
3/4" = 1'-0"



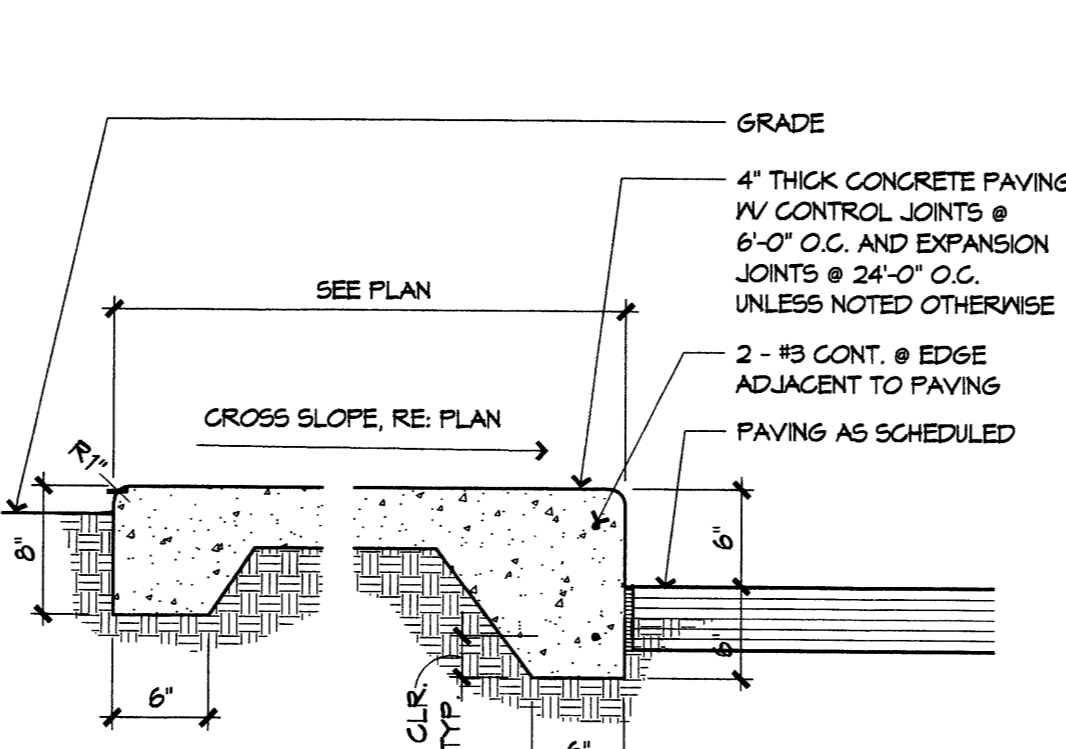
C5 POLE MOUNTED H.C. SIGNAGE DETAIL
1/2" = 1'-0"



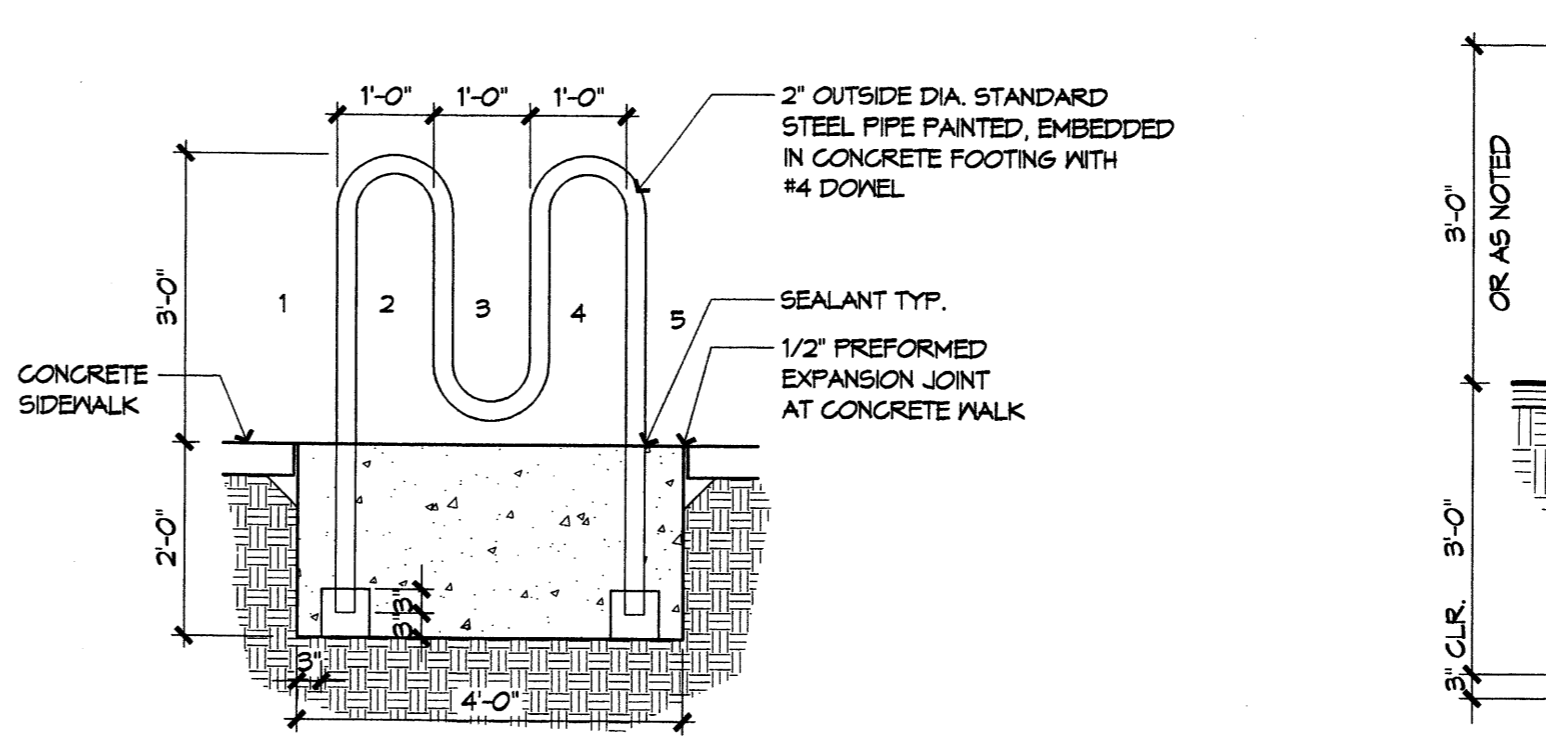
D1 CURB DETAIL
1" = 1'-0"



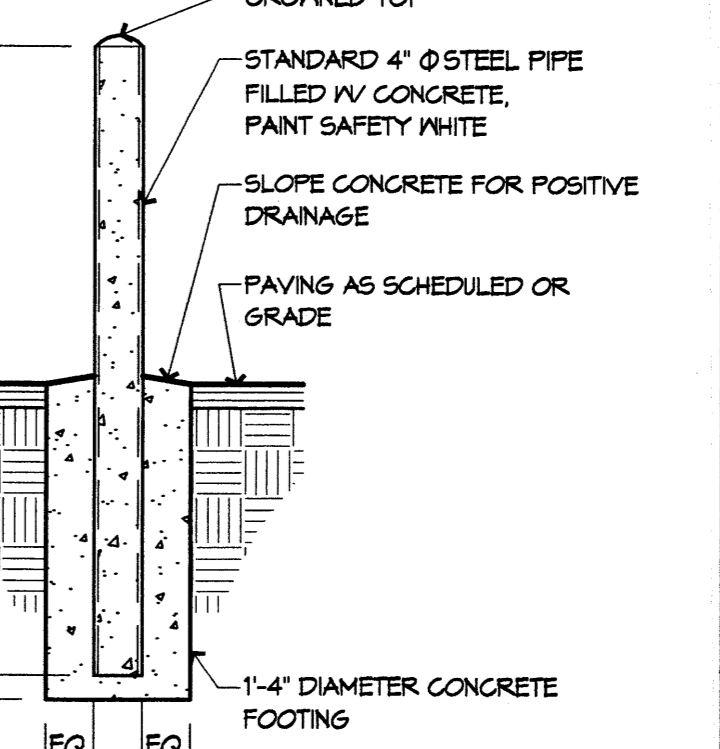
D2 SIDEWALK at FACE OF BUILDING DETAIL
1" = 1'-0"



D3 SIDEWALK DETAIL
1" = 1'-0"



D4 BIKE RACK DETAIL
1/2" = 1'-0"



D5 BOLLARD DETAIL
1/2" = 1'-0"

Office DEPOT
Taking Care of Business

2200 Old Germantown Road
Delray Beach, FL 33445
TEL: 561/438-4800
FAX: 561/438-4178

SITE DETAILS

OFFICE DEPOT
LOS ANGELES CENTER
ALBUQUERQUE, NM

DATE	STORE NO.	JOB NUMBER	DRAWN BY
09.06.05	#04145	25-114	AMC
FLOOR AREA (NET)	TENANT/ LONG DOC	GROSS BLD SIZE	CHECK BY
-	-	20,280	AMC

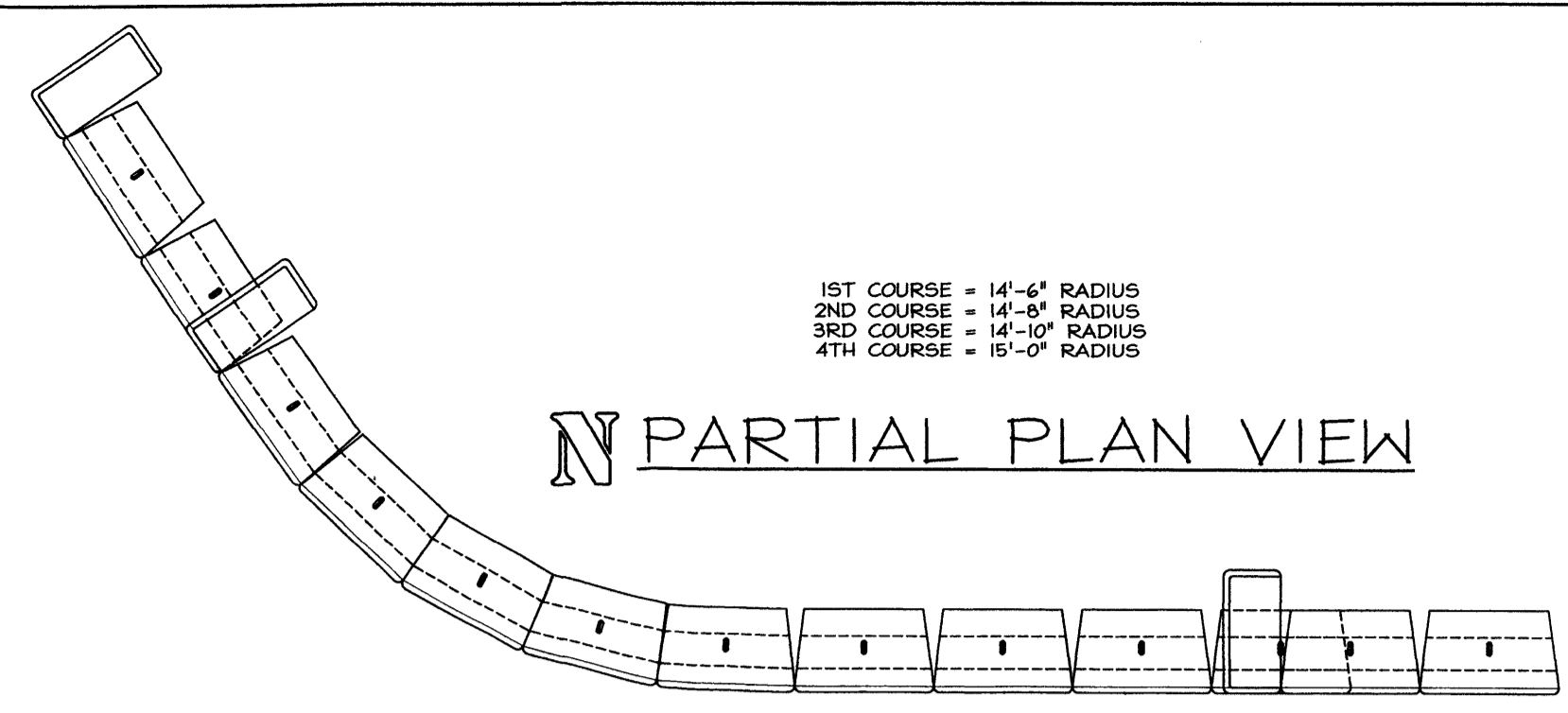
A091

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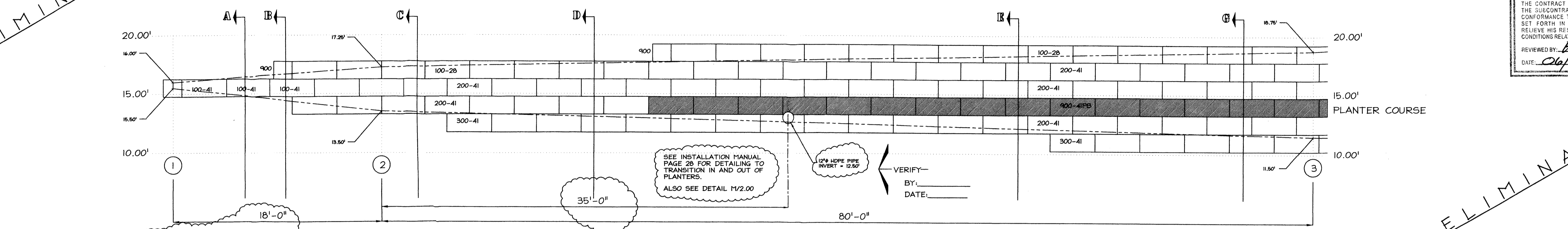
LOWE'S ALIGNMENT
BASIC DESIGN CRITERIA:
 1. DENSE, WELL GRADED SAND, SAND & GRAVEL
 2. INTERNAL ANGLE OF FRICTION = 34°
 3. NO BACK SLOPE
 4. 250 PSF LIVE LOAD SURCHARGE

VERIFY
 BY: *[Signature]*
 DATE: 6/23/06

STAR CONSTRUCTION, INC.
 ARCHITECT/ENGINEER APPROVAL REQUIRED
 APPROVED AS SUBMITTED
 REJECTED/REVISE AND RESUBMIT
 THIS SUBMITTAL HAS BEEN REVIEWED FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS. APPROVAL DOES NOT RELIEVE THE SUBCONTRACTOR/SUPPLIER OF THE RESPONSIBILITY FOR CONFORMANCE TO THE QUALITY STANDARDS & QUANTITIES AS SET FORTH IN THE CONTRACT DOCUMENTS NOR DOES IT RELIEVE HIS RESPONSIBILITY FOR FIELD VERIFICATION OF ALL CONDITIONS RELATING TO THIS CONTRACT.
 REVIEWED BY: *[Signature]*
 DATE: 6/23/06 SUBMITTAL # Le



PRELIMINARY



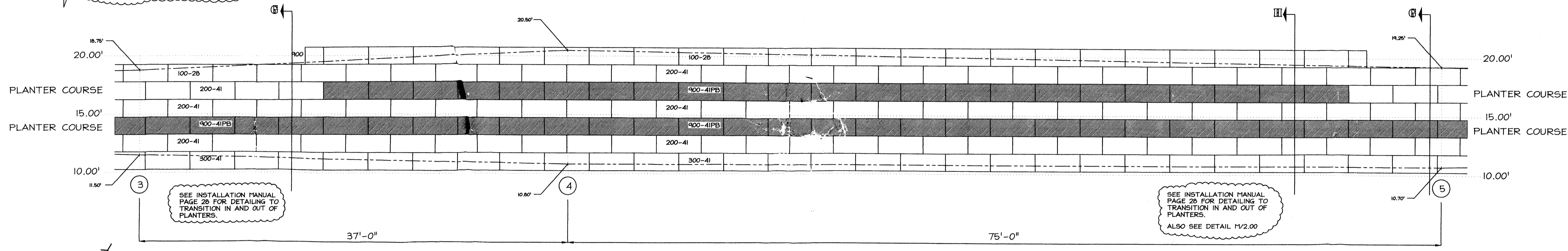
NOTE TO CONTRACTOR: ALL HORIZONTAL DIMENSIONS ARE SCALED

SEE INSTALLATION MANUAL PAGE 28 FOR DETAILING TO TRANSITION IN AND OUT OF PLANTERS. ALSO SEE DETAIL M12.00

VERIFY BY: DATE:

PRELIMINARY

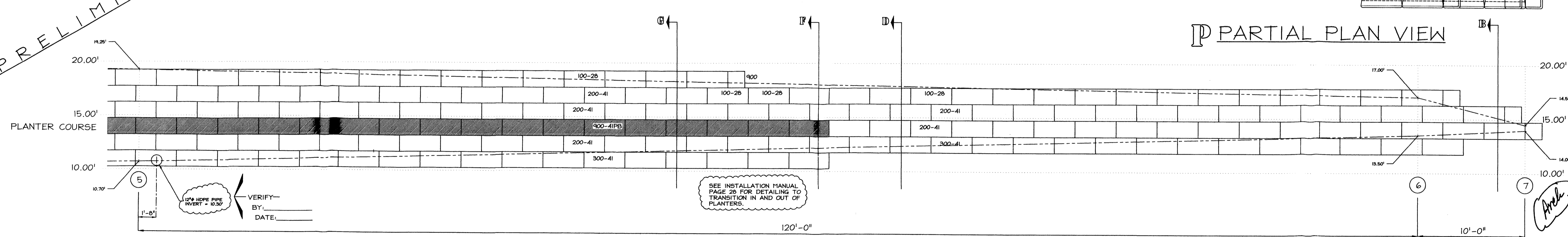
APPROVED
 REVISE AND RESUBMIT
 STAINLY SPECIFIED ITEM
 REJECTED
 THIS SUBMITTAL HAS BEEN REVIEWED FOR COMPLIANCE WITH THE DESIGN CONCEPT OF THE PROJECT AND GENERAL COMPLIANCE WITH THE CONTRACT DOCUMENTS. APPROVAL DOES NOT RELIEVE THE SUBCONTRACTOR/SUPPLIER OF THE RESPONSIBILITY FOR CONFORMANCE TO THE QUALITY STANDARDS & QUANTITIES AS SET FORTH IN THE CONTRACT DOCUMENTS NOR DOES IT RELIEVE HIS RESPONSIBILITY FOR FIELD VERIFICATION OF ALL CONDITIONS RELATING TO THIS CONTRACT.
 REVIEWED BY: *[Signature]*
 DATE: 6/23/06



SEE INSTALLATION MANUAL PAGE 28 FOR DETAILING TO TRANSITION IN AND OUT OF PLANTERS.

SEE INSTALLATION MANUAL PAGE 28 FOR DETAILING TO TRANSITION IN AND OUT OF PLANTERS. ALSO SEE DETAIL M12.00

PRELIMINARY

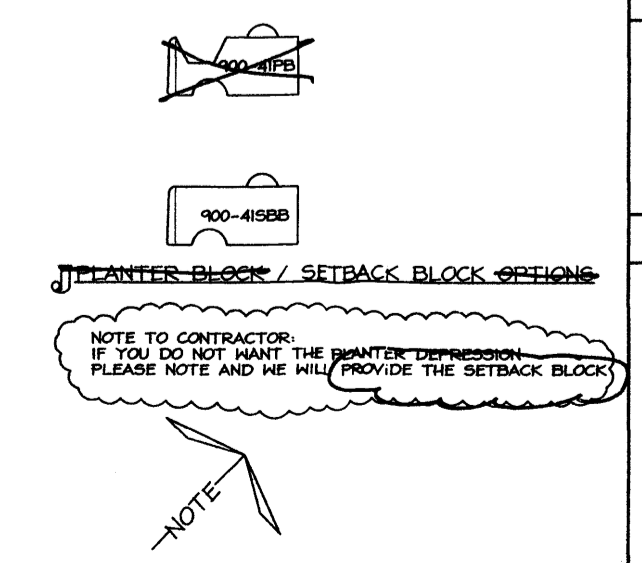
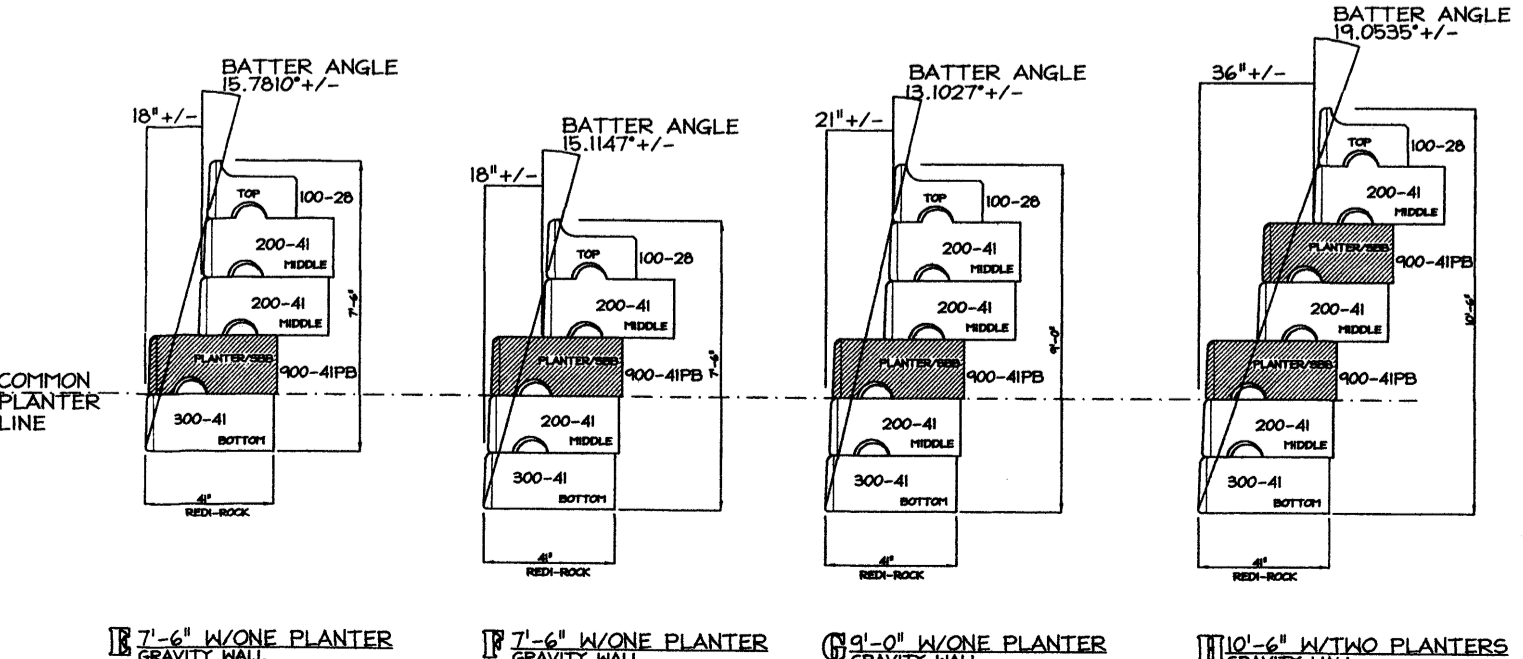
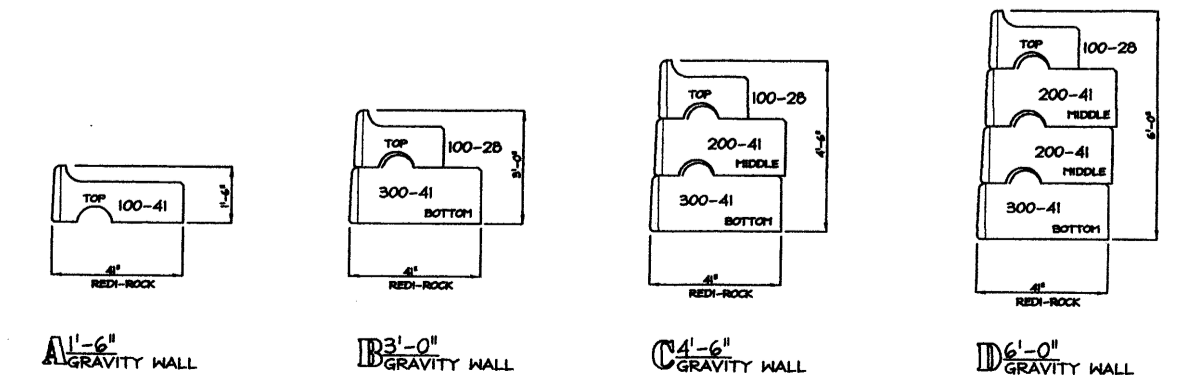
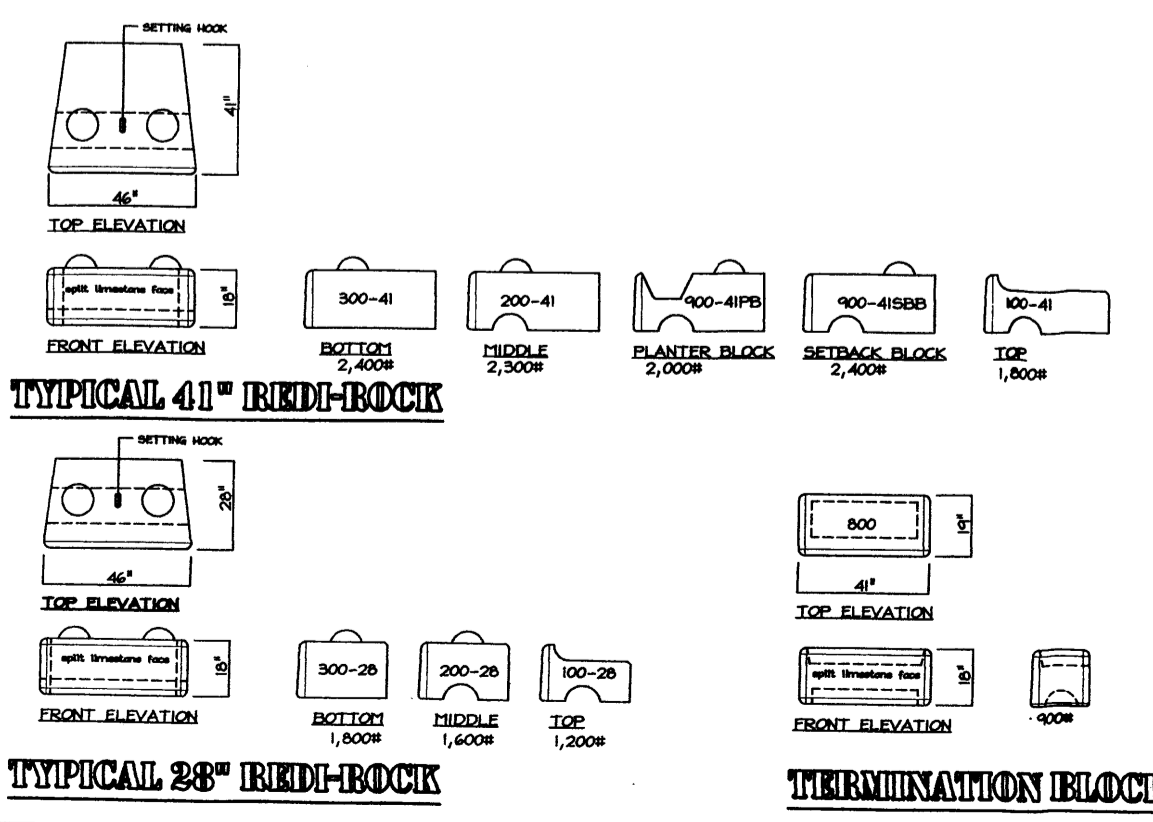


NOTE TO CONTRACTOR: ONLY WHEN ITEMS MARKED FOR VERIFICATION HAVE BEEN VERIFIED DOES MATERIALS, INC. HAVE APPROVED SHOP DRAWINGS. SO THERE ARE NO DELAYS CAUSED BY A LACK OF INFORMATION PLEASE VERIFY ALL ITEMS MARKED FOR VERIFICATION. THESE ITEMS ARE CIRCLED AND HAVE A VERIFY MARK POINTING AT THEM. SHOULD YOU HAVE QUESTIONS PLEASE CALL MATERIALS, INC.

NOTE TO CONTRACTOR: IT IS YOUR RESPONSIBILITY TO REVIEW AND APPROVE THE FRAMING PLANS, ELEVATIONS, DETAILS, SECTIONS AND NOTES CONTAINED WITH THIS SET OF SHOP DRAWINGS. CHANGES TO THE DRAWINGS AND/OR CASTING REPLACEMENT UNITS ONCE THE DRAWINGS HAVE BEEN APPROVED CONSTITUTE A REVISION TO THE CONTRACT AND WILL NECESSITATE A CHANGE ORDER ADD TO THE CONTRACT.

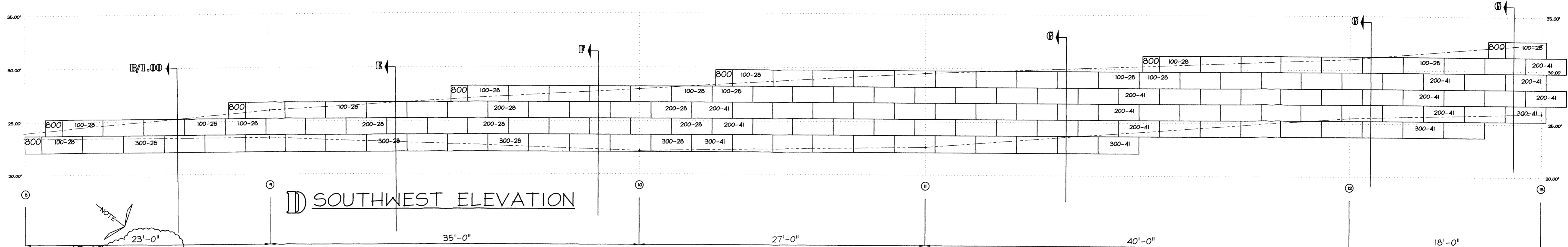
SUBMITTED FOR APPROVAL JUNE 15, 2006
 ACCEPTED BY: *[Signature]*
 DATE: 6/23/06

K PARTIAL WEST ELEVATION



MATERIALS, INC. P.O. BOX 1507 BERNALILLO, NM 87004 (505) 867-9035 FAX: 867-4419	ARCHITECT:	DPS
	CONTRACTOR:	STAR CONSTRUCTION
OFFICE DEPOT (LOWE'S ALIGNMENT) LOS ANGELES CENTER ALBUQUERQUE, NM www.materialsinc.com info@materialsinc.com		
QUOTE NO:	WORK ORDER NO.	SHEET
	DRAWN BY: MERLYN	1.00
	CHECKED BY:	
	PLOT DATE: 6/14/06	
C:\		

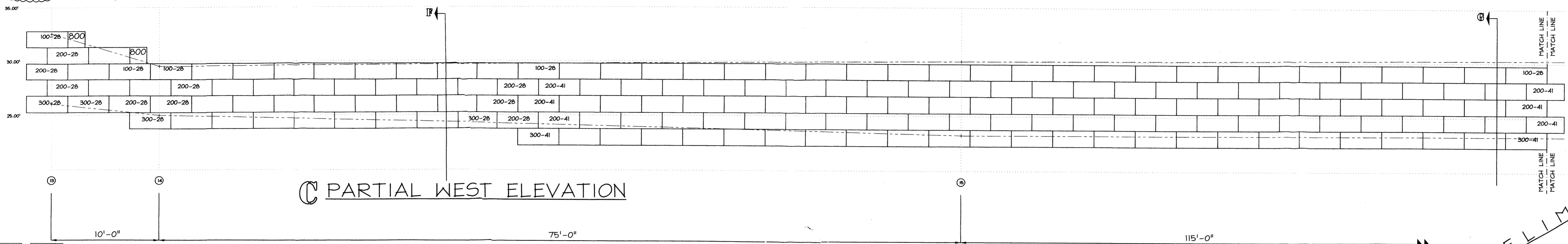
90° INSIDE CORNER



D SOUTHWEST ELEVATION

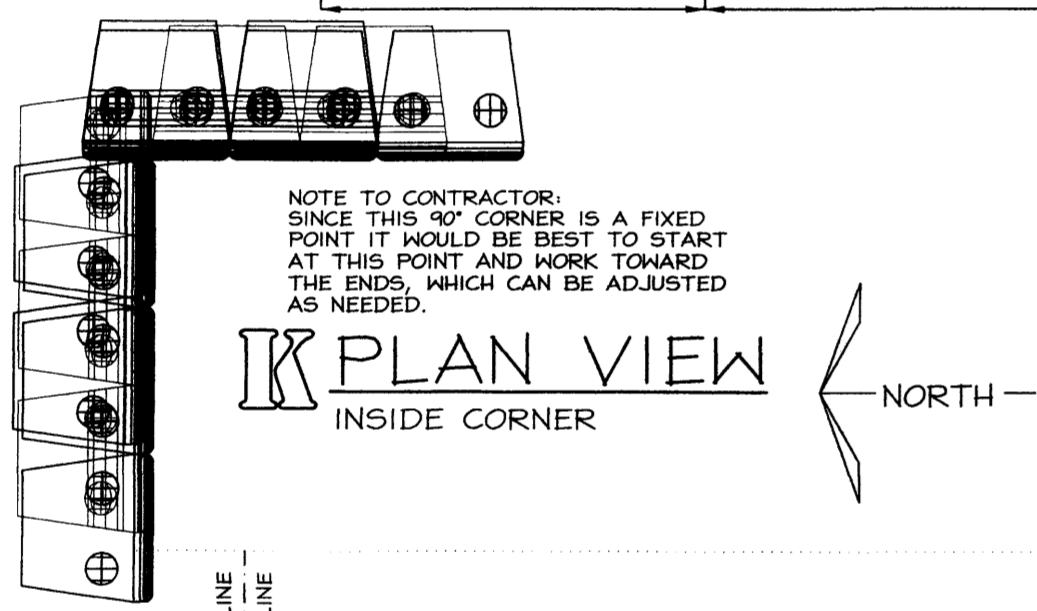
NOTE TO CONTRACTOR:
ALL HORIZONTAL DIMENSIONS
ARE SCALED

90° INSIDE CORNER

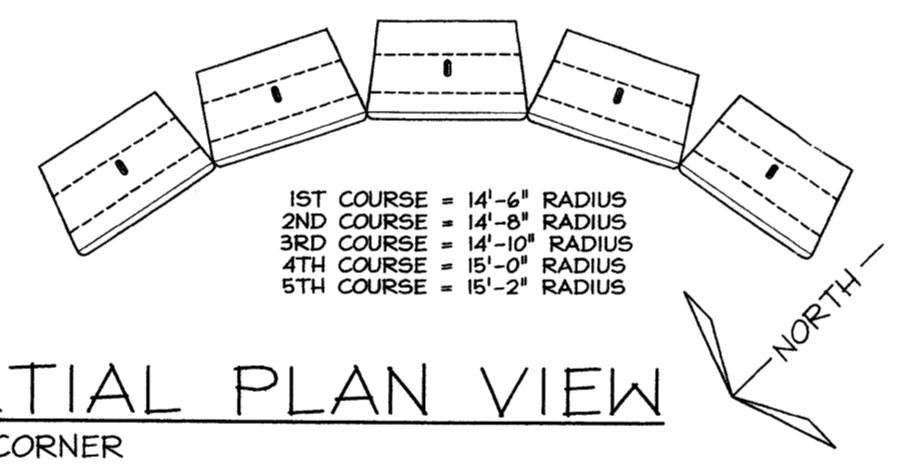


C PARTIAL WEST ELEVATION

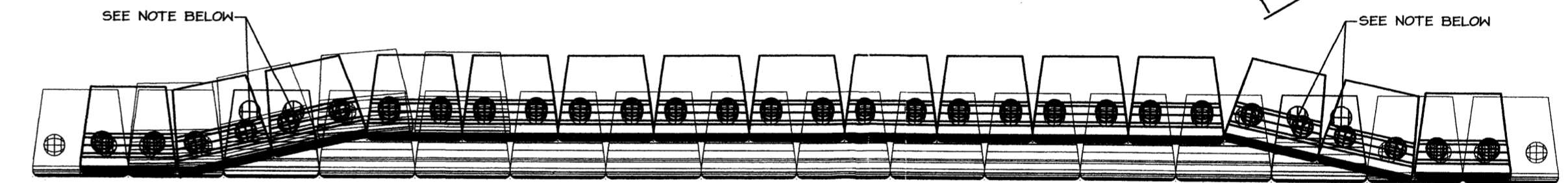
PRELIMINARY



K PLAN VIEW INSIDE CORNER

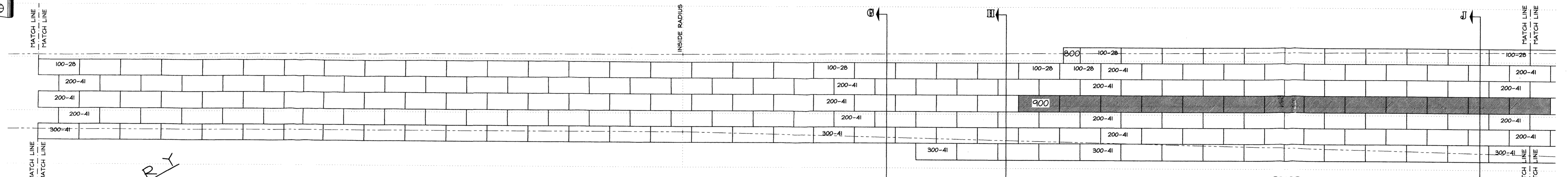


L PARTIAL PLAN VIEW RADIUS CORNER



M PARTIAL PLAN VIEW PLANTER TRANSITION

NOTE: TWO CONSECUTIVE KNOBS MUST BE REMOVED UNDER THE TRANSITION. PLANTER TRANSITIONS WILL ALTER THE BOND (VERTICAL JOINT) ALIGNMENT FROM COURSE TO COURSE.



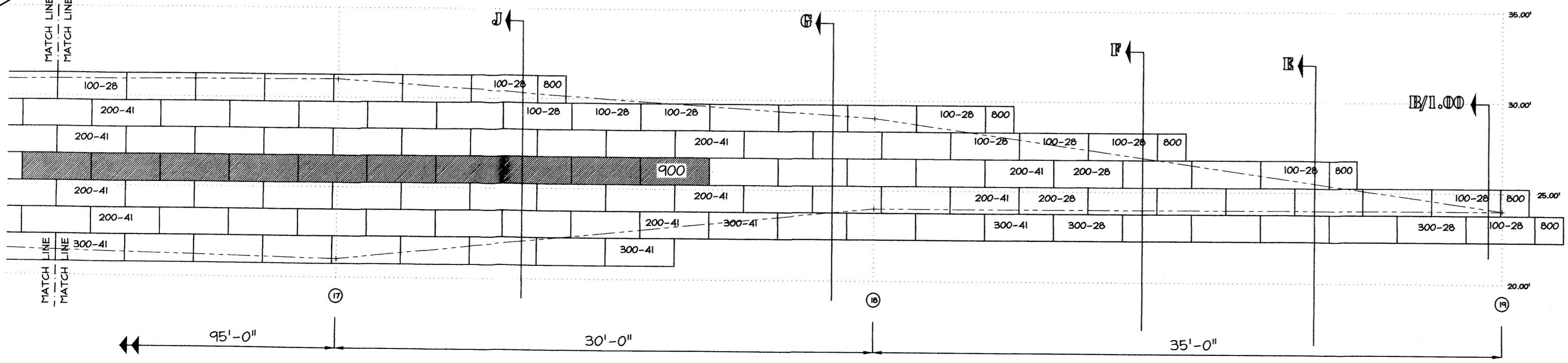
B PARTIAL WEST ELEVATION

PARTIAL NORTHWEST ELEVATION

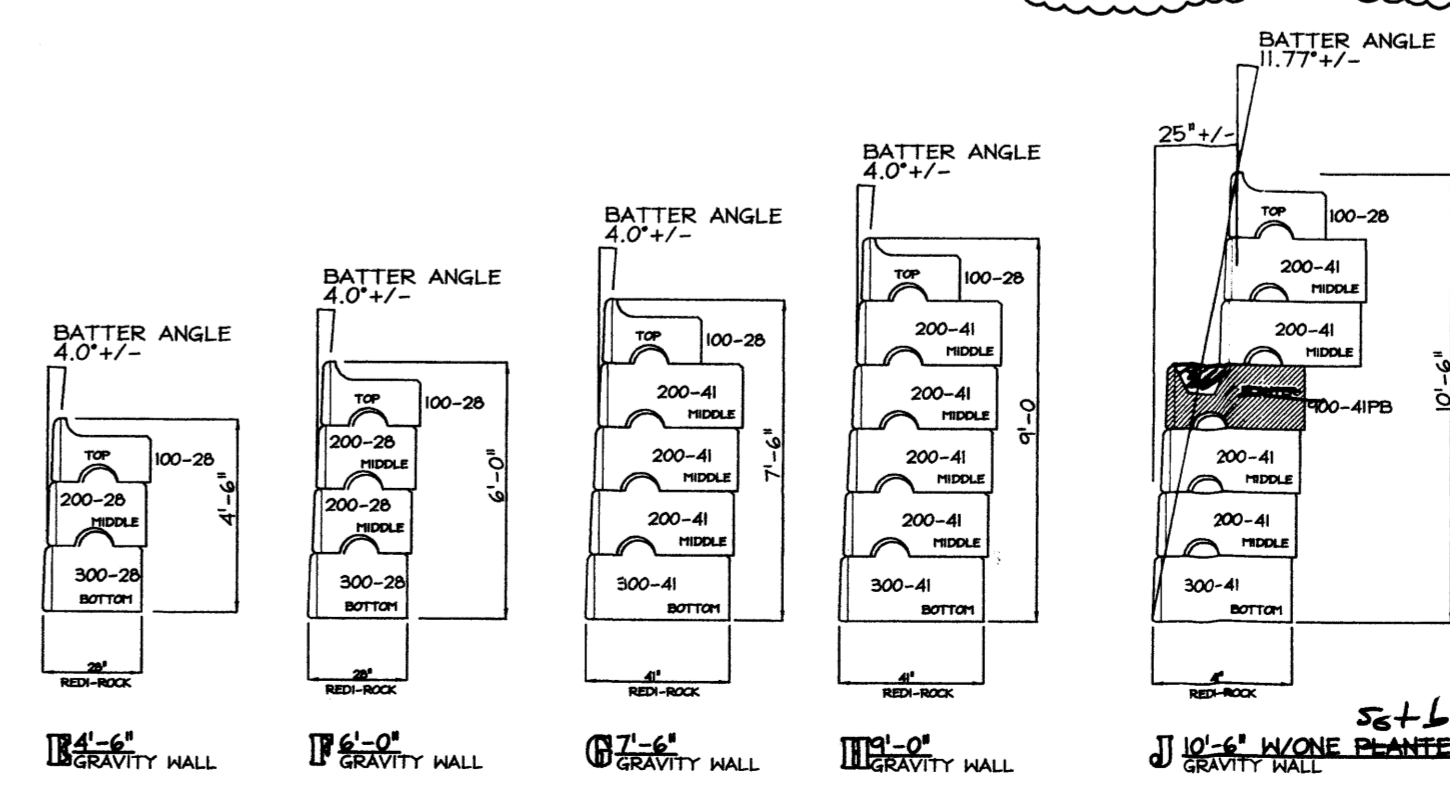
PRELIMINARY

SAN PEDRO ALIGNMENT
BASIC DESIGN CRITERIA:
1. DENSE, WELL GRADED SAND, SAND & GRAVEL
2. INTERNAL ANGLE OF FRICTION = 34°
3. NO BACK SLOPE
4. NO SURCHARGE

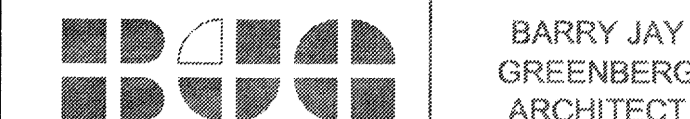
VERIFY BY: *AKM* / *AKM*
DATE: *12/2/06*



A PARTIAL NORTHWEST ELEVATION



MATERIALS, INC. P.O. BOX 1507 BERNALILLO, NM 87004 (505) 867-9095 FAX: 867-4419	ARCHITECT: DPS
	CONTRACTOR: STAR CONSTRUCTION
OFFICE DEPOT (San Pedro Alignment) LOS ANGELES CENTER ALBUQUERQUE, NM www.materialsinc.com info@materialsinc.com	
QUOTE NO: WORK ORDER NO. DRAWN BY: MERLYN CHECKED BY: PLOT DATE: 6/14/06	SHEET 2.00



BARRY JAY GREENBERG ARCHITECT

2710 SUTTON BLVD
ST. LOUIS, MO 63143
PH: 314.664.1234
FAX: 314.664.4373

IN CONSULTATION WITH
ARCHITECTURAL DESIGN GUILD:

SITE DATA

LEGAL DESCRIPTION: LOS ANGELES CENTER, TRACT A-1-D
TOTAL LOT AREA: 2.5 ACRES
CURRENT ZONING: M-1

PARKING DATA

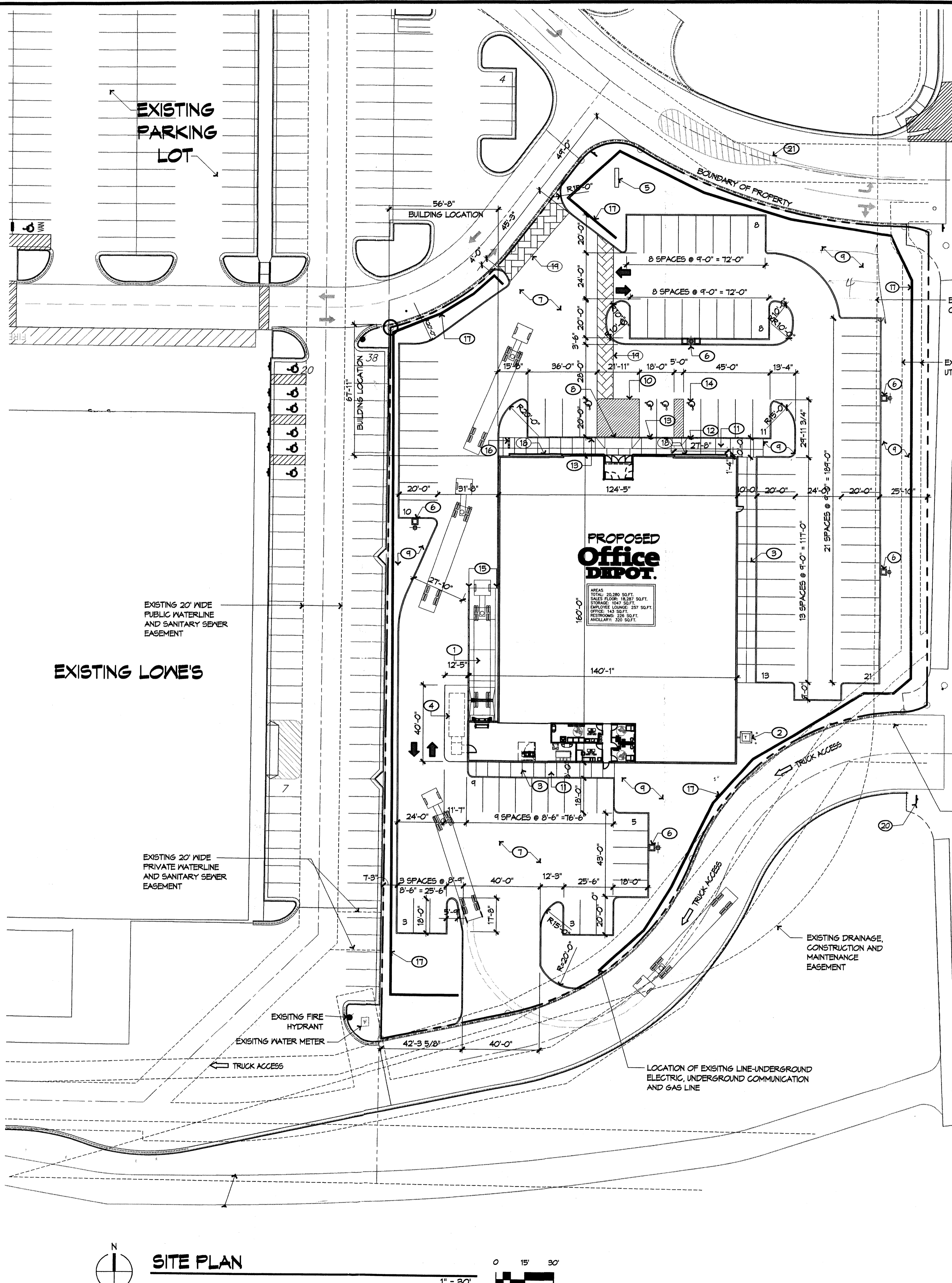
PARKING (2003 ALBUQUERQUE CITY ZONING CODE)
RETAIL LEASABLE S.F. = 20,500 S.F.
15,000/200 = 15 SPACES
5,500/250 = 22 SPACES
41 SPACES REQUIRED - 10% TRANSPORTATION REDUCTION = 88 SPACES REQUIRED
91 SPACES PROVIDED INCLUDING 4 HC ACCESSIBLE SPACES
BICYCLE PARKING (2003 ALBUQUERQUE CITY ZONING CODE)
REQUIRED: 78/20 = 4
PROVIDED: = 4

GENERAL NOTES

- RADI CENTER POINTS TO BE LOCATED BY MEASURING PERPENDICULAR TO THE ADJACENT STRAIGHT CURB LINE.
- DIMENSIONS ARE TO FACE OF CURB.
- IF LAYOUT DIFFERS SIGNIFICANTLY FROM CIVIL DRAWINGS, NOTIFY ARCHITECT IMMEDIATELY.
- ATTENTION SOLID WASTE DEPARTMENT: TENANT FOR THE BUILDING WILL HAVE AN ON-SITE COMPACTOR.

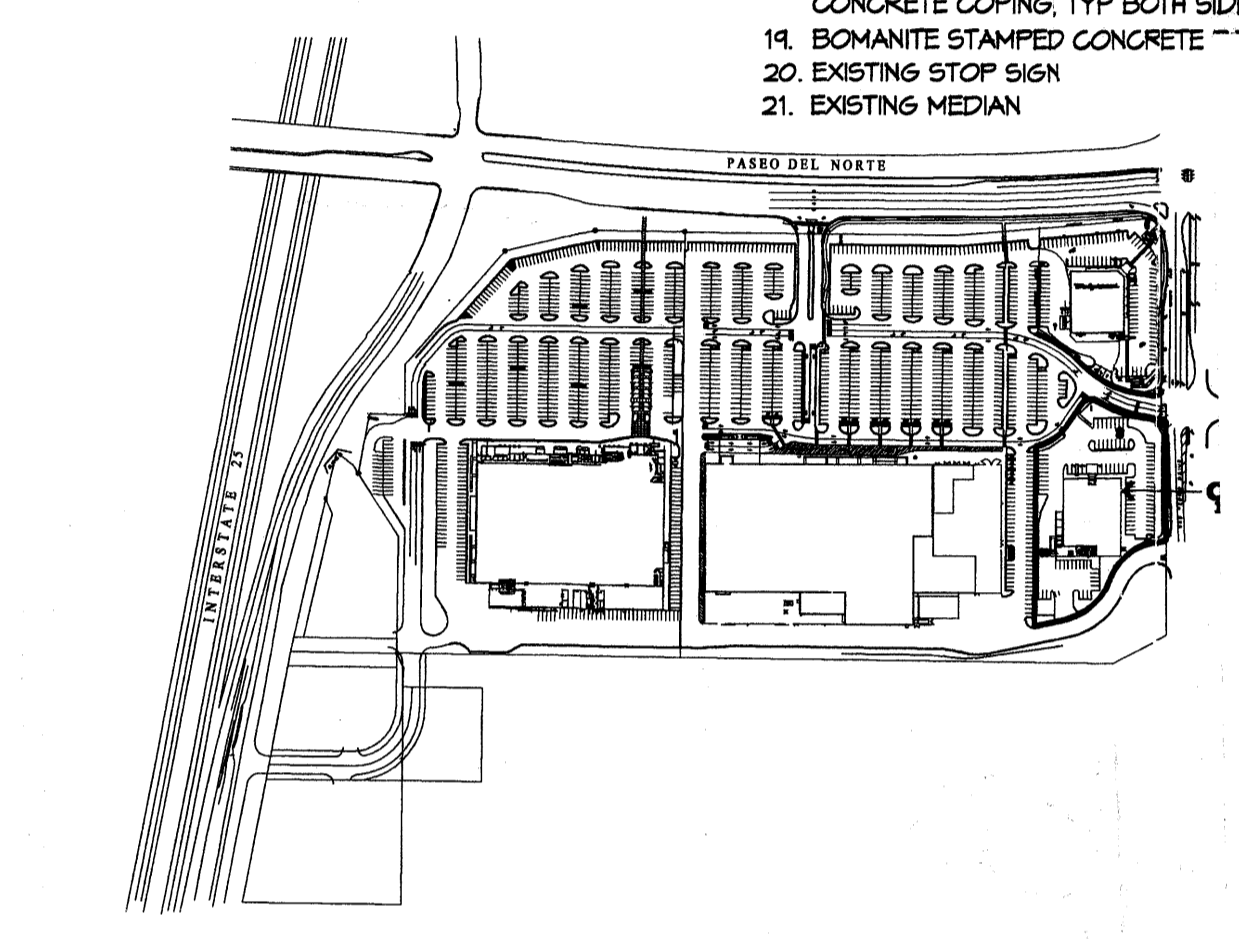
KEYED NOTES

- RECESSED LOADING DOCK.
- TRANSFORMER LOCATION, REFER TO CIVIL.
- SIDEWALK WITH CONTROL JOINTS EVERY 6'-0". SEE DETAIL E1/A041.
- TRASH COMPACTOR ON 6" REINFORCED CONCRETE SLAB. TRASH COMPACTOR PROVIDED BY OFFICE DEPOT.
- MONUMENT SIGN, SEE DETAILS C3/A041.
- LIGHT POLES TO MATCH LOWE'S HEIGHT, TYPE AND COLOR. REFER TO ELECTRICAL DRAWINGS AND D1/A041.
- ASPHALTIC PAVING OVER PREPARED SUBGRADE, REFER TO CIVIL.
- ACCESSIBLE SIDEWALK RAMP, REF. TO C2/A041.
- LANDSCAPED AREA, REF. TO LANDSCAPE PLANS.
- ACCESSIBLE PARKING SPACE IV/ LOADING ZONE, PAINT WITH 4" WIDE WHITE STRIPES AT 45° HATCH LINES AT 18" O.C.
- CONCRETE WALK, REFER E3/A041.
- ACCESSIBLE SIGN, REF. TO E6/A041.
- VAN ACCESSIBLE SIGN, REF. TO E6/A041.
- ADA PAVEMENT SIGNAGE, REFER TO D6/A041.
- 4" DIA. MET. BOLLARD, PAINT "SANDY WHITE" 2148-50 BY BENJAMIN MOORE.
- BIKE RACK, PAINT HUNTINGTON BEIGE HC-1 BY BENJAMIN MOORE.
- RETAINING WALL SYSTEM-ANCHOR DIAMOND PRO BY RINKER. COLOR TO MATCH "GALLUP SOLD" CMU. VERIFY ACTUAL DIMENSIONS AND REQUIRED HEIGHT WITH CIVIL DRAWINGS.
- 2'-4" HIGH RAISED BRICK PLANTER/SEATING IV/ 6" WIDE PRECAST CONCRETE COPING. TYP BOTH SIDES OF ENTRANCE.
- BOHANNON STAMPED CONCRETE.
- EXISTING STOP SIGN.
- EXISTING MEDIAN.

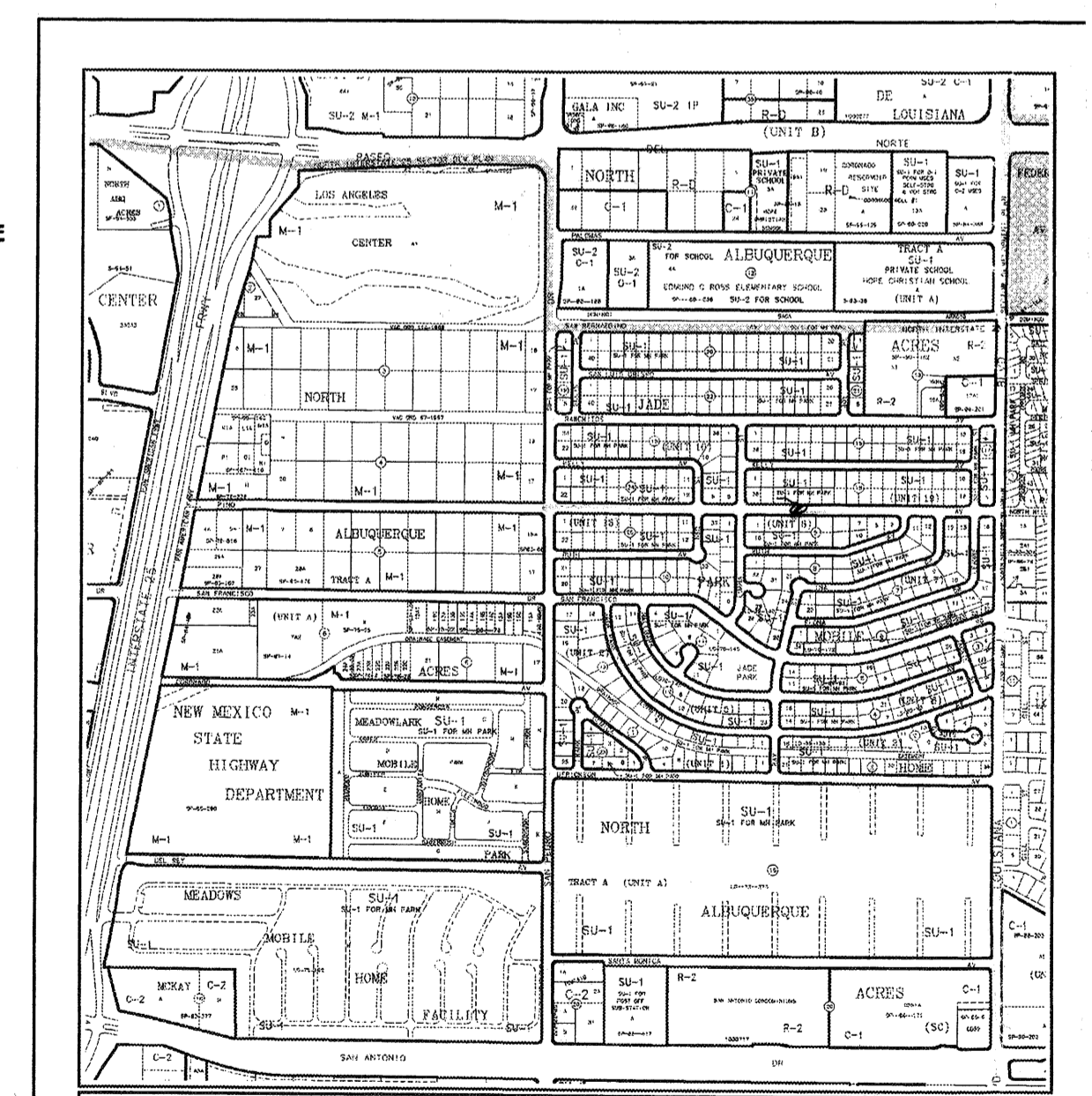


EXISTING DRAINAGE AND CONSTRUCTION EASEMENT
EXISTING 10' PUBLIC UTILITY EASEMENT

SAN PEDRO DRIVE



VICINITY MAP



GRAPHIC SCALE IN FEET
Zone Atlas Page
D-18-Z
Map Issued through September 2, 2004

PROJECT NUMBER: #1001946
Application Number: 05 DRB-01047 - Mirror Site Dev. Plan

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 3/18/05 and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () Yes (X) No If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

[Signature] 8-31-05
Traffic Engineering, Transportation Division Date

[Signature] 8/31/05
Water Utility Department Date

[Signature] 8/31/05
Christine Sandoval Parks and Recreation Department Date

[Signature] 8/31/05
Bradley L. Bixler City Engineer Date

NA
* Environmental Health Department (conditional) Date

NA
Solid Waste Management Date

[Signature] 9/30/05
DRB Chairperson, Planning Department Date

*Environmental Health, if necessary
5/13/05

OFFICE DEPOT- LOS ANGELES CENTER 7901 SAN PEDRO NE ALBUQUERQUE, NM			
DATE	STORE NO.	JOB NUMBER	DRAWN BY
06.17.05	#04145	25-114	
FLOOR AREA (NET)	TROWELL/LOADING DOCK	GROSS BLD SIZE	CHECK BY
		20,280	

C1

BUILDING AND SITE IMAGES ARE A REPRESENTATION OF THE DESIGN INTENT ONLY, AND NOT DOCUMENTATION OF THE FINAL DESIGN. SUBJECT MATTER HEREIN IS NEITHER FOR PERMITTING OR CONSTRUCTION.

06/17/05 10:46 AM C:\projects\05 DRB-01047\05 DRB-01047.dwg