

4 BLDG PER. SIDEWALK DETAIL  
3/8" = 1'

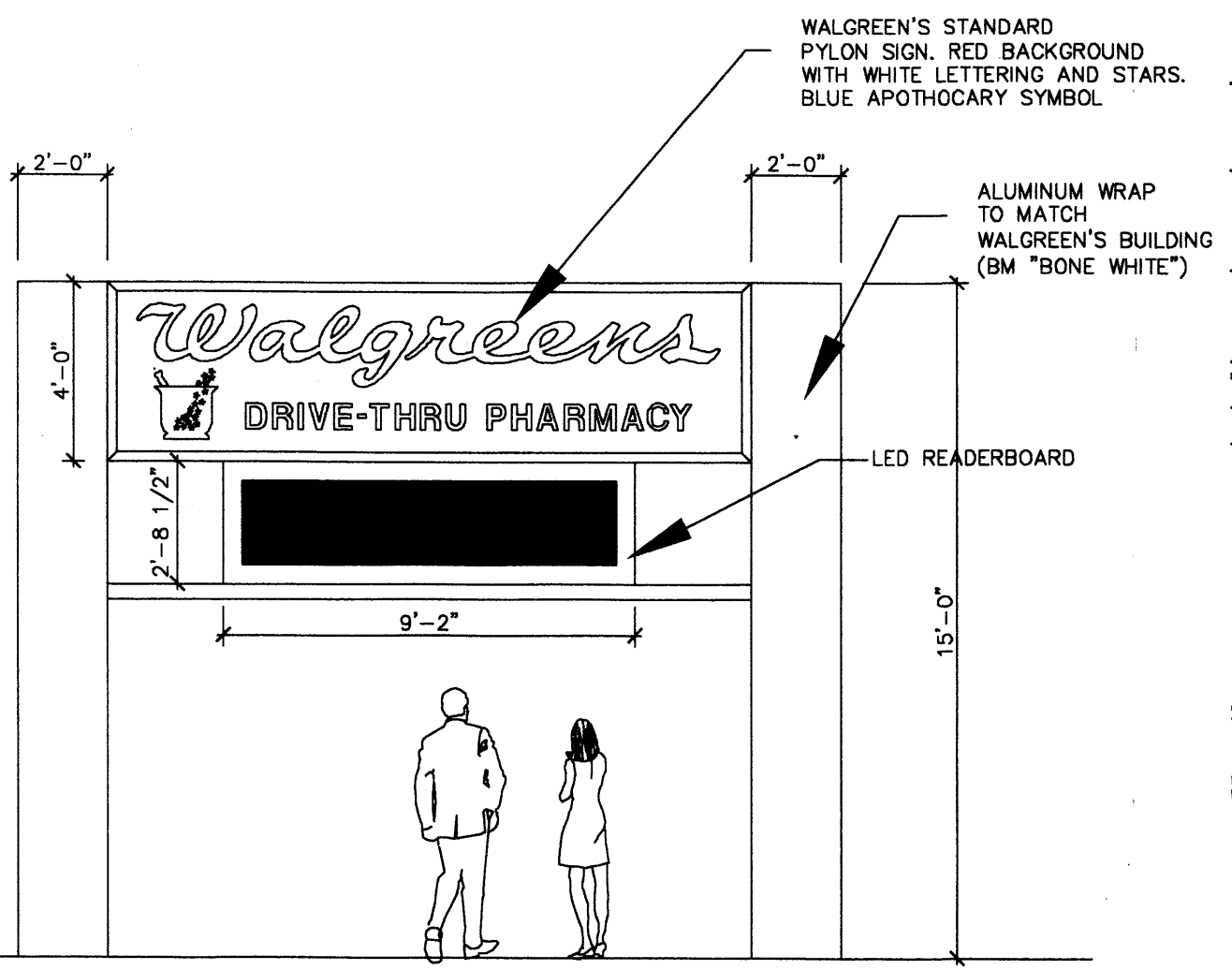
**CURVE TABLE**

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	98.25	90.00	54.67	93.45	S31°05'53"E	62°32'59"
C2	53.05	33.48	33.94	47.67	S45°33'37"W	90°46'56"
C3	166.15	213.50	87.54	161.99	N66°45'02"W	44°35'19"
C4	119.43	269.50	60.71	118.46	N57°09'07"W	25°23'27"

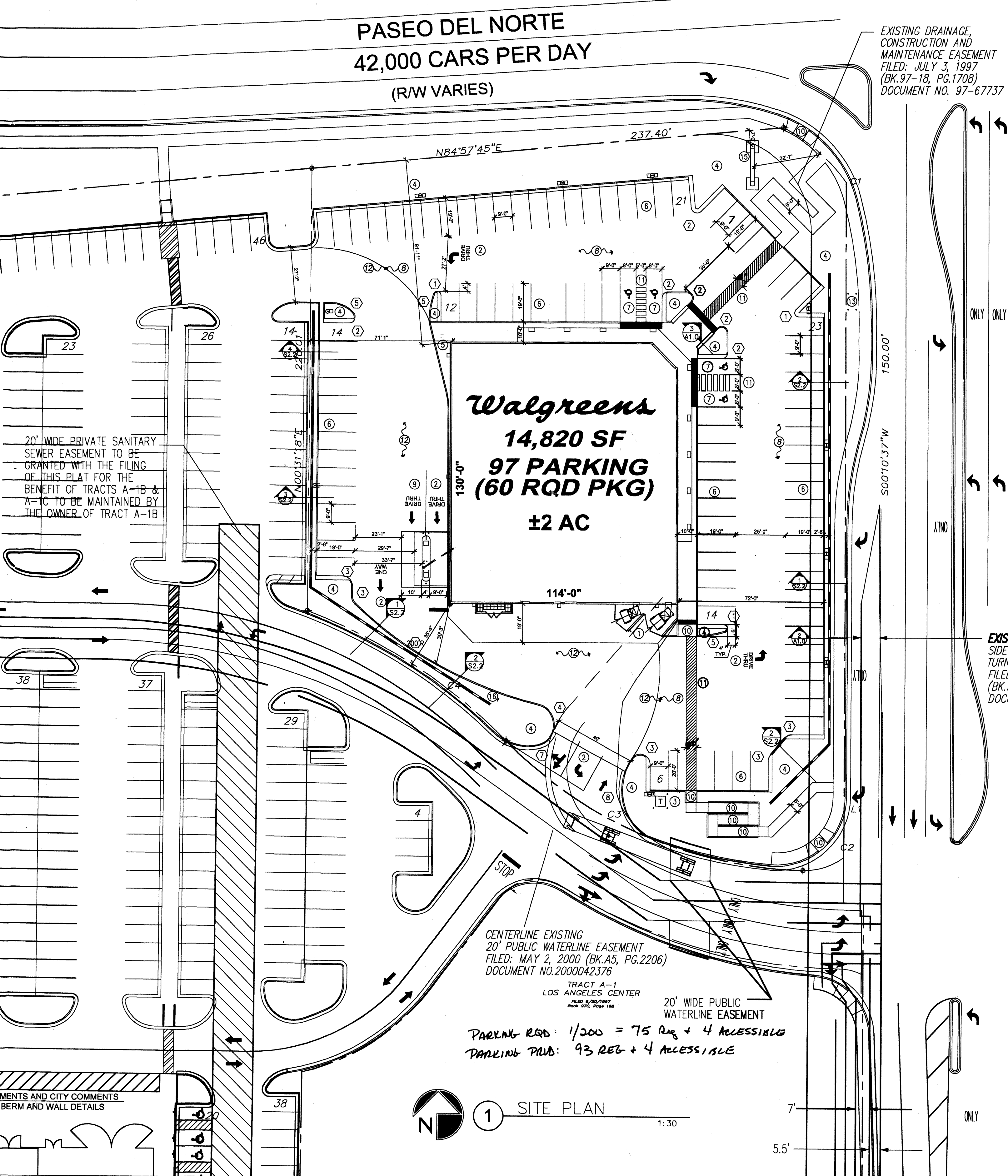
- RADIUS INFORMATION:**
- ① RADIUS = 2'-0"
  - ② RADIUS = 3'-0"
  - ③ RADIUS = 5'-0"
  - ④ RADIUS = 10'-0"
  - ⑤ RADIUS = 15'-0"
  - ⑥ RADIUS = 20'-0"
  - ⑦ RADIUS = 25'-0"
  - ⑧ RADIUS = 30'-0"
  - ⑨ RADIUS = 40'-0"
  - ⑩ RADIUS = 50'-0"
  - ⑪ RADIUS = 60'-0"
  - ⑫ RADIUS = 100'-0"

**LINE TABLE**

LINE	BEARING	DISTANCE
L1	N89°57'17"W	5.38'



5 PYLON SIGN  
1/4" = 1'



1 SITE PLAN  
1:30

PROJECT NUMBER: 1001946  
APPLICATION NUMBER: 05DRB-00492

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) on and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

Is an Infrastructure List required? ( ) YES ( ) NO

If yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**SITE DEVELOPMENT PLAN**

Traffic Engineering, Transportation Division	Date
Utilities Development	3/30/05
Parks and Recreation Department	3/30/05
City Engineering, Engineering Division / AMAFCA	3/30/05
Environmental Health Department *(conditional)	4-1-05
Solid Waste Management	3/30/05

**KEYED NOTES**

1. COMPACTOR LOCATION - PAD AND ENCLOSURE TO CURRENT CITY OF ALBUQUERQUE REQUIREMENTS
2. YELLOW PAINTED ARROW AND 24" HIGH LETTERS
3. TRANSFORMER
4. NEW LANDSCAPE BUFFERS/ISLANDS
5. BICYCLE RACK LOCATIONS - 4 BIKES
6. STRIPING, YELLOW, 4" WIDE (TYPICAL)
7. ACCESSIBLE SPACE WITH PAINTED SYMBOL AND SIGN PER CITY OF ALBUQUERQUE REQUIREMENTS
8. STANDARD PAVING. SEE GEOTECHNICAL REPORT
9. 2-LANE PHARMACY DRIVE-THRU
10. ACCESSIBLE RAMP. SEE A1.4
11. STRIPED ACCESSIBLE AISLE
12. HEAVY DUTY ASPHALTIC PAVING FOR TRUCK TRAFFIC. SEE GEOTECHNICAL REPORT.
13. TRAFFIC SIGNAL BOXES
14. BENCH. SEE DETAIL 3 THIS SHEET.
15. WALGREEN'S PYLONS SIGN. SEE SHEET A5.1 FOR DETAILS.
16. "DO NOT ENTER" SIGN.

**Walgreens**

FACILITIES PLANNING AND DESIGN  
200 WILMOT ROAD  
780-940-2500

DEERFIELD, IL 60015

**PROJECT TYPE**

DRAWINGS/SPECIFICATIONS BY:  
 WALGREENS CONSULTANT  
 LANDLORDS CONSULTANT

ALL CONSTRUCTION WORK UNLESS NOTED OTHERWISE:  
 WALGREENS CONTRACTOR  
 LANDLORDS CONTRACTOR (TURNKEY CONSTRUCTION)

**STORE**  **BUILDING**

NEW .....  NEW .....   
REMODELING.....  EXISTING.....   
RELOCATION.....  NEW SHELL ONLY .....   
OTHERS.....

**PROJECT INFORMATION**

**LOCATION:** DEVELOPMENT IS LOCATED AT THE SOUTHWEST CORNER OF PASEO DEL NORTE AND SAN PEDRO NE ALBUQUERQUE, NEW MEXICO

**LEGAL DESCRIPTION:**

**ARCHITECTS:** GEORGE RAINHART ARCHITECT & ASSOCIATES, P.C. 2325 SAN PEDRO NE, SUITE 2-B ALBUQUERQUE, NEW MEXICO 87110

**ZONING:** M-1

**OCCUPANT LOAD:** 413 OCCUPANTS

**OCCUPANCY GROUP:** M (MERCANTILE)

**TOTAL ACREAGE:** 2 AC

**CONSTRUCTION TYPE:** II-B SPRINKLERED

**TOTAL BUILDING AREA:** 14,820 SQUARE FEET

**PARKING ANALYSIS**

**REQUIRED:** 1 SPACE PER 200 SF OF GROSS FLOOR AREA LESS 20% OF FLOOR AREA FOR STORAGE

16,510 SF x 80% = 11,856 SF SALES AREA  
11,856 SF/200=60 REQUIRED SPACES

**PROVIDED:** 97 SPACES INCLUDING 83 STANDARD SPACES AND 4 ACCESSIBLE SPACES (1 VAN ACCESSIBLE SPACE)

NO.	DATE	BY	DESCRIPTION	CONST.
8				
7				
6	3/29/05	AOB	CITY COMMENTS	
4	2/5/05	AOB	WALGREEN/CITY COMMENTS	
3	10/25/04	AOB	UPDATED SITEFORMAT	
2	7/22/04	BJ	ADD SITE INFO	
1	90/15/03	MPS	WIDEN DRIVE AISLSE TO 40'	

**REVISIONS**

**CERTIFICATION AND SEAL**

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NEW MEXICO AS SIGNIFIED BY MY HAND AND SEAL.

**PROJECT NAME:** WALGREENS STORE (SWC) SAN PEDRO AND PASEO DEL NORTE ALBUQUERQUE, NEW MEXICO

**GEORGE R. RAINHART**  
No. 580  
REGISTERED ARCHITECT

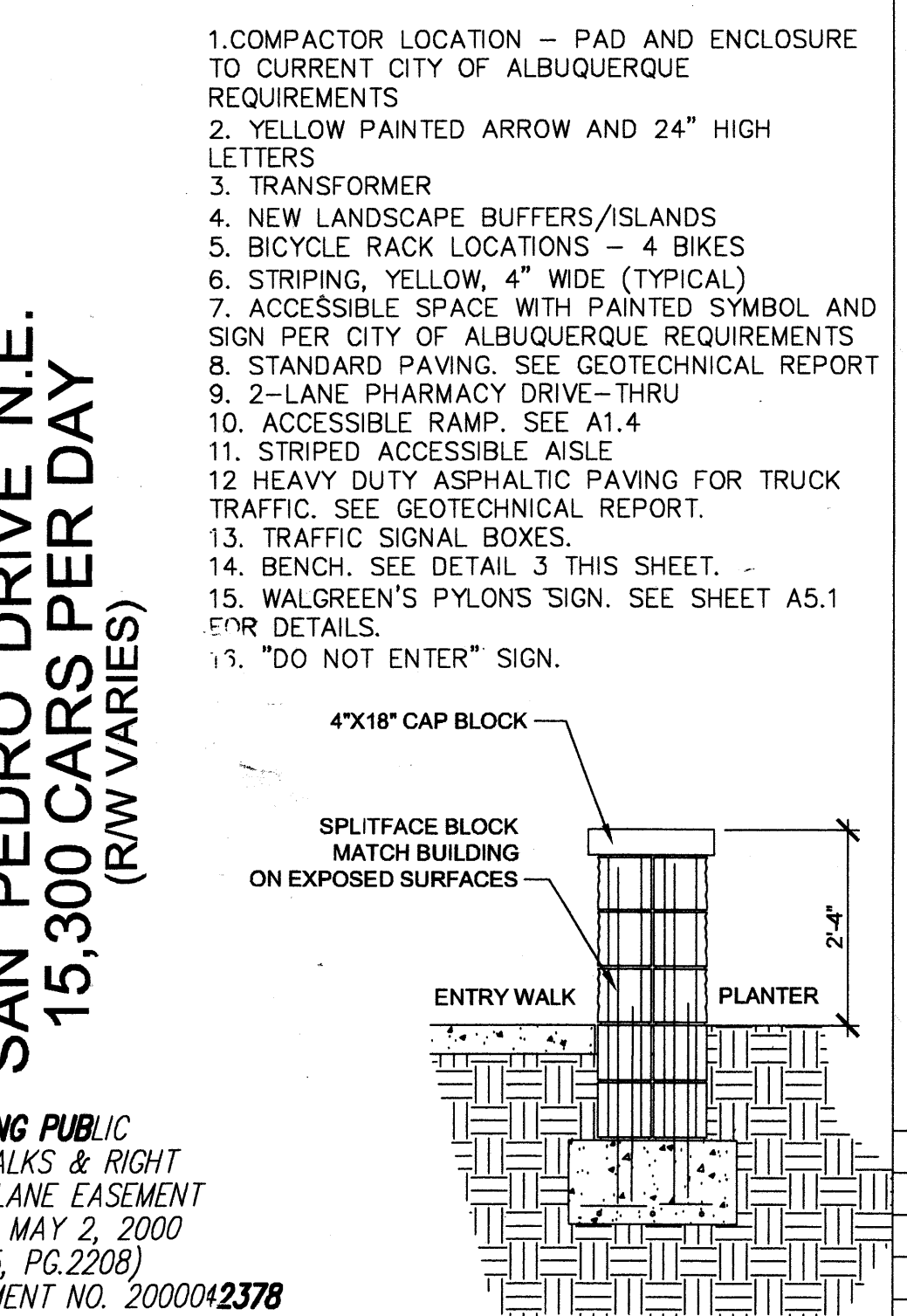
**DRAWING TITLE:** SITE PLAN

**DATE:** 7-15-03 **STORE NO:** 9608 **DRAWING NO.:** A1.0

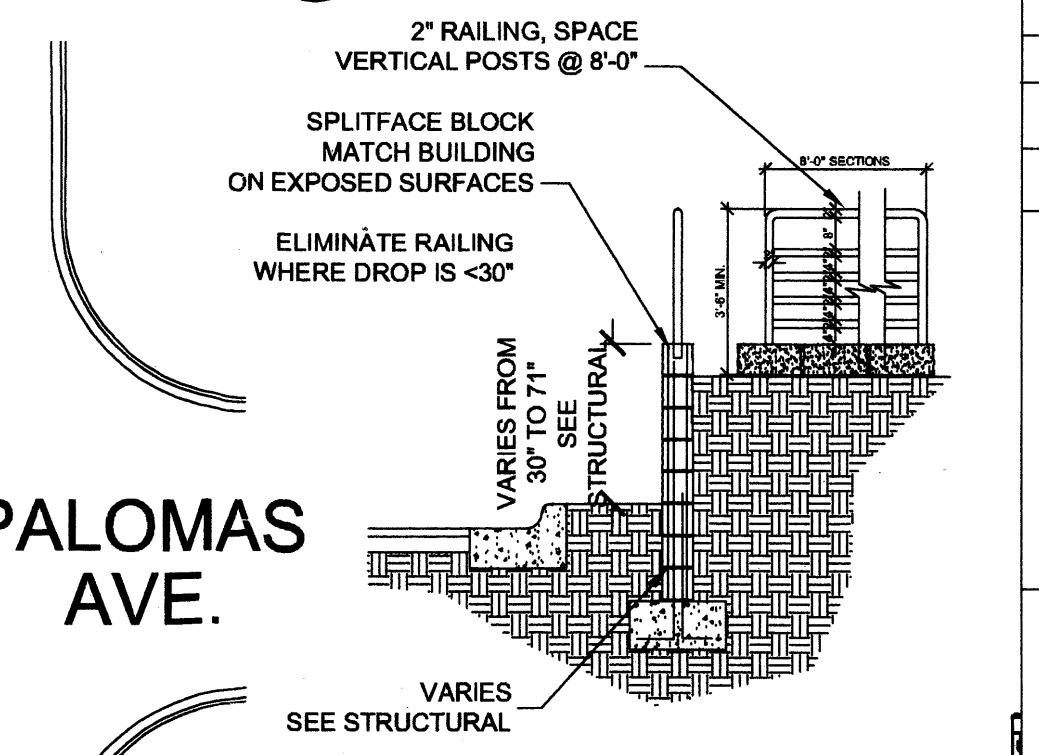
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**REVIEWED BY:** **OF** DWGS

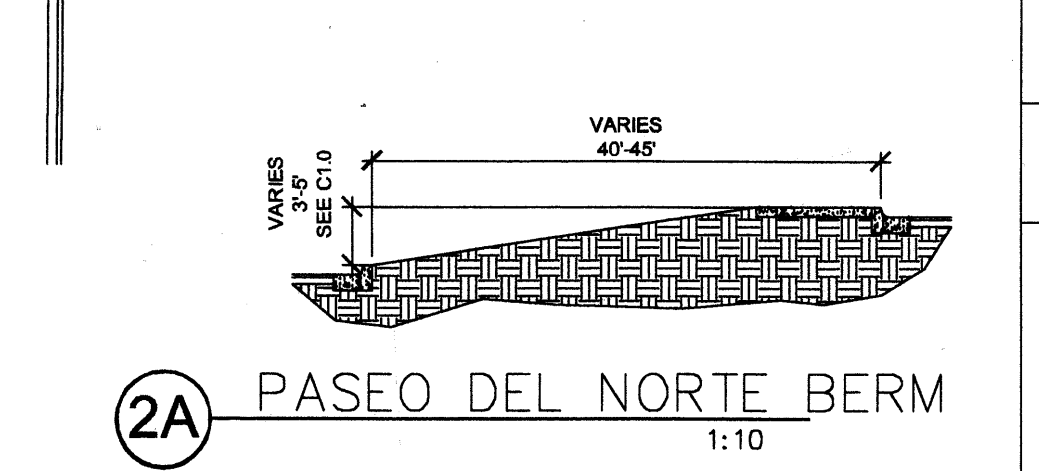
3 SEATING DETAIL  
1/2" = 1'



2 SAN PEDRO WALL DETAIL  
1/4" = 1'

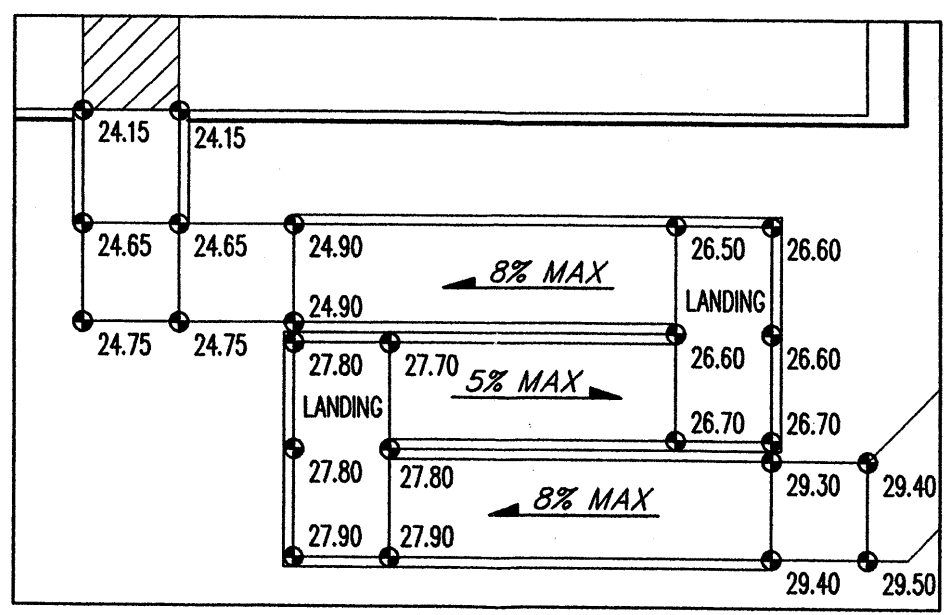
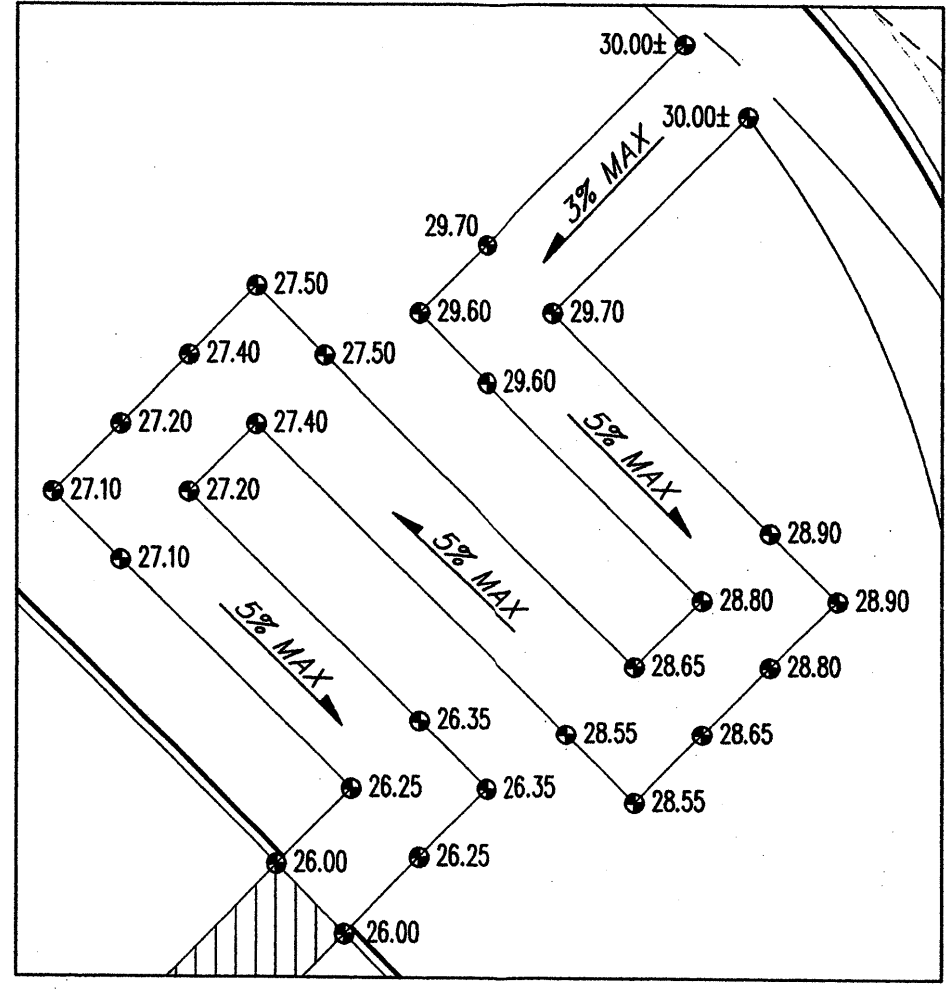
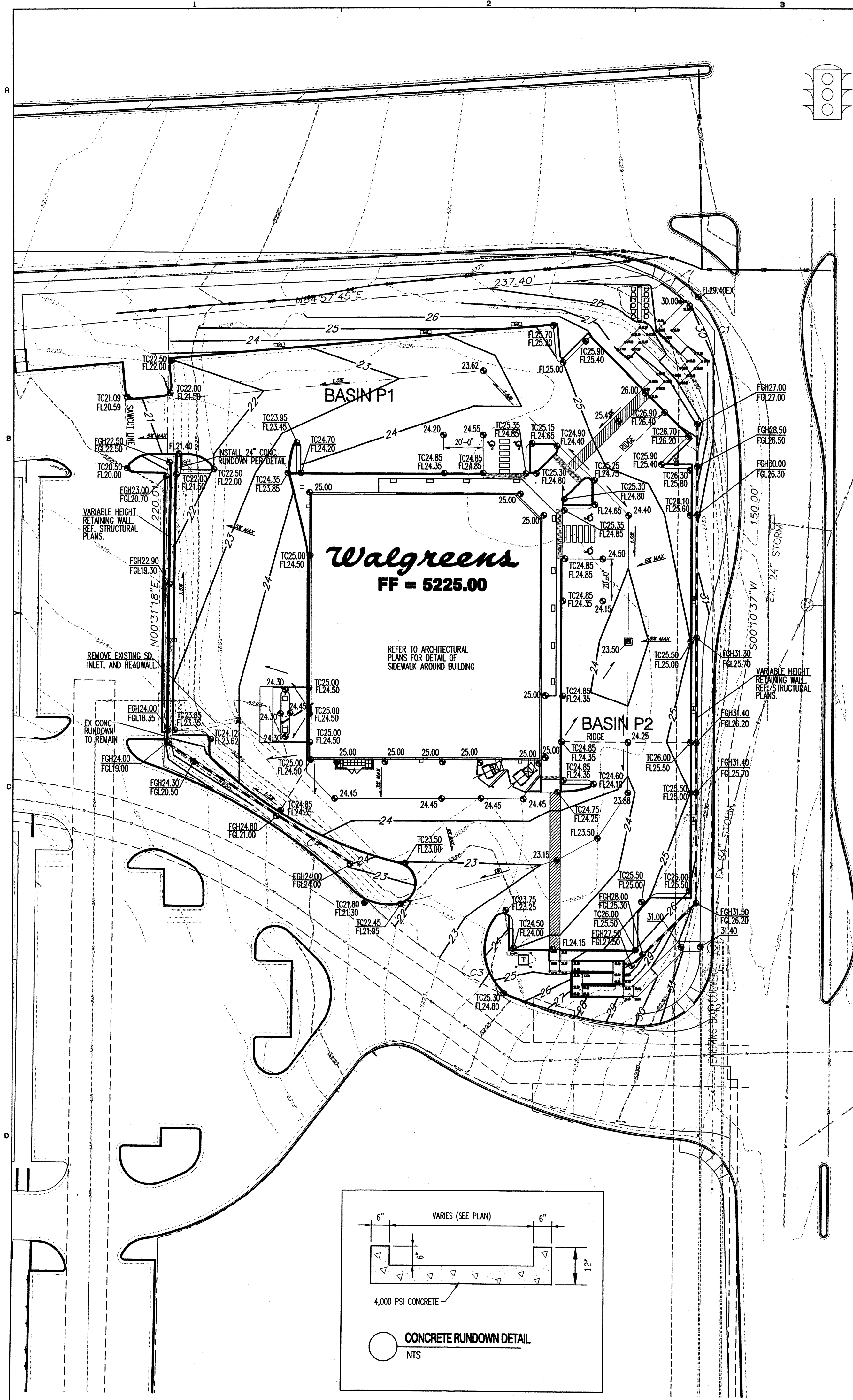


2A PASEO DEL NORTE BERM  
1:10



F:\DWG\Wip\Active Projects\Walgreens\0359 PASEO DEL NORTE & SAN PEDRO (R/W) Walgreens comments\0359 A10 Walgreens.dwg, 3/29/2005 11:26:16 AM

PROJECT 1001946

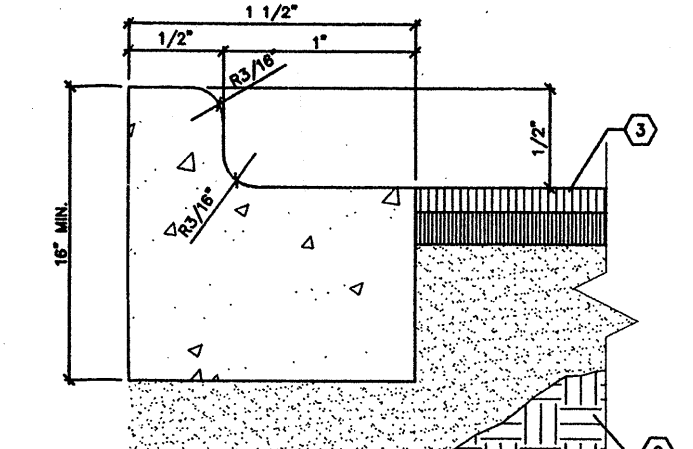


**GENERAL NOTES**

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

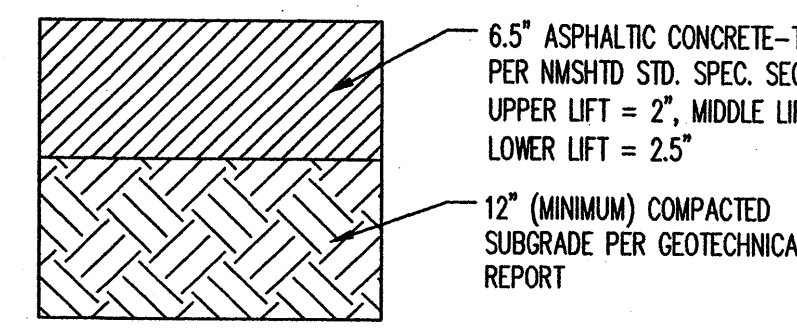
**GRADING NOTES**

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND METTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NOT SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDANS AND ISLANDS.
- VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

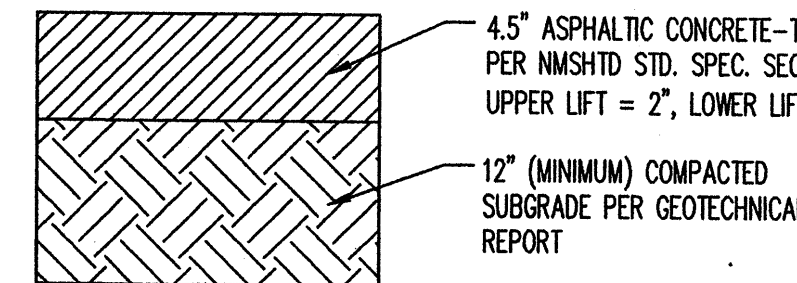


**LEGEND**

- PROPERTY LINE
- EXISTING CONTOURS
- ELEV
- PROPOSED SPOT ELEVATION
- PROPOSED DIRECTION OF FLOW
- PROPOSED RETAINING WALL
- PROPOSED CONTOURS



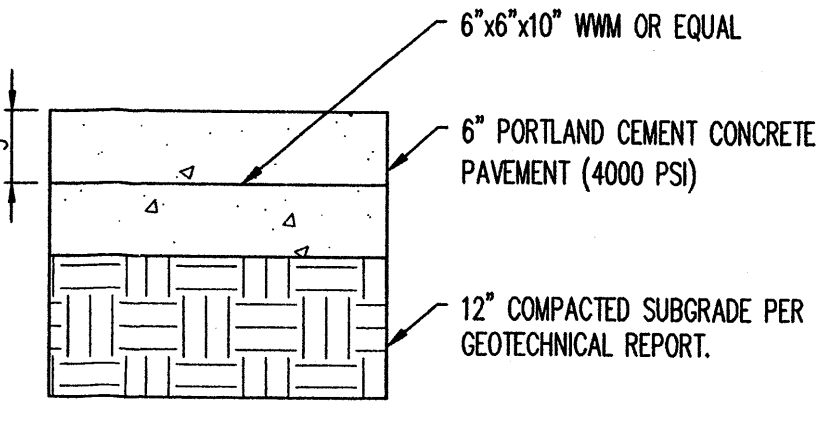
HEAVY-DUTY ASPHALT PAVEMENT SECTION  
SEE GEOTECHNICAL REPORT FOR APPROVED ALTERNATE PAVING SECTIONS.



LIGHT-DUTY ASPHALT PAVEMENT SECTION  
SEE GEOTECHNICAL REPORT FOR APPROVED ALTERNATE PAVING SECTIONS.

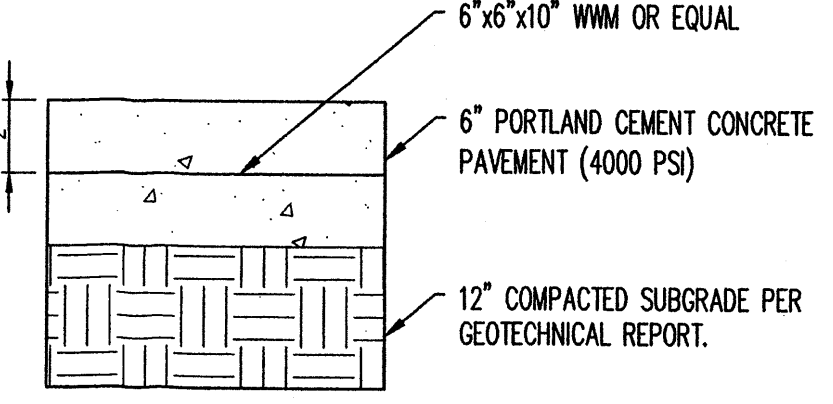
- KEYED NOTES:**
- 1) N/A
  - 2) PREPARED SUB-GRADE.
  - 3) PAVEMENT.

**CONCRETE PAVEMENT SECTION**  
NOT TO SCALE



NOTE: ALL CONSTRUCTION AND SAWED 'DUMMY' JOINTS SHALL BE INSTALLED PER PORTLAND CEMENT ASSOCIATION (PCA) RECOMMENDATIONS.

**SIDEWALK PAVEMENT SECTION**  
NOT TO SCALE



NOTE: ALL CONSTRUCTION AND SAWED 'DUMMY' JOINTS SHALL BE INSTALLED PER PORTLAND CEMENT ASSOCIATION (PCA) RECOMMENDATIONS.

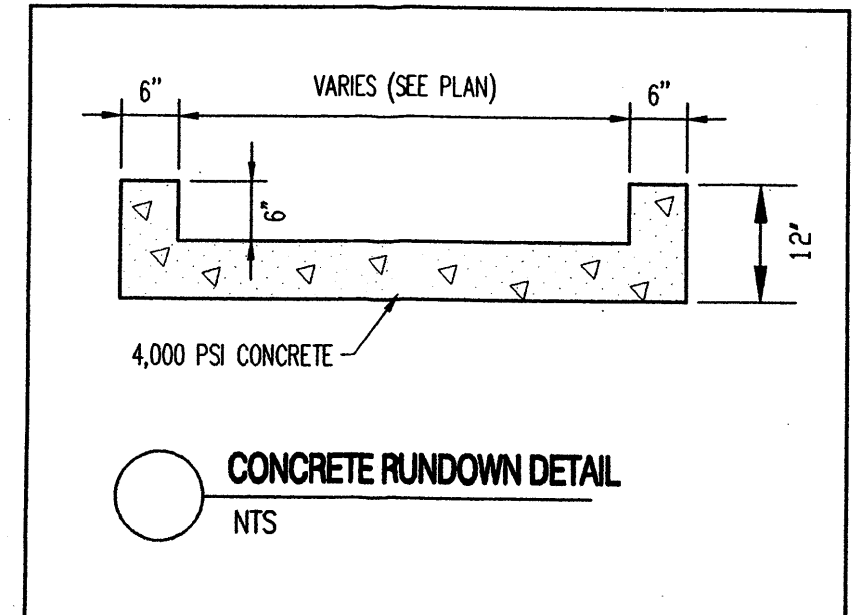
NOTE: REFERENCE SITE PLAN FOR LIMITS OF PAVEMENT SECTIONS.



**GRADING PLAN**

SCALE: 1"= 30'-0"

- NOTES:**
- MAXIMUM CROSS SLOPE ON ALL SIDEWALKS IS 2%.
  - MAXIMUM SLOPE BETWEEN 5'x5' LANDINGS ON ACCESSIBLE ROUTE IS 5%. MAXIMUM CROSS SLOPE IS 2%.
  - MAXIMUM SLOPE BETWEEN 5'x5' LANDINGS ON ACCESSIBLE ROUTE WITH HANDRAILS IS 8%. MAXIMUM CROSS SLOPE IS 2%.
  - MAXIMUM SLOPE ON ACCESSIBLE RAMPS IS 8%.
  - MAXIMUM SLOPE IN HANDICAP PARKING IS 2% IN ALL DIRECTIONS.



FACILITIES PLANNING AND DESIGN  
200 WILMOT ROAD  
708-940-2500

DEERFIELD, IL  
60015

PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:

- WALGREENS' CONSULTANT
- LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE BY:

- WALGREENS' CONTRACTOR
- LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW..... <input checked="" type="checkbox"/>	NEW..... <input checked="" type="checkbox"/>
REMODELING..... <input type="checkbox"/>	EXISTING..... <input type="checkbox"/>
RELOCATION..... <input type="checkbox"/>	NEW SHELL ONLY..... <input type="checkbox"/>
OTHERS..... <input type="checkbox"/>	

**PROJECT INFORMATION**

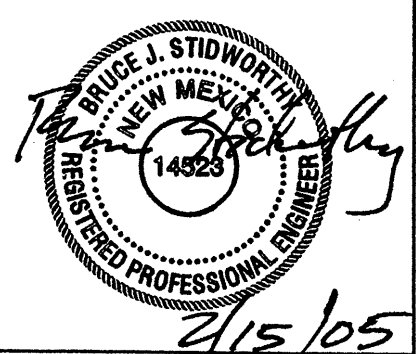
NO.	DATE	BY	DESCRIPTION	CONST.
8				
7				
6				
5				
4		BJS		
3	10/26/04	AOB	UPDATED SITE/FORMAT	
2	7/22/04	BJ	ADD SITE INFO	
1	9/01/03	MPS	WIDEN DRIVE AISLE TO 40'	

**REVISIONS**

**CERTIFICATION AND SEAL**

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NEW MEXICO AS SIGNIFIED BY MY HAND AND SEAL.

PROJECT NAME  
WALGREENS STORE  
(SWC) SAN PEDRO AND PASEO DEL NORTE  
ALBUQUERQUE, NEW MEXICO



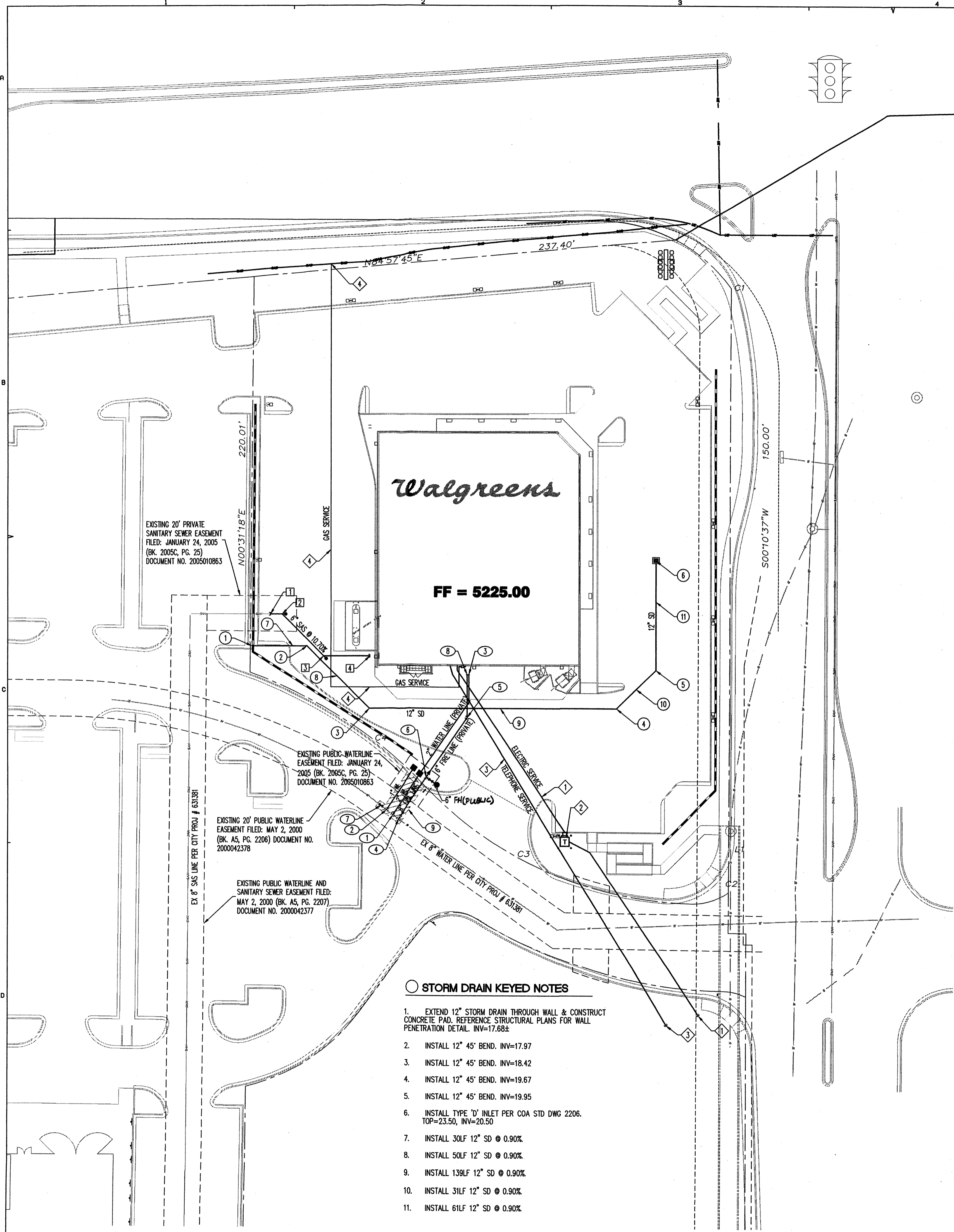
GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.  
2325 SAN PEDRO NE, SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877  
www.gra-arch.com

DRAWING TITLE  
GRADING PLAN

DATE	02-15-05	STORE NO.	9608	DRAWING NO.	
DRAWN BY:	JTW	SCALE:	1:30	<b>C1.0</b>	DWGS.
REVIEWED BY:	BJS	RELEASED TO CONSTRUCTION:			

**Bohannon & Huston**  
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

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**GENERAL NOTES**

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3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
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9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE ADJACENT PROPERTY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT PROPERTY.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

**UTILITY NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
5. ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
11. CONTRACTOR SHALL PREPARE ALL SUBMITTAL MATERIALS & PAY APPLICABLE FEES REQUIRED TO OBTAIN THE "MINI WORK ORDER" REQUIRED FOR CONNECTION TO THE EXISTING CITY WATER MAIN AND OTHER "PUBLIC" WATER LINE CONSTRUCTION.

**WATERLINE KEYED NOTES**

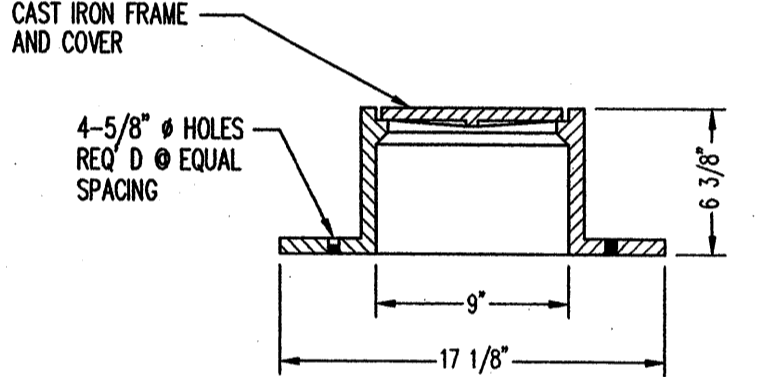
1. INSTALL 2" METERED DOMESTIC WATER SERVICE AS PER COA STD DWG 2363. CONTRACTOR SHALL PAY ALL CITY FEES ASSOCIATED WITH WATER SERVICE INSTALLATION. (SEE UTILITY NOTE #11)
2. INSTALL 1" METERED IRRIGATION WATER SERVICE AS PER COA STD DWG 2362. CONTRACTOR SHALL PAY ALL CITY FEES ASSOCIATED WITH WATER SERVICE INSTALLATION. VERIFY METER SIZE BACKFLOW PREVENTER INSTALLATION WITH LANDSCAPE/IRRIGATION PLANS. (SEE UTILITY NOTE #11). WALGREEN'S REQUIRES SEPARATE METER LOCATED INSIDE BUILDING (SEE PLUMBING PLANS).
3. REFERENCE MEP PLANS FOR CONTINUATION OF 2" WATER LINE.
4. INSTALL 8" 8" TEE AND 8" GATE VALVE. GATE VALVE PER COA STD DWGS 2326 & 2328. (SEE UTILITY NOTE #11)
5. INSTALL 8" 45° BEND WITH BLOCKING.
6. INSTALL 8"x6" TEE, 6" GATE VALVE, FIRE HYDRANT, AND 8"x6" REDUCER PER COA STD DWGS. FH PER COA STD DWG 2340, WITH 4 FT BURY AND FULLY RESTRAINED. (SEE UTILITY NOTE #11)
7. INSTALL NEW 8" GATE VALVE ON EXISTING 8" WATER LINE. (SEE UTILITY NOTE #11)
8. REFERENCE MEP PLANS FOR CONTINUATION OF 6" FIRE LINE. BACKFLOW PREVENTION INSIDE BUILDING.
9. SAWCUT, REMOVE, AND REPLACE EXISTING PAVEMENT TO MEET OR EXCEED EXISTING CONDITIONS.

**SANITARY SEWER KEYED NOTES**

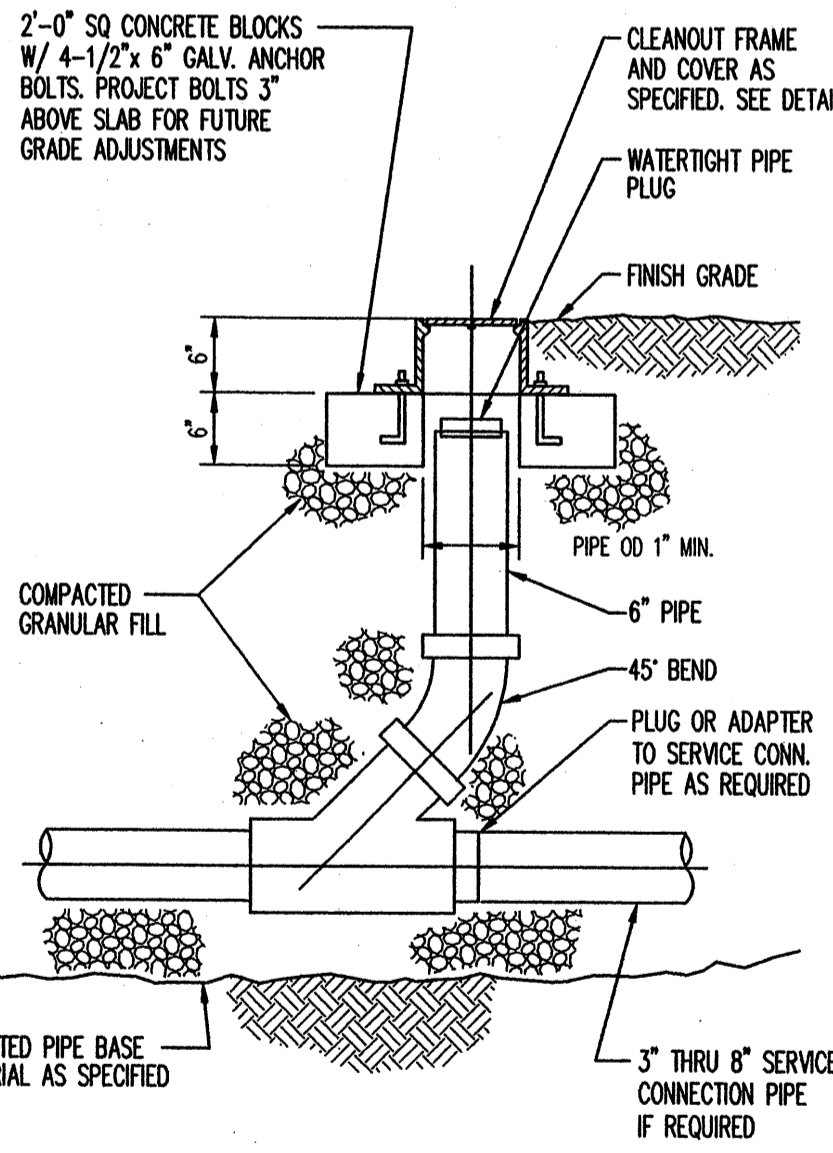
1. TIE PROPOSED 6" SANITARY SEWER SERVICE INTO EXISTING 8" SANITARY SEWER LINE. INV=5212.00±.
2. INSTALL WYE AND CLEANOUT (SEE DETAIL THIS SHEET). INV=5212.69.
3. INSTALL WYE AND CLEANOUT (SEE DETAIL THIS SHEET). INV=5216.23.
4. SEE MEP PLANS FOR CONTINUATION OF 6" SANITARY SEWER SERVICE. INV=5219.00± (VERIFY WITH MEP PLANS PRIOR TO CONSTRUCTION).

**UTILITY KEYED NOTES**

1. UNDERGROUND ELECTRICAL SERVICE. REFER TO MECHANICAL, ELECTRICAL, OR PLUMBING (MEP) PLANS.
2. PAD MOUNTED TRANSFORMER AND METER PER LOCAL UTILITY COMPANY DESIGN STANDARDS. REFER TO MEP PLANS.
3. UNDERGROUND TELEPHONE SERVICE. REFER TO MEP PLANS.
4. PROPOSED GAS SERVICE. REFER TO MEP PLANS.



**CLEANOUT FRAME & COVER**  
N.T.S.



**CLEANOUT**  
N.T.S.

**STORM DRAIN KEYED NOTES**

1. EXTEND 12" STORM DRAIN THROUGH WALL & CONSTRUCT CONCRETE PAD. REFERENCE STRUCTURAL PLANS FOR WALL PENETRATION DETAIL. INV=17.68±
2. INSTALL 12" 45° BEND. INV=17.97
3. INSTALL 12" 45° BEND. INV=18.42
4. INSTALL 12" 45° BEND. INV=19.67
5. INSTALL 12" 45° BEND. INV=19.95
6. INSTALL TYPE 'D' INLET PER COA STD DWG 2206. TOP=23.50, INV=20.50
7. INSTALL 30LF 12" SD @ 0.90%
8. INSTALL 50LF 12" SD @ 0.90%
9. INSTALL 139LF 12" SD @ 0.90%
10. INSTALL 31LF 12" SD @ 0.90%
11. INSTALL 61LF 12" SD @ 0.90%



**UTILITY PLAN**

SCALE: 1" = 30'-0"

**Bohannon & Huston**  
 Courtyard | 7000 Jefferson St. NE | Albuquerque, NM 87109-4395  
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



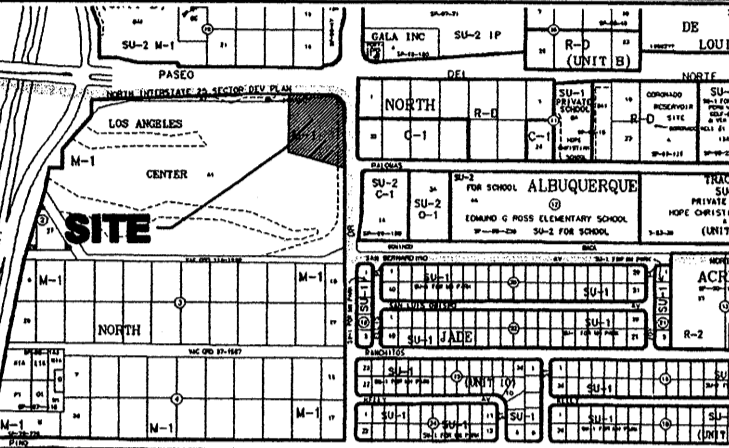
FACILITIES PLANNING AND DESIGN  
 200 WILMOT ROAD DEERFIELD, IL 60015  
 708-940-2500

PROJECT TYPE  
 WALGREENS' CONSULTANT  
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK UNLESS NOTED OTHERWISE BY:  
 WALGREENS' CONTRACTOR  
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW <input checked="" type="checkbox"/>	NEW <input checked="" type="checkbox"/>
REMODELING... <input type="checkbox"/>	EXISTING... <input type="checkbox"/>
RELOCATION... <input type="checkbox"/>	NEW SHELL ONLY... <input type="checkbox"/>
OTHERS... <input type="checkbox"/>	

**PROJECT INFORMATION**



**VICINITY MAP**  
 LOS ANGELES CENTER, LOT AT, BLOCK 0000  
 6200 PASEO DEL NORTE NE

**CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT**

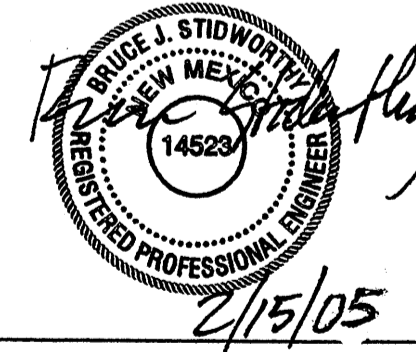
APPROVALS FOR:	NAME	DATE
DESIGN:		
UTILITY DEVELOPMENT		
CONSTRUCTION:		
CONSTRUCTION ENGINEER		
ACCEPTANCE:		
CONSTRUCTION INSPECTOR		

NO.	DATE	BY	DESCRIPTION	CONST.
8				
7				
6				
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4				
3	10/25/04	AOB	UPDATED SITE/FORMAT	
2	7/22/04	BJ	ADD SITE INFO	
1	9/01/03	MPS	WIDEN DRIVE AISLE TO 40'	

**REVISIONS**

**CERTIFICATION AND SEAL**

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NEW MEXICO AS SIGNIFIED BY MY HAND AND SEAL.



PROJECT NAME  
 WALGREENS STORE  
 (SWC) SAN PEDRO AND PASEO DEL NORTE  
 ALBUQUERQUE, NEW MEXICO

GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.  
 2325 SAN PEDRO NE, SUITE 2-B  
 ALBUQUERQUE, NEW MEXICO 87110  
 PHONE (505) 884-9110 FAX (505) 837-9877  
 www.gra-arch.com

**DRAWING TITLE**  
 UTILITY PLAN

DATE	02-15-05	STORE NO.	9608	DRAWING NO.	
DRAWN BY:	JTW	SCALE:	1:30	<b>C2.0</b>	OF DWGS.
REVIEWED BY:	BJS	RELEASED TO CONSTRUCTION:			

**KEYED NOTES**

- EIFS FINISH OVER FOAM CORNICE. MED. SAND FINISH. SEE 4/A2.2.
- TWO-COAT STUCCO SYSTEM OVER LATH AND BUILDING PAPER OVER 5/8" SHEATHING ON METAL STUDS, PAINTED, 2-COAT STUCCO SYSTEM OVER CMU.
- PREFINISHED SHEET METAL COPING, GUTTERS AND DOWNSPOUT. COLOR TO MATCH UNA-CLAD "ALMOND". BUILDING ADDRESS NUMBERS PER CITY OF ALBUQUERQUE F.P.D. 5" MIN. HEIGHT.
- APPROVED KEY BOX PER CITY OF ALBUQUERQUE F.P.D.
- DECORATIVE CONTROL JOINT.
- MASONRY CONTROL JOINT. SEE STRUCTURAL FOR LOCATIONS.
- STEEL PIPE BOLLARDS. SEE DETAIL 5/A1.4.
- RECEIVING AREA CONCRETE SLAB.
- TENANT SIGNAGE. PROVIDE ELECTRICAL JUNCTION BOXES. INDIVIDUAL LETTERS ILLUMINATED. SEE ELECTRICAL.
- TOTE STORAGE ENCLOSURE AND COMPACTOR WITH METAL GATES. PAINT TO MATCH BM HC-48 "BROADSTREET BEIGE".
- DOOR BELL AT 48" AFF.
- AUTOMATIC SLIDING DOOR ENTRANCE/EXIT. SEE DETAILS 88/9M.3
- LIGHT FIXTURE. SEE ELECTRICAL. TYPICAL MOUNTING HEIGHT 10' A.F.F.
- CLEAR ANODIZED STOREFRONT SYSTEM WITH 1" TINTED, LOW-E, INSULATING GLAZING.
- 1/8" THICK BENT STEEL PLATE (TO PROTECT DOWNSPOUT) BOLTED TO MASONRY. COPE AROUND BULLNOSE. SEE DETAIL 5/A1.3.
- CONCRETE ROOF TILE ON 30# FELT. SEE SHEET A2.3.
- LINE OF FOUNDATION.
- LINE OF FINISH FLOOR.
- TEMPERED GLASS.
- STEEL ROLLING DOOR.
- PAINTED HOLLOW METAL DOOR AND FRAME. MATCH 8/M1032.
- FIRE DEPARTMENT CONNECTION.
- CLEARANCE SIGN. SEE DETAIL SHEET A5.2.
- INTEGRAL COLOR CMU WAINSCOT. SEE COLOR CHART.
- 3/8" FLEXIBLE DELINEATION POST. FASTEN TO CONCRETE WITH BOLTS.
- DRIP CAP.
- CLEAR ANODIZED STOREFRONT SYSTEM WITH 1" TINTED, LOW-E, INSULATING GLAZING.
- DRIVE THRU LIGHT. SEE A4.4 FOR DETAILS.



FACILITIES PLANNING AND DESIGN  
200 WILMOT ROAD  
708-940-2500

DEERFIELD, IL  
60015

PROJECT TYPE  
DRAWINGS/SPECIFICATIONS BY:  
 WALGREENS' CONSULTANT  
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK UNLESS NOTED OTHERWISE BY:  
 WALGREENS' CONTRACTOR  
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW .....	<input checked="" type="checkbox"/> NEW .....
REMODELING .....	<input type="checkbox"/> EXISTING .....
RELOCATION .....	<input type="checkbox"/> EXISTING ONLY .....
OTHERS .....	<input type="checkbox"/> NEW SHELL ONLY .....

PROJECT INFORMATION

East Elevation		
30'-7 1/2" x 27 1/2" WALGREENS SCRIPT SIGN	80.32 SF	
18" PHARMACY	19.20 SF	
18" PHOTO	11.60 SF	
<b>SOUTH ELEVATION</b>		
26'-8 1/2" x 24" WALGREENS SCRIPT SIGN	55.79 SF	
North Elevation		
30'-7 1/2" x 27 1/2" WALGREENS SCRIPT SIGN	80.32 SF	
18" PHARMACY	19.20 SF	
18" PHOTO	11.60 SF	
West Elevation		
26'-8 1/2" x 24" WALGREENS SCRIPT SIGN	55.79 SF	
<b>BUILDING TOTAL</b>	<b>333.82 SF</b>	
UPPER CABINET	98.85 SF	
LOWER CABINET	23.11 SF	
<b>PYLON TOTAL</b>	<b>111.96 SF</b>	
<b>SIGNAGE TOTAL</b>	<b>445.78 SF</b>	
DIRECTIONAL SIGNS AT DRIVE THRU		
10" DRIVE THRU PHARMACY	12.6 SF	
10" EXIT	2.1 SF	

WALGREENS: SEE SIGN ANALYSIS SHEET

SIGNAGE BY SEPARATE PERMIT

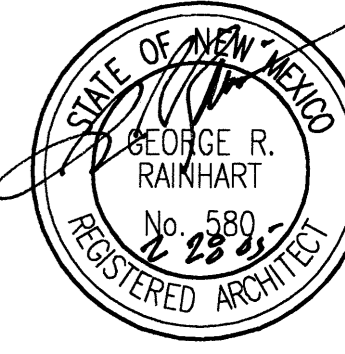
SIGN CODE SUMMARY  
ALBUQUERQUE PERMIT OFFICIAL: NAME \_\_\_\_\_ PHONE \_\_\_\_\_  
BUILDING SIGNAGE IS BASED ON A PERCENTAGE OF THE BUILDING FACE. SEE ATTACHED SIGN CODE SUMMARY.

8				
7				
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2				
1	2/5/05	AOB	WALGREEN/CITY COMMENTS	
NO.	DATE	BY	DESCRIPTION	CONST.

REVISIONS

CERTIFICATION AND SEAL

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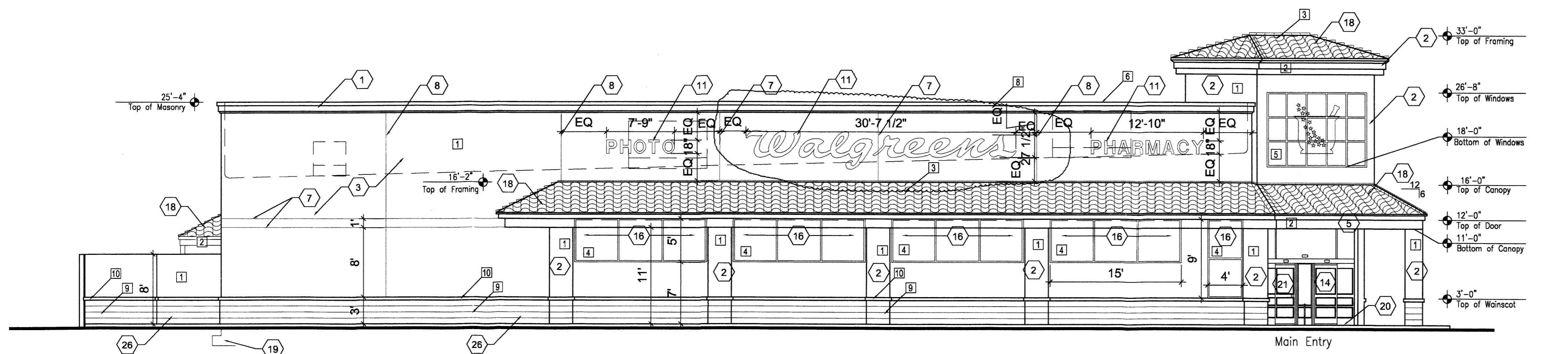


PROJECT NAME  
WALGREENS STORE  
(SWC) SAN PEDRO DEL NORTE  
ALBUQUERQUE, NEW MEXICO

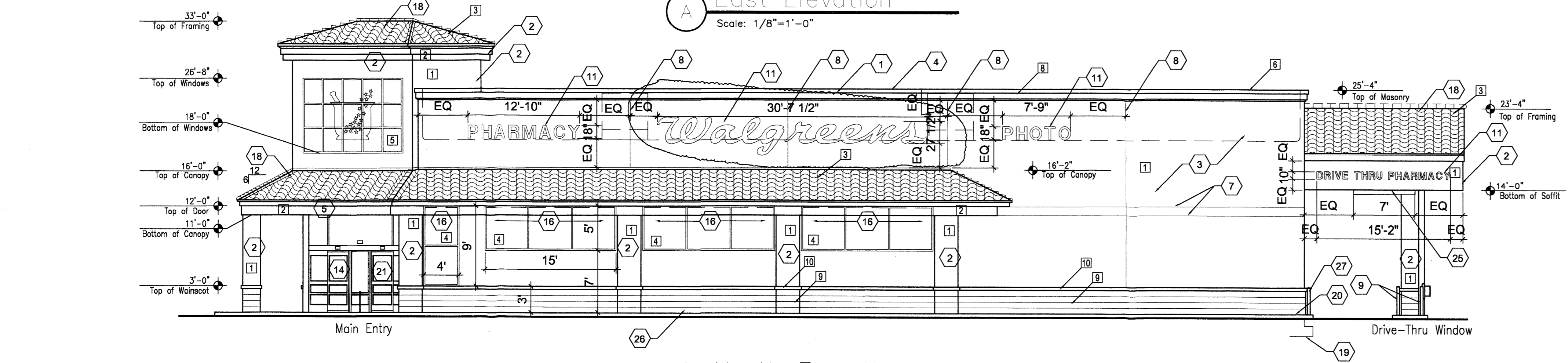
GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.  
2325 SAN PEDRO NE., SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877  
www.gra-arch.com

DRAWING TITLE  
ELEVATIONS

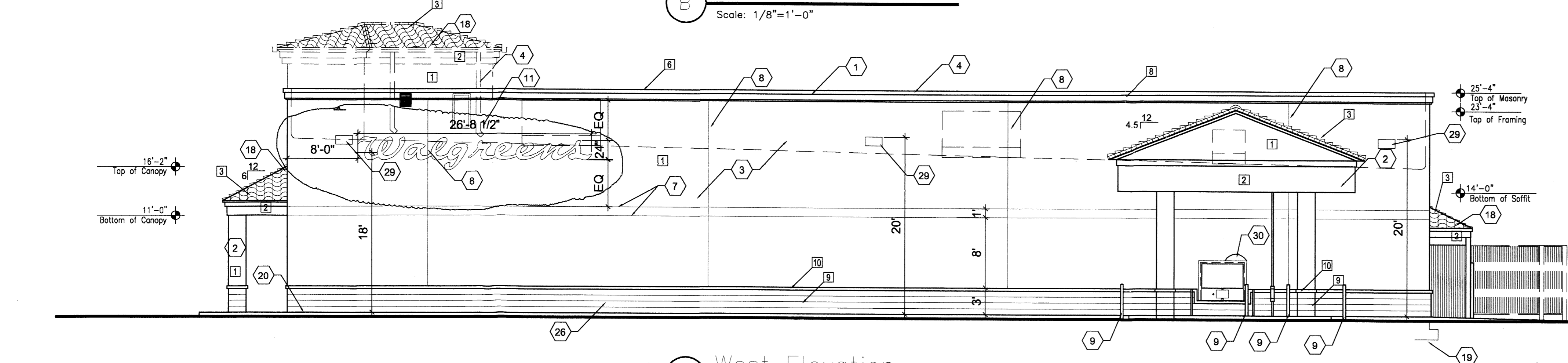
DATE	11/22/04	STORE NO.	9608	DRAWING NO.	
DRAWN BY:	AOB	SCALE:	1/8"=1'-0"	<b>A2.1</b>	
REVIEWED BY:		RELEASED TO CONSTRUCTION:		OF	DWGS



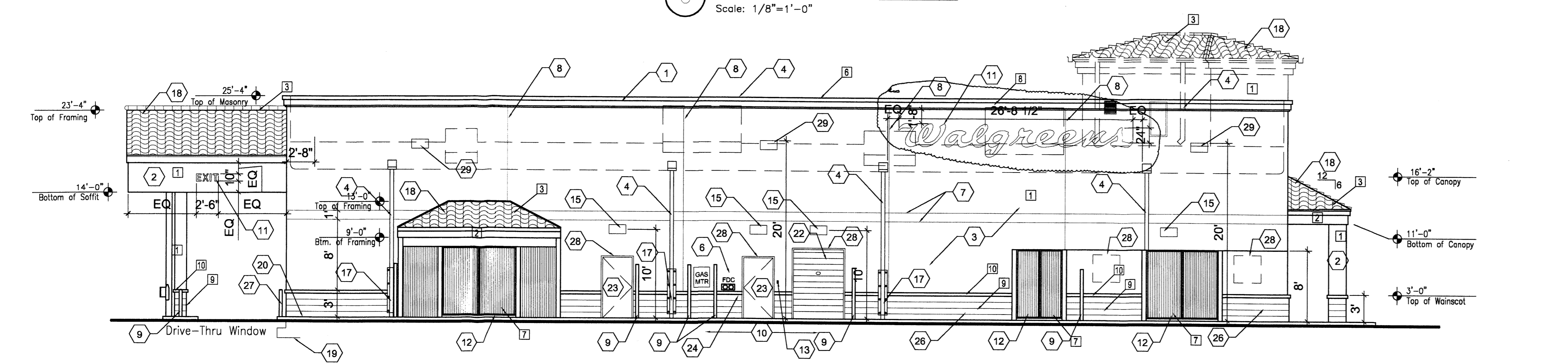
**A East Elevation**  
Scale: 1/8"=1'-0"



**B North Elevation**  
Scale: 1/8"=1'-0"



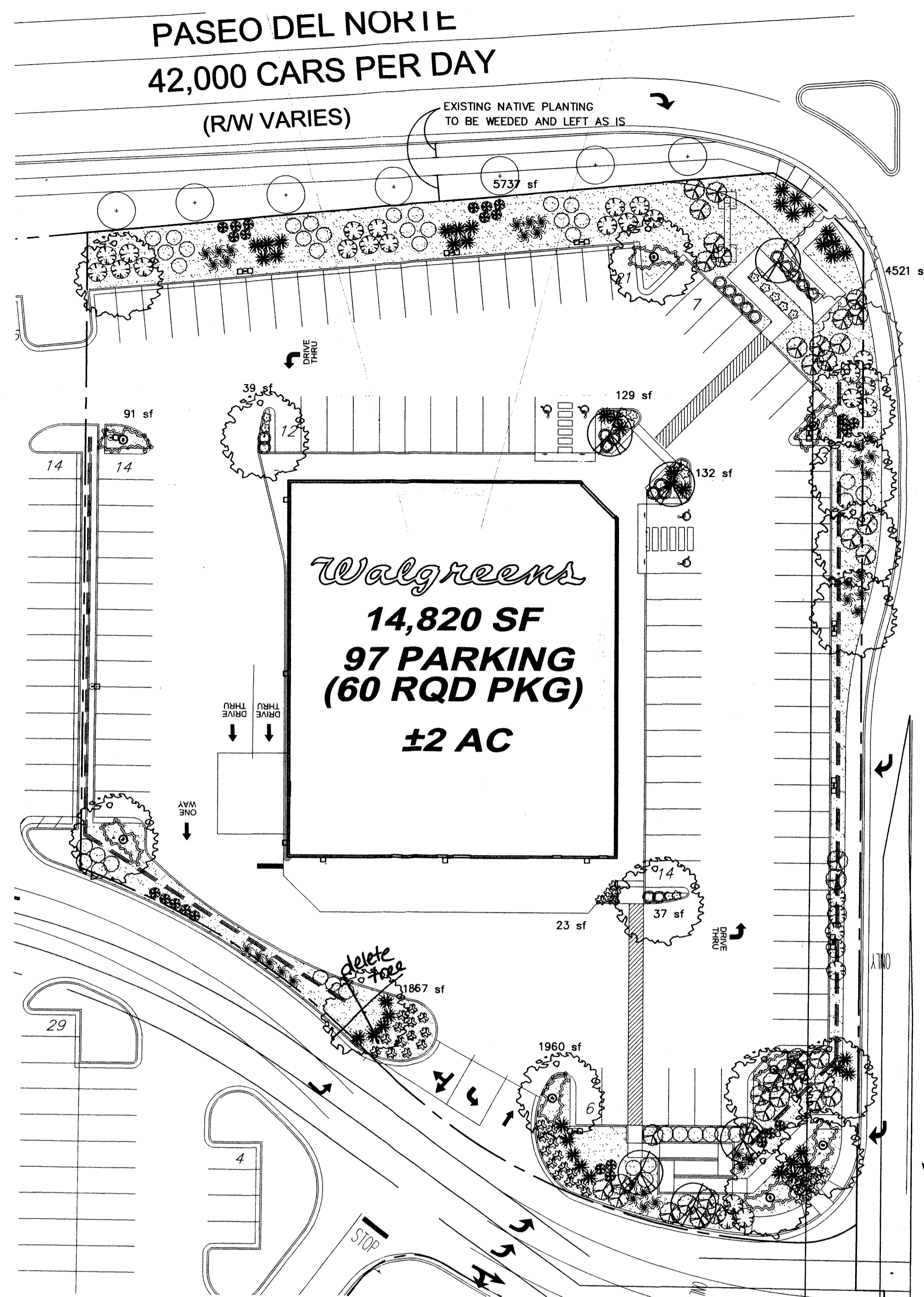
**C West Elevation**  
Scale: 1/8"=1'-0"



**D South Elevation**  
Scale: 1/8"=1'-0"

COLOR CHART

LOCATION	COLOR
1 PRIMARY COLOR	BM 951 "BONE WHITE"
2 ACCENT STUCCO	BM HC-48 "BROADSTREET BEIGE"
3 ROOF	WESTILE, SIERRA MISSION-SLURRY "HARVEST BLEND" (011133)
4 GLASS	1" INSUL. BRONZE, LOW E GLASS W/ CLEAR ANOD. FRAMES
5 GLASS	1/4" CLEAR
6 PARAPET CAP	UNA CLAD "ALMOND"
7 SCORS STORAGE GATES	BM HC-48 "BROADSTREET BEIGE"
8 CORNICE	BM HC-48 "BROADSTREET BEIGE"
9 WAINSCOT BLOCK	SPLIT FACE INTEGRAL COLOR "EL PASO BUFF" RINKER
10 BLOCK CAP	INTEGRAL COLOR "EL PASO BUFF" RINKER



**LANDSCAPE NOTES:**

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Gray Gravel over Filter Fabric shall be placed in all landscape areas as designated.

**PLANT LEGEND**

- EXISTING TREE 2
- EXISTING DESERT WILLOW 7
- ASH (H) OR HONEY LOCUST (M) 15  
Fraxinus pennsylvanica  
Gleditsia triacanthos  
2" Cal. 60' Tall, 60' Canopy
- FLOWERING PEAR (M+) 6  
Pyrus calleryana  
2" Cal. 20-25' Tall, 10-15' Canopy
- APACHE PLUME (L) 40  
Fallugia paradoxa  
5 Gal. 25sf
- ROSEMARY (M) 20  
Rosmarinus officinalis  
2 Gal. 9sf
- POTENTILLA (M) 18  
Potentilla fruticosa  
2 Gal.
- HALL'S HONEYSUCKLE (M) 41  
Japonica 'Halliana'  
1 Gal. 144sf  
Unstaked-Groundcover
- RED YUCCA (L) 44  
Hesperaloe parviflora  
5 Gal. 9sf
- CHAMISA (L) 28  
Chrysothamnus nauseosus  
1 Gal. 25sf
- MAIDENGRASS (M) 33  
Miscanthus sinensis  
5 Gal. 16sf
- REGAL MIST (M) 24  
Muhlenbergia capillaris  
5 Gal. 9sf
- THREADGRASS (M) 40  
Stipa tenuissima  
1 Gal. 4sf
- GREYLEAF COTONEASTER (M) 24  
Cotoneaster buxifolius  
5 Gal. 81sf  
Symbol indicates 3 plants
- NATURAL EDGE
- 3/4" GRAY GRAVEL WITH FILTER FABRIC

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	83169	square feet
TOTAL BUILDINGS AREA	14820	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	68349	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	10252	square feet
TOTAL BED PROVIDED	14536	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	10902	square feet
TOTAL GROUNDCOVER PROVIDED	11100	square feet

**STREET TREE REQUIREMENTS**

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Paseo del Norte  
Trees Required#7/Existing # 7

San Pedro  
Required#11/Existing # 2/Provided#9/Total#11

**PARKING LOT TREE REQUIREMENTS**

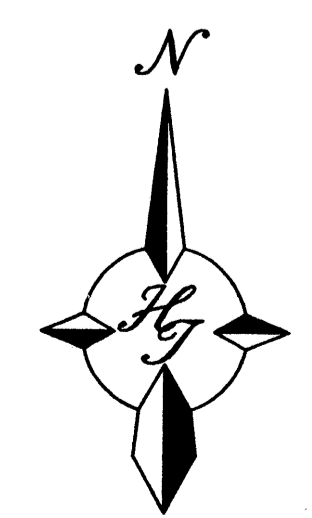
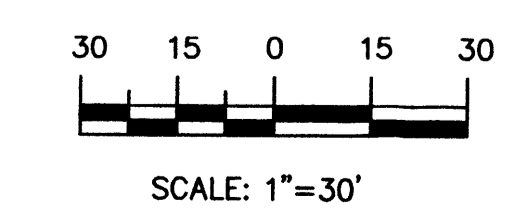
Parking Lot Trees required under the City Of Albuquerque Ordinance are as follows:

1 Shade Tree per 10 Spaces  
Trees Required#10/Trees Provided#10/Total#10



**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
cmd@hilltoplandscaping.com  
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be released or copied unless applicable fees have been paid or job order placed.

**GRAPHIC SCALE**



**Walgreens**

FACILITIES PLANNING AND DESIGN  
200 WILMOT ROAD DEERFIELD, IL 60015  
708-940-2500

PROJECT TYPE  
DRAWINGS/SPECIFICATIONS BY:  
 WALGREENS' CONSULTANT  
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:  
 WALGREENS' CONTRACTOR  
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW .....	NEW .....
REMODELING.....	EXISTING.....
RELOCATION.....	NEW SHELL ONLY .....
OTHERS.....	

**PROJECT INFORMATION**

NO.	DATE	BY	DESCRIPTION	CONST.
8				
7				
6				
5				
4				
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2				
1				

NO.	DATE	BY	DESCRIPTION	CONST.

**REVISIONS**

**CERTIFICATION AND SEAL**

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PROJECT NAME  
WALGREENS STORE  
(SWC) SAN PEDRO AND PASEO DEL NORTE  
ALBUQUERQUE, NEW MEXICO

GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.  
2325 SAN PEDRO NE., SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877  
www.gra-arch.com

**DRAWING TITLE**  
LANDSCAPE PLAN

DATE 12-15-04	STORE NO. 9608	DRAWING NO.
DRAWN BY: dr	SCALE: 1:30	<b>L1.0</b>
REVIEWED BY:	RELEASED TO CONSTRUCTION:	
		OF DWGS.

02-14-05 drr  
12-15-04 drr

## PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:  
 WALGREENS' CONSULTANT  
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:  
 WALGREENS' CONTRACTOR  
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW .....	NEW .....
REMODELING.....	EXISTING.....
RELOCATION.....	NEW SHELL ONLY.
OTHERS.....	

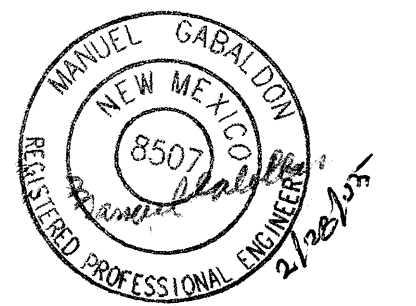
## KEYED NOTES

- 1 WALGREENS PYLON SIGN. SEE NOTE 2.
- 2 SEE NOTES NUMBER 5 THIS SHEET.
- 3 BOLLARD (TYPICAL).
- 4 MAIN TELEPHONE TERMINAL BOARD
- 5 NOT USED.
- 6 ELECTRICAL SERVICE REFER TO POWER RISER DIAGRAM ON DRAWING NO. E2.1.
- 7 PAD MOUNTED TRANSFORMER, METER AND 4' PRIMARY UNDERGROUND CONDUIT PER LOCAL UTILITY COMPANY DESIGN STANDARDS. SERVICE ENTRANCE SHALL BE PER LOCAL UTILITY COMPANY DESIGN STANDARDS. COORDINATE INSTALLATION WITH LOCAL UTILITY PRIOR TO ROUGH-IN. UNDERGROUND CONDUIT INSTALLED BY ELECTRICAL CONTRACTOR, CONDUCTORS INSTALLED BY LOCAL UTILITY.
- 8 3" PVC CONDUIT FOR TELEPHONE SERVICE. VERIFY EXACT LOCATION OF STUB OUT WITH LOCAL TELEPHONE COMPANY. COORDINATE INSTALLATION OF 50 PAIR MINIMUM TELEPHONE CABLE FOR SERVICE WITH LOCAL TELEPHONE PROVIDER.
- 9 PROVIDE NEMA 3R JUNCTION BOX FOR SIGN AND MAKE REQUIRED CONNECTIONS. VERIFY EXACT LOCATION IN FIELD PRIOR TO ROUGH IN.
- 10 THIS FIXTURE SHALL BE AT 18'-0" A.F.F. TO AVOID CONFLICT WITH WALGREENS' SIGN.

NO.	DATE	BY	DESCRIPTION	CONST.
1	2/11/05	SED	Walgreens Comments	

## REVISIONS

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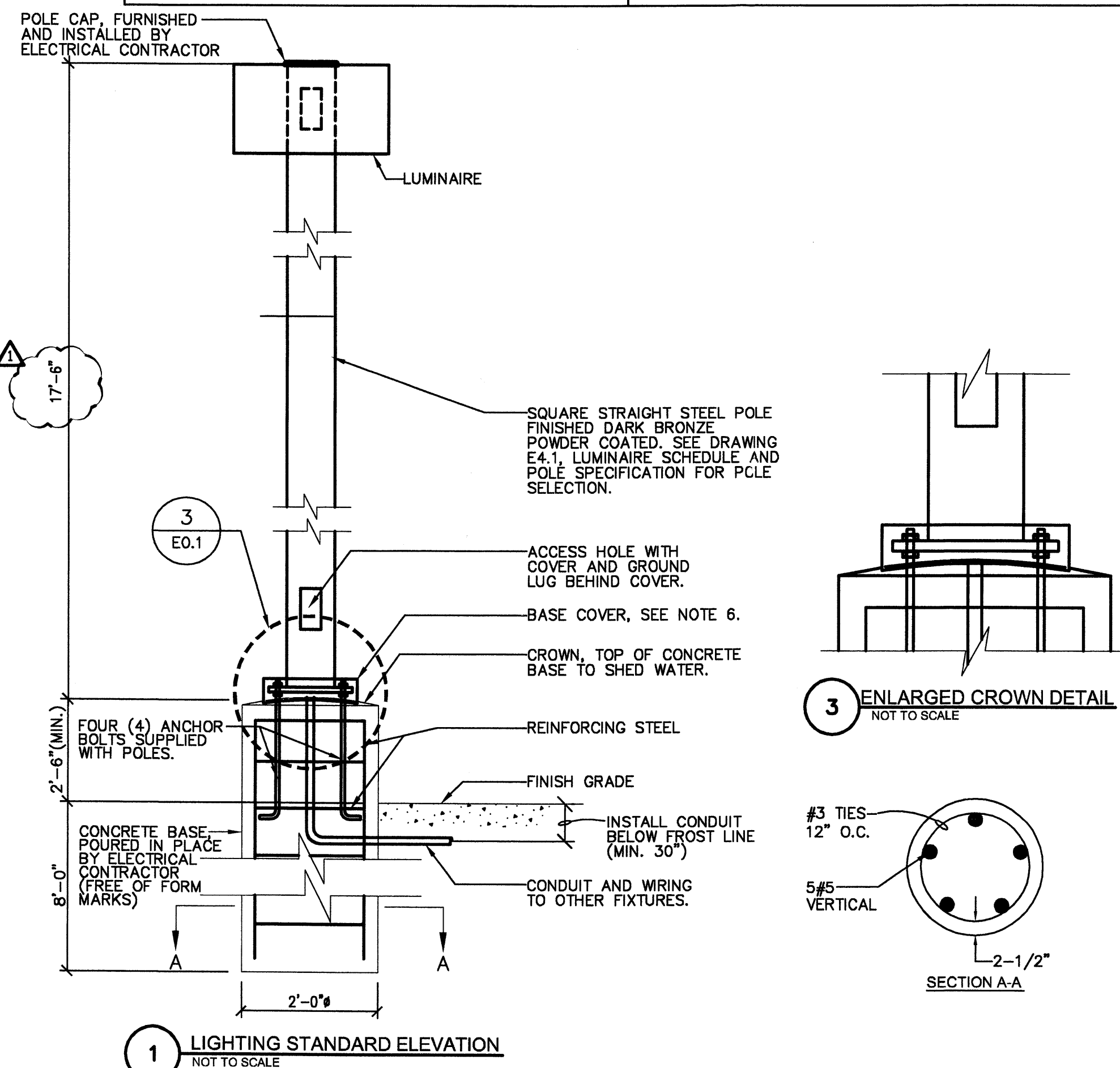
PROJECT NAME  
**WALGREENS STORE (SVC) SAN PEDRO AND PASEO DEL NORTE ALBUQUERQUE, NEW MEXICO**

GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.  
2325 SAN PEDRO NE, SUITE 2-B  
ALBUQUERQUE, NEW MEXICO 87110  
PHONE (505) 884-9110 FAX (505) 837-9877

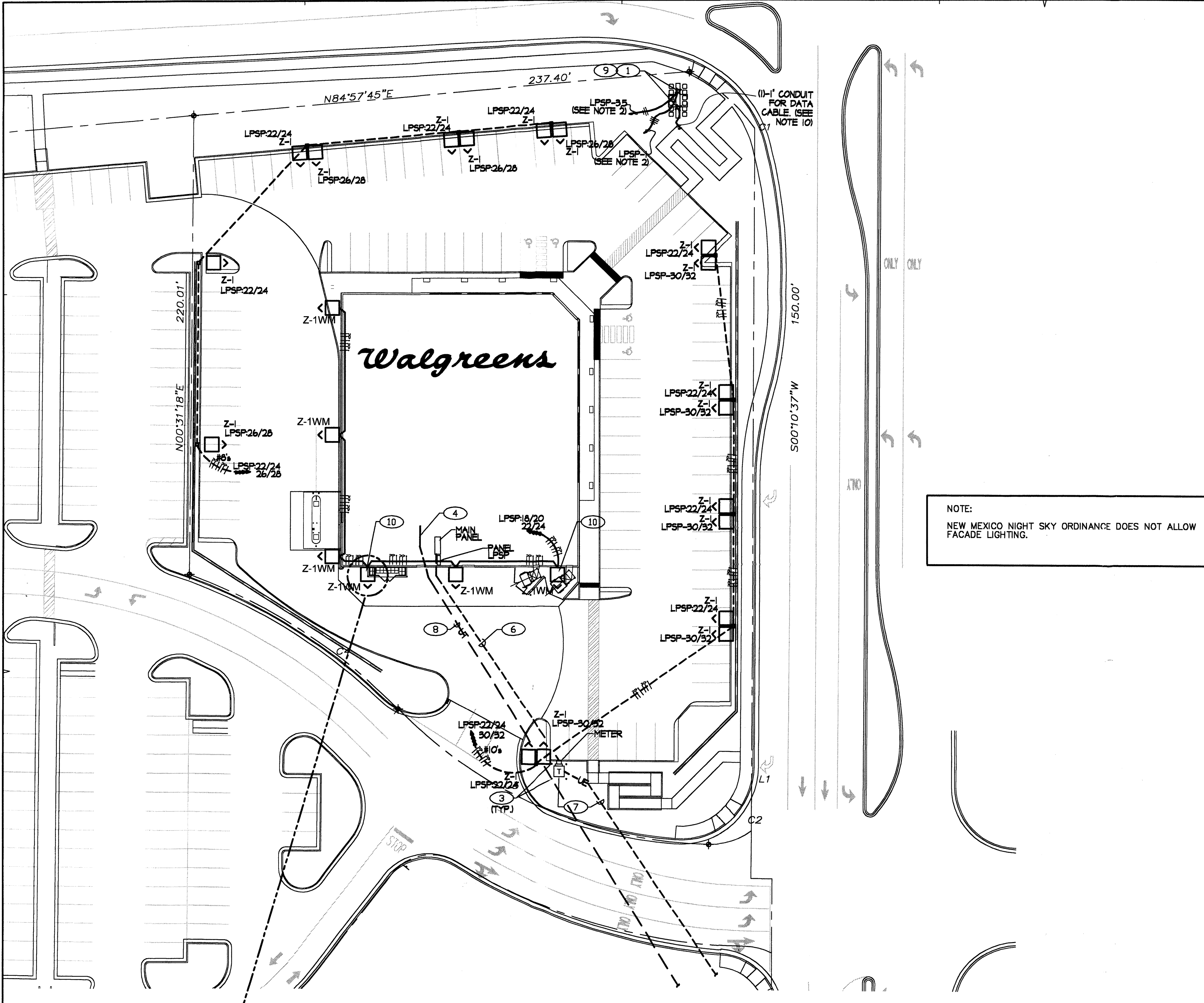
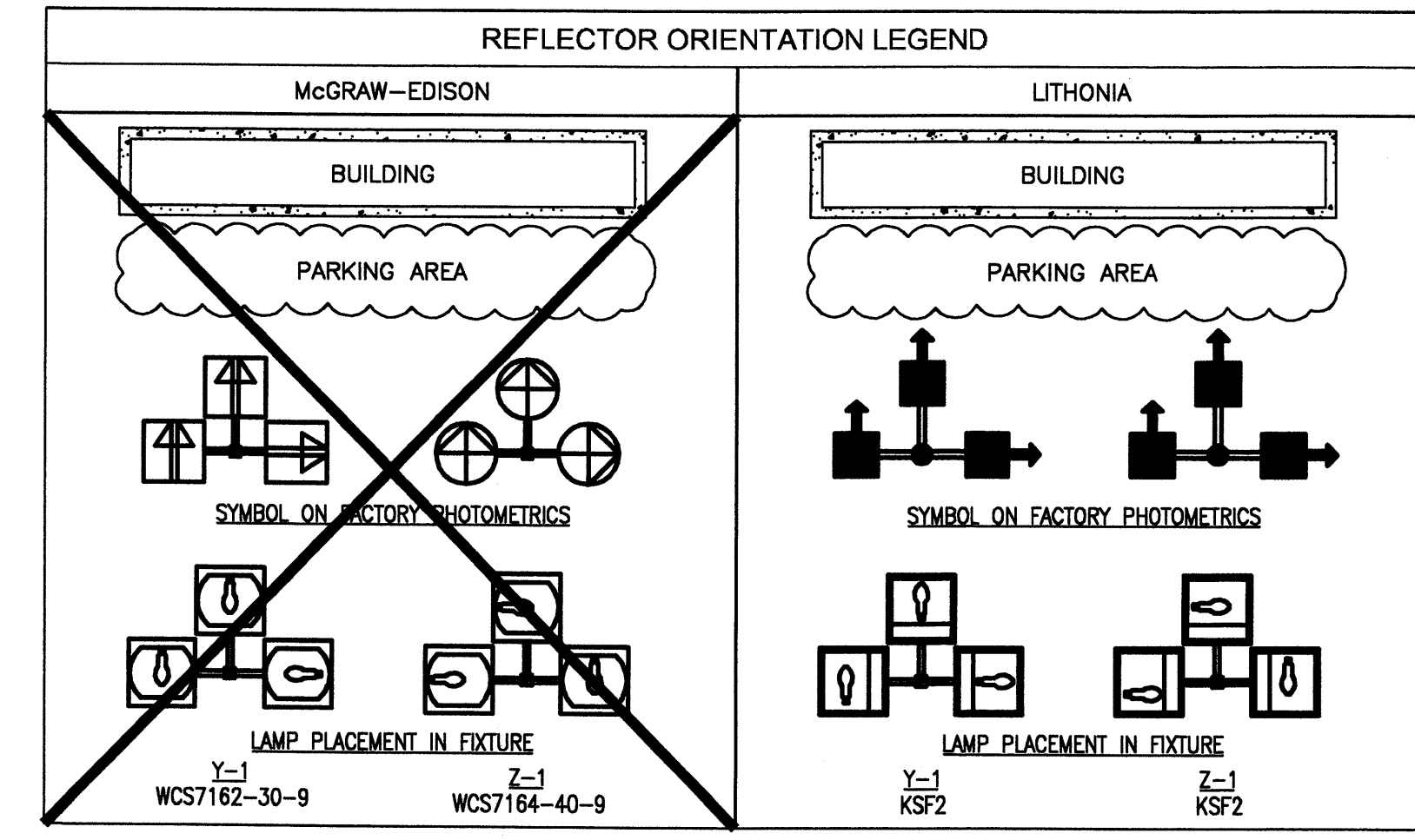
## DRAWING TITLE

DATE	11/17/04	STORE NO.	9608	DRAWING NO.	
DRAWN BY:	SED	SCALE: AS NOTED		<b>E0.1</b>	
REVIEWED BY:		RELEASED TO CONSTRUCTION			DWGS.

- ### NOTES
1. ALL WORK SHOWN SHALL COMPLY WITH ALL NATIONAL, STATE AND LOCAL CODES, ORDINANCES, ETC.
  2. FOR WALGREENS STANDARD PYLON SIGN, PROVIDE (1) 20A, 120V CIRCUIT FROM PANEL "LP-SP" TO PYLON SIGN FOR PRIMARY PANEL (16'-8" X 5'-4"). POWER REQUIREMENTS FOR LED BOARD BOARD SHALL BE BASED ON PYLON SIGN ELECTRICAL DATA SHOWN BELOW.
  3. FURNISH AND INSTALL THE DRIVE ALARM SENSOR, WHICH IS MOUNTED ON THE INTERIOR WALL OF THE DRIVE-THRU WINDOW UNIT. SEE DRAWING E1.2 FOR ELECTRICAL REQUIREMENTS.
  4. SEE LUMINAIRE SCHEDULE ON DRAWING E4.1 FOR LUMINAIRE INFORMATION.
  5. THE SITE LIGHTING IS BASED ON:  
 MCGRAW-EDISON  
 LITHONIA
  6. PROVIDE CROWN ON TOP OF CONCRETE BASE TO COMPLETELY SHED WATER. IF WATERSHED IS NOT PROVIDED, THEN GROUTING WITH A NON-SHRINK GROUT IS REQUIRED. PROVIDE WEEP HOLES FOR DRAINAGE.  
~~FACADE ACCENT FIXTURE BRACKET SHALL BE 3" SQUARE STRUCTURAL TUBING WELDED TO STEEL MOUNTING PLATE WITH 2" TENDON AND EPDMOR FIT STEEL END CAP BRACKET MOUNTING HARDWARE SHALL INCLUDE (2) 1/2"-13" X 1/2" STAINLESS STEEL THRU-BOLTS, NUTS AND LOCKWASHERS TO BE INSTALLED BY THE ELECTRICAL CONTRACTOR. (UTILIZE ONLY WITH CANOPY ELEVATIONS).~~
  8. THE POLE HOLDING THE "W-1" OR THE "W-2" FACADE ACCENT FIXTURE SHALL BE LOCATED AT THE PERIMETER OF THE SITE WITHIN 20 FEET OF THE CENTERLINE. THE "WALGREENS" LOGO SCRIPT SIGN ON THE FACADE. (UTILIZE ONLY WITH CANOPY ELEVATIONS).
  9. GROUP B, DRAWING E2.1A OF CONTROL SCHEDULE CONTROLS LIGHTS REQUIRED TO ILLUMINATE PATH OF TRAVEL FROM THE STORE ENTRANCE TO THE DESIGNATED EMPLOYEE PARKING SPACES. ACCORDING TO SPECIFIC LAYOUT SHOWN ON CRITERIA DRAWING E0.1, LIGHTS ON THREE POLES ARE INCLUDED IN GROUP B. SELECTION OF POLES IS BASED ON THE FOLLOWING LOGIC:  
 POLE 1 - CLOSEST TO INTERSECTION  
 POLE 2 - NEXT TO THE CLOSEST TO INTERSECTION ON STREET WITH HIGHER TRAFFIC COUNT (MAIN STREET)  
 POLE 3 - TWO FOLLOWING OPTIONS ARE CONSIDERED FOR POLE LOCATION:  
 1. ALONG PROPERTY LINE IF PARKING STALLS ARE PRESENT AND NON-RESIDENTIAL  
 2. ALONG STREET WITH LOWER TRAFFIC COUNT.
  10. PROVIDE A MINIMUM OF TWO (2) 1" DIAMETER PVC CONDUITS TO PYLON SIGN(S) TO SEPARATE DATA CABLE AND POWER CIRCUITS. 2"-0" SEPARATION SHALL BE MAINTAINED BETWEEN POWER AND DATA CONDUITS. RUN DATA CONDUIT (WITH #12 WIRE FOR PULL STRING) TO OFFICE SPACE. SEE DRAWING E1.3 - ETHERNET SYSTEM, FOR EXACT LOCATION. ALL CONDUIT AND POWER SHALL BE FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR. PYLON DATA CABLE FURNISHED AND INSTALLED BY WALGREEN CONTRACTOR.
  11. THE SITE LIGHTING POLE SHALL BE USED WITH A WIND SPEED OF:  
 90 MPH AND BELOW  
 120 MPH AND BELOW  
 150 MPH AND BELOW



1 LIGHTING STANDARD ELEVATION  
NOT TO SCALE



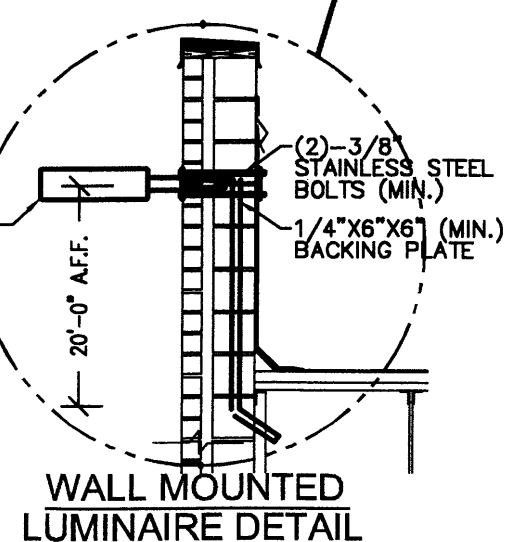
NOTE:  
NEW MEXICO NIGHT SKY ORDINANCE DOES NOT ALLOW FACADE LIGHTING.

## SITE ELECTRICAL PLAN

SCALE 1" = 30'-0"

PYLON SIGN ELECTRICAL DATA							
	LAMPS	DESCRIPTION	BALLAST	AMPS	V.A.	CIRCUITS	CIRCUIT ORIGIN
PRIMARY PANEL	(16) 60"	---	(2) 256-872 (1) 256-472	9.0 2.7	1080.0 324.0	(1)-20AMP 120V	SIGN PANEL "LP-SP"
LED READER-BOARD (THERE ARE TWO(2) FACES ON TYPICAL READER-BOARD)	LED (OPTION #1)	MIX FULL COLOR & RED	---	---	1350 (PER FACE)	(1)-20AMP 120V (PER FACE)	SIGN PANEL "LP-SP"
	LED (OPTION #2)	---	---	---	800 (PER FACE)	(1)-20AMP 120V (PER FACE)	SIGN PANEL "LP-SP"
	LED (OPTION #3)	2'-8"x9'-2" FULL COLOR	---	---	2500 (PER FACE)	(1)-20AMP 208V, 1P (PER FACE)	SIGN PANEL "LP-SP"
	LED (OPTION #4)	2'-8"x9'-2" FULL COLOR	---	---	3850 (PER FACE)	(2)-20AMP 208V, 1P (PER FACE)	SIGN PANEL "LP-SP"

ONLY OPTIONS APPLICABLE TO PARTICULAR STORE SHALL BE SHOWN ON CONSULTANT'S DRAWING



WALL MOUNTED LUMINAIRE DETAIL