

02/17/09

1946

DXF Electronic Approval Form

DRB Project Case #: 1001946

Subdivision Name: LOS ANGELES CENTER TRACTS A1B1 & A1B2

Surveyor: ALAN R BENHAM

Contact Person: MARY COLE

Contact Information: 798-7826

DXF Received: 4/10/2009

Hard Copy Received: 4/10/2009

Coordinate System: NMSP Grid (NAD 83)


Approved

04.10.2009
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only

Copied fc 1946 to agiscov on 4/10/2009 Contact person notified on 4/10/2009



COMPLETED 07/29/09 stt
DRB CASE ACTION LOG (SITE PLAN - BUILD P)
 REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 09DRB-70156 Project # 1001946
 Project Name: LOS ANGELES
 Agent: MODULUS ARCHITECTS Phone No.:

Your request was approved on 6-10-09 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____

- UTILITIES: _____

- CITY ENGINEER / AMAFCA: _____

- PARKS / CIP: _____

- PLANNING (Last to sign): - Connect / Conditions

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.**
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**



DRB CASE ACTION LOG (SITE PLAN – BUILD P)

REVISED 10/08/07

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 09DRB-70156

Project # 1001946

Project Name: LOS ANGELES

Agent: MODULUS ARCHITECTS

Phone No.:

Your request was approved on 6-10-09 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): - Comments / Conditions

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). **RECORDED DATE:** _____
 - Tax printout from the County Assessor.
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 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
 - Property Management's signature must be obtained prior to Planning Department's signature.**
 - AGIS DXF File approval required.**
 - Copy of recorded plat for Planning.**

Created On:



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

June 10, 2009

Project# 1001946

09DRB-70156 MAJOR – SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

MODULUS ARCHITECTS agent(s) for UNITED GROWTH LLC request(s) the referenced/ above action(s) for all or a portion of Lot(s) A-1-B, **LOS ANGELES CENTER** zoned M-1, located on the south side of PASEO DEL NORTE NE between I-25 and SAN PEDRO NE containing approximately .6721 acre(s). (D-18) [*Deferred from 5/27/0, 6/3/09*]

At the June 10, 2009 Development Review Board meeting, the site plan for building permit was approved with final sign off delegated to Planning subject to the following conditions:

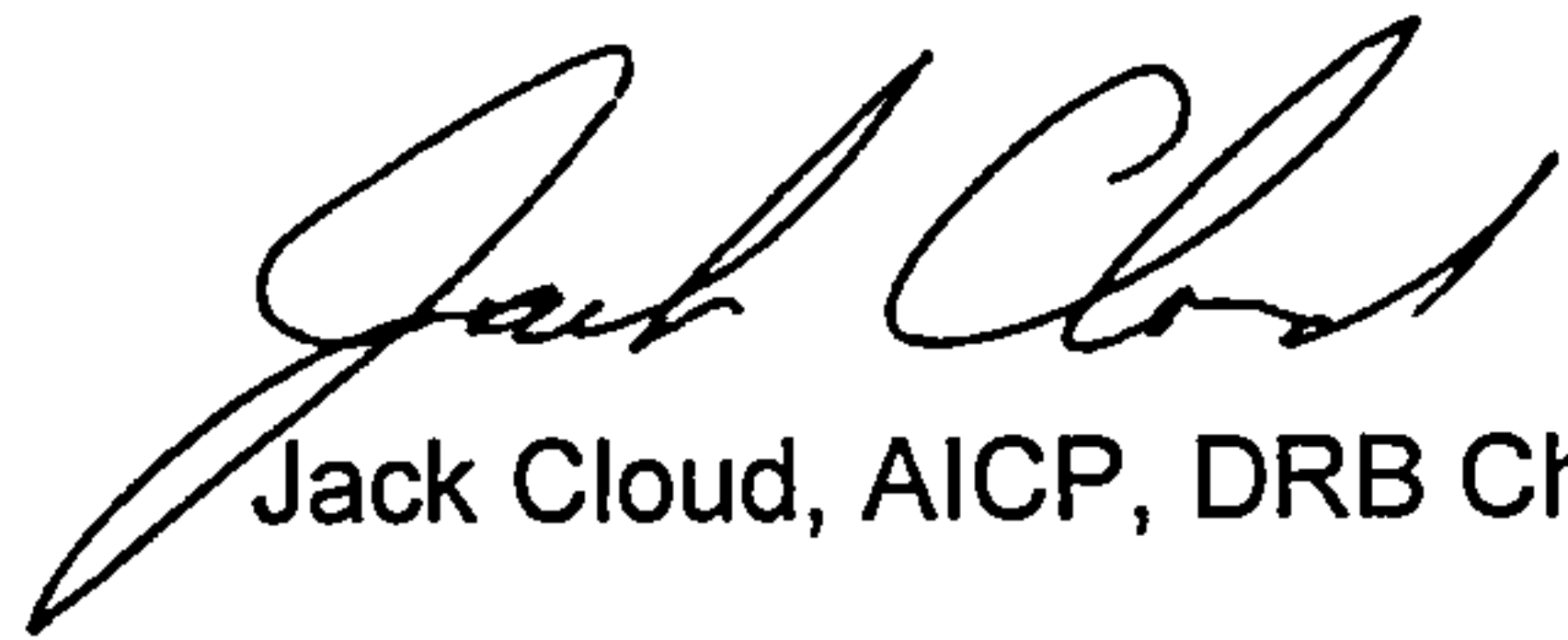
- 1) all sheets of the site plan shall be consistent (i.e. show the same plan features, particularly curbing)
- 2) Compact Parking Spaces shall be noted and shown as 8 feet in width
- 3) parking calculations shall demonstrate adequate parking for the Shopping Center
- 4) the north and west elevations of the building shall be approved by the Planning Director, based on their orientation to a principal arterial and the main entrance to the Shopping Center.
- 5) sign area calculations shall demonstrate compliance with the signage guidelines of the Site Development Plan for Subdivision.

If you wish to appeal this decision, you must do so by June 25, 2009 in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision.

The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



Jack Cloud, AICP, DRB Chair

Cc: Modulus Architects – 2325 San Pedro NE Ste 2B – Albuquerque, NM 87110

Cc: United Growth, LLC – 201 Spear St - San Francisco, CA 94105

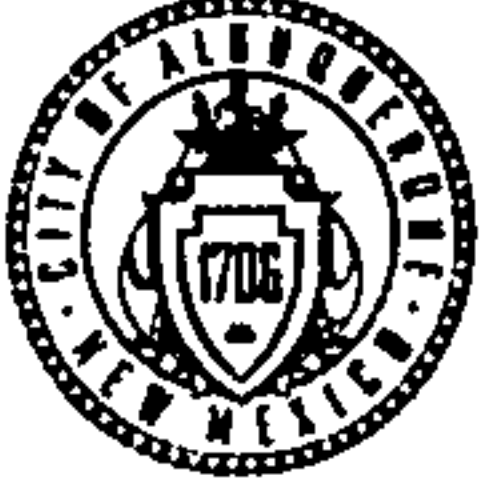
Marilyn Maldonado

File

DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1001946 AGENDA# 3 DATE: ~~1000~~ 6/10/09

1. Name: _____ Address: _____ Zip: _____
2. Name: _____ Address: _____ Zip: _____
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
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12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____
15. Name: _____ Address: _____ Zip: _____
16. Name: _____ Address: _____ Zip: _____
17. Name: _____ Address: _____ Zip: _____



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

May 27, 2009

Project# 1001946

09DRB-70156 MAJOR – SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

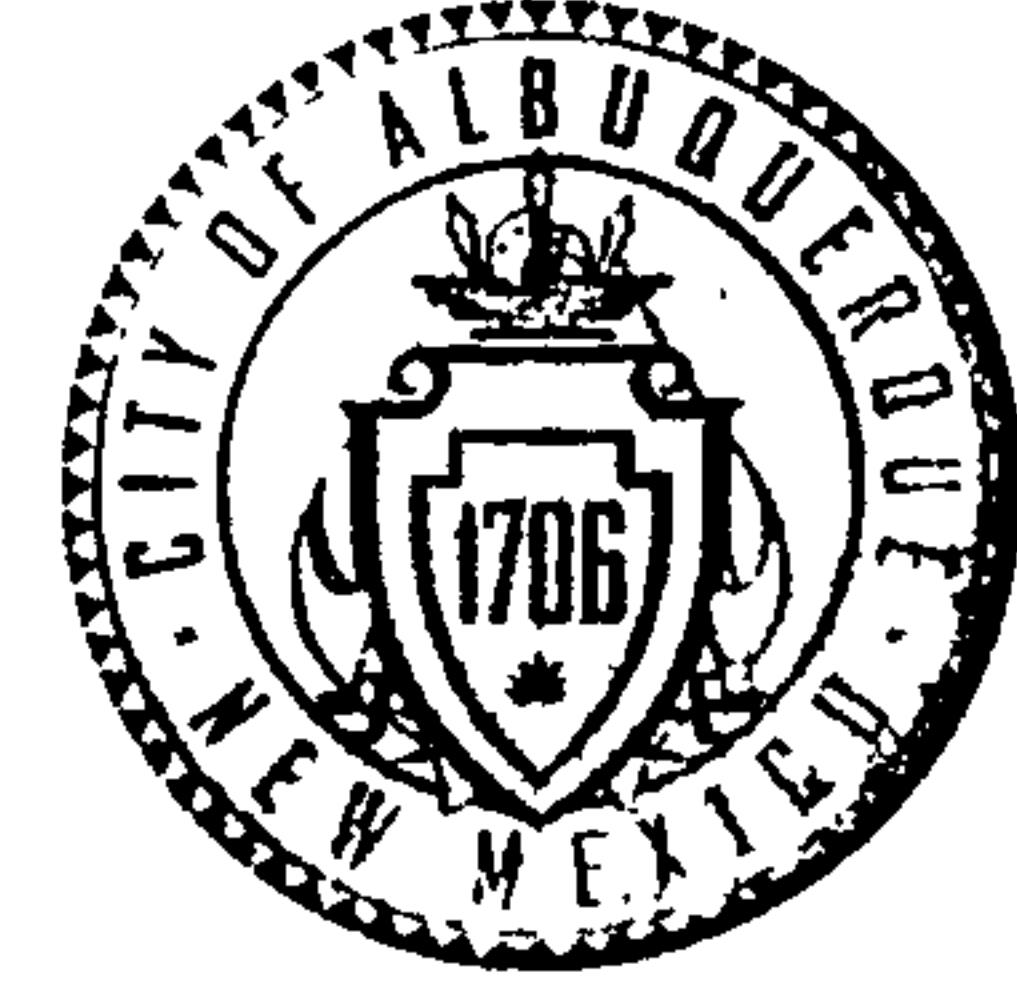
MODULUS ARCHITECTS agent(s) for UNITED GROWTH LLC request(s) the referenced/ above action(s) for all or a portion of Lot(s) A-1-B, **LOS ANGELES CENTER** zoned M-1, located on the south side of PASEO DEL NORTE NE between I-25 and SAN PEDRO NE containing approximately .6721 acre(s). (D-18)

AMAFCA No comment.
COG Paseo del Norte is designated as an ITS Corridor in the ITS Regional Architecture. Please contact DMD at 291-6220 for implementation improvement schedule. For information purposes, Paseo del Norte is a limited-access principal arterial, with access allowed "Between I-25 and San Pedro Bd, to serve the south side parcel to and from Paseo del Norte." This is a dedicated street intersection without median opening.
TRANSIT No comment.
ZONING ENFORCEMENT No comment.
NEIGHBORHOOD COORDINATION 5/20/09 - Don't know if this big parcel of the "Los Angeles Center" has been recorded and per meeting with Jack Cloud and Patrick Montoya decided to notify the surrounding associations so Modulus Architects came in today to obtain neighborhood information – siw Letters sent to: west La Cueva NA (R) Jade Park NA (R)
APS This will have no adverse impacts to the APS district.
POLICE DEPARTMENT No comment.
FIRE DEPARTMENT No comment.
PNM ELECTRIC & GAS No comment.

COMCAST No comment.
QWEST No adverse comments.
ENVIRONMENTAL HEALTH No comment.
M.R.G.C.D No comments.
OPEN SPACE DIVISION Open Space has no adverse comments
CITY ENGINEER An approved Conceptual Grading and Drainage Plan is required.
ANSBOROUGH DEVELOPMENT Permanent structures, such as curb and gutter, may not be located within an access easement. Please clarify how curb and gutter came to be located within the access easement. The proposed modifications remove the anticipated alignment between parking aisles in the southwest corner of the site. How will this be remedied? Clarify existing versus proposed conditions. Call out all radii. Define all geometric data (aisle width, sidewalk width, parking stall measurements, etc.).
PARKS AND RECREATION No objection.
ABCWUA No objection to Site Plan approval.
PLANNING DEPARTMENT Parking calculations are needed for Lowe's Shopping Center to demonstrate that this site constitutes excess parking. Parking aisle alignment and single row parking are not appropriate. The single row should be eliminated and the building moved to the east, and depending on Lowe's parking, either reduce size of building (to reduce parking requirement) or obtain parking easement on Lowe's Tract. It is not acceptable to put the back of the building against the main entry. At a minimum 1) mechanical, meters, ladders, etc. need to be moved to south elevation; 2) pilasters need to be provided similar to east elevation; 3) canopies need to be provided similar to east elevation; and 4) parapet feature on northeast corner needs to be reproduced on northwest or southwest corner. Compliance with the development site plan for subdivision design guidelines (pg 2) needs to be demonstrated – <u>Signage</u> and <u>Pedestrian Pathways and Plazas</u> in particular.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD MEMO

DRB CASE NO/PROJECT NO: 1000570

AGENDA ITEM NO: 3

SUBJECT:

ENGINEERING COMMENTS:

Site Plan for Subdivision

No objection

PO Box 1293

RESOLUTION:

Albuquerque

APPROVED ____; DENIED ____; COMMENTS PROVIDED ____; WITHDRAWN ____
DEFERRED TO: 5-13-09

NM 87103 SIGNED: (UD) (CE) (TRANS) (PKS) (PLNG)

COMMENTS:

www.cabq.gov

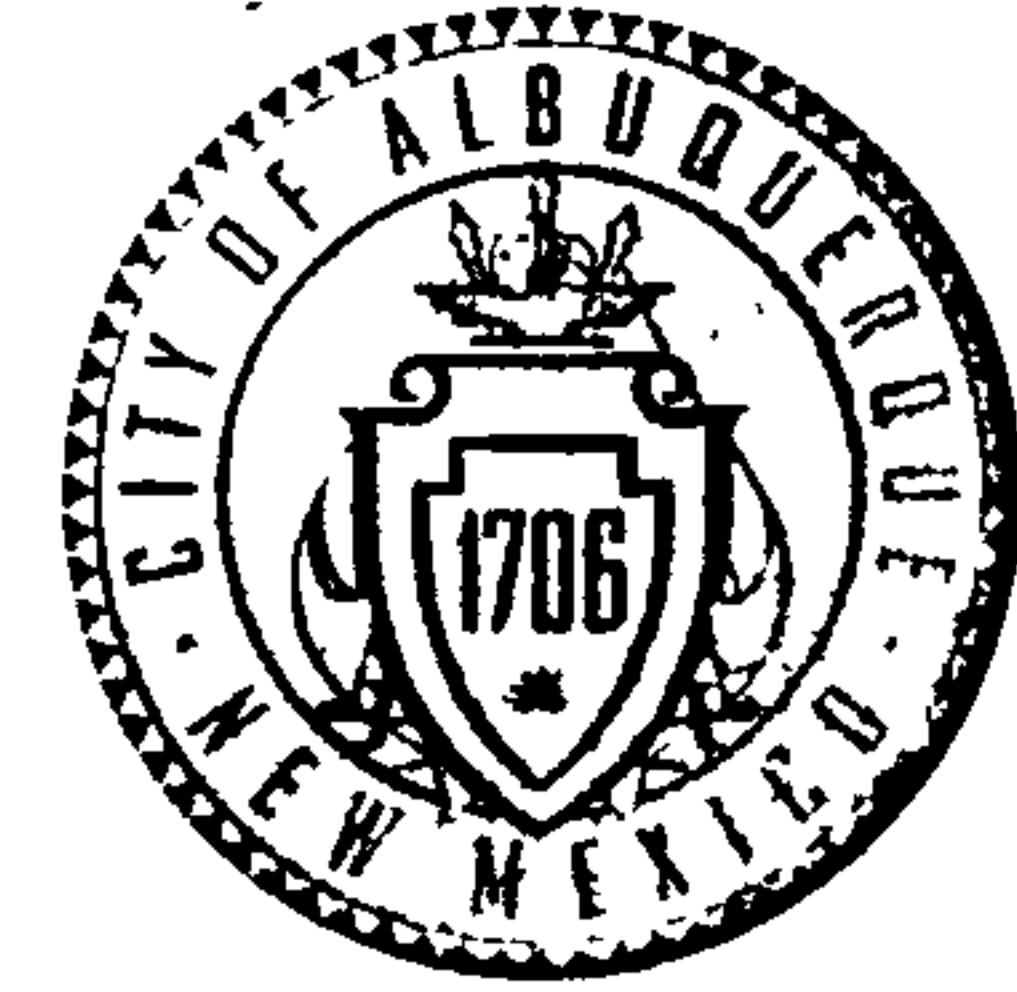
*Enid comment
Christina comment
312 for comment*

SIGNED:

Curtis Cherne
City Engineer Designee
924-3695

DATE: 4-29-09

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD MEMO

DRB CASE NO/PROJECT NO: 1001946

AGENDA ITEM NO: 4

SUBJECT:

ENGINEERING COMMENTS:

Site Plan for Building Permit

No objection

PO Box 1293

RESOLUTION:

Albuquerque

APPROVED ___; DENIED X; COMMENTS PROVIDED ___; WITHDRAWN ___
DEFERRED TO: 2

NM 87103 SIGNED: (UD) (CE) (TRANS) (PKS) (PLNG)

COMMENTS:

www.cabq.gov

*Kristen comment
Jack Lange comment
area heavily used by commuters*

SIGNED:

Curtis Cherne
City Engineer Designee
924-3695

DATE: 4-29-09

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT

June 10, 2009

DRB Comments

ITEM # 3

PROJECT # 1001946

APPLICATION # 09-70156

RE: Lot A-1-B, Los Angeles Center

Parking calculations are needed Lowe's Shopping Center to demonstrate that this site constitutes excess parking.

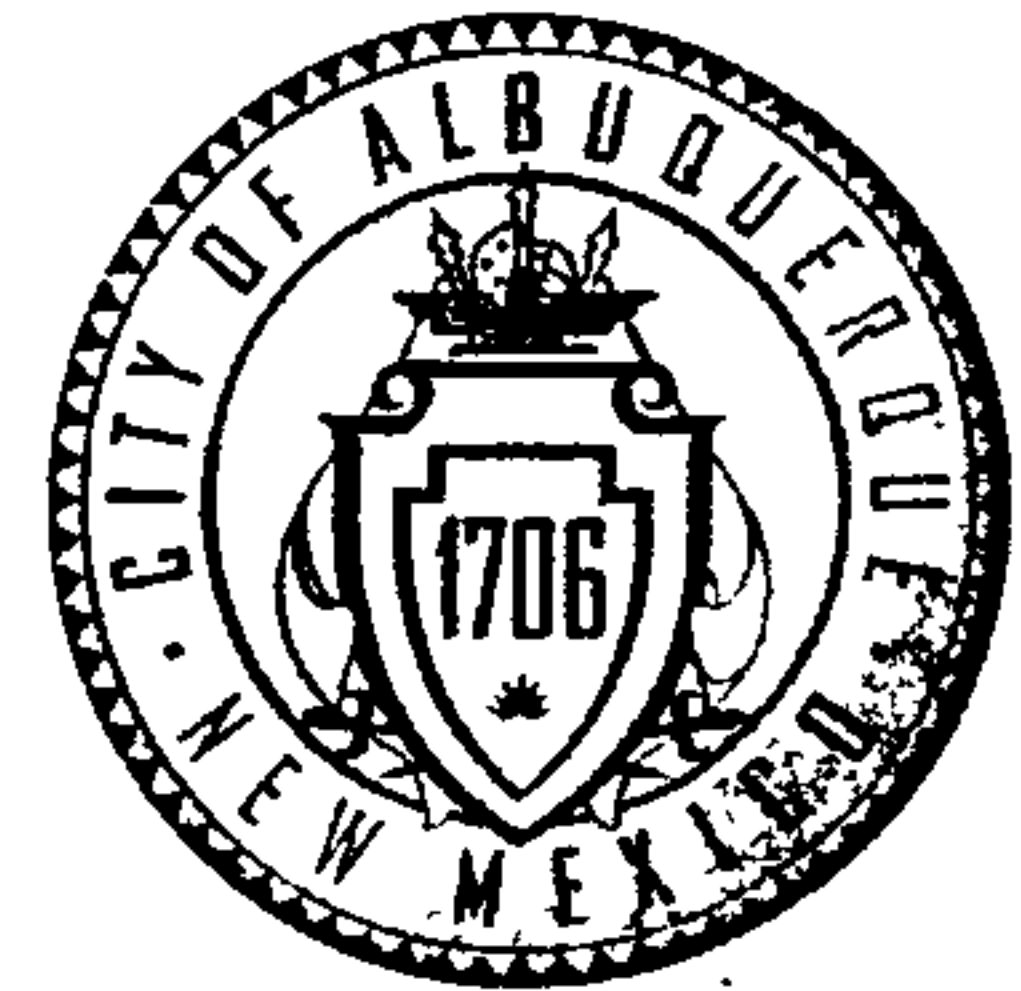
Canopies need to be provided on all segments on the north and west elevations of the building.

Proposed sign areas exceed the signage guidelines of the Site Development Plan for Subdivision – these sign areas need to be drawn in compliance with the guidelines.



Jack Cloud AICP, DRB Chairman
924-3880/ jcloud@cabq.gov

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001946

AGENDA ITEM NO: 8

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

NM 87103

RESOLUTION:

6-10-09

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

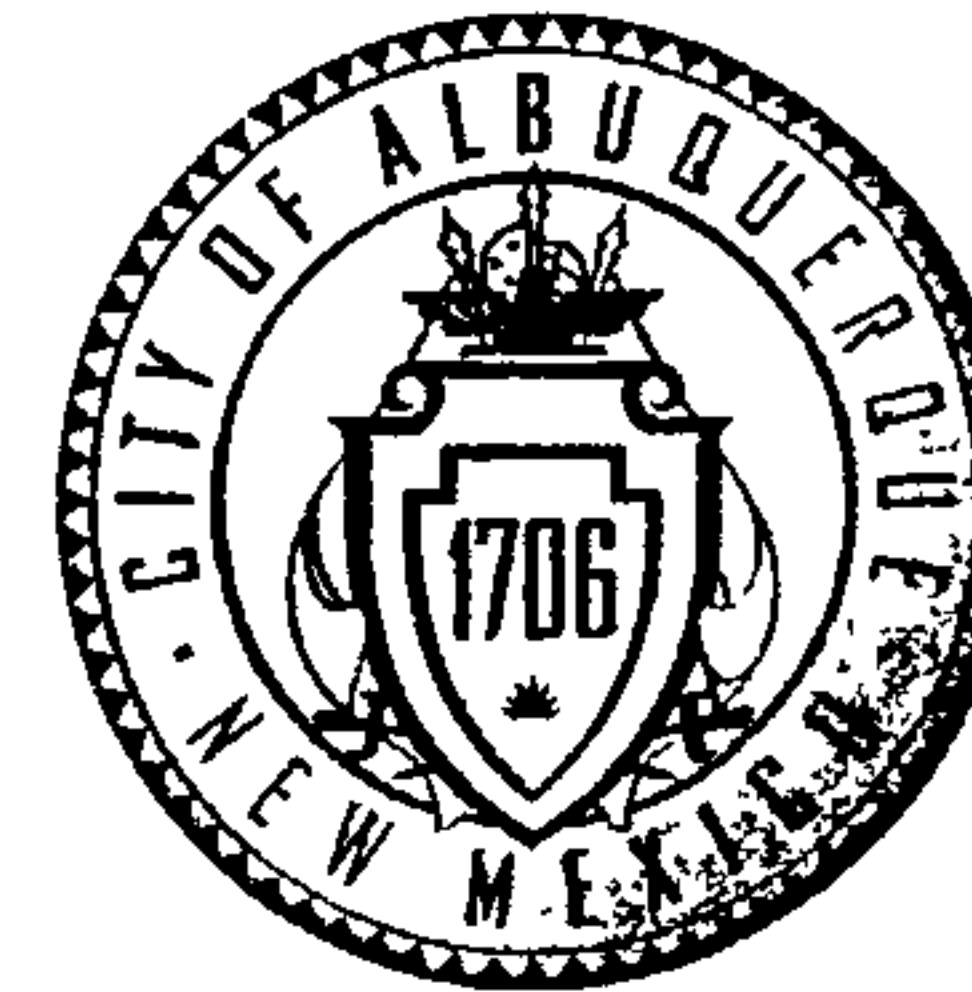
DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: June 3, 2009

CITY OF ALBUQUERQUE



CITY OF ALBUQUERQUE PLANNING DEPARTMENT HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001946

AGENDA ITEM NO: 3

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

PO Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

NM 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee
924-3986

DATE: June 10, 2009

DRB PUBLIC HEARING SIGN IN SHEETS

PROJECT #: 1001946 AGENDA# 2 DATE: 5/27/09

1. Name: _____ Address: _____ Zip: _____
2. Name: _____ Address: _____ Zip: _____
3. Name: _____ Address: _____ Zip: _____
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17. Name: _____ Address: _____ Zip: _____

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
TRANSPORTATION SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO: 1001946

AGENDA ITEM NO: 8

SUBJECT:

SITE PLAN FOR BUILDING PERMIT

ENGINEERING COMMENTS:

The proposed modifications remove the anticipated alignment between parking aisles in the southwest corner of the site. How will this be remedied?

Clarify existing versus proposed conditions.

Call out all radii.

Define all geometric data (aisle width, sidewalk width, parking stall measurements, etc.).

Compact parking stalls must be 8 feet in width.

RESOLUTION:

06-10-09

APPROVED ___; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED:

Kristal D. Metro
Transportation Development

505-924-3991

DATE: JUNE 3, 2009

Project # 1001946

09 FEB - 7156 SITE DEVELOPMENT PLAN
FOR BUILDING PERMIT.

WE WOULD LIKE TO REFER THIS ABOVE REFERENCED
PROJECT TO NEXT WED'S HOPEING DATE. (JUNE 10th / 2009)

THANK YOU

~~Stephen N. N. N.~~

MODULUS ARCHITECTS

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT

**April 29, 2009
DRB Comments**

ITEM # 4

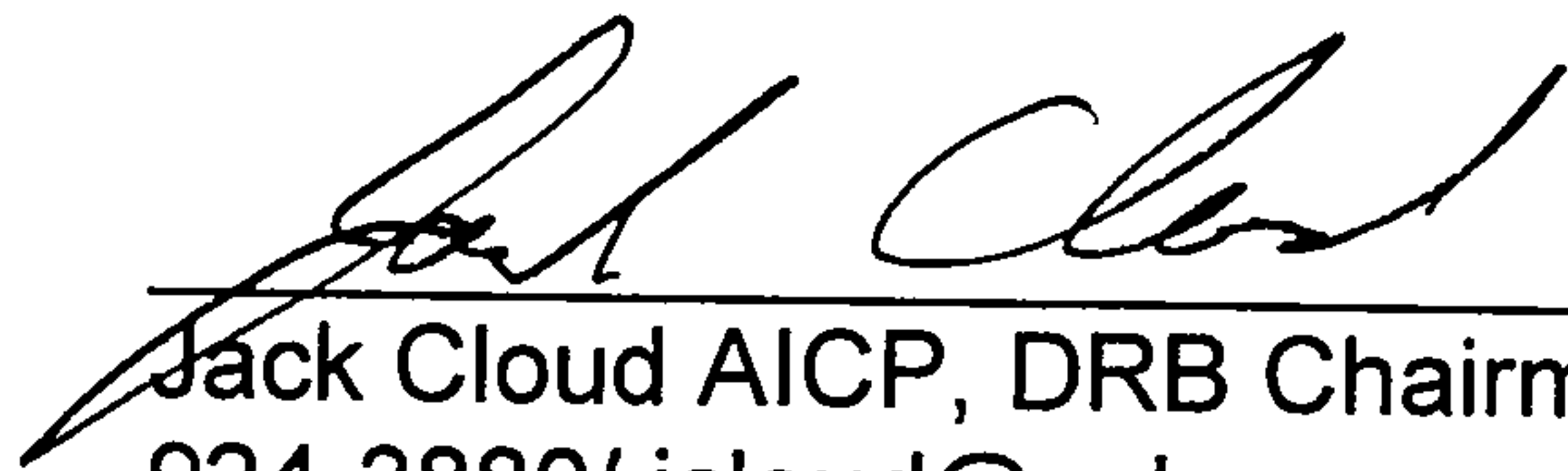
PROJECT # 1001946

APPLICATION # 09-70156

RE: Lots A-1-B-2, Los Angeles Center

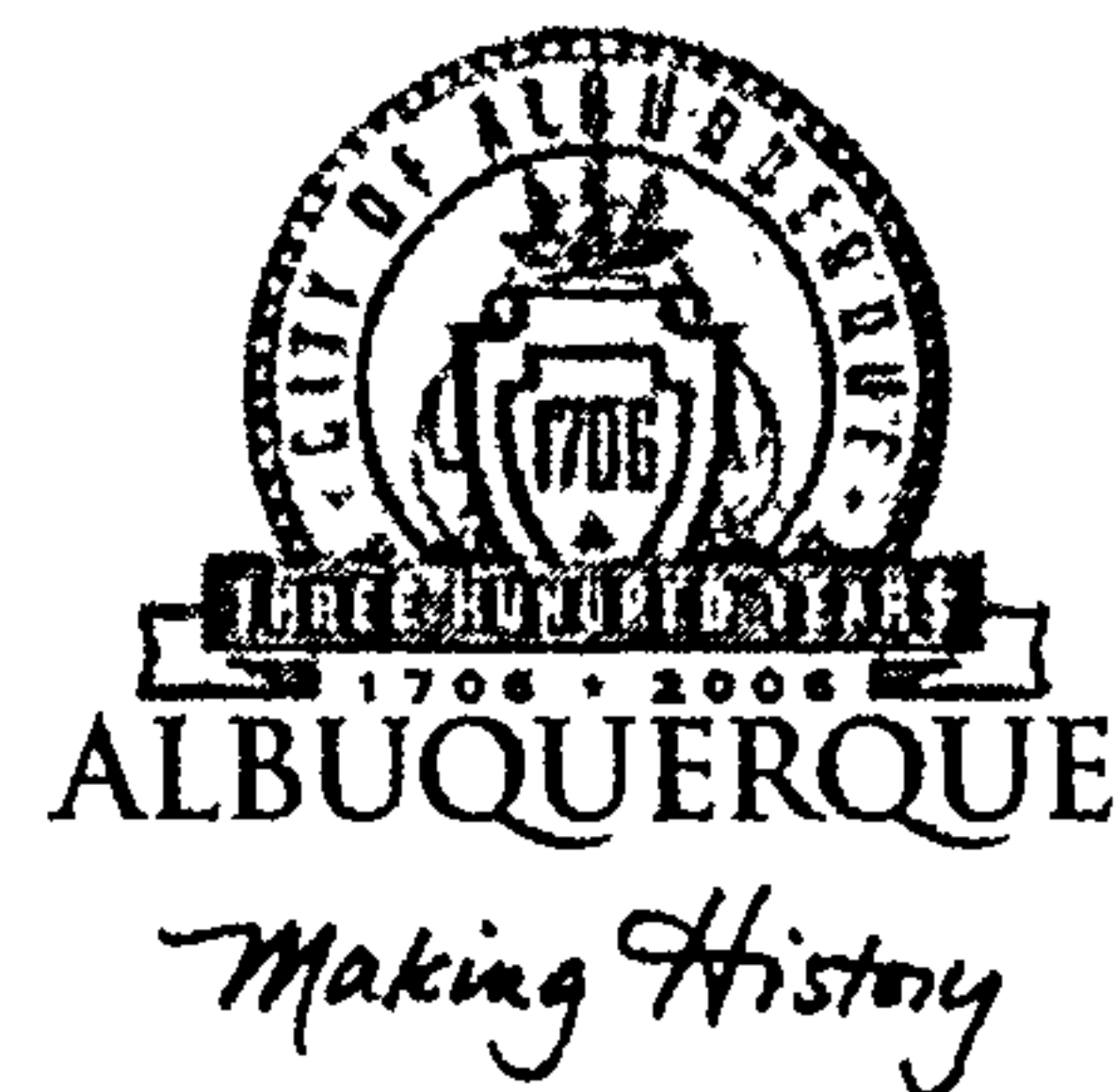
There is was no documentation submitted which indicates a public hearing would not be required for site development plan approval. Parking calculations are needed to demonstrate there would not be a parking deficit for Lowe's with this site plan.

The development site plan for subdivision design guidelines needs to be demonstrated – Signage and Pedestrian Pathways and Plazas in particular. It is not acceptable to put the back of the building against the main entry.



Jack Cloud AICP, DRB Chairman
924-3880/ jcloud@cabq.gov

CITY OF ALBUQUERQUE



Environmental Health Department

April 27, 2009

Mr. Howard C. Stone, P.E.
Chief Operations Officer
Bohannon Huston, Inc.
7500 Jefferson St. NE
Albuquerque, NM 87109-4335

Re: Landfill Gas Assessment Report for Lot A-B, Los Angeles Center,
Albuquerque, NM prepared by Geo-Test, Inc. dated April 3, 2009

Dear Mr. Stone:

I have reviewed the referenced Landfill Gas Assessment Report. I note that you have added a methane barrier lining in addition to the recommendations in the report. Based on your unqualified professional opinion and recommendations, the report is approved. However, the report does not stand alone due to the lack of an unqualified opinion.

I will need a Letter of Commitment from the owner or developer of the site documenting a commitment to follow the abatement measures you describe prior to Site Plan approval. Please ensure that the Site Development Plan and Construction Drawings include the Disclosure Statement found on page four of the Interim Guidelines on the cover sheets. Please refer to page seven and eight of the Interim Guidelines for guidance on developing the construction plans.

If you have questions or concerns, do not hesitate to contact me.

Sincerely,

A handwritten signature in black ink that reads 'Suzanne Busch'.

Suzanne Busch, P.E.
Principal Engineer
Environmental Services Division

Cc: Geo Test, Inc.
Intera, Inc.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov



Martin J. Chávez, Mayor

City of Albuquerque
Environmental Health Department



John Soladay, Acting Director

May 15, 2009

TO: Jack Cloud, AICP, Chair, Development Review Board

FROM: Suzanne Busch, Principal Engineer *Suzanne Busch*

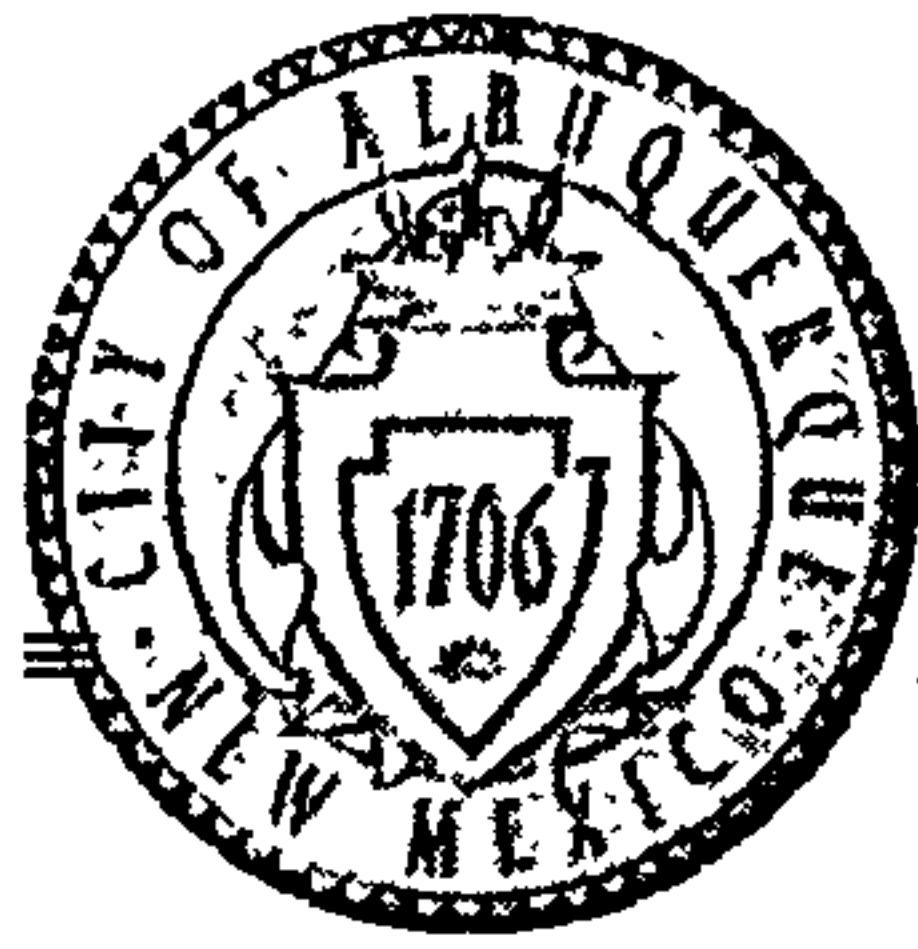
SUBJECT: Project #1001946
Los Angeles Center all or a portion of Lot A-1-B
Site Development Plan comments

The subject project lies within the landfill gas buffer zone of the former Sacramento Landfill. A Landfill Gas Assessment Report has been approved for the site with the following conditions:

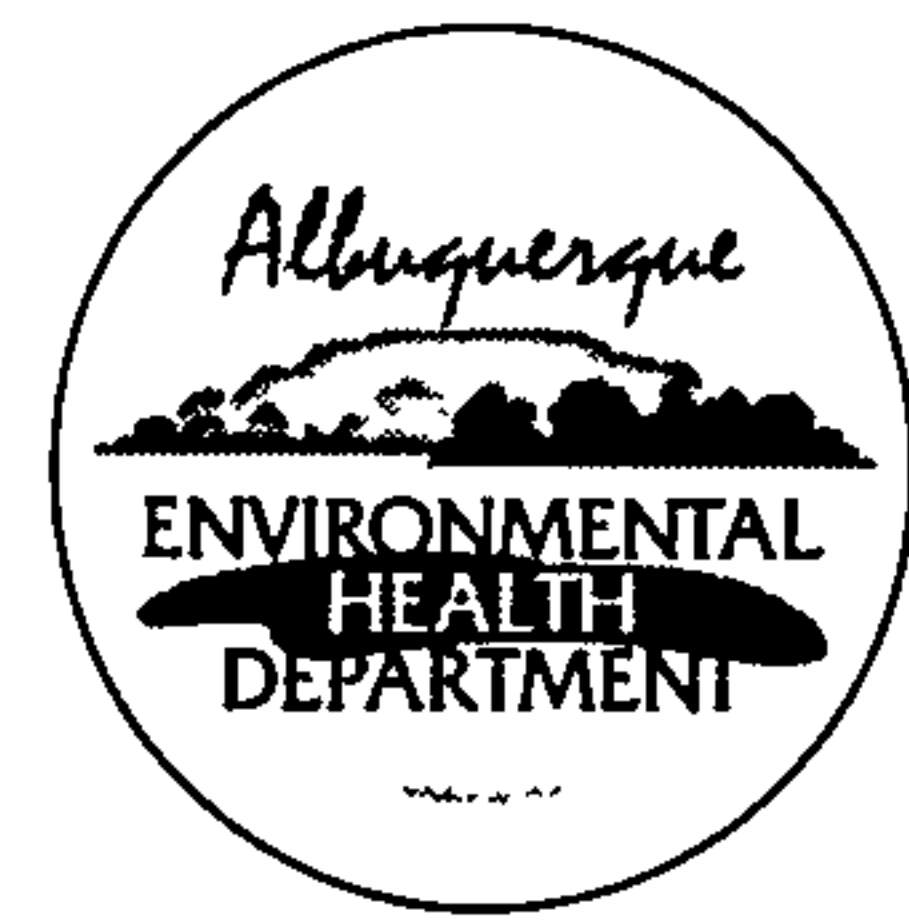
1. Please add the Landfill Gas Disclosure statement to the Site Development Plan for Building Permit.
2. The Developer/Owner must provide a Letter of Commitment to construct the abatement measures outlined by Mr. Howard Stone, Chief Operations Officer, Bohannon-Huston, Inc. dated April 23, 2009 which must be received by EHD prior to sign-off of the Site Development Plan.

Thank you for the opportunity to comment on this project.

Cc: Donna Griffin, Assistant City Attorney
Intera, Inc.



City of Albuquerque
Environmental Health Department



Martin J. Chávez, Mayor

John Soladay, Acting Director

May 15, 2009

TO: Jack Cloud, AICP, Chair, Development Review Board

FROM: Suzanne Busch, Principal Engineer

SUBJECT: Project #1001946
Los Angeles Center all or a portion of Lot A-1-B
Site Development Plan comments

The subject project lies within the landfill gas buffer zone of the former Sacramento Landfill. A Landfill Gas Assessment Report has been approved for the site with the following conditions:

1. Please add the Landfill Gas Disclosure statement to the Site Development Plan for Building Permit.
2. The Developer/Owner must provide a Letter of Commitment to construct the abatement measures outlined by Mr. Howard Stone, Chief Operations Officer, Bohannon-Huston, Inc., dated April 23, 2009 which must be received by EHD prior to sign-off of the Site Development Plan.

Thank you for the opportunity to comment on this project.

Cc: Donna Griffin, Assistant City Attorney
Intera, Inc.

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: June 3, 2009
Zone Atlas Page: D-18
Notification Radius: 100 Ft.

Project# 1001946
App# 09DRB -70156

Cross Reference and Location: SOUTHWEST CORNER OF PASEO DEL NORTE
AND SAN PEDRO NE BETWEEN SAN PEDRO AND I-25

Applicant: UNITED GROWTH, LLC
201 SPEAR SE
SAN FRANCISCO, CA 94104

Agent: MODULUS ARCHITECTS
2325 SAN PEDRO NE STE 2B
ALBUQUERQUE, NM 87110

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: MAY8, 2009
Signature: ERIN TREMLIN

OR CURRENT RESIDENT
101806327448810501
BANDELIER EQUITIES LTD CO
4101 INDIAN SCHOOL RD NE SUITE
400
ALBUQUERQUE, NM 87110

OR CURRENT RESIDENT
101806327240511404
HANSEN KEN ETUX
777 E 2950 N RD
CLIFTON, IL 60927

OR CURRENT RESIDENT
101806319545920804
LOWES HOME CENTERS INC ATTN:
SR VICE PRESIDENT
PO BOX 1111
NORTH WILKESBORO, NC 28659

OR CURRENT RESIDENT
101806328245110401
PALOMAS INVESTMENTS LLC
8605 PRISTINE DR NE
ALBUQUERQUE, NM 87122

OR CURRENT RESIDENT
101806328641411640
RIVERS BOBBIE J
6600 SAN BERNADINO NE
ALBUQUERQUE, NM 87109

OR CURRENT RESIDENT
101806324549220806
WALGREEN CO MS #1420
104 WILLMOT RD
DEERFIELD, IL 60015

OR CURRENT RESIDENT
101806425102830212
DOUGHTY ENTERPRISES INC
7009 PROSPECT NE
ALBUQUERQUE, NM 87109

OR CURRENT RESIDENT
101806422301630209
HOLLY-SP LLC
6300 RIVERSIDE PLAZA LN NW SUITE
200
ALBUQUERQUE, NM 87120

OR CURRENT RESIDENT
101806328640411601
MONTROYA BRIDGET
6601 SAN LUIS OBISPO AVE NE
ALBUQUERQUE, NM 87109

OR CURRENT RESIDENT
101806420501630208
PASEO PLACE LLC
6300 RIVERSIDE PLAZA LN NW SUITE
200
ALBUQUERQUE, NM 87120

OR CURRENT RESIDENT
101806327241511405
RODWICK JOE TRUSTEE RODWICK
LVT
6921 DERICKSON AVE NE
ALBUQUERQUE, NM 87109

Project# 1001946
MODULUS ARCHITECTS
2325 SAN PEDRO NE STE 2B
ALBUQUERQUE, NM 87110

OR CURRENT RESIDENT
101806324445020807
HAMILTON-DOMENICI PROPERTIES
LLC C/O OFFICE DEPOT INC - LEASE
ADMIN
2200 OLD GERMANTOWN RD
DELRAY BEACH, FL 33445

OR CURRENT RESIDENT
101806414003230218
HUDSON ALEX
3832 EL FEGO NW
ALBUQUERQUE, NM 87107

OR CURRENT RESIDENT
101806327239611403
MULDER GLENDORA L LIVING
TRUST
7809 ELLIS PL NE
ALBUQUERQUE, NM 87109

OR CURRENT RESIDENT
101806418901630207
PASEO PLACE LLC & JACKSON
STEVEN P
PO BOX 66180
ALBUQUERQUE, NM 87193

OR CURRENT RESIDENT
101806312846220805
TARGET CORPORATION
1000 NICOLLET MALL
MINNEAPOLIS, MN 55403

Project# 1001946
UNITED GROWTH LLC
201 SPEAR SE
SAN FRANCISCO, CA 94105

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION	S	Z	ZONING & PLANNING
___ Major Subdivision action	___	___	___ Annexation
___ Minor Subdivision action	___	___	___ County Submittal
___ Vacation	V	___	___ EPC Submittal
___ Variance (Non-Zoning)	___	___	___ Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	P	___	___ Sector Plan (Phase I, II, III)
___ for Subdivision	___	___	___ Amendment to Sector, Area, Facility or Comprehensive Plan
___ for Building Permit	___	___	___ Text Amendment (Zoning Code/Sub Regs)
___ Administrative Amendment (AA)	D	___	___ Street Name Change (Local & Collector)
___ IP Master Development Plan	L	A	APPEAL / PROTEST of...
___ Cert. of Appropriateness (LUCC)	___	___	___ Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
STORM DRAINAGE (Form D)	___	___	___
___ Storm Drainage Cost Allocation Plan	___	___	___

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional Agent (if any): MODULUS ARCHITECTS PHONE: 338-1494106
 ADDRESS: 2325 SAN PEDRO N.E. STA 2B FAX: _____
 CITY: Albq STATE NM ZIP 87110 E-MAIL: _____

APPLICANT: UNITED GROWTH, LLC PHONE: 415 702 2008
 ADDRESS: 221 SPENCER ST FAX: 415 702 2009
 CITY: SAN FRANCISCO STATE CA ZIP 94105 E-MAIL: info@unitedgrowth.com
 Proprietary Interest in site: _____ List all owners: ADVA'S HOME CENTERS, INC

DESCRIPTION OF REQUEST: SITE PLAN FOR BP APPEAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ___ Yes. ___ No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. A-1-B-2 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: LOS ANGELES CENTER
 Existing Zoning: M-1 Proposed zoning: " " MRGCD Map No _____
 Zone Atlas page(s): D-13 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.):
AA 09 AA 1001

CASE INFORMATION:

Within city limits? ___ Yes Within 1000FT of a landfill? _____
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): .6721
 LOCATION OF PROPERTY BY STREETS: On or Near: SWC of PASADENA SAN PEDRO N.E
 Between: SAN PEDRO and I-25

Check-off if project was previously reviewed by Sketch Plan/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Jerry Engen DATE 4-20-09
 (Print) JERRY ENGEN Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case files are assigned
- AGIS copy has been sent
- Case history files are listed
- Site is within 1000R of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers	Action	S.F.	Fees
<u>C-1 DRB 70156</u>	<u>SBP PL(3)</u>		<u>\$ 305.00</u>
_____	<u>CAF</u>		<u>\$ 20.00</u>
_____	<u>ADV</u>		<u>\$ 75.00</u>
_____	_____		\$ _____
_____	_____		\$ _____
_____	_____		\$ _____
Hearing date <u>06/03/09</u>			Total <u>\$ 405.00</u>

Planner signature / date: Sandy Handley 04/21/09 Project # 1001946

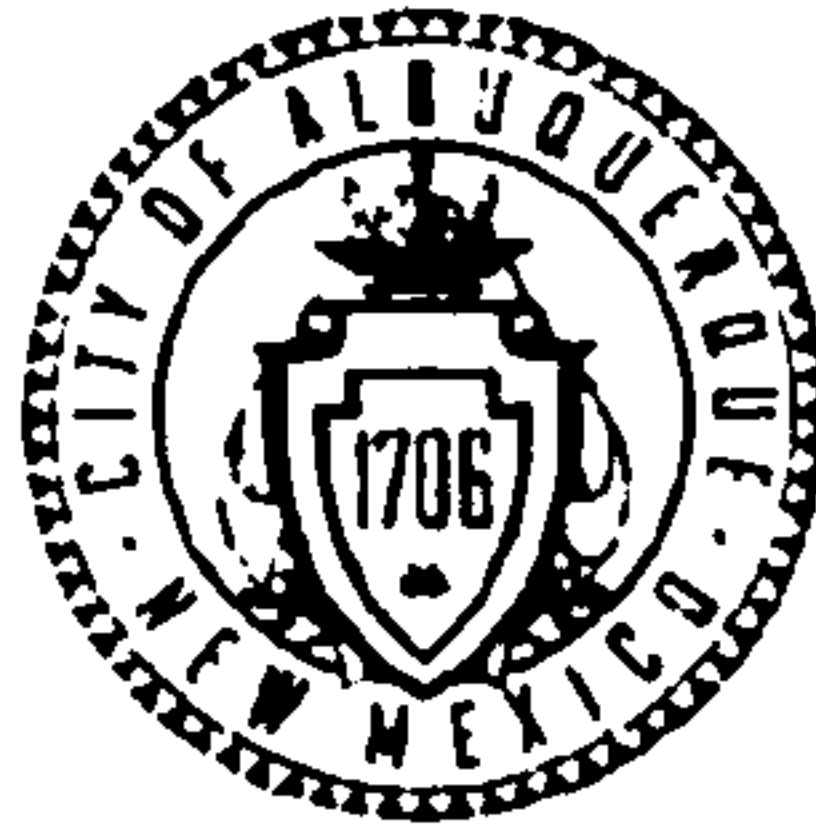
PAID
05/07/09

1	10180 63274 48810 501	BANDELIER EQUI TIES LTD CO	4101 INDIAN SCHOOL RD NE SUITE 400	ALBUQ UERQ UE	N M 1 0	8 7 1 1 0	A V A	* 032 011TR A #A NORTH ALBUQUERQUE ACRES	0.7 523 664 7
2	10180 63245 49220 806	WALGREEN CO M S #1420	104 WILLMOT RD	DEERF IELD	I L 1 5	6 0 0 1 5	A C A	TR A-1-C PLAT OF TRACTS A-1-A, A-1-B, A-1-C, A-1-D & A-1-ELOS ANGELES CENTER (A REPLAT OF TRACT A-1 LOS ANGELESCENTER & THE DOMINGO BACA A RROYO TOGETHER WITH VACATED	1.9 023 012 1
3	10180 63254 42720 803	CITY OF ALBUQU ERQUE	PO BOX 1293	ALBUQ UERQ UE	N M 0 3	8 7 1 0 3	A V A	S ELY PORTION LOT 17 BLK 2 TR A UNIT A NORTH ALBUQUERQUE ACRES & PORTION O VACATED S AN BERNADINO RD AKA DRAINAGE R/W CONT 0.107 AC	0.0 913 327 5
4	10180 64223 01630 209	HOLLY-SP LLC	6300 RIVERSI DE PLAZA LN NW SUITE 20 0	ALBUQ UERQ UE	N M 2 0	8 7 1 2 0	A V A	TR B PLAT OF HOLLY PLACE (A REPLAT OF LOTS 14, 15, 18 & 19BLK 18 TR A UNIT B NORTH ALBUQUE RQUE ACRES)CONT .6845 AC	0.6 841 5
5	10180 64205 01630 208	PASEO PLACE LL C	6300 RIVERSI DE PLAZA LN NW SUITE 20 0	ALBUQ UERQ UE	N M 2 0	8 7 1 2 0	A V A	* 020 018TR A UNIT B N ALBU AC	0.8 482 255 9
6	10180 63272 39611 403	MULDER GLEND RA L LIVING TRUS T	7809 ELLIS P L NE	ALBUQ UERQ UE	N M 0 9	8 7 1 0 9	A F A	* 003 019JADE PARK MOBILE HOME SUBD UNIT 11	0.1 953 007 1
7	10180 63195 45920 804	LOWES HOME CE NTERS INC ATTN: SR VICE PRESIDE NT	PO BOX 1111	NORT H WILK ESBO RO	N C 5 9	2 8 6 5 9	A C A	TR A-1-B PLAT OF TRACTS A-1-A, A-1-B, A-1-C, A-1-D & A-1-ELOS ANGELES CENTER (A REPLAT OF TRACT A-1 LOS ANGELESCENTER & THE DOMINGO BACA A RROYO TOGETHER WITH VACATED	16. 496 716 73
8	10180 64239 01830 210	HOLLY-SP LLC	6300 RIVERSI DE PLAZA LN NW SUITE 20 0	ALBUQ UERQ UE	N M 2 0	8 7 1 2 0	A V A	TR C PLAT OF HOLLY PLACE (A REPLAT OF LOTS 14, 15, 18 & 19BLK 18 TR A UNIT B NORTH ALBUQUE RQUE ACRES)CONT .8712 AC	0.8 711 357 8
9	10180 63313 50210 530	BANDELIER EQUI TIES LTD CO	4101 INDIAN SCHOOL RD NE 400	ALBUQ UERQ UE	N M 1 0	8 7 1 1 0	A V A	LT 5-A BLK 11 PLAT OF LOT 5-A BLK 11 (BEING PORTIONS OF LOTS1-5 BLK 11) NORTH ALBUQUERQUE ACRES TRACT A UNIT ACONT 2.6640 AC	2.6 422 808 3
10	10180 63272 41511 405	RODWICK JOE TR USTEE RODWICK LVT	6921 DERICK SON AVE NE	ALBUQ UERQ UE	N M 0 9	8 7 1 0 9	A F A	LT 1 BLK 19 JADE PARK MOBILE HOME SUBD UNIT NO 11 (BEING AREPLAT OF LTS 1-11 INCLUSIVE & LTS 22-32 INCLUSIVE BLK 13 TRA UNIT A NORTH ALBUQU ERQUE ACRES) CONT .2070 AC +/-	0.2 068 135 3
11	10180 63272 140511 404	HANSEN KEN ETU X	777 E 2950 N RD	CLIFT ON	I L 2 7	6 0 9 2 7	A F A	LT 2 BLK 19 JADE PARK MOBILE HOME SUBD UNIT NO 11 (BEING AREPLAT OF LTS 1-11 INCLUSIVE & LTS 22-32 INCLUSIVE BLK 13 TRA UNIT A NORTH ALBUQU ERQUE ACRES) CONT .1880 AC +/-	0.1 877 392 3
12	10180 63244 45020 807	HAMILTON- DOMENICI PROPE RTIES LLC C/O OF FICE DEPOT INC - LEASE ADMIN	2200 OLD GE RMANTOWN RD	DELRA Y BEA CH	F L 4 5	3 3 4 4 5	A C A	TR A-1-D PLAT OF TRACTS A-1-A, A-1-B, A-1-C, A-1-D & A-1-ELOS ANGELES CENTER (A REPLAT OF TRACT A-1 LOS ANGELESCENTER & THE DOMINGO BACA A RROYO TOGETHER WITH VACATED	2.2 407 116 7
13	10180 64251 02830 212	DOUGHTY ENTER PRISES INC	7009 PROSP ECT NE	ALBUQ UERQ UE	N M 0 9	8 7 1 0 9	A C A	LT 16-A BLK 18 PLAT OF LT 16-A BLK 18 TR A UNIT B NORTH ALBUQUERQUE ACR ES CONT 1.0799 AC M/L OR 47,040 SF M/L	1.0 940 883 3
14	10180 63182	CITY OF ALBUQU ERQUE REAL EST	PO BOX 1293	ALBUQ UERQ	N M 7	8 7 1 0 7	A C A	NORTH ALBUQ AC TRACT A UNIT A LOTS 8 THRU 26 BLK 3 & LOTS 7THRU 26 BLK 4	36. 944

	36920 610	ATE OFFICE		UE		1 0 3	A		701 73
1 5	10180 63282 45110 401	PALOMAS INVEST MENTS LLC	8605 PRISTIN E DR NE	ALBUQ UERQ UE	N M	8 7 1 2 2	C 1 A	LOT 1-A BLK 12 A PLAT OF LOT 1-A & 1- B BLK 12 TR A UNIT A NORTH ALBUQUERQUE ACA RES CONT 2.5027 AC M/L OR 109,016 SF M/L	2.5 004 949 1
1 6	10180 63286 40411 601	MONTOYA BRIDG ET	6601 SAN LUI S OBISPO AV E NE	ALBUQ UERQ UE	N M	8 7 1 0 9	F 1 A	* 040 020JADE PARK MOBILE HOME SUBD UNIT 11	0.2 457 721 1
1 7	10180 63286 41411 640	RIVERS BOBBIE J	6600 SAN BE RNADINO NE	ALBUQ UERQ UE	N M	8 7 1 0 9	F 1 A	LT 1 BLK 20 JADE PARK MOBILE HOME SUBD UNIT NO 11 (BEING AREPLAT OF LTS 1- 11 INCLUSIVE & LTS 22- 32 INCLUSIVE BLK 13 TRA UNIT A NORTH ALBUQU ERQUE ACRES) CONT .2390 AC +/-	0.2 385 642 4
1 8	10180 64140 03230 218	HUDSON ALEX	3832 EL FEG O NW	ALBUQ UERQ UE	N M	8 7 1 0 7	V 1 A	LOT 8A-1 BLOCK 18 PLAT OF LOTS D- 1 & 23A, BLOCK 17 & LOT8A- 1, BLOCK 18, TRACT A, UNIT B NORTH ALBUQUER QUEACRES CONT 5.4048 AC	5.4 007 500 7
1 9	10180 63291 48810 502	BANDELIER EQUI TIES LTD CO	4101 INDIAN SCHOOL RD NE SUITE 400	ALBUQ UERQ UE	N M	8 7 1 1 0	V 1 A	* 031 011TR A #A NORTH ALBUQUERQUE ACRES	0.8 794 218 5
2 0	10180 63128 46220 805	TARGET CORPOR ATION	1000 NICOLL ET MALL	MINNE APOLI S	M N	5 5 4 0 3	C 1 A	TR A-1-A-1 PLAT OF TRACTS A-1-A-1 & A-1-E- 1 LOS ANGELESCENTER (A REPLAT OF TRACTS A- 1-A & A-1- E LOS ANGELESCENTER) CONT 11.4118 AC	11. 273 302 3
2 1	10180 64189 01630 207	PASEO PLACE LL C & JACKSON STE VEN P	PO BOX 6618 0	ALBUQ UERQ UE	N M	8 7 1 9 3	V 1 A	* 021 018TR A UNIT B N ALBU AC	0.8 274 177 6

REC	UPC CODE	OWNER	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWNER ZIP CODE	PROPERTY CLASS	TAX DISTRICT	LEGAL	ACRES
1	10180 63274 48810 501	BANDELIER EQUITIES LTD CO	4101 INDIAN SCHOOL RD NE SUITE 400	ALBUQUERQUE	NM	87110	V	A1A	* 032 011TR A #A NORTH ALBUQUERQUE ACRES	0.7 523 664 7
2	10180 63245 49220 806	WALGREEN COMS #1420	104 WILLMORT RD	DEERFIELD	IL	60015	C	A1A	TR A-1-C PLAT OF TRACTS A-1-A, A-1-B, A-1-C, A-1-D & A-1-ELOS ANGELES CENTER (A REPLAT OF TRACT A-1 LOS ANGELESCENTER & THE DOMINGO BAC A ARROYO TOGETHER WITH VACATED	1.9 023 012 1
3	10180 63254 42720 803	CITY OF ALBUQUERQUE	PO BOX 1293	ALBUQUERQUE	NM	87103	V	A1A	S ELY PORTION LOT 17 BLK 2 TR A UNIT A NORTH ALBUQUERQUE ACRES & PORTION O VACATED SAN BERNADINO RD AKA DRAINAGE RW CONT 0.107 AC	0.0 913 327 5
4	10180 64223 01630 209	HOLLY-SP LLC	6300 RIVERSIDE PLAZA LN NW SUITE 200	ALBUQUERQUE	NM	87120	V	A1A	TR B PLAT OF HOLLY PLACE (A REPLAT OF LOTS 14, 15, 18 & 19BLK 18 TR A UNIT B NORTH ALBUQUERQUE ACRES)CONT .6845 AC	0.6 841 5
5	10180 64205 01630 208	PASEO PLACE LLC	6300 RIVERSIDE PLAZA LN NW SUITE 200	ALBUQUERQUE	NM	87120	V	A1A	* 020 018TR A UNIT B N ALBU AC	0.8 482 255 9
6	10180 63272 39611 403	MULDER GLENDORA L LIVING TRUST	7809 ELLIS PL NE	ALBUQUERQUE	NM	87109	R	A1A	* 003 019JADE PARK MOBILE HOME SUBD UNIT 11	0.1 953 007 1
7	10180 63195 45920 804	LOWES HOME CENTERS INC ATT N: SR VICE PRESIDENT	PO BOX 1111	NORTH WILKESBORO	NC	28659	C	A1A	TR A-1-B PLAT OF TRACTS A-1-A, A-1-B, A-1-C, A-1-D & A-1-ELOS ANGELES CENTER (A REPLAT OF TRACT A-1 LOS ANGELESCENTER & THE DOMINGO BAC A ARROYO TOGETHER WITH VACATED	16. 496 716 73
8	10180 64239 01830 210	HOLLY-SP LLC	6300 RIVERSIDE PLAZA LN NW SUITE 200	ALBUQUERQUE	NM	87120	V	A1A	TR C PLAT OF HOLLY PLACE (A REPLAT OF LOTS 14, 15, 18 & 19BLK 18 TR A UNIT B NORTH ALBUQUERQUE ACRES)CONT .8712 AC	0.8 711 357 8
9	10180 63313 50210 530	BANDELIER EQUITIES LTD CO	4101 INDIAN SCHOOL RD NE 400	ALBUQUERQUE	NM	87110	V	A1A	LT 5-A BLK 11 PLAT OF LOT 5-A BLK 11 (BEING PORTIONS OF LOTS 1-5 BLK 11) NORTH ALBUQUERQUE ACRES TRACT A UNIT ACONT 2.6640 AC	2.6 422 808 3
10	10180 63272 41511 405	RODWICK JOE TRUSTEE RODWICK LVT	6921 DERICKSON AVE NE	ALBUQUERQUE	NM	87109	R	A1A	LT 1 BLK 19 JADE PARK MOBILE HOME SUBD UNIT NO 11 (BEING AREPLAT OF LTS 1-11 INCLUSIVE & LTS 22-32 INCLUSIVE BLK 13 TR A UNIT A NORTH ALBUQUERQUE ACRES) CONT .2070 AC +/-	0.2 068 135 3
11	10180 63272 40511 404	HANSEN KEN ET UX	777 E 2950 N RD	CLIFTON	IL	60927	R	A1A	LT 2 BLK 19 JADE PARK MOBILE HOME SUBD UNIT NO 11 (BEING AREPLAT OF LTS 1-11 INCLUSIVE & LTS 22-32 INCLUSIVE BLK 13 TR A UNIT A NORTH ALBUQUERQUE ACRES) CONT .1880 AC +/-	0.1 877 392 3
12	10180 63244 45020 807	HAMILTON-DOMENICI PROPERTIES LLC C/O OFFICE DEPOT INC - LEASE ADMIN	2200 OLD GERMANTOWN RD	DELRAY BEACH	FL	33445	C	A1A	TR A-1-D PLAT OF TRACTS A-1-A, A-1-B, A-1-C, A-1-D & A-1-ELOS ANGELES CENTER (A REPLAT OF TRACT A-1 LOS ANGELESCENTER & THE DOMINGO BAC A ARROYO TOGETHER WITH VACATED	2.2 407 116 7

13	10180 64251 02830 212	DOUGHTY ENTERPRISES INC	7009 PROSPECT NE	ALBUQUERQUE	NM	87 10 9	C	A1 A	LT 16-A BLK 18 PLAT OF LT 16-A BLK 18 TR A UNIT B NORTH ALBUQUERQUE ACRES CONT 1.0799 AC M/L OR 47,040 SF M/L	1.0 940 883 3
14	10180 63182 36920 610	CITY OF ALBUQUERQUE REAL ESTATE OFFICE	PO BOX 1293	ALBUQUERQUE	NM	87 10 3	C	A1 A	NORTH ALBUQ AC TRACT A UNIT A LOTS 8 THRU 26 BLK 3 & LOTS 7THRU 26 BLK 4	36. 944 701 73
15	10180 63282 45110 401	PALOMAS INVESTMENTS LLC	8605 PRISTINE DR NE	ALBUQUERQUE	NM	87 12 2	C	A1 A	LOT 1-A BLK 12 A PLAT OF LOT 1-A & 1-B BLK 12 TR A UNIT A NORTH ALBUQUERQUE ACRES CONT 2.5027 AC M/L OR 109,016 SF M/L	2.5 004 949 1
16	10180 63286 40411 601	MONTOYA BRIDGET	6601 SAN LUIS OBISPO AVE NE	ALBUQUERQUE	NM	87 10 9	R	A1 A	* 040 020JADE PARK MOBILE HOME SUBD UNIT 11	0.2 457 721 1
17	10180 63286 41411 640	RIVERS BOBBIE J	6600 SAN BERNADINO NE	ALBUQUERQUE	NM	87 10 9	R	A1 A	LT 1 BLK 20 JADE PARK MOBILE HOME SUBD UNIT NO 11 (BEING AREPLAT OF LTS 1-11 INCLUSIVE & LTS 22-32 INCLUSIVE BLK 13 TRA UNIT A NORTH ALBUQUERQUE ACRES) CONT .2390 AC +/-	0.2 385 642 4
18	10180 64140 03230 218	HUDSON ALEX	3832 EL FEGO NW	ALBUQUERQUE	NM	87 10 7	V	A1 A	LOT 8A-1 BLOCK 18 PLAT OF LOTS D-1 & 23A, BLOCK 17 & LOT8A-1, BLOCK 18, TRACT A, UNIT B NORTH ALBUQUERQUEACRES CONT 5.4048 AC	5.4 007 500 7
19	10180 63291 48810 502	BANDELIER EQUITIES LTD CO	4101 INDIAN SCHOOL RD NE SUITE 400	ALBUQUERQUE	NM	87 11 0	V	A1 A	* 031 011TR A #A NORTH ALBUQUERQUE ACRE S	0.8 794 218 5
20	10180 63128 46220 805	TARGET CORPORATION	1000 NICOLET MALL	MINNEAPOLIS	MN	55 40 3	C	A1 A	TR A-1-A-1 PLAT OF TRACTS A-1-A-1 & A-1-E-1 LOS ANGELESCENTER (A REPLAT OF TRACTS A-1-A & A-1-E LOS ANGELESCENTER) CONT 11.4118 AC	11. 273 302 3
21	10180 64189 01630 207	PASEO PLACE LLC & JACKSON STEVEN P	PO BOX 66180	ALBUQUERQUE	NM	87 19 3	V	A1 A	* 021 018TR A UNIT B N ALBU AC	0.8 274 177 6



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: 5-7-09

Planning Department
Plaza Del Sol Building
600 Second St. NW
Second Floor (924-3860)

This letter will serve to notify you that on 5-7-09 (date)

TO CONTACT NAME: Stephen Dunbar
COMPANY/AGENCY: Modules Architects
ADDRESS/ZIP: 2325 San Pedro NE Suite 2B
PHONE/FAX #: 338-1499 338-1498

Contacted the Office of Neighborhood Coordination requesting the contact names for ALL Affected Neighborhood and/or Homeowner Associations affected by their request concerning a Zoning Action or Site Development Plan, etc. at

Paseo del Norte - I-25 & San Pedro NE
zone map page(s) 0-18

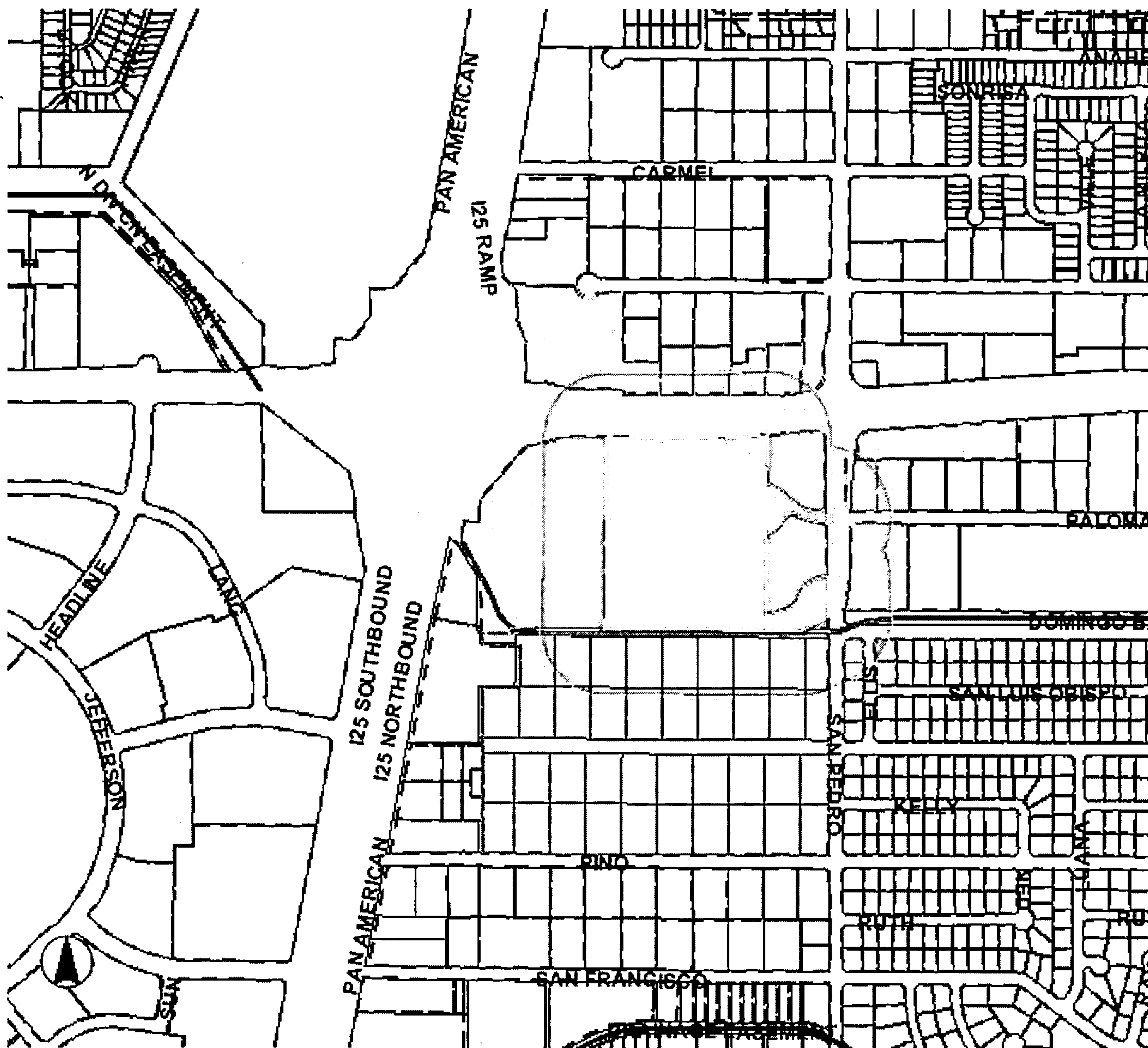
Our records indicate that as of 5/7/09 (date) there were No Affected

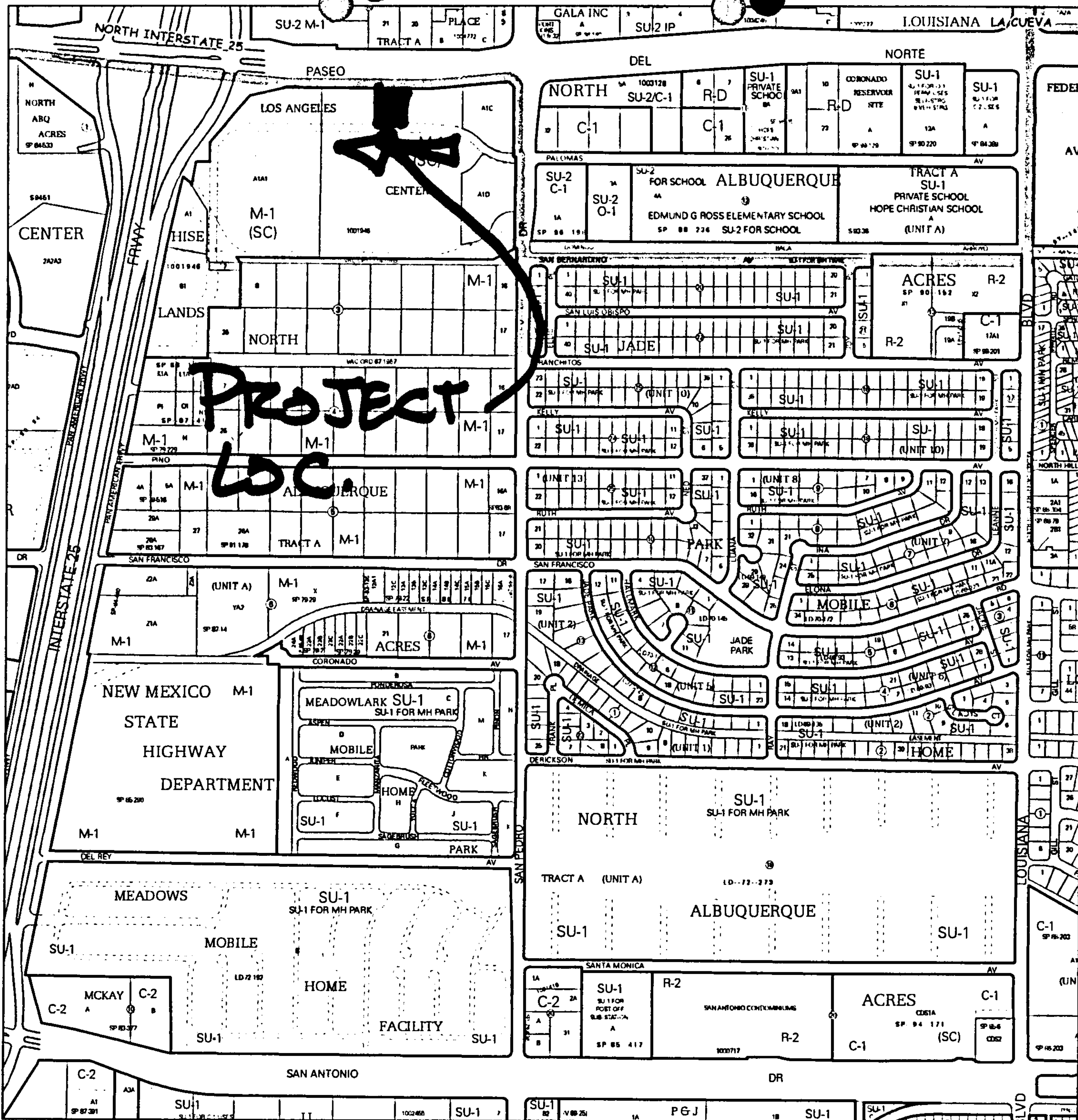
Neighborhood and/or Homeowner Associations in this area.

If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Catrina Martinez
OFFICE OF NEIGHBORHOOD COORDINATION

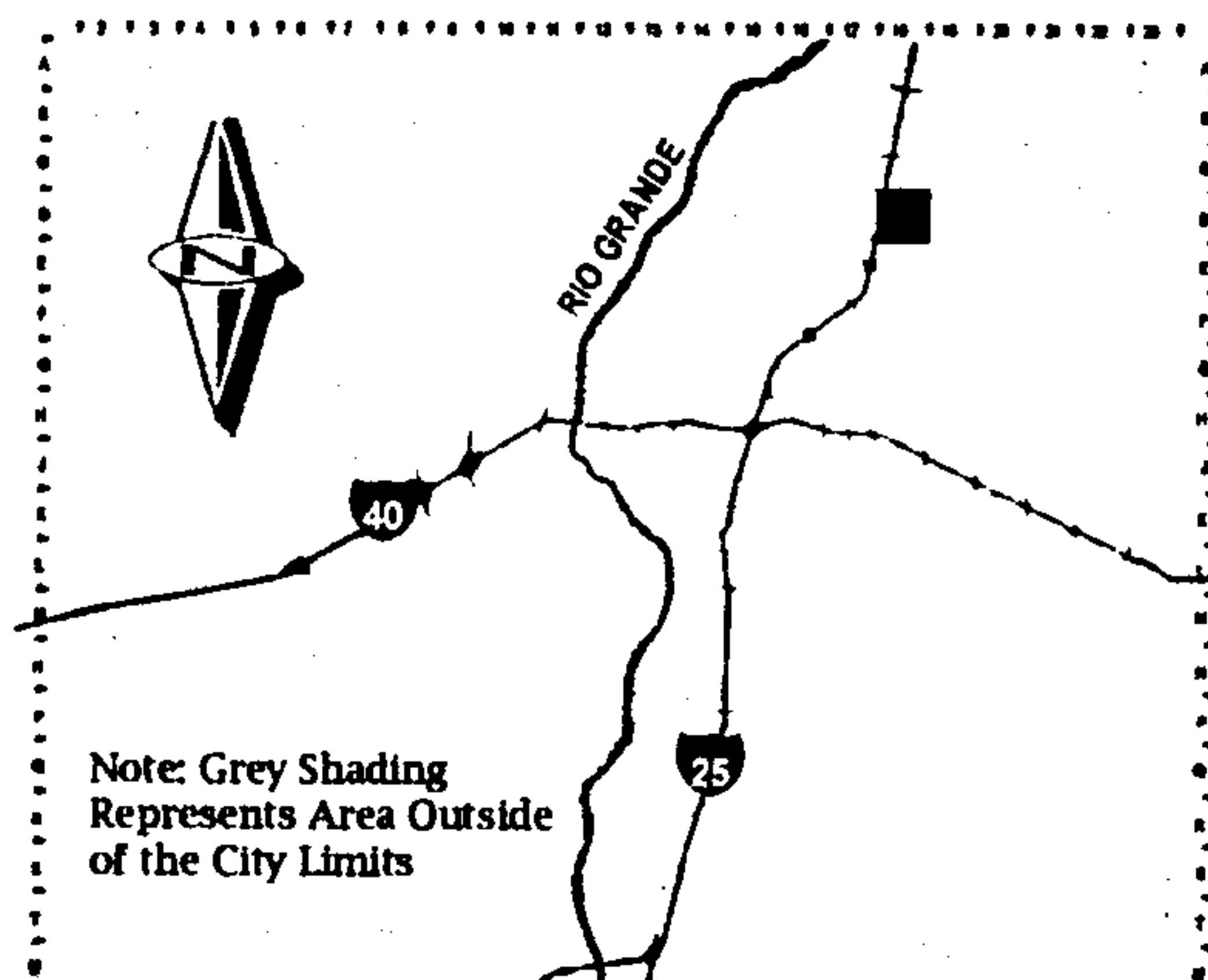




For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 3/10/2009



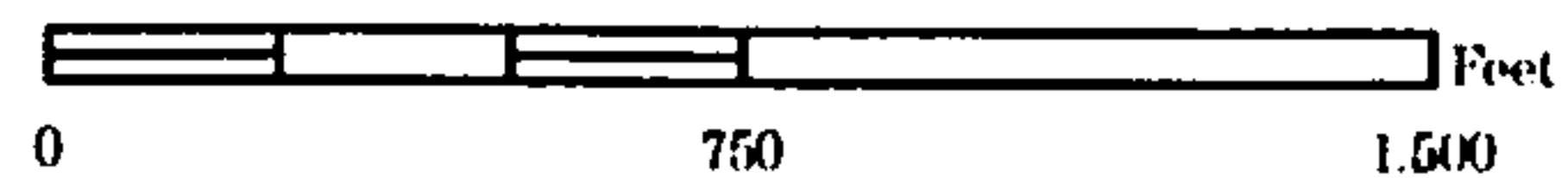
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:

D-18-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





DRB CASE ACTION LOG

REVISED 10/08/07

(Preliminary / Final)

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 09DRB-70070 Project # 1001946
Project Name: Los Angeles Center
Agent: Bohannon Huston Inc. Phone No.: 823-1000

Your request was approved on 2-2-09 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: - per comments

UTILITIES:

CITY ENGINEER / AMAFCA:

PARKS / CIP:

PLANNING (Last to sign): - Flood in Equestrian
- Safety Walk

- Planning must record this plat. Please submit the following items:
-The original plat and a mylar copy for the County Clerk.
-Tax certificate from the County Treasurer.
-Recording fee (checks payable to the County Clerk). RECORDED DATE:
-Tax printout from the County Assessor.
3 copies of the approved site plan. Include all pages.
County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
Property Management's signature must be obtained prior to Planning Department's signature.
AGIS DXF File approval required.
Copy of recorded plat for Planning.

Created On:

5. ~~Project# 1001946~~
09DRB-70070 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- BOHANNAN HUSTON INC agent(s) for UNITED GROWTH LLC request(s) the above action(s) for all or a portion of Lot(s) A-1-B, **LOS ANGELES CENTER** zoned M-1, located on PASEO DEL NORTE NE BETWEEN I-25 AND SAN PEDRO NE containing approximately 16.5189 acre(s). (D-18) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION FOR EXHIBIT INDICATING LOCATION OF SIDEWALK AND DISTANCE OF FACE OF CURB TO PROPERTY LINE, WIDTH DIMENSION, AND 6 FT SIDEWALK AND TO PLANNING FOR FLOATING EASEMENT AND SOLAR NOTE.**
6. **Project# 1002535**
09DRB-70066 EXT OF MAJOR
PRELIMINARY PLAT
- GPS LLC agent(s) for CHRONIS DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 32-35, 38, & WEST OF LOT 37, **HUBBELL HEIGHTS ADDITION** zoned O-1 & C-2, located on 65TH ST SW BETWEEN CENTRAL AVE SW AND COORS BLVD SW containing approximately 5.555 acre(s). (K-11) **A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED WITH THE CONDITION THAT THE PLAT IS FILED PRIOR TO 3/6/09. PREVIOUS CONDITIONS OF FINAL PLAT STILL APPLY.**
7. **Project# 1007303**
09DRB-70069 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- MICHAEL EAVES agent(s) for LA CASTILLA, LLC request(s) the above action(s) for all or a portion of Lot(s) 154C, zoned R-1, located on GUADALUPE TR NW BETWEEN MONTANO AND GRIEGOS NW containing approximately 0.705 acre(s). (F-14) **DEFERRED TO 3/4/09 AT THE AGENT'S REQUEST.**
8. **Project# 1003359**
09DRB-70048 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- RIO GRANDE SURVEYING CO. agent(s) for FAIZEL KASSAM request(s) the above action(s) for all or a portion of Lot(s) 23-29, 8-10, 23-25, Block(s) 25 & 26, Tract(s) A, **NORTH ALBUQUERQUE ACRES Unit(s) B**, zoned SU-2, located on EAGLE ROCK BETWEEN SAN PEDRO AND LOUISIANA containing approximately 13.47 acre(s). (C-18) *[Deferred from 2/18/09]* **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD AND FOR AGIS DXF.**
9. **Project# 1004751**
09DRB-70054 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL
- JACKS HIGH COUNTRY INC agent(s) for MARK E SOLOMON request(s) the above action(s) for all or a portion of Lot(s) 5 & 6, Block(s) 4, **PEREA ADDITION** zoned SU-2, located on 11TH ST NW BETWEEN MARQUETTE AVE NW AND ROMA AVE NW containing approximately 0.1629 acre(s). (J-13) **THE PRELIMINARY/FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD AND FOR AGIS DXF.**

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT

February 25, 2009

DRB Comments

ITEM # 5

PROJECT # 1001946

APPLICATION # 09-70070

RE: Tract A-1-B, Los Angeles Center Subdivision

Approval of this proposed plat would be subject to an approved Site Development Plan for Subdivision amendment. It appears a cross-lot parking easement will be needed in addition to existing cross-lot access and drainage easements.

A Solar Note will be needed on the plat (consistent with Section 14-14-4-7 of the Subdivision Ordinance) which is specific to this type of request, i.e. use the words "THIS PLAT" (rather than the words "REQUESTED FINAL ACTION") at the beginning of the note, and do not use the words "OR SITE DEVELOPMENT PLAN FOR SUBDIVISION" at the end of the note.



Jack Cloud AICP, DRB Chairman
924-3880/ jcloud@cabq.gov



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

November 5, 2008

Project# 1001946

08DRB-70440 MAJOR - ONE YEAR EXTENSION OF SUBDIVISION IMPROVMENTS AGREEMENT

BOHANNAN HUSTON INC agent(s) for LOWES HOME CENTERS, INC / request(s) the referenced/ above action(s) for all or a portion of Tract(s) A-1 & A-2, **LOS ANGELES CENTER** zoned M-1, located on the southwest corner of SAN PEDRO DR NE and PASEO DEL NORTE NE, containing approximately 33 acre(s). (D-18)

At the November 5, 2008 Development Review Board meeting, the one year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by DATE MONTH YEAR, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).



Jack Cloud, AICP, DRB Chair

Cc: Bohannan Huston Inc./CDP Sally Salazar – 7500 Jefferson NE – Albuquerque, NM 87109

Cc: Lowes' Home Centers Inc./Brian Massengill – P.O. Box 111 – N. Wilkesboro, NC 28656

3. **Project# 1001946**
08DRB-70440 MAJOR - ONE YEAR
EXTENSION OF SUBDIVISION
IMPROVMENTS AGREEMENT

BOHANNAN HUSTON INC agent(s) for LOWES HOME CENTERS, INC / request(s) the referenced/ above action(s) for all or a portion of Tract(s) A-1 & A-2, **LOS ANGELES CENTER** zoned M-1, located on the southwest corner of SAN PEDRO DR NE and PASEO DEL NORTE NE, containing approximately 33 acre(s). (D-18) **THE ONE YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENT AGREEMENT (SIA) WAS APPROVED.**

4. **Project# 1007320**
08DRB-70427 VACATION OF PUBLIC
EASEMENT(S)

BOHANNAN HUSTON INC agent(s) for LOWE'S HOME IMPROVEMENT CENTER request(s) the referenced/ above action(s) [PUBLIC WATERLINE, PNM] on all or a portion of Tract(s) 2A-5A1-A1, **HORNE DEVELOPMENT ADDITION**, zoned SU-1, located on HOTEL CIRCLE NE south of LOMAS BLVD NE and east of EUBANK BLVD NE containing approximately 8.276 acre(s). (K-21) [*Deferred from 10/22/08*] **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE SUBJECT TO ACKNOWLEDGEMENT BY PNM AND WUA COMMENTS ADDRESSED.**

5. **Project# 1006516**
07DRB-70030 BULK LAND VARIANCE
07DRB-70031 MAJOR - PRELIMINARY
PLAT APPROVAL
07DRB-70032 MINOR - TEMP DEFR
SWDK CONST
07DRB-70033 SIDEWALK WAIVER
07DRB-70034 VACATION OF PUBLIC
EASEMENT
07DRB-70085 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

BOHANNAN HUSTON INC agent(s) for MESA DEL SOL, LLC request(s) the above action(s) for all or a portion of Tract(s) PORTION OF TRACT 4A, **MESA DEL SOL**, zoned SU-2/PC, located on UNIVERSITY BLVD. SE BETWEEN SOLAR MESA AVE. SE AND BOBBY FOSTER SE containing approximately 114.7792 acre(s). (R15, R16, S15, AND S16) [*Deferred from 6/27/07, 7/25/07, 7/22/07, 8/22/07 & 9/26/07, 1/30/08, 3/5/08, 4/9/08, 5/14/08, 5/28/08, 6/4/08, 6/11/08, 6/25/08, 7/16/08, 8/6/08, 8/20/08, 9/3/0, 9/24/08*] **DEFERRED TO 12/17/08 AT THE AGENT'S REQUEST.**

6. **Project# 1001306**
08DRB-70326 VACATION OF PUBLIC
EASEMENT

SURV-TEK INC agent(s) for PETE DASKALOS PROPERTIES request(s) the above action(s) for all or a portion of Tract(s) 1-C, **SEVILLE**, zoned SU-1 FOR C-1, located on UNIVERSE BLVD NW BETWEEN AVENIDA SEVILLE AND IRVING BLVD NW containing approximately 9.1925 acre(s). (A-10){*deferred from 8/13/08, 8/27/08, 9/10/08, 9/24/08, 10/8/08*} **WITHDRAWN AT THE AGEN'TS REQUEST.**



DEVELOPMENT REVIEW BOARD
Action Sheet

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

November 5, 2008

MEMBERS:

Jack Cloud, AICP, DRB Chairman, Planning Department

Angela Gomez, Administrative Assistant

Kristal Metro, P.E. , Transportation Development
Brad Bingham, P.E., Hydrology/ Alternate City Engineer

Roger Green, P.E., Albuquerque/ Bernalillo Co.WUA
Christina Sandoval, Parks/Municipal Development

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project# 1007521**
08DRB-70441 VACATION OF
TEMPORARY PUBLIC EASEMENT
08DRB-70443 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

SHAKEEL RIZVI request(s) the referenced/ above action(s) for all or a portion of Lot(s) 15-17, Block(s) 2, **EAGLE ROCK ESTATES Unit(s) 3**, zoned RD, located on the southwest corner of EAGLE ROCK AVE NE and OBSEDIAN ST NE containing approximately 0.25 acre(s). (C-18) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR CERTIFICATION OF EARTHWORK. A DETACHED OPEN SPACE NOTE MUST BE INDICATED ON THE PLAT. AN EXHIBIT MUST BE PROVIDED INDICATING FACE OF CURB TO THE PROPERTY LINE AND LOCATION OF SIDEWALK. FINAL PLAT WAS DEFERRED TO 11/12/08 AT THE AGENT'S REQUEST.**

2. **Project# 1007522**
08DRB-70442 VACATION OF
TEMPORARY PUBLIC EASEMENT
08DRB-70444 MINOR - PRELIMINARY/
FINAL PLAT APPROVAL

SHAKEEL RIZVI request(s) the referenced/ above action(s) for all or a portion of Lot(s) 1-3, Block(s) 2, **EAGLE ROCK ESTATES Unit(s) 4**, zoned RD, located on the northwest corner of EAGLE ROCK AVE NE and OBSEDIAN ST NE containing approximately .25 acre(s). (C-18) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE PER SECTION 14-14-7-2(A) (1) AND (B) (1)(3) OF THE SUBDIVISION ORDINANCE. THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR CERTIFICATION OF EARTHWORK. A DETACHED OPEN SPACE NOTE MUST BE INDICATED ON THE PLAT. AN EXHIBIT MUST BE PROVIDED INDICATING FACE OF CURB TO THE PROPERTY LINE AND LOCATION OF SIDEWALK. FINAL PLAT WAS DEFERRED TO 11/12/08 AT THE AGENT'S REQUEST.**




INTERA Incorporated
6000 Uptown Boulevard NE
Suite 100
Albuquerque, NM 87110
Telephone: 505 246 1600
Fax: 505 246 2600

MEMORANDUM

DATE: November 4, 2008

TO: Jack Cloud, Planning Department – Design Review Board

COPY: Suzanne Busch, Environmental Health Department
Donna Griffin, Legal Department
Bohannon Huston Inc.

FROM: James Joseph, INTERA Inc. 

SUBJECT: Project # 1001946, 08DRB-70440 Major – One Year Extension of Subdivision Improvements Agreement, Tracts A-1 & A-2, Los Angeles Center, Located on the Southwest Corner of San Pedro Dr. NE and Paseo Del Norte NE.

There is the potential for the above-named project to be impacted by the presence of landfill gas generated by a former City owned/operated landfill (Sacramento Landfill). The developers of this site are required to follow the most current version of the “City of Albuquerque Interim Guidelines for Development within City Designated Landfill Buffer Zones”. A review and approval of the Site Plan(s), the proposed construction, design drawings, and a certification of construction will be required by the Environmental Health Department, Environmental Services Division.



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

November 5, 2008

Project# 1001946

08DRB-70440 MAJOR - ONE YEAR EXTENSION OF SUBDIVISION IMPROVMENTS AGREEMENT

BOHANNAN HUSTON INC agent(s) for LOWES HOME CENTERS, INC / request(s) the referenced/ above action(s) for all or a portion of Tract(s) A-1 & A-2, **LOS ANGELES CENTER** zoned M-1, located on the southwest corner of SAN PEDRO DR NE and PASEO DEL NORTE NE, containing approximately 33 acre(s). (D-18)

AMAFCA No comment.
COG MRCOG staff have no comment on the proposed development. For information purposes, the functional classification of San Pedro Bd is urban collector.
TRANSIT No comment.
ZONING ENFORCEMENT No comment.
NEIGHBORHOOD COORDINATION Letters sent to: West La Cueva NA (R) Jade Park NA (R)
APS Los Angeles Center , Tracts A-1 and A-2, is located on the southwest corner of San Pedro Dr NE and Paseo Del Norte NE. The owner of the above property requests a 1 year extension of Subdivision Improvements Agreement for intersection improvements for property that contains a Lowe's Home Improvement Center. This will have no adverse impacts to the APS district.
POLICE DEPARTMENT No comment.
FIRE DEPARTMENT No comment.
PNM ELECTRIC & GAS No comment.
COMCAST No comment.
QWEST No comment.
ENVIRONMENTAL HEALTH No comment.
M.R.G.C.D No Adverse Comments.
OPEN SPACE DIVISION Open Space has no adverse comments

CITY ENGINEER

The Hydrology section has no objection to the extension request.

TRANSPORTATION DEVELOPMENT

No adverse comments.

PARKS AND RECREATION

No objection.

ABCWUA

No objection to Extension request, defer to Transportation.

PLANNING DEPARTMENT

Refer to comments from Transportaion Development and City Engineer regarding proposed extension.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

November 22, 2006

1. Project # 1001946
06DRB-01557 Major-Two Year SIA


BOHANNAN HUSTON INC agent(s) for LOWE'S HOME CENTERS INC request(s) the above action(s) for all or a portion of Tract(s) A-1 & A-2, **LOS ANGELES CENTER**, zoned M-1 light manufacturing zone, located on SAN PEDRO NE between PASEO DEL NORTE NE and PINO NE containing approximately 33 acre(s). [REF:04DRB-01965] (D-18)

At the November 22, 2006, Development Review Board meeting, a two-year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by December 7, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Sheran Matson, AICP, DRB Chair

Cc: Lowe's Home Centers Inc., P.O. Box 1111, N. Wilkesboro, NC 28656
Bohannan Huston Inc., 7500 Jefferson NE, 87109
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File



#1
1001946
11/22/2006

C18

D18

PASEO DEL NORTE

SAN PEDRO DR + NE PAS

PALOMAS

SAN BERNARDINO

SAN LUIS OBISPO

8A1
5500

8B 5900 5910
12 13 14
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8C
15 16A
101
21 20 19 18
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2/PORTION OF R-D 7/8
1/PORTION OF 30 5/PORTION OF
31C-1 29 28 27
99999 6451 6501

1A
SU-2 SU-3
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AMERICAN

SAN PEDRO

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5501 5501 5501

1 2 3 4 5 6 7 8 9
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3

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1001946 AGENDA#: 1 DATE: 11.22.06

1. Name: Stephanie WALTON Address: BHI Zip: _____
2. Name: _____ Address: _____ Zip: _____
3. Name: _____ Address: _____ Zip: _____
4. Name: _____ Address: _____ Zip: _____
5. Name: _____ Address: _____ Zip: _____
6. Name: _____ Address: _____ Zip: _____
7. Name: _____ Address: _____ Zip: _____
8. Name: _____ Address: _____ Zip: _____
9. Name: _____ Address: _____ Zip: _____
10. Name: _____ Address: _____ Zip: _____
11. Name: _____ Address: _____ Zip: _____
12. Name: _____ Address: _____ Zip: _____
13. Name: _____ Address: _____ Zip: _____
14. Name: _____ Address: _____ Zip: _____

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1001946

AGENDA ITEM NO: 1

SUBJECT:

SIA Extension

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

RESOLUTION: 2 yr

APPROVED ; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: NOVEMBER 22, 2006



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

November 22, 2006

Project # 1001946
06DRB-01557 Major-Two Year SIA

BOHANNAN HUSTON INC agent(s) for LOWE'S HOME CENTERS INC request(s) the above action(s) for all or a portion of Tract(s) A-1 & A-2, **LOS ANGELES CENTER**, zoned M-1 light manufacturing zone, located on SAN PEDRO NE between PASEO DEL NORTE NE and PINO NE containing approximately 33 acre(s). [REF: 04DRB-01965] (D-18)

AMAFCA	No adverse comments.
COG	No adverse comments.
Transit	No comments received.
Zoning Enforcement	No adverse comments.
Neighborhood Coordination	
Letters sent to Jade Park NA (R) West La Cueva NA (R).	
APS	The SIA extension for Tracts A-1 & A-2, Los Angeles Center , (Lowe's Home Centers) will have no adverse impacts to the APS district.
Police Department	No crime prevention or CPTED comments at this time.
Fire Department	No adverse comments.
PNM Electric & Gas	No adverse comments.
Comcast	No comments received.
QWEST	No comments received.
Environmental Health	No comments received.
M.R.G.C.D.	No comments received.
Open Space Division	No adverse comments.

City Engineer The Hydrology section has no objection to the extension request.

Transportation Development

No objection to the extension.

Parks & Recreation

Defer to Transportation.

Utilities Development

No objection to Extension request, defer to Transportation.

Planning Department

Defer to Transportation. How long an extension are you requesting? If approved, applicant has one year to file a replat of the affected property completing the vacation.

Impact Fee Administrator No comment on proposed extension of SIA.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

Cc:Lowe's Home Centers Inc., P.O. Box 1111, N. Wilkesboro, NC 28656

Bohannon Huston Inc., 7500 Jefferson NE, 87109



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, November 22, 2006**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1001946

06DRB-01557 Major-Two Year SIA

BOHANNAN HUSTON INC agent(s) for LOWE'S HOME CENTERS INC request(s) the above action(s) for all or a portion of Tract(s) A-1 & A-2, **LOS ANGELES CENTER**, zoned M-1 light manufacturing zone, located on SAN PEDRO NE between PASEO DEL NORTE NE and PINO NE containing approximately 33 acre(s). [REF: 04DRB-01965] (D-18)

Project # 1001218

06DRB-01558 Major-Two Year SIA

DALE & GAIL ARMSTRONG request(s) the above action(s) for all or a portion of Tract(s) 1-A, **LANDS OF LAFARGE**, zoned M-1 light manufacturing zone, located on EDITH BLVD NE, between CARMONY RD NE and MONTANO NE containing approximately 15 acre(s). (G-15)

Project # 1002855

06DRB-01559 Major-Two Year SIA

VAN H GILBERT ARCHITECT PC agent(s) for EDWARD GARCIA, GARCIA AUTOMOTIVE GROUP request(s) the above action(s) for all or a portion of Lot(s) 5A, Block(s) 24, **EAST END ADDITION**, zoned SU-1 for automobile storage special use zone, located on VERMONT ST NE between LOMAS BLVD NE and MARBLE AVE NE. [REF: 05DRB-00790] (J-19)

Project # 1004091

06DRB-01560 Major-Vacation of Public Easements

RIO GRANDE ENGINEERING agent(s) for IRVING PARTNERS LLC request(s) the above action(s) for UNPLATTED LANDS OF AMALGAMATED PARTNERS (to be known as **DESERT GARDEN ESTATES**) zoned R-LT residential zone, located on IRVING BLVD NW, between RAINBOW RD NW and PASEO DEL OESTE NW containing approximately 12 acre(s). [REF: 06DRB-00942, 06DRB-00943] (A-9)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, NOVEMBER 6, 2006.

FYI



NOTIFICATION OF HEARING for the DEVELOPMENT REVIEW BOARD

November 7, 2006

TO: Karen Casaus and John Stutzman, Jade Park Neighborhood Association
Thomas Alfieri and Stephanie O'Connell, West La Cueva Neigh. Assoc.

This letter will serve as your notification from the City of Albuquerque, under provisions of 0-92 pertaining to a request for: **Requests the following for approximately thirty-three (33) acre(s) – Major Two Year Subdivision Improvement Agreement for the Los Angeles Center property.**

Proposed by: Bohannan Huston, Inc. at (505) 823-1000

Agent for: Lowe's Home Centers, Inc.

For property located: **On or near San Pedro Drive NE between Paseo Del Norte NE and Pino Avenue NE.**

The case number(s) assigned is: **06DRB-01557, Project # 1001946.**

City Planning accepted application for this request on **October 26, 2006.**

The owner, applicant, and/or agent certified at the time of application acceptance that they notified you of the proposed action by *certified mail, return receipt requested.*

Please be advised that this application is scheduled for a hearing before the Development Review Board (DRB) at 9 a.m. on **Wednesday, November 22, 2006** in the **Planning Hearing Room, Room 160, Plaza Del Sol Building, 600 Second St. NW. (Back in business - in the Planning Hearing Room!!!)**

You should contact **Claire Senova** at **924-3946** to confirm this date, time, and to seek further information.

If you have any questions **-OR-** have not been contacted by the applicant, please call **Stephani Winklepleck** at **924-3902** or by e-mail at **swinklepleck@cabq.gov**.

Sincerely,

Stephani J. Winklepleck

Stephani I. Winklepleck

Neighborhood Program Coordinator

OFFICE OF NEIGHBORHOOD COORDINATION

PLANNING DEPARTMENT

**cc: Claire Senova, DRB
Administrative Assistant**

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: November 22, 2006
Zone Atlas Page: D-18-Z
Notification Radius: 100 Ft.

Project# 1001946
App#06DRB-01557

Cross Reference and Location: I-25 BETWEEN PASEO DEL NORTE NE AND
SAN PEDRO BLVD NE

Applicant: LOWE'S HOME CENTERS, INC
P.O. BOX 1111
N. WILKESBORO, NC 28656

Agent: STEPHANIE WALTON
BOHANNAN HUSTON INC.
7500 JEFFERSON NE
ALBUQUERQUE, NM 87109

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: NOVEMBER 3, 2006
Signature: ERIN TREMLIN



SUBDIVISION	Supplemental form S	ZONING & PLANNING	Z
<input checked="" type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation	
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal	
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)	
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)	
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan	
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Text Amendment	
<input type="checkbox"/> IP Master Development Plan		APPEAL / PROTEST of...	A
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: <u>LOWE'S HOME CENTERS, INC.</u>	PHONE: <u>336-658-3357</u>
ADDRESS: <u>PO BOX 1111</u>	FAX: <u>336-658-3643</u>
CITY: <u>N. WILKESBORO</u> STATE <u>NC</u> ZIP <u>28656</u>	E-MAIL: _____
Proprietary interest in site: <u>OWNER</u>	
AGENT (if any): <u>BOHANNAN HUSTON INC.</u>	PHONE: <u>823-1000</u>
ADDRESS: <u>7500 JEFFERSON NE</u>	FAX: <u>798-7988</u>
CITY: <u>ALBUQUERQUE</u> STATE <u>NM</u> ZIP <u>87109</u>	E-MAIL: _____

DESCRIPTION OF REQUEST: MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACTS TRACT A1 A PLAT OF TRACTS A-1 AND A-2 Block: _____ Unit: _____

Subdiv. / Addn. LOS ANGELES CENTER

Current Zoning: M-1 Proposed zoning: _____

Zone Atlas page(s): D-18 No. of existing lots: 1 No. of proposed lots: 1

Total area of site (acres): 33.0300 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? YES

UPC No. 101806317546920804 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: I-25 and SAN PEDRO BLVD. NE

Between: PASEO DEL NORTE NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): DRB# 1001946 04DRB-01965

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Stephanie Walton DATE 10/26/2006

(Print) STEPHANIE WALTON Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 10/03

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06DRB-01557</u>	<u>SIA</u>	<u>562</u>	\$ <u>50.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>ADV</u>		\$ <u>75.00</u>
<input checked="" type="checkbox"/> All case #s are assigned		<u>CME</u>		\$ <u>20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/> Case history #s are listed				\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus				\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate				\$ _____
	Hearing date <u>11/22/06</u>			Total \$ <u>145.00</u>

Sandy Handley 10/26/06
Planner signature / date

Project # 1001946

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
 - Proposed Infrastructure List
 - Design elevations & cross sections of perimeter walls 3 copies (11" x 17" maximum)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Property owner's and City Surveyor's signature on the proposed plat
 - FORM DRWS Drainage Report, Water & Sewer availability statement filing information
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Signed** Pre-Annexation Agreement if Annexation required.
 - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Preliminary plat approval expires after one year.
DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

- MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
 - Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year.
DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT
(Temporary sidewalk deferral uses FORM-V)

- 1 copy of each of the following items
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application
- Fee (see schedule)

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Stephanie Walton
Applicant name (print)
Stephanie Walton 10-26-06
Applicant signature / date



Form revised 11/04 and JUNE 05

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
06DRB-01557

Sandy Handley 10/26/06
Planner signature / date
Project # 1001946

REC	UPC CODE	OWNER	OWNER ADDRESS	OWNER CITY	OWNER STATE	OWNER ZIP CODE	PROPERTY CLASS	TAX DISTRICT	LEGAL
1	10180630 85384206 01	HISE NEIL REED & TY JUANA GAIL	PO BOX 1849	BELEN	NM	8700 2	COM M	A1A	LT 27 & POR OF LT 28 BLK 3 OF T R A UNIT A N
2	10180631 41302202 22	WILSON ALVA L & MARTHA K	22 PINEWAY	CLOVIS	NM	8810 1	COM M	A1A	009 005TR A #A N ALBUQUERQUE ACRES
3	10180630 83361206 08	WILLIAMS MICHA EL A	1733 JUNIPER RD N	RIDGWA Y	CO	8143 2 84 01	COM M	A1A	TR L-1-A PLAT OF TRS K-1-A, L-1- A & M-1- A BL NORTH ALBUQUERQUE A
4	10180632 72405114 04	HANSEN KEN ET UX	777 E 2950 N R D	CLIFTON	IL	6092 7	RES	A1A	* 002 019JADE PARK MOBILE HOME SUBD UNIT 11
5	10180632 39302202 16	GARDNER- ZEMKE INC	4600 LINCOLN NE	ALBUQU ERQUE	NM	8710 9	VAC	A1A	*15 EXC E 5 FT BLK 5 OF TR A U NIT A NORTH AL 0 .859 AC M/L
6	10180631 74302202 20	BARR PATRICK A & LYNN D TRUST E	6609 ROGERS NE	ALBUQU ERQUE	NM	8711 0	VAC	A1A	* 011 005TR A #A N ALBUQUERQUE ACRES
7	10180632 72378114 01	SALCIDO RITA M	7801 ELLIS PL NE	ALBUQU ERQUE	NM	8710 9 56 01	RES	A1A	* 005 019JADE PARK MOBILE HOME SUBD UNIT 11
8	10180631 09302202 24	REAL ESTATE LT D PTNS NUMBER TW	4601 SAN FRA NCISCO NE	ALBUQU ERQUE	NM	8710 9	COM M	A1A	* 007 005TR A #A N ALBUQUERQUE ACRES
9	10180630 95353206 06	WILLIAMS MICHA EL A	1733 JUNIPER RD N	RIDGWA Y	CO	8143 2 84 01	COM M	A1A	TR Q-1 PLAT OF TRS K-1 THRU P- 1 & TR Q BLK 4 R TH ALBUQUERQ UE ACR
10	10180630 84338206 04	WILLIAMS MICHA EL A	1733 JUNIPER RD N	RIDGWA Y	CO	8143 2 84 01	COM M	A1A	TR O-1 PLAT OF TRS K-1 THRU P- 1 & TR Q BLK 4 R TH ALBUQUERQ UE ACR
11	10180632 73334113 22	TAYLOR RUSSEL L JR ETUX	6500 KELLY N E	ALBUQU ERQUE	NM	8710 9	RES	A1A	* 001 024JADE PARK MOBILE HOME SUBD UNIT 13
12	10180631 24302202 23	REAL ESTATE LT D PTNS NUMBER TW	4601 SAN FRA NCISCO NE	ALBUQU ERQUE	NM	8710 9	COM M	A1A	* 008 005TR A #A N ALBUQUERQUE ACRES
13	10180630 91302202 25	HARMS IRWIN TO DD & DEBORA LY NN	PO BOX 1438	TIJERAS	NM	8705 9	COM M	A1A	* 006 005TRACT A UNIT A NORTH A LBUQUERQUE AC
14	10180630 79329206 02	PEROVICH JOEL M & PATRICIA L	PO BOX 348	EL PRAD O	NM	8752 9	COM M	A1A	TRACT "H" BLOCK 4 REPLAT OF LO TS 27 & 28 & A 29 BLOCK 4 TR "A" U
15	10180631 75469208 04	LOWE'S HOME C ENTERS INC	PO BOX 1111	NORTH WILKESB OR	NC	2865 6	COM M	A1A	TRACT A1 A PLAT OF TRACTS A- 1 AND A- 2 LOS AN NT 31.7797 AC OR 1,3
16	10180632 72388114 02	SCHOGGINS DO ROTHY M	7805 ELLIS PL NE	ALBUQU ERQUE	NM	8710 9 56 01	RES	A1A	* 004 019JADE PARK MOBILE HOME SUBD UNIT 11
17	10180632 08302202 18	GARDNER- ZEMKE COMPAN Y	4600 LINCOLN NE	ALBUQU ERQUE	NM	8710 9	COM M	A1A	* 013 005TR A #A N ALBUQUERQUE ACRES
18	10180630 94450208 02	LOWES HOME CE NTERS INC	HYW 268 EAST	NORTH WILKESB OR	NC	2865 9	VAC	A1A	PORTIONS OF LOTS 6, 26, 27 & P O RTION OF VACA NO RD BLK 2 TR A UNI
19	10180632 72415114 05	RODWICK JOE T RUSTEE RODWIC K LV	6921 DERICKS ON AVE NE	ALBUQU ERQUE	NM	8710 9	RES	A1A	* 001 019JADE PARK MOBILE HOME SUBD UNIT 11
2	10180630	HISE NEIL REED	PO BOX 1849	BELEN	NM	8700	VAC	A1A	3 LOT 5 EXCEPT WESTERLY PORTI

0	9540920623	& TY JUANA GAIL				2				O N & ALL LOT 6 N ORTHERLY 40 F T T
21	101806327235210226	GILMORE BARBARA J	6501 KELLY N E	ALBUQUERQUE	NM	87109	RES	A1A		* 022 015JADE PARK MOBILE HOME SUBD UNIT 13
22	101806327236210225	LUCAS TIMOTHY M	6500 RANCHITOS AVE NE	ALBUQUERQUE	NM	87109	RES	A1A		* 023 015JADE PARK MOBILE HOME SUBD UNIT 13
23	101806309336220607	WILLIAMS MICHAEL A	1733 JUNIPER RD N	RIDGWAY	CO	814328401	COM M	A1A		TR M-1-A PLAT OF TRS K-1-A, L- 1-A & M-1-A BL NORTH ALBUQUERQUE A
24	101806327448810501	ACORN VENTURES INC	3200 BROADWAY BLV SE	ALBUQUERQUE	NM	87105	VAC	A1A		* 032 011TR A #A NORTH ALBUQUERQUE ACRES
25	101806318236920610	CITY OF ALBUQUERQUE	PO BOX 1293	ALBUQUERQUE	NM	871031293	COM M	A1A		NORTH ALBUQ AC TRACT A UNIT A LOTS 8 THRU 26 THRU 26 BLK 4
26	101806327450710534	BANDELIER EQUI TIES LTD CO	4101 INDIAN SCHOOL RD NE 400	ALBUQUERQUE	NM	87110	VAC	A1A		LT 1 BLK 11 TRACT A UNIT A NORTH ALBUQUERQUE & WLY PORT'S OUT TO
27	101806309334220605	WILLIAMS MICHAEL A TR OF	1733 JUNIPER RD N	RIDGWAY	CO	814328401	COM M	A1A		TR N-1 PLAT OF TRS K-1 THRU P-1 & TR Q BLK 4 R TH ALBUQUERQUE ACR
28	101806319130220219	GARDNER ZEMKE CO	6100 INDIAN SCHOOL RD NE	ALBUQUERQUE	NM	87110	COM M	A1A		* 012 005TR A #A N ALBUQUERQUE ACRES
29	101806328245110401	NEW MEXICO ACTIVITIES ASSOCIAT	6600 PALOMAS AVE NE	ALBUQUERQUE	NM	87109	VAC	A1A		LOT 1-A BLK 12 A PLAT OF LOT 1-A & 1-B BLK 1 O RTH ALBUQUERQUE AC
30	101806308536120625	HISE NEIL REED & TY JUANA GAIL	PO BOX 1849	BELEN	NM	87002	COM M	A1A		PORTION OF VACATED RANCHITOS RD ADJ TO LOTS UNIT A NORTH A
31	101806315830220221	WILSON ALVA L & MARTHA K	22 PINEWAY	CLOVIS	NM	88101	VAC	A1A		* 010 005TR A #A N ALBUQUERQUE ACRES
32	101806325442720803	CITY OF ALBUQUERQUE	PO BOX 1293	ALBUQUERQUE	NM	871031293	VAC	A1A		S ELY PORTION LOT 17 BLK 2 TR A UNIT A NORTH RES & PORTION O VAC
33	101806327330810122	GARCIA GILBERT B	6500 PINO NE	ALBUQUERQUE	NM	87109	RES	A1A		* 001 025JADE PARK MOBILE HOME SUBD UNIT 13
34	101806327332411301	HESSLER MARIE C & BRAD HESSLER	6501 PINO AVE NE	ALBUQUERQUE	NM	87109	RES	A1A		* 022 024JADE PARK MOBILE HOME SUBD UNIT 13
35	101806325530220215	BLASI ANTHONY J & MARGARET F	PO BOX 90036	ALBUQUERQUE	NM	871990036	COM M	A1A		LT 16-A BLK 5 REPL OF LT 16 & E 5 FT LT 15 B I T A NORTH ALBUQ AC
36	101806327239611403	MULDER JEAN L & GLENDORA L	7809 ELLIS PL NE	ALBUQUERQUE	NM	871095601	RES	A1A		* 003 019JADE PARK MOBILE HOME SUBD UNIT 11
37	101806322430220217	GARDNER-ZEMKE COMPANY	4600 LINCOLN NE	ALBUQUERQUE	NM	87109	COM M	A1A		* 014 005TR A #A N ALBUQUERQUE ACRES

Or Current Resident
ACORN VENTURES INC
3200 BROADWAY BLV SE
ALBUQUERQUE, NM 87105

Or Current Resident
BLASI ANTHONY J & MARGARET F
PO BOX 90036
ALBUQUERQUE, NM 87199 0036

Or Current Resident
GARDNER-ZEMKE COMPANY
4600 LINCOLN NE
ALBUQUERQUE, NM 87109

Or Current Resident
HARMS IRWIN TODD & DEBORA
LYNN
PO BOX 1438
TIJERAS, NM 87059

Or Current Resident
LOWES HOME CENTERS INC
HYW 268 EAST
NORTH WILKESBOR, NC 28659

Or Current Resident
MULDER JEAN L & GLENDORA L
7809 ELLIS PL NE
ALBUQUERQUE, NM 87109 5601

Or Current Resident
REAL ESTATE LTD PTNS NUMBER
TW
4601 SAN FRANCISCO NE
ALBUQUERQUE, NM 87109

Or Current Resident
SCHOGGINS DOROTHY M
7805 ELLIS PL NE
ALBUQUERQUE, NM 87109 5601

Or Current Resident
WILSON ALVA L & MARTHA K
22 PINEWAY
CLOVIS, NM 88101

Project# 1001946
KAREN CASAUS
Jade Park N.A.
6708 SAN BERNARDINO NE
ALBUQUERQUE, NM 87109

Or Current Resident
BANDELIER EQUITIES LTD CO
4101 INDIAN SCHOOL RD NE 400
ALBUQUERQUE, NM 87110

Or Current Resident
GARCIA GILBERT B
6500 PINO NE
ALBUQUERQUE, NM 87109

Or Current Resident
GILMORE BARBARA J
6501 KELLY NE
ALBUQUERQUE, NM 87109

Or Current Resident
HESSLER MARIE C & BRAD HESSLER
6501 PINO AVE NE
ALBUQUERQUE, NM 87109

Or Current Resident
LOWE'S HOME CENTERS INC
PO BOX 1111
NORTH WILKESBOR, NC 28656

Or Current Resident
NEW MEXICO ACTIVITIES ASSOCIAT
6600 PALOMAS AVE NE
ALBUQUERQUE, NM 87109

Or Current Resident
RODWICK JOE TRUSTEE RODWICK
LV
6921 DERICKSON AVE NE
ALBUQUERQUE, NM 87109

Or Current Resident
TAYLOR RUSSELL JR ETUX
6500 KELLY NE
ALBUQUERQUE, NM 87109

Project# 1001946
LOWE'S HOME CENTERS, INC.
P.O. BOX 1111
ALBUQUERQUE, NM

Project# 1001946
JOHN STUTZMAN
Jade Park N.A.
6800 JADE PARK NE
ALBUQUERQUE, NM 87109

Or Current Resident
BARR PATRICK A & LYNN D TRUSTE
6609 ROGERS NE
ALBUQUERQUE, NM 87110

Or Current Resident
GARDNER ZEMKE CO
6100 INDIAN SCHOOL RD NE
ALBUQUERQUE, NM 87110

Or Current Resident
HANSEN KEN ETUX
777 E 2950 N RD
CLIFTON, IL 60927

Or Current Resident
HISE NEIL REED & TY JUANA GAIL
PO BOX 1849
BELEN, NM 87002

Or Current Resident
LUCAS TIMOTHY M
6500 RANCHITOS AVE NE
ALBUQUERQUE, NM 87109

Or Current Resident
PEROVICH JOEL M & PATRICIA L
PO BOX 348
EL PRADO, NM 87529

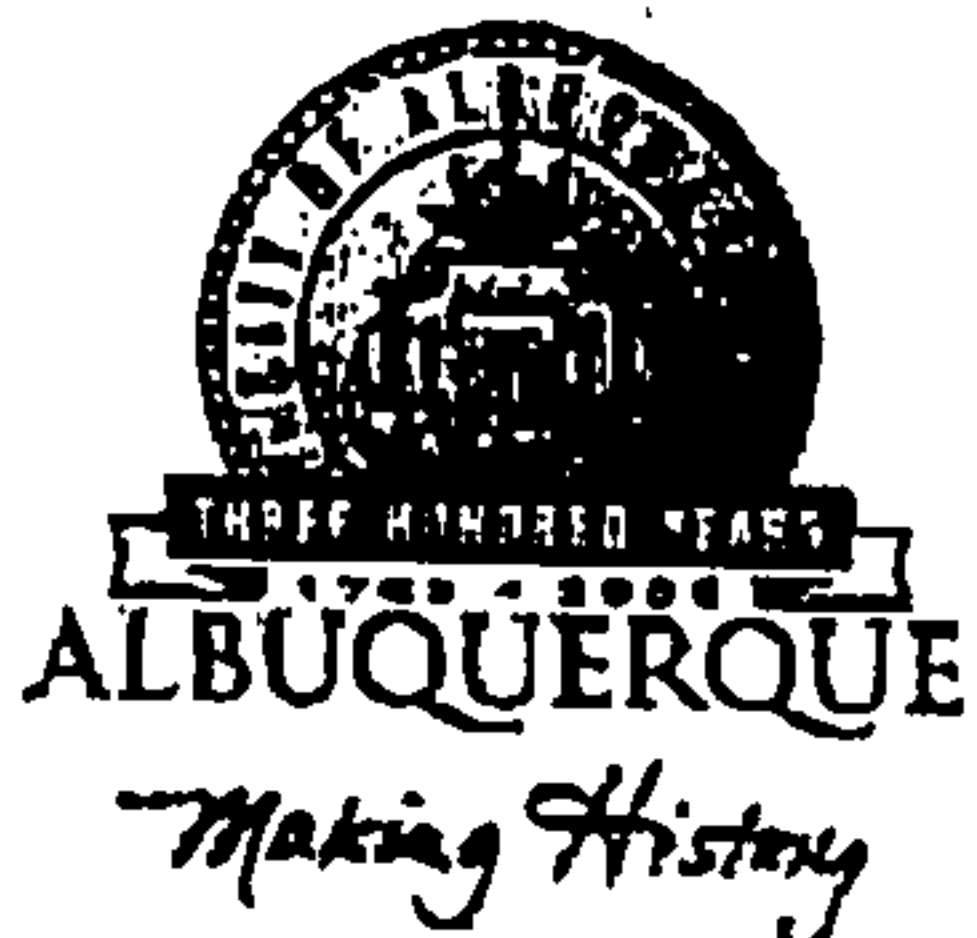
Or Current Resident
SALCIDO RITA M
7801 ELLIS PL NE
ALBUQUERQUE, NM 87109 5601

Or Current Resident
WILLIAMS MICHAEL A
1733 JUNIPER RD N
RIDGWAY, CO 81432 8401

Project# 1001946
STEPHANIE WALTON
Bohannon Huston Inc.
4700 JEFFERSON NE
ALBUQUERQUE, NM 87109

Project# 1001946
THOMAS ALFIERI
West La Cueva N.A.
8220 VILLE CT NE
ALBUQUERQUE, NM 87113

Project# 1001946
STEPHANIE O'CONNEL
West La Cueva N.A
8211 SAN GAVALON NE
ALBUQUERQUE, NM 87113



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: October 26, 06

TO CONTACT NAME: Stephanie Walton
 COMPANY/AGENCY: Bohannon / Houston
 ADDRESS/ZIP: 7500 Jefferson St. NE / 87109-4335
 PHONE/FAX #: 823-1000 - (798-7988) Fax

Thank you for your inquiry of 10-26-06 (date) requesting the names of **Recognized**

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at Tract A-1 A Plat of Tracts A-1 and A-2, Los Angeles Center.
 zone map page(s) D-18

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Jade Park N.A.

West La Cueva NA

Neighborhood Association

Neighborhood Association

Contacts: Karen Casaus
6708 San Bernardino NE
87109-822-1493(h)

Contacts: Thomas Alfieri
8220 Ville Ct. NE / 87113
823-1564(h) - 828-5488(w)

John Stutzman
6800 Jade Park NE / 87109
796-0593(h)

Stephanie O'Connell
8211 San Gavalon NE / 87113
315-7233(h)

See reverse side for additional Neighborhood Association Information: YES { } NO {X}

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

OFFICE OF NEIGHBORHOOD COORDINATION

.....
 Attention: Both contacts per neighborhood association need to be notified.

NOTICE TO APPLICANTS

Suggested Information for Neighborhood Notification Letters... Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, LUCC, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

We recommend that the Notification Letter include the following information:

- The street address of the subject property.
- The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
- A physical description of the location, referenced to streets and existing land uses.
- A complete description of the actions requested of the EPC:
- If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
- If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendments describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
- If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
- The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination (ONC)


The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- [] ONC's "Official" Letter to the applicant and "Attachment A" (if there are associations). A copy must be submitted with application packet **-OR-**
- [] The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- [] Copies of Letters to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.
- [] Copies of the certified receipts to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

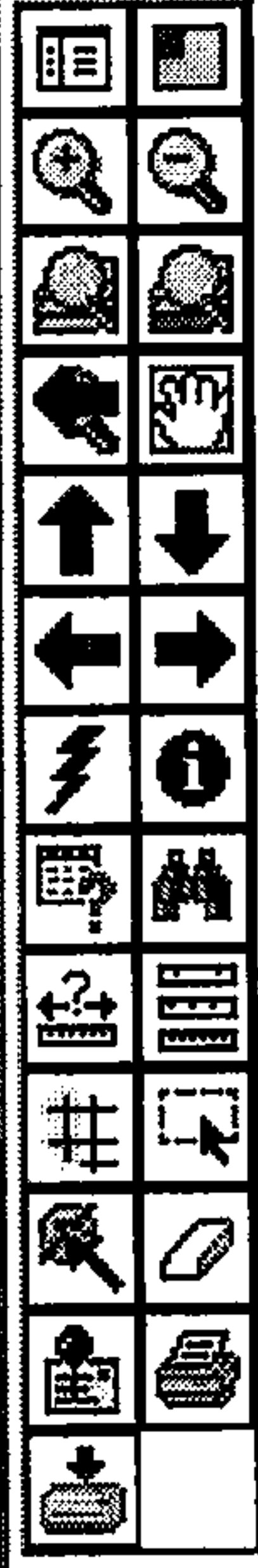
(Below this line for ONC use only)

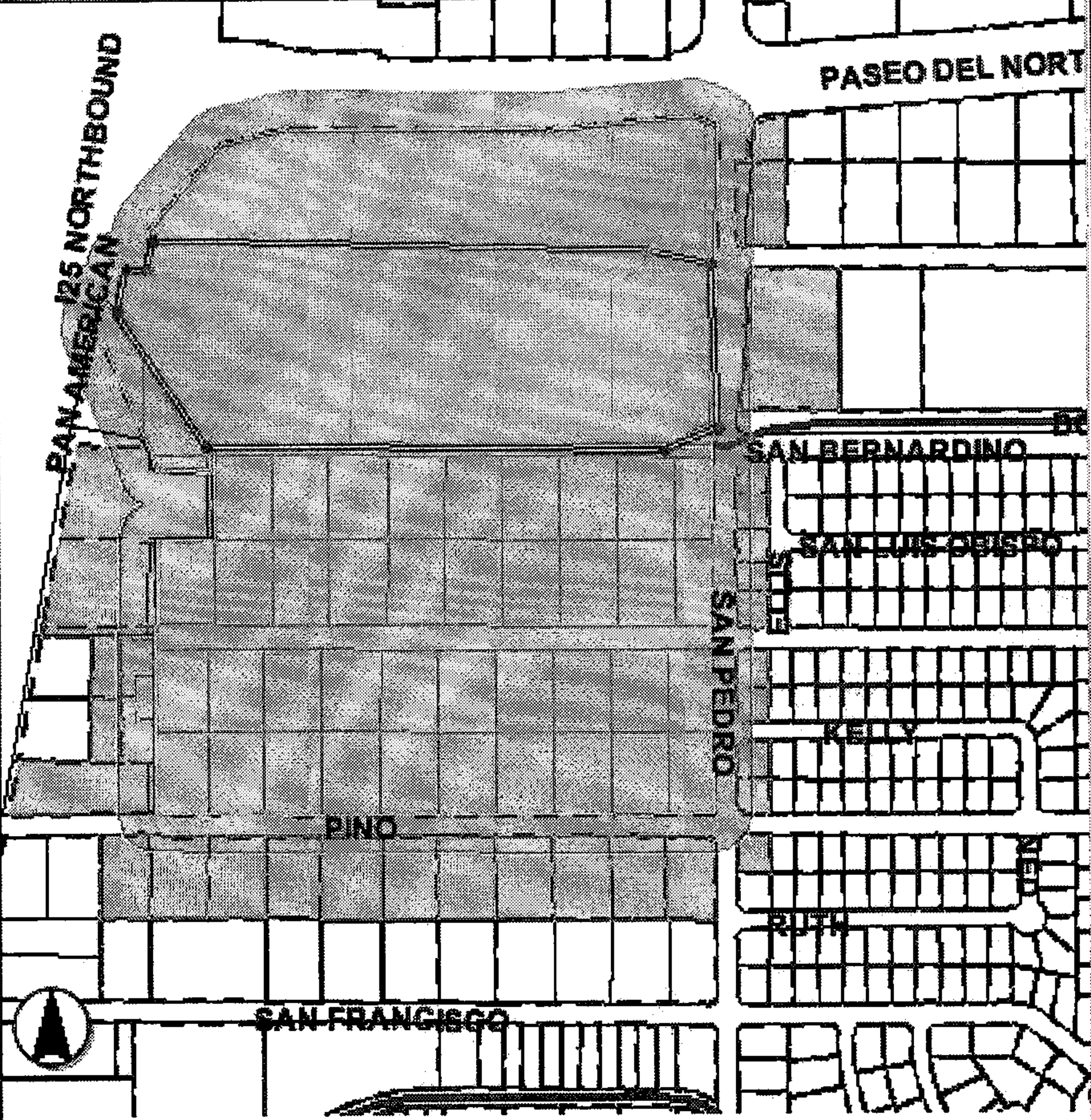
Date of Inquiry: 10-26-06 Time Entered: 9:51 am ONC Rep. Initials: JW



CITY OF ALBUQUERQUE
www.cabq.gov

ALBUQUERQUE GIS DATA WEBSITE





LAYERS

- STREETS
- BASEMAP
- PARCELS
- LOT NUMBERS
- METRO ADDRESS
- ZONING
- OWNERSHIP
- 2FT CONTOUR
- ADDRESS POINTS
- LANDUSE
- INFRASTRUCTURE
- TRANSIT/SUNTRAN
- BOUNDARIES
- SITES
- ENVIRONMENT
- APS
- TRAFFIC ENG.
- AIR PHOTO
 - 2004 AIR PHOTO
 - 2002 AIR PHOTO
 - 1999 AIR PHOTO

Refresh Map

Auto Refresh

Help:

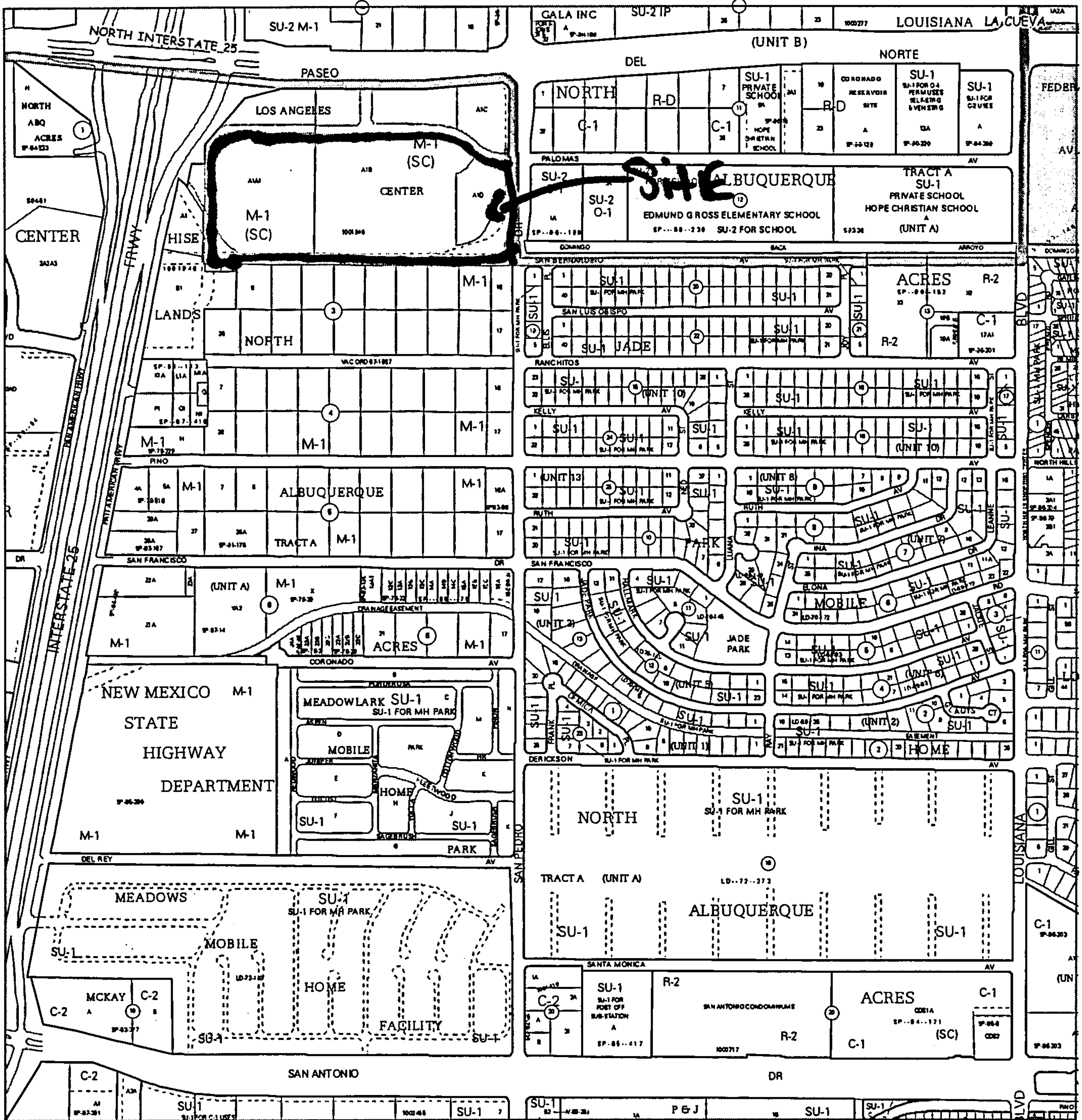
- Closed group, click to open.
- Open group, click to close.
- Map layer.
- Hidden group/layer, click for visible.
- Visible group/layer, click to hide.
- Layer not visible at this scale.
- Partially visible group, click for visible.
- Inactive layer, click for active.
- The active layer.

OWNERSHIP

Rec	UPC CODE	OWNER	OWNER ADDR
1	101806308538420601	HISE NEIL REED & TY JUANA GAIL	PO BOX 1849
2	101806314130220222	WILSON ALVA L & MARTHA K	22 PINEWAY
2	101806209226120608	WILLIAMS MICHAEL A	1722 UNIPER DR

Pan
[SEARCH](#)
[REFRESH](#)
[HELP](#)
[INDEX PAGE](#)

[CONTACT](#)



For more current information and more details visit: <http://www.cabq.gov/gis>

Albuquerque Geographic Information System

Map amended through: 9/5/2006

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
D-18-Z

Selected Symbols

0 750 1,500 Feet

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

October 26, 2006

Sheran Matson, Chair
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, New Mexico 87103

RE: Major Subdivision Improvements Agreement Extension (Procedure B) City# 6313.83
Tracts A1, Plat of Tracts A-1 and A-2 Los Angeles Center- (Lowe's Traffic Signal)
DRB# 1001946

Dear Sheran:

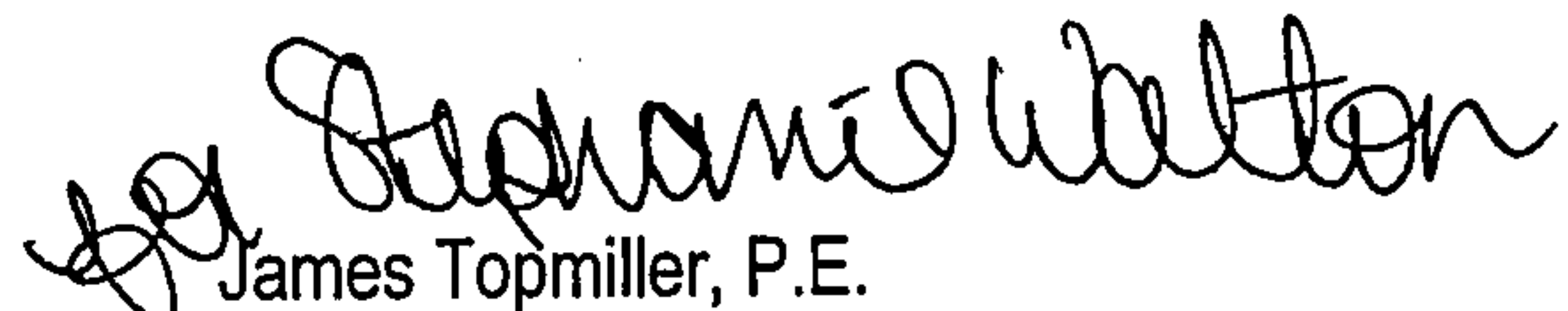
Submitted for DRB review and approval is a request for an extension to the Subdivision Improvements Agreement for the above referenced project.

Enclosed is the following information:

- Applications for Development Review
- Reduced layout of subdivision plat
- Zone Atlas sheet showing the project area
- Letter briefly describing, explaining, and justifying the request
- Approved Infrastructure List
- Previous SIA Extension Notice
- Neighborhood Notification information
- Fee in the amount of \$145.00

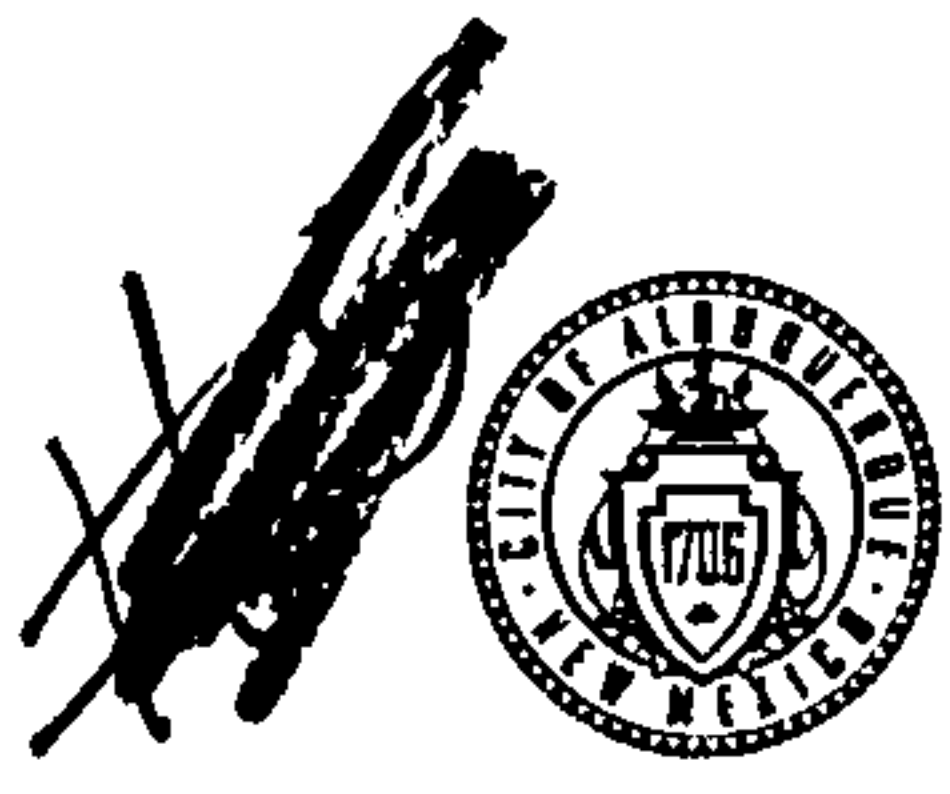
We are requesting an Extension to the Subdivision Improvements Agreement for the Los Angeles Center property. We currently have a Procedure B 1st extension in place for the traffic signal at San Pedro Blvd. NE and Palomas. The Extension expires soon and the signal is not constructed. Please place this item on the DRB agenda to be heard on November 22, 2006. If you have any questions, or require further information, please call me.

Sincerely,



James Topmiller, P.E.
Senior Vice President
Community Development and Planning Group

SW
Enclosure



COMPLETED 07/27/06 St
DRB CASE ACTION LOG (FINAL) PLAT
REVISED 9/28/05

Comp \$ 6/1/06

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-00221 (R&F)P Project # 1001946
Project Name: HISE LANDS
Agent: BOHANNAN HUSTON INC. Phone No.: 823-1000

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on _____ by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: Classification of access easements, maintenance and Beneficiaries. St
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- PARKS / CIP: _____
- _____
- _____
- PLANNING (Last to sign): _____
- _____
- _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 - Property Management's signature must be obtained prior to Planning Department's signature.
 - AGIS DXF File approval required.
 - Copy of recorded plat for Planning. ^{OK}

Project Number 1001946



DRB CASE ACTION LOG

(~~FINAL~~)

PLAT

REVISED 9/28/05

#10

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-00221 (E&F)P

Project # 1001946

Project Name: HISE LANDS

Agent: BOHANNAN HUSTON INC.

Phone No.: 823-1000

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on _____ by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: Classification of access easement.
maintenance and Beneficiaries.

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

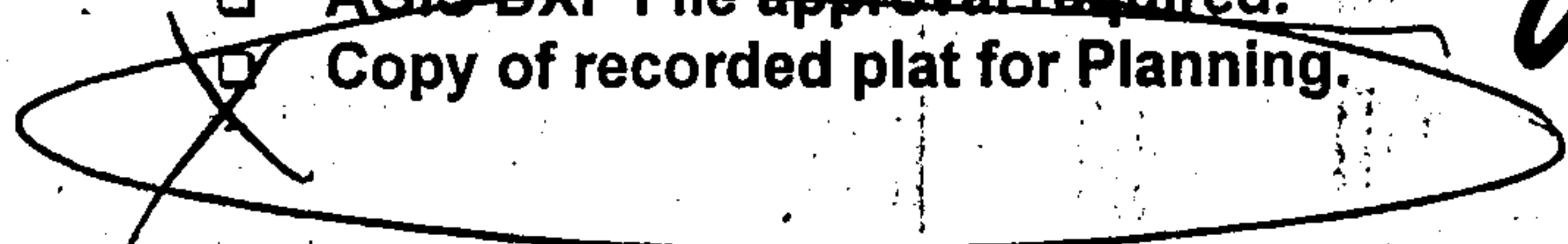
PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- 3 copies of the approved site plan. Include all pages.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- ~~AGIS DXF File approval required.~~
- Copy of recorded plat for Planning.

Project Number 1001946

OK





**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

May 17, 2006 9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 10:37 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1001304**
06DRB-00574 Major-Vacation of
Public Easements

CHRISTOPHER CALOTT request(s) the above action(s) for all or a portion of Block(s) 18, Lot(s) 17-A, 17-B, & 17-C, **PEREA ADDITION**, zoned SU-2/SF, located on 14TH ST NW, between ROMA AVE NW and FRUIT AVE NW containing approximately 1 acre(s). [REF: 01DRB00830,02DRB00493, 05DRB00909] (J-13) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

2. **Project # 1003212**
06DRB-00569 Major-Vacation of Public Easements
06DRB-00570 Minor-Prelim&Final Plat Approval

JOHN MENICUCCI, BERGER BRIGGS REAL ESTATE agent(s) for GRAND AVENUE PARTNERS, A NM LIMITED PARTNERSHIP, request(s) the above action(s) for all or a portion of Block(s) 34, Tract(s) A-1-A-1 & B-1, **BROWNEWELL & LAILS HIGHLAND ADDITION**, zoned SU-2 MC, located on DR MARTIN LUTHER KING JR AVE NE, between UNIVERSITY BLVD NE and PINE ST NE containing approximately 2 acre(s). [REF: 04EPC00699, 05DRB00729] (K-15) **THE VACATION WAS APPROVED WITH THE ADDITION OF A 30-FOOT PRIVATE PARKING EASEMENT AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CLARIFICATION OF THE PARKING AND ACCESS EASEMENT AND PLANNING FOR AGIS DXF FILE, 15-DAY APPEAL PERIOD AND TO RECORD THE PLAT.**

3. **Project # 1000696**
05DRB-01529 Major-Preliminary Plat Approval
05DRB-01530 Minor-Sidewalk Waiver
05DRB-01531 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for ICDC LLC request(s) the above action(s) for all or a portion of Tract(s) C, LEE'S BOSQUE SUBDIVISION (to be known as **BOSQUECITO SUBDIVISION**) zoned RD, located on BOSQUE MEADOWS BLVD NW, between LA ORILLA NW and PASEO DEL NORTE containing approximately 7 acre(s). [Deferred from 10/26/05 & 11/9/05 & 11/23/05 & 11/30/05 & 1/4/06 & 1/25/06 & 2/22/06 & 3/15/06 & 4/5/06 & 4/19/06] (D-12) **WITHDRAWN AT THE AGENT'S REQUEST.**

4. **Project # 1003238**
06DRB-00543 Major-Vacation of Public Easements
06DRB-00432 Minor-Prelim&Final Plat Approval
06DRB-00545 Minor-Vacation of Private Easements

SURV-TEK INC agent(s) for VANTAGE BUILDERS request(s) the above action(s) for all or a portion of Lot(s) 58-P1, Parcel E, **FLORAL MEADOWS**, zoned R-LT, located on SARITA AVE NW, between MONTOYA NW and MACIEL NW containing approximately 1 acre(s). *[Deferred fro 5/10/06]* (H-12) **THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE 15-DAY APPEAL PERIOD AND TO RECORD THE PLAT.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

THERE ARE NO SITE DEVELOPMENT PLANS THIS WEEK...

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

5. **Project # 1004387**
06DRB-00644 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for LESLIE JENSEN request(s) the above action(s) for all or a portion of Lot(s) 31-35, Block(s) 12, **COUNTRY CLUB ADDITION**, zoned O-1, located on LAS LOMAS RD NE and ENCINO PL NE and containing approximately 1 acre(s). [REF: 05DRB-01332] *[Indef Deferred on 5/17/06]* (J-15) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

6. **Project # 1004792**
06DRB-00645 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST agent(s) for DUNCAN MILLOY request(s) the above action(s) for all or a portion of Lot(s) 5, Block(s) 1, **FITZGERALD ADDITION**, zoned R-1, located on FITZGERALD RD NW, between CANDELARIA RD NW and 4TH ST NW containing approximately 1 acre(s). [REF: 06DRB-00414] (G-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

7. **Project # 1004789**
06DRB-00642 Minor-Prelim&Final Plat
Approval

BILLY & JEANETTE BACA request(s) the above action(s) for all or a portion of Lot(s) 10-A, **R L GAUL ADDITION**, zoned R-1, located on SHANGRI-LA CT NW, between GREIGOS NW and DELAMAR NW containing approximately 1 acre(s). [REF: 06DRB-00409] (F-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD THE PLAT.**

8. **Project # 1004233**
06DRB-00646 Major-Final Plat Approval

PRECISION SURVEYS INC agent(s) for WESTLAND DEVELOPMENT CO INC request(s) the above action(s) for all or a portion of Tract(s) I-2, SUNDORO SUBDIVISION, UNIT 1 (to be known as **STORMCLOUD SUBDIVISION, UNIT 1**, zoned SU-2, R-LT, located on ARROYO VISTA BLVD NW, between TIERRA VISTA ST NW and LADERA DR NW containing approximately 164 acre(s). [REF: 05DRB-00899, 05DRB-00900, 05DRB-00901, 05DRB-00902] [*Indef Deferred on 5/17/06*] (H-8, H-9, J-8, J-9) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

9. **Project # 1001789**
05DRB-01718 Minor-Final Plat Approval

PRECISION SURVEYS INC agent(s) for DASKALOS NOB HILL request(s) the above action(s) for all or a portion of Block(s) 6, Tract(s) 17-28, **MONTE VISTA**, zoned CCR, located on CENTRAL AVE NE, between TULANE NE and WELLESLEY NE containing approximately 1 acre(s). [*Deferred from 11/16/05 & Indef deferred for SIA, Deferred from 5/17/06*] (K-16) **DEFERRED AT THE AGENT'S REQUEST TO 5/24/06.**

10. ~~Project # 1001946~~
06DRB-00221 Minor-Final Plat Approval

BOHANNAN HUSTON INC agent(s) for NEWMORE LLC request(s) the above action(s) for all or a portion of Tract(s) A-1 & B-1, **HISE LANDS**, zoned M-1, located on PASEO DEL NORTE NE NE, between INTERSTATE 25 NE and SAN PEDRO BLVD NE containing approximately 6 acre(s). [06DRB00083] *[Final Plat Indef deferred for SIA]* (D-18) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR MAINTENANCE AND BENEFICIARIES OF ACCESS EASEMENTS.**

11. **Project # 1001028**
05DRB-01886 Minor-Prelim&Final Plat Approval

PRECISION SURVEYS agent(s) for RON CERROS request(s) the above action(s) for all or a portion of Tract(s) 1, **LANDS OF ALEJANDRO GARCIA**, zoned R-1, located on ALEJANDRO ST NW, between BLUE WATER NW and RINCON NW containing approximately 5 acre(s). *[Was Indef Deferred on 12/21/05, Indef Deferred on 5/17/06]* (J-11) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

12. **Project # 1004876**
06DRB-00632 Minor-Sketch Plat or Plan

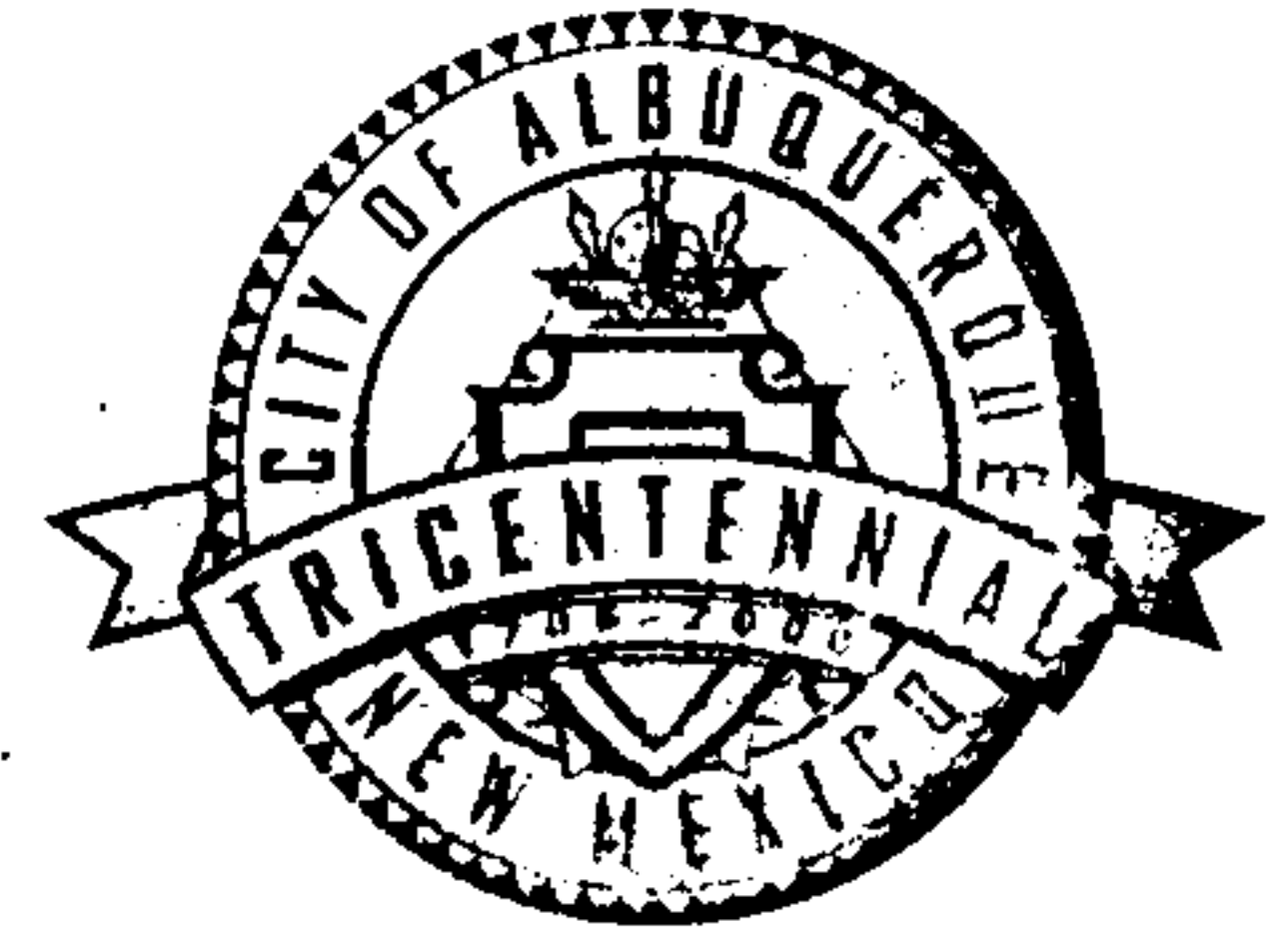
JULIO JURADO request(s) the above action(s) for all or a portion of Lot(s) 4, Tract(s) 41, **TOWN OF ATRISCO GRANT, UNIT 2**, zoned R-D/R1 residential and related uses zone, developing area, located on 90TH ST SW, between SUNSET GARDENS RD SW and EUCARIZ AVE SW containing approximately 1 acre(s). (L-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

13. **Project # 1004878**
06DRB-00638 Minor-Sketch Plat or Plan

SURVEYS SOUTHWEST agent(s) for GEORGE METZGAR request(s) the above action(s) for all or a portion of Lot(s) 8-C, 8-D, 9A & 9B, Block(s) A, **SOUTH BROADWAY ACRES UNIT 1**, zoned SU-2 MR, located on BETHEL DR SE and TOPEKA ST SE and containing approximately 1 acre(s). (M-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

ADJOURNED: 10:37 A.M.

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001946

AGENDA ITEM NO: 10

SUBJECT:

Final Plat

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: May 17, 2006

#5



COMPLETED 05/09/06 STH
DRB CASE ACTION LOG (SITE PLAN BP)
REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-00223 (SBP)
Project Name HISE LANDS
Agent: Bohannon Huston Inc.

Project # 1001946
Phone No.: 823-1000

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 2-22-06 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

Project Number 1001946

TRANSPORTATION: Trail Concerns / ok
general comments

UTILITIES:

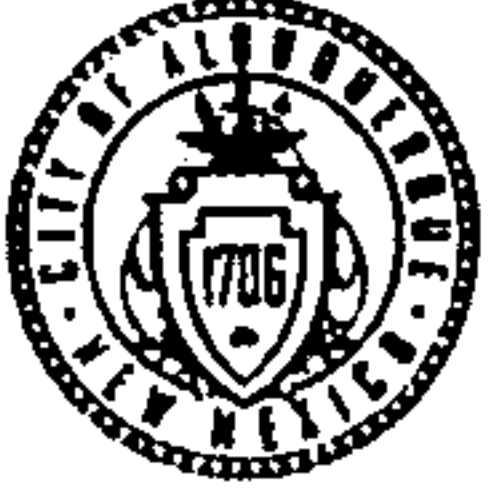
CITY ENGINEER / AMAFCA: SIA (ok)
3 copies

PARKS / CIP:

PLANNING (Last to sign): 3 copies

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - 3 copies of the approved site plan. Include all pages.
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 - Property Management's signature must be obtained prior to Planning Department's signature.
 - AGIS DXF File approval required.
 - Copy of recorded plat for Planning.

#5



DRB CASE ACTION LOG (SITE PLAN BP)

REVISED 9/28/05

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 06DRB-00223 (SBP)

Project # 1001946

Project Name HISE LANDS

Agent: Bohannon Huston Inc.

Phone No.: 823-1000

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OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: Trail Concerns
general comments

-
-
-
-

UTILITIES: _____

-
-
-

CITY ENGINEER / AMAFCA: SIA
3 copies

-
-
-

PARKS / CIP: _____

-
-
-

PLANNING (Last to sign): 3 copies

-
-
-

Planning must record this plat. Please submit the following items:

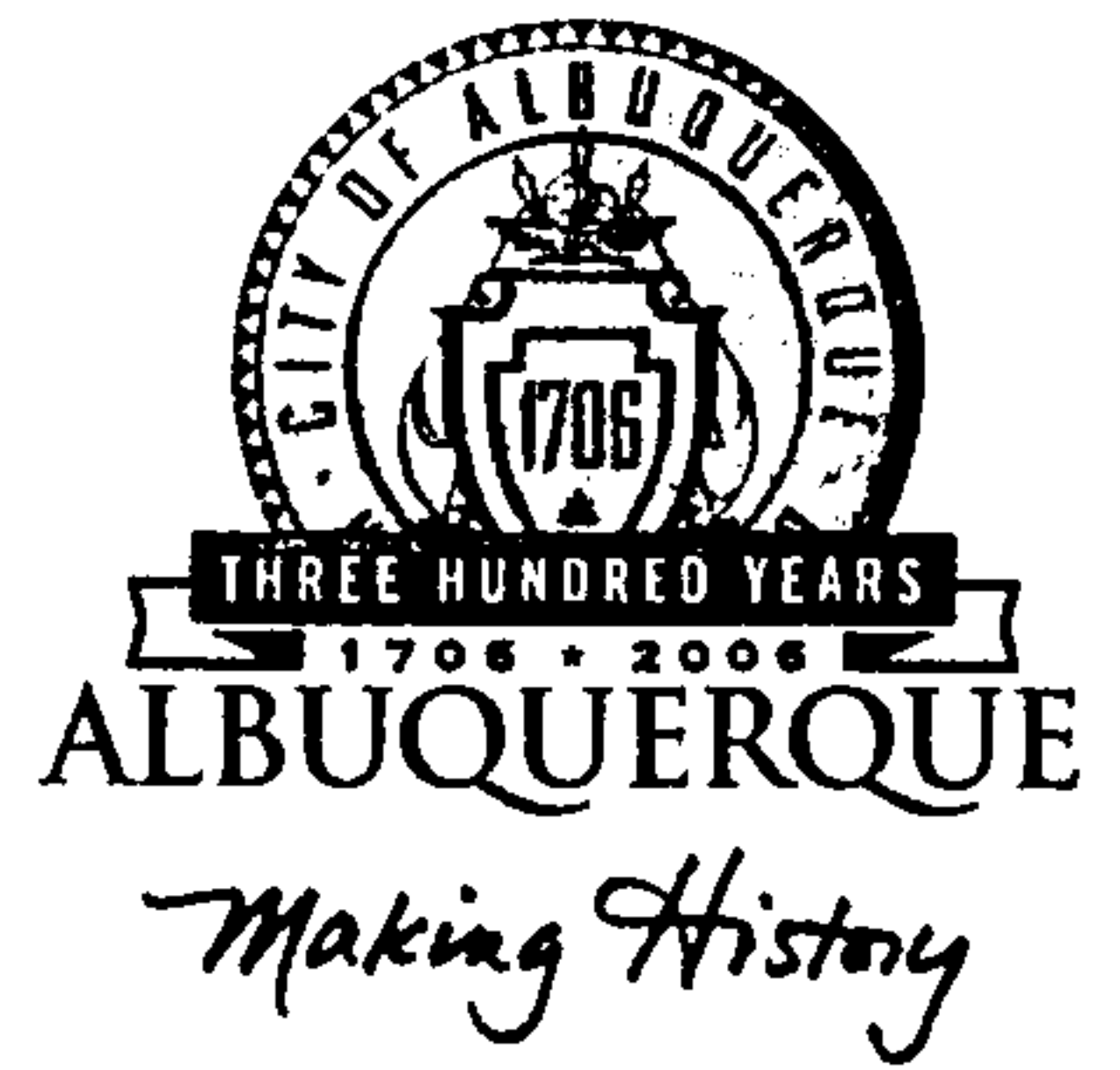
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- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1001946

FINAL
PLAT

Indy
deferred
for SIA

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001946

AGENDA ITEM NO: 5

SUBJECT:

Site Plan for BP
Final Plat
Preliminary Plat

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

Albuquerque

No adverse comments on site plan.
An executed Subdivision Improvements Agreement with financial guarantees is required for Final Plat sign-off.

New Mexico 87103

RESOLUTION:

www.cabq.gov

APPROVED ____; DENIED ____; DEFERRED ^{F.P. indef} X; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: February 22, 2006



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

February 22, 2006

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

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A. Call to Order: 9:00 A.M.

Adjourned: 12:50 P.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1003123**
06DRB-00106 Major-Two Year SIA

KPM LLC, JERRY MILLER, request(s) the above action(s) for all or a portion of Tract(s) 77-B-1, **LANDS OF DEVEREUX & WATSON**, zoned S-MI, located on 5TH ST NW, between ASPEN AVE NW and HAINES AVE NW containing approximately 2 acre(s). [REF: 03DRB02044, 04DRB00347, 04DRB00348] (H-14) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. **Project # 1001164**
06DRB-00114 Major-Vacation of Public
Easements

BOHANNAN HUSTON INC agent(s) for HUNT UPTOWN DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) B-1 & B-2, **ST PIUS X SUBDIVISION**, zoned SU-3, R-2, O-1, located on UPTOWN LOOP RD NE, between ARVADA AVE NE and INDIAN SCHOOL RD NE containing approximately 9 acre(s). [REF: 01DRB00450] (H-19) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

06DRB-00219 Minor-Prelim&Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for HUNT UPTOWN DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) B-1 & B-2, **ST PIUS X SUBDIVISION**, zoned SU-3, R-2, O-1, located on UPTOWN LOOP RD NE NE, between ARVADA AVE NE and INDIAN SCHOOL NE containing approximately 9 acre(s). [REF: 01DRB-00450, 06DRB00114] [*Deferred from 2/22/06*] (H-19) **DEFERRED AT THE AGENT'S REQUEST TO 3/15/06.**

3. **Project # 1000696**
05DRB-01529 Major-Preliminary Plat
Approval
05DRB-01530 Minor-Sidewalk Waiver
05DRB-01531 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for ICDC LLC request(s) the above action(s) for all or a portion of Tract(s) C, LEE'S BOSQUE SUBDIVISION (to be known as **BOSQUECITO SUBDIVISION**) zoned RD, located on BOSQUE MEADOWS BLVD NW, between LA ORILLA NW and PASEO DEL NORTE containing approximately 7 acre(s). [*Deferred from 10/26/05 & 11/9/05 & 11/23/05 & 11/30/05 & 1/4/06 & 1/25/06 & 2/22/06*] (D-12) **DEFERRED AT THE AGENT'S REQUEST TO 3/15/06.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

4. **Project # 1004367**
06DRB-00216 Minor-SiteDev Plan
BldPermit/EPC
- ADVANCED ENGINEERING & CONSULTING agent(s) for DAVID ELLEN request(s) the above action(s) for Tract(s) 48 & 49, Lot(s) 63-65, M.R.G.C.D. MAP 29, **CALAVERO ADDITION**, zoned SU-1 FOR IP, located on EDITH BLVD NE, between OSUNA RD NE and TYLER RD NE containing approximately 6 acre(s). [REF: Z-99-33,AX-99-7, 05EPC01266] [**Catalina Lehner, EPC Case Planner**] [*Deferred from 2/22/06*] (E-15) **DEFERRED AT THE AGENT'S REQUEST TO 3/1/06.**
5. **Project # 1001946**
06DRB-00223 Minor-SiteDev Plan
BldPermit
06DRB-00221 Minor-Prelim&Final Plat
Approval
- BOHANNAN HUSTON INC agent(s) for NEWMORE LLC request(s) the above action(s) for all or a portion of Tract(s) A-1 & B-1, **HISE LANDS**, zoned M-1, located on PASEO DEL NORTE NE NE, between INTERSTATE 25 NE and SAN PEDRO BLVD NE containing approximately 6 acre(s). [06DRB00083] (D-18) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND 3 COPIES OF THE STIE PLAN AND TRANSPORTATION DEVELOPMENT FOR TRAIL CONCERNS AND GENERAL COMMENTS. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/22/06 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

6. **Project # 1000539**
06DRB-00128 Minor-SiteDev Plan
Subd/EPC
06DRB-00125 Minor-SiteDev Plan
BldPermit/EPC

JON ANDERSON ARCHITECT agent(s) for HOPE CHRISTIAN SCHOOL request(s) the above action(s) for Lot(s) A, Block(s) 12, and Lot(s) A, 6, 7, 8A, 9A1, 10 and 26, Block(s) 11 & 12, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned RD, C-1, SU-1 P.S. , SU-1, C-2, located on PALOMAS AVE NE, between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 19 acre(s). [REF: Z-95-4, AA-97-74, DRB-95-263, 04EPC01535, 04EPC01536, 04EPC01537, 04EPC01538] [Russell Brito, for Elvira Lopez, EPC Case Planner] [*Deferred at the Board's request from 2/8/06*] (D-18) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR PLAT APPROVAL AND 3 COPIES OF THE SITE PLAN. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN.**

7. **Project # 1001176**
06DRB-00107 Minor-Amnd SiteDev Plan
Subd

WILSON & COMPANY agent(s) for KEITH MCDANIEL request(s) the above action(s) for all or a portion of Lot(s) 19A & 17, Block(s) 14, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 IP, located on CORONA NE, between SAN PEDRO NE and WILSHIRE NE containing approximately 3 acre(s). [REF: DRB-97-516] [Resubmitted from 2/1/06] (C-18) **THE AMENDED SITE PLAN FOR SUBDIVISION WAS APPROVED AND SIGNED OFF BY THE BOARD.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

8. **Project # 1002092**
06DRB-00217 Minor- Ext of SIA for Temp
Defer SDWK

BOHANNAN HUSTON INC agent(s) for OXBOW NORTH VENTURES LLC request(s) the above action(s) for all or a portion of Tract(s) B-1, **OXBOW NORTH SUBDIVISION, UNITS 1 & 3**, zoned SU-3, located on COORS BLVD NW NW, between NAMASTE DR NW and NORTH OF ST PIUS HIGH SCHOOL containing approximately 40 acre(s). [REF: 04DRB-01623] (F-11) **A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

9. **Project # 1002861**
06DRB-00213 Minor-Final Plat Approval

ABQ ENGINEERING INC agent(s) for INFILL SOLUTIONS, JAY REMBE, CHRIS CALOTT request(s) the above action(s) for all or a portion of Lot(s) 17-24, NEW MEXICO TOWN COMPANY'S ORIGINAL SITE OF ALBUQUERQUE (to be known as **SOUTHERN UNION GAS LOFTS II**, zoned SU-3 special center zone, located on 9TH ST SW, between SILVER AVE SW and GOLD AVE SW containing approximately 1 acre(s). [REF: 05DRB01202] (K-13) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR ENCROACHMENT ON 2-FOOT PUBLIC ROADWAY EASEMENT AND PLANNING TO RECORD.**

10. **Project # 1003132**
06DRB-00215 Minor-Prelim&Final Plat Approval

ADVANCED ENGINEERING AND CONSULTING LLC agent(s) for MWS, LLC request(s) the above action(s) for all or a portion of Lot(s) 9-A & 9-B, **BROADWAY INDUSTRIAL CENTER SUBDIVISION**, zoned SU-2/ HM, located on KARSTEN CT NE, between SAN JOSE ST NE and GIBSON AVE NE containing approximately 4 acre(s). [REF: DRB-97-271, 03 DRB-02073] (M-14) **THE PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

11. **Project # 1003469**
06DRB-00225 Minor-Prelim&Final Plat Approval

TERRAMETRICS OF NEW MEXICO agent(s) for JEFFERY A & LORRIE M ZUMWELT request(s) the above action(s) for all or a portion of Lot(s) 7-P-1, **OAKLAND HEIGHTS**, zoned R-D, 3du/acre located on OAKLAND AVE NE, between BARSTOW NW and VENTURA ST NE containing approximately 1 acre(s). (C-20) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR EASEMENTS OF RECORD AND PLANNING TO RECORD.**

06DRB-00224 Minor-Prelim&Final Plat
Approval

TERRAMETRICS OF NEW MEXICO agent(s) for DAVID & DEBORAH STANG AND ED & CHARLENE WHITEHOUSE request(s) the above action(s) for all or a portion of Lot(s) 8P-1 & 9P-1, **OAKLAND HEIGHTS**, zoned R-D, 3du/acre located on OAKLAND AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 1 acre(s). (C-20) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

12. **Project # 1004173**
06DRB-00218 Major-Final Plat Approval

BOHANNAN HUSTON agent(s) for PULTE HOMES OF NEW MEXICO, INC. request(s) the above action(s) for all or a portion of Tract(s) 4, 5 & D-2, **VENTANA RANCH WEST**, zoned R-LT, located on VENTANA PARKWAY NW, between VENTANA RIDGE RD NW and IRVING BLVD NW containing approximately 34 acre(s). (B-8) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

13. **Project # 1004458**
06DRB-00220 Minor-Prelim&Final Plat
Approval

JUSTIN H SIMMONS request(s) the above action(s) for all or a portion of Lot(s) 4, Block(s) C, **JOHN M MOORE REALTY COMPANY'S ADDITION NO. 3**, zoned R-1 residential zone, located on RIO GRANDE BLVD NW, between MOUNTAIN RD NW and MAIN ST NW containing approximately 1 acre(s). [REF: 05DRB01515] (J-13) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CHANGING ACCESS EASEMENTS AND MAINTENANCE AND BENEFICIARIES AND TO PLANNING FOR AGIS DXF FILE AND TO RECORD.**

14. **Project # 1004707**
06DRB-00210 Minor-Prelim&Final Plat
Approval
06DRB-00211 Minor-Vacation of Private
Easements
- SURVEYS SOUTHWEST agent(s) for JOHN LORENTZEN request(s) the above action(s) for all or a portion of Tract(s) 269 & 270, **TOWN OF ATRISCO GRANT TOGETHER WITH 68TH STREET TRACT**, zoned C-2, located on INTERSTATE 40 NW, between HANOVER RD NW and 68TH ST NW containing approximately 5 acre(s). [*Indef deferred on 2/22/06*] (J-10) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**
15. **Project # 1004710**
06DRB-00226 Minor-Prelim&Final Plat
Approval
- GEORGE RODRIGUEZ DEVELOPMENT CONSULTING agent(s) for SAN MATEO / INDIAN SCHOOL LLC request(s) the above action(s) for all or a portion of Lot(s) 1-8, Block(s) 16, **W. J. WAGNER SUBDIVISION**, zoned C-1, located on SAN MATEO NE, between INDIAN SCHOOL NE and HAINES AVE NE containing approximately 1 acre(s). (J-18) **PRELIMINARY AND FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR PUBLIC ROADWAY EASEMENT ALONG SAN MATEO AND AN ENCROACHMENT AGREEMENT AND TO PLANNING FOR AGIS DXF FILE AND TO RECORD.**
16. **Project # 1004474**
06DRB-00214 Minor- Prelim&Final Plat
Approval
- COMMUNITY SCIENCES CORPERATION agent(s) for KB HOME OF NEW MEXICO request(s) the above action(s) for Tract(s) F-1, 1-B, 1-A-1-A-2, 1-C, 3-A AND 1-A-1-B, **LANDS OF MENAUL SCHOOL, MRGCD MAP #36**, zoned SU-1 FOR PRD, located on MENAUL BLVD NW, between BROADBENT PARKWAY NW and BROADWAY BLVD NW containing approximately 45 acre(s). [REF: 05EPC-01568, 05EPC-01569] [*Deferred from 2/22/06*] (H-15) **DEFERRED AT THE AGENT'S REQUEST TO 3/1/06.**

17. **Project # 1000941**
06DRB-00111 Minor-Ext of SIA for Temp
Defer SDWK

PETER JOHNSON agent(s) for VINTAGE INC. request(s) the above action(s) for lots 27, 29, 32, 34, 62, 63, 64, & 84, **PARADISE BLUFF, UNIT 1**, zoned SU-1, located on PARADISE BLVD NW between JUSTIN DR NW and LILIENTHAL NW containing approximately 6 acre(s). [REF: 00DRB-01656, 01DRB-01150] [*Deferred from 2/8/06 & 2/15/06*] (B-11/B-12) **A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**

18. **Project # 1000795**
05DRB-00968 Minor-Final Plat Approval

WAYJOHN SURVEYING INC agent(s) for JOHN AND NADINE MINER request(s) the above action(s) for all or a portion of Tract(s) 24, ALVARDO GARDENS, UNIT 1 (to be known as **CORIANDA COURT**) zoned RA-2 residential and agricultural zone, located on MATTHEW AVE NW, between RIO GRANDE BLVD NW and 12TH ST NW containing approximately 2 acre(s). [REF: 05DBR00302] (*Indef deferred for the SIA 6/15/05*) (G-13) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR PUBLIC UTILITY EASEMENT AND PRIVATE ACCESS NOTES AND TO PLANNING FOR PERIMETER WALL DESIGN APPROVAL, M.R.G.C.D. SIGNATURE AND TO RECORD.**

19. **Project # 1003655**
05DRB-01833 Minor-Final Plat Approval

ADIL RIZVI request(s) the above action(s) for all or a portion of Lot(s) 8, 15, 16 & 17, Block(s) 1, Tract(s) 2, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **LA VISTA AT DESERT RIDGE TRAILS**) zoned RD, located on WYOMING BLVD NE, between EAGLE ROCK AVE NE and MODESTO AVE NE containing approximately 3 acre(s). [REF: 04DRB01373][*Deferred from 12/14/05 & 1/11/06 & 2/22/06*] (C-19) **DEFERRED AT THE AGENT'S REQUEST TO 4/26/06.**

20. **Project # 1002189**
06DRB-00094 Minor-Prelim&Final Plat
Approval

WILKS COMPANY agent(s) for TIM & TRACY JARMILLO request(s) the above action(s) for all or a portion of Lot(s) 1-P1, Block(s) 7, **CRYSTAL RIDGE SUBDIVISION, UNIT 3**, zoned R-1 residential zone, located on MAGIC SKY CT NW, between SEVEN BAR LOOP NW and BARRETT AVE NW containing approximately 1 acre(s). [REF: S-98-66, DRB-97-298,SV-97-55] *[Deferred from 2/1/06, Final Plat Indef Deferred from 2/8/06, WSSP Compliance]* (B-13) **PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

21. **Project # 1003198**
06DRB-00093 Major-Final Plat Approval

RIO GRANDE ENGINEERING agent(s) for FULLER HOMES INC request(s) the above action(s) for all or a portion of Tract(s) A & B, LANDS OF HECTOR ROJO and Tract(s) 355 & 356, TOWN OF ATRISICO GRANT, (to be known as **AUTUMN VIEW SUBDIVISION**, zoned RD, R-1, located on TOWER RD SW, between COORS BLVD SW and STINSON RD SW containing approximately 15 acre(s). *[Deferred from 2/1/06 & 2/8/06]* (L-10) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR MAINTENANCE NOTE FOR PRIVATE PARK AND P-1 LOT DESIGNATION AND PLANNING TO RECORD.**

22. **Project # 1000554**
06DRB-00161 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES agent(s) for DEPONTE INVESTMENTS request(s) the above action(s) for all or a portion of Tract(s) A & B, EMCORE DEVELOPMENT (to be known as **SANDIA SCIENCE AND TECH PARK**) zoned IP industrial park zone, located on INNOVATION PKWY SE, between EUBANK SE and RESEARCH SE containing approximately 21 acre(s). [REF: CSU-91-29] *[Deferred from 2/15/06]* (M-21) **PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

23. **Project # 1004341**
06DRB-00159 Major-Final Plat Approval

RIO GRANDE ENGINEERING agent(s) for ENCHANTMENT HOMES OF NEW MEXICO request(s) the above action(s) for all or a portion of Tract(s) 180, AIRPORT UNIT, LANDS OF ATRISCO GRANT (to be known as **MESA DEL RIO**) zoned R-2, located on 76TH ST NW, between FORTUNA RD NW and GLEN RIO RD NW containing approximately 6 acre(s). [REF: 05DRB-01203, 05DRB-01634, 05DRB-01635] [*Deferred from 2/15/06 & 2/22/06*] (L-9) **DEFERRED AT THE AGENT'S REQUEST TO 3/1/06.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

24. **Project # 1004526**
06DRB-00209 Minor-Sketch Plat or Plan

TIERRA WEST LLC agent(s) for STILLBROOK HOMES INC request(s) the above action(s) for all or a portion of Tract(s) 400 & 401, ATRISCO GRANT (to be known as **SAGE PARK**) zoned R-D/R-1, located on SAGE RD NW, between AMOLE DEL NORTE DIVERSION CHANNEL and COORS RD SW containing approximately 16 acre(s). (L-10) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

25. **Project # 1004688**
06DRB-00179 Minor-Sketch Plat or Plan

TERRAMETRICS OF NEW MEXICO agent(s) for JOHN ABBOTT AND B.H. & NAOMI N. BURNS request(s) the above action(s) for Tract(s) 2A, 2B and the northerly portion of Tract(s) 2, **ALVARADO GARDENS ADDITION, UNIT 1**, zoned RA-2, located on RIO GRANDE BLVD NW, between MATTHEW AVE NW and CAMPBELL RD NW containing approximately 3 acre(s). (G-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

26. **Project # 1004706**
06DRB-00208 Minor-Sketch Plat or Plan

STEVEN R CHAMBERLIN request(s) the above action(s) for all or a portion of Lot(s) 24, WEST 85 FEET OF THE S ½ OF LOT 24, **ALVARADO GARDEN ADDITION**, zoned RA-2 residential and agricultural zone, semi-urban area, located on MATTHEW AVE NW, between RIO GRANDE BLVD NW and 12TH ST NW containing approximately 1 acre(s). (G-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

27. **Project # 1004708**
06DRB-00212 Minor-Sketch Plat or Plan

KATE BENAVIDEZ request(s) the above action(s) for all or a portion of Lot(s) 5, **JESUS APODACA ADDITION**, zoned SU-2 special neighborhood zone, located on WILLIAM ST SE, between GARFIELD AVE SE and CROMWELL AVE SE containing less than 1 acre(s). (K-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

28. Approval of the Development Review Board Minutes for February 15, 2006. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR FEBRUARY 15, 2006 WERE APPROVED BY THE BOARD.**

ADJOURNED: 12:50 P.M.



F

City of Albuquerque
Parks and Recreation Department
 PO Box 1293, Albuquerque, New Mexico 87103
 Inter-Office Correspondence
Development Review Board Comments

Project Number: 1001946
Application Number: 06DRB-00223

DRB Date: 2/22/2006
Item Number: 5

Subdivision:

Tracts A-1 & B-1, Hise Lands

Zoning: M-1

Zone Page: D-18

New Lots (or units) :

Request for:

- Sketch Plat Review & Comment
- Bulk Land Variance
- Site Development Plan for Subdivision
- Site Development Plan for Building Permit
- Preliminary Plat
- Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other

Parks and Recreation Comments:

Clarify the location of the Bike Trail and it's connection to the existing trail. Why is the trail identified as 8' wide and not 10' on the infrastructure list?

Signed: CS
 Christina Sandoval, (DMD)

Phone: 768-3808

1946

DXF Electronic Approval Form

DRB Project Case #: 1001946

Subdivision Name: HISE LANDS TRACTS A-1 & B-1

Surveyor: ALAN R BENHAM

Contact Person: MARY COLE

Contact Information:

DXF Received: 2/15/2006

Hard Copy Received: 2/15/2006

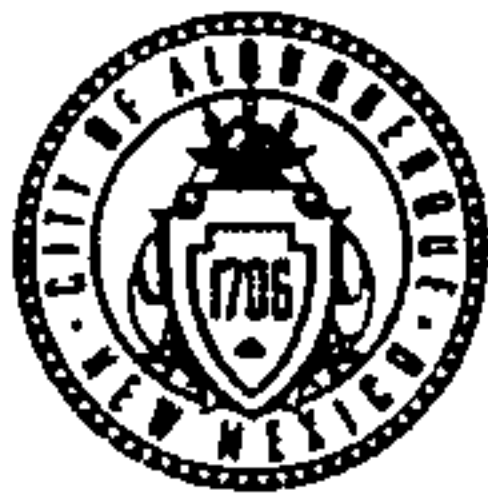
Coordinate System: NMSP Grid (NAD 27)

Neal Weinberg
Approved

2/15/06
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only
Copied fc 1946 to agiscov on 2/15/2006 Contact person notified on 2/15/2006



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

February 15, 2006

1. Project # 1001946
06DRB-00083 Major-Vacation of Public Easements

BOHANNAN HUSTON INC agent(s) for NEWMORE LLC request(s) the above action(s) for all or a portion of Tract(s) A, B, C & D, **HISE LANDS**, zoned M-1 (SC), located on PASEO DEL NORTE NE, between I-25 and SAN PEDRO BLVD NE containing approximately 6 acre(s). [REF: 05DRB01347] (D-18)

At the February 15, 2006, Development Review Board meeting, the vacations were approved as shown on Exhibit B in the Planning file, subject to these findings and conditions:

FINDINGS:

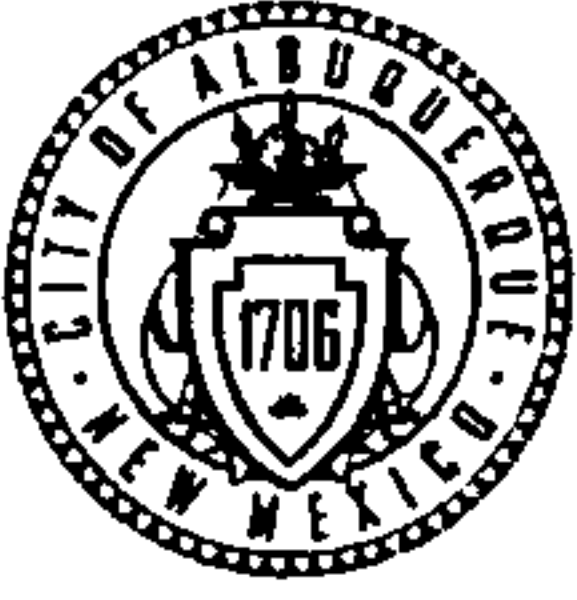
1. The public welfare is in no way served by retaining the rights-of-way and/or easements.
2. There is no convincing evidence that any substantial property right is being abridged against the will of the owner of the right.

CONDITIONS:

1. The vacated property shall be shown on a replat approved by the Development Review Board and the approved replat shall be filed for record with the Bernalillo County Clerk's Office within one year.

If you wish to appeal this decision, you must do so by March 2, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal.



OFFICIAL NOTICE OF DECISION
PAGE 2

If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that the vacation of all plats, rights-of-way, and easements are void after one year from the final appeal date referenced above if all conditions are not met (The effective date of Development Review Board approval is the hearing date plus the 15-day appeal period.) (REF: Chapter 14 Article 14 Part 7-2 (E)(3)(6) Revised Ordinance.)

Sheran Matson, AICP, DRB Chair

Cc: Bohannon Huston Inc., 7500 Jefferson NE, 87109

Newmore LLC, 9909 Desert Mountain Rd NE, 87122

Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.

File

DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1001946 AGENDA#: 1 DATE: 2/15/06

1. Name: Jeff Wooster Address: BHI Zip: _____

2. Name: _____ Address: _____ Zip: _____

3. Name: _____ Address: _____ Zip: _____

4. Name: _____ Address: _____ Zip: _____

5. Name: _____ Address: _____ Zip: _____

6. Name: _____ Address: _____ Zip: _____

7. Name: _____ Address: _____ Zip: _____

8. Name: _____ Address: _____ Zip: _____

9. Name: _____ Address: _____ Zip: _____

10. Name: _____ Address: _____ Zip: _____

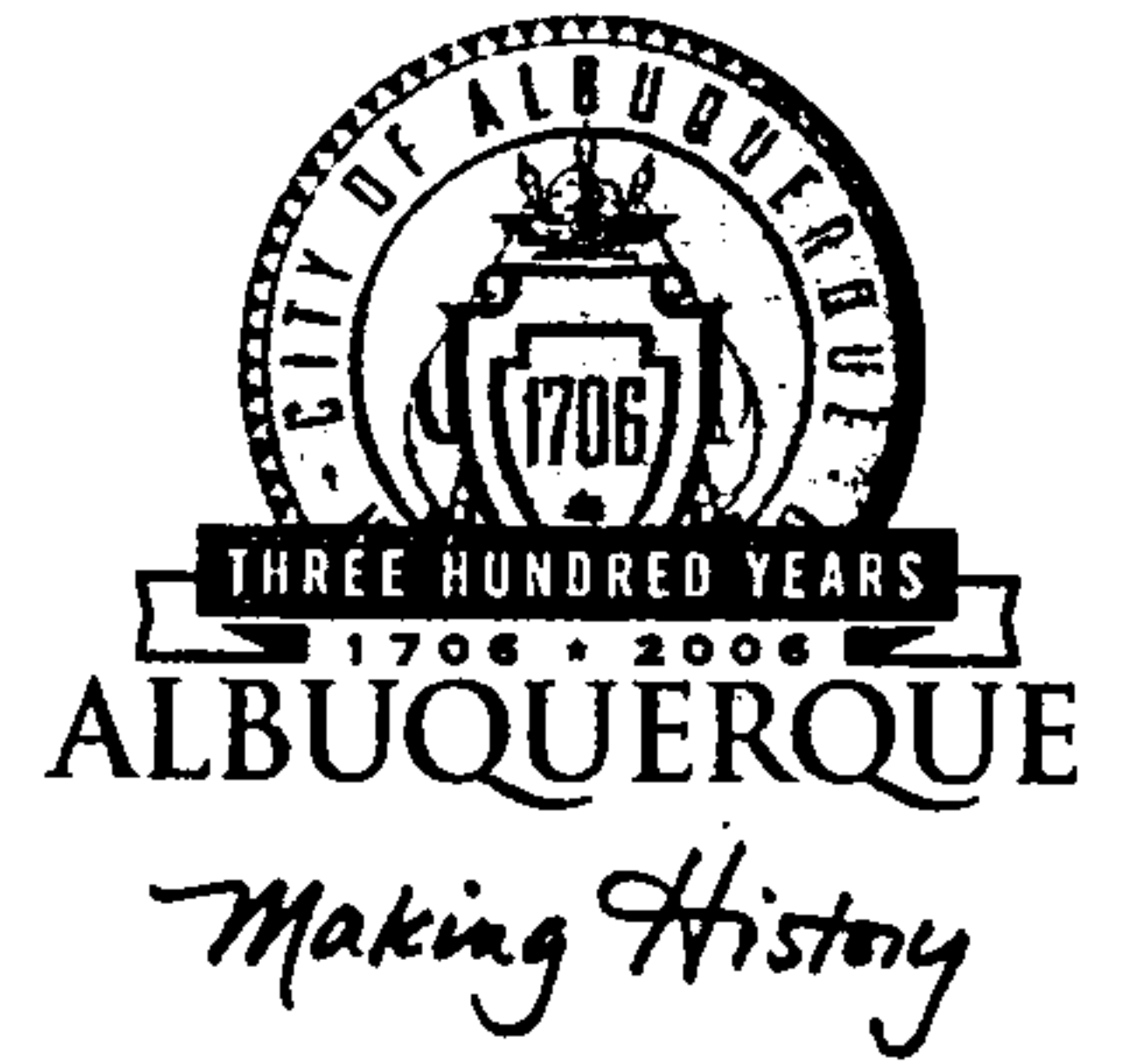
11. Name: _____ Address: _____ Zip: _____

12. Name: _____ Address: _____ Zip: _____

13. Name: _____ Address: _____ Zip: _____

14. Name: _____ Address: _____ Zip: _____

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001946

AGENDA ITEM NO: 1

SUBJECT:

Vacation

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

The Hydrology Section has no objection to the vacation request.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ; DENIED ; DEFERRED ; COMMENTS PROVIDED ; WITHDRAWN

www.cabq.gov

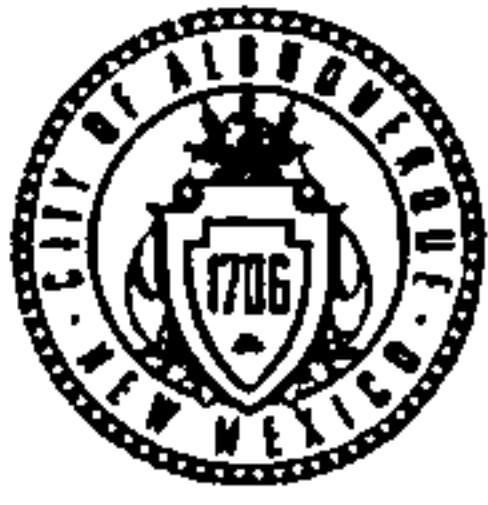
SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: February 15, 2006



CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

February 15, 2006

Project # 1001946
06DRB-00083 Major-Vacation of Public Easements

BOHANNAN HUSTON INC agent(s) for NEWMORE LLC request(s) the above action(s) for all or a portion of Tract(s) A, B, C & D, **HISE LANDS**, zoned M-1 (SC), located on PASEO DEL NORTE NE, between I-25 and SAN PEDRO BLVD NE containing approximately 6 acre(s). [REF: 05DRB01347] (D-18)

AMAFCA	No adverse comments.
COG	No adverse comments.
Transit	No objection to the requests.
Zoning Enforcement	No adverse comments.
Neighborhood Coordination	Letter sent to Jade Park NA (R).
APS	No adverse comments.
Police Department	No CPTED or crime prevention comments at this time.
Fire Department	No adverse comments.
<u>PNM Electric & Gas</u>	Approved, pending dedication of new easement and relocation agreement with PNM.
Comcast	No comments received.
QWEST	No comments received.
Environmental Health	No comments received.
M.R.G.C.D.	No comments received.
Open Space Division	No adverse comments.

City Engineer

The Hydrology section has no objection to the vacation request. A revised drainage plan and infrastructure list will be required for the subsequent platting action.

Transportation Development

No objection to vacation action. Have all the affected property owners agreed to this action? Final plat will require the easement to be relocated and the NMDOT will have to provide permission for new I-25 frontage road connection. In addition, the infrastructure will need to be in place.

Parks & Recreation

Defer to affected agencies.

Utilities Development

No objection to proposed vacations.

Planning Department

No objection. Defer to Traffic Engineer.

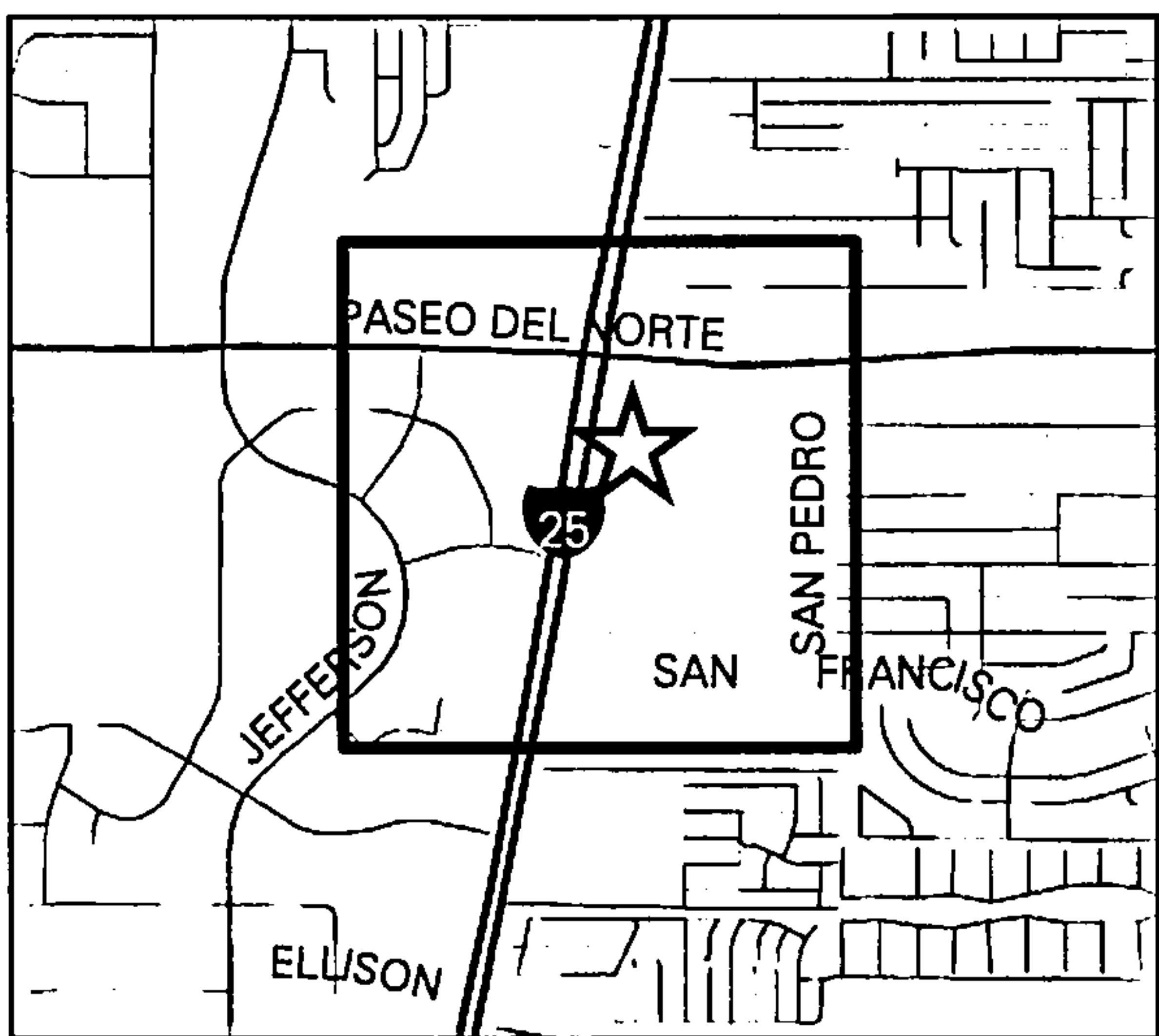
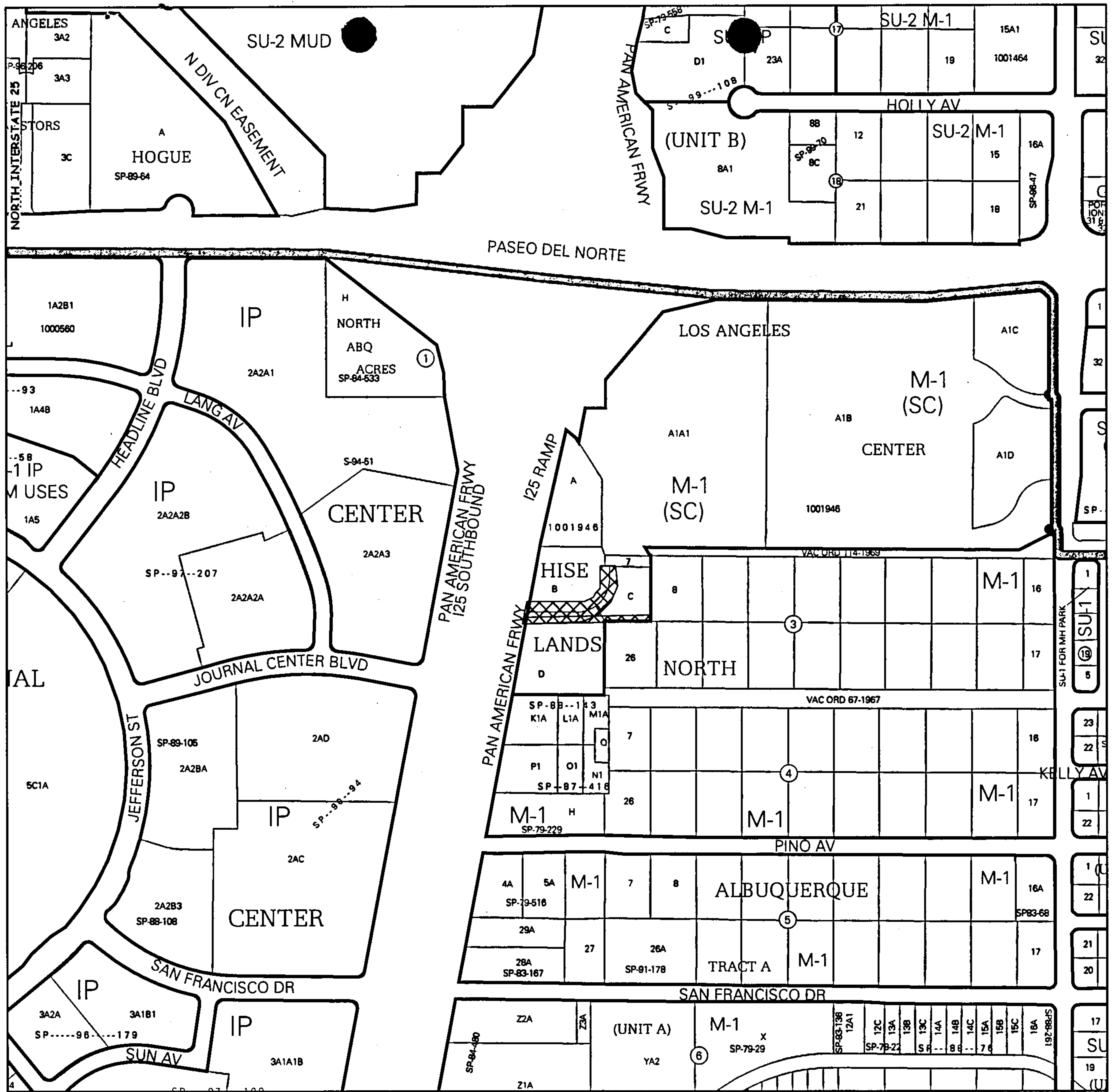
Impact Fee Administrator

No comments on the proposed vacation of easements.

IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING

cc:Newmore LLC, 9909 Desert Mountain Rd NE, 87122

Bohannon Huston Inc., 7500 Jefferson NE, 87109



ZONING MAP

Note: Grey shading
indicates County.



1 inch equals 500 feet

Project Number:

1001946

Hearing Date:

2/15/06

Zone Map Page:

D18

Additional Case Numbers:

06DRB-00083



NOTIFICATION OF HEARING for the DEVELOPMENT **REVIEW BOARD**

January 27, 2006

TO: Karen Casaus and John Stutzman, Jade Park NA

This letter will serve as your notification from the City of Albuquerque, under provisions of 0-92 pertaining to a request for: **Requests the following for approximately six (6) acre(s): Major Vacation of Public Easements for a proposed new furniture showroom.**

Proposed by: Bohannan Huston, Inc. at 823-1000
Agent for: NEWMORE, LLC

For property located: On or near Paseo Del Norte NE between I-25 Freeway and San Pedro Drive NE.

P.O. Box 1293

The case number(s) assigned is: 06DRB- 00083, Project # 1001646.

City Planning accepted application for this request on **January 20, 2006.**

Albuquerque

The owner, applicant, and/or agent certified at the time of application acceptance that they notified you of the proposed action by *certified mail, return receipt requested.*

New Mexico 87103

Please be advised that this application is scheduled for a hearing before the Development Review Board (DRB) at **9 a.m. on Wednesday, February 15, 2006** in the **Planning Hearing Room, Lower Level, Plaza Del Sol Building, 600 Second St. NW.**

www.cabq.gov

You should contact **Claire Senova** at **924-3946** to confirm this date, time, and to seek further information.

If you have any questions **-OR-** have not been contacted by the applicant, please call **Stephani Winklepleck** at **924-3902** or by e-mail at swinklepleck@cabq.gov

Sincerely,

Stephani J. Winklepleck

Stephani I. Winklepleck

Neighborhood Program Coordinator
OFFICE OF NEIGHBORHOOD COORDINATION
PLANNING DEPARTMENT

**cc: Claire Senova, DRB
Administrative Assistant**

**CITY OF PLANNING
PLANNING DEPARTMENT
PROPERTY OWNERSHIP LIST**

Meeting Date: FEBRUARY 15, 2006
Zone Atlas Page: D-18-Z
Notification Radius: 100 Ft.

Project# 1001946
App#06DBR-00083

Cross Reference and Location: PASEO DEL NORTE BLVD. BETWEEN I-25 AND
SAN PEDRO BLVD NE

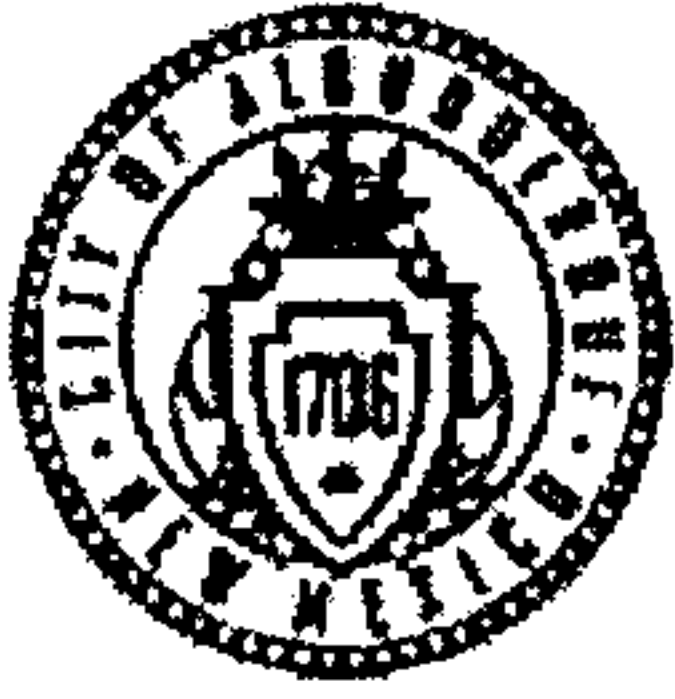
Applicant: NEWMORE LLC
Address: 9909 DESERT MOUNTAIN RD NE
ALBUQUERQUE, NM 87122

Agent: BOHANNAN HUSTON INC.
7500 JEFFERSON NE
ALBUQUERQUE, NM 87109

Special Instructions:

**Notice must be mailed from the
City's 15 day's prior to the meeting.**

Date Mailed: JANUARY 27, 2006
Signature: YVONNE SAAVEDRA



mainframe@coa1mp3.ca
bq.gov
01/24/2006 10:54 AM

To
cc
bcc
Subject

1 R E C O R D S W I T H L A B E L S PAGE
1
01018063 *** THIS UPC CODE HAS NO MASTER RECORD ON FILE
0101806309540920623 LEGAL: 3 L O T 5 EXCEPT WESTERLY PORTION & ALL LOT 6 &
LOT LAND USE:
PROPERTY ADDR: 00000 PAN AMERICAN
OWNER NAME: HAMILTON-HISE PROPERTIES LLC
OWNER ADDR: 09909 DESERT MOUNTAIN RD NE
87122
ALBUQUERQUE NM
0101806309445020802 LEGAL: PORT IONS OF LOTS 6, 26, 27 & PORTION OF VACATED
SA LAND USE:
PROPERTY ADDR: 00000 SAN BERNADINO
OWNER NAME: LOWES HOME CENTERS INC
OWNER ADDR: HWY 268 EAST
28659
NORTH WILKESNC
0101806317546920804 LEGAL: TRAC T A1 A PLAT OF TRACTS A-1 AND A-2 LOS
ANGELES LAND USE:
PROPERTY ADDR: 00000 PASEO DEL NORTE
OWNER NAME: LOWE'S HOME CENTERS INC
OWNER ADDR: PO BOX 1111
28656
NORTH WILKESNC
0101806308538420601 LEGAL: LT 2 7 & POR OF LT 28 BLK 3 OF TR A UNIT A
NORTH A LAND USE:
PROPERTY ADDR: 00000 PAN AMERICAN
OWNER NAME: HAMILTON-HISE PROPERTIES LLC
OWNER ADDR: 09909 DESERT MOUNTAIN RD NE
87122
ALBUQUERQUE NM
0101806318236920610 LEGAL: NORT H AL BUQ AC TRACT A UNIT A LOTS 8 THRU 26
BLK 3 LAND USE:
PROPERTY ADDR: 00000 SAN FRANCISCO
OWNER NAME: CITY OF ALBUQUERQUE
OWNER ADDR: PO BOX 1293
87103
ALBUQUERQUE NM
0101806308536120625 LEGAL: PORT ION OF VACATED RANCHITOS RD ADJ TO LOTS 27
& 2 LAND USE:
PROPERTY ADDR: 00000 PAN AMERICAN
OWNER NAME: HAMILTON-HISE PROPERTIES LLC
OWNER ADDR: 09909 DESERT MOUNTAIN RD NE
87122
ALBUQUERQUE NM
0101806309336220607 LEGAL: TR M -1-A PLAT OF TRS K-1-A, L-1-A & M-1-A BLK 4
TR LAND USE:
PROPERTY ADDR: 00000 PAN AMERICAN
OWNER NAME: WILLIAMS MICHAEL A
OWNER ADDR: 01733 JUNIPER RD N
81432
RIDGWAY CO
0101806308336120608 LEGAL: TR L -1-A PLAT OF TRS K-1-A, L-1-A & M-1-A BLK 4
TR LAND USE:
PROPERTY ADDR: 00000 PAN AMERICAN
OWNER NAME: WILLIAMS MICHAEL A
OWNER ADDR: 01733 JUNIPER RD N
81432
RIDGWAY CO

PAGE 2

0101806307236020609 TR LAND USE: LEGAL: TR K -1-A PLAT OF TRS K-1-A, L-1-A & M-1-A BLK 4
PROPERTY ADDR: 00000 PAN AMERICAN
OWNER NAME: WILLIAMS MICHAEL A
OWNER ADDR: 01733 JUNIPER RD N
81432

RIDGWAY CO
0101806306933720603 4 LAND USE: LEGAL: TR P -1 P LAT OF TRS K-1 THRU P-1 & TR Q BLK 4 TR
PROPERTY ADDR: 00000 PAN AMERICAN
OWNER NAME: WILLIAMS MICHAEL A
OWNER ADDR: 01733 JUNIPER RD N
81432

RIDGWAY CO
0101806308433820604 4 LAND USE: LEGAL: TR O -1 P LAT OF TRS K-1 THRU P-1 & TR Q BLK 4 TR
PROPERTY ADDR: 00000 PAN AMERICAN
OWNER NAME: WILLIAMS MICHAEL A
OWNER ADDR: 01733 JUNIPER RD N
81432

RIDGWAY CO
0101806309535320606 A LAND USE: LEGAL: TR Q -1 P LAT OF TRS K-1 THRU P-1 & TR Q BLK 4 TR
PROPERTY ADDR: 00000 PAN AMERICAN
OWNER NAME: WILLIAMS MICHAEL A
OWNER ADDR: 01733 JUNIPER RD N
81432

RIDGWAY CO
0101806309334220605 A LAND USE: LEGAL: TR N -1 P LAT OF TRS K-1 THRU P-1 & TR Q BLK 4 TR
PROPERTY ADDR: 00000 PAN AMERICAN
OWNER NAME: WILLIAMS MICHAEL A TR OF
OWNER ADDR: 01733 JUNIPER RD N
81432

RIDGWAY CO
0101806307932920602 PORTI LAND USE: LEGAL: TRAC T "H " BLOCK 4 REPLAT OF LOTS 27 & 28 & A
PROPERTY ADDR: 00000 PINO
OWNER NAME: PEROVICH JOEL M & PATRICIA L
OWNER ADDR: PO BOX 348
87529

EL PRADO NM
0101706352734510520 CENTER LAND USE: LEGAL: TR 2 A-D (REPL OF TRS 2A-1 & 2A-2BB) JOURNAL
PROPERTY ADDR: 00000 JOURNAL CENTER
OWNER NAME: LOVELACE INC
OWNER ADDR: PO BOX 25234
66225

OVERLAND PARKS
0101706352841810702 2A-2A-3 LAND USE: LEGAL: TR 2 A-2A -3 PLAT OF TRS 2A-2A-1, 2A-2A-2 &
PROPERTY ADDR: 00000 PAN AMERICAN
OWNER NAME: BARGERWAL LIMITED PARTNERSHIP
OWNER ADDR: 01000 MARKET ST
03801

PORTSMOUTH NH
0101706350448510701 2A-2A-3 LAND USE: LEGAL: TR 2 A-2A -1 PLAT OF TRS 2A-2A-1, 2A-2A-2 &
PROPERTY ADDR: 00000 LANG
OWNER NAME: JOURNAL CENTER CORPORATION
OWNER ADDR: PO DRAWER J
87103

ALBUQUERQUE NM

PAGE 3

0101806302149320908 LEGAL: TRAC T H BLK 1 TRACT A UNIT A NORTH ALB ACRES
CONT LAND USE:

PROPERTY ADDR: 00000 PASEO DEL NORTE
OWNER NAME: JOURNAL CENTER CORPORATION
OWNER ADDR: 07777 JEFFERSON

NE

ALBUQUERQUE NM

87109

QUIT

101806309445020802 LEGAL: PORTIONS OF LOTS 6, 26, 27 & PORTION OF VACA NO RD BLK 2 TR
A UNI
PROPERTY ADDR: SAN BERNANDINO AVE NE

OWNERS NAME: LOWES HOME CENTERS INC
OWNERS ADDR: HYW 268 EAST
 NORTH WILKESBOR, NC 28659

101806317546920804 LEGAL: TRACT A1 A PLAT OF TRACTS A-1 AND A-2 LOS AN NT 31.7797 AC
OR 1,3
PROPERTY ADDR: 6200 PASEO DEL NORTE NE

OWNERS NAME: LOWES HOME CENTERS INC
OWNERS ADDR: PO BOX 1111
 NORTH WILKESBOR, NC 28656

101806318236920610 LEGAL: NORTH ALBUQ AC TRACT A UNIT A LOTS 8 THRU 26 THRU 26 BLK 4
PROPERTY ADDR: 5501 SAN FRANCISCO NE

OWNERS NAME: CITY OF ALBUQUERQUE
OWNERS ADDR: PO BOX 1293
 ALBUQUERQUE, NM 87103

101806307932920602 LEGAL: TRACT "H" BLOCK 4 REPLAT OF LOTS 27 & 28 A 29 BLOCK 4 TR "A"
U
PROPERTY ADDR: 5225 PINO NE

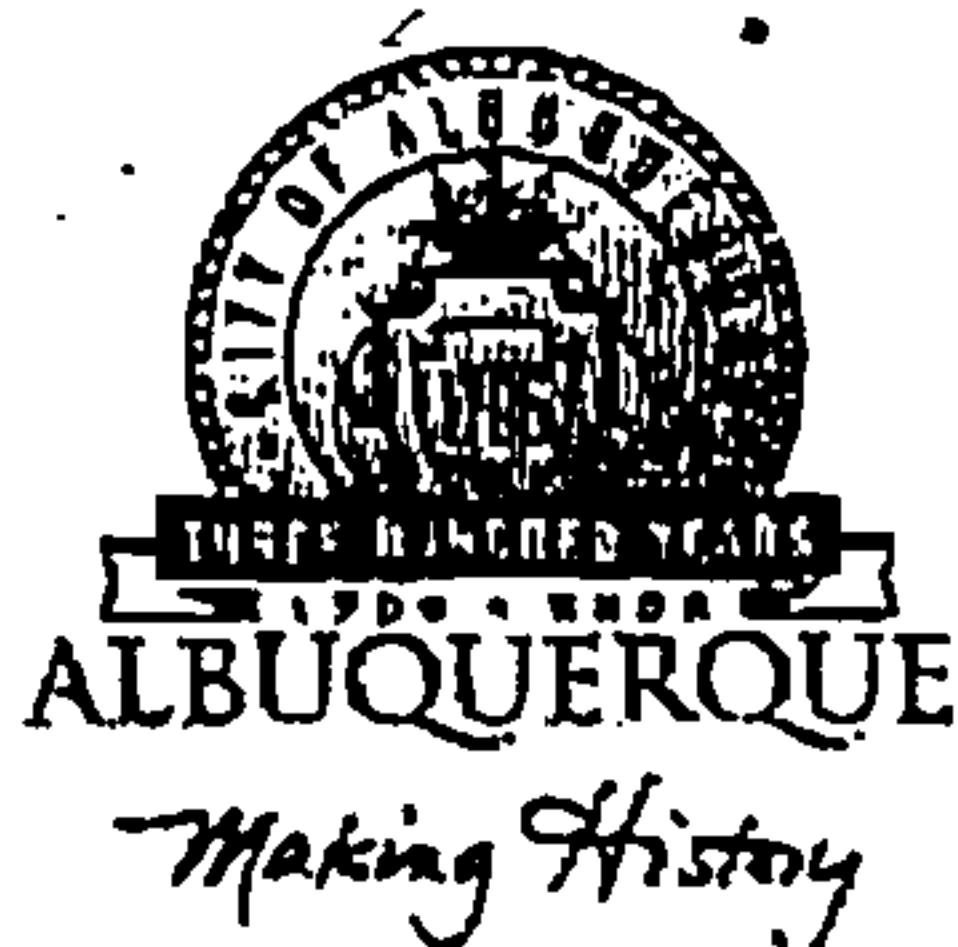
OWNERS NAME: PEROVICH JOEL M & PATRICIA L
OWNERS ADDR: PO BOX 348
 EL PRADO, NM 87529

101706352734510520 LEGAL: TR 2A-D (REPL OF TRS 2A-1 & 2A-2BB) JOURNAL 5 36 AC M/L
PROPERTY ADDR: 5150 JOURNAL CENTER BLVD NE

OWNERS NAME: LOVELACE INC
OWNERS ADDR: PO BOX 25234
 OVERLAND PARK, KS 66225

101706350448510701 LEGAL: TR 2A-2A-1 PLAT OF TRS 2A-2A-1, 2A-2A-2 & 2A ENTER CONT
10.8178
PROPERTY ADDR: 5151 LANG AVE NE

OWNERS NAME: JOURNAL CENTER CORPORATION
OWNERS ADDR: PO DRAWER J
 ALBUQUERQUE, NM 87103



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

January 19, 2006

Stephanie Walton
 Bohannon Huston
 7500 Jefferson St. NE/87109
 Phone: 823-1000 Fax: 798-7988

Dear Stephanie:

Thank you for your inquiry of **January 19, 2006** requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **TRACTS A, B, C, AND D HISE LANDS** zone map **D-18**.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

JADE PARK N.A. (JPK) "R"
 *Karen Casaus
 6708 San Bernardino NE/87109 822-1493 (h)
 John Stutzman
 6800 Jade Park NE/87109 796-0593 (h)

See reverse side for additional Neighborhood Association Information: YES { } NO {X}

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested**, before the Planning Department will accept your application filing. **IMPORTANT!** Failure of adequate notification may result in your **Application Hearing being deferred for 30 days**. If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,


 OFFICE OF NEIGHBORHOOD COORDINATION
 Planning Department

**LETTERS MUST BE SENT TO BOTH
 CONTACTS OF EACH
 NEIGHBORHOOD ASSOCIATION**

NOTICE TO APPLICANTS

UGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT.** Because the purpose of the notification is to ensure communication as a means of identifying and solving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

The street address of the subject property.

The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.

A physical description of the location, referenced to streets and existing land uses.

A complete description of the actions requested of the EPC:

- a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
- b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
- c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.

The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

(Below this line for ONC use only)

Date of Inquiry: 1/19/06 Time Entered: 9:20 AM ONC Rep. Initials: SW

Project # 1001946

NEWMORE LLC
9909 DESERT MOUNTAIN RD NE
ALBUQUERQUE, NM 87122

Project # 1001946

JOHN STUZMAN
Jade Park N.A.
6800 JADE PARD NE
ALBUQUERQUE, NM 87109

101806309336220607

WILLIAMS MICHAEL A
1733 JUNIPER RD N
RIDGEWAY, CO 81432

101706352841810702

BARGERWAL LIMITED PARTNERSHIP
1000 MARKET
PORTSMOUTH, NH 03801

Project # 1001946

BOHANNAN HUSTON INC
7500 JEFFERSON NE
ALBUQUERQUE, NM 87109

101806309540920623

HAMILTON-HISE PROPERTIES LLC
9909 DESERT MOUNTAIN RD NE
ALBUQUEQUE, NM 87122

101806307932920602

PEROVICH JOEL M & PATRICIA L
PO BOX 348
EL PRADO, NM 87529

101706350448510701

JOURNAL CENTER CORPORATION
PO DRAWER J
ALBUQUERQUE, NM 87103

Project # 1001946

KAREN CASAUS
Jade Park N.A.
6708 SAN BERNARDINO NE
ALBUQUERQUE, NM 87109

101806309445020802

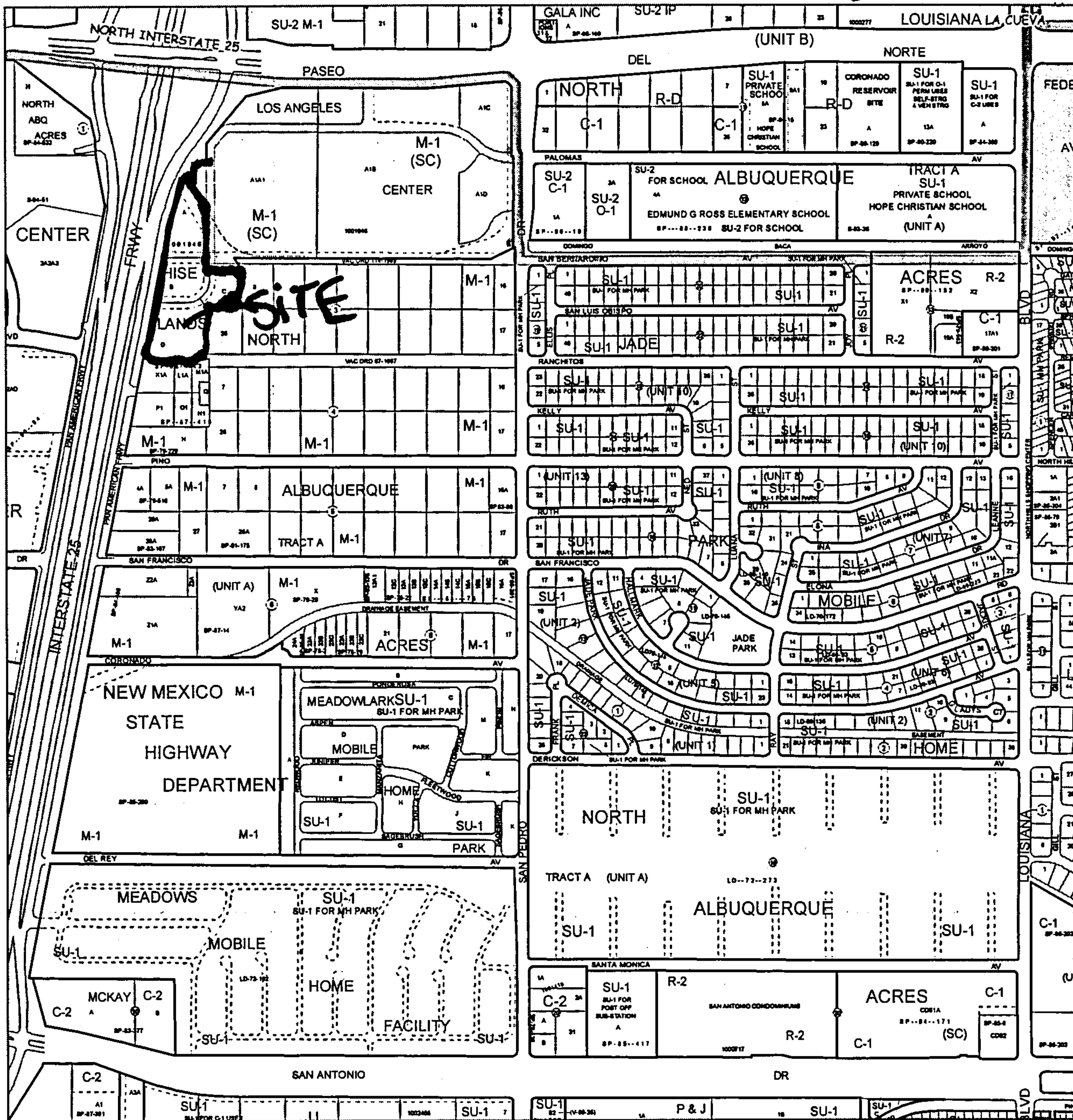
LOWES HOME CENTERS INC
HWY 268 EAST
NORTH WILKESNC 28659

101706352734510520

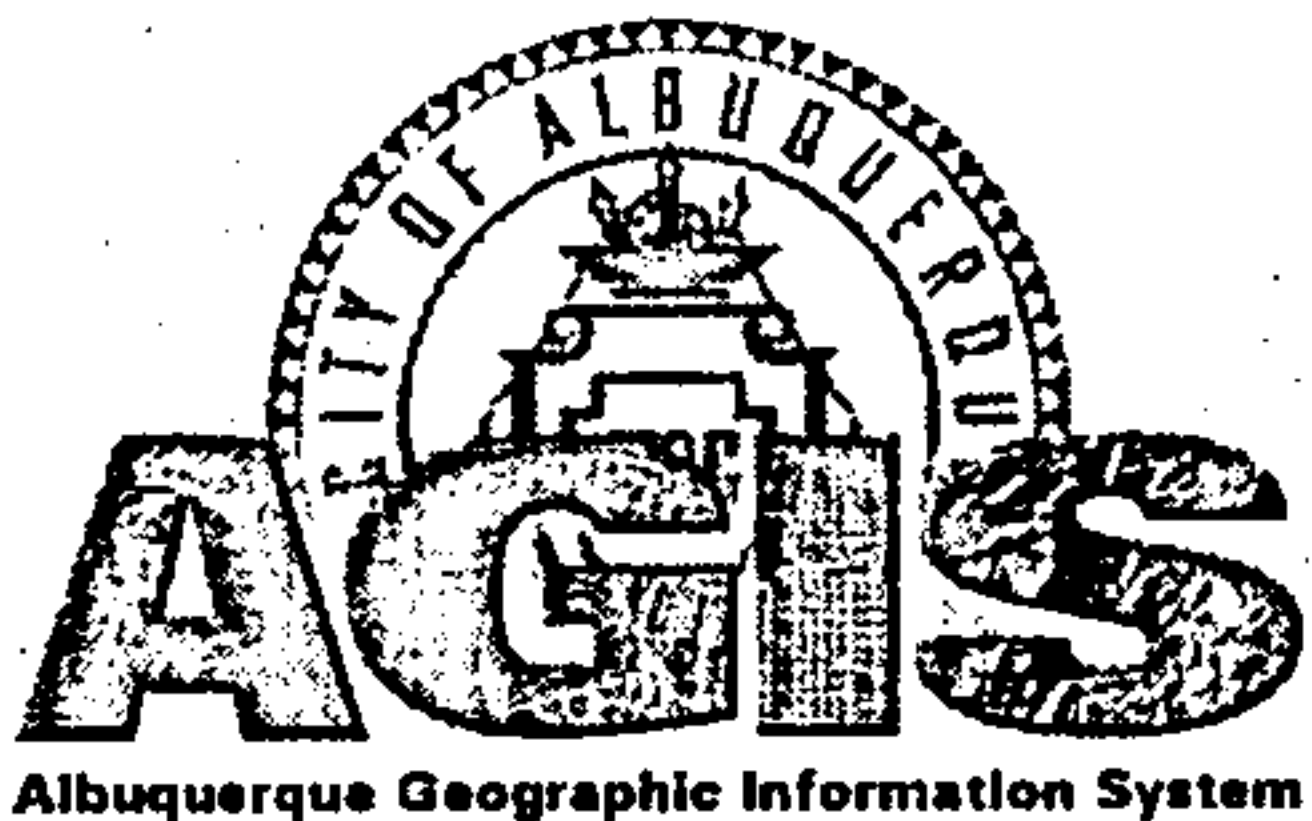
LOVELACE INC
PO BOX 25234
OVERLAND PARKS, 66225

101806302149320908

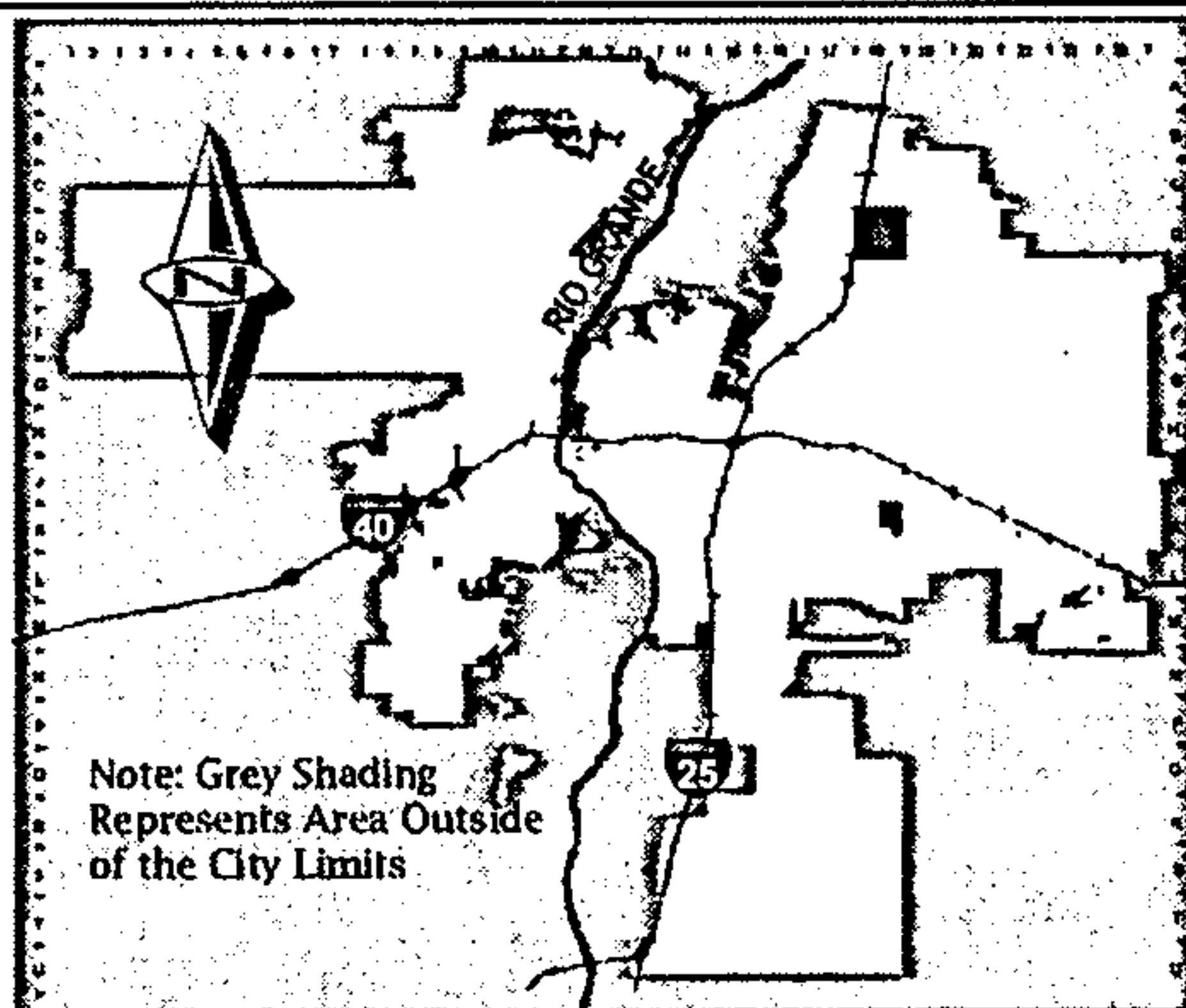
JOURNAL CENTER CORPORATION
7777 JEFFERSON NE
ALBUQUERQUE, NM 87109



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 11/2/2005



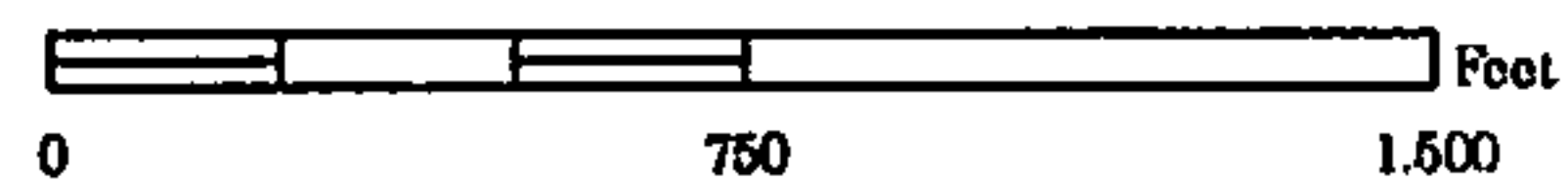
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:

D-18-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

January 20, 2006

Sheran Matson, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103

Re: Vacation of public easements
Tracts A, B, C, & D Hise Lands DRB# 1001946 05DRB-01347

Dear Sheran:

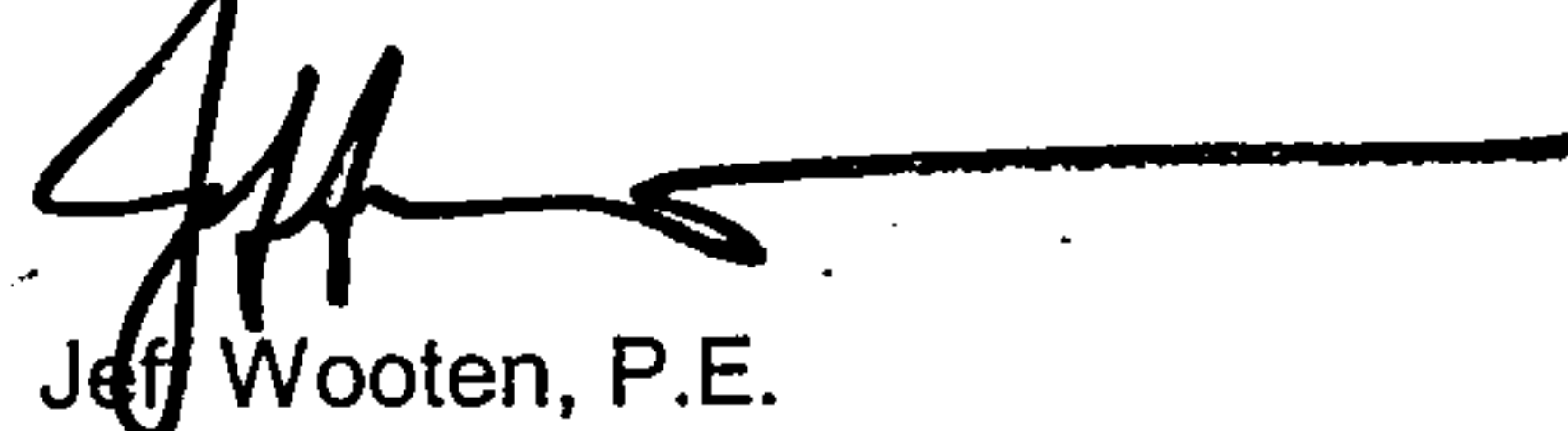
Enclosed for review and approval by the Development Review Board (DRB) are copies of the following information:

- Development Review Applications
- Twenty-four (24) copies of the Location of Request for the vacation of easements (Exhibit "A")
- Letter from the Office of Neighborhood Coordination and related data,
- Zone Atlas Map showing the location of the property, and
- Fee in the amount of \$230.00

The project will consist of a new furniture showroom. A replat and Site Plan for Building Permit will be submitted to DRB within the next couple weeks and will show the new property boundaries and locations of the Access and PNM easements. We have already contacted PNM regarding the relocation of lines within the easement and a contract is in the process of execution.

Please place this item on the DRB Agenda to be heard on February 15, 2006. If you have any questions or require further information, please contact me.

Sincerely,



Jeff Wooten, P.E.
Project Manager
Community Development and Planning Group

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, February 15, 2006**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1001946

06DRB-00083 Major-Vacation of Public Easements

BOHANNAN HUSTON INC agent(s) for NEWMORE LLC request(s) the above action(s) for all or a portion of Tract(s) A, B, C & D, **HISE LANDS**, zoned M-1 (SC), located on PASEO DEL NORTE NE, between I-25 and SAN PEDRO BLVD NE containing approximately 6 acre(s). [REF: 05DRB01347] (D-18)

Project # 1004658

06DRB-00086 Major-Vacation of Public Easements
06DRB-00087 Minor-Prelim&Final Plat Approval

SURV-TEK INC agent(s) for ESMAIL HAIDARI request(s) the above action(s) for all or a portion of Tract(s) A, **VINEYARD ESTATES, UNIT III A**, zoned R-D residential and related uses zone, developing area, located on VALLEJO PLACE NE, between HAMPTON AVE NE and CORONA AVE NE containing approximately 1 acre(s). [REF: DRB-98-123 (C-20)]

Project # 1002110

06DRB-00085 Major-Vacation of Public Easements
06DRB-00088 Major-Preliminary Plat Approval

RIO GRANDE ENGINEERING agent(s) for BEAZER HOME SALES INC request(s) the above action(s) for all or a portion of Tract(s) B-1 & B-2 CACTUS/SHALIT PARCEL (to be known as **UNIVERSITY CROSSINGS**) zoned O-1, C-1, located on KATHRYN AVE SE, between YALE BLVD SE and CORNELL AVE SE containing approximately 3 acre(s). [REF: 05ZHE00852, 05ZHE00882] (L-15)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JANUARY 30, 2006.



COMPLETED 09/30/05
DRB CASE ACTION LOG (SITE PLAN B.P.)

set

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-01047 (SBP) Project #: 1001946
Project Name LOS ANGELES CENTER Office Depot
Agent: DEKKER PERICH SABATINI Phone No.: 761-9700

Project Number

1001946

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOPMENT PLAN), was approved on 8/31/05 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____
- UTILITIES: _____
- _____
- _____
- _____
- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____
- PARKS / CIP: _____
- _____
- _____
- _____

PLANNING (Last to sign): 3 copies address Planning comments

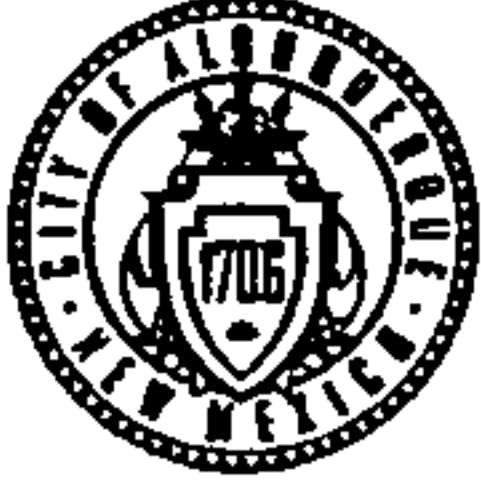
8/31/05 - Called & left Ann Marie a message she needs to bring in SPS & SBP also presents & explain how she has addressed comments

Planning must record this plat. Please submit the following items:

- The original plat and a mylar copy for the County Clerk.
- Tax certificate from the County Treasurer.
- Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
- Tax printout from the County Assessor.

- Include 3 copies of the approved site plan along with the originals.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

#11



COMPLETED 09/22/05 SH DRB CASE ACTION LOG (PREL & FINAL)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: **05DRB-01347 (P&F)**

Project #

1001946

Project Name: **HISE LANDS**

Agent: **Bohannon Huston Inc.**

Phone No.: **823-1000**

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 8/31/05 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: add Private Water/Sewer service easement for Tract C
- Cross Lot Drainage Easement.

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

OK

Project Number

~~1004397~~ 1001946

#11



DRB CASE ACTION LOG

(PREL & FINAL)

REVISED 2/5/04

9/21/05

Issued
dup.
blue
sheet

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-01347 (P&F)

Project #

1001946

Project Name: HISE LANDS

Agent: Bohannan Huston Inc.

Phone No.: 823-1000

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 8/31/05 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: add private water/sewer
- cross lot Drainage Easement

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

OK

Project Number ~~1004394~~ 1001946



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

August 31, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 11:53 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project #1002535**
05DRB-01269 Major-Vacation of Public Easements
05DRB-01270 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for CHRONIS DEVELOPMENT LIMITED request(s) the above action(s) for Lot(s) 32, 33, 34, 35 and 38, West 35-feet OF Lot(s) 37; together with Lot(s) 36-A, HUBBELL HEIGHTS ADDITION & TRACT 64, UNIT 6, TOWN OF ATRISCO GRANT, (to be known as **HUBBELL HEIGHTS ADDITION**) zoned C-2 & O-1 & R-1, located on 65TH ST SW, between CENTRAL SW and CHURCHILL SW containing approximately 6 acre(s). [REF: 1003709, Z-1211] [*Deferred from 8/31/05*] (K-10) **DEFERRED AT THE AGENT'S REQUEST TO 9/21/05.**

2. **Project #1004289**
05DRB-01246 Major-Vacation of Pub
Right-of-Way

WILLIE P. GONZALES request(s) the above action(s) for all or a portion of Lot(s) 4 & 5, Block(s) 5, **JOHN BARON BURG PARK ADDITION**, zoned SR, located on 19TH ST NW, between ZEARING AVE NW and ASPEN AVE NW containing approximately 1 acre(s). [REF: 05DRB-01073] (H-13) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

05DRB-01073 Minor-Prelim&Final Plat
Approval

WILLIE P. GONZALES request(s) the above action(s) for all or a portion of Lot(s) 4 & 5, Block(s) 5, **JOHN BARON BURG PARK ADDITION**, zoned SR, located on 19th ST NW, between ZEARING AVE NW and ASPEN AVE NW containing approximately 1 acre(s). (Was Indef. Deferred 7/13/05) (H-13) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND 15-DAY APPEAL PERIOD.**

3. **Project #1004368**
05DRB-01267 Major-SiteDev Plan
BldPermit

JAMES COOKE agent(s) for RAIN FACTORY LLC request(s) the above action(s) for all or a portion of Tract(s) 4A-2, **NORTH RENAISSANCE CENTER**, zoned SU-1 FOR IP USES, located on CULTURE DR NE, between MONTANO RD NE and RENAISSANCE BLVD NE containing approximately 2 acre(s). [REF: PROJ. #1001118] (F-16) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR A SIDEWALK EASEMENT.**

4. **Project #1003366**
05DRB-01272 Major-Vacation of Pub
Right-of-Way
05DRB-01273 Major-Vacation of
Public Easements

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for SHARIF (FELIX) RABADI request(s) the above action(s) for all or a portion of Tract(s) T-1-A-2, **TOWN OF ALAMEDA GRANT**, zoned SU-1 FOR PRD, located on GOLF COURSE ROAD NW, between IRVING NW and the CALABACILLAS

ARROYO containing approximately 9 acre(s). [REF: 04EPC-00498, Z-80-74, AX-80-16, Z-85-84, AX-85-20, Z-93-131, DRB-94-146, V-96-89, 04DRB-00596, 04DRB-00912, 04DRB01242] (B-12) **THE VACATION OF PUBLIC RIGHT-OF-WAY AND VACATION OF PUBLIC EASEMENTS WERE APPROVED AS SHOWN ON EXHIBITS B-1, B-2 AND B-3 IN THE PLANNING FILE. CONDITIONS OF FINAL PLAT: A SANITARY SEWER LINE HAS BEEN RELOCATED AND ACCEPTED AND REEVALUATE GOLF COURSE ROAD RIGHT-OF-WAY.**

5. **Project # 1004355**
05DRB-01235 Major-Preliminary Plat
Approval
05DRB-01236 Minor-Temp Defer
SDWK

WILSON & COMPANY INC agent(s) for SCOTT SCHIABOR, SPS, LLC request(s) the above action(s) for all or a portion of Tract(s) 2, **VISTA VIEJA SUBDIVISION, UNIT 2**, zoned R-1 residential zone, located on SCENIC RD NW, between 81ST ST NW and ALBERICOQUE PL NW containing approximately 41 acre(s). [REF: 04DRB00825, 04DRB01460] *[Deferred from 8/24/05]* (D-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/31/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/30/05 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT: THE HOME OWNER'S ASSOCIATION PRESIDENT MUST SIGN THE FINAL PLAT. IF NO SUCH PERSON IS AVAILABLE, THEN THE OWNER OF THE PROPERTY CAN SIGN. DRAINAGE EASEMENTS IN PARCELS B, C AND E SHALL BE VACATED AND REPLACED WITH THE NEW ALIGNMENT. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALK ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

6. **Project # 1003189**
05DRB-01127 Major-Preliminary Plat
Approval
05DRB-01129 Minor-Temp Defer
SDWK

RIO GRANDE ENGINEERING agent(s) for FULLER HOMES, INC request(s) the above action(s) for all or a portion of Tract(s) 355, 356 TRACTS A & B, LANDS OF HECTOR ROJO, TOWN OF ATRISCO GRANT (to be known as **AUTUMN VIEW SUBDIVISION**) zoned RD-R1, located on TOWER RD SW, between COORS BLVD SW and STINSON RD SW containing approximately 15 acre(s). [Deferred from 8/3/05 & 8/17/05 & 8/24/05] (L-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/31/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/15/05 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT: ALL TERMS OF THE ANNEXATION AGREEMENT, INCLUDING APS, MUST BE MET. NEED TO REVISIT THE WIDTH OF THE DRAINAGE AND WATER AND SEWER EASEMENTS IN THE SOUTHEAST CORNER OF THE SUBDIVISION. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALK ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

7. **Project # 1001685**
05DRB01349 Minor-SiteDev Plan
Subd/EPC
05DRB01350 Minor-SiteDev Plan
BldPermit/EPC

GREAT BASIN ENGINEERING agent(s) for SMITH'S FOOD & DRUG CENTERS request(s) the above action(s) for all or a portion of Tract(s) 1B, PARADISE NORTH (to be known as **GOLF COURSE MARKET PLACE**) zoned C-2 (SC) community commercial zone, located on GOLF COURSE RD NW and MCMAHON RD NW containing approximately 9 acre(s). [REF: Z-85-119,04EPC01348, 04EPC01349, 04EPC01590] [**Carmen Marrone, EPC Case Planner**] (A-12) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

8. **Project # 1003991**
05DRB-01293 Minor-SiteDev Plan
Subd/EPC
05DRB-01294 Minor-SiteDev Plan
BldPermit/EPC

TIERRA WEST LLC agent(s) for WAL MART STORES EAST LP request(s) the above action(s) for all or a portion of Tract(s) A-1, **TOWN OF ATRISCO GRANT, UNIT 7**, zoned SU-1 FOR C-1 WITH DRIVE UP PHARMACY & RLT, located on SNOW VISTA BLVD SW, between SAGE RD SW and BENAVIDES RD SW containing approximately 14 acre(s). [REF: 05EPC00365, 05EPC00366, 05EPC00367] **[Russell Brito for Elvira Lopez, EPC Case Planner]** *[Deferred from 8/17/05 & 8/31/05]* (M-9) **DEFERRED AT THE AGENT'S REQUEST TO 9/7/05.**

9. **Project # 1001946**
05DRB-01047 Minor-SiteDev Plan
BldPermit

DEKKER PERICH SABATINI agent(s) for OFFICE DEPOT request(s) the above action(s) for all or a portion of Tract(s) A-1-D, **LOS ANGELES CENTER**, zoned M-1, located on PASEO DEL NORTE NE, between SAN PEDRO NE and INTERSTATE 25 containing approximately 3 acre(s). [REF: DRB-97-224, DRB-97-372; Z-1534] *[Deferred from 6/29/05 & 7/13/05 & 7/20/05 & 7/27/05 & 8/3/05 & indef deferred on a no show 8/17/05]* (D-18) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO ADDRESS PLANNING COMMENTS AND 3 COPIES OF THE SITE PLAN.**

- 05DRB01348 Minor-SiteDev Plan
Subd/EPC

DENISH & KLINE ASSOCIATES agent(s) for LOWE'S INC request(s) the above action(s) for all or a portion of Lot(s) 27R, 28R, Block(s) 2, NORTH ALBUQUERQUE ACRES, UNIT A, Tract(s) A-1-A-1, A-1-B, A-1-C, A-1-D AND A-1-E-1, **LOS ANGELES CENTER ADDITION**, Lot(s) 5, 6, 7, 28 and 27, Block(s) 3, NORTH ALBUQUERQUE ACRES, UNIT A, zoned M-1 light manufacturing zone, located on PASEO DEL NORTE NE, between SAN PEDRO NE and I-25 containing approximately 38 acre(s). [REF: ZHE-99-025, 04EPC01032] **[Makita Hill, EPC Case Planner]** (D-18) **SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR ENVIRONMENTAL HEALTH SIGNATURE, EPC CASE PLANNER INITIALS AND 3 COPIES OF THE SITE PLAN.**

10. **Project # 1004100**
05DRB-01290 Minor-SiteDev Plan
BldPermit/EPC

QUIK DRAW ENGINEERING LLC agent(s) for SPRINGSTONE CHILDRENS LEARNING CENTER request(s) the above action(s) for all or a portion of Tract(s) F, **LA CUEVA VILLAGE - UNIT 1**, zoned C-2 (SC), located on CARMEL AVE NE, between WYOMING BLVD NE and BARSTOW NE containing approximately 1 acre(s). [REF: 05EPC00582] [Carmen Marrone for Elvira Lopez, EPC Case Planner] (Deferred from 8/24/05) (C-19) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CROSS ACCESS EASEMENT AND 3 COPIES OF THE SITE PLAN.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1001946**
05DRB01347 Minor-Prelim & Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for NEWMORE LLC request(s) the above action(s) for all or a portion of Tract(s) A, B, C & D, **HISE LANDS**, zoned M-1 (SC), located on PASEO DEL NORTE BLVD NE, between I-25 and SAN PEDRO BLVD NE containing approximately 6 acre(s). [Listed under Project #1004391 in error.] (D-18) **PRELIMINARY PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR PRIVATE WATER AND SANITARY SEWER SERVICE EASEMENT FOR TRACT C AND CROSS-LOT DRAINAGE EASEMENT.**

12. **Project # 1000351**
05DRB-01303 Minor-Prelim&Final Plat
Approval

CARTESIAN SURVEYS agent(s) for BOB KITTS request(s) the above action(s) for all or a portion of Tract(s) 3, 7 & 8, **LANDS OF ZIA TRADING COMPANY**, zoned SU-1 FOR IP, located on OSUNA BLVD NE, between BNSF RR TRACKS and EDITH BLVD NE containing approximately 4 acre(s). [REF: Z-99-99, AX-99-10] (Deferred from 8/24/05 & 8/31/05) (E-15) **DEFERRED AT THE BOARD'S REQUEST TO 9/7/05.**

13. **Project # 1004177**
05DRB-01280 Minor-Subd Design
(DPM) Variance

BOHANNAN HUSTON INC agent(s) for SANDIA PROPERTIES LTD CO request(s) the above action(s) for all or a portion of Tract(s) 10-13, **VENTANA RANCH WEST**, zoned R-LT residential zone, located on IRVING BLVD NW, between VENTANA RIDGE RD NW and containing approximately 74 acre(s). [REF: 05DRB01122, 01123, 01124, 00783] *(Was Indef. Deferred on 8/17/05)* (B-8) **A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

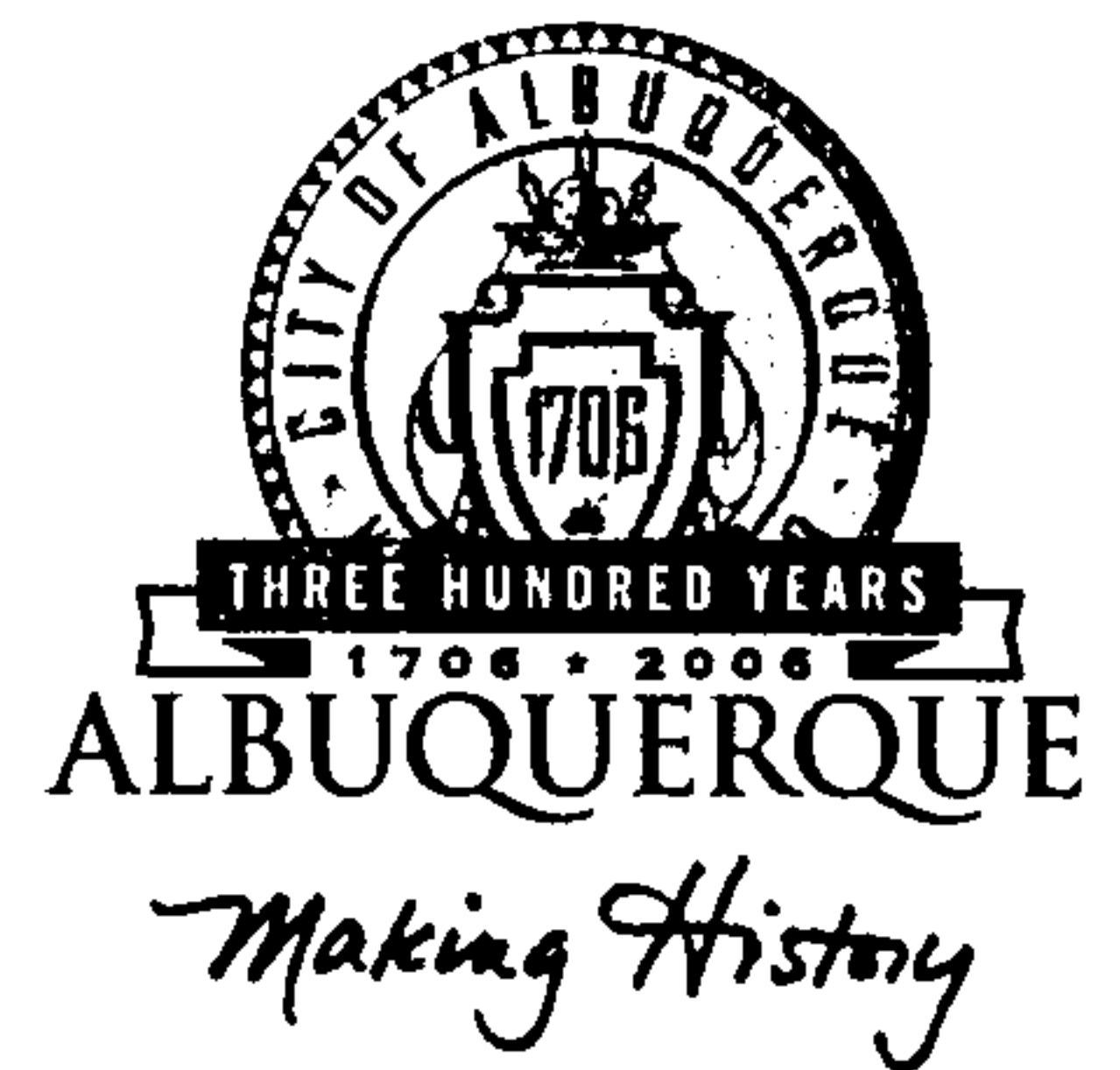
14. **Project # 1004390**
05DRB01346 Minor-Sketch Plat or
Plan

BOHANNAN HUSTON INC. agent(s) for LOFLAND COMPANY request(s) the above action(s) for all or a portion of Lot(s) 1A, D and 10 through 23, Block(s) 12 and 13, **FRANCISCAN ADDITION**, zoned M-2 heavy manufacturing zone, located on 1ST ST NW, between I-40 and MANUAL BLVD NW containing approximately 4 acre(s). (H-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

15. Approval of the Development Review Board Minutes for August 17, 2005. **THE DRB MINUTES FOR AUGUST 17, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:53 A.M.

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1001946 4394

AGENDA ITEM NO: 11/9

SUBJECT:

Final Plat
Preliminary Plat

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

Minor plat comments.
Copies of previous plats for this site must be provided.

P.O. Box 1293

Albuquerque

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

New Mexico 87103

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

www.cabq.gov

FOR:

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: AUGUST 31, 2005

1946

DXF Electronic Approval Form

DRB Project Case #:

Subdivision Name:

Surveyor:

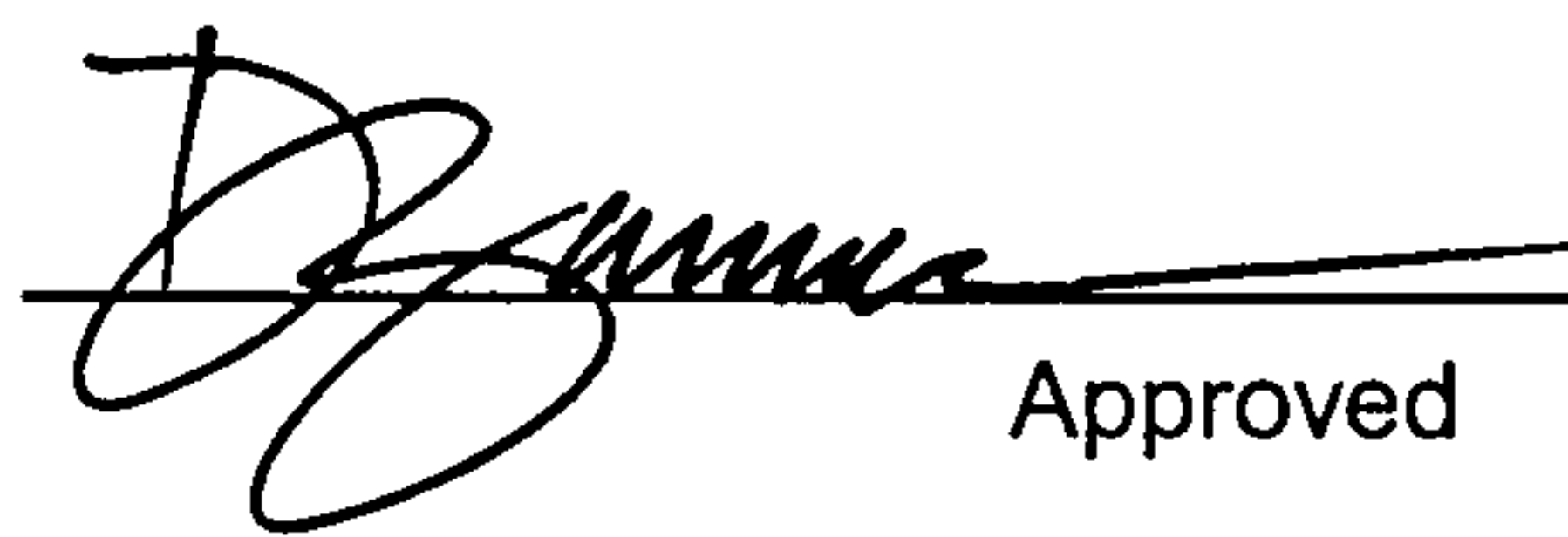
Contact Person:

Contact Information:

DXF Received:

Hard Copy Received:

Coordinate System:


Approved

08-30-2005
Date

* The DXF file cannot be accepted (at this time) for the following reason(s):

AGIS Use Only

Copied fc **1946** to agiscov on **8/30/2005** Contact person notified on **8/30/2005**

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
August 31, 2005
DRB Comments**

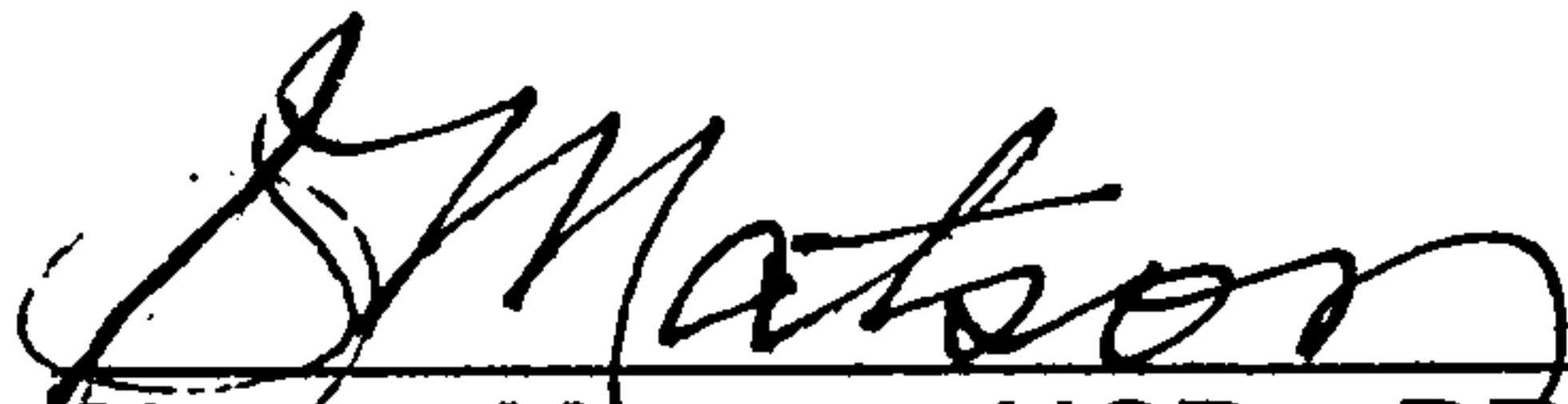
Item # 11
NEW # → 1001946
Project # ~~4004394~~

Application # 05-01347

RE: Hise Lands/preliminary & final plat

There is no objection to this request.

AGIS dxf approval form dated 8/26/05 is on file.

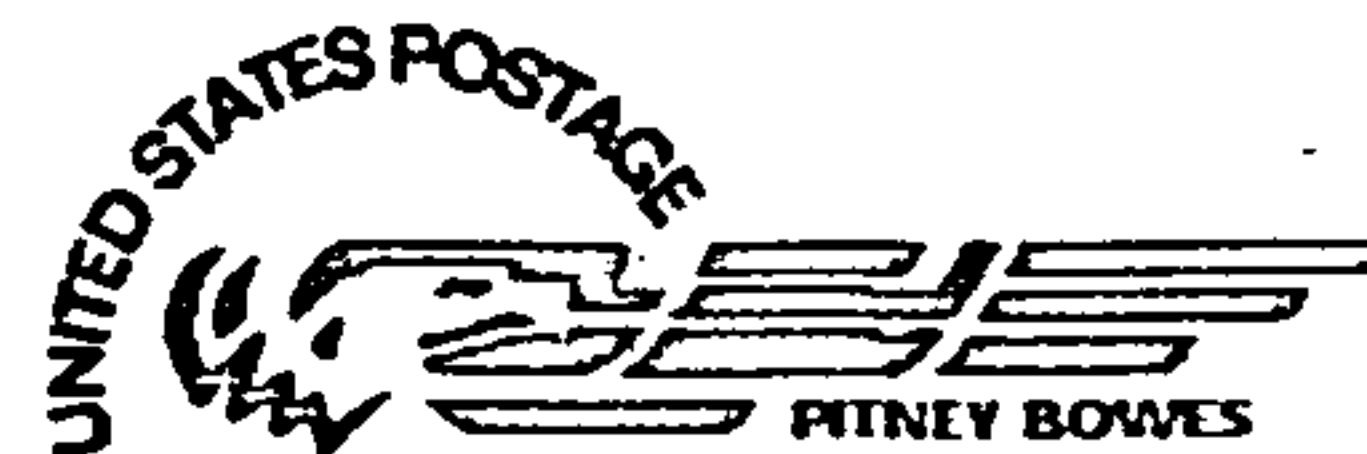
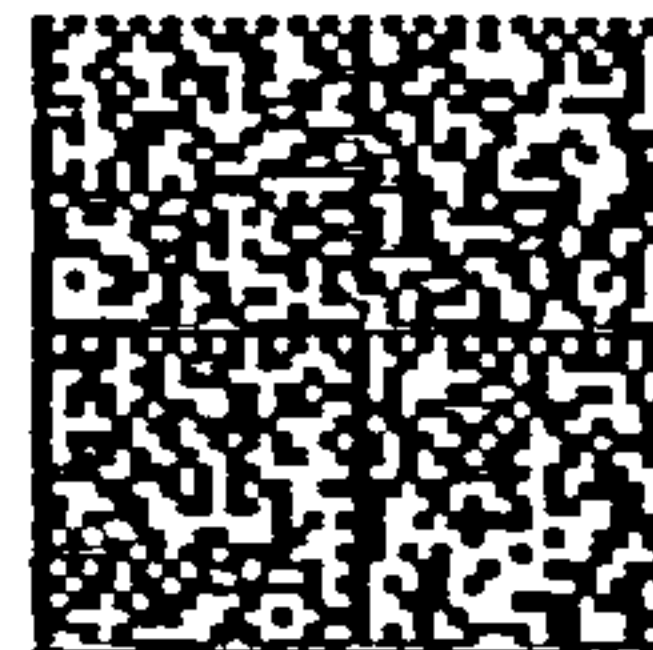


Sheran Matson, AICP DRB Chair
924-3880 Fax 924-3864 smatson@cabq.gov

CITY OF ALBUQUERQUE



Planning Department



02 1M \$ 00.39⁰
0004219022 NOV 03 2006
MAILED FROM ZIP CODE 87102

Jr Current Resident
REAL ESTATE LTD PTNS NUMBER
TW
4601 SAN FRANCISCO NE
ALBUQUERQUE, NM 87109

Or Current Resident



- MOVED, LEFT NO ADDRESS
- ATTEMPTED - NOT KNOWN
- UNCLAIMED REFUSED
- NO SUCH STREET
- NO SUCH NUMBER
- INSUFFICIENT ADDRESS
- NOT DELIVERABLE AS
ADDRESSED UNABLE TO FORWARD



DRB

87103



P O Box 1293 Albuquerque, New Mexico 87103



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, November 22, 2006**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1001946

06DRB-01557 Major-Two Year SIA

BOHANNAN HUSTON INC agent(s) for LOWE'S HOME CENTERS INC request(s) the above action(s) for all or a portion of Tract(s) A-1 & A-2, **LOS ANGELES CENTER**, zoned M-1 light manufacturing zone, located on SAN PEDRO NE between PASEO DEL NORTE NE and PINO NE containing approximately 33 acre(s). [REF: 04DRB-01965] (D-18)

Project # 1001218

06DRB-01558 Major-Two Year SIA

DALE & GAIL ARMSTRONG request(s) the above action(s) for all or a portion of Tract(s) 1-A, **LANDS OF LAFARGE**, zoned M-1 light manufacturing zone, located on EDITH BLVD NE, between CARMONY RD NE and MONTANO NE containing approximately 15 acre(s). (G-15)

Project # 1002855

06DRB-01559 Major-Two Year SIA

VAN H GILBERT ARCHITECT PC agent(s) for EDWARD GARCIA, GARCIA AUTOMOTIVE GROUP request(s) the above action(s) for all or a portion of Lot(s) 5A, Block(s) 24, **EAST END ADDITION**, zoned SU-1 for automobile storage special use zone, located on VERMONT ST NE between LOMAS BLVD NE and MARBLE AVE NE. [REF: 05DRB-00790] (J-19)

Project # 1004091

06DRB-01560 Major-Vacation of Public Easements

RIO GRANDE ENGINEERING agent(s) for IRVING PARTNERS LLC request(s) the above action(s) for UNPLATTED LANDS OF AMALGAMATED PARTNERS (to be known as **DESERT GARDEN ESTATES**) zoned R-LT residential zone, located on IRVING BLVD NW, between RAINBOW RD NW and PASEO DEL OESTE NW containing approximately 12 acre(s). [REF: 06DRB-00942, 06DRB-00943] (A-9)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. **INDIVIDUALS WITH DISABILITIES** needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, NOVEMBER 6, 2006.



**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the **Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW**, on **Wednesday, November 22, 2006**, beginning at **9:00 a.m.** for the purpose of considering the following:

Project # 1001946

06DRB-01557 Major-Two Year SIA

BOHANNAN HUSTON INC agent(s) for LOWE'S HOME CENTERS INC request(s) the above action(s) for all or a portion of Tract(s) A-1 & A-2, **LOS ANGELES CENTER**, zoned M-1 light manufacturing zone, located on SAN PEDRO NE between PASEO DEL NORTE NE and PINO NE containing approximately 33 acre(s). [REF: 04DRB-01965] (D-18)

Project # 1001218

06DRB-01558 Major-Two Year SIA

DALE & GAIL ARMSTRONG request(s) the above action(s) for all or a portion of Tract(s) 1-A, **LANDS OF LAFARGE**, zoned M-1 light manufacturing zone, located on EDITH BLVD NE, between CARMONY RD NE and MONTANO NE containing approximately 15 acre(s). (G-15)

Project # 1002855

06DRB-01559 Major-Two Year SIA

VAN H GILBERT ARCHITECT PC agent(s) for EDWARD GARCIA, GARCIA AUTOMOTIVE GROUP request(s) the above action(s) for all or a portion of Lot(s) 5A, Block(s) 24, **EAST END ADDITION**, zoned SU-1 for automobile storage special use zone, located on VERMONT ST NE between LOMAS BLVD NE and MARBLE AVE NE. [REF: 05DRB-00790] (J-19)

Project # 1004091

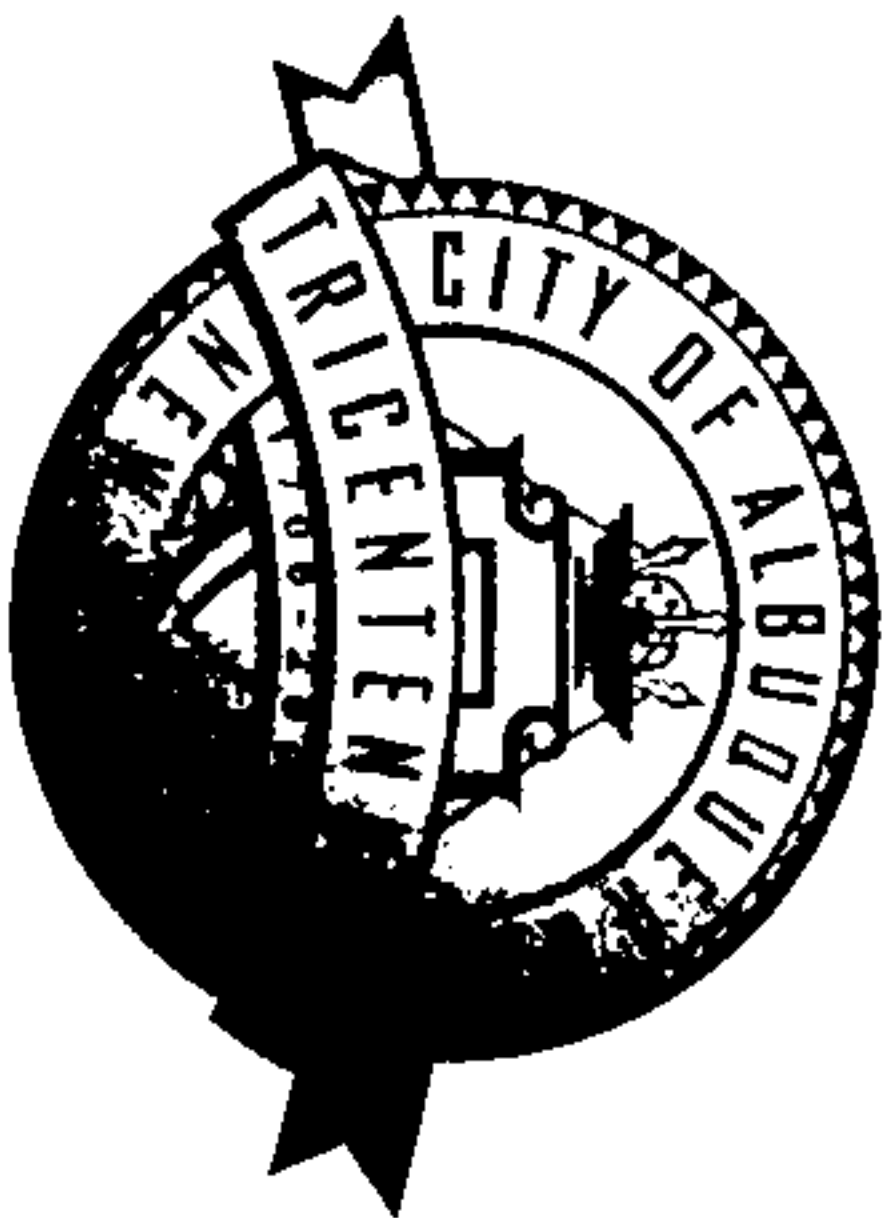
06DRB-01560 Major-Vacation of Public Easements

RIO GRANDE ENGINEERING agent(s) for IRVING PARTNERS LLC request(s) the above action(s) for UNPLATTED LANDS OF AMALGAMATED PARTNERS (to be known as **DESERT GARDEN ESTATES**) zoned R-LT residential zone, located on IRVING BLVD NW, between RAINBOW RD NW and PASEO DEL OESTE NW containing approximately 12 acre(s). [REF: 06DRB-00942, 06DRB-00943] (A-9)

Details of the application(s) may be examined at the Planning Department Development Services Center One Stop Shop, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 8:00 a.m. and 4:30 p.m., Monday through Friday except holidays. INDIVIDUALS WITH DISABILITIES needing special assistance to participate in this hearing should contact Claire Senova, Planning Department, at 924-3946. TTY users may call the New Mexico Relay Network by calling toll-free 1-800-659-8331.

Sheran Matson, AICP, DRB Chair
Development Review Board

TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, NOVEMBER 6, 2006.



Planning Department

CITY OF ALBUQUERQUE



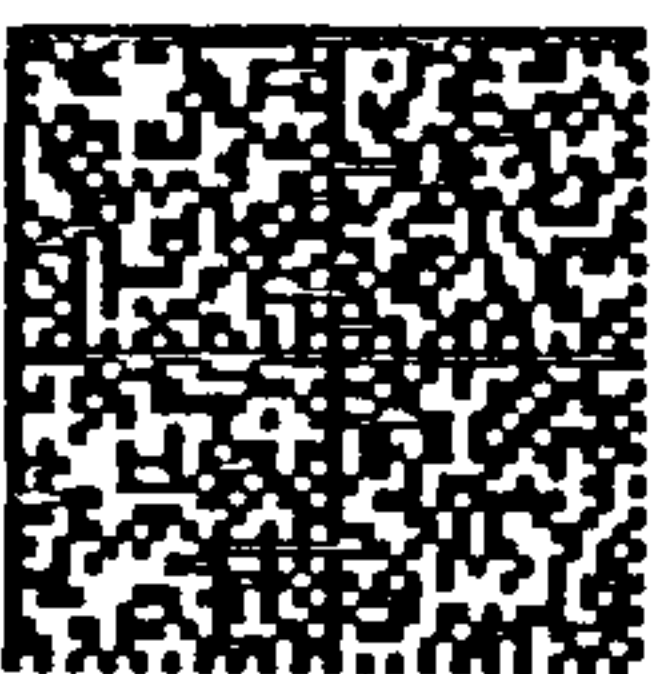
VACANT



VACANT

Or Current Resident

~~WILLIAMS MICHAEL
1733 JUNIPER RD N
RIDGWAY, CO 81432 8401~~



UNITED STATES POSTAGE



PINEY BOWES

02 1M

\$ 00.39⁰

0004219022

NOV 03 2006

MAILED FROM ZIP CODE 87102

Or Current Resident

DRB

P O Box 1293 Albuquerque, New Mexico 87103

City of Albuquerque  **DEVELOPMENT/ PLAN REVIEW APPLICATION**

- Supplemental form
- | | |
|--|--|
| SUBDIVISION | S Z ZONING & PLANNING |
| <input type="checkbox"/> Major Subdivision action | <input type="checkbox"/> Annexation |
| <input type="checkbox"/> Minor Subdivision action | <input type="checkbox"/> County Submittal |
| <input type="checkbox"/> Vacation | <input type="checkbox"/> EPC Submittal |
| <input type="checkbox"/> Variance (Non-Zoning) | <input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning) |
| SITE DEVELOPMENT PLAN | <input type="checkbox"/> Sector Plan (Phase I, II, III) |
| <input type="checkbox"/> for Subdivision | <input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan |
| <input checked="" type="checkbox"/> for Building Permit | <input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs) |
| <input type="checkbox"/> Administrative Amendment (AA) | <input type="checkbox"/> Street Name Change (Local & Collector) |
| <input type="checkbox"/> IP Master Development Plan | L A APPEAL / PROTEST of... |
| <input type="checkbox"/> Cert. of Appropriateness (LUCC) | <input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals |
| STORM DRAINAGE (Form D) | |
| <input type="checkbox"/> Storm Drainage Cost Allocation Plan | |

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): MODULUS ARCHITECTS PHONE: 338-1499x106
 ADDRESS: 2325 SAN PEDRO N.E. Ste 2B FAX: _____
 CITY: Alb STATE NM ZIP 87110 E-MAIL: _____

APPLICANT: UNITED GROWTH, LLC PHONE: 415 707 7008
 ADDRESS: 221 SPEAR ST FAX: 415 707 7009
 CITY: SAN FRANCISCO STATE CA ZIP 94105 E-MAIL: info@unitedgrowth.com
 Proprietary interest in site: _____ List all owners: LOVA'S HOME CENTERS, INC

DESCRIPTION OF REQUEST: SITE PLAN FOR BP APPEAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. A-1-B-2 Block: _____ Unit: _____
 Subdiv/Addr/TBKA: LOS ANGELES CENTER
 Existing Zoning: m-1 Proposed zoning: " " MRGCD Map No _____
 Zone Atlas page(s): D-13 UPC Code: _____

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.):
AA-09AA/021

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? _____
 No. of existing lots: 1 No. of proposed lots: 1 Total area of site (acres): .6721
 LOCATION OF PROPERTY BY STREETS: On or Near: SWC of PASADENA SAN PEDRO N.E
 Between: SAN PEDRO and I-25

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Jerry E DATE 4-20-09
 (Print) JERRY ENSEN Applicant: Agent:

FOR OFFICIAL USE ONLY

- INTERNAL ROUTING
- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Form revised 4/07

Application case numbers	Action	S.F.	Fees
<u>09DRB 70156</u>	<u>SBP P(3)</u>		<u>\$385.00</u>
	<u>CME</u>		<u>\$20.00</u>
	<u>ADV</u>		<u>\$75.00</u>
			\$ _____
			\$ _____
			\$ _____
			\$ _____
			Total
			<u>\$705.00</u>

PAID 05/07/09

Hearing date 06/03/09
 Planner signature / date Sandy Handley 04/21/09 Project # 1001946

FORM P(2): SITE PLAN REVIEW - D.R.B. PUBLIC HEARING

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB15)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Subdivision Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- DRB hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB14)** **Maximum Size: 24" x 36"**
- 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. (Folded to fit into an 8.5" by 14" pocket.) **24 copies** for DRB public hearings
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30 DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION or BUILDING PERMIT (DRB10)** **Maximum Size: 24" x 36"**
- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **24 copies**
 - DRB signed Site Plan for Subdivision, if applicable (required when amending SDP for Building Permit) **24 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
 - Sign Posting Agreement
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - 6 copies of the Infrastructure List, if relevant to the site plan
 - TIS/AQIA Traffic Impact Study form with required signature
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
- D. R. B. hearings are approximately 30DAYS after the filing deadline. **Bring the original** to the meeting.
Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

STEPHEN A. DUNBAR
 Applicant name (print)
Stephen A Dunbar 5/7/09
 Applicant signature / date



Form revised October 2007

<input checked="" type="checkbox"/> Checklists complete <input checked="" type="checkbox"/> Fees collected <input checked="" type="checkbox"/> Case #s assigned <input type="checkbox"/> Related #s listed	Application case numbers <u>09122F3 - 70156</u> _____ _____	_____ Planner signature / date Project # <u>1001946</u>
---	--	---

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from MAY 19, 2009 to JUNE 3, 2009

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Stephen A. Dunbar
(Applicant or Agent)

5/7/09
(Date)

I issued 1 signs for this application, 05/07/09 Sandy Handley
(Date) (Staff Member)

DRB PROJECT NUMBER: 1001946

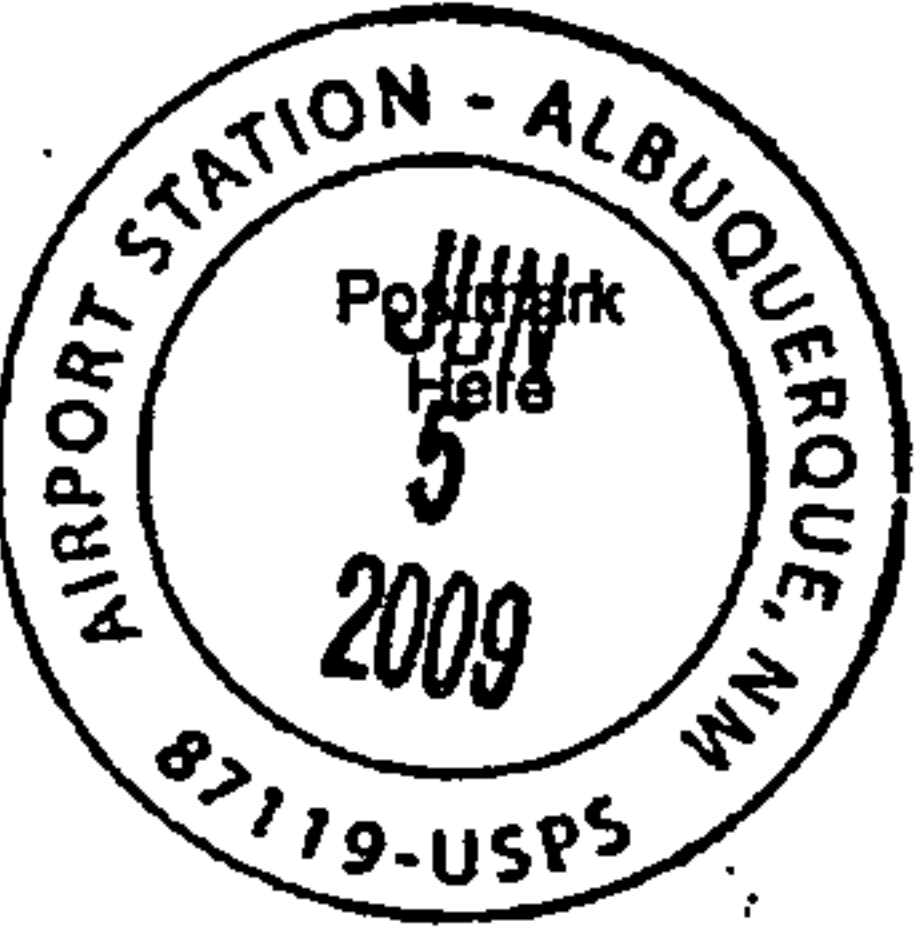
7008 1830 0004 6942 5827

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 4.95
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	2.80
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 10.05



Sent To: John Stutzman
 Street, Apt. No., or PO Box No. 6,800 Jade Park NE
 City, State, ZIP+4 Albuquerque NM 87109
 PS Form 3800, August 2006 See Reverse for Instructions

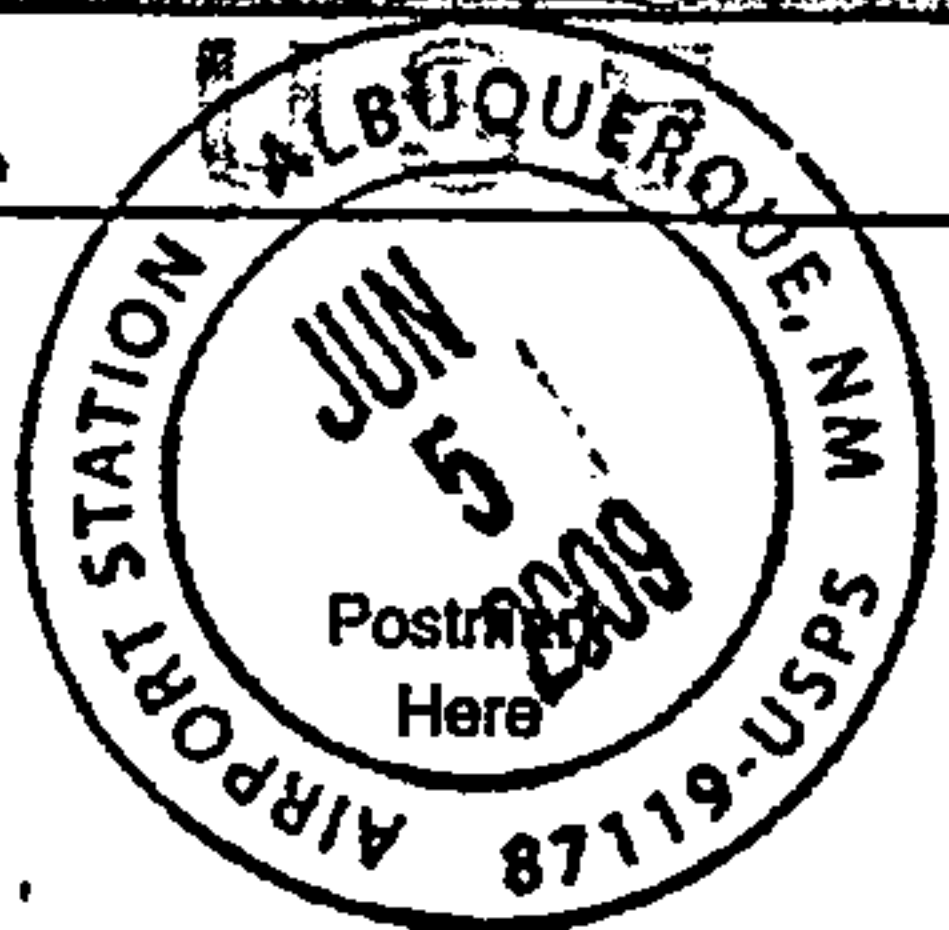
7008 1830 0004 6942 5810

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 4.95
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	2.80
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 10.05



Sent To: Karen Casaus
 Street, Apt. No., or PO Box No. 6,708 San Bernardino
 City, State, ZIP+4 Albuquerque NM 87109
 PS Form 3800, August 2006 See Reverse for Instructions

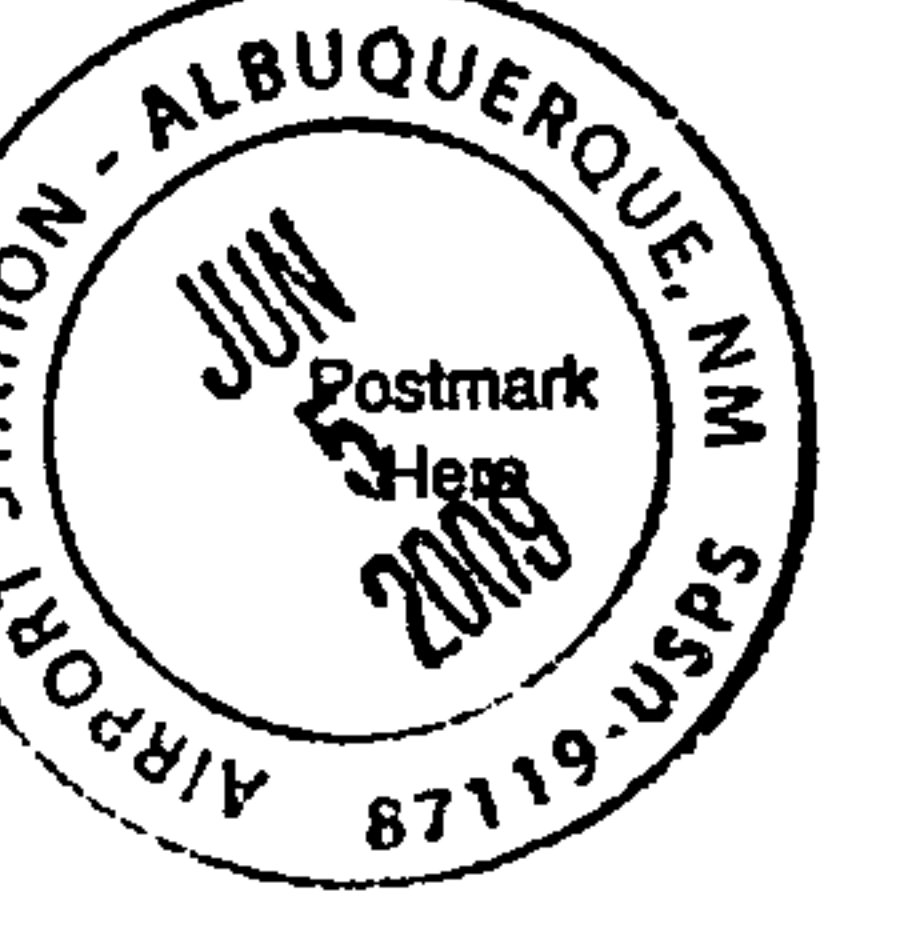
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U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

Postage	\$ 4.95
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	2.80
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 10.05



Sent To: Peggy Neff
 Street, Apt. No., or PO Box No. 8,305 Calle Sequella
 City, State, ZIP+4 Albuquerque NM 87113
 PS Form 3800, August 2006 See Reverse for Instructions

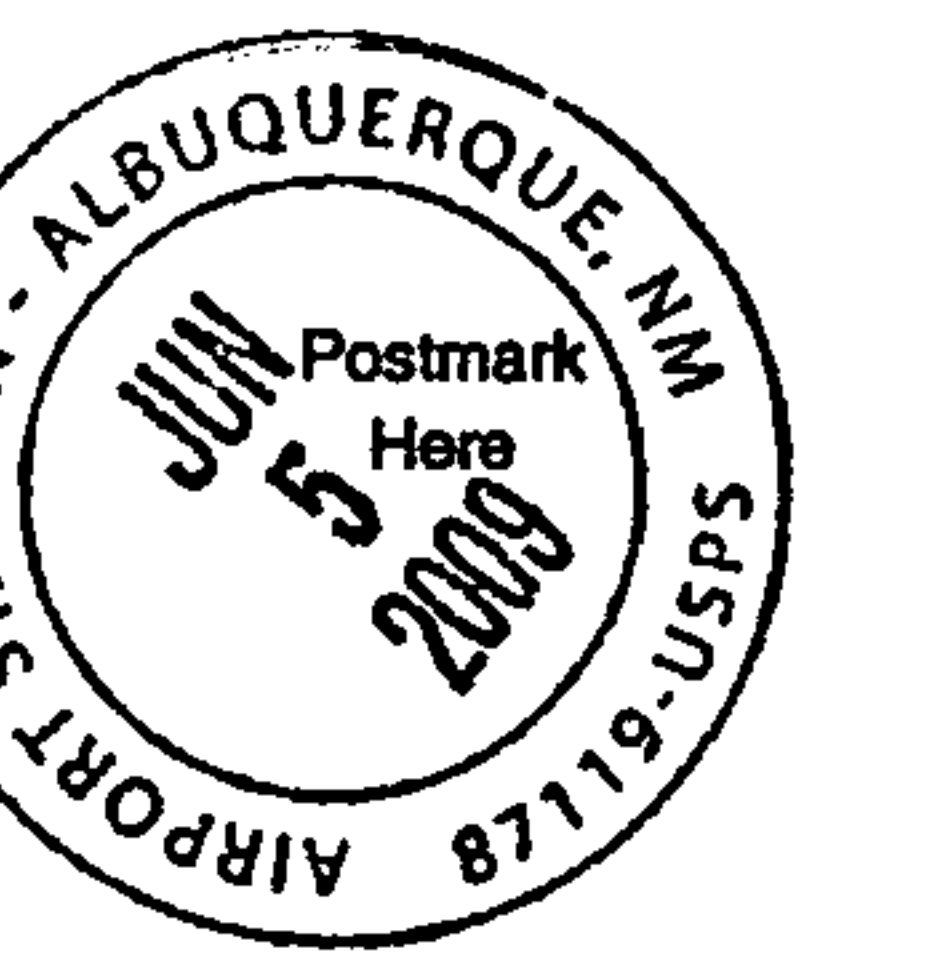
7008 1830 0004 6942 5808

U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

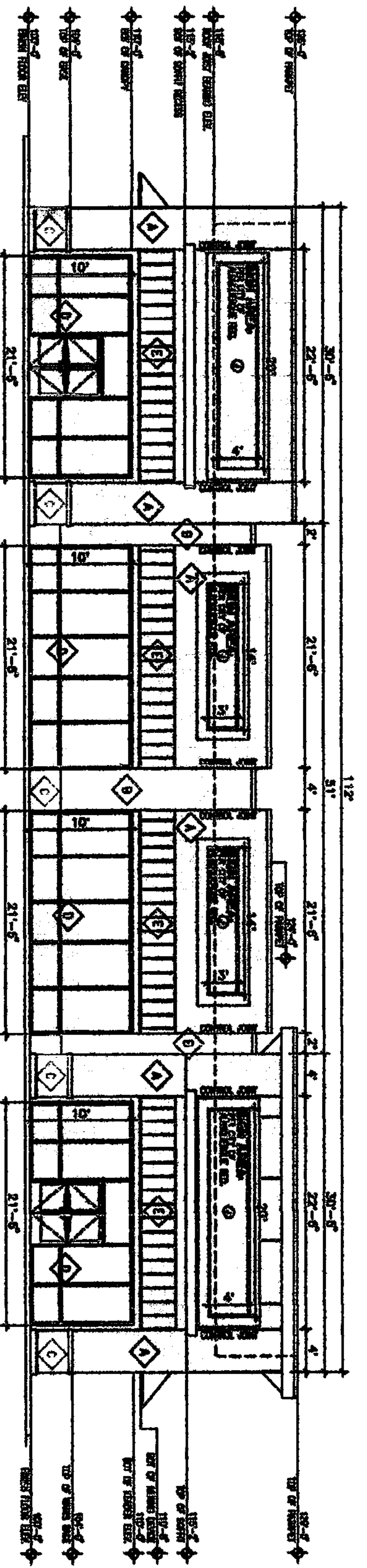
OFFICIAL USE

Postage	\$ 4.95
Certified Fee	2.30
Return Receipt Fee (Endorsement Required)	2.80
Restricted Delivery Fee (Endorsement Required)	
Total Postage & Fees	\$ 10.05



Sent To: April Sweet
 Street, Apt. No., or PO Box No. 6,939 Carmelita Ln. NE
 City, State, ZIP+4 Albuquerque NM 87113
 PS Form 3800, August 2006 See Reverse for Instructions

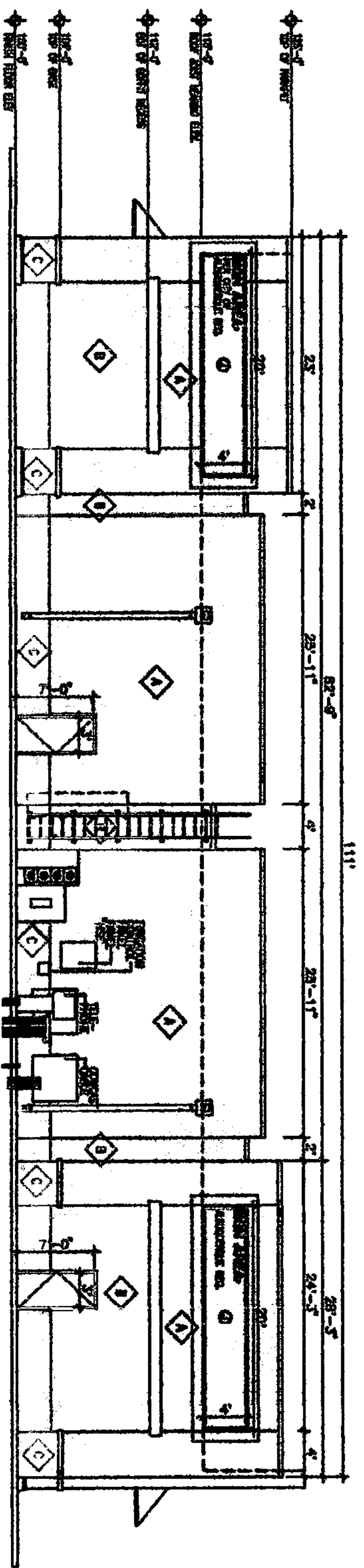
1001946



1 EASTERN ELEV.

Scale: 1/8"=1'

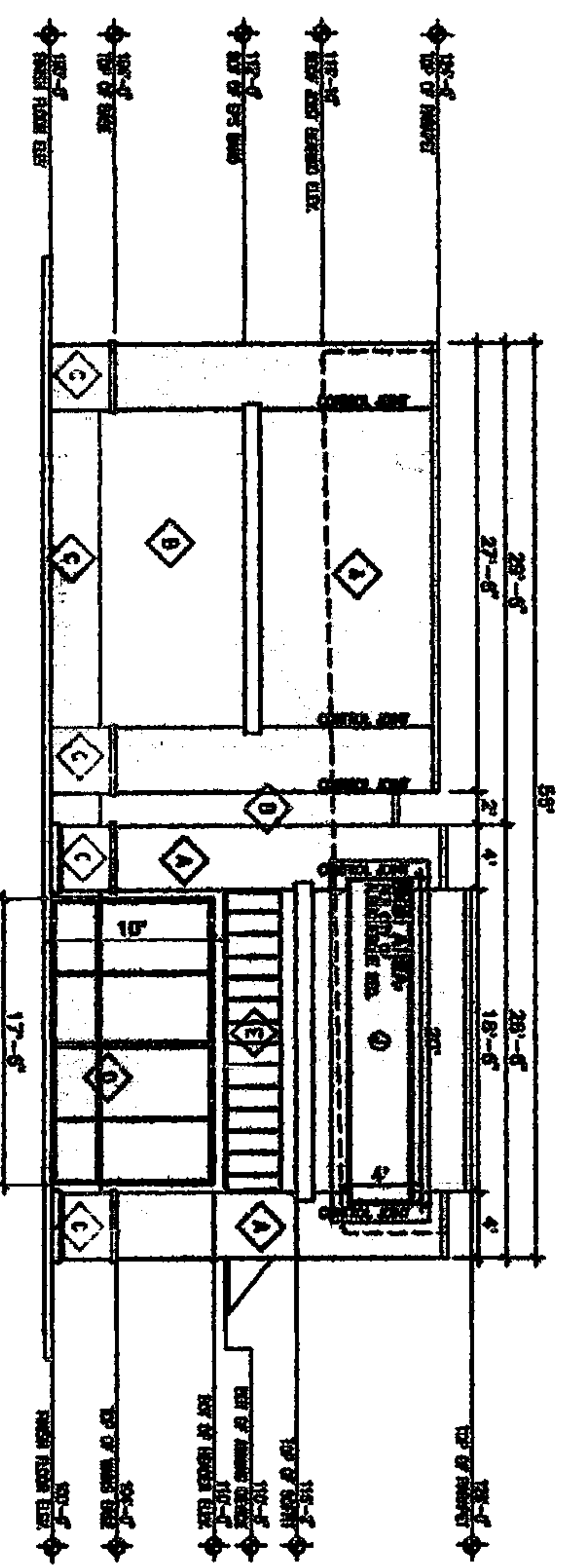
NOTE: ALL MATERIALS INDICATED SUBJECT TO APPROVAL BY THE CITY OF ALBUQUERQUE. APPROVALS FROM TO INSTALLATION.
 ① FULL-SHED STAINED AND FINISH SWISS



2 WESTERN ELEV.

Scale: 1/8"=1'

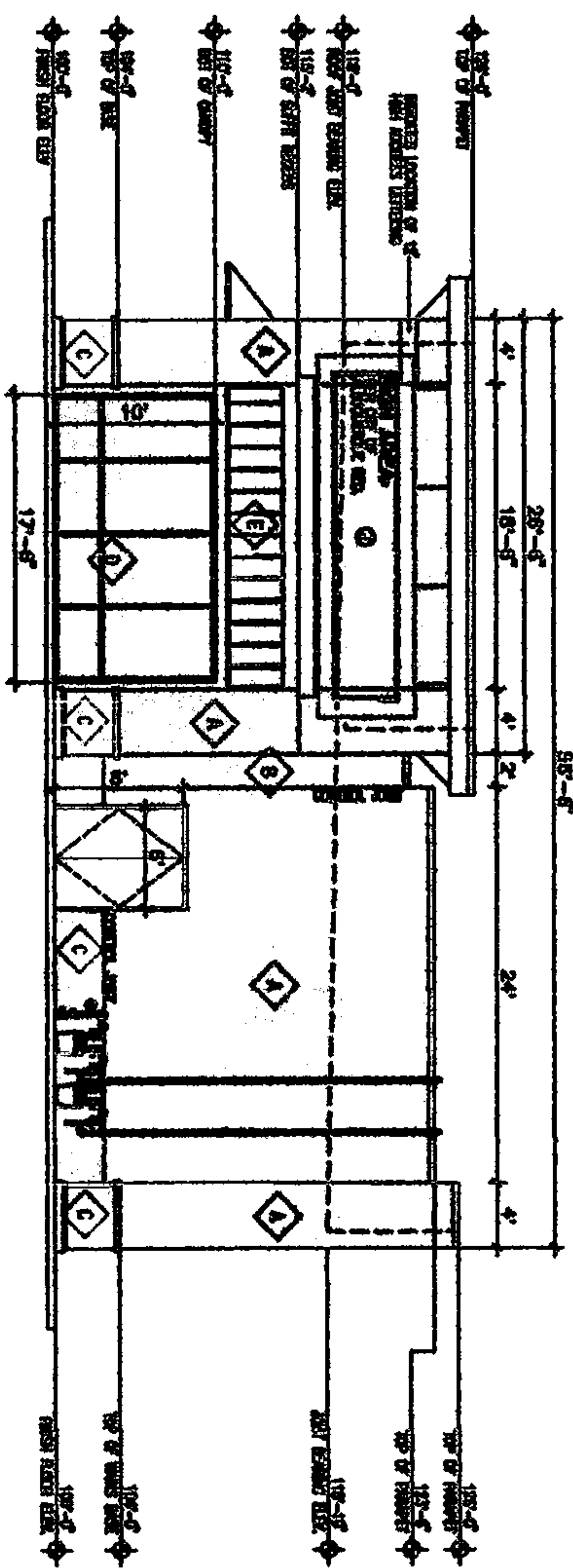
NOTE: ALL MATERIALS INDICATED SUBJECT TO APPROVAL BY THE CITY OF ALBUQUERQUE. APPROVALS FROM TO INSTALLATION.
 ① FULL-SHED STAINED AND FINISH SWISS



3 SOUTHERN ELEV.

Scale: 1/8"=1'

NOTE: ALL MATERIALS INDICATED SUBJECT TO APPROVAL BY THE CITY OF ALBUQUERQUE. APPROVALS FROM TO INSTALLATION.
 ① FULL-SHED STAINED AND FINISH SWISS



4 NORTHERN ELEV.

Scale: 1/8"=1'

NOTE: ALL MATERIALS INDICATED SUBJECT TO APPROVAL BY THE CITY OF ALBUQUERQUE. APPROVALS FROM TO INSTALLATION.
 ① FULL-SHED STAINED AND FINISH SWISS

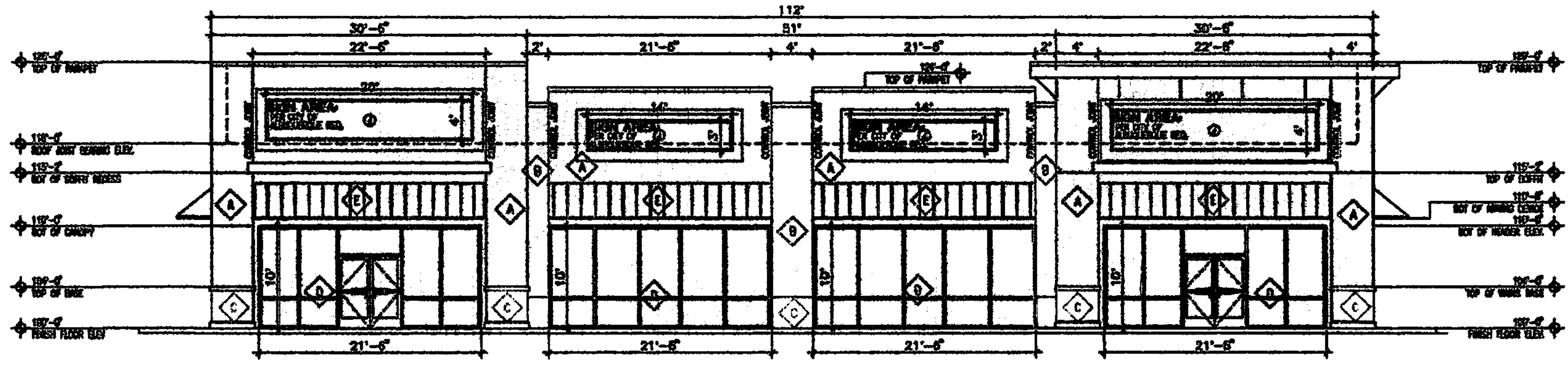
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◆	SOLID SYSTEM SPECIAL MILLING OILS GREEN COLOR DESCRIPTION (DARK GREEN)
◆	SOLID SYSTEM SPECIAL MILLING OILS RED COLOR DESCRIPTION (DARK RED)
◆	SOLID SYSTEM SPECIAL MILLING OILS BLUE COLOR DESCRIPTION (DARK BLUE)
◆	SOLID SYSTEM SPECIAL MILLING OILS WHITE COLOR DESCRIPTION (DARK WHITE)
◆	SOLID SYSTEM SPECIAL MILLING OILS GRAY COLOR DESCRIPTION (DARK GRAY)
◆	SOLID SYSTEM SPECIAL MILLING OILS BLACK COLOR DESCRIPTION (DARK BLACK)
◆	SOLID SYSTEM SPECIAL MILLING OILS RED COLOR DESCRIPTION (DARK RED)
◆	SOLID SYSTEM SPECIAL MILLING OILS GREEN COLOR DESCRIPTION (DARK GREEN)
◆	SOLID SYSTEM SPECIAL MILLING OILS BLUE COLOR DESCRIPTION (DARK BLUE)
◆	SOLID SYSTEM SPECIAL MILLING OILS WHITE COLOR DESCRIPTION (DARK WHITE)
◆	SOLID SYSTEM SPECIAL MILLING OILS GRAY COLOR DESCRIPTION (DARK GRAY)
◆	SOLID SYSTEM SPECIAL MILLING OILS BLACK COLOR DESCRIPTION (DARK BLACK)

PROJECT TITLE SHOPS 1 PASO DEL NORTE AND SAN PEDRO ALBUQUERQUE, NEW MEXICO	JOB NO.	DRAWN BY: MSW
PROJECT ARCHITECT STEPHEN DUNBAR, AIA		
SHEET TITLE ELEVATIONS		
DATE 4/29/2009	SCALE AS NOTED	
SHEET NO. A2.0		



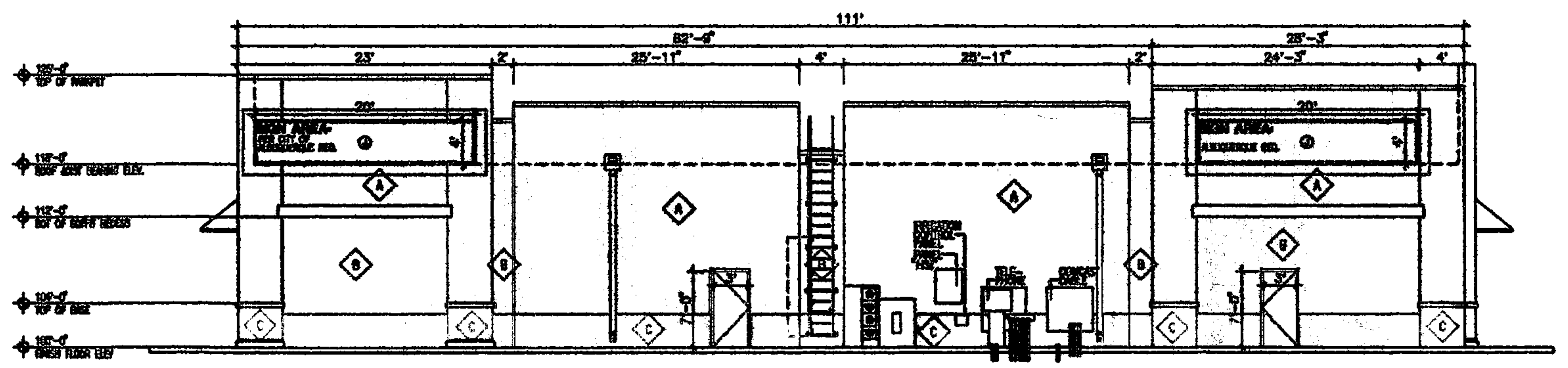
MODULUS ARCHITECTS
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 338-1499 FAX (505) 338-1498
 TOLL FREE 1-888-224-2161

REV	DATE	BY	REVISION
1			
2			
3			
4			



1 EASTERN ELEV.

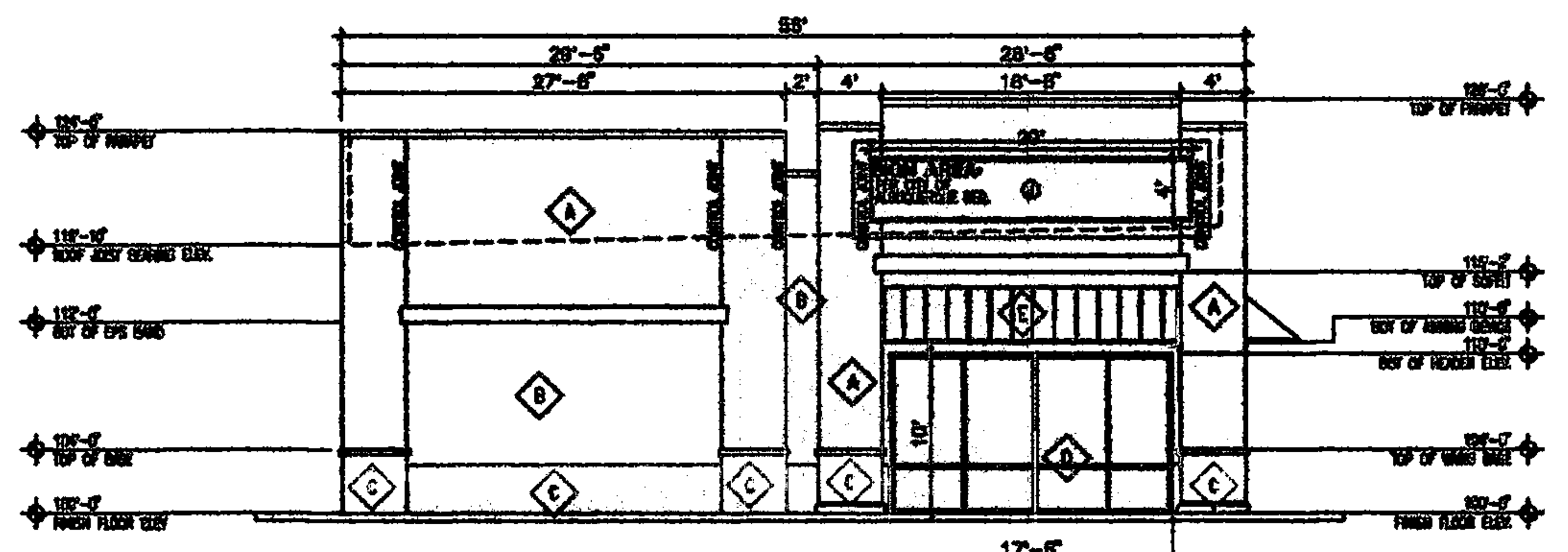
Scale: 1/8"=1'
 NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR
 ① 1/2" BOX LOCATOR W/ CONDUIT AND FULL-SHROU STUBBED INTO TENANT SPACE



2 WESTERN ELEV.

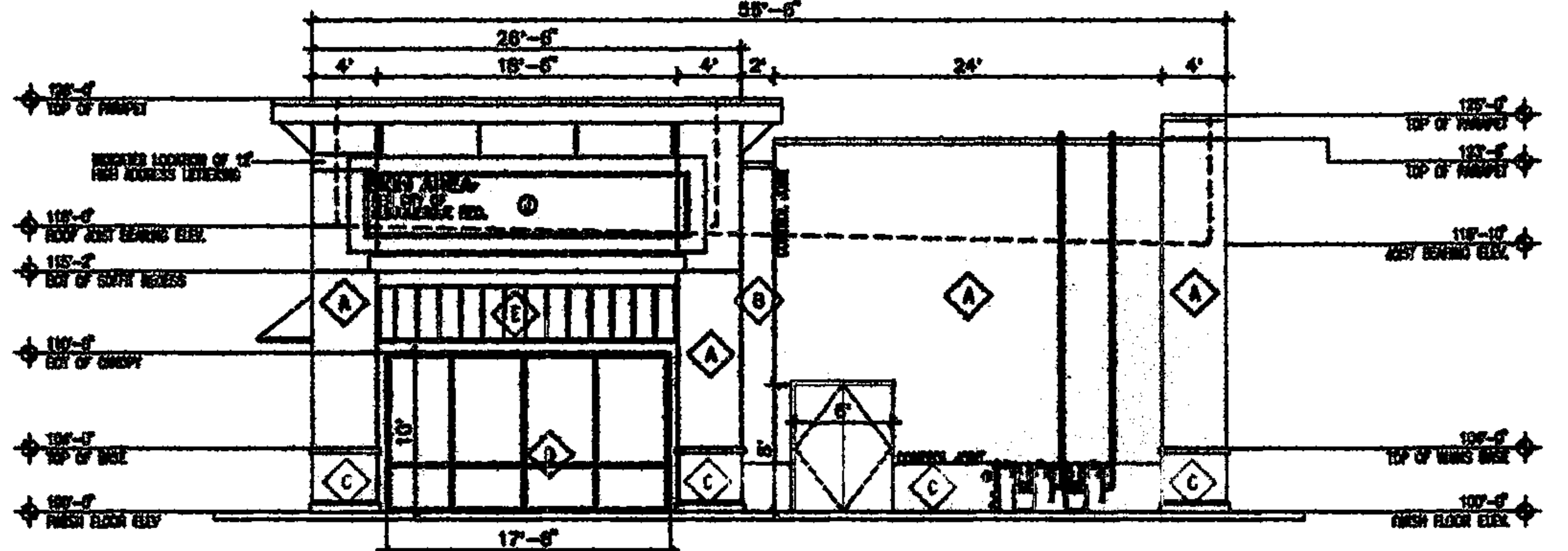
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 NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR
 ① 1/2" BOX LOCATOR W/ CONDUIT AND FULL-SHROU STUBBED INTO TENANT SPACE

Keyed Color / Material Schedule	
Ⓐ	STUCCO SYSTEM SHERWIN WILLIAMS 6105 TAN GRAY GENERIC COLOR DESCRIPTION (DARK BROWN)
Ⓑ	STUCCO SYSTEM SHERWIN WILLIAMS 6004 SHERWIN WILLIAMS GENERIC COLOR DESCRIPTION (MEDIUM BROWN)
Ⓒ	STUCCO SYSTEM SHERWIN WILLIAMS 6105 TAN GRAY GENERIC COLOR DESCRIPTION (BEIGE)
Ⓓ	STOREFRONT SYSTEM SILVER ANODIZED ALUMINUM RE: FINISH SCHEDULE FOR MFC'S
Ⓔ	CANOPY ROOFING MATERIAL CANOPY MATERIAL GALVALUM (SILVER STANDING SEAM)



3 SOUTHERN ELEV.

Scale: 1/8"=1'
 NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR
 ① 1/2" BOX LOCATOR W/ CONDUIT AND FULL-SHROU STUBBED INTO TENANT SPACE



4 NORTHERN ELEV.

Scale: 1/8"=1'
 NOTE: ALL BUILDING MOUNTED SIGNAGE IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TENANT SIGN CONTRACTOR
 ① 1/2" BOX LOCATOR W/ CONDUIT AND FULL-SHROU STUBBED INTO TENANT SPACE

REV	DATE	BY	REVISION
1			
2			
3			
4			

MODULUS ARCHITECTS
 2925 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 338-1499 FAX (505) 338-1498
 TOLL FREE 1-888-224-2161



PROJECT TITLE
SHOPS 1
 PASO DEL NORTE AND SAN PEDRO
 ALBUQUERQUE, NEW MEXICO
 JOB NO.
 DRAWN BY
 STEPHEN DURBAQ, AIA
 CHECKED BY
 MSW
ELEVATIONS

DATE
 4/20/2008
 SCALE
 AS NOTED
 SHEET NO.
A2.0

development of the remaining tracts at the northeast and southwest corners. These standards address the issues of pedestrian pathways and plazas, parking, setbacks, landscape, screen walls and fences, architecture, lighting, and signage to create the quality image desired for this development.

Subsequent Site Development Plans for Building Permit shall be consistent with the design standards established in this Site Development Plan for Subdivision and shall be approved by the planning director. Major amendments to this Site Development Plan for Subdivision shall be approved by the Environmental Planning Commission.

Pedestrian Pathways and Plazas

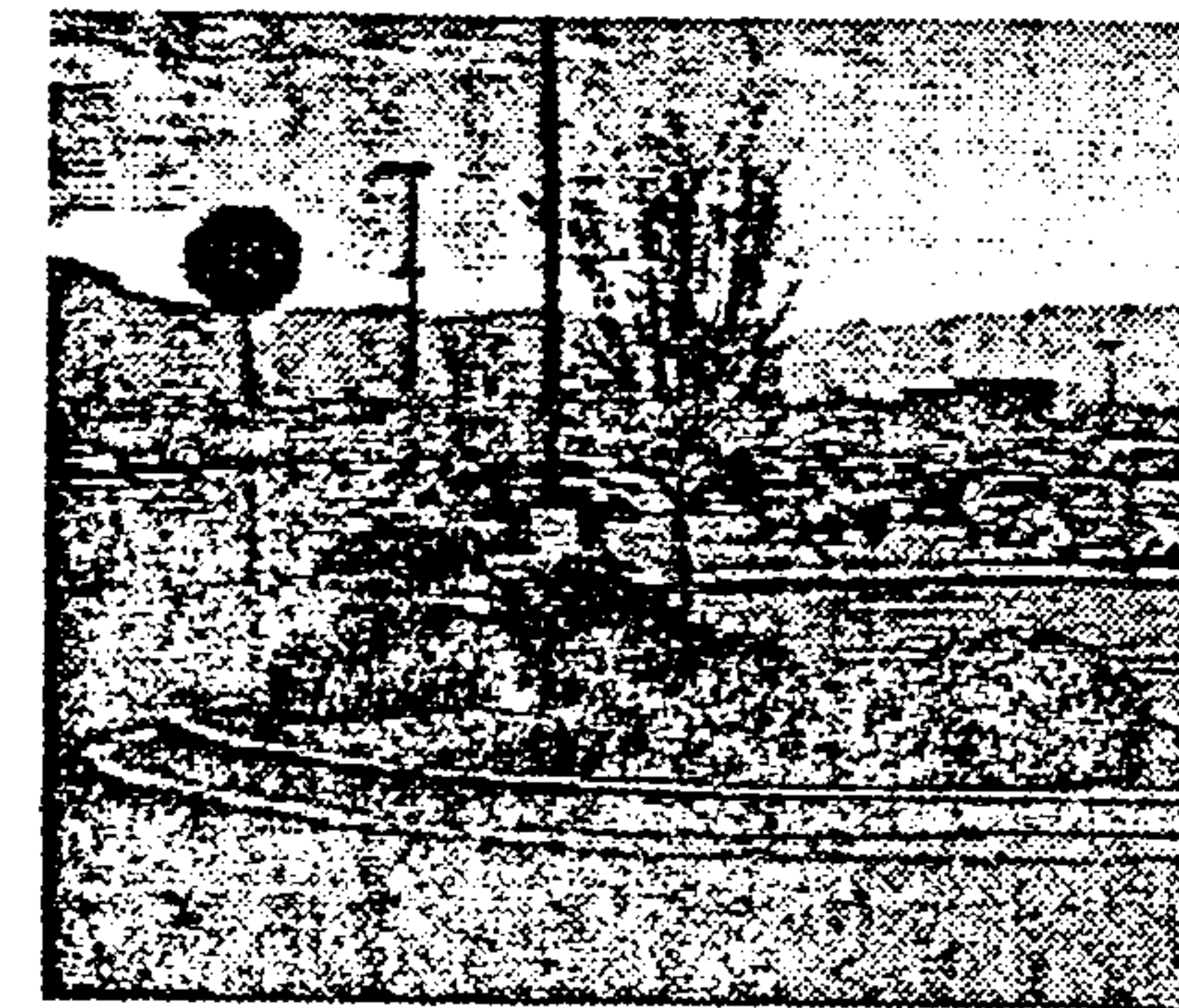
Creation of a pedestrian friendly environment is a primary goal of these design standards. Objectives for achieving this goal include establishing an organized and continuous network of pedestrian paths and the use of consistent site furnishings, pathway materials and lighting throughout the development. The pedestrian pathway system includes sidewalks and pedestrian pathways across parking areas and other vehicular paths.

- Perimeter sidewalks shall connect with the internal pedestrian pathway system.
- Pedestrian pathways through vehicular areas shall be clearly demarcated through the use of contrasting paving material, such as colored concrete, brick or concrete pavers.
- Pedestrian pathways connecting buildings to perimeter sidewalks shall be provided through parking areas. These pathways can be provided at the perimeter of parking areas, or between parking rows.
- Plaza areas for gathering or outdoor dining shall be located at or near building entries and at major pedestrian pathway intersections. Plazas shall be shaded with trees and/or shade structures architecturally integrated with the adjacent building

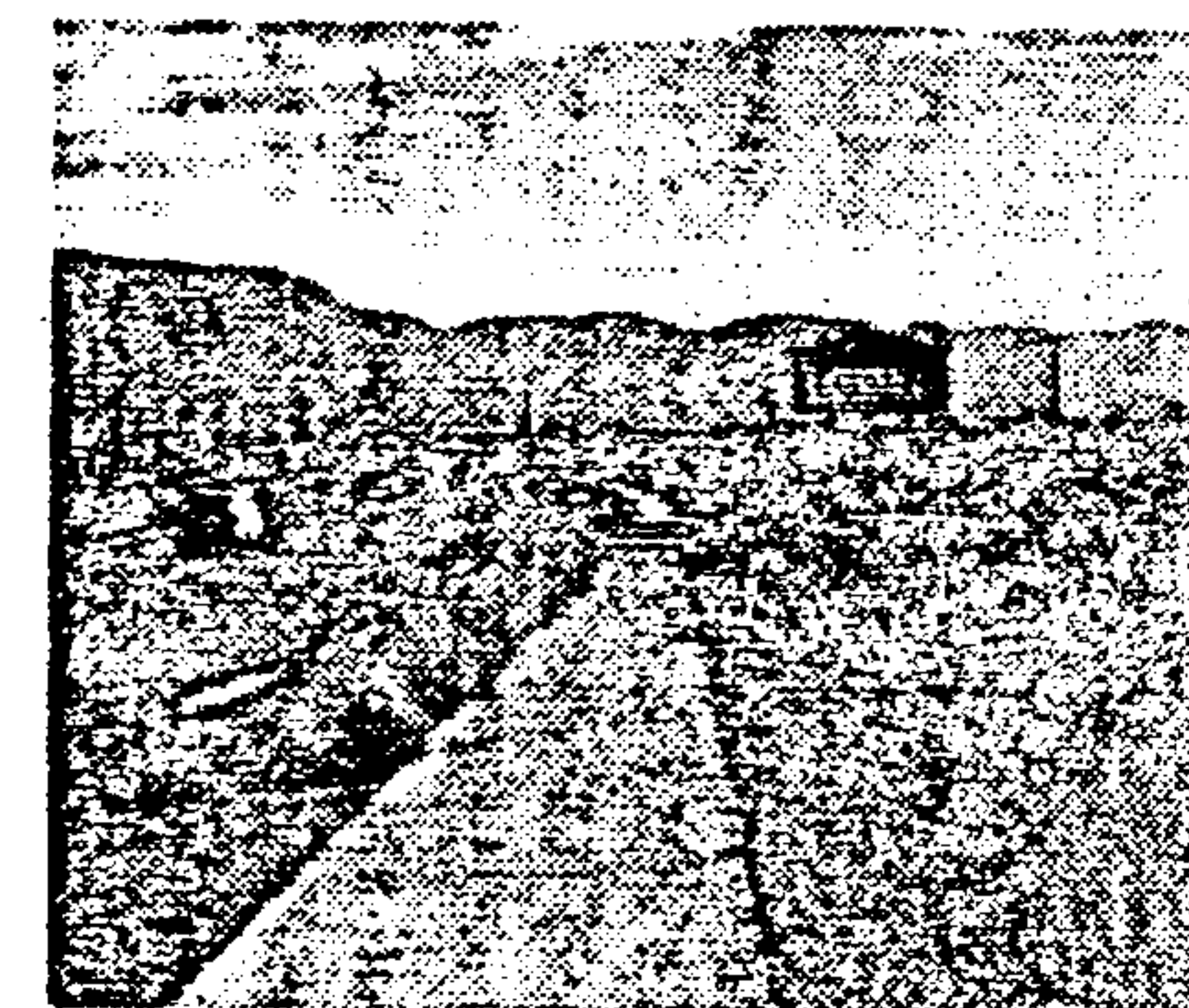
The pedestrian pathways and plazas shall comply with the City of Albuquerque Zoning Code, Section 4-16-3-1(G), Pedestrian Connections, and Section 14-16-3-18, General Building and Site Design Regulations for Non-Residential Uses.

Parking

VEGETATION ALONG
PASEO DEL NORTE



VEGETATION AT ISLA



SIDEWALK ALONG
PASEO DEL NORTE





- All structures within a single tract, including walls, screens, and ancillary structures, shall be architecturally coordinated with the buildings to which they relate.
- The use of architecturally integrated shading devices along pedestrian pathways adjacent to building facades is encouraged.
- Building detailing, colors and materials shall be selected to reinforce New Mexico's unique architectural character. Materials allowed include: stucco, decorative concrete masonry units, brick, and metal accents. Colors shall be earthtones, ranging from light tans to dark browns, reds from terra cotta to brick red, and muted greens and blues. Accent colors relevant to the corporate identity of specific tenants may be used as accents.
- All buildings shall be designed "...to mitigate the negative visual impacts arising from the scale, bulk and mass inherent to large commercial buildings" in full compliance with the Albuquerque Comprehensive Zoning Code, section 14-16-3-18, General Building and Site Design Regulation for Non-Residential uses.

Lighting

Consistency in lighting design is a primary goal of these design standards. In order to enhance security and visual aesthetics, careful consideration of site lighting design is required to maximize public safety while minimizing glare both on site and on adjacent properties.

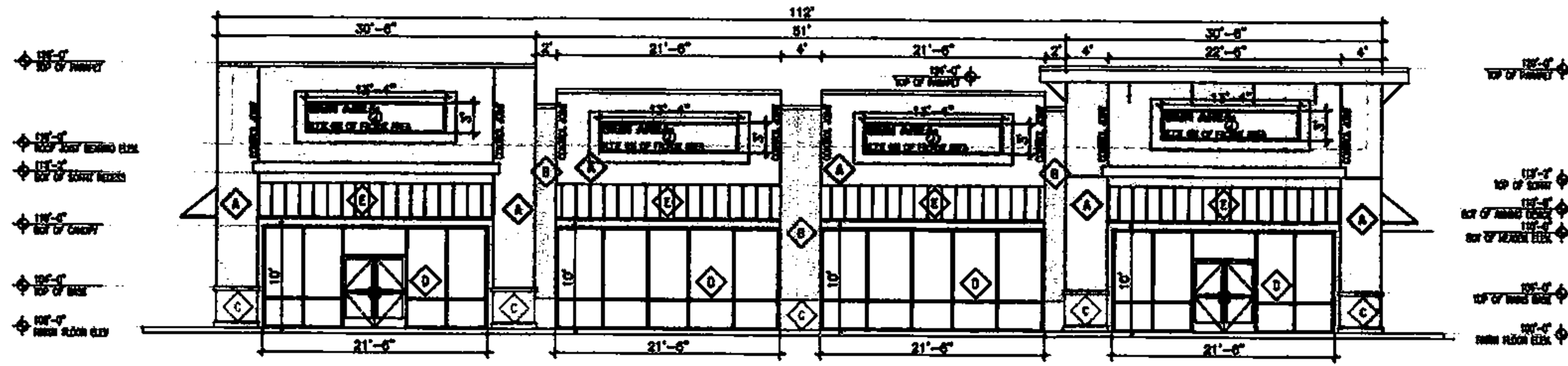


- Lighting design shall comply with the City of Albuquerque Zoning Code, Section 14-16-3-9, Area Lighting Regulations, and the State Statute on Dark skies.
- Parking area lighting shall be provided with fixtures of a similar design, color and height for all tracts within the development.
- Area light fixtures shall be full cut-off design with no visible light source above a horizontal line projected from the bottom of the fixture housing. Building mounted fixtures shall also comply with this requirement.

Signage

6% of facade *no* *for* *retail* *letter*

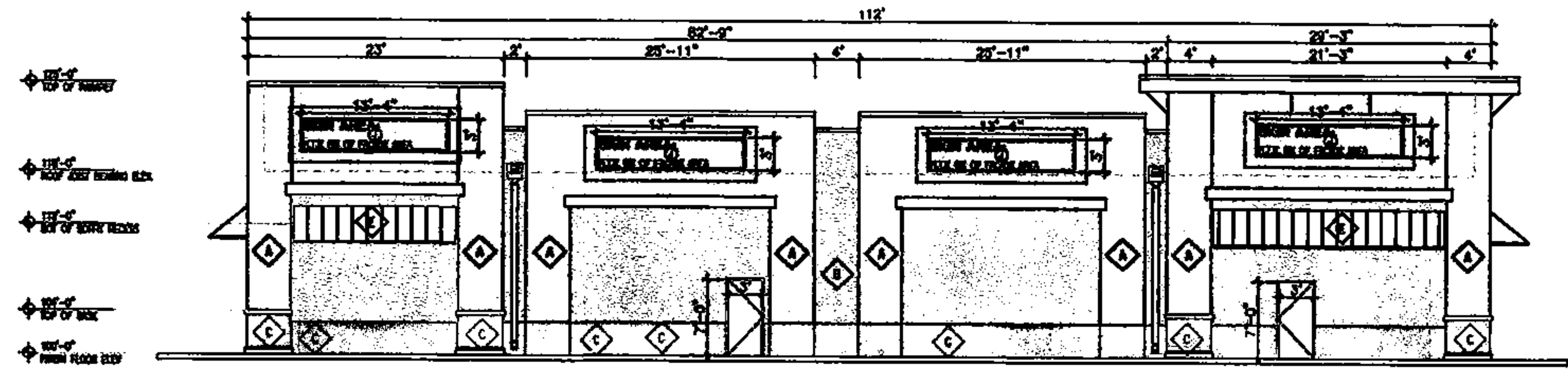
The following standards were developed to regulate the size, location, type and quality of sign elements within the overall development. The goal is to provide consistency in appearance and quality, and compliments the visual character of the development.



1 EASTERN ELEV.

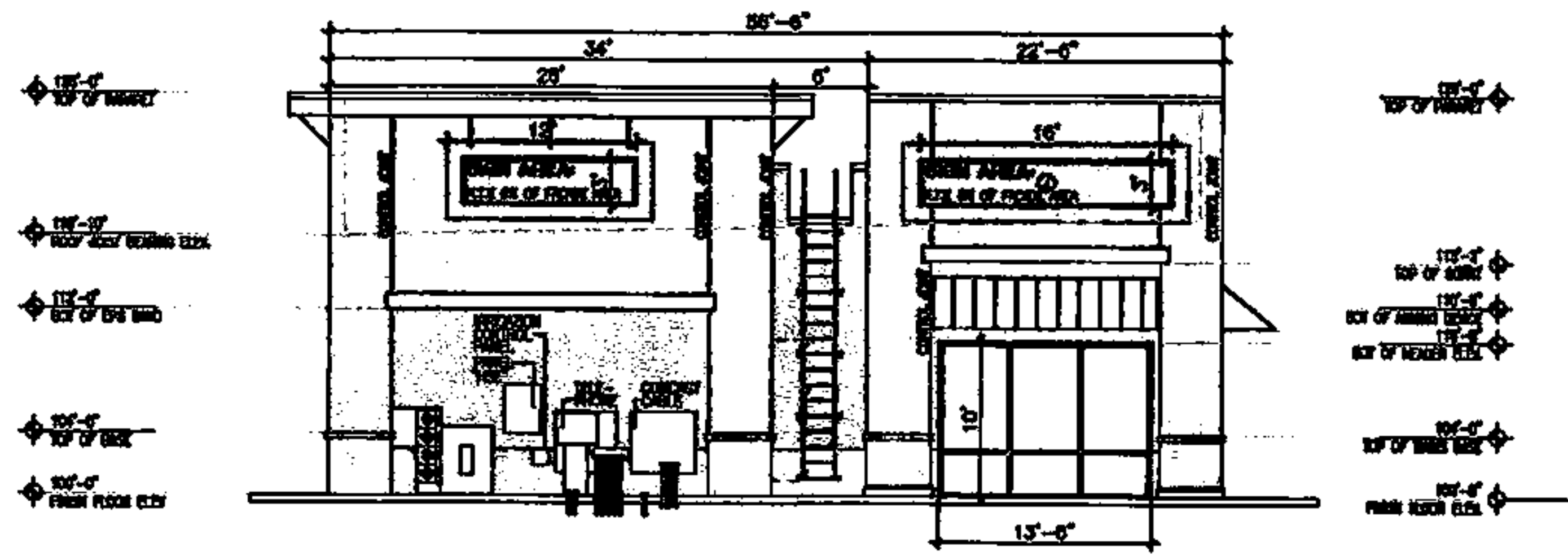
Scale: 1/8"=1'
 NOTE: ALL BUILDING RELATED DIMENSIONS IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TERRY'S SIGN CONTRACTOR
 1. SEE LOCATION W/ CONCRETE AND FULL-SHIMS SHIPPED INTO TERRY SPACE

Keyed Color / Material Schedule	
◆ A	STUCCO SYSTEM SHERWIN WILLIAMS 6003 T&L CRIST GENERAL COLOR DESCRIPTION (DARK BROWN)
◆ B	STUCCO SYSTEM SHERWIN WILLIAMS 6004 SUNSHINE SAND GENERAL COLOR DESCRIPTION (MEDIUM BROWN)
◆ C	STUCCO SYSTEM SHERWIN WILLIAMS 6206 EAGLE WHITE GENERAL COLOR DESCRIPTION (BEIGE)
◆ D	STONEFRONT SYSTEM SILVER BRONZED ALUMINUM SEE FINISH SCHEDULE FOR INFO'S
◆ E	CHIMNEY ROOFING MATERIAL CHIMNEY SYSTEM CALVALIN (SILVER STAINING SEAM)



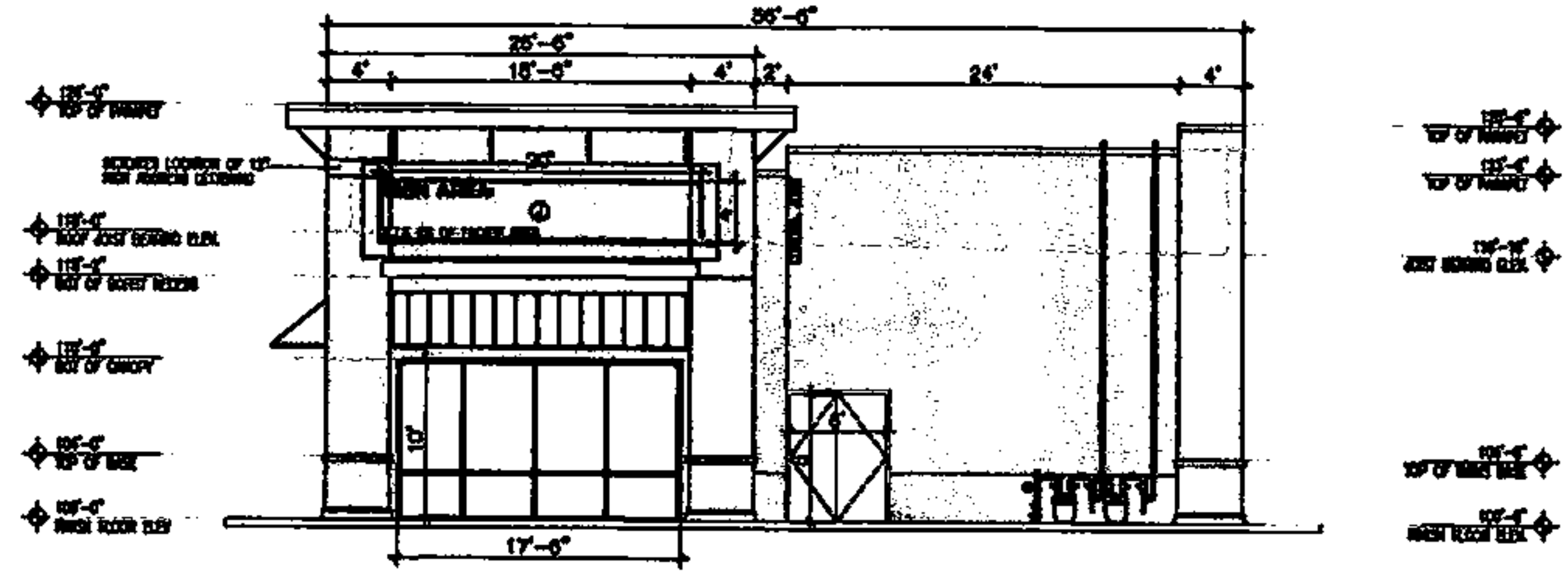
2 WESTERN ELEV.

Scale: 1/8"=1'
 NOTE: ALL BUILDING RELATED DIMENSIONS IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TERRY'S SIGN CONTRACTOR
 1. SEE LOCATION W/ CONCRETE AND FULL-SHIMS SHIPPED INTO TERRY SPACE



3 SOUTHERN ELEV.

Scale: 1/8"=1'
 NOTE: ALL BUILDING RELATED DIMENSIONS IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TERRY'S SIGN CONTRACTOR
 1. SEE LOCATION W/ CONCRETE AND FULL-SHIMS SHIPPED INTO TERRY SPACE



4 NORTHERN ELEV.

Scale: 1/8"=1'
 NOTE: ALL BUILDING RELATED DIMENSIONS IS SUBJECT TO CITY OF ALBUQUERQUE APPROVALS PRIOR TO INSTALLATION BY TERRY'S SIGN CONTRACTOR
 1. SEE LOCATION W/ CONCRETE AND FULL-SHIMS SHIPPED INTO TERRY SPACE

REV	DATE	BY	REVISION
▲			
▲			
▲			
▲			

MODULUS ARCHITECTS
 2225 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 398-1488 FAX (505) 398-1498
 TOLL FREE 1-866-224-216

PROJECT: **SHOPS 1**
 PASSED DEL MONTE AND SAN PEDRO
 ALBUQUERQUE, NEW MEXICO

ARCHITECT: **STEPHEN CURRAN, AIA**
 4208 W. 4TH AVE.
 ALBUQUERQUE, NM 87106

DATE: **4/20/2009**

SCALE: **A2.0**

AS NOTED

City of Albuquerque Planning Department
One Stop Shop – Development and Building Services

05/07/2009 Issued By: PLNSDH

11
11
11
11

Permit Number: 2009 070 156

Category Code 910

Application Number: 09DRB-70156, Major - Sdp For Building Permit

Address:

Location Description: SW CORNER OF PASEO DEL NORTE & SAN PEDRO NE AND I-25

Project Number: 1001946

Applicant
United Growth Llc

Agent / Contact
Modulus Architects

201 Spear St
San Francisco CA 94105

2325 San Pedro Ne Ste 2b
Albuquerque NM 87110
338-149

Application Fees

441018/4971000	Public Notification	\$75.00
441032/3424000	Conflict Mgmt Fee	
441006/4983000	DRB Actions	
TOTAL:		\$75.00

City Of Albuquerque
Treasury Division

5/7/2009 12:17PM LOC: ANNX
WS# 006 TRANSH 0009
RECEIPT# 00105675-00105675
PERMIT# 2009070156 TRSDMG
Trans. Amt \$75.00
APN Fee \$75.00
VI \$75.00
CHANGE \$0.00

Thank You

City of Albuquerque Planning Department

One Stop Shop – Development and Building Services

04/21/2009 Issued By: PLNSDH

Permit Number: 2009 070 156

Category Code 910

Application Number: 09DRB-70156, Minor - Sdp For Building Permit

Address:

Location Description: SW CORNER OF PASEO DEL NORTE & SAN PEDRO NE AND I-25

Project Number: 1001948

Applicant
United Growth Llc

201 Spear St
San Francisco CA 94 105

Agent / Contact
Modulus Architects

2325 San Pedro Ne Ste 2b
Albuquerque NM 87110
338-149

Application Fees

441018/4971000	Public Notification	
441032/3424000	Conflict Mgmt Fee	\$20.00
441008/4983000	DRB Actions	\$385.00
TOTAL:		\$405.00

City Of Albuquerque
Treasury Division

4/21/2009 11:49AM LOC: ANNX
WSH 007 TRANSH 0032
RECEIPT# 00113944-00113944
PERMITH 2009070156 TRSLJS
Trans Amt \$405.00
Conflict Manag. Fee \$20.00
DRB Actions \$385.00
VI \$405.00
CHANGE \$0.00

Thank You

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- for Subdivision
- for Building Permit
- Administrative Amendment (AA)
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- Storm Drainage Cost Allocation Plan

ZONING & PLANNING

- Annexation
- County Submittal
- EPC Submittal
- Zone Map Amendment (Establish or Change Zoning)
- Sector Plan (Phase I, II, III)
- Amendment to Sector, Area, Facility or Comprehensive Plan
- Text Amendment (Zoning Code/Sub Regs)
- Street Name Change (Local & Collector)
- APPEAL / PROTEST of...**
- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Bohannan Huston, Inc. PHONE: (505) 823-1000
 ADDRESS: 7500 Jefferson Street, NE FAX: (505) 798-7988
 CITY: Albuquerque STATE NM ZIP 87124 E-MAIL: pwymmer@bhinc.com

APPLICANT: United Growth, LLC PHONE: (415) 707-7008
 ADDRESS: 201 Spear Street, Suite 1150 FAX: (415) 707-7009
 CITY: San Francisco STATE CA ZIP 94105 E-MAIL: jerry@unitedgrowth.com

Proprietary interest in site: Developer List all owners: Lowe's Companies Inc.

DESCRIPTION OF REQUEST: Create a new parcel for a proposed pad building

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. A-1-B Block: _____ Unit: _____
 Subdiv/Addn/TBKA: Los Angeles Center
 Existing Zoning: M-1 Proposed zoning: No Change MRGCD Map No _____
 Zone Atlas page(s): D-18 UPC Code: 101806319545920804

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): _____
ZA-99-025, 1001946 (05EPC-00176)

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? Yes
 No. of existing lots: 1 No. of proposed lots: 2 Total area of site (acres): 16.5189

LOCATION OF PROPERTY BY STREETS: On or Near: Paseo Del Norte

Between: Interstate 25 and San Pedro

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team Date of review: 9-16-08

SIGNATURE *Paul M. Wymer* DATE 2-10-09

(Print) Paul M. Wymer Applicant: Agent:

FOR OFFICIAL USE ONLY

Form revised 4/07

INTERNAL ROUTING

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers
09DRB 70070

Action
P&F
CMF

SF	Fees
<u>5(3)</u>	\$ <u>285.00</u>
	\$ <u>20.00</u>
	\$ _____
	\$ _____
	\$ _____
	\$ _____
	\$ _____
	Total
	\$ <u>305.00</u>

Hearing date 02/25/09

Sandy Handley 02/17/09
 Planner signature / date

Project # 1001946

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** Your attendance is required.
 - Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application

- EXTENSION OF MAJOR PRELIMINARY PLAT (DRB08)** Your attendance is required.
 - Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Copy of DRB approved infrastructure list
 - Copy of the LATEST Official DRB Notice of approval for Preliminary Plat Extension request
 - List any original and/or related file numbers on the cover application

Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL (DRB12)** Your attendance is required.
 - Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - Design elevations & cross sections of perimeter walls **3 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Copy of recorded SIA
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - List any original and/or related file numbers on the cover application
 - DXF file and hard copy of final plat data for AGIS is required.

- MINOR SUBDIVISION PRELIMINARY/FINAL PLAT APPROVAL (DRB16)** Your attendance is required.
 - 5 Acres or more: Certificate of No Effect or Approval
 - Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) **6 copies** for unadvertised meetings ensure property owner's and City Surveyor's signatures are on the plat prior to submittal
 - Signed & recorded Final Pre-Development Facilities Fee Agreement for Residential development only
 - Design elevations and cross sections of perimeter walls (11" by 17" maximum) **3 copies**
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - Landfill disclosure and EHD signature line on the Mylar if property is within a landfill buffer
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application
 - Infrastructure list if required (**verify with DRB Engineer**)
 - DXF file and hard copy of final plat data for AGIS is required.

- AMENDMENT TO PRELIMINARY PLAT (with minor changes) (DRB03)** Your attendance is required.

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

 - Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Bring original Mylar of plat to meeting, ensure property owner's and City Surveyor's signatures are on the plat
 - List any original and/or related file numbers on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

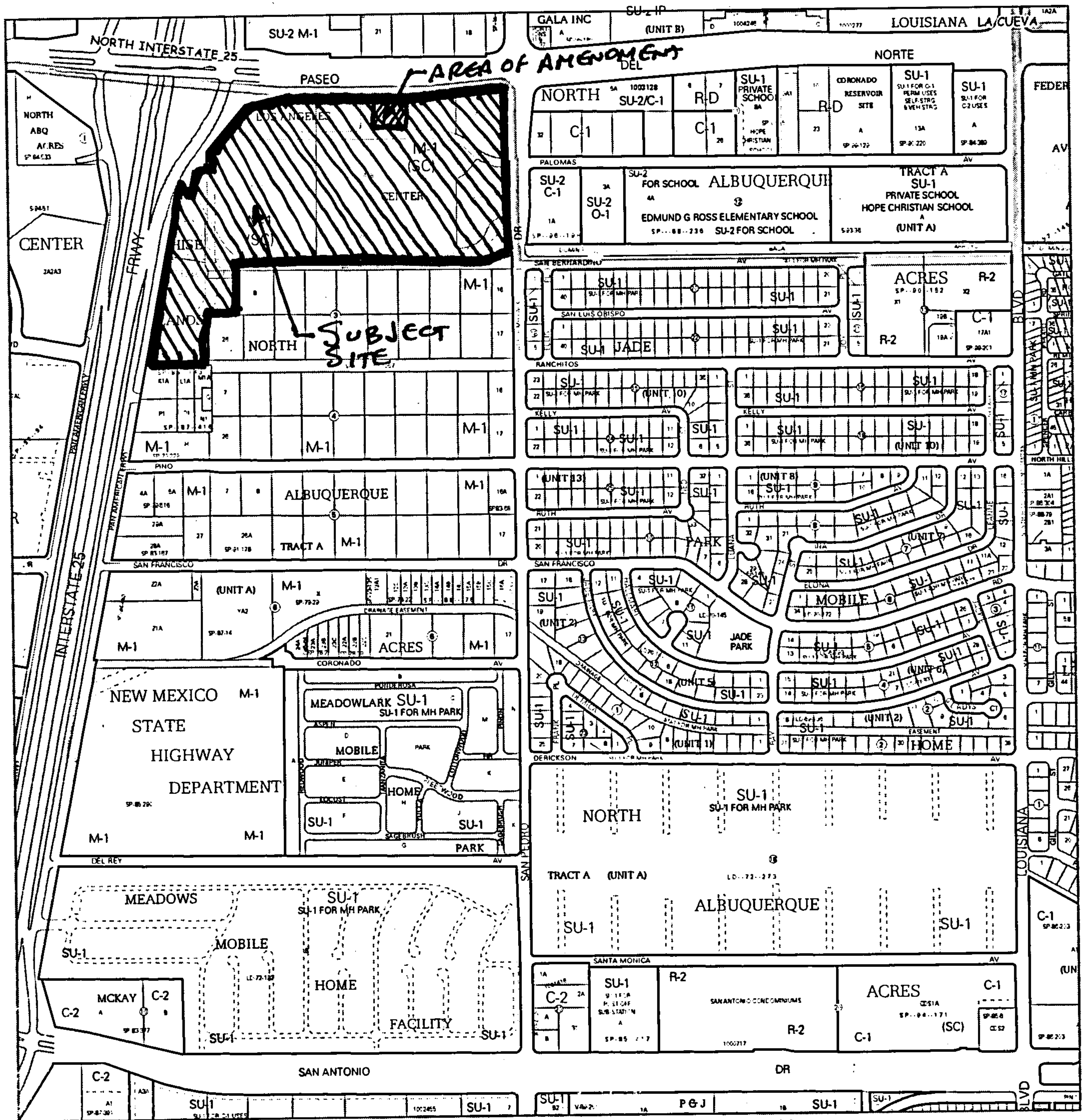
PAUL M. WYMER
 Applicant name (print)
Paul W. W. W. 2/10/09
 Applicant signature / date



- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
09DRB-70076

Form revised October 2007
Sandy Handley 02/17/09
 Planner signature / date
 Project # 1001946



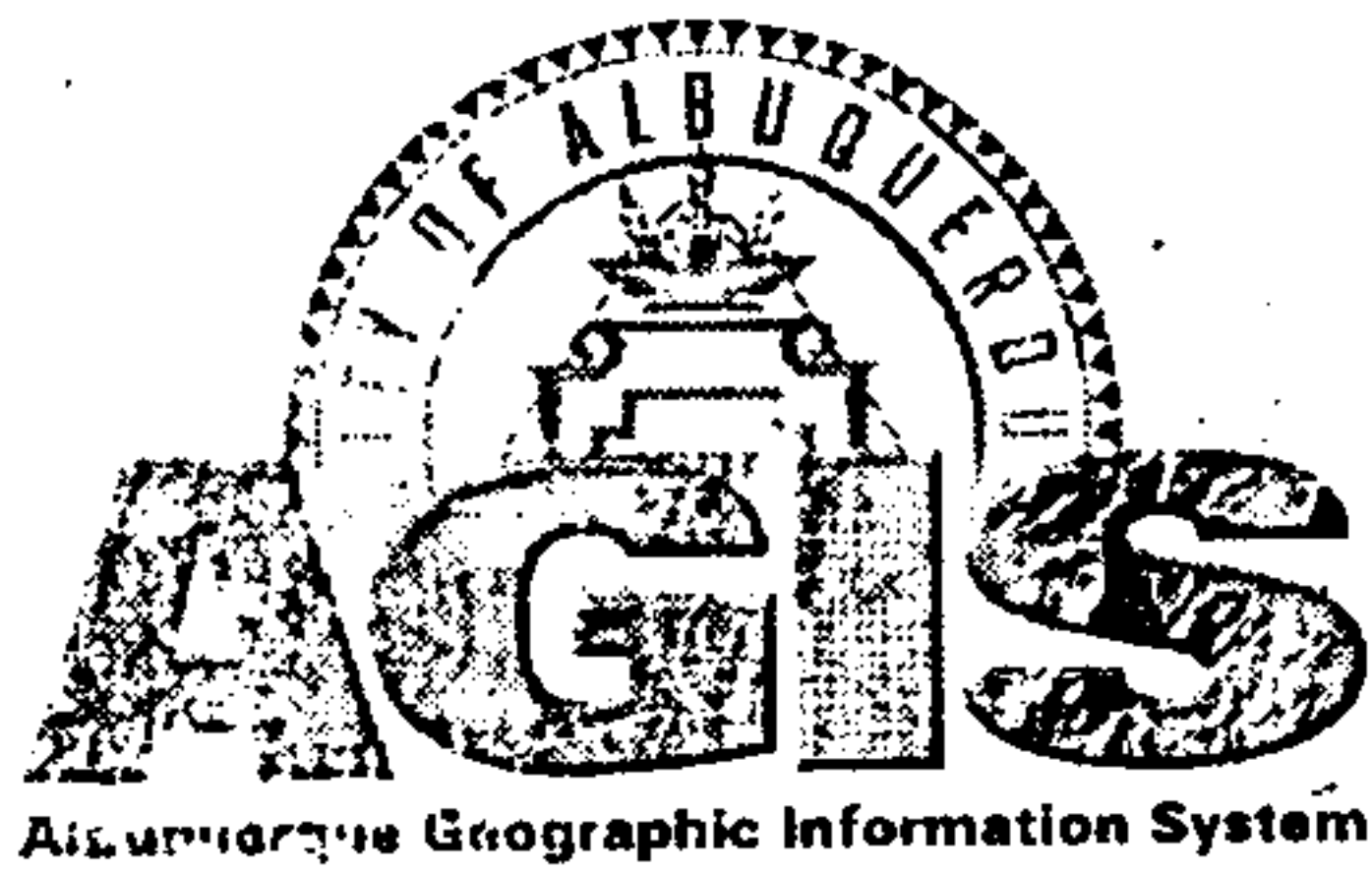
For more current information and more details visit <http://www.cabq.gov/gis>

Zone Atlas Page:

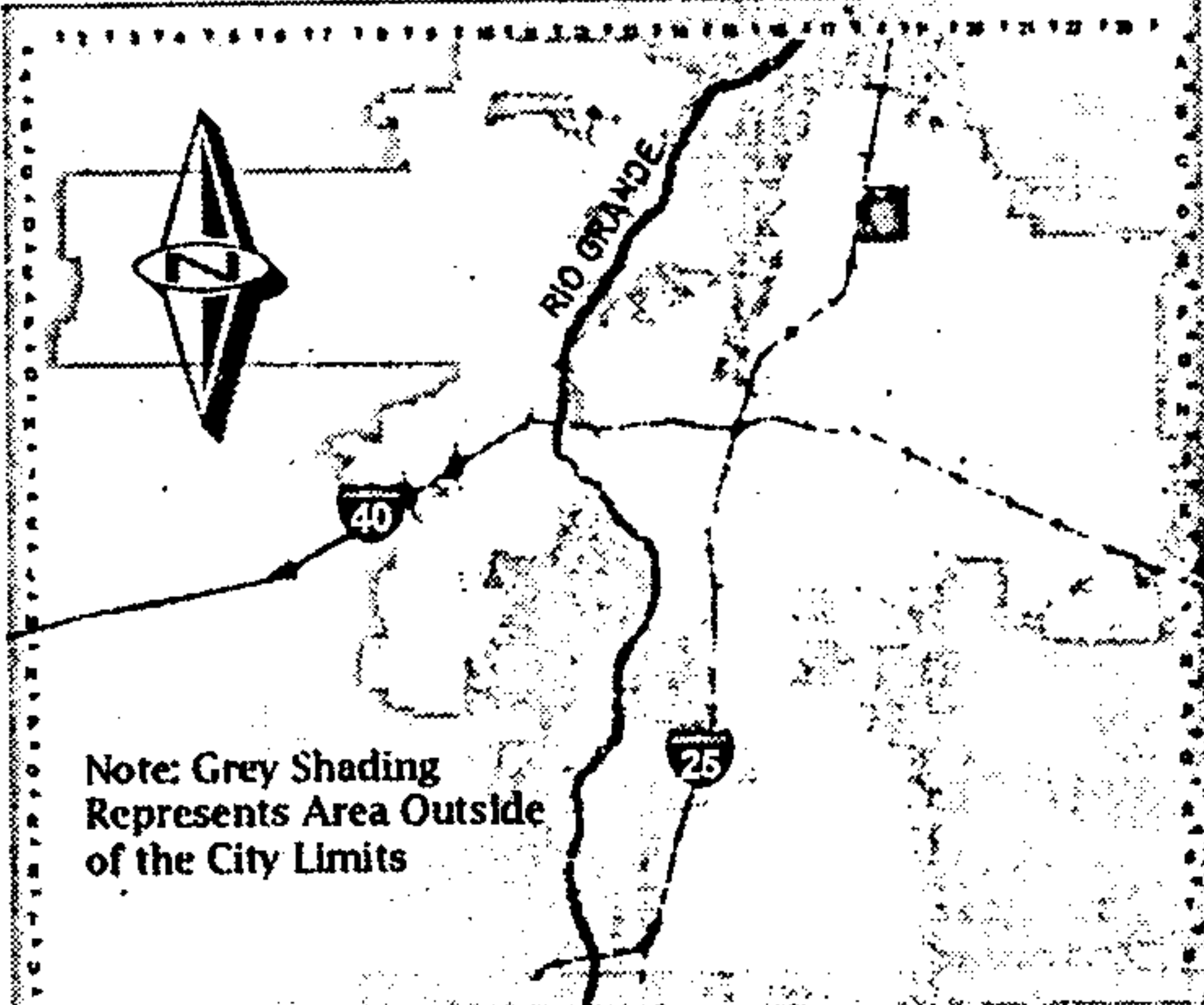
D-18-Z

Selected Symbols

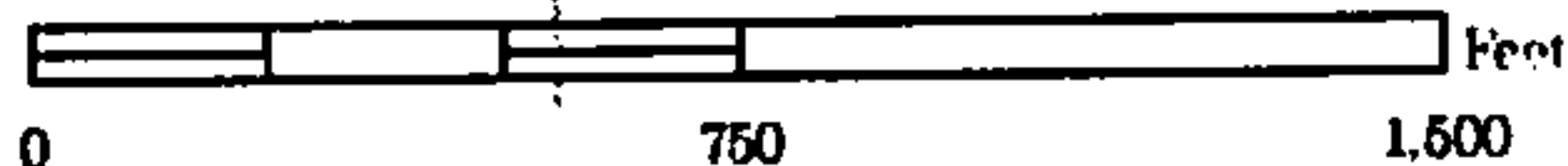
- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



Map amended through: 6/13/2008



Note: Grey Shading Represents Area Outside of the City Limits



Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

February 10, 2009

Mr. Jack Cloud
City of Albuquerque
Development Review Board Chair
P.O. Box 1293
Albuquerque, NM 87103

Re: Preliminary/Final Plat Subdivision Submittal: Tract A-1-B, Los Angeles Center.

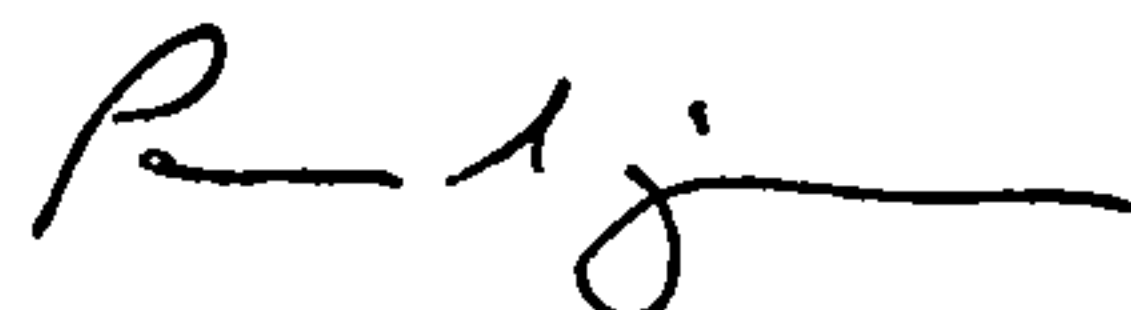
Dear Mr. Cloud:

The purpose of the enclosed submittal is to request a Preliminary/Final Plat Subdivision request for the subject property. By separate application, we have also submitted an Administrative Amendment request to modify a previously approved Site Development Plan for Subdivision. This Administrative Amendment request will recognize the parcel that is the subject of the plat request.

We believe the subdivision request should require no public infrastructure and should therefore be considered minor. As such, please schedule this request to be heard before the D.R.B. at the February 25, 2008 hearing.

Please call with comments or questions.

Sincerely,



Paul M. Wymer, AIA, AICP
Project Manager
Community Development and Planning

PMW/cc
Enclosures

cc: Jerry Engen, United Growth
Bruce Stidworthy, BHI

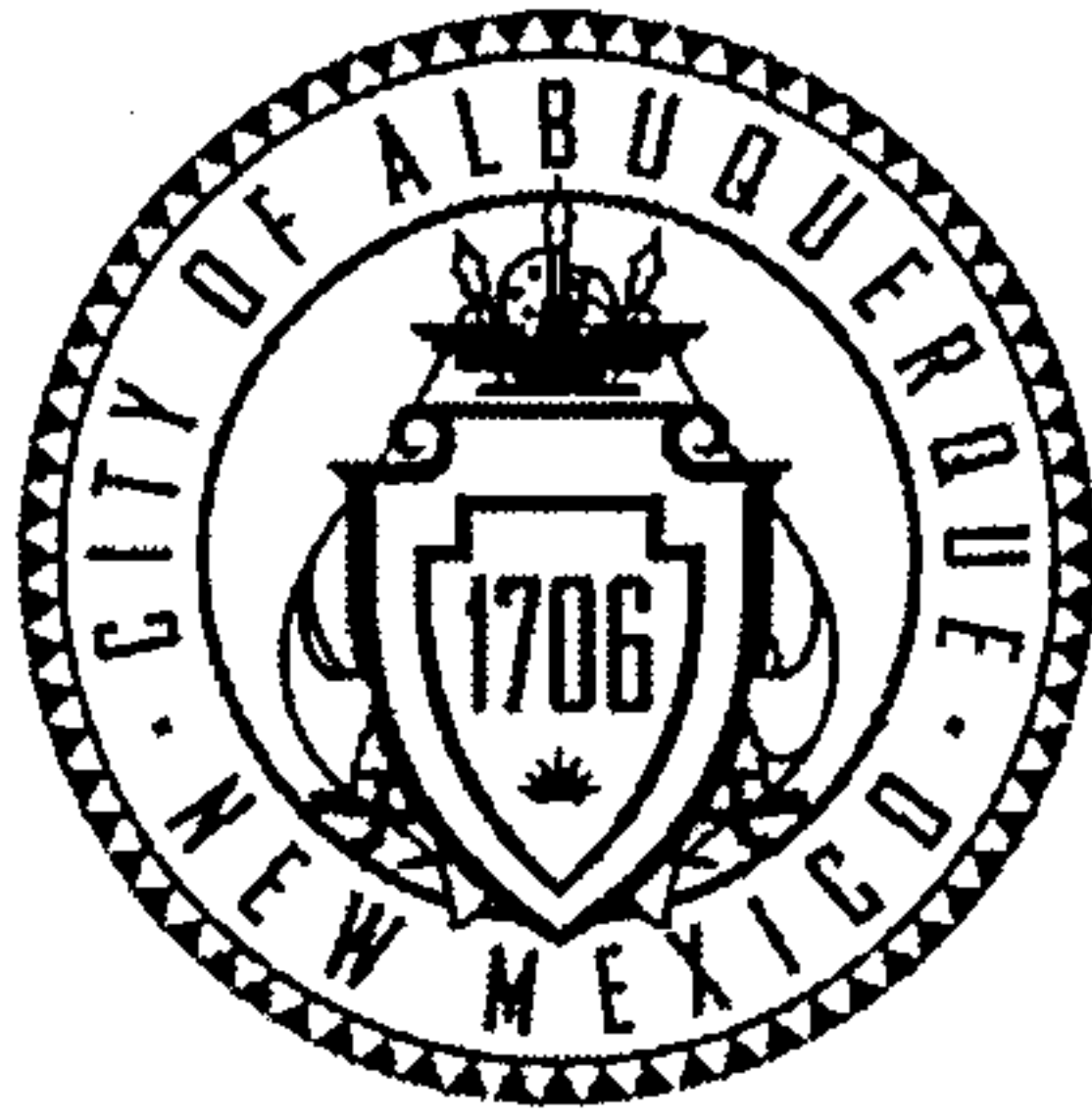
February 10, 2009

RE: Agent Authorization for Los Angeles Center

To Whom It May Concern:

This letter authorizes representatives of Bohannon Huston, Inc. to act as our agent to submit the Plat, Site Development Plan for Subdivision Amendment, and Site Development Plan for Building Permit for Los Angeles Center. Please contact me with any questions or concerns.

Sincerely,



City of Albuquerque
P.O. Box 1293 Albuquerque, New Mexico 87103

Planning Department

Martin J. Chavez, Mayor

Richard Dineen, Director

Interoffice Memorandum

January 14, 2009

Subject: Albuquerque Archaeological Ordinance—Compliance Documentation

Project Number(s):

Case Number(s):

Agent:

Applicant: Bohannan Huston Inc.

Legal Description: Tract A-1-B, Los Angeles Center

Acreage: 16.52 acres

Zone Atlas Page: D-18

CERTIFICATE OF NO EFFECT: Yes No

SUPPORTING DOCUMENTATION: Aerial photo provided by agent; 2008 AGIS aerial photograph

SITE VISIT: n/a

RECOMMENDATION(S):

- *CERTIFICATE OF NO EFFECT IS ISSUED (ref O-07-72 Section 4B(2)—extensive previous land disturbance).*

SUBMITTED:

Matthew Schmader, PhD
Superintendent, Open Space Division
Acting City Archaeologist



1605 Curtis Bridge Road
Wilkesboro, NC 28697
Phone: (336) 658-3425
Fax: (336) 658-7235

Glen Williamson

Director

Excess Properties (FMN-6)

February 13, 2009

Attention: To Whom it May Concern

RE: Agent Authorization for Los Angeles Center (Albuquerque, NM)

Dear To Whom it May Concern:

This letter authorizes representatives of Bohannon Huston, Inc. to act as our agent to submit the Plat, Site Development Plan for Subdivision Amendment, and Site Development Plan for Building Permit for Los Angeles Center.

Please call if you have any questions or concerns pertaining to this agent authorization.

Sincerely,

A handwritten signature in cursive script, appearing to read "Glen Williamson".

Glen Williamson
Director, Lowe's Excess Properties

Copy: Marc Kirchhoff – Maly Commercial Realty
Legal Department – Real Estate (LGS6)

FIGURE 18

2nd EXTENSION AGREEMENT (Traffic Signal)
Procedure "B"
PROJECT NO. 6313.83

This Agreement made this 20th day of December, 2008, by and between the City of Albuquerque, New Mexico, a municipal corporation ("City") and (name of developer/subdivider: LOUIS HOME CENTERS, INC.) ("Developer"), whose address is 908 Box III N. WILKESBORO, NC 27156 and whose telephone number is 310-650-8857 is made in Albuquerque, New Mexico and is entered into as of the date of final execution of this Agreement.

WHEREAS, the City and the Developer entered into an Agreement on the 18 day of November 2004, which was recorded in the office of the Clerk of Bernalillo County, New Mexico on 11-19-2004, at Book Misc. A87, pages 933 through XXV, ("Earlier Agreement"), by which the Developer agreed to complete the construction of certain infrastructure improvements on or before the 1 day of May 2005; and

WHEREAS, the Earlier Agreement was amended by an Extension Agreement dated May 10, 2005 recorded May 10 2005, in Book Misc. A96, pages 5849 through XXV, records of Bernalillo County, New Mexico, extending the construction deadline to November 18, 2006; and

WHEREAS, it appears that the Developer will be unable to complete construction of the improvements by the deadline specified in the Agreement; and

WHEREAS, the City is willing to grant Developer an extension of time in which to complete construction of all or part of the improvements, provided the Developer posts an acceptable financial guaranty, as required by the City's Subdivision Ordinance and the Development Process Manual; and

WHEREAS, the Developer is able to provide the required financial guaranty;

NOW THEREFORE in consideration of the above and the mutual promises contained herein, the parties agree:

1. The required completion date for construction of the improvements, as set forth in the attached Exhibit A, is extended (Complete either A or B:)

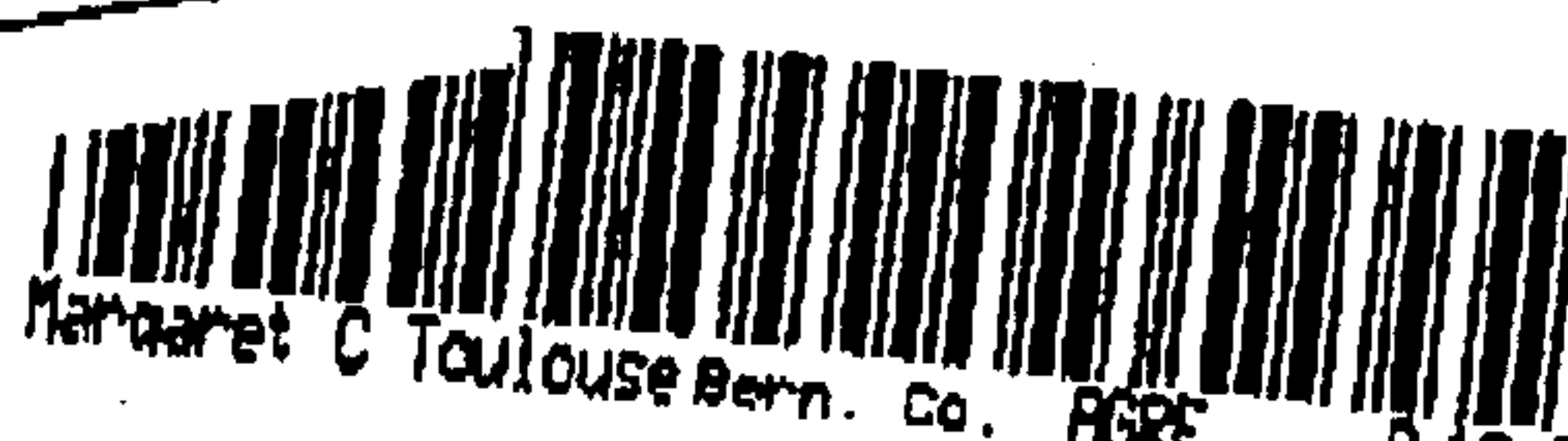
A. for all improvements, the 18 day of November, 2008.

B. on portions of the improvements as follows:

IMPROVEMENTS	COMPLETION DATE

Post-It [®] Fax Note		7671	Date <u>9/15/08</u>	# of pages <u>3</u>
To <u>Sally</u>	From <u>Margaret</u>		Co. <u>COB</u>	
Co/Dept. <u>BT#</u>	Phone # <u>924-3927</u>		Fax #	
Phone #				
Fax # <u>798-7988</u>				

07/02



2007600729
6363878
Page: 1 of 3
01/02/2007 04:24

2. With this Extension Agreement, Developer has provided the City with the following financial guaranty:

Type of Financial Guaranty: Bond # 018008891
 Amount: \$257,443.00
 Name of Financial Institution or Surety providing Guaranty: Liberty Bond Services
 Date City first able to call Guaranty (Construction Completion Deadline): 11-18-2008
 If Guaranty other than a Bond, last day City able to call Guaranty is: 11-18-2008
 Additional information: _____

3. The parties agree that all terms and conditions of the Earlier Agreement not in conflict with this Extension Agreement shall remain valid, in force, and binding upon the parties. By executing this Agreement, the parties only intention is to extend the construction completion deadline established in the Earlier Agreement and establish a revised financial guaranty for the benefit of the City.

Executed on the date stated in the first paragraph of this Agreement.

DEVELOPER:

By (Signature): [Signature]
 Name: _____
 Title: _____
 Dated: 12/8/06

CITY OF ALBUQUERQUE:
[Signature]
 City Engineer
 Dated: 1-02-07

[Signature]
12-22-06

2007000729
 8563876
 Page: 2 of 3
 81/82/2007 04:34p
 Bk-A130 Pn-729

Margaret C Toulouse Bern. Co. AGRE R 13.00

DEVELOPER'S NOTARY

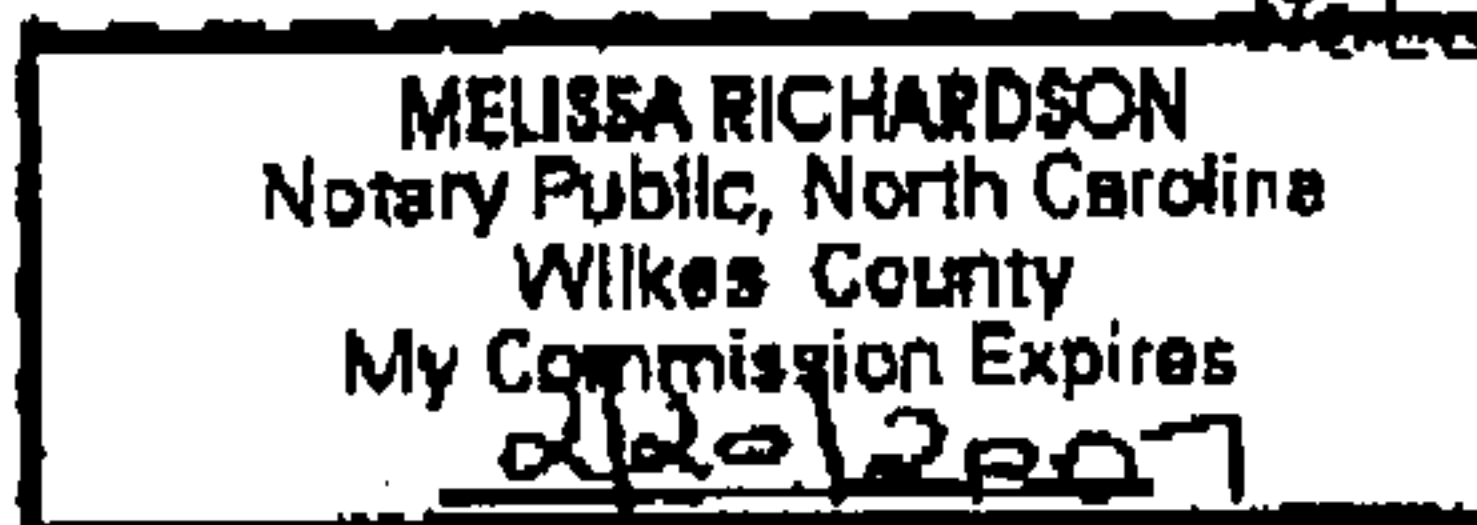
STATE OF North Carolina
COUNTY OF Wilkes) ss.

This instrument was acknowledged before me on 6 day of December, 2006 by (name of person:) Robin P. Nickles (title or capacity, for instance, "President" or "Owner") Vice President of (Developer:) Lewis Home Leasing, Inc.

Melissa Richardson
Notary Public

My Commission Expires:

2/20/2007



CITY'S NOTARY

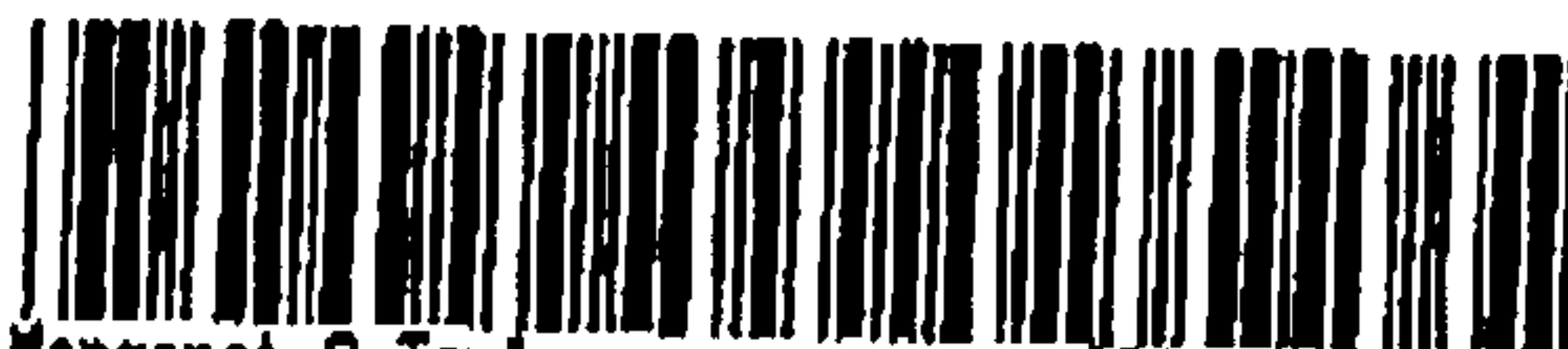
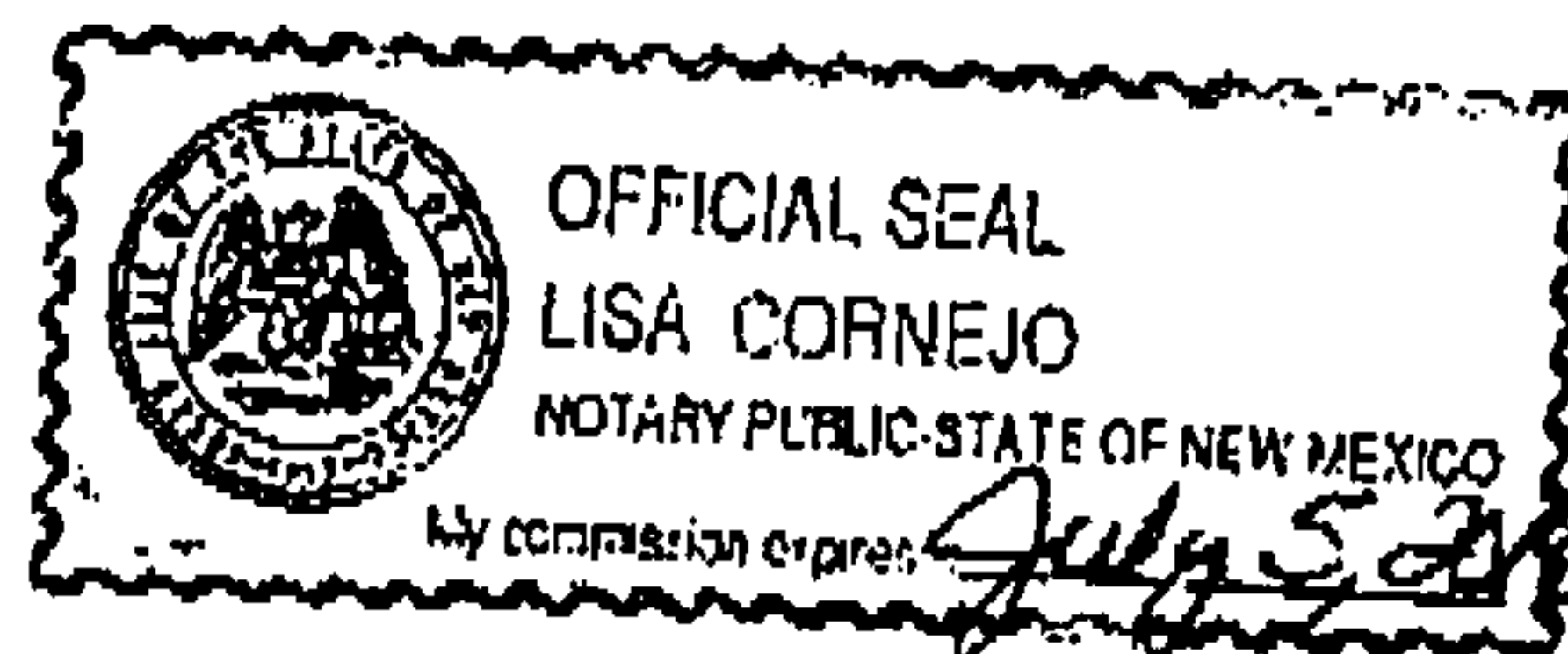
STATE OF New Mexico
COUNTY OF Bernalillo) ss.

This instrument was acknowledged before me on 2 day of JANUARY, 2007 by Richard Douret, City Engineer of the City of Albuquerque, a municipal corporation, on behalf of said corporation.

Lisa Cornejo
Notary Public

My Commission Expires:

July 5, 2010



28-06PC3:27 RCVD

EXHIBIT A

**OFFICIAL NOTICE OF DECISION**

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

November 22, 2006

1. **Project # 1001946**
06DRB-01557 Major-Two Year SIA

BOHANNAN HUSTON INC agent(s) for LOWE'S HOME CENTERS INC request(s) the above action(s) for all or a portion of Tract(s) A-1 & A-2, **LOS ANGELES CENTER**, zoned M-1 light manufacturing zone, located on SAN PEDRO NE between PASEO DEL NORTE NE and PINO NE containing approximately 33 acre(s). [REF:04DRB-01965] (D-18)

At the November 22, 2006, Development Review Board meeting, a two-year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by December 7, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Sheran Matson, AICP, DRB Chair

Cc: Lowe's Home Centers Inc., P.O. Box 1111, N. Wilkesboro, NC 28656
Bohannan Huston Inc., 7500 Jefferson NE, 87109
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

SURETY RIDER

To be attached to and form a part of

Bond No. 018 008 891

Type of Bond: Subdivision - Future Traffic Signal at San Pedro and Palmoas

dated effective 10/21/2004 (MONTH-DAY-YEAR)

executed by Lowe's Home Centers, Inc. (PRINCIPAL)

,as Principal,

and by Liberty Mutual Insurance Company

,as Surety,

in favor of City of Albuquerque, NM (OBLIGEE)

in consideration of the mutual agreements herein contained the Principal and the Surety hereby consent to changing

The completion date for construction of the improvement as set forth in the attached is extended until November 18, 2008.

Nothing herein contained shall vary, alter or extend any provision or condition of this bond except as herein expressly stated.

This rider is effective 10/21/2006 (MONTH-DAY-YEAR)

Signed and Sealed 12/15/2006 (MONTH-DAY-YEAR)

Lowe's Home Centers, Inc. (PRINCIPAL)

By:

(PRINCIPAL)

Gary E. Wyatt Senior Vice President

Liberty Mutual Insurance Company (SURETY)

By:

(ATTORNEY-IN-FACT) Maryann Dark, Attorney-in-Fact

2014559

THIS POWER OF ATTORNEY IS NOT VALID UNLESS IT IS PRINTED ON RED BACKGROUND.

This Power of Attorney limits the acts of those named herein, and they have no authority to bind the Company except in the manner and to the extent herein stated.

LIBERTY MUTUAL INSURANCE COMPANY
BOSTON, MASSACHUSETTS
POWER OF ATTORNEY

KNOW ALL PERSONS BY THESE PRESENTS: That Liberty Mutual Insurance Company (the "Company"), a Massachusetts stock insurance company, pursuant to and by authority of the By-law and Authorization hereinafter set forth, does hereby name, constitute and appoint JUDIE M. CHISOLM, MARYANN DARK, ALL OF THE CITY OF CHARLOTTE, STATE OF NORTH CAROLINA

each individually if there be more than one named, its true and lawful attorney-in-fact to make, execute, seal, acknowledge and deliver, for and on its behalf as surety and as its act and deed, any and all undertakings, bonds, recognizances and other surety obligations in the penal sum not exceeding ONE HUNDRED MILLION AND 00/100 DOLLARS (\$ 100,000,000.00) each, and the execution of such undertakings, bonds, recognizances and other surety obligations, in pursuance of these presents, shall be as binding upon the Company as if they had been duly signed by the president and attested by the secretary of the Company in their own proper persons.

That this power is made and executed pursuant to and by authority of the following By-law and Authorization:

ARTICLE XIII - Execution of Contracts: Section 5. Surety Bonds and Undertakings.

Any officer of the Company authorized for that purpose in writing by the chairman or the president, and subject to such limitations as the chairman or the president may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations. Such attorneys-in-fact, subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Company by their signature and execution of any such instruments and to attach thereto the seal of the Company. When so executed such instruments shall be as binding as if signed by the president and attested by the secretary.

By the following instrument the chairman or the president has authorized the officer or other official named therein to appoint attorneys-in-fact:

Pursuant to Article XIII, Section 5 of the By-Laws, Garnet W. Elliott, Assistant Secretary of Liberty Mutual Insurance Company, is hereby authorized to appoint such attorneys-in-fact as may be necessary to act in behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations.

That the By-law and the Authorization set forth above are true copies thereof and are now in full force and effect.

IN WITNESS WHEREOF, this Power of Attorney has been subscribed by an authorized officer or official of the Company and the corporate seal of Liberty Mutual Insurance Company has been affixed thereto in Plymouth Meeting, Pennsylvania this 7th day of September 2006

LIBERTY MUTUAL INSURANCE COMPANY

By Garnet W. Elliott, Assistant Secretary

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF MONTGOMERY



On this 7th day of September, 2006, before me, a Notary Public, personally came Garnet W. Elliott, to me known, and acknowledged that he is an Assistant Secretary of Liberty Mutual Insurance Company; that he knows the seal of said corporation; and that he executed the above Power of Attorney and affixed the corporate seal of Liberty Mutual Insurance Company thereto with the authority and at the direction of said corporation.

IN TESTIMONY WHEREOF, I have hereunto subscribed my name and affixed my notarial seal at Plymouth Meeting, Pennsylvania, on the day and year first above written.



COMMONWEALTH OF PENNSYLVANIA
Notary Seal
Teresa Pastella, Notary Public
Plymouth Twp., Montgomery County
My Commission Expires Mar. 28, 2008

By Teresa Pastella, Notary Public

CERTIFICATE

I, the undersigned, Assistant Secretary of Liberty Mutual Insurance Company, do hereby certify that the original power of attorney of which the foregoing is a full, true and correct copy, is in full force and effect on the date of this certificate; and I do further certify that the officer or official who executed the said power of attorney is an Assistant Secretary specially authorized by the chairman or the president to appoint attorneys-in-fact as provided in Article XIII, Section 5. of the By-laws of Liberty Mutual Insurance Company.

This certificate and the above power of attorney may be signed by facsimile or mechanically reproduced signatures under and by authority of the following vote of the board of directors of Liberty Mutual Insurance Company at a meeting duly called and held on the 12th day of March, 1980.

VOTED that the facsimile or mechanically reproduced signature of any assistant secretary of the company, wherever appearing upon a certified copy of any power of attorney issued by the company in connection with surety bonds, shall be valid and binding upon the company with the same force and effect as though manually affixed.

IN TESTIMONY WHEREOF, I have hereunto subscribed my name and affixed the corporate seal of the said company, this 15 day of September, 2006.



By David M. Carey, Assistant Secretary

NOT valid for mortgage, note, loan, letter of credit, bank deposit, currency rate, interest rate or residual value guarantees.

To confirm the validity of this Power of Attorney call 1-610-632-6240 between 9:00 am and 4:30 pm EST on any business day.



Continuation/Verification Certificate

Liberty Mutual Insurance Company (hereinafter called the Company)

hereby certifies continuance of coverage for: **Subdivision-Future Traffic Signal
at San Pedro and Palomas**

Bond number: **018 008 891**

in the sum of: **Two Hundred Fifty-seven Thousand Four Hundred Forty-three
and No/100 Dollars (\$257,443.00)**

on behalf of: **Lowe's Home Centers, Inc.**

in favor of: **City of Albuquerque, NM**

for the term beginning: **October 21, 2006**

and ending on the, **November 18, 2008** subject, however, to all the covenants and conditions of said bond.

The Continuation/Verification Certificate is executed upon the express condition that the Company's liability under said Bond and this and all such certificates shall not be cumulative and shall in no event exceed the sum of **\$257,443.00**

IN WITNESS WHEREOF, the Company has caused this instrument to be signed by its officers proper for the purpose and its corporate seal to be hereto affixed this **December 4, 2006**.

LIBERTY MUTUAL INSURANCE COMPANY

By: *Maryann Dark*
Maryann Dark, Attorney-In-Fact

2014558

THIS POWER OF ATTORNEY IS NOT VALID UNLESS IT IS PRINTED ON RED BACKGROUND.

This Power of Attorney limits the acts of those named herein, and they have no authority to bind the Company except in the manner and to the extent herein stated.

LIBERTY MUTUAL INSURANCE COMPANY
BOSTON, MASSACHUSETTS
POWER OF ATTORNEY

KNOW ALL PERSONS BY THESE PRESENTS: That Liberty Mutual Insurance Company (the "Company"), a Massachusetts stock insurance company, pursuant to and by authority of the By-law and Authorization hereinafter set forth, does hereby name, constitute and appoint
JUDIE M. CHISOLM, MARYANN DARK, ALL OF THE CITY OF CHARLOTTE, STATE OF NORTH CAROLINA

each individually if there be more than one named, its true and lawful attorney-in-fact to make, execute, seal, acknowledge and deliver, for and on its behalf as surety and as its act and deed, any and all undertakings, bonds, recognizances and other surety obligations in the penal sum not exceeding
ONE HUNDRED MILLION AND 00/100 DOLLARS (\$ 100,000,000.00) each, and the execution of such undertakings, bonds, recognizances and other surety obligations, in pursuance of these presents, shall be as binding upon the Company as if they had been duly signed by the president and attested by the secretary of the Company in their own proper persons.

That this power is made and executed pursuant to and by authority of the following By-law and Authorization:

ARTICLE XIII - Execution of Contracts: Section 5. Surety Bonds and Undertakings.

Any officer of the Company authorized for that purpose in writing by the chairman or the president, and subject to such limitations as the chairman or the president may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations. Such attorneys-in-fact, subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Company by their signature and execution of any such instruments and to attach thereto the seal of the Company. When so executed such instruments shall be as binding as if signed by the president and attested by the secretary.

By the following instrument the chairman or the president has authorized the officer or other official named therein to appoint attorneys-in-fact:

Pursuant to Article XIII, Section 5 of the By-Laws, Garnet W. Elliott, Assistant Secretary of Liberty Mutual Insurance Company, is hereby authorized to appoint such attorneys-in-fact as may be necessary to act in behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations.

That the By-law and the Authorization set forth above are true copies thereof and are now in full force and effect.

IN WITNESS WHEREOF, this Power of Attorney has been subscribed by an authorized officer or official of the Company and the corporate seal of Liberty Mutual Insurance Company has been affixed thereto in Plymouth Meeting, Pennsylvania this 7th day of September 2006.

LIBERTY MUTUAL INSURANCE COMPANY

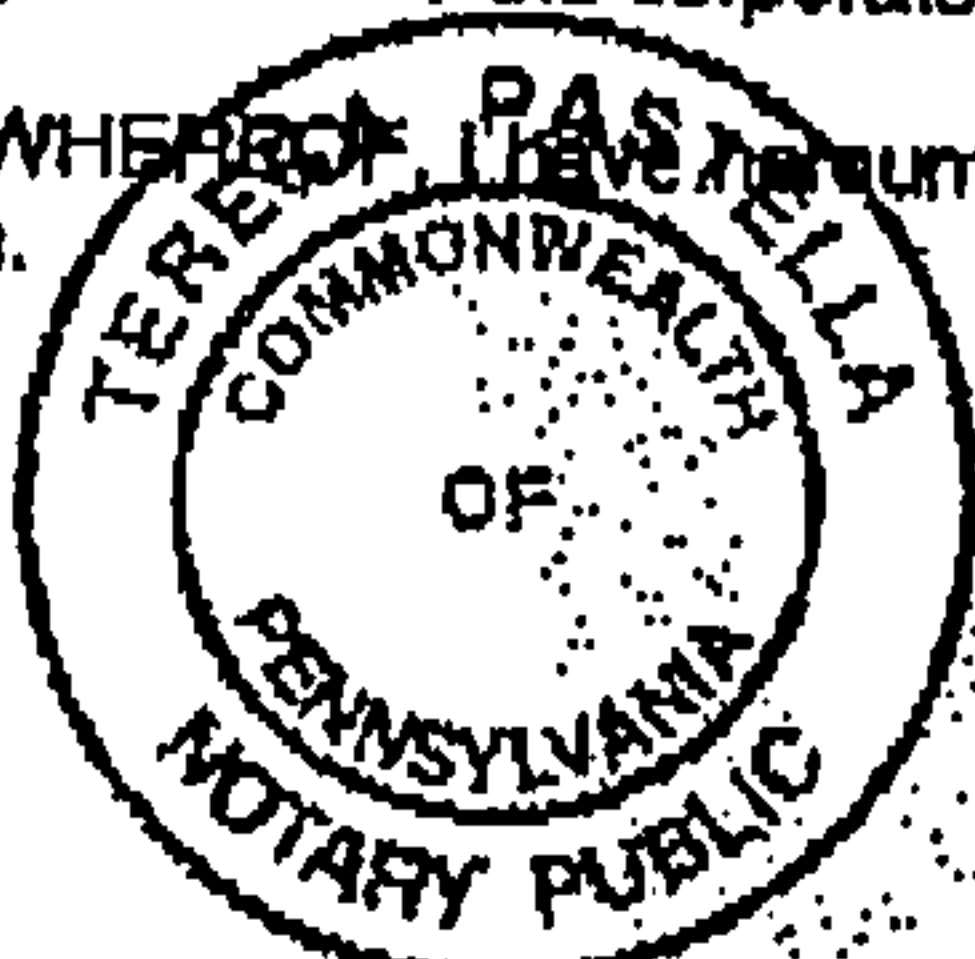
By Garnet W. Elliott, Assistant Secretary



COMMONWEALTH OF PENNSYLVANIA ss
COUNTY OF MONTGOMERY

On this 7th day of September, 2006, before me, a Notary Public, personally came Garnet W. Elliott, to me known, and acknowledged that he is an Assistant Secretary of Liberty Mutual Insurance Company; that he knows the seal of said corporation; and that he executed the above Power of Attorney and affixed the corporate seal of Liberty Mutual Insurance Company thereto with the authority and at the direction of said corporation.

IN TESTIMONY WHEREOF, I have hereunto subscribed my name and affixed my notarial seal at Plymouth Meeting, Pennsylvania, on the day and year first above written.



COMMONWEALTH OF PENNSYLVANIA
Notarial Seal
Teresa Pastella, Notary Public
Plymouth Twp., Montgomery County
My Commission Expires Mar. 28, 2009
Member, Pennsylvania Association of Notaries

By Teresa Pastella, Notary Public

CERTIFICATE

I, the undersigned, Assistant Secretary of Liberty Mutual Insurance Company, do hereby certify that the original power of attorney of which the foregoing is a full, true and correct copy, is in full force and effect on the date of this certificate; and I do further certify that the officer or official who executed the said power of attorney is an Assistant Secretary specially authorized by the chairman or the president to appoint attorneys-in-fact as provided in Article XIII, Section 5 of the By-laws of Liberty Mutual Insurance Company.

This certificate and the above power of attorney may be signed by facsimile or mechanically reproduced signatures under and by authority of the following vote of the board of directors of Liberty Mutual Insurance Company at a meeting duly called and held on the 12th day of March, 1980.

VOTED that the facsimile or mechanically reproduced signature of any assistant secretary of the company, wherever appearing upon a certified copy of any power of attorney issued by the company in connection with surety bonds, shall be valid and binding upon the company with the same force and effect as though manually affixed.

IN TESTIMONY WHEREOF, I have hereunto subscribed my name and affixed the corporate seal of the said company, this 4 day of December, 2006.



By David M. Carey, Assistant Secretary

NOT VALID FOR mortgage, note, loan, letter of credit, bank deposit, currency rate, interest rate or residual value guarantees.

To confirm the validity of this Power of Attorney call 1-610-832-8240 between 9:00 am and 4:30 pm EST on any business day.

A City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

SUBDIVISION	S Z	ZONING & PLANNING
<input checked="" type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)
<input type="checkbox"/> for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/> for Building Permit		<input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/> Administrative Amendment (AA)		<input type="checkbox"/> Street Name Change (Local & Collector)
<input type="checkbox"/> IP Master Development Plan	D	APPEAL / PROTEST of...
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L A	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal
STORM DRAINAGE (Form D)		
<input type="checkbox"/> Storm Drainage Cost Allocation Plan		

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Bohannon Huston, Inc. / CDP Sally PHONE: (505) 823-1000
 ADDRESS: 7500 Jefferson NE FAX: (505) 898-7988
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: ssalazar-cass@bhinc.com
 APPLICANT: Lowe's Home Centers, Inc. / Brian Massengill PHONE: _____
 ADDRESS: PO Box 111 FAX: _____
 CITY: N. Wilkesboro STATE NC ZIP 28656 E-MAIL: _____
 Proprietary interest in site: owner List all owners: _____

DESCRIPTION OF REQUEST: SIA 3rd Extension Request

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract(s) A-1 & A-2 Block: _____ Unit: _____
 Subdiv/Addn/TBKA: LOS ANGELES CENTER
 Existing Zoning: M-1 Proposed zoning: _____ MRGCD Map No _____
 Zone Atlas page(s): D-18 UPC Code: 101806319545920804

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): _____
1001946

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 2 No. of proposed lots: _____ Total area of site (acres): 33

LOCATION PROPERTY BY STREETS: On or Near: San Pedro NE
 Between: Paseo Del Norte NE and Pino NE

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Bruce Stidworthy DATE 10/10/2008
 (Print) Bruce Stidworthy, P.E. Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 9/01, 3/03, 7/03, 10/03, 04/04

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>08DRB - 20440</u>	<u>SIAE</u>		<u>\$ 50.00</u>
<input checked="" type="checkbox"/> All fees have been collected		<u>ADV</u>		<u>\$ 75.00</u>
<input checked="" type="checkbox"/> All case #s are assigned		<u>CMF</u>		<u>\$ 20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent				\$
<input checked="" type="checkbox"/> Case history #s are listed				\$
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill				\$
<input checked="" type="checkbox"/> F.H.D.P. density bonus				Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	Hearing date <u>November 5, 2008</u>			<u>\$ 145.00</u>

Vadjan 10-10-08
 Planner signature / date

Project # 1001946

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL (DRB13)

- 5 Acres or more: Certificate of No Effect or Approval
- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Proposed Infrastructure List
- Signed Preliminary Pre-Development Facilities Fee Agreement for **Residential** development only
- Design elevations & cross sections of perimeter walls **3 copies** (11" x 17" maximum)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed plat
- FORM DRWS Drainage Report, Water & Sewer availability statement filing information
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Signed** Pre-Annexation Agreement if Annexation required.
- TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
- Fee (see schedule)
- List any original and/or related file numbers on the cover application

Preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (DRB11) (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24 copies**
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if applicable
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION IMPROVEMENTS AGREEMENT EXTENSION (DRB09)

(Temporary sidewalk deferral extension use FORM-V)

- Zone Atlas map with the entire property(ies) clearly outlined
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. _____
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. _____
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- List any original and/or related file numbers on the cover application
- Fee (see schedule)

DRB Public hearings are approximately 30 DAYS after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

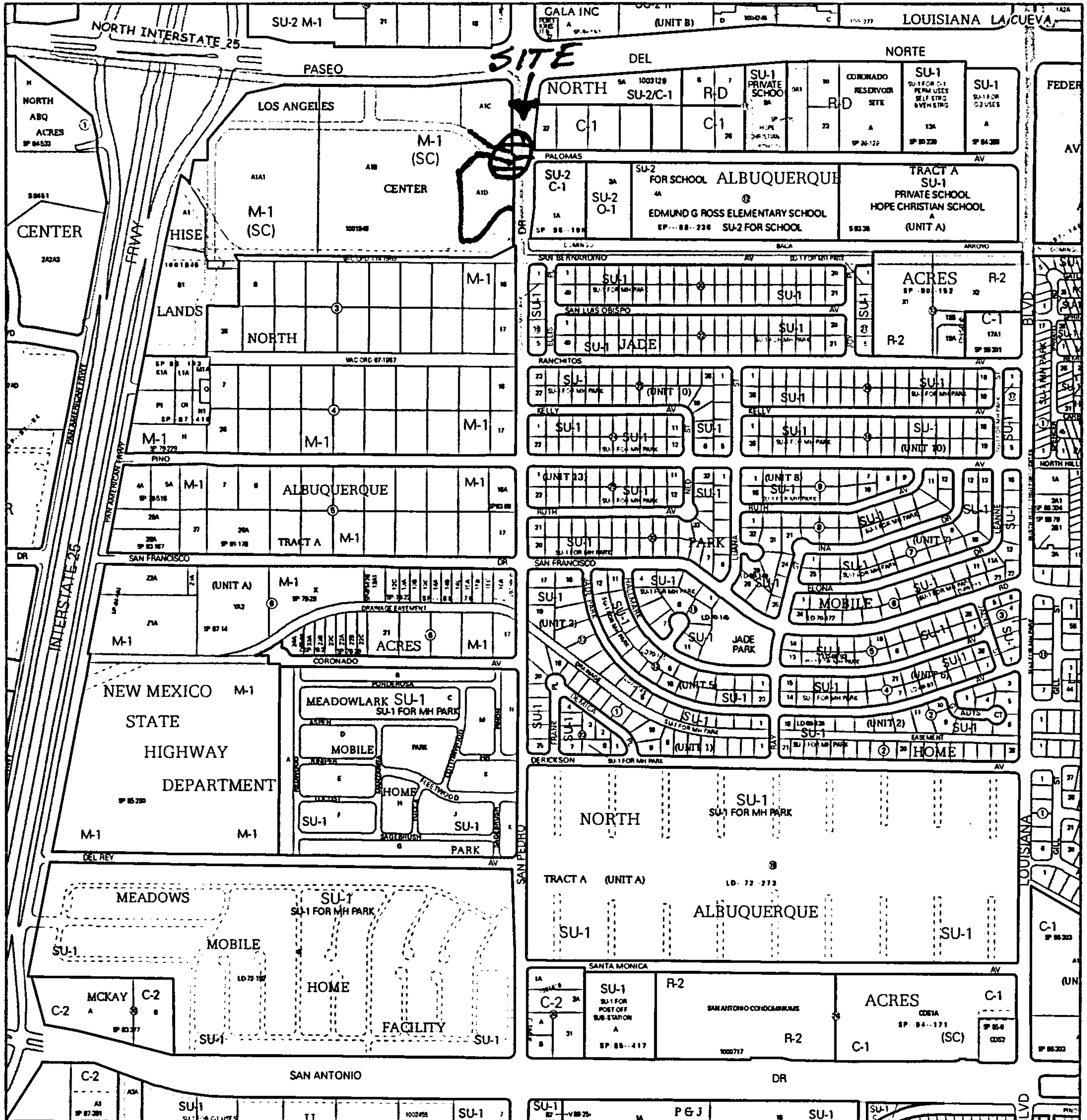
Bruce Stidworthy, P.E.
Applicant name (print)
Ron Stidworthy 10-10-08
Applicant signature / date



Form revised October 2007

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
DRB - 70440

Ron Stidworthy 10-10-08
Planner signature / date
 Project # 1001946

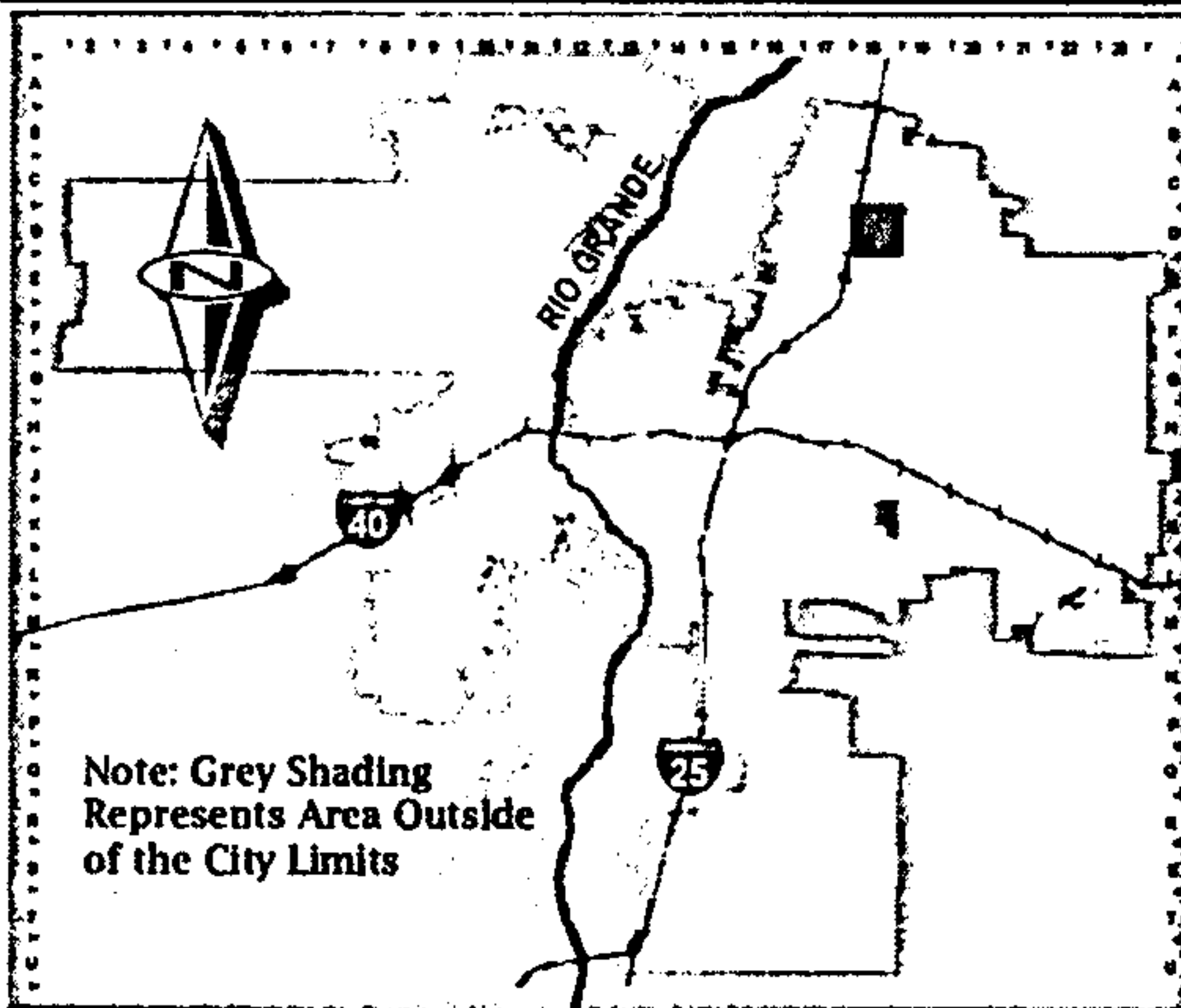


For more current information and more details visit: <http://www.cabq.gov/gis>



Albuquerque Geographic Information System

Map amended through: 6/13/2008



Note: Grey Shading Represents Area Outside of the City Limits

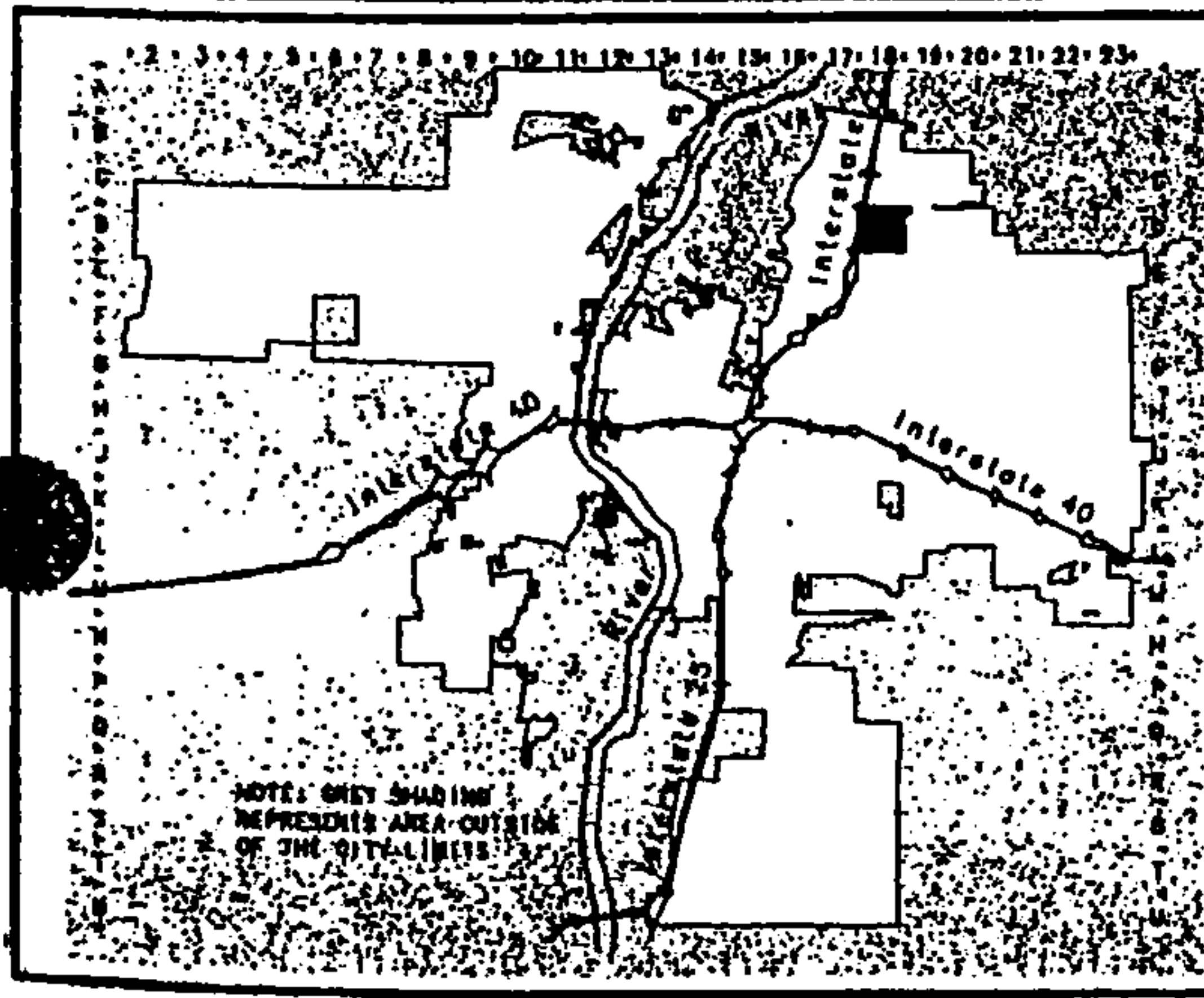
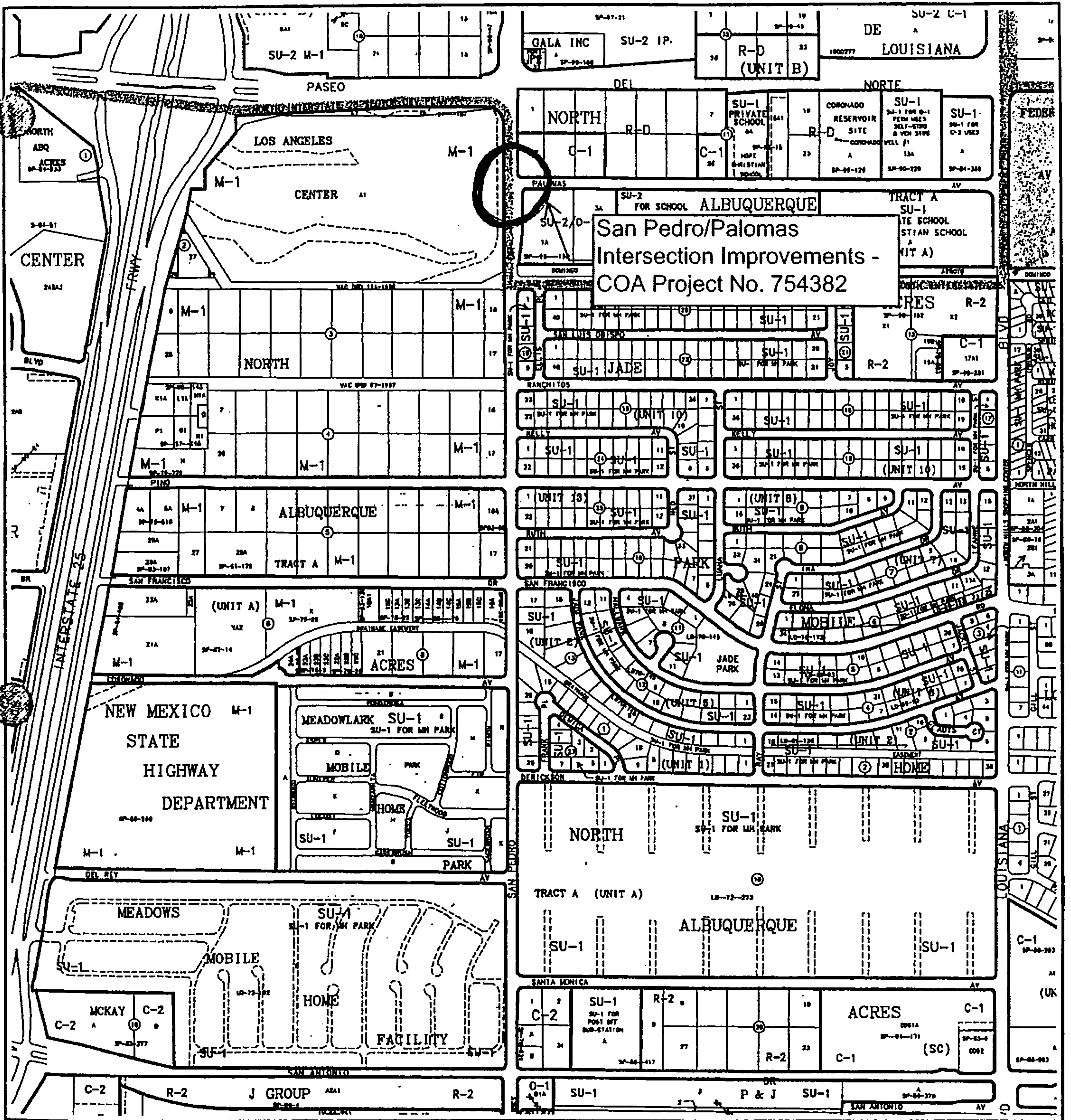
Zone Atlas Page:

D-18-Z

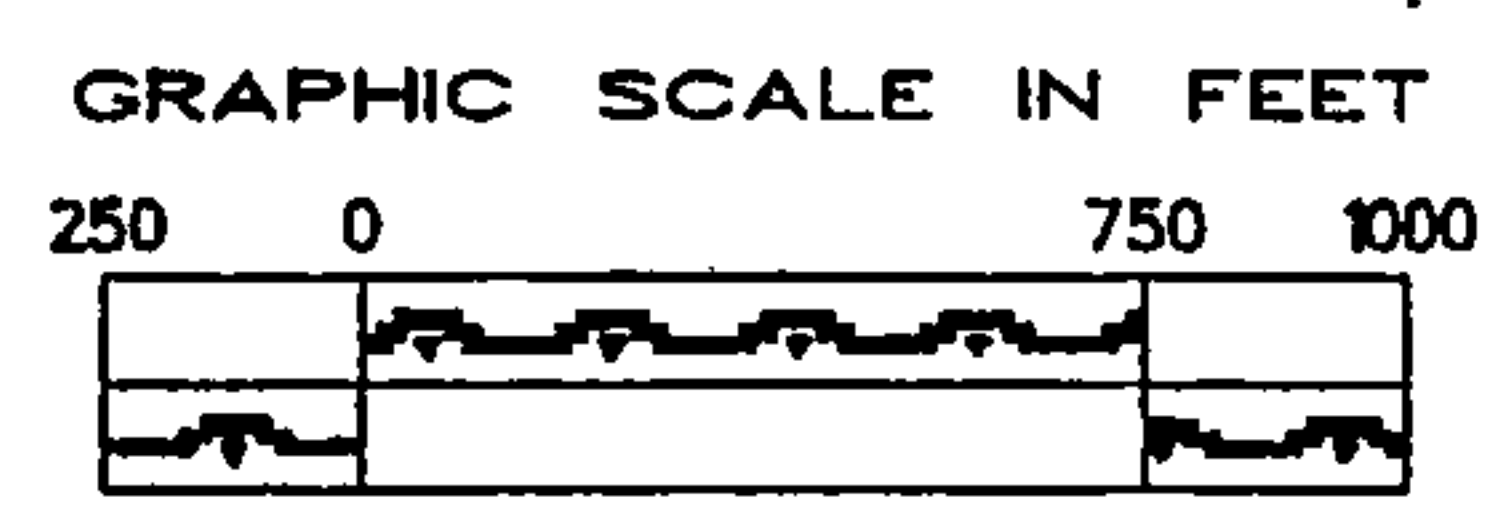
Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone





CITY OF
Albuquerque Geographic Information System
PLANNING DEPARTMENT
© Copyright 2000



Zone Atlas Page

D-18-Z

Map Amended through July 27, 2000

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

October 10, 2008

Jack Cloud, Chair
Development Review Board
City of Albuquerque
600 2nd Street NW
Albuquerque, New Mexico 87102

Re: Subdivision Improvements Agreement Extension (Procedure B)
San Pedro/Palomas Intersection Improvements, #1001946, CPN 754382

Dear Mr. Cloud:

Submitted for DRB review and approval is a request for an extension to the Subdivision Improvements Agreement for the above referenced project.

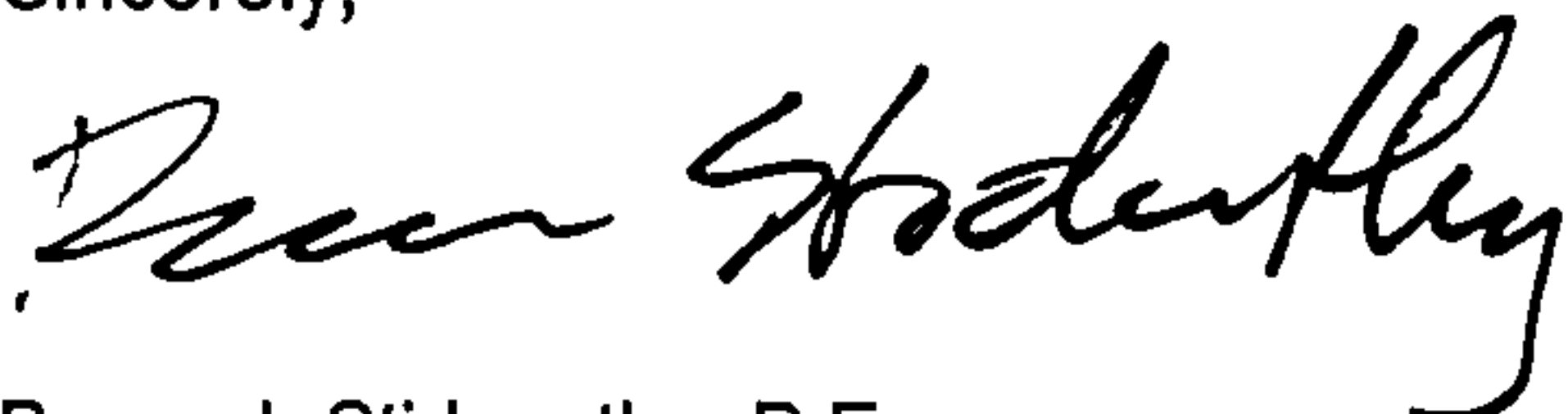
Enclosed is the following information:

- Application for Development Review
- Reduced layout of subdivision plat
- Zone Atlas sheet showing the project area
- Letter briefly describing, explaining, and justifying the request
- Official Notice from the Development Review Board
- Approved Infrastructure List
- Previous SIA Extension
- Neighborhood Notification information
- DRB Fee

We are requesting a one (1) year extension of the Subdivision Improvements Agreement (Procedure B) for the intersection improvements for the above referenced project. We are requesting the extension to provide sufficient time to bid, build, and inspect the traffic signal. The construction will not be completed before the SIA extension expires. Therefore, we are requesting the approval of a one year extension.

Please place this item on the DRB agenda to be heard on November 5, 2008. If you have any questions, or require further information, please contact me at 823-1000.

Sincerely,



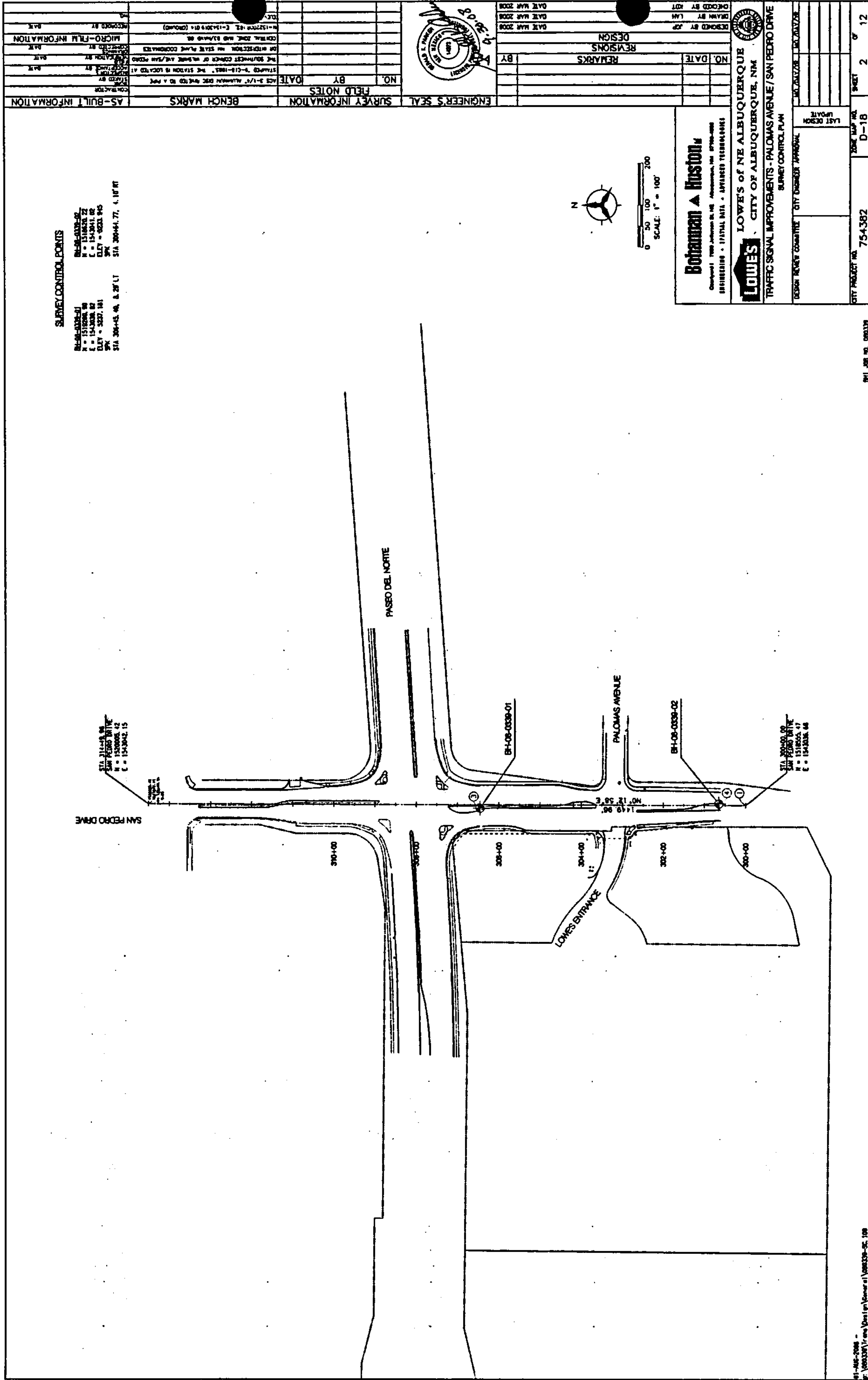
Bruce J. Stidworthy, P.E.
Vice President
Community Development and Planning Group

BJS/ssc
Enclosures

ENGINEERING ▲


SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲



SURVEY CONTROL POINTS

BT-08-0336-01 N = 1518264.88
E = 1542606.82
ELEV = 5327.181
STA 304+15.46 & 28' LT
STA 304+44.77 & 18' RT

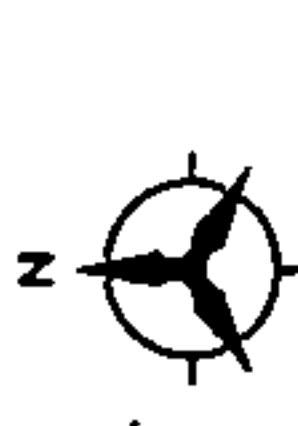
AS-BUILT INFORMATION			SURVEY INFORMATION			ENGINEER'S SEAL		
CONTRACTOR			NO.	BY	DATE			
REVISION								

REVISIONS		REMARKS	
NO.	DATE		

DESIGN		DATE	
DESIGNED BY	JOP	DATE	MAR 2008
DRAWN BY	LAM	DATE	MAR 2008
CHECKED BY	KOT	DATE	MAR 2008

MICRO-FILM INFORMATION	
RECORDED BY	
INDEXED BY	

FIELD NOTES	
STATION 9+10.18837 - THE STATION IS LOCATED AT THE INTERSECTION OF PALOMAS AVENUE AND SAN PEDRO DRIVE	
STATION 12+10.18837 - THE STATION IS LOCATED AT THE INTERSECTION OF PALOMAS AVENUE AND SAN PEDRO DRIVE	
STATION 15+10.18837 - THE STATION IS LOCATED AT THE INTERSECTION OF PALOMAS AVENUE AND SAN PEDRO DRIVE	
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STATION 84+10.18837 - THE STATION IS LOCATED AT THE INTERSECTION OF PALOMAS AVENUE AND SAN PEDRO DRIVE	
STATION 87+10.18837 - THE STATION IS LOCATED AT THE INTERSECTION OF PALOMAS AVENUE AND SAN PEDRO DRIVE	
STATION 90+10.18837 - THE STATION IS LOCATED AT THE INTERSECTION OF PALOMAS AVENUE AND SAN PEDRO DRIVE	
STATION 93+10.18837 - THE STATION IS LOCATED AT THE INTERSECTION OF PALOMAS AVENUE AND SAN PEDRO DRIVE	
STATION 96+10.18837 - THE STATION IS LOCATED AT THE INTERSECTION OF PALOMAS AVENUE AND SAN PEDRO DRIVE	
STATION 99+10.18837 - THE STATION IS LOCATED AT THE INTERSECTION OF PALOMAS AVENUE AND SAN PEDRO DRIVE	



0 50 100 200
SCALE: 1" = 100'

Botanman & Houston
 Consulting Engineers and Architects, Inc. 8750-1880
 ALBUQUERQUE, NEW MEXICO 87122-1188
 TEL: 505-263-2222 FAX: 505-263-2223
 WWW.BOTANMAN.COM

LOWES LOWES OF NE ALBUQUERQUE
 CITY OF ALBUQUERQUE, NM
 TRAFFIC SIGNAL IMPROVEMENTS - PALOMAS AVENUE / SAN PEDRO DRIVE
 SURVEY CONTROL PLAN

DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL _____ DATE _____

LAST DESIGN REVISION _____

CITY PROJECT NO. 75-4382 SHEET 2 OF 12
 DRAWING NO. D-18































SIGNAL NOTES

1. ALL WORK ON THESE PLANS IS TO BE PERFORMED UNDER THIS CONTRACT SHALL CONFORM TO THE CURRENT NATIONAL ELECTRICAL CODE, THE STANDARDS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS FOR ELECTRICAL WIRING AND APPARATUS, THE CITY'S TRAFFIC ENGINEERING OPERATIONS THIRD DRAFT SPECIFICATIONS (JUNE 1984), AND THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (STANDARD SPECIFICATIONS).
2. LOCATIONS OF CONDUITS, FOUNDATIONS, CONTROL CABINETS, PULL BOXES, MANHOLES, AND SPICE CABINETS SHOWN ON THESE PLANS ARE SCHEMATIC AND SHALL BE ADJUSTED IN THE FIELD TO MAXIMIZE CLEAR SPACE AVAILABLE FOR PEDESTRIANS AND WHEELCHAIRS TO COMPLY WITH THE AMERICANS WITH DISABILITIES ACT. THE CONTRACTOR SHALL MEET WITH THE CITY'S TRAFFIC ENGINEERING OPERATIONS PERSONNEL IN THE FIELD AT ALL LOCATIONS TO SPOT EQUIPMENT BEFORE BECOMING THE WORK. ALL SUCH EQUIPMENT SHALL BE INSTALLED WITHIN THE RIGHT-OF-WAY.
3. THE CONTRACTOR IS WARNED THAT EXISTING CONDUITS MAY CONTAIN AC POWER AND CAUTION SHALL BE EXERCISED IN INTERCEPTING OR INSTALLING CABLE IN EXISTING CONDUIT.
4. THE CONTRACTOR SHALL BORE, DRILL, OR PUSH WHEN CROSSING EXISTING PAVEMENTS AND ANY DRIVEWAYS FOR ALL EXISTING UTILITIES. THE CONTRACTOR SHALL LOCATE AND EXPOSE GAS LINES WHICH CROSS ANY PROPOSED TRENCHES. THE CONTRACTOR SHALL EXPOSE ALL UTILITIES PRIOR TO TRENCHING. THE CONTRACTOR SHALL TAKE CARE TO PROTECT ALL EXISTING UTILITIES AND SHALL REPLACE EXISTING PAVEMENT ONLY WHEN APPROVED BY THE PROJECT MANAGER. SPLICING OF COMMUNICATIONS CABLE WILL NOT BE PERMITTED IN PULL BOXES.
5. SPLICING OF COMMUNICATIONS CABLE (CONNECTIONS) WILL BE PERMITTED ONLY AT SPICE CABINETS OR CONTROL CABINETS WITH SPICE BARS. SPLICING OF TRAFFIC SIGNALS WIRE WILL BE PERMITTED IN LARGE PULL BOXES INCLUDING LARGE MEDIAN PULL BOXES.
6. ALL PULL BOXES SHALL BE REINFORCED POLYMER MORTAR HEAVY DUTY TYPE WITH REINFORCED POLYMER MORTAR CONCRETE COVERS, STEEL COVERS, AND CONCRETE PULL BOXES WILL NOT BE ACCEPTABLE.
7. THE CONTRACTOR SHALL NOTIFY THE CITY OF ALBUQUERQUE TRAFFIC ENGINEERING OPERATIONS (857-8000) THREE WORKING DAYS IN ADVANCE OF ANY ANTICIPATED WORK ON SIGNALS, LIGHTING, AND POWER SERVICES. TRAFFIC ENGINEERING OPERATIONS PERSONNEL WILL ASSIST THE CONTRACTOR IN FIELD LOCATION OF EQUIPMENT, COLOR CODING OF WIRING, AND MUST BE PRESENT WHEN SIGNALS AND LIGHTING ARE SHUT-OFF OR TURNED ON. THE CONTRACTOR SHALL ALSO NOTIFY THE CITY OF ALBUQUERQUE TRAFFIC ENGINEERING OPERATIONS EACH TIME A TRAFFIC SIGNAL CONTROL DOOR IS OPENED.
8. THE CONTRACTOR SHALL NOTIFY PUBLIC SERVICE COMPANY 30 DAYS IN ADVANCE OF ANTICIPATED POWER SERVICE CONNECTIONS. THE CONTRACTOR SHALL COORDINATE WITH PUBLIC SERVICE COMPANY TO ESTABLISH ELECTRICAL SERVICE IN THE CITY'S NAME. THE CONTRACTOR SHALL PAY THE LOCAL POWER COMPANY ALL COSTS TO PROVIDE ELECTRICAL SERVICE. THIS WORK WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
9. LIVE UNUSED CONDUITORS WILL NOT BE ALLOWED AT MASTARM POLES AND PEDESTAL POLES. ALL SUCH UNUSED CONDUITORS SHALL BE DISCONNECTED AT THE LARGE PULL BOX ADJACENT TO THE POLE.
10. IF TRENCH WIDTHS LESS THAN 12" ARE PROPOSED BY THE CONTRACTOR, APPROVED CONNECTION METHODS SHALL BE USED DURING BACKFILL TO PREVENT LATERITY WHICH COULD CAUSE THE CONTRACTOR TO USE GROUT OR LEAN FILL AS APPROVED BY THE PROJECT MANAGER IN LIEU OF EARTH BACKFILL.
11. FOR CONDUITS CONTAINING ONLY LOW VOLTAGE COMMUNICATIONS CABLES, THE REQUIREMENTS FOR A SINGLE CONDUCTOR BARE COPPER #8 AWG MAY BE WAIVED WHERE PERMITTED BY THE NATIONAL ELECTRIC CODE.
12. THE CITY OF ALBUQUERQUE TRAFFIC ENGINEERING OPERATIONS PERSONNEL WILL PROVIDE TRAFFIC SIGNAL TRING PLANS AND WILL PROGRAM TRAFFIC SIGNAL CONTROLLERS.
13. THE CONTRACTOR SHALL PROVIDE OFF-DUTY POLICE OFFICERS TO DIRECT TRAFFIC WHEN SIGNALS ARE TURNED OFF.
14. ALL DATA SHOWN HEREIN CONCERNING EXISTING UTILITIES HAS BEEN OBTAINED FROM "AS-BUILT" DRAWINGS AND FROM FIELD OBSERVATIONS WHICH MAY OR MAY NOT BE ACCURATE. THE CONTRACTOR WILL BE RESPONSIBLE FOR EXPLORATORY TRENCHING, IF NECESSARY, TO MORE SPECIFICALLY LOCATE UTILITY LINES. COST OF LOCATING UTILITY LINES INCLUDING EXPLORATORY TRENCHING WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
15. IN THE EVENT THAT LANDFILL DEBRIS IS ENCOUNTERED IN EXCAVATIONS WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL REMOVE THE DEBRIS WITHIN THE LIMITS OF THE WORK AND DISPOSE IN ACCORDANCE WITH ALBUQUERQUE ENVIRONMENTAL HEALTH DEPARTMENT REQUIREMENTS. THIS WORK WILL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
16. THE CONTRACTOR SHALL COIL EXCESS INTERCONNECT CABLE IN NEW OR EXISTING TRAFFIC MANHOLES BETWEEN SPICE CABINETS.
17. THE FOLLOWING CITY OF ALBUQUERQUE STANDARD DRAWINGS SHALL BE USED FOR THIS PROJECT:
 - 2418A & B CURB AND GUTTER AND TEMPORARY PAVING SECTION
 - 2420 CONCRETE VALLEY GUTTER
 - 2430 SIDEWALK DETAILS
 - 2441 CURB ACCESS RAMP
 - 2465 PAVEMENT CUTS FOR ALL UTILITIES
 - 2550 TRAFFIC SIGNAL PULL BOX DETAIL
 - 2551 TRAFFIC SIGNAL MANHOLE DETAIL
 - 2552 TRAFFIC SIGNAL LOOP DETECTOR DETAILS
 - 2553 TRAFFIC SIGNAL CONTROLLER CABINET & PEDESTAL FOUNDATION DETAIL
 - 2557 TRAFFIC SIGNAL SPICE CABINET GROUND MOUNT (LARGE)
 - 2558 TRAFFIC SIGNAL FOUNDATION DETAILS TYPE II AND TYPE III STANDARDS
 - 2560 TRAFFIC SIGNAL MISCELLANEOUS DETAILS
 - 2562A TRAFFIC SIGNAL MASTARM DETAILS, TYPE II STANDARD
 - 2562B TRAFFIC SIGNAL MASTARM DETAILS, TYPE III STANDARD
 - 2562C TRAFFIC SIGNAL MASTARM DETAILS, TYPE III STANDARD
 - 2570 TRAFFIC SIGNAL WEATHER PEDESTAL SERVICE DETAILS
 - 2572 TRAFFIC SIGNAL WEATHER PEDESTAL DETAILS COMBINATION SIGNAL & LIGHTING
 - 2580 STREET LIGHTING FOUNDATION & MISCELLANEOUS DETAILS
 - 2581 TRAFFIC SIGNAL WEATHER PEDESTAL DETAILS
 - 2801 GENERAL NOTES
 - 2802 TRAFFIC CONTROL SIGNALING
 - 2803 CONSTRUCTION TRAFFIC CONTROL
 - 2804 - 2808 SIGNING EXAMPLES (AUTOC)

TRAFFIC SIGNAL EQUIPMENT REQUIREMENTS

1. THE CONTRACTOR SHALL FURNISH AND INSTALL THE FOLLOWING:
 - A. THE TRAFFIC SIGNAL CONTROLLER SUPPLIED FOR THIS PROJECT SHALL BE AS DIRECTED BY COA TRAFFIC ENGINEERING DEPARTMENT (ANDREW GALLEGOS, 857-8004).
 - B. THE TRAFFIC SIGNAL CONTROLLER CABINET SUPPLIED FOR THIS PROJECT SHALL BE AS DIRECTED BY COA.
2. SPICE CABINETS SHALL BE AS DETAIL ON THESE PLANS. LOW VOLTAGE SPICE BLOCKS SHALL BE 50 UNITS TO THE FOOT, WITH EACH SPICE BLOCK CAPABLE OF HANDLING 25 PAIR CABLE (NUMBER OF SPICE BLOCKS IN EACH CABINET CAPABLE OF HANDLING NUMBER OF CONDUCTORS SHOWN ON PLANS). SPICE BLOCKS SHALL BE BELL SYSTEMS PART #6883-50 OR APPROVED EQUAL. ALL COMMUNICATION CABLE PAIRS SHALL BE TERMINATED AT THE SPICE BLOCK INCLUDING INACTIVE PAIRS.
3. COA #195A TWISTED PAIR MODEL WITH 4-WIRE SURGE PROTECTOR TO INTEGRATE WITH I2 (SEMIEX SYSTEM).
3. INTERCONNECT CABLES SHALL COMPLY WITH REA SPECIFICATION PE-22. INTERCONNECT CABLE SHALL CONTAIN THE NUMBER OF WIRE PAIRS SHOWN ON THESE PLANS AND THE INDIVIDUAL CONDUCTORS SHALL BE 19 AWG SOLID.
4. ALL SIGNAL INDICATORS AND PEDESTRIAN SIGNALS SHALL BE LED, AS APPROVED BY THE CITY. PEDESTRIAN SIGNAL SHALL BE COUNTERDOWN MODEL AS APPROVED BY THE CITY.
5. ILLUMINATED STREET NAME SIGNS SHALL BE CARMANAH OR APPROVED EQUAL.

TRAFFIC SIGNAL LEGEND

NEW	EXISTING	ITEM
		PULL BOX
		SERVICE POLE
		METER PEDESTAL
		CONTROLLER CABINET
		CONDUIT RUN (SIGNALS)
		CONDUIT RUN (INTERCONNECT)
		LOOP DETECTOR
		TRAFFIC SIGNAL PEDESTAL POLE (SIGNAL)
		CONDUIT RUN NUMBER (SIGNAL)
		TYPE II STANDARD WITH MASTARM, TRAFFIC SIGNAL BACKPLATE, AND OPTICAL DETECTOR
		TYPE III STANDARD WITH MASTARM, TRAFFIC SIGNAL BACKPLATE, OPTICAL DETECTOR, LUMINAIRE, AND CAMERA
		PEDESTRIAN PUSH BUTTON (MOUNTED TO SIDE OF POLE WHERE INDICATED)
		PEDESTRIAN SIGNAL (MOUNTED TO SIDE OF POLE WHERE INDICATED)
		SPICE CABINET
		TRAFFIC MANHOLE

AS-BUILT INFORMATION
BENCH MARKS
SURVEY INFORMATION
FIELD NOTES
ENGINEER'S SEAL

NO. BY DATE

REVISIONS
NO. DATE
BY

DESIGNED BY JF
DATE MAR 2008

DRAWN BY LM
DATE MAR 2008

CHECKED BY RT
DATE MAR 2008

DESIGNED BY	JF
DRAWN BY	LM
CHECKED BY	RT
DATE	MAR 2008

DEFINITIONS

1. "ENGINEER" - FOR THE PURPOSES OF THIS PROJECT, THE TERM "ENGINEER" IS SYNONYMOUS WITH THE TERM "PROJECT MANAGER".

CONSTRUCTION TRAFFIC CONTROL NOTES

1. THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN AND OBTAIN AN EXCAVATION/BARRICADE PERMIT IN ACCORDANCE WITH SECTION 2800 OF THE STANDARD SPECIFICATIONS.
2. THE CONTRACTOR SHALL NOT CLOSE MORE THAN ONE TRAFFIC LANE IN ANY ONE DIRECTION AT A TIME.
3. IN THE EVENT THAT THE CONTRACTOR IS REQUIRED BY THE CITY OR OTHER AUTHORITY TO PERFORM WORK DURING OFF-PEAK OR OVERNIGHT HOURS IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS, ADDED COSTS ASSOCIATED WITH SUCH WORK HOURS WILL BE CONSIDERED INCIDENTAL.
4. CONTRACTOR TO COORDINATE TRAFFIC CONTROL WITH LOWE'S PROJECT MANAGER AND LOWE'S STORE MANAGER. ACCESS TO BE MAINTAINED THROUGHOUT THE PROJECT. NO LANE CLOSURES TO BE LEFT THROUGH A WEEKEND.

GENERAL NOTES

1. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID, AND DISCREPANCIES IN THE PROJECT DOCUMENTS ARE TO BE ALERTED TO THE LOWE'S PROJECT MANAGER.
2. THE CONTRACTOR TO ROUTE ALL PROJECT SCHEDULES, RFI'S, CONTRACT INFORMATION, SHOP DRAWINGS, SUBMITTAL SHEETS, WARRANT INFORMATION, AND PAYMENT REQUESTS TO THE LOWE'S PROJECT MANAGER ASSIGNED TO THE PROJECT.
3. CONTRACTOR SHALL KEEP ALL DISTURBED AREAS AT THE COMPLETION OF CONSTRUCTION ACTIVITIES USING CLASS "A" NATIVE GRASS SEED MIXTURE IN ACCORDANCE WITH COA STANDARD SPECIFICATIONS. THIS WORK WILL BE CONSIDERED INCIDENTAL TO THE PROJECT.

Boitman Houston
Company: 1989 Johnson Blvd. Albuquerque, NM 87106-0000
REGISTRATION - INITIAL PERM - LICENSED REGISTERED
LOWE'S
LOWE'S OF NE ALBUQUERQUE
CITY OF ALBUQUERQUE, NM
TRAFFIC SIGNAL IMPROVEMENTS - PALOMAS AVENUE / SAN PEDRO DRIVE
TRAFFIC SIGNAL NOTES
EQUIPMENT REQUIREMENTS AND LEGEND
DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL
DATE: 07/20/08

FORM SHIP NO. D-18
CITY PROJECT NO. 754382
SHEET 3 OF 12

INCIDENTAL ITEMS *

1. ANCHOR BOLTS FOR FOUNDATIONS.
2. GROUND RODS FOR FOUNDATIONS
3. UNIVERSAL SUPPORT BRACKETS FOR SERVICE RISERS.
4. CABLE TESTING AND DIAGRAMS.
5. BORING, DRILLING, PUSHING, AND TRENCHING, INCLUDING REMOVAL AND REPLACEMENT OF PAVEMENT, SIDEWALKS, DRIVE PADS, VALLEY CUTTERS, WHEELCHAIR RAMPS, CURB & GUTTER, AND LANDSCAPING (INCLUDING SPRINKLERS) FOR INSTALLATION OF PULL BOXES, CONDUITS, AND SIGNAL FOUNDATIONS, EXCEPT AS NOTED ON THE PLANS.
6. LOCATION OF UTILITY LINES INCLUDING EXPLORATORY TRENCHING AND EXPOSING OF GAS LINES WHEN BORING.
7. DESIGN, MATERIALS, INSTALLATION AND REMOVAL OF SAFETY BARRIER FOR SHIELDING EQUIPMENT OR MATERIAL.
8. APPRISING PUBLIC THROUGH THE LOCAL NEWS MEDIA.
9. HAULING OF MATERIAL TO BE DISPOSED TO CITY LANDFILL.
10. LEAN FILL FOR CONDUIT TRENCHES.
11. PULL BOX ADJUSTMENT TO GRADE.
12. OFF-DUTY POLICE OFFICER FOR TRAFFIC CONTROL.
13. PULL STRING IN CONDUITS.
14. SEEDING DISTURBED AREAS.
15. DETECTABLE WARNING SURFACE

ITEMS LISTED ARE ONLY A GENERAL DESCRIPTION OF THE REQUIRED WORK AND MATERIALS, AND MAY NOT BE COMPLETE. THIS LIST DOES NOT INCLUDE ANY INCIDENTAL WORK OR MATERIALS REQUIRED BY THE SPECIAL PROVISIONS SERIALS (STANDARD DETAILS), SUPPLEMENTAL SPECIFICATIONS, OR THE STANDARD SPECIFICATIONS.

NOTES

1. QUANTITY INCLUDES TWO SAWCUTS FOR SAN PEDRO PAVEMENT ADJACENT TO VALLEY CUTTER TO ACCOUNT FOR PAVEMENT THICKNESS GREATER THAN 6".

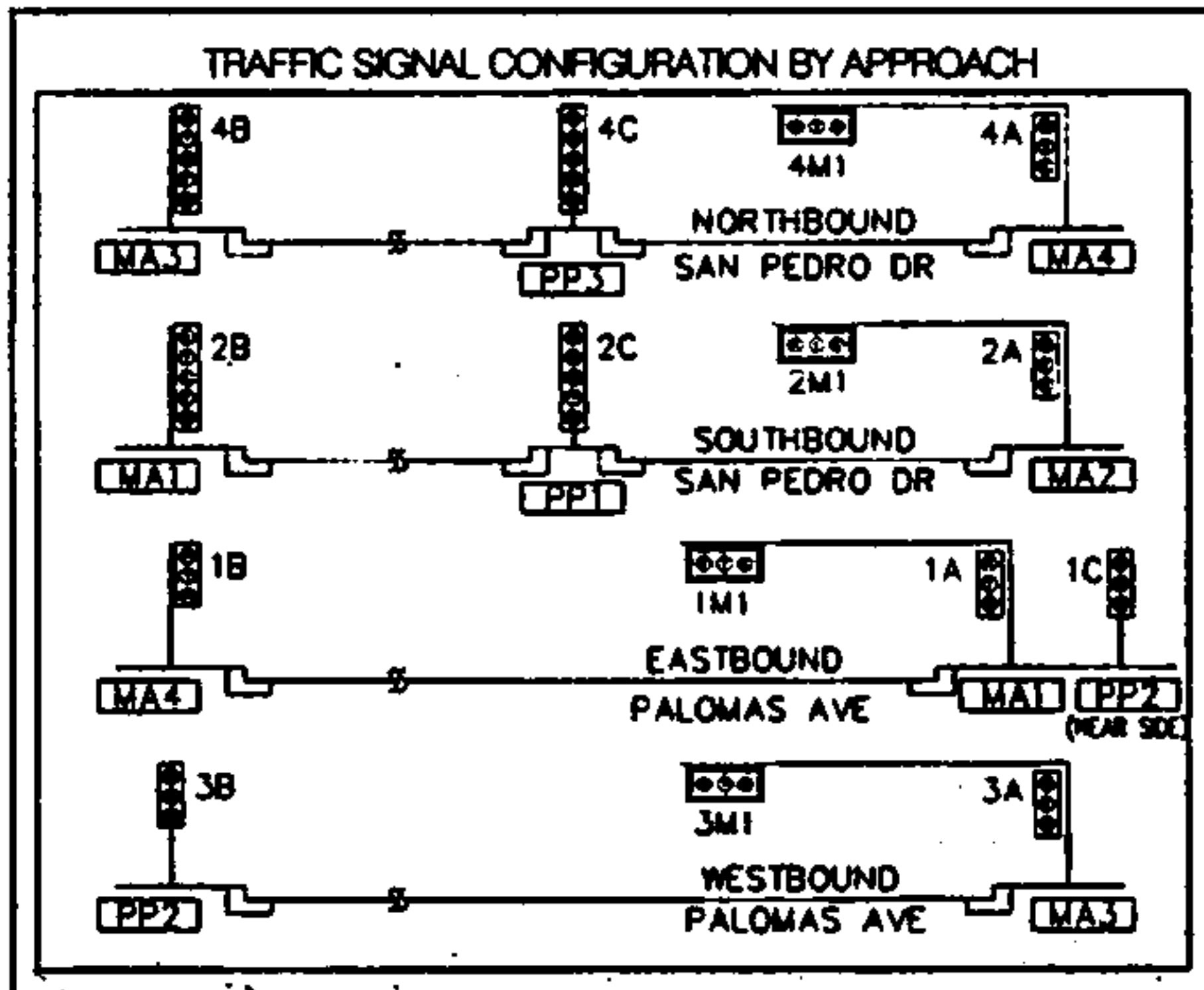
ESTIMATED QUANTITIES							
		UNIT	ROADWAY	TRAFFIC SIGNAL	LIGHTING	INTERCONNECT	TOTAL
044010	SIDEWALK, 4" THICK PORTLAND CEMENT CONCRETE, INCL. SURGRADE	BT	17				17
044020	WHEELCHAIR ACCESS RAMP, 4" CONC. STD. CURB, CP	BT	14				14
044025	VALLEY CUTTER, PORTLAND CEMENT CONCRETE, REMOVE, DISPOSE & REPLACE, CP	BT	34				34
044110	HEADER CURB, PORTLAND CEMENT CONCRETE, INCL. SURGRADE, CP, SD 215	LN FT	60				60
044195	EXISTING SIDEWALK, 4" PC CONCRETE, REMOVE & DISPOSE	BT	23				23
044198	EXISTING SIDEWALK, 4" PC CONCRETE, REMOVE & DISPOSE	BT	5				5
044199	WFO MACHINE, REMOVE & REPLACE, CP	LN FT	60				60
044200	SANDBLOT, AC PAVEMENT, 1" THICK OR LESS, COMP.	LN FT	60				60
044205	SERVICE RISER (SIGNAL)	EACH					1
044206	METER PEDESTAL (SIGNAL)	EACH					1
044207	PEDESTRIAN PUSH BUTTON POLE, 4 FOOT	EACH					2
044208	TRAFFIC SIGNAL PEDESTAL POLE, 15 FOOT	EACH					3
044209	TRAFFIC SIGNAL MAST ARM, 25 FOOT ARM, TYPE II, THROMBONE	EACH					1
044210	TRAFFIC SIGNAL MAST ARM, 30 FOOT ARM, TYPE II, THROMBONE	EACH					2
044211	TRAFFIC SIGNAL MAST ARM, 30 FOOT ARM, TYPE II, THROMBONE	EACH					1
044212	TRAFFIC SIGNAL FOUNDATION FOR PEDESTAL POLE	EACH					3
044213	TRAFFIC SIGNAL MAST ARM FOUNDATION	EACH					4
044214	TRAFFIC SIGNAL MAST ARM FOUNDATION (TYPE II & P CABINETS)	EACH					1
044215	TRAFFIC SIGNAL FOUNDATION (TYPE II & P CABINETS)	EACH					1
044216	REBAR ELECTRICAL CONDUIT, 2" INCLUDING TRENCH BACKFILL	LN FT		25			25
044217	RATCHING, RUBBER, BORING, 1.5 MOUNDS	LN FT		300			300
044218	REBAR ELECTRICAL CONDUIT, 2" INCLUDING TRENCH BACKFILL	LN FT					10
044219	PATCHING, RUBBER, BORING, 1.5 MOUNDS	LN FT					100
044220	ELECTRICAL PULL BOX (LARGE)	EACH					1
044221	SPUR CABINET GROUND MOUNT (LARGE)	EACH					1
044222	TRAFFIC SIGNAL MANHOLE	EACH					1
044223	SINGLE CONDUCTOR, 3	LN FT		210			210
044224	SINGLE CONDUCTOR, 6	LN FT		1200			1200
044225	MULTI-CONDUCTOR CABLE, 3	LN FT		600			600
044226	MULTI-CONDUCTOR CABLE, 6	LN FT		265			265
044227	MULTI-CONDUCTOR CABLE, 7	LN FT		145			145
044228	MULTI-CONDUCTOR CABLE, 20	LN FT		1300			1300
044229	COMMUNICATION CABLE, 8 PWR	LN FT		20			20
044230	COMMUNICATION CABLE, 12 PWR	LN FT		840			840
044231	3 SECTION TRAFFIC SIGNAL ASSEMBLY (LED)	EACH					11
044232	5 SECTION TRAFFIC SIGNAL ASSEMBLY (LED)	EACH					4
044233	3 SECTION INSIGNIA PLATE	EACH					4
044234	PEDESTRIAN SIGNAL, COUNTDOWN, LED	EACH					8
044235	LOOP VEHICLE DETECTOR	EACH					6
044236	PEDESTRIAN PUSH BUTTON STATION	EACH					6
044237	LOOP DETECTOR WIRE	EACH					2470
044238	LOOP LEAD-IN CABLE	LN FT					1100
044239	DETECTOR SANCUT	LN FT					907
044240	PHASE SELECTOR MODULE, 2 CHANNEL	EACH					2
044241	TRAFFIC ACTUATED CONTROLLER	EACH					1
044242	EIGHT PHASE DUAL RING CONTROLLER CABINET	EACH					1
044243	INDUSTRY LUMINAIRE, TYPE 400	EACH		2			2
044244	RETROREFLECTIVE PREFORMED PLASTIC PAVEMENT MARKING, 4" CP	LN FT					1300
044245	RETROREFLECTIVE PREFORMED PLASTIC PAVEMENT MARKING, 2"	LN FT					600
044246	RETROREFLECTIVE PREFORMED PLASTIC PAVEMENT MARKING, 2"	LN FT					100
044247	RETROREFLECTIVE PREFORMED PLASTIC PAVEMENT MARKING, LEFT ARROW	EA					4
044248	RETROREFLECTIVE PREFORMED PLASTIC PAVEMENT MARKING, WORD ONLY	EA					2
044249	REMOVAL OF PAVEMENT STRIPE, ANY WIDTH, PAINTED OR PLASTER, COMP.	LN FT	20				20
044250	SEMI POST & BASE POST, REMOVE & SALVAGE, COMP.	EA					2
044251	INTERNALLY ILLUMINATED SIGN	EACH					1
044252	CURB (1984) THREADED PINE MODERN W/ WIRE SURGE PROTECTOR	EACH					1

LOWE'S
 LOWE'S OF NE ALBUQUERQUE
 CITY OF ALBUQUERQUE, NM
 TRAFFIC SIGNAL IMPROVEMENTS - PALOMAS AVENUE / SAN PEDRO DRIVE
 TRAFFIC SIGNAL ESTIMATED QUANTITIES
 AND INCIDENTAL ITEMS
 DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL

FOR INFORMATION ONLY

DESIGNED BY: DATE: 12/15/08
 CHECKED BY: DATE: 12/15/08
 REVISIONS: NO. DATE
 ENGINEER'S SEAL: [Signature]

Bohannon & Houston
 CONSULTING ENGINEERS
 1000 Jackson N.W. Albuquerque, NM 87102-1143
 (505) 243-8800 • FAX (505) 243-8802

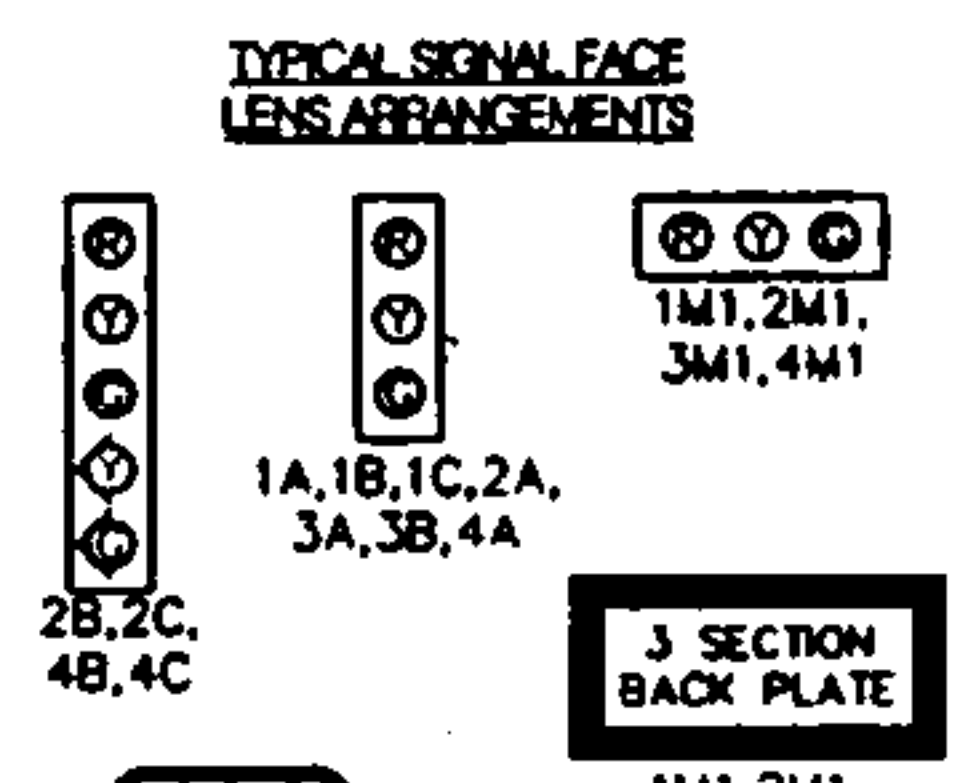
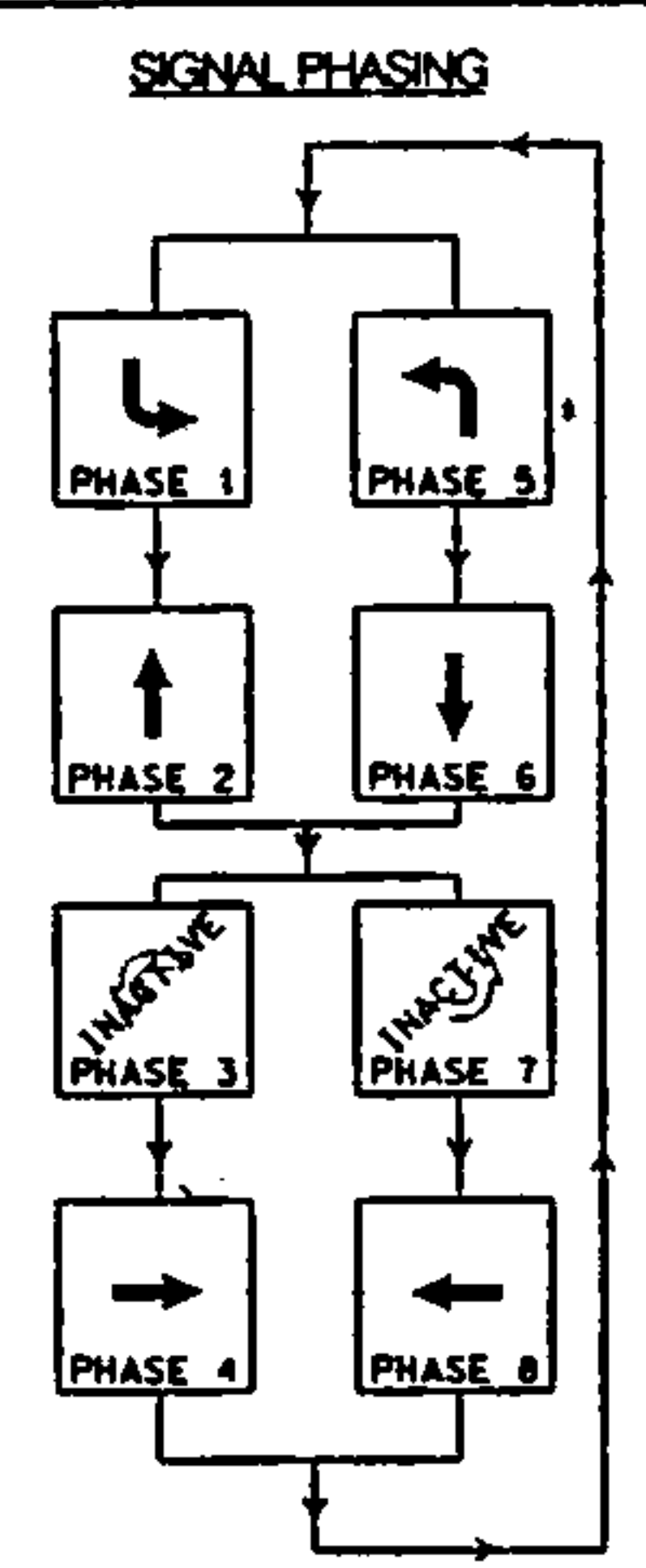


LOOP DETECTOR CABLE

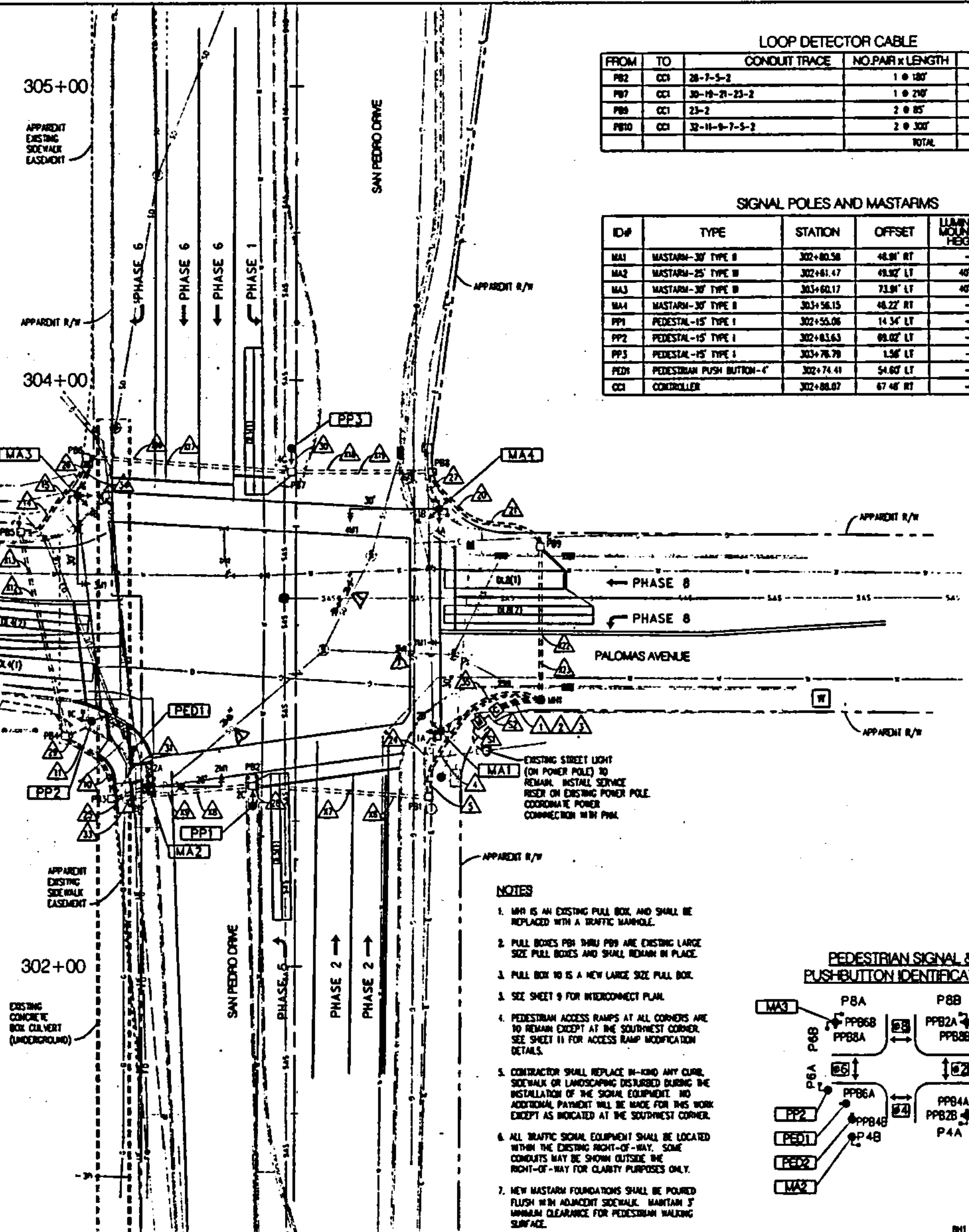
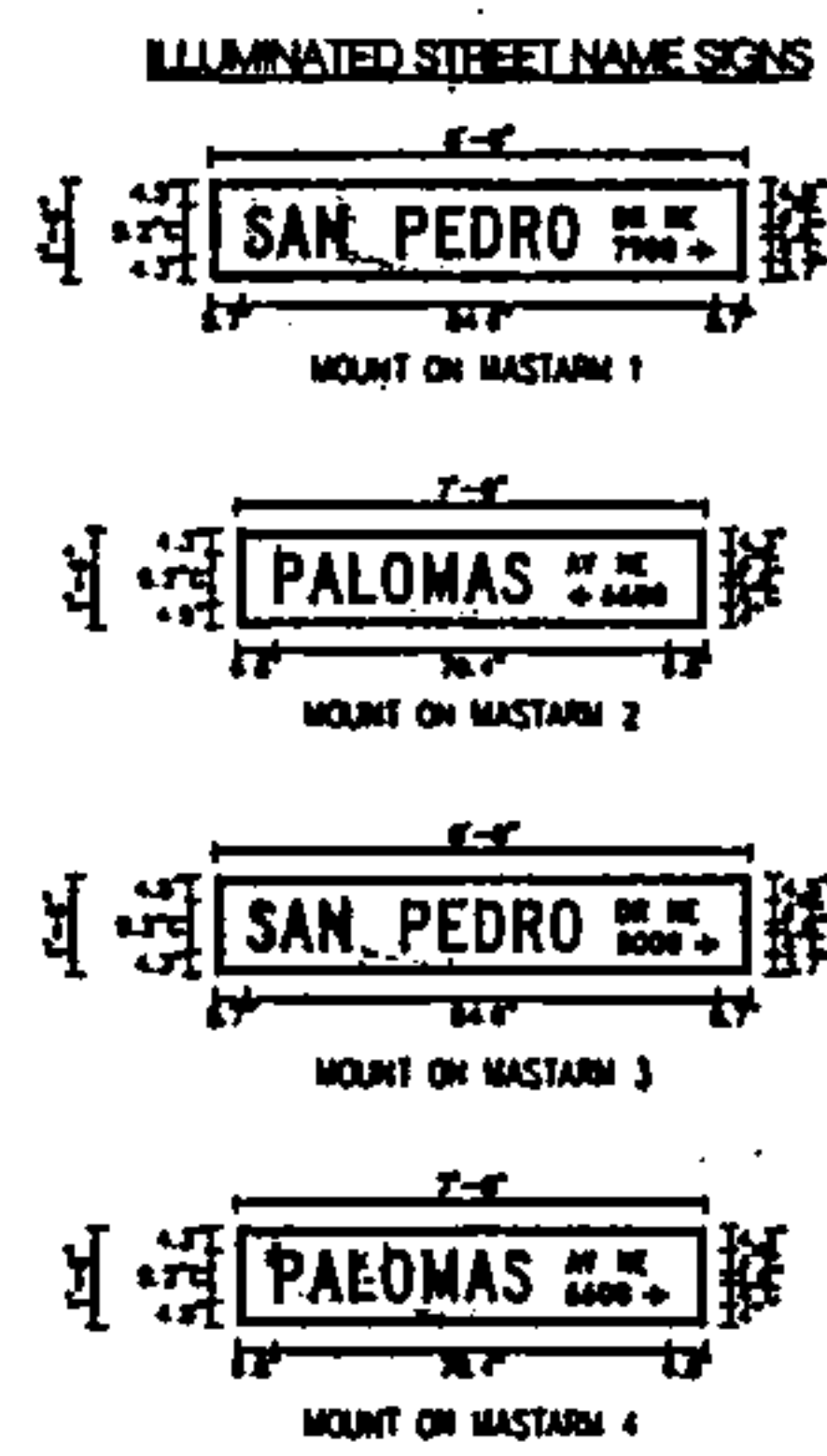
FROM	TO	CONDUIT TRACE	NO. PAIR x LENGTH	TOTAL LENGTH
PP2	CCI	28-7-5-2	1 @ 180'	180'
PP7	CCI	35-10-21-23-2	1 @ 210'	210'
PP8	CCI	23-2	2 @ 85'	170'
PP10	CCI	32-11-9-7-5-2	2 @ 300'	600'
TOTAL				1160'

SIGNAL POLES AND MASTARMS

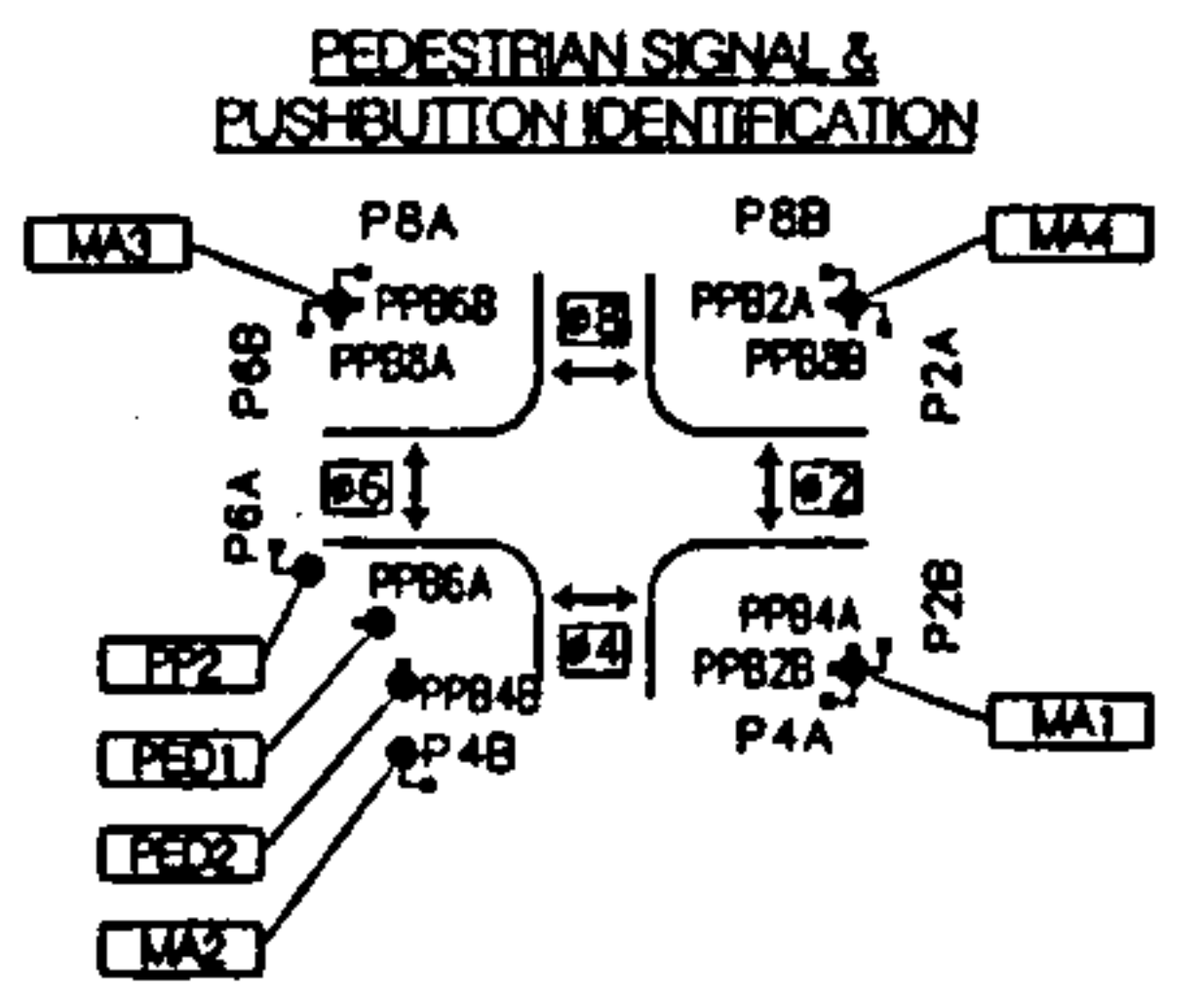
ID#	TYPE	STATION	OFFSET	LUMINAIRE MOUNTING HEIGHT	LUMINAIRE ARM
MA1	MASTARM-30' TYPE II	302+80.58	48.98' RT	-	-
MA2	MASTARM-25' TYPE III	302+61.47	49.92' LT	48'	10'
MA3	MASTARM-30' TYPE II	303+60.17	73.91' LT	48'	10'
MA4	MASTARM-30' TYPE II	303+56.15	48.22' RT	-	-
PP1	PEDESTAL-15' TYPE I	302+55.06	14.34' LT	-	-
PP2	PEDESTAL-15' TYPE I	302+83.63	68.02' LT	-	-
PP3	PEDESTAL-15' TYPE I	303+78.70	1.58' LT	-	-
PED1	PEDESTAL PUSH BUTTON-4'	302+74.41	54.63' LT	-	-
CCI	CONTROLLER	302+88.07	67.48' RT	-	-



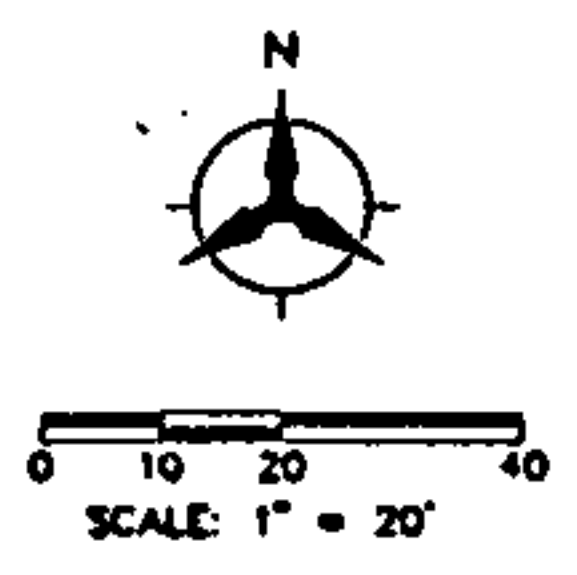
- ### FLASH CONDITION
- RED BALL 1A, 1B, 1C, 1M1, 3A, 3B, 3M1
 - RED BALL 2A, 2B, 2M1, 4A, 4B, 4M1
- ### INITIALIZATION
- ALL RED, THEN PHASE 2 AND 6 GREEN
- ### ABBREVIATIONS
- MA1 MASTARM NUMBER
 - PP1 PEDESTAL POLE NUMBER
 - PPB PEDESTAL PUSH BUTTON NUMBER
 - CCI CONTROL CABINET NUMBER
 - SCI SIGNAL CABINET NUMBER
 - PB1 PULL BOX NUMBER (SIGNALS)
 - PB2 PULL BOX NUMBER (POWER)
 - SA SIGNAL HEAD NUMBER
 - PI PEDESTAL SIGNAL NUMBER
 - MHR TRAFFIC MANDOLE NUMBER
- ### SYMBOL KEY
- MA1 SIGNAL & CABINET ID
 - ▲ CONDUIT RUN ID (SIGNALS)
 - ▲ CONDUIT RUN ID (POWER SERVICE)



- ### NOTES
- MHR IS AN EXISTING PULL BOX AND SHALL BE REPLACED WITH A TRAFFIC MANDOLE.
 - PULL BOXES FOR PBP1-PBP9 ARE EXISTING LARGE SIZE PULL BOXES AND SHALL REMAIN IN PLACE.
 - PULL BOX 10 IS A NEW LARGE SIZE PULL BOX.
 - SEE SHEET 8 FOR INTERCONNECT PLAN.
 - PEDESTAL ACCESS RAMP AT ALL CORNERS ARE TO REMAIN EXCEPT AT THE SOUTHWEST CORNER. SEE SHEET 11 FOR ACCESS RAMP MODIFICATION DETAILS.
 - CONTRACTOR SHALL REPLACE IN-KIND ANY CURB, SIDEWALK OR LANDSCAPING DISTURBED DURING THE INSTALLATION OF THE SIGNAL EQUIPMENT. NO ADDITIONAL PAYMENT WILL BE MADE FOR THIS WORK EXCEPT AS INDICATED AT THE SOUTHWEST CORNER.
 - ALL TRAFFIC SIGNAL EQUIPMENT SHALL BE LOCATED WITHIN THE EXISTING RIGHT-OF-WAY. SOME CONDUITS MAY BE SHOWN OUTSIDE THE RIGHT-OF-WAY FOR CLARITY PURPOSES ONLY.
 - NEW MASTARM FOUNDATIONS SHALL BE POURED FLUSH WITH ADJACENT SIDEWALK. MAINTAIN 3" MINIMUM CLEARANCE FOR PEDESTRIAN WALKING SURFACE.



P1, P2, P3, P4
P5, P6, P7, P8



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 7700 Jefferson St. NE Albuquerque, NM 87109-4328
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Lowé's CITY OF ALBUQUERQUE, NM
 TRAFFIC SIGNAL IMPROVEMENTS - PALOMAS AVENUE / SAN PEDRO DRIVE
 PALOMAS AVENUE/SAN PEDRO DRIVE

DESIGN REVIEW COMMITTEE: CITY ENGINEER APPROVAL: NO. DATE: NO. DATE: NO. DATE:
 LAST DESIGN UPDATE: NO. DATE: NO. DATE: NO. DATE:
 DESIGNED BY: JCP DATE: MAR 2008
 DRAWN BY: LAM DATE: MAR 2008
 CHECKED BY: JOT DATE: MAR 2008

CITY PROJECT NO. 754382 ZONE MAP NO. D-18 SHEET 5 OF 12
 BH1 JOB NO. 080339

RUN ID	CONDUIT LENGTH, SIZE, AND TYPE		REMARKS	CONDUIT FILL BY CONDUCTOR LENGTH AND TYPE																
	SIZE/LENGTH			TYPE	MCC 5 (#FT)	MCC 7 (#FT)	MCC 20 (#FT)	SCC #2 (#FT)	SCC #8 (#FT)	SCC #2 - LIGHTING (#FT)	PS (#FT)	DLUC (#FT)								
	1"	2"											3"							
S1	50		REC POWER TO METER																	
S2	10		REC METER TO CC1				3 @ 55													
1	20		REC CC1 TO MH1	2 @ 25		2 @ 25			1 @ 25											
2	20		REC CC1 TO MH1	2 @ 25		2 @ 25			1 @ 25											
3	65		REC MH1 TO PB1	2 @ 70		2 @ 70			1 @ 70											
4	65		REC MH1 TO PB1	2 @ 70		2 @ 70			1 @ 70											
X6	(65)		REC PB1 TO PB2	2 @ 70		2 @ 70			1 @ 70											
X7	(50)		REC PB2 TO PB3	2 @ 55		2 @ 55			1 @ 55											
X8	(50)		REC PB3 TO PB4	2 @ 35		2 @ 35			1 @ 35											
X9	30		REC PB3 TO PB4	2 @ 35		2 @ 35			1 @ 35											
10	30		REC PB3 TO PB4	2 @ 35		2 @ 35			1 @ 35											
11	(75)		REC PB4 TO PB5	2 @ 80		2 @ 80			1 @ 80											
X12	(75)		REC PB4 TO PB5	2 @ 80		2 @ 80			1 @ 80											
13	40		REC PB5 TO PB6	2 @ 45		2 @ 45			1 @ 45											
14	40		REC PB5 TO PB6	2 @ 45		2 @ 45			1 @ 45											
X16	(75)		REC PB6 TO PB7	2 @ 80		2 @ 80			1 @ 80											
X17	(75)		REC PB6 TO PB7	2 @ 80		2 @ 80			1 @ 80											
X18	(50)		REC PB7 TO PB8	2 @ 55		2 @ 55			1 @ 55											
X19	(50)		REC PB7 TO PB8	2 @ 55		2 @ 55			1 @ 55											
20	50		REC PB8 TO PB9	2 @ 55		2 @ 55			1 @ 55											
X22	(65)		REC PB8 TO PB9	2 @ 55		2 @ 55			1 @ 55											
X23	(55)		REC PB8 TO MH1	2 @ 60		2 @ 60			1 @ 60											
24	25		REC MA1 TO PB1	6 @ 30		6 @ 30			1 @ 30											
25	15		REC MA2 TO PB3	3 @ 20		3 @ 20			1 @ 20											
26	20		REC MA3 TO PB6	6 @ 25		6 @ 25			1 @ 25											
27	15		REC MA4 TO PB6	7 @ 20		7 @ 20			1 @ 20											
28	10		REC PP1 TO PB2	3 @ 20		3 @ 20			1 @ 15											
29	15		REC PP2 TO PB4	3 @ 20		3 @ 20			1 @ 15											
30	10		REC PP3 TO PB7	1 @ 25		1 @ 25			1 @ 15											
31	20		REC PED1 TO PB3	1 @ 20		1 @ 20														
32	15		REC PED2 TO PB3	1 @ 20		1 @ 20														
33	40		REC PB10 TO PB4																	
34	15		REC MA2 TO PB6																	
35	20		REC MA3 TO PB6																	
36	30		REC METER TO MH1																	

NOTE: CONDUIT QUANTITIES SHOWN IN PARENTHESIS (#) ARE EXISTING AND ARE NOT INCLUDED IN THESE QUANTITY TOTALS.

AS-BUILT INFORMATION	BENCH MARKS	SURVEY INFORMATION	ENGINEER'S SEAL
NO. BY DATE	FIELD NOTES		
STANDARD 3-1/2" x 5-1/2" x 1/4" ALUMINUM OR INSTEAD IN A PIPE	THE SOUTHWEST CORNER OF MASTARM AND PALOMAS DRIVES	NO. DATE	REVISIONS
DESIGNED BY	DATE MAY 2008	DESIGNED BY	DATE MAY 2008
CHECKED BY	DATE MAY 2008	CHECKED BY	DATE MAY 2008

- ABBREVIATIONS**
- CC 6 COMMUNICATION CABLE-6 PAIR
 - CC 12 COMMUNICATION CABLE-12 PAIR
 - DLUC DETECTOR LOOP LEAD IN CABLE
 - MA MASTARM
 - MCC MULTI CONDUCTOR CABLE
 - PP PULL BOX
 - PPB PEDESTAL POLE
 - PS PULL STRING
 - REC RIGID ELECTRIC CONDUIT
 - SCC SINGLE CONDUCTOR CABLE

Botetman & Houston
 ENGINEERS • PLANNERS • DESIGNERS • ARCHITECTS

LOWE'S LOWE'S OF NE ALBUQUERQUE
 CITY OF ALBUQUERQUE, NM

TRAFFIC SIGNAL IMPROVEMENTS - PALOMAS AVENUE / SAN PEDRO DRIVE
 CABLES & CONDUITS
 PALOMAS AVENUE / SAN PEDRO DRIVE
 DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL

NO. DATE

REVISIONS

DESIGNED BY

DATE MAY 2008

CHECKED BY

DATE MAY 2008

CITY PROJECT NO. 75-382

SHEET 6 OF 12

D-18

PHI JOB NO. 060379

CONDUIT AND CONDUCTOR REQUIREMENTS

CONDUIT LENGTH, SIZE, AND TYPE				CONDUIT FILL BY CONDUCTOR LENGTH AND TYPE									
RUN ID	SIZE/LENGTH			TYPE	REMARKS	MCC 5 (#OFT)	MCC 7 (#OFT)	MCC 20 (#OFT)	SCC #2 (#OFT)	SCC #6 (#OFT)	SCC #2 - LIGHTING (#OFT)	PS (#OFT)	DLIC (#OFT)
	1"	2"	3"										
MA1					BASE TO 1A	1	15						
MA1					BASE TO 2B		1	15					
MA1					BASE TO 1M1	1	50						
MA1					BASE TO P2A	1	15						
MA1					BASE TO PPB2A	1	5						
MA1					BASE TO P8B	1	15						
MA1					BASE TO PPB8B	1	5						
MA2					BASE TO 2A	1	15						
MA2					BASE TO 2M1	1	45						
MA2					BASE TO P2B	1	15						
MA3					BASE TO 3A	1	15						
MA3					BASE TO 3M1	1	50						
MA3					BASE TO 4B		1	15					
MA3					BASE TO P6A	1	15						
MA3					BASE TO PPB6A	1	5						
MA3					BASE TO P4B	1	15						
MA3					BASE TO PPB4B	1	5						
MA4					BASE TO 4A	1	15						
MA4					BASE TO 4M1	1	50						
MA4					BASE TO 1B	1	15						
MA4					BASE TO P8A	1	15						
MA4					BASE TO PPB8A	1	5						
MA4					BASE TO P6B	1	15						
MA4					BASE TO PPB6B	1	5						
PP1					BASE TO 2C		1	15					
PP2					BASE TO 1C	1	15						
PP2					BASE TO 3B	1	15						
PP2					BASE TO P4A	1	15						
PP3					BASE TO 4C		1	15					
PED1					BASE TO PPB4A	1	5						
PED2					BASE TO PPB2B	1	5						
TOTALS	0	440	300			2475	145	1380	210	690	1050	125	1160

ABBREVIATIONS

CC 6	COMMUNICATION CABLE-6 PAIR
CC 12	COMMUNICATION CABLE-12 PAIR
DLIC	DETECTOR LOOP LEAD IN CABLE
MA	MASTARM
MCC	MULTI CONDUCTOR CABLE
PB	PULL BOX
PP	PEDESTAL POLE
PPB	PEDESTRIAN PUSH BUTTON
PS	PULL STRING
REC	RIGID ELECTRIC CONDUIT
SCC	SINGLE CONDUCTOR CABLE

BENCH MARKS DATE _____ BY _____ NO. _____	SURVEY INFORMATION FIELD NOTES DATE _____ BY _____ NO. _____	AS-BUILT INFORMATION DATE _____ BY _____ NO. _____	
			MICRO-FILM INFORMATION DATE _____ BY _____ NO. _____
			REVISIONS NO. DATE BY 1. DATE MAR 2008 BY JLP 2. DATE MAR 2008 BY LAN 3. DATE MAR 2008 BY KOT



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LOWE'S of NE ALBUQUERQUE
 CITY OF ALBUQUERQUE, NM

TRAFFIC SIGNAL IMPROVEMENTS - PALOMAS AVENUE / SAN PEDRO DRIVE
 CABLES & CONDUITS
 PALOMAS AVENUE / SAN PEDRO DRIVE

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	NO. DATE	BY
		NO. DATE	BY
		NO. DATE	BY

CITY PROJECT NO. 754382 ZONE MAP NO. D-18 SHEET 7 OF 12

LOOP ID	MODE	VEHICLE DETECTOR CALL	DETECTOR CHANNELS		LOOP DIMENSIONS					LOOP WIRE	PAVEMENT SAWCUT
			UNIT NO	CH	L	W	S	T			
DL1111	PRES		CH 1	CH 2	50'	6'	6'	6'	6'	453	168
DL4111	PRES		CH 1	CH 2	40'	6'	3'			294	96
DL4121	PRES		CH 1	CH 2	90'	6'	27'	5'		493	193
DL5111	PRES		CH 1	CH 2	30'	6'	3'	2'		443	167
DL6111	PRES		CH 1	CH 2	50'	6'	8'	4'		300	96
DL6121	PRES		CH 1	CH 2	50'	6'	25'	4'		487	187
TOTALS										2470	907

DETECTOR RACK ASSIGNMENTS

UNIT NUMBER	POWER SUPPLY	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18
CHANNEL 1		#1	#2	#6	#2	#3	#4	#6	#4	DUAL LEFT #3	DUAL LEFT #3	SD 1	SD 3	SD 5	SD 7	SD 9	OPTIONAL 1	OPTIONAL 3	
		#5	#2	#6	#6	#7	#4	#8	#6	DUAL LEFT #5	DUAL LEFT #5	SD 2	SD 4	SD 6	SD 8	SD 10	OPTIONAL 2	OPTIONAL 4	
DETECTOR MODULE REQUIRED	*	✓	✓	✓		✓											✓	✓	✓

* INCIDENTAL TO CONSTRUCTION

CONDUCTOR		RING 1 - MULTI CONDUCTOR CABLE 20				RING 2 - MULTI CONDUCTOR CABLE 20			
NUMBER	BASE COLOR	FUNCTION	FIELD CONNECTION	CONNECTION	FUNCTION	FIELD CONNECTION	CONNECTION	FUNCTION	FIELD CONNECTION
1	BLACK	SPARE	SPARE	SPARE	SPARE	SPARE	SPARE	SPARE	SPARE
2	WHITE	SPARE	SPARE	SPARE	SPARE	SPARE	SPARE	SPARE	SPARE
3	RED	PHASE 1 RED	SPARE	SPARE	PHASE 5 RED	SPARE	SPARE	PHASE 5 RED	SPARE
4	GREEN	PHASE 1 GREEN	GREEN LEFT TURN ARROW	GREEN LEFT TURN ARROW	PHASE 5 GREEN	GREEN LEFT TURN ARROW	GREEN LEFT TURN ARROW	PHASE 5 GREEN	GREEN LEFT TURN ARROW
5	ORANGE	PHASE 1 YELLOW	YELLOW LEFT TURN ARROW	YELLOW LEFT TURN ARROW	PHASE 5 YELLOW	YELLOW LEFT TURN ARROW	YELLOW LEFT TURN ARROW	PHASE 5 YELLOW	YELLOW LEFT TURN ARROW
6	BLUE	SPARE	SPARE	SPARE	SPARE	SPARE	SPARE	SPARE	SPARE
7	WHITE	SPARE	SPARE	SPARE	SPARE	SPARE	SPARE	SPARE	SPARE
8	RED	PHASE 2 RED	RED BALL, C, 4M1	RED BALL, C, 4M1	PHASE 6 RED	RED BALL, C, 4M1	RED BALL, C, 4M1	PHASE 6 RED	RED BALL, C, 4M1
9	GREEN	PHASE 2 GREEN	GREEN BALL, C, 4M1	GREEN BALL, C, 4M1	PHASE 6 GREEN	GREEN BALL, C, 4M1	GREEN BALL, C, 4M1	PHASE 6 GREEN	GREEN BALL, C, 4M1
10	ORANGE	PHASE 2 YELLOW	YELLOW BALL, C, 4M1	YELLOW BALL, C, 4M1	PHASE 6 YELLOW	YELLOW BALL, C, 4M1	YELLOW BALL, C, 4M1	PHASE 6 YELLOW	YELLOW BALL, C, 4M1
11	BLUE	PHASE 2 WALK	PEDESTRIAN WALK	PEDESTRIAN WALK	PHASE 6 WALK	PEDESTRIAN WALK	PEDESTRIAN WALK	PHASE 6 WALK	PEDESTRIAN WALK
12	BLACK	PHASE 2 DON'T WALK	PEDESTRIAN DON'T WALK	PEDESTRIAN DON'T WALK	PHASE 6 DON'T WALK	PEDESTRIAN DON'T WALK	PEDESTRIAN DON'T WALK	PHASE 6 DON'T WALK	PEDESTRIAN DON'T WALK
13	RED	PHASE 3 RED	SPARE	SPARE	PHASE 7 RED	SPARE	SPARE	PHASE 7 RED	SPARE
14	GREEN	PHASE 3 GREEN	SPARE	SPARE	PHASE 7 GREEN	SPARE	SPARE	PHASE 7 GREEN	SPARE
15	BLUE	PHASE 3 YELLOW	SPARE	SPARE	PHASE 7 YELLOW	SPARE	SPARE	PHASE 7 YELLOW	SPARE
16	BLACK	PHASE 4 RED	RED BALL, C, 1M1	RED BALL, C, 1M1	PHASE 8 RED	RED BALL, C, 1M1	RED BALL, C, 1M1	PHASE 8 RED	RED BALL, C, 1M1
17	WHITE	PHASE 4 GREEN	GREEN BALL, C, 1M1	GREEN BALL, C, 1M1	PHASE 8 GREEN	GREEN BALL, C, 1M1	GREEN BALL, C, 1M1	PHASE 8 GREEN	GREEN BALL, C, 1M1
18	ORANGE	PHASE 4 YELLOW	YELLOW BALL, C, 1M1	YELLOW BALL, C, 1M1	PHASE 8 YELLOW	YELLOW BALL, C, 1M1	YELLOW BALL, C, 1M1	PHASE 8 YELLOW	YELLOW BALL, C, 1M1
19	BLUE	PHASE 4 WALK	PEDESTRIAN WALK	PEDESTRIAN WALK	PHASE 8 WALK	PEDESTRIAN WALK	PEDESTRIAN WALK	PHASE 8 WALK	PEDESTRIAN WALK
20	RED	PHASE 4 DON'T WALK	PEDESTRIAN DON'T WALK	PEDESTRIAN DON'T WALK	PHASE 8 DON'T WALK	PEDESTRIAN DON'T WALK	PEDESTRIAN DON'T WALK	PHASE 8 DON'T WALK	PEDESTRIAN DON'T WALK

CONDUCTOR		RING 1 - MULTI CONDUCTOR CABLE 5				RING 2 - MULTI CONDUCTOR CABLE 5			
NUMBER	BASE COLOR	FUNCTION	FIELD CONNECTION	CONNECTION	FUNCTION	FIELD CONNECTION	CONNECTION	FUNCTION	FIELD CONNECTION
1	BLACK	PHASE 2	PPB2A, PPB2B	SPARE	SPARE	SPARE	SPARE	SPARE	SPARE
2	WHITE	COMMON	PPB2A, 2B, 4A, 4B	COMMON	COMMON	PPB6A, 6B, 8A, 8B	COMMON	COMMON	PPB6A, 6B, 8A, 8B
3	RED	PHASE 4	PPB4A, PPB4B	SPARE	SPARE	SPARE	SPARE	SPARE	SPARE
4	GREEN	SPARE	PPB4A, PPB4B	SPARE	SPARE	PPB6A, PPB6B	SPARE	SPARE	PPB6A, PPB6B
5	ORANGE	SPARE	PPB4A, PPB4B	SPARE	SPARE	PPB6A, PPB6B	SPARE	SPARE	PPB6A, PPB6B

FUNCTION CHART - 115 VOLT CIRCUIT

FUNCTION CHART - 24 VOLT CIRCUIT

QUANTITY ESTIMATING ASSUMPTION:

LOOP WIRE
 6' x 30' OP LOOP = (8M) + (4M) + (2M) + (2M) + 5 = 269 + 2(15+T)
 6' x 40' OP LOOP = (8M) + (4M) + (2M) + (2M) + 5 = 349 + 2(15+T)
 6' x 50' OP LOOP = (8M) + (4M) + (2M) + (2M) + 5 = 429 + 2(15+T)
 6' x 30' REC LOOP = (8M) + (4M) + (2M) + (2M) + 5 = 216 + 2(15+T)
 6' x 40' REC LOOP = (8M) + (4M) + (2M) + (2M) + 5 = 276 + 2(15+T)
 6' x 50' REC LOOP = (8M) + (4M) + (2M) + (2M) + 5 = 336 + 2(15+T)
 6' x 6' STS LOOP = (8M) + (4M) + (2M) + (2M) + 5 = 96 + 2(15+T)

PAVEMENT SAWCUT
 6' x 30' OP LOOP = (3M) + (2M) + 5 = 102 + S
 6' x 40' OP LOOP = (3M) + (2M) + 5 = 132 + S
 6' x 50' OP LOOP = (3M) + (2M) + 5 = 162 + S
 6' x 30' REC LOOP = (2M) + (2M) + 5 = 92 + S
 6' x 40' REC LOOP = (2M) + (2M) + 5 = 122 + S
 6' x 50' REC LOOP = (2M) + (2M) + 5 = 152 + S
 6' x 6' STS LOOP = (2M) + (2M) + 5 = 24 + S

ABBREVIATIONS:

OLLIC = DETECTOR LOOP LEAD IN CABLE
 EC = EXTENDED CALL LOOP
 L = DETECTOR LOOP LENGTH
 W = DETECTOR LOOP WIDTH
 T = TRANSVERSE LOOP TO CURB
 C = CURB LOOP
 REC = RECTANGULAR LOOP

NOTES:

✓ IDENTIFY CONDUCTORS LISTED AS "115 VOLTS".
 ✓ WRAP RING 2 CABLE AT EACH SPLICE POINT WITH COLORED ELECTRICAL TAPE. THE IDENTIFICATION MARKING SHALL BE PROVIDED ON EACH RING 2 CABLE AT EACH SPLICE AND LOCATED 6" BACK FROM THE END.
 ✓ IDENTIFY CONDUCTORS LISTED AS "24 VOLTS" - LOW VOLTAGE - AT EACH SPLICE POINT. FIVE (5) CONDUCTOR CABLE SHALL BE 24 VOLTS AND USED FOR PUSH BUTTONS ONLY.

REVISIONS			
NO.	DATE	BY	REMARKS

DESIGN DATE MAR 2004
 CHECKED DATE MAR 2004

RECORDED BY
 PLAN BY
 DATE MAR 2004



AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
DATE		DATE		DATE		DATE	
BY		BY		BY		BY	

Bohannon & Huston
 CONSULTING ENGINEERS & ARCHITECTS
 1100 UNIVERSITY BLVD. N.W., SUITE 1000
 ALBUQUERQUE, NM 87102

LOWE'S OF NE ALBUQUERQUE
 CITY OF ALBUQUERQUE, NM
 TRAFFIC SIGNAL IMPROVEMENTS - PALOMAS AVENUE/SAN PEDRO DRIVE
 FUNCTION & DETECTOR RACK PLAN
 DESIGN REVIEW COMPLETE
 CITY ENGINEER APPROVAL

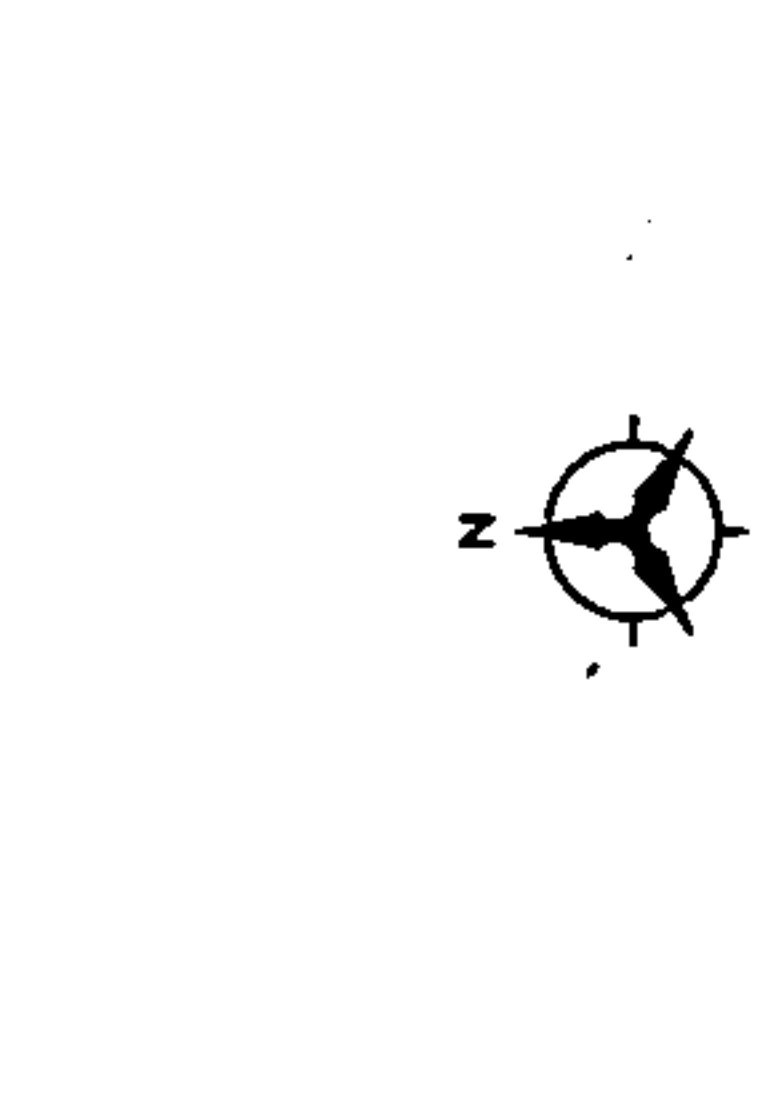
DESIGNED BY: JAH
 DRAWN BY: JAH
 CHECKED BY: JAH
 DATE MAR 2004

RECORDED BY: JAH
 PLAN BY: JAH
 DATE MAR 2004

CITY PROJECT NO. 75A382
 SHEET 8 OF 12

- KEY NOTES**
1. INSTALL NEW ELECTRICAL PULL BOX (LARGE)
 2. INSTALL NEW RIGID ELECTRICAL CONDUIT - 2"
 3. INSTALL NEW RIGID ELECTRICAL CONDUIT - 3"
 4. INSTALL COMMUNICATION CABLE 12 PAIR
 5. INSTALL NEW COMMUNICATION CABLE 6 PAIR
 6. INSTALL NEW TRAFFIC MOUNTABLE-COIL 50' OF 12 PAIR COMMUNICATION CABLE IN MANTLE
 7. INSTALL NEW SPlice CABINET
 8. CONNECT TO NEW CONTROLLER
 9. EXISTING SPlice CABINET TO REMAIN
 10. EXISTING CONDUIT TO REMAIN
 11. EXISTING PULL BOX TO REMAIN
 12. EXISTING COMMUNICATION CABLE TO REMAIN

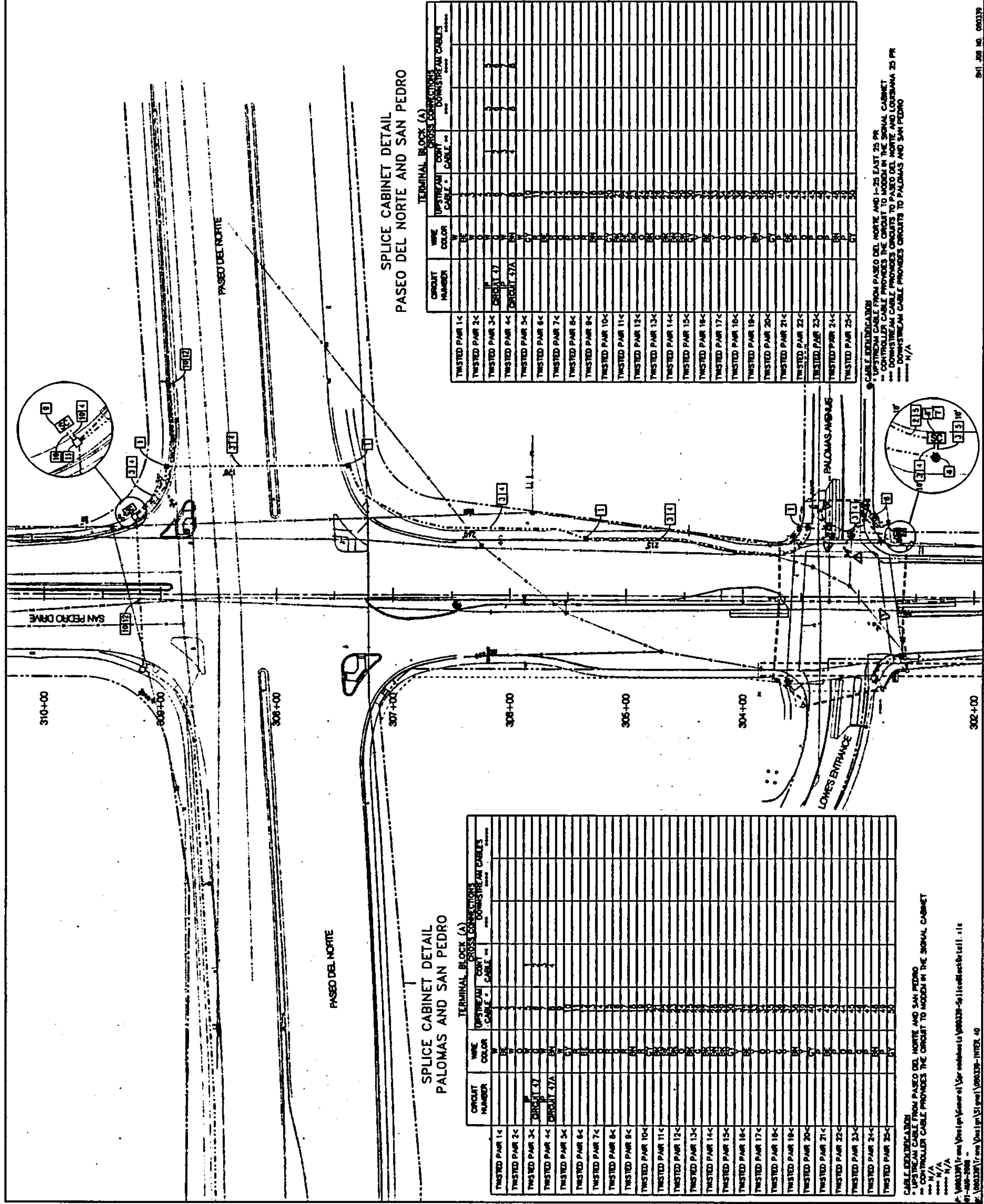
- NOTES**
1. CONDUIT ALONG PASEO DEL NORTE SHALL BE INSTALLED BY JACKING & DRIVING. NO TRENCHING WILL BE ALLOWED. CONTRACTOR SHALL VERIFY EXISTING UTILITY LOCATIONS AND OBTAIN PERMITS TO INITIATE THE WORK.
 2. ALL NEW EQUIPMENT INCLUDING PULL BOXES, CONDUIT, SPlice CABINETS AND MOUNTABLES SHALL BE LOCATED WITHIN THE RIGHT-OF-WAY. CONTRACTOR SHALL REPLACE IN KIND ANY STOCKPILE OR LANDSCAPING REMOVED OR DAMAGED DURING INSTALLATION OF UTILITIES AND PULL BOXES. THIS WORK WILL BE CONSIDERED INCIDENTAL.
 3. CONTRACTOR SHALL OBTAIN PERMISSION AND ANY NECESSARY PERMITS FROM MOST DISTRICT 3 TRAFFIC ENGINEERING FOR WORK TO BE COMPLETED WITHIN RIGHT-OF-WAY ALONG PASEO DEL NORTE.



Bohannon & Houston
 ENGINEERS & ARCHITECTS
 1000 JOHNSON BLVD. ALBUQUERQUE, NM 87102
 ENGINEERING - SPATIAL DATA - APPLICATED TECHNOLOGIES

LOWE'S
 CITY OF ALBUQUERQUE, NM
 TRAFFIC SIGNAL IMPROVEMENTS - PALOMAS AVENUE / SAN PEDRO DRIVE INTERCONNECT PLAN

DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL
 LAST DESIGN UPDATE



**SPlice CABINET DETAIL
 PASEO DEL NORTE AND SAN PEDRO**

CIRCUIT NUMBER	WIRE COLOR	UPSTREAM CABLE	CROSS CONNECTIONS	DOWNSTREAM CABLES
TWISTED PAIR 14	B			
TWISTED PAIR 24	W			
TWISTED PAIR 34	OR			
TWISTED PAIR 44	BN			
TWISTED PAIR 54	BY			
TWISTED PAIR 64	BN			
TWISTED PAIR 74	BY			
TWISTED PAIR 84	BN			
TWISTED PAIR 94	BY			
TWISTED PAIR 104	BN			
TWISTED PAIR 114	BY			
TWISTED PAIR 124	BN			
TWISTED PAIR 134	BY			
TWISTED PAIR 144	BN			
TWISTED PAIR 154	BY			
TWISTED PAIR 164	BN			
TWISTED PAIR 174	BY			
TWISTED PAIR 184	BN			
TWISTED PAIR 194	BY			
TWISTED PAIR 204	BN			
TWISTED PAIR 214	BY			
TWISTED PAIR 224	BN			
TWISTED PAIR 234	BY			
TWISTED PAIR 244	BN			
TWISTED PAIR 254	BY			

CABLE IDENTIFICATION
 * UPSTREAM CABLE FROM PASEO DEL NORTE AND 1-25 EAST 25' PR
 ** CONTROLLER CABLE PROVIDED TO MODERN IN THE SIGNAL CABINET
 *** DOWNSTREAM CABLE PROVIDES CIRCUITS TO PASEO DEL NORTE AND LOUISIANA 25' PR
 **** DOWNSTREAM CABLE PROVIDES CIRCUITS TO PALOMAS AND SAN PEDRO
 ***** N/A

**SPlice CABINET DETAIL
 PALOMAS AND SAN PEDRO**

CIRCUIT NUMBER	WIRE COLOR	UPSTREAM CABLE	CROSS CONNECTIONS	DOWNSTREAM CABLES
TWISTED PAIR 14	B			
TWISTED PAIR 24	W			
TWISTED PAIR 34	OR			
TWISTED PAIR 44	BN			
TWISTED PAIR 54	BY			
TWISTED PAIR 64	BN			
TWISTED PAIR 74	BY			
TWISTED PAIR 84	BN			
TWISTED PAIR 94	BY			
TWISTED PAIR 104	BN			
TWISTED PAIR 114	BY			
TWISTED PAIR 124	BN			
TWISTED PAIR 134	BY			
TWISTED PAIR 144	BN			
TWISTED PAIR 154	BY			
TWISTED PAIR 164	BN			
TWISTED PAIR 174	BY			
TWISTED PAIR 184	BN			
TWISTED PAIR 194	BY			
TWISTED PAIR 204	BN			
TWISTED PAIR 214	BY			
TWISTED PAIR 224	BN			
TWISTED PAIR 234	BY			
TWISTED PAIR 244	BN			
TWISTED PAIR 254	BY			

CABLE IDENTIFICATION
 * UPSTREAM CABLE FROM PASEO DEL NORTE AND SAN PEDRO
 ** CONTROLLER CABLE PROVIDED TO MODERN IN THE SIGNAL CABINET
 *** N/A
 **** N/A
 ***** N/A

PLANS PREPARED BY: [Name]
 DATE: 10/20/07
 PROJECT: 754382-09

AS-BUILT INFORMATION		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS		DATE	
NO.	BY	DATE	FIELD NOTES	NO.	BY	DATE	NO.	DATE	REVISIONS

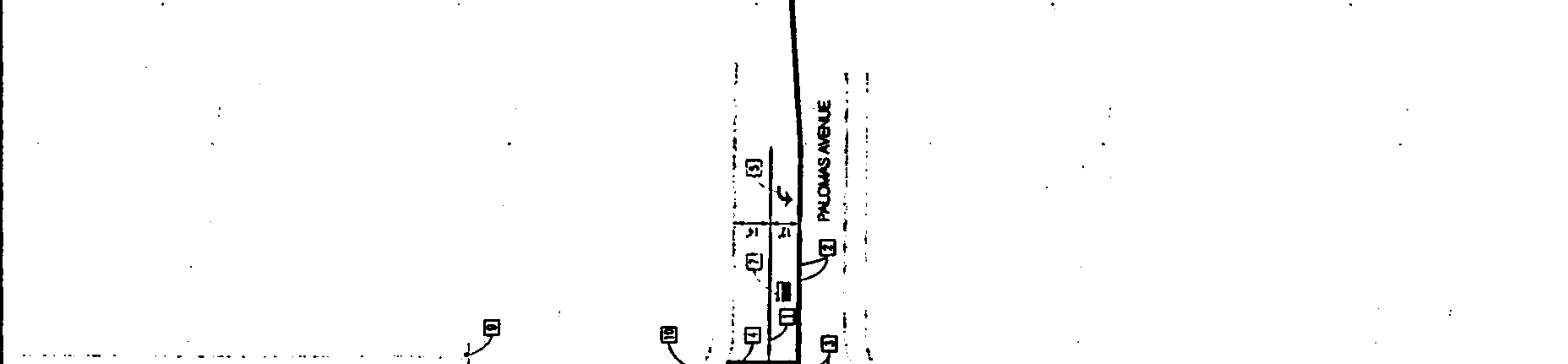
BENCH MARKS		MICRO-FILM INFORMATION		DESIGN REVISIONS	
NO.	DATE	NO.	DATE	NO.	DATE

KEY NOTES

- INSTALL NEW 4" SOLID WHITE RETROREFLECTIVE PREFORMED PLASTIC PAVEMENT MARKING
- INSTALL NEW 4" DOUBLE SOLID YELLOW RETROREFLECTIVE PREFORMED PLASTIC PAVEMENT MARKING
- INSTALL NEW 12" SOLID WHITE RETROREFLECTIVE PREFORMED PLASTIC PAVEMENT MARKING (CROSSWALK)
- INSTALL NEW 24" SOLID WHITE RETROREFLECTIVE PREFORMED PLASTIC PAVEMENT MARKING (STOP BAY)
- INSTALL NEW RETROREFLECTIVE PREFORMED PLASTIC PAVEMENT MARKING, LEFT ARROW
- REMOVE EXISTING PAVEMENT MARKING
- INSTALL NEW RETROREFLECTIVE PREFORMED PLASTIC PAVEMENT MARKING, WIND, WALT
- EXISTING STRIPING TO REMAIN
- EXISTING SIGN TO REMAIN
- REMOVE AND SALVAGE EXISTING SIGN (DELIVER TO CITY WITHIN FIVE YARDS - TRAFFIC ORBITATIONS)

NOTES

- ALL SIGNING & STRIPING SHALL BE INSTALLED IN ACCORDANCE WITH MUTED LATEST EDITION AND OMA STANDARD SPECIFICATIONS, SECTION 400.
- THE CONTRACTOR SHALL CONTACT OMA TRAFFIC ENGINEERS PRIOR TO INSTALLING MARKING POSITIONS. THE CONTRACTOR SHALL OBTAIN THE SAN PEDRO CITY ENGINEER'S APPROVAL OF ANY CONFLICTING STRIPING AS DIRECTED BY THE CITY.
- THE CONTRACTOR SHALL REPLACE EXISTING PAVEMENT MARKINGS THAT ARE OBTAINED FOR TRAFFIC CONTROL REASONS. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO TRAFFIC CONTROL. ANY REMOVAL OF EXISTING MARKINGS SHALL BE ACCOUNTED FOR BY THE CONTRACTOR AS SHOWN ON THE PLAN. THE CONTRACTOR SHALL OBTAIN THE SAN PEDRO CITY ENGINEER'S APPROVAL OF ANY CONFLICTING STRIPING AS DIRECTED BY THE CITY.



DESIGNED BY JZF		DATE MAR 2008
DRAWN BY LJM		DATE MAR 2008
CHECKED BY NOT		DATE MAR 2008
REVISIONS		
NO.	DATE	REVISIONS

Bohannon & Houston

Company: 7800 Jefferson St. NE, Albuquerque, NM 87109-5406
ENGINEERING • SPATIAL DATA • APPROPRIATE TECHNOLOGIES

LOWE'S **LOWE'S OF NE ALBUQUERQUE**
CITY OF ALBUQUERQUE, NM

TRAFFIC SIGNAL IMPROVEMENTS - PALOMAS AVENUE / SAN PEDRO DRIVE
PERMANENT
SIGNING & STRIPING PLAN
DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL

LAST DESIGN PLAN NO. _____
DATE _____

CITY PROJECT NO. 754-382 SHEET 10 OF 12

ENGINEER'S SEAL		NO. DATE		BY DATE		REVISIONS	
DATE		NO. DATE		BY DATE		REVISIONS	
AS-BUILT INFORMATION		FIELD NOTES		REMARKS		DATE	
BENCH MARKS		SURVEY INFORMATION		DESIGN		DATE	
AS-BUILT INFORMATION		FIELD NOTES		REMARKS		DATE	
BENCH MARKS		SURVEY INFORMATION		DESIGN		DATE	

KEYED NOTES

- REMOVE EXISTING VALLET GUTTER FILLET AND RECONSTRUCT FOR 4" STANDING DRAINING 2:40 AT 1:12 SLOPE. THE EXISTING GUTTER FILLET SHALL BE RECONSTRUCTED WITH 1/2" WIDE, 2" HIGH CURBS THAT EXISTING 4" BMS ARE NOT DAMAGED.
- SAFETY AND REMOVE EXISTING ASPHALT PAVEMENT AND REPLACE IN KIND AFTER CONSTRUCTION OF KEY FILLET PER OLD STD Dwg 2465 (NOTE 2)
- REMOVE EXISTING IN. 4 BMS
- EXISTING VALLET GUTTER TO REMAIN
- INTERSECTION OF PROPOSED FLOWLINES
- LEAVE 1" WIDE GAP IN CURB AT SIDEWALK LIFT POINT FOR SIDEWALK DRAINAGE
- BUILD HEADER CURB PER OLD STANDING DRAINING 2:40
- REMOVE EXISTING SIDEWALK AND HEADER CURB TO NEAREST JOINT AND RECONSTRUCT PER OLD STANDARD DRAWINGS 2:40 AND 2:1/2" AT SAME LOCATION AND ELEVATION. HEADER CURB REMAINS IS INCIDENTAL TO SIDEWALK REMOVAL.
- BUILD 4" CONCRETE SIDEWALK ACCESS RAMP AS SHOWN ON PLAN. THE 4" STANDING DRAINING 2:40 SHALL BE RECONSTRUCTED PER OLD STANDARD DRAWINGS 2:40 AND 2:1/2".
- INSTALL 2" DETECTABLE WARNING SURFACE AT BASE OF PEDESTRIAN ACCESS RAMP. THIS IS CONSIDERED INCIDENTAL TO CONSTRUCTION OF THE ACCESS RAMP.

NOTES

- CONTRACTOR SHALL SURVEY AND DOCUMENT EXISTING ELEVATIONS AT 1/4 POINTS. INTERSECTION OF PROPOSED FLOWLINES AND EXISTING VALLET GUTTER FILLET SHALL BE CONSTRUCTED AT SAME LOCATION AND ELEVATION. CONSTRUCT KEY SIDEWALK AT SAME LOCATION AND AT ELEVATIONS TO MATCH SLUPES NOTED.
- FOR CONTRACTOR'S INFORMATION, BASED ON AS-BUILT PLANS THE EXISTING PAVEMENT SECTIONS ARE:
 * SAN PEDRO - 7.5" SP 111 OVER 6" AGC BASE CHANGE
 * SAN PEDRO - 4" SP 111 OVER 11" AGC BASE CHANGE

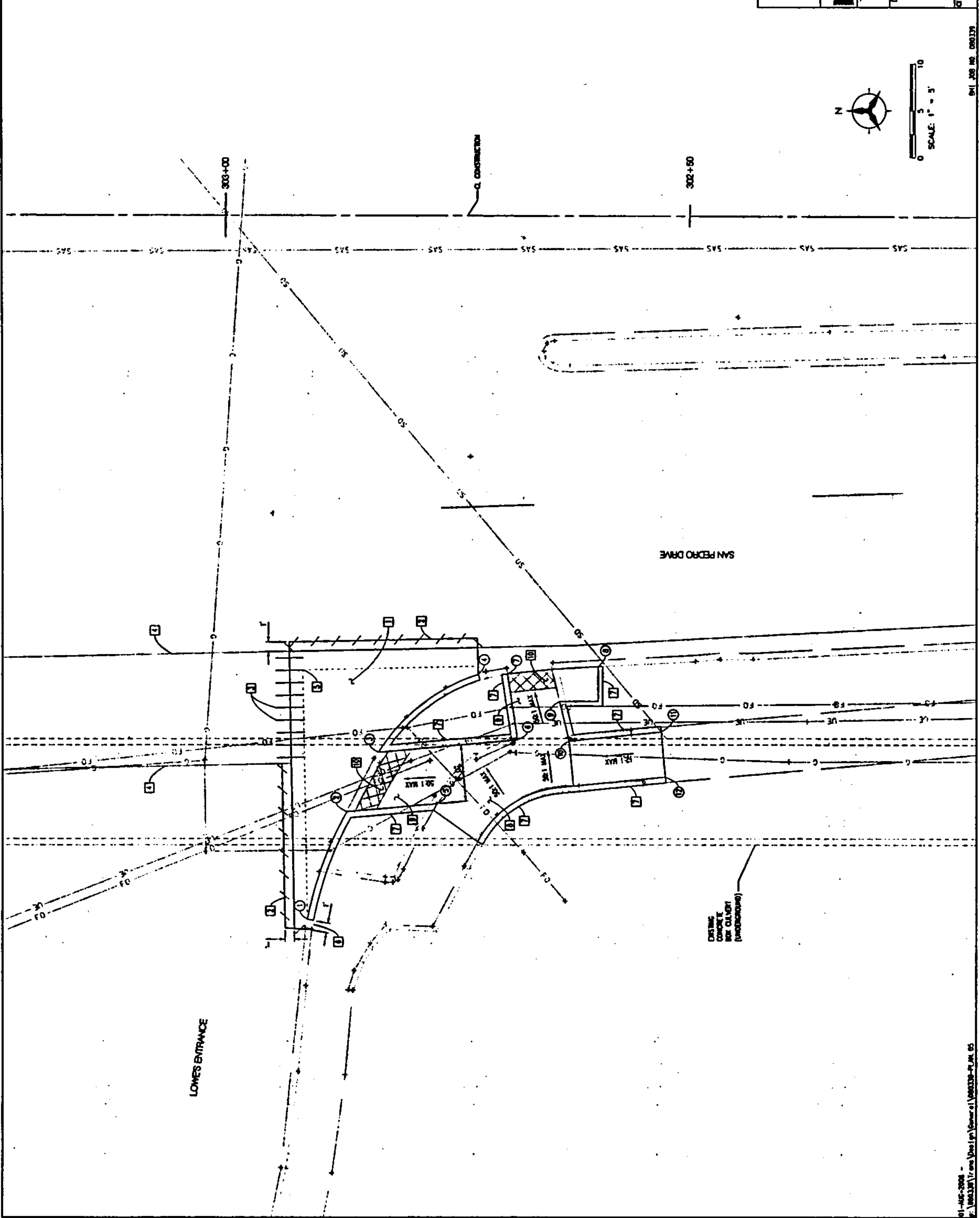
* ADJUST AS NEEDED TO ACHIEVE 12:1 MAX SLOPE

Botman & Houston
 CONSULTING ENGINEERS - SPATIAL DATA - LICENSED PROFESSIONALS
 2000 JEFFERSON BL. SW. ALBUQUERQUE, NM 87104-3008
 TEL: 505-763-3333 FAX: 505-763-3334

LOWE'S
 LOWE'S OF NE ALBUQUERQUE
 CITY OF ALBUQUERQUE, NM
 TRAFFIC SIGNAL IMPROVEMENTS - PALOMAS AVENUE / SAN PEDRO DRIVE
 ACCESS RAMP MODIFICATION PLAN
 PALOMAS AVENUE/SAN PEDRO DRIVE
 DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL

DESIGNED BY	JR	DATE	MAR 2008
CHECKED BY	MLN	DATE	MAR 2008
DESIGNED BY	JR	DATE	MAR 2008
CHECKED BY	MLN	DATE	MAR 2008

CITY PROJECT NO. 754382 SHEET 11 OF 12



01-445-2000 -
 P:\0003001\Drawings\01-445-2000-PLAN 05

SCALE: 1" = 5'

10

0

5

10

11 11 12

FORM MAP NO. D-18

CITY PROJECT NO. 754382

DRW. AND NO. 060139

AS-BUILT INFORMATION NO. BY DATE FIELD NOTES SURVEY INFORMATION ENGINEER'S SEAL		REVISIONS NO. DATE REVISIONS DESIGN		DESIGNED BY JLM DATE MAR 2008 DRAWN BY LJM DATE MAR 2008 CHECKED BY JBT DATE MAR 2008	
MICRO-FILM INFORMATION NO. BY DATE THE SOURCE/FILE CODES OF MICROFILM RECORDS ON INTERSECTION, MAP STATE PLAND COOPERATION CENTRAL ZONE MAP 82/MAH 88 DATE		DESIGNER'S SEAL NO. BY DATE FIELD NOTES SURVEY INFORMATION ENGINEER'S SEAL		DATE MAR 2008 DATE MAR 2008 DATE MAR 2008	

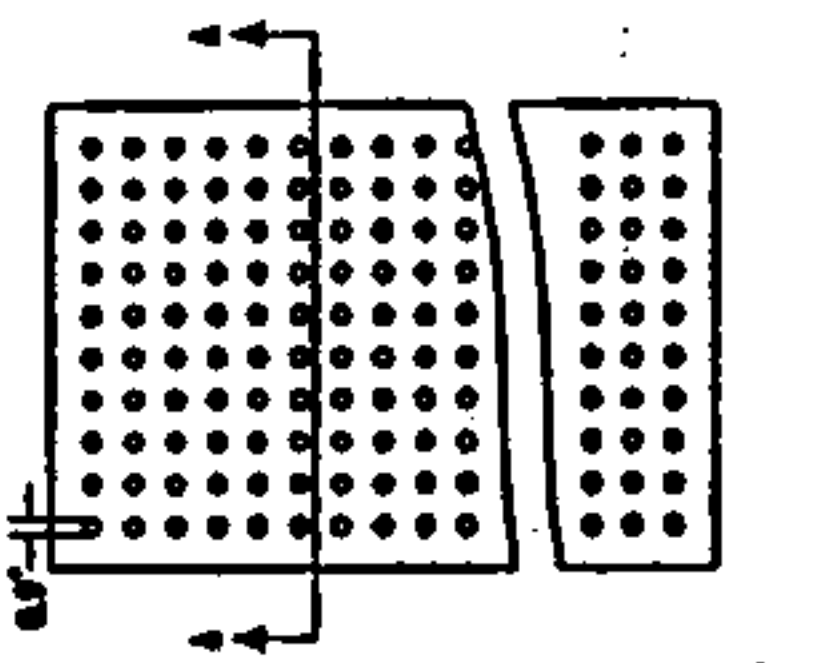
Bohannon & Houston
 Company: 1700 Johnson St. NE Albuquerque, NM 87106-0000
 ENGINEERS - SPATIAL DATA - APPLICATED TECHNOLOGIES

LOWE'S
 LOWE'S OF NE ALBUQUERQUE
 CITY OF ALBUQUERQUE, NM
 TRAFFIC SIGNAL IMPROVEMENTS - PALOMAS AVENUE / SAN PEDRO DRIVE
 DETAILS

DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL
 ELAYNE M. WILSON
 LAST DESIGN UPDATE

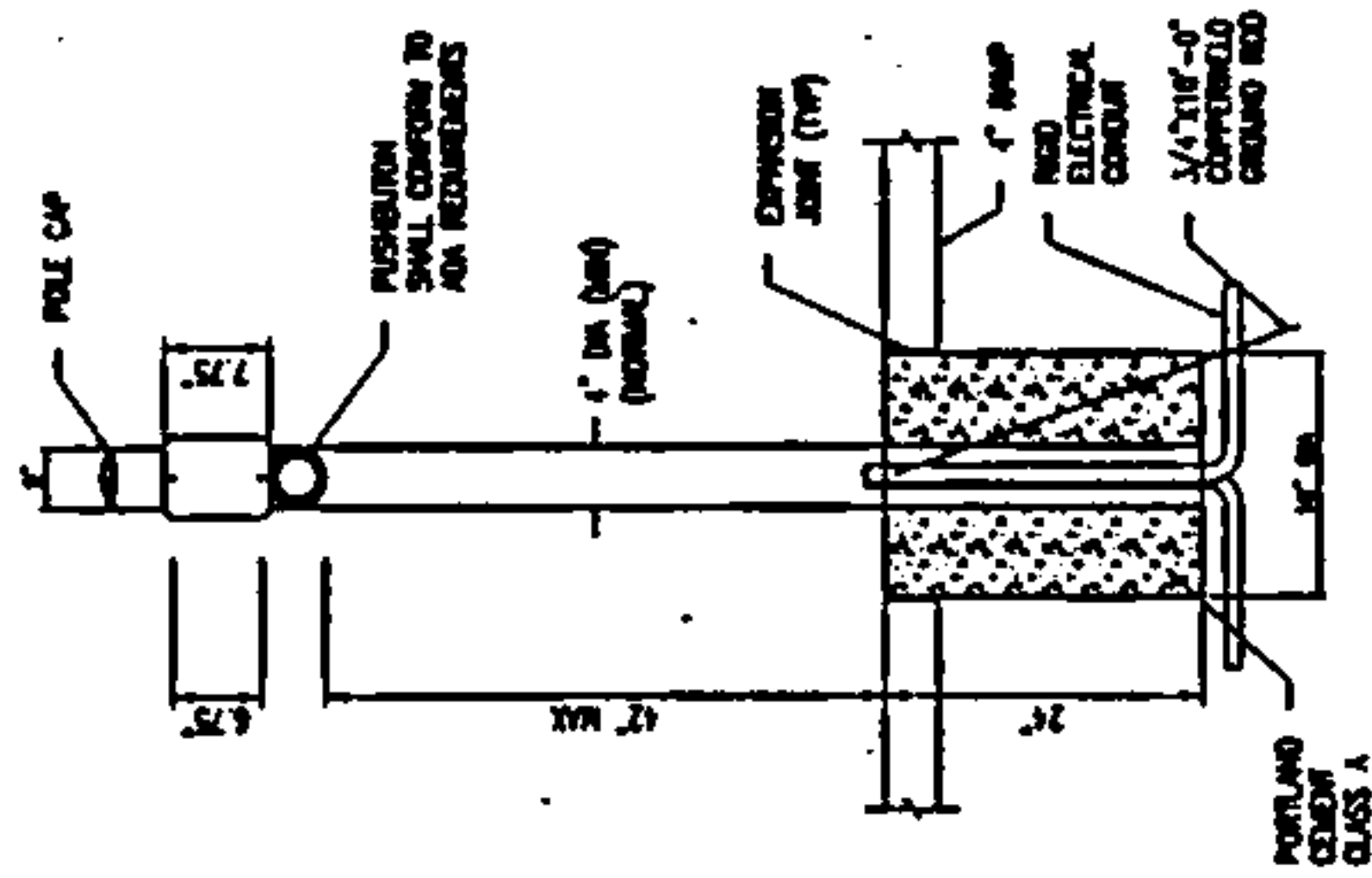
CITY PROJECT NO. 754382
 SHEET 12 OF 12

- DETECTABLE WARNING SURFACE NOTES**
1. THE DETECTABLE WARNING SURFACE SHALL CONSIST OF PAVED UNPAVED CONCRETE WITH A NOMINAL DIMENSION OF 24" x 24" (610mm x 610mm) A NOMINAL HEIGHT OF 3/4" (19mm) AND A NOMINAL CENTER TO CENTER SPACING OF 60mm (2.35"). THE SURFACE SHALL BE FRENCHLESS PANELS (PROCESS TO BE COORDINATED WITH AND FIELD APPROVED WITH CITY PRIOR TO INSTALLATION)
 2. THE DETECTABLE WARNING SURFACE SHALL CONTRAST VISUALLY WITH ADJACING SURFACES OTHER LIGHT-ON-DARK OR DARK-ON-LIGHT. THE MATERIAL USED TO PROVIDE CONTRAST SHALL BE INTEGRAL PART OF THE WARNING SURFACE FINISH TO 75% CONTRAST PER ADA.
 3. CONTRACTOR SHALL COORDINATE THE EXACT CONTRAST OF DETECTABLE WARNING SURFACE W/ OWNER.



DETECTABLE WARNING SURFACE DETAIL
 MTS

- NOTES**
1. POLE IS SPIN ALUMINUM 4.5" O.D., 237" WALL, 3.4 LB/FT
 2. POLE CAP FOR 4.5" O.D.
 3. ALTERNATE DESIGN (IF REQUESTED) FOR FOUNDATION AND POLE SHALL BE SUBMITTED TO PROJECT MANAGER FOR APPROVAL.
 4. FINISHED GRADE FOR ALL FOUNDATIONS TO BE DETERMINED BY THE PROJECT MANAGER. THE TOP OF STANDARD FOUNDATION SHALL BE 18" WITH ADJACENT SIDEWALK OR PAVED AREA.
 5. PORTLAND CEMENT CONCRETE CLASS A SHALL BE USED.



PEDESTRIAN / BICYCLE PUSH-BUTTON POLE AND FOUNDATION DETAIL
 MTS

28-06PC3:27 RCVD

EXHIBIT A



OFFICIAL NOTICE OF DECISION

CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
DEVELOPMENT REVIEW BOARD

November 22, 2006

- 1. **Project # 1001946**
06DRB-01557 Major-Two Year SIA

BOHANNAN HUSTON INC agent(s) for LOWE'S HOME CENTERS INC request(s) the above action(s) for all or a portion of Tract(s) A-1 & A-2, LOS ANGELES CENTER, zoned M-1 light manufacturing zone, located on SAN PEDRO NE between PASEO DEL NORTE NE and PINO NE containing approximately 33 acre(s). [REF:04DRB-01965] (D-18)

At the November 22, 2006, Development Review Board meeting, a two-year extension of the Subdivision Improvements Agreement was approved.

If you wish to appeal this decision, you must do so by December 7, 2006, in the manner described below.

Appeal is to the Land Use Hearing Officer. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Department form, to the Planning Department, within 15 days of the Development Review Board's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal. If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).


Sheran Matson, AICP, DRB Chair

Cc: Lowe's Home Centers Inc., P.O. Box 1111, N. Wilkesboro, NC 28656
Bohannan Huston Inc., 7500 Jefferson NE, 87109
Marilyn Maldonado, Planning Department, 4th Floor, Plaza del Sol Bldg.
File

4 ORIGINAL

Figure 12

INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Lowe's Home Centers Retail (SW Corner of Paseo del Norte & San Pedro)
Existing Tract A-1, Los Angeles Center (Proposed Tracts A-1A, A-1B, A-1C, A-1D and A-1E, Los Angeles Center)

Date Site Plan for Bldg Permit App: _____
Date Site Plan for Sub. Approved: _____
Date Preliminary Plat Approved: 9/3/04
Date Preliminary Plat Expires: 9/3/05
DRB Project No. 100946

02-01178

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantees. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Crst Engineer
----------------	-------------------	------	---------------------	----------	------	----	-------------------	----------------	--------------------

PUBLIC ROADWAY IMPROVEMENTS

		24' WIDE	PAVED PRIVATE ROADWAY	PRIVATE EASEMENT ON CEMCO LANDS	TRACT A	NB 125 FRONTAGE ROAD	/	/	/
		12' WIDE X 400'	NB DECELERATION LANE			NB 125 FRONTAGE ROAD AT PAVED PRIVATE ROADWAY	/	/	/
			RESTRIPE PASEO DEL NORTE/LOUISIANA INTERSECTION TO PROVIDE DUAL EASTBOUND AND WESTBOUND LEFT TURN LANES				/	/	/
			RESTRIPE PASEO DEL NORTE/SAN PEDRO INTERSECTION TO PROVIDE EAST BOUND AND WESTBOUND DUAL LEFT TURN LANES				/	/	/
			RESTRIPE SAN PEDRO, AND MODIFY MEDIANS AS NEEDED, TO CONVERT THE EXISTING INSIDE (WESTERN) THROUGH LANE TO A DEDICATED NORTHBOUND LEFT TURN LANE. TRAFFIC SIGNAL TIMING/PHASING TO BE MODIFIED BY CITY TO PROVIDE FOR PROTECTED LEFT TURN MOVEMENTS ONLY.				/	/	/
			LENGTHEN THE EXISTING NB RIGHT TURN LANE TO SAN PEDRO/PASEO DEL NORTE, TO MAXIMUM EXTENT PRACTICAL (WITHIN EXISTING ROW).				/	/	/
			LENGTHEN THE SB RIGHT TURN LANE TO THE SAN PEDRO/PALOMAS AVE. SITE ENTRANCE, TO MAXIMUM EXTENT PRACTICAL.				/	/	/
		500' x 12' WIDE	EXTEND EXISTING DEDICATED NB RIGHT TURN LANE TO 500' (NB 125 FRONTAGE ROAD/PASEO DEL NORTE INTERSECTION)				/	/	/
		500' x 12' WIDE	ADD SECOND DEDICATED NB RIGHT TURN LANE (NB 125 FRONTAGE ROAD/PASEO DEL NORTE INTERSECTION)				/	/	/
			REVISE LOWE'S SITE NORTH ENTRANCE (AT SAN PEDRO/PALOMAS INTERSECTION) TO ACCOMMODATE DUAL EASTBOUND LEFT TURNS (STRIPE OUT ONE OF THE DUAL LEFT LANES).				/	/	/
			TRAFFIC SIGNAL AT SAN PEDRO/PALOMAS AVE. BONDED IN A SEPARATE SIA BUT NOT CONSTRUCTED UNTIL WARRANTED.				/	/	/
			CONVERSION OF INSIDE SOUTHBOUND THRU LANE TO DEDICATED LEFT TURN LANE (PASEO DEL NORTE/SAN PEDRO)				/	/	/
			CONSTRUCT PERMANENT NB ROADWAY IMPROVEMENTS (2 NB LANES, BIKEWAY) ON SAN PEDRO, NORTH OF PDN, FOR APPROX 250 FEET, INCLUDING NECESSARY SIGNAL MODIFICATIONS.				/	/	/

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Page: 7 of 9
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JAMES TOPMILLER
BRUCE STODOLNY
PREPARED BY: PRINT NAME
9/3/2004
DATE

Thomas J. Johnson
DRB CHAIR
9/8/04
DATE

Christina Sanderson
PARKS & GENERAL SERVICES
9/8/04
DATE

BOHANNAN HUSTON INC.
FIRM

John J. Hubner
SIGNATURE

John J. Hubner
UTILITY DEVELOPMENT

9/8/04
DATE

Buddy L. Byler
CITY ENGINEER

9/8/04
DATE

MAXIMUM TIME ALLOWED TO CONSTRUCT
IMPROVEMENTS WITHOUT A DRB EXTENSION

DATE



DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER

Mary Herrera Bern. Co. AGRE R 25.00

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Page: 8 of 9
11/19/2004 10:55A
Bk-A87 Pg-933

FINANCIAL GUARANTY AMOUNT

09/28/2004

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

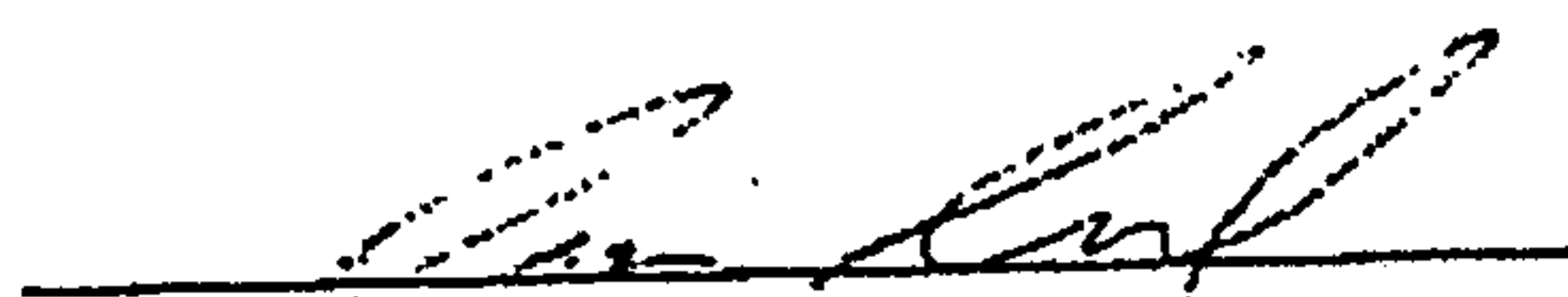
Project ID #: 631383, Lowe's HomeCtrs., Pav/Intersection Imps., Phase/Un

Requested By: James Topmiller, PE w/ Bohannan Huston

Approved estimate amount:		\$162,550.00
Contingency Amount:	10.00%	\$16,255.00
Subtotal:		\$178,805.00
NMGRT	6.0625%	\$10,840.05
Subtotal:		\$189,645.05
Engineering Fee	6.60%	\$12,516.57
Testing Fee	2.00%	\$3,792.90
Subtotal:		\$205,954.52
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$0.00
TOTAL FINANCIAL GUARANTY REQUIRED		<u>\$257,443.15</u>

APPROVAL:

DATE:



9-28-2004

Notes: B-2 of 2. 10% contingency, plans not approved. This FG is for the traffic signal at San Pedro & Palomas.



Mary Herrera

Bern. Co. RGRE

R 25.00

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ORIGINAL

Figure 12
INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

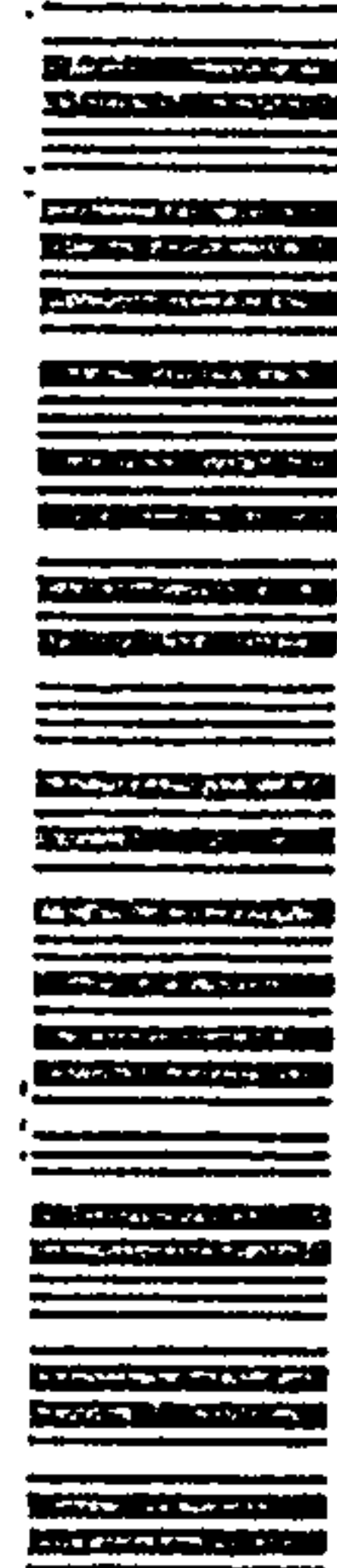
Lowe's Home Centers Replat (SW Corner of Paseo del Norte & San Pedro)
Existing Tract A-1, Los Angeles Center (Proposed Tracts A-1A, A-1B, A-1C, A-1D and A-1E, Los Angeles Center)

Date Submitted: September 3, 2004
Date Site Plan for Bldg Permt App: _____
Date Site Plan for Sub. Approved: _____
Date Preliminary Plat Approved: 9/3/04
Date Preliminary Plat Expires: 9/3/05

DRB Project No. 100946
04-01178

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PUBLIC ROADWAY IMPROVEMENTS									
		24' WIDE	PAVED PRIVATE ROADWAY	PRIVATE EASEMENT ON CEMCO LANDS	TRACT A	NB 125 FRONTAGE ROAD	/	/	/
		12' WIDE X 400'	NB DECELERATION LANE	NB 125 FRONTAGE ROAD AT PAVED PRIVATE ROADWAY					
			RESTRIPE PASEO DEL NORTE/LOUISIANA INTERSECTION TO PROVIDE DUAL EASTBOUND AND WESTBOUND LEFT TURN LAN						
			RESTRIPE PASEO DEL NORTE/SAN PEDRO INTERSECTION TO PROVIDE EAST BOUND AND WESTBOUND DUAL LEFT TURN LANES						
			RESTRIPE SAN PEDRO, AND MODIFY MEDIANS AS NEEDED, TO CONVERT THE EXISTING INSIDE (WESTERN) THROUGH LANE TO A DEDICATED NORTHBOUND LEFT TURN LANE. TRAFFIC SIGNAL TIMING/PHASING TO BE MODIFIED BY CITY TO PROVIDE FOR PROTECTED LEFT TURN MOVEMENTS ONLY.						
			LENGTHEN THE EXISTING NB RIGHT TURN LANE TO SAN PEDRO/PASEO DEL NORTE, TO MAXIMUM EXTENT PRACTICAL (WITHIN EXISTING ROW).						
			LENGTHEN THE SB RIGHT TURN LANE TO THE SAN PEDRO/PALOMAS AVE. SITE ENTRANCE, TO MAXIMUM EXTENT PRACTICAL.						
		500' x 12' WIDE	EXTEND EXISTING DEDICATED NB RIGHT TURN LANE TO 500' (NB 125 FRONTAGE ROAD/PASEO DEL NORTE INTERSECTION)						
		500' x 12' WIDE	ADD SECOND DEDICATED NB RIGHT TURN LANE (NB 125 FRONTAGE ROAD/PASEO DEL NORTE INTERSECTION)						
			REVISE LOWE'S SITE NORTH ENTRANCE (AT SAN PEDRO/PALOMAS INTERSECTION) TO ACCOMMODATE DUAL EASTBOUND LEFT TURNS (STRIPE OUT ONE OF THE DUAL LEFT LANES).						
			TRAFFIC SIGNAL AT SAN PEDRO/PALOMAS AVE. BONDED IN A SEPARATE SIA BUT NOT CONSTRUCTED UNTIL WARRANTED.						
			CONVERSION OF INSIDE SOUTHBOUND THRU LANE TO TO DEDICATED LEFT TURN LANE (PASEO DEL NORTE/SAN PEDRO)						
			CONSTRUCT PERMANENT NB ROADWAY IMPROVEMENTS (2 NB LANES, BIKEWAY) ON SAN PEDRO, NORTH OF PDN, FOR APPROX 250' FEET, INCLUDING NECESSARY SIGNAL MODIFICATIONS.						



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Page: 7 of 9
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DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

JAMES TOPMILVER
BRIDGE STRENGTH
PREPARED BY: PRINT NAME
8/2/2004
DATE

Thomas J. Patten
DRB CHAIR
9/8/04
DATE
PARKS & GENERAL SERVICES
9/8/04
DATE

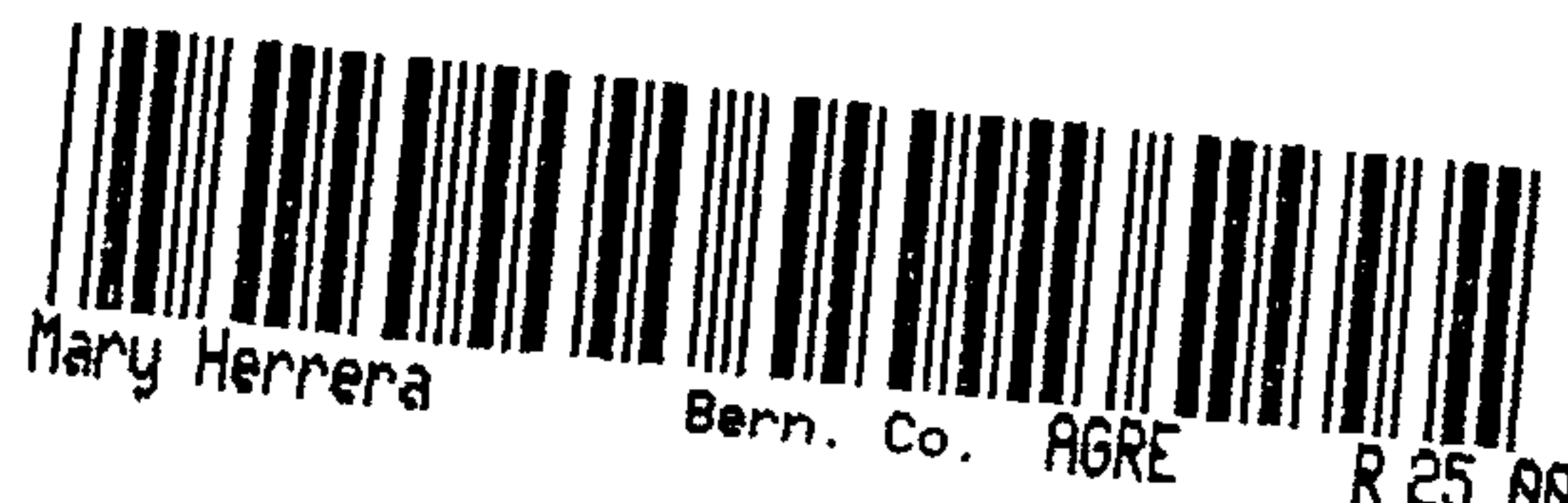
BO HANNAN HUSTON INC.
FIRM:
John J. Hubert
SIGNATURE
TRANSPORTATION DEVELOPMENT
9/8/04
DATE
UTILITY DEVELOPMENT
9/8/04
DATE

AMECA
Bradley L. Bigham
CITY ENGINEER
9/8/04
DATE

MAXIMUM TIME ALLOWED TO CONSTRUCT
IMPROVEMENTS WITHOUT A DRB EXTENSION

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER



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11/19/2004 10:55A
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FINANCIAL GUARANTY AMOUNT

09/28/2004

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

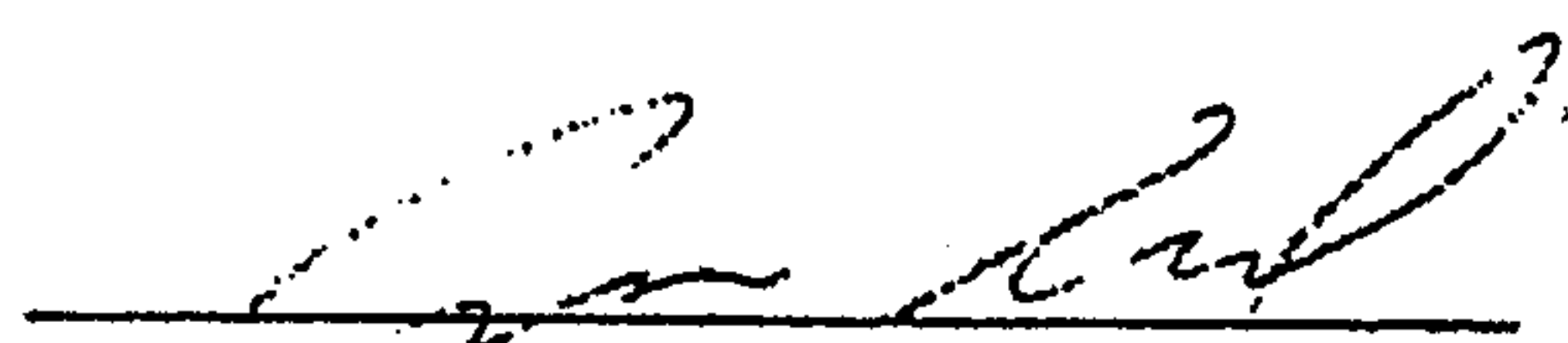
Project ID #: 631383, Lowe's HomeCtrs., Pav/Intersection Imps., Phase/Un

Requested By: James Topmiller, PE w/ Bohannan Huston

Approved estimate amount:		\$1,650,670.00
Contingency Amount:	10.00%	\$165,067.00
Subtotal:		\$1,815,737.00
NMGRT	6.0625%	\$110,079.06
Subtotal:		\$1,925,816.06
Engineering Fee	6.60%	\$127,103.86
Testing Fee	2.00%	\$38,516.32
Subtotal:		\$2,091,436.24
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$.00
TOTAL FINANCIAL GUARANTY REQUIRED		<u>\$2,614,295.30</u>

APPROVAL:

DATE:



9-28-2004

Notes: B-1 of 2. 10% contingency, plans not approved. This FG does not include the traffic signal, see FG B-2.



Mary Herrera

Bern. Co. AGRE

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91 7108 2133 3933 4837 8034



SENDER: COMPLETE THIS SECTION

- Complete Items 1, 2, and 3. Also complete Item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

*John Stutzman
6800 Jade Park NE
Albuquerque, NM 87109*

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X

- Agent
- Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

3. Service Type

- Certified Mail Express Mail
- Registered Return Receipt for Merchandise
- Insured Mail C.O.D.

4. Restricted Delivery? (Extra Fee) Yes

2. Article Number
(Transfer from service lab)

91 7108 2133 3933 4837 8034

PS Form 3811, February 2004

Domestic Return Receipt

Lowe's

102595-02-M-1540

www.bhinc.com

John Stutzman
6800 Jade Park NE
Albuquerque, NM 87109

• ENGINEERING
• SPATIAL DATA
• ADVANCED TECHNOLOGIES



91 7108 2133 3933 4837 8027



UNITED STATES POSTAGE
PITNEY BOWES
02 1P \$ 005.90⁰⁰
0003082003 OCT 08 2008
MAILED FROM ZIP CODE 87109

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

*Kay Saxton
6720 Ruth Ave NE
Albuq., NM 87109*

2. Article Number
(Transfer from service label)

91 7108 2133 3933 4837 8027

PS Form 3811, February 2004

Domestic Return Receipt

102595-02-M-1540

www.bninc.com

Lowe's
Kay Saxton
6720 Ruth Avenue NE
Albuquerque, NM 87109

• ENGINEERING
• SPATIAL DATA
• ADVANCED TECHNOLOGIES

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent
X Addressee

B. Received by (Printed Name) C. Date of Delivery

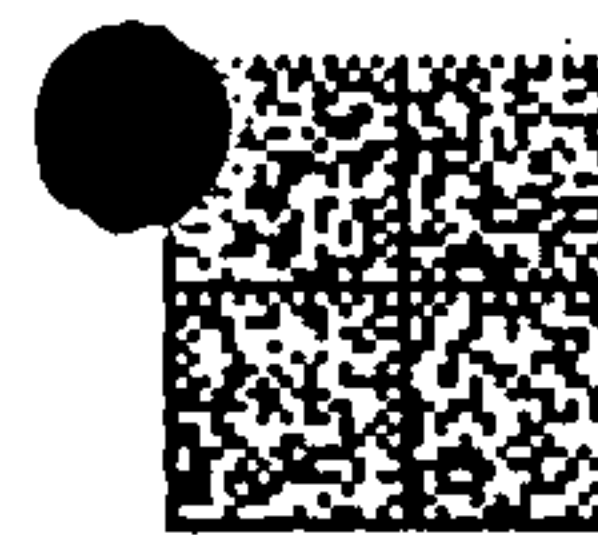
D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

3. Service Type
 Certified Mail Express Mail
 Registered Return Receipt for Merchandise
 Insured Mail C.O.D.

4. Restricted Delivery? (Extra Fee) Yes



91 7108 2133 3933 4837 8041



UNITED STATES POSTAGE
PITNEY BOWES
02 1P \$ 005.90⁰
0003082003 OCT 08 2008
MAILED FROM ZIP CODE 87109

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

*Peggy Neff
8305 Calle Sequelle NE
Albuquerque, NM 87113*

2. Article Number
(Transfer from service label)

91 7108 2133 3933 4837 8041

PS Form 3811, February 2004

Domestic Return Receipt

Howe's

102595-02-M-1540

**Peggy Neff
8305 Calle Sequelle NE
Albuquerque, NM 87113**

ENGINEERING
SPATIAL DATA
ADVANCED TECHNOLOGIES

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X

Agent

Addressee

B. Received by (*Printed Name*)

C. Date of Delivery

D. Is delivery address different from item 1? Yes

If YES, enter delivery address below: No

3. Service Type

Certified Mail

Express Mail

Registered

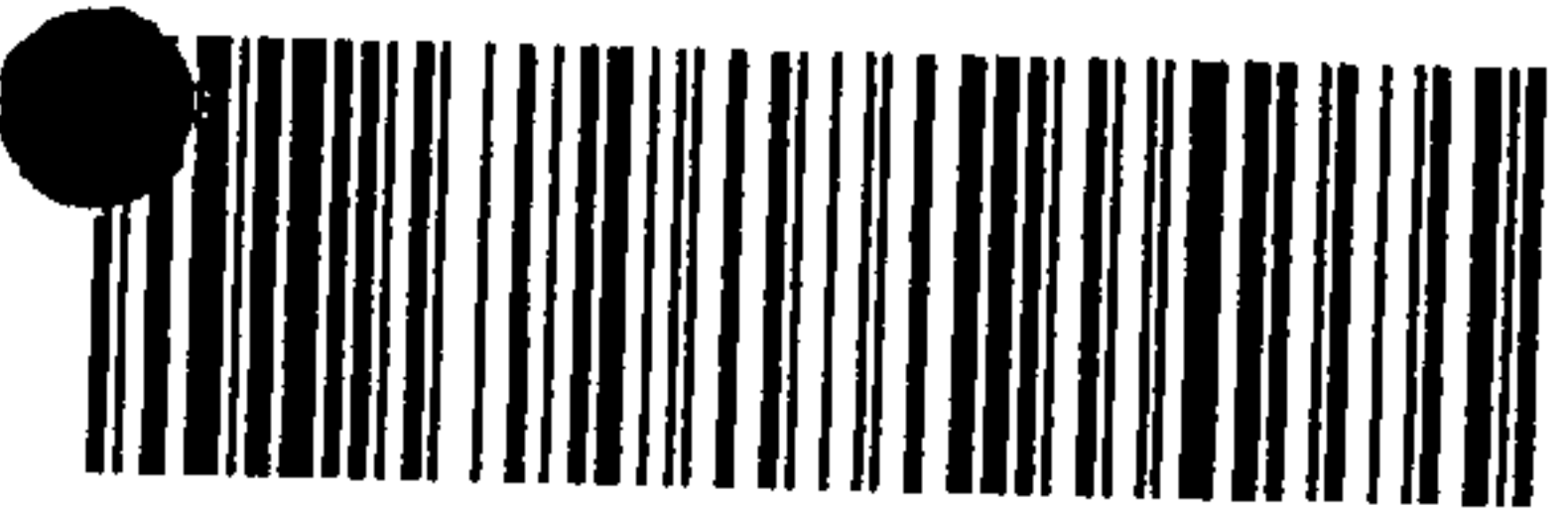
Return Receipt for Merchandise

Insured Mail

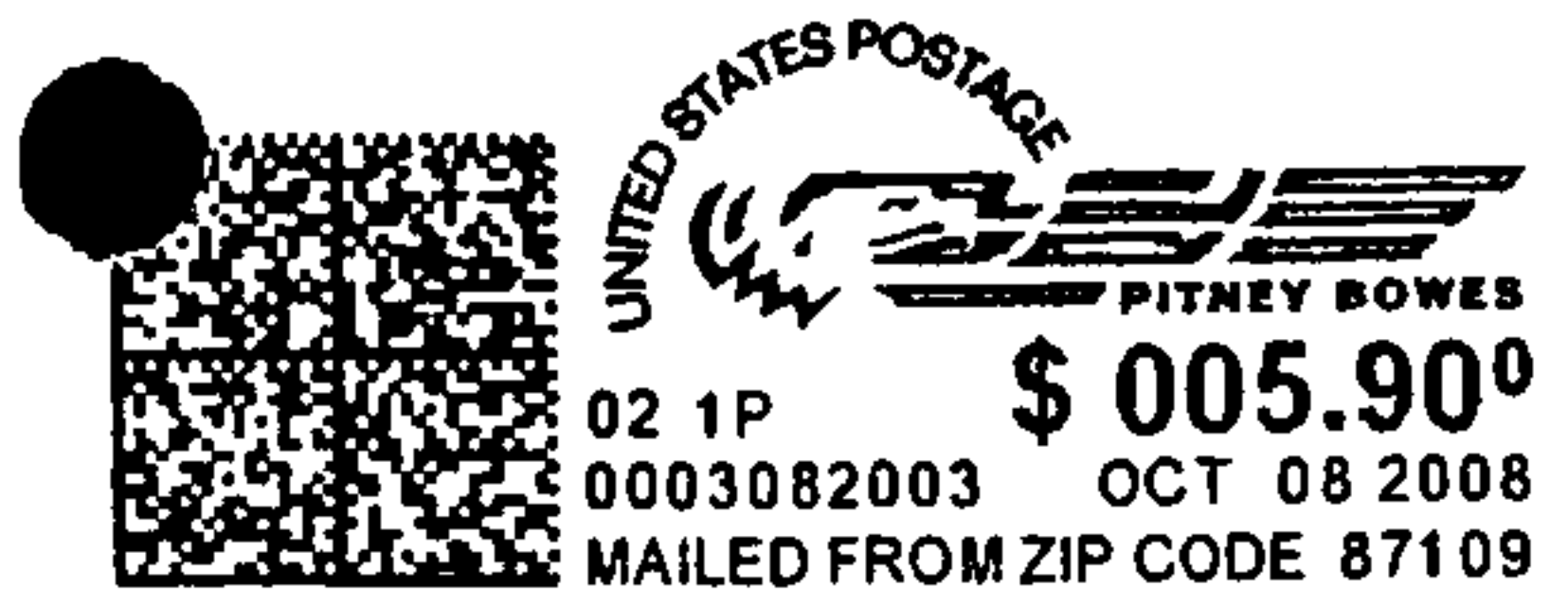
C.O.D.

4. Restricted Delivery? (*Extra Fee*)

Yes



91 7108 2133 3933 4837 8058



SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

*April Sweet
6939 Carmelito Loop NE
Alb., NM 87113*

2. Article Number
(Transfer from service label)

91 7108 2133 3933 4837 8058

PS Form 3811, February 2004

Domestic Return Receipt

Lowes

102595-02-M-1540

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent
X Addressee

B. Received by (Printed Name) C. Date of Delivery

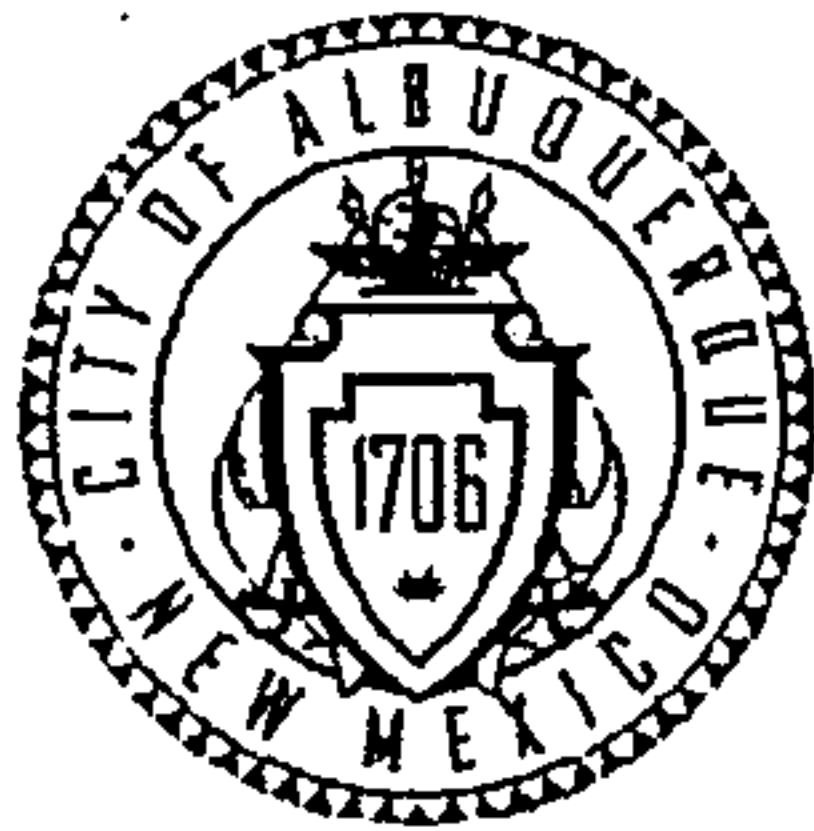
D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

3. Service Type
 Certified Mail Express Mail
 Registered Return Receipt for Merchandise
 Insured Mail C.O.D.

4. Restricted Delivery? (Extra Fee) Yes

April Sweet
6939 Carmelito Loop NE
Albuquerque, NM 87113

• ENGINEERING
• SPATIAL DATA
• ADVANCED TECHNOLOGIES



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

October 7, 2008

Sally Salazar-Cass
Bohannan Huston Inc.
7500 Jefferson NE/87109
Phone: 798-7988/Fax: 798-7988
E-mail: ssalazar-cass@bhinc.com

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Dear Sally:

Thank you for your inquiry of October 7, 2008 requesting the names of **ALL Neighborhood and/or Homeowner Associations** who would be affected under the provisions of O-92 by your proposed project at **A1-B, LOS ANGELES CENTER, LOCATED ON PASEO DEL NORTE NE BETWEEN SAN PEDRO DRIVE NE AND I-25 FREEWAY** zone map **D-18**

Our records indicate that the **Neighborhood and/or Homeowner Associations** affected by this proposal and the contact names are as follows:

WEST LA CUEVA N.A. (WLC) "R"

Peggy Neff, 8305 Calle Sequelle NE/87113 823-1041 (h) 977-8903 (c)
April Sweet, 6939 Carmelito Lp. NE/87113 280-8586 (c)

JADE PARK N.A. (JPK) "R"

Kay Saxton, 6720 Ruth Ave. NE/87109 821-1137 (h)
John Stutzman, 6800 Jade Park NE/87109 796-0593 (h)

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

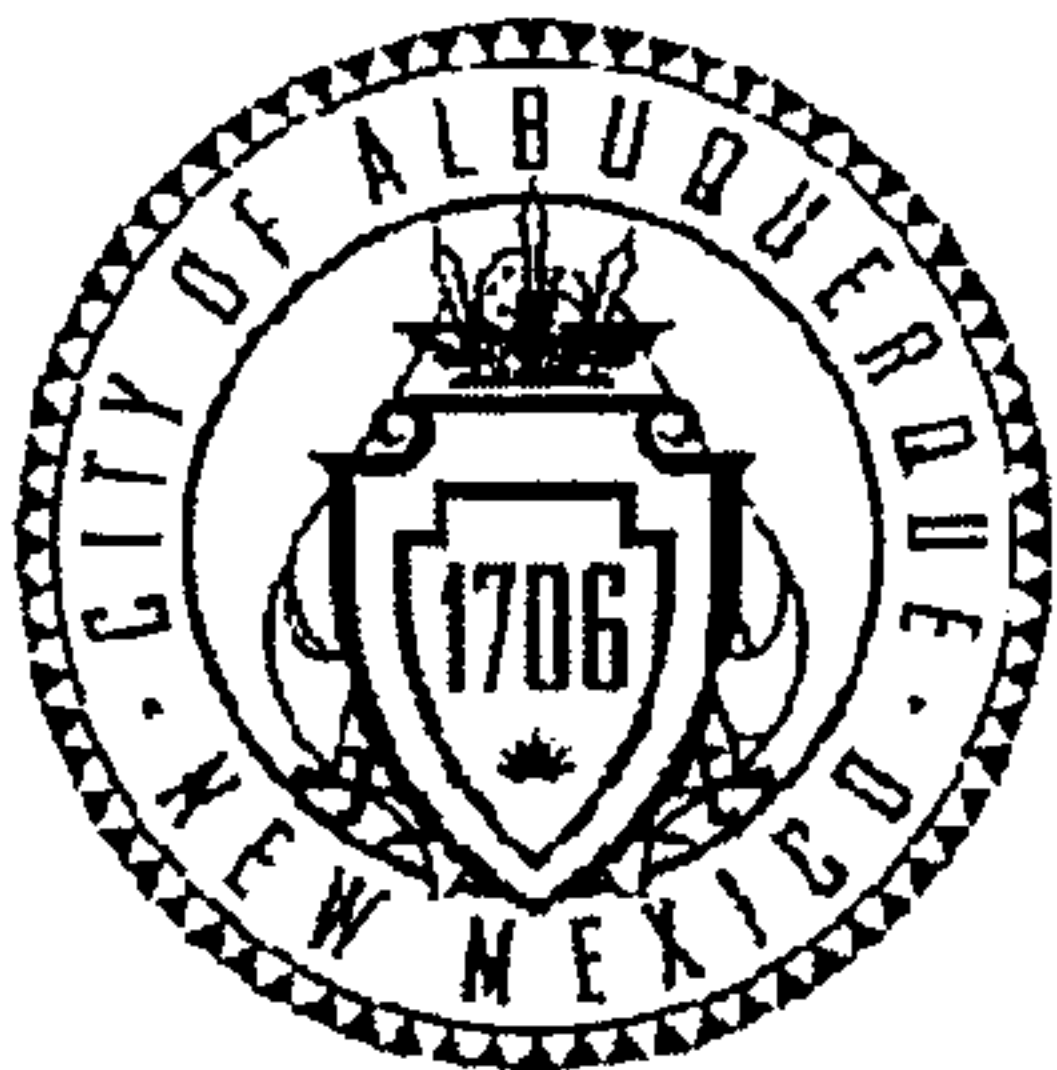
Sincerely,

Stephani Winklepleck

Stephani I. Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD AND/OR
HOMEOWNER ASSOCIATION.**

planningrnaform(12/06/07)



DEVELOPER INQUIRY SHEET

(To be completed prior to application submittal)

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second Street NW, Fax: (505) 924-3913 – will need the following information **BEFORE** neighborhood and/or homeowner association information will be released to the applicant/agent on any project being presented to the Planning Department of the City of Albuquerque. If you have any questions, please feel free to contact our office at (505) 924-3914. **Your Developer Inquiry is for the following:**

Cell Tower & Type: [] Free-Standing Tower -OR- [] Concealed Tower

Private Development [X] (i.e., EPC, DRB, LUCC, Liquor Submittal)

City Project []

CONTACT NAME: _Sally Salazar-Cass

COMPANY NAME: __Bohannon Huston Inc.

ADDRESS/ZIP: __Albuquerque, NM 87109

PHONE: _798-7965_ or 823-1000_ FAX: __798-7988_____

LEGAL DESCRIPTION INFORMATION

PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD AND/OR HOMEOWNER ASSOCIATION IN THE AREA OF THE PROPERTY DESCRIBED BELOW:

_____ A1-B, LOS ANGELES CENTER _____

_____ Lowe's _____

LOCATED ON _____ LEGAL DESCRIPTION
Paseo Del Norte NE _____
STREET NAME OR OTHER IDENTIFYING LANDMARK

BETWEEN _____ San Pedro NE _____ AND
STREET NAME OR OTHER IDENTIFYING LANDMARK

_____ I-25 _____
STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS PAGE (_D-18_).
(PLEASE MARK/HATCH ZONE MAP WHERE PROPERTY IS LOCATED)
(Zone Map MUST be provided with request)

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

October 10, 2008

Kay Saxton
6720 Ruth Avenue NE
Albuquerque, New Mexico 87109

RE: Subdivision Improvements Agreement Extension
San Pedro/Palomas Intersection Improvements, #1001946, CPN 754382

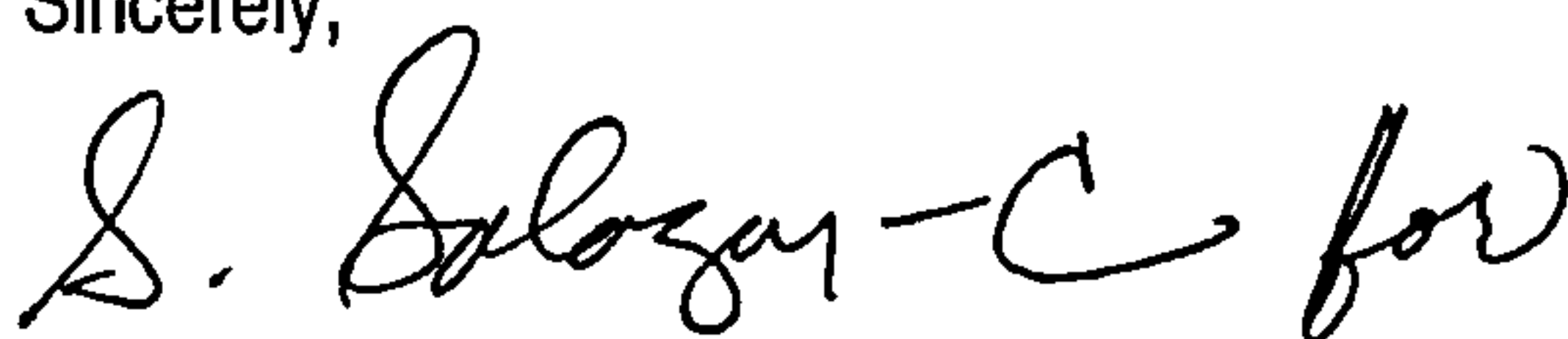
Dear Ms. Saxton:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Jade Park Neighborhood Association.

We are requesting a one (1) year extension of the Subdivision Improvements Agreement (Procedure B) for the intersection improvements for the above referenced project. We are requesting the extension to provide sufficient time to bid, build, and inspect the traffic signal. The construction will not be completed before the SIA extension expires. Therefore, we are requesting the approval of a one year extension

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Bruce J. Stidworthy, P.E.
Vice President
Community Development and Planning Group

BJS/ssc
Enclosures

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

October 10, 2008

John Stutzman
6800 Jade Park NE
Albuquerque, New Mexico 87109

RE: Subdivision Improvements Agreement Extension
San Pedro/Palomas Intersection Improvements, #1001946, CPN 754382

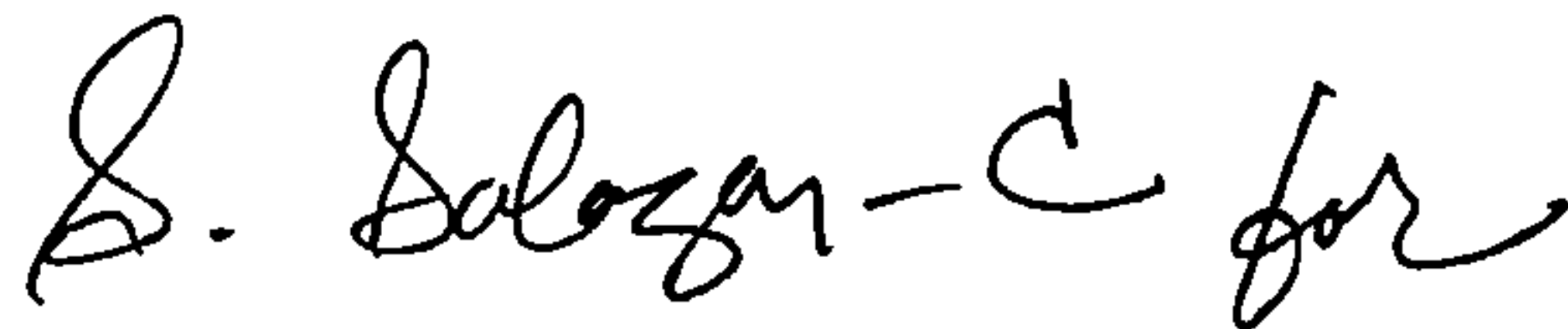
Dear Mr. Stutzman:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Jade Park Neighborhood Association.

We are requesting a one (1) year extension of the Subdivision Improvements Agreement (Procedure B) for the intersection improvements for the above referenced project. We are requesting the extension to provide sufficient time to bid, build, and inspect the traffic signal. The construction will not be completed before the SIA extension expires. Therefore, we are requesting the approval of a one year extension

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Bruce J. Stidworthy, P.E.
Vice President
Community Development and Planning Group

BJS/ssc
Enclosures

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

October 10, 2008

April Sweet
6939 Carmelito Loop NE
Albuquerque, New Mexico 87113

RE: Subdivision Improvements Agreement Extension
San Pedro/Palomas Intersection Improvements, #1001946, CPN 754382

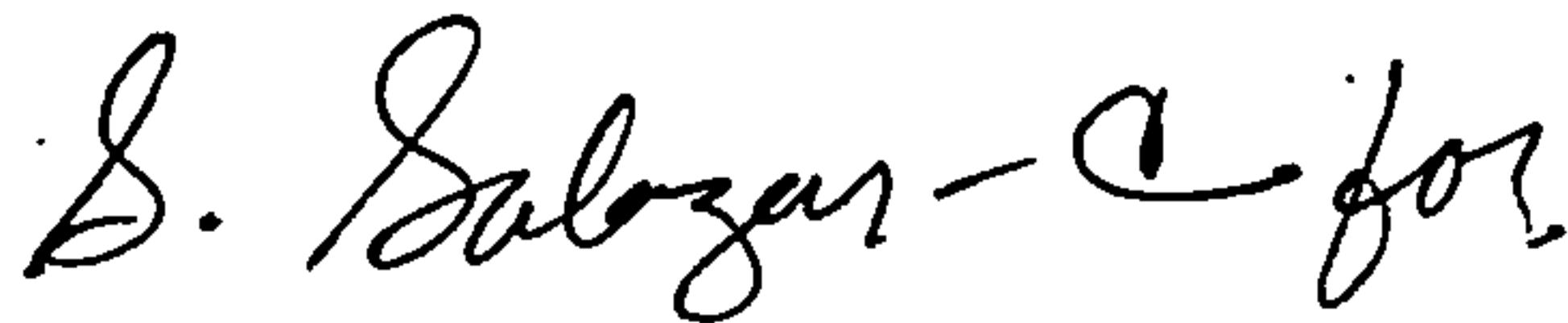
Dear Ms. Sweet:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the West La Cueva Neighborhood Association.

We are requesting a one (1) year extension of the Subdivision Improvements Agreement (Procedure B) for the intersection improvements for the above referenced project. We are requesting the extension to provide sufficient time to bid, build, and inspect the traffic signal. The construction will not be completed before the SIA extension expires. Therefore, we are requesting the approval of a one year extension

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Bruce J. Stidworthy, P.E.
Vice President
Community Development and Planning Group

BJS/ssc
Enclosures

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Albuquerque, NM
87109-4335

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voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL
RETURN RECEIPT REQUESTED

October 10, 2008

Peggy Neff
8305 Calle Sequelle NE
Albuquerque, New Mexico 87113

RE: Subdivision Improvements Agreement Extension
San Pedro/Palomas Intersection Improvements, #1001946, CPN 754382

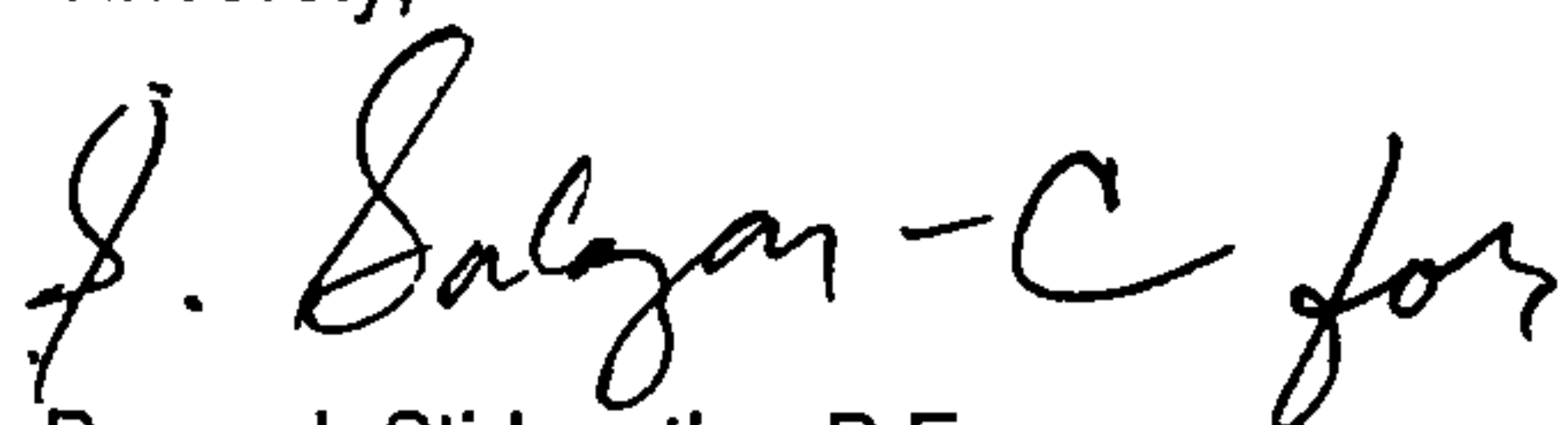
Dear Ms. Neff:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the West La Cueva Neighborhood Association.

We are requesting a one (1) year extension of the Subdivision Improvements Agreement (Procedure B) for the intersection improvements for the above referenced project. We are requesting the extension to provide sufficient time to bid, build, and inspect the traffic signal. The construction will not be completed before the SIA extension expires. Therefore, we are requesting the approval of a one year extension

Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Bruce J. Stidworthy, P.E.
Vice President
Community Development and Planning Group

BJS/ssc
Enclosures

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from October 21, 2008 To November 5, 2008

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

S. Lopez 10-10-08
(Applicant or Agent) (Date)

I issued 1 signs for this application, 10-10-08 Raf
(Date) (Staff Member)

DRB PROJECT NUMBER: ~~1001946~~ 1001946



<p>SUBDIVISION</p> <p><input checked="" type="checkbox"/> Major Subdivision action <input type="checkbox"/> Minor Subdivision action <input type="checkbox"/> Vacation <input type="checkbox"/> Variance (Non-Zoning)</p> <p>SITE DEVELOPMENT PLAN</p> <p><input type="checkbox"/> ...for Subdivision Purposes <input type="checkbox"/> ...for Building Permit <input type="checkbox"/> IP Master Development Plan <input type="checkbox"/> Cert. of Appropriateness (LUCC)</p>	<p>Supplemental form S</p> <p>V</p> <p>P</p> <p>L</p>	<p>Supplemental form ZONING & PLANNING</p> <p><input type="checkbox"/> Annexation <input type="checkbox"/> County Submittal <input type="checkbox"/> EPC Submittal <input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning) <input type="checkbox"/> Sector Plan (Phase I, II, III) <input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan <input type="checkbox"/> Text Amendment</p> <p>APPEAL / PROTEST of...</p> <p><input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals</p>	<p>Z</p> <p>A</p>
---	---	--	---------------------------------

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: <u>LOWE'S HOME CENTERS, INC.</u>	PHONE: <u>336-658-3357</u>
ADDRESS: <u>PO BOX 1111</u>	FAX: <u>336-658-3643</u>
CITY: <u>N. WILKESBORO</u> STATE <u>NC</u> ZIP <u>28656</u>	E-MAIL: _____
Proprietary interest in site: <u>OWNER</u>	
AGENT (if any): <u>BOHANNAN HUSTON INC.</u>	PHONE: <u>823-1000</u>
ADDRESS: <u>7500 JEFFERSON NE</u>	FAX: <u>798-7988</u>
CITY: <u>ALBUQUERQUE</u> STATE <u>NM</u> ZIP <u>87109</u>	E-MAIL: _____

DESCRIPTION OF REQUEST: MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACTS TRACT A1 A PLAT OF TRACTS A-1 AND A-2 Block: _____ Unit: _____

Subdiv. / Addn. LOS ANGELES CENTER

Current Zoning: M-1 Proposed zoning: _____

Zone Atlas page(s): D-18 No. of existing lots: 1 No. of proposed lots: 1

Total area of site (acres): 33.0300 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? YES

UPC No. 101806317546920804 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: I-25
 Between: PASEO DEL NORTE NE and SAN PEDRO BLVD. NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): DRB# 1001946 04DRB-01965

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Stephanie Walton DATE 10/26/2006
 (Print) STEPHANIE WALTON Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 10/03

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06DRB - 01557</u>	<u>SIA</u>	<u>5(2)</u>	\$ <u>50.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>ADV</u>	_____	\$ <u>75.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>CMF</u>	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>11/22/06</u>	_____	_____	Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ <u>145.00</u>

Sandy Handley 10/24/06
 Planner signature / date

Project # 1001946

FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING

A Bulk Land Variance requires application on FORM-V in addition to application for subdivision on FORM-S.

MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
Proposed Infrastructure List
Design elevations & cross sections of perimeter walls 3 copies (11" x 17" maximum)
Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
Letter briefly describing, explaining, and justifying the request
Property owner's and City Surveyor's signature on the proposed plat
FORM DRWS Drainage Report, Water & Sewer availability statement filing information
Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
Sign Posting Agreement
Signed Pre-Annexation Agreement if Annexation required.
TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
Fee (see schedule)
Any original and/or related file numbers are listed on the cover application

Preliminary plat approval expires after one year. DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

- MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)
MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)
MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 24 copies
Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
Letter briefly describing, explaining, and justifying the request
Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
Sign Posting Agreement
Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year. DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT (Temporary sidewalk deferral uses FORM-V)

- 1 copy of each of the following items
Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
Letter briefly describing, explaining, and justifying the request
Plat or plan reduced to 8.5" x 11"
Official D.R.B. Notice of the original approval
Approved Infrastructure List. If not applicable, please initial.
Previous SIA extension notice, if one has been issued. If not applicable, please initial.
Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
Sign Posting Agreement
Any original and/or related file numbers are listed on the cover application
Fee (see schedule)

DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Stephanie Walton
Applicant name (print)
Stephanie Walton
Applicant signature / date 10-26-06



Form revised 11/04 and JUNE 05

- Checklists complete
Fees collected
Case #s assigned
Related #s listed

Application case numbers
06DRB- - 01557

Sandy Handley 10/26/06
Planner signature / date
Project # 1001946



For more current information and more details visit: <http://www.cabq.gov/gis>

AGIS
Albuquerque Geographic Information System

Map amended through: 9/5/2006

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
D-18-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

October 26, 2006

Sheran Matson, Chair
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque, New Mexico 87103

RE: Major Subdivision Improvements Agreement Extension (Procedure B) City# 6313.83
Tracts A1, Plat of Tracts A-1 and A-2 Los Angeles Center- (Lowe's Traffic Signal)
DRB# 1001946

Dear Sheran:

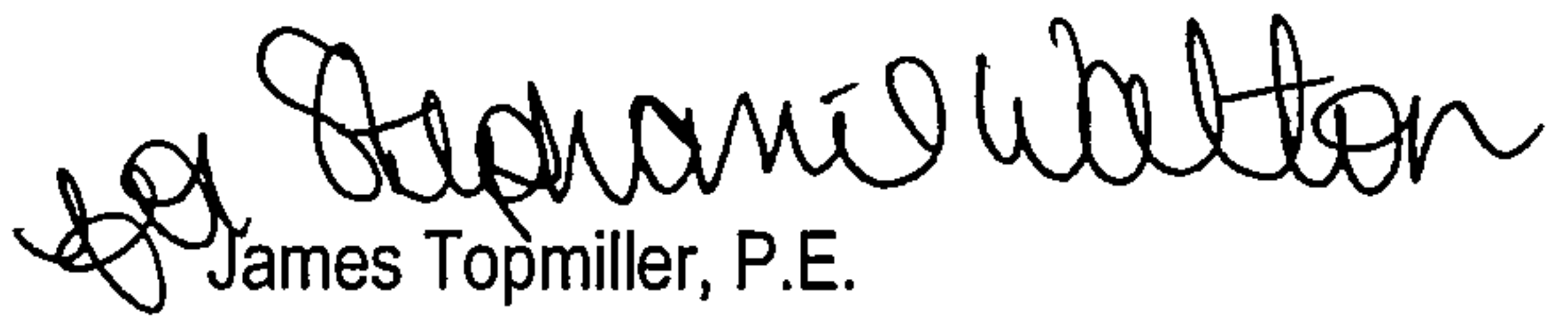
Submitted for DRB review and approval is a request for an extension to the Subdivision Improvements Agreement for the above referenced project.

Enclosed is the following information:

- Applications for Development Review
- Reduced layout of subdivision plat
- Zone Atlas sheet showing the project area
- Letter briefly describing, explaining, and justifying the request
- Approved Infrastructure List
- Previous SIA Extension Notice
- Neighborhood Notification information
- Fee in the amount of \$145.00

We are requesting an Extension to the Subdivision Improvements Agreement for the Los Angeles Center property. We currently have a Procedure B 1st extension in place for the traffic signal at San Pedro Blvd. NE and Palomas. The Extension expires soon and the signal is not constructed. Please place this item on the DRB agenda to be heard on November 22, 2006. If you have any questions, or require further information, please call me.

Sincerely,


James Topmiller, P.E.
Senior Vice President
Community Development and Planning Group

SW
Enclosure

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

ORIGINAL

Figure 12

INFRASTRUCTURE LIST

**EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**Lowe's Home Centers Replat (SW Corner of Paseo del Norte & San Pedro)
Existing Tract A-1, Los Angeles Center (Proposed Tracts A-1A, A-1B, A-1C, A-1D and A-1E, Los Angeles Center)**

Date Submitted: September 3, 2004

Date Site Plan for Bldg Permit App: _____

Date Site Plan for Sub. Approved: _____

Date Preliminary Plat Approved: 9/8/05

Date Preliminary Plat Expires: 9/8/05

DRB Project No. 10009416

OA 01178

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the Infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PUBLIC ROADWAY IMPROVEMENTS									
		24' WIDE	PAVED PRIVATE ROADWAY	PRIVATE EASEMENT ON CEMCO LANDS	TRACT A	NB 125 FRONTAGE ROAD	/	/	/
		12' WIDE X 400'	NB DECELERATION LANE	NB 125 FRONTAGE ROAD AT PAVED PRIVATE ROADWAY					
			RESTRIPE PASEO DEL NORTE/LOUISIANA INTERSECTION TO PROVIDE DUAL EASTBOUND AND WESTBOUND LEFT TURN LANES						
			RESTRIPE PASEO DEL NORTE/SAN PEDRO INTERSECTION TO PROVIDE EAST BOUND AND WESTBOUND DUAL LEFT TURN LANES						
			RESTRIPE SAN PEDRO, AND MODIFY MEDIANS AS NEEDED, TO CONVERT THE EXISTING INSIDE (WESTERN) THROUGH LANE TO A DEDICATED NORTHBOUND LEFT TURN LANE. TRAFFIC SIGNAL TIMING/PHASING TO BE MODIFIED BY CITY TO PROVIDE FOR PROTECTED LEFT TURN MOVEMENTS ONLY.						
			LENGTHEN THE EXISTING NB RIGHT TURN LANE TO SAN PEDRO/PASEO DEL NORTE, TO MAXIMUM EXTENT PRACTICAL (WITHIN EXISTING ROW).						
			LENGTHEN THE SB RIGHT TURN LANE TO THE SAN PEDRO/PALOMAS AVE. SITE ENTRANCE, TO MAXIMUM EXTENT PRACTICAL.						
		500' x 12' WIDE	EXTEND EXISTING DEDICATED NB RIGHT TURN LANE TO 500' (NB 125 FRONTAGE ROAD/PASEO DEL NORTE INTERSECTION)						
		500' X 12' WIDE	ADD SECOND DEDICATED NB RIGHT TURN LANE (NB 125 FRONTAGE ROAD/PASEO DEL NORTE INTERSECTION)						
			REVISE LOWE'S SITE NORTH ENTRANCE (AT SAN PEDRO/PALOMAS INTERSECTION) TO ACCOMMODATE DUAL EASTBOUND LEFT TURNS (STRIPE OUT ONE OF THE DUAL LEFT LANES).						
			TRAFFIC SIGNAL AT SAN PEDRO/PALOMAS AVE. BONDED IN A SEPARATE SIA BUT NOT CONSTRUCTED UNTIL WARRANTED.						
			CONVERSION OF INSIDE SOUTHBOUND THRU LANE TO TO DEDICATED LEFT TURN LANE (PASEO DEL NORTE/SAN PEDRO)						
			CONSTRUCT PERMANENT NB ROADWAY IMPROVEMENTS (2 NB LANES, BIKEWAY) ON SAN PEDRO, NORTH OF PDN, FOR APPROX 250' FEET, INCLUDING NECESSARY SIGNAL MODIFICATIONS.						

8" LOOPED WATERLINE THROUGH TRACT A-1-A FROM EXISTING W₂ ON TRACT A-1-B TO EXISTING W₂ AT SW PROP LINE OF TRACT A-1-A.

AGENT/OWNER

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

JAMES TOPMILVER

BRUCE STIDWORTHY 8/3/2004
PREPARED BY: PRINT NAME DATE

[Signature]
DRB CHAIR

[Signature] Christina Sandoval 9/8/04
PARKS & GENERAL SERVICES DATE

BOHANNAN HUSTON INC.

FIRM:
[Signature]
SIGNATURE

[Signature] 9/8/04
TRANSPORTATION DEVELOPMENT DATE

[Signature] 9/8/04
UTILITY DEVELOPMENT DATE

[Signature] Bradley L. Brylan 9/8/04
CITY ENGINEER DATE

MAXIMUM TIME ALLOWED TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION

DATE



DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRB CHAIR	USER DEPARTMENT	AGENT/OWNER
1	12/02/04	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>

FIGURE 18

1st EXTENSION AGREEMENT
Procedure "B"
PROJECT NO. 6313.83

(Traffic Signal)

This Agreement made this 10th day of May, 2005, by and between the City of Albuquerque, New Mexico, a municipal corporation ("City") and (name of developer/subdivider:) Lowe's Home Centers, Inc. ("Developer"), whose address is PO Box 111 N. Wilkesboro, NC 28656 and whose telephone number is 336-658-3357; is made in Albuquerque, New Mexico and is entered into as of the date of final execution of this Agreement.

18 WHEREAS, the City and the Developer entered into an Agreement on the 18 day of November 2004, which was recorded in the office of the Clerk of Bernalillo County, New Mexico on 11-19-2004, at Book Misc. A87, pages 933 through XXXXXXX, ("Earlier Agreement"), by which the Developer agreed to complete the construction of certain infrastructure improvements on or before the 1 day of May 2005; and

WHEREAS, the Earlier Agreement was amended by an Extension Agreement dated _____ recorded _____, in Book Misc. _____, pages _____ through _____, records of Bernalillo County, New Mexico, extending the construction deadline to _____; and

WHEREAS, it appears that the Developer will be unable to complete construction of the improvements by the deadline specified in the Agreement; and

WHEREAS, the City is willing to grant Developer an extension of time in which to complete construction of all or part of the improvements, provided the Developer posts an acceptable financial guaranty, as required by the City's Subdivision Ordinance and the Development Process Manual; and

WHEREAS, the Developer is able to provide the required financial guaranty;

NOW THEREFORE in consideration of the above and the mutual promises contained herein, the parties agree:

1. The required completion date for construction of the improvements, as set forth in the attached Exhibit A, is extended (Complete either A or B:)

A. for all improvements, the 18 day of November, 2006.

B. on portions of the improvements as follows:

<u>IMPROVEMENTS</u>	<u>COMPLETION DATE</u>
_____	_____
_____	_____
_____	_____



Mary Herrera

Bern. Co. AGRE

R 13.00

2005066046

6262094

Page: 1 of 3

05/12/2005 03:11P

Bk-A96 Pg-5849

2. With this Extension Agreement, Developer has provided the City with the following financial guaranty:

Type of Financial Guaranty: Surety Order No. 018008091
Amount: \$257,443.15 Name of Financial Institution or Surety
providing Guaranty: Liberty Mutual Insurance
Date City first able to call Guaranty (Construction Completion
Deadline): 11-18-2006
If Guaranty other than a Bond, last day City able to call Guaranty
is: _____
Additional information: _____

3. The parties agree that all terms and conditions of the Earlier Agreement not in conflict with this Extension Agreement shall remain valid, in force, and binding upon the parties. By executing this Agreement, the parties only intention is to extend the construction completion deadline established in the Earlier Agreement and establish a revised financial guaranty for the benefit of the City.

Executed on the date stated in the first paragraph of this Agreement.

DEVELOPER:

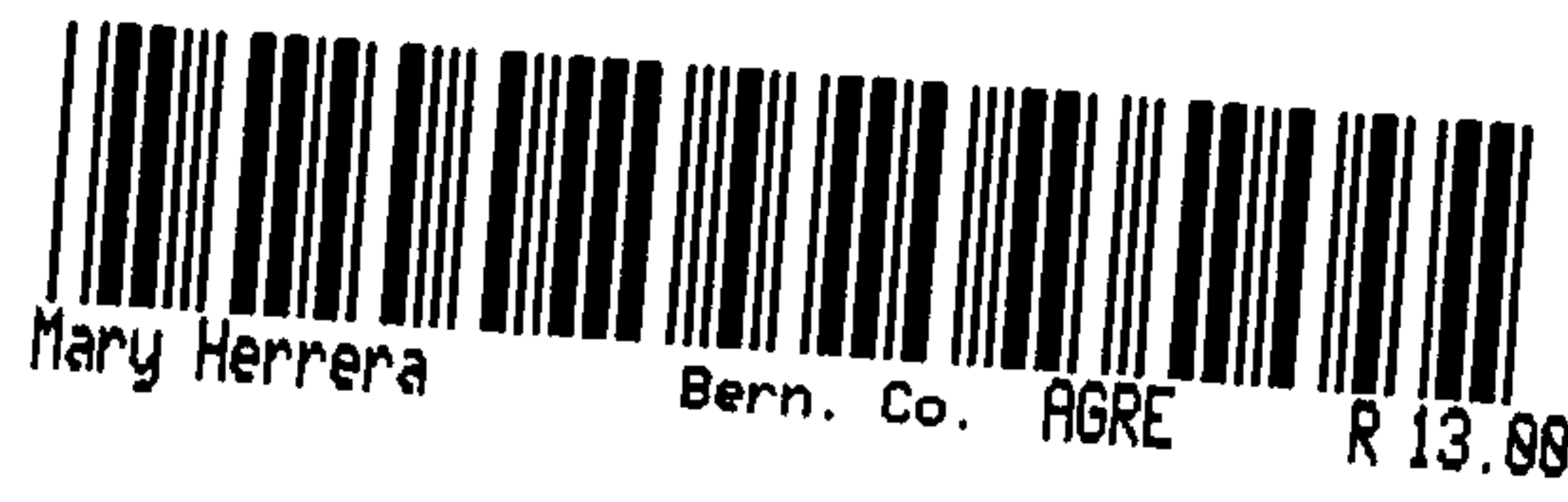
By (Signature): [Signature]
Name: Robin P. Nichols
Title: Vice President
Dated: 4/28/05

CITY OF ALBUQUERQUE:

[Signature]
City Engineer
Dated: 5-11-05

9/2/05

[Signature]



2005066046
6262094
Page: 2 of 3
05/12/2005 03:11P
Bk-A96 Pg-5849

DEVELOPER'S NOTARY

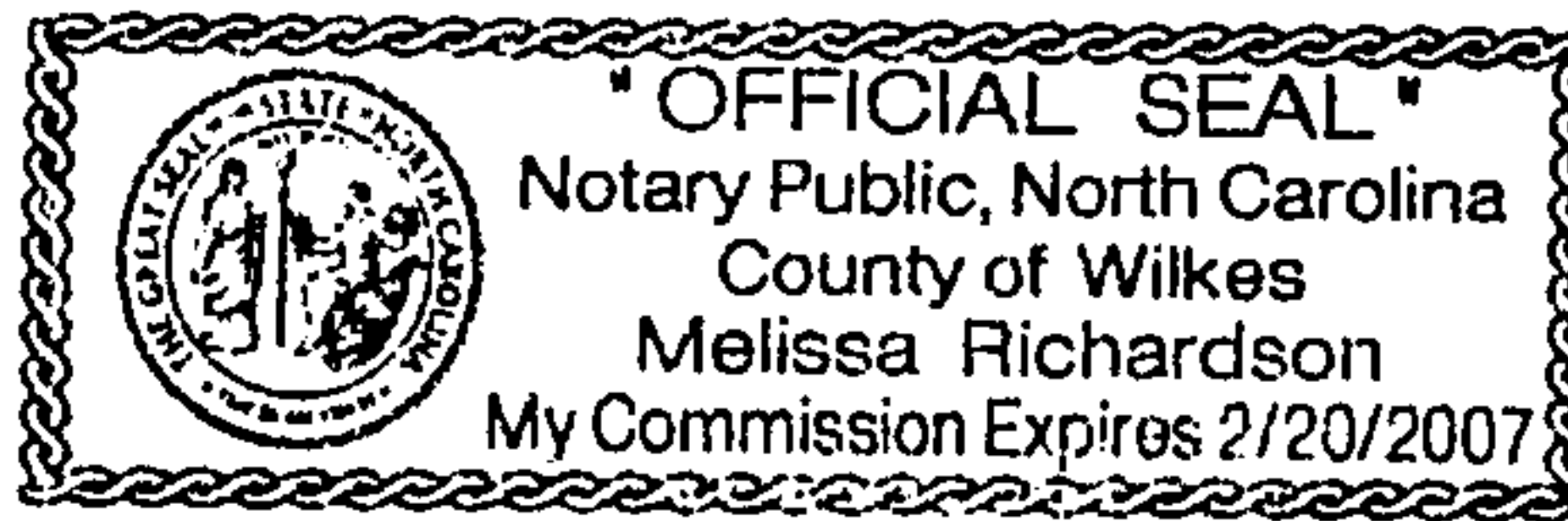
STATE OF North Carolina)
) ss.
COUNTY OF Wilkes)

This instrument was acknowledged before me on 28 day of April,
2005 by (name of person:) Robin P. Nickles, (title or
capacity, for instance, "President" or "Owner") Via President
of (Developer:) Lowe's Home Centers, Inc

Melissa Richardson
Notary Public

My Commission Expires:

2/20/2007



CITY'S NOTARY

STATE OF New Mexico
COUNTY OF Bernalillo ss.

This instrument was acknowledged before me on 11th day of May,
2005 by Wilfred Salgado acting City Engineer of the City of
Albuquerque, a municipal corporation, on behalf of said corporation.

Gloria D. Saavedra
Notary Public

My Commission Expires:

11-25-2007

Mary Herrera Bern. Co. AGRE R 13.00
2005066046
6262094
Page: 3 of 3
05/12/2005 03:11P
Bk-A96 Pg-5849

SURETY RIDER

To be attached to and form a part of

Bond No. 018 008 891

Type of Subdivision-Future traffic signal at San Pedro and Palomas
Bond:

dated
effective **October 21, 2004**
(MONTH-DAY-YEAR)

executed by **LOWE'S HOME CENTERS, INC.**
(PRINCIPAL)

, as Principal,

and by **Liberty Mutual Insurance Company**
(SURETY)

, as Surety,

in favor of **City of Albuquerque**
(OBLIGEE)

in consideration of the mutual agreements herein contained the Principal and the Surety hereby consent to changing

The completion date for construction of the improvements as set forth in the attached is extended until **November 18, 2006**

Nothing herein contained shall vary, alter or extend any provision or condition of this bond except as herein expressly stated.

This rider is effective **April 11, 2005**
(MONTH-DAY-YEAR)

Signed and Sealed **April 11, 2005**
(MONTH-DAY-YEAR)

LOWE'S HOME CENTERS, INC.
(PRINCIPAL)

By: David E. Shelton
(PRINCIPAL) David E. Shelton, Senior Vice President

Liberty Mutual Insurance Company
(SURETY)

By: Maryann Dark
Maryann Dark, Attorney-In-Fact

**NOTICE FROM SURETY REQUIRED BY
TERRORISM RISK INSURANCE ACT OF 2002**

In accordance with the Terrorism Risk Insurance Act of 2002 (referred to hereinafter as the "Act"), this disclosure notice is provided for surety bonds on which one or more of the following companies is the issuing surety: Liberty Mutual Insurance Company; Liberty Mutual Fire Insurance Company; LM Insurance Corporation; The First Liberty Insurance Corporation; Liberty Insurance Corporation; Employers Insurance Company of Wausau (formerly "EMPLOYERS INSURANCE OF WAUSAU A Mutual Company"); Peerless Insurance Company; and any other company that is a part of or added to the Liberty Mutual Group for which surety business is underwritten by Liberty Mutual Surety (referred to collectively hereinafter as the "Issuing Sureties").

NOTICE FORMS PART OF BOND

This notice forms part of surety bonds issued by any one or more of the Issuing Sureties.

DISCLOSURE OF PREMIUM

The premium attributable to any bond coverage for "acts of terrorism" as defined in Section 102(1) of the Act is Zero Dollars (\$0.00).

**DISCLOSURE OF FEDERAL PARTICIPATION
IN PAYMENT OF TERRORISM LOSSES**

The United States will reimburse the Issuing Sureties for ninety percent (90%) of any covered losses from terrorist acts certified under the Act exceeding the applicable surety deductible.

THIS POWER OF ATTORNEY IS NOT VALID UNLESS IT IS PRINTED ON RED BACKGROUND.

This Power of Attorney limits the acts of those named herein, and they have no authority to bind the Company except in the manner and to the extent herein stated.

LIBERTY MUTUAL INSURANCE COMPANY
BOSTON, MASSACHUSETTS
POWER OF ATTORNEY

KNOW ALL PERSONS BY THESE PRESENTS: That Liberty Mutual Insurance Company (the "Company"), a Massachusetts stock insurance company, pursuant to and by authority of the By-law and Authorization hereinafter set forth, does hereby name, constitute and appoint **H. WAYNE GIBSON, VICKIE L. PETREA, MARTIN PALLAZZA, JUDIE M. CHISOLM, BRAD W. GIBSON, KELLY E. MATRULLI, MARYANN DARK, ALL OF THE CITY OF CHARLOTTE, STATE OF NORTH CAROLINA**

....., each individually if there be more than one named, its true and lawful attorney-in-fact to make, execute, seal, acknowledge and deliver, for and on its behalf as surety and as its act and deed, any and all undertakings, bonds, recognizances and other surety obligations in the penal sum not exceeding **ONE HUNDRED MILLION AND 00/100******* DOLLARS (\$ **100,000,000.00*******) each, and the execution of such undertakings, bonds, recognizances and other surety obligations, in pursuance of these presents, shall be as binding upon the Company as if they had been duly signed by the president and attested by the secretary of the Company in their own proper persons.

That this power is made and executed pursuant to and by authority of the following By-law and Authorization:

ARTICLE XIII - Execution of Contracts: Section 5. Surety Bonds and Undertakings.
Any officer of the Company authorized for that purpose in writing by the chairman or the president, and subject to such limitations as the chairman or the president may prescribe, shall appoint such attorneys-in-fact, as may be necessary to act in behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations. Such attorneys-in-fact, subject to the limitations set forth in their respective powers of attorney, shall have full power to bind the Company by their signature and execution of any such instruments and to attach thereto the seal of the Company. When so executed such instruments shall be as binding as if signed by the president and attested by the secretary.

By the following instrument the chairman or the president has authorized the officer or other official named therein to appoint attorneys-in-fact:

Pursuant to Article XIII, Section 5 of the By-Laws, Garnet W. Elliott, Assistant Secretary of Liberty Mutual Insurance Company, is hereby authorized to appoint such attorneys-in-fact as may be necessary to act in behalf of the Company to make, execute, seal, acknowledge and deliver as surety any and all undertakings, bonds, recognizances and other surety obligations.

That the By-law and the Authorization set forth above are true copies thereof and are now in full force and effect.

IN WITNESS WHEREOF, this Power of Attorney has been subscribed by an authorized officer or official of the Company and the corporate seal of Liberty Mutual Insurance Company has been affixed thereto in Plymouth Meeting, Pennsylvania this 19th day of October, 2004.

LIBERTY MUTUAL INSURANCE COMPANY

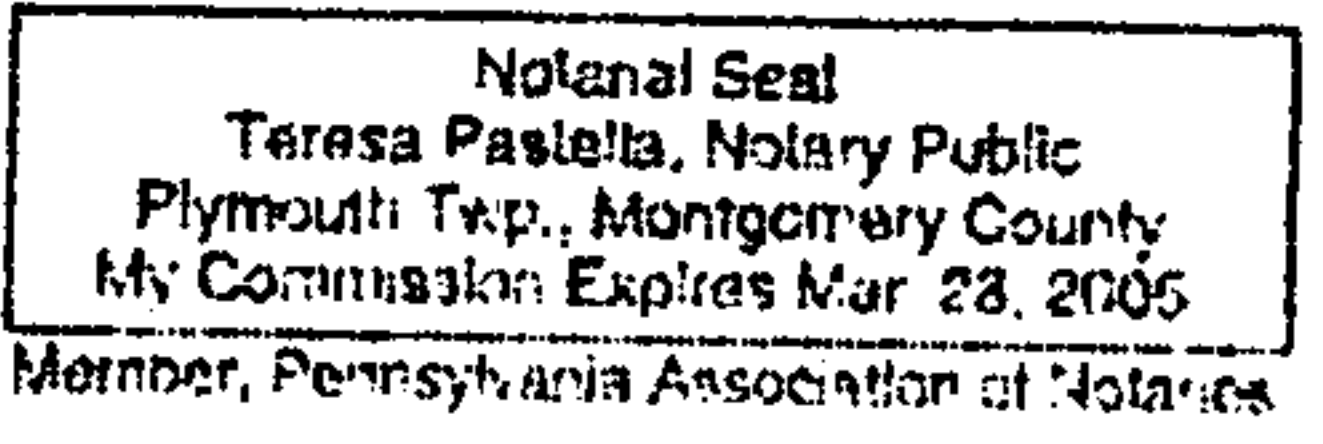
By Garnet W. Elliott
Garnet W. Elliott, Assistant Secretary



COMMONWEALTH OF PENNSYLVANIA ss
COUNTY OF MONTGOMERY

On this 19th day of October, 2004, before me, a Notary Public, personally came Garnet W. Elliott, to me known, and acknowledged that he is an Assistant Secretary of Liberty Mutual Insurance Company; that he knows the seal of said corporation; and that he executed the above Power of Attorney and affixed the corporate seal of Liberty Mutual Insurance Company thereto with the authority and at the direction of said corporation.

IN TESTIMONY WHEREOF, I have hereunto subscribed my name and affixed my notarial seal at Plymouth Meeting, Pennsylvania, on the day and year first above written.



By Teresa Pastella
Teresa Pastella, Notary Public

CERTIFICATE

I, the undersigned, Assistant Secretary of Liberty Mutual Insurance Company, do hereby certify that the original power of attorney of which the foregoing is a full, true and correct copy, is in full force and effect on the date of this certificate; and I do further certify that the officer or official who executed the said power of attorney is an Assistant Secretary specially authorized by the chairman or the president to appoint attorneys-in-fact as provided in Article XIII, Section 5 of the By-laws of Liberty Mutual Insurance Company.

This certificate and the above power of attorney may be signed by facsimile or mechanically reproduced signatures under and by authority of the following vote of the board of directors of Liberty Mutual Insurance Company at a meeting duly called and held on the 12th day of March, 1980.

VOTED that the facsimile or mechanically reproduced signature of any assistant secretary of the company, wherever appearing upon a certified copy of any power of attorney issued by the company in connection with surety bonds, shall be valid and binding upon the company with the same force and effect as though manually affixed.

IN TESTIMONY WHEREOF, I have hereunto subscribed my name and affixed the corporate seal of the said company, this 11 day of April, 2005.



By David M. Carey
David M. Carey, Assistant Secretary

Not valid for mortgage, note, loan, letter of credit, bank deposit, currency rate, interest rate or residual value guarantees.

To confirm the validity of this Power of Attorney call 1-610-832-8240 between 9:00 am and 4:30 pm EST on any business day.

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL/RETURN RECEIPT REQUESTED

October 26, 2006

Mr. Thomas Alfieri
8220 Ville Ct. NE
Albuquerque, New Mexico 87113

RE: Major Subdivision Extension of Subdivision Improvements Agreement
Tract A-1 (a plat of Tracts A-1 and A-2) Los Angeles Center

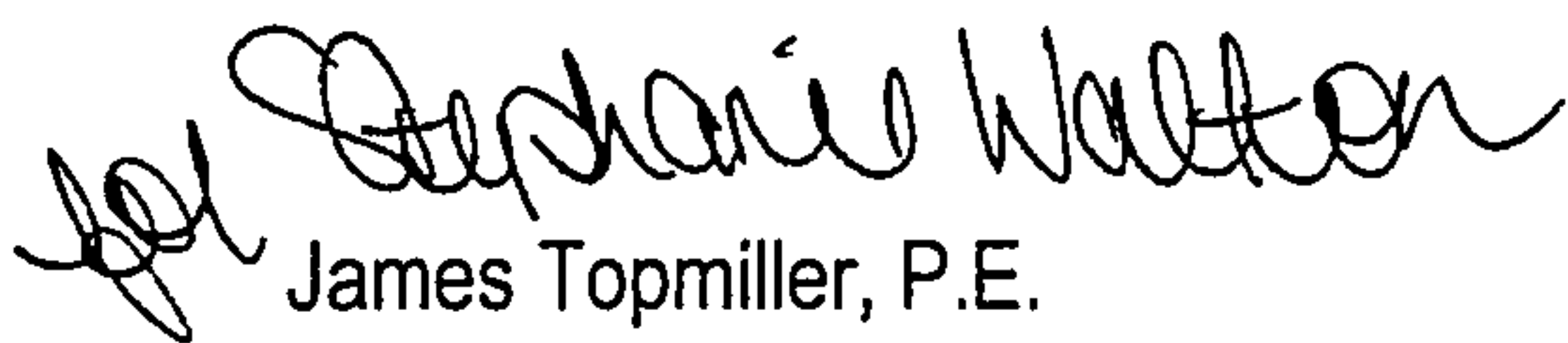
Dear Mr. Alfieri:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the West La Cueva Neighborhood Association.

This letter is to advise you that Bohannan Huston, Inc., agent for Lowe's Home Centers, Inc., is seeking approval of Major Subdivision Extension of Subdivision Improvements Agreement for Tract A-1 (a plat of Tracts A-1 and A-2) Los Angeles Center from the City of Albuquerque's Development Review Board (DRB).

Enclosed for your review and information is a copy of the zone atlas page with the site highlighted that was submitted to the DRB. Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



James Topmiller, P.E.
Senior Vice President
Community Development and Planning Group

SW
Enclosure

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335
www.bhinc.com
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facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL/RETURN RECEIPT REQUESTED

October 26, 2006

Ms. Stephanie O'Connell
8211 San Gavalon NE
Albuquerque, New Mexico 87113

RE: Major Subdivision Extension of Subdivision Improvements Agreement
Tract A-1 (a plat of Tracts A-1 and A-2) Los Angeles Center

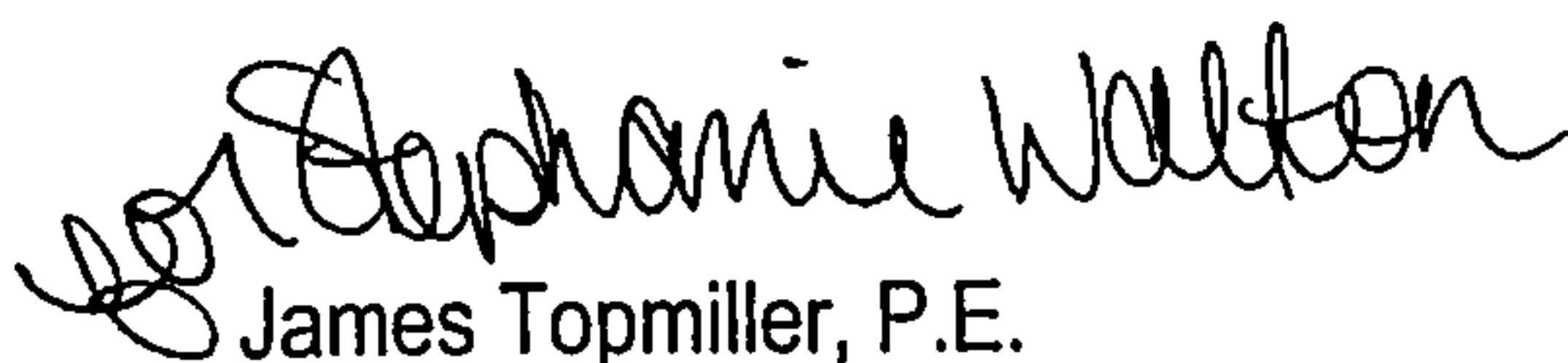
Dear Ms. Gavalon:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the West La Cueva Neighborhood Association.

This letter is to advise you that Bohannon Huston, Inc., agent for Lowe's Home Centers, Inc., is seeking approval of Major Subdivision Extension of Subdivision Improvements Agreement for Tract A-1 (a plat of Tracts A-1 and A-2) Los Angeles Center from the City of Albuquerque's Development Review Board (DRB).

Enclosed for your review and information is a copy of the zone atlas page with the site highlighted that was submitted to the DRB. Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



James Topmiller, P.E.
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toll free: 800.877.5332

CERTIFIED MAIL/RETURN RECEIPT REQUESTED

October 26, 2006

Mr. John Stutzman
6800 Jade Park NE
Albuquerque, New Mexico 87109

RE: Major Subdivision Extension of Subdivision Improvements Agreement
Tract A-1 (a plat of Tracts A-1 and A-2) Los Angeles Center

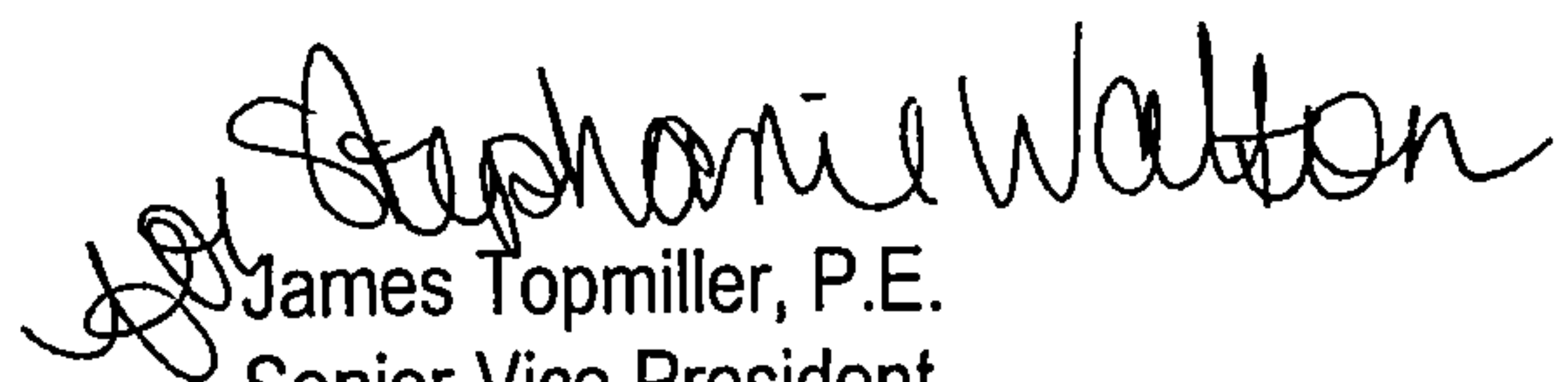
Dear Mr. Stutzman:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Jade Park Neighborhood Association.

This letter is to advise you that Bohannon Huston, Inc., agent for Lowe's Home Centers, Inc., is seeking approval of Major Subdivision Extension of Subdivision Improvements Agreement for Tract A-1 (a plat of Tracts A-1 and A-2) Los Angeles Center from the City of Albuquerque's Development Review Board (DRB).

Enclosed for your review and information is a copy of the zone atlas page with the site highlighted that was submitted to the DRB. Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,


James Topmiller, P.E.
Senior Vice President
Community Development and Planning Group

SW
Enclosure

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7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL/RETURN RECEIPT REQUESTED

October 26, 2006

Ms. Karen Casaus
6708 San Bernadino NE
Albuquerque, New Mexico 87109

RE: Major Subdivision Extension of Subdivision Improvements Agreement
Tract A-1 (a plat of Tracts A-1 and A-2) Los Angeles Center

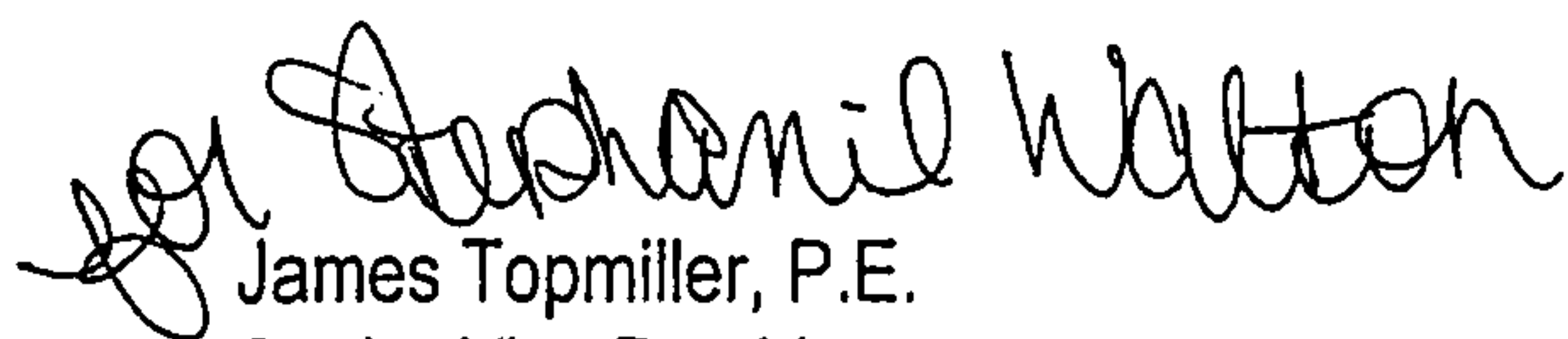
Dear Ms. Casaus:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Jade Park Neighborhood Association.

This letter is to advise you that Bohannon Huston, Inc., agent for Lowe's Home Centers, Inc., is seeking approval of Major Subdivision Extension of Subdivision Improvements Agreement for Tract A-1 (a plat of Tracts A-1 and A-2) Los Angeles Center from the City of Albuquerque's Development Review Board (DRB).

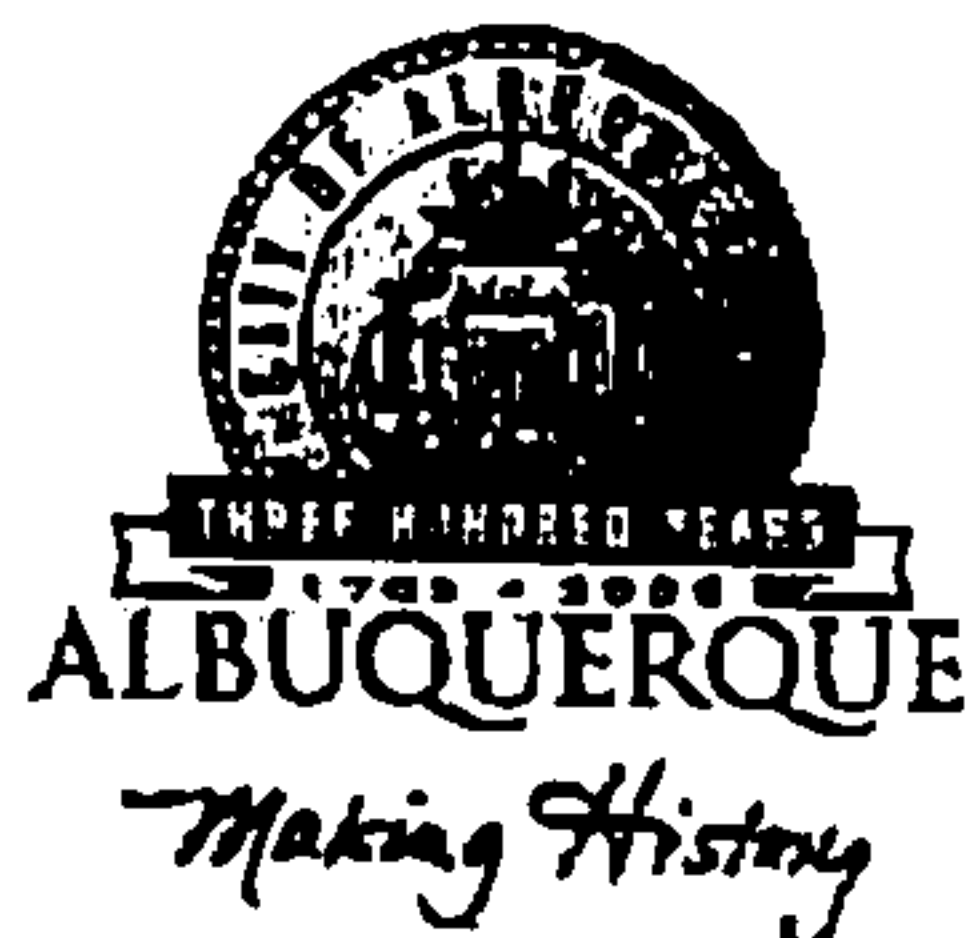
Enclosed for your review and information is a copy of the zone atlas page with the site highlighted that was submitted to the DRB. Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



James Topmiller, P.E.
Senior Vice President
Community Development and Planning Group

SW
Enclosure



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

Date: October 26, 06

TO CONTACT NAME: Stephanie Walton
 COMPANY/AGENCY: Bohannon / Houston
 ADDRESS/ZIP: 7500 Jefferson St. NE / 87109-4335
 PHONE/FAX #: 823-1000 - (798-7988) Fax

Thank you for your inquiry of 10-26-06 (date) requesting the names of **Recognized**

Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at Tract A-1 A Plat of Tracts A-1 and A-2, Los Angeles Center.
 zone map page(s) D-18

Our records indicate that the **Recognized Neighborhood Association(s)** affected by this proposal and the contact names are as follows:

Jade Park N.A.
 Neighborhood Association
 Contacts: Karen Casaus
6708 San Bernardino NE
87109-822-1493(h)
John Stutzman
6800 Jade Park NE / 87109
796-0593(h)

West La Cueva NA
 Neighborhood Association
 Contacts: Thomas Alfieri
8220 Ville Ct. NE / 87113
823-1564(h) - 828-5488(w)
Stephanie O'Connell
8211 San Gavalon NE / 87113
315-7233(h)

See reverse side for additional Neighborhood Association Information: YES { } NO {X}

Please note that according to O-92 you are required to notify each of these contact persons by **CERTIFIED MAIL, RETURN RECEIPT REQUESTED, BEFORE** the Planning Department will accept your application filing. **IMPORTANT! FAILURE OF ADEQUATE NOTIFICATION MAY RESULT IN YOUR APPLICATION HEARING BEING DEFERRED FOR 30 DAYS.** If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

OFFICE OF NEIGHBORHOOD COORDINATION

.....
 Attention: Both contacts per neighborhood association need to be notified.

NOTICE TO APPLICANTS

Suggested Information for Neighborhood Notification Letters... Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, LUCC, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT.** Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

We recommend that the Notification Letter include the following information:

- > The street address of the subject property.
- > The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
- > A physical description of the location, referenced to streets and existing land uses.
- > A complete description of the actions requested of the EPC:
- > If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
- > If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendments describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
- > If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
- > The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination (ONC)

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- [] ONC's "Official" Letter to the applicant and "Attachment A" (if there are associations). A copy must be submitted with application packet -OR-
- [] The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- [] Copies of Letters to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.
- [] Copies of the certified receipts to Neighborhood Associations (if there are associations). A copy must be submitted with application packet.

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

(Below this line for ONC use only)

Date of Inquiry: 10-26-06 Time Entered: 9:51 am ONC Rep. Initials: [Signature]

N, INC
NE
87109



91 7108 2133 3932 6627 5125



02 1P \$04.88
0002368945 OCT 26 2006
MAILED FROM ZIP CODE 87109

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:
 Stephanie O'Connell
 8211 San Geronimo NE
 Albuquerque, NM 87113

2. Article Number
 (Transfer from service label)

COMPLETE THIS SECTION ON DELIVERY

A. Signature
 X Agent
 Addressee

B. Received by (Printed Name) C. Date of Delivery

D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

3. Service Type
 Certified Mail Express Mail
 Registered Return Receipt for Merchandise
 Insured Mail C.O.D.

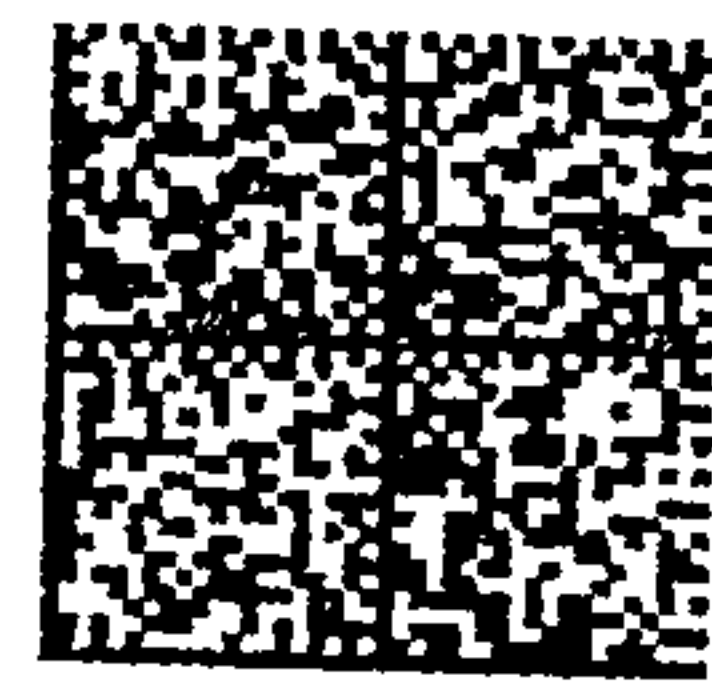
4. Restricted Delivery? (Extra Fee) Yes

91 7108 2133 3932 6627 5125

N, INC
NE
87109



91 7108 2133 3932 6627 5118



UNITED STATES POSTAGE
02 1P
0002368945 OCT 26 2006
MAILED FROM ZIP CODE 87109
\$04.88⁰⁰
PITNEY BOWES

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:
 JOHN STUTZMAN
 6800 JADE PARK NE
 ALBUQUERQUE, NM 87109

2. Article Number
 (Transfer from service label)

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent
 Addressee

B. Received by (Printed Name) C. Date of Delivery

D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

3. Service Type
 Certified Mail Express Mail
 Registered Return Receipt for Merchandise
 Insured Mail C.O.D.

4. Restricted Delivery? (Extra Fee) Yes

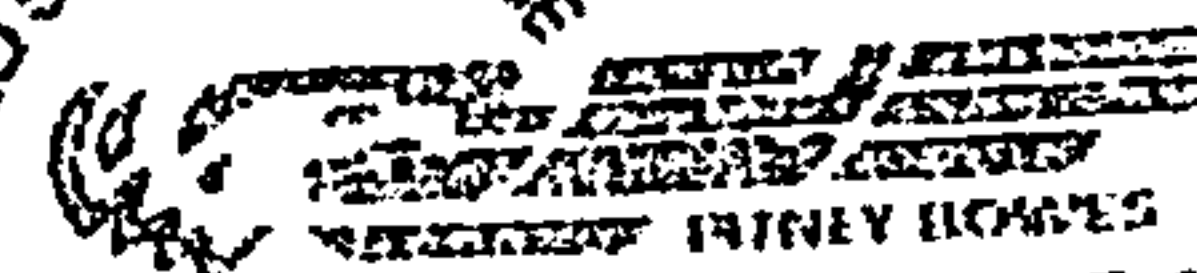
91 7108 2133 3932 6627 5118

ON, INC.
N. NE
M 87109



91 7108 2133 3932 6627 5101

UNITED STATES POSTAGE



02 1P

\$ 04.88⁰⁰

0002368945 OCT 26 2006
MAILED FROM ZIP CODE 87109

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
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- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Karen Casaus
6708 San Bernadino NE
Albuquerque, NM 87109

2. Article Number

(Transfer from service label)

91 7108 2133 3932 6627 5101

PS Form 3811, February 2004

Domestic Return Receipt

102595-02-M-1540

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X

Agent

Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

3. Service Type

Certified Mail

Express Mail

Registered

Return Receipt for Merchandise

Insured Mail

C.O.D.

4. Restricted Delivery? (Extra Fee)

Yes

ON, INC
NE
87109



91 7108 2133 3932 6627 5095



UNITED STATES POSTAGE
02 1P \$04.88⁰
0002368945 OCT 26 2006
MAILED FROM ZIP CODE 87109

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Thomas Alfieri
8220 Vike Ct. NE
Albuquerque, NM 87113

2. Article Number
(Transfer from service label)

91 7108 2133 3932 6627 5095

PS Form 3811, February 2004

Domestic Return Receipt

102595-02-M-1540

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X

Agent

Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? Yes

If YES, enter delivery address below: No

3. Service Type

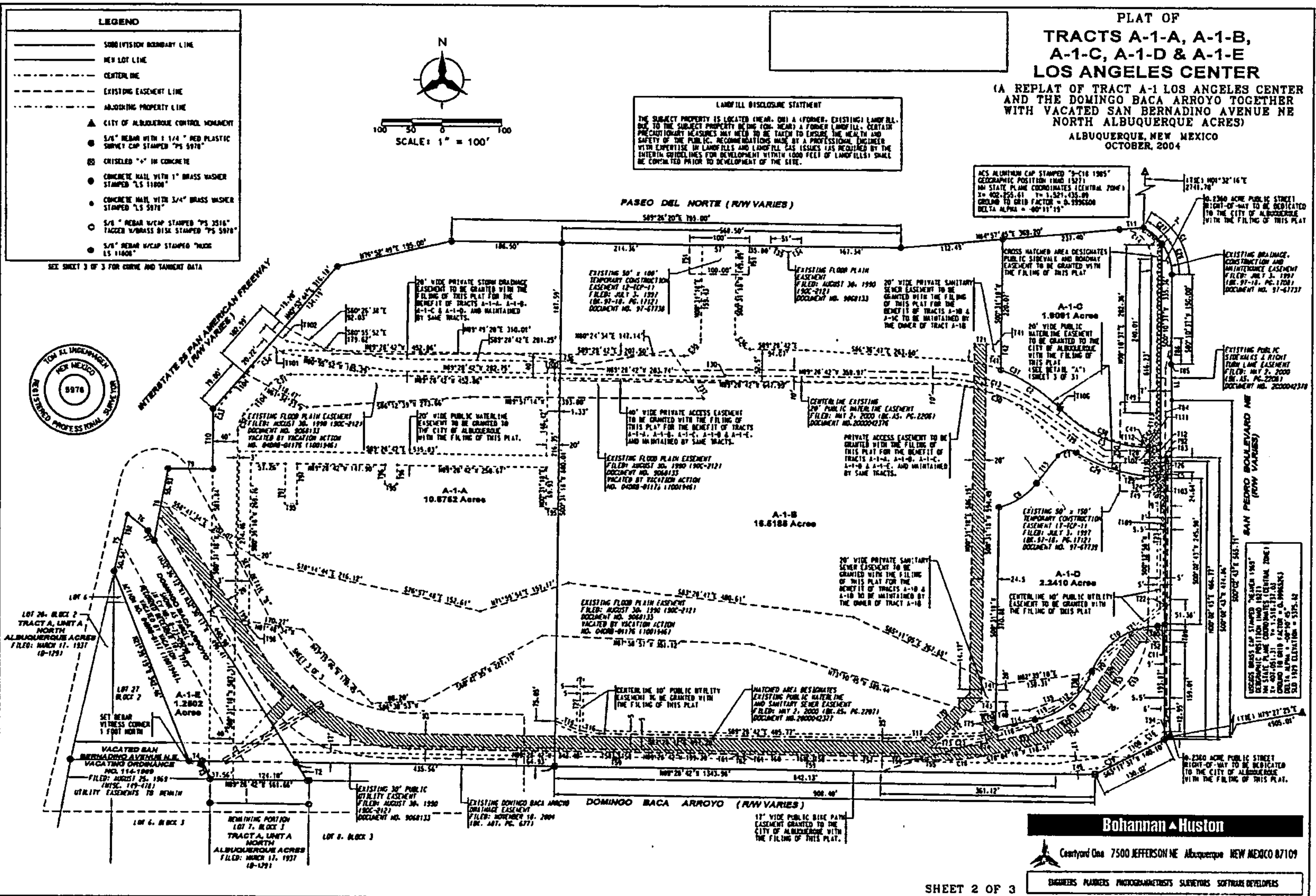
Certified Mail Express Mail

Registered Return Receipt for Merchandise

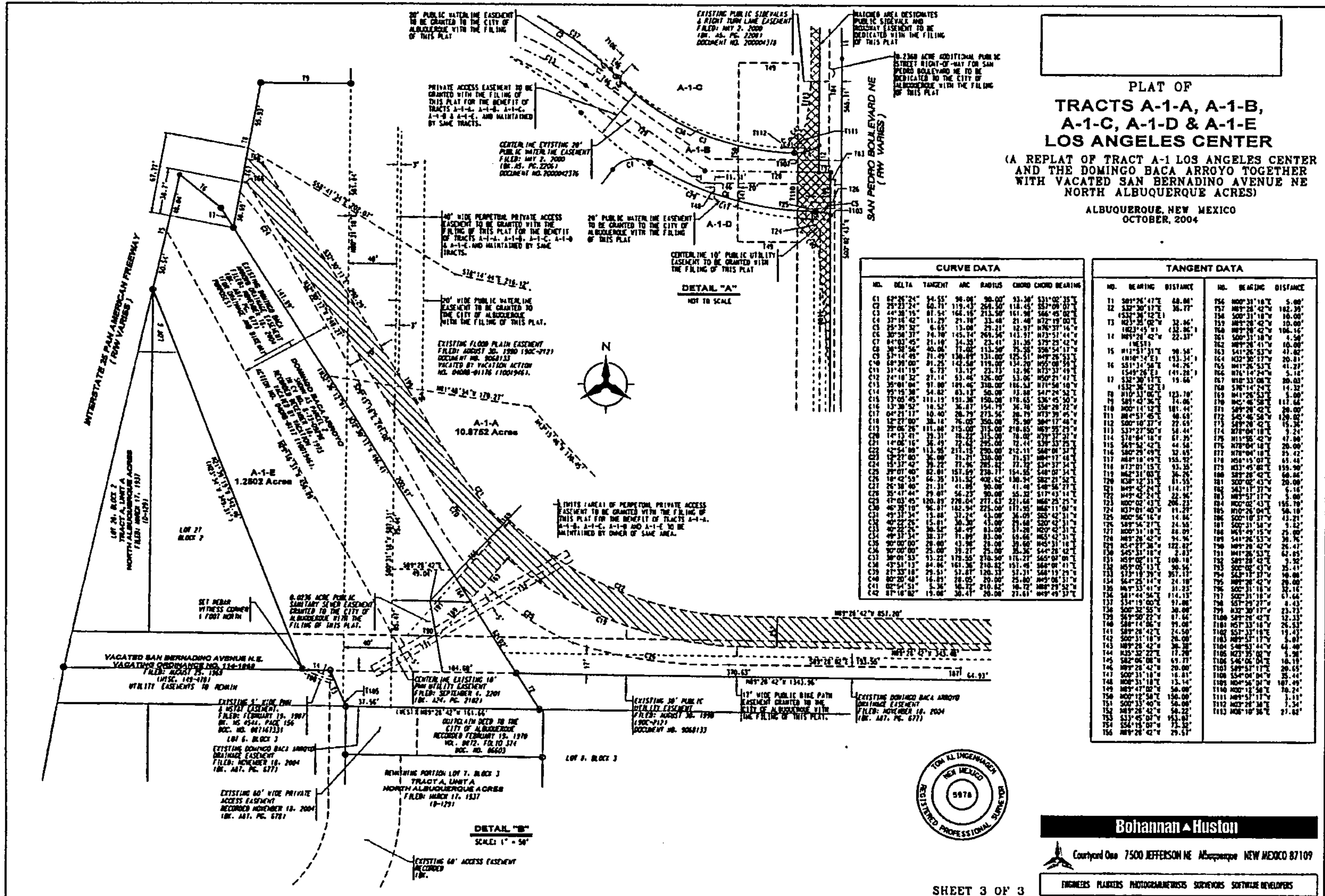
Insured Mail C.O.D.

4. Restricted Delivery? (Extra Fee)

Yes



2987



PLAT OF
TRACTS A-1-A, A-1-B,
A-1-C, A-1-D & A-1-E
LOS ANGELES CENTER

(A REPLAT OF TRACT A-1 LOS ANGELES CENTER
AND THE DOMINGO BACA ARROYO TOGETHER
WITH VACATED SAN BERNADINO AVENUE NE
ALBUQUERQUE ACRES)

ALBUQUERQUE, NEW MEXICO
OCTOBER, 2004

NO.	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BEARING
C1	83°26'24"	54.55'	98.00'	93.50'	531°02'35"	
C2	25°23'24"	60.71'	119.43'	264.50'	114°05'23"	
C3	44°28'15"	81.54'	164.10'	211.50'	161°06'46"	
C4	37°18'42"	117.29'	234.58'	321.40'	172°09'00"	
C5	25°23'24"	60.71'	119.43'	264.50'	114°05'23"	
C6	30°58'37"	74.70'	149.40'	298.80'	123°57'44"	
C7	84°03'05"	21.10'	42.20'	53.25'	379°23'42"	
C8	69°38'00"	31.25'	62.50'	78.75'	379°23'42"	
C9	57°14'08"	37.25'	74.50'	94.25'	379°23'42"	
C10	37°14'15"	47.29'	94.58'	121.40'	379°23'42"	
C11	13°38'52"	111.11'	222.22'	444.44'	336°45'50"	
C12	13°38'52"	111.11'	222.22'	444.44'	336°45'50"	
C13	04°21'37"	100.00'	200.00'	400.00'	327°39'45"	
C14	18°27'30"	38.18'	76.36'	95.48'	344°17'48"	
C15	39°06'54"	111.00'	222.00'	444.00'	329°09'24"	
C16	14°13'11"	39.31'	78.62'	98.28'	337°33'24"	
C17	14°08'10"	38.49'	76.98'	96.23'	337°33'24"	
C18	42°22'25"	113.20'	226.40'	452.80'	342°03'37"	
C19	15°37'42"	39.72'	79.44'	99.16'	337°33'24"	
C20	39°01'40"	82.01'	164.02'	205.03'	342°03'37"	
C21	18°02'15"	66.36'	132.72'	166.40'	342°03'37"	
C22	26°38'00"	51.31'	102.62'	128.27'	342°03'37"	
C23	35°47'44"	29.81'	59.62'	74.53'	342°03'37"	
C24	47°03'05"	120.00'	240.00'	480.00'	342°03'37"	
C25	45°21'34"	118.50'	237.00'	474.00'	342°03'37"	
C26	40°22'25"	113.20'	226.40'	452.80'	342°03'37"	
C27	49°31'34"	86.36'	172.72'	216.40'	342°03'37"	
C28	49°31'34"	86.36'	172.72'	216.40'	342°03'37"	
C29	30°50'00"	28.00'	56.00'	70.00'	342°03'37"	
C30	30°50'00"	28.00'	56.00'	70.00'	342°03'37"	
C31	30°50'00"	28.00'	56.00'	70.00'	342°03'37"	
C32	30°50'00"	28.00'	56.00'	70.00'	342°03'37"	
C33	30°50'00"	28.00'	56.00'	70.00'	342°03'37"	
C34	45°11'13"	64.84'	129.68'	162.10'	342°03'37"	
C35	27°53'18"	29.51'	59.02'	73.77'	342°03'37"	
C36	02°22'51"	14.61'	29.22'	36.53'	342°03'37"	
C37	02°22'51"	14.61'	29.22'	36.53'	342°03'37"	
C38	02°22'51"	14.61'	29.22'	36.53'	342°03'37"	
C39	02°22'51"	14.61'	29.22'	36.53'	342°03'37"	
C40	02°22'51"	14.61'	29.22'	36.53'	342°03'37"	
C41	02°22'51"	14.61'	29.22'	36.53'	342°03'37"	
C42	02°22'51"	14.61'	29.22'	36.53'	342°03'37"	

NO.	BEARING	DISTANCE	NO.	BEARING	DISTANCE
T1	S89°31'47"E	68.04'	T56	N00°31'18"W	5.00'
T2	S32°30'12"E	36.77'	T57	N93°35'42"W	182.39'
T3	S33°38'12"E	31.86'	T58	S00°31'18"W	10.00'
T4	N23°25'02"W	31.86'	T59	N03°28'42"W	10.00'
T5	N03°28'42"W	22.33'	T60	N03°28'42"W	104.25'
T6	N03°28'42"W	22.33'	T61	S00°31'18"W	5.00'
T7	N03°28'42"W	22.33'	T62	N03°28'42"W	10.00'
T8	N03°28'42"W	22.33'	T63	S41°20'53"W	47.00'
T9	N11°31'31"E	98.54'	T64	N23°30'12"E	20.81'
T10	N18°14'51"E	131.54'	T65	N41°26'53"E	41.21'
T11	S51°14'58"W	44.26'	T66	N16°14'24"W	5.16'
T12	S49°26'13"E	41.26'	T67	N10°33'08"E	30.00'
T13	S32°30'12"E	19.64'	T68	S18°14'24"E	14.32'
T14	N11°31'31"E	98.54'	T69	N41°26'53"E	5.00'
T15	N03°28'42"W	74.00'	T70	N42°46'58"E	131.64'
T16	N03°28'42"W	74.00'	T71	N42°46'58"E	131.64'
T17	N03°28'42"W	74.00'	T72	N42°46'58"E	131.64'
T18	N03°28'42"W	74.00'	T73	N42°46'58"E	131.64'
T19	N03°28'42"W	74.00'	T74	N42°46'58"E	131.64'
T20	N03°28'42"W	74.00'	T75	N42°46'58"E	131.64'
T21	N03°28'42"W	74.00'	T76	N42°46'58"E	131.64'
T22	N03°28'42"W	74.00'	T77	N42°46'58"E	131.64'
T23	N03°28'42"W	74.00'	T78	N42°46'58"E	131.64'
T24	N03°28'42"W	74.00'	T79	N42°46'58"E	131.64'
T25	N03°28'42"W	74.00'	T80	N42°46'58"E	131.64'
T26	N03°28'42"W	74.00'	T81	N42°46'58"E	131.64'
T27	N03°28'42"W	74.00'	T82	N42°46'58"E	131.64'
T28	N03°28'42"W	74.00'	T83	N42°46'58"E	131.64'
T29	N03°28'42"W	74.00'	T84	N42°46'58"E	131.64'
T30	N03°28'42"W	74.00'	T85	N42°46'58"E	131.64'
T31	N03°28'42"W	74.00'	T86	N42°46'58"E	131.64'
T32	N03°28'42"W	74.00'	T87	N42°46'58"E	131.64'
T33	N03°28'42"W	74.00'	T88	N42°46'58"E	131.64'
T34	N03°28'42"W	74.00'	T89	N42°46'58"E	131.64'
T35	N03°28'42"W	74.00'	T90	N42°46'58"E	131.64'
T36	N03°28'42"W	74.00'	T91	N42°46'58"E	131.64'
T37	N03°28'42"W	74.00'	T92	N42°46'58"E	131.64'
T38	N03°28'42"W	74.00'	T93	N42°46'58"E	131.64'
T39	N03°28'42"W	74.00'	T94	N42°46'58"E	131.64'
T40	N03°28'42"W	74.00'	T95	N42°46'58"E	131.64'
T41	N03°28'42"W	74.00'	T96	N42°46'58"E	131.64'
T42	N03°28'42"W	74.00'	T97	N42°46'58"E	131.64'
T43	N03°28'42"W	74.00'	T98	N42°46'58"E	131.64'
T44	N03°28'42"W	74.00'	T99	N42°46'58"E	131.64'
T45	N03°28'42"W	74.00'	T100	N42°46'58"E	131.64'
T46	N03°28'42"W	74.00'	T101	N42°46'58"E	131.64'
T47	N03°28'42"W	74.00'	T102	N42°46'58"E	131.64'
T48	N03°28'42"W	74.00'	T103	N42°46'58"E	131.64'
T49	N03°28'42"W	74.00'	T104	N42°46'58"E	131.64'
T50	N03°28'42"W	74.00'	T105	N42°46'58"E	131.64'
T51	N03°28'42"W	74.00'	T106	N42°46'58"E	131.64'
T52	N03°28'42"W	74.00'	T107	N42°46'58"E	131.64'
T53	N03°28'42"W	74.00'	T108	N42°46'58"E	131.64'
T54	N03°28'42"W	74.00'	T109	N42°46'58"E	131.64'
T55	N03°28'42"W	74.00'	T110	N42°46'58"E	131.64'
T56	N03°28'42"W	74.00'	T111	N42°46'58"E	131.64'



Bohannon & Huston
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

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 JOB NO. 030263 001

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME LOWE'S HOME CENTERS INC
 AGENT BO HANMAN HUSTON INC
 ADDRESS 7500 JEFFERSON NE
 PROJECT & APP # 100194(9)/06DRB 01557
 PROJECT NAME LOS ANGELES CENTER

City of Albuquerque
Treasury Division

10/26/2006 2:45PM LOC: ANNX
 RECEIPT# 00068687 WSH 006 TRANSH 0034
 Account 441015 Fund 0110
 Activity 4971000 TRSCCS
 Trans Amt \$145.00
 J24 Misc \$75.00
 V7 \$145.00
 CHANGE \$75.00

Thank You

\$ 20.00 441032/3424000 Conflict Management Fee
 \$ 50.00 441006/4983000 DRB Actions
 \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
 \$ 75.00 441018/4971000 Public Notification
 \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
 \$ 145.00 TOTAL AMOUNT DUE

*****NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

10/26/2006 2:44PM LOC: ANNX
 RECEIPT# 00068686 WSH 006 TRANSH 0034
 Account 441006 Fund 0110
 Activity 4983000 TRSCCS
 Trans Amt \$145.00
 J24 Misc \$50.00

DUPLICATE
 City Of Albuquerque
 Treasury Division

DUPLICATE
 City Of Albuquerque
 Treasury Division

10/26/2006 2:44PM LOC: ANNX
 RECEIPT# 00068685 WSH 006 TRANSH 0034
 Account 441032 Fund 0110
 Activity 3424000 TRSCCS
 Trans Amt \$145.00
 J24 Misc \$20.00

Thank You

Thank You

Counterreceipt.doc

6/21/04

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from NOVEMBER 2, 2006 To NOVEMBER 22, 2006

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Stephanie Walton
(Applicant or Agent)

10-26-06
(Date)

I issued 2 signs for this application, 10/26/06 *Sandy Handley* 10/26/06
(Date) (Staff Member)

DRB PROJECT NUMBER: 1001946

Current DRC

Project Number: _____

FIGURE 12

Claire

Date Submitted: Feb 14, 2006

Date Site Plan Approved: ~~02-22-06~~ 02-22-06

Date Preliminary Plat Approved: 02-22-06

Date Preliminary Plat Expires: 02-22-07

DRB Project No.: 1001948

DRB Application No.: 06 DRB-00223

06 DRB-00221

ORIGINAL

#5

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Replat of Hise Lands

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Hise Lands

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the Infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
		<i>10'</i> 5' Wide	Asphalt Bike Trail (approx. 500 LF)	Between Tract A-1 and Tract B-1	Exist. Trail behind Target	I-25 Frontage Rd	/	/	/
			Permanent Access Permit from NMDOT	South Edge Tract B-1 at Frontage Road			/	/	/
		<i>36'</i> 36' Wide	Reconstruction of Access Road	Tract B-1	I-25 Frontage Rd	Target Site	/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/
							/	/	/

Original

The Items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The Items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

Approval of Creditable Items:
 Impact Fee Administrator Signature Date

Approval of Creditable Items:
 City User Dept. Signature Date

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
 Street lights per City requirements.

- 1 NMIDST DRIVEWAY PERMIT REQ'D PRIOR TO RELEASE OF FINANCIAL GUARANTEE
- 2 _____
- 3 _____

AGENT / OWNER DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

Jeffrey T. Wooten, P.E.
 NAME (print)

[Signature] 2/22/06 *[Signature]* 2/22/06
 DRB CHAIR - date PARKS & RECREATION - date

Bohannon Huston
 FIRM

[Signature]
 SIGNATURE - date 2/14/06

[Signature] 2-22-06
 TRANSPORTATION DEVELOPMENT - date

[Signature] 2/22/06
 UTILITY DEVELOPMENT - date

[Signature] 2/22/06
 CITY ENGINEER - date

AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental form

<p>SUBDIVISION</p> <p><input checked="" type="checkbox"/> Major Subdivision action</p> <p><input checked="" type="checkbox"/> Minor Subdivision action</p> <p><input type="checkbox"/> Vacation</p> <p><input type="checkbox"/> Variance (Non-Zoning)</p> <p>SITE DEVELOPMENT PLAN</p> <p><input type="checkbox"/> for Subdivision Purposes</p> <p><input checked="" type="checkbox"/> for Building Permit</p> <p><input type="checkbox"/> IP Master Development Plan</p> <p><input type="checkbox"/> Cert. of Appropriateness (LUCC)</p> <p>STORM DRAINAGE</p> <p><input type="checkbox"/> Storm Drainage Cost Allocation Plan</p>	<p>S Z ZONING & PLANNING</p> <p><input type="checkbox"/> Annexation</p> <p><input type="checkbox"/> County Submittal</p> <p><input type="checkbox"/> EPC Submittal</p> <p><input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)</p> <p><input type="checkbox"/> Sector Plan (Phase I, II, III)</p> <p><input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan</p> <p><input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs)</p> <p><input type="checkbox"/> Street Name Change (Local & Collector)</p> <p>L A APPEAL / PROTEST of...</p> <p><input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals</p>
--	--

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: NewMore, LLC. PHONE: 828-1212

ADDRESS: 9969 Desert Mountain Rd NE FAX: _____

CITY: Albany STATE NM ZIP 87122 E-MAIL: _____

Proprietary interest in site: owner List all owners: _____

AGENT (if any): BHI PHONE: 823-1000

ADDRESS: 7500 Jefferson NE FAX: 798-7988

CITY: Alb. STATE NM ZIP 87109 E-MAIL: _____

DESCRIPTION OF REQUEST: Pre-final plat / site plan for building permit

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACTS A-1 & B-1 Block: _____ Unit: _____

Subdiv. / Addn. HSE lands

Current Zoning: M-1 Proposed zoning: _____

Zone Atlas page(s): D-18 No. of existing lots: 4 No. of proposed lots: 2

Total area of site (acres): 5.598 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____

Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? NO

UPC No. 101806309540920623 MRGCD Map No. _____

LOCATION OF PROPERTY BY STREETS: On or Near: Desert Del Norte NE

Between: San Pedro NE and I-25 NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): _____

DRB # 1001946 / 06 DRB - 000 83

Check-off if project was previously reviewed by Sketch Plat/Plan? or Pre-application Review Team? Date of review: _____

SIGNATURE: Stephanie Walten DATE: 2-14-06

(Print) Jeff Walten _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

<p><input type="checkbox"/> INTERNAL ROUTING</p> <p><input checked="" type="checkbox"/> All checklists are complete</p> <p><input checked="" type="checkbox"/> All fees have been collected</p> <p><input checked="" type="checkbox"/> All case #s are assigned</p> <p><input type="checkbox"/> AGIS copy has been sent</p> <p><input checked="" type="checkbox"/> Case history #s are listed</p> <p><input checked="" type="checkbox"/> Site is within 1000ft of a landfill</p> <p><input checked="" type="checkbox"/> F.H.D.P. density bonus</p> <p><input checked="" type="checkbox"/> F.H.D.P. fee rebate</p>	<p>Application case numbers</p> <p><u>06DRB - 00221</u></p> <p><u>06DRB - 00223</u></p> <p>_____</p> <p>_____</p> <p>_____</p> <p>Hearing date <u>2/22/06</u></p>	<p>Action</p> <p><u>PIF</u></p> <p><u>SBP</u></p> <p><u>CMB</u></p> <p>_____</p> <p>_____</p> <p>_____</p>	<p>S.F.</p> <p><u>363</u></p> <p><u>163</u></p> <p>_____</p> <p>_____</p> <p>_____</p>	<p>Fees</p> <p><u>\$ 285.00</u></p> <p><u>\$ 385.00</u></p> <p><u>\$ 40.50</u></p> <p>_____</p> <p>_____</p> <p>Total</p> <p><u>\$ 710.50</u></p>
---	---	--	--	---

via SIS 2/14/06

Project # 1001946

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Jeff Wooten

Applicant name (print)

Stephanie Walton 2-14-06

Applicant signature / date



Form revised JUNE 2005

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers

old DRB - - 00223

Kir Sis 2/14/06

Planner signature / date

Project # 1001946

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

SKETCH PLAT REVIEW AND COMMENT

YOUR ATTENDANCE IS REQUIRED.

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
Letter briefly describing, explaining, and justifying the request
Any original and/or related file numbers are listed on the cover application

MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT

Your attendance is required.

- Preliminary Plat reduced to 8.5" x 11"
Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
Letter briefly describing, explaining, and justifying the request
Copy of previous D.R.B. approved infrastructure list
Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
Any original and/or related file numbers are listed on the cover application

Extensions are not reviewed through internal routing.

Extension of preliminary plat approval expires after one year.

MAJOR SUBDIVISION FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
Design elevations & cross sections of perimeter walls 3 copies
Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
Property owner's and City Surveyor's signatures on the Mylar drawing
Copy of recorded SIA
Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
Any original and/or related file numbers are listed on the cover application

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL

Your attendance is required.

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
Letter briefly describing, explaining, and justifying the request
Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
Property owner's and City Surveyor's signatures on the Mylar drawing
Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
Fee (see schedule)
Any original and/or related file numbers are listed on the cover application

Infrastructure list if required (verify with DRB Engineer) NO INTERNAL ROUTING

DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.

AMENDMENT TO PRELIMINARY PLAT (with minor changes)

Your attendance is required.

AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)

AMENDMENT TO GRADING PLAN (with minor changes)

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
Letter briefly describing, explaining, and justifying the request
Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Jeff Wooten

Applicant name (print) 2-14-2006
Applicant signature / date



Form revised 8/04, 1/05 & 10/05

- Checklists complete
Fees collected
Case #s assigned
Related #s listed

Table with 2 columns: Application case numbers, and handwritten entries: 06DRB - 00221

Planner signature / date

Project # 1001944

February 14, 2006

Ms. Sheran Matson, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103Re: Site Plan for Building Permit Application – Hise Lands, Tract B-1, Approximately 4.3 acres
Preliminary / final plat approval - DRB# 1001946

Dear Sheran:

Enclosed for approval of a Site Development Plan for Building Permit for the referenced project are copies of the following information:

- Completed Application to the Development Review Board
- Completed Checklist
- Submittal Fee in the amount of \$480.00
- Six (6) copies of the Site Plan for Building Permit
- Six (6) Copies of the Approved Site Plan for Subdivision (Administrative Amendment Recently Submitted)
- Zone Atlas showing location of subject property

This site is currently undeveloped and is located near the southeast corner of Paseo Del Norte and Pan American Freeway just south of the new Target Store. We recently submitted a request for Administrative Amendment to the Site Plan for Subdivision, which will more accurately reflect the consolidated boundary lines of the Hise Lands tracts. We are also submitting concurrently with this application, an application for replat of this development.

The project consists of a single story retail building with 46,000+/- square feet. This site plan represents the development of an Ashley Furniture Store, which will be a showroom only. Customer pick-ups will be made at various warehouses located off-site. Although there are minimal deliveries to the store, there is a truck dock and loading area located at the rear of the building.

The current zoning of the property requires DRB approval of a Site Development Plan for Building Permit prior to issuance a building permit. Accordingly, with this submittal we are requesting approval of the proposed Site Development Plan for Building Permit, which reflects the proposed site conditions. This Site Development Plan has been prepared in accordance with City Ordinances. The site plan has been submitted to both Lowe's and Target for review and they have no comments that I am aware of.

Ms. Sheran Matson, Chair
City of Albuquerque
February 14, 2006
Page 2

Please place this item on the next available agenda. If you have any questions or require further information, please contact me.

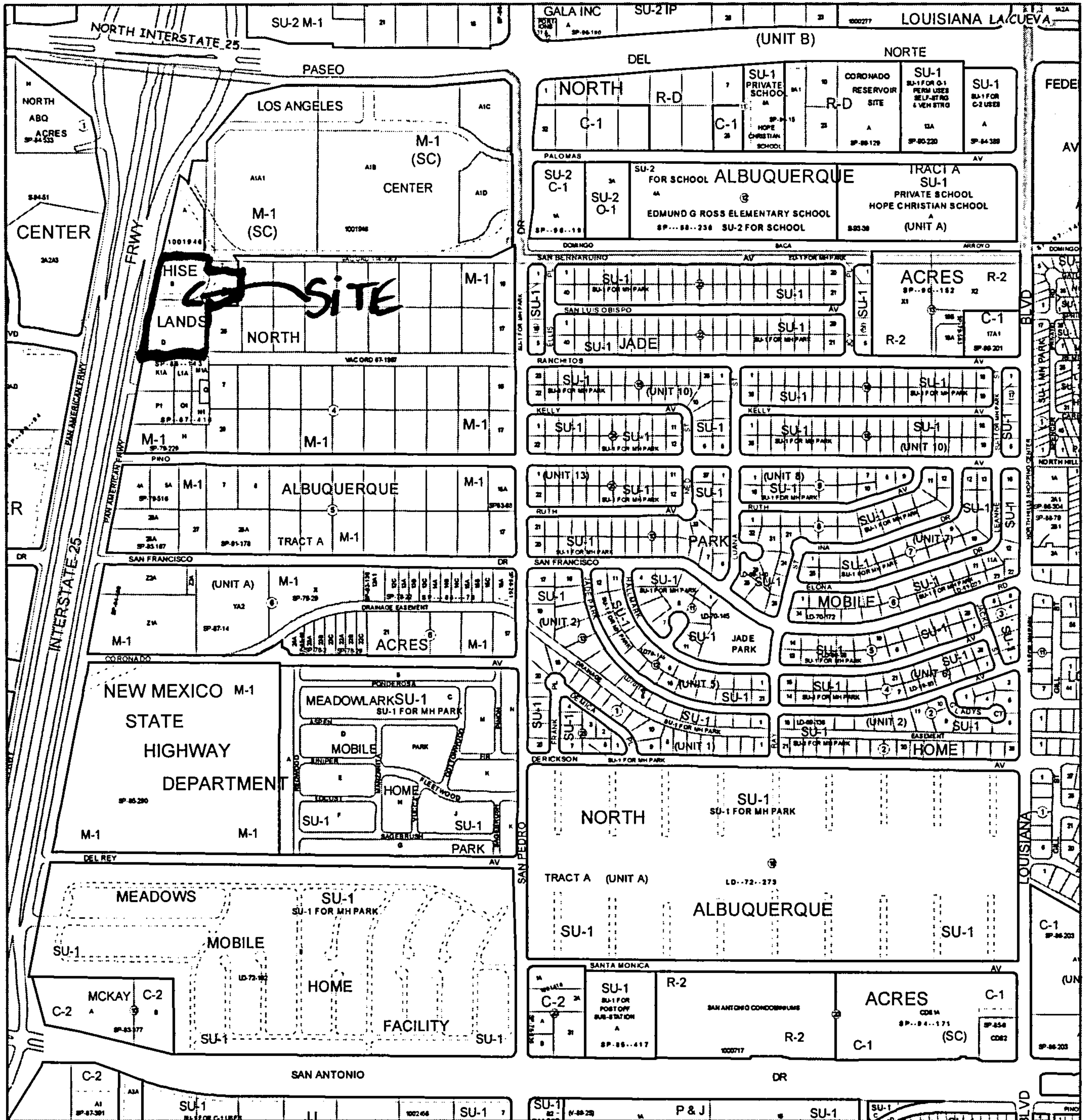
Sincerely,

A handwritten signature in black ink, appearing to read 'Jeff', with a long horizontal flourish extending to the right.


Jeffrey T. Wooten, P.E.
Project Manager
Community Development and Planning Group

JTW/cc
Enclosures

cc Bruce Stidworthy, BHI

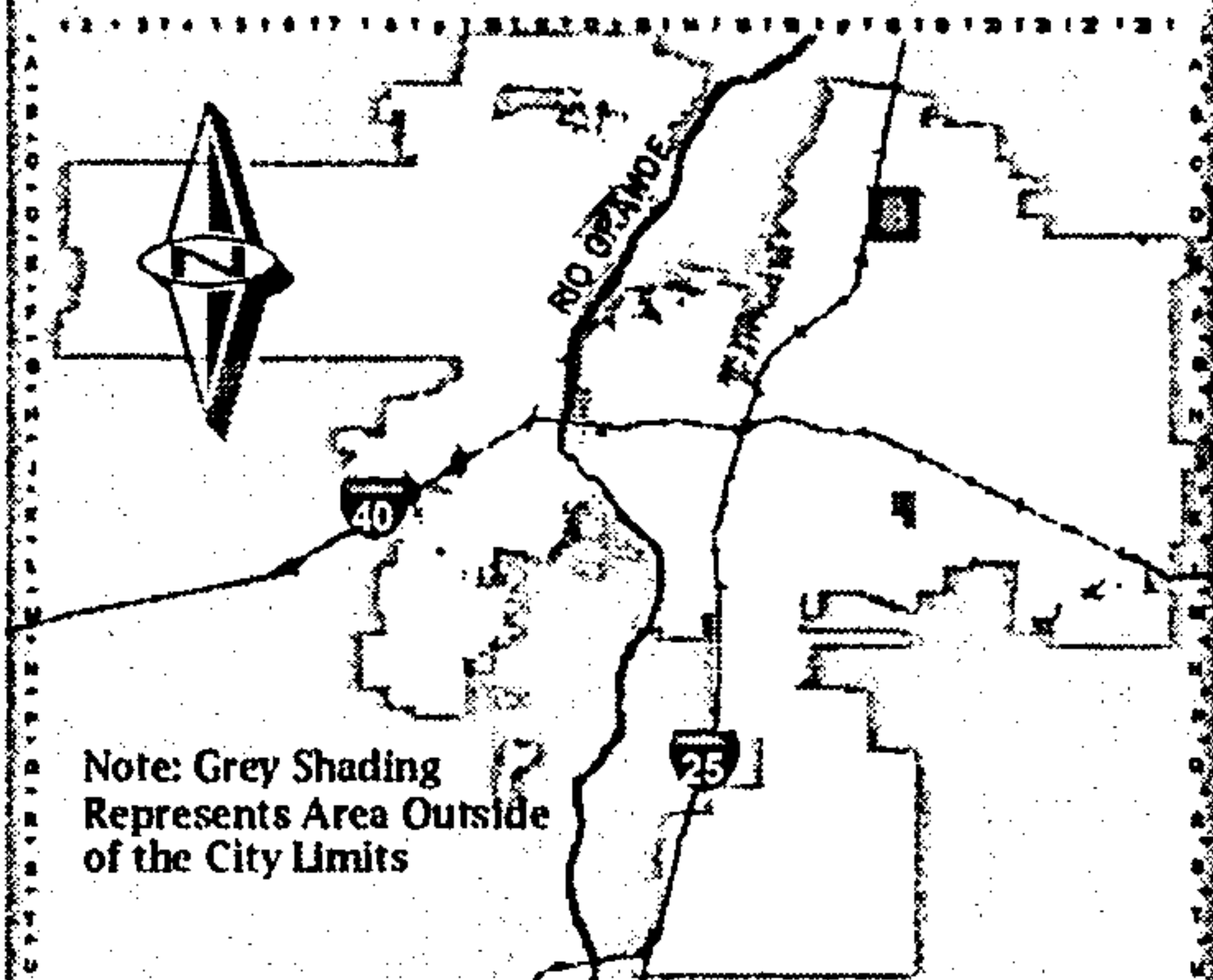


For more current information and more details visit: <http://www.cabq.gov/gis>



City of Albuquerque
AGIS
Albuquerque Geographic Information System

Map amended through: 1/12/2006



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
D-18-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone

0 750 1,500 Feet

HAMILTON-HISE PROPERTIES, LLC
THE SHOPS @ 25, LLC

February 3, 2006

Sheran Matson, DRB Chair
Development Review Board
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Dear Ms. Matson:

I, Jane Pilger, am an authorized officer and the Controller of Newmore, LLC, which is the Managing Member of The Shops @ 25, LLC, the owner of Tract A, and Hamilton-Hise Properties, LLC, the owner of Tracts B, C and D, as designated in the plat described as follows:

Tracts A, B, C & D, Hise Lands, as shown on the plat thereof recorded September 22, 2005, in Book 2005C, Page 310, records of Bernalillo County, New Mexico (the "Property")


I am authorized to act in all respects on behalf of The Shops @ 25, LLC and Hamilton-Hise Properties, LLC concerning all governmental requirements and actions with respect to the Property. The purpose of this letter is to authorize Bohannan Huston Inc. to act as the agent for The Shops @ 25, LLC and Hamilton-Hise Properties, LLC with respect to any and all submittals for the development of the Property.

If you have any questions or concerns regarding this letter, please do not hesitate to contact me at 880-7067. Thank you for your courtesy in this matter.

Thank you,

NEWMORE, LLC,
a New Mexico corporation, as Managing Member
of Hamilton-Hise Properties, LLC and
The Shops @ 25, LLC

By:


Jane Pilger, Authorized Officer



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: March 18, 2005

OFFICIAL NOTIFICATION OF DECISION

FILE: Project # 1001946*
05EPC-00176 EPC Site Development Plan
Subdivision

Lowe's Inc.
P.O. Box 1111
North Wilkesboro, NC 28656

LEGAL DESCRIPTION: for Lot A (Los Angeles Center); Remainder 26, 27, 28 & 6, Block 2; Lot 5, 6, 7, 27 & 28, Block 3, NAA Tr. A, Unit A, zoned M-1, located on PASEO DEL NORTE NE, between INTERSTATE 25 and SAN PEDRO DR., containing approximately 37.7 acres. (D-18) Makita Hill, Staff Planner

On March 17, 2005 the Environmental Planning Commission voted to approve Project 1001946/ 05EPC-00176, a site development plan for subdivision for Lot A (Los Angeles Center); Remainder 26, 27, 28 & 6, Block 2; Lot 5, 6, 7, 27 & 28, Block 3, NAA Tr. A Unit A, located on Paseo del Norte between Interstate 25 and San Pedro Drive, zoned M-1/Shopping Center, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of a site development plan for subdivision for Lot A (Los Angeles Center); Remainder 26, 27, 28 & 6, Block 2; Lot 5, 6, 7, 27 & 28, Block 3, NAA Tr. A Unit A, located on Paseo del Norte between Interstate 25 and San Pedro Drive. The subject site contains approximately 38 acres. The acreage of the proposed site plan area gives the area a "Shopping Center" designation to the M-1 zoning (Section 14-16-1-5, Definitions, City Zoning Code), and is therefore subject to site plan review by the EPC (Section 14-16-3-2, Shopping Center Regulations City Zoning Code).
2. The purpose of the request is to facilitate a process of unified development of the area with regard to land subdivision, landscaping, signage, and lighting. The site plan proposes to create four new lots and to modify an existing lot.
3. In August 2004, a Final Plat was approved by the Development Review Board (DRB) that created four lots from Tract A-1, (A-1-A, A-1-B, A-1-C, A-1-D, A-1-E) and a road easement connecting Tract A-1-A to the Interstate 25 Frontage Road (DRB 1001946 04DRB-01965). The submitted site plan for subdivision is consistent in configuration with the DRB-approved Final Plat.

OFFICIAL NOTICE OF DECISION
MARCH 17, 2005
PROJECT #1001946
PAGE 2 OF 4

4. In August 2004, a site development plan for building permit was approved by the EPC for Tract A-1-A for a Target store (1001946 04EPC-01032). This lot is proposed to be modified and designated as Tract A-1-A-1 under this site plan for subdivision.
5. The request is consistent with the Established Urban Area policies of the Comprehensive Plan. The subject site is surrounded on all sides by nonresidential zoning and development, however there is an existing single-family residential area off of San Pedro Drive south of San Bernadino Street. Traffic mitigation measures recommended by the Traffic Impact Analysis (TIA) for the subject site will insure that the request will have a minimal impact on nearby residential areas (Policy d, e, i). The request proposes commercial development on vacant land near existing City services (Policy e) on a site with an existing commercial retail use (Policy j). The request also meets the intent of the Centers and Corridors development form policies regarding sidewalk width, building setback, and parking location.
6. A Declaratory Ruling made in September 1987 establishes that Shopping Center regulations cannot restrict the size and number of signs that are allowed under the signs regulations of the underlying zone for a given site. The Ruling establishes that, while the EPC is authorized to grant sign standards based on the underlying zone, the EPC may also choose to enforce the Shopping Center sign regulations. The Ruling also establishes that this is not the subject of a variance process. A copy of this ruling is included in this report. The M-1 zone is the underlying zone for this site, and the M-1 zone utilizes C-2 zone standards for signage. The proposed 250 square-foot signs are in conformance with C-2 on-premise sign regulations for an Established Urban Area site (Section 14-16-2-17-A(9)). City Legal staff views the Ruling as a valid tool for administration of this process.
7. Modifications are needed to bring the site plan into full compliance with Zoning Code design standards.
8. The Jade Park Neighborhood Association was contacted regarding this request. The association did not have any concerns about the proposed site plan, and did not seek a facilitated meeting. There is no known opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan for subdivision to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

OFFICIAL NOTICE OF DECISION
MARCH 17, 2005
PROJECT #1001946
PAGE 3 OF 5

2. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, PUBLIC WORKS, WATER AUTHORITY and NMDOT:
- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - b. A Traffic Impact Study is required (has been submitted).
 - c. Completion of the required TIS mitigation measures (including NMDOT requirements), per Transportation Development Staff, must be completed if assumed to be in place for the current TIS for this site (i.e. street improvements recommended in the Traffic Impact Study (TIS) including the roadway connection between the development and the Interstate-25 frontage road).
 - d. Construction (including right-of-way if necessary) of a bicycle trail on the South Domingo Baca Arroyo alignment along the southern boundary of the site, between San Pedro and I-25 frontage road, as designated on the Long Range Bikeways System.
 - e. Site plan shall comply and be designed per DPM Standards.
 - f. Platting must be a concurrent DRB action.
3. The applicant shall further elaborate on architectural design criteria in the site plan by providing specific descriptions of colors, materials, and other elements, to demonstrate the coordination of elements that is referenced, and also include a statement of compliance with Section 14-16-3-18, General Building and Site Design Regulations for Non- Residential Uses, City Zoning Code on the site plan.
4. The applicant shall amend the Pedestrian Pathways and Plazas section of the site plan to include a statement of compliance with Section 14-16-3-1(G), Pedestrian Connections, and Section 14-16-3-18, General Building and Site Design Regulations for Non- Residential Uses, in the City Zoning Code. The applicant shall delete stated numeric standards on the site plan for pedestrian walkways (minimum 6 feet in width for perimeter walkways) and plaza areas (minimum 400 square feet with a minimum width of 15 feet) as these standards may not be applicable in all instances.
5. The applicant shall delete statements regarding City of Albuquerque Dark Skies requirements, as the City currently does not have such requirements. The applicant shall also include a statement of compliance with Section 14-16-3-9, Area Lighting Regulations, City Zoning Code, on the site plan, and reference compliance with the State Statute on Dark Skies lighting requirements.

OFFICIAL NOTICE OF DECISION
MARCH 17, 2005
PROJECT #1001946
PAGE 4 OF 5

6. The applicant shall amend the landscape plan to include a statement of compliance with Section 14-16-3-10, Landscape Regulations, City Zoning Code. Consistent with this section, the applicant shall change the landscape buffer width for the South Domingo Baca Arroyo at the rear of Tracts A-1-A-1 and A-1-B from 5 feet to 6 feet, and establish a 20-foot landscape buffer along the north edge of Tracts A-1-A-1 and A-1-B, and along the east edge of Tracts A-1-C and A-1-D adjacent to San Pedro Drive. The applicant shall also include a statement of compliance with the City's Water and Wastewater Ordinance on the site plan (Section 6-1-1-1).
7. All previous conditions of approval by the EPC for the Target store site (Project 1001946 04EPC-01032), designated as Tract A-1-A-1 under this site plan, shall be fulfilled as a component of full development of the subject site.
8. The EPC delegates approval authority of future site development plans for building permit for lots under 5 acres in this site development plan for subdivision to the DRB.
9. In the meantime and until further notice, the developers of this site are required to follow the most current version of the "City of Albuquerque Interim Guidelines for Development within City Designated Landfill Buffer Zones." A review and approval of the Site Plan(s), the proposed construction, design drawings, and a certification of construction will be required by the Environmental Health Department, Environmental Services Division, Groundwater and Landfill Section.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY APRIL 1, 2005 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

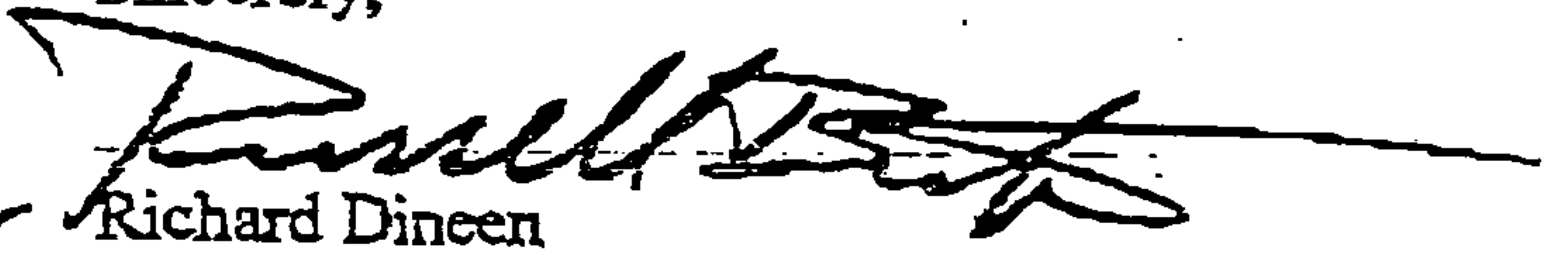
Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION
MARCH 17, 2005
PROJECT #1001946
PAGE 5 OF 5

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

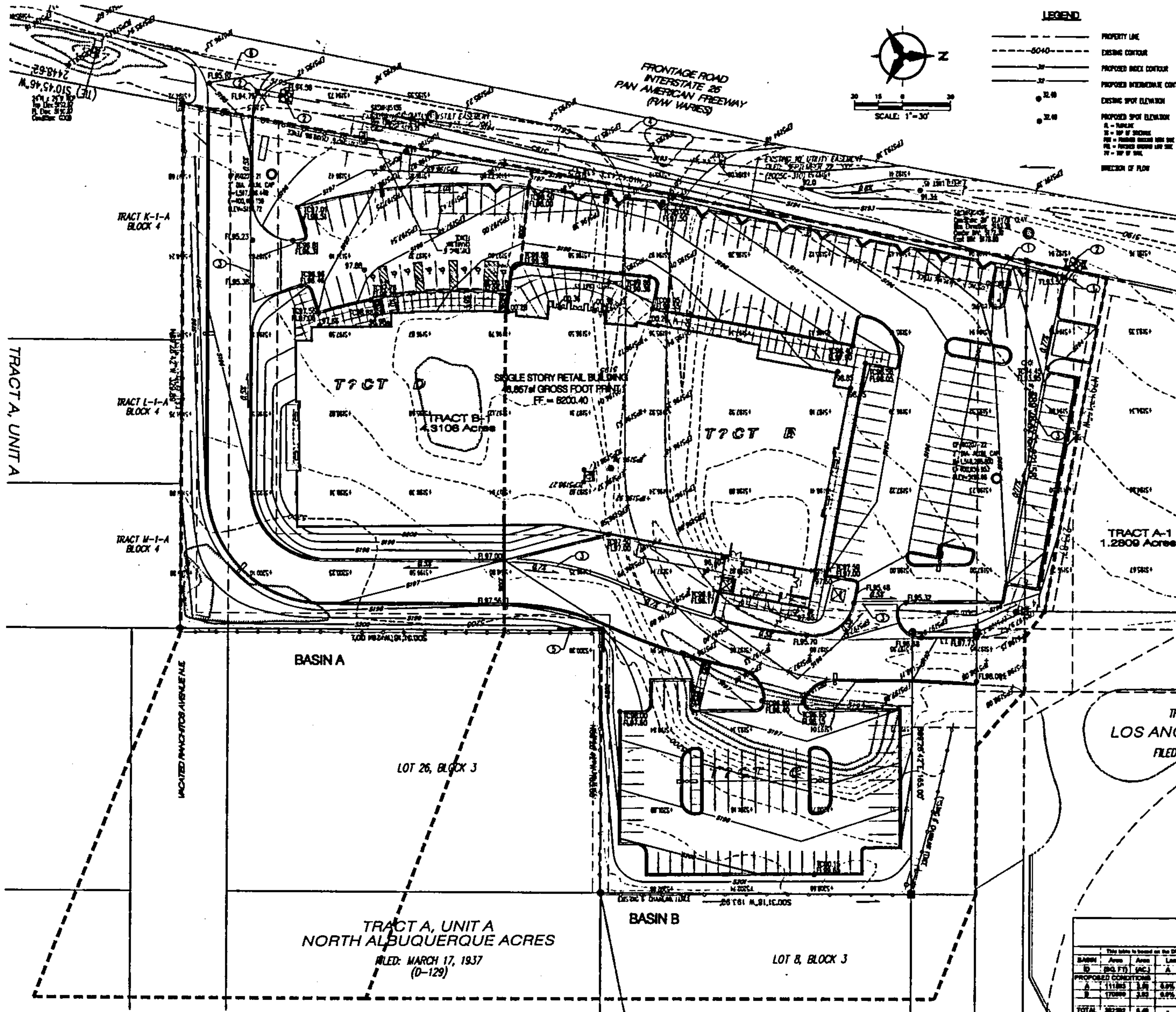
Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


For Richard Dineen
Planning Director

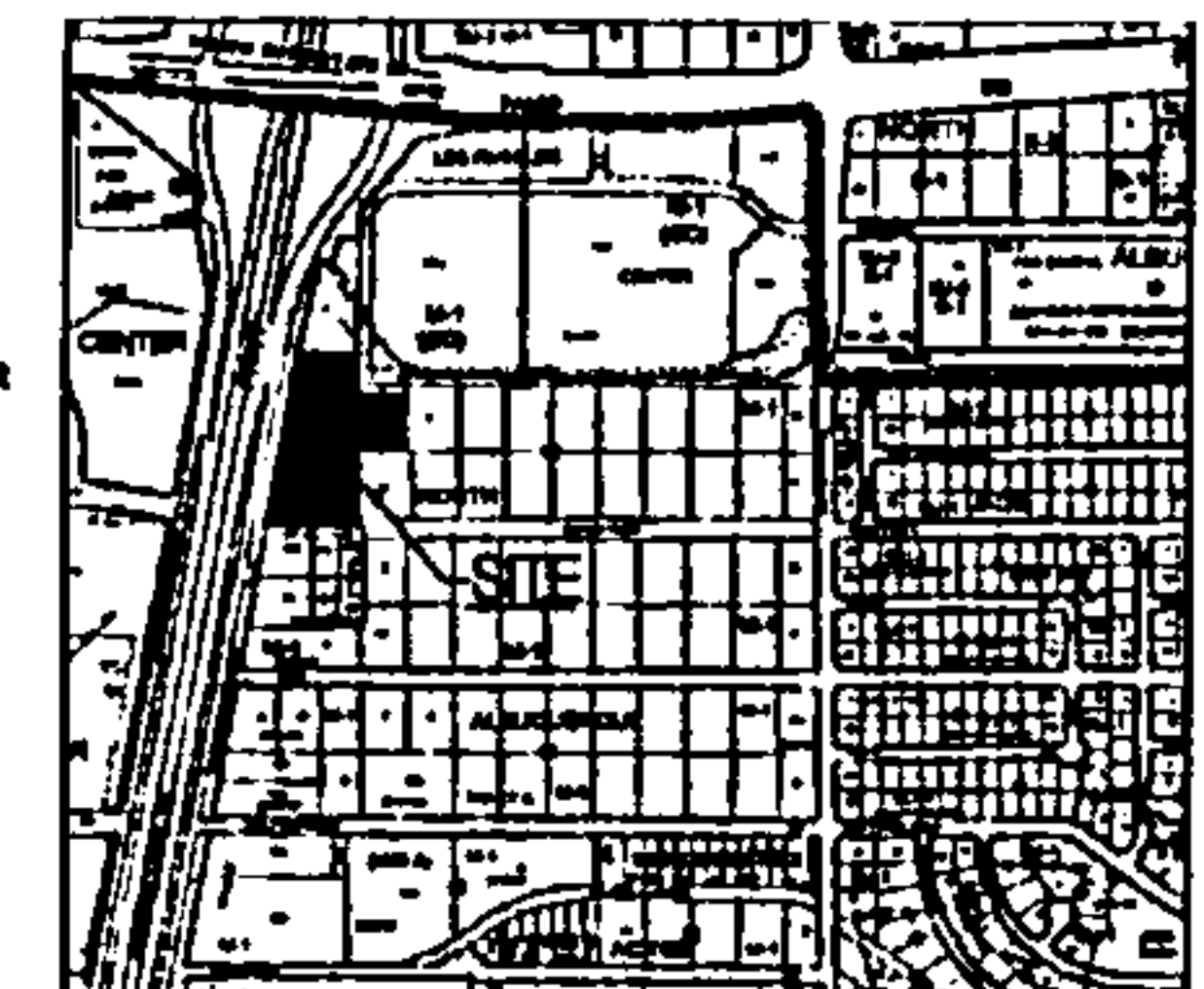
RD/MH/ac

cc: Denish + Kline Associates, Inc., P.O. Box 2001, Albuquerque, NM 87103
Karen Casaus, Jade Park NA, 6708 San Bernardino NE, Albuquerque, NM 87109
John Strutzman, Jade Park NA, 6800 Jade Park NE, Albuquerque, NM 87109
Joe Yardumian, 7801 RC Gorman NE, Albuquerque, NM 87122



LEGEND

- PROPERTY LINE
- - - EXISTING CONTOUR
- - - PROPOSED INDEX CONTOUR
- - - PROPOSED INTERMEDIATE CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- - - - TYPICAL
- - - - 10' OF SLOPE
- - - - 5% SLOPE
- - - - 2% SLOPE
- - - - 1% SLOPE
- - - - 0% SLOPE
- - - - DIRECTION OF FLOW



LEGAL DESCRIPTION
TRACT B-1 OF THE LINDS ALBUQUERQUE, NM

- KEYED NOTES**
1. 2" CONCRETE ROUNDOFF
 2. RP RAP BLANKET (7.1 SY)
 3. VALLEY CUTTER
 4. SAWCUT EXISTING PAVEMENT
 5. 3/2 RETAINING WALL. SEE SHEET C1.1 FOR DETAIL
 6. DRIVEWAY/DECELERATION LANE BY SEPARATE CONTRACT. MDOT APPROVAL REQUIRED

INTRODUCTION

The purpose of this report is to provide a Grading and Drainage Management Plan for the development of an Ashley Furniture Store near the southeast corner of Placitas Avenue and Paseo del Norte in Albuquerque, New Mexico. The site is currently zoned as Single-Family Residential (SFR) and is located within a 4.3-acre tract. The site is bounded to the north by Placitas Avenue, to the east by Paseo del Norte, to the south by the existing drainage easement, and to the west by the existing drainage easement. The project is shown on the site plan.

PURPOSE

The purpose of this report is to provide a Grading and Drainage Management Plan for the development of an Ashley Furniture Store near the southeast corner of Placitas Avenue and Paseo del Norte in Albuquerque, New Mexico. The site is currently zoned as Single-Family Residential (SFR) and is located within a 4.3-acre tract. The site is bounded to the north by Placitas Avenue, to the east by Paseo del Norte, to the south by the existing drainage easement, and to the west by the existing drainage easement. The project is shown on the site plan.

METHODS AND REFERENCES

The report was prepared in accordance with the City of Albuquerque Development Planning Manual (DPM) and the City of Albuquerque Engineering Manual (EM). The report also references the City of Albuquerque Engineering Manual (EM) and the City of Albuquerque Development Planning Manual (DPM).

EXISTING CONDITIONS

The site is bounded to the north by Placitas Avenue and to the east by Paseo del Norte. The site is currently zoned as Single-Family Residential (SFR) and is located within a 4.3-acre tract. The site is bounded to the north by Placitas Avenue, to the east by Paseo del Norte, to the south by the existing drainage easement, and to the west by the existing drainage easement. The project is shown on the site plan.

PROPOSED CONDITIONS

The proposed development consists of a 10,657 square foot retail structure with associated parking and drainage. The proposed site plan shows the building, parking, and drainage. The site is bounded to the north by Placitas Avenue, to the east by Paseo del Norte, to the south by the existing drainage easement, and to the west by the existing drainage easement. The project is shown on the site plan.

CONCLUSIONS

The site is suitable for the proposed development. The proposed site plan shows the building, parking, and drainage. The site is bounded to the north by Placitas Avenue, to the east by Paseo del Norte, to the south by the existing drainage easement, and to the west by the existing drainage easement. The project is shown on the site plan.

Ashley Furniture Store
Proposed Conditions Sheet Data Table

BASIN	Area (SQ. FT.)	Area (AC.)	Land Treatment Percentages				C(100)	C(50)	WT E	V(100)	V(50)
			A	B	C	D					
PROPOSED CONDITIONS											
A	11,185	0.20	0.0%	0.0%	0.0%	0.0%	0.74	12.18	2.10	2097	230.70
B	10,657	0.19	0.0%	0.0%	0.0%	0.0%	0.74	12.18	2.10	2097	230.70
TOTAL	21,842	0.39					0.74	24.36	4.20	4194	461.40

Botanman & Huston
 7800 Jefferson St. NE Albuquerque, NM 87109-0306
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

ARCHITECTS, INC.

 3628 BEE CAYES ROAD
 BUILDING A, SUITE 106
 ALBUQUERQUE, TEXAS 78748
 512/267-8888 FAX: 512/267-8226

TEXAS REGISTRATION NO. 11436
 INTERIM REVIEW DOCUMENTS
 THESE DOCUMENTS ARE FOR REVIEW PURPOSES ONLY AND NOT INTENDED FOR BIDDING, PERMIT, OR CONSTRUCTION PURPOSES

ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE THE PROPERTY OF DAVID BESSENT ARCHITECTS, INC. NONE OF THE IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF DAVID BESSENT ARCHITECTS, INC.

ASHLEY FURNITURE ALBUQUERQUE



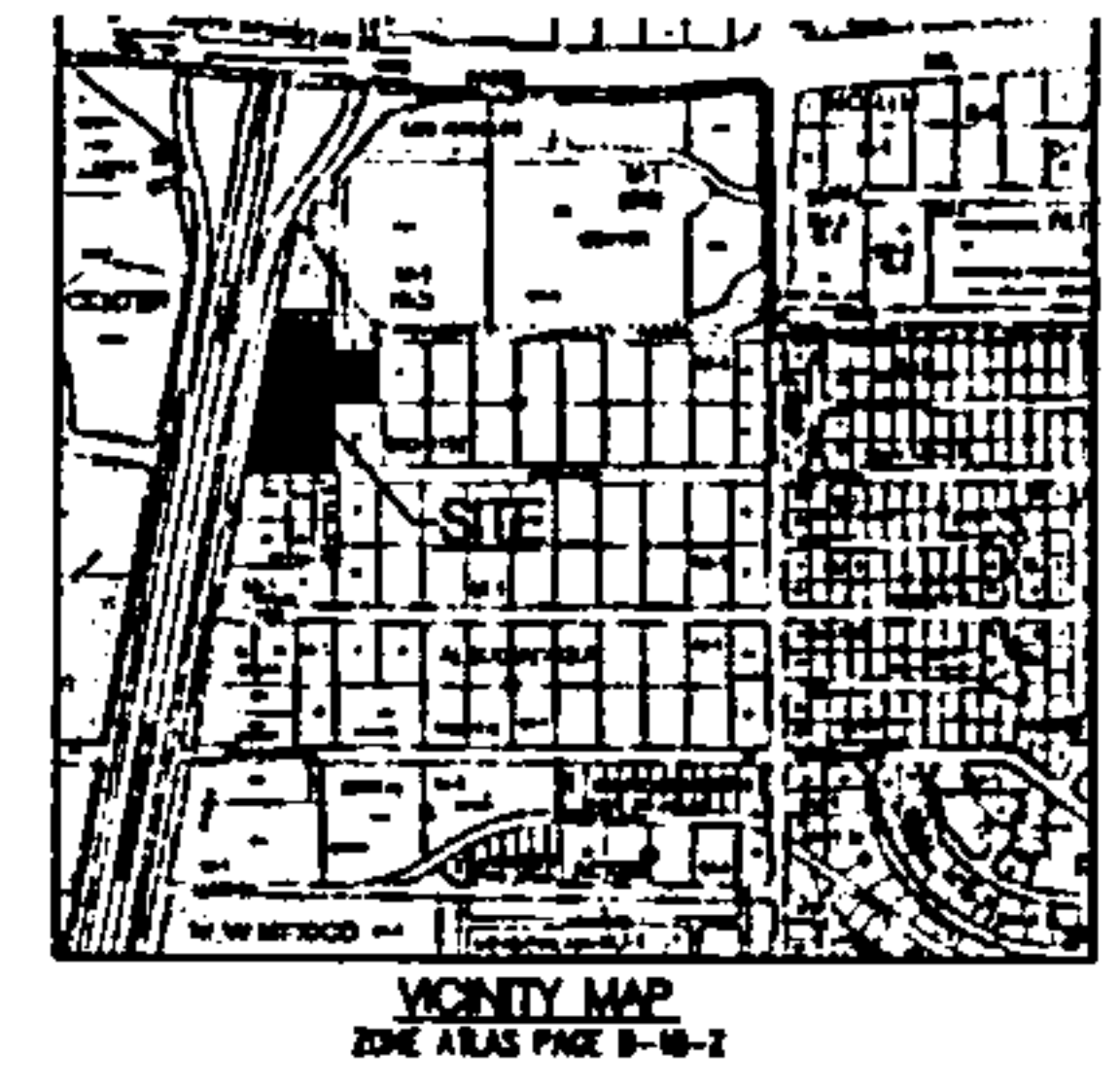
DATE ISSUED: _____
 REVISIONS: _____
 DRAFTED: _____ REVIEWED: _____
 PROJECT NUMBER: _____

DRAWING NAME: _____
GRADING PLAN

SHEET NUMBER: _____
SHEET C2.0

P:\02277\job\layout\02277\p02.dwg Layout
 February 14, 2008 - 8:15am Plotted by JBC/ETH

PROJECT DATA	
Zoning (Existing)	= M-1
Site Area	= 4.31 ac.
Building Area (Total Leasable)	= 48,857 sf
Site Coverage	= 26.02%
Parking Required	
1:200 Flat 18,000 sf	= 75
1:200 Sloped 30,857 sf	= 124
Total Required	= 199
Handicap Accessible Stalls Required	= 8
Parking Provided	
Regular Stalls (8.5'x20')	= 172
Compact Stalls (7.5'x15')	= 29
Handicap Accessible Stalls (8.5'x20')	= 8
Total Provided	= 209
Excess Parking Provided	= 10 (1/20 automobile spaces)
Bicycle Parking Provided	= 14



ARCHITECTS, INC.

db

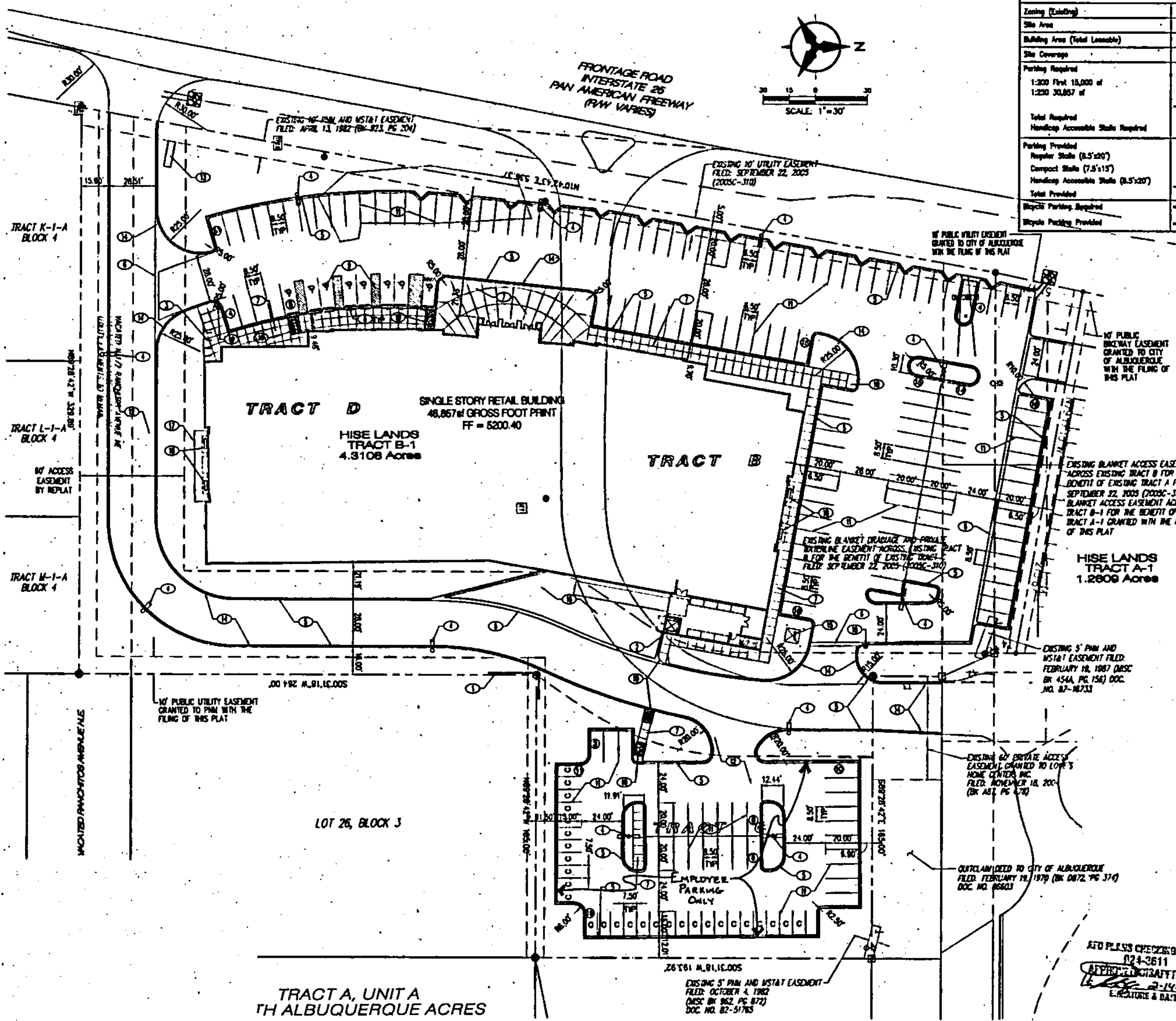
3800 BEE CAVER ROAD
BUILDING A, SUITE 200
AUSTIN, TEXAS 78748
512/327-8888 FAX: 512/327-8030

TEXAS REGISTRATION NO. 11436
INTERIM REVIEW DOCUMENTS

THESE DOCUMENTS ARE FOR REVIEW PURPOSES ONLY AND NOT INTENDED FOR BIDDING, PERMIT, OR CONSTRUCTION PURPOSES

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ASHLEY FURNITURE ALBUQUERQUE



KEYED NOTES

1. 3/4" RETAINING WALL. RETAINING WALL TO BE SPLIT FACE GRU TO COMPLEMENT BUILDING. REFER TO DETAIL ON SHEET C1.1.
2. MASONRY RETIENE ENCLOSURE INTEGRAL TO BUILDING. INSTALL CONCRETE PAD PER CROSS SECTION DETAIL ON SHEET C1.1.
3. BICYCLE PARKING (10 SPACES). REF. DETAIL ON SHEET C1.1.
4. LIGHT POLE TO MEET SITE PLAN FOR SUBDIVISION REQUIREMENTS. REF. LIGHTING PLANS FOR DETAILS. SEE GENERAL NOTE 3 THIS SHEET.
5. MEDIAN CURB & BUTTER PER COA STD DMS 2413E.
6. CONC VALLEY OUTER PER COA STD DMS 2423 (SECTION A-A).
7. 4" THICK CONCRETE SIDEWALK PER COA STD DMS 2430.
8. INSTALL PRECAST CONCRETE WHEELSTOP PER MANUFACTURER'S RECOMMENDATIONS.
9. INSTALL HANDICAPPED PARKING SPACES, STRIPING, AND SIGNAGE PER DETAIL ON SHEET C1.1.
10. INSTALL CURB ACCESS RAMP PER COA STD DMS 2440 AND 2441.
11. INSTALL 4" WIDE WHITE PARKING STRIPE (2 COATS PAINT).
12. INSTALL NEW ASPHALT PAVEMENT.
13. MULTI-TENANT MONUMENT SIGN PER SITE PLAN FOR SUBDIVISION (BY OTHERS).
14. INSTALL FIRE LANE STRIPING ON CURB. FACE OF CURB SHALL BE PAINTED SOLID RED WITH 4" TALL WHITE LETTERS STATING "FIRE LANE - NO PARKING" AT MINIMUM 20' INTERVALS.
15. TRANSFORMER.
16. TRUCK DOCK & LOADING AREA.
17. JOOM EMPLOYEE AREA SHADDED 25% BY AWNINGS. INCLUDES 2 PARK STYLE BENCHES FOR SEATING.
18. 2 PARK STYLE BENCHES UNDER AWNINGS.
19. FIRE HYDRANT.

PROJECT NUMBER: _____
Application Number: _____

Is an Infrastructure List required? () Yes (X) No. If yes, then a set of approved ORC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

Traffic Engineering, Transportation Division	Date _____
Water Utility Department	Date _____
Parks and Recreation Department	Date _____
City Engineer	Date _____
Environmental Health Department (conditional)	Date _____
DRB Chairperson, Planning Department	Date _____

*Environmental Health, if necessary

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GENERAL NOTES

1. SCREEN WALLS AND RETIENE ENCLOSURE SHALL BE INTEGRAL TO BUILDING ARCHITECTURE.
2. UTILITY BOXES SHALL BE SCREENED WITH NATURAL LANDSCAPING.
3. SITE LIGHTING BY COOPER LIGHTING "LUXARK-PK" - 20' POLE WITH 200-WATT METAL HALIDE LAMP. SEE ARCHITECTURAL FOR DETAILS. LOCATION AND QUANTITY OF FIXTURES SHOWN IS APPROXIMATE.
4. ALL ROOF MOUNTED MECHANICAL EQUIPMENT SHALL BE SCREENED.

DRAWING INDEX

- C1.0 - SITE PLAN
- C1.1 - SITE DETAILS
- L-1 - LANDSCAPE PLAN
- C1.2 - PRELIMINARY GRADING PLAN
- A1.0 - BUILDING & STRUCTURE ELEVATIONS
- C1.3 - CONCEPTUAL UTILITY PLAN

DATE ISSUED: _____

REVISIONS: _____

DRAFTED: _____ REVIEWED: _____

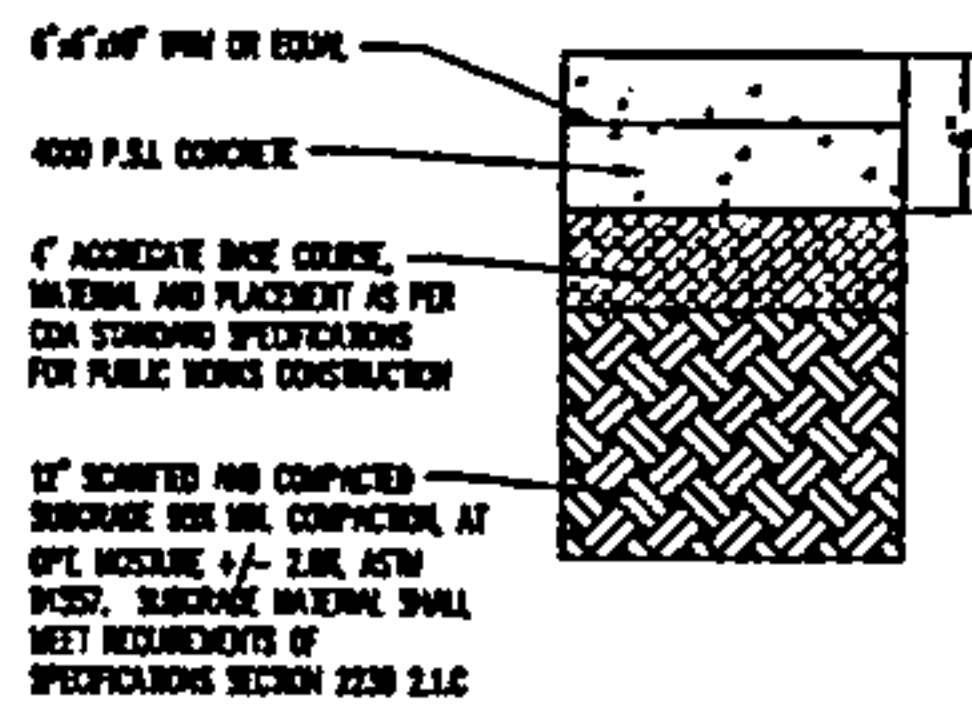
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DRAWING NAME: _____

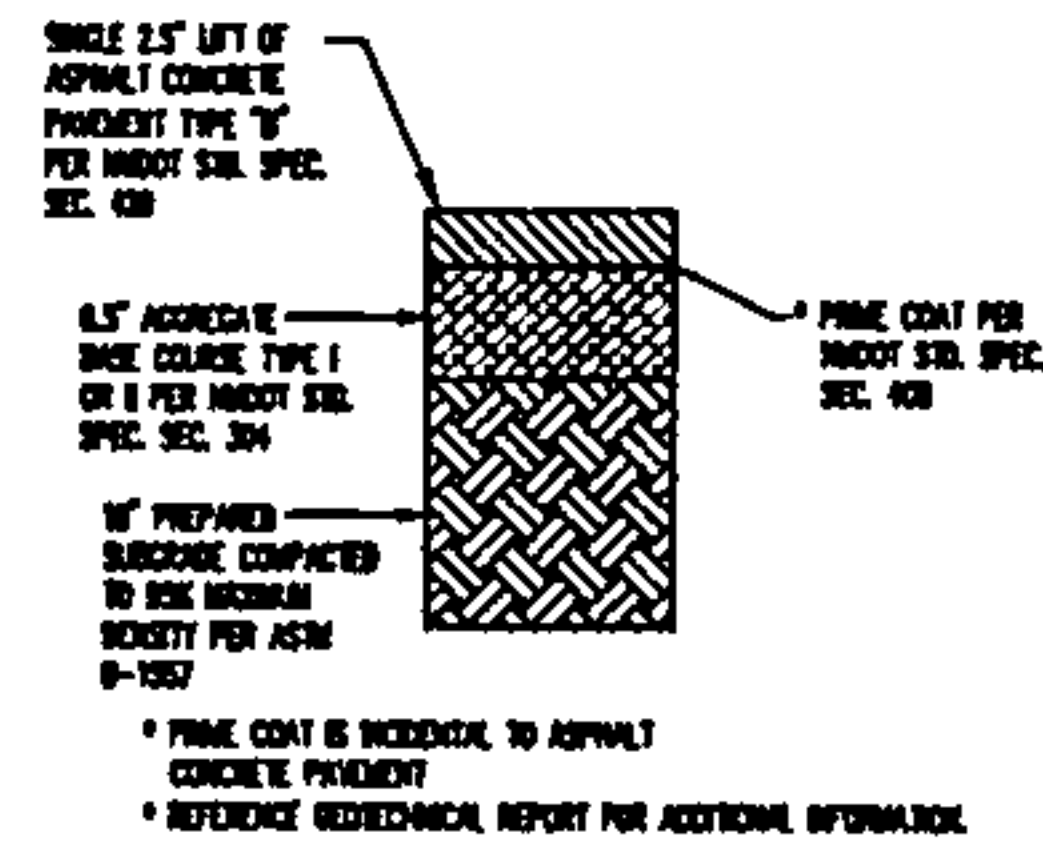
SITE PLAN FOR BUILDING PERMIT

SHEET NUMBER: _____

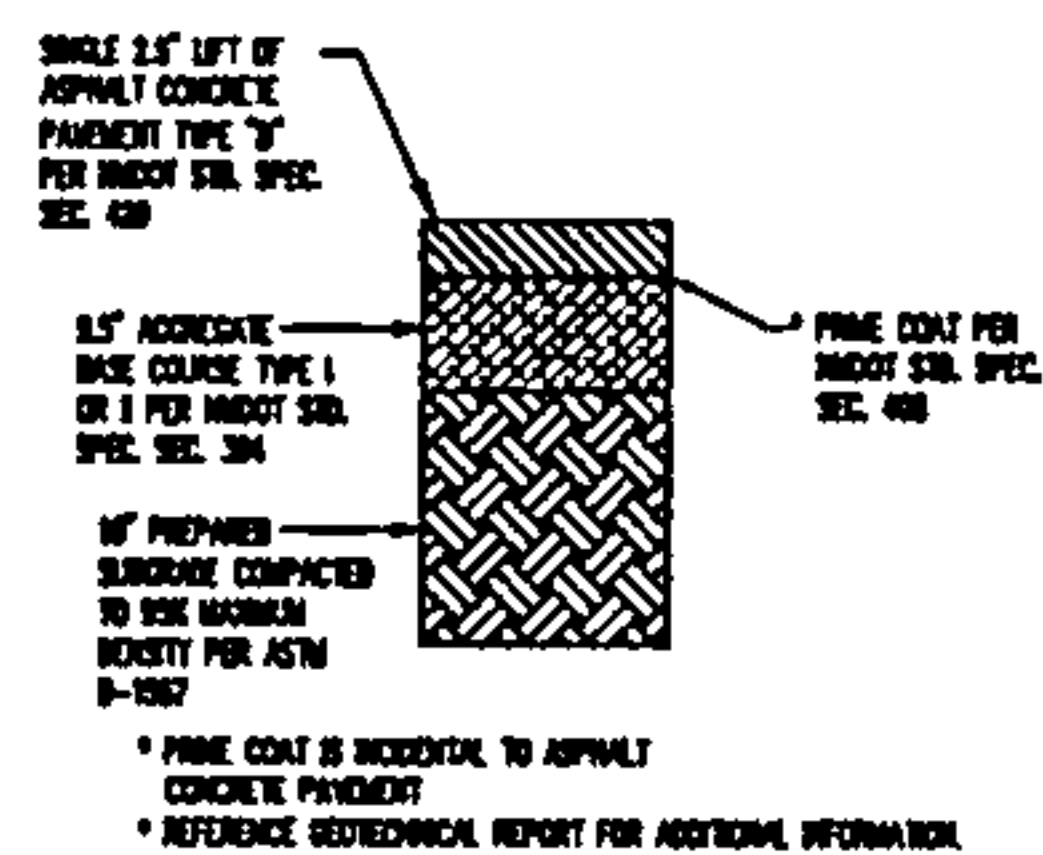
SHEET C1.0



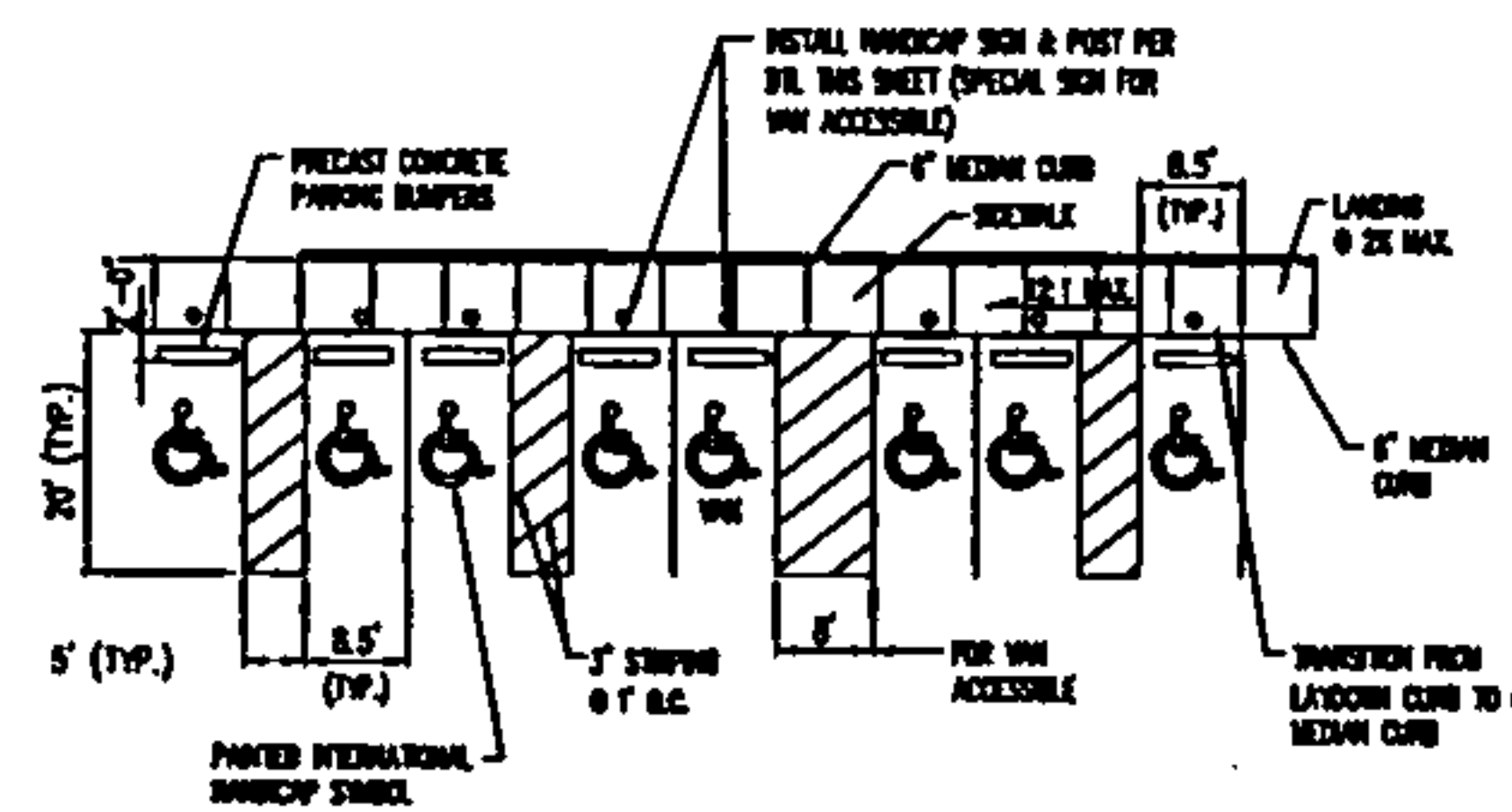
REFUSE ENCLOSURE CONCRETE PAVEMENT
N.T.S.



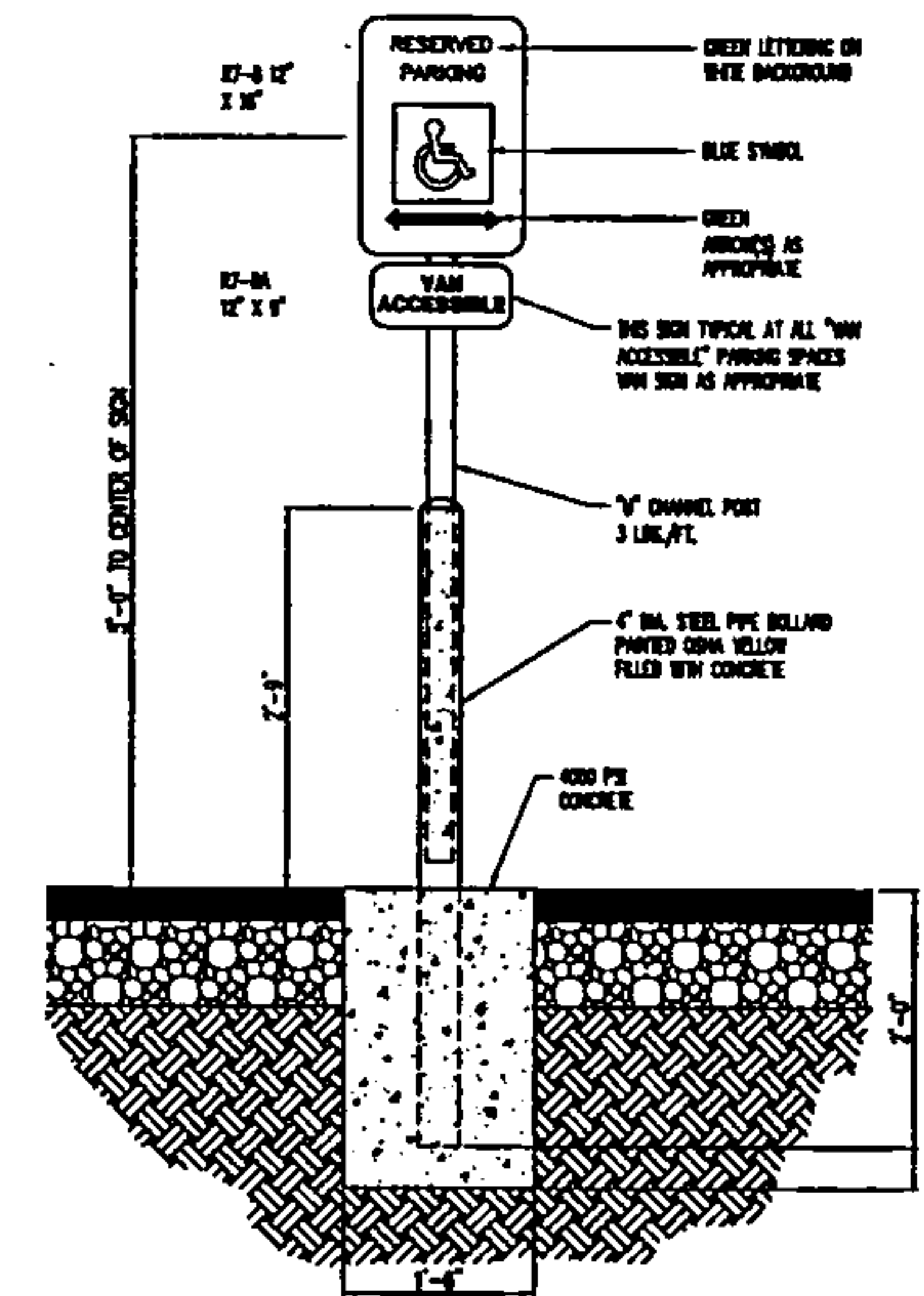
LIGHT DUTY ASPHALT PAVEMENT SECTION
N.T.S.



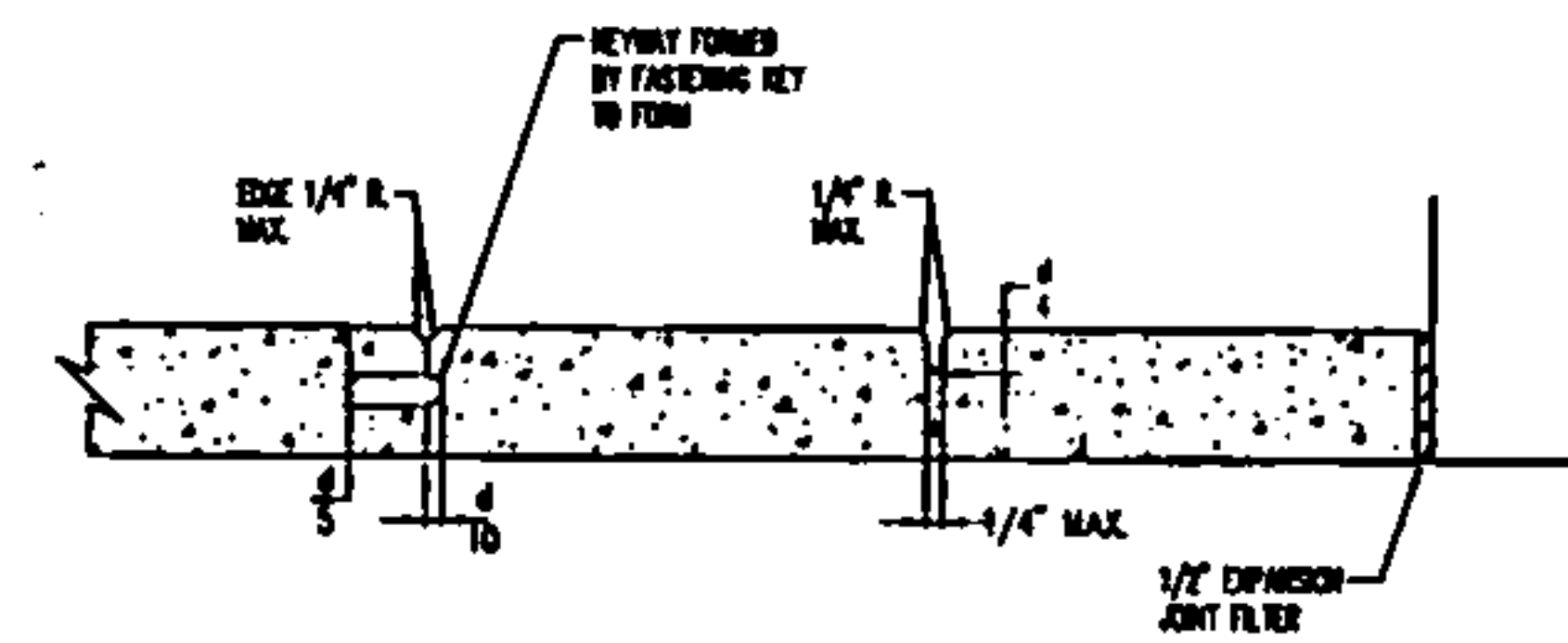
HEAVY DUTY ASPHALT PAVEMENT SECTION
N.T.S.



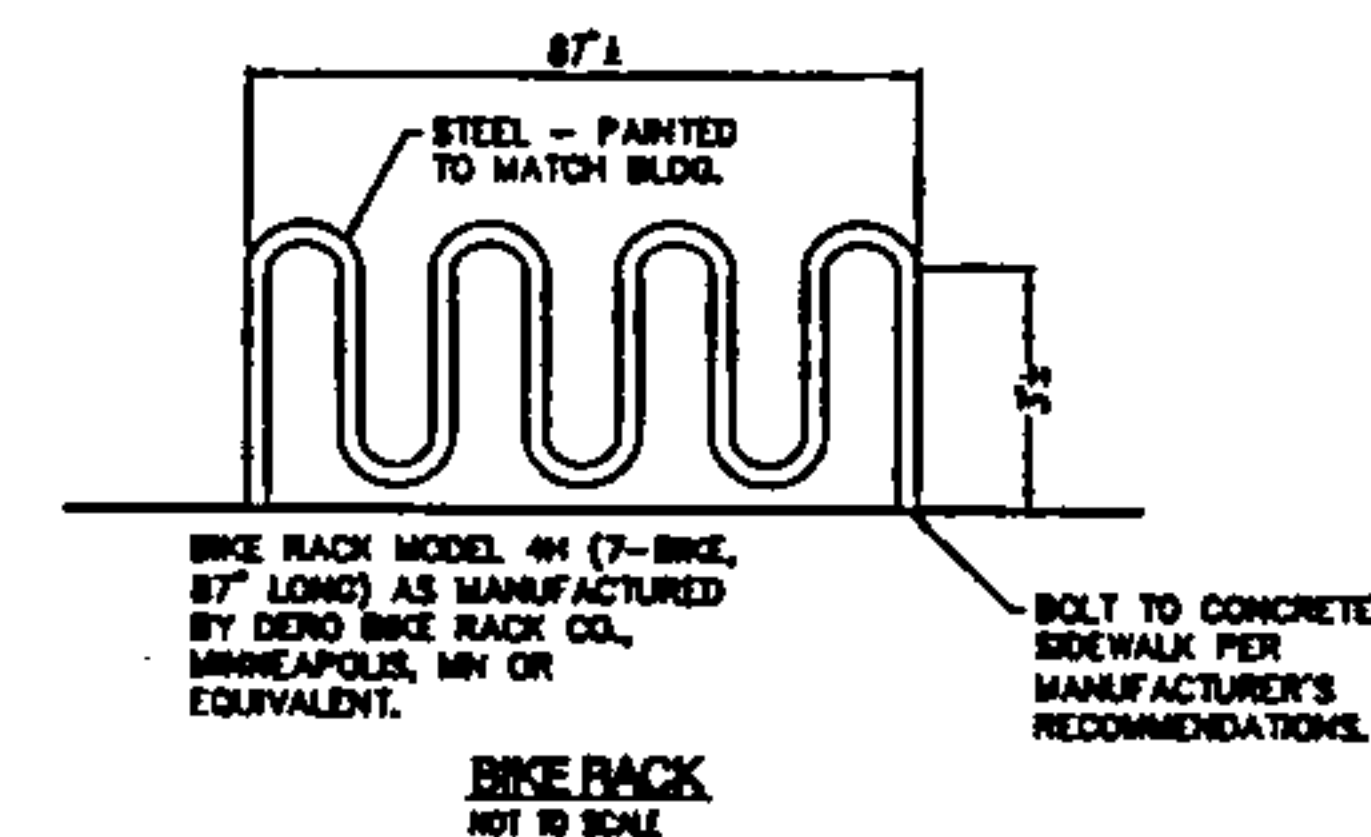
HANDICAP PARKING DETAIL
NOT TO SCALE



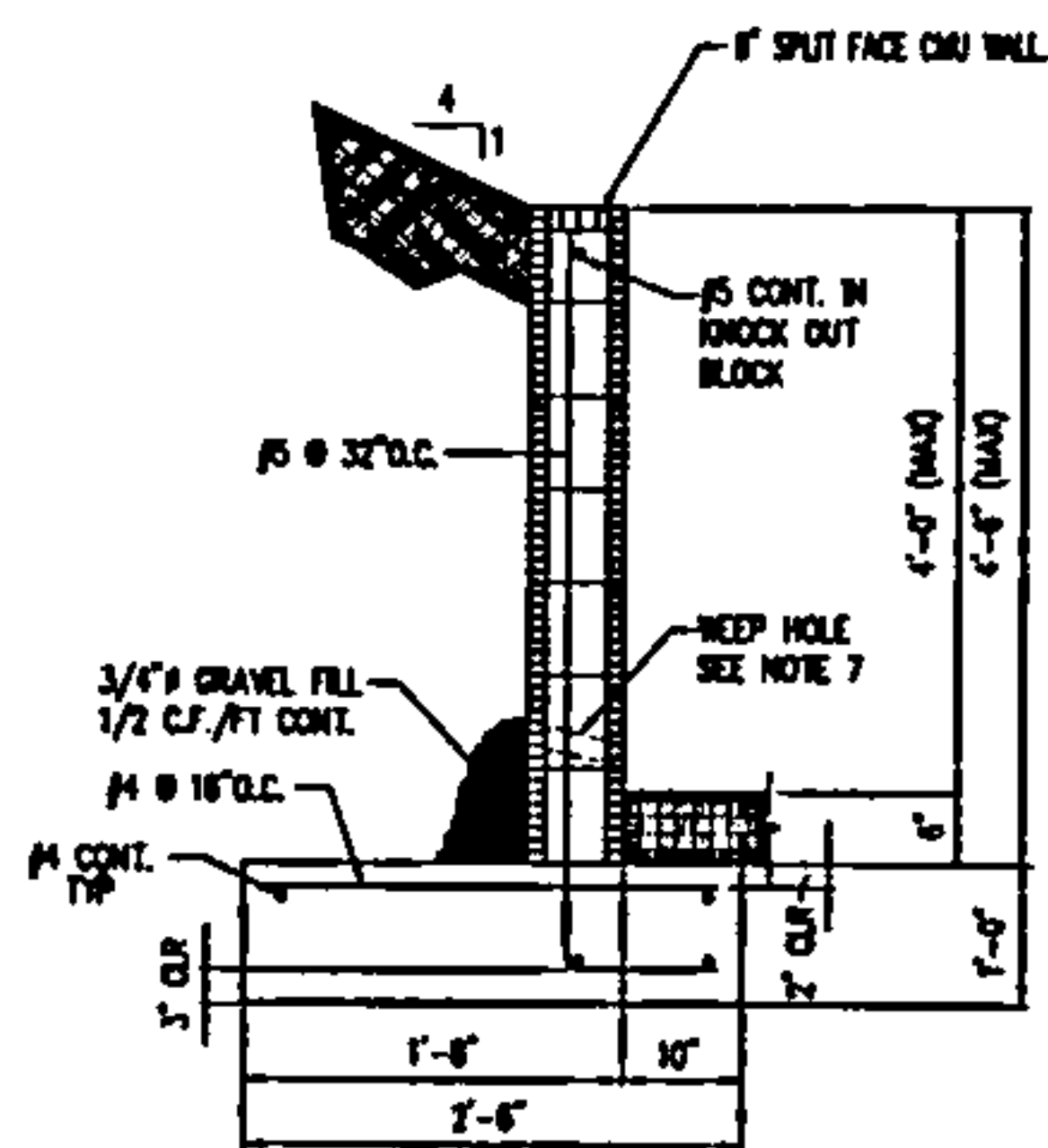
HANDICAP PARKING SIGN MOUNTING DETAIL
N.T.S.



CONCRETE PAVEMENT JOINT DETAILS
N.T.S.



BIKE RACK
NOT TO SCALE



SPLIT-FACE CMU RETAINING WALL
NOT TO SCALE

NOTES:

- RETAINING WALL SHALL NOT BE BACK-FILLED UNTIL AT LEAST 7 DAYS AFTER CASTING THE WALL.
- VERTICAL CONTROL JOINTS IN THE WALL SHALL BE PLACED AT 8'-0" O.C. MAX.
- CONSTRUCTION OF RETAINING WALLS SHALL CONFORM TO REQUIREMENTS OF THE 1987 UNIFORM BUILDING CODE.
- DESIGN DATA:
 ETP (ACTIVE) = 3K PCF
 SOIL BEARING PRESSURE = 1500 PCF
 (1/3 INCREASE FOR WIND/SEISMIC)
 COEFFICIENT OF FRICTION = 0.35
 ETP (PASSIVE) = 300 PCF
 CONCRETE, F' C (28 DAYS) = 3000 PSI
 REINFORCEMENT = #6 ASTM A-615
- CONTRACTOR SHALL NOTIFY OWNER PRIOR TO CONCRETE FOOTING POUR FOR INSPECTION OF COMPACTION UNDER FOOTING, FOOTING DEPTH AND WIDTH AND WALL STEEL AND SPACING. FINAL INSPECTION OF FOOTING AND WALL WILL BE REQUIRED.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO SEE THAT ALL REBAR IS PROPERLY ALIGNED AND TIED IN PLACE BEFORE PLACING CONCRETE. ALL STEEL SHALL BE ACCURATELY LOCATED AND SECURED IN PLACE SO THAT IT REMAINS IN POSITION DURING THE PLACEMENT OF THE CONCRETE. ANY REBAR IMPROPERLY INSTALLED SHALL BE REMOVED AT NO ADDITIONAL COST TO THE OWNER.
- KEEP HOLER: PLACE A 2" DIA. KEEP HOLE @ 5'-0" O.C. W/ 1/2 CUBIC FOOT/FOOT OF 3/4" GRAVEL IN FILTER FABRIC
- THE FIRST COURSE OF CMU BLOCK MAY BE PLACED IN FRESH FOOTING CONCRETE. SUBSEQUENT COURSES OF CMU BLOCK SHALL NOT BE PLACED UNTIL 7 DAYS AFTER THE FOOTING IS CAST.
- ALL CMU BLOCK JOINTS SHALL BE TOOLED.
- BACK FILL AND COMPACTION OF RETAINING WALL IS INCIDENTAL TO INSTALLATION OF RETAINING WALL.

ARCHITECTS, INC.



3820 BEE CAVES ROAD
BUILDING A, SUITE 20
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512/357-8888 FAX: 512/357-8898

TEXAS REGISTRATION NO. 11438

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ASHLEY
FURNITURE
ALBUQUERQUE

DATE ISSUED:

REVISIONS:

DRAFTED: REVIEWED:

PROJECT NUMBER:

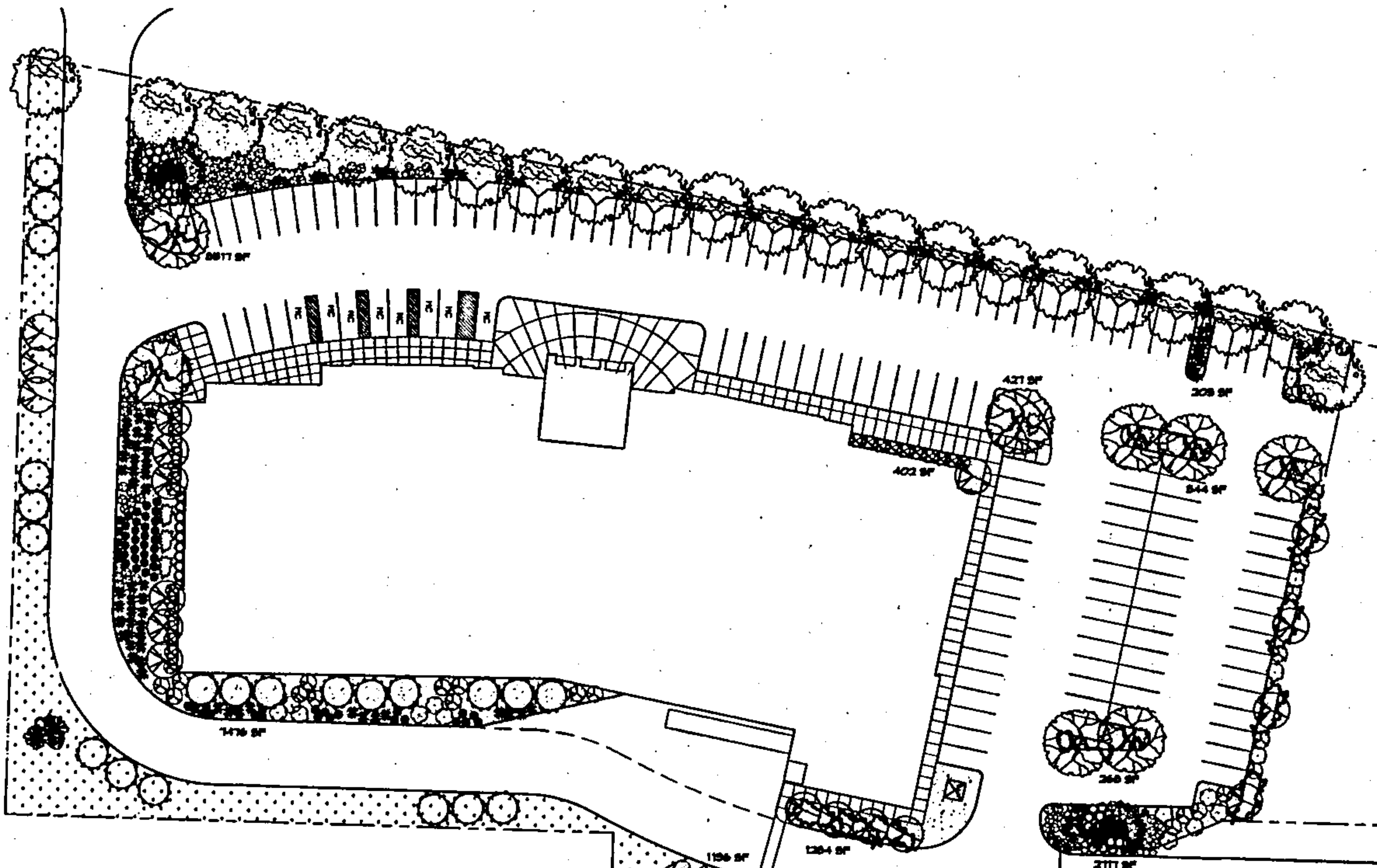
DRAWING NAME:

MISCELLANEOUS
DETAILS

SHEET NUMBER:

SHEET

C1.1



PLANT LEGEND

	ASH (M) OR HONEY LOCUST (M) 25 <i>Fraxinus pennsylvanica</i> <i>Gleditsia triacanthos</i> 2" Cal.		PALM YUCCA (L)
	SHINARUMP OAK (M) 18 <i>Quercus shinaronum</i> 2" Cal.		APACHE FLAME (L) 8 <i>Fouquieria parsonsii</i> 5 Gal. 2507
	FLOWERING PEAR (M) 21 <i>Pyrus calleryana</i> 2" Cal.		LANAX/SCOTCH BROOM (M) 11 <i>Cytisus scoparius</i> <i>Sisymbrium officinalis</i> 5 Gal. 407
	DESERT WILLOW (L) 25 <i>Chilopsis linearis</i> 5 Gal.		ARP ROSEMARY (M) 22 <i>Rosmarinus officinalis</i> 2 Gal. 407
	MUSO PINE (M) 5 <i>Pinus muhlenbergii</i> 5 Gal.		POTENTILLA (M) 46 <i>Potentilla fruticosa</i> 2 Gal. 407
	BUTTERFLY BUSH (M) 28 <i>Buddleia davidii</i> 5 Gal. 10007		HONEYUCKLE (M) 22 <i>Lonicera sempervirens</i> 1 Gal. 3007 Unstaked-groundcover
	RED YUCCA (L) 61 <i>Yucca elata</i> 5 Gal. 407		CHAMA (L) 5 <i>Chrysothamnus nauseosus</i> 1 Gal. 2507
	MAIDENHAIR (M) 10 <i>Adiantum species</i> 5 Gal. 1607		WILDFLOWER 75 1 Gal. 407
	RESAL HERB (M) 75 <i>Chamaecrista fasciculata</i> 5 Gal.		THREADGRASS (M) 30 <i>Stipa tenuifolia</i> 1 Gal. 407
	INDIAN HAWTHORN (M) 25 <i>Raphanocarpus indica</i> 5 Gal. 8607		TAN JUNIPER (M) 16 <i>Juniperus tanacetifolia</i> 1 Gal. 2207
	RUSSIAN SAGE (M) 6 <i>Perovskia atriplicifolia</i> 5 Gal. 8607		CRESTED ROSEMARY (L) 25 <i>Rosmarinus officinalis 'prostratus'</i> 1 Gal. 8607
	GREYLEAF COTONEASTER (M) 10 <i>Cotoneaster bodinieri</i> 5 Gal. 8107		OVERSIZED GRAVEL 4 BOULDERS 1
	COMMERCIAL GRADE STEEL EDGING		SANTA FE BROWN GRAVEL WITH FILTER FABRIC
	CRAB STRAYNATIVE SEED		

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply suspension from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Santa Fe Brown Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (1) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubblers systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

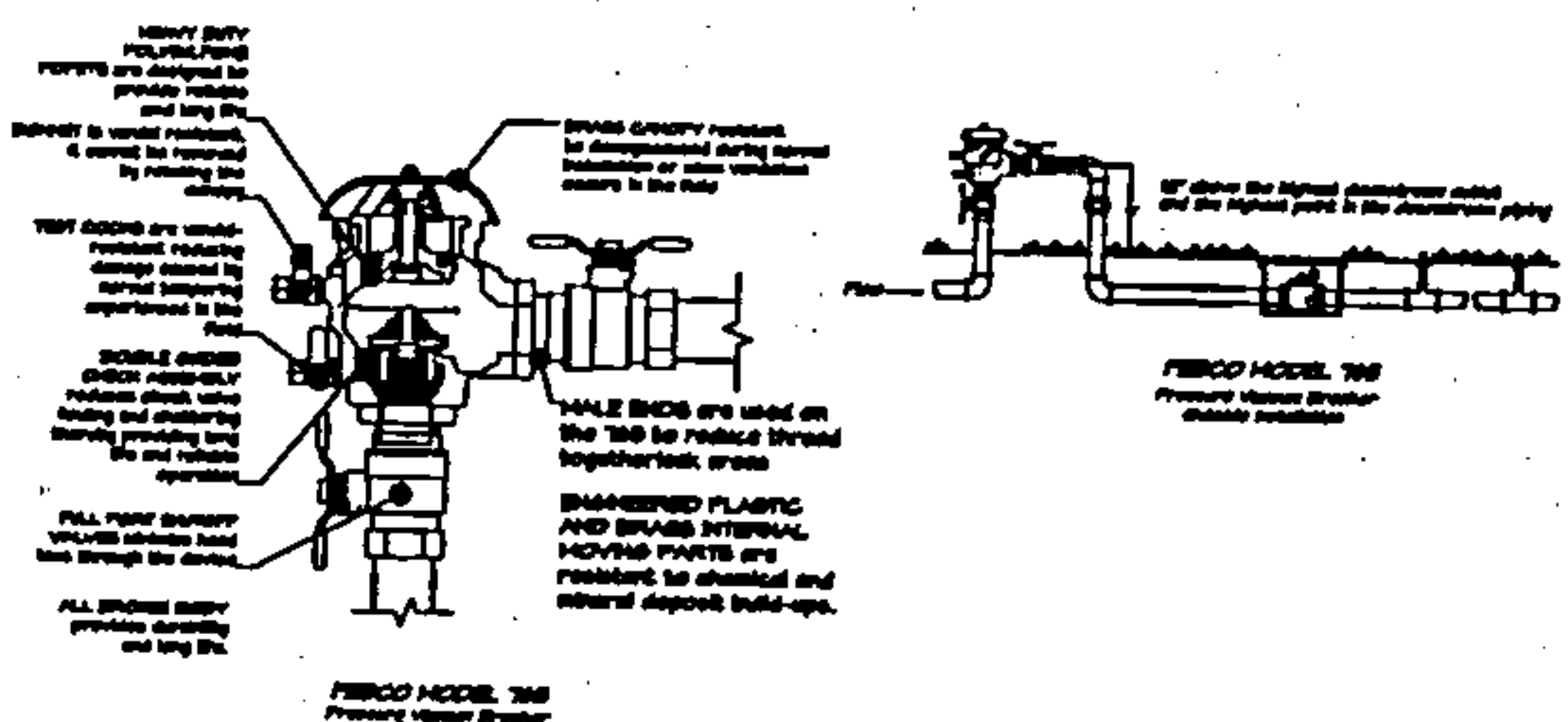
Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

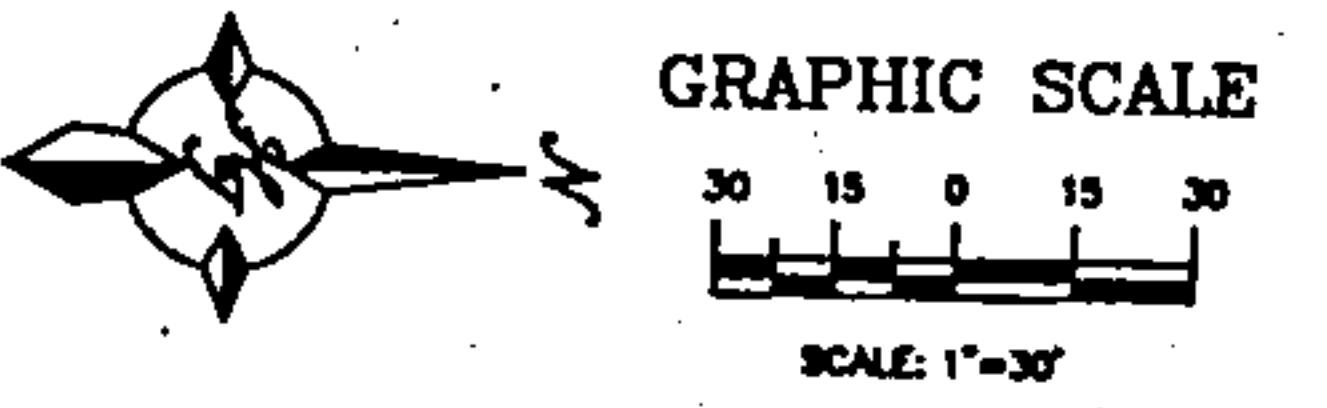
STREET TREE REQUIREMENTS:
Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: I-25 Frontage Road
Required # 20 Provided # 22



LANDSCAPE CALCULATIONS

TOTAL LOT AREA	187210	square feet
TOTAL BUILDING AREA	45657	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	141553	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	21233	square feet
TOTAL BED PROVIDED	25126	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	15846	square feet
TOTAL GROUND COVER PROVIDED	16647	square feet
TOTAL NATIVE SEED PROVIDED	15666	square feet



DAVID BESSENT ARCHITECTS, INC.



3535 BEZ CAVER ROAD
BUILDING A, SUITE 106
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512/387-6848 FAX 512/387-6850

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ASHLEY FURNITURE ALBUQUERQUE

DATE ISSUED: 2-3-06

REVISIONS:
2-5-06 SITE PLAN REVISION

DRAFTED: ADP REVIEWED: CJ

PROJECT NUMBER:

0518

DRAWING NAME:

LANDSCAPE PLAN

SHEET NUMBER:

SHEET L-1



The Hilltop
LANDSCAPE ARCHITECTS & CONTRACTORS
Carl L. #26458
7908 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9890
Fax (505) 898-7737
cjohnson@hilltoplandscaping.com

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3030 BEE CAVES ROAD
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ASHLEY FURNITURE

ALBUQUERQUE

DATE ISSUED: 01.22.0

REVISIONS:

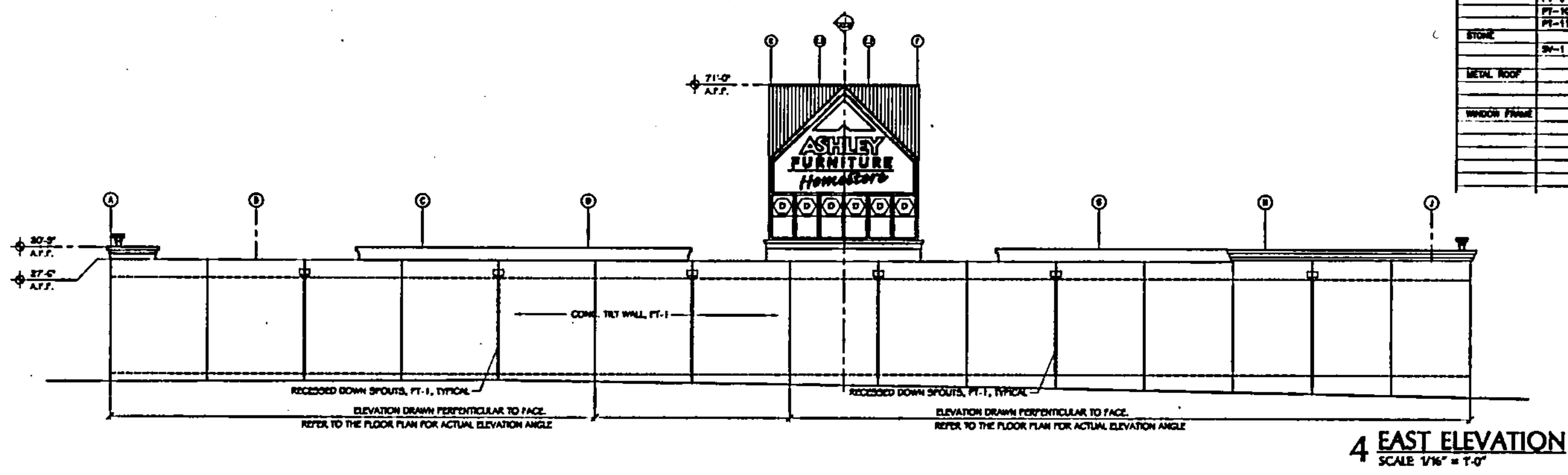
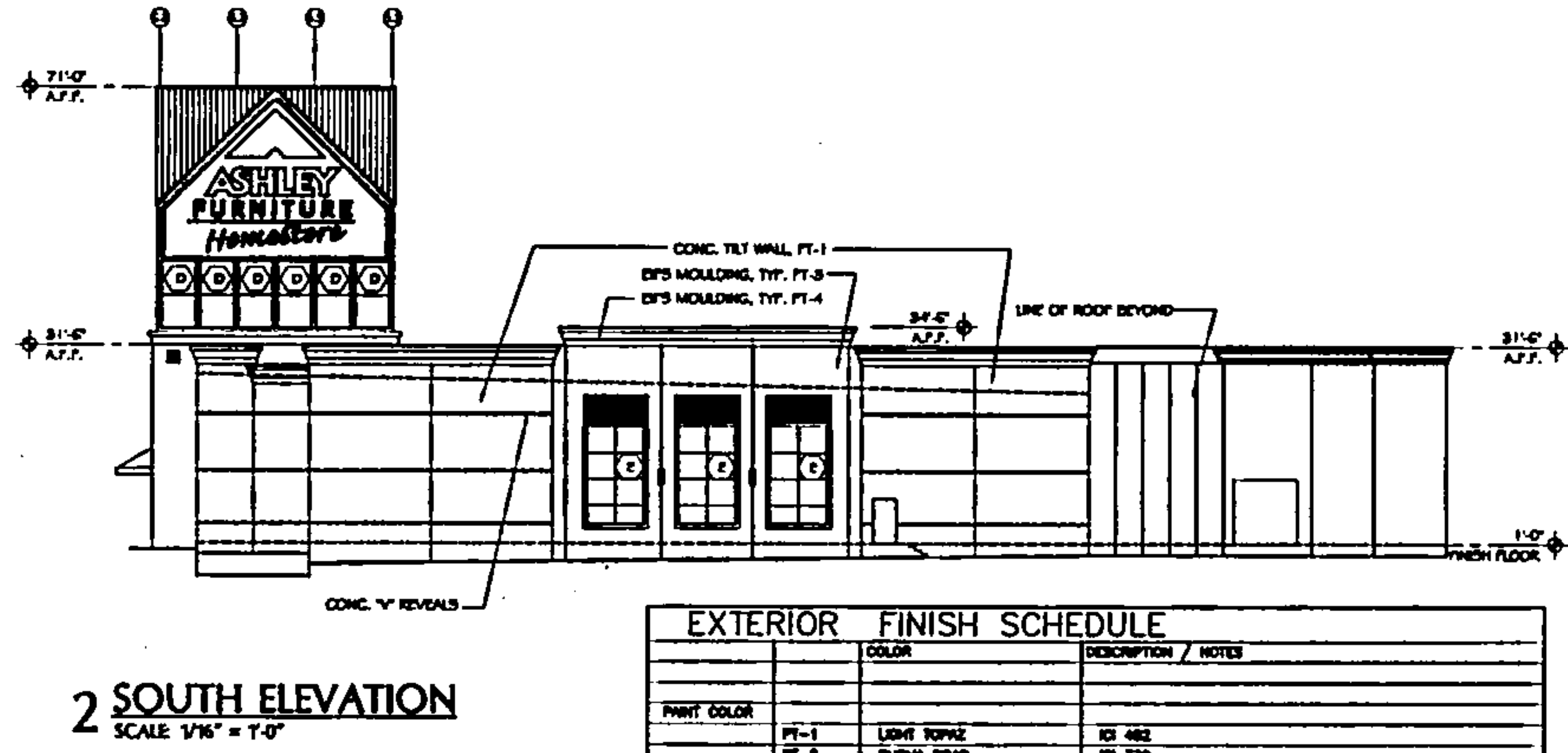
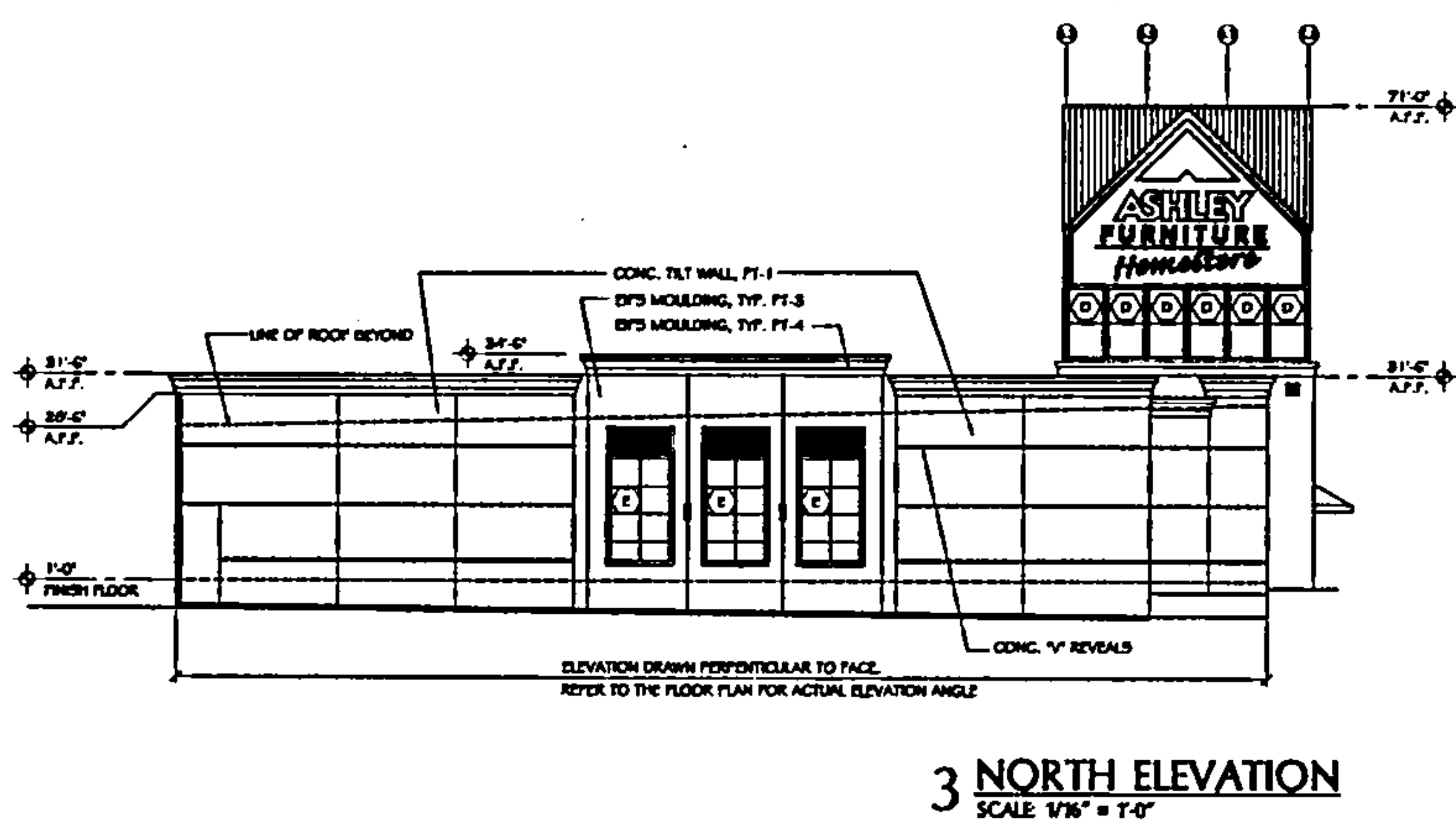
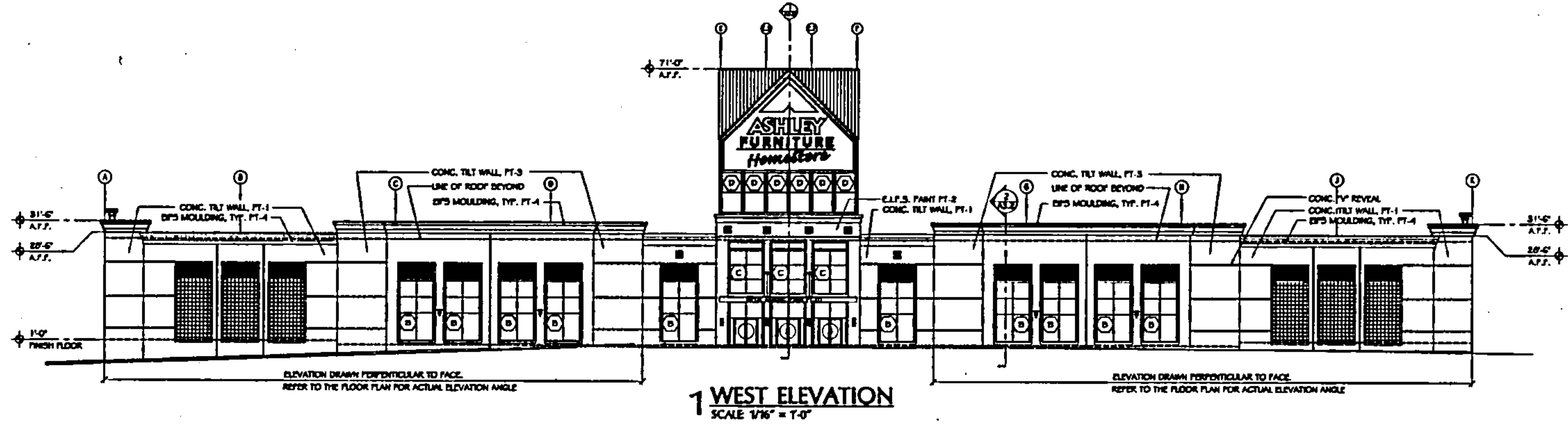
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PROJECT NUMBER:

0518

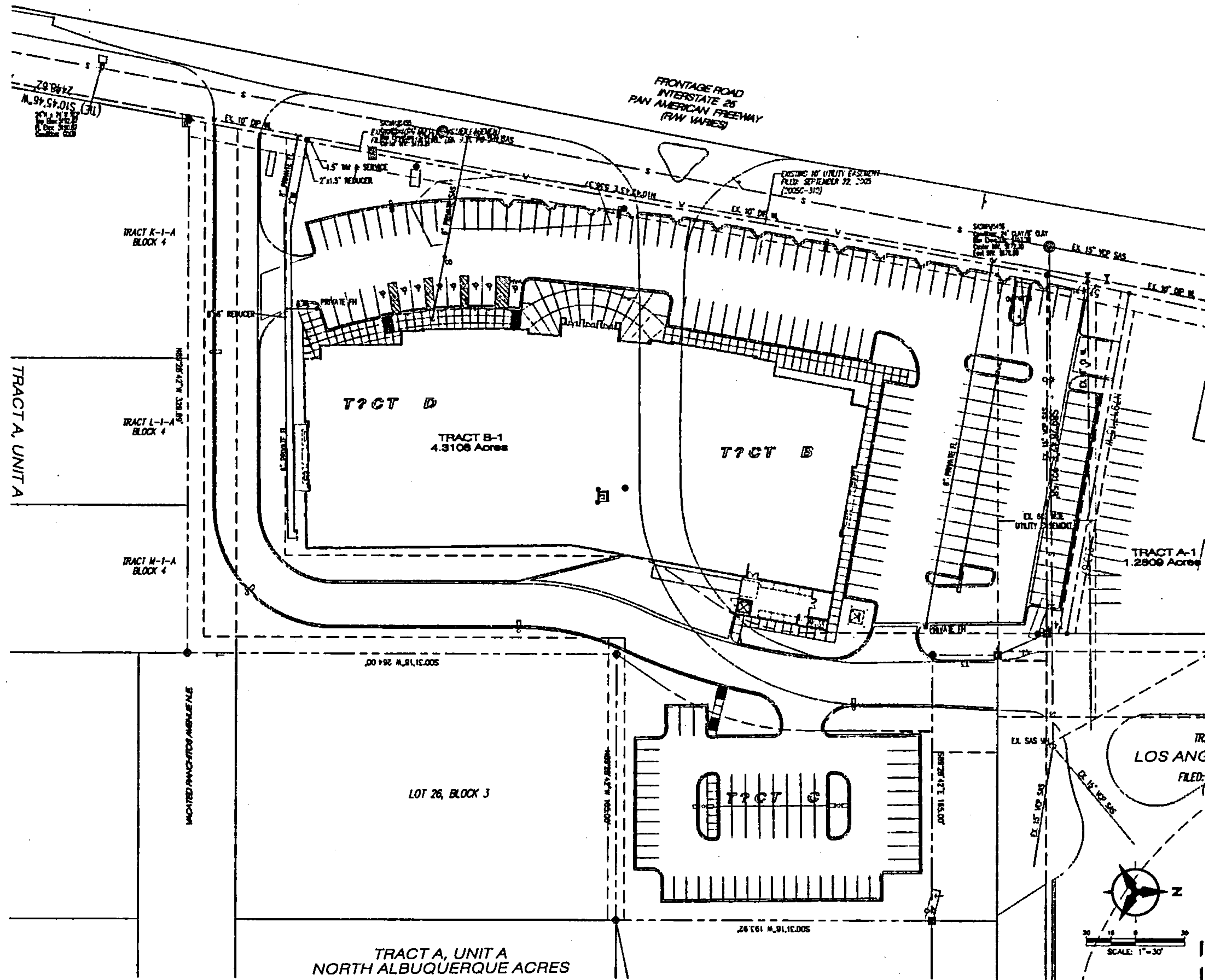
DRAWING NAME:
EXTERIOR ELEVATIONS

SHEET NUMBER:

A2.0



EXTERIOR FINISH SCHEDULE		
	COLOR	DESCRIPTION / NOTES
PAINT COLOR	PT-1	LIGHT TAPAZ ICI 482
	PT-2	BURNING ROAD ICI 330
	PT-3	CREAM BRILLIANT ICI 414
	PT-4	COTTAGE CHOCOLATE ICI 308
	PT-5	NONHOUSE ICI 308
	PT-6	BLUE CUSTOM ASHLEY COLOR
	PT-7	ORANGE CUSTOM ASHLEY COLOR
	PT-8	YELLOW CUSTOM ASHLEY COLOR
	PT-9	WHITE CUSTOM ASHLEY COLOR
	PT-10	SLAY GALV. METAL
	PT-11	COLONIAL RED METAL ROOFING (BURROCK)
STONE	SH-1	SHALE OWENS CORNING COUNTRY LEDGESTONE
METAL ROOF		MEDIUM BROWN METAL ROOFING (BURROCK)
WINDOW FRAME		ALUMINUM BRONZE ANODIZED



Bohannon & Huston
 Chartered 1700 Jefferson St. NE Albuquerque, NM 87109-4300
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ARCHITECTS, INC.



2828 BEN CAYNE ROAD
 BUILDING A, SUITE 200
 AUSTIN, TEXAS 78746
 512/327-8800 FAX 512/327-0030

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DATE ISSUED:

REVISIONS:

DRAFTED: REVIEWED:

PROJECT NUMBER:

DRAWING NAME:

CONCEPTUAL
 UTILITY
 PLAN

NO.

SHEET NUMBER:

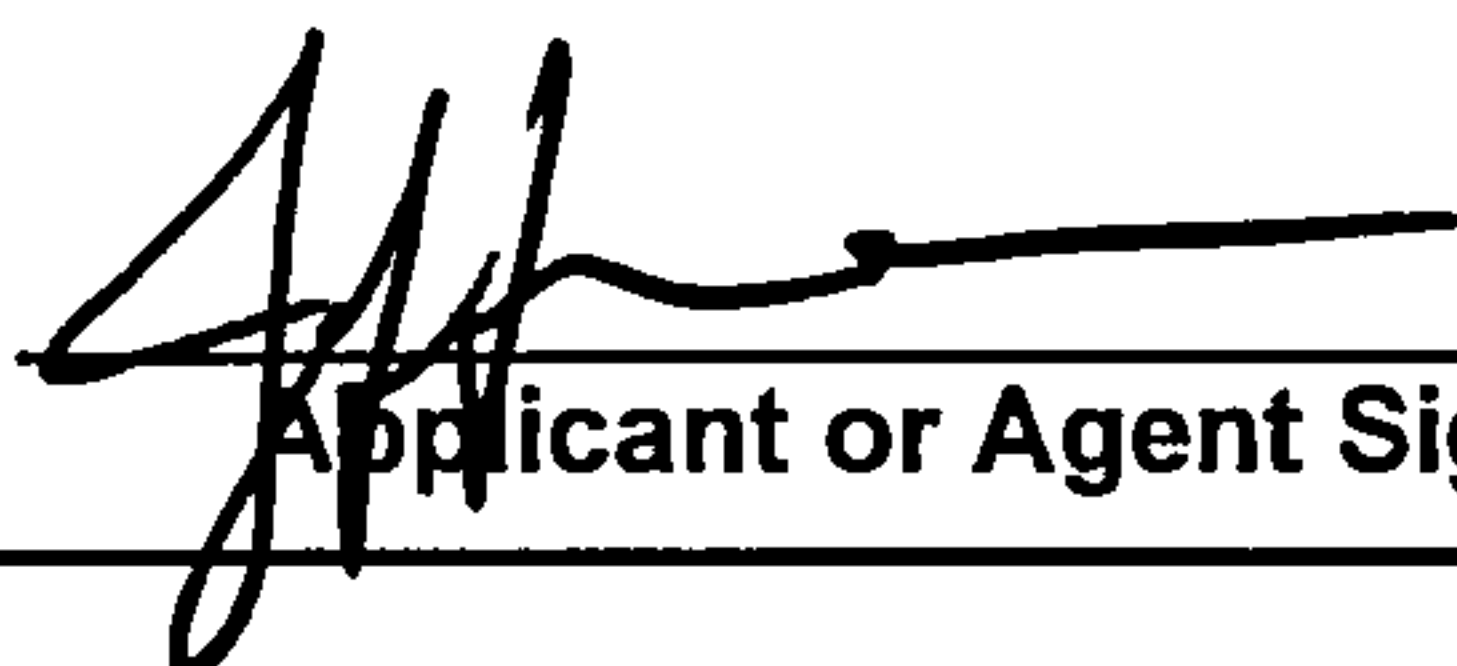
SHEET
 C3.0

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.



2/14/06

Applicant or Agent Signature / Date

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan**

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A."** Each non-applicable designation must be explained by notation on the Checklist.

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved. *(Attached letter.)*

SHEET #1 - SITE PLAN

A. General Information

- 1. Date of drawing and/or last revision
- 2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20'30"
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' *[Other scales as approved by staff]*
- 3. Bar scale
- 4. North arrow
- 5. Scaled vicinity map
- 6. Property lines (clearly identify)
- 7. Existing and proposed easements (identify each)
- 8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures
- B. Square footage of each structure and building footprint (if different from total square footage)
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- J. Elevation drawing of refuse container and enclosure, including location. *Part of Building*

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 8199 provided: 201
Handicapped spaces required: 8 provided: 8
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 10
provided: 14
 - N/A 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities
 - 2. Pedestrian trails and linkages
 - N/A 3. Bus facilities, including routes, bays and shelters existing or required

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

4. Utilities

- 1. Property lines
- 2. Building Footprint
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Fire hydrant locations, existing and proposed.
- 5. Distribution lines
- 6. Existing and proposed water, sewer, storm drainage facilities (public and/or private).

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Method for meeting Water Conservation... Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location and detail of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations and/or contour lines (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and "common name" colors of all building elements and structures
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale → Per Site Plan for Subdivision.
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME NEW MORE
 AGENT BOTHANNAN HUSTON INC.
 ADDRESS 7500 JEFFERSON
 PROJECT & APP # 1001946 / 06DRB - 00221, 00223
 PROJECT NAME HOUSE LANDS,

\$ 40.⁰⁰ 441032/3424000 Conflict Management Fee
 \$ 670 441006/4983000 DRB Actions
 \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
 \$ _____ 441018/4971000 Public Notification
 \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
 \$ 710.⁰⁰ TOTAL AMOUNT DUE

*****NOTE:** If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

2/14/2006 12:24PM LOC: ANNX
 RECEIPT# 00057562 US# 007 TRANS# 0010
 Account 441032 Fund 0110
 Activity 3424000
 Trans Amt \$710.00
 J24 Misc \$40.00
 Counter receipt.doc 6/21/04

*****DUPLICATE***
 City Of Albuquerque
 Treasury Division**

*****DUPLICATE***
 City Of Albuquerque
 Treasury Division**

2/14/2006 12:24PM LOC: ANNX
 RECEIPT# 00057563 US# 007 TRANS# 0010
 Account 441006 Fund 0110
 Activity 4983000 TRSKAL
 Trans Amt \$710.00
 J24 Misc

\$670.00
 CK \$405.00
 CK \$305.00
 CHANGE

Thank You

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME NEW MORE
 AGENT Boltmann Houston Inc.
 ADDRESS 7500 Jefferson
 PROJECT & APP # 1001946 / 06DRB - 00221, 00223
 PROJECT NAME HOUSE LANDS

\$ 40.⁰⁰ 441032/3424000 Conflict Management Fee
 \$ 670 441006/4983000 DRB Actions
 \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
 \$ _____ 441018/4971000 Public Notification
 \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
 \$ 710.⁰⁰ TOTAL AMOUNT DUE

*****NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

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 CK \$305.00
 CHANGE \$0.00
 Counterreceipt.doc 6/21/04

City of Albuquerque
 Treasury Division

City of Albuquerque
 Treasury Division

2/14/2006 12:24PM LOC: ANN
 RECEIPT# 00057562 WSH# 007 TRANSH# 0010
 Account 441032 Fund 0110
 Activity 3424000 TRSKAL
 Trans Amt \$710.00
 J24 Misc

\$40.00
 Thank You

Thank You

PROS 1001946

No. of Lots:
Nearest Major Streets

FIGURE 12

SUBDIVISION IMPROVEMENTS
AGREEMENT-PUBLIC AND/OR PRIVATE
(Procedure B)

AGREEMENT TO CONSTRUCT
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 15 day of May, 2006, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and Johnston Real Estate Albuquerque, LLC. ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] Limited Liability Company whose address is 120 Harper Road Kerrville, TX 78028 and whose telephone number is 830-895-5311, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

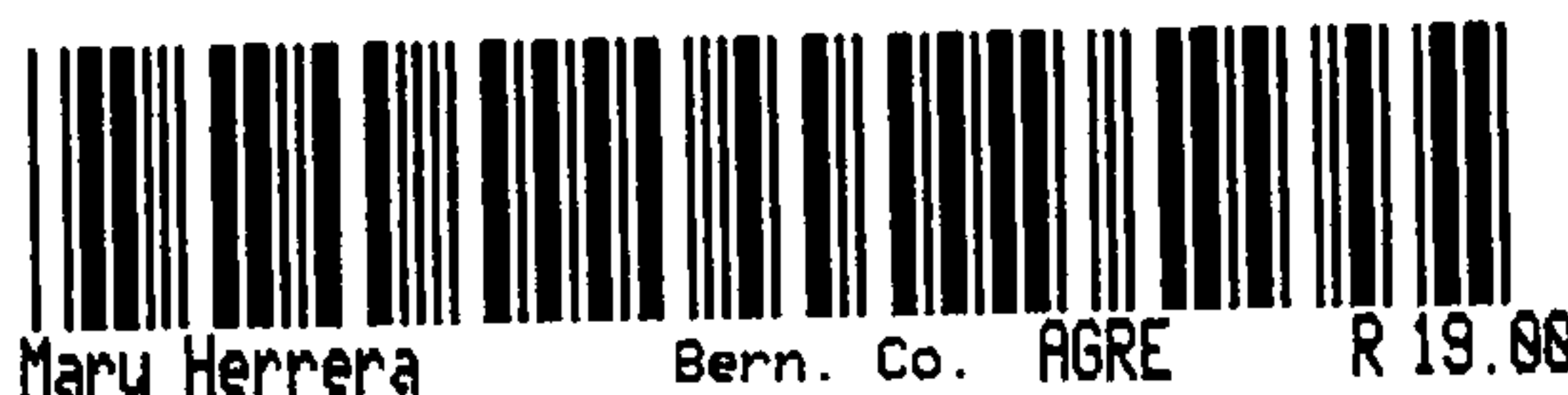
1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [existing legal description:] Tracts A, B, C, & D Hise Lands, recorded on September 22, 2005 the records of the Bernalillo County Clerk at Book 2005C, pages 31 through XXXXXXX (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] Hamilton-Hise Properties ("Owner").
--LLC.

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as Tracts A-1 & B-1 Hise Lands describing Subdivider's Property.

As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described in Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 22 day of February, 2007 ("Construction Completion Deadline"), at no cost to the City. The Improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 6313.87.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board ("DRB"), unless



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Page: 1 of 6
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the DRB grants an extension, not to exceed one additional year per extension, and the Subdivider processes an amendment to the Agreement. (See Subdivision Ordinance Section 14-14-3.) If this Agreement, with any amendments does not utilize the maximum time allowed for completion of construction, the Subdivider may obtain an extension of the Construction Completion Deadline if Subdivider shows adequate reason for the extension.

3. Work Order Requirements. The City agrees to issue a Work Order after:

A. The Subdivider causes to be submitted all documents, and meets all requirements listed in Development Process Manual, Volume 1, Chapter 5, Work Order Process, and figure 1, including submitting a Certificate of Insurance in a form acceptable to the City. The certificate must establish that the Subdivider has procured or has caused to be procured public liability insurance in the amount of not less than One Million Dollars (\$1,000,000) combined single limit for accidents or occurrences which cause bodily injury, death or property damage as a result of any condition of the Subdivision, the Improvements or the Subdivider's construction activities within, or related to the Subdivision. The insurance policy must name the City of Albuquerque, its employees and elected officials, as their interest may appear, as additional insured. The Subdivider must maintain the insurance until the City accepts the public Improvements and/or approves the private Improvements. The cancellation provision must provide that, if the policy is either canceled prior to the expiration date of the policy or is materially changed or not renewed, the issuing company will mail 30 days written notice to the City, attention City Engineer.

B. The Subdivider complies with all applicable laws, ordinances and regulations, including, but not limited to the City Excavation Ordinance and Sidewalk Ordinance, and pays the following required engineering, staking, testing fees, and other related City fees and County Clerk recording fees:

<u>Type of Fee</u>	<u>Amount</u>
<u>Engineering Fee</u>	<u>3.25% of Actual Construction Cost</u>
<u>Excavation And Sidewalk Ordinance, Street Restoration Fees</u>	<u>As required per City-approved estimate. (Figure 7)</u>

(Note: The Subdivider must pay the City all City fees which have been incurred during construction before the City will accept the public Improvements.

4. Surveying, Inspection and Testing. The Improvements shall be inspected, surveyed and tested in accordance with all applicable laws, ordinances, and regulations, and according to the following terms:

A. Construction Surveying. Construction surveying for the construction of the public Improvements shall be performed by Bohannon Huston, Inc., and construction surveying of the private Improvements shall be performed by _____. If the construction surveying is performed by an entity other than the City, the City may monitor the construction surveying and the Subdivider shall ensure that the construction surveying entity provides all construction surveying field notes, plats, reports and related data to the City which the City requires for review. Record drawings shall be provided by the entity performing the survey. The Subdivider shall pay the City a reasonable fee for any construction surveying performed by the City.

B. Construction Inspection Methods. Inspection of the construction of the public Improvements shall be performed by Bohannon Huston, Inc., and inspection of the private Improvements shall be performed by _____, both New Mexico Registered Professional Engineers. If the inspection is performed by an entity other than the City, the City may monitor the inspection and the Subdivider



shall ensure that the inspecting entity provides all inspection results, reports and related data to the City which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City Engineer. The Subdivider shall pay the City a reasonable fee for the level of inspection performed by the City.

C. Field Testing. Field testing of the construction of the public Improvements shall be performed by Terracon, and field testing of the private Improvements shall be performed by _____, both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for Public Works Construction. If any field testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides all field testing results, reports and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field testing performed by the City.

D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable, and the Subdivider shall pay the City a reasonable fee therefor.

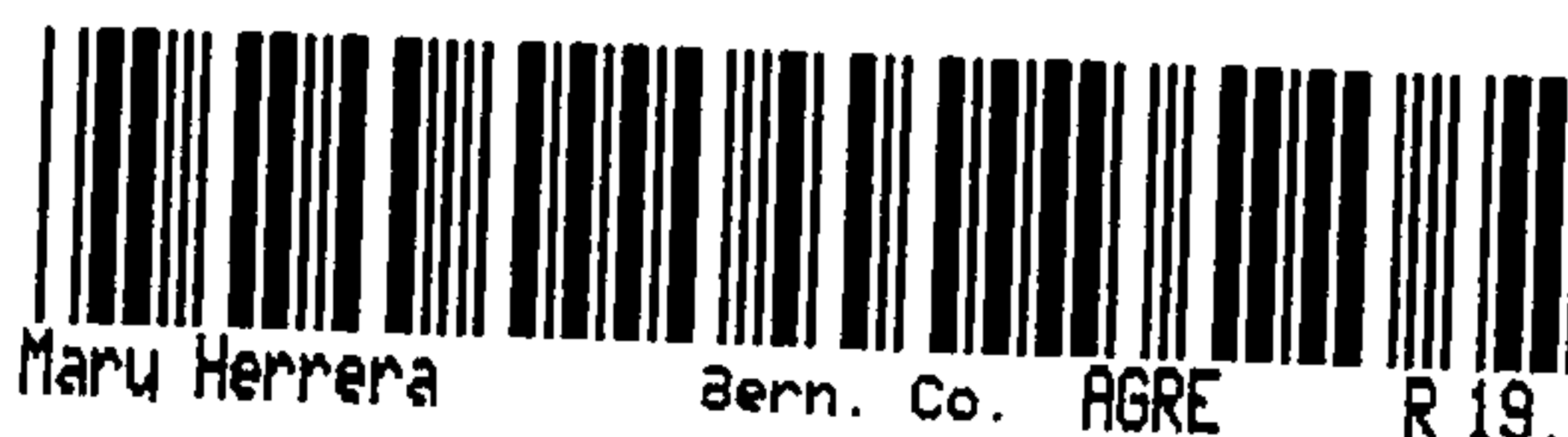
5. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guaranty:"

Type of Financial Guaranty: Letter of Credit #7070139
Amount: \$222,190.66 Name of Financial Institution or Surety
Date City first able to call Guaranty: February 22, 2007
[Construction Completion Deadline]: February 22 20 07
If Guaranty other than a Bond, last day City able to call Guaranty is:
April 22, 2007
Additional information: _____

6. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange or a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the public Improvements and a Certificate of Completion for the private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Subdivider has provided to assure the materials and workmanship, as required by the Subdivision Ordinance. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.



8. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon or in which the public Improvements are constructed, the Subdivider will convey to the City all real and personal property rights which the City deems reasonably necessary, and all public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision.

9. Reduction of Financial Guaranty Upon Partial Completion. The Subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the Development Process Manual, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guarantee other than a loan reserve letter has been provided, the completed Improvements must be free-standing, functionally independent of any Improvements which have not yet been completed and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements which have been completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the subdivider must submit the following documents to the City for review and approval:

(1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;

(2) A bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the Subdivision Ordinance.

(3) Conveyance of real and personal property rights which meet the requirements of section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed public Improvements and a Certificate of Partial Completion for the completed private Improvements.

10. Indemnification. Until the Improvements are accepted by the City, the Subdivider shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Subdivider agrees to defend, indemnify and hold harmless the City and its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Subdivider, its agents, representatives, contractors or subcontractors or arising from the failure of the Subdivider, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Subdivider herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.



11. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has entered into a Subdivision Improvements Agreement with the City. Thereafter, if the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to any Financial Guaranty.

14. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

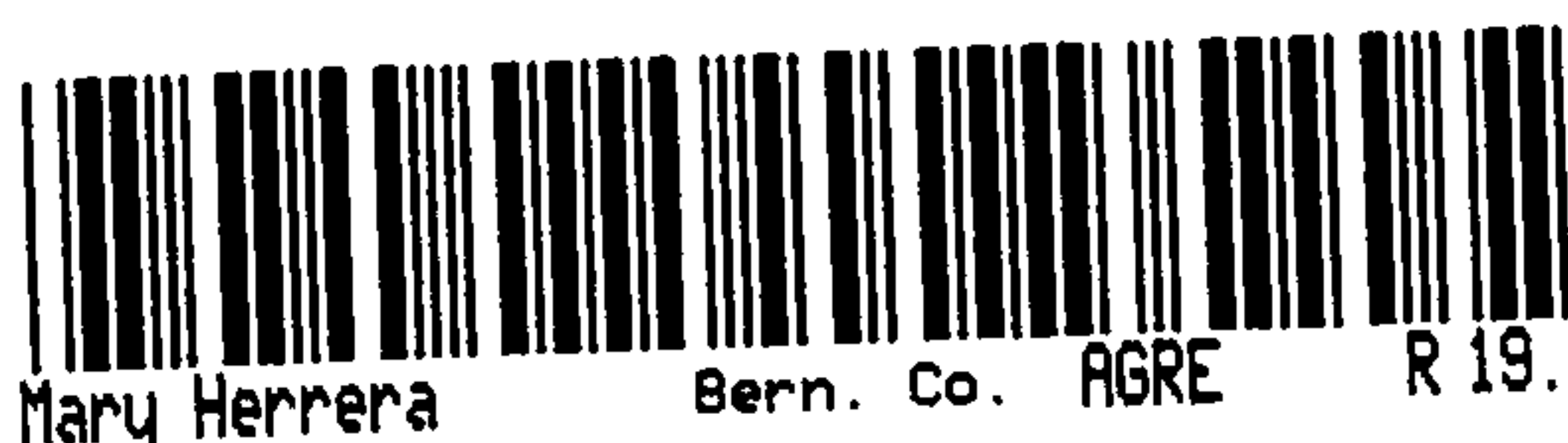
17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the subdivider and signed by the City's Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.



Executed on the date stated in the first paragraph of this Agreement.

SUBDIVIDER:
By [Signature]: [Signature]
Name: William M. Johnston
Title: Member
Dated: 4-12-06

CITY OF ALBUQUERQUE
[Signature]
City Engineer
Dated: 5-01-06

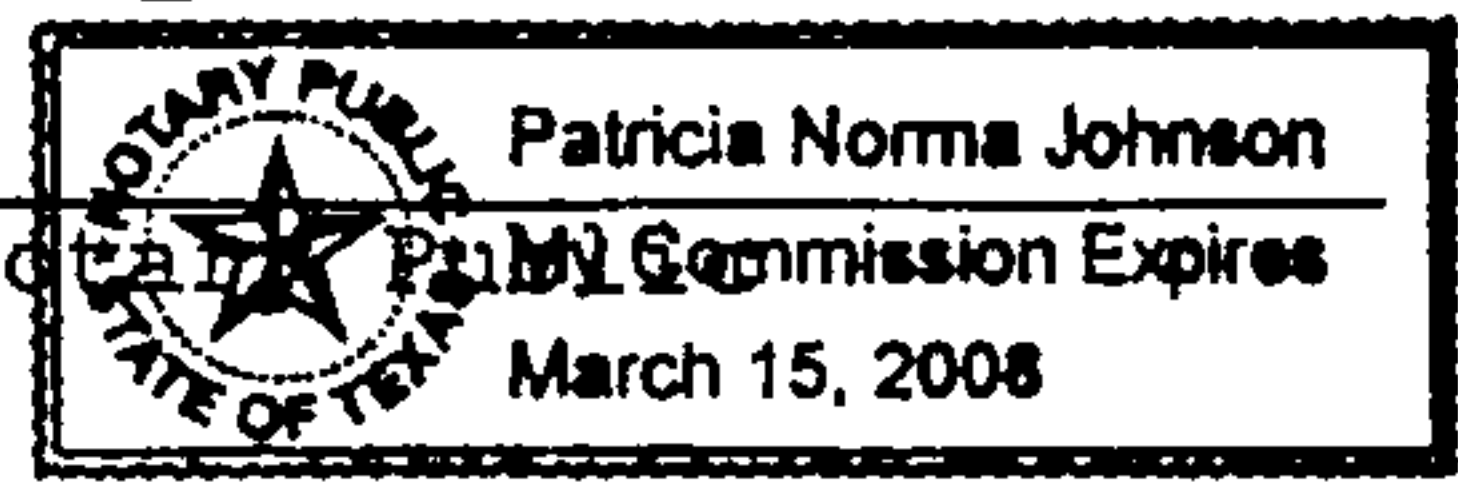
[Signature] 4-19-06

SUBDIVIDER'S NOTARY

STATE OF Texas)
) ss.
COUNTY OF Kerr)

This instrument was acknowledged before me on 12th day of April, 2006 by [name of person:] William M. Johnston [title or capacity, for instance, "President" or "Owner":] member of [Subdivider:] Johnston Real Estate Albuquerque, LLC

My Commission Expires: 3/15/08



CITY'S NOTARY

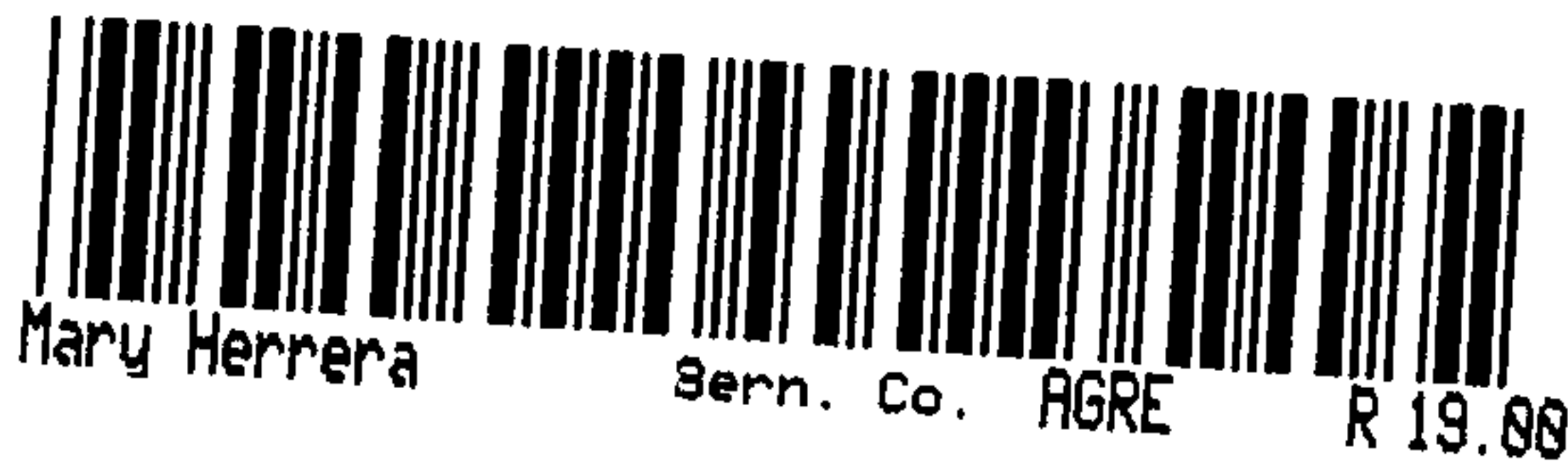
STATE OF NEW MEXICO)
) ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on 1st day of May, 2006 by Richard Bourte, City Engineer of the City of Albuquerque, a municipal corporation, on behalf of said corporation.

[Signature]
Notary Public

My Commission Expires: 11-25-2007

EXHIBIT A AND POWER OF ATTORNEY ATTACHED



6313.87

SPECIAL POWER OF ATTORNEY

(Concerning Hamilton-Hise Properties, LLC: Subdivision Improvements Agreement)

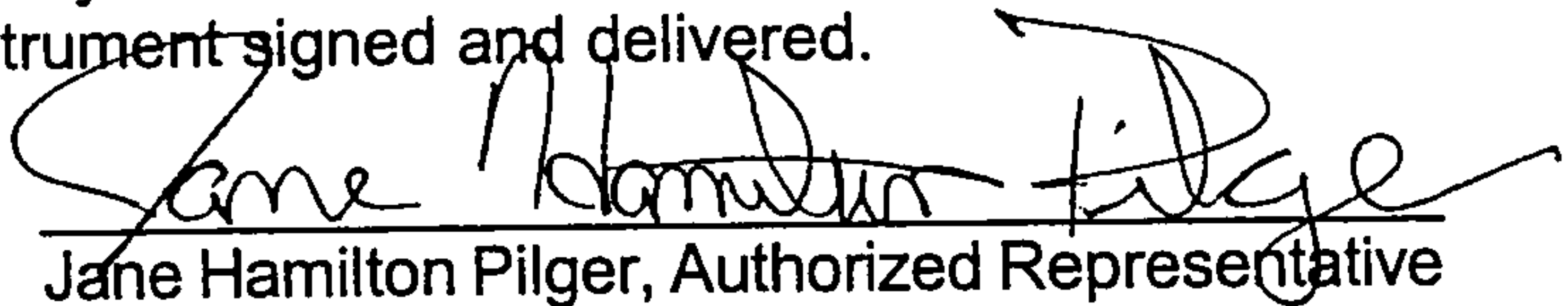
HAMILTON-HISE PROPERTIES, LLC, a New Mexico limited liability company ("Owner"), by and through its Manager, NEWMORE, LLC, a New Mexico limited liability company, acting through JANE HAMILTON PILGER, its authorized representative, by these presents does hereby make, constitute, and appoint **JOHNSTON REAL ESTATE ALBUQUERQUE, LLC**, a New Mexico limited liability company, having an address of 120 Harper Road, Kerrville, TX 78028, as the true and lawful agent and attorney-in-fact for Owner, in the name, place and stead of Owner, to take the following action:

To execute as "Subdivider" and present to the City of Albuquerque, on behalf of Owner, the Subdivision Improvements Agreement – Public and/or Private (Procedure B) concerning the lands owned by Principal identified as Tracts A, B, C and D, Hise Lands, as shown on the Plat recorded on September 22, 2005, in the records of the Bernalillo County Clerk at Book 2005C, Page 31, and which lands are also identified as Project 6313.87, which is the subject of the preliminary plat for Tracts A-1 & B-1, Hise Lands, submitted to the City of Albuquerque.

This Special Power of Attorney shall not terminate on disability of the undersigned. It is the intention of Owner that the City of Albuquerque shall be entitled to rely on the powers granted herein in connection with the matter described above.

A copy of this document delivered by facsimile transmission or email shall have the same force and effect as an original instrument signed and delivered.

Signed:



Jane Hamilton Pilger, Authorized Representative of NEWMORE, LLC, Manager of HAMILTON-HISE PROPERTIES, LLC

STATE OF NEW MEXICO

§
§
§

COUNTY OF BERNALILLO

THIS INSTRUMENT was acknowledged before me on April 17, 2006, by JANE HAMILTON PILGER, Authorized Representative of NEWMORE, LLC, a New Mexico limited liability company, Manger of HAMILTON-HISE PROPERTIES, LLC, a New Mexico limited liability company.


Notary Public, State of New Mexico

My Commission Expires: 07-31-07



Mary Herrera

Bern. Co. PAT

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Page: 1 of 1

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FINANCIAL GUARANTY AMOUNT

03/24/2006

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

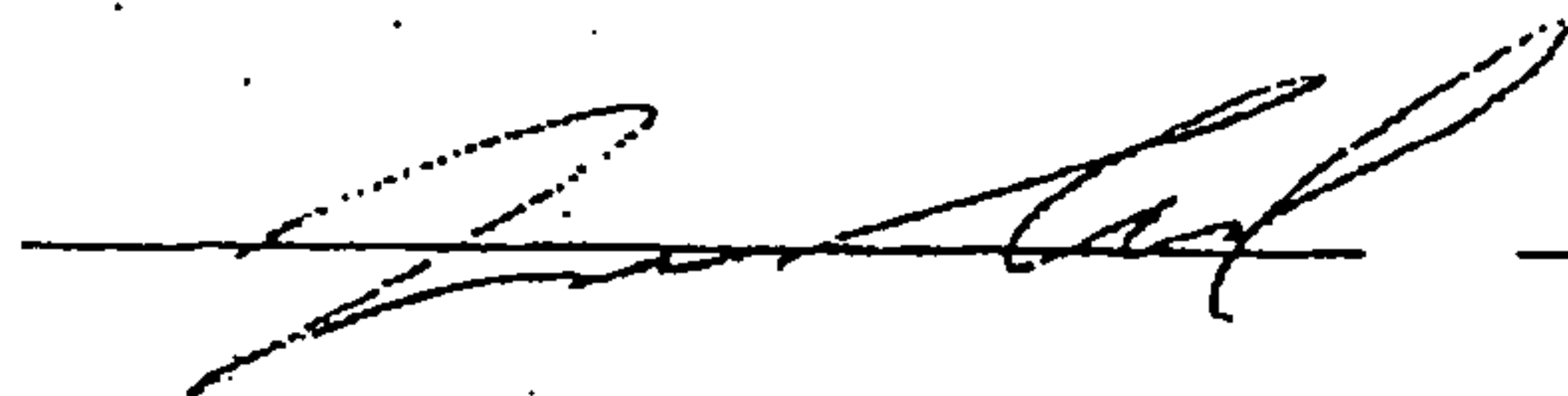
Project ID #: 631387, Hise Lands Roadway/Bikeway Improv'ts, Phase/Unit

Requested By: Jeffrey Wooten, PE w/ BHI

Approved estimate amount:		\$139,388.00
Contingency Amount:	10.00%	\$13,938.80
Subtotal:		\$153,326.80
NMGRT	6.75%	\$10,349.56
Subtotal:		\$163,676.36
Engineering Fee	6.60%	\$10,802.64
Testing Fee	2.00%	\$3,273.53
Subtotal:		\$177,752.53
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$0.00
TOTAL FINANCIAL GUARANTY REQUIRED		<u>\$222,190.66</u>

APPROVAL:

DATE:



3-24-06

Notes: 10% contingency, plans not approved. NMDOT driveway permit required prior to release of financial guaranty.

April 7, 2006

IRREVOCABLE LETTER OF CREDIT NUMBER 7070139

AMOUNT: \$222,190.66

Mr. Bruce Perlman
Chief Administrative Officer
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE: Letter of Credit for Johnston Real Estate Albuquerque, LLC
City of Albuquerque Project No.: 631387
Project Name: Hise Lands Roadway/Bikeway Improv'ts, Phase/Unit

Dear Mr. Perlman:

This letter is to advise the City of Albuquerque ("City") that, at the request of, Johnston Real Estate Albuquerque, LLC, Bank of The Hills, N.A. in Kerrville, Texas, has established an Irrevocable Letter of Credit in the sum of Two Hundred Twenty-Two Thousand One Hundred Ninety and 66/100#----- (\$222,190.66) ("Letter of Credit") for the exclusive purpose of providing the financial guarantee which the City requires Johnston Real Estate Albuquerque, LLC to provide for the installation of the improvements which must be constructed at Hise Lands Roadway/ Bikeway Improvements, Project No. 631387 ("Project"). The amount of the Letter of Credit is 125% of the City's estimated cost of construction of improvements as required by the City's Subdivision Ordinance. The improvements are identified in the agreement between the City of Albuquerque and Subdivider, which was recorded on May 4th, 2006 in the records of the Clerk of Bernalillo County, New Mexico in Book Misc. A116, at pages 4183 to 4183 as amended ("Agreement").

A Draft or Drafts for any amount up to, but not in excess of Two Hundred Twenty-Two Thousand One Hundred Ninety and 66/100#-----(\$222,190.66) is/are available at sight at Bank of The Hills, N.A., 1075 Junction Highway, Kerrville, TX 78028 between February 22, 2007 (Construction Completion Deadline date established in Agreement) and April 22, 2007 (60 days thereafter).

Letter of Credit 7070139
Johnston Real Estate Albuquerque, LLC
For Benefit City of Albuquerque
April 7, 2006
Page 2

When presented for negotiation, the Draft(s) is/are to be accompanied by the City's notarized certification stating "1) Johnston Real Estate Albuquerque, LLC has failed to comply with the terms of the Agreement; 2) the undersigned is the Chief Administrative Officer of the City of Albuquerque and is authorized to sign this certification; and 3) the amount of the Draft does not exceed 125% of the City's estimated cost of completing the improvements specified in the Agreements."

We hereby agree with the drawer of Draft(s) drawn under and in compliance with the terms of this credit that such Draft(s) will be duly honored upon presentation to the drawee if negotiated between February 22, 2007, (Construction Completion Deadline date established in the Agreement) and April 22, 2007 (60 days thereafter).

The Draft(s) drawn under this credit must contain the clause: "Drawn under Letter of Credit and Agreement No.7070139 of Bank of The Hills, N.A., Kerrville, TX, dated April 7, 2006 and the original Letter of Credit must be endorsed on the reverse side with the amount of each draft. This Letter of Credit must accompany each draft and be attached to the draft which exhausts this credit.

This Letter of Credit for the benefit of the City of Albuquerque shall be irrevocable until:

1. Sixty (60) days after the City accepts the completed improvements specified in the Agreement; or
2. City notification of Johnston Real Estate Albuquerque, LLC failure to comply with the terms of the Agreement, and payment by Certified Check from Bank of The Hills, N.A. to the City of Albuquerque of 125% of the City's estimated costs of completing the improvements specified in the Agreement (see Exhibit "A" attached hereto and made a part hereof for all purposes); in an amount not to exceed \$222,190.66; or
3. Expiration of the date April 22, 2007 (60 days after Construction Completion Deadline; or
4. Written termination of this Letter of Credit by the City of Albuquerque, signed by its Chief Administrative Officer.

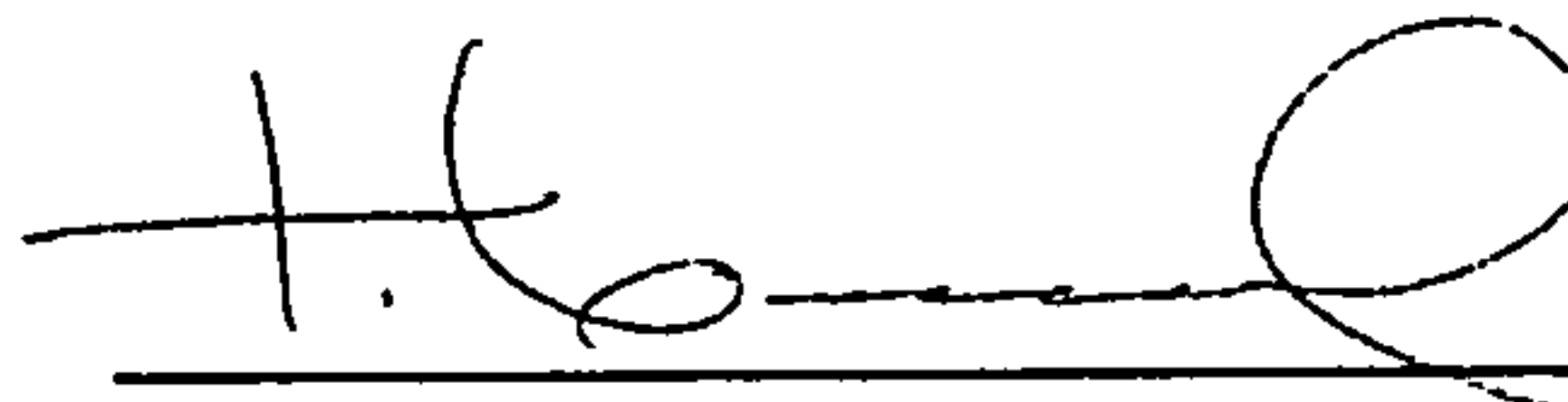
Letter of Credit 7070139
Johnston Real Estate Albuquerque, LLC
For Benefit City of Albuquerque
April 7, 2006
Page 3

This Letter of Credit will terminate at 3:00 p.m. central time,
April 22, 2007 (date 60 days after Construction Completion Deadline).

This credit is subject to the Uniform Customs and Practice for
Documentary Credits (1993 Revision), International Chamber of Commerce
Publication No. 500.

Very truly yours,

Bank of The Hills, N.A.

By: 
Name: Tom Gould,
Title: Executive Vice President

ACCEPTED:

CITY OF ALBUQUERQUE

By: 
Chief Administrative Officer

Dated: 5-01-06

KJ 5/1/06

JW
4-14-06

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: Feb 14, 2006

Date Site Plan Approved: 02-22-06

Date Preliminary Plat Approved: 02-22-06

Date Preliminary Plat Expires: 02-22-07

DRB Project No.: 1001946

DRB Application No.: 06 DRB-00223

06 DRB-00221

INFRASTRUCTURE LIST

(Rev. 9-20-05)

EXHIBIT "A"

TO SUBDIVISION IMPROVEMENTS AGREEMENT

DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Replat of Hise Lands

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

Hise Lands

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

*File Exhibit A
w/ Financial Guaranty
& City Clerk*

PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process on drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items as a condition of guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related items. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated into the listing. Unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of approval by the City.

Size	Type of Improvement	Location	From	To	Construction Certification		
					Private Inspector	P.E.	City Const Engineer
8' Wide	Asphalt Bike Trail (approx. 500 LF)	Between Tract A-1 and Tract B-1	Exist. Trail behind Target	I-25 Frontage Rd	/	/	/
	Permanent Access Permit from NMDOT	South Edge Tract B-1 at Frontage Road			/	/	/
26' wide	Reconstruction of Access Road	Tract B-1	I-25 Frontage Rd	Target Site	/	/	/
					/	/	/
					/	/	/
					/	/	/
					/	/	/
					/	/	/
					/	/	/
					/	/	/
					/	/	/

The items listed below are on the CCIP and approved for Impact Fee credits. Signatures from the Impact Fee Administrator and the City User Department is required prior to DRB approval of this listing. The items listed below are subject to the standard SIA requirements.

Financially Guaranteed DRC #	Constructed Under DRC #	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnet Engineer
							/	/	/
							/	/	/
Approval of Creditable Items:							Approval of Creditable Items:		
Impact Fee Administrator Signature Date							City User Dept. Signature Date		

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.

Street lights per City requirements.

- 1 NMIST DRIVEWAY PERMIT REQD PRIOR TO RELEASE OF FINANCIAL GUARANTEE
- 2 _____
- 3 _____

AGENT / OWNER

Jeffrey T. Wooten, P.E.
NAME (print)

Bohannon Huston
FIRM

JTW
SIGNATURE - date 2/14/06

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

[Signature] 2/22/06 DRB CHAIR - date
Christina Sandoval 2/22/06 PARKS & RECREATION - date

[Signature] 7-22-06
TRANSPORTATION DEVELOPMENT - date

William J. Balch 7/27/06
UTILITY DEVELOPMENT - date

Bradley L. Bingham 2/22/06
CITY ENGINEER - date

AMAFA - date

_____ - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER

Current DRC
Project Number: _____

FIGURE 12

Date Submitted: Feb 14, 2006
 Date Site Plan Approved: 02-22-06
 Date Preliminary Plat Approved: 02-22-06
 Date Preliminary Plat Expires: 02-22-07
 DRB Project No.: 1001946
 DRB Application No.: 06DRB-00223
06DRB-00221

ORIGINAL

INFRASTRUCTURE LIST
 (Rev. 9-20-05)
 EXHIBIT "A"
 TO SUBDIVISION IMPROVEMENTS AGREEMENT
 DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Replat of Hise Lands
 PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN
Hise Lands
 EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

Financially Guaranteed	Constructed Under	Size	Type of Improvement	Location	From	To	Construction Certification		
							Private Inspector	P.E.	City Cnst Engineer
<input type="text"/>	<input type="text"/>	<u>10'</u> Wide	Asphalt Bike Trail (approx. 500 LF)	Between Tract A-1 and Tract B-1	Exist. Trail behind Target	I-25 Frontage Rd	/	/	/
<input type="text"/>	<input type="text"/>		Permanent Access Permit from NMDOT	South Edge Tract B-1 at Frontage Road			/	/	/
<input type="text"/>	<input type="text"/>	<u>26' wide</u>	Reconstruction of Access Road	Tract B-1	I-25 Frontage Rd	Target Site	/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/
<input type="text"/>	<input type="text"/>						/	/	/

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							Private Inspector	P.E.	City Crst Engineer	
<input type="text"/>	<input type="text"/>						/	/	/	
<input type="text"/>	<input type="text"/>						/	/	/	
							Approval of Creditable Items:		Approval of Creditable Items:	
							Impact Fee Administrator Signature Date		City User Dept. Signature Date	

NOTES

If the site is located in a floodplain, then the financial guarantee will not be released until the LOMR is approved by FEMA.
Street lights per City requirements.

- 1 NMIST DRIVEWAY PERMIT REQD PRIOR TO RELEASE OF FINANCIAL GUARANTEE
- 2 _____
- 3 _____

AGENT / OWNER

Jeffrey T. Wooten, P.E.
NAME (print)

Bohannon Huston
FIRM

JTW
SIGNATURE - date 2/14/06

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

[Signature] 2/22/06 DRB CHAIR - date
Christina Sandoval 2/22/06 PARKS & RECREATION - date

[Signature] 7-22-06
TRANSPORTATION DEVELOPMENT - date

William J. Balch 2/22/06
UTILITY DEVELOPMENT - date

Bradley L. Bingham 2/22/06
CITY ENGINEER - date

AMAFCA - date

- date

- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT / OWNER



SUBDIVISION	Supplemental form S	ZONING & PLANNING	Z
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation	
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal	
<input checked="" type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)	
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)	
<input type="checkbox"/> ... for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan	
<input type="checkbox"/> ... for Building Permit		<input type="checkbox"/> Text Amendment	
<input type="checkbox"/> IP Master Development Plan		APPEAL / PROTEST of...	A
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: NEWMORE LLC. PHONE: 828-1212
 ADDRESS: 9909 DESERT MOUNTAIN RD NE FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87122 E-MAIL: _____
 Proprietary interest in site: OWNER
 AGENT (if any): BOHANNAN HUSTON INC. PHONE: 823-1000
 ADDRESS: 7500 JEFFERSON NE FAX: 798-7988
 CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: _____

DESCRIPTION OF REQUEST: VACATION OF PUBLIC EASEMENTS

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACTS A,B,C,&D Block: _____ Unit: _____
 Subdiv. / Addn. HISE LANDS
 Current Zoning: M-1 (SC) Proposed zoning: _____
 Zone Atlas page(s): D-18 No. of existing lots: 6 No. of proposed lots: 4
 Total area of site (acres): 5.5917 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO
 UPC No. 101806309540920623 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: PASEO DEL NORTE BLVD.
 Between: I-25 and SAN PEDRO BLVD. NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_,Z_, V_, S_, etc.): DRB# 1001946/05DRB-01347

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Jeff Wooten DATE 1/20/2006
 (Print) JEFF WOOTEN Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 10/03

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>06DRB - - 00083</u>	<u>VPE</u>	<u>✓</u>	<u>\$ 135.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CMF</u>	_____	<u>\$ 20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	<u>ADV</u>	_____	<u>\$ 75.00</u>
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>2/15/06</u>	_____	_____	Total
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	<u>\$ 230.00</u>
Planner signature / date <u>Li Sisy 1/20/06</u>				Project # <u>1001946</u>

FORM V: SUBDIVISION VARIANCES & VACATIONS

BULK LAND VARIANCE (PUBLIC HEARING CASE)
Application for subdivision (Plat) on FORM S-3, including those submittal requirements. 24 copies of the plat are required.
Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived.
Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
Sign Posting Agreement
Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
Any original and/or related file numbers are listed on the cover application
DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

VACATION OF PUBLIC RIGHT-OF-WAY
 VACATION OF PUBLIC EASEMENT
The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies. (Not required for dedicated and City owned public right-of-way.)
Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (not to exceed 8.5" by 14") 24 copies
Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
Letter briefly describing, explaining, and justifying the request
Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
Sign Posting Agreement
Fee (see schedule)
Any original and/or related file numbers are listed on the cover application
Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB Public hearings are approximately ONE MONTH after the filing deadline. Your attendance is required.

SUBDIVISION DESIGN VARIANCE (VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL)
 SIDEWALK DESIGN VARIANCE
 SIDEWALK WAIVER
Scale drawing showing the proposed variance or waiver (not to exceed 8.5" by 14") 6 copies for unadvertised meetings. These actions are not approved through internal routing.
Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
Letter briefly describing, explaining, and justifying the variance or waiver
Any original and/or related file numbers are listed on the cover application
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION
 EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION
Drawing showing the sidewalks subject to the proposed deferral or extension (not to exceed 8.5" by 14") 6 copies for unadvertised meetings. These actions are not approved through internal routing.
Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
Letter briefly describing, explaining, and justifying the deferral or extension
Any original and/or related file numbers are listed on the cover application
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

VACATION OF PRIVATE EASEMENT
The complete document which created the private easement (not to exceed 8.5" by 14") 6 copies for unadvertised meetings. These actions are not approved through internal routing.
Scale drawing showing the easement to be vacated, its relation to existing streets, etc.(not to exceed 8.5" by 14") 6 copies
Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
Letter briefly describing, explaining, and justifying the vacation
Letter of authorization from the grantors and the beneficiaries
Fee (see schedule)
Any original and/or related file numbers are listed on the cover application
Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire.
DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

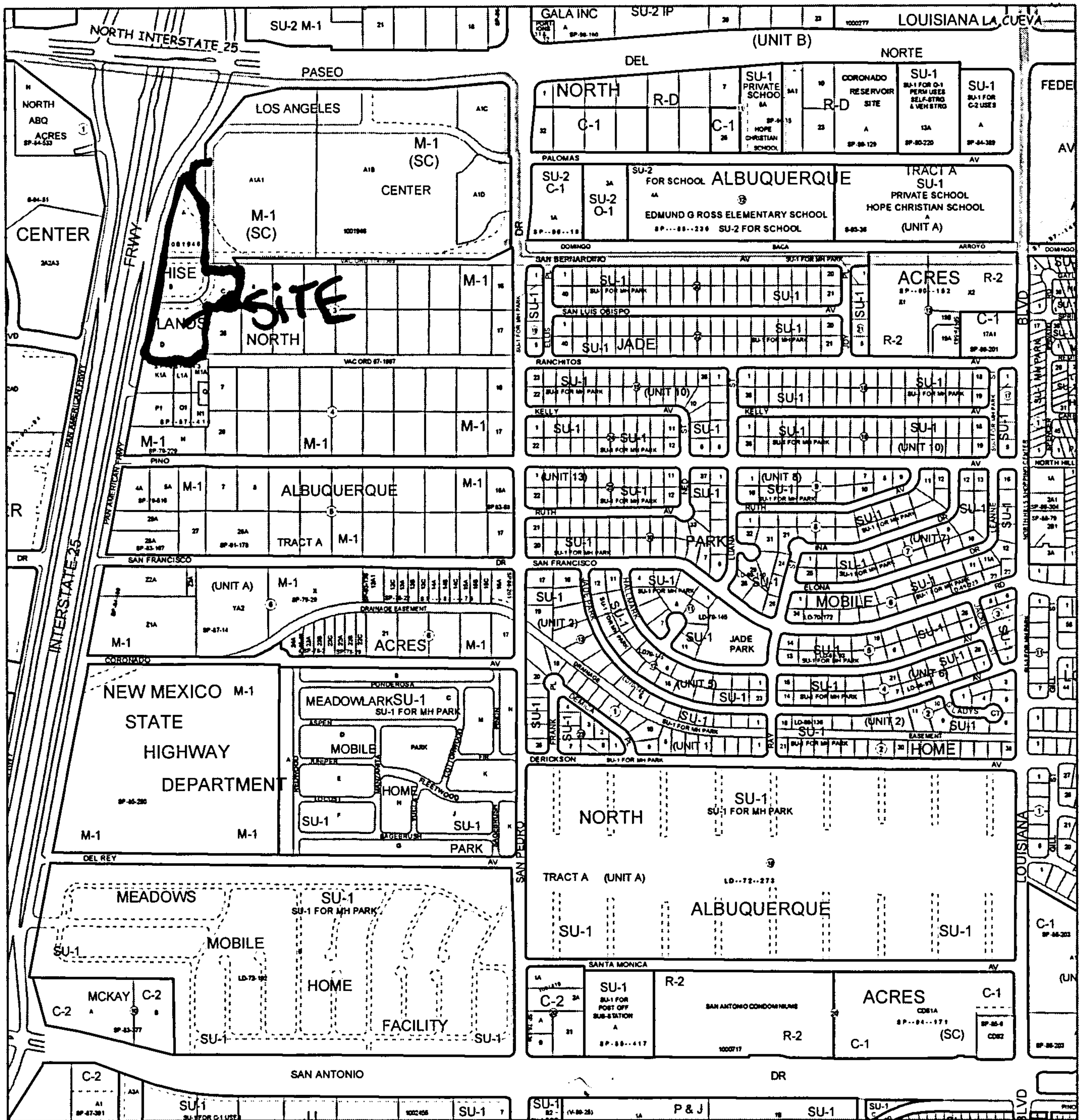
Jeff Wooten
Applicant name (print)
Stephanie Wooten
Applicant signature / date
1/20/2006



Form revised 4/03, 10/03 and JUNE 2005

Checklists complete
 Fees collected
 Case #s assigned
 Related #s listed
Application case numbers
06DRB- - 00083

Kim Sims
Planner signature / date
1/20/06
Project # 1001946



For more current information and more details visit: <http://www.cabq.gov/gis>

Albuquerque Geographic Information System

Map amended through: 11/2/2005

Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
D-18-Z

Selected Symbols

	SECTOR PLANS		Escarpment
	Design Overlay Zones		2 Mile Airport Zone
	City Historic Zones		Airport Noise Contours
	H-1 Buffer Zone		Wall Overlay Zone
	Petroglyph Mon.		

0 750 1,500 Feet

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

January 20, 2006

Sheran Matson, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103

Re: Vacation of public easements
Tracts A, B, C, & D Hise Lands DRB# 1001946 05DRB-01347

Dear Sheran:

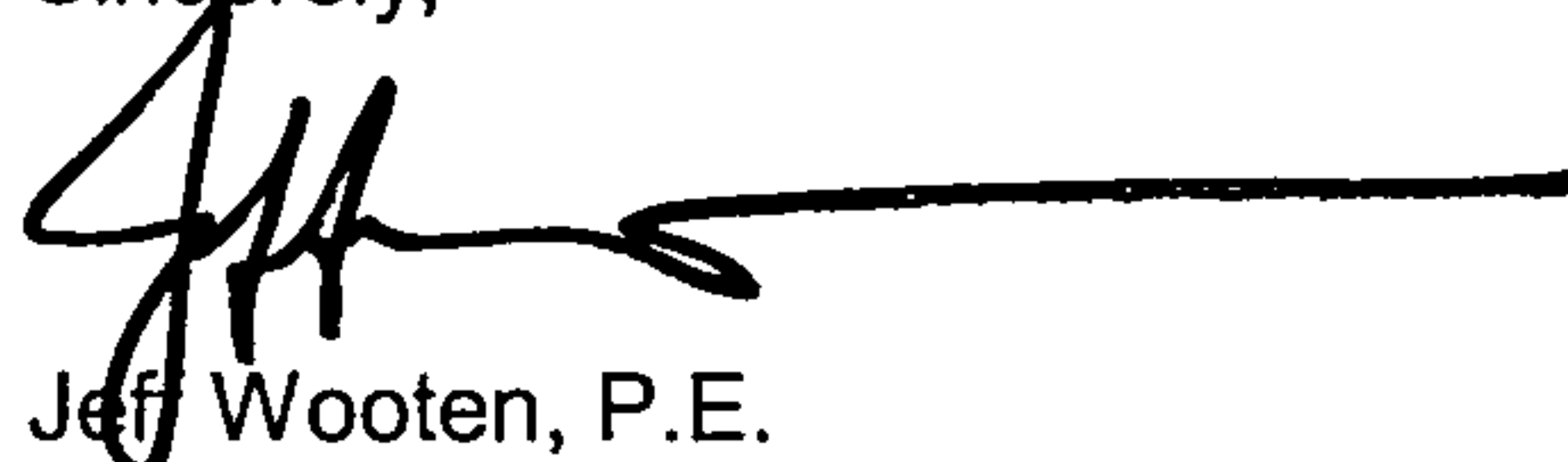
Enclosed for review and approval by the Development Review Board (DRB) are copies of the following information:

- Development Review Applications
- Twenty-four (24) copies of the Location of Request for the vacation of easements (Exhibit "A")
- Letter from the Office of Neighborhood Coordination and related data,
- Zone Atlas Map showing the location of the property, and
- Fee in the amount of \$230.00

The project will consist of a new furniture showroom. A replat and Site Plan for Building Permit will be submitted to DRB within the next couple weeks and will show the new property boundaries and locations of the Access and PNM easements. We have already contacted PNM regarding the relocation of lines within the easement and a contract is in the process of execution.

Please place this item on the DRB Agenda to be heard on February 15, 2006. If you have any questions or require further information, please contact me.

Sincerely,



Jeff Wooten, P.E.
Project Manager
Community Development and Planning Group

ENGINEERING ▲

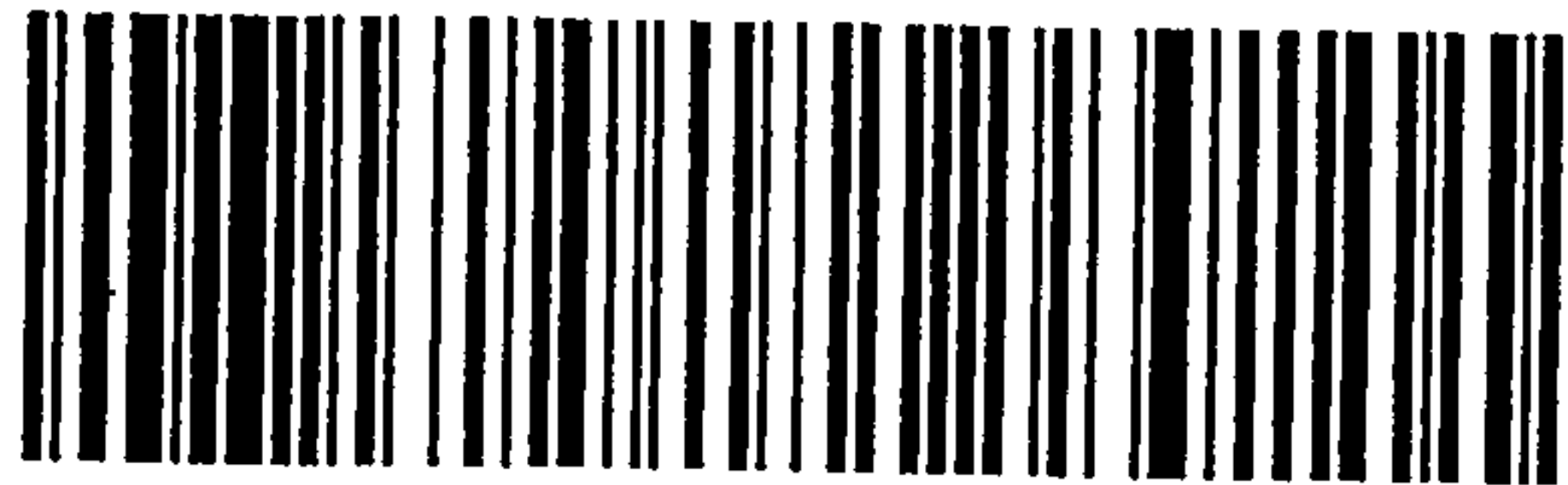
SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

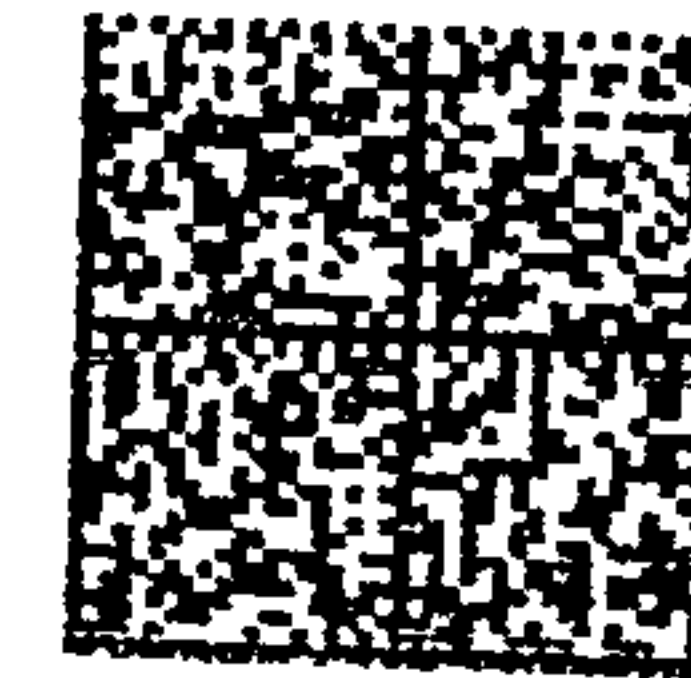


HUSTON, INC.
PERSON, NE
QUE, NM 87109

CERTIFIED MAIL



91 7108 2133 3931 3069 8302



UNITED STATES POSTAGE
PHILLY BOWLS
02 1P \$04.88⁰⁰
0002368945 JAN 20 2006
MAILED FROM ZIP CODE 87109

Is your RETURN ADDRESS completed on the reverse side?

SENDER:

- Complete items 1 and/or 2 for additional services.
- Complete items 3, 4a, and 4b.
- Print your name and address on the reverse of this form so that we can return this card to you.
- Attach this form to the front of the mailpiece, or on the back if space does not permit.
- Write "Return Receipt Requested" on the mailpiece below the article number.
- The Return Receipt will show to whom the article was delivered and the date delivered.

I also wish to receive the following services (for an extra fee):

- 1. Addressee's Address
- 2. Restricted Delivery

Consult postmaster for fee.

3. Article Addressed to:

haren casaus
6708 San Bernardino NE
Albuquerque, NM 87109

4a. Article Number

4b. Service Type

- Registered
- Express Mail
- Return Receipt for Merchandise
- Certified
- Insured
- COD

7. Date of Delivery

5. Received By: (Print Name)

8. Addressee's Address (Only if requested and fee is paid)

6. Signature: (Addressee or Agent)

X

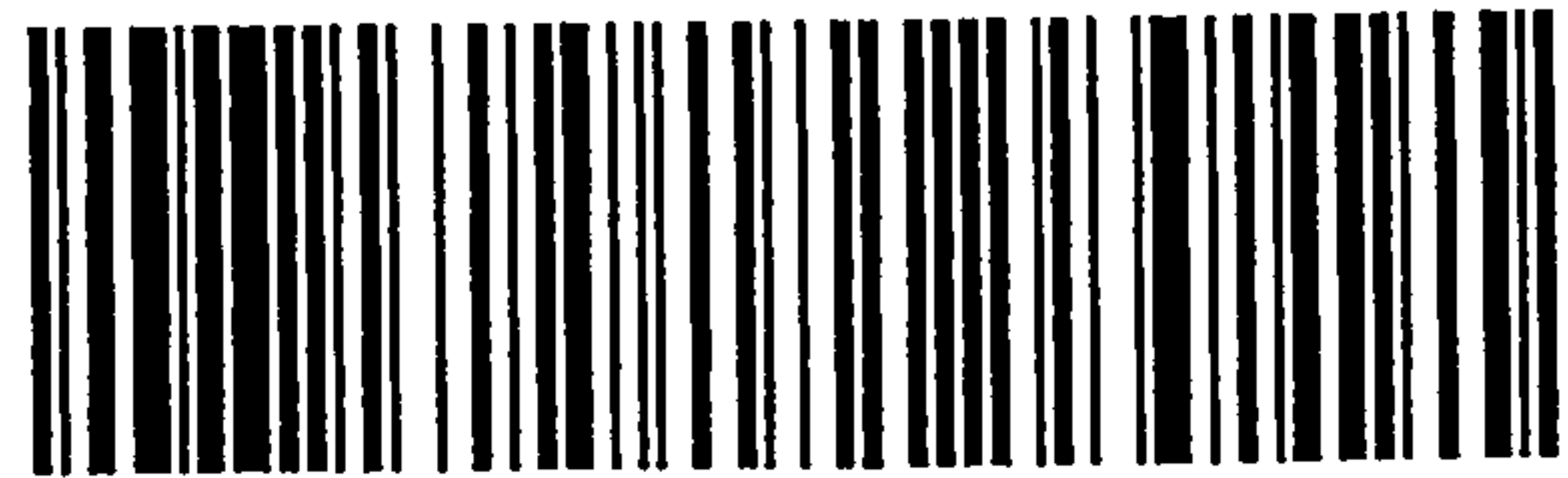
PS Form 3811, r

91 7108 2133 3931 3069 8302

Return Receipt

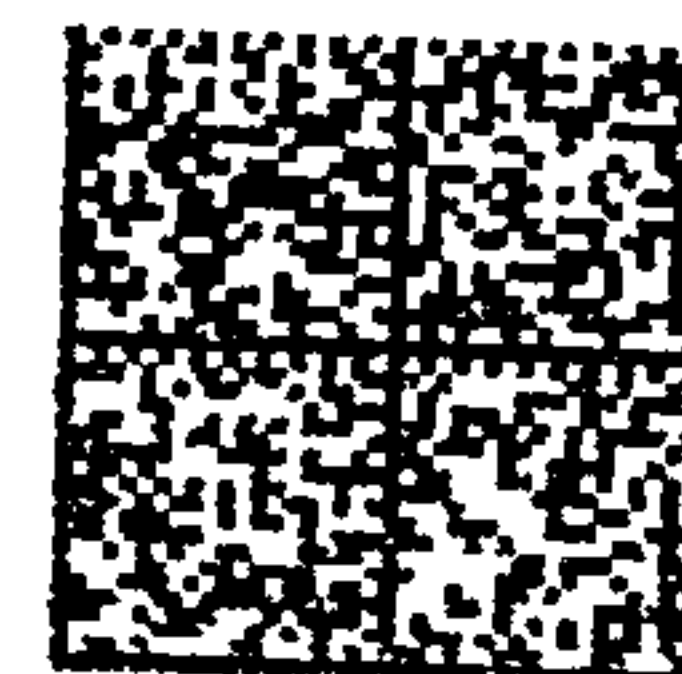
Thank you for using Return Receipt Service.

CERTIFIED MAIL



91 7108 2133 3931 3069 8319

HUSTON, INC.
PERSON, NE
UE, NM 87109



UNITED STATES POSTAGE
PITNEY BOWES
02 1P \$04.88⁰⁰
0002368945 JAN 20 2006
MAILED FROM ZIP CODE 87109

Is your RETURN ADDRESS completed on the reverse side?

SENDER:

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- The Return Receipt will show to whom the article was delivered and the date delivered.

I also wish to receive the following services (for an extra fee):

- 1. Addressee's Address
- 2. Restricted Delivery

Consult postmaster for fee.

3. Article Addressed to:

John Stutzman
6800 Jack Park NE
Albuquerque, NM 87109

4a. Article Number

4b. Service Type

- Registered Certified
- Express Mail Insured
- Return Receipt for Merchandise COD

7. Date of Delivery

5. Received By: (Print Name)

8. Addressee's Address (Only if requested and fee is paid)

6. Signature: (Addressee or Agent)

X

Thank you for using Return Receipt Service.

PS Form 3811, 7

91 7108 2133 3931 3069 8319

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL/RETURN RECEIPT REQUESTED

January 19, 2006

Ms. Karen Casaus
6708 San Bernadino NE
Albuquerque, New Mexico 87109

RE: Vacation of public easements
Tracts A, B, C, & D Hise Lands

Dear Ms. Casaus:

The City of Albuquerque's Office of Neighborhood Coordination has informed us that you are a representative of the Jade Park Neighborhood Association.

This letter is to advise you that Bohannan Huston, Inc., agent for Newmore LLC., is seeking approval of vacation of public easements for Tracts A, B, C, & D Hise Lands from the City of Albuquerque's Development Review Board (DRB).

Enclosed for your review and information is a copy of the zone atlas page with the site highlighted and a copy of the vacation exhibit that was submitted to the DRB. Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,

for Stephanie Walton

Jeffrey T. Wooten
Project Manager
Community Development and Planning Group

SS
Enclosure

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲

Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

CERTIFIED MAIL/RETURN RECEIPT REQUESTED

January 19, 2006

Mr. John Stutzman
6800 Jade Park NE
Albuquerque, New Mexico 87109

RE: Vacation of public easements
Tracts A, B, C, & D Hise Lands

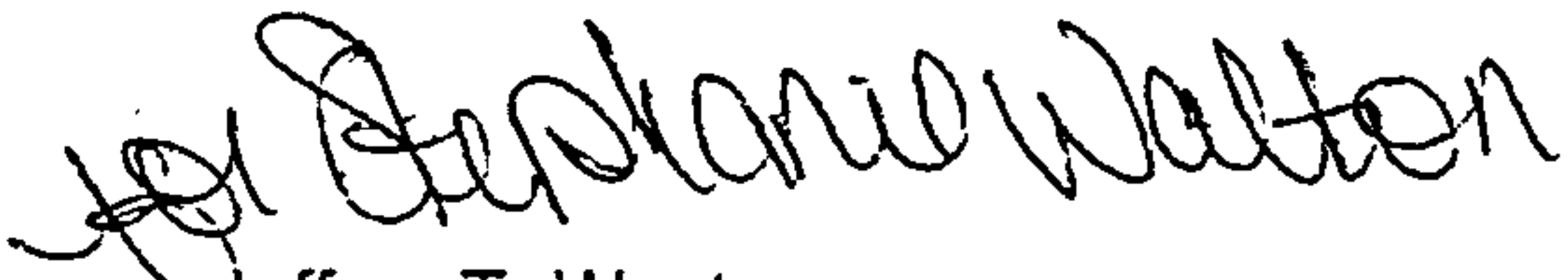
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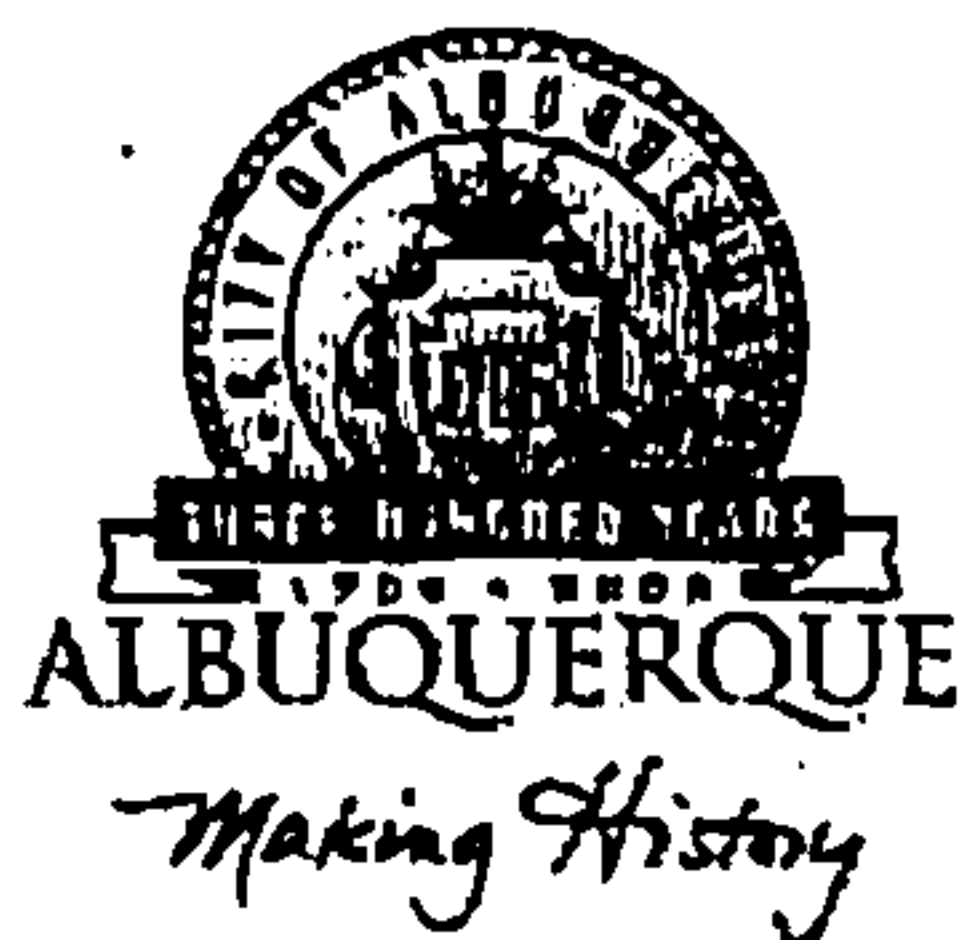
Enclosed for your review and information is a copy of the zone atlas page with the site highlighted and a copy of the vacation exhibit that was submitted to the DRB. Please feel free to contact me if you have any questions regarding this matter or need information as to the date and time of the public hearing.

Sincerely,



Jeffrey T. Wooten
Project Manager
Community Development and Planning Group

SS
Enclosure



City of Albuquerque

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

January 19, 2006

Stephanie Walton
Bohannon Huston
7500 Jefferson St. NE/87109
Phone: 823-1000 Fax: 798-7988

Dear Stephanie:

Thank you for your inquiry of **January 19, 2006** requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **TRACTS A, B, C, AND D HISE LANDS** zone map **D-18**.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

- JADE PARK N.A. (JPK) "R"**
- ***Karen Casaus**
6708 San Bernardino NE/87109 822-1493 (h)
John Stutzman
6800 Jade Park NE/87109 796-0593 (h)

See reverse side for additional Neighborhood Association Information: YES { } NO {X}
Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested**, before the Planning Department will accept your application filing. **IMPORTANT!** Failure of adequate notification may result in your **Application Hearing being deferred for 30 days**. If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Stephanie Walton
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

LETTERS MUST BE SENT TO BOTH CONTACTS OF EACH NEIGHBORHOOD ASSOCIATION

NOTICE TO APPLICANTS

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT.** Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
5. The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

(Below this line for ONC use only)

Date of Inquiry: 1/19/06 Time Entered: 9:20 AM ONC Rep. Initials: SW

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME NEW MORE LLC
 AGENT BOHANNAN HUSTON
 ADDRESS _____
 PROJECT & APP # 106 1946 / 00083
 PROJECT NAME HISE LANDS

DUPLICATE
 City of Albuquerque
 Treasury Division

1/20/2006 10:04AM LOC: ANNX
 RECEIPT# 00051265 WSH 008 TRANSH 0006
 Account 441018 Fund 0110
 Activity 4971000 TRSCCS
 Trans Amt \$230.00
 J24 Misc

CK \$75.00
 CHANGE \$230.00
 \$0.00
 Thank You

- \$ 20.00 441032/3424000 Conflict Management Fee
- \$ 135.00 441006/4983000 DRB Actions
- \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
- \$ 75.00 441018/4971000 Public Notification
- \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
- \$ 230.00 TOTAL AMOUNT DUE

*****NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.**

Bohannan & Huston INC.

COURTYARD 17500 JEFFERSON STREET NE
 ALBUQUERQUE, NM 87109-4335

BANK OF AMERICA
 ALBUQUERQUE, NEW MEXICO 137093
 95-32 / 1070

1/19/2006

NO. 137093

DUPLICATE
 City of Albuquerque
 Treasury Division

*****00
 DOLLARS & CENTS

1/20/2006 BOHANNAN HUSTON INC LOC: ANNX
 RECEIPT# 00051263 WSH 008 TRANSH 0006
 Account 441032 Fund 0110
 Activity 3424000 TRSCCS

Trans Amt \$230.00
 J24 Misc
 AUTHORIZED SIGNATURE
 AUTHORIZED SIGNATURE

TO THE ORDER OF

City of Albuquerque
 600 2nd Street NW
 Albuquerque, NM 87102 US

SIGN POSTING AGREEMENT

REQUIREMENTS

POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or Subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproof signs are provided at the time of application. If the application is mailed, you must still stop at the Development Services Front Counter to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Development Services Front Counter at a charge of \$3.75 each.

1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be at least two feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign to read it.

2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs may be required on unpaved street frontages.
- B. If the land does not abut a public street, then, in addition to a sign placed on the property, a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staples are best for attaching signs to a post or backing; the sign tears out less easily.

4. TIME

Signs must be posted from 1/31/04 To 2/15/04

5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Development Services Front Counter Staff. I understand (A) my obligation to keep the sign(s) posted for (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

Stephanie Walton
(Applicant or Agent)

1-20-04
(Date)

I issued 2 signs for this application,

1/20/04
(Date)

[Signature]
(Staff Member)

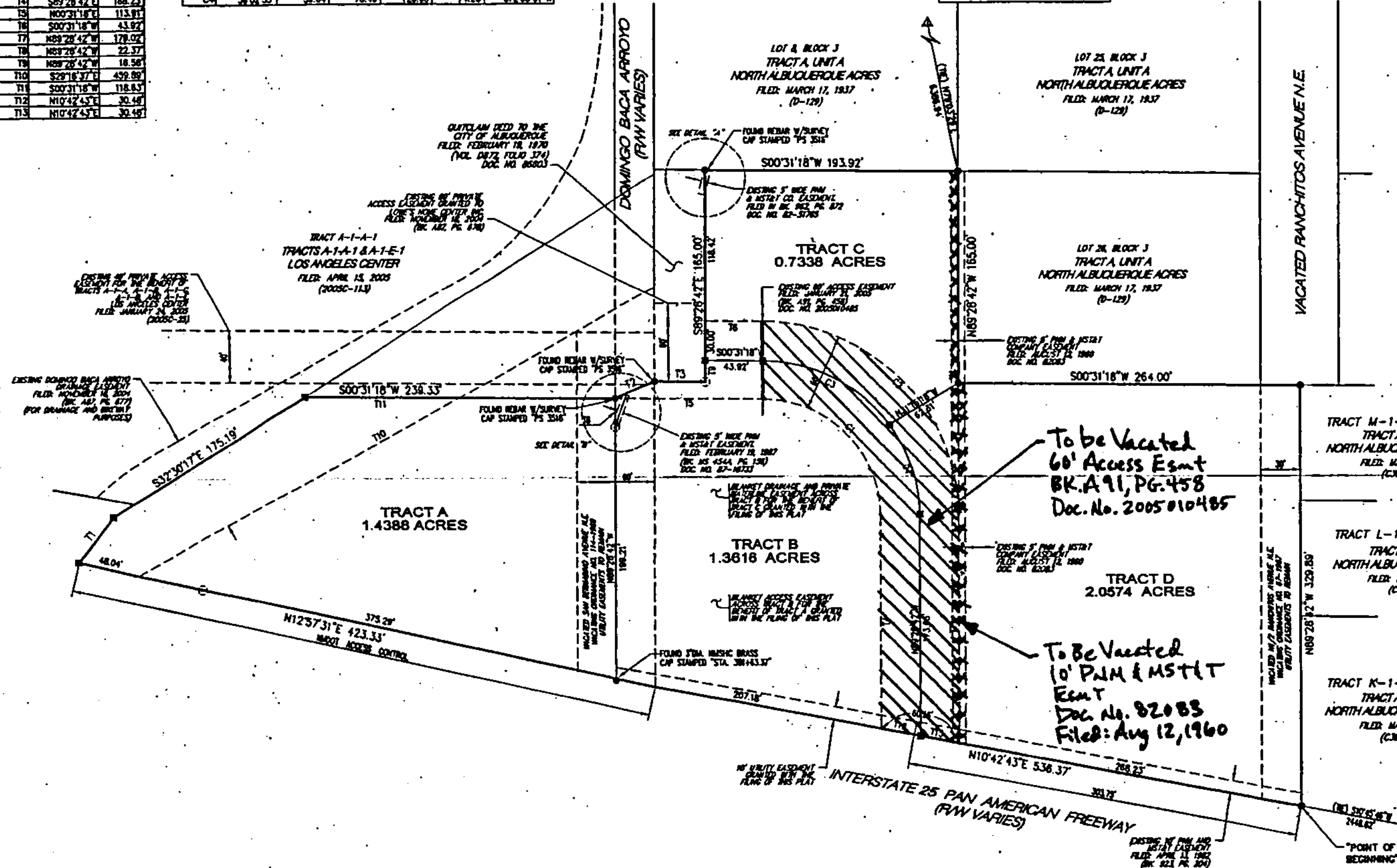
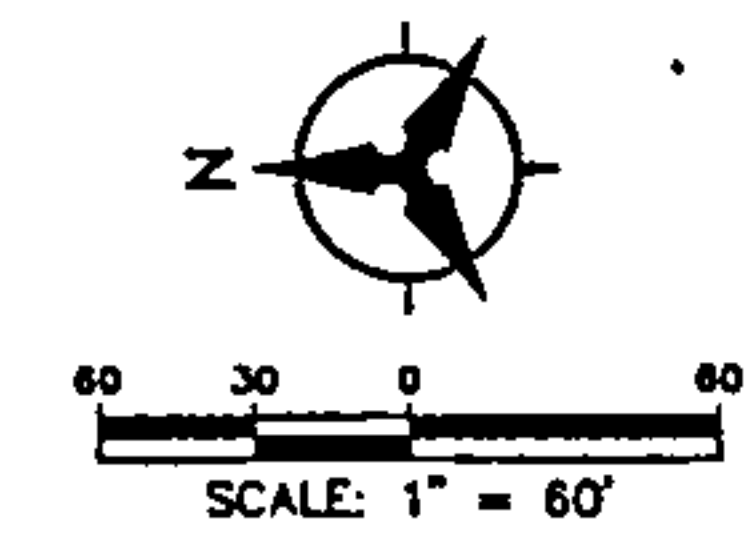
DRB PROJECT NUMBER: 1001946

VACATION Exhibit

ID	BEARING	DISTANCE
T1	S91°34'58"E	44.28
T2	S23°35'04"E	32.86
T3	S00°31'18"W	40.00
T4	S89°28'42"W	168.23
T5	N00°31'18"E	113.91
T6	S00°31'18"W	43.92
T7	N89°28'42"E	178.02
T8	N89°28'42"W	22.37
T9	N89°28'42"W	18.58
T10	S29°16'37"E	459.80
T11	S00°31'18"W	118.83
T12	N10°42'43"E	30.48
T13	N10°42'43"E	30.48

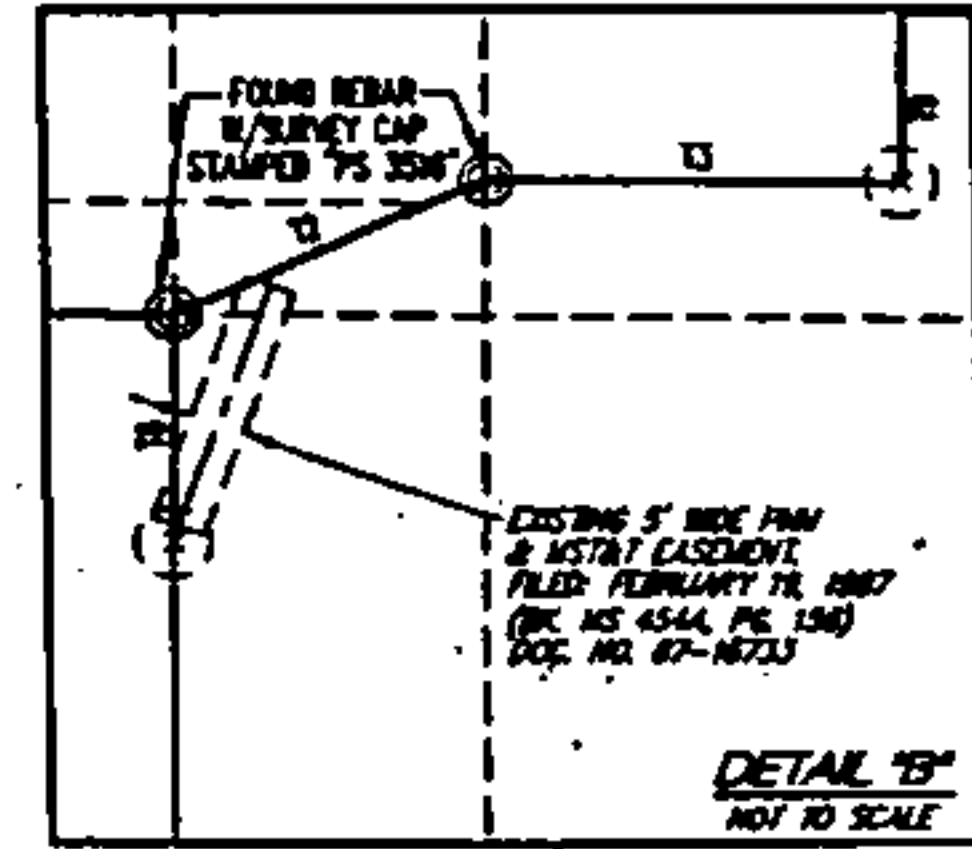
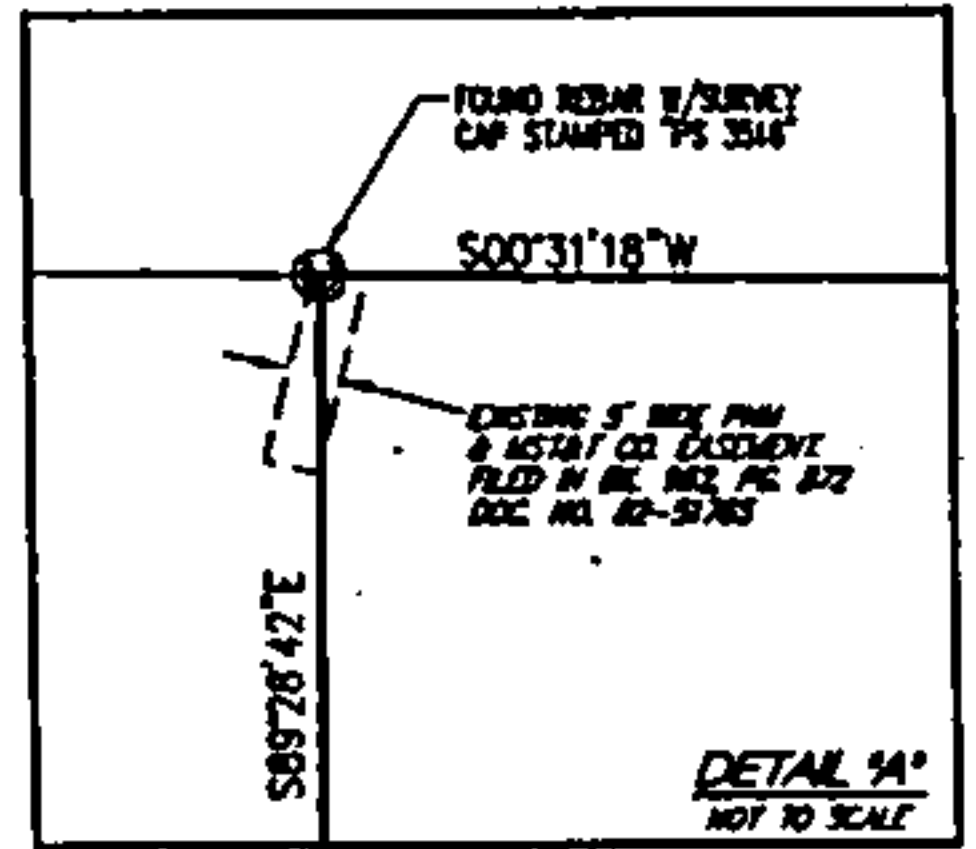
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	90°00'	80.00	141.37	90.00	127.28	N45°31'18"E
C2	90°00'	150.00	238.62	150.00	212.13	S45°31'18"W
C3	87°37'25"	81.08	113.01	120.00	108.88	S77°37'01"W
C4	87°37'25"	39.94	75.49	120.00	74.25	S77°37'01"W

PLAT OF
TRACTS A, B, C, & D
HISE LANDS
(A REPLAT OF TRACT A-1-E-1, LOS ANGELES
CENTER, PARCEL 19-3-NRW & HISE LAND)
PROJECTED SECTIONS 24, T11N, R9E NMPM
ELENA GALLEGOS GRANT
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
AUGUST, 2008



VACATION
EXHIBIT B
Date 02/15/06

LEGEND	
	PLAT BOUNDARY LINE
	EXISTING EASEMENT
	FOUND REBAR WITH CAP AS NOTED
	AGRS SURVEY CONTROL MONUMENT
	FOUND N.O.S. REBAR W/ PLASTIC SURVEY CAP STAMPED "BENHAM LS 15700"
	SET N.O.S. REBAR W/ ORANGE PLASTIC SURVEY CAP STAMPED "BENHAM LS 15700"
	FOUND 5/8" REBAR WITH 1/4" RED PLASTIC SURVEY CAP STAMPED "PS 5878"



2005130008
Page: 2 of 2
08/22/2005 10:10:00
RS-2900C Pg-312



SHEET 2 OF 2

Bohannon & Huston
 Courtyard I 7500 Jefferson Bl. NE Albuquerque, NM 87109-4336
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES
 PLOTTING: SURVEY/001/001/PNCS
 SHEET: 0000004.010
 ALIGNED: 08/08/2005 10:10:00

FILE



Dekker/Perich/Sabatini

architecture
interiors
planning
engineering

September 7, 2005

Sheran Matson
City of Albuquerque
Development Review Board

Re: **Office Depot
Project #1001946
05DRB-01047 Minor-Site Dev. Plan**

Dear Sheran,

Dekker/Perich/Sabatini, the agent for Office Depot, would like to address the following DRB comments dated August 31, 2005.

1. "The required written project summary is missing from the submittal. Agent was called on 8/25/05."

A revised summary letter has been faxed to the planning office and per the phone conversation of 8/29/05, has been reviewed and approved by Sheran Matson. A copy of this revised summary letter accompanies the re-submittal of materials to the DRB.

2. "The retaining plan shown on the site plan: height, length, color and materials are not provided as required on the SPBP checklist. An elevation of the wall is also needed."

See Sheet C1 – site plan for dimensioned length of retaining walls. See Sheet C2 – Grading and Drainage Plan for heights of retaining walls. See A1/A091 and A2/A091 for color and material and elevation of retaining walls.

3. "The height and fixture type for site lighting must be specified on the site plan. The reference to Lowe's site plan is not acceptable."

See Sheet C1 – site plan – Note #6.

4. "Is the trash compactor located underground? If not, an elevation of the compactor and the enclosure are required."

The exterior elevations on drawing Sheet A1 indicate the compactor and the 9'-0" high masonry screen wall. Keyed note #9 shows the compactor within the enclosure, and new keyed note #19 shows the screen wall. Also refer to details A4/A091, B4/A091 and B5/A091.

5. "Is there a bus stop at the site for the 10% parking space reduction? The stop should be shown on the site plan."

This site is over 300' radius from any bus stop, so we cannot take a 10% reduction. We added 6 spaces totaling 97 spaces which is what is required.

■ ■ ■
6801 Jefferson NE
Suite 100
Albuquerque NM
87109
505 761-9700
fax 761.4222
dps@dpsabq.com



Dekker/Perich/Sabatini

architecture
interiors
planning
engineering

6. "The easements are missing from the Landscape plan. This is a requirement of the SPBP Checklist."

Refer to Sheet C3 – Revised Landscape Plan for easements.

7. "23,945 s.f. of landscaping provided is the total according to the numbers on the plan. The percentage is also required on the SPBP checklist. 27,056 is the total on the Landscape Plan."

Refer to Sheet C3 – Revised Landscape Plan.

8. "Austrian pine and potentilla are not on the approved SPS plant palette. Please substitute plants on the palette. In addition, the ash selected is a high water use tree. Please use fewer ash on this plan."

Refer to Sheet C3 – We did divide the ash/honey locust with the ash having only 7 and the honey locust being 10. The Austrian Pine have been replaced with Chaste trees. Potentilla IS ON THE LIST, changed the common name to "Shrub Cinquefoil" to eliminate any confusion.

9. "Exterior elevations sheet. Elevations General Note #2 does not apply & should be removed. Note 1 needs further explanation if it is to remain. Overall width dimension is missing. Until that is supplied, the building signs cannot be checked for conformance with the Zone Code."

Per the phone conversation of 8/29/05, the vegetative plantings referred to in general note #2 are the plantings shown generically in the raised planter at the north façade, and this has been clarified and approved by Sheran Matson. General Note #1 has been expanded to explain that the signage is only illuminated after sundown store operating hours, and is colored red. The Overall width dimensions, and a new set of Elevation Façade Area notes pertaining to the area breakdown of each façade has been added to drawing sheet A1. These new Elevation Façade Area notes indicate the calculations for maximum 6% allowable signage area per façade.

10. "The required monument sign elevation, dimensions, square footage, materials and colors as well as structural elements are missing."

See Sheet A091 – details B1/A091 and B2/A091.

11. "Drawings showing how the continuous planters as shown on the elevation sheet and planter/seating shown on the site plan sheet actually function are needed. Where is the shade called for in the SPS Design Standards?"

See Sheet A9 - which details the planter/seating. The shade that is called out for in the SPS Design Standards is "encouraged" but not necessarily required. Office Depot has provided a large canopy at the entrance of the store that will serve as a shading structure.

12. "The Design Standards call for an additional 15% parking spaces above what is required per the Zoning Code. Please illustrate how this is to be accomplished."

The exact language from the design standards is:

"The maximum number of parking spaces for each tract shall meet the requirements of the Albuquerque Comprehensive Zoning Ordinance, plus fifteen percent."

It could be read both ways, but after speaking with Sheran Matson it was determined that is was the Department's intention, as well as the intention of the EPC, to prevent the gross overparking of sites such as the "big-box" tenants like to do. Since the Zoning Code only expresses a minimum, this was the way the EPC could limit the number of spaces over the minimum that people could have.

■ ■ ■
6801 Jefferson NE
Suite 100
Albuquerque NM
87109
505 761-9700
fax 761.4222
dps@dpsabq.com

That's a convoluted way of saying this language means: "We want you to have as little parking as possible to meet your needs, so give us the minimum required by the Code. If you want more, you can have a few more, but no more than 15% more." Conversely, tenants who do not want extra spaces are not required to provide any extra.



Dekker/Perich/Sabatini

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13. "The SPS specifies rosemary must be 5 gallon size. Please correct."

Refer to Sheet C3 – Revised Landscape Plan for revised plant to a 5 gallon size.

14. "Many of the Elevation Key Notes on the Elevation Sheet are incorrect. Please Correct."

Each of the keyed notes shown on drawing sheet A1 were inadvertently shown incorrectly as a result of a shift of the key symbols on the drawing sheet. Each note should have been listed as the next number, and this has been corrected.

15. "Demonstrate on the Elevations sheet that the building mounted signs do not exceed 6% of the total façade."

Please see the ADG response to Planning Department comment #9 above.

If you have any questions please do not hesitate to call me at 761-9700.

Very truly yours,

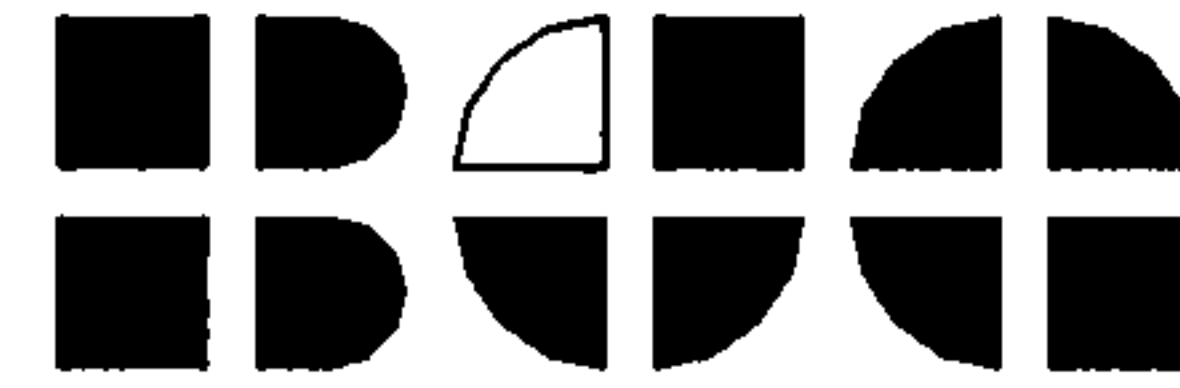
Dekker/Perich/Sabatini Ltd.

Ann Marie Christian, AIA
Associate

Cc: File

■ ■ ■
6801 Jefferson NE
Suite 100
Albuquerque NM
87109
505 761-9700
fax 761.4222
dps@dpsabq.com

BARRY JAY
GREENBERG
ARCHITECT



2710 SUTTON BLVD
ST. LOUIS, MO 63143
PH: 314 . 644 . 1234
FAX: 314 . 644 . 4373
WEB: www.adg-stl.com

August 29, 2005

Design Review Board Chairperson
City of Albuquerque Planning Department
600 2nd Street NW
Albuquerque, NM 87102
(505) 924-3900

Re: Request for Consideration of Proposed new Office Depot
Los Angeles Center Shopping Plaza
Albuquerque, NM

Dear DRB Chairperson,

On behalf of our client, Office Depot, I am submitting to you this letter pertaining to a proposed new Office Depot store at the Los Angeles Center shopping plaza on Paseo Del Norte. This letter is intended to be a brief summary describing the primary design features and compatibility of our design with the surrounding environment. Office Depot is national office supply retail chain, and the proposed store at the Los Angeles Center is 20,280 square feet in size. The building design as submitted, which is the Office Depot corporate prototype design, features a storefront entry elevation of very traditional architecture. The entry portion of this front elevation is constructed of a stucco-type exterior finish system similar to the adjacent Lowe's store, and is colored with a neutral beige and tan scheme that will complement the desert landscape well. This entry portion of the front elevations extends above the structural wall to form a high signage parapet. The two side walls and rear wall, all constructed of concrete block, are colored with the same beige and tan scheme as the front. As with the adjacent Lowe's store, the entry feature is symmetrically balanced and includes two areas of glazing flanking the entry doors for a more inviting appearance. At each side of the entry feature along the bottom of the front wall is a raised planter, painted to match the colors of the exterior walls. Illuminated red store signage adorns each of four elevations.

The loading dock and trash compactor, located along a wall to interior of the shopping center rather than toward any street, are screened from street view by a nine foot high wall. The lot is adequately landscaped per planning and zoning code requirements, and matches the level of landscaping of the entire shopping center. Exterior building elevations and the lot plan have been included for your reference. If there are any questions or comments, please feel free to call (800) 208-3136.

Thank you,

John Wimmer, ADG

City of Albuquerque



DEVELOPMENT PLAN REVIEW APPLICATION

SUBDIVISION	Supplemental form S	Supplemental form ZONING & PLANNING	Z
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation	
<input checked="" type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> County Submittal	
<input type="checkbox"/> Vacation	V	<input type="checkbox"/> EPC Submittal	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning)	
SITE DEVELOPMENT PLAN	P	<input type="checkbox"/> Sector Plan (Phase I, II, III)	
<input type="checkbox"/> ...for Subdivision Purposes		<input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan	
<input type="checkbox"/> ...for Building Permit		<input type="checkbox"/> Text Amendment	
<input type="checkbox"/> IP Master Development Plan		APPEAL / PROTEST of...	A
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	L	<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: NEWMORE LLC. PHONE: 828-1212
 ADDRESS: 9909 DESERT MOUNTAIN RD NE FAX: _____
 CITY: ALBUQUERQUE STATE NM ZIP 87122 E-MAIL: _____
 Proprietary interest in site: OWNER
 AGENT (if any): BOHANNAN HUSTON INC. PHONE: 823-1000
 ADDRESS: 7500 JEFFERSON NE FAX: 798-7988
 CITY: ALBUQUERQUE STATE NM ZIP 87109 E-MAIL: _____

DESCRIPTION OF REQUEST: PRELIMINARY/FINAL PLAT APPROVAL

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACTS A,B,C,& D Block: _____ Unit: _____
 Subdiv. / Addn. HISE LANDS
 Current Zoning: M-1 (SC) Proposed zoning: _____
 Zone Atlas page(s): D-18 No. of existing lots: 6 No. of proposed lots: 4
 Total area of site (acres): 5.5917 Density if applicable: dwellings per gross acre: _____ dwellings per net acre: _____
 Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO
 UPC No. 101806309540920623 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: PASEO DEL NORTE BLVD.
 Between: I-25 and SAN PEDRO BLVD. NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_, Z_, V_, S_, etc.): _____

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: _____

SIGNATURE Bruce Stidworthy DATE 8/23/2005
 (Print) BRUCE STIDWORTHY Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 10/03

<input checked="" type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>05DRB - 01347</u>	<u>PRF</u>	<u>5(3)</u>	\$ <u>425.00</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	<u>CWF</u>	_____	\$ <u>20.00</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	Hearing date <u>8/31/05</u>	_____	_____	Total \$ <u>445.00</u>
<input type="checkbox"/> F.H.D.P. fee rebate	<u>8/23/05</u>	_____	_____	_____
<u>Ki Su</u>	Planner signature / date	Project # <u>100 4391 1946</u>	_____	_____

FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING

- SKETCH PLAT REVIEW AND COMMENT** **YOUR ATTENDANCE IS REQUIRED.**
- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application

- MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT** **Your attendance is required.**
- Preliminary Plat reduced to 8.5" x 11"
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Copy of previous D.R.B. approved infrastructure list
 - Copy of the LATEST Official D.R.B. Notice of approval for Preliminary Plat Extension request
 - Any original and/or related file numbers are listed on the cover application
- Extensions are not reviewed through internal routing.**
Extension of preliminary plat approval expires after one year.

- MAJOR SUBDIVISION FINAL PLAT APPROVAL** **Your attendance is required.**
- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Design elevations & cross sections of perimeter walls **3 copies**
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing
 - SIA financial guaranty verification
 - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - Any original and/or related file numbers are listed on the cover application
 - DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

- MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL** **Your attendance is required.**
- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
 - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing
 - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
 - Signed** Pre-Annexation Agreement if Annexation required.
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
 - Infrastructure list if required (**verify with DRB Engineer**) **NO INTERNAL ROUTING**
 - DXF FILE AND HARD COPY OF FINAL PLAT DATA FOR AGIS IS REQUIRED.**

- AMENDMENT TO PRELIMINARY PLAT (with minor changes)** **Your attendance is required.**
- AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)**
- AMENDMENT TO GRADING PLAN (with minor changes)**
- PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.
- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings.
 - Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
 - Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
 - Any original and/or related file numbers are listed on the cover application
- Amended preliminary plat approval expires after one year

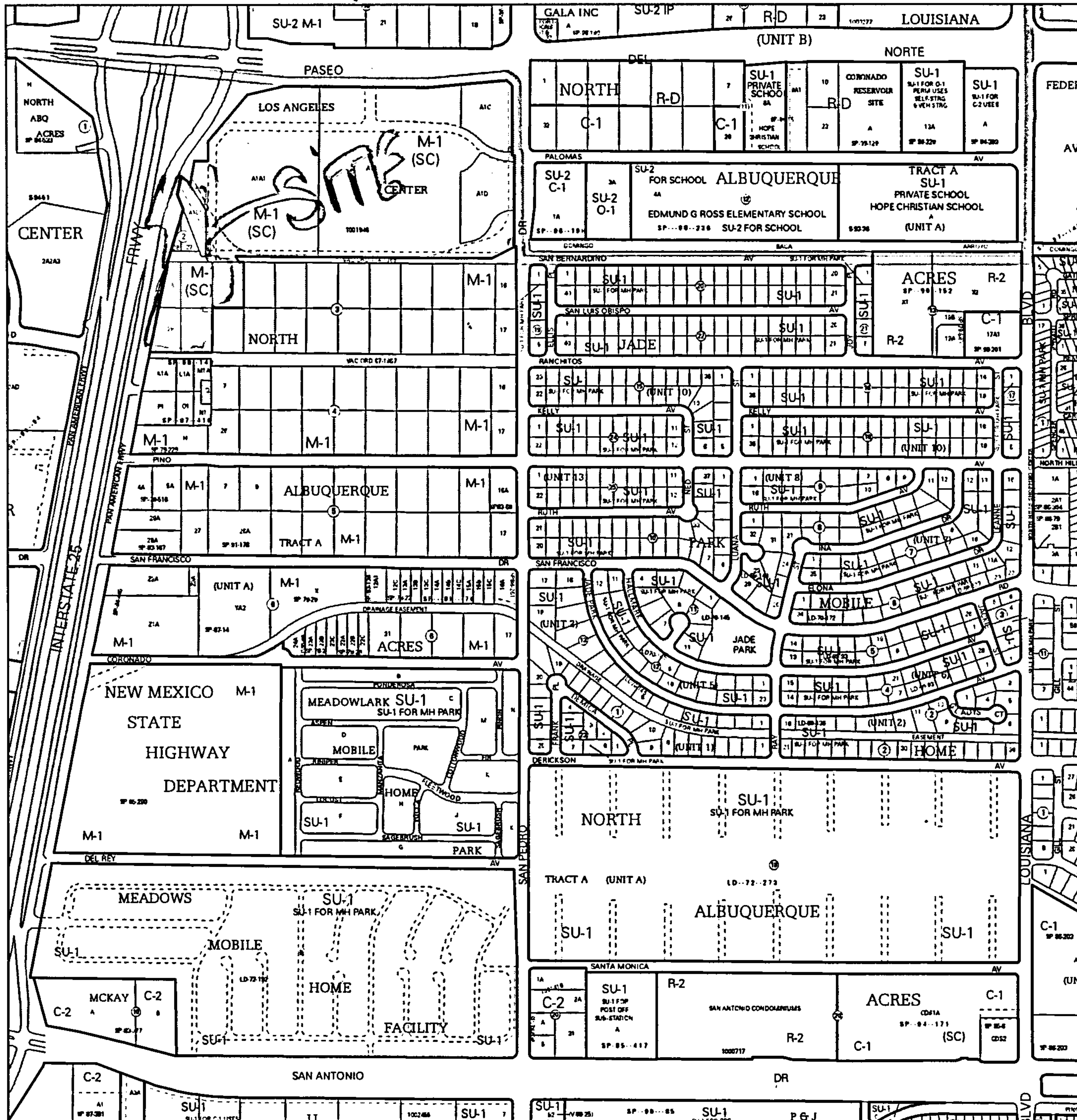
I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Bruce Stidworthy Applicant name (print)
Ron Stidworthy Applicant signature / date 8/23/05

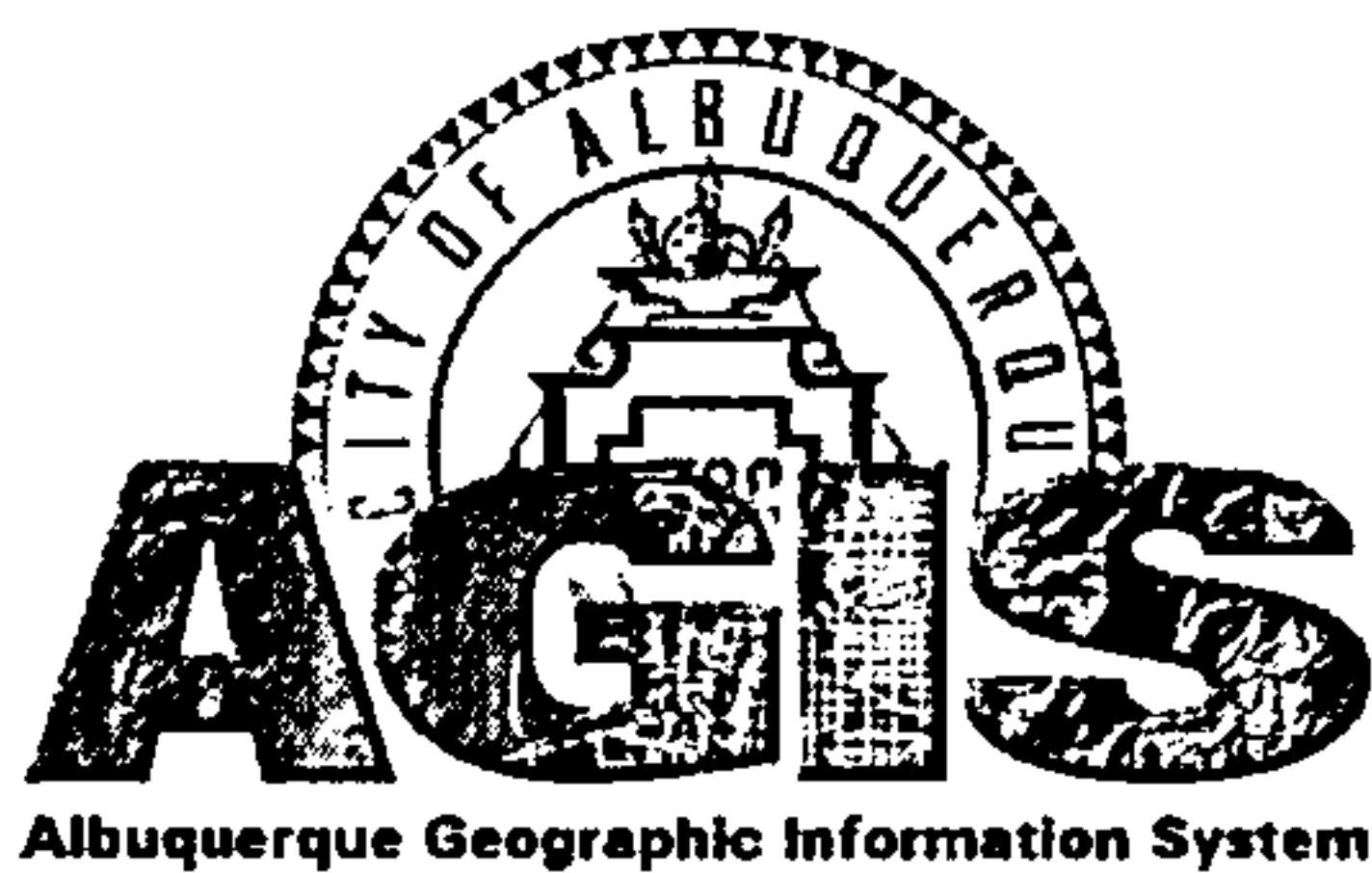


- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
05DRB- - 0347

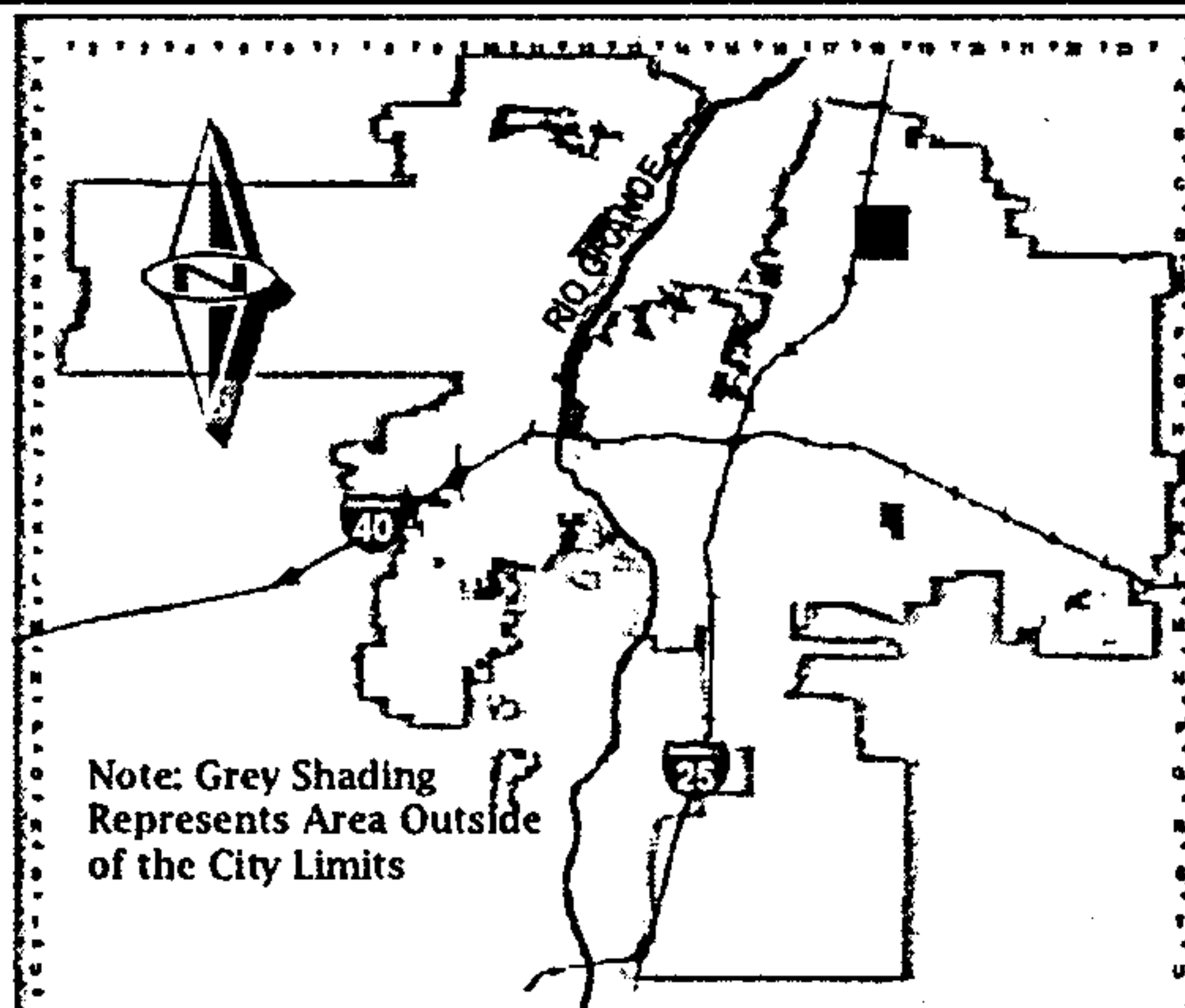
Form revised 11/04
Li Si 8/23/05 Planner signature / date
Project # 100 ~~4391~~
1946



For more current information and more details visit: <http://www.cabq.gov/gis>



Map amended through: 8/1/2005



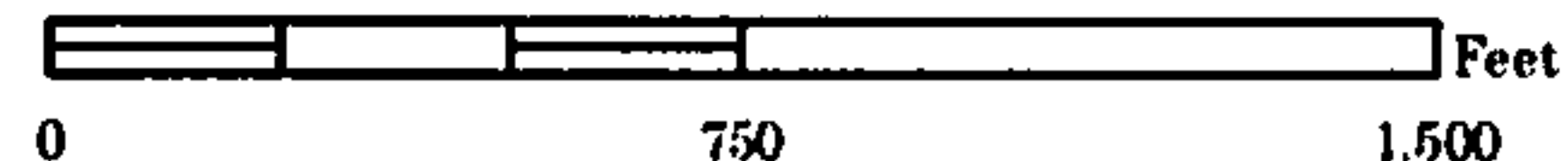
Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:

D-18-Z

Selected Symbols

- SECTOR PLANS
- Design Overlay Zones
- City Historic Zones
- H-1 Buffer Zone
- Petroglyph Mon.
- Escarpment
- 2 Mile Airport Zone
- Airport Noise Contours
- Wall Overlay Zone



Courtyard I
7500 Jefferson St. NE
Albuquerque, NM
87109-4335

www.bhinc.com

voice: 505.823.1000
facsimile: 505.798.7988
toll free: 800.877.5332

August 22, 2005

Sheran Matson, Chair
Development Review Board
City of Albuquerque
P.O. Box 1293
Albuquerque, New Mexico 87103

Re: Preliminary/Final Plat Approval
Tracts A, B, C, & D Hise Lands

Dear Sheran:

Enclosed for review and approval by the Development Review Board (DRB) are copies of the following information:

- Development Review Applications
- Fee on the amount of \$ 445.00
- Six (6) copies of the Preliminary/Final Plat, and
- Zone Atlas Map showing the location of the property

The purpose of this plat is to combine and re-subdivide Tract A-1-E-1 of the Plat of Tracts A-1-A-1 & A-1-E-1 Los Angeles Center, Parcel 19-2 NRW from the quitclaim deed filed on August 1, 2005, and the property known as the Hise Lands comprising all of Lots 6 and 27, the remaining portions of Lots 5, 7, and 28, Block 3, of the plat Tract A-Unit A, North Albuquerque Acres.

This plat is being submitted in order to fulfill an EPC condition of approval of the Los Angeles Center Site Plan for Subdivision. The condition was that a plat matching the site plan for subdivision be submitted and approved at DRB. Denish-Kline & Associates is the agent for that submittal.

Please place this item on the DRB Agenda to be heard on August 31, 2005. If you have any questions or require additional information, please contact me.

Sincerely,



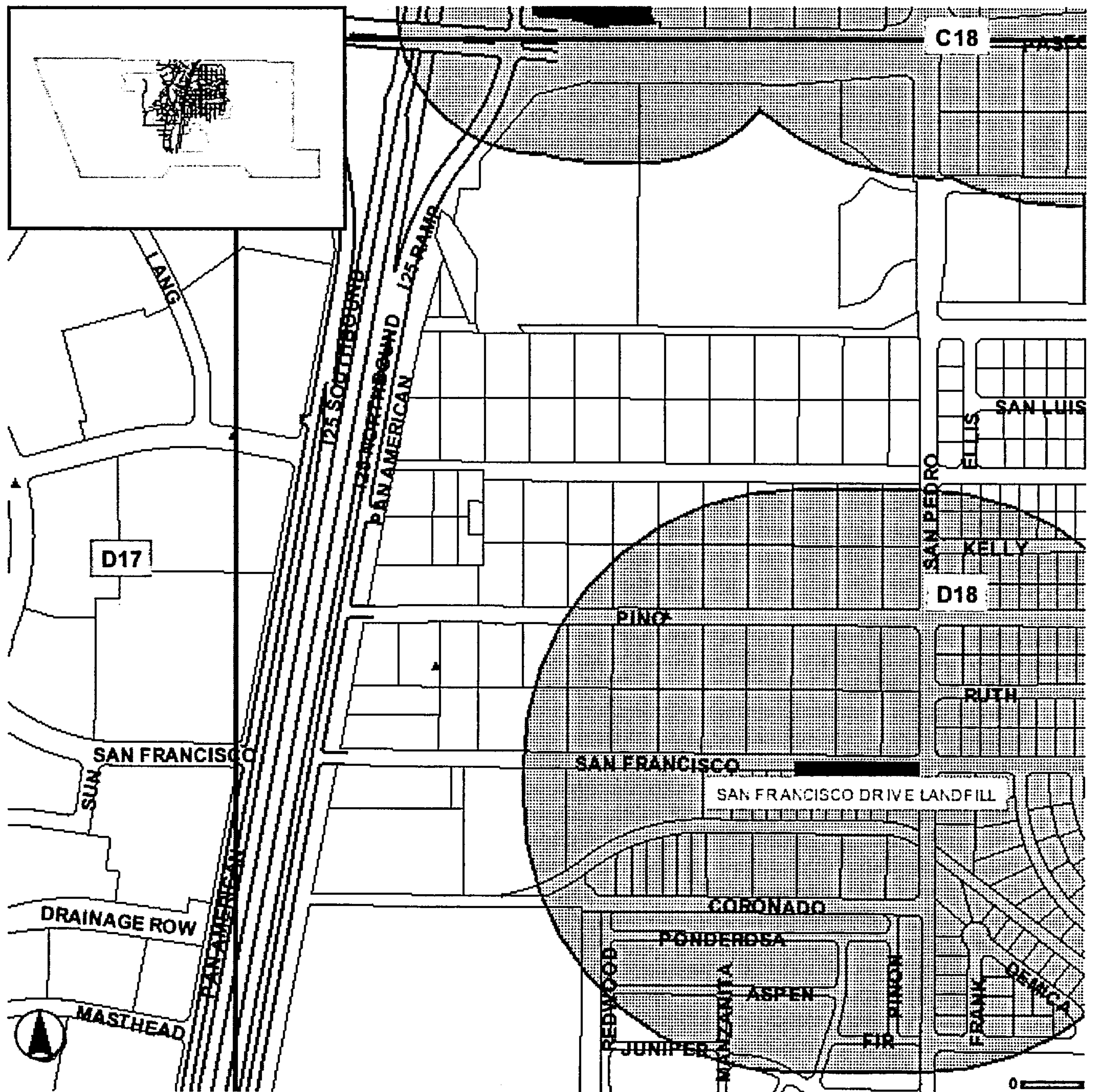
Bruce Stidworthy, P.E.
Vice President
Community Development and Planning Group

ss
Enclosure

ENGINEERING ▲

SPATIAL DATA ▲

ADVANCED TECHNOLOGIES ▲



**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME NEW MORE LLC.
 AGENT BOLLANNAN HUSTON
 ADDRESS 7500 Jefferson
 PROJECT & APP # 1004391 / 01347
 PROJECT NAME HISE LANDS TRACTS A, B, C, & D.

\$ 20.⁰⁰ 441032/3424000 Conflict Management Fee
 \$ 425.⁰⁰ 441006/4983000 DRB Actions
 \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
 \$ _____ 441018/4971000 Public Notification
 \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
 \$ 445.⁰⁰ TOTAL AMOUNT DUE

*****NOTE:** If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

City Of Albuquerque
Treasury Division

City Of Albuquerque
Treasury Division

8/23/2005 9:56AM LOC: ANNX
 RECEIPT# 00045573 WSH 006 TRANSH 0012
 Account 441006 Fund 0110
 Activity 4783000 TRSCXG
 Trans Amt \$445.00
 J24 Misc
 \$425.00
 CK \$445.00
 CHANGE \$0.00
 Thank You

8/23/2005 9:56AM LOC: ANNX
 RECEIPT# 00045572 WSH 006 TRANSH 0012
 Account 441032 Fund 0110
 Activity 3424000 TRSCXG
 Trans Amt \$445.00
 J24 Misc
 \$20.00
 Thank You

#9



COMPLETED 09/07/05 stt
DRB CASE ACTION LOG (SITE PLAN SUBD)
REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: <u>05DRB-01348 (SPS)</u>	Project # <u>1001946</u>
Project Name: <u>LOS ANGELES CENTER</u>	
Agent: <u>Denish & Kline</u>	Phone No.: <u>842-6461</u> <u>823-1006</u>

Project Number 1001946

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 8/31/05 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): Environmental Health, EPC Staff Planners
signatures. [Signature]
9/7/05

- Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- AGIS DXF File approval required.
- Copy of recorded plat for Planning.

#9



DRB CASE ACTION LOG (SITE PLAN SUBD)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-01348 (SPS)

Project # 1001946

Project Name: LOS ANGELES CENTER

Agent: Denish & Kline

Phone No.: 842-6461

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 8/31/05 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: _____
- _____
- _____
- _____
- _____

- UTILITIES: _____
- _____
- _____
- _____

- CITY ENGINEER / AMAFCA: _____
- _____
- _____
- _____

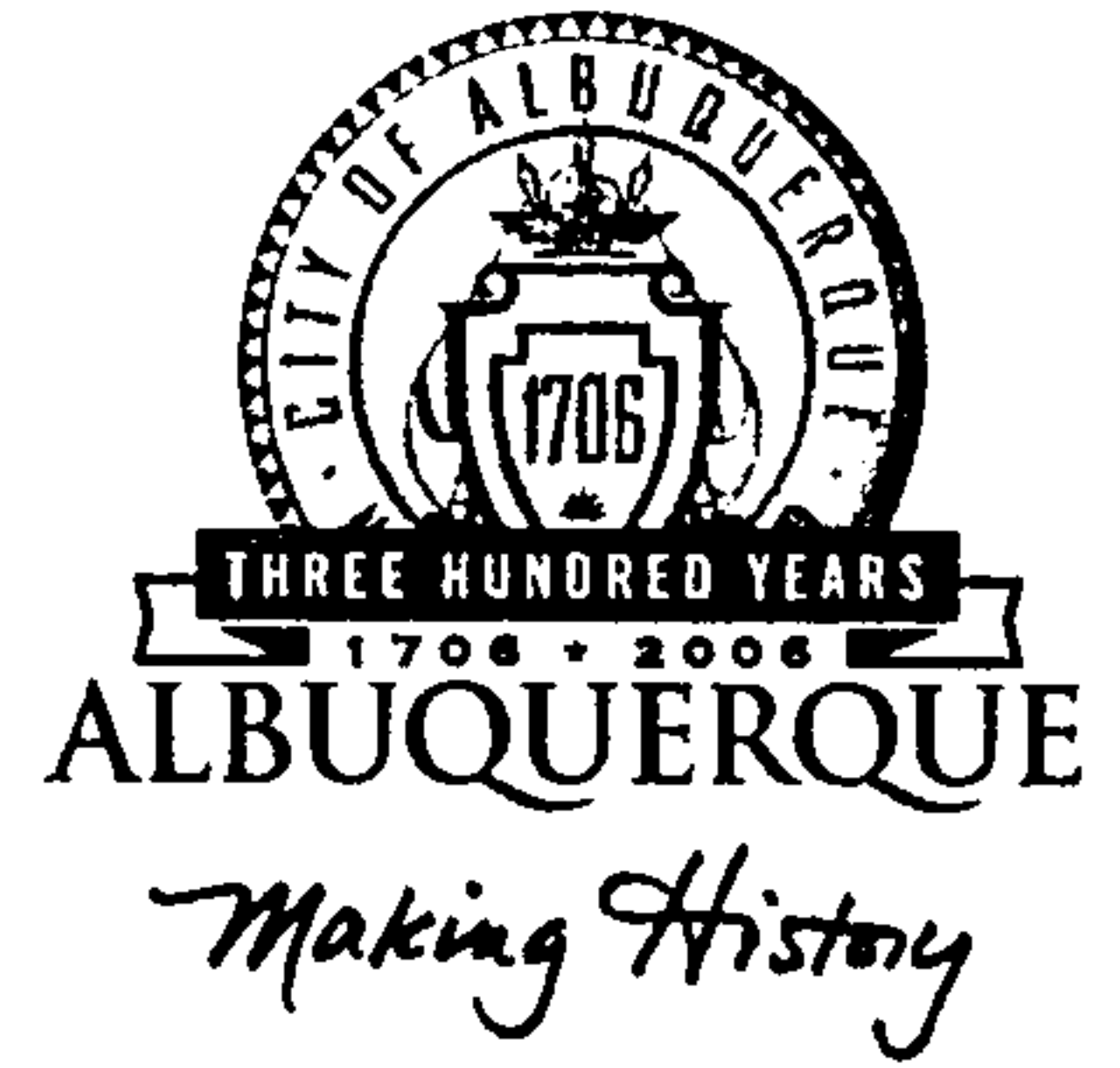
- PARKS / CIP: _____
- _____
- _____
- _____

- PLANNING (Last to sign): Environmental Health, EPC Staff Planners
- Signatures.
- _____
- _____

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

Project Number 1001946

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1001946

AGENDA ITEM NO: 9

SUBJECT:

Site Plan for BP
Site Plan for Subd

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

RESOLUTION:

Albuquerque

APPROVED ___; DENIED ___; DEFERRED ___; COMMENTS PROVIDED ___; WITHDRAWN ___

New Mexico 87103 **SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PRKS) (PLNG)**

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

www.cabq.gov

FOR:

**SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee**

DATE: AUGUST 31, 2005



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

August 31, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 11:53 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- Project #1002535**
05DRB-01269 Major-Vacation of Public Easements
05DRB-01270 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for CHRONIS DEVELOPMENT LIMITED request(s) the above action(s) for Lot(s) 32, 33, 34, 35 and 38, West 35-feet OF Lot(s) 37; together with Lot(s) 36-A, HUBBELL HEIGHTS ADDITION & TRACT 64, UNIT 6, TOWN OF ATRISCO GRANT, (to be known as **HUBBELL HEIGHTS ADDITION**) zoned C-2 & O-1 & R-1, located on 65TH ST SW, between CENTRAL SW and CHURCHILL SW containing approximately 6 acre(s). [REF: 1003709, Z-1211] [Deferred from 8/31/05] (K-10) **DEFERRED AT THE AGENT'S REQUEST TO 9/21/05.**

2. **Project #1004289**
05DRB-01246 Major-Vacation of Pub
Right-of-Way

WILLIE P. GONZALES request(s) the above action(s) for all or a portion of Lot(s) 4 & 5, Block(s) 5, **JOHN BARON BURG PARK ADDITION**, zoned SR, located on 19TH ST NW, between ZEARING AVE NW and ASPEN AVE NW containing approximately 1 acre(s). [REF: 05DRB-01073] (H-13) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

05DRB-01073 Minor-Prelim&Final Plat
Approval

WILLIE P. GONZALES request(s) the above action(s) for all or a portion of Lot(s) 4 & 5, Block(s) 5, **JOHN BARON BURG PARK ADDITION**, zoned SR, located on 19th ST NW, between ZEARING AVE NW and ASPEN AVE NW containing approximately 1 acre(s). *(Was Indef. Deferred 7/13/05)* (H-13) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND 15-DAY APPEAL PERIOD.**

3. **Project #1004368**
05DRB-01267 Major-SiteDev Plan
BldPermit

JAMES COOKE agent(s) for RAIN FACTORY LLC request(s) the above action(s) for all or a portion of Tract(s) 4A-2, **NORTH RENAISSANCE CENTER**, zoned SU-1 FOR IP USES, located on CULTURE DR NE, between MONTANO RD NE and RENAISSANCE BLVD NE containing approximately 2 acre(s). [REF: PROJ. #1001118] (F-16) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR A SIDEWALK EASEMENT.**

4. **Project #1003366**
05DRB-01272 Major-Vacation of Pub
Right-of-Way
05DRB-01273 Major-Vacation of
Public Easements

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for SHARIF (FELIX) RABADI request(s) the above action(s) for all or a portion of Tract(s) T-1-A-2, **TOWN OF ALAMEDA GRANT**, zoned SU-1 FOR PRD, located on GOLF COURSE ROAD NW, between IRVING NW and the CALABACILLAS

ARROYO containing approximately 9 acre(s). [REF: 04EPC-00498, Z-80-74, AX-80-16, Z-85-84, AX-85-20, Z-93-131, DRB-94-146, V-96-89, 04DRB-00596, 04DRB-00912, 04DRB01242] (B-12) **THE VACATION OF PUBLIC RIGHT-OF-WAY AND VACATION OF PUBLIC EASEMENTS WERE APPROVED AS SHOWN ON EXHIBITS B-1, B-2 AND B-3 IN THE PLANNING FILE. CONDITIONS OF FINAL PLAT: A SANITARY SEWER LINE HAS BEEN RELOCATED AND ACCEPTED AND REEVALUATE GOLF COURSE ROAD RIGHT-OF-WAY.**

5. **Project # 1004355**
05DRB-01235 Major-Preliminary Plat
Approval
05DRB-01236 Minor-Temp Defer
SDWK

WILSON & COMPANY INC agent(s) for SCOTT SCHIABOR, SPS, LLC request(s) the above action(s) for all or a portion of Tract(s) 2, **VISTA VIEJA SUBDIVISION, UNIT 2**, zoned R-1 residential zone, located on SCENIC RD NW, between 81ST ST NW and ALBERICOQUE PL NW containing approximately 41 acre(s). [REF: 04DRB00825, 04DRB01460] [Deferred from 8/24/05] (D-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/31/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/30/05 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT: THE HOME OWNER'S ASSOCIATION PRESIDENT MUST SIGN THE FINAL PLAT. IF NO SUCH PERSON IS AVAILABLE, THEN THE OWNER OF THE PROPERTY CAN SIGN. DRAINAGE EASEMENTS IN PARCELS B, C AND E SHALL BE VACATED AND REPLACED WITH THE NEW ALIGNMENT. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALK ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

6. **Project # 1003189**
05DRB-01127 Major-Preliminary Plat
Approval
05DRB-01129 Minor-Temp Defer
SDWK

RIO GRANDE ENGINEERING agent(s) for FULLER HOMES, INC request(s) the above action(s) for all or a portion of Tract(s) 355, 356 TRACTS A & B, LANDS OF HECTOR ROJO, TOWN OF ATRISCO GRANT (to be known as **AUTUMN VIEW SUBDIVISION**) zoned RD-R1, located on TOWER RD SW, between COORS BLVD SW and STINSON RD SW containing approximately 15 acre(s). [Deferred from 8/3/05 & 8/17/05 & 8/24/05] (L-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/31/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/15/05 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT: ALL TERMS OF THE ANNEXATION AGREEMENT, INCLUDING APS, MUST BE MET. NEED TO REVISIT THE WIDTH OF THE DRAINAGE AND WATER AND SEWER EASEMENTS IN THE SOUTHEAST CORNER OF THE SUBDIVISION. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALK ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

7. **Project # 1001685**
05DRB01349 Minor-SiteDev Plan
Subd/EPC
05DRB01350 Minor-SiteDev Plan
BldPermit/EPC

GREAT BASIN ENGINEERING agent(s) for SMITH'S FOOD & DRUG CENTERS request(s) the above action(s) for all or a portion of Tract(s) 1B, PARADISE NORTH (to be known as **GOLF COURSE MARKET PLACE**) zoned C-2 (SC) community commercial zone, located on GOLF COURSE RD NW and MCMAHON RD NW containing approximately 9 acre(s). [REF: Z-85-119,04EPC01348, 04EPC01349, 04EPC01590] [**Carmen Marrone, EPC Case Planner**] (A-12) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

8. **Project # 1003991**
05DRB-01293 Minor-SiteDev Plan
Subd/EPC
05DRB-01294 Minor-SiteDev Plan
BldPermit/EPC

TIERRA WEST LLC agent(s) for WAL MART STORES EAST LP request(s) the above action(s) for all or a portion of Tract(s) A-1, **TOWN OF ATRISCO GRANT, UNIT 7**, zoned SU-1 FOR C-1 WITH DRIVE UP PHARMACY & RLT, located on SNOW VISTA BLVD SW, between SAGE RD SW and BENAVIDES RD SW containing approximately 14 acre(s). [REF: 05EPC00365, 05EPC00366, 05EPC00367] [Russell Brito for Elvira Lopez, EPC Case Planner] [Deferred from 8/17/05 & 8/31/05] (M-9) **DEFERRED AT THE AGENT'S REQUEST TO 9/7/05.**

9. **Project # 1001946**
05DRB-01047 Minor-SiteDev Plan
BldPermit

DEKKER PERICH SABATINI agent(s) for OFFICE DEPOT request(s) the above action(s) for all or a portion of Tract(s) A-1-D, **LOS ANGELES CENTER**, zoned M-1, located on PASEO DEL NORTE NE, between SAN PEDRO NE and INTERSTATE 25 containing approximately 3 acre(s). [REF: DRB-97-224, DRB-97-372; Z-1534] [Deferred from 6/29/05 & 7/13/05 & 7/20/05 & 7/27/05 & 8/3/05 & indef deferred on a no show 8/17/05] (D-18) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO ADDRESS PLANNING COMMENTS AND 3 COPIES OF THE SITE PLAN.**

05DRB01348 Minor-SiteDev Plan
Subd/EPC

DENISH & KLINE ASSOCIATES agent(s) for LOWE'S INC request(s) the above action(s) for all or a portion of Lot(s) 27R, 28R, Block(s) 2, NORTH ALBUQUERQUE ACRES, UNIT A, Tract(s) A-1-A-1, A-1-B, A-1-C, A-1-D AND A-1-E-1, **LOS ANGELES CENTER ADDITION**, Lot(s) 5, 6, 7, 28 and 27, Block(s) 3, NORTH ALBUQUERQUE ACRES, UNIT A, zoned M-1 light manufacturing zone, located on PASEO DEL NORTE NE, between SAN PEDRO NE and I-25 containing approximately 38 acre(s). [REF: ZHE-99-025, 04EPC01032] [Makita Hill, EPC Case Planner] (D-18) **SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR ENVIRONMENTAL HEALTH SIGNATURE, EPC CASE PLANNER INITIALS AND 3 COPIES OF THE SITE PLAN.**

10. **Project # 1004100**
05DRB-01290 Minor-SiteDev Plan
BldPermit/EPC

QUICK DRAW ENGINEERING LLC agent(s) for SPRINGSTONE CHILDRENS LEARNING CENTER request(s) the above action(s) for all or a portion of Tract(s) F, **LA CUEVA VILLAGE - UNIT 1**, zoned C-2 (SC), located on CARMEL AVE NE, between WYOMING BLVD NE and BARSTOW NE containing approximately 1 acre(s). [REF: 05EPC00582] [**Carmen Marrone for Elvira Lopez, EPC Case Planner**] (*Deferred from 8/24/05*) (C-19) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CROSS ACCESS EASEMENT AND 3 COPIES OF THE SITE PLAN.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1001946**
05DRB01347 Minor-Prelim & Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for NEWMORE LLC request(s) the above action(s) for all or a portion of Tract(s) A, B, C & D, **HISE LANDS**, zoned M-1 (SC), located on PASEO DEL NORTE BLVD NE, between I-25 and SAN PEDRO BLVD NE containing approximately 6 acre(s). [Listed under Project #1004391 in error.] (D-18) **PRELIMINARY PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR PRIVATE WATER AND SANITARY SEWER SERVICE EASEMENT FOR TRACT C AND CROSS-LOT DRAINAGE EASEMENT.**

12. **Project # 1000351**
05DRB-01303 Minor-Prelim&Final Plat
Approval

CARTESIAN SURVEYS agent(s) for BOB KITTS request(s) the above action(s) for all or a portion of Tract(s) 3, 7 & 8, **LANDS OF ZIA TRADING COMPANY**, zoned SU-1 FOR IP, located on OSUNA BLVD NE, between BNSF RR TRACKS and EDITH BLVD NE containing approximately 4 acre(s). [REF: Z-99-99, AX-99-10] (*Deferred from 8/24/05 & 8/31/05*) (E-15) **DEFERRED AT THE BOARD'S REQUEST TO 9/7/05.**

13. **Project # 1004177**
05DRB-01280 Minor-Subd Design
(DPM) Variance

BOHANNAN HUSTON INC agent(s) for SANDIA PROPERTIES LTD CO request(s) the above action(s) for all or a portion of Tract(s) 10-13, **VENTANA RANCH WEST**, zoned R-LT residential zone, located on IRVING BLVD NW, between VENTANA RIDGE RD NW and containing approximately 74 acre(s). [REF: 05DRB01122, 01123, 01124, 00783] (*Was Indef. Deferred on 8/17/05*) (B-8) **A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

14. **Project # 1004390**
05DRB01346 Minor-Sketch Plat or
Plan

BOHANNAN HUSTON INC. agent(s) for LOFLAND COMPANY request(s) the above action(s) for all or a portion of Lot(s) 1A, D and 10 through 23, Block(s) 12 and 13, **FRANCISCAN ADDITION**, zoned M-2 heavy manufacturing zone, located on 1ST ST NW, between I-40 and MANUAL BLVD NW containing approximately 4 acre(s). (H-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

15. Approval of the Development Review Board Minutes for August 17, 2005. **THE DRB MINUTES FOR AUGUST 17, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:53 A.M.

MEMORANDUM

To: Development Review Board
From: Makita Hill, Planner, Advance Planning Division MH
Date: Thursday, August 25, 2005
Re: Comments on Project 1001946 05DRB-01348

Project 1001946, a request for approval of a site development plan for subdivision, was reviewed by the Environmental Planning Commission at a public hearing on March 17, 2005. The EPC voted to approve this request with conditions as noted in the Official Notification of Decision. I have reviewed the revised site development plan for building permit as submitted to the DRB, and the letter from agent Lawrence Kline of Denish Kline Associates dated August 23, 2005 designed to address the EPC's conditions of approval.

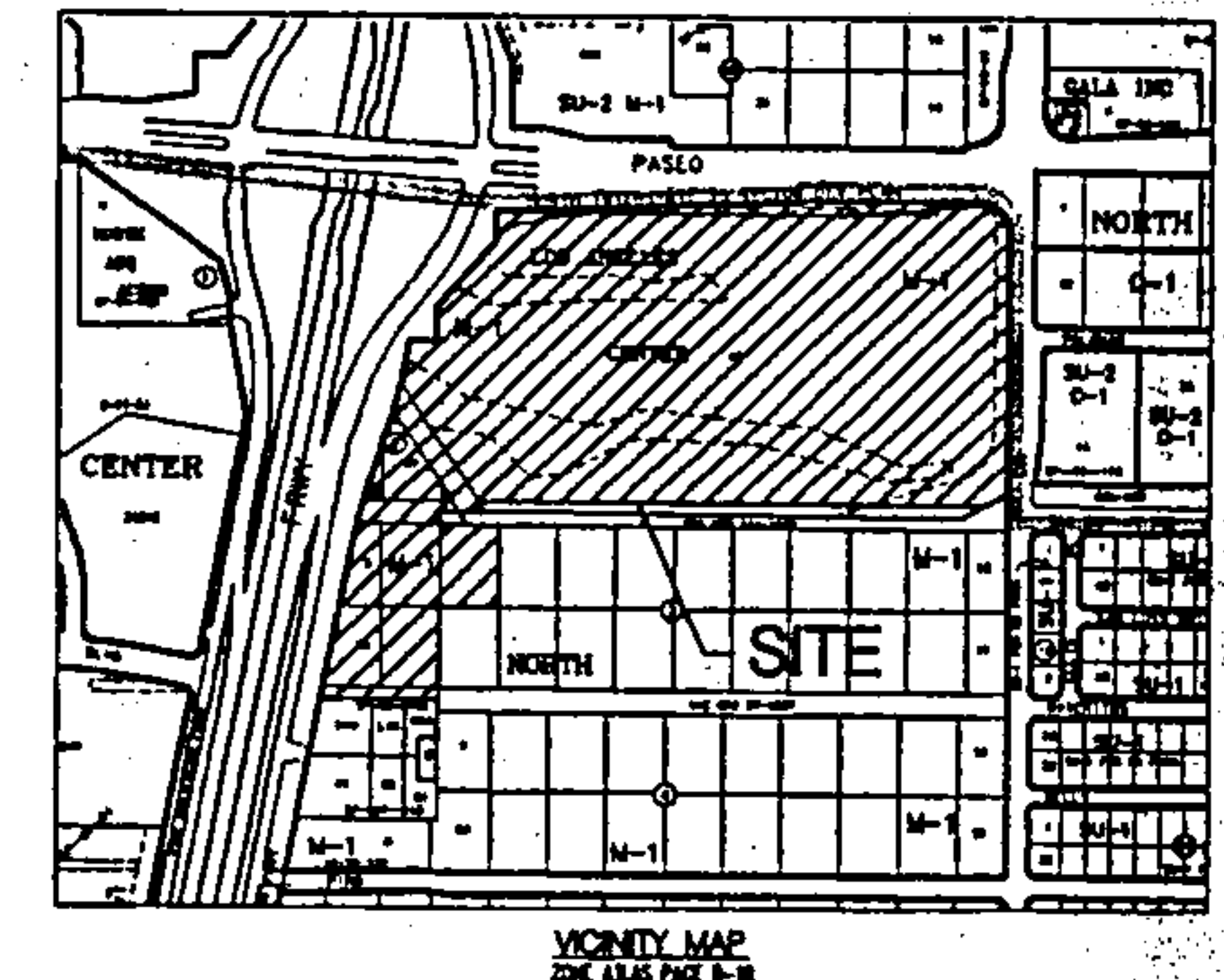
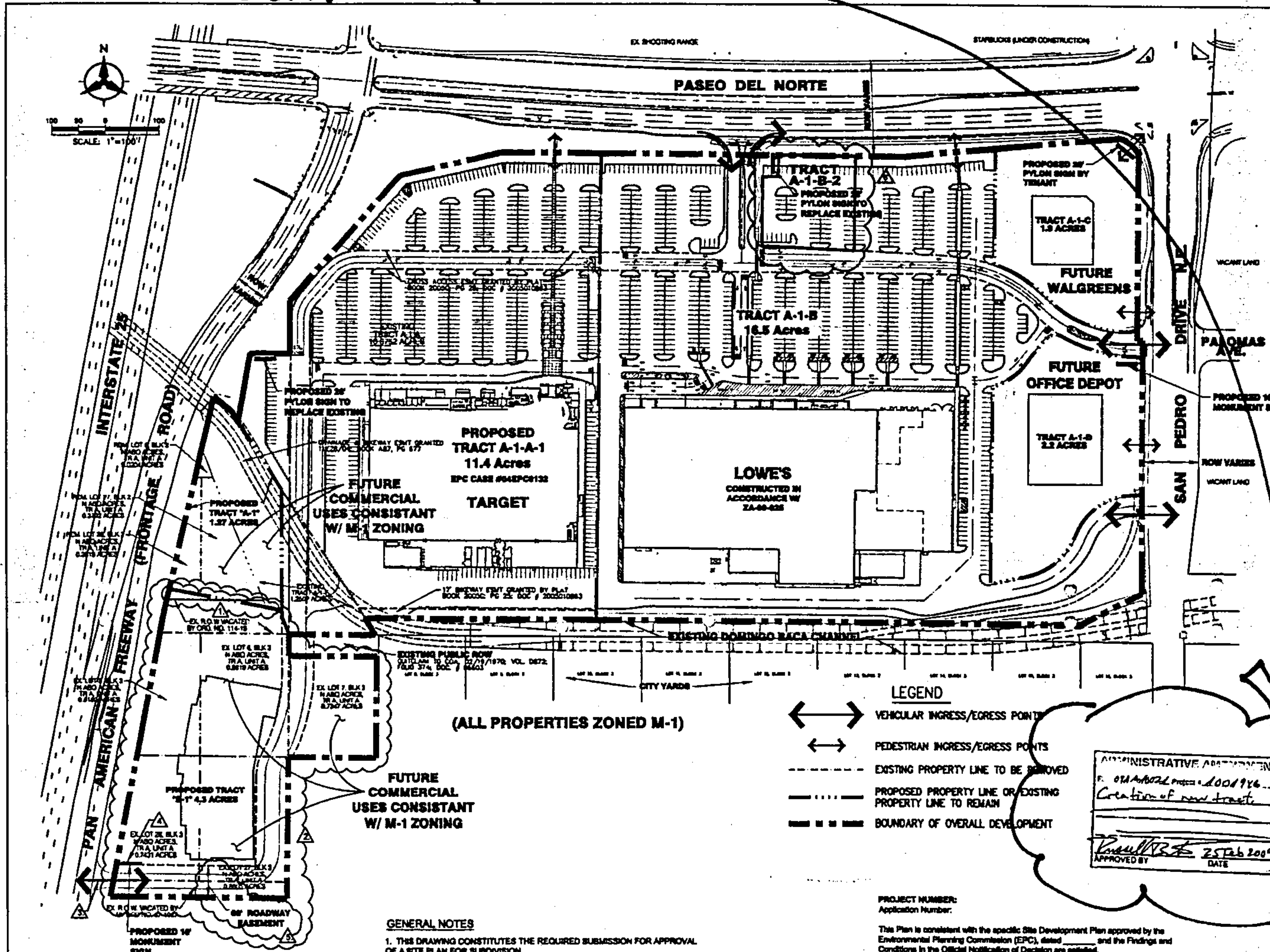
I have the following comments regarding this request:

1. ✓ EPC Condition #2(d) calls for construction of a bicycle trail on the south Domingo Baca Arroyo alignment between San Pedro Blvd and the I-25 frontage road. The agent's letter describes construction of the bicycle trail as it pertains to Tracts A-1-A-1 (Target) and A-1-B (Lowe's). The agent has stated that the bicycle trail alignment along the Target site was indicated in the site plan for building permit for the Target (1001946 04EPC-01032), however the configuration for the Target tract is altered in this site plan for subdivision. The agent should clarify whether the former Target site plan bicycle trail alignment is or is not changed in this site plan for subdivision.
2. ✓ EPC Condition #6 calls for the landscape buffer width along the South Domingo Baca Arroyo to be changed from 5 feet to 6 feet. The agent must add this language to the Landscape Design section on sheet #2 of the site plan.
3. EPC Condition #7 calls for fulfillment of all conditions of approval pertaining to the EPC-approved site plan for building permit for the Target site (1001946 04EPC-01032). The agent has made references to the infrastructure list for the Target site, but not the EPC conditions. The agent must clarify that all EPC conditions for the Target site will be fulfilled.

Should you have any questions on these or related matters, please let me know.

XC: Lawrence Kline, Denish Kline Associates

FOR REVIEW ONLY



SITE PLAN FOR SUBDIVISION - REQUIRED INFORMATION

PURPOSE OF SITE PLAN:
The purpose of this Site Plan for Subdivision is to include the additional tracks to the South along Pan American Freeway as part of the overall Site Plan for Subdivision and development.

THE SITE:
The site consists of approximately 37.7 acres. Tract A-1 is currently being replatted into Tracts A-1-A-1, A-1-B, A-1-C, A-1-D, & A-1-E-1. All other tracts being added and modified are to be replatted at a future time.

PROPOSED USE:
The site is currently zoned M-1. No rezoning is required for the proposed commercial uses.

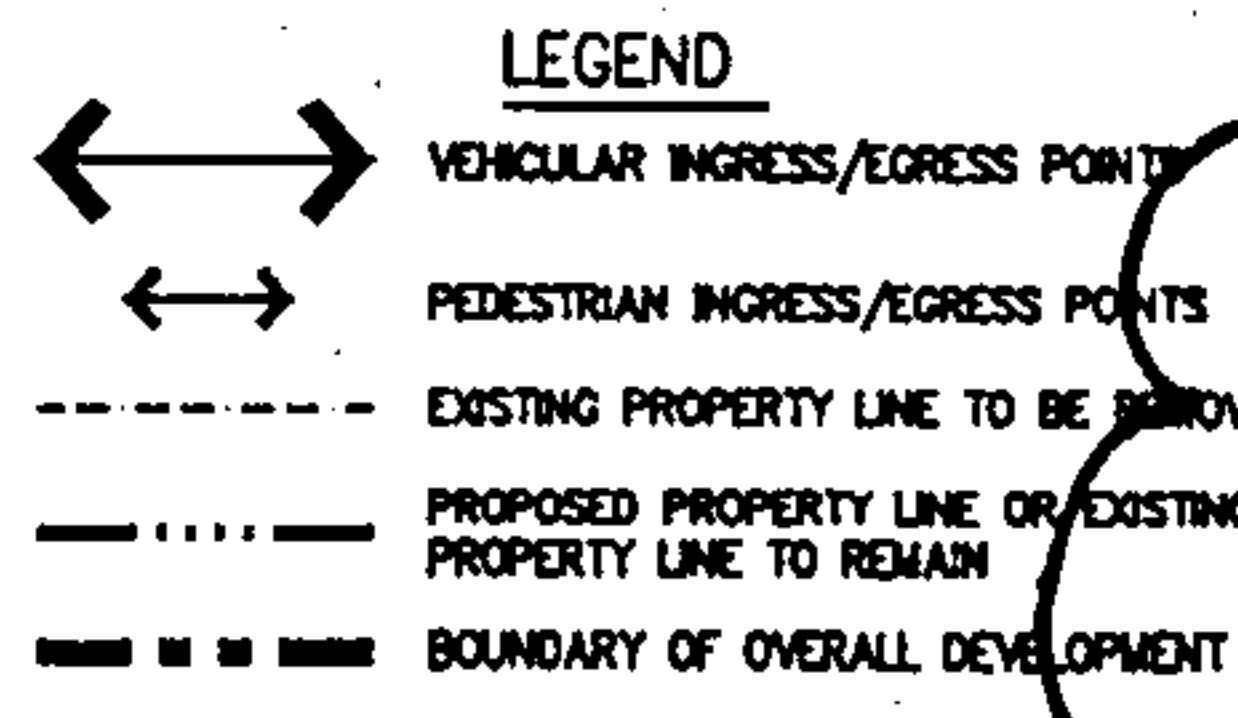
PEDESTRIAN AND VEHICULAR INGRESS AND EGRESS:
VEHICULAR ACCESS: All vehicular access except for the new access to Pan American Freeway is in place as approved by the Zoning Hearing Examiner in ZA-88-028. The new access point at Pan American Freeway will require permission from HMDOT.
PEDESTRIAN ACCESS: A minimum of one pedestrian access from each site along Paseo del Norte and San Pedro will be provided as per ADA Criteria. Tracts located along Pan American Freeway will not have pedestrian access since a public sidewalk does not exist and will not be required by the State.
BICYCLE and TRAIL ACCESS: Bicycle and trail access is not currently provided. A combined pedestrian and bicycle trail is required along the Domingo Baca Channel and will be constructed as part of this development.
TRANSIT ACCESS: Transit access shall remain as provided for in case number ZA-88-028.

INTERNAL CIRCULATION REQUIREMENTS:
Access points as shown on this plan have been previously approved by ZA-88-028, with the exception of the new access point along Pan American Freeway. This new access point will require HMDOT approval.

BUILDING HEIGHTS AND SETBACKS:
See Sheet 2 of 4, Design Standards.

MAXIMUM FAR:
Maximum FAR shall be in accordance with M-1 Zoning Requirements.

LANDSCAPE PLAN:
See Sheet 2 of 3 for General Landscape Requirements within the Subdivision.



ADMINISTRATIVE AMENDMENT
P. 01/20/09
Creation of new tracts
APPROVED BY: [Signature]
DATE: 2/25/09

(ALL PROPERTIES ZONED M-1)

- GENERAL NOTES**
1. THIS DRAWING CONSTITUTES THE REQUIRED SUBMISSION FOR APPROVAL OF A SITE PLAN FOR SUBDIVISION.
 2. THE ATTACHED 'DESIGN STANDARDS' ON SHEET 2 OF 4 ARE MADE PART OF THIS SITE PLAN FOR SUBDIVISION.
 3. THE SITE PLAN FOR SUBDIVISION IS SUBJECT TO THE REGULATIONS OF THE CITY OF ALBUQUERQUE DPM (DEVELOPMENT PROCESS MANUAL).
 4. ANY SIGNIFICANT AMENDMENT OF THIS SITE PLAN FOR SUBDIVISION SHALL REQUIRE APPROVAL OF THE PLANNING COMMISSION; THE PLANNING DIRECTOR OR HIS/HER DESIGNEE SHALL HAVE THE AUTHORITY TO MAKE ADMINISTRATIVE AMENDMENTS.
 5. ALL DEVELOPMENT ON THESE SITES MUST BE IN CONFORMANCE WITH THIS SITE PLAN FOR SUBDIVISION AND STANDARDS.
 6. APPROVAL OF DEVELOPMENT PROPOSALS CONSISTENT WITH THIS SITE PLAN FOR SUBDIVISION AND STANDARDS SHALL BE BY THE PLANNING DIRECTOR OR HIS/HER DESIGNEE, AND THE CITY ENGINEER.

- REVISION NOTES (FEBRUARY 2006)**
- 1. THE BOUNDARY BETWEEN TRACTS A AND B SHIFTED.
 - 2. EXISTING TRACTS B, C, AND D CONSOLIDATED IN TO ONE TRACT (TRACT B-1).
 - 3. ACCESS POINT ALONG PAN AMERICAN FREEWAY SHIFTED TO IN ORDER TO OBTAIN A PERMANENT HMDOT DRIVEWAY PERMIT.
 - 4. 17' MONUMENT SIGN MOVED SOUTH WITH THE ACCESS POINT AS DESCRIBED IN REVISION NOTE 3 ABOVE.
 - 5. THE 80' ROADWAY EASEMENT (PRIVATE) HAS BEEN RELOCATED TO CONNECT TO THE NEW DRIVEWAY ALONG PAN AMERICAN FREEWAY.
- REVISION NOTES (JANUARY 2008)**
- 1. ADDED TRACK A-1-B-2

PROJECT NUMBER:
Application Number:

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated _____ and the Findings and Conditions in the Official Notification of Decision are retained.

Is an Infrastructure List required? () Yes (X) No. If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL 1

Traffic Engineering, Transportation Division	Date
Utilities Development	Date
Parks and Recreation Department	Date
City Engineer	Date
DRB Chairperson, Planning Department	Date
Environmental Health	Date

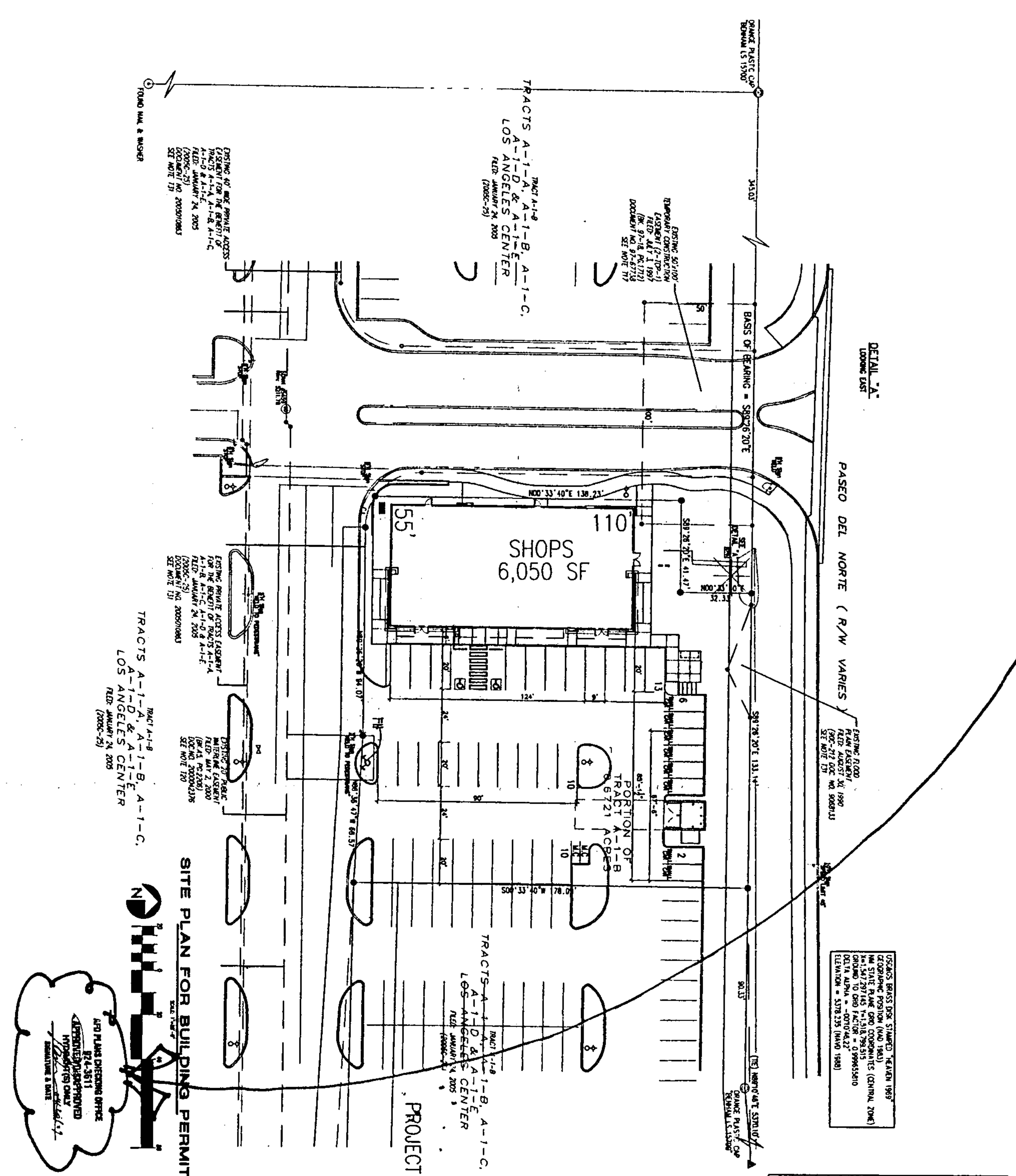
LANDFILL DISCLOSURE STATEMENT

THE SUBJECT PROPERTY IS LOCATED NEAR A FORMER LANDFILL. DUE TO THE SUBJECT PROPERTY BEING NEAR A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE MOST CURRENT VERSION OF THE INTERIM GUIDELINES FOR DEVELOPMENT WITHIN CITY DESIGNATED LANDFILL BUFFER ZONES) SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

Bohannon & Huston
 7800 Jefferson St, NE Albuquerque, NM 87109-4526
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES
 BH PROJECT #: 00179

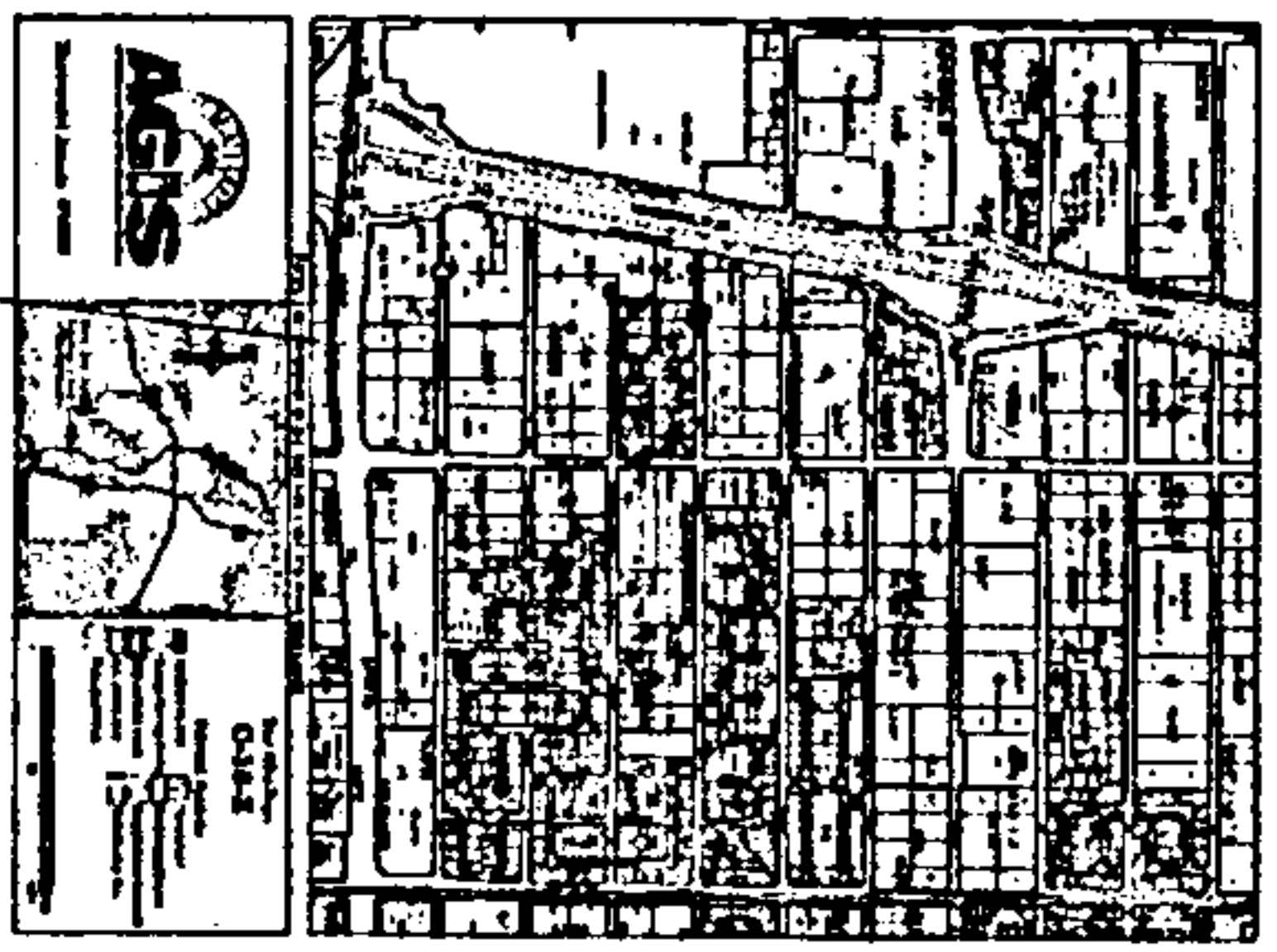
AMENDED SITE PLAN FOR SUBDIVISION LOS ANGELES CENTER PREPARED FOR: LOWE'S HLW.

FOR REF ONLY



ESCALAS BRASS FOR STAMPED "HARDEN 1999"
 CENTER POSITION (NO. 1840) (GENERAL ZONE)
 DELTA ALPHA = -0.0010422
 DELTA BETA = 0.000655810
 DELTA GAMMA = 0.000000000
 ELEVATION = 5378.235 (HARD 1988)

LEGAL DESCRIPTION	PORTION OF TRACT A-1-B
PROPOSED TRACT NUMBER	A-1-B
TOTAL ACRES	ACRES = 0.7171 AC
EXISTING ZONING	
PROPOSED ZONING	
BUILDING SIZE	6,050 SF
FAIR	206648
PROPOSED NUMBER OF STRUCTURES	1
PROPOSED USE	RETAIL
TOTAL PARKING PROVIDED	42 SPACES
TOTAL PARKING REQ (INC. EXEMPTED)	51 SPACES
HC PROVIDED	2 H.C. (INC. 2 VEH ACCESSIBLE)
HC REQUIRED	2 H.C. (INC. 2 VEH ACCESSIBLE)
Bike Spaces Provided	3 BIKE SPACES
Bike Spaces Required	3 BIKE SPACES
MOTORCYCLE SPACES PROVIDED	2 MOTORCYCLE SPACE
MOTORCYCLE SPACES REQUIRED	1 MOTORCYCLE SPACE



2 VICINITY MAP
 Scale: N.T.S.

SITE PLAN FOR BUILDING PERMIT
 SCALE: 1/8" = 1'-0"

ALSO PLANS CHECKING OFFICE
 874-5811
 EXHIBIT APPROVED
 HYDROLOGIST(S) ONLY
 SIGNATURE & DATE

PROJECT NUMBER:	
DATE:	4/12/06
SCALE:	AS NOTED
PROJECT NAME:	SHOPS-1
PROJECT ADDRESS:	S.W.C. OF PASO, AND SAN PEDRO N.E. ALBUQUERQUE, NEW MEXICO
PROJECT OWNER:	STEPHEN DURBAR, AA
JOB NO.:	
DRAWN BY:	MSW
DATE:	
PROJECT TITLE:	SITE PLAN

SHOPS-1
 S.W.C. OF PASO, AND SAN PEDRO N.E. ALBUQUERQUE, NEW MEXICO


PROJECT OWNER: **STEPHEN DURBAR, AA**

PROJECT TITLE: **SITE PLAN**

DATE: **4/12/06**

SCALE: **AS NOTED**

A1.0

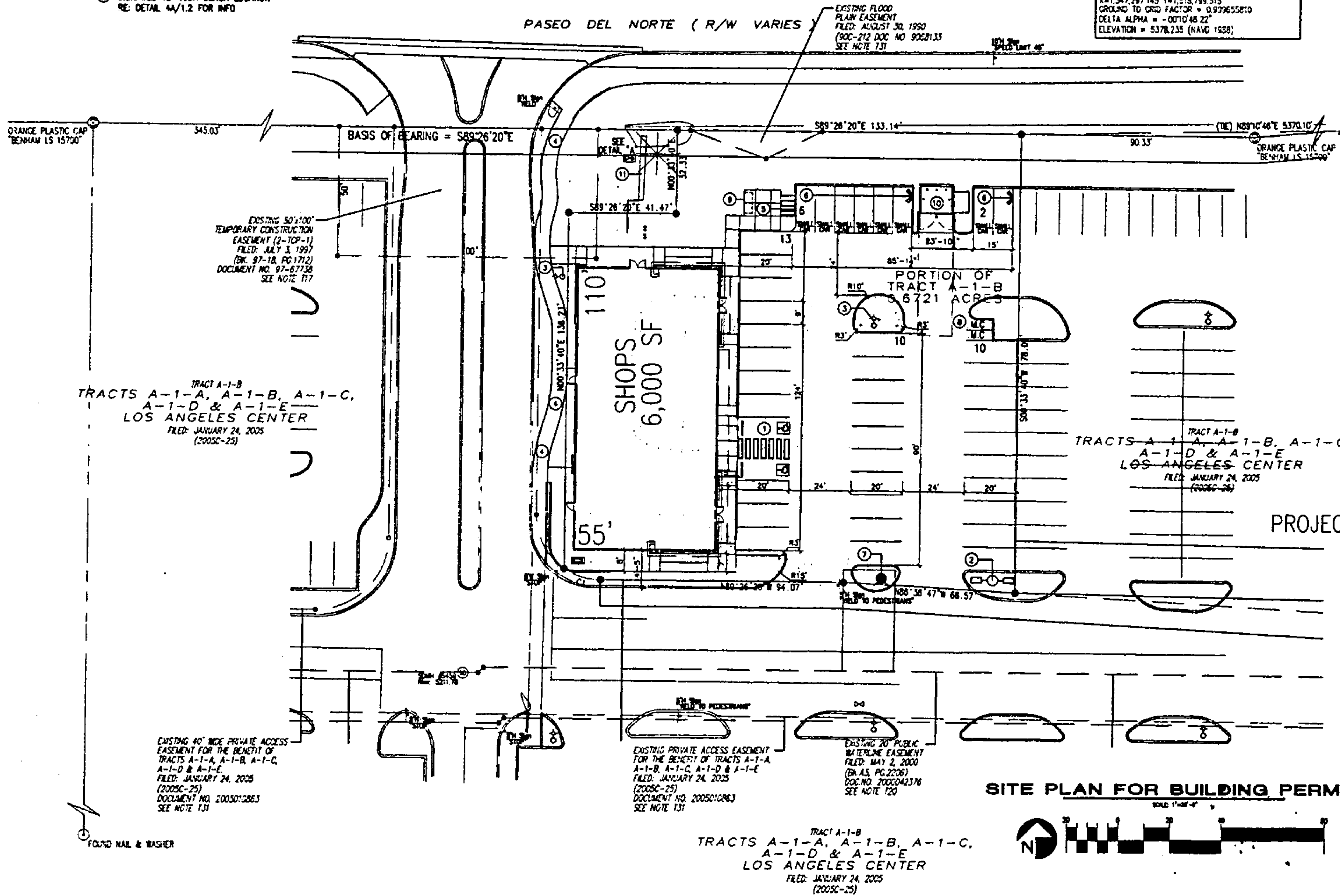


MODULUS ARCHITECTS
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 338-1499 FAX (505) 338-1498
 TOLL FREE 1-866-224-2161

REV	DATE	BY	REVISION

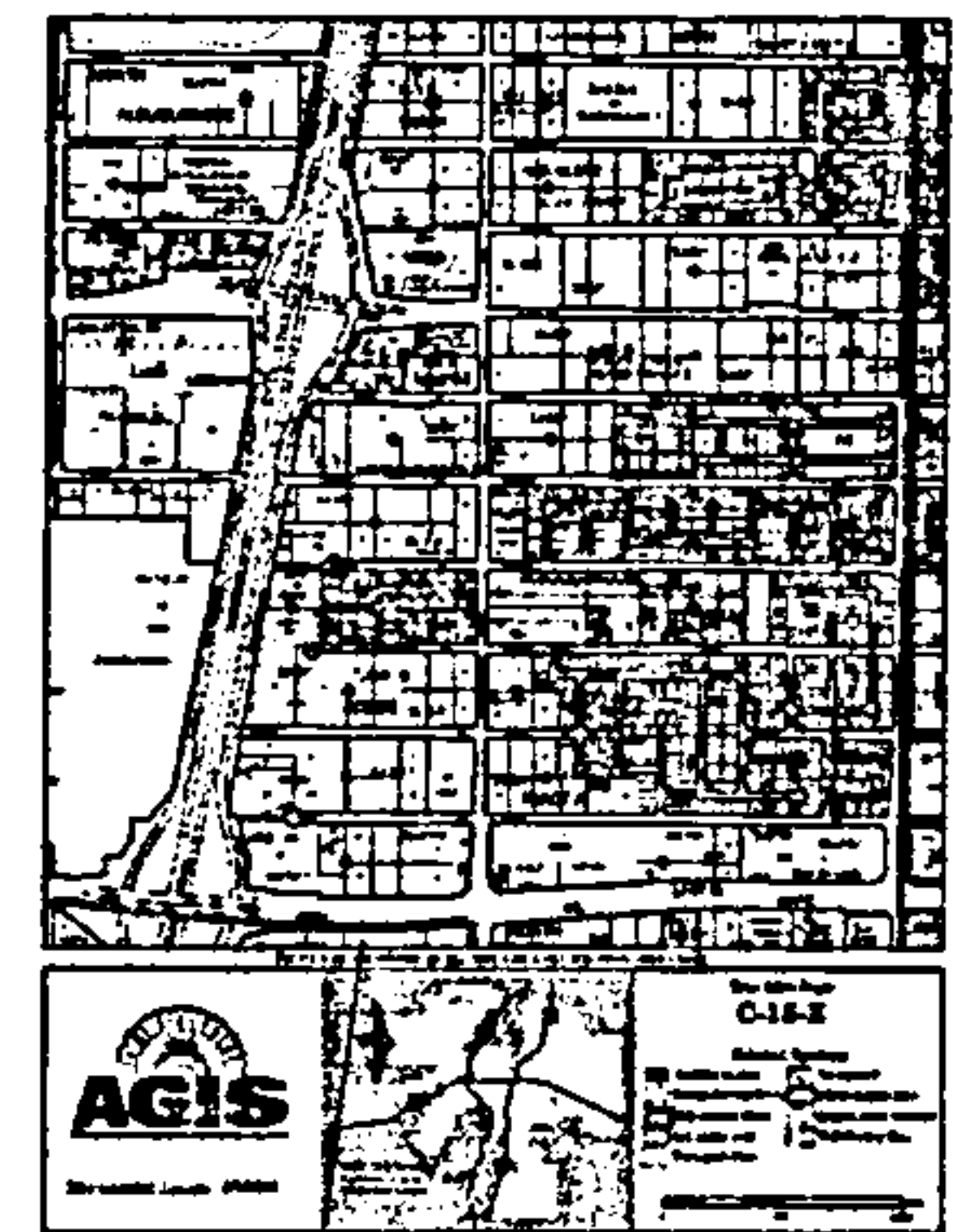
KEYED NOTE:

- ① PROPOSED H.C. PARKING LOCATION
RE: DETAIL 9/A1.2 FOR INFORMATION
- ② PROPOSED LIGHT POLE LOCATION RE: 6/A1.2 FOR POLE DETAIL
- ③ EXISTING LIGHTPOLE TO REMAIN
- ④ EXISTING 6' SIDEWALK TO REMAIN
- ⑤ INDICATES BIKE RACK LOCATION. (5 BIKE CAPACITY) RE: DET 4A/A1.2
- ⑥ INDICATES SMALL CAR PARKING SPACE (7'-6" X 18'TYP.)
- ⑦ INDICATES PROPOSED FIRE HYDRANT LOCATION
RE: UTILITY PLAN FOR INFO
- ⑧ INDICATES PROPOSED MOTORCYCLE PARKING STALL LOCATION
RE: SITE PLAN FOR LOCATIONS/ DET 3/A1.2 FOR SIGNAGE REQ.
- ⑨ INDICATES 18" HIGH BENCH LOCATION
RE: DETAIL 4A/A1.2 FOR INFO
- ⑩ INDICATES DUMPSTER/COMPACTOR LOCATION WITH RECYCLE AREA RE: DETAIL 12/A1.2
NOTE: ENCLOSURE SHALL MATCH ADJACENT BUILDING COLOR
- ⑪ INDICATES EXISTING PYLON SIGN TO REMAIN



USC&GS BRASS DISK STAMPE "HEAVEN 1969"
GEOGRAPHIC POSITION (NAD 1983)
NM STATE PLANE GRID COORDINATES (CENTRAL ZONE)
X=1,547,297.145 Y=1,518,799.515
GROUND TO GRID FACTOR = 0.999655810
DELTA ALPHA = -001°45'22"
ELEVATION = 5378.235 (NAVD 1988)

LEGAL DESCRIPTION	PORTION OF TRACT A-1-B
PROPOSED TRACT NUMBER:	A-1-B
TOTAL ACREAGE:	AREA= .6721 AC
EXISTING ZONING:	
PROPOSED ZONING:	
BUILDING SIZE:	6,000SF
FAR:	.208
PROPOSED NUMBER OF STRUCTURES:	1
PROPOSED USE:	RETAIL
TOTAL PARKING PROVIDED:	41 SPACES
TOTAL PARKING REQ. (INC. EMPLOYEE):	31 SPACES
HC PROVIDED:	2 H.C. (INC. 2 VAN ACCESSIBLE)
HC REQUIRED:	2 H.C. SPACES
BIKE SPACES PROVIDED:	5 BIKE SPACES
BIKE SPACES REQUIRED:	2 BIKE SPACES
MOTORCYCLE SPACES PROVIDED:	2 MOTORCYCLE SPACE
MOTORCYCLE SPACES REQUIRED:	1 MOTORCYCLE SPACE



2 VICINITY MAP
Scale: N.T.S.

PROJECT NUMBER:	APPLICATION NUMBER:
This plan is submitted with the specific site development plan approved by the Development Planning Commission (DPC) on [] and for the building and occupancy in the City of Los Angeles and is intended to be an information list required by () YES () NO. If you check a box of approved () NO then a check mark is required for any applicable other. Public Right-of-Way is for consideration of public improvements.	
THE CITY DEVELOPMENT PLAN BOARD APPROVAL:	
Traffic Engineering, Transportation Division	DATE
Water Utility Department	DATE
Parks and Recreation Department	DATE
City Engineer	DATE
Community Health Department	DATE
Safe Waste Department	DATE
DHS Department, Planning Department	DATE
* Environmental Health, if necessary	

REV	DATE	BY	REVISION

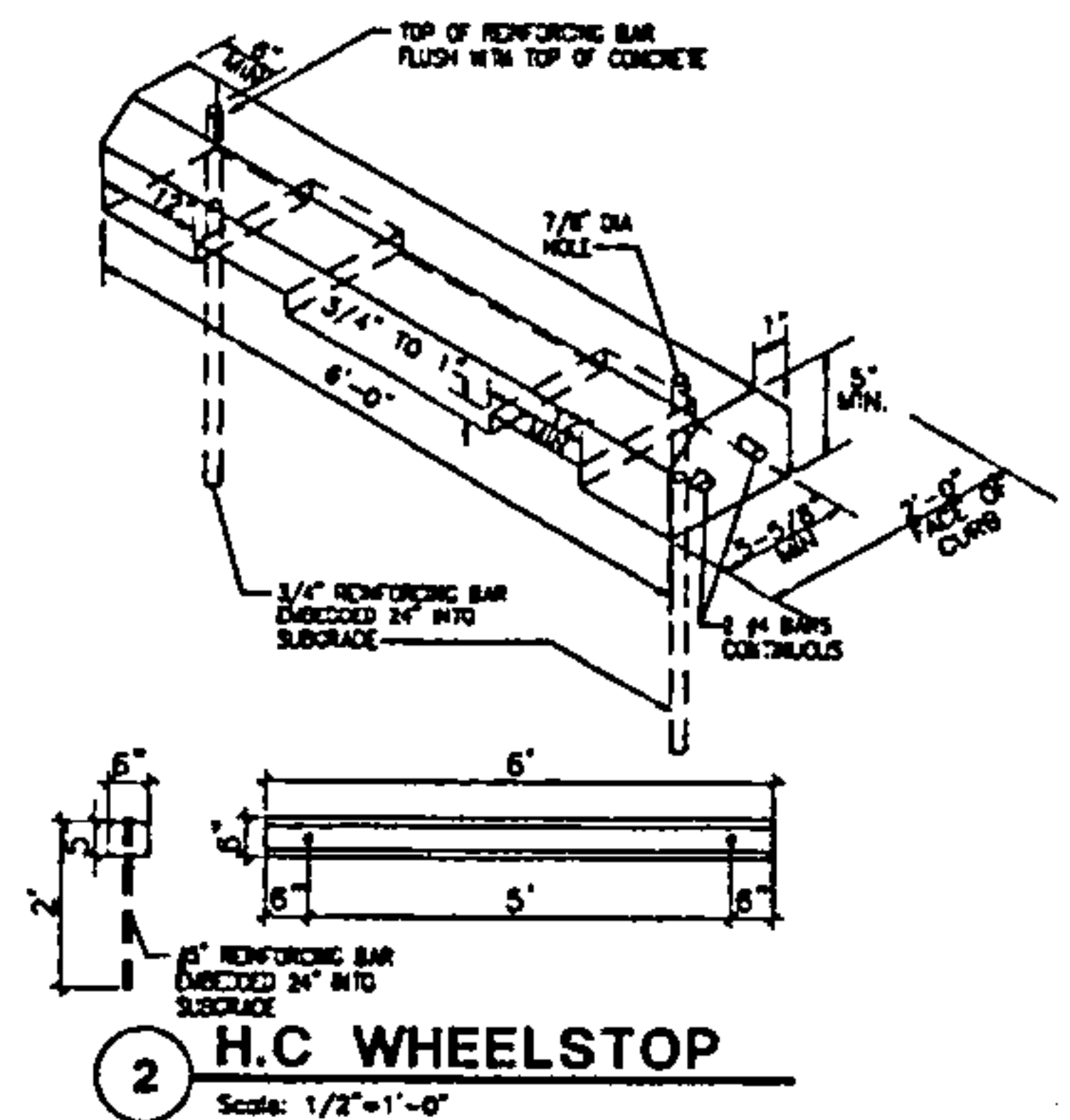
MODULUS ARCHITECTS
2325 SAN PEDRO N.E., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 338-1499 FAX (505) 338-1498
TOLL FREE 1-888-224-2161

SITE PLAN FOR BLDG PERMIT

PROJECT: SHOPS-1
S.W.C. OF PASEO DEL NORTE AND SAN PEDRO N.E.
ALBUQUERQUE, NEW MEXICO

DESIGNED BY: STEPHEN DUNBAR, AIA
JOB NO.:
DATE: 4/12/09

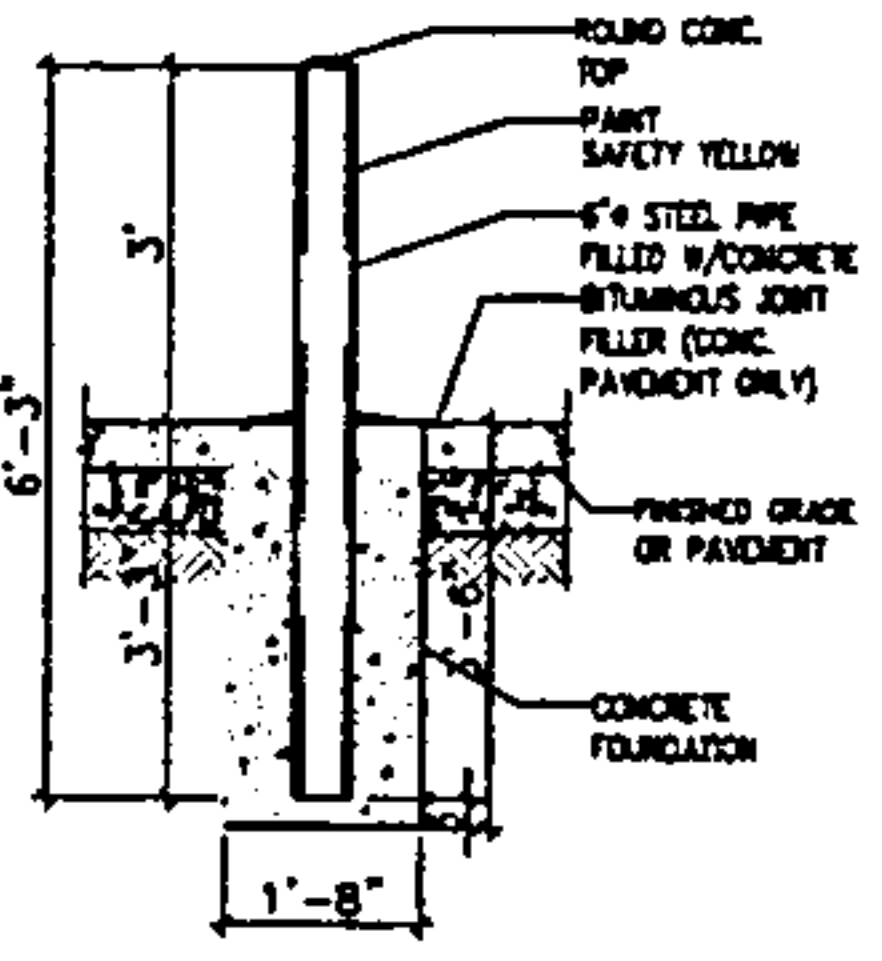
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SCALE: AS NOTED
PROJECT: A1.0



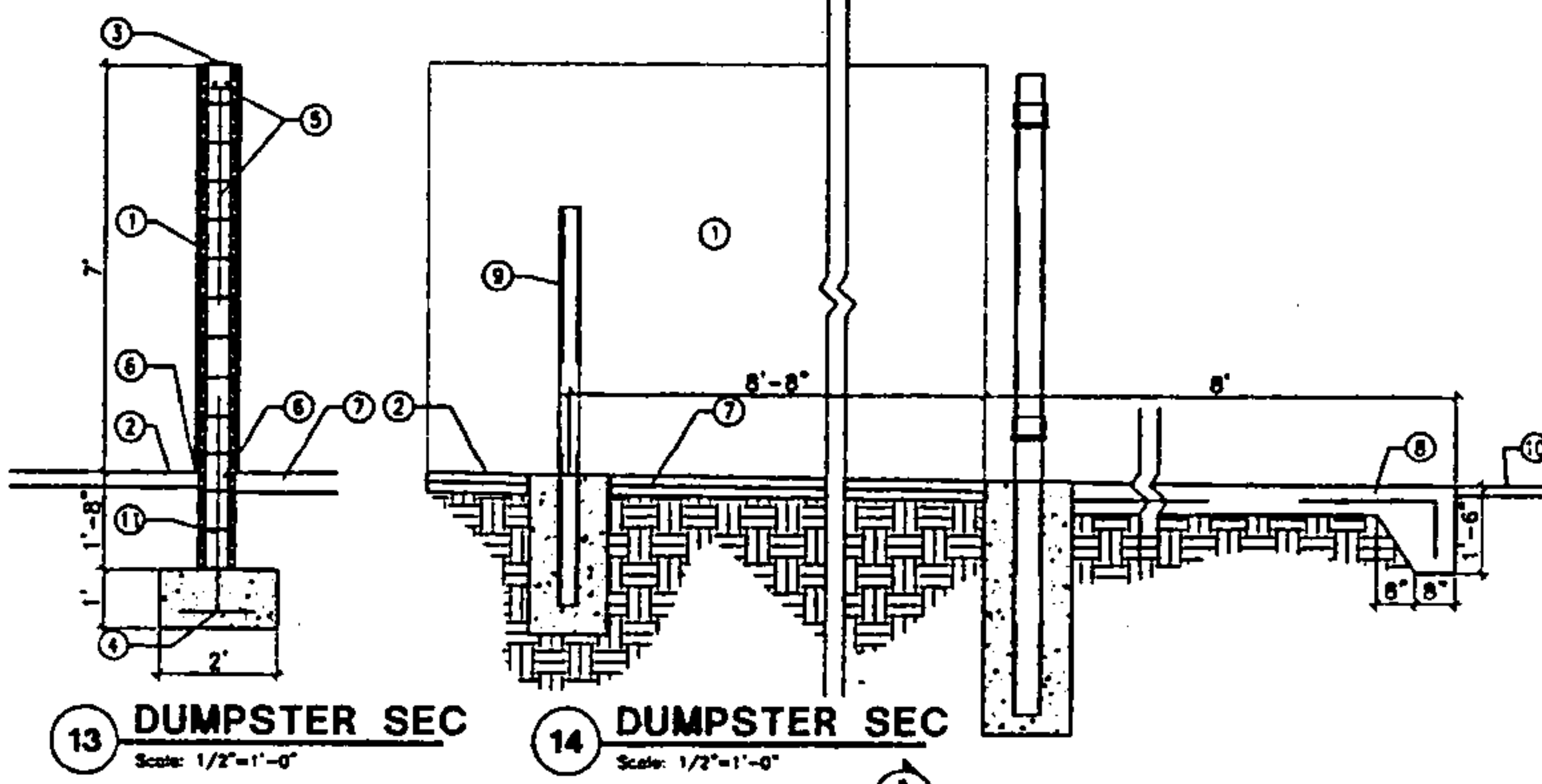
2 H.C. WHEELSTOP
Scale: 1/2"=1'-0"

- ENCLOSURE NOTES**
1. 8" DIA. WALL WITH 2 COAT SYN. STUCCO SYSTEM COLOR: BASKET WEDE SR 8143
 2. FINISH GRADE
 3. SLOPE STUCCO CAP
 4. 4-#4 BARS CONT. @ BOTTOM OF FOOTING 24" O.C. ACROSS BOTTOM OF FOOTING
 5. 2-#5 BARS @ TOP HOOK-OUT BLOCK BOND BEAM CONTINUOUS @ BARS @ 32" O.C. VERTICAL. CIRCUT REINFORCED CELLS, DURAWALL @ 14" O.C. HORIZONTAL
 6. 1/2" EXPANSION JOINT MATERIAL
 7. 4" CONCRETE SLAB 3000 PSI 3/4" AGGREGATE WITH 8#8 - 100110 W/M.
 8. 6" CONCRETE APRON 3000 PSI 3/4" AGGREGATE WITH 8#8 - 100110 W/M @ TURN/ROUND EDGE
 9. 6" CONCRETE FILLED PIPE IN 14" DIA. 2'-4" DEEP CONC. FOOTING PAINT TO MATCH STUCCO FINISH
 10. ASPHALT FINISH
 11. CIRCUT ALL CELLS SOLID BELOW GRADE, TYPICAL

15 ENCLOSURE NOTES
Scale: N.T.S.

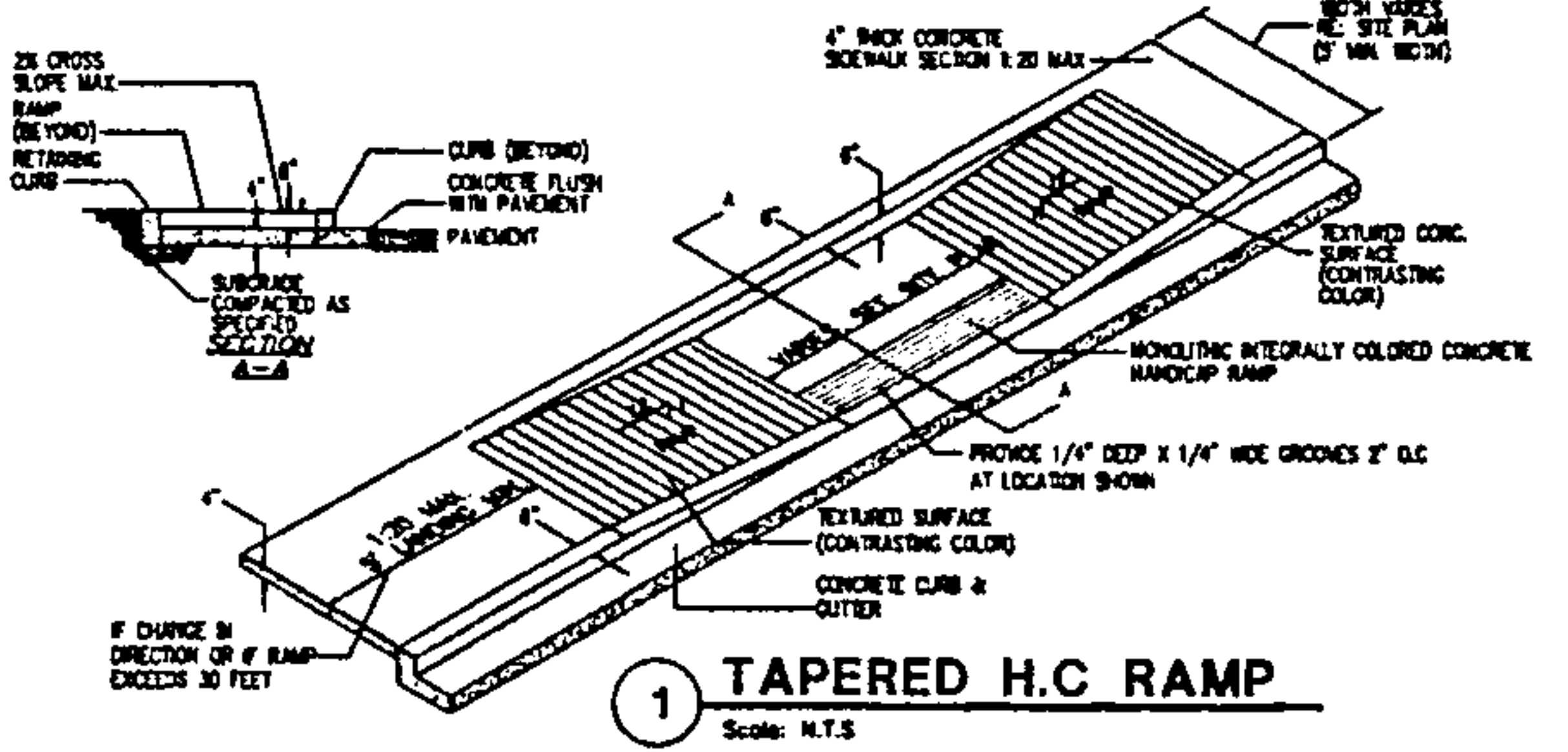


5 BOLLARD DETAIL
Scale: 1/2"=1'-0"

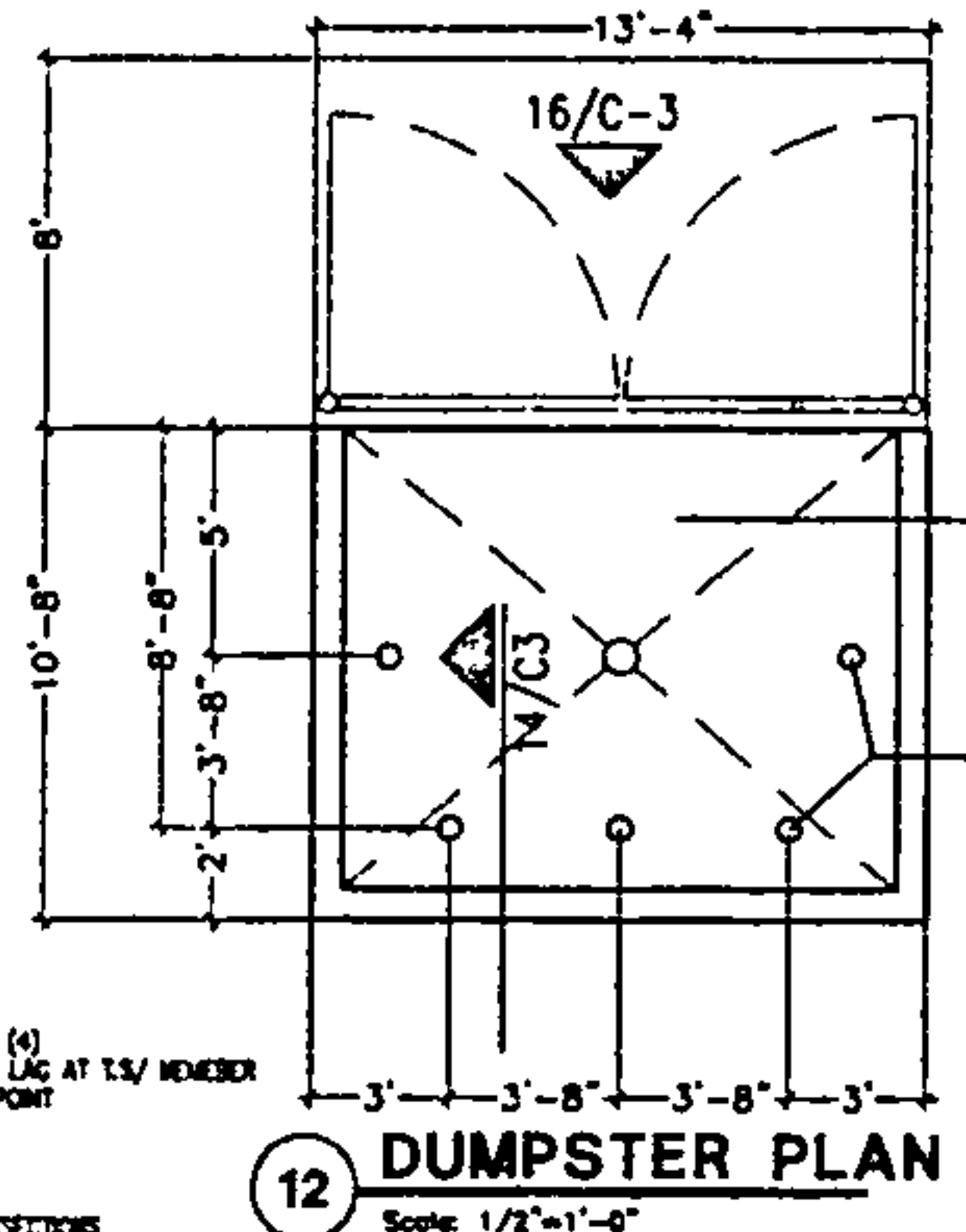


13 DUMPSTER SEC
Scale: 1/2"=1'-0"

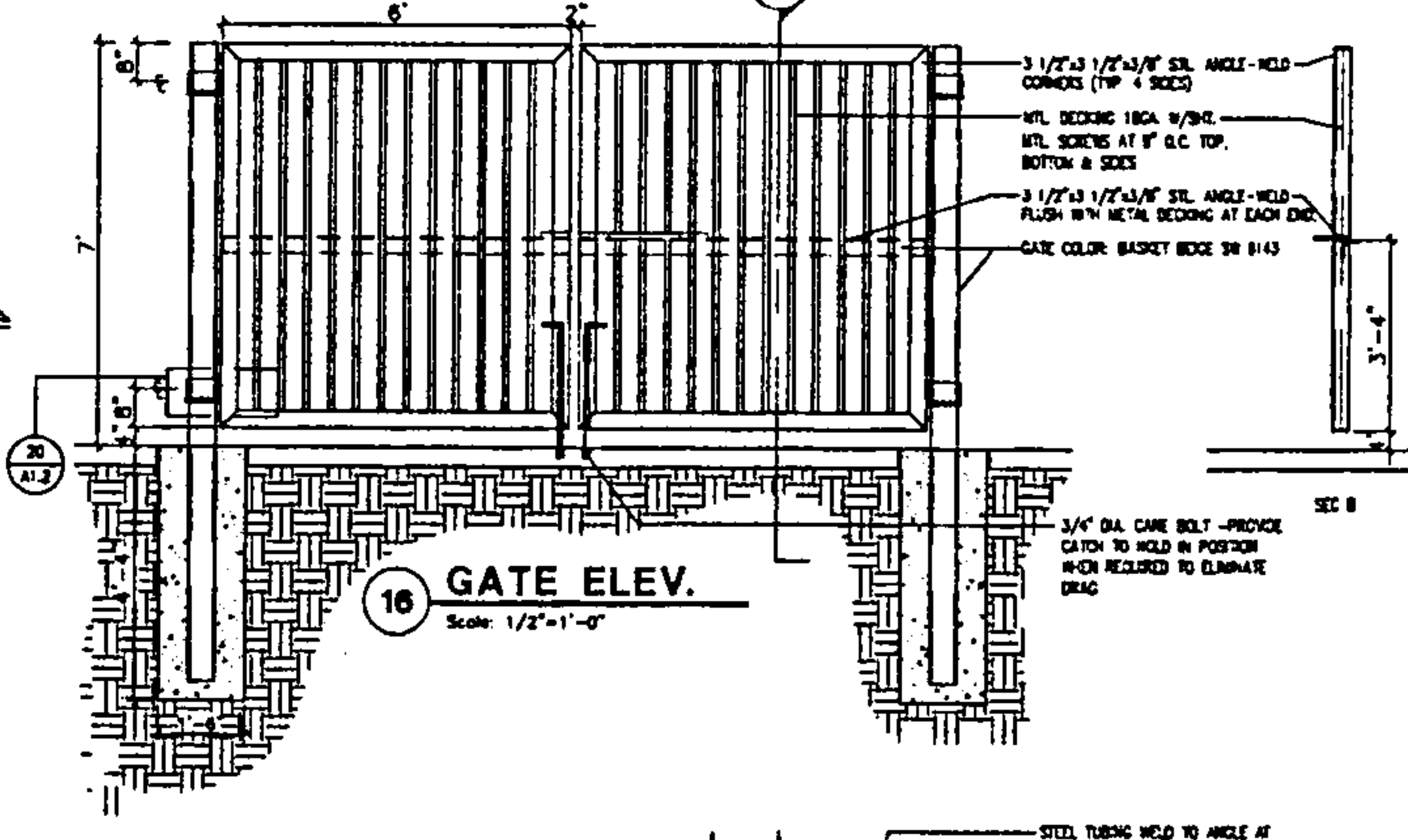
14 DUMPSTER SEC
Scale: 1/2"=1'-0"



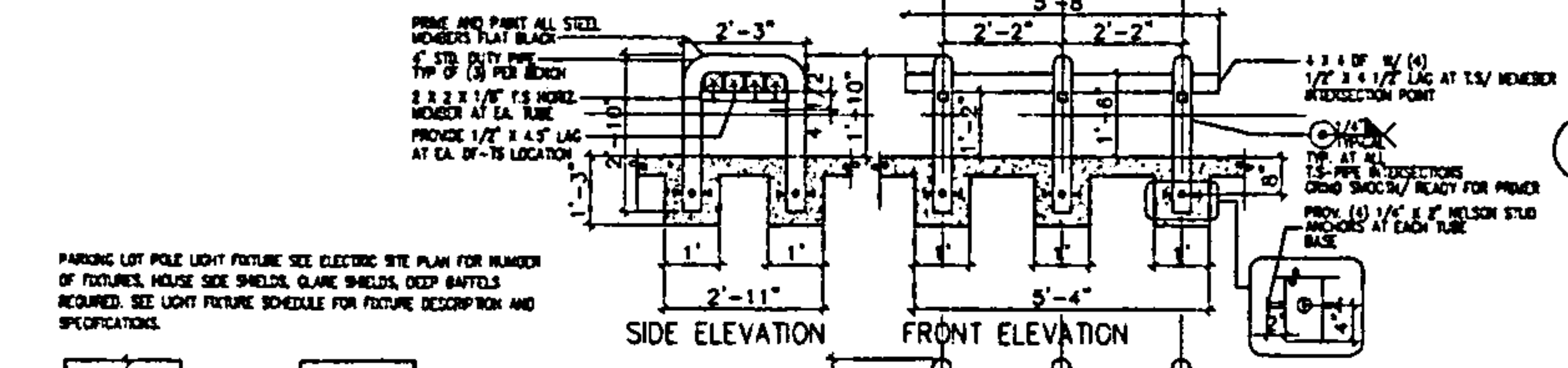
1 TAPERED H.C. RAMP
Scale: N.T.S.



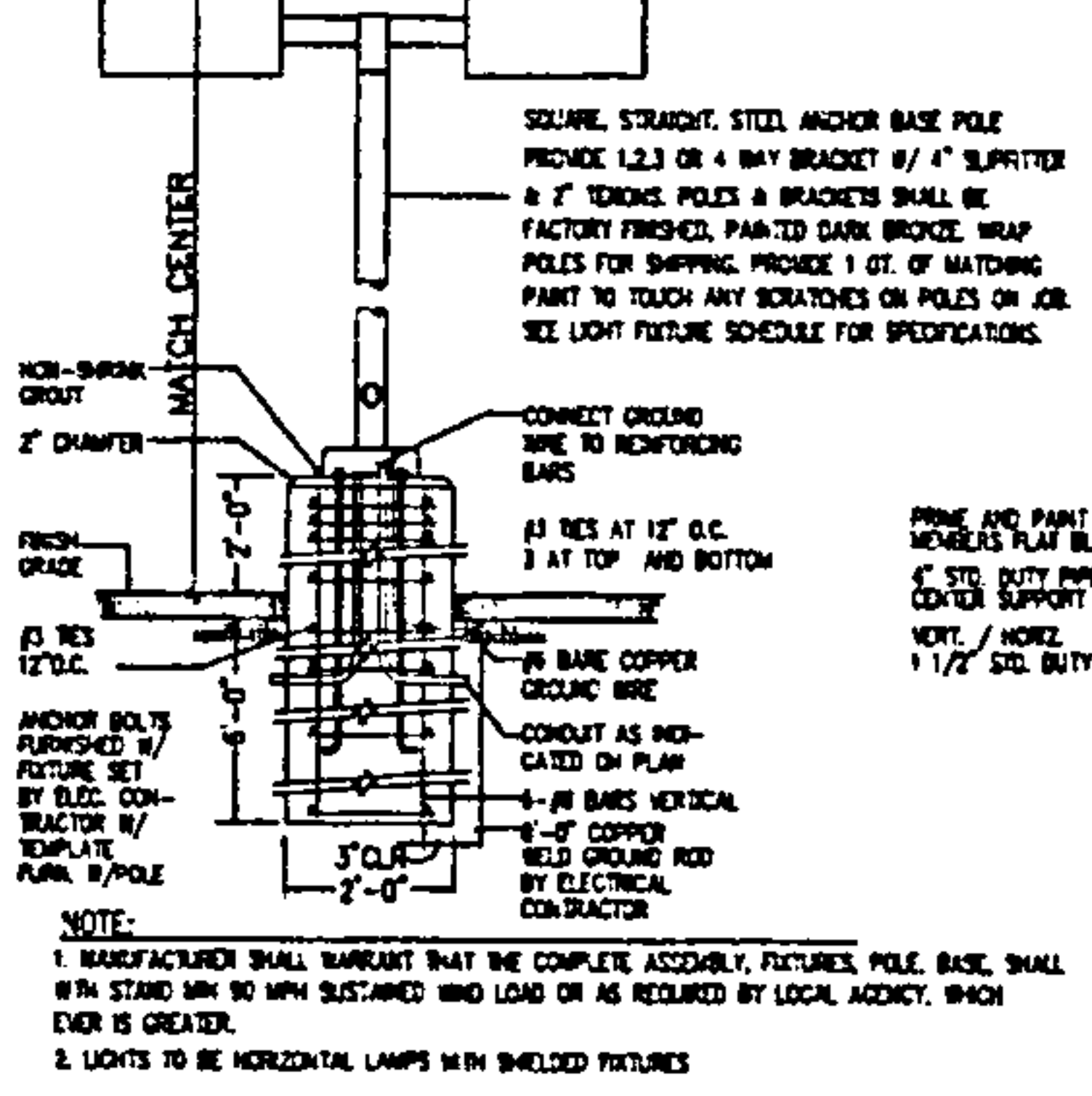
12 DUMPSTER PLAN
Scale: 1/2"=1'-0"



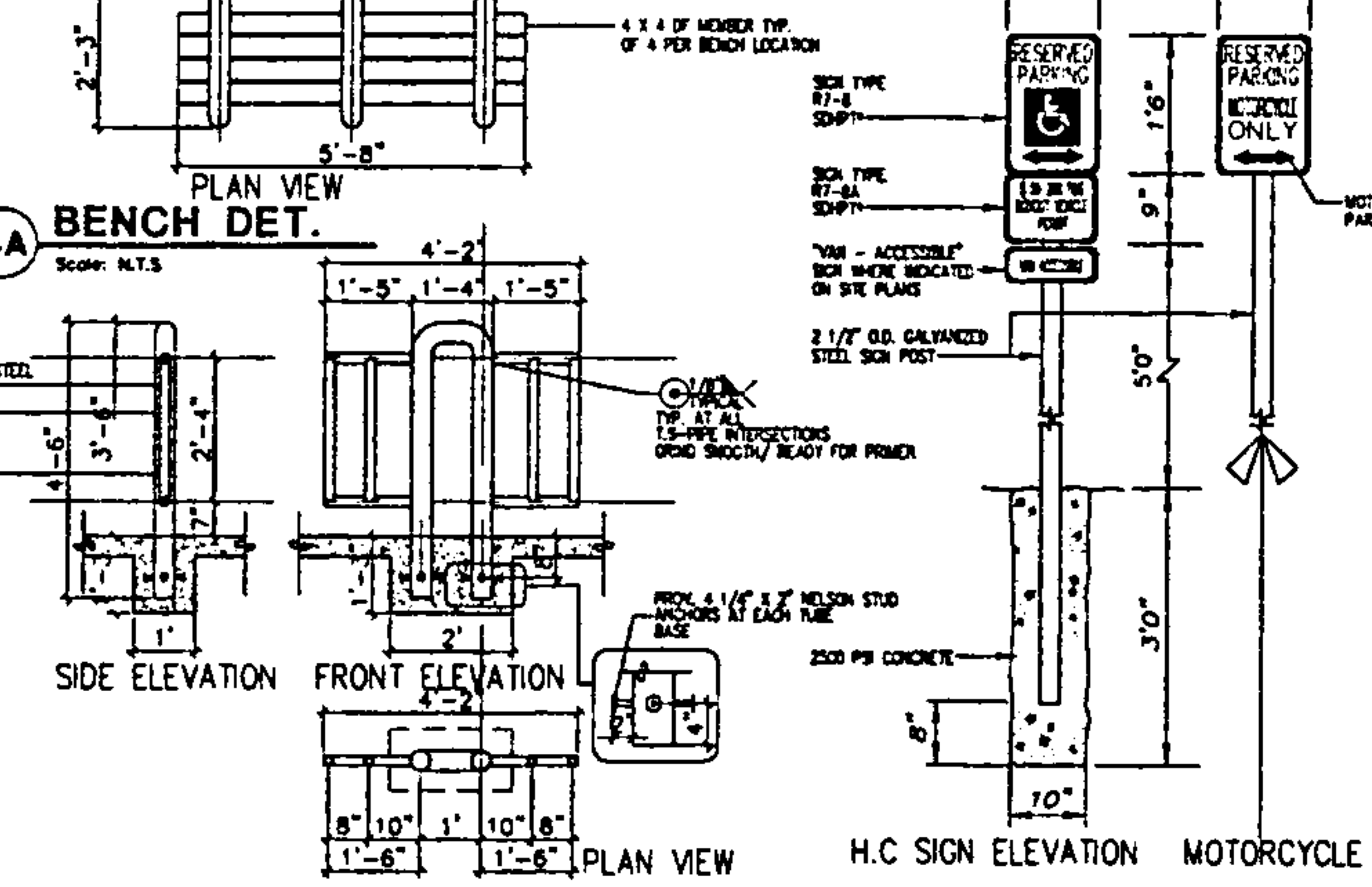
16 GATE ELEV.
Scale: 1/2"=1'-0"



4A BENCH DET.
Scale: N.T.S.

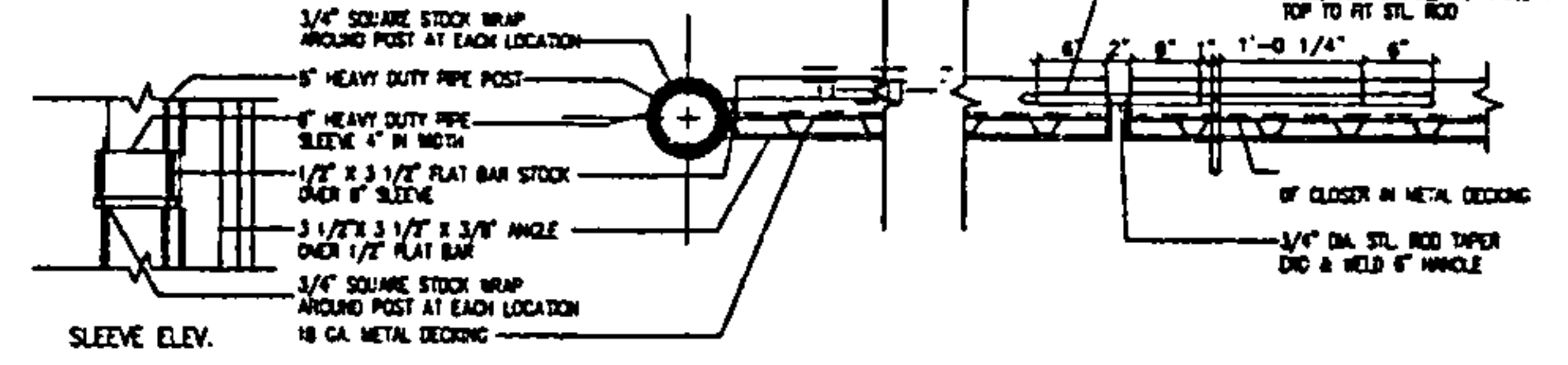


6 LIGHT POLE DETAIL
Scale: N.T.S.

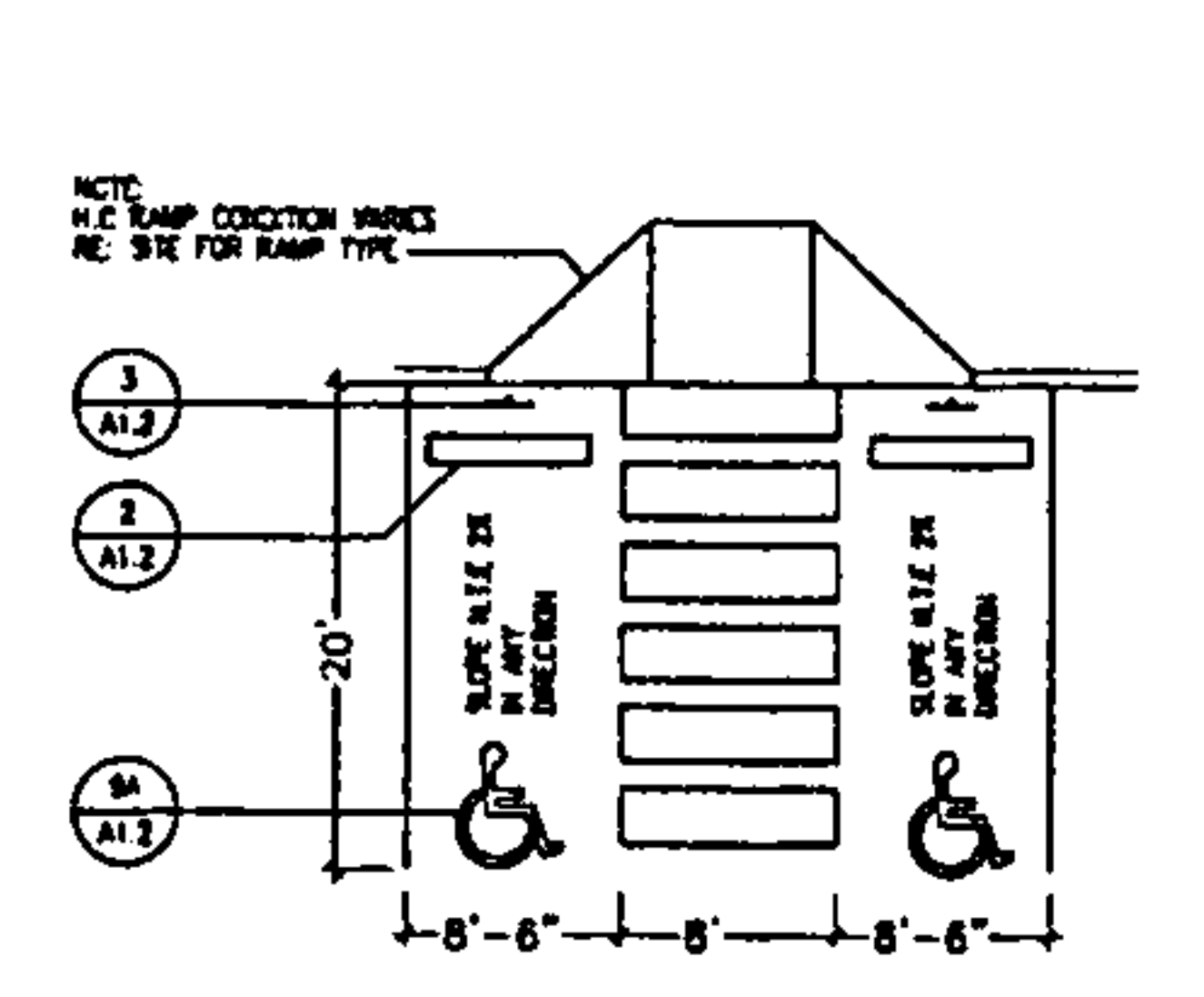


4 BIKE RACK
Scale: N.T.S.

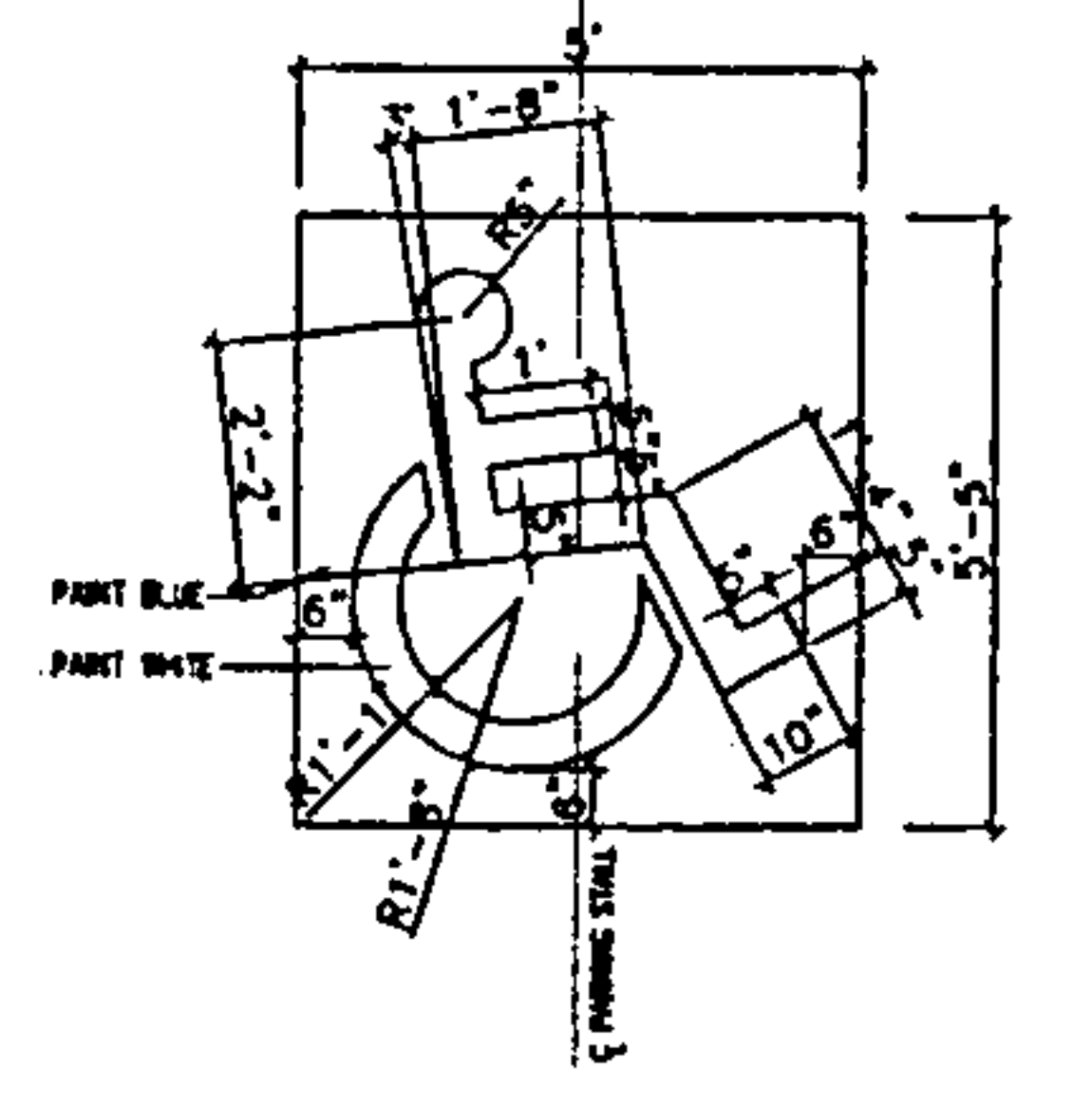
3 H.C./MOTOR CYCLE SIGN DETAIL
Scale: N.T.S.



20 GATE POST/SLIDE BOLT DET.
Scale: 1"=1'-0"



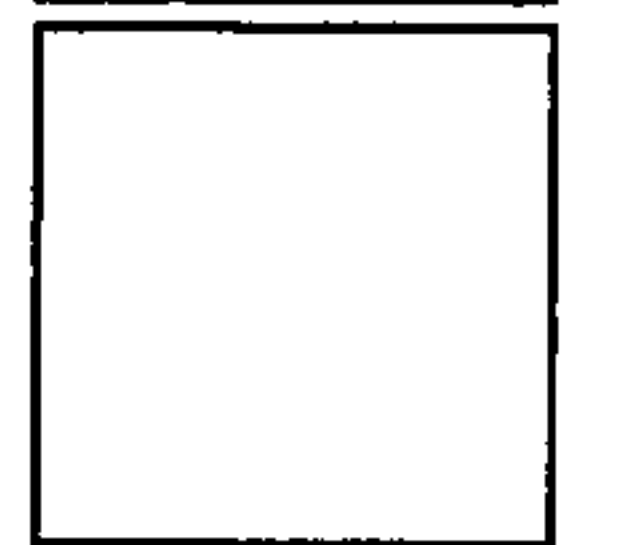
9 H.C. TYP. PARKING DET.
Scale: N.T.S.



9A H.C. SIGNAGE
Scale: 1/2"=1'-0"

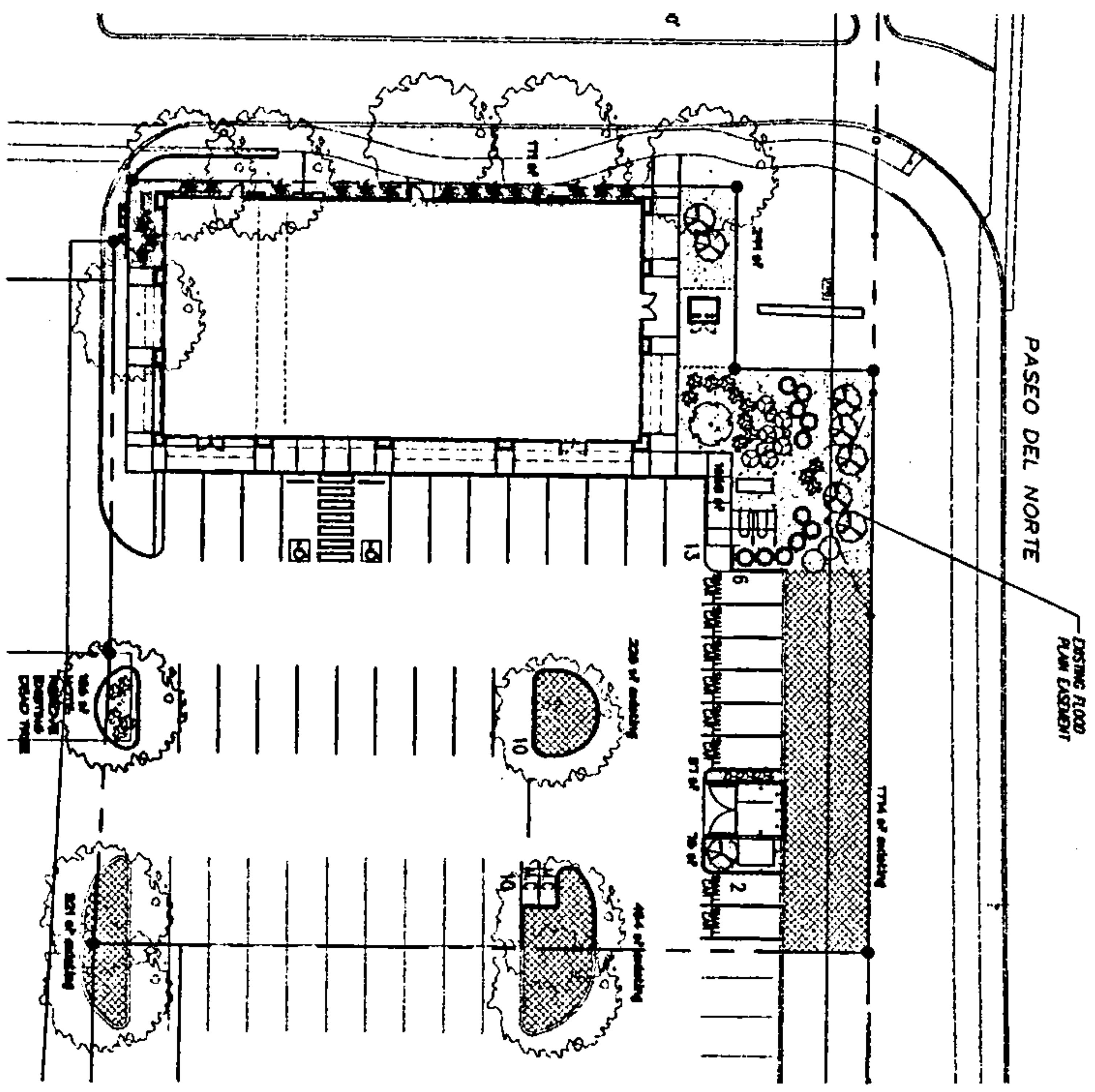
REV.	DATE	BY	REASON

MODULUS ARCHITECTS
2225 SAN PEDRO N.E. SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 338-1499 FAX (505) 338-1498
TOLL FREE 1-866-574-2161



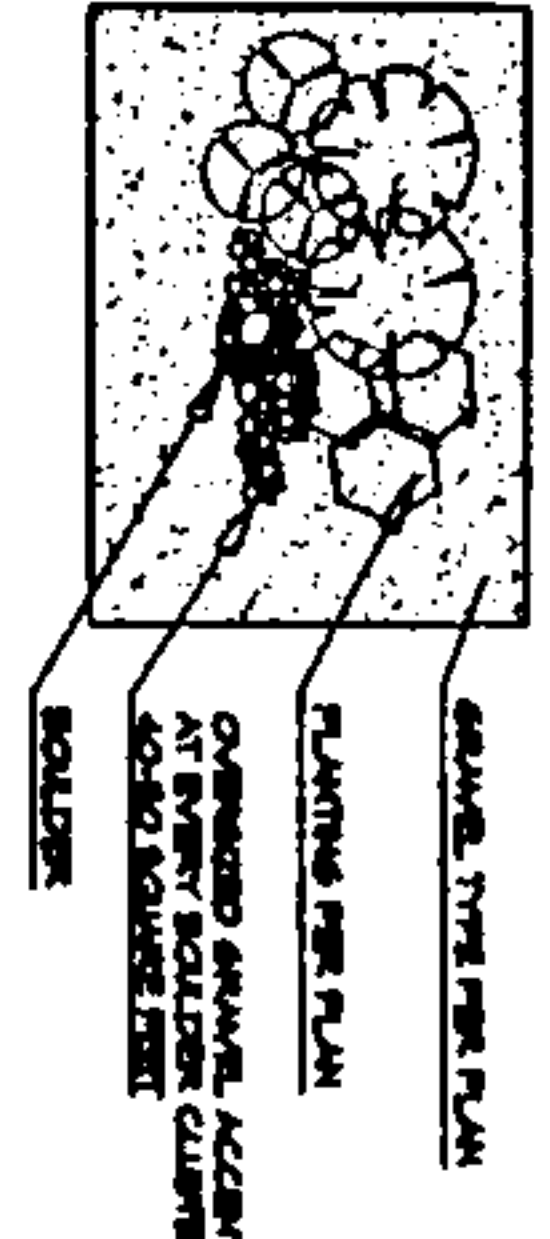
PROJECT NO.	SHOPS-1
CLIENT	S.W.C. OF PASCO AND SAN PEDRO N.E. ALBUQUERQUE, NEW MEXICO
DESIGNED BY	STEPHEN DUNBAR, AIA
DRAWN BY	WFSH
JOB NO.	
DATE	
SITE DETAILS	

DATE	4/12/09
SCALE	A1.2
AS NOTED	



LANDSCAPE CALCULATIONS

TOTAL LOT AREA	27000	SQUARE FEET
TOTAL BUILDING AREA	10000	SQUARE FEET
NET LOT AREA	17000	SQUARE FEET
LANDSCAPE REQUIREMENT	3400	SQUARE FEET
TOTAL LANDSCAPE PROVIDED	3400	SQUARE FEET



MINIMUM LOT TREE REQUIREMENTS - Minimum 2' Caliper

Shade trees required under the City of Albuquerque Property Lot Tree Ordinance per as follows:

1. Shade trees per 10,000 sq. ft. of lot area required: 1.0

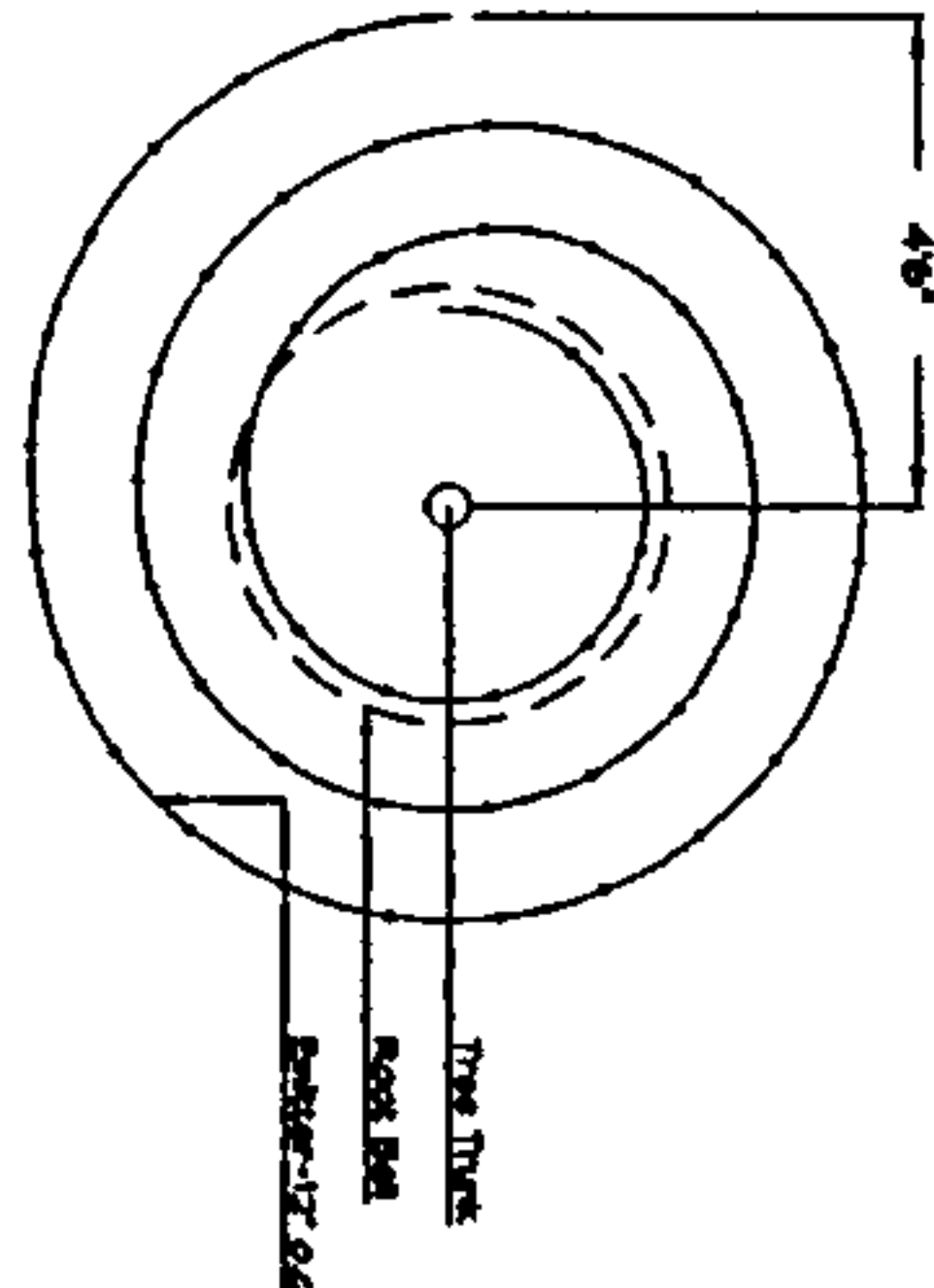
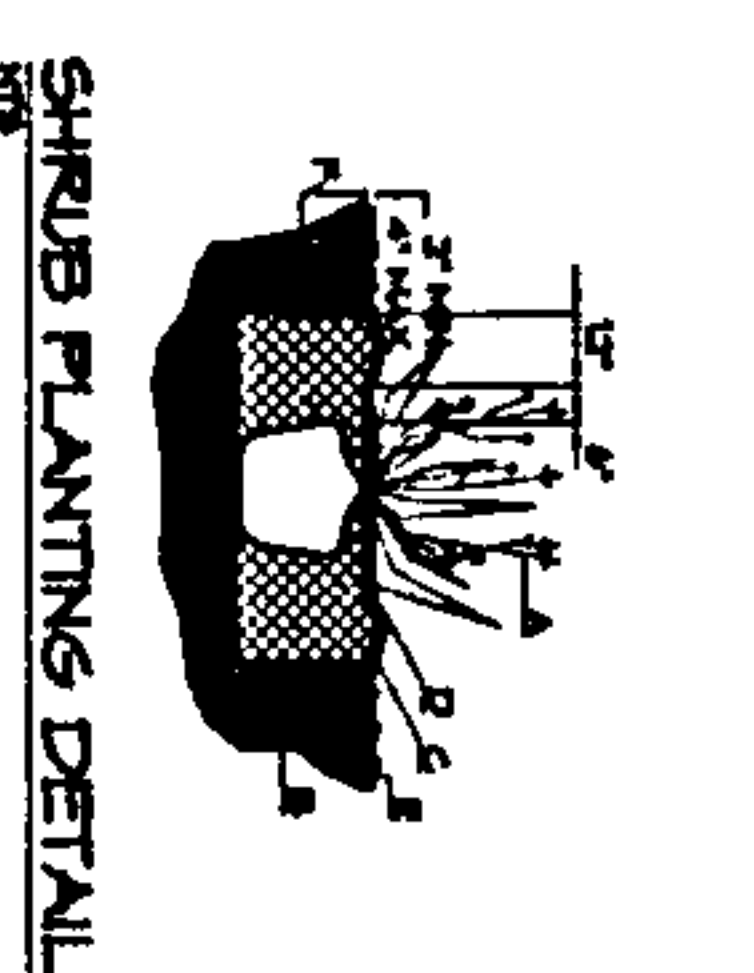
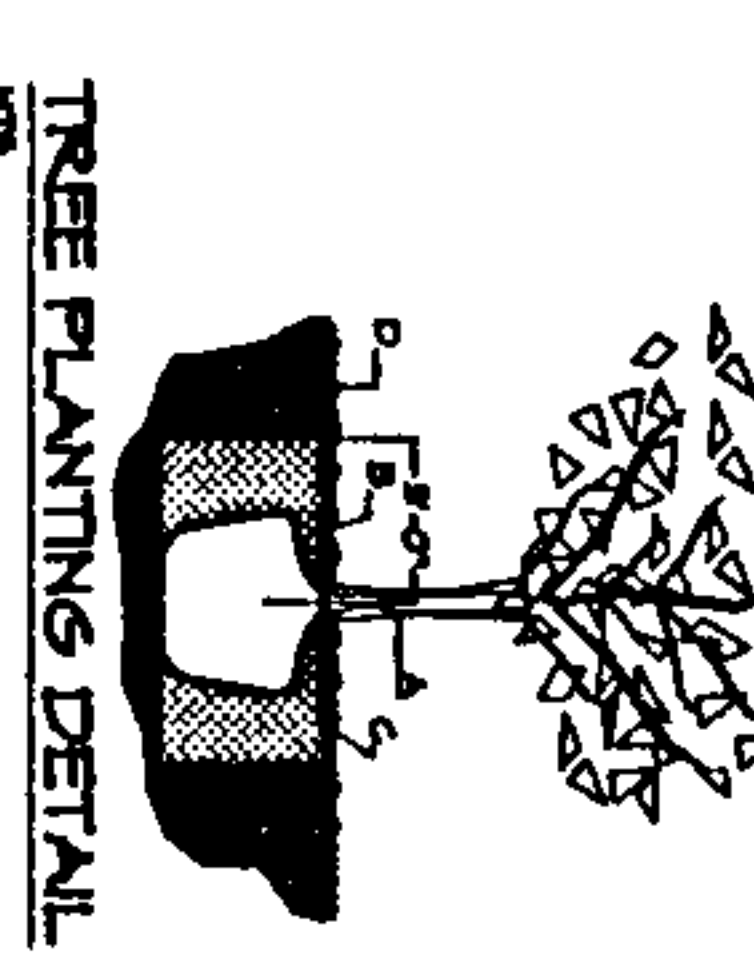
2. Provided a 1 inch and 3 diameter trees per 10,000 sq. ft. of lot area required: 1.0

PLANT LEGEND

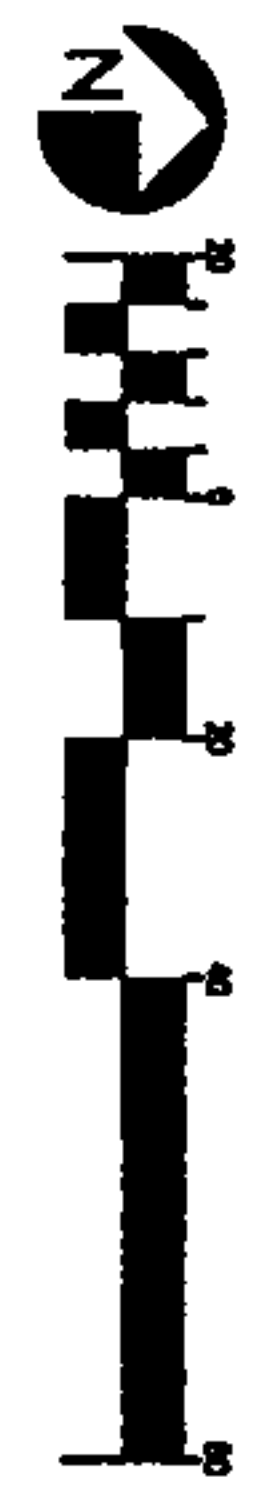
TO MATCH EXISTING LANDSCAPE

All plants shall be listed per American Standard for Horticultural Abbreviations and shall indicate the height or spread, in cases where Type O plants have been provided for replacement, the height or spread shall be indicated in feet and inches.

- 1. **SHRUB** - 4' to 6' height
- 2. **TREE** - 6' to 10' height
- 3. **TREE** - 10' to 15' height
- 4. **TREE** - 15' to 20' height
- 5. **TREE** - 20' to 25' height
- 6. **TREE** - 25' to 30' height
- 7. **TREE** - 30' to 35' height
- 8. **TREE** - 35' to 40' height
- 9. **TREE** - 40' to 45' height
- 10. **TREE** - 45' to 50' height
- 11. **TREE** - 50' to 55' height
- 12. **TREE** - 55' to 60' height
- 13. **TREE** - 60' to 65' height
- 14. **TREE** - 65' to 70' height
- 15. **TREE** - 70' to 75' height
- 16. **TREE** - 75' to 80' height
- 17. **TREE** - 80' to 85' height
- 18. **TREE** - 85' to 90' height
- 19. **TREE** - 90' to 95' height
- 20. **TREE** - 95' to 100' height



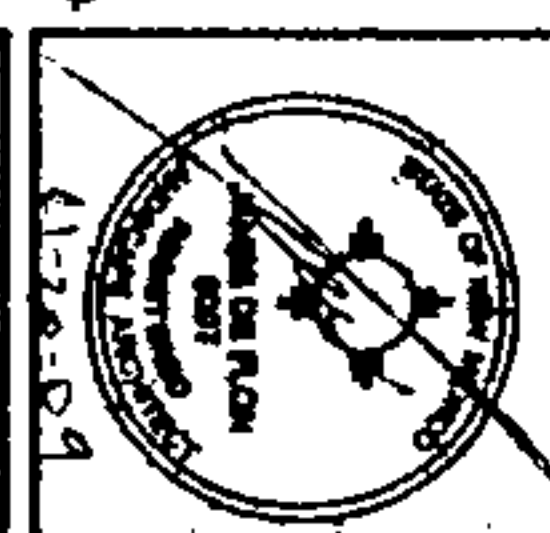
LANDSCAPE PLAN FOR BUILDING PERMIT



The Hilltop

Consulting Architect & Construction
 7008 East N.E.
 Albuquerque, NM 87104
 Phone: (505) 886-8800
 Fax: (505) 886-7737
 www.thehilltop.com

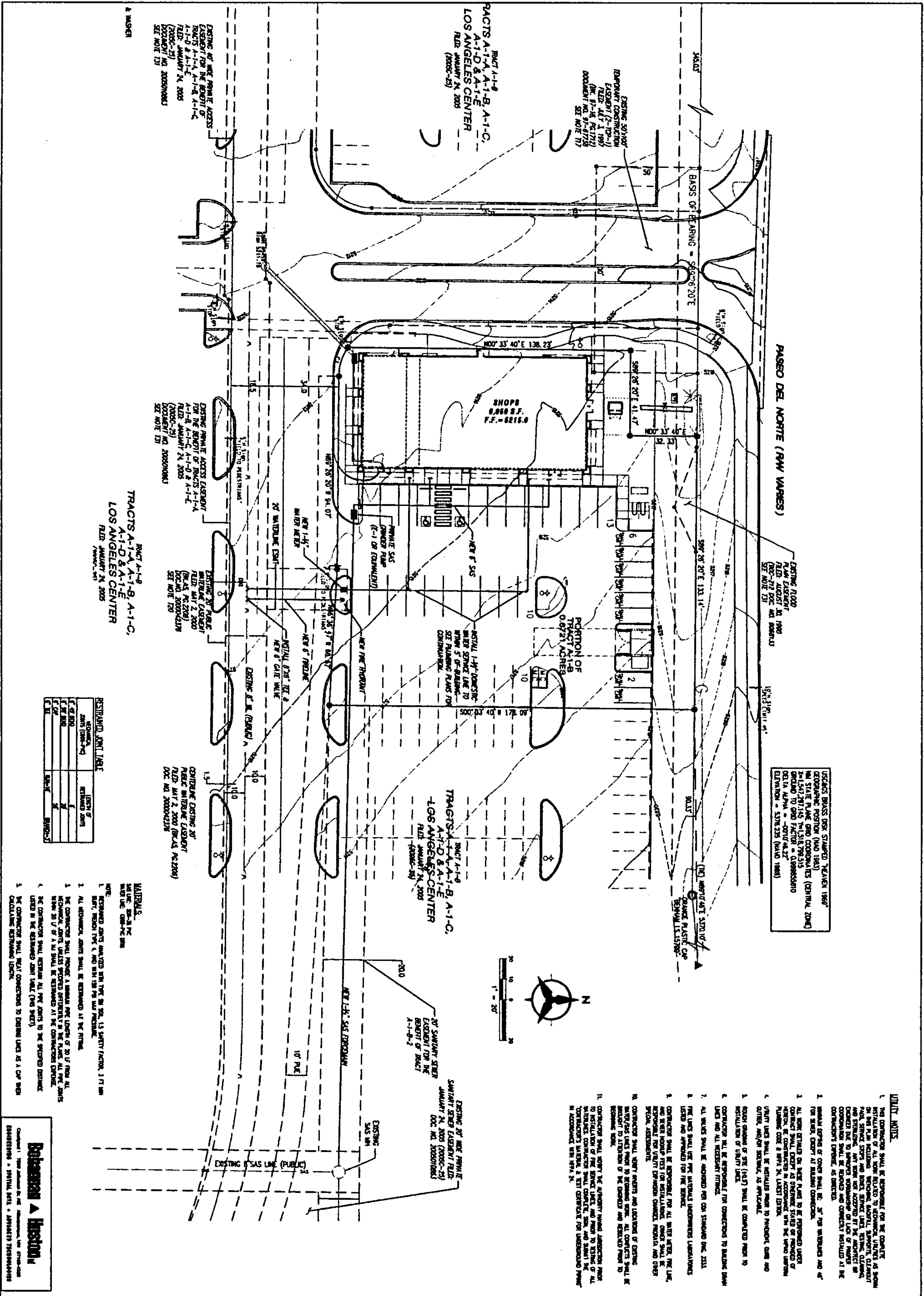
PROJECT NO.	SHOPS-1
PROJECT ADDRESS	S.W.C. OF PASCO AND SAN PEDRO N.E. ALBUQUERQUE, NEW MEXICO
PROJECT ARCHITECT	STEPHEN DUNBAR, AIA
JOB NO.	
DRAWN BY:	RMC
DATE	4/20/09
SCALE	AS NOTED
DATE	1.0
SCALE	



MODULUS ARCHITECTS

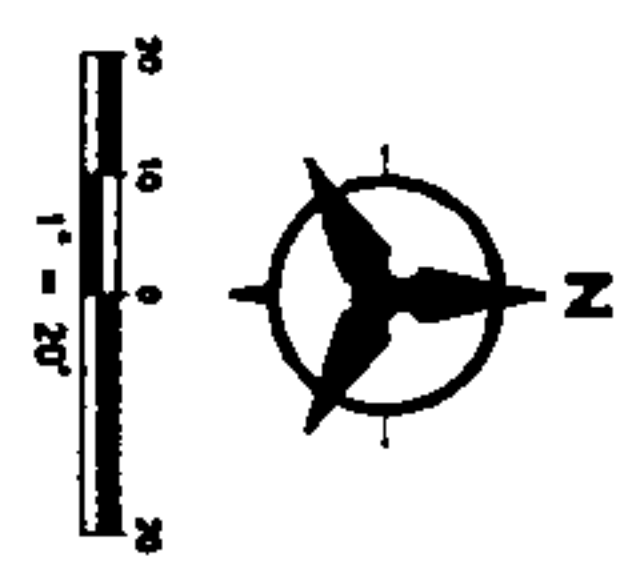
2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 338-1499 FAX (505) 338-1498
 TOLL FREE 1-866-224-2161

REV	DATE	BY	REVISION



USDA'S BRASS DOR STAMPED 'BEAVER 1989'
 NAD STATE PLANE GRID COORDINATES (CENTRAL ZONE)
 NAD 83 (NAD 83) DATUM
 UTM ZONE 12S
 ELEVATION = 5278.22 (NAD 1983)

PASO DEL NORTE (RAW WARES)



- UTILITY NOTES**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL NEW RELATED TO MECHANICAL UNITS AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL NEW RELATED TO MECHANICAL UNITS AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
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2.00	2.00	2.00	2.00
3.00	3.00	3.00	3.00
4.00	4.00	4.00	4.00
5.00	5.00	5.00	5.00

- NOTES**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL NEW RELATED TO MECHANICAL UNITS AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
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Bakerman & Heston
 ARCHITECTS
 1000 UNIVERSITY AVENUE, N.W.
 ALBUQUERQUE, NEW MEXICO 87102
 PHONE: (505) 263-1111
 FAX: (505) 263-1112



MODULUS ARCHITECTS
 2325 SAN PEDRO N.E. SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 338-1499 FAX (505) 338-1498
 TOLL FREE 1-866-224-2161

REV	DATE	BY	REVISION

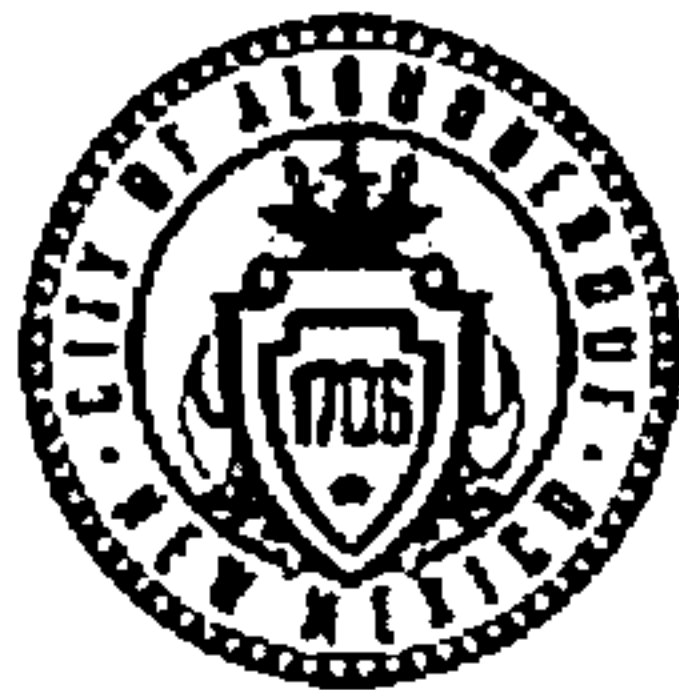
PROJECT DATA

SHOPS-1
 S.W.C. OF PASO, AND SAN PEDRO N.E.
 ALBUQUERQUE, NEW MEXICO.

DATE: 4/18/09
 DRAWN BY: LSM
 CHECKED BY: BRUCE A. STONOROTH, P.E.
 JOB NO.: 090211

PROJECT NO.: UT-01
 SHEET NO.: 1

CONCEPTUAL UTILITY PLAN



Bob Paulsen/PLN/CABQ
08/30/2005 05:26 PM

To smatson@cabq.gov
cc lsk@denishkline.com, Ann Marie Christian
<AnnMarieC@dpsabq.com>, kcurran@cabq.gov
bcc

Subject Fw: Parking at Paseo and I-25

#1001946
SPS heard 8/31.
FILE PLEASE

Sheran: I concur with Lawrence Kline regarding this matter. Please let me know if you have questions.

--Bob Paulsen
4-3346

----- Forwarded by Bob Paulsen/PLN/CABQ on 08/30/2005 05:24 PM -----

Lawrence Kline <lsk@denishkline.com>

08/30/2005 11:02 AM

To bpaulsen@cabq.gov
cc Ann Marie Christian <AnnMarieC@dpsabq.com>, SMatson@cabq.gov,
kcurran@cabq.gov
Subject Parking at Paseo and I-25

The exact language from the design standards is:

"The maximum number of parking spaces for each tract shall meet the requirements of the Albuquerque Comprehensive Zoning Ordinance, plus fifteen percent."

I'll allow as how that could be read both ways, but Lola and I believe that it was the Department's intention, as well as the intention of the EPC, to prevent the gross overparking of sites such as the "big-box" tenants like to do - that, since the Zoning Code only expresses a minimum, this was the way the EPC could limit the number of spaces over the minimum that people could have.

That's a convoluted way of saying this language means: "We want you to have as little parking as possible to meet your needs, so give us the minimum required by the Code. If you want more, you can have a few more, but no more than 15% more." Conversely, tenants who do not want extra spaces are not required to provide any extra.

If you agree with this, would you please send an e-mail to Sheran re project # 10001946 - its on the DRB tomorrow.

Thanks!!!

LSK

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION		Supplemental form		ZONING & PLANNING	
<input type="checkbox"/>	Major Subdivision action	<input type="checkbox"/>	S	<input type="checkbox"/>	Annexation
<input type="checkbox"/>	Minor Subdivision action	<input type="checkbox"/>	Z	<input type="checkbox"/>	County Submittal
<input type="checkbox"/>	Vacation	<input type="checkbox"/>	V	<input type="checkbox"/>	EPC Submittal
<input type="checkbox"/>	Variance (Non-Zoning)	<input type="checkbox"/>	P	<input type="checkbox"/>	Zone Map Amendment (Establish or Change Zoning)
<input type="checkbox"/>	SITE DEVELOPMENT PLAN	<input type="checkbox"/>	L	<input type="checkbox"/>	Sector Plan (Phase I, II, III)
<input checked="" type="checkbox"/>	for Subdivision Purposes	<input type="checkbox"/>	A	<input type="checkbox"/>	Amendment to Sector, Area, Facility or Comprehensive Plan
<input type="checkbox"/>	for Building Permit	<input type="checkbox"/>	D	<input type="checkbox"/>	Text Amendment (Zoning Code/Sub Regs)
<input type="checkbox"/>	IP Master Development Plan	<input type="checkbox"/>		<input type="checkbox"/>	Street Name Change (Local & Collector)
<input type="checkbox"/>	Cert. of Appropriateness (LUCC)	<input type="checkbox"/>		<input type="checkbox"/>	APPEAL / PROTEST of...
<input type="checkbox"/>	STORM DRAINAGE	<input type="checkbox"/>		<input type="checkbox"/>	Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals
<input type="checkbox"/>	Storm Drainage Cost Allocation Plan				

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Lowe's Inc PHONE: 336.658.3357
 ADDRESS: P.O. Box 1111 FAX: 336.658.3643
 CITY: North Wilkesboro STATE NC ZIP 28656 E-MAIL: neal.c.hamilton@lowes.com
 Proprietary interest in site: _____ List all owners: see attached
 AGENT (if any): Demush + Kline Associates PHONE: 505.842.6461
 ADDRESS: P.O. Box 2001 FAX: 505.842.6471
 CITY: Albuquerque STATE NM ZIP 87103 E-MAIL: sk@demushkline.com

DESCRIPTION OF REQUEST: Site plan for subdivision to create single shopping center premise.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. see attached Block: _____ Unit: _____
 Subdiv. / Addn. _____
 Current Zoning: M-1 Proposed zoning: no change
 Zone Atlas page(s): D-18 No. of existing lots: 10 No. of proposed lots: no change
 Total area of site (acres): 37.7 Density if applicable: dwellings per gross acre: n/a dwellings per net acre: n/a
 Within city limits? Yes. No, but site is within 5 miles of the city limits.) Within 1000FT of a landfill? _____
 UPC No. see attached MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: Paseo del Norte
 Between: I-25 and San Pedro Dr.

CASE HISTORY: Marta Hill Epc Case Planner
 List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.):

ZHE 99-025; 04EPC 01032; Project # 1001946

Check-off if project was previously reviewed by Stake Plan Plan ?, or Pre-application Review Team ?. Date of review: _____

SIGNATURE Lawrence Kline DATE 08/23/05
 (Print) _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

<input checked="" type="checkbox"/>	INTERNAL ROUTING	Application case numbers	App. #	S.F.	Fees
<input checked="" type="checkbox"/>	All checklists are complete	<u>05DRB-01348</u>	<u>SP 5</u>	<u>7(3)</u>	\$ <u>-0-</u>
<input checked="" type="checkbox"/>	All fees have been collected		<u>CMF</u>		\$ <u>20.00</u>
<input checked="" type="checkbox"/>	All case #s are assigned				\$ _____
<input checked="" type="checkbox"/>	AGIS copy has been sent				\$ _____
<input checked="" type="checkbox"/>	Case history #s are listed				\$ _____
<input checked="" type="checkbox"/>	Site is within 1000ft of a landfill.				\$ _____
<input type="checkbox"/>	F.H.D.P. density bonus				Total
<input type="checkbox"/>	F.H.D.P. fee rebate				\$ <u>20.00</u>

N/A
N/A

8/23/05 Hearing date 8/31/05

Project # 1001946

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- ___ Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- ___ Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Completed Site Plan for Subdivision Checklist
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- ___ Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. 6 copies.
 - ___ Solid Waste Management Department signature on Site Plan
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Copy of the document delegating approval authority to the DRB
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist
 - ___ Copy of Site Plan with Fire Marshal's stamp
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

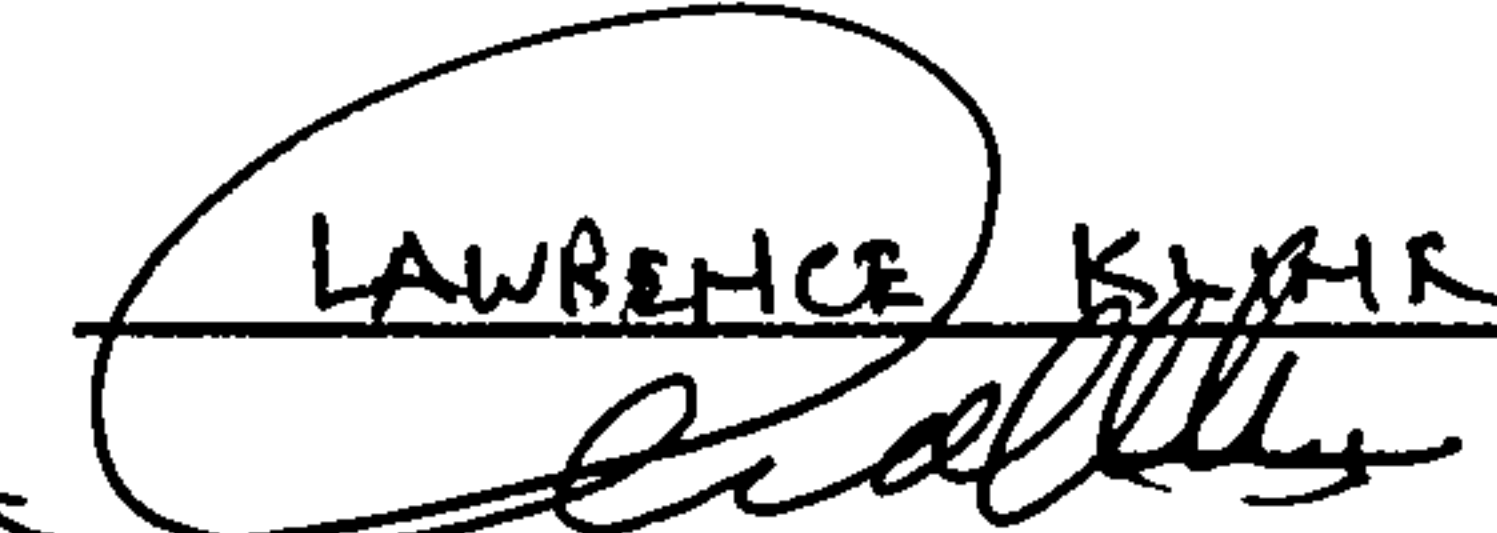
- ___ Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - ___ DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - ___ Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - ___ Letter briefly describing, explaining, and justifying the request
 - ___ Letter of authorization from the property owner if application is submitted by an agent
 - ___ Infrastructure List, if relevant to the site plan
 - ___ Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - ___ Fee (see schedule)
 - ___ Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) 6 copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

LAWRENCE KLAR

 Applicant name (print)
 08/23/05
 Applicant signature / date



Form revised JUNE 2005

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers
 03002 - 0348
 _____ - _____
 _____ - _____

Kim Suss 8/23/05
 Planner signature / date
Project # 1001946



DENISH + KLINE ASSOCIATES

August 23, 2005

Ms. Sheran Matson, Chair
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque NM 87103

re: Project # 1001946
Site Plan for Subdivision Final Sign-Off

Dear Ms. Matson:

We hereby request final sign-off of the Site Plan for Subdivision approved by the Environmental Planning Commission on March 18, 2005. This Plan involves 10 tracts comprising approximately 37 acres, located at the southeast corner of Paseo Del Norte and the I-25 frontage road.

The Commission approved the Plan with nine (9) conditions (in bold below), which I will address in order:

Condition #1: The EPC delegates final sign-off authority of this site development plan for subdivision to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

This letter shall serve as the required transmittal document. The changes made to the drawings are "clouded" on the drawings and numbered to correspond with the conditions.

Condition #2a.: The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).

Ms. Sheran Matson
August 23, 2005
Page 2

The required infrastructures have been financially guaranteed by means of an infrastructure list associated with the development of the Target Store, and a work order issued. It is our understanding that all the required work will be under construction by September 1 and complete by October 15.

Condition #2b: A Traffic Impact Study is required (has been submitted).

The traffic study was, we understand, approved upon acceptance of the infrastructure list.

Condition #2c: Completion of the required TIS mitigation measures (including NMDOT requirements), per Transportation Development Staff must be completed if assumed to be in place for the current TIS for this site (i.e. street improvements recommended in the Traffic Impact Study (TIS) including the roadway connection between the development and the Interstate 25 frontage road).

The TIS mitigation measures are part of an infrastructure list approved for the Target store currently under construction on the site. The internal road connecting the site to the frontage road is substantially complete as of this date.

Condition #2d: Construction (including right-of-way if necessary) of a bicycle trail on the South Domingo Baca Arroyo alignment along the southern boundary of the site, between San Pedro and 1-25 frontage road, as designated on the Long Range Bikeways System.

The bikeway on Target property was shown on the Target site plan, and is to be constructed by Target. The last segment - from the west boundary of Target to the frontage road will be built by Lowes.

Condition #2e: Site plan shall comply and be designed per DPM Standards.

Given that building permits have been issued, we assume this standard has been met.

Condition #2f: Platting must be a concurrent DRB action.

The plat has been separately, but concurrently, submitted by Bohannon-Huston Inc.

Condition #3: The applicant shall further elaborate on architectural design criteria in the site plan by providing specific descriptions of colors, materials, and other elements, to demonstrate the coordination of elements that is referenced, and also include a statement of compliance with Section 14-16-3-18, General Building and Site Design Regulations for Non- Residential Uses, City Zoning Code on the site plan.

The additional language has been added on sheet number 2.

Condition #4: The applicant shall amend the Pedestrian Pathways and Plazas section of the site plan to include a statement of compliance with Section 14-16-3-1(G), Pedestrian Connections, and Section 14-16-3-18, General Building and Site Design Regulations for Non-Residential Uses, in the City Zoning Code. The applicant shall delete stated numeric standards on the site plan for pedestrian walkways (minimum 6 feet in width for perimeter walkways) and plaza areas (minimum 400 square feet with a minimum width of 15 feet) as these standards may not be applicable in all instances.

Ms. Sheran Matson
August 23, 2005
Page 3

The language has been, respectively, added and deleted, on sheet number 2 .

Condition #5: The applicant shall delete statements regarding City of Albuquerque Dark Skies requirements, as the City currently does not have such requirements. The applicant shall also include a statement of compliance with Section 14-16-3-9, Area Lighting Regulations, City Zoning Code, on the site plan, and reference compliance with the State Statute on Dark Skies lighting requirements.

The language has been amended on sheet #2.

Condition #6: The applicant shall amend the landscape plan to include a statement of compliance with Section 14-16-3-10, Landscape Regulations, City Zoning Code. Consistent with this section, the applicant shall change the landscape buffer width for the South Domingo Baca Arroyo at the rear of Tracts A-1-A-1 and A-1-B from 5 feet to 6 feet, and establish a 20-foot landscape buffer along the north edge of Tracts A-1-A-1 and A-1-B, and along the east edge of Tracts A-1-C and A-1-D adjacent to San Pedro Drive. The applicant shall also include a statement of compliance with the City's Water and Wastewater Ordinance on the site plan (Section 6-1-1-1).

The language has respectively been added and amended on sheet #2.

Condition #7: All previous conditions of approval by the EPC for the Target store site (Project 1001946 04EPC01032), designated as Tract A-1-A-1 under this site plan, shall be fulfilled as a component of full development of the subject site.

The infrastructure list from the Target project is attached; this list has been financially guaranteed, and has already been constructed, or is under construction.

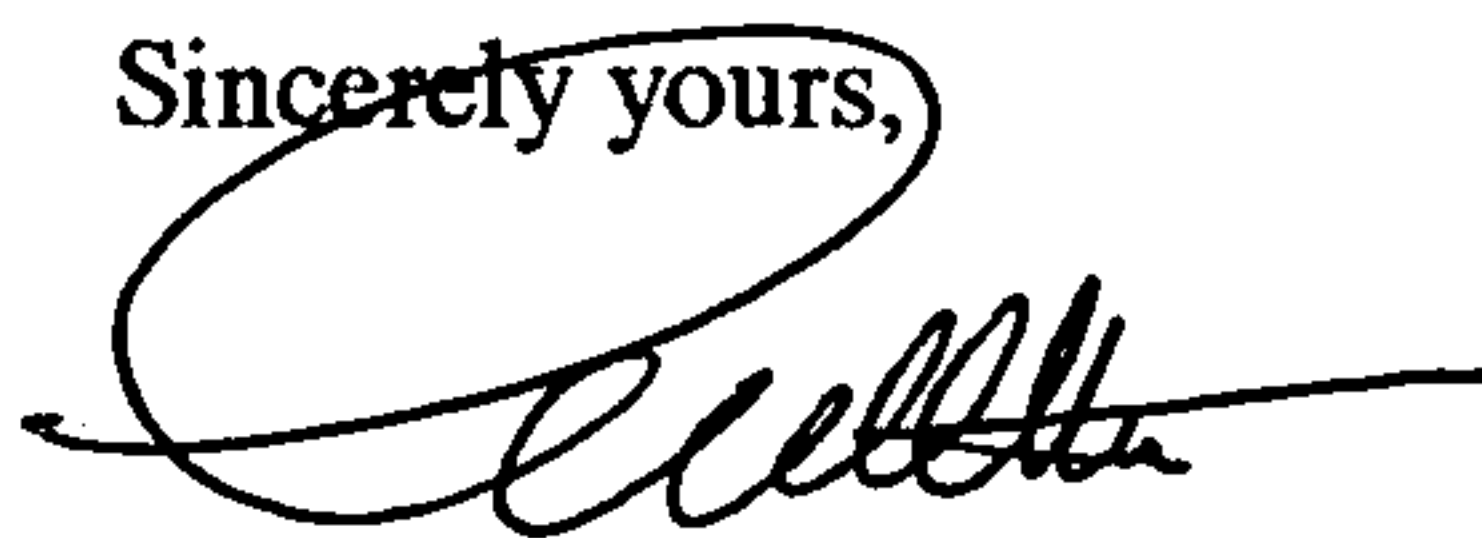
Condition #8: The EPC delegates approval authority of future site development plans for building permit for lots under 5 acres in this site development plan for subdivision to the DRB.

The applicant notes the condition.

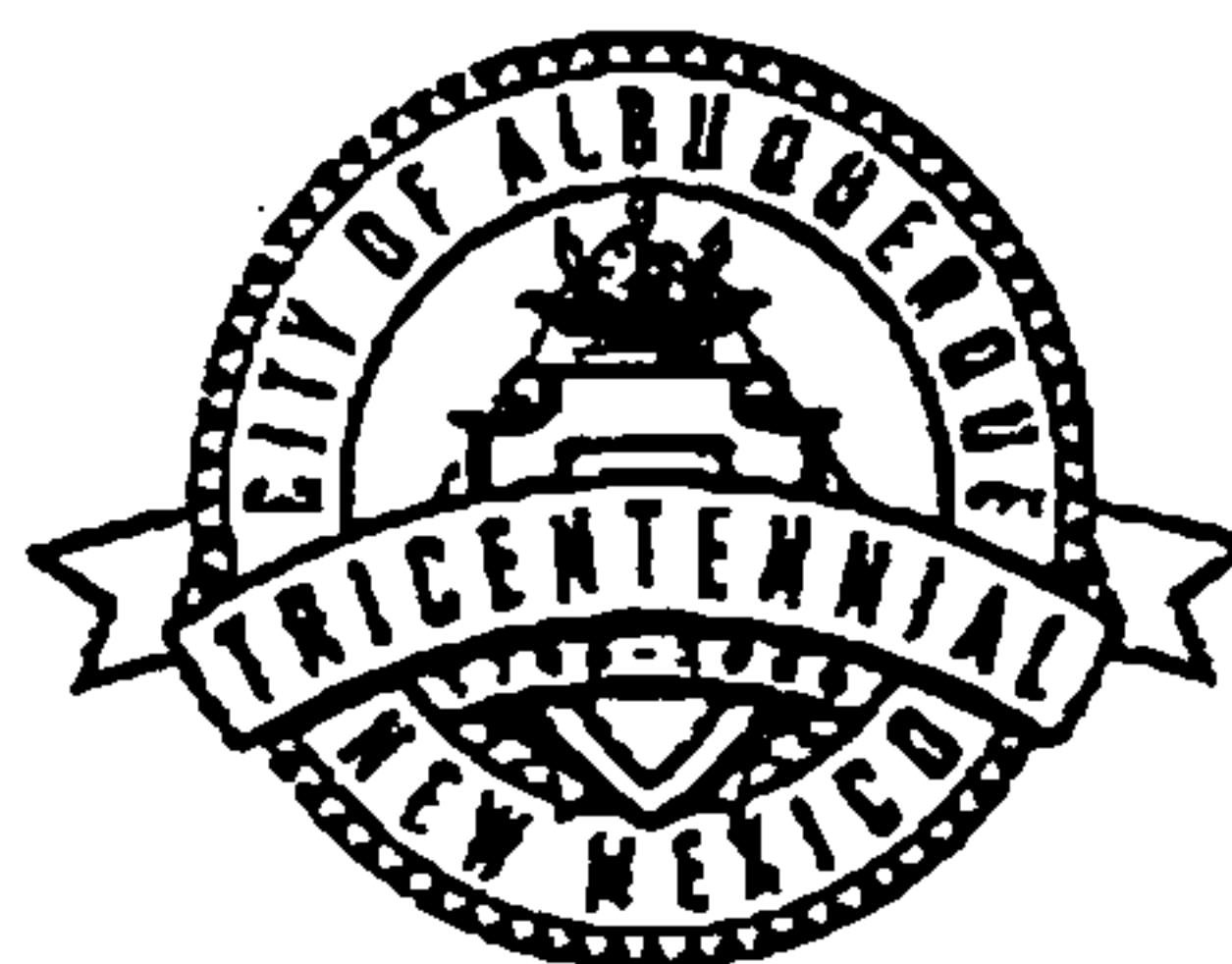
Condition #9: In the meantime and until further notice, the developers of this site are required to follow the most current version of the "City of Albuquerque Interim Guidelines for Development within City Designated Landfill Buffer Zones". A review and approval of the Site Plan(s), the proposed construction, design drawings, and a certification of construction will be required by the Environmental Health Department, Environmental Services Division, Groundwater and Landfill Section."

A copy of this application has been submitted to Ms. Marci Pinkus at Environmental Health.

Sincerely yours,



Lawrence Kline FAICP



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: March 18, 2005

OFFICIAL NOTIFICATION OF DECISION

FILE: Project # 1001946*
05EPC-00176 EPC Site Development Plan-
Subdivision

Lowe's Inc.
P.O. Box 1111
North Wilkesboro, NC 28656

LEGAL DESCRIPTION: for Lot A (Los Angeles Center); Remainder 26, 27, 28 & 6, Block 2; Lot 5, 6, 7, 27 & 28, Block 3, NAA Tr. A, Unit A, zoned M-1, located on PASEO DEL NORTE NE, between INTERSTATE 25 and SAN PEDRO DR., containing approximately 37.7 acres. (D-18) Makita Hill, Staff Planner

On March 17, 2005 the Environmental Planning Commission voted to approve Project 1001946/ 05EPC-00176, a site development plan for subdivision for Lot A (Los Angeles Center); Remainder 26, 27, 28 & 6, Block 2; Lot 5, 6, 7, 27 & 28, Block 3, NAA Tr. A Unit A, located on Paseo del Norte between Interstate 25 and San Pedro Drive, zoned M-1/Shopping Center, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of a site development plan for subdivision for Lot A (Los Angeles Center); Remainder 26, 27, 28 & 6, Block 2; Lot 5, 6, 7, 27 & 28, Block 3, NAA Tr. A Unit A, located on Paseo del Norte between Interstate 25 and San Pedro Drive. The subject site contains approximately 38 acres. The acreage of the proposed site plan area gives the area a "Shopping Center" designation to the M-1 zoning (Section 14-16-1-5, Definitions, City Zoning Code), and is therefore subject to site plan review by the EPC (Section 14-16-3-2, Shopping Center Regulations City Zoning Code).
2. The purpose of the request is to facilitate a process of unified development of the area with regard to land subdivision, landscaping, signage, and lighting. The site plan proposes to create four new lots and to modify an existing lot.
3. In August 2004, a Final Plat was approved by the Development Review Board (DRB) that created four lots from Tract A-1, (A-1-A, A-1-B, A-1-C, A-1-D, A-1-E) and a road easement connecting Tract A-1-A to the Interstate 25 Frontage Road (DRB 1001946 04DRB-01965). The submitted site plan for subdivision is consistent in configuration with the DRB-approved Final Plat.

OFFICIAL NOTICE OF DECISION
MARCH 17, 2005
PROJECT #1001946
PAGE 2 OF 4

4. In August 2004, a site development plan for building permit was approved by the EPC for Tract A-1-A for a Target store (1001946 04EPC-01032). This lot is proposed to be modified and designated as Tract A-1-A-1 under this site plan for subdivision.
5. The request is consistent with the Established Urban Area policies of the Comprehensive Plan. The subject site is surrounded on all sides by nonresidential zoning and development, however there is an existing single-family residential area off of San Pedro Drive south of San Bernadino Street. Traffic mitigation measures recommended by the Traffic Impact Analysis (TIA) for the subject site will insure that the request will have a minimal impact on nearby residential areas (Policy d, e, i). The request proposes commercial development on vacant land near existing City services (Policy e) on a site with an existing commercial retail use (Policy j). The request also meets the intent of the Centers and Corridors development form policies regarding sidewalk width, building setback, and parking location.
6. A Declaratory Ruling made in September 1987 establishes that Shopping Center regulations cannot restrict the size and number of signs that are allowed under the signs regulations of the underlying zone for a given site. The Ruling establishes that, while the EPC is authorized to grant sign standards based on the underlying zone, the EPC may also choose to enforce the Shopping Center sign regulations. The Ruling also establishes that this is not the subject of a variance process. A copy of this ruling is included in this report. The M-1 zone is the underlying zone for this site, and the M-1 zone utilizes C-2 zone standards for signage. The proposed 250 square-foot signs are in conformance with C-2 on-premise sign regulations for an Established Urban Area site (Section 14-16-2-17-A(9)). City Legal staff views the Ruling as a valid tool for administration of this process.
7. Modifications are needed to bring the site plan into full compliance with Zoning Code design standards.
8. The Jade Park Neighborhood Association was contacted regarding this request. The association did not have any concerns about the proposed site plan, and did not seek a facilitated meeting. There is no known opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan for subdivision to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

OFFICIAL NOTICE OF DECISION**MARCH 17, 2005****PROJECT #1001946****PAGE 3 OF 5**

2. **RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, PUBLIC WORKS, WATER AUTHORITY and NMDOT:**
- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - b. A Traffic Impact Study is required (has been submitted).
 - c. Completion of the required TIS mitigation measures (including NMDOT requirements), per Transportation Development Staff, must be completed if assumed to be in place for the current TIS for this site (i.e. street improvements recommended in the Traffic Impact Study (TIS) including the roadway connection between the development and the Interstate 25 frontage road).
 - d. Construction (including right-of-way if necessary) of a bicycle trail on the South Domingo Baca Arroyo alignment along the southern boundary of the site, between San Pedro and I-25 frontage road, as designated on the Long Range Bikeways System.
 - e. Site plan shall comply and be designed per DPM Standards.
 - f. Platting must be a concurrent DRB action.
3. The applicant shall further elaborate on architectural design criteria in the site plan by providing specific descriptions of colors, materials, and other elements, to demonstrate the coordination of elements that is referenced, and also include a statement of compliance with Section 14-16-3-18, General Building and Site Design Regulations for Non- Residential Uses, City Zoning Code on the site plan.
4. The applicant shall amend the Pedestrian Pathways and Plazas section of the site plan to include a statement of compliance with Section 14-16-3-1(G), Pedestrian Connections, and Section 14-16-3-18, General Building and Site Design Regulations for Non- Residential Uses, in the City Zoning Code. The applicant shall delete stated numeric standards on the site plan for pedestrian walkways (minimum 6 feet in width for perimeter walkways) and plaza areas (minimum 400 square feet with a minimum width of 15 feet) as these standards may not be applicable in all instances.
5. The applicant shall delete statements regarding City of Albuquerque Dark Skies requirements, as the City currently does not have such requirements. The applicant shall also include a statement of compliance with Section 14-16-3-9, Area Lighting Regulations, City Zoning Code, on the site plan, and reference compliance with the State Statute on Dark Skies lighting requirements.

OFFICIAL NOTICE OF DECISION**MARCH 17, 2005****PROJECT #1001946****PAGE 4 OF 5**

6. The applicant shall amend the landscape plan to include a statement of compliance with Section 14-16-3-10, Landscape Regulations, City Zoning Code. Consistent with this section, the applicant shall change the landscape buffer width for the South Domingo Baca Arroyo at the rear of Tracts A-1-A-1 and A-1-B from 5 feet to 6 feet, and establish a 20-foot landscape buffer along the north edge of Tracts A-1-A-1 and A-1-B, and along the east edge of Tracts A-1-C and A-1-D adjacent to San Pedro Drive. The applicant shall also include a statement of compliance with the City's Water and Wastewater Ordinance on the site plan (Section 6-1-1-1).
7. All previous conditions of approval by the EPC for the Target store site (Project 1001946 04EPC-01032), designated as Tract A-1-A-1 under this site plan, shall be fulfilled as a component of full development of the subject site.
8. The EPC delegates approval authority of future site development plans for building permit for lots under 5 acres in this site development plan for subdivision to the DRB.
9. In the meantime and until further notice, the developers of this site are required to follow the most current version of the "City of Albuquerque Interim Guidelines for Development within City Designated Landfill Buffer Zons." A review and approval of the Site Plan(s), the proposed construction, design drawings, and a certification of construction will be required by the Environmental Health Department, Environmental Services Division, Groundwater and Landfill Section.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY APRIL 1, 2005 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION
MARCH 17, 2005
PROJECT #1001946
PAGE 5 OF 5

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


for Richard Dineen
Planning Director

RD/MH/ac

cc: Denish + Kline Associates, Inc., P.O. Box 2001, Albuquerque, NM 87103
Karen Casaus, Jade Park NA, 6708 San Bernardino NE, Albuquerque, NM 87109
John Strutzman, Jade Park NA, 6800 Jade Park NE, Albuquerque, NM 87109
Joe Yardumian, 7801 RC Gorman NE, Albuquerque, NM 87122

Site Development Plan for Subdivision

Applicant: Lowe's Inc.

Agent: Denish + Kline Associates, Inc.

Owners

Lowe's, Inc.

Neil R. Hise and Ty Juana Hise, Trustees

John Hamilton

Walgreen's, Inc.

Target Inc.

Office Depot, Inc.

Legal Description

Existing:

Tracts A-1-A-1, A-1-B, A-1-C, A-1-D, A-1-E-1, Los Angeles Center Addition;

Lots 27R and 28R, Block 2, North Albuquerque Acres, Unit A.

Ex R.O.W. Vacation #114-1969

Lots 5, 6, 7, 28, 27, Block 3 North Albuquerque Acres, Unit A;

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME Lowe's LLC
AGENT Denish & Kline
ADDRESS P.O. Box 2001
PROJECT & APP # 1001946 / 01348
PROJECT NAME _____

\$ 20.⁰⁰ 441032/3424000 Conflict Management Fee
\$ _____ 441006/4983000 DRB Actions
\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
\$ _____ 441018/4971000 Public Notification
\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
() Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study
\$ 20.⁵⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DUPLICATE
City of Albuquerque
Treasury Division

8/23/2005 11:33AM LDC: ANNX
RECEIPT# 00048233 WSH 007 TRANSH 0014
Account 441032 Fund 0110
Activity 3424000 TRSEJ4
Trans Amt \$20.00
J24 Misc \$20.00
MC \$20.00
CHANGE \$0.00



DENISH + KLINE ASSOCIATES

August 31, 2005

Ms. Sheran Matson, Chair
Development Review Board
City of Albuquerque
PO Box 1293
Albuquerque NM 87103

HAND-DELIVERED

re: #1001946
Target Store at Paseo and I-25

Dear Ms. Matson:

In his comments to you regarding the approval of the proposed Site Plan for Subdivision, Design Standards, and plat for this project, Mr. Hill of the Planning Department asked for confirmation that Condition #7 of the EPC for the Target Store has indeed been addressed. That condition reads in part:

“All previous conditions of approval by the EPC for the Target Store site.....shall be fulfilled as a component of full development of the subject site.”

I have attached a copy of Target's Notice of Decision from the EPC. There are several conditions specific to internal design matters such as pedestrian walkways, lighting fixtures, and an outdoor seating space which we feel it would be improper for us to comment on and should be left to the Certificate of Occupancy process to verify.

There are however references to the construction of public infrastructure necessary to all the tenants on-site and to the public, and the purpose of this letter is to provide evidence that these infrastructure matters have been dealt with.

I have attached several photographs of the site as well as a copy of Target's infrastructure list for the purposes of illustrating that this work has actually been done or is underway. Specifically:

1. The required internal roadway intersecting the frontage road has been built; although it does not show in the photograph, the required decel from the frontage road to the new road has also been built.
2. The stretch of San Pedro south of PDN past the first entrance to the site at Palomas Street is indeed being reconstructed at this time, and the Palomas entrance into the site is being reconstructed. There is no sign that the signal at Palomas and San Pedro is being constructed.

Ms. Sheran Matson
August 31, 2005
Page 2

3. The required work at PDN and the frontage road - the reconstruction of the existing right turn lane and the addition of a new one - is almost complete.

In addition, the proposed plat provides the cross access agreement required by condition 3.f..

There are two issues which have arisen:

1. EHD, by e-mail, has requested that the sign installer "assess the proposed sign installation" to find out if landfill gas mitigation measures would be required. The sign in question - on the Paseo frontage - had already been installed prior to our being informed of the requirement.

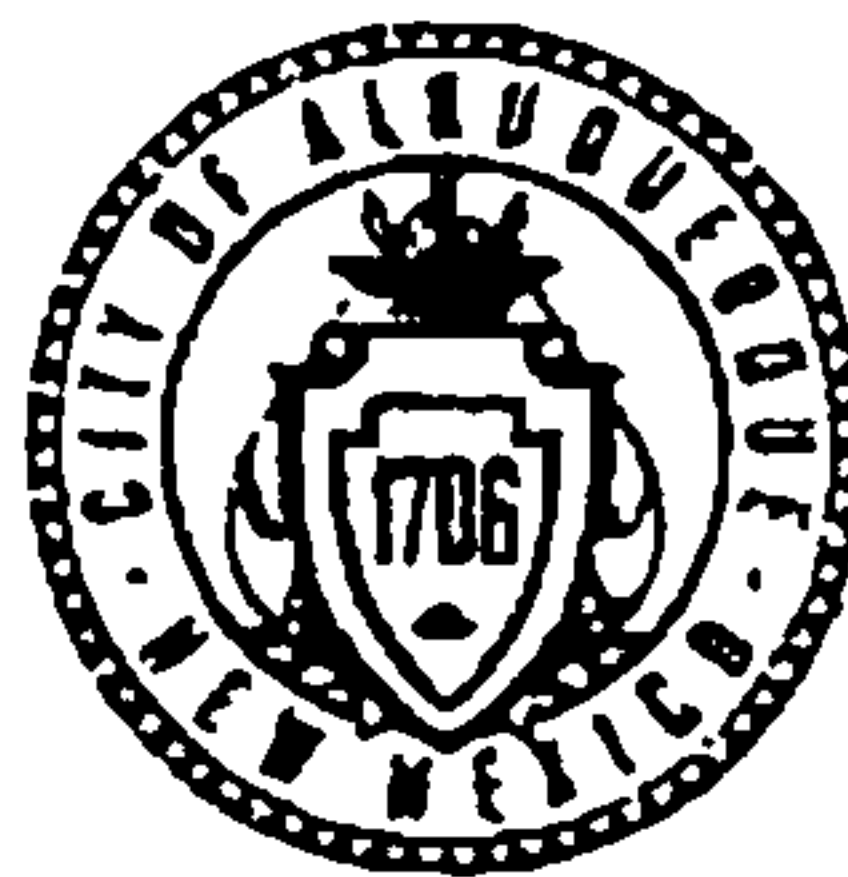
2. Both Lowes and Target were required to complete the bike trail along the San Domingo Arroyo from San Pedro to the frontage road. Lowes built their portion along with their store, and Target (see photograph) has recently completed construction of their portion in accordance with their approved site plan. For whatever reason, the Target portion, even though it is consistent with their site plan, does not go all the way across their site, and the configuration of their improvements is not conducive to completing the trail. I met today with Christina Sandoval and Theresa Baca to discuss this issue. The third property owner - Hise Properties - which owns the land between Target and the frontage road has indicated, also by e-mail, that they would be willing to financially guarantee the portion from Target to the frontage road when their site plan is brought before the DRB for review. Lowes has separately agreed to fund that work.

To the best of my knowledge, the requirements of the Notice of Decision for Target and their infrastructure list have been carried out, and I make the presumption that all other conditions internal to the site have been addressed as part of the building permit process.

Sincerely yours,

A handwritten signature in black ink, appearing to read "Lawrence Kline", written over a large, loopy flourish.

Lawrence Kline FAICP



City of Albuquerque
Planning Department
Development Review Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: August 20, 2004

OFFICIAL NOTIFICATION OF DECISION

FILE: Project # 1001946*
04EPC-01032 EPC Site Development Plan-
Building Permit

Target Corp.
1000 Nicollet Mall, TPN-12E
Minneapolis, MN 55403

LEGAL DESCRIPTION: for all or a portion of Tract(s) A-1, Los Angeles, zoned M-1, located on PASEO DEL NORTE NE, between I-25 and SAN PEDRO DR. NE, containing approximately 31 acres. (D-18) Makita Hill, Staff Planner

On August 19, 2004 the Environmental Planning Commission voted to approve Project 1001946/04EPC-01032, a request for approval of a site development plan for building permit for Tract A-1, Los Angeles Center Addition, located on Paseo del Norte between Interstate 25 and San Pedro Drive, zoned M-1, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of a site development plan for building permit for Tract A-1, Los Angeles Center Addition, located on Paseo del Norte between Interstate 25 and San Pedro Drive. The subject site is an 11-acre portion of an approximately 32-acre site, currently zoned M-1.
2. The subject site meets the definition of a Shopping Center site as established in the Zoning Code as the site is zoned M-1 and contains the minimum required 5 acres.
3. The purpose of the application is to facilitate development of a Target retail store. The proposed Target retail store is a permitted use under the existing M-1 zone.
4. The subject site is a portion of Tract A-1, Los Angeles Center Addition. This portion is the subject of a proposed site development plan for subdivision that is scheduled for review by the Development Review Board (DRB) tentatively for late August 2004. The proposed site plan draft is included in this report as an exhibit, and also shows the approximate location of the access road to the site that connects to the frontage road along Interstate 25 near Paseo del Norte.

**OFFICIAL NOTICE OF DECISION
AUGUST 19, 2004
PROJECT #1001946
PAGE 2 OF 5**

5. The request is consistent with the Established Urban Area policies of the Comprehensive Plan. The subject site is surrounded on all sides by nonresidential zoning and development, however there is an existing single-family residential area off of San Pedro Drive south of San Bernadino Street. Traffic mitigation measures recommended by the Public Works Department will insure that the request will have a minimal impact on nearby residential areas (Policy d, e, i). The request proposes development of a retail store on vacant land near existing City services (Policy e) on a site with an existing commercial/retail use (Policy j). The request also meets the intent of the Centers and Corridors development form policies regarding sidewalk width, building setback, and parking location.
6. Modifications are needed to bring the site plan into full compliance with Zoning Code and City access design standards, and to provide a more balanced pedestrian circulation throughout the site.
7. The Jade Park Neighborhood Association was contacted regarding this request, and the association did not have any concerns about the proposed Target store. There is no known opposition to this request.
8. The utility planning for the subject site was handled separately due to the site's location near former landfill sites to the north, northeast, and southwest. The site's location in relation to the former landfills requires remediation measures to ventilate and monitor methane gas from underground. The remediation plans submitted by the applicant must meet the requirements of the Environmental Health Department. The size location in relation to the former landfills requires remediation measures related to landfill buffer proximity.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan for building permit to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The application for approval of a site development plan for subdivision, with the proposed access road alignment from the existing Interstate 25 frontage road, must be reviewed and approved by the Development Review Board (DRB) as a condition of their final sign-off of this site development plan for building permit.
3. Conditions of approval for the proposed Site Development Plan for Building Permit from the Public Works Department, Transportation Development Division, and NMDOT, shall include:
 - a. All the requirements of previous actions taken by the EPC and the DRB must be completed and /or provided for.

**OFFICIAL NOTICE OF DECISION
AUGUST 19, 2004
PROJECT #1001946
PAGE 3 OF 5**

- b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for building permit. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - c. Traffic Impact Study is required and has been submitted.
 - d. Completion of the required TIS mitigation measures, per Transportation Development Staff, must be completed if assumed to be in place for the current TIS for this site (i.e. All street improvements recommended in the Traffic Impact Study (TIS), including the roadway connection between the development and the Interstate 25 frontage road and the proposed traffic signal on San Pedro).
 - e. Show the roadway connection between the development and the Interstate 25 frontage road on the Site Plan.
 - f. Provide cross access agreement between tracts.
 - g. Site plan shall comply and be designed per DPM Standards.
 - h. Provision for a bicycle trail on the South Domingo Baca Arroyo alignment along the southern boundary of the site as designated on the Long Range Bikeways System.
 - i. Access coordination with NMDOT required.
4. The applicant shall provide a earth berm screen wall or other measure minimum 30 inches tall but not to exceed 36 inches tall, for parking areas that face Paseo del Norte and the Interstate 25 off-ramp, as established in Section 14-16-3-1, Off-Street Parking Regulations, of the City Zoning Code.
 5. The applicant shall provide an additional pedestrian walkway through the west side of the parking area, and a walkway linking the Target store with the existing Lowe's store, consistent with the design standards in Section 14-16-3-1, Off-Street Parking Regulations, (G) Pedestrian Connections, in the City Zoning Code.
 6. The applicant shall provide a walkway on the south side of the building consistent with the design standards in Section 14-16-3-1, Off-Street Parking Regulations, (G) Pedestrian Connections, in the City Zoning Code.
 7. The applicant shall provide a walkway linking the north façade of the Target store with the north façade of the existing Lowe's store consistent with the design standards in Section 14-16-3-1, Off-Street Parking Regulations, (G) Pedestrian Connections, in the City Zoning Code.
 8. The applicant shall revise the site plan to indicate a maximum height of 30 feet for all light fixtures, and full-cut off fixture design, as established in Section 14-16-3-9, Area Lighting Regulations, City Zoning Code.

**OFFICIAL NOTICE OF DECISION
AUGUST 19, 2004
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PAGE 4 OF 5**

9. The applicant shall provide a minimum of 1,600 square feet of public open space, a minimum of 15 outdoor seats, and an additional 91 square feet of landscaping, in the form of outdoor seating areas with raised planters along the north front façade of the building, consistent with public open space and outdoor seating requirements in Section 14-16-3-18, General Building and Site Design Regulations for Non-Residential Uses, (3) Major Facades, (4) Public Space, and consistent with landscaping requirements established in Section 14-16-3-10, Landscaping Regulations Applicable to Apartment and Non-Residential Development, City Zoning Code.
10. The applicant shall develop utility extensions for the subject site consistent with requirements of the City's Public Works and Environmental Health Departments.
11. The applicant shall install remediation measures to ventilate and monitor methane gas from surrounding former landfill sites consistent with the requirements of the City's Environmental Health Department.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY SEPTEMBER 3, 2004 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

**OFFICIAL NOTICE OF DECISION
AUGUST 19, 2004
PROJECT #1001946
PAGE 5 OF 5**

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


For Richard Dineen
Planning Director

RD/MH/ac

- cc: Karen Casaus, Jade Park NA, 6708 San Bernardino NE, Albuquerque, NM 87109
John Stutzman, Jade Park NA, 6800 Jade Park NE, Albuquerque, NM 87109
Stacy Sabul, Intera Inc., One Park Square #820, Albuquerque, NM 87110

ORIGINAL

Figure 12

INFRASTRUCTURE LIST

**EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

Lowe's Home Centers Replat (SW Corner of Paseo del Norte & San Pedro)
Existing Tract A-1, Los Angeles Center (Proposed Tracts A-1A, A-1B, A-1C, A-1D and A-1E, Los Angeles Center)

Date Submitted: _____
Date Site Plan for Bldg Permit App: _____
Date Site Plan for Sub. Approved: _____
Date Preliminary Plat Approved: 9/8/05
Date Preliminary Plat Expires: 9/8/10

DRB Project No. 1009410
04-011

Following is a summary of PUBLIC/PRIVATE infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantees. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
PUBLIC ROADWAY IMPROVEMENTS									
		24' WIDE	PAVED PRIVATE ROADWAY	PRIVATE EASEMENT ON CEMCO LANDS	TRACT A	NB 125 FRONTAGE ROAD	/	/	/
		12' WIDE X 400'	NB DECELERATION LANE	NB 125 FRONTAGE ROAD AT PAVED PRIVATE ROADWAY					
			RESTRIPE PASEO DEL NORTE/LOUISIANA INTERSECTION TO PROVIDE DUAL EASTBOUND AND WESTBOUND LEFT TURN LANES						
			RESTRIPE PASEO DEL NORTE/SAN PEDRO INTERSECTION TO PROVIDE EAST BOUND AND WESTBOUND DUAL LEFT TURN LANES						
			RESTRIPE SAN PEDRO, AND MODIFY MEDIANS AS NEEDED, TO CONVERT THE EXISTING INSIDE (WESTERN) THROUGH LANE TO A DEDICATED NORTHBOUND LEFT TURN LANE. TRAFFIC SIGNAL TIMING/PHASING TO BE MODIFIED BY CITY TO PROVIDE FOR PROTECTED LEFT TURN MOVEMENTS ONLY.						
			LENGTHEN THE EXISTING NB RIGHT TURN LANE TO SAN PEDRO/PASEO DEL NORTE, TO MAXIMUM EXTENT PRACTICAL (WITHIN EXISTING ROW).						
			LENGTHEN THE SB RIGHT TURN LANE TO THE SAN PEDRO/PALOMAS AVE. SITE ENTRANCE, TO MAXIMUM EXTENT PRACTICAL.						
		600' x 12' WIDE	EXTEND EXISTING DEDICATED NB RIGHT TURN LANE TO 600' (NB 125 FRONTAGE ROAD/PASEO DEL NORTE INTERSECTION)						
		600' x 12' WIDE	ADD SECOND DEDICATED NB RIGHT TURN LANE (NB 125 FRONTAGE ROAD/PASEO DEL NORTE INTERSECTION)						
			REVISE LOWE'S SITE NORTH ENTRANCE (AT SAN PEDRO/PALOMAS INTERSECTION) TO ACCOMMODATE DUAL EASTBOUND LEFT TURNS (STRIPE OUT ONE OF THE DUAL LEFT LANES).						
			TRAFFIC SIGNAL AT SAN PEDRO/PALOMAS AVE. BONDED IN A SEPARATE SIA BUT NOT CONSTRUCTED UNTIL WARRANTED.						
			CONVERSION OF INSIDE SOUTHBOUND THRU LANE TO TO DEDICATED LEFT TURN LANE (PASEO DEL NORTE/SAN PEDRO)						
			CONSTRUCT PERMANENT NB ROADWAY IMPROVEMENTS (2 NB LANES, BIKEWAY) ON SAN PEDRO, NORTH OF PDN, FOR APPROX 250' FEET, INCLUDING NECESSARY SIGNAL MODIFICATIONS.						

8" LOOPED WATERLINE THROUGH TRACT A-1-A FROM EXISTING W ON TRACT A-1-B TO EXISTING W AT SW PROP LINE OF TRACT A-1-A.

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

AGENT/OWNER
JAMES TOPMILER
 BRUCE STIDWORTHY 8/3/2004
 PREPARED BY: PRINT NAME DATE

[Signature]
 DRB CHAIR

[Signature] *[Signature]*
 DATE 9/8/04
 PARKS & GENERAL SERVICES DATE

BOHANNAN HUSTON INC.
 FIRM
[Signature]
 SIGNATURE

[Signature]
 DATE 9/8/04
 TRANSPORTATION DEVELOPMENT

[Signature]
 DATE 9/8/04

[Signature]
 DATE 9/8/04
 AMAFCA CITY ENGINEER

MAXIMUM TIME ALLOWED TO CONSTRUCT IMPROVEMENTS WITHOUT A DRB EXTENSION

 DATE

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRB CHAIR	USER DEPARTMENT	AGENT/OWNER
1	12/02/04	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>



**SAN PEDRO RECONSTRUCTION
(from inside site)**



**SAN PEDRO RECONSTRUCTION
(from Palomas Street)**



**SAN PEDRO RECONSTRUCTION
(from NE corner of PDN intersection)**



FRONTAGE ROAD WIDENING



NEW PYLON SIGN AT PDN ENTRANCE



NEW SIGN AT WALGREENS



Existing Trail Ends Under
Construction Trailer

New Trail Ends As Shown on Site Plan

BIKE TRAIL



Temporary Section Leads Across
Hise properties to Frontage Road
as Required

CONNECTION TO FRONTAGE ROAD



New Co-Tenancy Pylon Sign

Temporary Section Connects To
Permanent Section on Target Site

CONNECTION TO FRONTAGE ROAD



DRB CASE ACTION LOG (SITE PLAN B.P.)

REVISED 2/5/04

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 05DRB-01047 (SBP) Project #: 1001946
 Project Name LOS ANGELES CENTER *Office Depot*
 Agent: DEKKER PERICH SABATINI Phone No.: 761-9700

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOPMENT PLAN), was approved on 8/31/05 by the DRB with delegation of signature(s) to the following departments.
OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

TRANSPORTATION: _____

UTILITIES: _____

CITY ENGINEER / AMAFCA: _____

PARKS / CIP: _____

PLANNING (Last to sign): 3 copies address Planning comments

- Planning must record this plat. Please submit the following items:**
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.**
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.**
- Property Management's signature must be obtained prior to Planning Department's signature.**
- AGIS DXF File approval required.**
- Copy of recorded plat for Planning.**

2 Site Plans ↓

Project Number 1001946



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

August 31, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 11:53 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- Project #1002535**
05DRB-01269 Major-Vacation of Public Easements
05DRB-01270 Minor-Prelim&Final Plat Approval

SURVEYS SOUTHWEST LTD agent(s) for CHRONIS DEVELOPMENT LIMITED request(s) the above action(s) for Lot(s) 32, 33, 34, 35 and 38, West 35-feet OF Lot(s) 37; together with Lot(s) 36-A, HUBBELL HEIGHTS ADDITION & TRACT 64, UNIT 6, TOWN OF ATRISCO GRANT, (to be known as **HUBBELL HEIGHTS ADDITION**) zoned C-2 & O-1 & R-1, located on 65TH ST SW, between CENTRAL SW and CHURCHILL SW containing approximately 6 acre(s). [REF: 1003709, Z-1211] [Deferred from 8/31/05] (K-10) DEFERRED AT THE AGENT'S REQUEST TO 9/21/05.

2. **Project #1004289**
05DRB-01246 Major-Vacation of Pub
Right-of-Way

WILLIE P. GONZALES request(s) the above action(s) for all or a portion of Lot(s) 4 & 5, Block(s) 5, **JOHN BARON BURG PARK ADDITION**, zoned SR, located on 19TH ST NW, between ZEARING AVE NW and ASPEN AVE NW containing approximately 1 acre(s). [REF: 05DRB-01073] (H-13) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

05DRB-01073 Minor-Prelim&Final Plat
Approval

WILLIE P. GONZALES request(s) the above action(s) for all or a portion of Lot(s) 4 & 5, Block(s) 5, **JOHN BARON BURG PARK ADDITION**, zoned SR, located on 19th ST NW, between ZEARING AVE NW and ASPEN AVE NW containing approximately 1 acre(s). *(Was Indef. Deferred 7/13/05)* (H-13) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND 15-DAY APPEAL PERIOD.**

3. **Project #1004368**
05DRB-01267 Major-SiteDev Plan
BldPermit

JAMES COOKE agent(s) for RAIN FACTORY LLC request(s) the above action(s) for all or a portion of Tract(s) 4A-2, **NORTH RENAISSANCE CENTER**, zoned SU-1 FOR IP USES, located on CULTURE DR NE, between MONTANO RD NE and RENAISSANCE BLVD NE containing approximately 2 acre(s). [REF: PROJ. #1001118] (F-16) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR A SIDEWALK EASEMENT.**

4. **Project #1003366**
05DRB-01272 Major-Vacation of Pub
Right-of-Way
05DRB-01273 Major-Vacation of
Public Easements

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for SHARIF (FELIX) RABADI request(s) the above action(s) for all or a portion of Tract(s) T-1-A-2, **TOWN OF ALAMEDA GRANT**, zoned SU-1 FOR PRD, located on GOLF COURSE ROAD NW, between IRVING NW and the CALABACILLAS

ARROYO containing approximately 9 acre(s). [REF: 04EPC-00498, Z-80-74, AX-80-16, Z-85-84, AX-85-20, Z-93-131, DRB-94-146, V-96-89, 04DRB-00596, 04DRB-00912, 04DRB01242] (B-12) **THE VACATION OF PUBLIC RIGHT-OF-WAY AND VACATION OF PUBLIC EASEMENTS WERE APPROVED AS SHOWN ON EXHIBITS B-1, B-2 AND B-3 IN THE PLANNING FILE. CONDITIONS OF FINAL PLAT: A SANITARY SEWER LINE HAS BEEN RELOCATED AND ACCEPTED AND REEVALUATE GOLF COURSE ROAD RIGHT-OF-WAY.**

5. **Project # 1004355**
05DRB-01235 Major-Preliminary Plat
Approval
05DRB-01236 Minor-Temp Defer
SDWK

WILSON & COMPANY INC agent(s) for SCOTT SCHIABOR, SPS, LLC request(s) the above action(s) for all or a portion of Tract(s) 2, **VISTA VIEJA SUBDIVISION, UNIT 2**, zoned R-1 residential zone, located on SCENIC RD NW, between 81ST ST NW and ALBERICOQUE PL NW containing approximately 41 acre(s). [REF: 04DRB00825, 04DRB01460] *[Deferred from 8/24/05]* (D-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/31/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/30/05 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT: THE HOME OWNER'S ASSOCIATION PRESIDENT MUST SIGN THE FINAL PLAT. IF NO SUCH PERSON IS AVAILABLE, THEN THE OWNER OF THE PROPERTY CAN SIGN. DRAINAGE EASEMENTS IN PARCELS B, C AND E SHALL BE VACATED AND REPLACED WITH THE NEW ALIGNMENT. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALK ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

6. **Project # 1003189**
05DRB-01127 Major-Preliminary Plat
Approval
05DRB-01129 Minor-Temp Defer
SDWK

RIO GRANDE ENGINEERING agent(s) for FULLER HOMES, INC request(s) the above action(s) for all or a portion of Tract(s) 355, 356 TRACTS A & B, LANDS OF HECTOR ROJO, TOWN OF ATRISCO GRANT (to be known as **AUTUMN VIEW SUBDIVISION**) zoned RD-R1, located on TOWER RD SW, between COORS BLVD SW and STINSON RD SW containing approximately 15 acre(s). [Deferred from 8/3/05 & 8/17/05 & 8/24/05] (L-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/31/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/15/05 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS OF FINAL PLAT: ALL TERMS OF THE ANNEXATION AGREEMENT, INCLUDING APS, MUST BE MET. NEED TO REVISIT THE WIDTH OF THE DRAINAGE AND WATER AND SEWER EASEMENTS IN THE SOUTHEAST CORNER OF THE SUBDIVISION. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALK ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

7. **Project # 1001685**
05DRB01349 Minor-SiteDev Plan
Subd/EPC
05DRB01350 Minor-SiteDev Plan
BldPermit/EPC

GREAT BASIN ENGINEERING agent(s) for SMITH'S FOOD & DRUG CENTERS request(s) the above action(s) for all or a portion of Tract(s) 1B, PARADISE NORTH (to be known as **GOLF COURSE MARKET PLACE**) zoned C-2 (SC) community commercial zone, located on GOLF COURSE RD NW and MCMAHON RD NW containing approximately 9 acre(s). [REF: Z-85-119,04EPC01348, 04EPC01349, 04EPC01590] [Carmen Marrone, EPC Case Planner] (A-12) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

8. **Project # 1003991**
05DRB-01293 Minor-SiteDev Plan
Subd/EPC
05DRB-01294 Minor-SiteDev Plan
BldPermit/EPC

TIERRA WEST LLC agent(s) for WAL MART STORES EAST LP request(s) the above action(s) for all or a portion of Tract(s) A-1, **TOWN OF ATRISCO GRANT, UNIT 7**, zoned SU-1 FOR C-1 WITH DRIVE UP PHARMACY & RLT, located on SNOW VISTA BLVD SW, between SAGE RD SW and BENAVIDES RD SW containing approximately 14 acre(s). [REF: 05EPC00365, 05EPC00366, 05EPC00367] [Russell Brito for Elvira Lopez, EPC Case Planner] [Deferred from 8/17/05 & 8/31/05] (M-9) **DEFERRED AT THE AGENT'S REQUEST TO 9/7/05.**

9. **Project # 1001946**
05DRB-01047 Minor-SiteDev Plan
BldPermit

DEKKER PERICH SABATINI agent(s) for OFFICE DEPOT request(s) the above action(s) for all or a portion of Tract(s) A-1-D, **LOS ANGELES CENTER**, zoned M-1, located on PASEO DEL NORTE NE, between SAN PEDRO NE and INTERSTATE 25 containing approximately 3 acre(s). [REF: DRB-97-224, DRB-97-372; Z-1534] [Deferred from 6/29/05 & 7/13/05 & 7/20/05 & 7/27/05 & 8/3/05 & indef deferred on a no show 8/17/05] (D-18) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO ADDRESS PLANNING COMMENTS AND 3 COPIES OF THE SITE PLAN.**

05DRB01348 Minor-SiteDev Plan
Subd/EPC

DENISH & KLINE ASSOCIATES agent(s) for LOWE'S INC request(s) the above action(s) for all or a portion of Lot(s) 27R, 28R, Block(s) 2, **NORTH ALBUQUERQUE ACRES, UNIT A**, Tract(s) A-1-A-1, A-1-B, A-1-C, A-1-D AND A-1-E-1, **LOS ANGELES CENTER ADDITION**, Lot(s) 5, 6, 7, 28 and 27, Block(s) 3, **NORTH ALBUQUERQUE ACRES, UNIT A**, zoned M-1 light manufacturing zone, located on PASEO DEL NORTE NE, between SAN PEDRO NE and I-25 containing approximately 38 acre(s). [REF: ZHE-99-025, 04EPC01032] [Makita Hill, EPC Case Planner] (D-18) **SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR ENVIRONMENTAL HEALTH SIGNATURE, EPC CASE PLANNER INITIALS AND 3 COPIES OF THE SITE PLAN.**

10. **Project # 1004100**
05DRB-01290 Minor-SiteDev Plan
BldPermit/EPC

QUIK DRAW ENGINEERING LLC agent(s) for SPRINGSTONE CHILDRENS LEARNING CENTER request(s) the above action(s) for all or a portion of Tract(s) F, **LA CUEVA VILLAGE - UNIT 1**, zoned C-2 (SC), located on CARMEL AVE NE, between WYOMING BLVD NE and BARSTOW NE containing approximately 1 acre(s). [REF: 05EPC00582] [**Carmen Marrone for Elvira Lopez, EPC Case Planner**] (*Deferred from 8/24/05*) (C-19) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR CROSS ACCESS EASEMENT AND 3 COPIES OF THE SITE PLAN.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

11. **Project # 1001946**
05DRB01347 Minor-Prelim & Final Plat
Approval

BOHANNAN HUSTON INC agent(s) for NEWMORE LLC request(s) the above action(s) for all or a portion of Tract(s) A, B, C & D, **HISE LANDS**, zoned M-1 (SC), located on PASEO DEL NORTE BLVD NE, between I-25 and SAN PEDRO BLVD NE containing approximately 6 acre(s). [Listed under Project #1004391 in error.] (D-18) **PRELIMINARY PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR PRIVATE WATER AND SANITARY SEWER SERVICE EASEMENT FOR TRACT C AND CROSS-LOT DRAINAGE EASEMENT.**

12. **Project # 1000351**
05DRB-01303 Minor-Prelim&Final Plat
Approval

CARTESIAN SURVEYS agent(s) for BOB KITTS request(s) the above action(s) for all or a portion of Tract(s) 3, 7 & 8, **LANDS OF ZIA TRADING COMPANY**, zoned SU-1 FOR IP, located on OSUNA BLVD NE, between BNSF RR TRACKS and EDITH BLVD NE containing approximately 4 acre(s). [REF: Z-99-99, AX-99-10] (*Deferred from 8/24/05 & 8/31/05*) (E-15) **DEFERRED AT THE BOARD'S REQUEST TO 9/7/05.**

13. **Project # 1004177**
05DRB-01280 Minor-Subd Design
(DPM) Variance

BOHANNAN HUSTON INC agent(s) for SANDIA PROPERTIES LTD CO request(s) the above action(s) for all or a portion of Tract(s) 10-13, **VENTANA RANCH WEST**, zoned R-LT residential zone, located on IRVING BLVD NW, between VENTANA RIDGE RD NW and containing approximately 74 acre(s). [REF: 05DRB01122, 01123, 01124, 00783] *(Was Indef. Deferred on 8/17/05)* (B-8) **A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

14. **Project # 1004390**
05DRB01346 Minor-Sketch Plat or
Plan

BOHANNAN HUSTON INC. agent(s) for LOFLAND COMPANY request(s) the above action(s) for all or a portion of Lot(s) 1A, D and 10 through 23, Block(s) 12 and 13, **FRANCISCAN ADDITION**, zoned M-2 heavy manufacturing zone, located on 1ST ST NW, between I-40 and MANUAL BLVD NW containing approximately 4 acre(s). (H-14) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

15. Approval of the Development Review Board Minutes for August 17, 2005. **THE DRB MINUTES FOR AUGUST 17, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 11:53 A.M.

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
August 31, 2005
DRB Comments**

Item # 9

Project # 1001946 Application # 05-01047

RE: Office Depot@Los Angeles Center/spbp

1. The required written project summary is missing from the submittal. Agent was called on 8/25/05.
2. The retaining wall shown on the site plan: height, length, color & materials are not provided as required on the SPBP Checklist. An elevation of the wall is also needed.
3. The height & fixture type for site lighting must be specified on the site plan. The reference to the Lowe's site plan is not acceptable.
4. Is the trash compactor located underground? If not, an elevation of the compactor and the enclosure are required.
5. Is there a bus stop at the site for the 10% parking space reduction? The stop should be shown on the site plan.
6. The easements are missing from the Landscape Plan. This is a requirement of the SPBP Checklist.
7. 23,945 square feet of landscaping provided is the total according to the numbers on the plan. The percentage is also required per the SPBP Checklist. 27,056 is the total on the Landscape Plan.

8. Austrian pine and potentilla are not on the approved SPS plant palette. Please substitute plants on the palette. In addition, the ash selected is a high water use tree. Please use fewer ash on the plan.

9. Exterior Elevations Sheet. Elevations General Note 2 does not apply & should be removed. Note 1 needs further explanation if it is to remain. Overall width dimension is missing. Until that is supplied, the building signs cannot be checked for conformance with the Zone Code.

10. The required monument sign elevation, dimensions, square footage, materials & colors as well as structural elements are missing.

11. Drawings showing how the continuous planters as shown on the elevations sheet and the planter/seating shown on the site plan sheet actually function are needed. Where is the shade called for in the SPS Design Standards?

12. The Design Standards call for an additional 15% parking spaces above what is required per the Zone Code. Please illustrate how this is accomplished.

13. The SPS specifies rosemary must be 5 gallon size. Please correct.

14. Many of the Elevation Key Notes on the Elevation Sheet are incorrect. Please correct.

15. Demonstrate on the Elevations sheet that the building mounted signs do not exceed 6% of the total façade.

Given the number of comments, above, it is likely the site plan approval will either be deferred or, if the other DRB members are able to sign on the 31st of August, Planning could take delegation until these comments are addressed.



Sheran Matson, AICP DRB Chair
924-3880 Fax 924-3864 smatson@cabq.gov



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

August 17, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

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NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 12:15 P.M.

CASES WHICH REQUIRE PUBLIC NOTIFICATION
MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

- 1. **Project # 1001986**
05DRB-01194 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES agent(s) for RIO OESTE DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) D & E, **TAYLOR RANCH**, zoned R-1, located on COORS BLVD NW, between LA ORILLA NW and MONTANO PLAZA DR NW containing approximately 10 acre(s). [REF: 02DRB01927] (E-12) **A TWO-YEAR SUBDIVISION IMPROVEMENTS AGREEMENT WAS APPROVED.**

2. **Project # 1004162**
05DRB-01193 Major-Preliminary Plat
Approval
05DRB-01195 Minor-Subd Design (DPM)
Variance
05DRB-01197 Minor-Sidewalk Waiver
05DRB-01198 Minor-Temp Defer SDWK

JEFF MORTENSEN & ASSOCIATES agent(s) for HOECH REAL ESTATE CORPORATION request(s) the above action(s) for all or a portion of Lot(s) 1-P1 through 31-P1, Tract(s) L-2, VISTA DEL NORTE (to be known as **AGAVE SUBDIVISION**) zoned SU-1 PRD, located on VISTA DEL NORTE DR NE, between OSUNA RD NE and CALLE DEL CAMPO NE containing approximately 6 acre(s). [REF: 1000490, 05EPC00742, 05DRB01139, 05DRB01140] (E-16) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/17/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 7/11/05 THE PRELIMINARY PLAT WAS APPROVED. A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

05DRB-01275 Minor-SiteDev Plan
Subd/EPC

JEFF MORTENSEN & ASSOCIATES agent(s) for HOECH REAL ESTATE CORPORATION request(s) the above action(s) for all or a portion of Lot(s) 1-P1 through 31-P1, Tract(s) L-2, VISTA DEL NORTE (to be known as **AGAVE SUBDIVISION**) zoned SU-1 PRD, located on VISTA DEL NORTE DR NE, between OSUNA RD NE and CALLE DEL CAMPO NE containing approximately 6 acre(s). [REF: 1000490, 05EPC00742, 05DRB01139, 05DRB01140] **[Russell Brito for Elvira Lopez, EPC Case Planner]** (E-16) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR CORRECTION OF NORTH ARROW.**

3. **Project # 1003585**
05DRB-01191 Major-Vacation of Pub
Right-of-Way
05DRB-01190 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST, LTD. agent(s) for 3900 SILVER AVENUE LLC, request(s) the above action(s) for all or a portion of Lot(s) 1-20, **SILVER STREET TOWNHOMES**, zoned 0-R, located on SILVER AVE SE, between ALISO AVE SE and MORNINGSIDE AVE SE containing approximately 2 acre(s). [REF: 05DRB00737] *[Deferred from 8/17/05]* (K-17) **DEFERRED AT THE AGENT'S REQUEST TO 8/24/05.**

4. **Project # 1002861**
05DRB-01202 Major-Preliminary Plat
Approval

ABQ ENGINEERING INC agent(s) for INFILL SOLUTIONS DEVELOPMENT request(s) the above action(s) for all or a portion of Block(s) 46, Lots(s) 17 through 24, NEW MEXICO TOWN COMPANY TOWNSITE (to be known as **SOUTHERN UNION GAS LOFTS UNIT II**) zoned SU-3 special center zone, located on 9TH ST SW, between SILVER AVE SW and 8TH ST SW [REF: 03DRB01299, 04DRB00002, 04DRB01137, 05DRB00718] [Deferred from 8/17/05] (K-13) **DEFERRED AT THE AGENT'S REQUEST TO 8/24/05.**

5. **Project # 1004341**
05DRB-01203 Major-Vacation of Pub
Right-of-Way

RIO GRANDE ENGINEERING agent(s) for DAVID & JENNIFER SOULE request(s) the above action(s) for all or a portion of Tract(s) 180, AIRPORT UNIT, LANDS OF ATRISCO GRANT (to be known as **DEL RIO ESTATES**) zoned R-2 residential zone, located on 76TH STREET NW, between FORTUNA ROAD NW and GLEN RIO ROAD NW containing approximately 6 acre(s). (J-10) **WITHDRAWN AT THE AGENT'S REQUEST.**

6. **Project # 1003551**
05DRB-01183 Major-Preliminary Plat
Approval
05DRB-01184 Minor-Temp Defer SDWK

BRASHER & LORENZ agent(s) for DON K. NAYLOR request(s) the above action(s) for all or a portion of Block(s) 11, Tract(s) 1, Lot(s) 12, 13, 19, 20 & 21, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **LA CUEVA ESTATES**) zoned R-D residential and related uses zone, developing area, located on GLENDALE AVE NE, between WYOMING BLVD NE and BARSTOW ST NE containing approximately 5 acre(s). [REF: 04DRB01095] (B-19) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/17/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 7/19/05 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION: A PERIMETER WALL DESIGN SHALL BE APPROVED PRIOR TO FINAL PLAT. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

7. **Project # 1004173**
05DRB-01192 Major-Vacation of Public Easements
05DRB-01196 Major-Preliminary Plat Approval
05DRB-01199 Minor-Sidewalk Waiver
05DRB-01200 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for SANDIA PROPERTIES LTD., CO., request(s) the above action(s) for all or a portion of Tract(s) 4, 5 and D-2, (to be known as **VENTANA VISTA SUBDIVISION @ VENTANA RANCH WEST**) zoned R-LT residential zone, located on VENTANA PARKWAY NW, between VENTANA RIDGE RD NW and IRVING BLVD NW containing approximately 31 acre(s). (B-8) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/17/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/10/05 THE PRELIMINARY PLAT WAS APPROVED. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

- 05DRB-01281 Minor-Subd Design (DPM) Variance

BOHANNAN HUSTON INC agent(s) for SANDIA PROPERTIES LTD., CO., request(s) the above action(s) for all or a portion of Tract(s) 4, 5 and D-2, (to be known as **VENTANA VISTA SUBDIVISION @ VENTANA RANCH WEST**) zoned R-LT residential zone, located on VENTANA PARKWAY NW, between VENTANA RIDGE RD NW and IRVING BLVD NW containing approximately 31 acre(s). (B-8) **A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

8. **Project # 1004353**
05DRB-01119 Major-Preliminary Plat Approval
05DRB-01120 Minor-Temp Defer SDWK

SURV-TEK, INC agent(s) for LONGFORD AT THE TRAILS, LLS request(s) the above action(s) for all or a portion of Tract(s) 6, **THE TRAILS, UNIT 2**, zoned R-LT residential zone, located on OAKRIDGE ST NW, between WOODMONT AVE NW and TREELINE AVE NW containing approximately 17 acre(s). [REF: 04DRB01322] *[Listed under Project #1002962 in error] [Deferred from 8/3/05]* (C-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/17/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 7/7/05 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS: USE OF A**

HAMMERHEAD REQUIRES FIRE AND SOLID WASTE APPROVAL. A PERIMETER WALL DESIGN SHALL BE APPROVED PRIOR TO FINAL PLAT. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.

9. **Project # 1003189**
05DRB-01127 Major-Preliminary Plat
Approval
05DRB-01129 Minor-Temp Defer SDWK

RIO GRANDE ENGINEERING agent(s) for FULLER HOMES, INC request(s) the above action(s) for all or a portion of Tract(s) 355, 356 TRACTS A & B, LANDS OF HECTOR ROJO, TOWN OF ATRISCO GRANT (to be known as **AUTUMN VIEW SUBDIVISION**) zoned RD-R1, located on TOWER RD SW, between COORS BLVD SW and STINSON RD SW containing approximately 15 acre(s). *[Deferred from 8/3/05 & 8/17/05]* (L-10) **DEFERRED AT THE AGENT'S REQUEST TO 8/24/05.**

10. **Project # 1004300**
05DRB-01080 Minor-SiteDev Plan
BldPermit

JIM MEDLEY, Architect AIA agent(s) for ROBERT NAVARRETTE request(s) the above action(s) for all or a portion of Lot(s) 31, 32, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2, M-1, located on EAGLE ROCK AVE NE and SAN MATEO BLVD NE containing approximately 2 acre(s). *[Deferred from 7/27/05 and 8/10/05 & 8/17/05]* (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 8/24/05.**

- 05DRB-01286 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for ROBERT NAVARRETTE, ELITE DRI-WALL request(s) the above action(s) for all or a portion of Lot(s) 31, 32, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2, M-1, located on EAGLE ROCK AVE NE and SAN MATEO BLVD NE containing approximately 2 acre(s). [REF: 05DRB01080] *[Deferred from 8/17/05]* (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 8/24/05.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

11. **Project # 1000631**
05DRB-01287 Minor-SiteDev Plan
Subd/EPC
05DRB-01288 Minor-SiteDev Plan
BldPermit/EPC
- GEORGE RAINHART ARCHITECT & ASSOCIATES, agent(s) for JEROME BETTMAN request(s) the above action(s) for all or a portion of Tract(s) A-2B and B-1, **JEANNEDALE, UNIT 5**, zoned SU-3 special center zone, located on UPTOWN BLVD NE, between SAN PEDRO DR NE and LOUISIANA BLVD NE containing approximately 5 acre(s). [REF: AA-96-118, Z-72-65, 03EPC02043, 03EPC02042, 1002442] [Carmen Marrone, EPC Case Planner] (H-18) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO SHOW WATERLINE EASEMENT AND TRANSPORTATION DEVELOPMENT FOR INTERNAL COMMENT SHEET MARKED UP AND ENTRANCE ON UPTOWN LOOP ROAD AND 3 COPIES OF THE SITE PLAN. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO SHOW WATERLINE EASEMENT, TO SHOW NEW 2-INCH METERBOX WITHIN RIGHT-OF-WAY AND TO TRANSPORTATION DEVELOPMENT FOR INTERNAL COMMENT SHEET MARKED UP AND ENTRANCE ON UPTOWN LOOP ROAD AND 3 COPIES OF THE SITE PLAN.**
- 05DRB-01282 Minor-Prelim&Final Plat
Approval
- SURVEYS SOUTHWEST agent(s) for 6401 UPTOWN, LLC request(s) the above action(s) for all or a portion of Tract(s) A-2B and B-1, **DALE J BELLAMAH'S JEANNEDALE UNIT 5**, zoned SU-3 special center zone, located on AMERICAS PARKWAY NE, between UPTOWN BLVD NE and JEANNEDALE DR NE containing approximately 5 acre(s). [REF: AA-96-118 03EPC02043, 03EPC020] (H-18) **PRELIMINARY PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO ADD 20-FOOT WATERLINE EASEMENT, CHANGE STREET NAME, MAY NEED PRIVATE WATER/SEWER SERVICE EASEMENTS FOR BUILDING TO THE WEST AND TO TRANSPORTATION DEVLEOPMNT FOR RADIUS DEDICATION @ INTERSECTIONS, ADA EASEMENTS AND CROSS-ACCESS (WEST)(NORTH).**

12. **Project # 1003991**
05DRB-01293 Minor-SiteDev Plan
Subd/EPC
05DRB-01294 Minor-SiteDev Plan
BldPermit/EPC

TIERRA WEST LLC agent(s) for WAL MART STORES EAST LP request(s) the above action(s) for all or a portion of Tract(s) A-1, **TOWN OF ATRISCO GRANT, UNIT 7**, zoned SU-1 FOR C-1 WITH DRIVE UP PHARMACY & RLT, located on SNOW VISTA BLVD SW, between SAGE RD SW and BENAVIDES RD SW containing approximately 14 acre(s). [REF: 05EPC00365, 05EPC00366, 05EPC00367] [Russell Brito for Elvira Lopez, EPC Case Planner] [Deferred from 8/17/05] (M-9) **DEFERRED AT THE AGENT'S REQUEST TO 8/31/05.**

13. **Project # 1004353**
05DRB-01285 Minor-SiteDev Plan
Subd/EPC

CONSENSUS PLANNING agent(s) for LONGFORD HOMES request(s) the above action(s) for all or a portion of Tract(s) 6, **SANTA FE @ THE TRAILS UNIT 2**, zoned R-D residential and related uses zone, developing area, located on WOODMONT NW, between RAINBOW BLVD NW and OAKRIDGE NW containing approximately 20 acre(s). [Listed under Project #1002962 in error] (C-9) **SITE PLAN FOR SUBDIVISION WS APPROVED AND SIGNED OFF BY THE BOARD.**

14. **Project # 1001946**
05DRB-01047 Minor-SiteDev Plan
BldPermit

DEKKER PERICH SABATINI agent(s) for OFFICE DEPOT request(s) the above action(s) for all or a portion of Tract(s) A-1-D, **LOS ANGELES CENTER**, zoned M-1, located on PASEO DEL NORTE NE, between SAN PEDRO NE and INTERSTATE 25 containing approximately 3 acre(s). [REF: DRB-97-224, DRB-97-372; Z-1534] [Deferred from 6/29/05 & 7/13/05 & 7/20/05 & 7/27/05 & 8/3/05 & indef deferred on a no show 8/17/05] (D-18) **INDEFINITELY DEFERRED ON A NO SHOW.**

15. **Project # 1003358**
04DRB-00478 Minor-SiteDev Plan
BldPermit

KEN HOVEY agent(s) for COMMERCIAL ENTERPRISES INC request(s) the above action(s) for all or a portion of Tract(s) 49, **CLIFFORD INDUSTRIAL PARK**, zoned SU-2 / M-1, located on WASHINGTON PL NE and ANAHEIM NE and containing approximately 3 acre(s). *[Was Indef Deferred on 4/7/04 on a no show] [Deferred from 8/10/05]* (C-17) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO DETERMINE IF ENVIRONMENTAL HEALTH HAS APPROVED THE ABATEMENT MEASURES FOR THE LANDFILL.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

16. **Project # 1004177**
05DRB-01280 Minor-Subd Design (DPM)
Variance

BOHANNAN HUSTON INC agent(s) for SANDIA PROPERTIES LTD CO request(s) the above action(s) for all or a portion of Tract(s) 10-13, **VENTANA RANCH WEST**, zoned R-LT residential zone, located on IRVING BLVD NW, between VENTANA RIDGE RD NW and containing approximately 74 acre(s). [REF: 05DRB01122, 01123, 01124, 00783] (B-8) **INDEFINITELY DEFERRED ON A NO SHOW.**

17. **Project # 1002960**
05DRB-01284 Major-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for WESTLAND DEVELOPMENT CO INC request(s) the above action(s) for all or a portion of Tract(s) K, **SUNDORO SOUTH, UNIT 2**, zoned SU-2 FOR RLT, located on 98TH STREET NW, between LADERA BLVD NW and I-40 NW containing approximately 6 acre(s). [REF: 05DRB-00109] (J-8/9) **FINAL PLAT APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR EXCHANGE WITH NMDOT AND TO RECORD PLAT AND TO PARKS FOR MAINTENANCE OF PCD EASEMENT.**

18. **Project # 1003982**
05DRB-01283 Minor-Prelim&Final Plat
Approval

WILKS CO. agent(s) for TAIHI & MARYANN JONES request(s) the above action(s) for Tract(s) A-15-M5-17 and A-15-M5-16, **LANDS OF TAIHI & MARYANN JONES**, zoned SU-2 NCR, located on WALTER NE, between MOUNTAIN RD NE and KINLEY AVE NE containing approximately 1 acre(s). [REF: 05DRB00338] (J-15) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

19. **Project # 1004058**
05DRB-01268 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD agent(s) for SANDIA FOUNDATION, PATRICK GLENNON request(s) the above action(s) for all or a portion of Tract(s) A & B, LOMAS & BROADWAY and Tract(s) P-1, LANDS OF NEW MEXICO CREDIT CORP., UNIT 2 (to be known as **LANDS OF SANDIA FOUNDATION**) zoned SU-2 M-1, located on MARBLE AVE NE, between BROADWAY BLVD NE and LOMAS BLVD NE containing approximately 4 acre(s). [REF: ZA-87-241, DRB-93-164, DRB-90-186, 05DRB00486] (J-14) **PRELIMINARY AND FINAL PLAT WERE APPROVED AND SIGNED OFF BY THE BOARD.**

20. **Project # 1003672**
05DRB-00704 Minor-Final Plat Approval

RIO GRANDE ENGINEERING agent(s) for ERIMY PROPERTIES LTD request(s) the above action(s) for all or a portion of Lot(s) 6 & 7, Block(s) 3, Tract(s) 3, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **ESTRADA COURT**) zoned R-D residential and related uses zone, developing area, located on OAKLAND AVE NE, between VENTURA BLVD NE and BARSTOW BLVD NE containing approximately 3 acre(s). [REF: 04DRB01423] (*Deferred from 5/4/05 & 5/18/05 & 5/25/05*) [*Final Plat Indef Deferred for SIA*] (C-20) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR EASEMENT LANGUAGE ACROSS LOT 6-P1 AND TO PLANNING TO RECORD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

21. **Project # 1004361**
05DRB-01247 Minor-Sketch Plat or Plan

G. DONALD DUDLEY ARCHITECT agent(s) for RIVER HORSE INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 2, 3, 4 and 5, Block(s) 001, MONTGOMERY HEIGHTS (to be known as **TULANE TOWNHOUSES**) zoned R-3, located on TULANE NE, between CARLISLE NE and WELLESLY NE containing approximately 1 acre(s). (G-16) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

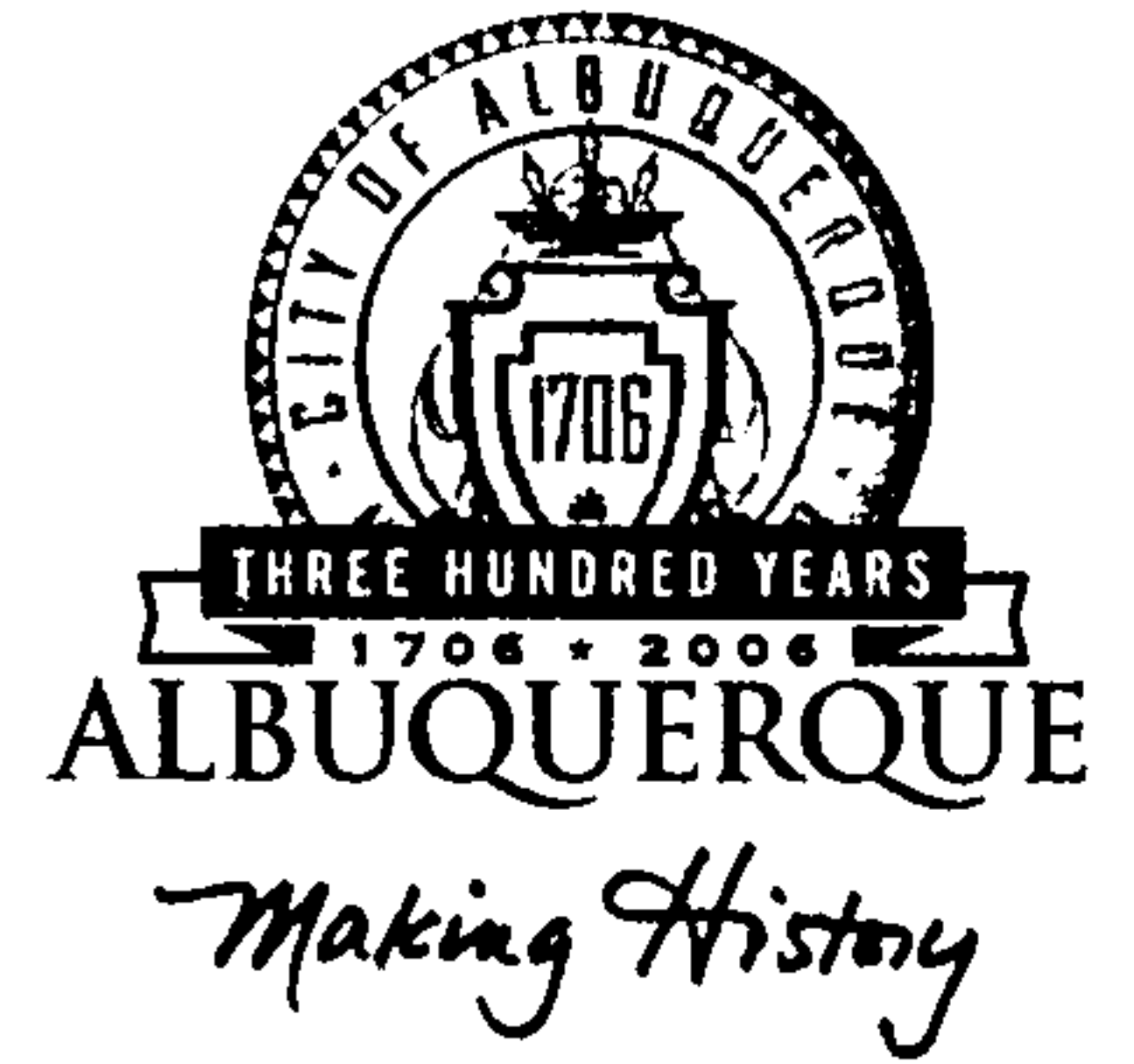
22. **Project # 1004369**
05DRB-01279 Minor-Sketch Plat or Plan

RICHARD L GONZALES request(s) the above action(s) for all or a portion of Lot(s) 24-39, Block(s) 3, WEST PARK (to be known as **COUNTRY CLUB TOWNHOMES**) zoned C-2 community commercial zone, located on CENTRAL SW, between NEW YORK SW and GOLF COURSE containing approximately 2 acre(s). (J-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

23. Approval of the Development Review Board Minutes for August 3, 2005. **THE DEVELOPMENT REVIEW BOARD MINUTES FOR AUGUST 3, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 12:15 P.M.

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1001946

AGENDA ITEM NO: 14

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

RESOLUTION:

APPROVED ___; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN ___

*(No Show)
Indef*

Albuquerque

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PRKS) (PLNG)

New Mexico 87103 DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

FOR:

www.cabq.gov

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: August 17, 2005

CITY OF ALBUQUERQUE



THREE HUNDRED YEARS
1706 • 2006
ALBUQUERQUE

Making History

*defer
8/17/05*

PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1001946

AGENDA ITEM NO: 11

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

RESOLUTION:

8/17/05

APPROVED __; DENIED __; DEFERRED X; COMMENTS PROVIDED __; WITHDRAWN __

Albuquerque

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PRKS) (PLNG)

New Mexico 87103 DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

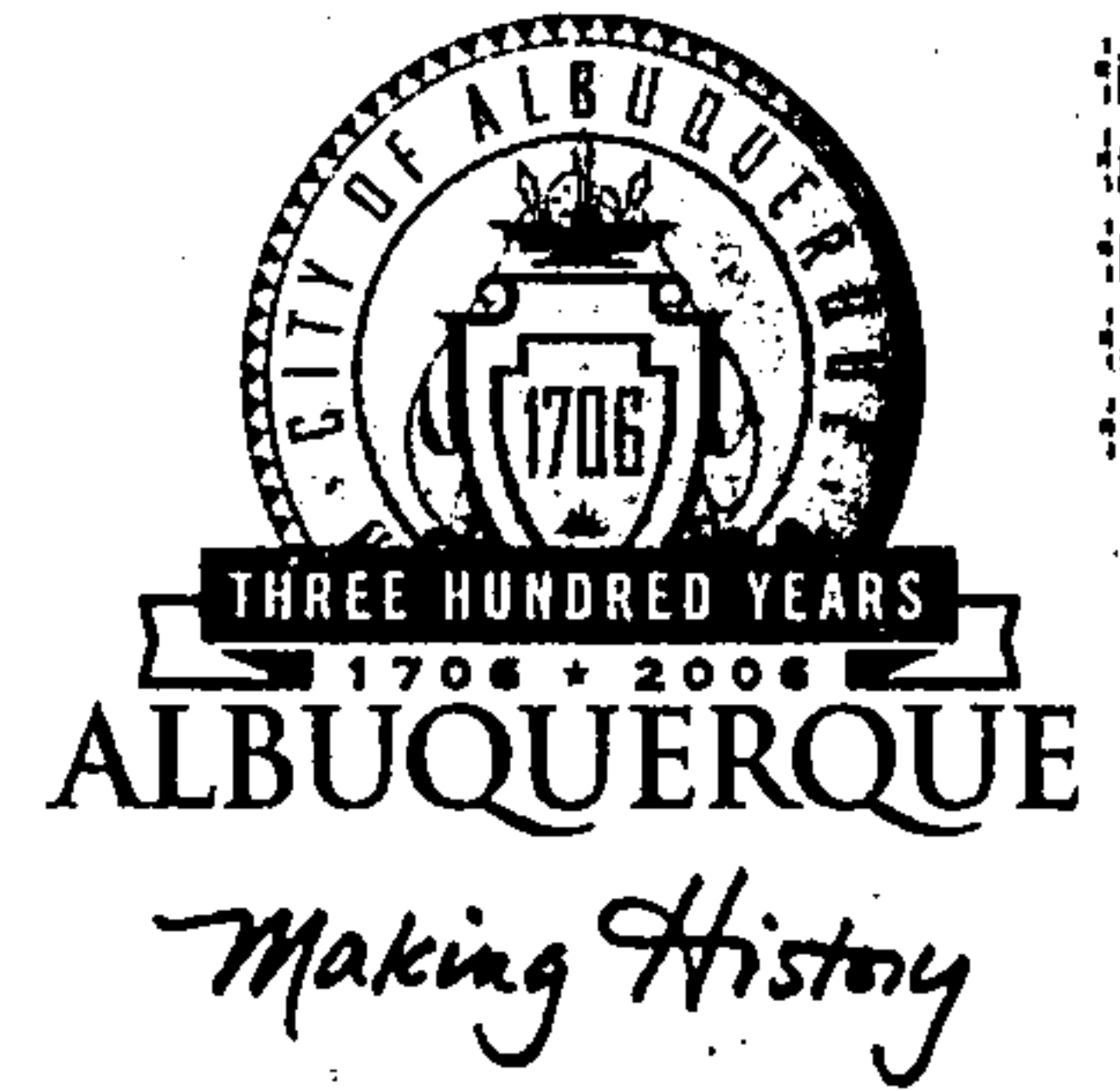
FOR:

www.cabq.gov

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: August 3, 2005

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1001946

AGENDA ITEM NO: 7

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

RESOLUTION:

8-3-05

Albuquerque

APPROVED ___; DENIED ___; DEFERRED ; COMMENTS PROVIDED ___; WITHDRAWN ___

New Mexico 87103

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

FOR:

www.cabq.gov

**SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee**

DATE: JULY 27, 2005



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

August 3, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 A.M.

Adjourned: 11:15 A.M.

B. Changes and/or Additions to the Agenda

C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. Project # 1001926

05DRB-01125 Major-One Year SIA

TIERRA WEST LLC agent(s) for JD HOME, INC., request(s) the above action(s) for all or a portion of Lots 1 – 34 **MUSTANG MESA**, zoned R-2, located on 72nd PL NW, between INTERSTATE 40 WEST and GLENRIO RD NW containing approximately 5 acre(s). [REF: 03DRB-01224; 03DRB-01225; 04DRB-01358; 04DRB-1393; 04DRB-01394] (J-10) **A ONE-YEAR EXTENSION OF THE SUBDIVISION IMPROVEMENTS AGREEMENT WAS APPROVED.**

2. **Project # 1004353**
05DRB-01119 Major-Preliminary Plat
Approval
05DRB-01120 Minor-Temp Defer
SDWK

SURV-TEK, INC agent(s) for LONGFORD AT THE TRAILS, LLS request(s) the above action(s) for all or a portion of Tract(s) 6, **THE TRAILS, UNIT 2**, zoned R-LT residential zone, located on OAKRIDGE ST NW, between WOODMONT AVE NW and TREELINE AVE NW containing approximately 17 acre(s). [REF: 04DRB01322] [*Listed under Project #1002962 in error*] [*Deferred from 8/3/05*] (C-9) **DEFERRED AT THE AGENT'S REQUEST TO 8/17/05.**

3. **Project # 1003189**
05DRB-01127 Major-Preliminary Plat
Approval
05DRB-01129 Minor-Temp Defer
SDWK

RIO GRANDE ENGINEERING agent(s) for FULLER HOMES, INC request(s) the above action(s) for all or a portion of Tract(s) 355, 356 TRACTS A & B, LANDS OF HECTOR ROJO, **TOWN OF ATRISCO GRANT**, zoned RD-R1, located on TOWER RD SW, between COORS BLVD SW and STINSON RD SW containing approximately 15 acre(s). [*Deferred from 8/3/05*] (L-10) **DEFERRED AT THE AGENT'S REQUEST TO 8/17/05.**

4. **Project # 1004177**
05DRB-01122 Major-Preliminary Plat
Approval
05DRB-01124 Minor-Temp Defer
SDWK
05DRB-01123 Minor-Sidewalk Waiver

BOHANNAN HUSTON INC. agent(s) for SANDIA PROPERTIES LTD. CO. request(s) the above action(s) for TRACTS 10, 11, 12 & 13 VENTANA RANCH WEST, (to be known as **VENTANA HIGHLANDS SUBDIVISION**) zoned R-LT residential zone, located on VENTANA RIDGE RD NW and containing approximately 74 acre(s). (B-8) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/3/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 7/25/05 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS: A PUBLIC DRAINAGE EASEMENT ON TRACT A AS WELL AS EXCLUDING TRACT A FROM THE P.U.E. AND A BLOCK LENGTH VARIANCE BE APPLIED FOR PRIOR TO FINAL PLAT. THE TEMPORARY DEFERRAL OF**

CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.

5. **Project # 1004315**
05DRB-01121 Major-Vacation of Public Easements

BOHANNAN HUSTON, INC., agent(s) for ALTURA WEST DEVELOPMENT LLC, request(s) the above action(s) for Lot(s) 33, **OXBOW BLUFF SUBDIVISION**, zoned SU-3, located on SILVERY MINOW LN NW, between WATERWILLOW LN NW and GREY HAWK LN NW. (G-11) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH ADDED CONDITION: AN EXECUTED ENCROACHMENT AGREEMENT IS REQUIRED CONCURRENT WITH FINAL PLAT APPROVAL.**

6. **Project # 1003257**
05DRB-00934 Major-Vacation of Public Easements
05DRB-00933 Major-Vacation of Pub Right-of-Way
05DRB-00929 Major-Preliminary Plat Approval
05DRB-00935 Minor-Sidewalk Waiver
05DRB-00936 Minor-Temp Defer Sdwk

MARK GOODWIN & ASSOCIATES agent(s) for VISTA ARROYO, LLC request(s) the above action(s) for all or a portion of Tract(s) A, **LANDS OF PARADISE HEIGHTS LLC**, Lot(s) 48 thru 55, Block(s) 4, Lot(s) 1 thru 7 and Lot(s) 10 thru 14, Block(s) 6, Lot(s) 1 thru 8, Lot(s) 22 thru 45 and an undesignated tract, Block(s) 9, Lot(s) 1 thru 16, Block(s) 12, Lot(s) 1 thru 10 and 12 thru 14, Block(s) 14, Lot(s) 7 thru 12, Block(s) 15, Lot(s) 1 thru 61 and 62, Block(s) 16, all of Block(s) 7, 8, 10, 11, 13 and 17, **PARADISE HEIGHTS, UNIT 4**, Lots 9 thru 14, Block 9, **PARADISE HEIGHTS, UNIT 4**, Block(s) 1, 2, 3 and 4 and Lot(s) 1 thru 16, Block(s) 5, **PARADISE HEIGHTS, UNIT 5**, (to be known as **ARROYO VISTA SUBDIVISION**) zoned R-1, SU-1 FOR C-1, located on BLACK ARROYO RD NW, between MCMAHON BLVD NW and CALABACILLAS ARROYO containing approximately 172 acre(s).[REF:04DRB-00204] *[Deferred from 6/29/05 &*

7/20/05 & 7/27/05] (A-10) THE VACATIONS WERE APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/3/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/2/05 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITIONS: OPEN SPACE ACCEPTS TRACTS F, G, H, I, J, K, N, O AND P. THE EASEMENTS FOR BOTH MCMAHON BLVD AND THE ARROYO CROSSING BE GRANTED PRIOR TO FINAL PLAT APPROVAL. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALK WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

7. **Project # 1001275**
05DRB-01207 Minor-SiteDev Plan
BldPermit/EPC

CONSENSUS PLANNING agent(s) for AUTO ZONE, INC request(s) the above action(s) for all or a portion of Lot(s) 4, **LOWES SUBDIVISION**, zoned SU-1 FOR C-2 AND I-P PERMISSIVE, located on COORS BLVD NW, between ALAMEDA BLVD NW and COORS-BY-PASS NW containing approximately 2 acre(s). [REF: 05EPC00749, 01EPC00742, 01EPC00743, 01DRB00160, 01DRB01426, 01DRB01427] [Stephanie Shumsky, EPC Case Planner] (B-14) WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/3/05 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR CHANGES ON THE LANDSCAPE PLAN.

8. **Project # 1002529**
05DRB-01216 Minor-SiteDev Plan
BldPermit/EPC

CONSENSUS PLANNING agent(s) for CAS LLC request(s) the above action(s) for all or a portion of Lot(s) 1, CAS ADDITION (to be known as **VISTA DEL BOSQUE**) zoned SU-1 FOR O-1 PERMISSIVE USES, located on COORS BLVD NW, between WESTSIDE DRIVE NW and the CALABACILLAS ARROYO containing approximately 3 acre(s). [REF: 05EPC-00748, 04EPC-01840, 04EPC-01840, 04EPC-01843, 05DRB-00212, 05DRB-00213, 05DRB-00214] [**David Stallworth, EPC Case Planner**] (B-13) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO REVISE THE UTILITY PLAN FOR PUBLIC WATER/SEWER LINES. REVISE EASEMENTS AND CHECK IF SITE PLAN MATCHES UTILITY PLAN AND PLANNING FOR DAVID STALLWORTHS INITIALS.**

05DRB-01208 Minor-SiteDev Plan
BldPermit/EPC

GEORGE RAINHART, ARCHITECT agent(s) for STERLING DEVELOPMENT request(s) the above action(s) for all or a portion of Lot(s) 3 and 4, Tract(s) 6-B BLACK FARMS ESTATES (to be known as **SHOPS @ WESTSIDE DRIVE NW**) zoned SU-1 FOR C-1, located on the northeast corner of COORS BLVD NW and WESTSIDE DRIVE NW and containing approximately 3 acre(s). [REF: DRB-94-495] [**David Stallworth, EPC Case Planner**] (B-13) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED PLANNING FOR DAVID STALLWORTHS INITIALS AND 3 COPIES OF THE SITE PLAN.**

05DRB-01175 Major-Final Plat
Approval

BORDENAVE DESIGNS agent(s) for CAS LLC request(s) the above action(s) for all or a portion of Tract(s) 6-B, **CAS ADDITION, BLACK RANCH**, zoned SU-1 special use zone, located on COORS BLVD NW, between WESTSIDE DR NW and CALABACILLAS ARROYO NW containing approximately 6 acre(s). [REF: 04DRB01374, 04DRB01059, 04DRB02060, 04EPC01840, 04EPC01841, 04EPC01843, 03EPC02058, 03EPC02059, 03EPC02060, Z-93-115] [*Deferred from 7/27/05*] (B-13/B-14) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR NMU INC SIGNATURE AND CHECK THAT PLAT AND SITE PLAN MATCH AND TO PLANNING TO RECORD.**

9. **Project # 1002944**
05DRB-00706 Minor-SiteDev Plan
Subd/EPC
05DRB-00707 Minor-SiteDev Plan
BldPermit/EPC

CLAUDIO VIGIL ARCHITECTS agent(s) for LINDA CONTOS & JOHN HEIDRICH request(s) the above action(s) for all or a portion of Tract(s) F-1 and F-2, **LANDS OF ZOLIN/KUNATH, TRES ESQUINAS, LLC., CURB INC. AND THE CITY OF ALBUQUERQUE**, zoned SU-1 FOR MIXED USE C-1 PERMISSIVE, located on UNSER BLVD NW, between MCMAHON DR NW and NIGHT WHISPER RD NW containing approximately 9 acre(s). [REF: Z-97-119,ZA-99-118, DRB-90-423,04EPC-01556] [Elvira Lopez, EPC Case Planner] (*Indef deferred 5/4/05*) (A-11) **SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF SITE PLAN. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 8/3/05 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR 3 COPIES OF SITE PLAN.**

- 05DRB-01214 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST agent(s) for LINDA CONTOS request(s) the above action(s) for all or a portion of Tract(s) F-1 and F-2, **LANDS OF ZOLIN/KUNATH, TRES ESQUINAS LLC & CURB INC**, (to be known as **NORTH UNSER VET CLINIC**) zoned SU-1 special use zone, located on PINON VERDE DR NW, between WILLOW RD NW and UNSER BLVD NW containing approximately 2 acre(s). [REF: 05DRB-00706, 05DRB-00707] (A-11) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR 24-FOOT EASEMENT AND PLANNING FOR CROSS-LOT DRAINAGE EASEMENT AND AGIS DXF FILE.**

10. **Project # 1004343**
05DRB-01213 Minor-SiteDev Plan
BldPermit

BOHANNAN HUSTON INC. agent(s) for CITY OF ALBUQUERQUE request(s) the above action(s) for all or a portion of Lot(s) 22-27, **ALAMEDA BUSINESS PARK**, zoned SU-2 IP-EP, located on EDITH BLVD NW, between ALAMEDA PARK DR NW and the AMAFCA DIVERSION CHANNEL containing approximately 12 acre(s). [REF: DRB-98-223] *[Deferred from 8/3/05]* (C-16) **DEFERRED AT THE AGENT'S REQUEST TO 8/10/05.**

11. **Project # 1001946**
05DRB-01047 Minor-SiteDev Plan
BldPermit

DEKKER PERICH SABATINI agent(s) for OFFICE DEPOT request(s) the above action(s) for all or a portion of Tract(s) A-1-D, **LOS ANGELES CENTER**, zoned M-1, located on PASEO DEL NORTE NE, between SAN PEDRO NE and INTERSTATE 25 containing approximately 3 acre(s). [REF: DRB-97-224, DRB-97-372; Z-1534] *[Deferred from 6/29/05 & 7/13/05 & 7/20/05 & 7/27/05 & 8/3/05]* (D-18) **DEFERRED AT THE AGENT'S REQUEST TO 8/17/05.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

12. **Project # 1003364**
05DRB-01210 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for DOUBLE CHEESE CORP. request(s) the above action(s) for all or a portion of Tract(s) 1-A-1-A, 1-A-2-A and 1-A-3-A, **NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3**, zoned SU-2 special neighborhood zone, located on PASEO DEL NORTE BLVD NE, between LOUISIANA BLVD NE and HOLLY AVE NE containing approximately 4 acre(s). [REF: DRB-96-66, 04EPC-00495, 04EPC-00494] (C-19) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

13. **Project # 1004338**
05DRB-01186 Minor-Prelim&Final Plat
Approval

JEFF MORTENSEN & ASSOCIATES agent(s) for FRANKLIN GAUER, JR & MARY DAY GAUER request(s) the above action(s) for all or a portion of Tract(s) 1-A & 1-B, **QUARTER HORSE ACRES**, zoned R-1 residential zone, located on SPUR COURT NW, between INTERSTATE 40 and MOUNTAIN ROAD NW containing approximately 1 acre(s). [REF: SP-96-189] (H-12) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

14. **Project # 1003606**
05DRB-01211 Major-Final Plat
Approval

MARK GOODWIN & ASSOCIATES agent(s) for WESTLAND DEVELOPMENT CO., INC. request(s) the above action(s) for Lot(s) 509-26 509-27, 19W, 12B, Row 7, Tract(s) L and B, Town of Atrisco Grant, Unit A, Westland North Subdivision, Sundoro South, Unit 1, Painted Sky, Unit 1 (to be known as **SUNDORO SOUTH UNIT 5**, zoned SU-2 FOR RLT, located on LADERA DRIVE NW, between 94TH STREET NW and 90TH STREET NW containing approximately 23 acre(s). [REF: 04DRB-01693, 01692, 01691, 01690, 01689, 04DRB-01237] [*Deferred from 8/3/05*] (J-9) **DEFERRED AT THE AGENT'S REQUEST TO 8/10/05.**

15. **Project # 1003749**
05DRB-01185 Major-Final Plat
Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for ALPHA EQUITIES, LLC request(s) the above action(s) for all or a portion of ELENA GALLEGOS GRANT, UNIT 2, ACADEMY SQUARE, TRACT B (to be known as **ANCALA VILLAGE**) zoned O-1 office and institution zone, located on JUAN TABO NE, between SPAIN RD NE and OSUNA RD NE containing approximately 3 acre(s). [REF: 042HE01594, 05DRB00059] (F-21) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

16. **Project # 1003673**
05DRB-01212 Minor-Prelim&Final Plat
Approval

TERRAMETRICS OF NEW MEXICO agent(s) for
MOCK ASSOCIATES request(s) the above action(s) for
all or a portion of Lot(s) 1-P-1, **OAKLAND SOUTH**,
zoned RD 3D/UA, located on OAKLAND AVE NE,
between BARSTOW ST NE and VENTURA STREET
NE [REF: 04DRB01637, 05DRB00029, 05DRB00028]
(C-20) **PRELIMINARY AND FINAL PLAT WAS
APPROVED AND SIGNED OFF BY THE BOARD.**

17. **Project # 1003247**
05DRB-01217 Minor-Temp Defer
SDWK

QUICK DRAW ENGINEERING agent(s) for MARK
VALENCIA request(s) the above action(s) for Lot(s) 1 &
2, CORONA DEL SOL (to be known as **VALENCIA
SUBDIVISION**, zoned R-2 residential zone
TOWNHOMES, located on ALAMAGORDO ST NW
between COORS BLVD NW AND ST JOSEPH NW,
containing approximately 1 acre(s). [REF: SV-98-52,
DRB-98-18, Z-98-38, V-98-29, S-99-4] [Listed under
Project #1004347 in error] (G-11) **INDEFINITELY
DEFERRED ON A NO SHOW. LATER REQUESTED
DEFERRAL TO 8/10/05.**

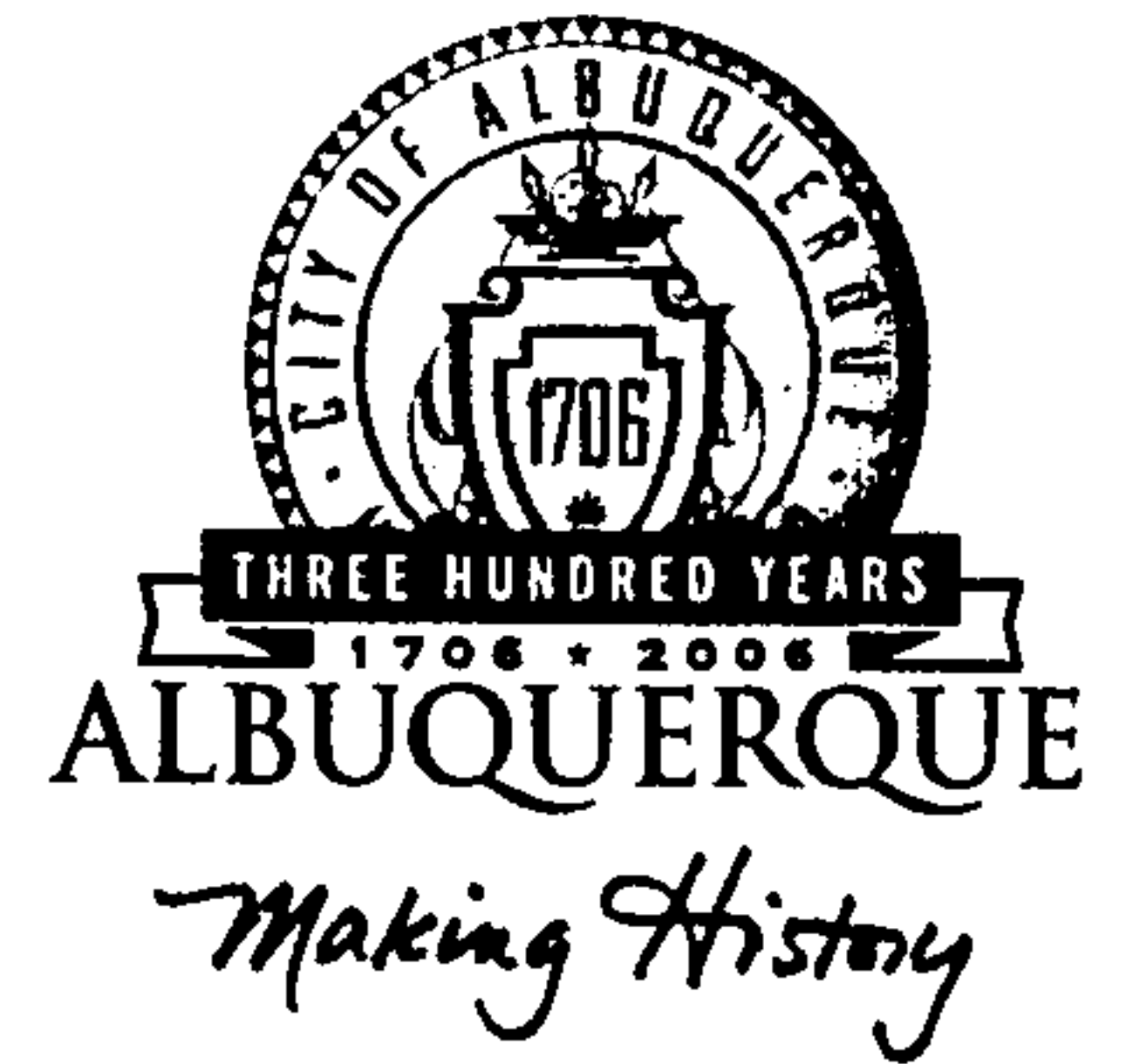
NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

THERE ARE NO SKETCH PLATS THIS WEEK...

18. Approval of the Development Review Board Minutes for July 13 and July 20, 2005.
**DEVELOPMENT REVIEW BOARD MINUTES FOR JULY 13 AND JULY 20, 2005 WERE
APPROVED BY THE BOARD.**

ADJOURNED: 11:15 A.M.

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1001946

AGENDA ITEM NO: 11

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

No adverse comments.

P.O. Box 1293

RESOLUTION:

8/17/05

APPROVED ___; DENIED ___; DEFERRED X; COMMENTS PROVIDED ___; WITHDRAWN ___

Albuquerque

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PRKS) (PLNG)

New Mexico 87103 DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

FOR:

www.cabq.gov

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: August 3, 2005



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

July 27, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 a.m.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

Adjourned: 10:50 a.m.

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1004300**
05DRB-01080 Minor-SiteDev Plan
BldPermit

JIM MEDLEY, Architect AIA agent(s) for ROBERT NAVARRETTE request(s) the above action(s) for all or a portion of Lot(s) 31, 32, Block(s) 9, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2, M-1, located on EAGLE ROCK AVE NE and SAN MATEO BLVD NE containing approximately 2 acre(s). [Deferred from 7/27/05] (C-18) **DEFERRED AT THE AGENT'S REQUEST TO 8/10/05.**

2. **Project # 1004244**
05DRB-01085 Major-Vacation of Public Easements

WILSON & COMPANY agent(s) for ST. PAUL'S UNITED METHODIST CHURCH request(s) the above action(s) for all or a portion of Lot(s) 6-13, Block(s) 19, and Lot(s) 1-11, Block(s) 18, and vacated Altez NE right-of-way, **MESA VILLAGE ADDITION**, zoned SU-1, located on CONSTITUTION AVE NE, between ERBBE ST NE and CLANCY ST NE containing approximately 4 acre(s). [REF: 05EPC-00928] (J-20) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

05DRB-01176 Minor-Prelim&Final Plat Approval

WILSON & COMPANY agent(s) for ST. PAUL'S UNITED METHODIST CHURCH request(s) the above action(s) for all or a portion of Lot(s) 6-13, 1-11, Block(s) 18, 19, **MESA VILLAGE ADDITION**, zoned SU-1, located on CONSTITUTION AVE NE, between ERBBE ST NE and CLANCY ST NE containing approximately 4 acre(s). [REF: 05EPC-00928] (J-20) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITY DEVELOPMENT FOR ADJUSTMENT OF EASEMENT TO INCLUDE ALL EXISTING METERS, ADD LANGUAGE FROM ORIGINAL VACATION ORDINANCE FOR RETAINED EASEMENTS AND PLANNING FOR 15-DAY APPEAL PERIOD AND TO RECORD.**

3. **Project # 1003257**
05DRB-00934 Major-Vacation of Public Easements
05DRB-00933 Major-Vacation of Pub Right-of-Way
05DRB-00929 Major-Preliminary Plat Approval
05DRB-00935 Minor-Sidewalk Waiver
05DRB-00936 Minor-Temp Defer Sdwk

MARK GOODWIN & ASSOCIATES agent(s) for VISTA ARROYO, LLC request(s) the above action(s) for all or a portion of Tract(s) A, LANDS OF PARADISE HEIGHTS LLC, Lot(s) 48 thru 55, Block(s) 4, Lot(s) 1 thru 7 and Lot(s) 10 thru 14, Block(s) 6, Lot(s) 1 thru 8, Lot(s) 22 thru 45 and an undesignated tract, Block(s) 9, Lot(s) 1 thru 16, Block(s) 12, Lot(s) 1 thru 10 and 12 thru 14, Block(s) 14, Lot(s) 7 thru 12, Block(s) 15, Lot(s) 1 thru 61 and 62, Block(s) 16, all of Block(s) 7, 8, 10, 11, 13 and 17, PARADISE HEIGHTS, UNIT 4, Lots 9 thru 14, Block 9, PARADISE HEIGHTS, UNIT 4, Block(s) 1, 2, 3 and 4 and Lot(s) 1 thru 16, Block(s) 5, PARADISE HEIGHTS, UNIT 5, (to be known as **ARROYO VISTA SUBDIVISION**) zoned R-1, SU-1 FOR C-1, located on BLACK ARROYO RD NW, between MCMAHON BLVD NW and CALABACILLAS ARROYO containing approximately 172 acre(s). [REF:04DRB-00204] [Deferred from 6/29/05 & 7/20/05 & 7/27/05] (A-10) **DEFERRED AT THE AGENT'S REQUEST TO 8/3/05.**

4. **Project # 1004282**
05DRB-01061 Major-Preliminary Plat
Approval

GARCIA/KRAEMER & ASSOCIATES agent(s) for PAT MILLIGAN request(s) the above action(s) for all or a portion of Lots(s) A-1, B-1, C-1, D-1, E-1, F-1, H-1, J-1, K-1, **ALAMOSA ADDITION**, zoned R-T residential zone, located on TRUJILLO RD SW, between 62nd ST SW and BATAAN DR SW containing approximately 2 acre(s). [Deferred from 7/20/05 & 7/27/05](K-11) **DEFERRED AT THE AGENT'S REQUEST TO 1/11/2006.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

5. **Project # 1003801**
05DRB-01180 Minor-SiteDev Plan
BldPermit/EPC
05DRB-01179 Minor-Prelim&Final Plat
Approval

SURV-TEK INC agent(s) for PETERSON PROPERTIES request(s) the above action(s) for all or a portion of Lot(s) 28-31, Block(s) A, **ALTURA ADDITION**, zoned SU-1 for C-1, located on CARLISLE NE, between INDIAN SCHOOL NE and CONSTITUTION NE containing approximately 1 acre(s). [REF: 04EPC01821] [David Stallworth, EPC Case Planner] (J-16) **THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR COMMENTS ON COMMENT SHEET AND PARKING CALCS NOTE FROM DAVID STALLWORTH AND DAVID STALLWORTH'S INITIALS ON THE PLAN AND TO UTILITIES DEVELOPMENT TO REVISE UTILITY PLAN (WATER METER LOCATION & SIZE, FIRE HYDRANT LOCATION). WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/27/05 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

6. **Project # 1001043**
05DRB-01182 Minor-SiteDev Plan
BldPermit/EPC

HUITT-ZOLLARS, INC agent(s) for KITTS DEVELOPMENT LLC request(s) the above action(s) for all or a portion of Tract(s) A, STONEBRIDGE POINTE SUBDIVISION (to be known as **WEST BANDELIER**) zoned SU-1 FOR R-2, located on MCMAHON NW and BANDELIER DRIVE NW containing approximately 8 acre(s). [REF: 04EPC00850] [Russell Brito, EPC Case Planner] (A-12) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/27/05 THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR A CHANGE ON SHEET 8 - CHANGE TITLE TO WEST BANDELIER AND 3 COPIES OF THE SITE DEVELOPMENT PLAN FOR BUILDING PERMIT, NEED PLAT, GATE QUEUING, ADA STALLS AND RADII AND TO CITY ENGINEER FOR SIA.**

7. **Project # 1001946**
05DRB-01047 Minor-SiteDev Plan
BldPermit

DEKKER PERICH SABATINI agent(s) for OFFICE DEPOT request(s) the above action(s) for all or a portion of Tract(s) A-1-D, **LOS ANGELES CENTER**, zoned M-1, located on PASEO DEL NORTE NE, between SAN PEDRO NE and INTERSTATE 25 containing approximately 3 acre(s). [REF: DRB-97-224, DRB-97-372; Z-1534] [*Deferred from 6/29/05 & 7/13/05 & 7/20/05 & 7/27/05*] (D-18) **DEFERRED AT AGENT'S REQUEST TO 8/3/05.**

8. **Project # 1004326**
05DRB-01147 Minor-SiteDev Plan
BldPermit

INSITEWORKS agent(s) for JLM INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 14-A-2-A, **LOOP INDUSTRIAL DISTRICT, UNIT 5**, zoned SU-2 for M-1, located on JEFFERSON ST NE, between PASEO DEL NORTE NE and WILSHIRE AVE NE containing approximately 2 acre(s). [*Deferred from 7/20/05*] (C-17) **SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

9. **Project # 1003865**
05DRB-00521 Minor- Final Plat Approval
- FORSTBAUER SURVEYING, LLC agent(s) for PARKS CUSTOM BUILDERS INC request(s) the above action(s) for all or a portion of Lot(s) 11, 12, 21 & 22, Block(s) 28, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned SU-2 IP, located on ALAMEDA BLVD NE, between SAN PEDRO NE and LOUISIANA NE containing approximately 4 acre(s). [REF: 05DRB00006, DRB-99-187, Z-87-42-1] [*Final Plat was Indef Deferred for SIA 4/6/05*] (C-18) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD THE PLAT.**
10. **Project # 1002176**
05DRB-01178 Minor-Extension of Preliminary Plat
- SURVEYS SOUTHWEST, LTD. agent(s) for MOUNTAIN WEST DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) E-1, **NORTH FOUR HILLS**, zoned SU-1 special use zone, located on FOUR HILLS RD SE, between LANIER DR SE and WATERFALL DR SE containing approximately 7 acre(s). [REF: Z-98-113, Z-98-54, 02DRB01306, 04DRB00526, 00960, 00961, 04DRB00962, 00963] (L-23) **WITH THE REINITIALING OF THE INFRASTRUCTURE LIST DATED 7/27/05 A ONE-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED.**
11. **Project # 1004325**
05DRB-01146 Minor-Prelim&Final Plat Approval
- SURVEYS SOUTHWEST LTD, agent(s) for BILL ROBERTS request(s) the above action(s) for all or a portion of Block(s) 1, Tract(s) F, **HOLIDAY PARK, UNIT 11**, zoned C-1 neighborhood commercial zone, located on JUAN TABO BLVD NE, between COMANCHE RD NE and containing approximately 1 acre(s). [REF: Z-1761] [*Deferred from 7/20/05*] (G-21) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT TO COMPLETE WATER/SEWER TAPPING PERMITS AND OPEN NEW ACCOUNTS FOR TRACT F-2.**

12. **Project # 1002529**
05DRB-01175 Major-Final Plat
Approval

BORDENAVE DESIGNS agent(s) for CAS LLC request(s) the above action(s) for all or a portion of Tract(s) 6-B, **CAS ADDITION, BLACK RANCH**, zoned SU-1 special use zone, located on COORS BLVD NW, between WESTSIDE DR NW and CALABACILLAS ARROYO NW containing approximately 6 acre(s). [REF: 04DRB01374, 04DRB01059, 04DRB02060, 04EPC01840, 04EPC01841, 04EPC01843, 03EPC02058, 03EPC02059, 03EPC02060, Z-93-115] [Deferred from 7/27/05] (B-13/B-14) **DEFERRED AT THE AGENT'S REQUEST TO 8/3/05.**

13. **Project # 1004337**
05DRB-01177 Minor-Prelim&Final Plat
Approval

HARRIS SURVEYING agent(s) for PALM HARBOR HOMES request(s) the above action(s) for all or a portion of Lot(s) A, **BELLAMAH'S CENTRAL ADDITION**, zoned C-2 community commercial zone, located on CENTRAL AVE NE, between EUBANK BLVD NE and MORRIS NE containing approximately 3 acre(s). (L-21) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE AGIS DXF FILE.**

14. **Project # 1000511**
05DRB-01102 Minor-Vacation of
Private Easements
05DRB-01101 Minor-Prelim&Final Plat
Approval

MIKE MONTOYA request(s) the above action(s) for all or a portion of Tract(s) A1, A2, A3, **HERITAGE EAST, UNIT 3**, zoned R-D residential and related uses zone, developing area, located on DE VARGAS LOOP NE, between VENTURA ST NE and GREENWOOD ST NE containing approximately 1 acre(s). [REF: DRB-94-551] (D-20) **THE VACATION OF PRIVATE EASEMENTS WILL BE WITHDRAWN BY AGENT. THE REQUEST WAS DEFERRED AT THE AGENT'S REQUEST TO 8/24/05.**

15. **Project # 1002739**
05DRB-01174 Minor-Final Plat Approval

MARK GOODWIN & ASSOCIATES agent(s) for KB HOMES NEW MEXICO, INC request(s) the above action(s) for all or a portion of Tract(s) PARCEL 2-D LANDS OF RIO BRAVO PARTNERS, (to be known as **ANDERSON HEIGHTS, UNIT 1-A**) zoned R-D residential and related uses zone, developing area, located on 118TH STREET SW, between DENNIS CHAVEZ BLVD SW and GIBSON BLVD SW containing approximately 119 acre(s). (N-8/P-8) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR OPEN SPACE CALCULATIONS AND PLANNING TO RECORD.**

16. **Project # 1004179**
05DRB-01181 Minor-Prelim&Final Plat Approval

TIERRA WEST LLC agent(s) for JOHN PRICE request(s) the above action(s) for all or a portion of Tract(s) 82, (to be known as **ALVARADO GARDENS REPLAT, UNIT #3**) zoned RA-2 residential and agricultural zone, located on CANDELARIA RD NW, between TRELIS DR NW and GLENWOOD DR NW. [REF: DRB-94-102, 05DRB00796] (G-12) **PRELIMINARY AND FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

THERE ARE NO SKETCH PLATS THIS WEEK

17. Approval of the Development Review Board Minutes for June 29, 2005. **THE DRB MINUTES FOR JUNE 29, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 10:50 A.M.



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

July 20, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 a.m. Adjourned: 10:45 a.m.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLAN

- 1. **Project # 1003257**
05DRB-00934 Major-Vacation of Public Easements
05DRB-00933 Major-Vacation of Pub Right-of-Way
05DRB-00929 Major-Preliminary Plat Approval
05DRB-00935 Minor-Sidewalk Waiver
05DRB-00936 Minor-Temp Defer Sdwk

MARK GOODWIN & ASSOCIATES agent(s) for VISTA ARROYO, LLC request(s) the above action(s) for all or a portion of Tract(s) A, LANDS OF PARADISE HEIGHTS LLC, Lot(s) 48 thru 55, Block(s) 4, Lot(s) 1 thru 7 and Lot(s) 10 thru 14, Block(s) 6, Lot(s) 1 thru 8, Lot(s) 22 thru 45 and an undesignated tract, Block(s) 9, Lot(s) 1 thru 16, Block(s) 12, Lot(s) 1 thru 10 and 12 thru 14, Block(s) 14, Lot(s) 7 thru 12, Block(s) 15, Lot(s) 1 thru 61 and 62, Block(s) 16, all of Block(s) 7, 8, 10, 11, 13 and 17, PARADISE HEIGHTS, UNIT 4, Lots 9 thru 14, Block 9, PARADISE HEIGHTS, UNIT 4, Block(s) 1, 2, 3 and 4 and Lot(s) 1 thru 16, Block(s) 5, PARADISE HEIGHTS, UNIT 5, (to be known as **ARROYO VISTA SUBDIVISION**) zoned R-1, SU-1 FOR C-1, located on BLACK ARROYO RD NW, between MCMAHON BLVD NW and CALABACILLAS ARROYO containing approximately 172 acre(s).[REF:04DRB-00204] [Deferred from 6/29/05 & 7/20/05](A-10) **DEFERRED AT A.R. TO 7/27/05.**

2. **Project # 1000650**
05DRB-01067 Major-SiteDev Plan
BldPermit

TIERRA WEST LLC agent(s) for DOUBLE CHEESE CORP request(s) the above action(s) for all or a portion of Tract(s) 1A2, **LANDS OF LAMONICA**, zoned SU-1/C-1 permissive use, located on COORS BLVD SW, between LAMONICA RD SW and RIO BRAVO BLVD SW containing approximately 2 acre(s). *[Deferred from 7/20/05]* (P-10) **DEFERRED AT THE AGENT'S REQUEST TO 8/10/05.**

3. **Project # 1004232**
05DRB-00896 Major-Vacation of Public
Easements

A. MIGUEL TRUJILLO agent(s) for WILLIAM K. WILSON request(s) the above action(s) for all or a portion of Block(s) 13, Tract(s) A, **CLAYTON HEIGHTS SUBDIVISION**, zoned C-2 community commercial zone, located on GIBSON BLVD SE, between BUENA VISTA SE and WILMOORE DR SE containing approximately 2 acre(s). (L-15) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project # 1004281**
05DRB-01057 Major-SiteDev Plan Subd
05DRB-01058 Major-SiteDev Plan
BldPermit

SCHLEGEL LEWIS ARCHITECTS agent(s) for VENTURA PACIFIC CAPITAL CO request(s) the above action(s) for all or a portion of Tract(s) H-6A7A1, **RIVERVIEW SUBDIVISION**, zoned SU-1 IP, located on GOLF COURSE RD NW, between PASEO DEL NORTE NW and SHELLY ROSE RD NW containing approximately 2 acre(s). [REF: SP-97-193; DRB-97-245] (C-12) **THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR BUILDING NOTES, PARKING CALCS AND THE RIGHT TO USE SOUTH ACCESS. THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR BUILDING NOTES, PARKING CALCS AND THE RIGHT TO USE SOUTH ACCESS.**

5. **Project # 1004282**
05DRB-01061 Major-Preliminary Plat
Approval

GARCIA/KRAEMER & ASSOCIATES agent(s) for PAT MILLIGAN request(s) the above action(s) for all or a portion of Lots(s) A-1, B-1, C-1, D-1, E-1, F-1, H-1, J-1, K-1, **ALAMOSA ADDITION**, zoned R-T residential zone, located on TRUJILLO RD SW, between 62nd ST SW and BATAAN DR SW containing approximately 2 acre(s). *[Deferred from 7/20/05]* (K-11) **DEFERRED AT THE AGENT'S REQUEST TO 7/27/05.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED,
THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

6. **Project # 1001946**
05DRB-01047 Minor-SiteDev Plan
BldPermit

DEKKER PERICH SABATINI agent(s) for OFFICE DEPOT request(s) the above action(s) for all or a portion of Tract(s) A-1-D, **LOS ANGELES CENTER**, zoned M-1, located on PASEO DEL NORTE NE, between SAN PEDRO NE and INTERSTATE 25 containing approximately 3 acre(s). [REF: DRB-97-224, DRB-97-372; Z-1534] *[Deferred from 6/29/05 & 7/13/05 & 7/20/05]* (D-18) **DEFERRED AT THE AGENT'S REQUEST TO 7/27/05.**

7. **Project # 1004236**
05DRB-00499 Minor-Prelim&Final Plat
Approval

PRECISION SURVEYS INC agent(s) for CONNIE & ZACK LOVELADY, CZ ENTERPRISES request(s) the above action(s) for all or a portion of Lot(s) 25, **ALVARADO GARDENS, UNIT 1**, zoned RA-2, located on MATTHEW AVE NW and MEADOW VIEW DR NW and containing approximately 1 acre(s). *[Deferred from 3/30/05 & 4/13/05 & 4/20/05]* (G-13) **PRELIMINARY AND FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD.**

8. **Project # 1004320**
05DRB-01137 Minor-SiteDev Plan
BldPermit

MULLEN HELLER ARCHITECTURE agent(s) for AVAL INVESTMENTS request(s) the above action(s) for all or a portion of Tract(s) E-2, **SANDIA SCIENCE AND TECHNOLOGY PARK, PHASE 1**, zoned IP industrial park zone, located on INNOVATION PARKWAY SE, between RESEARCH RD SE and GIBSON AVE SE containing approximately 5 acre(s). (M-21) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR FIRE FLOW CALCS AND TRANSPORTATION DEVELOPMENT FOR WIDENED ENTRANCE, 15-FOOT RADII, CHECK OFFSITE IMPROVEMENTS AND 3 COPIES OF THE SITE PLAN.**

9. **Project # 1004326**
05DRB-01147 Minor-SiteDev Plan
BldPermit

INSITEWORKS agent(s) for JLM INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 14-A-2-A, **LOOP INDUSTRIAL DISTRICT, UNIT 5**, zoned SU-2 for M-1, located on JEFFERSON ST NE, between PASEO DEL NORTE NE and WILSHIRE AVE NE containing approximately 2 acre(s). *[Deferred from 7/20/05]* (C-17) **DEFERRED AT THE AGENT'S REQUEST TO 7/27/05.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

10. **Project # 1000508**
05DRB-01126 Minor-Prelim&Final Plat
Approval

TIERRA WEST, LLC agent(s) for WAL-MART STORES EAST LP request(s) the above action(s) for all or a portion of Tract(s) B1A1A, **TOWNE PARK PLAZA**, zoned SU-1/C-1, located on EUBANK BLVD NE, between INTERSTATE 40 EAST and CHICO RD NE containing approximately 18 acre(s). [REF: Z-98-114, DRB-90-289, 02DRB-01528, 02DRB-01529, 02AA-01605, 05DRB-00093, 05AA-00325] (K-21) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR WATER LINE RELOCATION OR ELSE A TEMPORARY PAPER EASEMENT FOR EXISTING LINE LOCATION BEING VACATED.**

11. Project # 1002591
05DRB-01128 Minor-Prelim&Final Plat
Approval

TIERRA WEST, LLC agent(s) for KPS GROUP request(s) the above action(s) for all or a portion of Tract(s) C & G, **FOUR HILLS VILLAGE SHOPPING CENTER & APT COMPLEX**, zoned SU-1/PDA RES & COMM, located on CENTRAL AVE SE, between TRAMWAY BLVD SE and DORADO PL SE containing approximately 6 acre(s). [REF: Z-84-124, 03AA-00608] (L-22) **PRELIMINARY AND FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

12. Project # 1004162
05DRB-01139 Minor-Vacation of Private
Easements
05DRB-01140 Minor-Sketch Plat or Plan

JEFF MORTENSEN & ASSOCIATES, INC. agent(s) for HOECH REAL ESTATE CORPORATION request(s) the above action(s) for all or a portion of Tract(s) L-2, **VISTA DEL NORTE**, zoned SU-1 FOR PRD, located on VISTA DEL NORTE DR NE, between OSUNA RD NE and CALLE DEL CAMPO NE containing approximately 6 acre(s). [REF: 05EPC-00742] (E-16) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

13. Project # 1004281
05DRB-01133 Minor-Prelim&Final Plat
Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for CARL'S JR. GOLF COURSE request(s) the above action(s) for TRACTS H6A7A1-A & H6A7A1-B, **RIVERVIEW**, zoned SU-1/IP, located on GOLF COURSE RD NW, between PASEO DEL NORTE NW and SHELLY ROSE RD NW containing approximately 2 acre(s). [Heard under Project #1004317 in error] (C-12) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR RIGHT TO USE ACCESS POINTS AND UTILITIES DEVELOPMENT FOR SIGNATURES OF NMUI, A BETTER DESCRIPTION OF 10-FOOT UTILITY EASEMENT AND PROVIDE BENEFICIARY AND MAINTENANCE STATEMENT FOR EASEMENT.**

14. **Project # 1004323**
05DRB-01144 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST, LTD agent(s) for DAV
DONOHUE & SHIRLEY SAVARESE request(s) the above
action(s) for all or a portion of Lot(s) 4, 5, 6, **JOHN BARON
BURG PARK**, zoned SR, located on 20th ST NW, between
21st ST NW and ASPEN AVE NW containing approximately
1 acre(s). (H-13) **PRELIMINARY PLAT WAS
APPROVED WITH FINAL SIGN OFF DELEGATED TO
PLANNING FOR LOT LINE ADJUSTMENT.**

15. **Project # 1004325**
05DRB-01146 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST LTD, agent(s) for BILL
ROBERTS request(s) the above action(s) for all or a
portion of Block(s) 1, Tract(s) F, **HOLIDAY PARK, UNIT
11**, zoned C-1 neighborhood commercial zone, located on
JUAN TABO BLVD NE, between COMANCHE RD NE and
containing approximately 1 acre(s). [REF: Z-1761]
[Deferred from 7/20/05] (G-21) **DEFERRED AT THE
AGENT'S REQUEST TO 7/27/05.**

NO ACTION IS TAKEN ON THESE CASES:

APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

16. **Project # 1001638**
05DRB-01110 Minor-Sketch Plat or Plan

ALBUQUERQUE SURVEYING CO., INC., agent(s) for
KEVIN GEORGES & ASSOCIATES request(s) the above
action(s) for all or a portion of Tract(s) A-1-A-1-A,
LOVELACE HOSPITAL, zoned SU-1 special use zone,
located on SAN MATEO BLVD SE, between GIBSON
BLVD SE and RIDGECREST DR SE containing
approximately 17 acre(s). (M-18) **INDEFINITELY
DEFERRED ON A NO SHOW.**

17. **Project # 1004319**
05DRB-01136 Minor-Sketch Plat or Plan

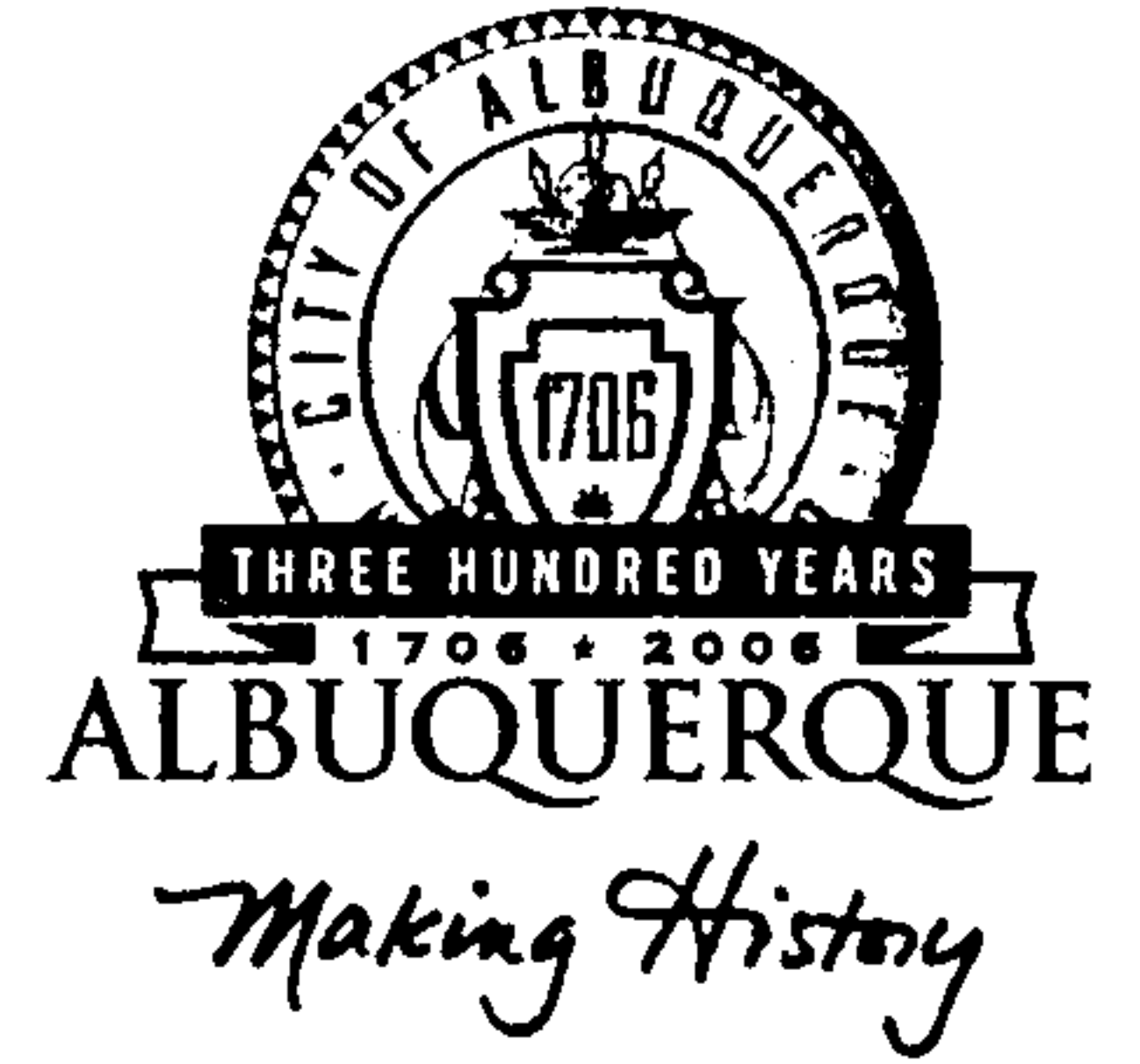
JAMES AND LORINDA LYNCH request(s) the above action(s) for all or a portion of Lot(s) 33, Block(s) 2, **SIERRA AZUL**, zoned R-1, located on COMANCHE NE, between WYOMING NE and PENNSYLVANIA NE containing approximately 1 acre(s). (G-19) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

18. **Project # 1004322**
05DRB-01143 Minor-Sketch Plat or Plan

SURVEYS SOUTHWEST LTD agent(s) for AL CARABAJAL & MICHELLE LESICKA request(s) the above action(s) for all or a portion of Lot(s) 24, 21, **LOS HERMANOS ADDITION**, zoned R-1 residential zone, located on LOS HERMANAS ST NW, between CARLTON ST NW and BELLROSE AVE NW containing approximately 2 acre(s). (G-15) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. **ADJOURNED: 10:45 A.M.**

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD – SPEED MEMO

DRB CASE NO/PROJECT NO: 1001946

AGENDA ITEM NO: 6

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT: () APPROVAL: (X) SIGN-OFF: () EXTN: () AMEND: ()

ENGINEERING COMMENTS:

An approved conceptual grading and drainage plan must be on file prior to approval.

P.O. Box 1293

Albuquerque

RESOLUTION:

7/27/05

APPROVED ___; DENIED ___; DEFERRED ; COMMENTS PROVIDED ___; WITHDRAWN ___

New Mexico 87103 SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PRKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PRKS) (PLNG)

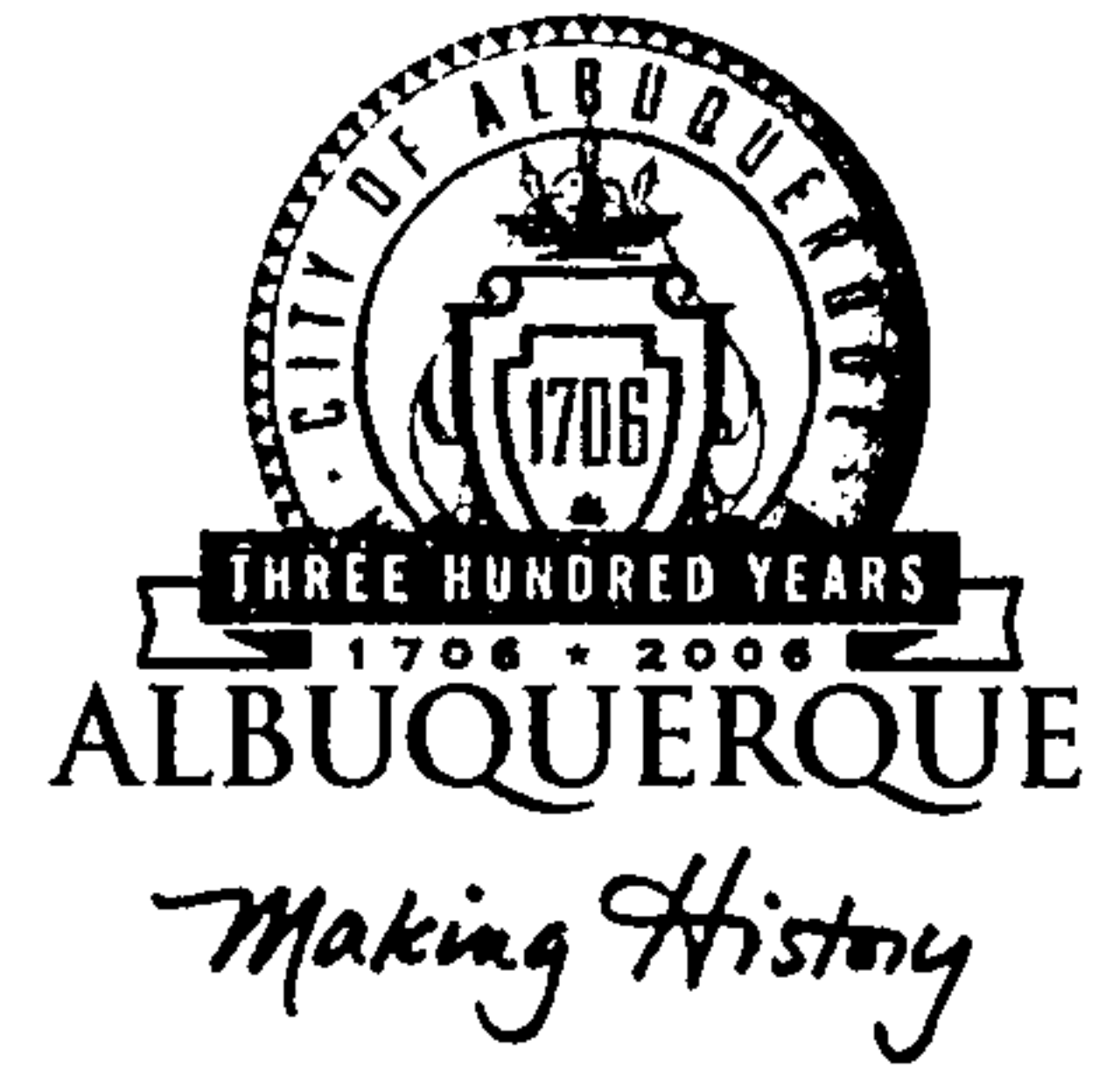
www.cabq.gov

FOR:

SIGNED: Bradley L. Bingham
City Engineer / AMAFCA Designee

DATE: JULY 20, 2005

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001946

AGENDA ITEM NO: 10

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

New Mexico 87103

RESOLUTION:

7-20-05

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

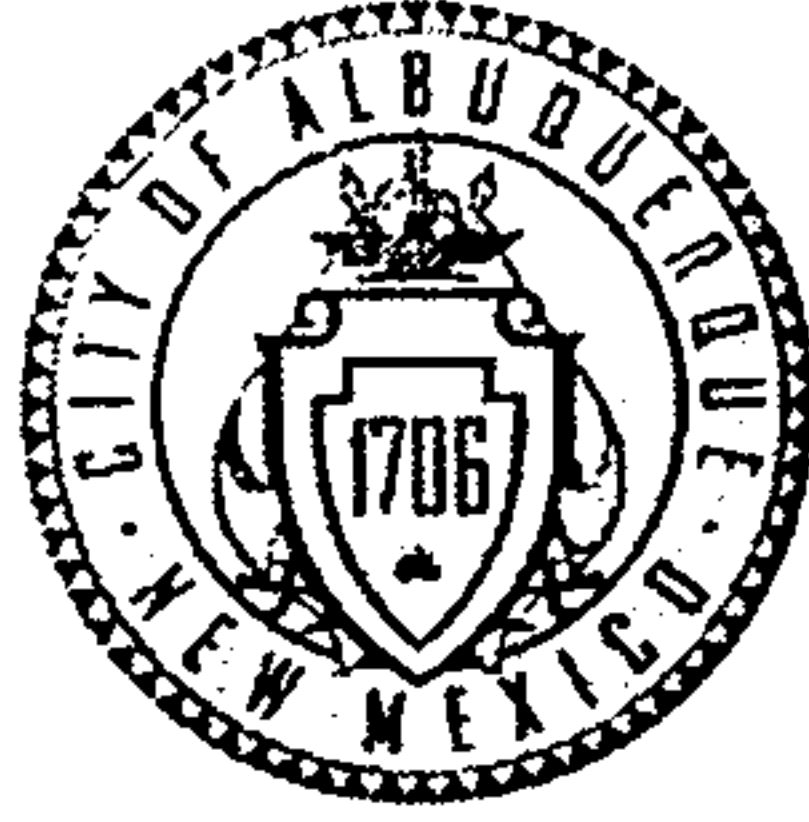
SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: July 13, 2005



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

July 13, 2005

9:00

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order 9:00 A.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000614**
05DRB-00982 Major-Two Year SIA
TIERRA WEST LLC agent(s) for DEVELOPMENT SERVICES LTD. CO. request(s) the above action(s) for **LA CUEVA OESTE UNIT 2 & 4**, zoned R-D, located on HOLLY AVE NE, between LOUISIANA BLVD NE and SAN PEDRO DR NE containing approximately 37 acre(s). [REF: 04DRB-00913] (C-18) **A TWO-YEAR EXTENSION OF THE SIA WAS APPROVED.**

2. **Project # 1002397**
05DRB-01042 Major-Two Year SIA

TIERRA WEST LLC agent(s) for SHULL REALTY & WATERS EDGE LLC request(s) the above action(s) for all or a portion of Lot(s) 1-10, **BOSQUE PLAZA**, zoned C-1, located on LA ORILLA RD NW, between COORS BLVD NW and CORRALES DRAIN containing approximately 12 acre(s). [REF: Z-87-56, DRB-87-200, 02DRB-01925, 04DRB-01196] (E-12) **A SIX-MONTH EXTENSION OF THE SIA WAS APPROVED.**

3. **Project # 1004139**
05DRB-00969 Major-Preliminary Plat Approval

BRASHER & LORENZ agent(s) for STEVE SLICK request(s) the above action(s) for all or a portion of Lot(s) 27, 28, 29, Tract 1, Block(s) 17, **NORTH ALBUQUERQUE ACRES UNIT 3**, zoned R-D, 3DU/ACRE, located on MODESTO AVE NE, between BARSTOW NE and VENTURA NE containing approximately 3 acre(s). [REF: 05DRB-00668] (B-20) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/13/5 AND THE APPROVED GRADING AND DRAINAGE PLAN DATED 6/6/5, THE PRELIMINARY PLAT WAS APPROVED.**

4. **Project # 1002123**
05DRB-00981 Major- Preliminary Plat Approval

GARCIA/KRAEMER & ASSOCIATES, agent(s) for DEL'S HIDE-A-WAY PARK, PHILIP D. SHEETS, request(s) the above action(s) for all or a portion of Tract(s) B, **DEL'S HIDE-A-WAY**, zoned SU-1 FOR RT, located on SAN CLEMENTE NW between 4th ST NW and 2th ST NW containing approximately 3 acres. [REF: 04 DRB-00532, 00533, 04DRB-00535, 03EPC-01087, 1088] [*Deferred from 6/29/05*] (G-14) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/13/5 AND THE APPROVED GRADING AND DRAINAGE PLAN DATED 2/24/5, THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT: 1) MAINTENANCE AND BENEFICIARY SHOULD BE STATED FOR ALL PRIVATE EASEMENTS; 2) SANITARY SEWER EASEMENTS ADDED TO TRACT D.**

5. **Project # 1000724**
05DRB-00989 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES agent(s) for GSR GROUP, LLC request(s) the above action(s) for all or a portion of Tract(s) A, **RAYO DEL SOL, UNIT 1**, zoned R-LT, located on ARENAL RD SW, between COORS BLVD SW and UNSER BLVD SW containing approximately 9 acre(s). [REF: 02DRB-01268, 0044001098, Z-97-87] (M-10) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED.**

6. **Project # 1003520**
04DRB-01567 Major-Preliminary Plat Approval

MARK GOODWIN & ASSOCIATES PA agent(s) for WASHINGTON STREET INVESTORS LLC request(s) the above action(s) for all or a portion of Lot(s) 27 & 28, Block(s) 16, Tract(s) 1, NORTH ALBUQUERQUE ACRES, UNIT 3, (to be known as **BENJAMIN PLACE SUBDIVISION**) zoned R-D, located on GLENDALE AVE NE, between BARSTOW ST NE and VENTURA ST NE containing approximately 2 acre(s). [REF: 04DRB-01568, 01863] (B-20) **THE PRELIMINARY PLAT WAS ORIGINALLY APPROVED 1/12/5. THE APPROVAL WAS APPEALED TO EPC, THEN CITY COUNCIL. CITY COUNCIL REMANDED THE PLAT TO DRB TO RE-EXAMINE THE PERIMETER WALLS' COMPLIANCE WITH SECTION 14-16-3-19. OF THE ZONE CODE. FOLLOWING THE RE-EXAMINATION, DRB RE-APPROVED THE PRELIMINARY PLAT.**

7. **Project # 1002590**
05DRB-00956 Major-Preliminary Plat Approval
05DRB-00957 Minor-Subd Design (DPM) Variance
05DRB-00958 Minor-Sidewalk Waiver
05DRB-00960 Minor-Temp Defer SDWK
05DRB-00540 Minor-SiteDev Plan Subd

MARK GOODWIN & ASSOCIATES agent(s) for MEL FAMIE LLC request(s) the above action(s) for all or a portion of Tract(s) B-2, LANDS OF BRACKSON COURSON, (to be known as **CHAPARRAL COURT**) zoned R-D residential and related uses zone, developing area, located on 64th STREET NW, between MILNE RD NW and TIERRA PRIETA NW containing approximately 4 acre(s). [REF: 05DRB-0206, 05DRB-0540] [*Deferred from 4/13/05 & 6/29/05*] (F-10) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/13/5 AND THE APPROVAL OF THE GRADING/DRAINAGE PLAN ENGINEER STAMP DATED 6/2/5 THE PRELIMINARY PLAT WAS APPROVED. A SITE DEVELOPMENT PLAN**

FOR SUBDIVISION WAS APPROVED. THE SIDEWALK VARIANCE WAS APPROVED AS SHOWN ON EXHIBIT C FOR WAIVER OF SIDEWALKS. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM DESIGN STANDARDS AS SHOWN ON EXHIBIT C IN THE PLANNING FILE WAS ALSO APPROVED.

8. **Project # 1004272**
05DRB-01039 Minor-Temp Defer SDWK
05DRB-01038 Minor-Sidewalk Waiver
05DRB-01084 Minor-SiteDev Plan Subd
05DRB-01033 Major-Preliminary Plat

ISAACSON & ARFMAN agent(s) for CURB INC request(s) the above action(s) for all or a portion of TRACT(s) 16-D, BULK LAND PLAT for EL RANCHO GRANDE, and TRACT(s) 16-A, 16-B, 16-C, 16-D, 16-E, 16-F, EL RANCHO GRANDE (to be known as EL RANCHO GRANDE, UNIT 17) zoned R-D, located on GIBSON BLVD SW, between MESSINA DR SW and DELGADO DR SW containing approximately 3 acre(s). (N-8) WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/13/5 AND APPROVAL OF THE GRADING & DRAINAGE PLAN ENGINEER STAMP DATED 6/15/5, THE PRELIMINARY PLAT IS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT: 1) BOVINA BE CHANGED TO BOWIE SO THAT IT CONFORMS WITH THE STREET THAT'S SHOWN ON EL RANCHO GRANDE, UNIT 16; 2) UNIT 16 PLAT SHOULD BE RECORDED PRIOR TO UNIT 17. A TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. SIDEWALK VARIANCE AS SHOWN ON EXHIBIT C FOR WAIVER OF SIDEWALKS WAS APPROVED. THE SUBDIVISION DESIGN VARIANCE FOR MINIMUM DPM DESIGN STANDARDS AS SHOWN ON EXHIBIT C IN THE PLANNING FILE WAS APPROVED. THE SITE PLAN FOR SUBDIVISION WAS APPROVED WITH DELEGATION TO PLANNING FOR WRITTEN COMMENTS IN THE FILE.

9. **Project # 1000965**
05DRB-01025 Major-Vacation of Public
Easements

BOHANNAN HUSTON INC agent(s) for ANDALUCIA DEVELOPMENT CO., INC. request(s) the above action(s) for all or a portion of Tract(s) I, LANDS OF RAY GRAHAM III (to be known as **ANDALUCIA AT LA LUZ**), zoned SU-1, located on COORS BLVD NW, between NAMASTE RD NW and LA BIENVENIDA PL NW containing approximately 85 acre(s). [REF: 05DRB-00124] (F-11) **THE VACATION AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WAS APPROVED.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

10. **Project # 1001946**
05DRB-01047 Minor-SiteDev Plan
BldPermit

DEKKER PERICH SABATINI agent(s) for OFFICE DEPOT request(s) the above action(s) for all or a portion of Tract(s) A-1-D, **LOS ANGELES CENTER**, zoned M-1, located on PASEO DEL NORTE NE, between SAN PEDRO NE and INTERSTATE 25 containing approximately 3 acre(s). [REF: DRB-97-224, DRB-97-372; Z-1534] *[Deferred from 6/29/05]* (D-18) **DEFERRED AT THE AGENT'S REQUEST TO JULY 20, 2005.**

11. **PROJECT #1003699**
(DRB-97-165 - V-97-507)
05DRB-00118-SiteDev Plan for Subd

TIERRA WEST DEVELOPMENT MANAGEMENT SERVICES, agents for TIM EICHENBERG, request Vacation (voiding) of Public Power Line Easement, Site Development Plan Final Sign Off (for EPC) plus Sketch Plat Review and Comment for Tracts B and C, Blocks 2 and 7, WELLS SANDIA MANOR, zoned SU-1/PRD (City) and located on Trimble Blvd NE and Camino de la Sierra NE between I-40 and Arcadia Rd NE containing approximately 4.90 acres. [FIRST TIME ON THE AGENDA 5/6/97] [Z-96-25] DEFERRED FROM 5/24/00, DEFERRED AT THE AGENT'S REQUEST FROM 7/26/00 TO 9/13/00 TO WORK WITH STATE HIGHWAY DEPARTMENT WHICH HAS BEEN AN ONGOING PROCESS SINCE 5/6/97] [DEFERRED AT THE AGENT'S REQUEST FROM 9/13/00 TO 9/20/00 TO WORK WITH THE STATE HIGHWAY DEPARTMENT, DEFERRED AT THE APPLICANT'S REQUEST FOR ONE-YEAR FROM

11/8/00 TO 11/7/01] [DEFERRED AT THE AGENT'S REQUEST FOR ONE-YEAR FROM 11/7/01 TO 11/6/02] [DEFERRED AT THE AGENT'S REQUEST FOR ONE-YEAR FROM 11/6/02 TO 11/5/03] [*Deferred from 01/05/05*] **A NEW PROJECT NUMBER WAS ISSUED FOR THIS CASE – PROJECT #1003699] (L-23) THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH DELEGATION TO PLANNING FOR LANDSCAPE DESIGN STANDARDS AND GARAGE DOOR COLORS TO MATCH HOUSE.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

12. **Project # 1000985**
05DRB-00883 Minor-SiteDev Plan Subd

SMPC ARCHITECTS agent(s) for ASPEN INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 1A, Block(s) 12, NORTH ALBUQUERQUE ACRES TRACT A UNIT A, (to be known as **PALOMAS PLAZA**) zoned SU-2/C-1, located on SAN PEDRO NE, between PALOMAS NE and SAN BERNADINO NE containing approximately 3 acre(s). [*Deferred from 6/1/05*] [REF: DRB96-412] (D-18) **THE SITE DEVELOPMENT PLAN WAS APPROVED WITH DELEGATION TO CITY ENGINEER FOR SIA, AND TO UTILITIES FOR FIRE MARSHALL APPROVAL, FLOW CALCULATION FOR FIRE, AND REVISE UTILITY PLAN.**

13. **Project # 1001182**
05DRB-01069 Major-Final Plat Approval

RIO GRANDE ENGINEERING agent(s) for VISION DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) B, **WESTRIDGE MOBILE HOME PARK**, zoned R-D/R-LT, located on BLUEWATER NW, between 98th ST NW and 90th ST NW containing approximately 8 acre(s). (K-9) **THE FINAL PLAT WAS APPROVED WITH DELEGATION TO PARKS FOR OPEN SPACE TABLE AND CASH IN LIEU, AND TO CITY ENGINEER FOR AGIS DXF AND FOR LABELING OF ALL EASEMENTS OF RECORD.**

14. **Project # 1002134**
05DRB-01068 Minor-Final Plat Approval

MARK GOODWIN & ASSOC agent(s) for VISTA DEL NORTE DEV request(s) the above action(s) for TRACT(s) U1, U2, U3, U4, U6, VISTA DEL NORTE, (to be known as **LAS LOMITAS BUSINESS PARK**), zoned SU-1 FOR IP, located on LAS LOMITAS DR NE, between EDITH BLVD NE and JEFFERSON ST NE containing approximately 34 acre(s). (D-16) **THE FINAL PLAT WAS APPROVED WITH DELEGATION TO PLANNING TO RECORD THE PLAT.**

15. **Project # 1003571**
05DRB-01062 Minor-Sidewalk Waiver

MARK GOODWIN & ASSOCIATES agent(s) for CURB INC. request(s) the above action(s) for TRACT(s) 9-B-1, 9-B-2, AND 12-A-2, **EL RANCHO GRANDE UNIT 9B**, zoned R-LT, located South OF BLAKE RD SW, West of AMOLE CHANNEL and containing approximately 36 acre(s). [REF: 05DRB-01002, 04DRB-01518, 04DRB-01519] (N-9) **A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

16. **Project # 1003624**
05DRB-01001 Minor-Prelim&Final Plat Approval

MICHAEL RENFRO request(s) the above action(s) for all or a portion of Tract(s) 22A, 22B, 38A, 38B, MRGCD MAP 34, (to be known as **SAN ISIDRO GARDENS**), zoned RA-2 residential and agricultural zone, located on SAN ISIDRO ST NW, between CANDELARIA RD NW and GRIEGOS RD NW containing approximately 2 acre(s). [Deferred from 6/22/5] [REF: 04ZHE-01281] (G-13) **WITH THE APPROVAL OF THE INFRASTRUCTURE LIST DATED 7/13/5, THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

17. **Project # 1003975**
05DRB-00698 Minor-Prelim&Final Plat
Approval

WAYJOHN SURVEYING INC agent(s) for COE PROPERTIES INC request(s) the above action(s) for all or a portion of Lot(s) 6, 7, 12, 13, Block(s) 15, MESA GRANDE ADDITION (to be known as **ZUNI TOWNHOMES**), zoned 0-R, located on WASHINGTON ST SE, between CENTRAL AVE SE and ZUNI RD SE containing approximately 1 acre(s). *[Deferred from 5/18/5]* [REF: ZA-78-377, Z-72, 05DRB-00301] (K-17) **THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS APPROVED WITH DELEGATION TO PLANNING TO RECORD THE PLAT.**

18. **Project # 1004011**
05DRB-01071 Minor-Prelim&Final Plat
Approval

BERGER BRIGGS REAL ESTATE agent(s) for AL'S GAL'S LLC request(s) the above action(s) for all or a portion of Lot(s) 65-A, **PERFECTO ARMIJO & BROTHERS ADDITION**, zoned SU-2/HDA (DNA SECTOR PLAN), located on MARQUETTE AVE NW, between 7th ST NW and 8th ST NW containing approximately 1 acre(s). [REF: 05ZHE-00405] (J-14) **THE FINAL PLAT WAS APPROVED WITH DELEGATION TO PLANNING FOR AGIS DXF FILE AND TO RECORD THE PLAT.**

19. **Project # 1004110**
05DRB-01093 Minor-Prelim&Final Plat
Approval

ADVANCED ENGINEERING AND CONSULTING, LLC agent(s) for ALEXANDER M. & DANETTE S. GARCIA request(s) the above action(s) for all or a portion of Tract(s) 108-D & 108-C-1-A, **MRGCD MAP NO. 31**, zoned RA-2, located on RIO GRANDE BLVD NW, between ELFEGO RD NW and MANUEL TORRES NW containing approximately 1 acre(s). [REF: 05DRB-00601] (F-13) **THE FINAL PLAT WAS APPROVED WITH DELEGATION TO PLANNING FOR AGIS DXF FILE.**

20. **Project # 1004251**
05DRB-00959 Minor-Prelim&Final Plat
Approval

PRATAP & KANAK YADAV request(s) the above action(s) for all or a portion of Lot(s) 2-6, Block(s) 2, **ZIMMERMAN ADDITION**, zoned C-2, located on CENTRAL AVE SW, between 46th ST SW and 47th ST SW containing approximately 1 acre(s). (K-12) **THE FINAL PLAT WAS APPROVED WITH DELEGATION TO PLANNING FOR AGIS DXF FILE.**

21. **Project # 1004232**
05DRB-01090 Minor-Prelim&Final Plat
Approval

A. MIGUEL TRUJILLO agent(s) for WILLIAM K. WILSON request(s) the above action(s) for all or a portion of Block(s) 13, Tract(s) A, **CLAYTON HEIGHTS**, zoned C-2 community commercial zone, located on GIBSON BLVD. SE, between BUENA VISTA DR. SE and WILMOORE DR. SE containing approximately 2 acre(s). (L-15) **THE FINAL PLAT WAS APPROVED WITH DELEGATION TO PLANNING FOR AGIS DXF FILE.**

22. **Project # 1004289**
05DRB-01073 Minor-Prelim&Final Plat
Approval

WILLIE P. GONZALES request(s) the above action(s) for all or a portion of Lot(s) 4 & 5, Block(s) 5, **JOHN BARON BURG PARK ADDITION**, zoned SR, located on 19th ST NW, between ZEARING AVE NW and ASPEN AVE NW containing approximately 1 acre(s). (H-13) **INDEFINITELY DEFERRED AT THE APPLICANT'S REQUEST.**

23. **Project # 1004290**
05DRB-01075 Minor-Vacation of Private
Easements

MYERS, OLIVER & PRICE agent(s) for FEDEX FREIGHT WEST, INC. request(s) the above action(s) for all or a portion of Lot(s) 263-C, **TOWN OF ATRISCO GRANT UNIT 8**, zoned SU-1 special use zone, located on COORS BLVD NW AND HANOVER RD NW containing approximately 6 acre(s). [REF: DRB-94-264] (H-11) **THE VACATION OF PRIVATE EASEMENT WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

24. **Project # 1004308**
05DRB-01086 Minor-Prelim&Final Plat
Approval

FRANK L. & EVELYN S. BARELA request(s) the above action(s) for all or a portion of Lot(s) 3, **ATRISCO FOUR- PLEX ADDITION**, zoned R-2, located on ATRISCO DR NW, between ILIFF RD NW and 53rd ST NW containing approximately 1 acre(s). (H-11) **THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS APPROVED WITH DELEGATION TO PLANNING FOR AGIS DXF FILE AND TO RECORD THE PLAT.**

25. **Project # 1004267**
05DRB-01092 Minor-Prelim&Final Plat
Approval

GARY MIRABAL request(s) the above action(s) for all or a portion of Lot(s) 1, **LANDS OF MANUEL & CATHY GONZALES**, zoned RA-2, located West of MONTOYA RD NW and North of MOUNTAIN RD NW containing approximately 2 acre(s). [REF: DRB-97-247; DRB-97-290] (J-12) **WITH THE SIGNING OF THE SIA DATED 7/13/5 AND APPROVAL OF THE GRADING/DRAINAGE PLAN ENGINEER STAMP DATED 7/15/2 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS INDEFINITELY DEFERRED.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

26. **Project # 1004039**
05DRB-01074 Minor-Sketch Plat or Plan

ISAACSON & ARFMAN, P.A. agent(s) for RUTLEDGE INVESTMENT CO request(s) the above action(s) for all or a portion of Tract(s) 8A, HIGH DESERT (to be known as **THE LEGENDS AT HIGH DESERT**), zoned SU2/C1, located on ACADEMY BLVD NE, between CORTADERIA ST NE and HIGH DESERT PARK NE containing approximately 8 acre(s). [REF: 05ZHE-00449, 05ZHE-00480] (E-23) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

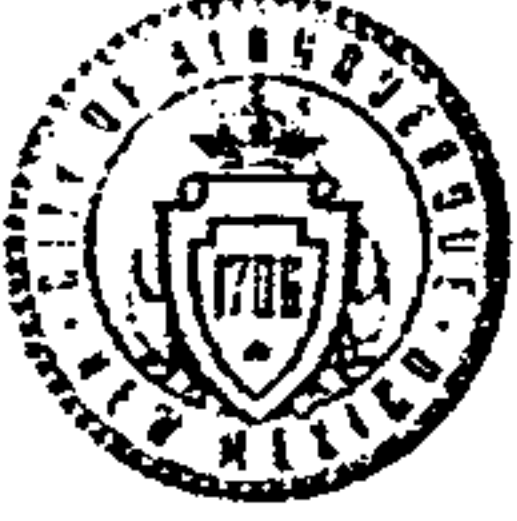
27. **Project # 1004161**
05DRB-01091 Minor-Sketch Plat or Plan

JEFF MORTENSEN & ASSOCIATES, INC. agent(s) for WILLIAM & BENITA BRENNON request(s) the above action(s) for all or a portion of Lot(s) 4 and 5, **RIVERSIDE PLAZA**, zoned SU-1 PRD 8DU/ACRE, located on WINTERHAVEN RD NW, between LA ORILLA RD NW and MONTANO PLAZA DR NW containing approximately 4 acre(s). [REF: 05EPC-00740] (E-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

28. Approval of the Development Review Board Minutes for June 29, 2005. **MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**

Other Matters:

ADJOURNED: 12:50 P.M.



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

June 29, 2005

9:00 a.m.

MEMBERS:

Sheran Matson, AICP, DRB Chair
Claire Senova, Administrative Assistant

Wilfred Gallegos, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9:00 A.M. Adjourned: 12:30 P.M.
- B. Changes and/or Additions to the Agenda
- C. New or Old Business

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1004238**
05DRB-00914 Major-Street Name Change
CITY OF ALBUQUERQUE, TRAFFIC OPERATIONS request(s) the above action(s) a Street Name change from **COMPASS NW TO UNIVERSE NW**, zoned R-1 residential zone, located on COMPASS NW, between AVENIDA DE JAINITO NW and PASEO DEL NORTE NW. (C-10/D-10) **THE DRB RECOMMENDATION TO THE EPC IS TO APPROVE THE STREET NAME CHANGE FROM COMPASS NW TO UNIVERSE NW.**

2. **Project # 1002249**
05DRB-00953 Major-One Year SIA

TIERRA WEST LLC agent(s) for WALMART STORES INC request(s) the above action(s) for all or a portion of Tract(s) E-1-A, F-1-A and F-1-B, **AMERICAN SQUARE**, zoned C-2 SC, located on CARLISLE BLVD NE, between CLAREMONT AVE NE and PHOENIX AVE NE containing approximately 13 acre(s). [REF: 02EPC01475, 02EPC01476, 03DRB00770, 04AA01253] (H-16) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED.**

3. **Project # 1000635**
05DRB-00904 Major-One Year SIA

TIERRA WEST LLC agent(s) for DE BARTOLO DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) 38-1A1, 38-2A1, 38-2A2 and 38-3A1, **TAYLOR RANCH**, zoned SU-1 FOR C-1, located on MONTANO RD NW, between MONTANO PLAZA DR NW and COORS BYPASS BLVD NW containing approximately 4 acre(s). [REF: 00DRB00878, 02DRB01040, 04DRB01698, 04DRB01764] (E-12) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED.**

4. **Project # 1001778**
05DRB-00950 Major-Preliminary Plat Approval
05DRB-00951 Minor-Subd Design (DPM) Variance
05DRB-00952 Minor-Sidewalk Waiver
05DRB-00961 Minor-Temp Defer SDWK

THOMPSON ENGINEERING & CONSULTANTS agent(s) for DRAGONFLY DEVELOPMENT INC request(s) the above action(s) for all or a portion of Tract(s) A-2-B, BRENTWOOD HILLS, (to be known as **TRAMWAY CROSSING**) zoned R-T residential zone, located on WOODLAND AVE NE, between TRAMWAY BLVD NE and MARIE PARK DR NE containing approximately 2 acre(s). [REF: 05DRB00392] (H-22) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/29/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 4/1/05 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: ADJUST LOTS 10 & 11 TO ALLOW FOR A PERIMETER WALL. A SUBDIVISION DESIGN VARIANCE FROM MINIMUM DPM DESIGN STANDARDS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF**

CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.

5. **Project # 1002123**
05DRB-00981 Major- Preliminary Plat Approval
6. **Project # 1003257**
05DRB-00929 Major-Preliminary Plat Approval
05DRB-00933 Major-Vacation of Pub Right-of-Way
05DRB-00934 Major-Vacation of Public Easements
05DRB-00935 Minor-Sidewalk Waiver
05DRB-00936 Minor-Temp Defer SDWK

GARCIA/KRAEMER & ASSOCIATES, AGENTS FOR DEL'S HIDE-A-WAY PARK, PHILIP D. SHEETS, request(s) the above action(s) for all or a portion of Tract(s) B, **DEL'S HIDE-A-WAY**, zoned SU-1 FOR RT, located on SAN CLEMENTE NW between 4TH ST NW and 2ND ST NW containing approximately 3 acres. [REF:04DRB00532,00533,04DRB00535,03EPC01087,1088] *[Deferred from 6/29/05]* (G-14) **DEFERRED AT THE BOARD'S REQUEST TO 7/13/05.**

MARK GOODWIN & ASSOCIATES agent(s) for VISTA ARROYO, LLC request(s) the above action(s) for all or a portion of Tract(s) A, LANDS OF PARADISE HEIGHTS LLC, Lot(s) 48 thru 55, Block(s) 4, Lot(s) 1 thru 7 and Lot(s) 10 thru 14, Block(s) 6, Lot(s) 1 thru 8, Lot(s) 22 thru 45 and an undesignated tract, Block(s) 9, Lot(s) 1 thru 16, Block(s) 12, Lot(s) 1 thru 10 and 12 thru 14, Block(s) 14, Lot(s) 7 thru 12, Block(s) 15, Lot(s) 1 thru 61 and 62, Block(s) 16, all of Block(s) 7, 8, 10, 11, 13 and 17, PARADISE HEIGHTS, UNIT 4, Lots 9 thru 14, Block 9, PARADISE HEIGHTS, UNIT 4, Block(s) 1, 2, 3 and 4 and Lot(s) 1 thru 16, Block(s) 5, PARADISE HEIGHTS, UNIT 5, (to be known as **ARROYO VISTA SUBDIVISION**) zoned R-1, SU-1 FOR C-1, located on BLACK ARROYO RD NW, between MCMAHON BLVD NW and CALABACILLAS ARROYO containing approximately 172 acre(s). [REF:04DRB00204] *[Deferred from 6/29/05]* (A-10) **DEFERRED AT THE AGENT'S REQUEST TO 7/20/05.**

7. **Project # 1002590**
05DRB-00956 Major-Preliminary Plat
Approval
05DRB-00957 Minor-Subd Design (DPM)
Variance
05DRB-00958 Minor-Sidewalk Waiver
05DRB-00960 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES agent(s) for MEL FAMIE LLC request(s) the above action(s) for all or a portion of Tract(s) B-2, LANDS OF BRACKSON COURSON, (to be known as **CHAPARRAL COURT**) zoned R-D residential and related uses zone, developing area, located on 64TH STREET NW, between MILNE RD NW and Tierra Prieta NW containing approximately 4 acre(s). [REF: 05DRB00206, 05DRB00540] [Deferred from 6/29/05] (F-10) **DEFERRED AT THE AGENT'S REQUEST TO 7/13/05.**

8. **Project # 1004223**
05DRB-00884 Major-Vacation of Public
Easements
05DRB-00885 Minor-Prelim&Final Plat
Approval

SURVEYS SOUTHWEST agent(s) for LUTHER MARTINEZ request(s) the above action(s) for all or a portion of Tract(s) 6-B, SUNDT'S INDUSTRIAL CENTER (to be known as **RENAISSANCE CENTER III, PARCEL D-1**), zoned M-2 & SU-1 1P, located on MONTANO RD NE, between ALEXANDER BLVD NE and DESERT SURF CIRCLE NE containing approximately 9 acre(s). [REF: V-96-84, DRB-96-377] [Deferred from 6/22/05] (F-16) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/29/05 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

9. **Project # 1004233**
05DRB-00899 Major-Preliminary Plat
Approval
05DRB-00900 Major-Vacation of Public
Easements
05DRB-00901 Minor-Sidewalk Waiver
05DRB-00902 Minor-Temp Defer SDWK

BOHANNAN HUSTON INC agent(s) for WESTLAND DEVELOPMENT CO request(s) the above action(s) for all or a portion of Tract(s) I-2, WESTLAND NORTH (to be known as **STORM CLOUD SUBDIVISION**) zoned SU-2, RLT, located on TIERRA PINTADA ST SW, between ARROYO VISTA BLVD SW and LADERA DR SW containing approximately 107 acre(s). [Deferred from 6/22/05] (H-9, J-8, J-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/29/05 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 5/27/05 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT: 1) ADJACENT LOTS AT THE TWO ENTRANCES NEED TO MEET THE MAJOR LOCAL**

STREET STANDARDS. 2) AN OVERALL EVALUATION OF THE IMPACTS OF DEVELOPING PHASES ONE AND TWO OF WESTLAND NORTH, IDENTIFICATION OF ALL THE ROADWAY ELEMENTS THAT WILL NEED TO BE IN PLACE TO SERVE THOSE COMPLETED PHASES, AND SPECIFIC ALLOCATION OF PROPORTIONAL RESPONSIBILITIES FOR EACH OF THOSE ROADWAY IMPROVEMENTS TO EACH OF THE FUTURE SUB-COMPONENTS OF THOSE PHASES; AND A SPECIFIC TIMETABLE FOR PROPOSING AND IMPLEMENTING EACH OF THE NON-RESIDENTIAL DEVELOPMENTS DESCRIBED IN THE MASTER PLAN FOR PHASES ONE AND TWO THAT, AS YET, HAVE NOT BEEN PROPOSED FOR ACTUAL DEVELOPMENT. ACCORDING TO THE TRAFFIC STUDY, STORM CLOUD WILL NOT BE FINISHED UNTIL 2007. THE ABOVE EVALUATIONS WILL NEED TO BE COMPLETED PRIOR TO FINAL PLAT. 3) THE AMAFCA BOARD SHALL VACATE AND/OR QUIT CLAIM THE FLOOD PLAIN EASEMENT BACK TO THE OWNER. THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

10. Project # 1003763
05DRB-01050 Minor-SiteDev Plan
BldPermit/EPC

CLAUDIO VIGIL ARCHITECTS agent(s) for AMERI-CONTRACTORS LLC request(s) the above action(s) for all or a portion of Tract(s) 17-A-3, **EAGLE RANCH SUBDIVISION**, zoned SU-1 FOR C-2 AND R-2 USES, located on EAGLE RANCH RD NW, between COORS BLVD NW and PASEO DEL NORTE NW containing approximately 2 acre(s). [REF: Z-98-48, Z-99-48, DRB-99-134, 04EPC01715] (David Stallworth, EPC Case Planner) (C-13) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF**

DELEGATED TO PLANNING FOR THE EPC CASE
PLANNER'S INITIALS.

11. **Project # 1004279**
05DRB-01051 Minor-SiteDev Plan
BldPermit

CLAUDIO VIGIL ARCHITECTS agent(s) for C. K. M. DEVELOPMENT CO INC request(s) the above action(s) for all or a portion of Tract(s) 2, **JOURNAL CENTER, PHASE 2**, zoned IP, located on MASTHEAD ST NE, between BARTLETT ST NE and WASHINGTON ST NE containing approximately 5 acre(s). [REF: DRB-95-268, AX-79-1, Z-79-80] (D-17) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT FOR REVISED UTILITY PLAN TO MATCH "AS-BUILT" CONDITIONS AND TO PLANNING FOR 3 COPIES OF THE SITE PLAN.**

12. **Project # 1001946**
05DRB-01047 Minor-SiteDev Plan
BldPermit

DEKKER/PERICH/SABATINI agent(s) for OFFICE DEPOT request(s) the above action(s) for all or a portion of Tract(s) A-1-D, **LOS ANGELES CENTER**, zoned M-1 light manufacturing zone, located on PASEO DEL NORTE NE, between SAN PEDRO NE and INTERSTATE 25 containing approximately 3 acre(s). [REF: DRB-97-224, DRB-97-372, Z-1534] [*Deferred from 6/29/05*] (D-18) **DEFERRED AT THE AGENT'S REQUEST TO 7/13/05.**

13. **Project # 1004266**
05DRB-01017 Minor-SiteDev Plan
BldPermit

ADVANCED ENGINEERING & CONSULTING agent(s) for MAVERICK DEVELOPMENT INC., RON SPRADLIN request(s) the above action(s) for all or a portion of Lot(s) 29, **ALAMEDA BUSINESS PARK**, zoned SU-2 IP, located on ALAMEDA DR NE, between ALAMEDA PARK DR NE and the AMAFCA NORTH DIVERSION CHANNEL, containing approximately 2 acre(s). [REF: DRB-98-223] [*Deferred from 6/22/05*] (C-16) **THE SITE PLAN FOR**

BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR 3 COPIES OF THE SITE PLAN.

- 14. Project # 1003057**
05DRB-00980 Minor-SiteDev Plan
BldPermit

KEN HOVEY, agent(s) for I-40 GATEWAY WEST LLC request(s) the above action(s) for all or a portion of Block(s) 1, Tract(s) A-2-C-1, **CLIFFORD WEST BUSINESS PARK, UNIT 3**, zoned IP industrial park zone, located on UNSER BLVD NW, between LOS VOLCANES NW and SAUL BELL RD NW containing approximately 7 acre(s). [REF: Z-97-11, AA-98-54] [Given Project #1004257 in error.] [*Deferred from 6/22/05*] (K-9) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR STANDARD CITY OF ALBUQUERQUE DWG NUMBERS AND LABELING AND TO PLANNING FOR AA FOR CLIFFORD BUSINESS PARK MASTER PLAN, COMMENTS IN FILE AND 3 COPIES OF THE SITE PLAN.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

- 15. Project # 1003788**
05DRB-01044 Minor-Prelim&Final Plat
Approval

CARLOS TRUJILLO request(s) the above action(s) for all or a portion of Lot(s) 8 & 9, **TOHATCHI TRAIL ADDITION**, zoned R-1, located on MOUNTAIN RD NW and TOHATCHI TRAIL NW containing approximately 1 acre(s). [REF: 04DRB-1787] (J-12) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE.**

- 16. Project # 1003265**
05DRB-01048 Minor-Prelim&Final Plat
Approval

WILKS CO agent(s) for RENE LOYA DURAN request(s) the above action(s) for all or a portion of Lot(s) 2, 3, & 4, Block(s) 3, **SANTA FE ADDITION**, zoned SU-2 for R-1 residential zone, located on BARELAS SW, between

PACIFIC SW and CROMWELL SW containing approximately 1 acre(s). [REF: 04DRB-00237] (K-14) **PRELIMINARY AND FINAL PLAT APPROVED AND SIGNED OFF BY THE BOARD.**

- 17. Project # 1004280**
05DRB-01056 Minor-Prelim&Final Plat
Approval

LORRAINE BACA request(s) the above action(s) for all or a portion of Lot(s) 029, **MENAU PLACE**, zoned R-1 residential zone, located on CORDOVA AVE NW, between 12TH ST NW and RIO GRANDE NW containing approximately 1 acre(s). (H-13) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT FOR SITE SKETCH AND PHOTO OF CORDOVA AVENUE AND PLANNING FOR ZHE APPROVAL OF SPECIAL EXCEPTION TO 50-FOOT LOT WIDTH OF LOT 29A AND AGIS DXF FILE.**

- 18. Project # 1003364**
05DRB-01054 Minor-Vacation of Private
Easements

TIERRA WEST LLC agent(s) for CIRCLE K STORES request(s) the above action(s) for all or a portion of Tract(s) 1-A-1 & 1-A-3, **NORTH ALBUQUERQUE ACRES, TRACT 2, UNIT 3**, zoned SU-2 special neighborhood zone, located on LOUISIANA BLVD NE, between PASEO DEL NORTE NE and HOLLY AVE NE containing approximately 3 acre(s). [REF: 04DRB-01409] (C-19) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

- 19. Project # 1003554**
05DRB-01052 Minor-Prelim&Final Plat
Approval

TIERRA WEST LLC agent(s) for AMC DEVELOPMENT INC request(s) the above action(s) for all or a portion of Lot(s) 1-10, Block(s) 7; Lot(s) 1-10 & 4, Block(s) 8, **SKYLINE HEIGHTS (to be known as CENTRAL PARK PLACE, PHASE 2)**, zoned C-2 community commercial zone, located on CENTRAL AVE SE, between CONCHAS

ST SE and EUBANK BLVD SE containing approximately 4 acre(s). [REF: ZA-88-406, 01DRB-01099, 04DRB-01100, 05DRB-00530] (L-20) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO RECORD.**

20. **Project # 1003172**
05DRB-01053 Minor-Final Plat Approval

TIERRA WEST LLC agent(s) for STILLBROOKE HOMES request(s) the above action(s) for all or a portion of Tract(s) 1D, **SEVILLE SUBDIVISION**, zoned R-LT residential zone, located on KAYENTA ST NW, between IRVING BLVD NW and CALABACILLAS ARROYO containing approximately 8 acre(s). [REF: 04DRB-00529, 04DRB-01955, 04DRB-01957] (A-10) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR AGIS DXF FILE AND PLAT RECORDING.**

21. **Project # 1003236**
05DRB-01055 Minor-Final Plat Approval

RIO GRANDE ENGINEERING agent(s) for CLEARBROOK INVESTMENTS INC request(s) the above action(s) for all or a portion of Tract(s) A, **VILLA DE LA CHAMISA UNIT 2**, zoned SU1 FOR PRD, located on CALLE CHAMISA NW, between VIVALDI TR NW and BIG SAGE NW containing approximately 6 acre(s). (B-10) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR PARK DEDICATION FEE AND PLANNING FOR AGIS DXF FILE AND PLAT RECORDING.**

22. **Project # 1004036**
05DRB-00922 Minor-Vacation of Private Easements

HALL SURVEYING CO agent(s) for MAX CONTRERAS request(s) the above action(s) for all or a portion of Tract(s) A & B, **MAX REPLAT**, zoned RA-2, located on RIO GRANDE BLVD NW, between ZICKERT RD NW and BEACH RD NW containing approximately 2 acre(s). (INDEF DEFERRED 6/15/05) (H-12) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE**

PLANNING FILE.

05DRB-00446 Minor-Prelim&Final Plat
Approval

HALL SURVEYING CO agent(s) for MAX CONTRERAS request(s) the above action(s) for all or a portion of Tract(s) A & B, **MAX REPLAT**, zoned RA-2, located on RIO GRANDE BLVD NW, between ZICKERT RD NW and BEACH RD NW containing approximately 2 acre(s). *[Was Indef Deferred on 3/30/05 for Vacation application]* (INDEFINITELY DEFERRED FROM JUNE 15, 2005) (H-12/H-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/29/05 THE PRELIMINARY PLAT WAS APPROVED. FINAL PLAT WAS INDEFINITELY DEFERRED FOR THE SIA.**

NO ACTION IS TAKEN ON THESE CASES:
APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING

THERE ARE NO SKETCH PLATS THIS WEEK

23. Approval of the Development Review Board Minutes for June 15, 2005. **THE DRB MINUTES FOR JUNE 15, 2005 WERE APPROVED BY THE BOARD.**

ADJOURNED: 12:30 P.M.

fax to ~~Owner~~ name
at 761-4222

• Better
Review

Refer 7/13

761-9700

**DEVELOPMENT REVIEW BOARD
TRANSPORTATION DEVELOPMENT
Standard Comment Sheet**

DRB- 1001946 Item No. 12 Zone Atlas D-18

DATE ON AGENDA 6-29-05

INFRASTRUCTURE REQUIRED () YES () NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

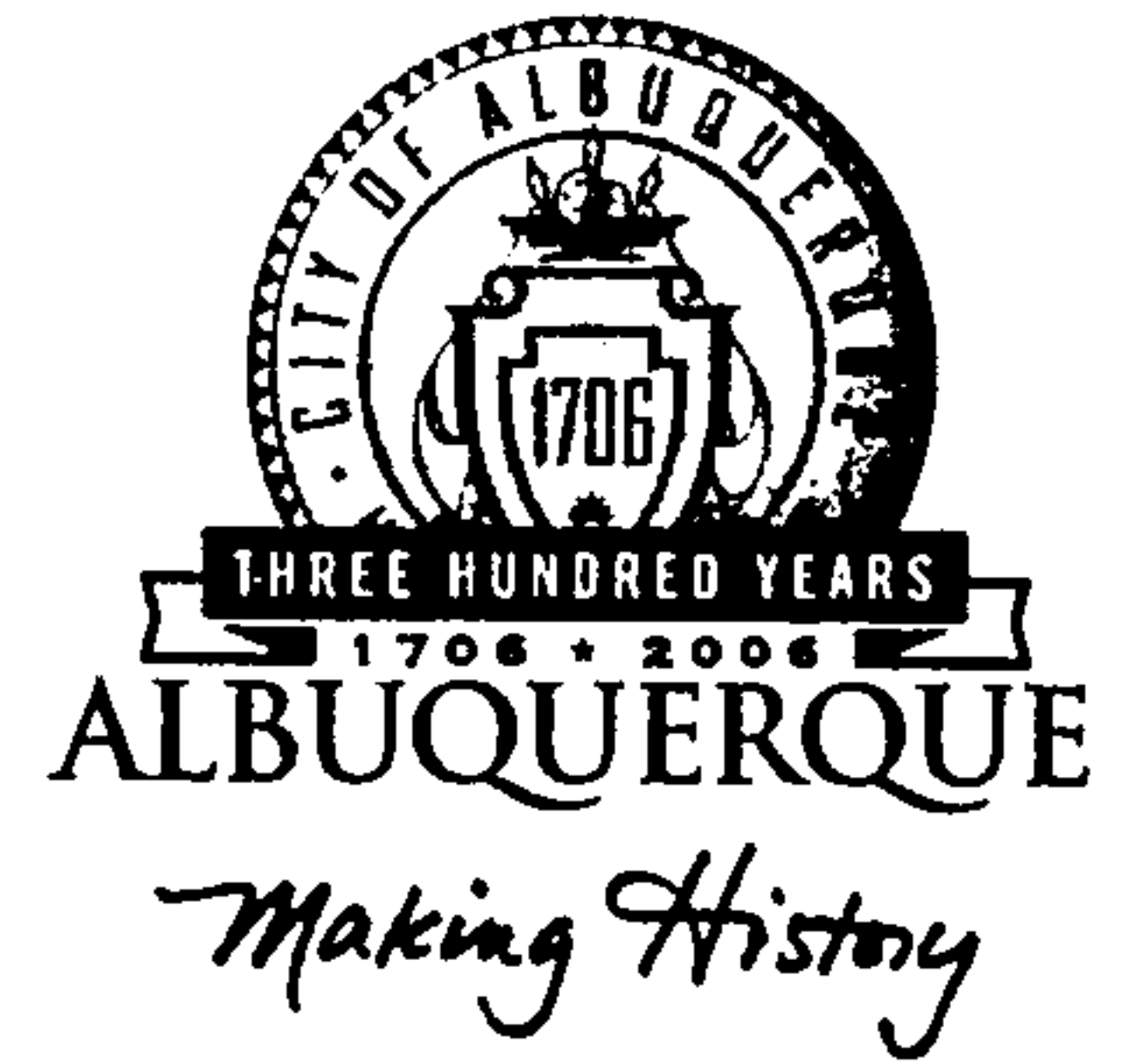
- () SKETCH PLAT () PRELIMINARY PLAT () FINAL PLAT
- () SITE PLAN REVIEW AND COMMENT () SITE PLAN FOR SUBDIVISION
- (X) SITE PLAN FOR BUILDING PERMIT

<u>No.</u>	<u>Comment</u>
------------	----------------

- 1) Where is the bike trail required along the Domingo Baca?
- 2) Label some typical stall widths.

If you have any questions or comments please call Wilfred Gallegos at 924-3991. Meeting notes:

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001946

AGENDA ITEM NO: 12

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: June 29, 2005



City of Albuquerque
Parks and Recreation Department
PO Box 1293, Albuquerque, New Mexico 87103
Inter-Office Correspondence

Development Review Board Comments

Project Number: 1001946
Application Number: 05DRB-01047

DRB Date: 6/29/2005
Item Number: 12

Subdivision:

Tracts A-1-D, Los Angeles Center

Zoning: M-1

Zone Page: D-18

New Lots (or units) : 0

Request for:

- Sketch Plat Review & Comment
- Bulk Land Variance
- Site Development Plan for Subdivision
- Site Development Plan for Building Permit
- Preliminary Plat
- Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other

Parks and Recreation Comments:

Is the Trail along the South Domingo Baca Arroyo built up to San Pedro?

Signed: 

Christina Sandoval, (DMD)

Phone: 768-3808

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
JUNE 29, 2005
DRB Comments**

Item # 12

Project # 1001946 Application # 05-01047

RE: Tract A-1-D, Los Angeles Center/spbp

This Tract is within 1000' of a former landfill. Marcia Pincus at AEHD must be contacted for sign off on this site plan before Planning signs.

The EPC approved Site Plan for Subdivision has not yet been submitted to DRB for final sign off. Therefore, this site plan for building permit will be deferred until the site plan for subdivision is signed off by DRB. The site plan for subdivision contains design criteria which the site plan for building permit must meet.

One of the EPC conditions was that a replat occur simultaneously with the SPS approval. The plat is not yet submitted.

Agent was contacted on June 24th. Agent for the site plan for subdivision was also contacted on June 23rd.



Sheran Matson, AICP
924-3880 Fax 924-3864
smatson@cabq.gov

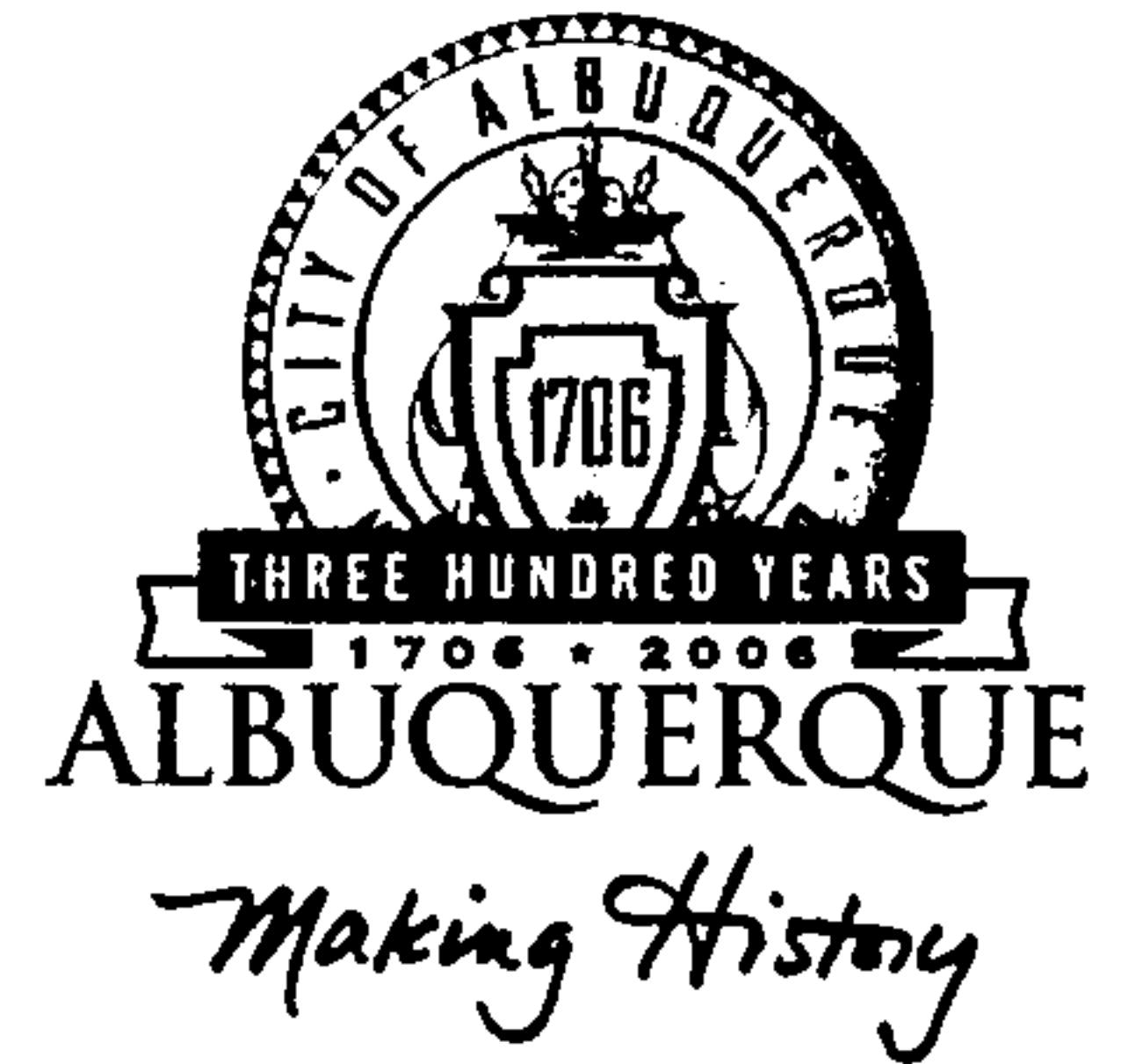
*** TX REPORT ***

TRANSMISSION OK

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CONNECTION ID		
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PGS.	4	
RESULT	OK	

U . . A

CITY OF ALBUQUERQUE



**PLANNING DEPARTMENT
DEVELOPMENT AND BUILDING SERVICES
HYDROLOGY DEVELOPMENT SECTION**

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001946

AGENDA ITEM NO: 12

SUBJECT:

Site Plan for BP

ACTION REQUESTED:

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

P.O. Box 1293

ENGINEERING COMMENTS:

No adverse comments.

Albuquerque

New Mexico 87103

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED X; COMMENTS PROVIDED ____; WITHDRAWN

www.cabq.gov

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

SIGNED: Bradley L. Bingham
City Engineer/AMAFCA Designee

DATE: June 29, 2005



F

City of Albuquerque
Parks and Recreation Department
PO Box 1293, Albuquerque, New Mexico 87103
Inter-Office Correspondence

Development Review Board Comments

Project Number: 1001946
Application Number: 05DRB-01047

DRB Date: 6/29/2005
Item Number: 12

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Tracts A-1-D, Los Angeles Center

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Zone Page: D-18

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Signed: 

Christina Sandoval, (DMD)

Phone: 768-3808

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
JUNE 29, 2005
DRB Comments**

Item # 12

Project # 1001946 Application # 05-01047

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Sheran Matson, AICP
924-3880 Fax 924-3864
smatson@cabq.gov



**DEVELOPMENT REVIEW BOARD
FAX FORM**

TO: Ann Marie Christian

FAX NUMBER: ~~#~~ 761-4222 PAGES 4

SENT BY: Sheran Matson, DRB Chair DATE: 8/29/05

PHONE NUMBER: 924-3880 FAX # 924-3864

PROJECT NO: 1001946 APPLICATION NO: 05DRB.01047

*Office Report Comments,
Planning only.*

*ADDED AFTER
FAX
→ DISPS from EPC not
approved by DRB
cannot be approved
either.*

**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT
August 31, 2005
DRB Comments**

Item # 9

Project # 1001946 Application # 05-01047

RE: Office Depot@Los Angeles Center/spbp

1. The required written project summary is missing from the submittal. Agent was called on 8/25/05.
2. The retaining wall shown on the site plan: height, length, color & materials are not provided as required on the SPBP Checklist. An elevation of the wall is also needed.
3. The height & fixture type for site lighting must be specified on the site plan. The reference to the Lowe's site plan is not acceptable.
4. Is the trash compactor located underground? If not, an elevation of the compactor and the enclosure are required.
5. Is there a bus stop at the site for the 10% parking space reduction? The stop should be shown on the site plan.
6. The easements are missing from the Landscape Plan. This is a requirement of the SPBP Checklist.
7. 23,945 square feet of landscaping provided is the total according to the numbers on the plan. The percentage is also required per the SPBP Checklist. 27,056 is the total on the Landscape Plan.

8. Austrian pine and potentilla are not on the approved SPS plant palette. Please substitute plants on the palette. In addition, the ash selected is a high water use tree. Please use fewer ash on the plan.

9. Exterior Elevations Sheet. Elevations General Note 2 does not apply & should be removed. Note 1 needs further explanation if it is to remain. Overall width dimension is missing. Until that is supplied, the building signs cannot be checked for conformance with the Zone Code.

10. The required monument sign elevation, dimensions, square footage, materials & colors as well as structural elements are missing.

11. Drawings showing how the continuous planters as shown on the elevations sheet and the planter/seating shown on the site plan sheet actually function are needed. Where is the shade called for in the SPS Design Standards?

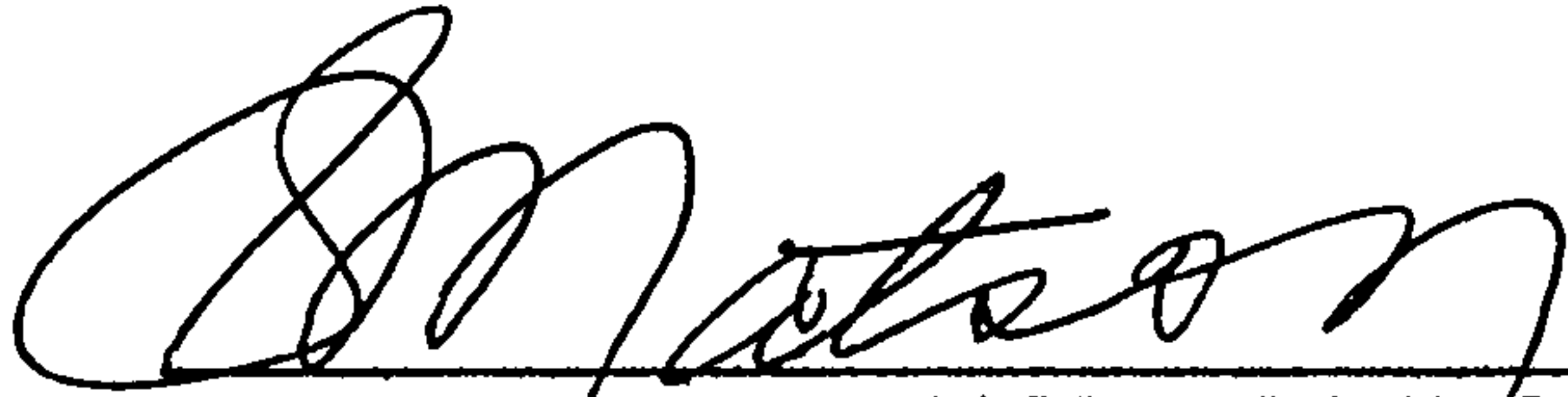
⑫ The Design Standards call for an additional 15% parking spaces above what is required per the Zone Code. Please illustrate how this is accomplished.

13. The SPS specifies rosemary must be 5 gallon size. Please correct.

14. Many of the Elevation Key Notes on the Elevation Sheet are incorrect. Please correct.

15. Demonstrate on the Elevations sheet that the building mounted signs do not exceed 6% of the total façade.

Given the number of comments, above, it is likely the site plan approval will either be deferred or, if the other DRB members are able to sign on the 31st of August, Planning could take delegation until these comments are addressed.



Sheran Matson, AICP DRB Chair
924-3880 Fax 924-3864 smatson@cabq.gov

#9

*** TX REPORT ***

TRANSMISSION OK

TX/RX NO 3996
CONNECTION TEL 9p76142222
SUBADDRESS
CONNECTION ID
ST. TIME 08/29 09:09
USAGE T 01'18
PGS. 4
RESULT OK



DEVELOPMENT REVIEW BOARD FAX FORM

TO: Ann Marie Christian

FAX NUMBER: ~~761-4222~~ PAGES 4

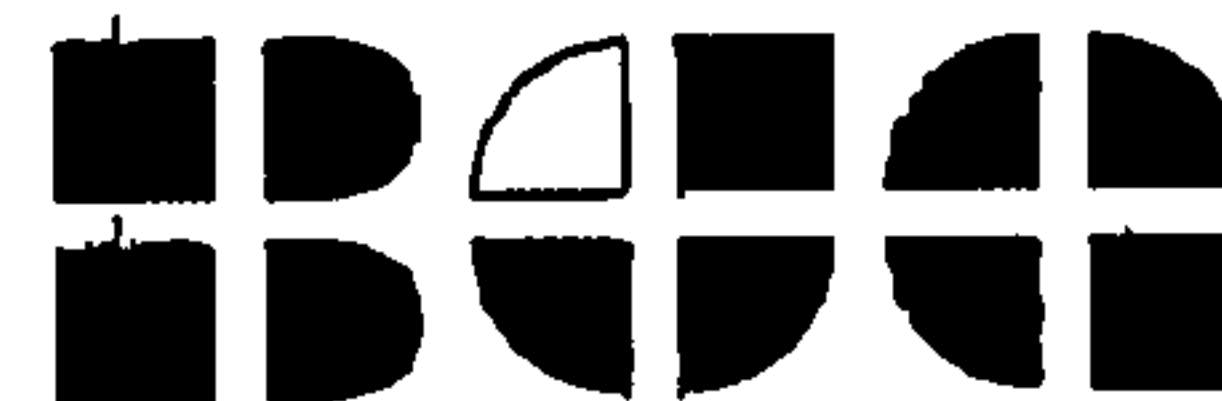
SENT BY: Sheran Matson, DRB Chair DATE: 8/29/05

PHONE NUMBER: 924-3880 FAX # 924-3864

PROJECT NO: 1001946 APPLICATION NO: 05DRB-01017

*Office Report Comments,
Planning only.*

BARRY JAY
GREENBERG
ARCHITECT



2710 SUTTON BLVD
ST. LOUIS, MO 63143
PH: 314 . 644 . 1234
FAX: 314 . 644 . 4373
WEB: www.adg-stl.com

August 29, 2005

Design Review Board Chairperson
City of Albuquerque Planning Department
600 2nd Street NW
Albuquerque, NM 87102
(505) 924-3900

Re: Request for Consideration of Proposed new Office Depot
Los Angeles Center Shopping Plaza
Albuquerque, NM

Dear DRB Chairperson,

On behalf of our client, Office Depot, I am submitting to you this letter pertaining to a proposed new Office Depot store at the Los Angeles Center shopping plaza on Paseo Del Norte. This letter is intended to be a brief summary describing the primary design features and compatibility of our design with the surrounding environment. Office Depot is national office supply retail chain, and the proposed store at the Los Angeles Center is 20,280 square feet in size. The building design as submitted, which is the Office Depot corporate prototype design, features a storefront entry elevation of very traditional architecture. The entry portion of this front elevation is constructed of a stucco-type exterior finish system similar to the adjacent Lowe's store, and is colored with a neutral beige and tan scheme that will complement the desert landscape well. This entry portion of the front elevations extends above the structural wall to form a high signage parapet. The two side walls and rear wall, all constructed of concrete block, are colored with the same beige and tan scheme as the front. As with the adjacent Lowe's store, the entry feature is symmetrically balanced and includes two areas of glazing flanking the entry doors for a more inviting appearance. At each side of the entry feature along the bottom of the front wall is a raised planter, painted to match the colors of the exterior walls. Illuminated red store signage adorns each of four elevations.

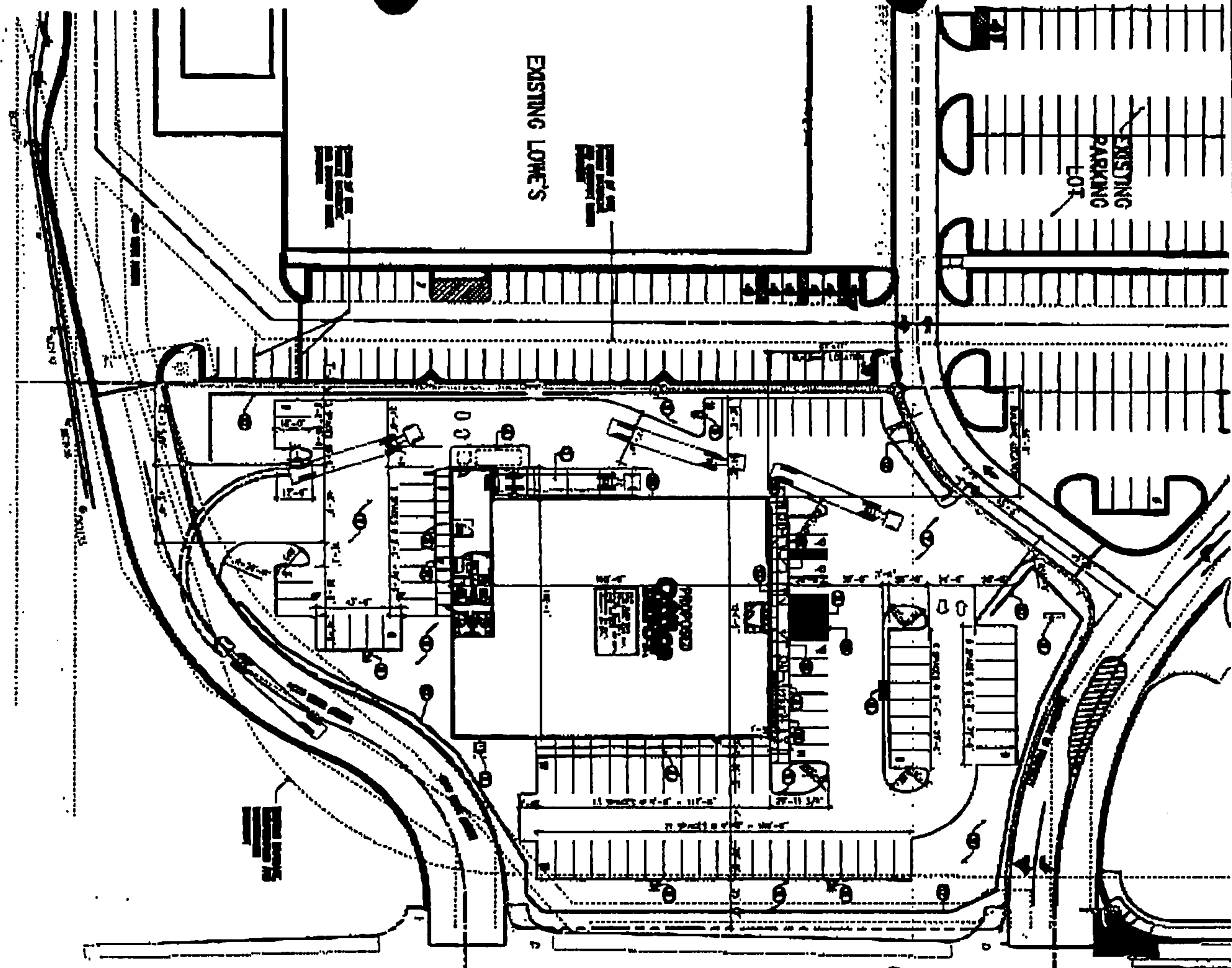
The loading dock and trash compactor, located along a wall to interior of the shopping center rather than toward any street, are screened from street view by a nine foot high wall. The lot is adequately landscaped per planning and zoning code requirements, and matches the level of landscaping of the entire shopping center. Exterior building elevations and the lot plan have been included for your reference. If there are any questions or comments, please feel free to call (800) 208-3136.

Thank you,

John Wimmer, ADG

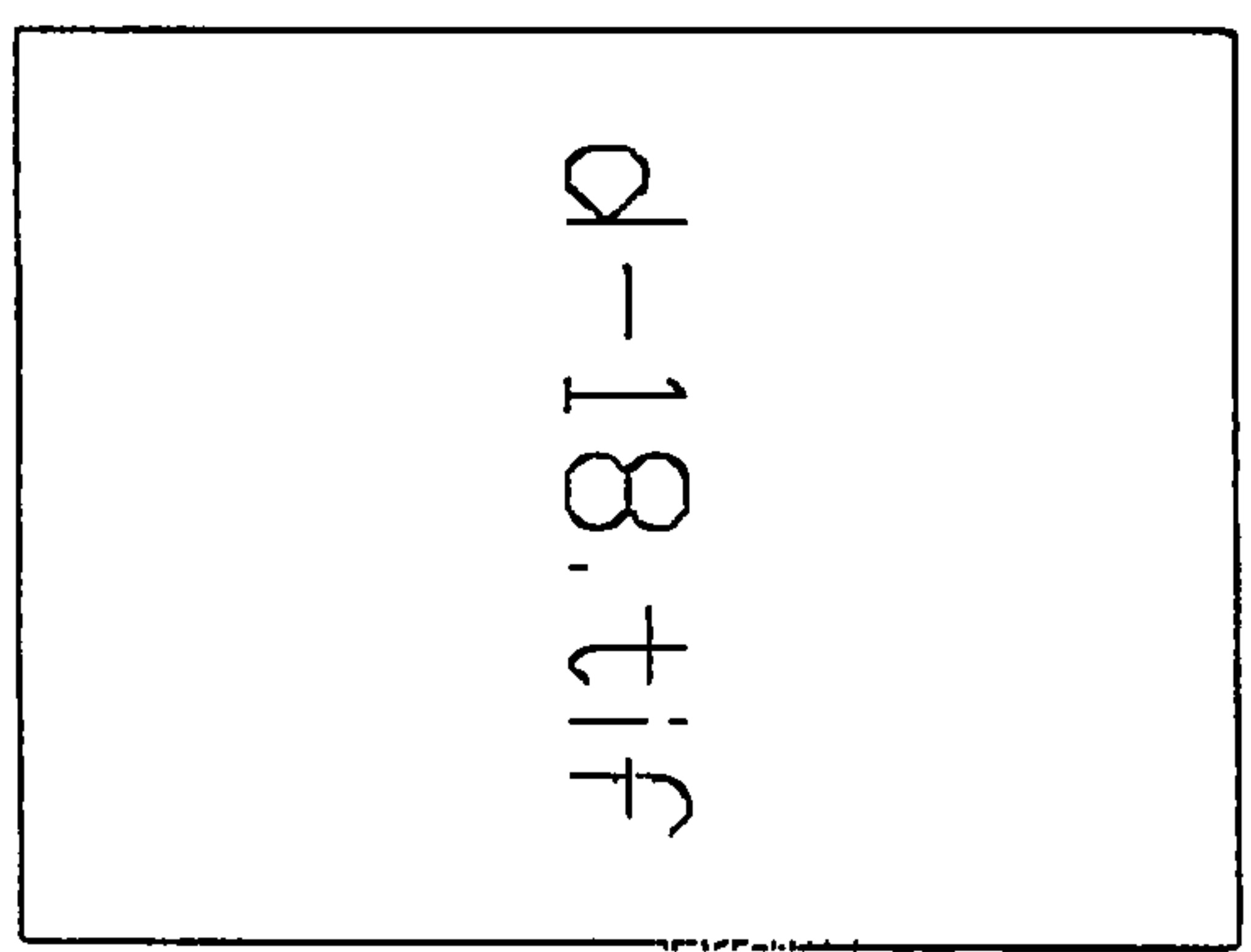
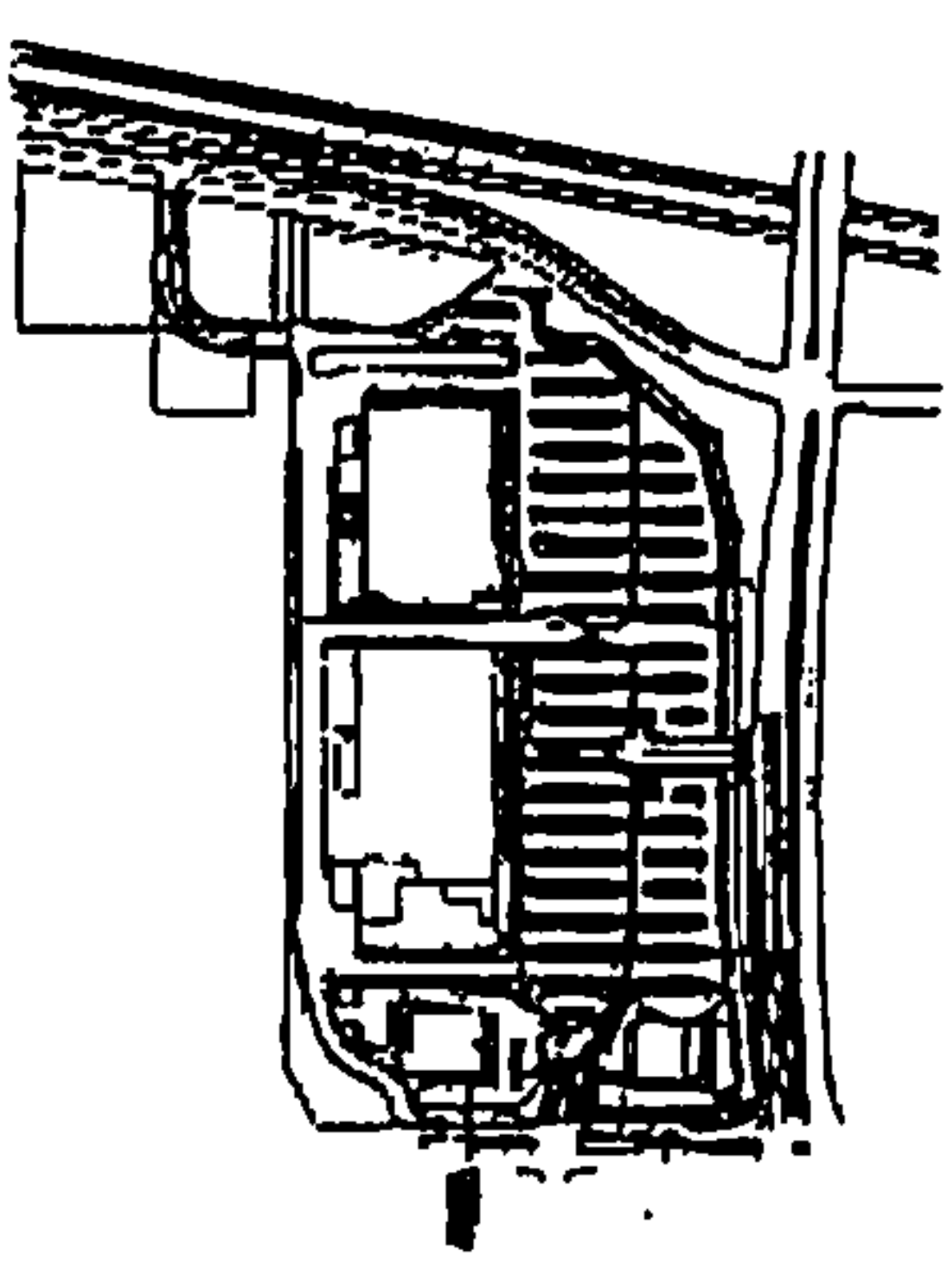
Wall inside 50

SITE PLAN



SAN PEDRO DRIVE

VICINITY MAP



SITE DATA

Site data text including project name and location details.

PARKING DATA

Parking data text including lot counts and specifications.

GENERAL NOTES

General notes text providing additional project information.

KEYED NOTES

Keyed notes text detailing specific site features and annotations.



PARK ARCHITECTURE, INC. ARCHITECTURAL DESIGN GROUP

Office DEPOT
Edgy Design Partners

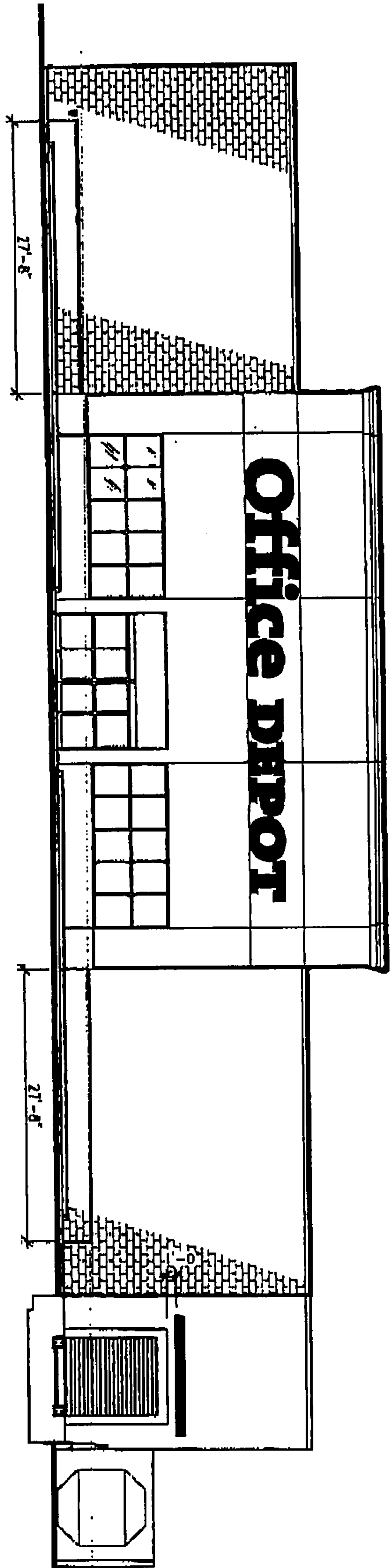
OFFICE DEPOT
LOS ANGELES CENTER
ALS JOURNALIST, NM

DATE	DESCRIPTION	BY
08/17/05	25-112	24,253

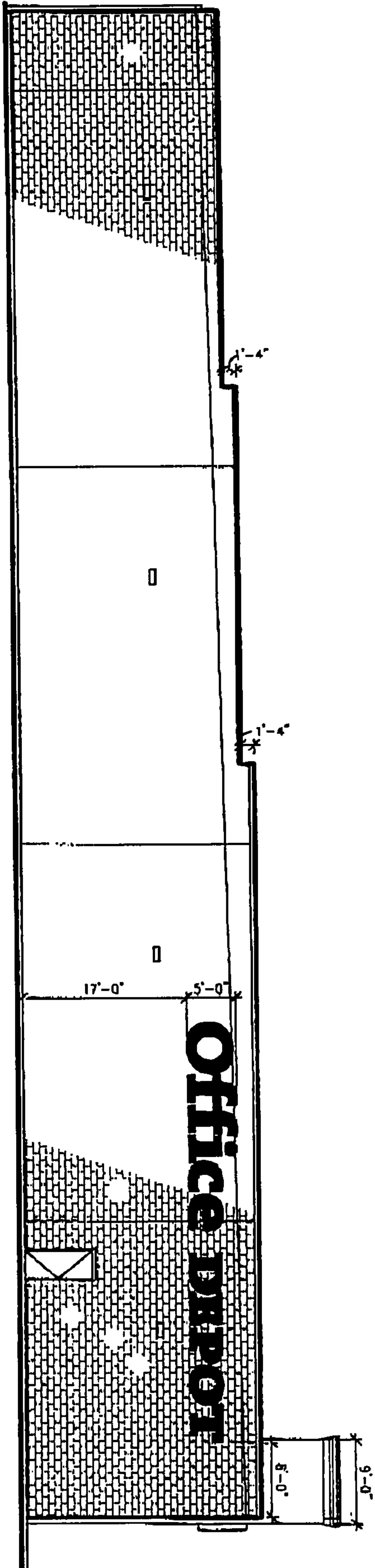
C1

EXISTING AND SITE IMAGES ARE A REPRESENTATION OF THE DESIGN INTENT ONLY. ARCHITECT OCCUPATION OF THE FINAL DESIGN. SUBJECT MATTER HEREIN IS NEITHER FOR PERMITTING OR CONSTRUCTION.

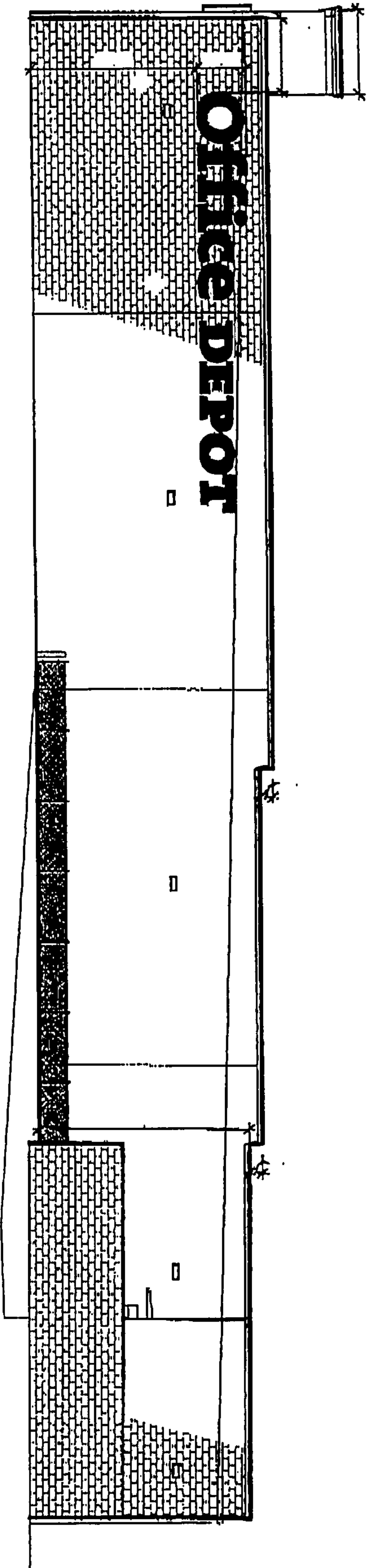
1 FRONT ELEVATION (NORTH)



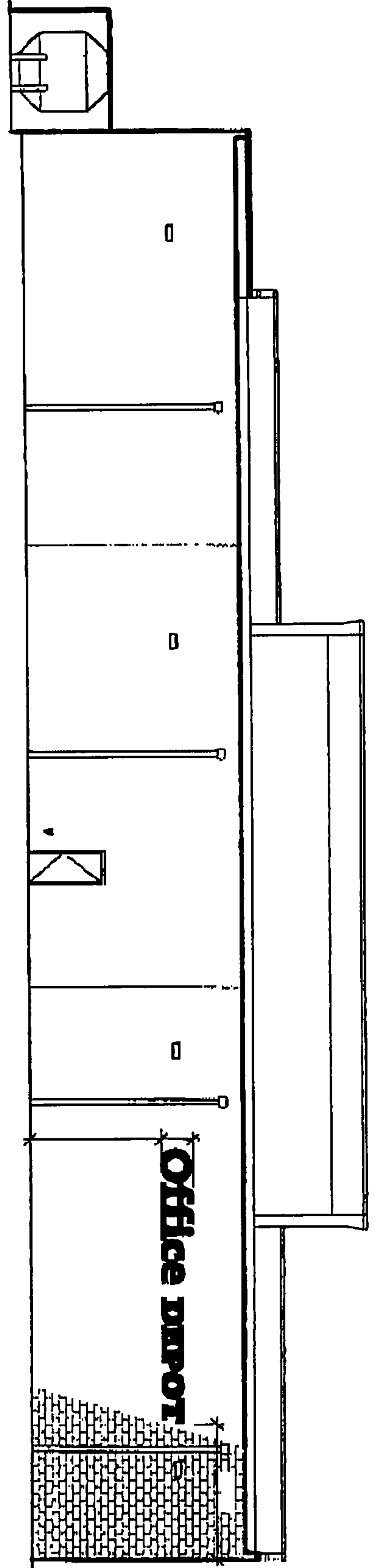
2 SIDE ELEVATION (EAST)



AB SIDE ELEVATION (WEST)
3/32" = 1'-0"



AB REAR ELEVATION (SOUTH)
3/32" = 1'-0"



*** RX REPORT ***

RECEPTION OK

TX/RX NO	9320
CONNECTION TEL	314 644 4373
SUBADDRESS	
CONNECTION ID	
ST. TIME	08/29 10:50
USAGE T	01'44
PGS.	5
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City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

SUBDIVISION <input type="checkbox"/> Major Subdivision action <input type="checkbox"/> Minor Subdivision action <input type="checkbox"/> Vacation <input type="checkbox"/> Variance (Non-Zoning)		Supplemental form S Z ZONING & PLANNING <input type="checkbox"/> Annexation <input type="checkbox"/> County Submittal <input type="checkbox"/> EPC Submittal <input type="checkbox"/> Zone Map Amendment (Establish or Change Zoning) <input type="checkbox"/> Sector Plan (Phase I, II, III) <input type="checkbox"/> Amendment to Sector, Area, Facility or Comprehensive Plan <input type="checkbox"/> Text Amendment (Zoning Code/Sub Regs) <input type="checkbox"/> Street Name Change (Local & Collector)	
SITE DEVELOPMENT PLAN <input type="checkbox"/> for Subdivision Purposes <input checked="" type="checkbox"/> for Building Permit (Site Plan) <input type="checkbox"/> IP Master Development Plan <input type="checkbox"/> Cert. of Appropriateness (LUCC)		L A APPEAL / PROTEST of... <input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals	
STORM DRAINAGE <input type="checkbox"/> Storm Drainage Cost Allocation Plan			

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: Office Depot PHONE: 561-438-4800
 ADDRESS: 2200 Old Germantown Road FAX: 561-438-4178
 CITY: Delray Beach STATE FL ZIP 33445 E-MAIL: tgambline@officedept.com
 Proprietary interest in site: Lowe's Home Improvement List all owners Lowe's Home Improvement
 AGENT (if any): Dekker/Perich/Sabatini PHONE: 505-761-9700
 ADDRESS: 6801 Jefferson NE, Suite 100 FAX: 505-761-4222
 CITY: Albuquerque STATE NM ZIP 87109 E-MAIL: annmariec@dpsabq.com

DESCRIPTION OF REQUEST: Amended Site Development Plan for Building Permit for Office Depot.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. Tract A-1-D Block: _____ Unit: _____
LOS ANGELES CENTER
 Subdiv. / Addr. Elena Gallegos Grant, in projected section 24, Township 11 north, Range 3 east.
 Current Zoning: M-1 Proposed zoning: M-1
 Zone Atlas page(s): D-18-2 No. of existing lots: 1 No. of proposed lots: 1
 Total area of site (acres): 2.24 Density if applicable: dwellings per gross acre: n/a dwellings per net acre: n/a
 Within city limits? Yes. No , but site is within 5 miles of the city limits.) Within 1000FT of a landfill? _____
 UPC No. 101806317546920804 MRGCD Map No. _____
 LOCATION OF PROPERTY BY STREETS: On or Near: Paseo del Norte + San Pedro NE
 Between: 1-25 / Paseo del Norte and San Pedro NE

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX_Z, V, S, etc.): PRB-97-224, DRB-97-372, Z-1534

Check-off if project was previously reviewed by Sketch Plat/Plan?, or Pre-application Review Team?. Date of review: _____

SIGNATURE Ann Marie Christian DATE 6/16/05
 (Print) Ann Marie Christian _____ Applicant Agent

FOR OFFICIAL USE ONLY

Form revised 4/04

<input type="checkbox"/> INTERNAL ROUTING <input checked="" type="checkbox"/> All checklists are complete <input checked="" type="checkbox"/> All fees have been collected <input checked="" type="checkbox"/> All case #s are assigned <input checked="" type="checkbox"/> AGIS copy has been sent <input checked="" type="checkbox"/> Case history #s are listed <input checked="" type="checkbox"/> Site is within 1000ft of a landfill <input checked="" type="checkbox"/> F.H.D.P. density bonus <input checked="" type="checkbox"/> F.H.D.P. fee rebate	Application case numbers <u>05DRB 01047</u> _____ _____ _____ _____ _____ Hearing date <u>06/29/05</u>	Action <u>SBP</u> <u>CMF</u> _____ _____ _____	S.F. <u>P3</u> _____ _____ _____	Fees <u>\$ 385.00</u> <u>\$ 20.00</u> _____ _____ _____ Total <u>\$ 405.00</u>
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Sandy Handley 06/20/05

Project # 1001946

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - N/A Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6** copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - N/A Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Ann Marie Christian
Applicant name (print)
MSCN 6/20/05
Applicant signature / date

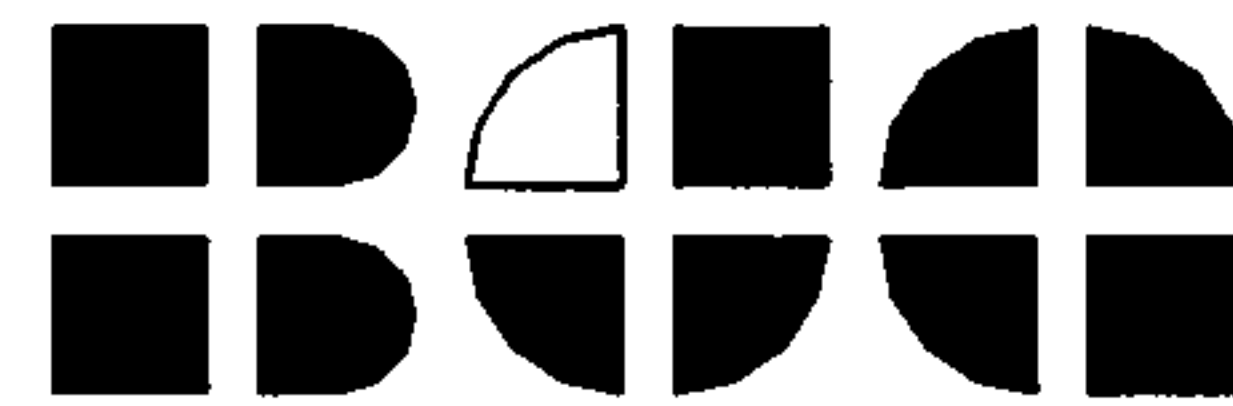


Form revised JUNE 2005

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
05DEB - -01047

Sandy Handley 06/20/05
Planner signature / date
Project # 1001946

BARRY JAY
GREENBERG
ARCHITECT



2710 SUTTON BLVD
ST. LOUIS, MO 63143
PH: 314 . 644 . 1234
FAX: 314 . 644 . 4373
WEB: www.adg-stl.com

June 14, 2005

Design Review Board Chairperson
City of Albuquerque Planning Department
600 2nd Street NW
Albuquerque, NM 87102
(505) 924-3900

Re: Request for Consideration of Proposed new Office Depot
Los Angeles Center Shopping Plaza
Albuquerque, NM

Dear DRB Chairperson,

On behalf of our client, Office Depot, I am submitting to you this letter of description pertaining to a proposed new Office Depot store at the Los Angeles Center shopping plaza on Paseo Del Norte. As is known, there is a Lowe's store at this shopping plaza, and within its plat there is also a Target store and a Walgreen's store. The Final Plat (Lowe's) received approval from the EPC in August, 2004 which in addition to the Target and Walgreen's stores, created the lot upon which Office Depot intends to construct a new 20,280 square foot office supply retail store. The entirety of the Lowe's plat is zoned M-1. A copy of the Official Notification of Decision from the City of Albuquerque Planning Department for project #1001946 accompanies this letter.

The local architectural firm of Dekker, Perich, and Sabatini (DPS) has been retained by Office Depot to perform expediting services to collect or produce the necessary documentation and site plans. DPS will be completing the application to the Development Review Board (DRB) coordinating the posing of the sign at the proposed construction site. Architectural Design Guild, Architectural consultant to Office Depot has developed the building plans for construction and has provided to DPS some of the documentation and drawings that accompany this letter. The items to be submitted to the DRB by the filing deadline of June 17, 2005 are as follows:

Proposed Amended Site Plan- This plan indicates the required site improvements beyond the initial Site Development Plan for Subdivision for Office Depot. This plan shows compliance with Section 14-16-3-1 (G) and all other site or parking requirements by the city of Albuquerque. This plan is included as drawing sheet C.1.

Landscaping Plan- This plan indicates the required landscaping features in compliance with Section 14-16-3-10 and all other regulations required of non-residential site development. This plan is included as drawing sheet C.2.

Preliminary Grading Plan- This plan indicates the required modifications to the existing topography to accommodate the Office Depot building structure and parking lot. This plan is included as drawing sheet C.3.

Development Review Board Chairperson
June 14, 2005
Page 2

Conceptual Utility Plan- This plan indicates where utility laterals (gas service, water service, electrical service, and storm and sanitary sewer service) cross the proposed Office Depot site from the city controlled mains off of site. This plan is included as drawing sheet C.4.

Building and Structures Elevations- This plan indicates the required compliance with Section 14-16-3-18. This plan is included as drawing sheet A.1.

DRB Signed Site plan for Subdivision- This document pertains to the original submittal for Site Plan Development for Subdivision to the EPC by Lowe's for project #1001946.

Zone Atlas Map- This map is incorporated into drawing sheet C.1, the Site Plan.

Letter of Authorization From the Property Owner- This letter has been furnished by Lowe's addressing the Office Depot site.

Office of Community and Neighborhood Coordination Inquiry Response- letters of notification to the Jade Park N.A. and compliance have been sent as required. The letter of inquiry and notification letters along with certified mail receipts from the members of the Jade Park N.A. accompany this letter.

Completed Site Plan for Building Permit Checklist- This document itemizes the criteria of the drawing portion of the submittal to the DRB. All items have been checked off as required.

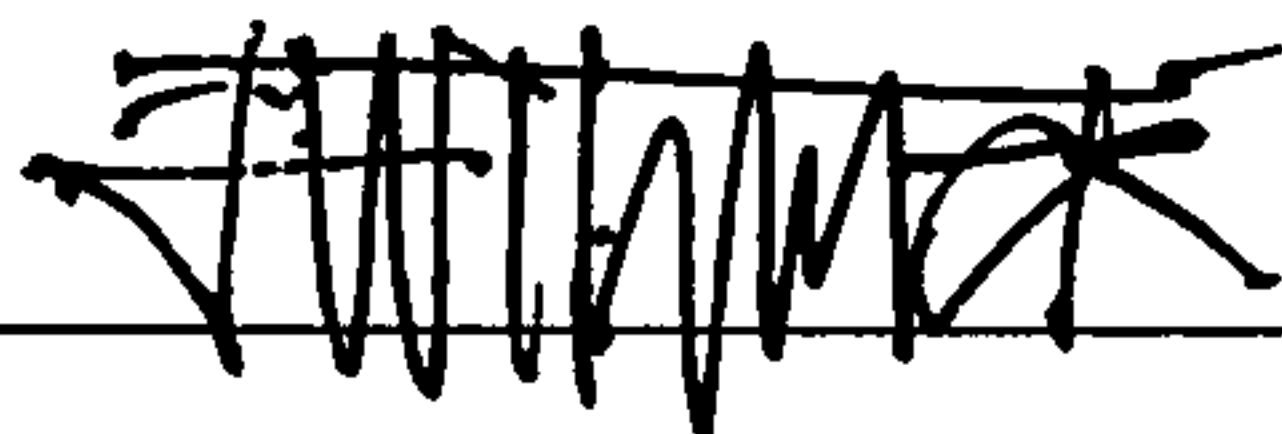
Infrastructure List- This document will not be required as it was part of the original submittal for Site Plan Development for Subdivision to the EPC by Lowe's for project #1001946.

TIS/AQIA Traffic Impact Study form- Tony Lloyd, City of Albuquerque Traffic Engineer has indicated that this study was completed as part of the original submittal for Site Plan Development for Subdivision to the EPC by Lowe's for project #1001946. Mr. Lloyd had stated that since the Office Depot parking lot does not outlet onto either San Pedro Drive or Paseo Del Norte, a further traffic study will not be required.

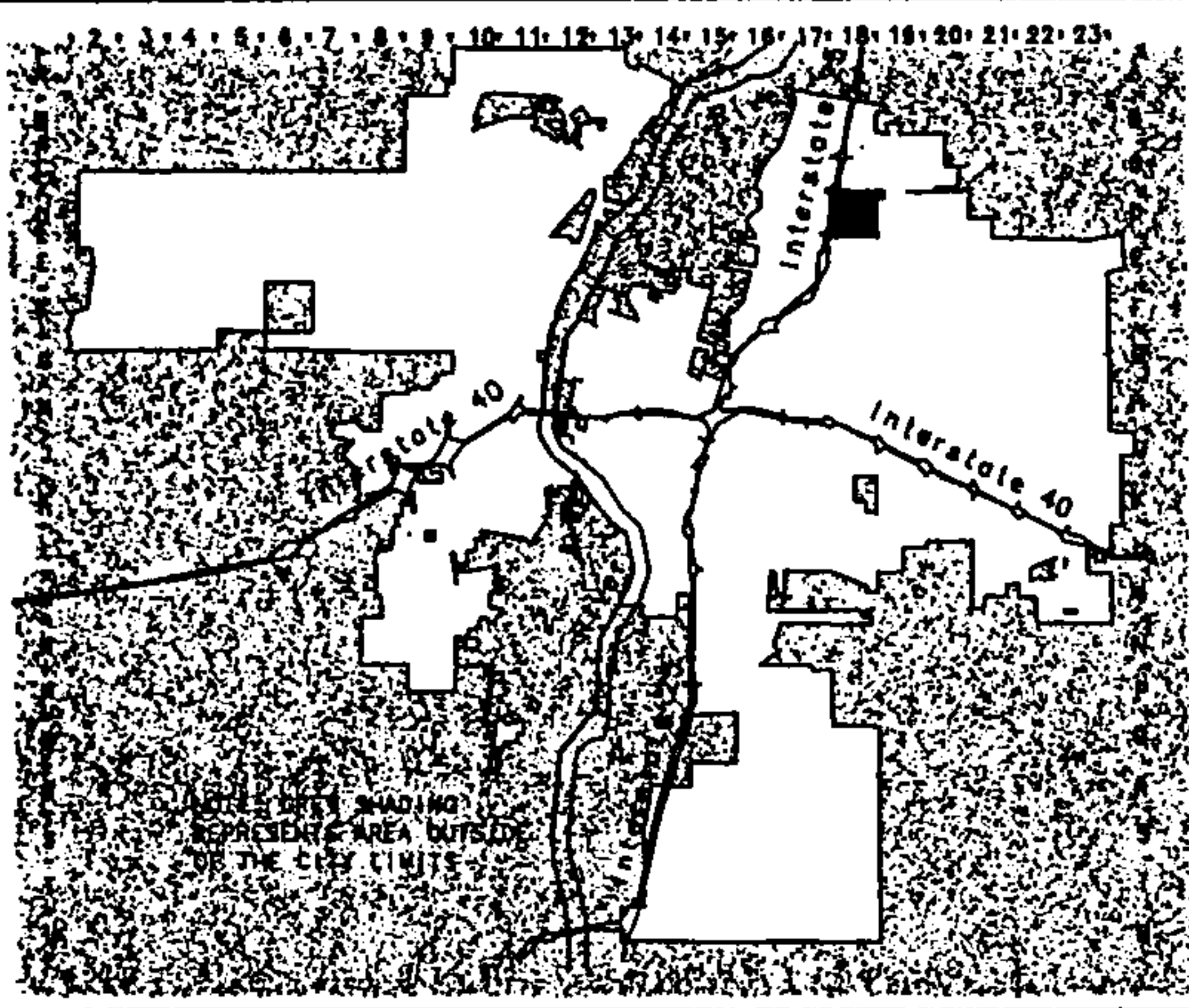
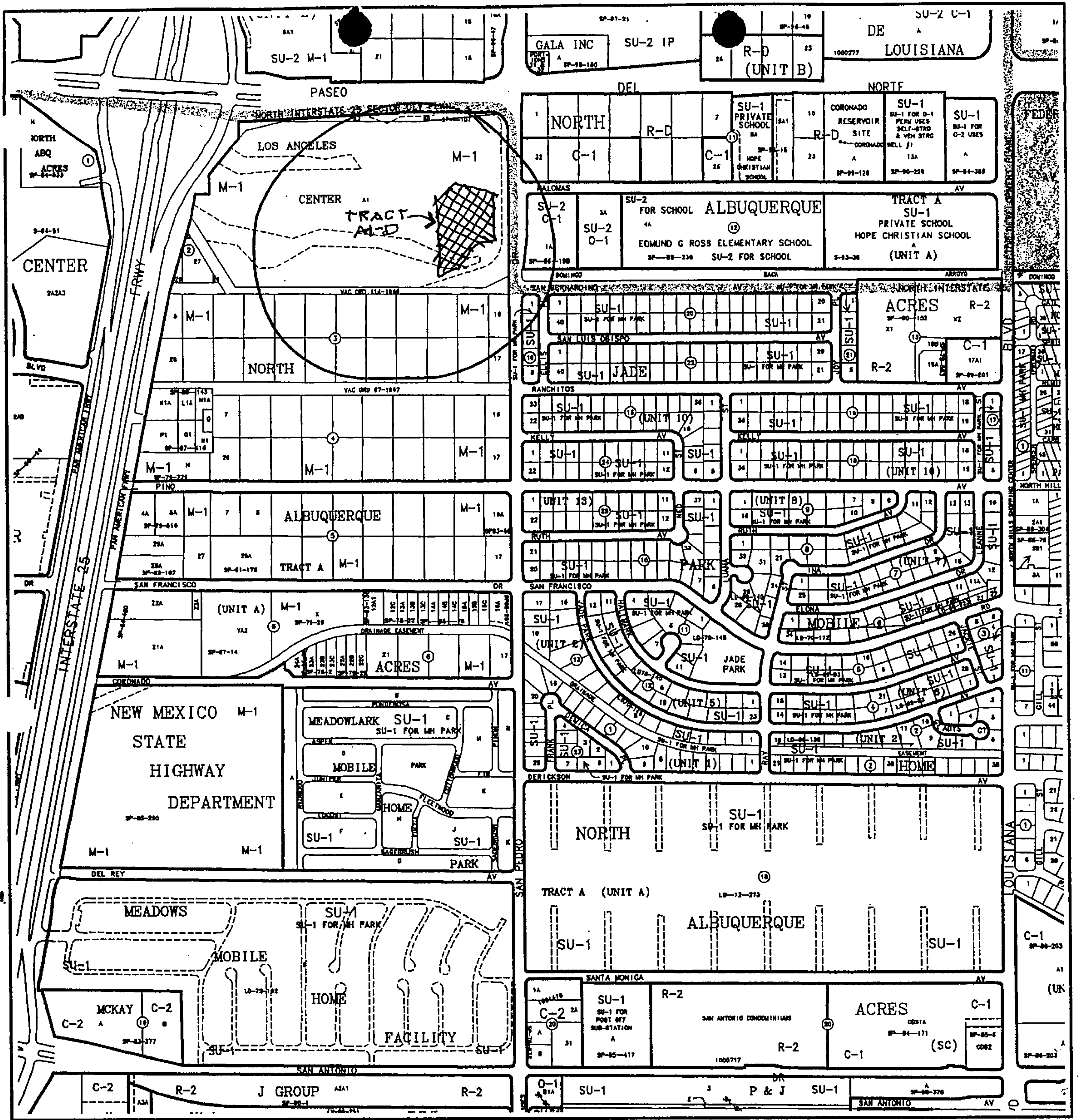
Fee- The required fee for submittal to the DRB will be paid by DPS at time of filing prior or on June 17, 2005.

As previously stated, the Lowe's plat has already received full approval, and awaited only further amendments by the tenants intending to build on the three remaining lots of tract A-1. Office Depot assumes no differing intent to amend its lot than did either Target or Walgreen's, and can be seen on drawings C.1, C.2, C.3, C.4 and A.1 to be of conventional retail design with properly landscaped and accessed parking. If there are any questions or comments, please feel free to call (800) 208-3136.

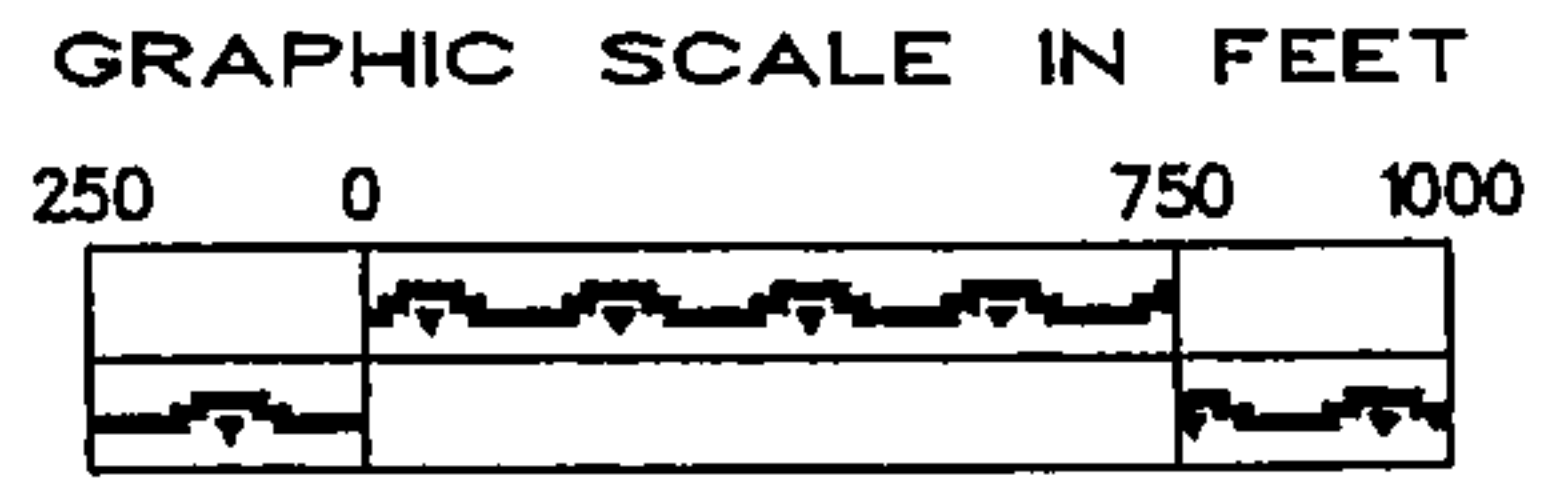
Thank you,



John Wimmer, ADG



CITY OF
Albuquerque
A Albuquerque Geographic Information System
PLANNING DEPARTMENT
© Copyright 2003



Zone Atlas Page
D-18-Z
Map Amended through January 21, 2003

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

This checklist will be used to verify the completeness of site plans submitted for review by the Environmental Planning Commission. Because development proposals vary in type and scale, there may be submittal requirements that are not specified here. Nonetheless, applicants are responsible for providing a complete submittal. Certification as specified below is required.

I CERTIFY THAT THE SUBMITTED SITE DEVELOPMENT PLAN IS COMPLETE AND ACCURATE, AND THAT ALL APPLICABLE INFORMATION AS SPECIFIED IN THIS CHECKLIST IS PROVIDED. FURTHER, I UNDERSTAND THAT THIS APPLICATION IS BEING ACCEPTED PROVISIONALLY AND THAT INACCURATE AND/OR INCOMPLETE INFORMATION MAY RESULT IN THE SUBSEQUENT REJECTION OF THE APPLICATION OR IN A DELAY OF ONE MONTH OR MORE IN THE DATE THE APPLICATION IS SCHEDULED FOR PUBLIC HEARING.



Applicant or Agent Signature / Date

Site development plan packets shall be composed of the following plan sheets (unless otherwise approved in writing prior to submittal by the Planning Department):

1. **Site Plan** (including utilities and easements)
2. **Landscaping Plan**
3. **Preliminary Grading Plan** (A separate Grading Plan sheet is required for a sites 1 acre or more.)
4. **Building and Structure Elevations**
5. **Conceptual Utility Plan** — TIE INTO EXIST. INFRASTRUCTURE. ON-SITE UTIL. + PUBLIC MAINS, ETC...

Submitted plan packets must be organized in the above manner. The following checklist describes the minimum information necessary for each plan element. **The Applicant must include all checklist items on their site plan drawings and confirm inclusion by checking off the items below. Non-applicable items must be labeled "N/A." Each non-applicable designation must be explained by notation on the Checklist.**

Accompanying Material

- A. 8-1/2" x 11" reduction for each plan sheet.
- B. **Written project summary.** Each application must include a brief narrative description of the proposed project, its primary features and how compatibility with the surrounding context has been achieved.

SHEET #1 - SITE PLAN

A. General Information

1. Date of drawing and/or last revision
2. Scale: 1.0 acre or less 1" = 10'
1.0 - 5.0 acres 1" = 20' 1:30
Over 5 acres 1" = 50'
Over 20 acres 1" = 100' [Other scales as approved by staff]
3. Bar scale
4. North arrow
5. Scaled vicinity map
6. Property lines (clearly identify)
7. Existing and proposed easements (identify each)
8. Phases of development including location and square footages of structures, circulation, parking and landscaping

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

B. Proposed Development

1. Structural

- A. Location of existing and proposed structures (distinguish between existing & proposed)
- B. Square footage of each structure
- C. Proposed use of each structure
- D. Temporary structures, signs and other improvements
- E. Walls, fences, and screening: indicate height, length, color and materials
- F. Dimensions of all principal site elements or typical dimensions thereof
- G. Loading facilities
- H. Site lighting (indicate height & fixture type)
- I. Indicate structures within 20 feet of site
- nyw J. Elevation drawing of refuse container and enclosure, if applicable.

2. Parking and Internal Circulation

- A. Parking layout with spaces numbered per aisle and totaled.
 - 1. Location and typical dimensions, including handicapped spaces
 - 2. Calculations: spaces required: 88 provided: 91
Handicapped spaces required: 4 provided: 4
- B. Bicycle parking & facilities
 - 1. Bicycle racks, spaces required: 4
provided: 4
 - nyw 2. Other bicycle facilities, if applicable
- C. Vehicular Circulation (Refer to Chapter 23 of DPM)
 - 1. Ingress and egress locations, including width and curve radii dimensions
 - 2. Drive aisle locations, including width and curve radii dimensions
 - 3. End aisle locations, including width and curve radii dimensions
 - 4. Location & orientation of refuse enclosure, with dimensions
 - 5. Curb cut locations and dimensions
- D. Pedestrian Circulation
 - 1. Location and dimensions of all sidewalks and pedestrian paths
 - 2. Location and dimension of drive aisle crossings, including paving treatment
 - 3. Location and description of amenities, including patios, benches, tables, etc.

3. Streets and Circulation

- A. Locate and identify adjacent public and private streets and alleys.
 - 1. Existing and proposed pavement widths, right-of-way widths and curve radii
 - 2. Identify existing and proposed turn lanes, deceleration lanes and similar features related to the functioning of the proposal, with dimensions
 - 3. Location of traffic signs and signals related to the functioning of the proposal
 - 4. Identify existing and proposed medians and median cuts
 - 5. Sidewalk widths and locations, existing and proposed
- B. Identify Alternate transportation facilities within site or adjacent to site
 - 1. Bikeways and bike-related facilities

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

- 2. Pedestrian trails and linkages
- 3. Bus facilities, including routes, bays and shelters existing or required

4. Utilities

- 1. Fire hydrant locations, existing and proposed.
- 2. Distribution lines
- 3. Right-of-Way and easements, existing and proposed, on the property and adjacent to the boundaries, with identification of types and dimensions.
- 4. Existing water, sewer, storm drainage facilities (public and/or private).
- 5. Proposed water, sewer, storm drainage facilities (public and/or private)

5. Phasing

- A. Proposed phasing of improvements and provision for interim facilities. Indicate phasing plan, including location and square footage of structures and associated improvements including circulation, parking and landscaping.

SHEET #2 - LANDSCAPING PLAN

Landscaping may be shown on sheet #1 with written approval from Planning Department staff.

- 1. Scale - must be same as scale on sheet #1 - Site plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Identify nature of ground cover materials
 - A. Impervious areas (pavement, sidewalks, slope pavings, curb and gutters, etc.)
 - B. Pervious areas (planting beds, grass, ground cover vegetation, etc.)
 - C. Ponding areas either for drainage or landscaping/recreational use
- 7. Identify type, location and size of plantings (common and/or botanical names).
 - A. Existing, indicating whether it is to preserved or removed.
 - B. Proposed, to be established for general landscaping.
 - C. Proposed, to be established for screening/buffering.
- 8. Describe irrigation system
- 9. Planting Beds, indicating square footage of each bed
- 10. Turf Area - only 20% of landscaped area can be high water turf; provide square footage and percentage.
- 11. Responsibility for Maintenance (statement)
- 12. Statement of compliance with Water Conservation... Ordinance, see article 6-1-1-1.
- 13. Landscaped area requirement; square footage and percent (specify clearly on plan)
- 14. Landscaped area provided; square footage and percent (specify clearly on plan)

SHEET #3 - PRELIMINARY GRADING PLAN -

The Preliminary Grading Plan provides the Planning Commission and staff with an understanding of site topography and how it relates to adjacent property. Planning staff may waive or allow adjustments to the Preliminary Grading Plan requirements for sites that are small, relatively flat and have no existing or proposed extraordinary drainage facilities. Waivers must be obtained in writing from the City Engineer prior to application submittal.

Grading information for sites that are under 1 acre can be included on Sheet #1.

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT CHECKLIST

Revised: 1/10/2005

A. General Information

- 1. Scale - must be same as Sheet #1 - Site Plan
- 2. Bar Scale
- 3. North Arrow
- 4. Property Lines
- 5. Existing and proposed easements
- 6. Building footprints
- 7. Location of Retaining walls

B. Grading Information

- 1. On the plan sheet, provide a narrative description of existing site topography, proposed grading improvements and topography within 100 feet of the site.
- 2. Indicate finished floor elevation and provide spot elevations for all corners of the site (existing and proposed) and points of maximum cut or fill exceeding 1 foot.
- 3. Identify ponding areas, erosion and sediment control facilities.
- 4. Cross Sections
Provide cross section for all perimeter property lines where the grade change is greater than 4 feet at the point of the greatest grade change. Provide one additional cross section in each direction within no more than 100 feet of the reference point.

SHEET #4 - BUILDING AND STRUCTURE ELEVATIONS

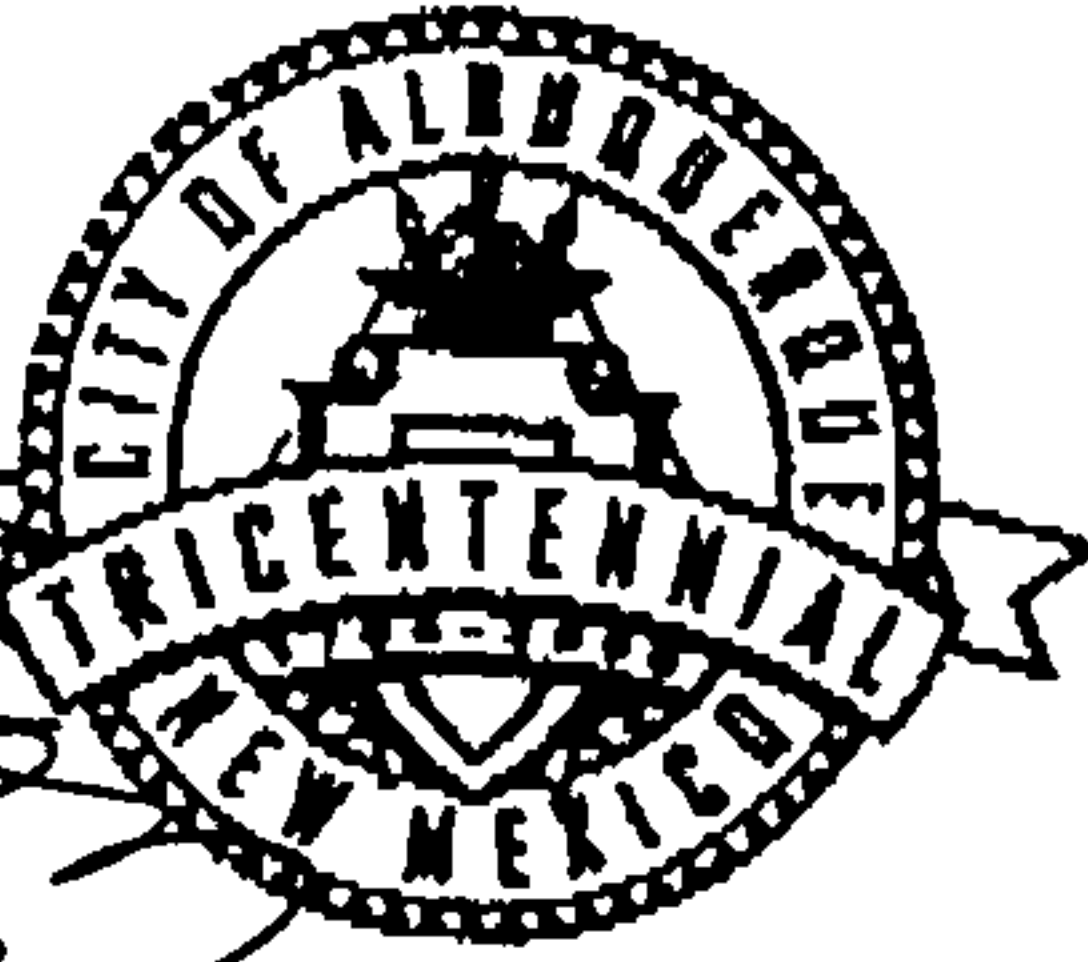
A. General Information

- A. Scale (minimum of 1/8" or as approved by Planning Staff).
- B. Bar Scale
- C. Detailed Building Elevations for each facade
 - 1. Identify facade orientation
 - 2. Dimensions of facade elements, including overall height and width
 - 3. Location, material and colors of windows, doors and framing
 - 4. Materials and colors of all building elements and structures
- E. Site Development Plans for single family residential projects with multiple units may require submittal of specific information on building features in lieu of elevation drawings for each building. Applicants are advised to discussed submittal requirements with Planning Department staff.

B. Signage

- 1. Site location(s)
- 2. Sign elevations to scale
- 3. Dimensions, including height and width
- 4. Sign face area - dimensions and square footage clearly indicated
- 5. Lighting
- 6. Materials and colors for sign face and structural elements.

Applicants should make sure that the submitted site development plan drawings are accurate and complete, and that items specified in this checklist have been clearly indicated on the plan drawings as required.



See Conditions #8 for delegation to DRB

Date: March 18, 2005

City of Albuquerque
 Planning Department
 Development Review Division
 P.O. Box 1293
 Albuquerque, New Mexico 87103

OFFICIAL NOTIFICATION OF DECISION

FILE: Project # 1001946*
 05EPC-00176 EPC Site Development Plan-
 Subdivision

Lowe's Inc.
 P.O. Box 1111
 North Wilkesboro, NC 28656

LEGAL DESCRIPTION: for Lot A (Los Angeles Center); Remainder 26, 27, 28 & 6, Block 2; Lot 5, 6, 7, 27 & 28, Block 3, NAA Tr. A, Unit A, zoned M-1, located on PASEO DEL NORTE NE, between INTERSTATE 25 and SAN PEDRO DR., containing approximately 37.7 acres. (D-18) Makita Hill, Staff Planner

On March 17, 2005 the Environmental Planning Commission voted to approve Project 1001946/ 05EPC-00176, a site development plan for subdivision for Lot A (Los Angeles Center); Remainder 26, 27, 28 & 6, Block 2; Lot 5, 6, 7, 27 & 28, Block 3, NAA Tr. A Unit A, located on Paseo del Norte between Interstate 25 and San Pedro Drive, zoned M-1/Shopping Center, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for approval of a site development plan for subdivision for Lot A (Los Angeles Center); Remainder 26, 27, 28 & 6, Block 2; Lot 5, 6, 7, 27 & 28, Block 3, NAA Tr. A Unit A, located on Paseo del Norte between Interstate 25 and San Pedro Drive. The subject site contains approximately 38 acres. The acreage of the proposed site plan area gives the area a "Shopping Center" designation to the M-1 zoning (Section 14-16-1-5, Definitions, City Zoning Code), and is therefore subject to site plan review by the EPC (Section 14-16-3-2, Shopping Center Regulations City Zoning Code).
2. The purpose of the request is to facilitate a process of unified development of the area with regard to land subdivision, landscaping, signage, and lighting. The site plan proposes to create four new lots and to modify an existing lot.
3. In August 2004, a Final Plat was approved by the Development Review Board (DRB) that created four lots from Tract A-1, (A-1-A, A-1-B, A-1-C, A-1-D, A-1-E) and a road easement connecting Tract A-1-A to the Interstate 25 Frontage Road (DRB 1001946 04DRB-01965). The submitted site plan for subdivision is consistent in configuration with the DRB-approved Final Plat.

**OFFICIAL NOTICE OF DECISION
MARCH 17, 2005
PROJECT #1001946
PAGE 2 OF 4**

4. In August 2004, a site development plan for building permit was approved by the EPC for Tract A-1-A for a Target store (1001946 04EPC-01032). This lot is proposed to be modified and designated as Tract A-1-A-1 under this site plan for subdivision.
5. The request is consistent with the Established Urban Area policies of the Comprehensive Plan. The subject site is surrounded on all sides by nonresidential zoning and development, however there is an existing single-family residential area off of San Pedro Drive south of San Bernadino Street. Traffic mitigation measures recommended by the Traffic Impact Analysis (TIA) for the subject site will insure that the request will have a minimal impact on nearby residential areas (Policy d, e, i). The request proposes commercial development on vacant land near existing City services (Policy e) on a site with an existing commercial retail use (Policy j). The request also meets the intent of the Centers and Corridors development form policies regarding sidewalk width, building setback, and parking location.
6. A Declaratory Ruling made in September 1987 establishes that Shopping Center regulations cannot restrict the size and number of signs that are allowed under the signs regulations of the underlying zone for a given site. The Ruling establishes that, while the EPC is authorized to grant sign standards based on the underlying zone, the EPC may also choose to enforce the Shopping Center sign regulations. The Ruling also establishes that this is not the subject of a variance process. A copy of this ruling is included in this report. The M-1 zone is the underlying zone for this site, and the M-1 zone utilizes C-2 zone standards for signage. The proposed 250 square-foot signs are in conformance with C-2 on-premise sign regulations for an Established Urban Area site (Section 14-16-2-17-A(9)). City Legal staff views the Ruling as a valid tool for administration of this process.
7. Modifications are needed to bring the site plan into full compliance with Zoning Code design standards.
8. The Jade Park Neighborhood Association was contacted regarding this request. The association did not have any concerns about the proposed site plan, and did not seek a facilitated meeting. There is no known opposition to this request.

CONDITIONS:

1. The EPC delegates final sign-off authority of this site development plan for subdivision to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

OFFICIAL NOTICE OF DECISION
MARCH 17, 2005
PROJECT #1001946
PAGE 3 OF 5

2. RECOMMENDED CONDITIONS FROM CITY ENGINEER, MUNICIPAL DEVELOPMENT, PUBLIC WORKS, WATER AUTHORITY and NMDOT:
- a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan for subdivision. Those improvements will include any additional right-of-way requirements, paving, curb and gutter, sidewalk and ADA accessible ramps that have not already been provided for. All public infrastructure constructed within public right-of-way or public easements shall be to City Standards. Those Standards will include but are not limited to sidewalks (std. dwg. 2430), driveways (std. dwg. 2425), private entrances (std. dwg. 2426) and wheel chair ramps (std. dwg. 2441).
 - b. A Traffic Impact Study is required (has been submitted).
 - c. Completion of the required TIS mitigation measures (including NMDOT requirements), per Transportation Development Staff, must be completed if assumed to be in place for the current TIS for this site (i.e. street improvements recommended in the Traffic Impact Study (TIS) including the roadway connection between the development and the Interstate 25 frontage road).
 - d. Construction (including right-of-way if necessary) of a bicycle trail on the South Domingo Baca Arroyo alignment along the southern boundary of the site, between San Pedro and I-25 frontage road, as designated on the Long Range Bikeways System.
 - e. Site plan shall comply and be designed per DPM Standards.
 - f. Platting must be a concurrent DRB action.
3. The applicant shall further elaborate on architectural design criteria in the site plan by providing specific descriptions of colors, materials, and other elements, to demonstrate the coordination of elements that is referenced, and also include a statement of compliance with Section 14-16-3-18, General Building and Site Design Regulations for Non- Residential Uses, City Zoning Code on the site plan.
4. The applicant shall amend the Pedestrian Pathways and Plazas section of the site plan to include a statement of compliance with Section 14-16-3-1(G), Pedestrian Connections, and Section 14-16-3-18, General Building and Site Design Regulations for Non- Residential Uses, in the City Zoning Code. The applicant shall delete stated numeric standards on the site plan for pedestrian walkways (minimum 6 feet in width for perimeter walkways) and plaza areas (minimum 400 square feet with a minimum width of 15 feet) as these standards may not be applicable in all instances.
5. The applicant shall delete statements regarding City of Albuquerque Dark Skies requirements, as the City currently does not have such requirements. The applicant shall also include a statement of compliance with Section 14-16-3-9, Area Lighting Regulations, City Zoning Code, on the site plan, and reference compliance with the State Statute on Dark Skies lighting requirements.

OFFICIAL NOTICE OF DECISION**MARCH 17, 2005****PROJECT #1001946****PAGE 4 OF 5**

6. The applicant shall amend the landscape plan to include a statement of compliance with Section 14-16-3-10, Landscape Regulations, City Zoning Code. Consistent with this section, the applicant shall change the landscape buffer width for the South Domingo Baca Arroyo at the rear of Tracts A-1-A-1 and A-1-B from 5 feet to 6 feet, and establish a 20-foot landscape buffer along the north edge of Tracts A-1-A-1 and A-1-B, and along the east edge of Tracts A-1-C and A-1-D adjacent to San Pedro Drive. The applicant shall also include a statement of compliance with the City's Water and Wastewater Ordinance on the site plan (Section 6-1-1-1).
7. All previous conditions of approval by the EPC for the Target store site (Project 1001946 04EPC-01032), designated as Tract A-1-A-1 under this site plan, shall be fulfilled as a component of full development of the subject site.
8. The EPC delegates approval authority of future site development plans for building permit for lots under 5 acres in this site development plan for subdivision to the DRB.
9. In the meantime and until further notice, the developers of this site are required to follow the most current version of the "City of Albuquerque Interim Guidelines for Development within City Designated Landfill Buffer Zons." A review and approval of the Site Plan(s), the proposed construction, design drawings, and a certification of construction will be required by the Environmental Health Department, Environmental Services Division, Groundwater and Landfill Section.

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY APRIL 1, 2005 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED. IT IS NOT POSSIBLE TO APPEAL EPC RECOMMENDATIONS TO CITY COUNCIL; RATHER, A FORMAL PROTEST OF THE EPC'S RECOMMENDATION CAN BE FILED WITHIN THE 15 DAY PERIOD FOLLOWING THE EPC'S DECISION.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If they decide that all City plans, policies and ordinances have not been properly followed, they shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

OFFICIAL NOTICE OF DECISION
MARCH 17, 2005
PROJECT #1001946
PAGE 5 OF 5

YOU WILL RECEIVE NOTIFICATION IF ANY PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


for Richard Dineen
Planning Director

RD/MH/ac

cc: Denish + Kline Associates, Inc., P.O. Box 2001, Albuquerque, NM 87103
Karen Casaus, Jade Park NA, 6708 San Bernardino NE, Albuquerque, NM 87109
John Strutzman, Jade Park NA, 6800 Jade Park NE, Albuquerque, NM 87109
Joe Yardumian, 7801 RC Gorman NE, Albuquerque, NM 87122

ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services

PAID RECEIPT

APPLICANT NAME

Elpue Depot

AGENT

Rebekah Bernick Sabatini

ADDRESS

PROJECT & APP #

1001946/05DRB01047

PROJECT NAME

Los Angeles Center

\$ _____ 441032/3424000 Conflict Management Fee

\$ 250⁰⁰ 441006/4983000 DRB Actions Deferred Fees

\$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ _____ 441018/4971000 Public Notification

\$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***

- () Major/Minor Subdivision () Site Development Plan () Bldg Permit
() Letter of Map Revision () Conditional Letter of Map Revision
() Traffic Impact Study

\$ 250⁰⁰ TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DUPLICATE
City Of Albuquerque
Treasury Division

8/23/2005 2:36PM LOC: ANNX
RECEIPT# 00045606 WSH 006 TRANSH 0031
Account 441006 Fund 0110
Activity 4983000 TRSCXG
Trans Amt \$250.00
J24 Misc

\$250.00

CK \$250.00
CHANGE \$0.00

FILE



Dekker/Perich/Sabatini

architecture
interiors
planning
engineering

August 17, 2005

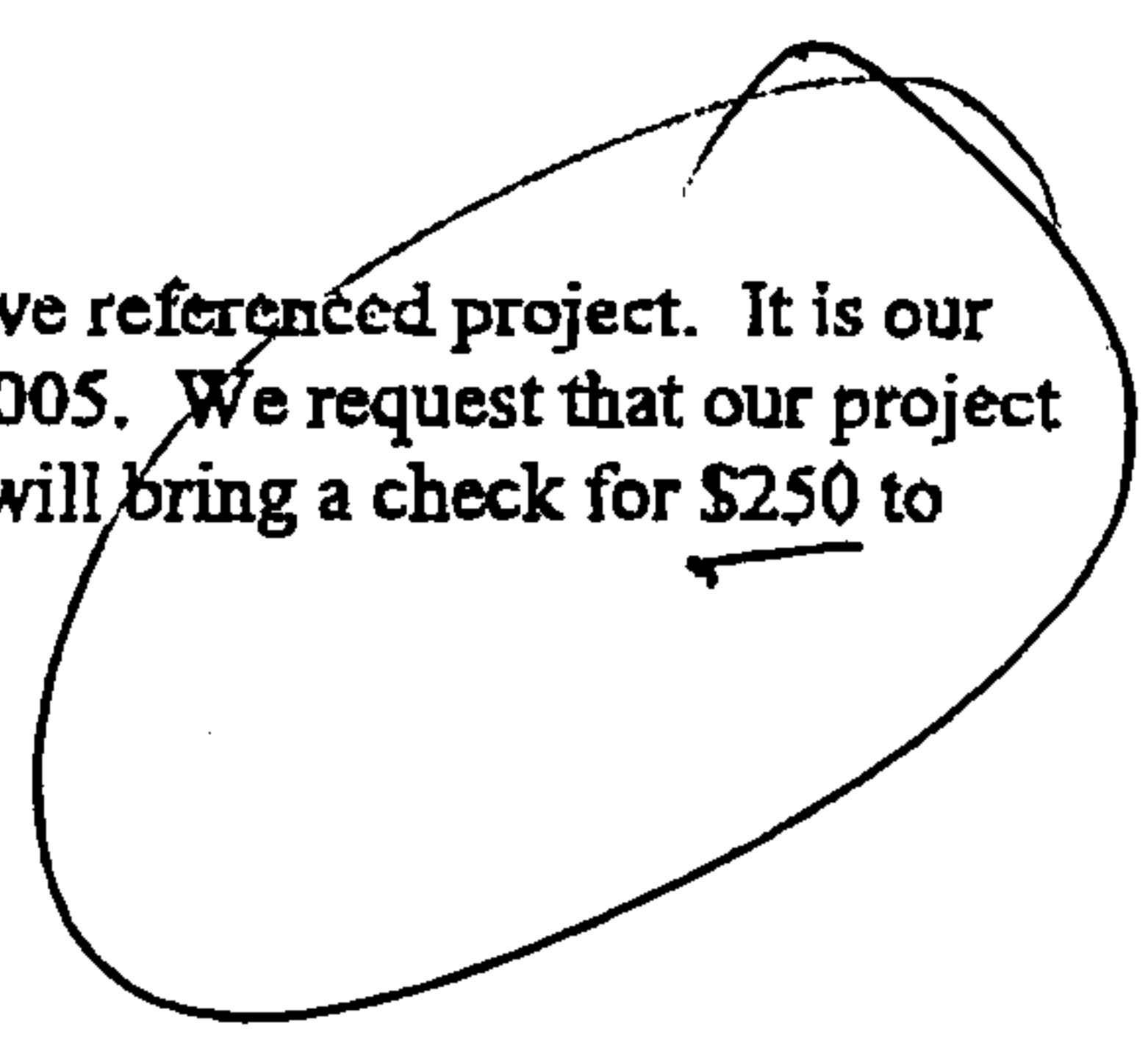
#14

Sheran Matson
City of Albuquerque
Development Review Board

Re: **Office Depot**
Project #1001946
05DRB-01047 Minor-Site Dev. Plan

Dear Sheran,

Dekker/Perich/Sabatini, the agent for Office Depot, would like to request a deferral of the above referenced project. It is our understanding that the next Development Review Board meeting will be held on August 31, 2005. We request that our project be moved to that agenda. Also, I am aware of the \$50 rescheduling fee per occurrence and I will bring a check for \$250 to cover the fees thus far.



If you have any questions please do not hesitate to call me at 761-9700.

Very truly yours,

Dekker/Perich/Sabatini Ltd.

Ann Marie Christian, AIA
Associate

Cc: File

8/17/05
called & told her
10:30 on DRB mtg
day was too
late to defer.
we indef. Sam
deferred her
for no show.

\$250.00 due

6801 Jefferson NE
Suite 100
Albuquerque NM
87109
505 761.9700
fax 761.4222
dps@dpsabq.com

August 1, 2005

Sheran Matson
City of Albuquerque
Development Review Board



Dekker/Perich/Sabatini

architecture
interiors
planning
engineering

11

**Re: Office Depot
Project #1001946
OSDRB-01047 Minor-Site Dev. Plan**

Dear Sheran,

Dekker/Perich/Sabatini, the agent for Office Depot, would like to request a deferral of the above referenced project. It is our understanding that the next Development Review Board meeting will be held on August 17, 2005. We request that our project be moved to that agenda. Also, I am aware of the \$50 rescheduling fee per occurrence and I will bring a check for \$200 to cover the fees thus far.

If you have any questions please do not hesitate to call me at 761-9700.

Very truly yours,

Dekker/Perich/Sabatini Ltd.

Ann Marie Christian, AIA
Associate

Cc: File

6801 Jefferson NE
Suite 100
Albuquerque NM
87109
505 761.9700
fax 761.4222
dps@dpsabq.com

PO Box 93642
Albuquerque, N.M 87199
Office (505) 856-4073
Fax (505) 858-1702
Mobile (505) 249-1502

**Llave Construction
and Real Estate
Services**

Fax

To: Claire Servova	From: Bob Keeran
Fax: 505-924-3364	Pages: 1 including cover page
Phone: 505-924-3346	Date: 8/1/2005
Re: Estrada Court Subdivision Final Plat	CC:
Project #: 003672	
05DRB-00704	

Urgent For Review Please Comment Please Reply Please Recycle

● **Comments:** This letter is my request to have Project # 1003672, 05DRB-00704 put on the Agenda for August 10, 2005. Thanks for your cooperation in this matter.

If you need any other information, please don't hesitate to call me @ 249-1502.

July 25, 2005

Sheran Matson
City of Albuquerque
Development Review Board



Dekker/Perich/Sabatini

architecture
interiors
planning
engineering

**Re: Office Depot
Project #1001946
05DRB-01047 Minor-Site Dev. Plan**

Dear Sheran,

Dekker/Perich/Sabatini, the agent for Office Depot, would like to request a deferral of the above referenced project. It is our understanding that the next Development Review Board meeting will be held on August 3, 2005. We request that our project be moved to that agenda. Also, I am aware of the \$50 rescheduling fee per occurrence and I will bring a check for \$150 to cover the fees thus far.

If you have any questions please do not hesitate to call me at 761-9700.

Very truly yours,

Dekker/Perich/Sabatini Ltd.

Ann Marie Christian, AIA
Associate

Cc: File

6801 Jefferson NE
Suite 100
Albuquerque NM
87109

505 761.9700
Fax 761.4222

July 19, 2005

#10



Dekker/Perich/Sabatini

architecture
interiors
planning
engineering

Sheran Matson
City of Albuquerque
Development Review Board

**Re: Office Depot
Project #1001946
05DRB-01047 Minor-Site Dev. Plan**

*Refer to 7/27/05
#50⁰⁰*

Dear Sheran,

Dekker/Perich/Sabatini, the agent for Office Depot, would like to request a deferral of the above referenced project. It is our understanding that the next Development Review Board meeting will be held on July 27, 2005. We request that our project be moved to that agenda.

If you have any questions please do not hesitate to call me at 761-9700.

Very truly yours,

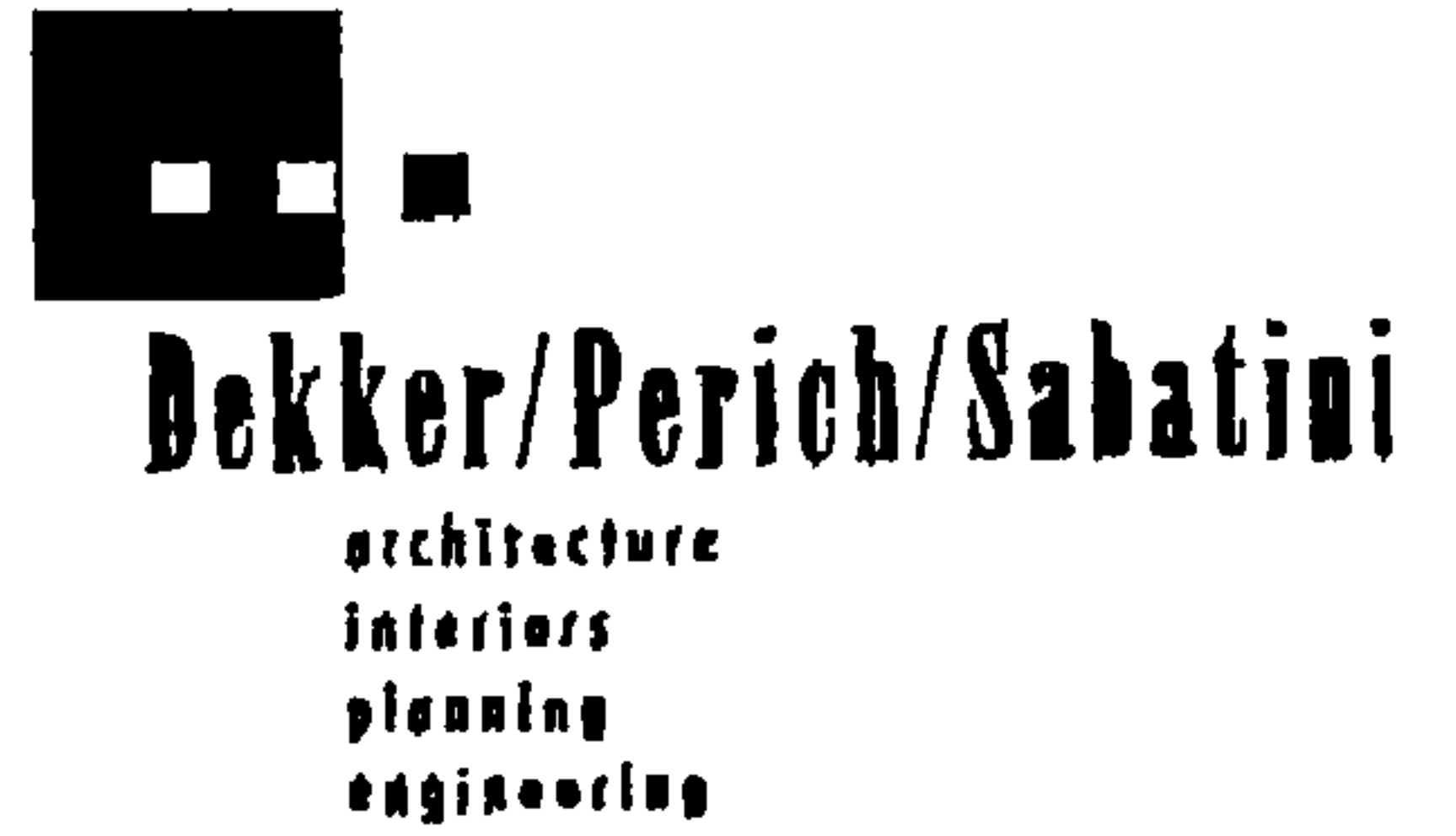
Dekker/Perich/Sabatini Ltd.

**Ann Marie Christian, AIA
Associate**

Cc: File

July 12, 2005

Sheran Matson
City of Albuquerque
Development Review Board



Re: *Office Depot*
Project #1001946
05DRB-01047 Minor-Site Dev. Plan

\$5000

Dear Sheran,

Dekker/Perich/Sabatini, the agent for Office Depot, would like to request a deferral of the above referenced project. It is our understanding that the next Development Review Board meeting will be held on July 20, 2005. We request that our project be moved to that agenda.

If you have any questions please do not hesitate to call me at 761-9700.

Very truly yours,

Dekker/Perich/Sabatini Ltd.

Ann Marie Christian, AIA
Associate

Cc: File



Improving Home Improvement®

REAL ESTATE DEPARTMENT

Box 1111, North Wilkesboro, NC 28656
(Street Address) – Highway 268 East, North Wilkesboro, NC 28659
E-Mail: neal.c.hamilton@lowes.com

Phone: 336/658-3357
Fax: 336/658-3643

VIA ELECTRONIC MAIL

June 16, 2005

City of Albuquerque
Development Review Board
600 2nd Street NW
Albuquerque, NM 87102

**Re: Letter of Authorization
Office Depot
Amended Site Development Plan for Building Permit**

To whom it may concern,

This letter shall serve as authorization to allow Dekker/Perich/Sabatini to serve as agent to the Owner and submit an Amended Site Development Plan for a proposed Office Depot. The current property Owner is Lowe's Home Centers, Inc.

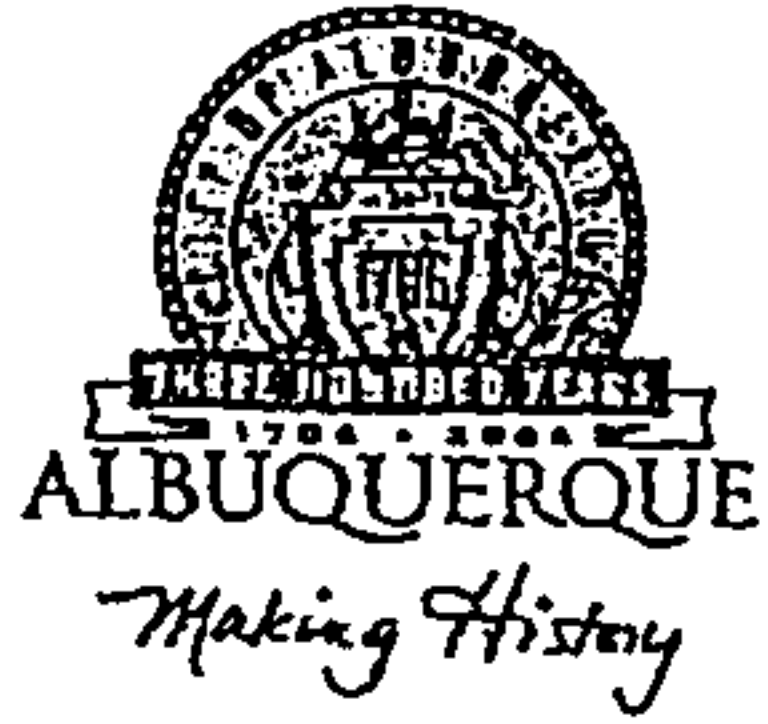
If you have further questions regarding this matter, please don't hesitate to contact me at 336/658-3357.

Sincerely,

LOWE'S HOME CENTERS, INC

A handwritten signature in black ink, appearing to read "Neal C. Hamilton", is written over the printed name and title.

Neal C. Hamilton
Manager - Property Management / Excess Property



DEVELOPER INQUIRY SHEET

(To be completed prior to application submittal)

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second St. NW, Fax – (505) 924-3913 - will need the following information **BEFORE** neighborhood association information will be released to the applicant/developer on any project being presented to the Planning Department. If you have any questions, please feel free to contact our office at (505) 924-3914. Your request is for the following:
Cell Tower []; Private Development []; City Project []; -OR- Other []

CONTACT NAME: JOHN WIMMER
COMPANY NAME: ARCHITECTURAL DESIGN GUILD
ADDRESS/ZIP: 2710 GUTTON BLVD, ST. LOUIS, MO. 63143
PHONE: 314.644.1234 FAX: 314.644.4373

NEIGHBORHOOD ASSOCIATION INFORMATION

PLEASE FORWARD INFORMATION ON ANY NEIGHBORHOOD ASSOCIATIONS IN THE

AREA OF THE PROPERTY DESCRIBED AS:

Tract A-1-D, as described on the Plat of Tracts A-1-A, A-1-B, A-1-C, A-1-D & A-1-E, Los Angeles Center, filed of record January 24, 2005 in Book 2005C, Page 25, Official Records of Bernalillo County, New Mexico

LOCATED ON

LEGAL DESCRIPTION

PASEO DEL NORTE, "LOS ANGELES CENTER" SHOPPING PLAZA
STREET NAME OR OTHER IDENTIFYING LANDMARK

BETWEEN

INTERSTATE HIGHWAY 25

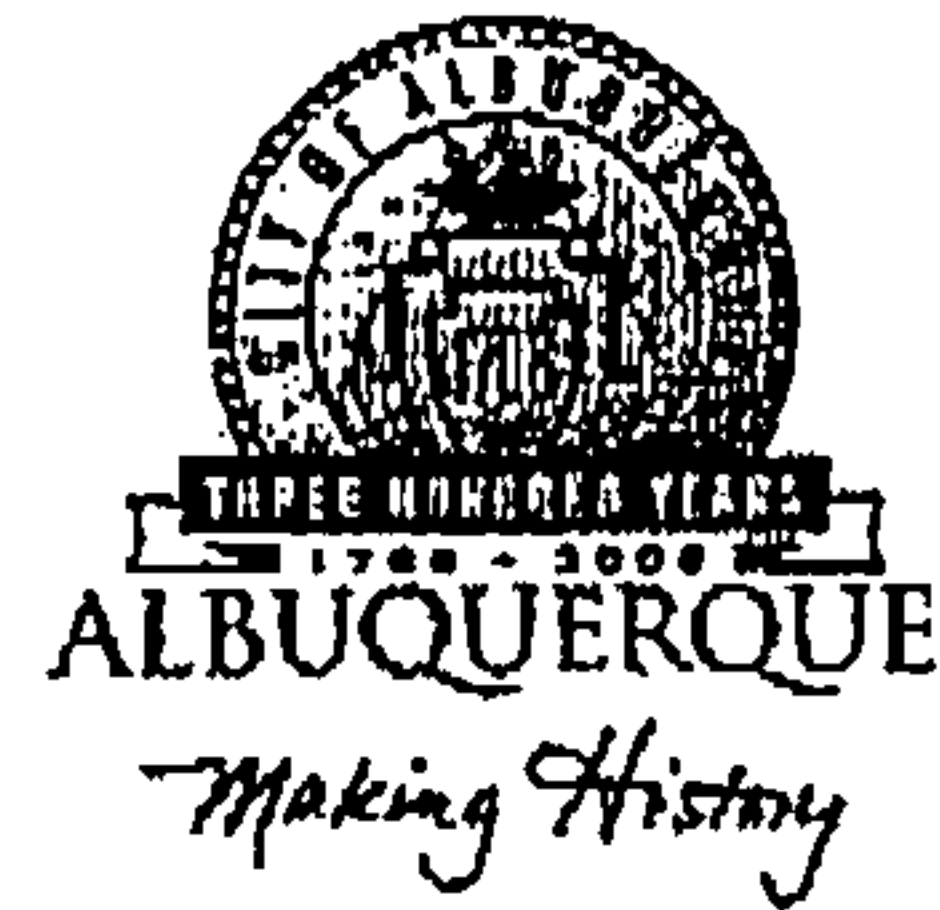
STREET NAME OR OTHER IDENTIFYING LANDMARK

AND

SAN PEDRO DRIVE

STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS INDICATED ON THE FOLLOWING ZONE ATLAS PAGE (D-18).
(PLEASE MARK/HATCH ZONE MAP WHERE PROPERTY IS LOCATED)
(Zone Map **MUST** be provided with request)



City of Albuquerque
P.O. Box 1293, Albuquerque, NM 87103

PLEASE NOTE: The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter - you will need to get an updated letter from our office. It is your responsibility to provide current information - outdated information may result in a deferral of your case.

June 1, 2005

John Wimmer
Architectural Design Guild
2216 Sutton Blvd.
St. Louis, MO 63143
Phone: (314) 644-1234/Fax: (314) 644-4373

Dear John:

Thank you for your inquiry of June 1, 2005 requesting the names of Recognized Neighborhood Associations who would be affected under the provisions of O-92 by your proposed project at **TRACT A-1-D, AS DESCRIBED ON THE PLAT OF TRACTS A-1-A, A-1-B, A-1-C, A-1-D & A-1-E, LOS ANGELES CENTER** zone map **D-18**.

Our records indicate that the Recognized Neighborhood Association(s) affected by this proposal and the contact names are as follows:

SEE "ATTACHMENT A" FOR NEIGHBORHOOD INFORMATION.

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT!** Failure of adequate notification may result in your **Application Hearing being deferred for 30 days**. If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani I. Winklepleck
Neighborhood Program Coordinator
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

planningrnaform(10/08/04)

"Attachment A"

Date of Request: June 1, 2005
Name: John Wimmer, Architectural Design Guild
Address/Zip: 2216 Sutton Blvd., St. Louis, MO 63143
Phone: (314) 644-1234/Fax: (314) 644-4373
Zone Map: D-18

JADE PARK N.A. (JPK) "R"

***Karen Casaus**

6708 San Bernardino NE/87109 822-1493 (h)

John Stutzman

6800 Jade Park NE/87109 796-0593 (h)

ALTHOUGH YOU ARE NOT "OFFICIALLY REQUIRED" BY
O-92, you are most welcomed to notify the following "*Unrecognized*"
neighborhood associations of this project.

LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NEIGHBORHOOD ASSOCIATION.

NOTICE TO APPLICANTS

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.>").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
5. The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

(below this line for ONC use only)

Date of Inquiry: 06/01/05 Time Entered: 2:50 p.m. ONC Rep. Initials: SW

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

MRS. KAREN CASALS
 6708 SAN BERNARDINO
 N.E.
 ALBUQUERQUE, NM
 87109

2. Article Number
(Transfer from service lab)

7004 2510 0006 0493 3569

COMPLETE THIS SECTION ON DELIVERY

Signature

X *[Signature]*

- Agent
- Addressee

B. Received by (Printed Name)

C. Date of Delivery

6/2/05

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

3. Service Type

- Certified Mail
- Registered
- Insured Mail
- Express Mail
- Return Receipt for Merchandise
- C.O.D.

4. Restricted Delivery? (Extra Fee) Yes

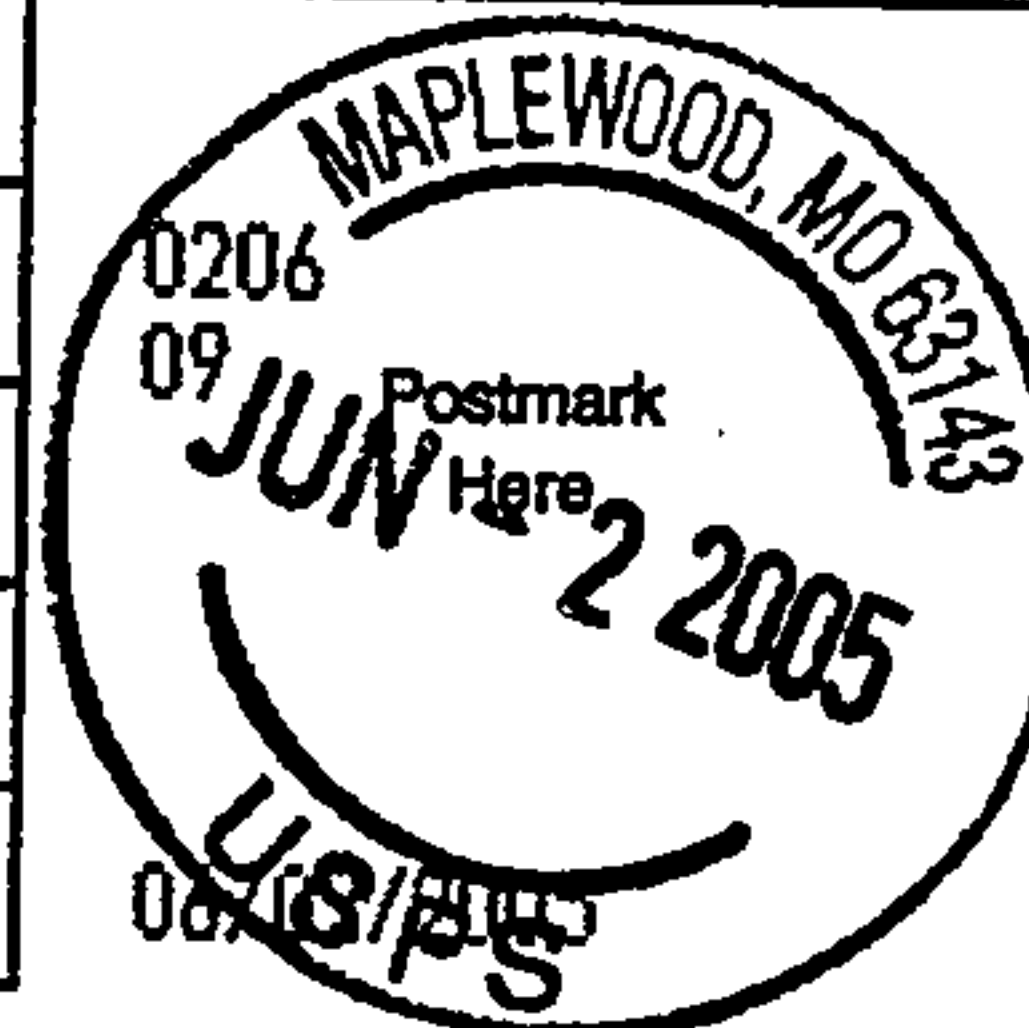
U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
 (Domestic Mail Only; No Insurance Coverage Provided)

For delivery information visit our website at www.usps.com

OFFICIAL USE

ALBUQUERQUE NM 87109

Postage	\$ 0.60
Certified Fee	\$ 2.30
Return Receipt Fee (Endorsement Required)	\$ 1.75
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
Total Postage & Fees	\$ 4.65



Sent To: **MR. JOHN STUTZMAN**
 Street, Apt. No., or PO Box No.: **6800 JADE PARK N.E.**
 City, State, ZIP+4: **ALBUQUERQUE, NM 87109**

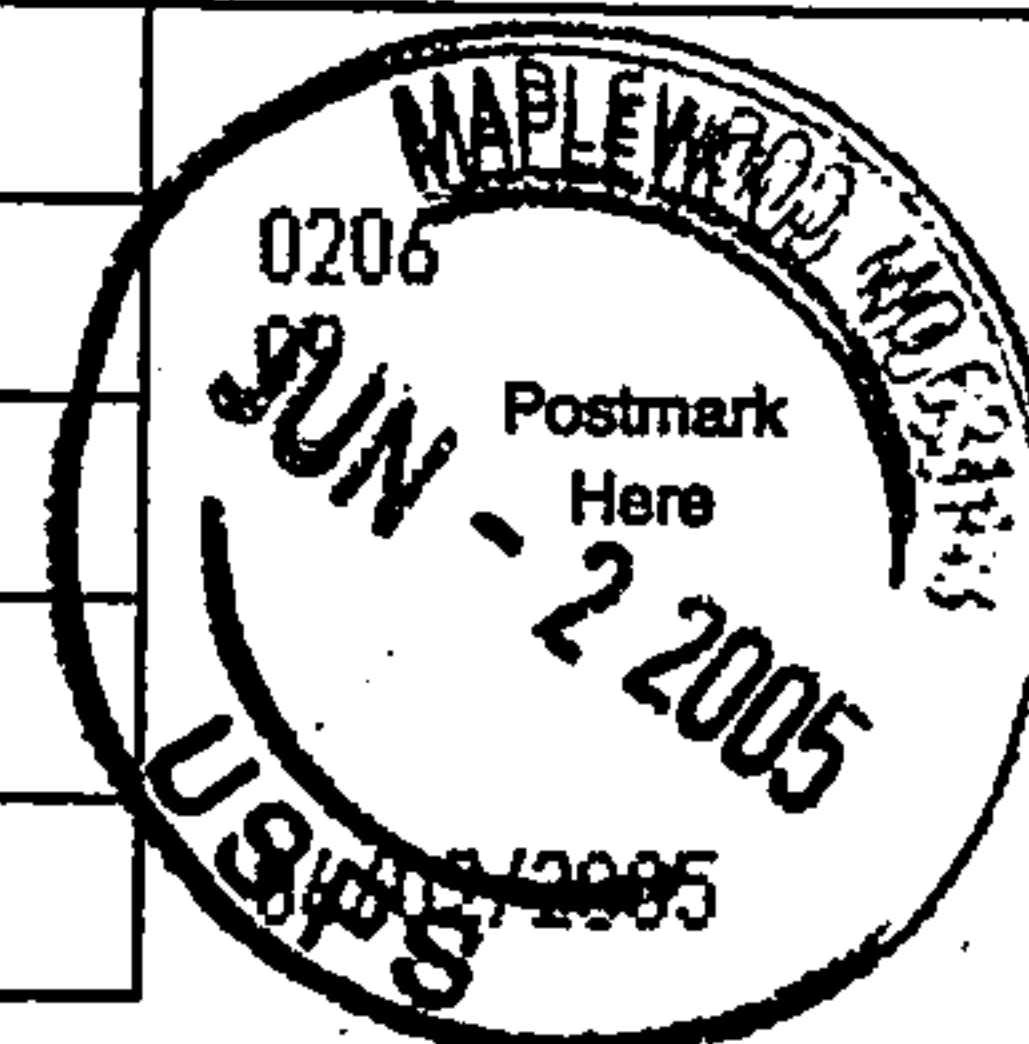
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For delivery information visit our website at www.usps.com

OFFICIAL USE

ALBUQUERQUE NM 87109

Postage	\$ 0.60
Certified Fee	\$ 2.30
Return Receipt Fee (Endorsement Required)	\$ 1.75
Restricted Delivery Fee (Endorsement Required)	\$ 0.00
Total Postage & Fees	\$ 4.65



Sent To: **MRS. KAREN CASALS**
 Street, Apt. No., or PO Box No.: **6708 SAN BERNARDINO N.E.**
 City, State, ZIP+4: **ALBUQUERQUE, NM 87109**

7004 0750 0000 0992 4355

7004 2510 0006 0493 3569



ARCHITECTURAL DESIGN GUILD

2710 SUTTON AVENUE SAINT LOUIS, MISSOURI 63143 (314) 644-1234 (314)644-4373FAX

June 2, 2005

John Stutzman
6800 Jade Park NE
Albuquerque, NM 87109
(505) 769-0593

Re: Proposed new Office Depot
Los Angeles Center Shopping Plaza
Albuquerque, NM

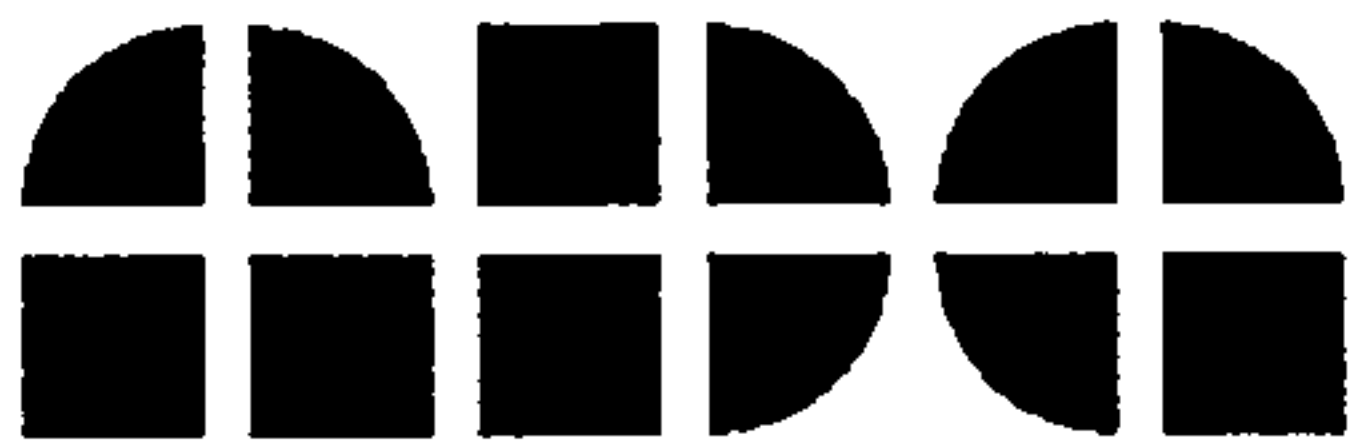
Mr. Stutzman,

I am required by the city of Albuquerque Office of Neighborhood Coordination to notify you of the intent of our client, Office Depot, to build a new office supply retail store at the Los Angeles Center shopping plaza. The Los Angeles Center plaza is located on Paseo Del Norte between Interstate 25 and San Pedro Drive. The developer of the plaza, Grubb and Ellis, has already constructed a Lowe's store and a Target store and is in process of completing a Walgreen's store at the NE corner of Paseo Del Norte and San Pedro Drive. As can be seen on the site map accompanying this letter, the proposed Office Depot store is located entirely within the boundary of the shopping plaza, and sits to the south of the Walgreen's store. The front of the store will face Paseo Del Norte, and the entry drive to the parking lot has already been constructed.

In addition to the site map, I've included some architectural renderings of the exterior of the Office Depot store. If you have any questions concerning this notification letter or the intent of Office Depot with respect to the Jade Park Neighborhood Association (JPK), please feel free to call (800) 208-3136.

Thank you,

John Wimmer, ADG



ARCHITECTURAL DESIGN GUILD

2710 SUTTON AVENUE SAINT LOUIS, MISSOURI 63143 (314) 644-1234 (314)644-4373FAX

June 2, 2005

Karen Casaus

6708 San Bernardino NE
Albuquerque, NM 87109
(505) 822-1493

Re: Proposed new Office Depot
Los Angeles Center Shopping Plaza
Albuquerque, NM

Mrs. Casaus,

I am required by the city of Albuquerque Office of Neighborhood Coordination to notify you of the intent or our client, Office Depot, to build a new office supply retail store at the Los Angeles Center shopping plaza. The Los Angeles Center plaza is located on Paseo Del Norte between Interstate 25 and San Pedro Drive. The developer of the plaza, Grubb and Ellis, has already constructed a Lowe's store and a Target store and is in process of completing a Walgreen's store at the NE corner of Paseo Del Norte and San Pedro Drive. As can be seen on the site map accompanying this letter, the proposed Office Depot store is located entirely within the boundary of the shopping plaza, and sits to the south of the Walgreen's store. The front of the store will face Paseo Del Norte, and the entry drive to the parking lot has already been constructed.

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Thank you,

John Wimmer, ADG

PROPOSED BY
PYLON SIGN BY
TERRANT

TRACT A-1-C
1.8 ACRES

FUTURE
WALGREENS

DRIVE N.E.

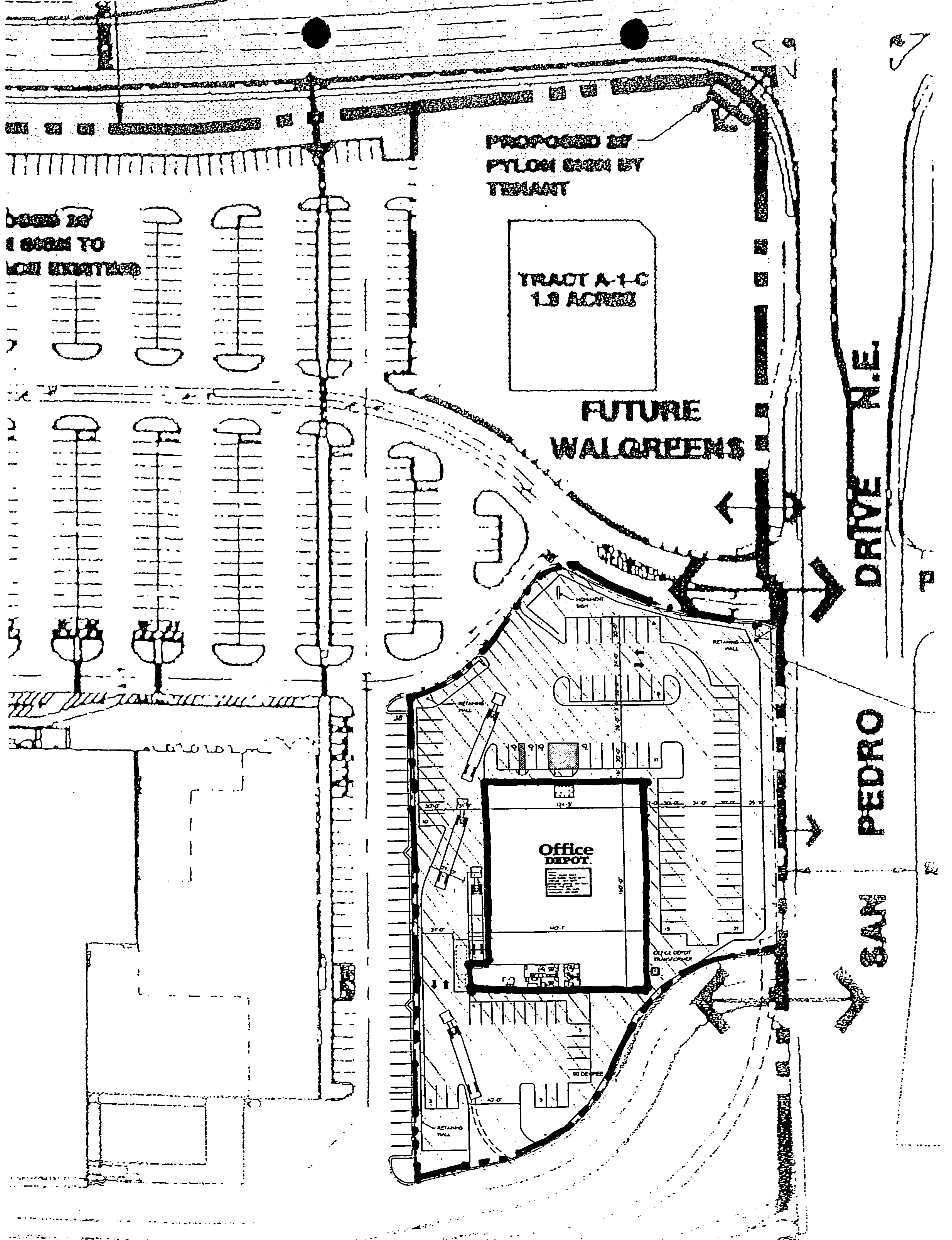
PEDRO

SAN

Office
DEPOT.

OFFICE DEPOT
TRANSFORMER

DOES NOT
BEGIN TO
LOW HEIGHTS



CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY IMPACT ASSESSMENT (AQIA) FORM

APPLICANT: OFFICE DEPOT DATE OF REQUEST: 6/16/05 ZONE ATLAS PAGE(S): D-18-E

CURRENT:

ZONING M-1

PARCEL SIZE (AC/SQ. FT.) 2.24 ACRES

LEGAL DESCRIPTION:

LOT OR TRACT # TRACT A-1-D BLOCK # _____

SUBDIVISION NAME LOS ANGELES CENTER

REQUESTED CITY ACTION(S):

- | | | | |
|----------------|---------------------|-------------------------|---------------------|
| ANNEXATION [] | SECTOR PLAN [] | SITE DEVELOPMENT PLAN: | |
| COMP. PLAN [] | ZONE CHANGE [] | A) SUBDIVISION [] | BUILDING PERMIT [X] |
| AMENDMENT [] | CONDITIONAL USE [] | B) BUILD'G PURPOSES [] | ACCESS PERMIT [] |
| | | C) AMENDMENT [X] | OTHER [] |

PROPOSED DEVELOPMENT:

- NO CONSTRUCTION/DEVELOPMENT []
- NEW CONSTRUCTION [X]
- EXPANSION OF EXISTING DEVELOPMENT []

GENERAL DESCRIPTION OF ACTION: 1

OF UNITS: -0-
BUILDING SIZE: 20,280 (sq. ft.)

NOTES: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

APPLICANT OR REPRESENTATIVE Sally Sacco DATE 6/17/05
(TO BE SIGNED UPON COMPLETION OF PROCESSING BY TRAFFIC ENGINEER AND ENVIRONMENTAL HEALTH)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2ND St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [X] NO [] BORDERLINE []

THRESHOLDS MET? YES [X] NO [] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: [X]

Notes: LOWES / TRACT @ LOS ANGELES CENTER

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

[Signature]
TRAFFIC ENGINEER

6-17-05
DATE

AIR QUALITY IMPACT ANALYSIS (AQIA) MAY BE REQUIRED:

Section 14-16-3-14 of the COA Comprehensive Zoning Code contains threshold requirements for air quality studies. Criteria and thresholds contained in the Zoning Code specify which land use or plan actions will require preparation of an AQIA. Please refer to this section in order to determine if your proposal merits study for air quality impacts. No AQIA is required, if an associated TIS shows intersections functioning at Level of Service (LOS) C or better or if a TIS is not required by the City.

If an AQIA is required: a scoping meeting must be held to define the level of analysis needed and the parameters of the study. Contact an Air Quality Planner at 768-2660 to insure that input is received from the Air Quality Division during the scoping of the companion TIS. **Any subsequent changes to the development proposal identified above may require an update or new AQIA.**

Required TIS and/or AQIA **must be completed prior to applying to the EPC.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED 6/5/05
-FINALIZED 1/1/

[Signature]
TRAFFIC ENGINEER

6-20-05
DATE

REPRESENTATION ONLY - NOT FOR CONSTRUCTION

BUILDING AND SITE IMAGES ARE A REPRESENTATION OF THE DESIGN INTENT ONLY, AND NOT DOCUMENTATION OF THE FINAL DESIGN. SUBJECT MATTER HEREIN IS NEITHER FOR PERMITTING OR CONSTRUCTION.

1 MONTELY MAP (ZONE ATLAS PAGE D-18) 1/8" SCALE

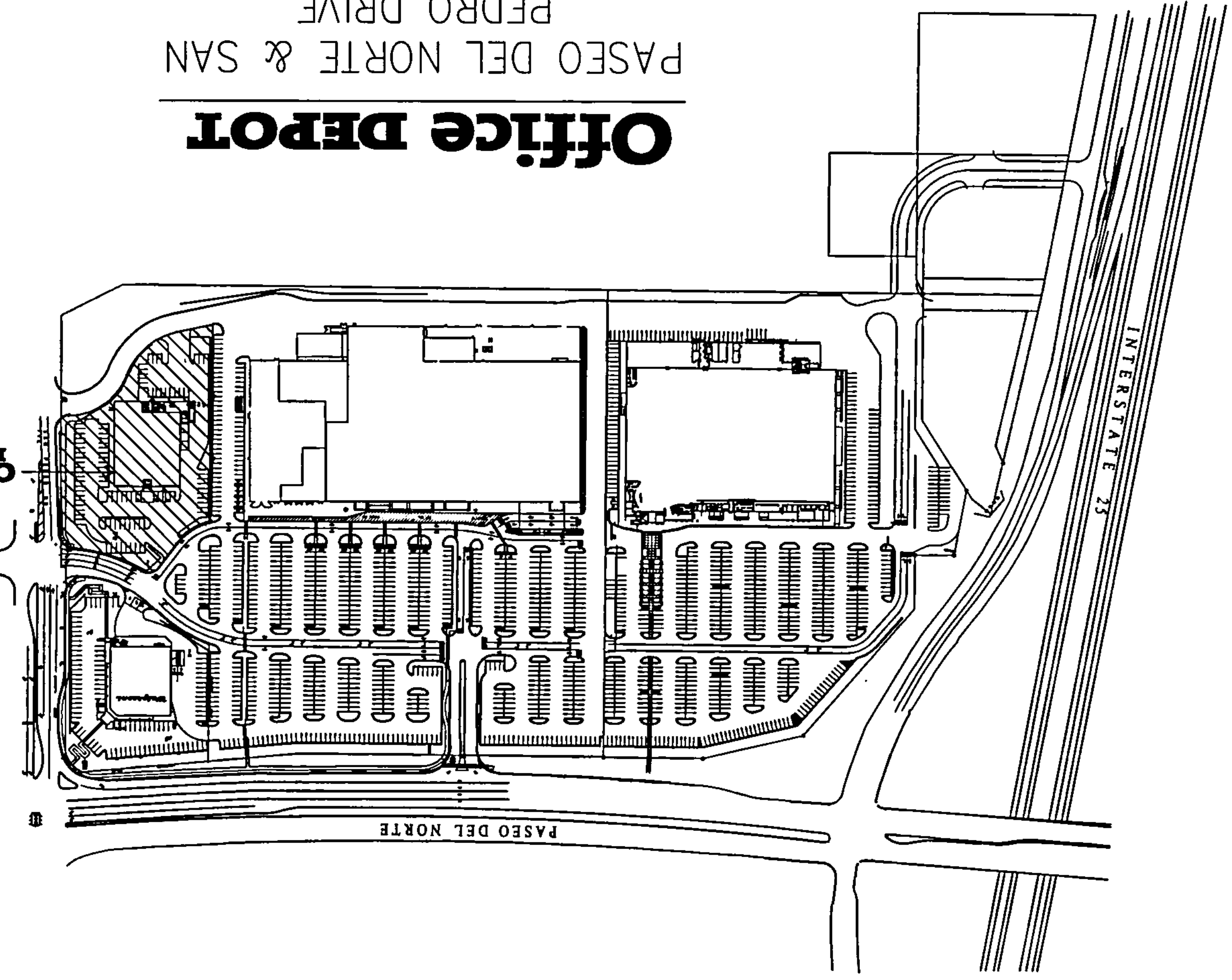
Office Depot

PASEO DEL NORTE & SAN PEDRO DRIVE

ALBUQUERQUE, NM

TITLE SHEET
 SITE PLAN
 CIVIL & LANDSCAPING
 GRADING PLAN
 LANDSCAPING PLAN
 CONCEPTUAL UTILITIES PLAN
 ARCHITECTURAL
 EXTERIOR BUILDING ELEVATIONS

DRAWING INDEX



SITE DIAGRAM NOTES

1. THE PLAN INDICATES EXISTING PLANS AND ALSO HAVE SHOWN IN REDUCED SCALE. THE PLAN SHOWS PER SITEPLAN ONLY.
2. THE LEGAL BOUNDARIES OF THE LOT'S PLAN (SHOWN IN 1/8" = 1'-0" SCALE) ARE SHOWN BY THE DASHED LINE. THE EXISTING BOUNDARIES OF THE LOT'S PLAN (SHOWN IN 1/8" = 1'-0" SCALE) ARE SHOWN BY THE SOLID LINE. THE EXISTING BOUNDARIES OF THE LOT'S PLAN (SHOWN IN 1/8" = 1'-0" SCALE) ARE SHOWN BY THE DASHED LINE.
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 FAX: 351-428-1178

TITLE SHEET

OFFICE DEPOT
 LOS ANGELES CENTER
 ALBUQUERQUE, NM

DATE	JOB NUMBER	SCALE	REVISION
06.17.05	#04145	25-114	XXX
DESIGNED BY	CHECKED BY	DATE	SCALE
XXX	XXX	20.280	XXX

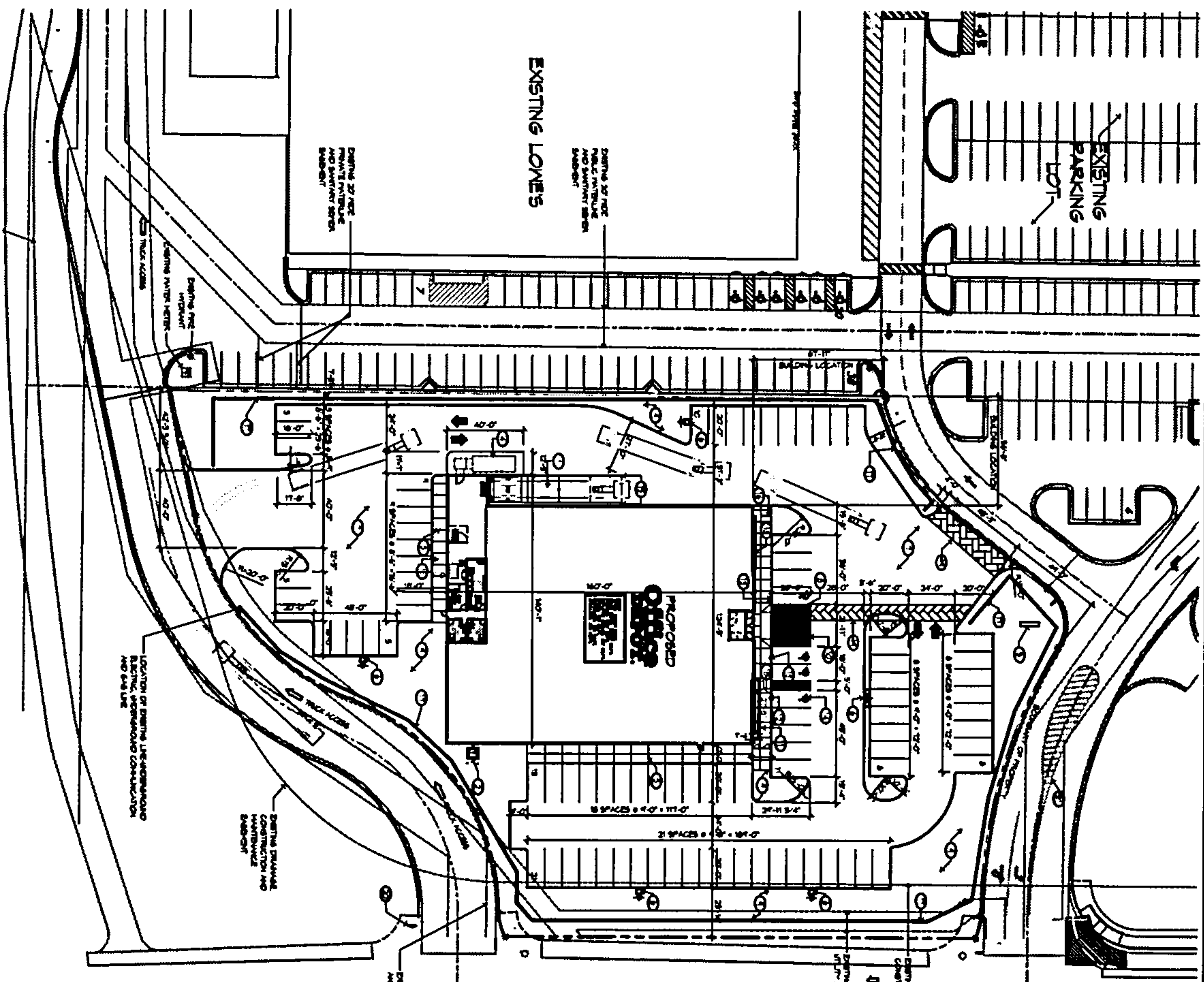
T1

IN CONSULTATION WITH:
 ARCHITECTURAL DESIGN GUILD:

2719 ALSTON BLVD
 ST. LOUIS, MO 63104
 PH: 314.844.1234
 FAX: 314.844.4373

BARRY JAY GREENBERG ARCHITECT

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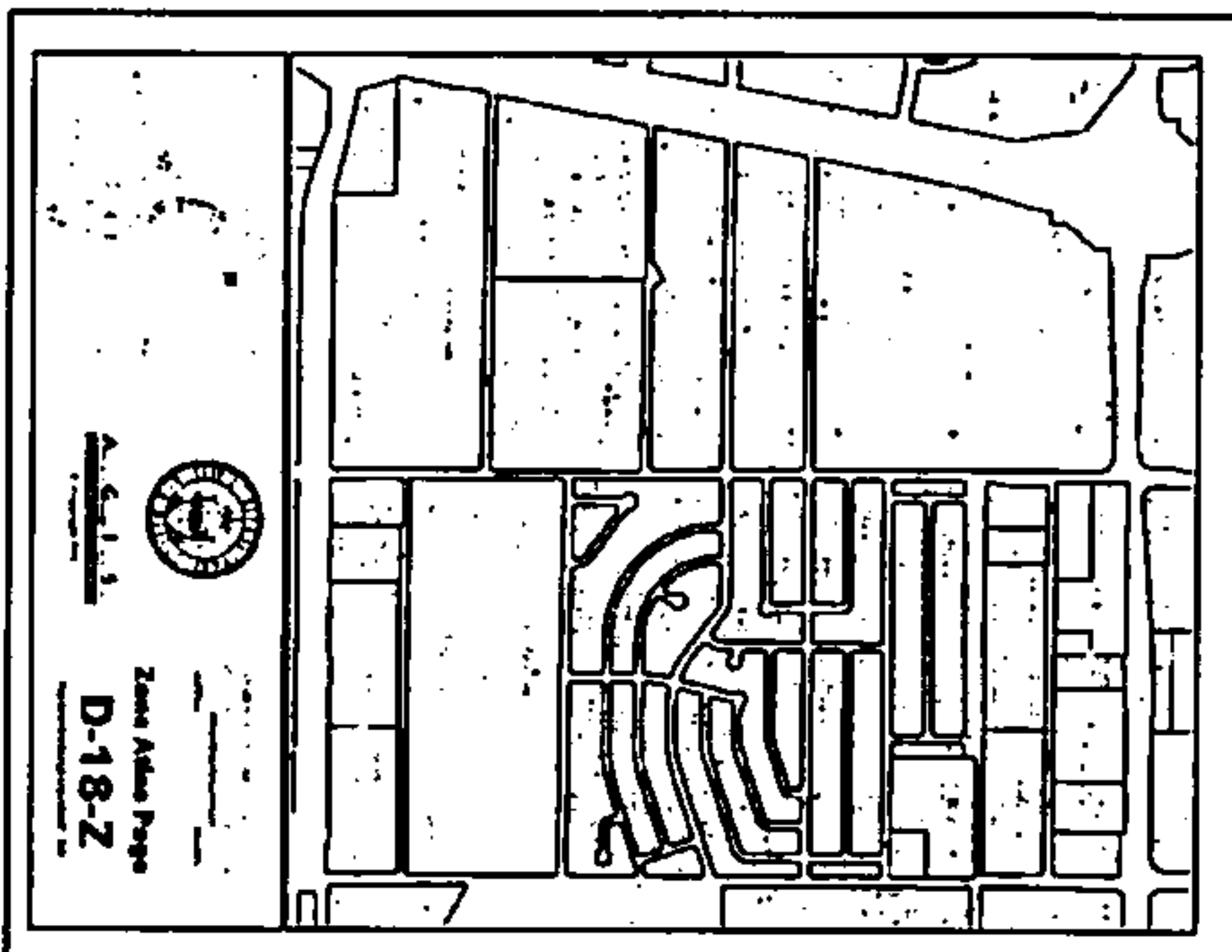
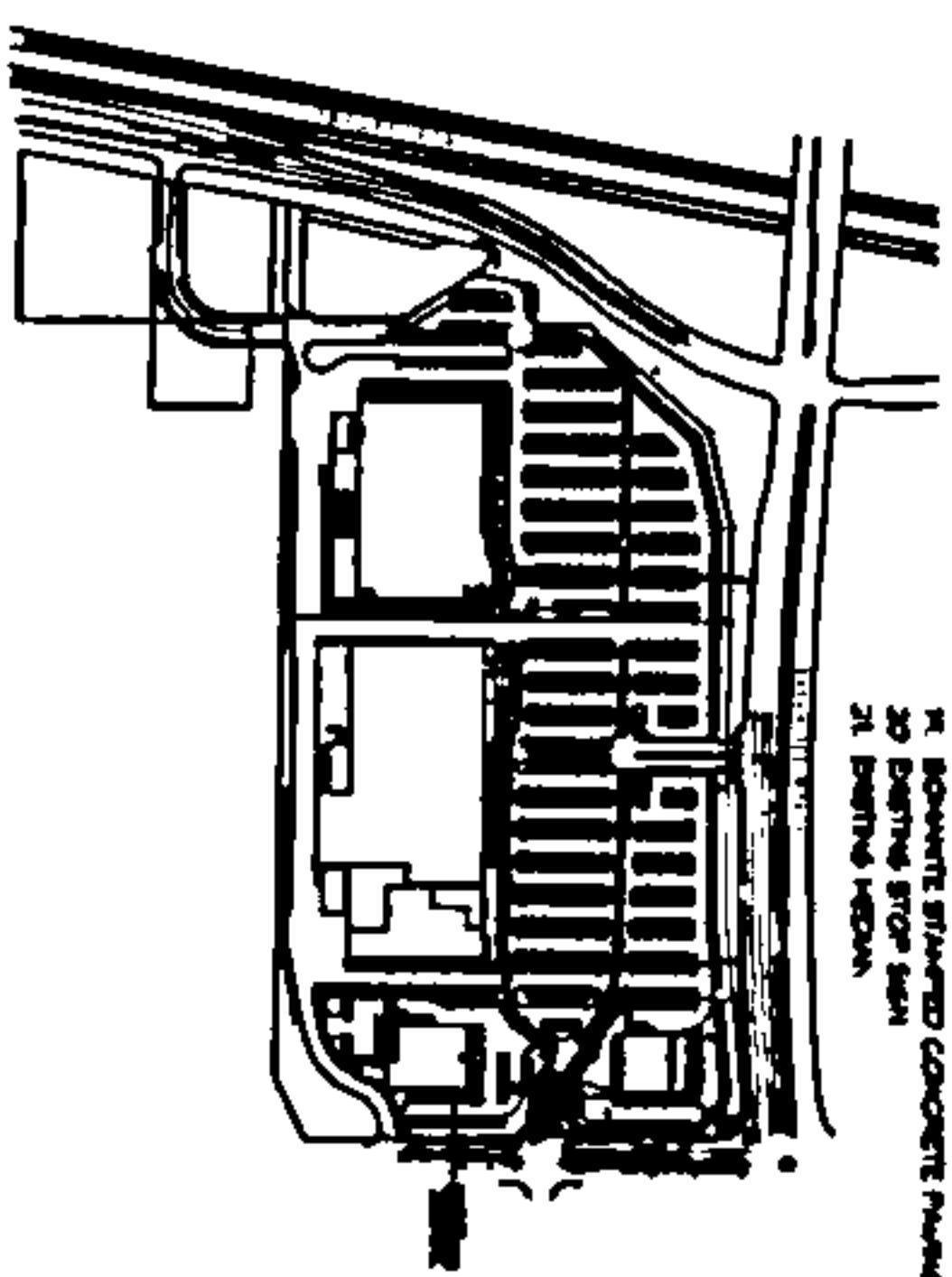


SITE PLAN



SAN PEDRO DRIVE

VICINITY MAP



SITE DATA

LOCAL JURISDICTION: LOS ANGELES COUNTY TRACT 1410
 TOTAL LOT AREA: 23 ACRES
 CURRENT ZONING: M-1

PARKING DATA

PROPOSED PARKING SPACES: 200
 REQUIRED PARKING SPACES: 200
 EXISTING PARKING SPACES: 0

- GENERAL NOTES**
1. ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE TO FACE.
 2. PROPOSED LOT TO BE LOCATED BY MEASURING PERPENDICULAR TO THE ADJACENT EXISTING CURB LINE.
 3. EXISTING LOT TO BE LOCATED BY MEASURING PERPENDICULAR TO THE ADJACENT EXISTING CURB LINE.
 4. ALL DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
 5. ALL DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
 6. ALL DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
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 16. ALL DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
 17. ALL DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
 18. ALL DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
 19. ALL DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.
 20. ALL DIMENSIONS TO FACE UNLESS OTHERWISE SPECIFIED.

OFFICE DEPOT
 Taking Care of Tomorrow

7901 SAN PEDRO BLVD
 ALBUQUERQUE, NM 87109

DATE: 06.17.05
 DRAWN BY: [Name]
 CHECKED BY: [Name]

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C1



BARRY JAY GREENBERG ARCHITECT

2740 SUTTON BLVD
ST. LOUIS, MO 63143
PH: 314.644.1234
FAX: 314.644.4373

IN CONSULTATION WITH
ARCHITECTURAL DESIGN GUILD:

GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE. CITY OF ALBUQUERQUE PUBLIC WORKS STANDARD SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER MANAGEMENT.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION SUPERVISOR OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMAL AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT THE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INTERFERENCES CAUSED BY UTILITY COMPANY WORK ORDERS. THE CONTRACTOR MAY BE REQUIRED TO RELOCATE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION SUPERVISOR.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERSIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIALS WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (E.G., BARRICADE, TRIPOD, OBSTRUCTION, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND STAGING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK OR BE ADJACENT TO EXISTING STREETS.
12. ALL OBSTRUCTIONS AND CONSTRUCTION BEING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND STAGING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PRELIMINARY INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COSA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL, UNLESS SHOWN OTHERWISE.
5. IF IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTION TEMPORARY BARRIERS OR SILT FENCE AT THE PROPERTY LINES AND NETTING THE SOIL TO PREVENT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNDESIRABLE MATERIAL, AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE ENGINEER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND FILL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PARKING AND ROADSIDE GRASSES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAVEMENT SHALL BE +/- 0.05' FROM BARE EARTH PLAN ELEVATIONS.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PRELIMINARY ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR SETBACKS AND SLOPES.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL, SEASON PRIOR TO BEGINNING CONSTRUCTION.

LEGEND

	PROPERTY LINE		PROPOSED INDEX CONTOURS
	EXISTING CONTOURS		PROPOSED INDEX CONTOURS
	EXISTING GRADE SPOT ELEVATION		PROPOSED CLIMB & RUTTER
	EXISTING ELECTRICAL POLE		EASEMENT
	PROPOSED SPOT ELEVATION		EXISTING TREE
	TO-TOP OF CURB, FINISH LINE		PROPOSED LIGHTING
	TO-TOP OF WALL, FINISH TOP OF WALL		PROPOSED STORM DRAIN LINE
	EXISTING, TO-TOP OF CURB		PROPOSED STORM DRAIN MANHOLE
	PROPOSED DIRECTION OF FLOW		PROPOSED STORM DRAIN INLET
	WATER BLOCK		EXISTING STORM DRAIN MANHOLE
	PROPOSED RETAINING WALL		

Bohannon & Huston
Chartered | 7900 Jefferson Bl. NE Albuquerque, NM 87109-4326
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

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Dunwoody, GA 30346
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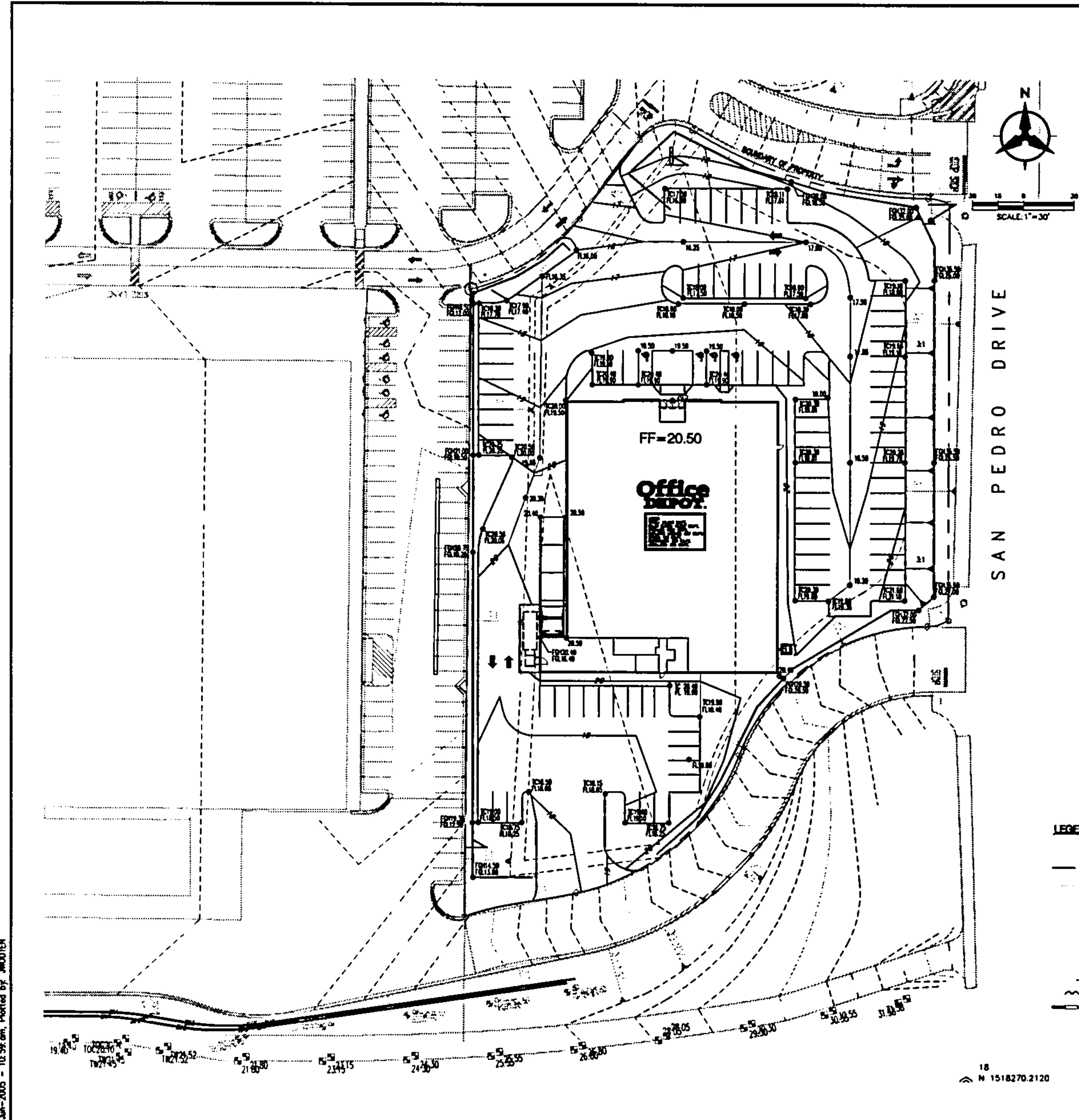
GRADING & DRAINAGE PLAN

OFFICE DEPOT
7901 SAN PEDRO DRIVE NE
ALBUQUERQUE, NM 87109

DATE	BY	JOB NUMBER	DESIGNED BY
11/11/05	BOHANNAN	25-114	BOHANNAN
		20,280	

C2

ALL ELECTRICAL AND CONSTRUCTION DRAWINGS ARE TO BE CONSIDERED AS SUPPLEMENTARY TO THE ARCHITECT'S WORK. ALL CONFLICTS AND DISCREPANCIES SHALL BE RESOLVED BY THE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION.



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Thu, 11-Jan-2005 - 10:59 am, Plotted by: JMO/DTN

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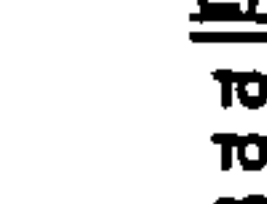


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THE HILLTOP LANDSCAPE ARCHITECTURE
 7900 EARTH N.E.
 ALBUQUERQUE, NM 87184
 TEL: (505) 896-9990
 FAX: (505) 896-7737

IN CONSULTATION WITH
 ARCHITECTURAL DESIGN GUILD

PLANT LEGEND

-  **ASH (M) OR HONEY LOCUST (M) 17**
Fraxinus pennsylvanica
Gleditsia triacanthos
 2' Cal. 60' Tall, 60' Canopy
-  **ALBERTIAN PINE (M) 3**
Pinus nigra
 6"-8"
-  **FLOWERING PEAR (M+) 12**
Pyrus edulis
 2' Cal. 20-25' Tall, 10-15' Canopy
-  **APACHE PLUME (L) 27**
Fatsia pycnantha
 3' Cal. 25' Tall
-  **ROSEMARY (M) 83**
Salvia rosmarinifolia
 2' Cal. 5' Tall
-  **POTENTILLA (M) 41**
Potentilla fruticosa
 3' Cal.
-  **HALL'S HONEYBUCKLE (M) 87**
Lonicera Halliana
 7' Cal. 14' Tall
 Unfinished-Groundcover
-  **RED YUCCA (L) 47**
Yucca erythrorhiza
 3' Cal. 5' Tall
-  **CHAMISA (L) 24**
Chrysothamnus nauseosus
 1' Cal. 25' Tall
-  **MANDORANGE (M) 81**
Albizia julibrissin
 3' Cal. 10' Tall
-  **REDAL NEST (M) 35**
Chrysothamnus parryi
 3' Cal. 5' Tall
-  **YUCCALORANGE (M) 111**
Yucca elata
 7' Cal.
-  **GREYLEAF DOTHEANEASTER (M) 27**
Chrysothamnus leucostachyus
 3' Cal. 5' Tall
 Symbol indicates 3 plants
-  **COMMERCIAL GRADE
 STEEL EDGING**
-  **3/4" GRAY GRAVEL
 WITH FILTER FABRIC**

LANDSCAPE NOTES:
 Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply assumption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Grey Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
 Irrigation shall be a complete underground system with Trees to receive (8) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

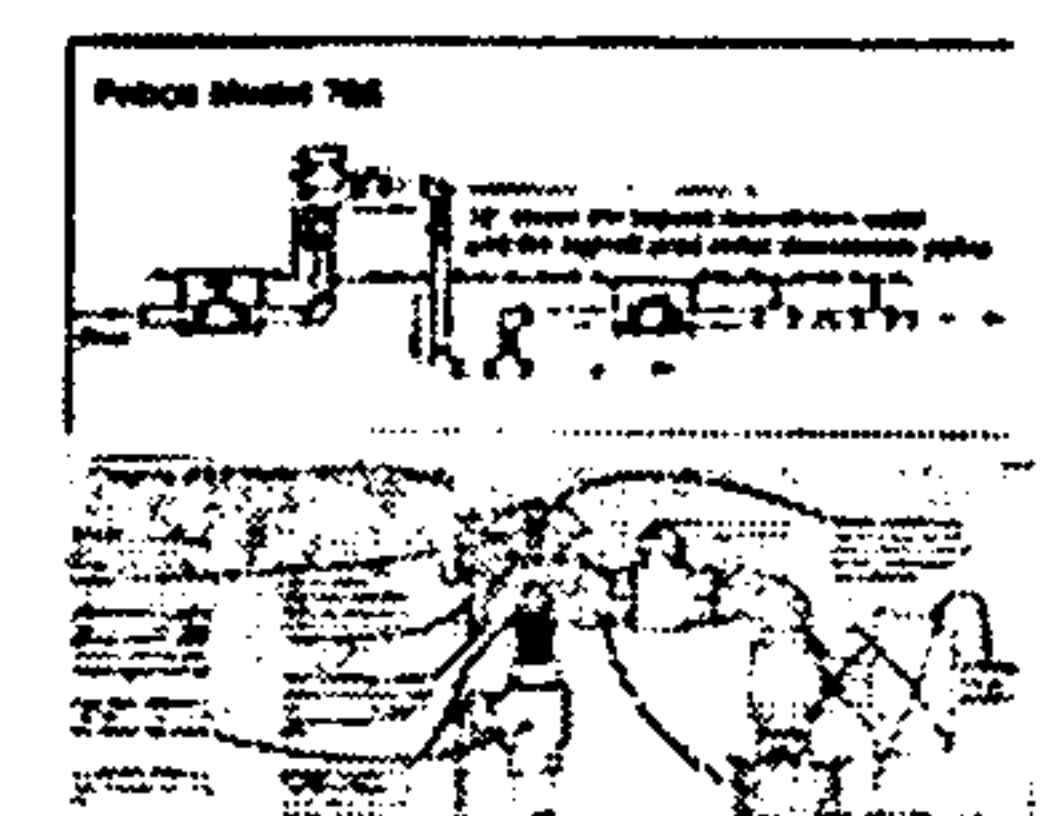
Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

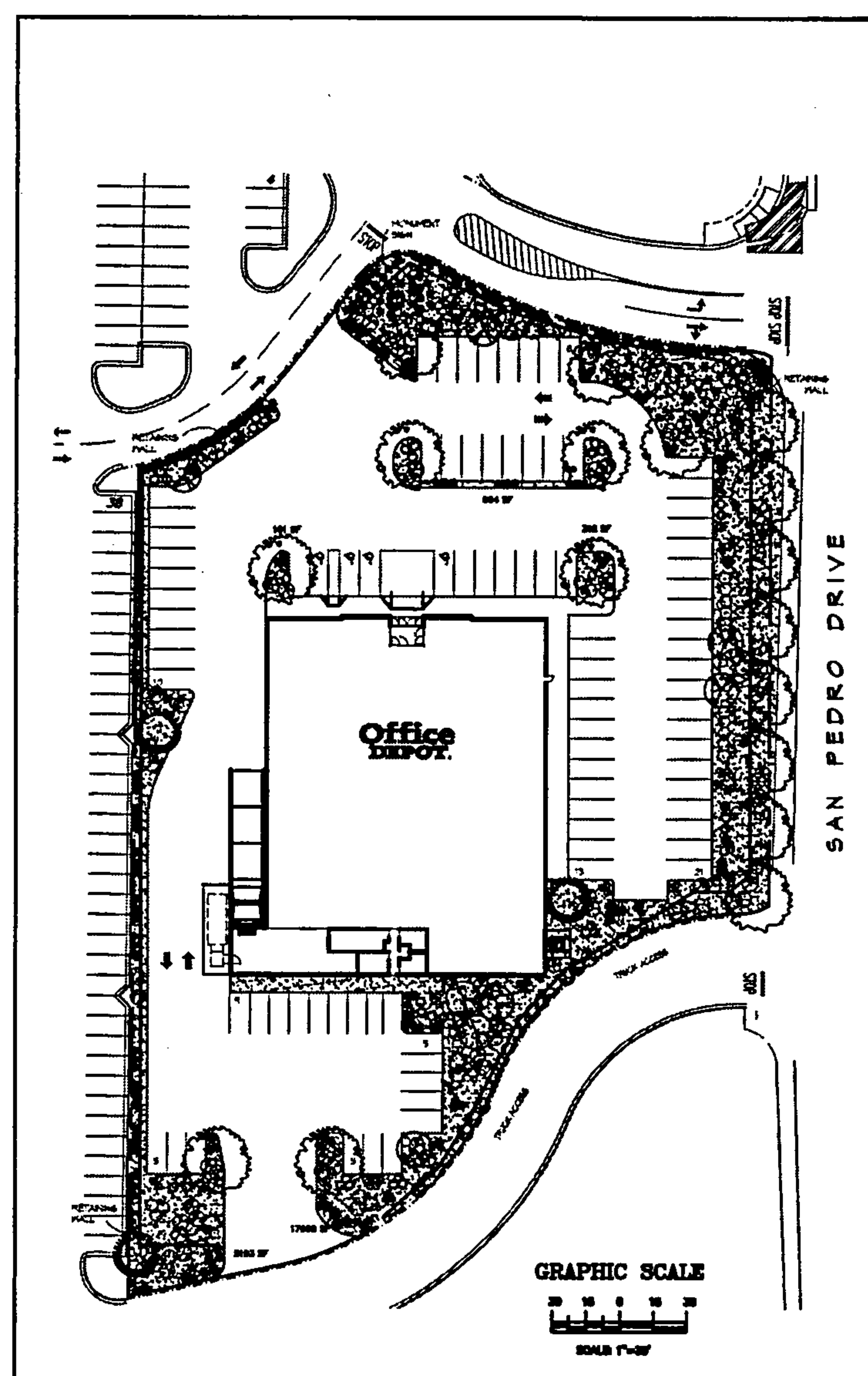
Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING PLAN.



BACKFLOW PREVENTOR DETAIL
 no scale



SAN PEDRO DRIVE



LANDSCAPE CALCULATIONS

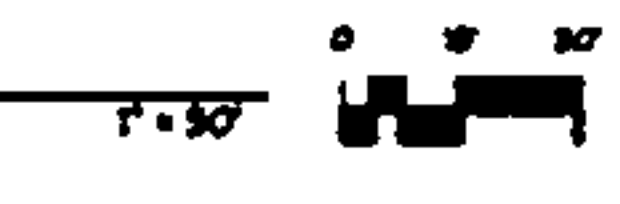
TOTAL LOT AREA	99078	square feet
TOTAL BUILDINGS AREA	20280	square feet
OFFSITE AREA	77796	square feet
NET LOT AREA	0	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	11859	square feet
TOTAL BED PROVIDED	27056	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	20292	square feet
TOTAL GROUNDCOVER PROVIDED	20328 (75%)	square feet
TOTAL LANDSCAPE PROVIDED	27056	square feet



The Hilltop
 LANDSCAPE ARCHITECTURE & CONSULTING
 Cont. Lic. #28468
 7900 EARTH N.E.
 ALBUQUERQUE, NM 87184
 Ph. (505) 896-9990
 Fax (505) 896-7737
 a@thehilltoplandscape.com



LANDSCAPE PLAN



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Taking Care of Business
 3000 Old Albuquerque Road
 Los Angeles, CA 90048
 TEL: 323-445-0200
 FAX: 323-445-4174

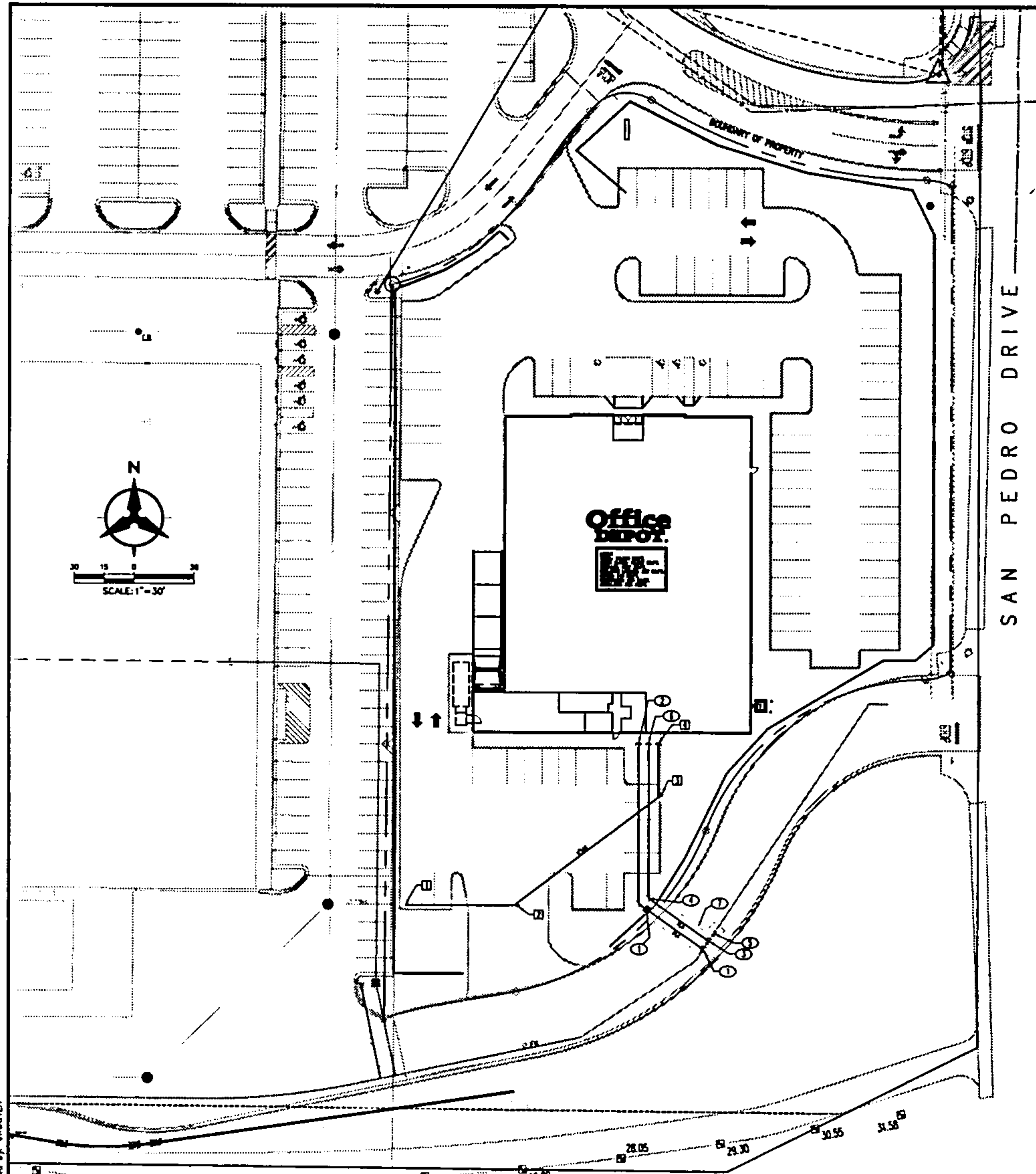
LANDSCAPE PLAN

OFFICE DEPOT- LOS ANGELES CENTER
 7901 SAN PEDRO NE
 ALBUQUERQUE, NM

DATE	ISSUE NO.	DESCRIPTION
06.17.05	#34145	25-114
		20,260

C3

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GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE. CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
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3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION DESIGNER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMAL AMOUNT OF DELAY.
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6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LINES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (E.G., BARRICADE, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS BOUNDARY DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SCHEDULING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE ADJACENT PROPERTY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT PROPERTY.
12. ALL BARRICADES AND CONSTRUCTION SCHEDULING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
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UTILITY NOTES

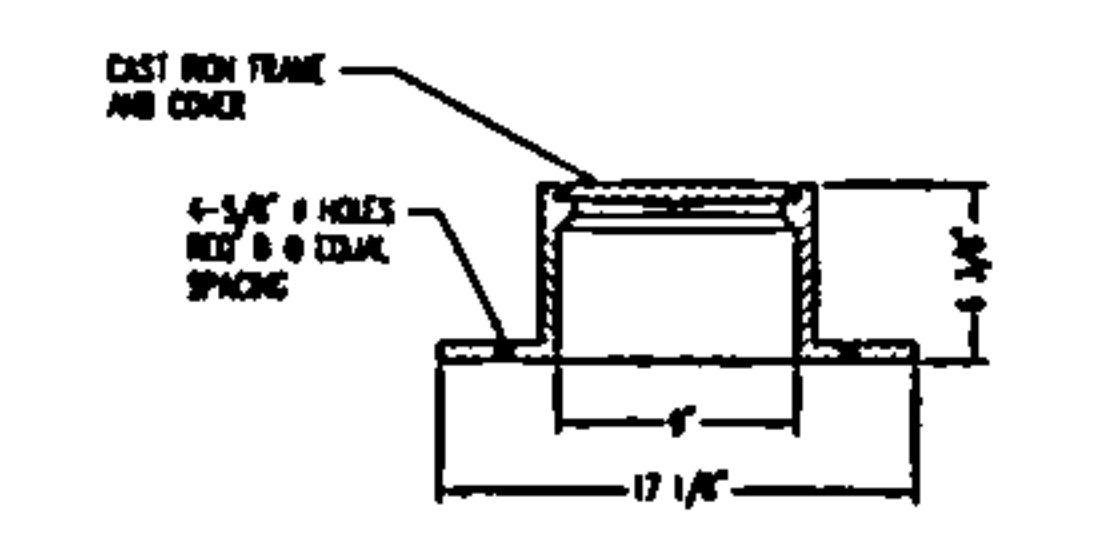
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: WEDGING, BRACKET, SUPPORTS, CLEANOUT PIPES, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND SIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER KNOWLEDGE OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
2. MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
3. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED BY NOTICE, BE CONSTRUCTED IN ACCORDANCE WITH THE MPMU UNIFORM PLUMBING CODE, LATEST EDITION.
4. UTILITY LINES SHALL BE INSTALLED PRIOR TO FOUNDATION, CURB AND OUTLET, AND/OR SIDEWALK, AS APPLICABLE.
5. BELIEF GRADING OF SITE (S&S) SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
6. CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
7. ALL WALKS SHALL BE ANCHORED PER COA STANDARD ONE 2333.
8. FIRE LINES SHALL USE PIPE MATERIALS UNDERPINNERS LABORATORIES LISTED AND APPROVED FOR THE SERVICE.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOODUP FEES FOR INSTALLATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PROPLATA AND OTHER SPECIAL ASSESSMENTS.
10. CONTRACTOR SHALL NOTIFY AGENCIES AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
11. CONTRACTOR SHALL PREPARE ALL SUBMITTAL MATERIALS & PAY APPLICABLE FEES REQUIRED TO OBTAIN THE "NON WORK ORDER" REQUIRED FOR CONNECTION TO THE EXISTING CITY WATER MAIN AND OTHER PUBLIC WATER LINE CONSTRUCTION.

WATERLINE KEYED NOTES

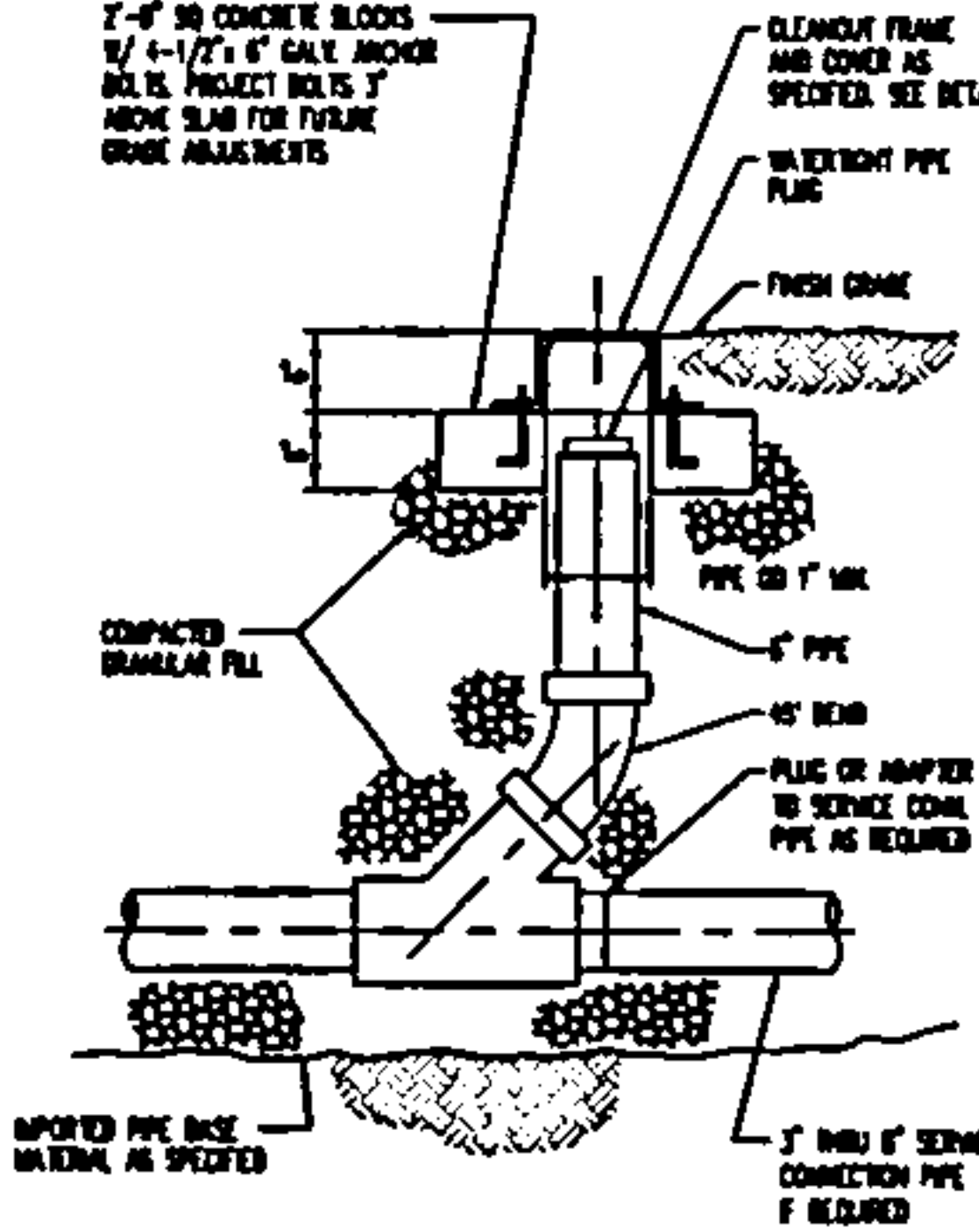
1. INSTALL 2" METEDED DOMESTIC WATER SERVICE AS PER COA STD DWS 2343. CONTRACTOR SHALL PAY ALL CITY FEES ASSOCIATED WITH WATER SERVICE INSTALLATION (SEE UTILITY NOTE #11).
2. REFERENCE MEP PLANS FOR CONTINUATION OF 2" WATER LINE.
3. INSTALL 8"x6" Tee AND 6" GATE VALVE, GATE VALVE PER COA STD DWCS 2336 & 2320. (SEE UTILITY NOTE #11).
4. INSTALL 6" 45° BEND WITH BLOCCING.
5. INSTALL NEW 6" GATE VALVE ON EXISTING 6" WATER LINE. (SEE UTILITY NOTE #11).
6. REFERENCE MEP PLANS FOR CONTINUATION OF 6" FIRE LINE. BACKFLOW PREVENTION INSIDE BUILDING.
7. SAWCUT, REMOVE, AND REPLACE EXISTING PAVEMENT TO MEET OR EXCEED EXISTING CONDITIONS.

SANITARY SEWER KEYED NOTES

1. BE PROPOSED 6" SANITARY SEWER SERVICE INTO EXISTING 6" SANITARY SEWER LINE. INV=520.1000.
2. INSTALL WYE AND CLEANOUT (SEE DETAIL THIS SHEET).
3. INSTALL WYE AND CLEANOUT (SEE DETAIL THIS SHEET).
4. SEE MEP PLANS FOR CONTINUATION OF 6" SANITARY SEWER SERVICE.



CLEANOUT FRAME & COVER
N.T.S.



CLEANOUT
N.T.S.

BARRY JAY GREENBERG ARCHITECT
3710 BLUTTON BLVD
ST. LOUIS MO 63143
PH: 314 644 1234
FAX: 314 644 4373

IN CONSULTATION WITH
ARCHITECTURAL DESIGN GUID:

Office DEPOT
Taking Care of Business
2200 Old Germantown Road
Deerfield Beach, FL 33446
TEL: 561-428-4629
FAX: 561-428-4178

CONCEPTUAL
UTILITIES PLAN

OFFICE DEPOT
7901 SAN PEDRO DRIVE NE
ALBUQUERQUE, NM 87109

DATE	STAMP NO.	JOB NUMBER	DRAWN BY
06.17.05	#04145	25-114	RJMM
APPROVED	THRU	SPECIES AND POST	CHECK BY
		20,280	JTW

Bohannon & Huston
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

C4

ALL ARCHITECTURAL AND ENGINEERING DRAWINGS ARE IN CONFORMANCE WITH THE STANDARDS AND PRACTICES OF THE PROFESSION OF ARCHITECTURE AND ENGINEERING AS SET FORTH IN THE NATIONAL BOARD OF ARCHITECTURAL AND ENGINEERING EXAMINERS' REGULATIONS AND THE NATIONAL BOARD OF ARCHITECTURAL AND ENGINEERING EXAMINERS' REGULATIONS.

REPRESENTATION ONLY - NOT FOR CONSTRUCTION -

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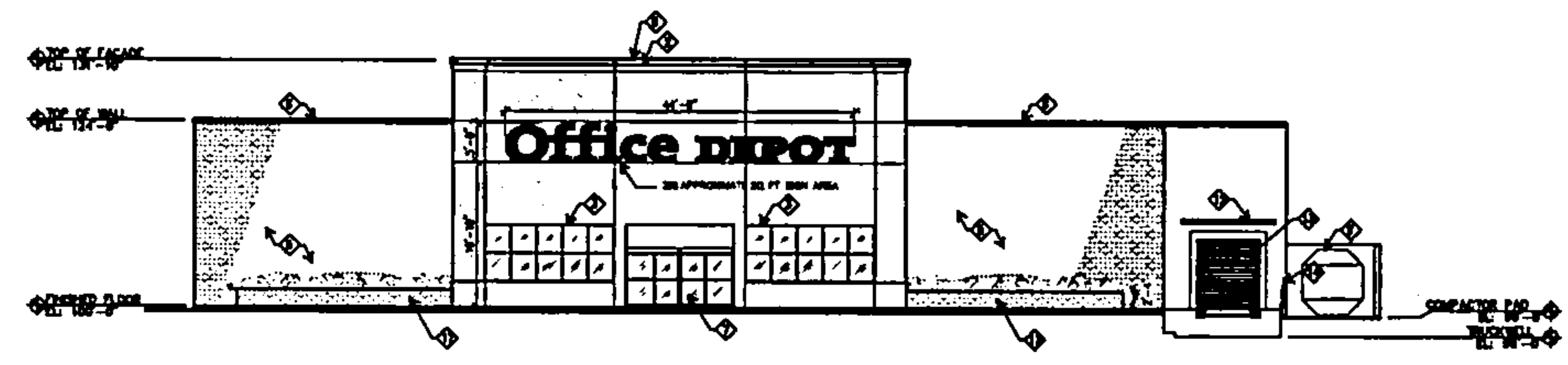
P:\060064\060064\general\060064.dwg - Conceptual.dwg
Thu, 16-Jun-2005 - 11:03:am. Plotted by: JMD/TEH



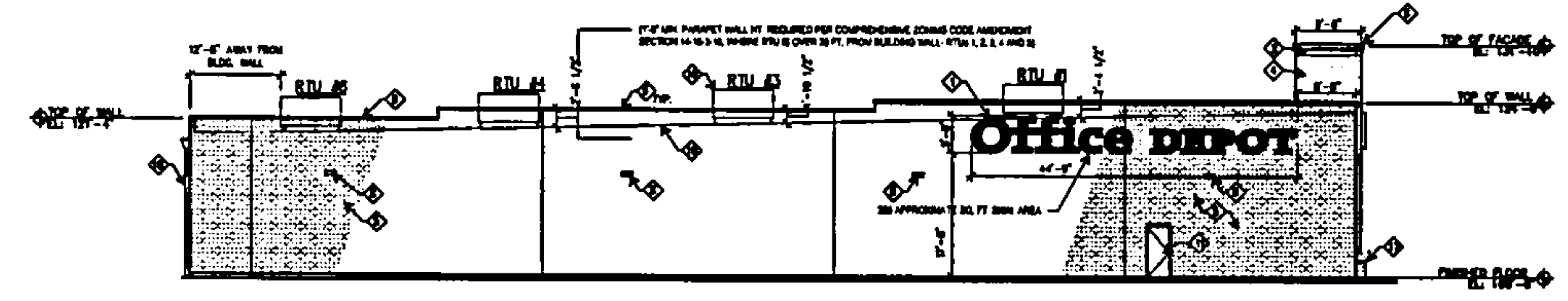
BARRY JAY GREENBERG ARCHITECT

2216 BUTTON BLVD
ST. LOUIS, MO 63143
Ph: 314. 844. 1234
FAX: 314. 844. 4373

IN CONSULTATION WITH ARCHITECTURAL DESIGN GUILD:



1 FRONT ELEVATION (NORTH- MAJOR FACADE)
SCALE 1/8" = 1'-0"



2 SIDE ELEVATION (EAST)
SCALE 1/8" = 1'-0"

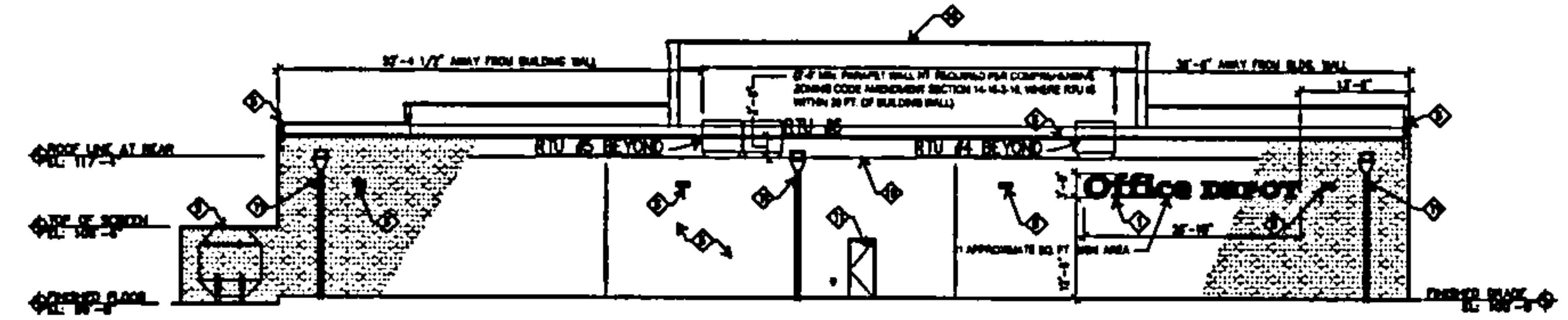
ELEVATION GENERAL NOTES

1. ALL EXTERIOR SIGNAGE SHOWN ARE ELECTRICALLY ILLUMINATED.
2. LANDSCAPING VEGETATION SPECIES IS NOT YET KNOWN. PLANTS SHOWN ARE REPRESENTATIONAL, AND DO NOT INDICATE MATURITY OR TREES OR GRASSING COVER.

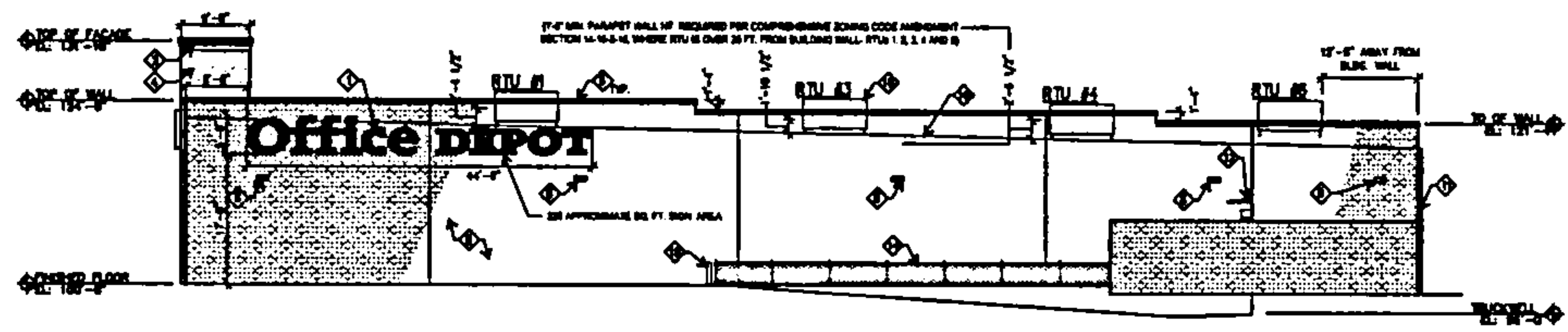
REMARKS BY NOTES

- ◆ PROPOSED OFFICE DEPOT SIGNAGE PER CODE ALLOWANCES.
- ◆ EPS CORNICE (E-2)
- ◆ CLEAR ANODIZED ALUMINUM STOREFRONT SYSTEM AND SLABS
- ◆ E.L.F.S. FACADE (E-1)
- ◆ SMOOTH FACE CONCRETE MASONRY UNITS, PAINT EP-2.
- ◆ METAL COPING, PAINT EP-3.
- ◆ CLEAR ANODIZED ALUMINUM BLEND BOOM.
- ◆ WALL MOUNTED SECURITY LIGHT FIXTURES
- ◆ COMPACTOR AND RECYCLE CONTAINER.
- ◆ SCULPTURE AND BOWMOUNTS, PAINTED (E-1) TO MATCH ADJACENT WALL.
- ◆ ROOF AND FRAME PAINT EP-3.
- ◆ METAL HOOD TO BE PAINTED EP-4.
- ◆ SHOWHEAD LEADING EDGE (CHECK COLOR BY SPEC)
- ◆ BALANCED CHAIN LINK FENCE AND POSTS AT TRUCK HILL RETAINING WALL.
- ◆ PIPE BOLLARDS TO BE PAINTED EP-1.
- ◆ FACADE PARAPET SYSTEM
- ◆ CENTRALIZED BASED PLANTING PER COMPREHENSIVE ZONING CODE AMENDMENT SECTION 14-10-3-16, PART 2.
- ◆ ROOF TOP HVAC UNITS, SCHEDULED PER REQUIREMENTS OF THE COMPREHENSIVE ZONING CODE AMENDMENT SECTION 14-10-3-16, PART 3.
- ◆ ROOF LINE BEYOND PARAPET WALL.

MATERIAL SCHEDULE	
EXTERIOR PAINT & E.L.F.S. SYSTEM	
EP-1	EXTERIOR PAINT 'POSITIVE RED' (LOCATION: BOLLARDS)
EP-2	EXTERIOR PAINT 'MODERATE WHITE' (LOCATION: ELEVATION WALLS, METAL COPING)
EP-3	EXTERIOR PAINT 'PRACTICAL BEIGE' (LOCATION: METAL COPING, EXT. DOOR & DOOR FRAME, SHOWHEAD SECTION, DOOR)
E-1	INHERENT COLOR TO MATCH EXTERIOR PAINT COLOR EP-2
E-2	INHERENT COLOR TO MATCH EXTERIOR PAINT COLOR EP-3



3 REAR ELEVATION (SOUTH)
SCALE 1/8" = 1'-0"



4 SIDE ELEVATION (WEST)
SCALE 1/8" = 1'-0"

Office DEPOT
Taking Care of Business

2200 CH. DEPARTMENT ROAD
DUNING SOUTH, FL 33448
TEL: 561.438.4800
FAX: 561.438.4178

EXTERIOR ELEVATIONS

OFFICE DEPOT
LOS ANGELES CENTER
ALBUQUERQUE, NM

DATE	STORE NO.	JOB NUMBER	DRAWN BY
08.17.05	#04145	25-114	XXX
DATE	STORE NO.	JOB NO.	CHECK BY
-	-	20,280	XXX

A1

REPRESENTATION ONLY - NOT FOR CONSTRUCTION -

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ALL ARCHITECTURAL AND ENGINEERING SERVICES ARE TO BE PROVIDED AND SUPERVISED BY THE ARCHITECT AND ENGINEER. THE ARCHITECT AND ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES. THE ARCHITECT AND ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AUTHORITIES.

**ONE STOP SHOP
CITY OF ALBUQUERQUE PLANNING DEPARTMENT
Development & Building Services**

PAID RECEIPT

APPLICANT NAME OFFICE DEPOT
 AGENT DEKKER / PERICH / SABATINI
 ADDRESS 6801 JEFFERSON NE SUITE 100
 PROJECT & APP # 1001946 / 05 DRB 01047
 PROJECT NAME OFFICE DEPOT

DUPLICATE
 City of Albuquerque
 Treasury Division

6/20/2005 12:08PM LOC: ANMX
 RECEIPT# 00041973 WSH 008 TRASH 0016
 Account 441006 Fund 0110
 Activity 4983000 TRSCCS
 Trans Amt \$405.00
 J24 Misc \$325.00
 CK \$405.00
 CHANGE \$0.00

\$ 20.00 441032/3424000 Conflict Management Fee
 \$ 385.00 441006/4983000 DRB Actions
 \$ _____ 441006/4971000 EPC/AA/LUCC Actions & All Appeals
 \$ _____ 441018/4971000 Public Notification
 \$ _____ 441006/4983000 DRAINAGE PLAN REVIEW OR TRAFFIC IMPACT STUDY***
 () Major/Minor Subdivision () Site Development Plan () Bldg Permit
 () Letter of Map Revision () Conditional Letter of Map Revision
 () Traffic Impact Study
 \$ 405.00 TOTAL AMOUNT DUE

***NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

DEKKER/PERICH/SABATINI, LTD 12-92
 6801 JEFFERSON NE SUITE 100
 ALBUQUERQUE, NM 87109
 (505) 781-9700
 FED #85-0367023

WELLS FARGO NEW MEXICO, N.A. 0204
 Albuquerque, NM 87103-1081
 95-219-1070

034593

CHECK NO.

Four hundred five & no/100

DUPLICATE
 CITY OF ALBUQUERQUE AMOUNT

Treasury Division
 6/15/2005 \$ 405.00

6/20/2005 11:08PM LOC: ANMX
 RECEIPT# 00041972 WSH 008 TRASH# 0016
 Account 441032 Fund 0110
 Activity 3424000 TRSCCS
 Trans Amt \$405.00
 J24 Misc \$20.00

PAY TO THE ORDER OF
 CITY OF ALBUQUERQUE

Thank You

⑈034593⑈ ⑆107002192⑆ 1047519568⑈

**FIRE HYDRANT AND INSTANTANEOUS
FIRE FLOW REQUIREMENTS**

ALBUQUERQUE FIRE DEPARTMENT
FIRE MARSHAL'S PLAN CHECKING OFFICE
600 2ND ST N.W, 8TH Floor, Plaza del Sol
Albuquerque, New Mexico 87102
(505) 924-3611 / FAX (505) 924-3619

ZONE MAP NUMBER D-18

REFERRAL # _____

SITE ADDRESS 7901 SAN PEDRO NE

LEGAL DESCRIPTION: SUBJECT TRACT _____

NUMBER HYDRANTS REQUIRED FOR THE LARGEST BUILDING _____

INSTANTANEOUS FLOW REQUIRED _____

SQUARE FOOTAGE - LARGEST BUILDING _____

TYPE CONSTRUCTION _____

PERTINENT DATA FOR DETERMINATION AND LOCATION OF FIRE HYDRANTS

ALL REQUIRED HYDRANTS SHALL BE INSTALLED AND OPERABLE PRIOR TO CONSTRUCTION

- ALL REQUIRED HYDRANTS SHALL BE WITHIN 450 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.
- ALL REQUIRED HYDRANTS SHALL BE WITHIN 300 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

TOTAL NUMBER HYDRANTS REQUIRED FOR THIS PHASE OF CONSTRUCTION OR SITE 1

DATE: 6/28/05

FIRE DEPARTMENT INSPECTOR: _____

RECEIVED BY: Amgn

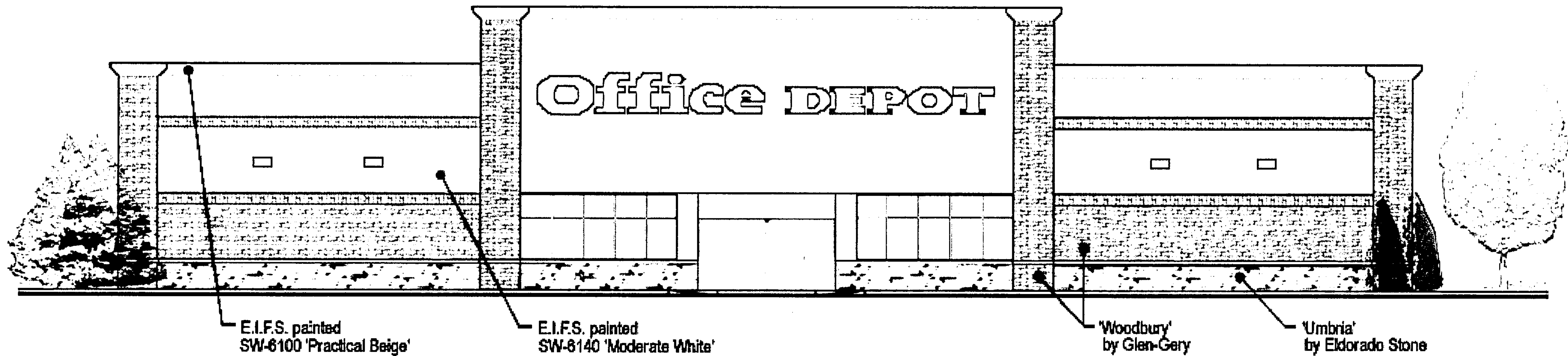
TELEPHONE: 761-9700

NOTES:

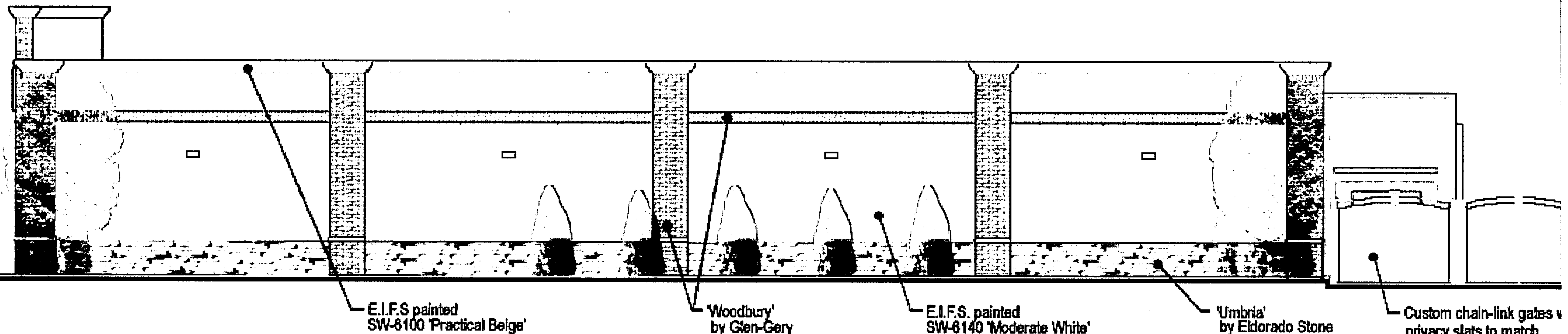
1. ALL HYDRANTS NEEDED TO PROTECT AN INDIVIDUAL BUILDING MUST BE ABLE TO PROVIDE A MINIMUM RESIDUAL OF 20 PSI, UNDER REQUIRED FIRE FLOW CONDITIONS.
2. DETERMINATION OF THE WATER SYSTEM CAPACITY TO PROVIDE REQUIRED FIRE FLOW SHALL BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION (924-3987), BASED ON PEAK DAY CRITERIA.
3. DESIGN OF PRIVATE FIRE PROTECTION SYSTEMS IS THE RESPONSIBILITY OF THE DEVELOPER'S CONSULTANT. APPROVAL OF DESIGN MUST BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION.

WHITE - INDIVIDUAL

YELLOW - FILE

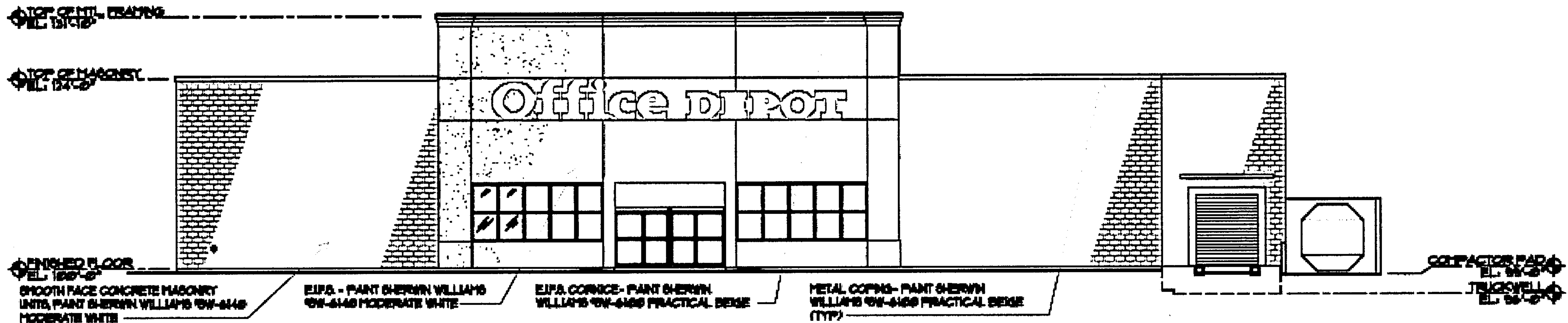


East Elevation
N.T.S.

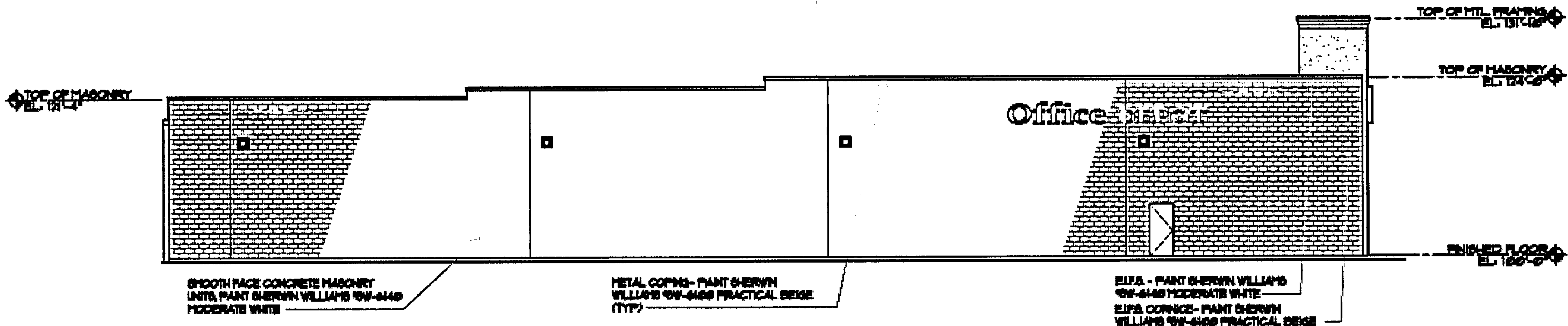


North Elevation
N.T.S.

Custom chain-link gates w
privacy slats to match
SW-6140 "Moderate Whit



FRONT ELEVATION (NORTH)
N.T.S.



SIDE ELEVATION (EAST)
N.T.S.

