

BERNARDILLO COUNTY ALBUQUERQUE, NEW MEXICO FEBRUARY 1990

State of New Mexico } County of Bernalillo } This instrument was filed for record on AUG 3 0 1990

EASEMENT NO. 1

Table with 3 columns: REF. NO., BEARING, DISTANCE. Contains 4 rows of data for EASEMENT NO. 1.

EASEMENT NO. 2

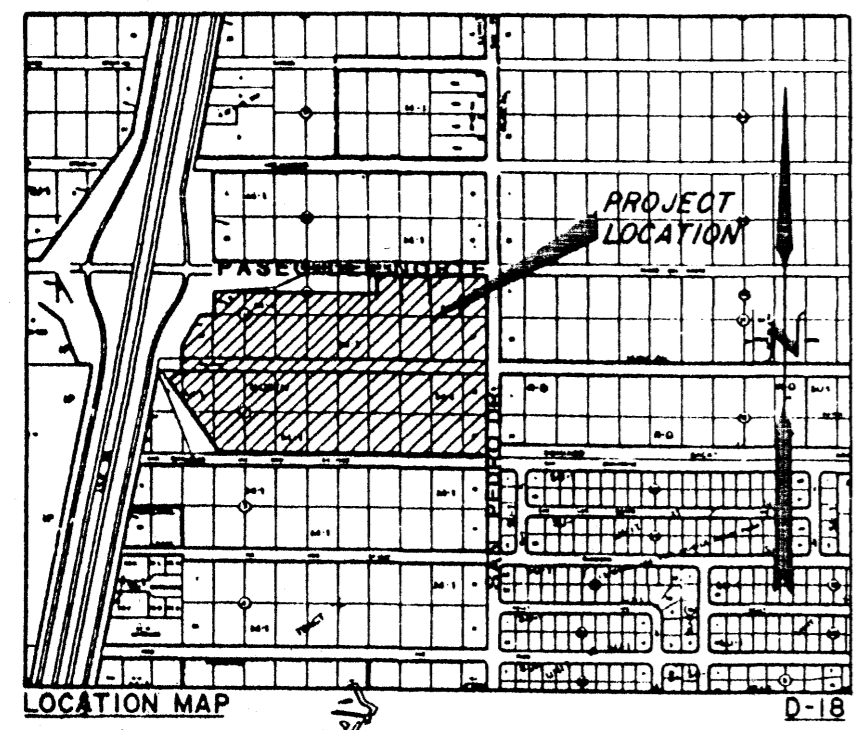
Table with 3 columns: REF. NO., BEARING, DISTANCE. Contains 8 rows of data for EASEMENT NO. 2.

EASEMENT NO. 3

Table with 3 columns: REF. NO., BEARING, DISTANCE. Contains 16 rows of data for EASEMENT NO. 3.

EASEMENT ACREAGE

Table with 2 columns: EASEMENT NO., ACREAGE. Lists acreage for EASEMENT NO. 1, 2, 3, and a TOTAL of 4.9209 AC.



INTERSTATE HWY 25 RIGHT OF WAY

PAN AMERICAN FREEWAY RIGHT-OF-WAY 25

R.O.W. STA. P.O.S.T. 24+02.50 BRASS CAP, L.S. 8911

(N00°17'17"E) N00°17'17"E 94.02' (94.02')

R.O.W. STA. P.O.T. 390+07.38 (1-25) P.O.S.T. 24+09.10 (PASEO DEL NORTE) BRASS CAP L.S. 8911

(N00°15'06"E) N00°15'06"E 101.44' (101.44')

(S89°41'42"E) S89°41'42"E 74.06' (74.06')

(N10°34'00"E) N10°34'00"E 123.70' (123.70')

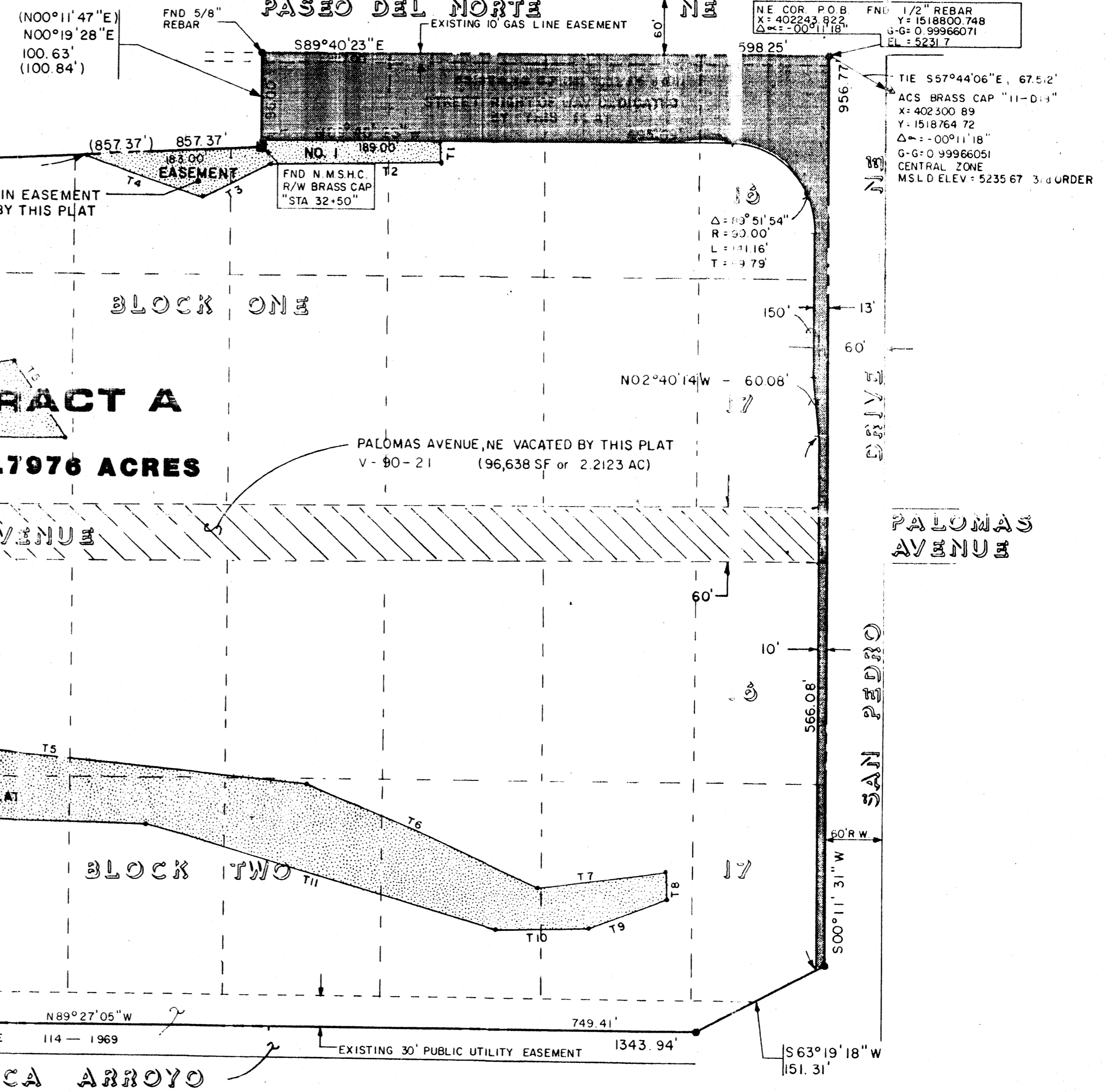
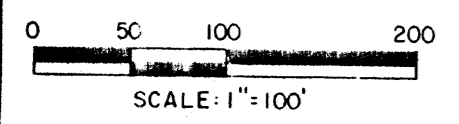
DOMINGO BACA ARROYO DRAINAGE R.O.W.

TIE: N82°04'36"W 6691.22' ASC BRASS CAP "NAA-9" X = 394134.18 Y = 1518711.30 Δ = -00°12'15" G-G = 0.99967037 CENTRAL ZONE M.S.L.D. ELEV. +5069.270 2nd ORDER

N89°27'05"W 155.58' (438.32')

N89°27'05"W (N89°29'26"W)

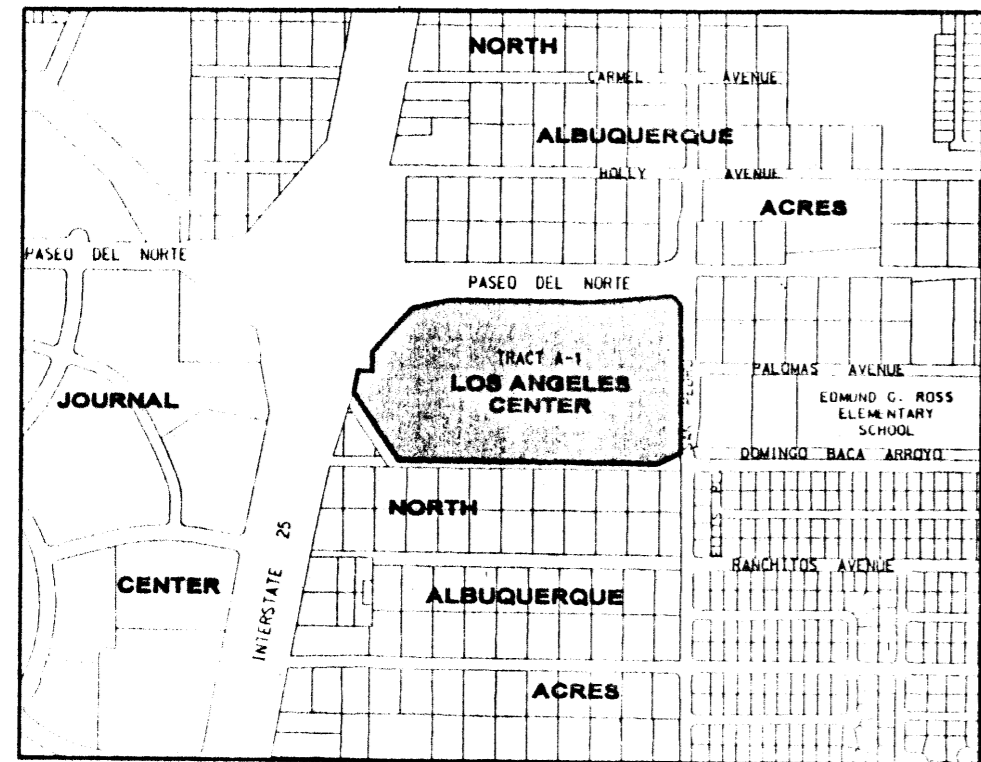
DOMINGO BACA ARROYO DRAINAGE R.O.W.



Job No. 11689 Office BS, JL Draft C.R., T.S. F.B. Date 8/90

ESPEY, HUSTON & ASSOC. INC. Engineers • Planners • Surveyors 317 COMMERCIAL STREET N.E. ALBUQUERQUE, NEW MEXICO 87102 (505) 242-1909

SP-2002221088



LOCATION MAP

ZONE ATLAS INDEX MAP No. D-18-Z
NOT TO SCALE

SUBDIVISION DATA

- 1. DRB No. _____
2. Zone Atlas Index No. D-18.
3. Gross Subdivision Acreage: 31.7797 Acres.
4. Total Number of Tracts created: Four (4) Tracts.
5. Date of Survey: May, 2002.
6. Plat is located within the Elena Gallegos Grant, within projected Section 24, T11N, R3E, NMPM.

DISCLOSURE STATEMENT

The purpose of this PLAT is to subdivide Tract A-1 of the PLAT OF TRACTS A-1 AND A-2, LOS ANGELES CENTER, Albuquerque, New Mexico, as the same is shown and designated on the Plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 20, 1997 as Document No. 97062853 in book 97C, Page 198 into four (4) Tracts and to grant easements.

NOTES

- 1. Basis of Bearings: New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 Datum also being the same as Bearings shown on PLAT OF TRACTS A-1 & A-2, LOS ANGELES CENTER, Filed: June 20, 1997 as Document No. 97062853 in Volume 97C, Folio 198.
2. Distances are Ground Distances.
3. All easements of record are shown.
4. Reciprocal cross-access and cross-drainage easements are provided over and across Tracts A-1A, A-1B, A-1C, and A-1D for the use and benefit of same Tracts. Maintenance of these easements shall be by same Tracts' owners. (Ref. Z-95-092)

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground & overhead electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. ONEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformers/switchgear door and five feet (5') on each side.

DESCRIPTION

A certain tract of land situate within the Elena Gallegos Grant, in projected Section 24, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being Tract A-1 of the Plat of Tracts A-1 and A-2, LOS ANGELES CENTER, as the same is shown and designated on the plat thereof recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 20, 1997 in Volume 97C, Folio 198, as Document Number 97062853 and being more particularly described by New Mexico Grid Bearings (Central Zone NAD 1927) and ground distances as follows:

BEGINNING at a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" at the northeast corner of the tract herein described, said corner also being the intersection of the southerly right-of-way line of Paseo Del Norte N.E. and the westerly right-of-way line of San Pedro Drive N.E., whence the City of Albuquerque survey monument "S-018" a brass tablet set in concrete, having New Mexico State Plane Grid Coordinates: (Central Zone NAD 1927) : X=402,255.61 and Y=1,521,435.09 bears N01032°16'E, a distance of 2741.78 feet; thence running along the westerly right-of-way line San Pedro Drive N. E. and the easterly boundary line of said Tract A-1, 98.08 feet along the arc of a curve to the right having a radius of 90.00 feet and a chord which bears S31°02'35"E a distance of 93.30 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" at a point of tangency; thence, S00°10'37"W a distance of 150.00 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978"; thence, S01°26'47"E a distance of 60.08 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978"; thence, S00°02'43"W a distance of 565.71 feet to a 5/8 inch rebar with red plastic cap stamped LS 5978 at the southeasterly corner of said Tract A-1; thence running along the said southerly boundary line of Tract A-1, S63°17'37"W a distance of 140.10 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" at a point on the northerly right-of-way line of the Domingo Baca Arroyo; thence running along said Arroyo right-of-way and the said southerly boundary line of Tract A-1, N89°28'42"W a distance of 1343.96 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" at a point on the westerly boundary line of said Tract A-1; thence running along said Arroyo right-of-way line and the said westerly boundary line of Tract A-1, N32°30'17"W a distance of 440.98 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" at a point on the easterly right-of-way line of the Pan American Freeway Interstate Highway 25 (I-25); thence running along the said Freeway easterly right-of-way line and said the westerly boundary line of Tract A-1, N10°33'06"E a distance of 123.70 feet to a found 5/8 inch rebar tagged with a brass survey disk stamped "PS 5978"; thence, S89°42'36"E a distance of 74.06 feet to a found 5/8 inch rebar with a survey cap stamped LS 5978; thence, N00°14'12"E a distance of 101.44 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978"; thence, N40°53'44"E a distance of 316.18 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" at a point on the said southerly right-of-way line of Paseo del Norte N.E. and the said northerly boundary line of Tract A-1; thence running along the said southerly right-of-way line and also along the said northerly boundary line, N16°52'49"E a distance of 195.00 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978"; thence, S89°26'20"E a distance of 755.00 feet to a 5/8 inch rebar with red plastic cap stamped LS 5978; thence, N84°57'45"E a distance of 369.20 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978"; thence, N84°57'45"E a distance of 40.69 feet to the point and place of beginning.

Tract A-1 contains 31.7797 acres, more or less.

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Elena Gallegos Grant, in projected Section 24, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract A-1 of the Plat of Tracts A-1 and A-2, LOS ANGELES CENTER, as the same is shown and designated on the plat thereof recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 20, 1997 in Volume 97C, Folio 198, as Document Number 97062853 now comprising Tracts A-1A, A-1B, A-1C, and A-1D, LOS ANGELES CENTER, Albuquerque, New Mexico is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant: All access, Utility, and Drainage Easements hereon, inspect, and maintain facilities therein and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried and/or overhead distribution lines, conduits, pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantee's Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("work") it deems appropriate without liability to the City. If work effects any Improvements or Encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of Improvements or Encroachments. If in the opinion of the City, the work to be performed by the City could endanger the structural integrity or otherwise damage the Improvements or Encroachments, the Grantee shall, at its own expense, take whatever protective measures are required to safeguard the Improvements or Encroachments. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is with their free act and deed.

LOWE'S HW, INC.

BY: David E. Shelton
David E. Shelton
Senior Vice President
Lowe's HW, Inc.

North Carolina
State of New Mexico
County of Bernalillo

This instrument was acknowledged before me on 21st day of June 2002 by David E. Shelton, Senior Vice President of Lowe's HW, Inc.

My Commission Expires: 2/20/2007
Melissa Richardson
Notary Public

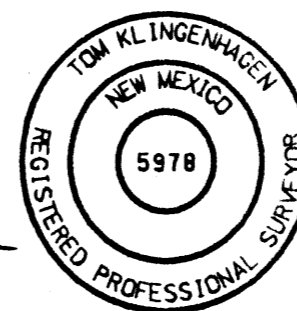


SURVEYOR'S CERTIFICATION

I, Thomas G. Kligenhagen, a registered professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Bohannon-Huston, Inc.
Court yard 1
7500 Jefferson Street, N.E.
Albuquerque, New Mexico 87109
(505)823-1000

Tom Kligenhagen
Thomas G. Kligenhagen
New Mexico Professional Surveyor 5978
Date: 5-29-02



PRELIMINARY PLAT
APPROVED BY
7/10/02
IL No J'd

PLAT OF TRACTS A-1A, A-1B, A-1C, & A-1D LOS ANGELES CENTER (A REPLAT OF TRACT A-1 LOS ANGELES CENTER) ALBUQUERQUE, NEW MEXICO MAY, 2002

APPROVALS

Table with columns for PLAT NUMBER, PLANNING DIRECTOR, CITY ENGINEER, A.M.A.F.C.A., TRAFFIC ENGINEER, CITY SURVEYOR, PROPERTY MANAGEMENT, UTILITY DEVELOPMENT DEPARTMENT, PARKS & RECREATION, ONEST, COMCAST CABLE, PNM ELECTRIC SERVICES, PNM GAS SERVICES, and DATE.

TAX CERTIFICATION

PROPERTY OWNER OF RECORD
BERNALILLO COUNTY TREASURER'S OFFICE

PNM STAMP

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Bohannon-Huston logo and address: Court yard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109. Services listed: ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS.

PLAT OF TRACTS A-1A & A-1B, A-1C, & A-1D LOS ANGELES CENTER

(A REPLAT OF TRACT A-1 LOS ANGELES CENTER)
 ALBUQUERQUE, NEW MEXICO
 MAY, 2002

TANGENT DATA

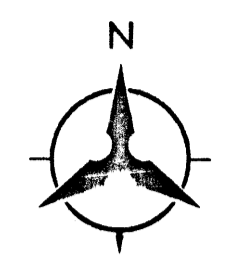
ID	BEARING	DISTANCE
T1	S01°26'47"E	60.08'
T2	S89°42'36"E	74.06'
T3	N00°14'12"E	101.44'
T4	N84°57'45"E	40.69'
T5	S69°52'42"E	44.58'
T6	S80°29'49"E	32.65'
T7	S89°28'42"E	485.77'
T8	N89°18'49"E	93.26'
T9	N73°01'15"E	36.33'
T10	N62°31'03"E	81.55'
T11	N38°12'31"E	81.55'
T12	N49°42'24"E	114.17'
T13	N49°42'24"E	22.96'
T14	N00°02'43"E	205.23'
T15	N37°01'40"W	11.27'
T16	N89°28'42"W	113.88'
T17	N54°21'38"W	122.82'
T18	N89°28'42"W	359.97'
T19	S45°31'18"W	2.83'
T20	N89°28'42"W	283.74'
T21	S00°12'58"W	150.00'
T22	N89°47'02"W	50.00'
T23	S00°33'40"W	50.00'
T24	N89°26'20"W	100.00'
T25	S00°12'58"W	616.23'
T26	S73°19'39"W	357.17'
T27	S64°25'14"W	24.10'
T28	N69°33'41"W	31.23'
T29	S60°26'38"E	92.03'
T30	N89°49'20"E	310.01'
T31	S81°44'56"E	114.13'
T32	N80°24'34"E	147.14'
T33	S34°19'00"E	97.08'
T34	N89°57'14"W	393.00'
T35	S86°12'39"W	273.66'
T36	N61°34'23"W	118.47'
T37	S58°41'34"E	202.07'
T38	S78°14'44"E	216.12'
T39	S76°57'48"E	152.61'
T40	N71°59'54"E	157.17'
T41	S83°28'47"E	480.61'
T42	S65°11'05"E	267.65'
T43	N82°39'10"E	138.31'
T44	S00°32'55"W	30.00'
T45	S63°50'22"W	87.66'
T46	S88°14'06"W	99.08'
T47	N73°10'45"E	395.44'
T48	N87°58'57"E	351.12'
T49	S60°42'35"E	227.11'
T50	S46°38'53"E	88.20'
T51	N43°15'46"W	170.45'
T52	N81°48'34"W	170.27'
T53	N89°28'42"W	50.22'
T54	S33°45'07"W	153.07'
T55	S56°15'07"W	73.32'
T56	S78°04'18"W	118.51'
T57	N89°28'42"W	29.57'
T58	N00°31'18"E	5.00'
T59	N89°28'42"W	182.39'
T60	S00°31'18"W	10.00'
T61	N89°28'42"W	10.00'
T62	N89°28'42"W	106.16'
T63	S00°31'18"W	4.50'
T64	N89°28'41"W	10.00'
T65	N89°28'42"W	199.29'
T66	N10°28'42"E	343.48'
T67	S41°26'53"W	47.02'
T68	N32°30'17"E	20.81'
T69	N41°26'53"E	41.27'
T70	N32°30'17"E	284.27'
T71	N76°14'24"W	5.18'
T72	N10°33'06"E	20.03'
T73	S76°14'24"E	14.32'
T74	S32°30'17"E	292.29'
T75	N41°26'53"E	5.00'
T76	S89°28'42"E	857.20'
T77	N45°46'58"E	117.66'
T78	N00°31'18"E	586.15'
T79	S89°28'42"E	20.00'
T80	S00°31'18"W	594.49'
T81	S45°46'58"W	120.02'
T82	S89°28'42"E	15.36'
T83	N78°04'18"E	9.24'
T84	N11°55'42"W	47.80'
T85	N78°04'18"E	20.00'
T86	N78°04'18"E	85.42'
T87	N56°15'07"E	65.48'
T88	N33°45'07"E	159.90'
T89	S89°28'42"E	60.86'
T90	S00°02'43"W	20.00'
T91	N00°56'16"W	14.86'
T92	S89°56'27"E	24.55'
T93	N89°57'17"E	15.00'
T94	N00°02'43"E	155.70'
T95	N10°26'04"E	50.10'
T96	S00°10'37"W	43.21'
T97	N89°57'17"E	5.24'
T98	S37°27'50"W	58.44'
T99	S78°04'18"E	67.35'
T100	S89°28'42"E	24.50'
T101	N89°28'42"W	30.38'
T102	N00°31'18"E	21.33'
T103	S00°31'18"W	15.56'
T104	N89°28'42"W	20.00'
T105	S00°31'18"W	18.81'
T106	N00°31'18"E	13.14'
T107	S00°31'18"W	88.09'

CURVE DATA

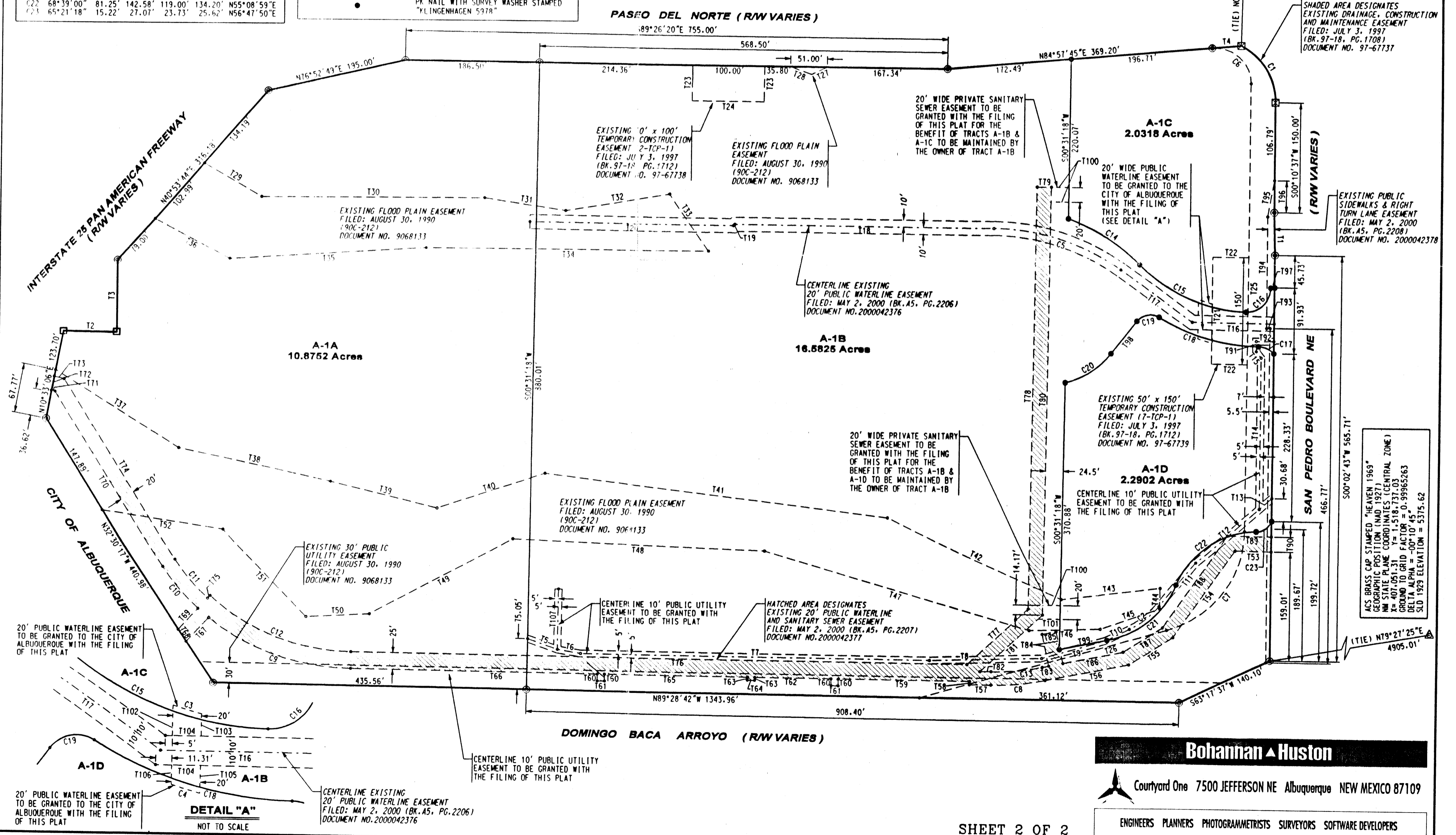
ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	62°26'24"	54.55'	98.08'	90.00'	93.30'	S31°02'35"E
C2	24°18'32"	27.14'	53.46'	126.00'	53.06'	N50°21'47"E
C3	05°41'41"	10.42'	20.82'	209.50'	20.81'	S73°23'52"E
C4	04°21'17"	10.40'	20.79'	273.56'	20.79'	N73°39'45"W
C5	35°01'04"	97.80'	189.46'	310.00'	186.53'	N71°58'10"W
C6	95°15'38"	54.82'	83.13'	50.00'	73.88'	S47°24'52"E
C7	73°05'45"	111.19'	191.36'	150.00'	178.65'	S36°45'50"W
C8	12°27'00"	38.18'	76.05'	350.00'	75.90'	S84°17'48"W
C9	39°06'26"	111.88'	215.00'	315.00'	210.85'	N69°55'29"W
C10	14°13'41"	39.31'	78.22'	315.00'	78.02'	S39°37'07"W
C11	14°06'16"	36.49'	72.62'	295.00'	72.44'	S39°33'25"E
C12	42°54'09"	113.95'	217.15'	290.00'	212.11'	S68°01'37"E
C13	12°27'00"	36.00'	71.71'	330.00'	71.57'	N84°17'48"E
C14	25°23'24"	60.71'	119.43'	269.50'	118.45'	S57°09'07"E
C15	44°35'15"	87.54'	166.15'	213.50'	161.98'	S66°45'02"E
C16	90°47'26"	33.94'	63.05'	33.48'	47.67'	N45°33'37"E
C17	48°00'24"	13.01'	24.47'	29.25'	23.76'	N65°26'50"W
C18	30°58'37"	74.70'	145.74'	269.56'	143.97'	N73°57'44"W
C19	84°03'45"	21.10'	34.35'	23.41'	31.35'	S79°29'42"W
C20	38°52'56"	40.06'	77.02'	113.50'	75.55'	S56°54'17"W
C21	57°14'49"	71.49'	130.89'	131.00'	125.51'	N49°26'53"E
C22	68°39'00"	81.25'	142.58'	119.00'	134.20'	N55°08'59"E
C23	65°21'18"	15.22'	27.07'	23.73'	25.62'	N56°47'50"E

LEGEND

- SURVEYS BOUNDARY LINE
- NEW LOT LINE
- - - CENTERLINE
- - - EXISTING EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ⊙ 5/8" REBAR WITH 1/4" RED PLASTIC SURVEY CAP STAMPED "PS 5978"
- ⊠ CHISELED "+" IN CONCRETE
- ⊙ 5/8" REBAR W/CAP STAMPED "8478" TAGGED W/BRASS DISK STAMPED "PS 5978"
- PK NAIL WITH SURVEY WASHER STAMPED "KLINGENHAGEN 5978"



SCALE: 1" = 100'



20' PUBLIC WATERLINE EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

DETAIL "A"
NOT TO SCALE

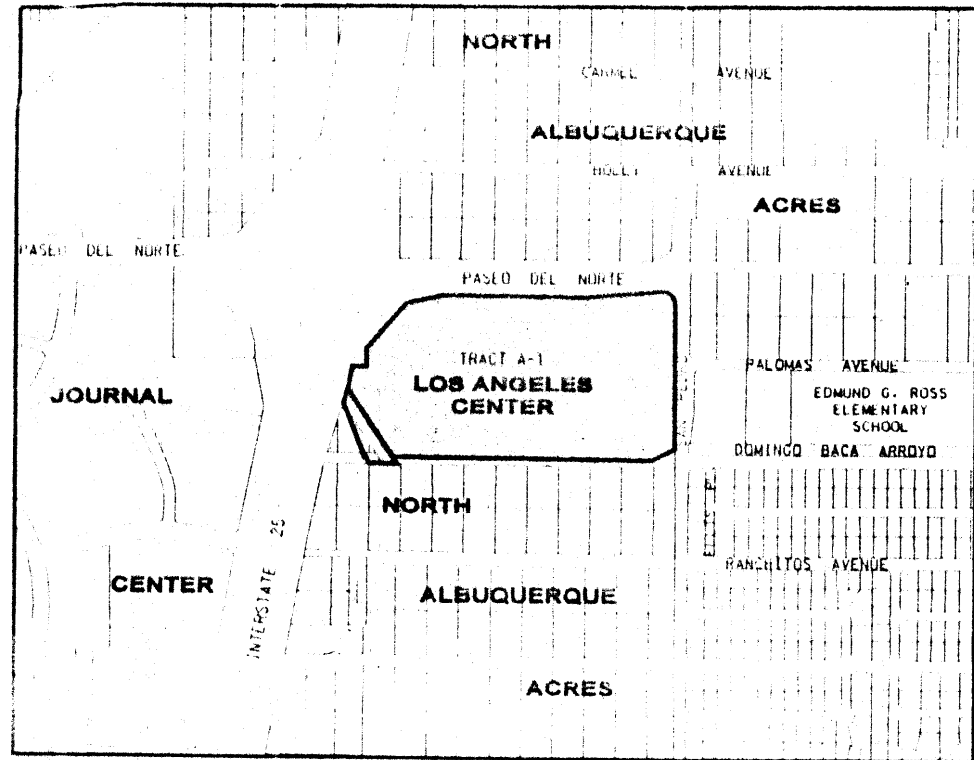
CENTERLINE EXISTING 20' PUBLIC WATERLINE EASEMENT FILED: MAY 2, 2000 (BK. AS, PG. 2206) DOCUMENT NO. 2000042376

CENTERLINE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT

DOMINGO BACA ARROYO (RW VARIES)

PASEO DEL NORTE (RW VARIES)

Bohannon & Huston
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS



LOCATION MAP

ZONE ATLAS INDEX MAP No. D-18-Z NOT TO SCALE

SUBDIVISION DATA

- 1. DRB No. 1001946
2. Zone Atlas Index No. D-18.
3. Gross Subdivision Acreage: 33.0300 Acres.
4. Total Number of Tracts created: Five (5) Tracts.
5. Total Mileage of Partial Width Streets Created: 0.1577 Mile.
6. Date of Survey: May, 2002.
7. Plat is located within the Elena Gallegos Grant, within projected Section 24, T11N, R3E, NMPM.

DISCLOSURE STATEMENT

The purpose of this PLAT is to subdivide Tract A-1 of the PLAT OF TRACTS A-1 AND A-2 LOS ANGELES CENTER, Albuquerque, New Mexico, as the same is shown and designated on the Plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 20, 1997 as Document No. 97062853 in Book 97C, Page 198 together with the Domingo Baca Arroyo, being Parcel 2 as described in CV No. 8-73-09298, recorded in the office of the County Clerk of Bernalillo County, New Mexico on December 18, 1973, together with a southerly and northerly portion of Vacated San Bernardino Avenue NE, Vacation Ordinance No. 114-1969 on August 25, 1969 of the plat of TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 17, 1937 in Volume D, Folio 129, into five (5) Tracts, to dedicate additional Public Street Right-of-Way to the City of Albuquerque, to vacate existing easements and right-of-way and to grant easements.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground & overhead electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool deck, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgear, as installed shall extend ten feet (10') in front of transformers/switchgear door and five feet (5') on each side.

DESCRIPTION

A certain tract of land situate within the Elena Gallegos Grant, in projected Section 24, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being Tract A-1 of the Plat of Tracts A-1 and A-2, LOS ANGELES CENTER, as the same is shown and designated on the plat thereof recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 20, 1997, in Volume 97C, Folio 198, as Document Number 97062853, and also being the Domingo Baca Arroyo, being Parcel 2 as described in CV No. 8-73-09298, recorded in the office of the County Clerk of Bernalillo County, New Mexico on December 18, 1973, together with the southerly and northerly portion of San Bernardino Avenue NE, Vacation Ordinance No. 114-1969 on August 25, 1969, comprising a portion of Tract A, Unit A, NORTH ALBUQUERQUE ACRES, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 17, 1937 in Volume D, Folio 129 and being more particularly described by New Mexico Grid Bearings (Central Zone NAD 1927) and ground distances as follows:

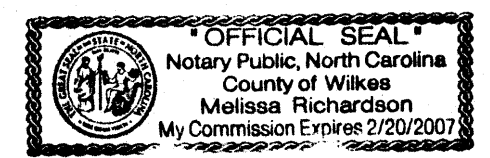
BEGINNING at a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" at the northeast corner of the tract herein described, said corner also being the intersection of the southerly right-of-way line of Paseo del Norte N.E., and the westerly right-of-way line of San Pedro Drive N.E., whence the City of Albuquerque survey monument "9-C18" an aluminum cap riveted to a 2-1/2 inch aluminum tube, having New Mexico State Plane Grid Coordinates, (Central Zone NAD 1927): X=402,295.61 and Y=1,521,435.09 bears N01°32'16"E, a distance of 2741.78 feet; thence running along the westerly right-of-way line San Pedro Drive N. E. and the easterly boundary line of said Tract A-1, 98.08 feet along the arc of a curve to the right having a radius of 90.00 feet and a chord which bears S31°02'35"E a distance of 93.30 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" at a point of tangency; thence, S00°10'37"W a distance of 150.00 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978"; thence, S01°26'47"E a distance of 60.08 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978"; thence, S00°02'43"W a distance of 565.71 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" at the southeasterly corner of said Tract A-1; thence running along the said southerly boundary line of Tract A-1, S63°17'37"W a distance of 140.10 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" at a point on the northerly right-of-way line of the Domingo Baca Arroyo; thence running along said Arroyo right-of-way and the said southerly boundary line of Tract A-1, N89°28'42"W a distance of 1343.96 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" at a point on the westerly boundary line of said Tract A-1; thence running along said Arroyo right-of-way line, S32°30'17"E, a distance of 35.77 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" at a point on the southerly right-of-way line of vacated San Bernardino Avenue NE and also being a point on the northerly boundary line of Lot numbered seven (7), Block numbered three (3) of said NORTH ALBUQUERQUE ACRES; thence running along said southerly right-of-way line, N89°28'42"W, a distance of 161.66 feet to a 5/8 inch rebar with aluminum cap stamped "PS 3516", at the northwest corner of said Lot numbered seven (7), Block numbered three (3) and also being a point on the southerly right-of-way line of vacated San Bernardino Avenue NE; thence, N23°35'02"W, a distance of 32.86 feet to a 5/8 inch rebar with aluminum cap stamped "PS 3516", a point on the centerline of said vacated San Bernardino Avenue NE, thence running along said centerline, N89°28'42"W, a distance of 22.37 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" to a point on the westerly boundary line of the Domingo Baca Arroyo, thence running along said westerly boundary line, N21°39'19"W, a distance of 342.46 feet to a point on the easterly right-of-way line of Interstate 25 (I-25), thence running along said right-of-way line, N12°57'31"E, a distance of 98.58 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978"; thence, S51°34'58"E, a distance of 44.26 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978"; thence, S32°30'17"E, a distance of 19.66 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" at a point on the westerly boundary line of said Tract A-1, thence running along said westerly boundary line, N10°33'06"E a distance of 123.70 feet to a found 5/8 inch rebar tagged with a brass survey disk stamped "PS 5978"; thence, S89°42'36"E a distance of 74.06 feet to a found 5/8 inch rebar with a survey cap stamped "LS 8478"; thence, N00°14'12"E a distance of 101.44 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978"; thence, N40°53'44"E a distance of 316.18 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" at a point on the said southerly right-of-way line of Paseo del Norte N.E. and the said northerly boundary line of Tract A-1; thence running along the said southerly right-of-way line and also along the said northerly boundary line, N76°52'49"E a distance of 195.00 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978"; thence, S89°26'20"E a distance of 755.00 feet to a 5/8 inch rebar with red plastic cap stamped "LS 5978"; thence, N84°57'45"E a distance of 369.20 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978"; thence, N84°57'45"E a distance of 40.69 feet to the point and place of beginning.

Tract contains 33.0300 acres, more or less.

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Elena Gallegos Grant, in projected Section 24, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract A-1 of the Plat of Tracts A-1 and A-2, LOS ANGELES CENTER, as the same is shown and designated on the plat thereof recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 20, 1997 in Volume 97C, Folio 198, as Document Number 97062853 together with the Domingo Baca Arroyo, being Parcel 2 as described in CV No. 8-73-09298, recorded in the office of the County Clerk of Bernalillo County, New Mexico on December 18, 1973, together with a southerly and northerly portion of Vacated San Bernardino Avenue NE, Vacation Ordinance No. 114-1969 on August 25, 1969, of the plat of TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 17, 1937 in Volume D, Folio 129, now comprising Tracts A-1-A, A-1-B, A-1-C, A-1-D, and A-1-E, LOS ANGELES CENTER, Albuquerque, New Mexico is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional Public Streets Rights-of-Way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants and hereby grant: All access, Utility, and Drainage Easements hereon, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried and/or overhead distribution lines, conduits, pipes for underground and/or overhead Utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantees Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("work") it deems appropriate without liability to the City. If work effects any Improvements or Encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of Improvements or Encroachments. If in the opinion of the City, the work to be performed by the City could endanger the structural integrity or otherwise damage the Improvements or Encroachments, the Grantee shall, at its own expense, take whatever protective measures are required to safeguard the Improvements or Encroachments. Those signing as owner(s) warrant that they hold among them complete and indefeasible title (in Fee Simple) to the land subdivided. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is with their free act and deed.

LOVE'S HLM, INC.
BY: Robin P. Nickles, Senior Vice President, Love's HLM, Inc.
State of New Mexico, County of Bernalillo.
This instrument was acknowledged before me on 25 day of August 2004 by Robin P. Nickles, Vice President of Love's HLM, Inc.
My Commission Expires: 2/20/2007
Notary Public: Melissa Richardson



NOTES

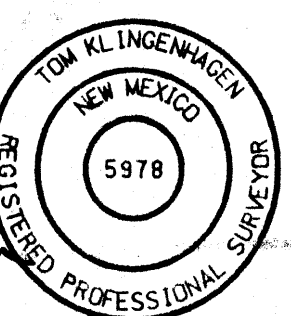
- 1. Basis of Bearings: New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 Datum also being the same as Bearings shown on PLAT OF TRACTS A-1 & A-2, LOS ANGELES CENTER, Filed: June 20, 1997 as Document No. 97062853 in Volume 97C, Folio 198.
2. Distances are Ground Distances.
3. All easements of record are shown.
4. Reciprocal cross-access and cross-drainage easements are provided over and across Tracts A-1-A, A-1-B, A-1-C, A-1-D and A-1-E for the use and benefit of same Tracts. Maintenance of these easements shall be by same Tracts' owners. (Ref. Z-95-092)
5. Record Bearings and distances are shown in parenthesis ().

SURVEYOR'S CERTIFICATION

I, Thomas G. Klingenhagen, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Bohannon-Huston, Inc.
Court yard 1
7500 Jefferson Street, N.E.
Albuquerque, New Mexico 87109
(505)823-1000

Thomas G. Klingenhagen
New Mexico Professional Surveyor 5978
Date: 8-20-04



PRELIMINARY PLAT OF TRACTS A-1-A, A-1-B, A-1-C, A-1-D & A-1-E LOS ANGELES CENTER

(A REPLAT OF TRACT A-1 LOS ANGELES CENTER AND THE DOMINGO BACA ARROYO TOGETHER WITH VACATED SAN BERNADINO AVENUE NE NORTH ALBUQUERQUE ACRES)

ALBUQUERQUE, NEW MEXICO AUGUST, 2004

PLAT APPROVAL

Table with columns for PROJECT NUMBER, APPLICATION NUMBER, UTILITY APPROVALS (QWEST TELECOMMUNICATIONS, COMCAST CABLE, PNM ELECTRIC SERVICES, PNM GAS SERVICES), CITY SURVEYOR, TRAFFIC ENGINEERING, TRANSPORTATION DIVISION, UTILITIES DEVELOPMENT, PARKS & RECREATION DEPARTMENT, A.M.A.F.C., CITY ENGINEER, DRB CHAIRPERSON, PLANNING DEPARTMENT, and TAX CERTIFICATION. Includes dates and signatures for each approval.

PNM STAMP

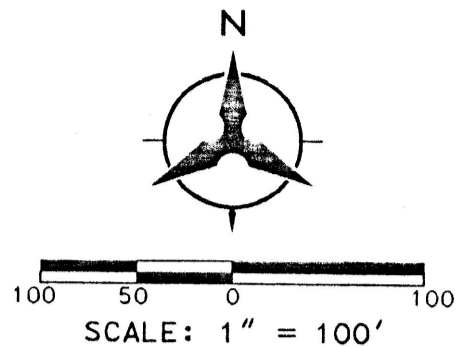
In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Bohannon-Huston logo and contact information: Court yard 1, 7500 JEFFERSON NE, Albuquerque, NEW MEXICO 87109. ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- - - CENTERLINE
- - - EXISTING EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ⊙ 5/8" REBAR WITH 1/4" RED PLASTIC SURVEY CAP STAMPED "PS 5978"
- ⊠ CHISELED "+ " IN CONCRETE
- ⊡ 5/8" REBAR W/CAP STAMPED "8478" TAGGED W/BASS DISK STAMPED "PS 5978"
- PK NAIL WITH SURVEY WASHER STAMPED "KLINGENHAGEN 5978"
- 5/8" REBAR W/CAP STAMPED "PS 3516" TAGGED W/BASS DISK STAMPED "PS 5978"
- ⊙ 3" DIA. NMSHC BRASS CAP STAMPED "STA. 381+63.37"

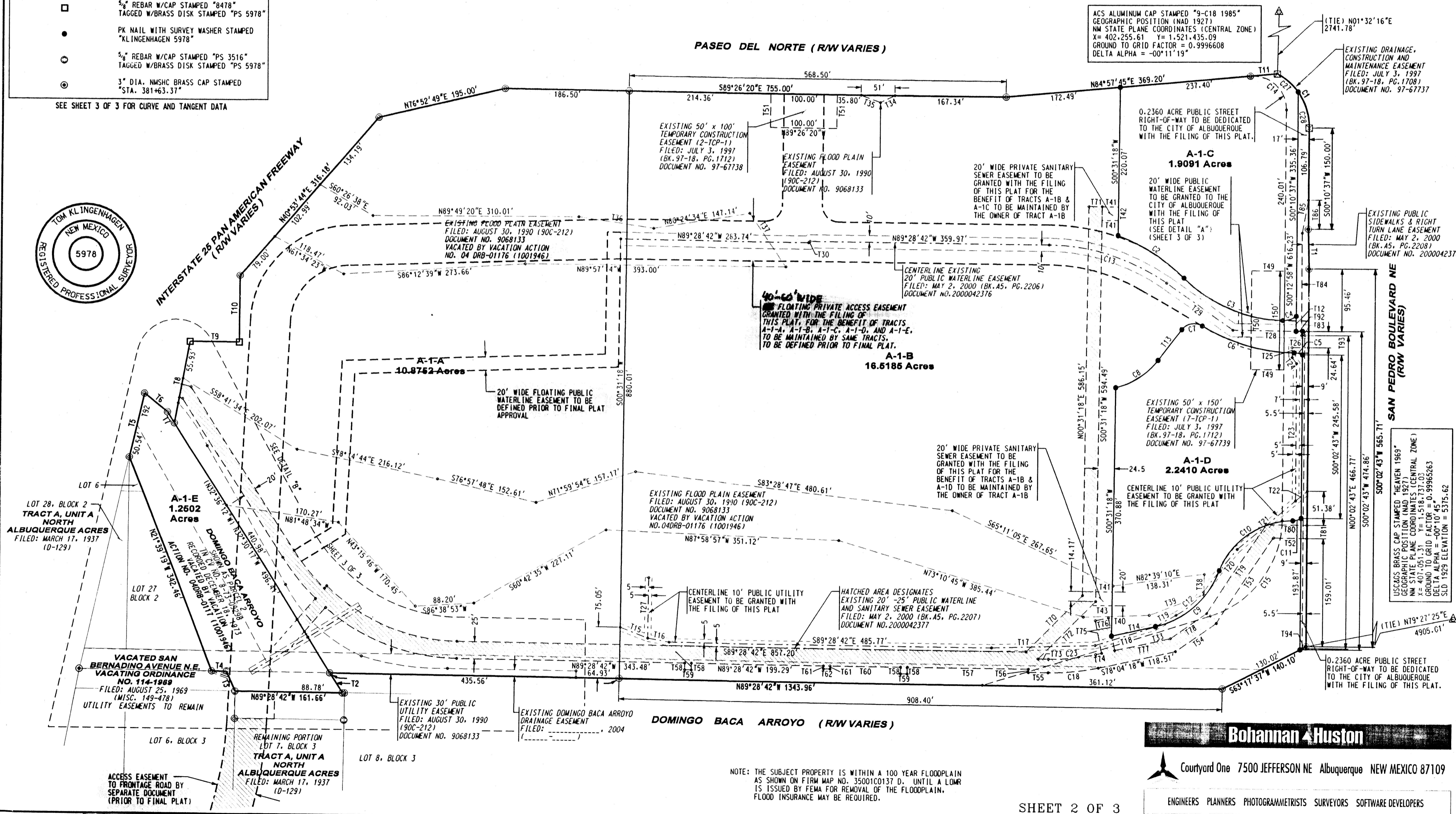
SEE SHEET 3 OF 3 FOR CURVE AND TANGENT DATA



**PRELIMINARY PLAT OF
TRACTS A-1-A, A-1-B,
A-1-C, A-1-D & A-1-E
LOS ANGELES CENTER**

(A REPLAT OF TRACT A-1 LOS ANGELES CENTER
AND THE DOMINGO BACA ARROYO TOGETHER
WITH VACATED SAN BERNADINO AVENUE NE
NORTH ALBUQUERQUE ACRES)

ALBUQUERQUE, NEW MEXICO
AUGUST, 2004



ACS ALUMINUM CAP STAMPED "9-C18 1985"
GEOGRAPHIC POSITION (NAD 1927)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X = 402,255.61 Y = 1,521,435.09
GROUND TO GRID FACTOR = 0.9996608
DELTA ALPHA = -00°11'19"

(T1E) N01°32'16"E
2741.78'

EXISTING DRAINAGE,
CONSTRUCTION AND
MAINTENANCE EASEMENT
FILED: JULY 3, 1997
(BK. 97-18, PG. 1708)
DOCUMENT NO. 97-67737

EXISTING PUBLIC
SIDEWALKS & RIGHT
TURN LANE EASEMENT
FILED: MAY 2, 2000
(BK. A5, PG. 2208)
DOCUMENT NO. 2000042378

USGCS BRASS CAP STAMPED "HEAVEN 1969"
GEOGRAPHIC POSITION (NAD 1927)
NM STATE PLANE COORDINATES (CENTRAL ZONE)
X = 407,051.31 Y = 1,518,737.03
GROUND TO GRID FACTOR = 0.99965263
DELTA ALPHA = -00°10'45"
SLD 1929 ELEVATION = 5375.62

Bohannon & Huston

Court yard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109

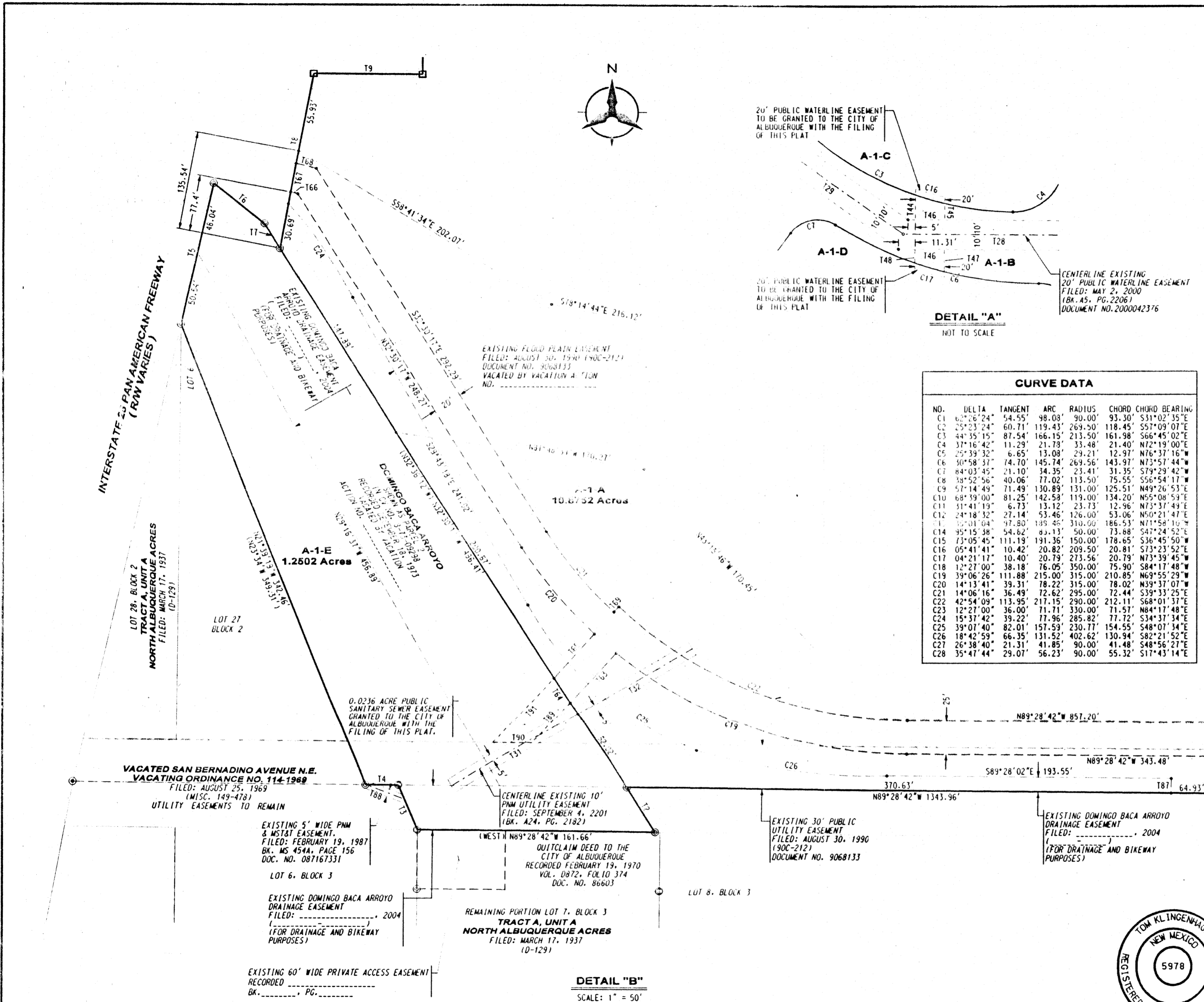
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

PRELIMINARY

PLAT OF
TRACTS A-1-A, A-1-B,
A-1-C, A-1-D & A-1-E
LOS ANGELES CENTER

(A REPLAT OF TRACT A-1 LOS ANGELES CENTER
AND THE DOMINGO BACA ARROYO TOGETHER
WITH VACATED SAN BERNADINO AVENUE NE
NORTH ALBUQUERQUE ACRES)

ALBUQUERQUE, NEW MEXICO
AUGUST, 2004



CURVE DATA

NO.	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BEARING
C1	62°26'24"	54.55'	98.03'	90.00'	93.30'	S31°02'35"E
C2	25°23'24"	60.71'	119.43'	269.30'	118.45'	S51°09'07"E
C3	44°35'15"	87.54'	166.15'	213.50'	161.98'	S66°45'02"E
C4	37°16'42"	11.29'	21.73'	33.48'	21.40'	N72°19'00"E
C5	25°39'32"	6.65'	13.03'	29.21'	12.97'	N76°37'16"W
C6	30°58'37"	14.70'	145.74'	269.56'	143.97'	N73°57'44"W
C7	84°03'45"	21.10'	34.35'	23.41'	31.35'	S79°29'42"W
C8	38°52'56"	40.06'	77.02'	113.50'	75.55'	S56°54'17"W
C9	57°14'49"	71.49'	130.89'	131.00'	125.51'	N49°26'53"E
C10	68°39'00"	81.25'	142.58'	119.00'	134.20'	N55°08'53"E
C11	31°41'19"	6.73'	13.12'	23.73'	12.96'	N73°37'49"E
C12	24°18'32"	27.14'	53.46'	126.00'	53.06'	N50°21'47"E
C13	35°01'04"	97.80'	189.45'	310.00'	186.53'	N71°58'16"W
C14	95°15'38"	54.62'	83.13'	50.00'	73.88'	S47°24'52"E
C15	73°05'45"	111.19'	191.36'	150.00'	178.65'	S36°45'50"W
C16	05°41'41"	10.42'	20.82'	209.50'	20.81'	S73°23'52"E
C17	04°21'17"	10.40'	20.79'	213.56'	20.79'	N73°39'45"W
C18	12°27'00"	38.18'	76.05'	350.00'	75.90'	S84°17'48"W
C19	39°06'26"	111.88'	215.00'	315.00'	210.85'	N69°55'29"W
C20	14°13'41"	39.31'	78.22'	315.00'	78.02'	N39°37'07"W
C21	14°06'16"	36.49'	72.62'	295.00'	72.44'	S39°33'25"E
C22	42°54'09"	113.95'	217.15'	290.00'	212.11'	S68°01'37"E
C23	12°27'00"	36.00'	71.71'	330.00'	71.57'	N84°17'48"E
C24	15°37'42"	39.22'	77.96'	285.82'	77.72'	S34°37'34"E
C25	39°07'40"	82.01'	157.59'	230.77'	154.55'	S48°07'34"E
C26	18°42'59"	66.35'	131.52'	402.62'	130.94'	S82°21'52"E
C27	26°38'40"	21.31'	41.85'	90.00'	41.48'	S48°56'27"E
C28	35°47'44"	29.07'	56.23'	90.00'	55.32'	S17°43'14"E

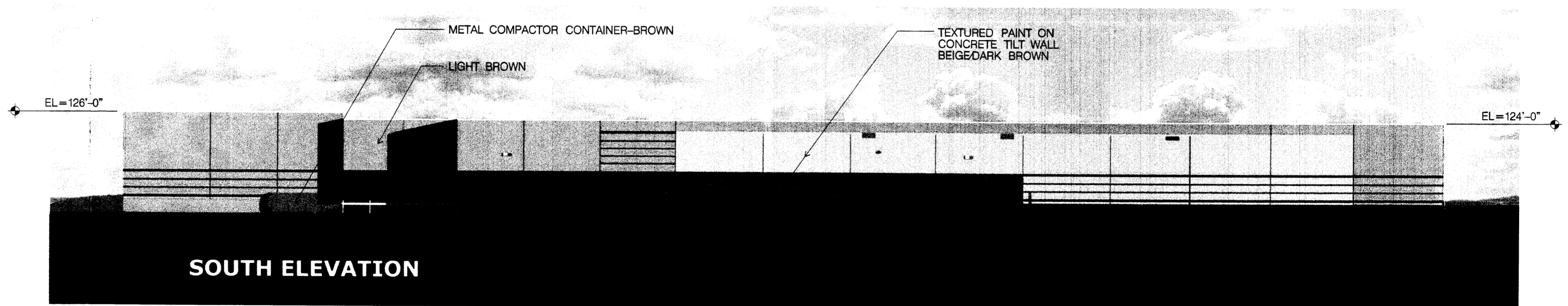
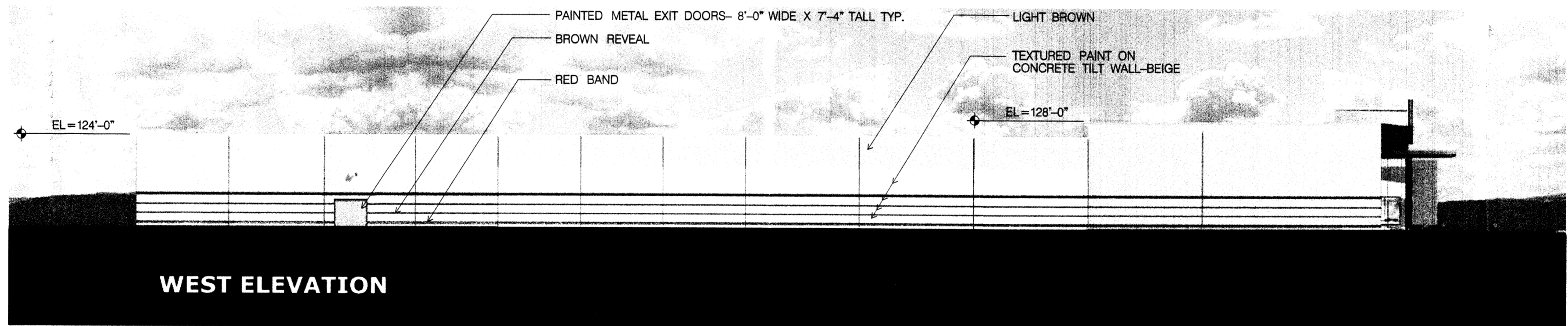
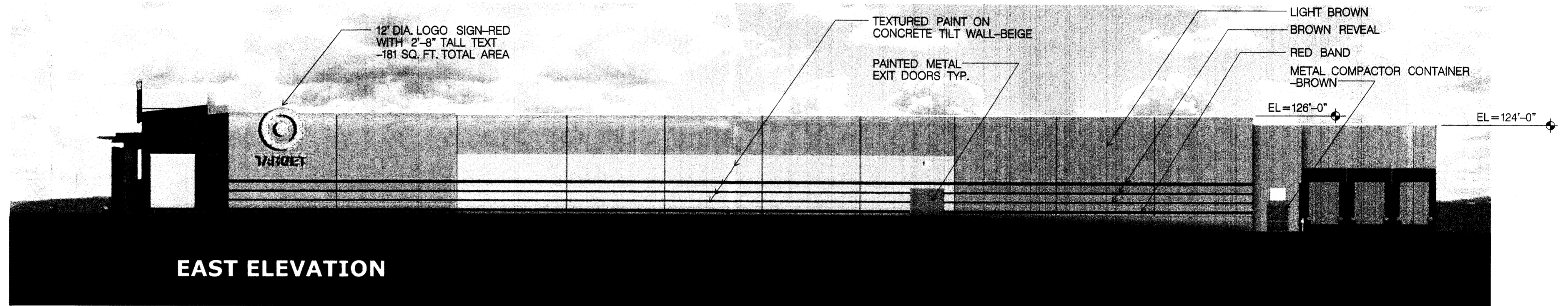
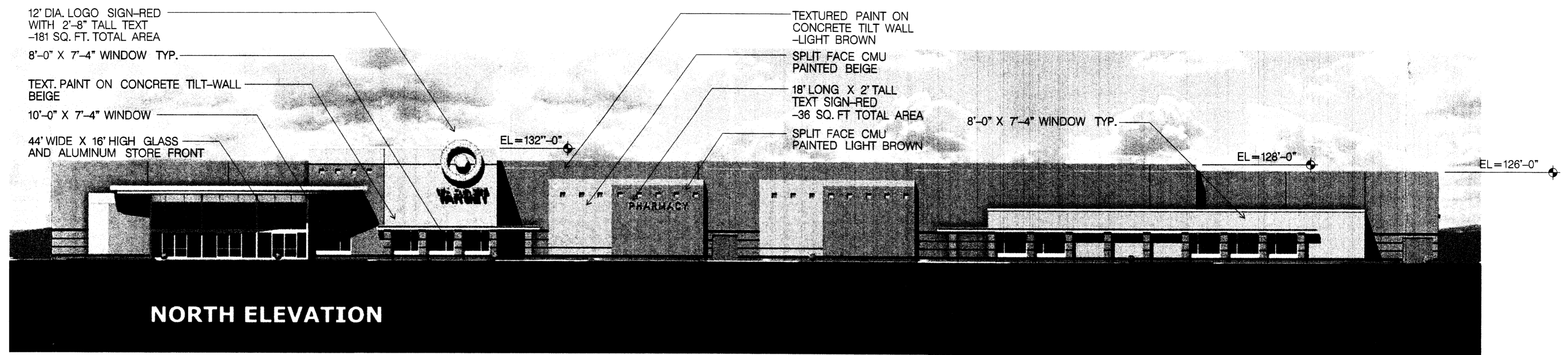
TANGENT DATA

NO.	BEARING	DISTANCE	NO.	BEARING	DISTANCE
T1	S01°25'47"E	60.08'	T45	S00°31'18"W	15.56'
T2	S32°50'17"E	35.77'	T46	N89°28'42"W	20.00'
T3	N23°55'02"W	32.86'	T47	S00°31'18"W	18.81'
T4	N62°39'42"W	32.86'	T48	S00°31'18"W	13.14'
T5	N11°57'31"E	98.58'	T49	N89°47'02"W	50.00'
T6	N11°57'31"E	98.58'	T50	N00°12'58"E	150.00'
T7	N11°57'31"E	98.58'	T51	N00°33'40"W	50.00'
T8	N10°35'06"E	123.70'	T52	N89°28'42"W	50.22'
T9	S89°32'36"E	14.06'	T53	N33°45'07"W	153.07'
T10	N00°44'12"E	101.44'	T54	S56°15'07"W	73.32'
T11	N84°57'45"E	40.69'	T55	N89°28'42"W	29.57'
T12	S00°10'37"W	22.69'	T56	N00°31'18"E	5.00'
T13	S37°27'50"W	58.44'	T57	N89°28'42"W	162.39'
T14	S78°04'18"W	67.35'	T58	S00°31'18"W	10.00'
T15	S69°52'42"E	44.58'	T59	N89°28'42"W	106.16'
T16	S80°29'49"E	32.65'	T60	S00°31'18"W	4.50'
T17	N88°18'49"E	155.92'	T61	N89°28'42"W	10.00'
T18	N73°01'15"E	93.35'	T62	N89°28'42"W	4.50'
T19	N62°31'03"E	36.26'	T63	N41°26'53"W	47.02'
T20	N38°32'31"E	81.55'	T64	S32°30'17"W	20.81'
T21	N49°42'24"E	114.17'	T65	N56°15'07"E	65.48'
T22	N49°42'24"E	22.96'	T66	N16°14'24"W	5.18'
T23	N00°02'43"E	206.23'	T67	N10°33'06"E	20.03'
T24	N37°01'40"E	11.27'	T68	S76°14'24"E	14.32'
T25	N00°06'16"W	14.86'	T69	N41°26'53"E	5.00'
T26	S89°52'27"E	24.55'	T70	N45°46'58"E	117.66'
T27	N00°31'18"E	88.09'	T71	N89°28'42"E	20.00'
T28	N89°28'42"E	113.88'	T72	S45°46'58"W	120.02'
T29	S54°27'38"W	122.82'	T73	S89°28'42"E	15.36'
T30	S45°31'18"W	2.83'	T74	N78°04'18"E	9.24'
T31	N59°02'11"E	100.18'	T75	N11°55'42"W	47.80'
T32	N59°05'13"E	90.56'	T76	N89°28'42"W	20.00'
T33	S73°19'39"W	357.11'	T77	N78°04'18"E	85.42'
T34	S64°25'14"W	24.10'	T78	N56°15'07"E	65.48'
T35	N69°33'41"W	31.23'	T79	N33°45'07"E	159.90'
T36	S81°44'56"E	114.13'	T80	S89°28'42"E	60.86'
T37	S34°19'00"E	97.08'	T81	S00°02'43"W	20.00'
T38	S00°32'55"W	30.00'	T82	S63°17'37"W	6.16'
T39	S69°50'22"W	87.66'	T83	N89°57'11"W	5.00'
T40	S88°14'06"W	99.08'	T84	N00°02'43"E	155.70'
T41	S89°28'42"E	24.50'	T85	N10°26'04"E	50.10'
T42	S00°31'18"W	20.00'	T86	S00°10'37"W	43.21'
T43	N89°28'42"E	30.38'	T87	S00°31'58"W	9.82'
T44	N00°31'18"E	21.33'	T88	N69°49'15"W	25.00'
			T89	S41°26'53"E	39.76'
			T90	N89°28'42"W	26.47'
			T91	N41°26'53"E	62.85'
			T92	S89°28'42"E	9.92'
			T93	S00°02'43"W	35.41'
			T94	S63°17'37"W	10.08'



Bohannon & Huston
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

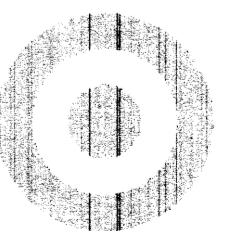
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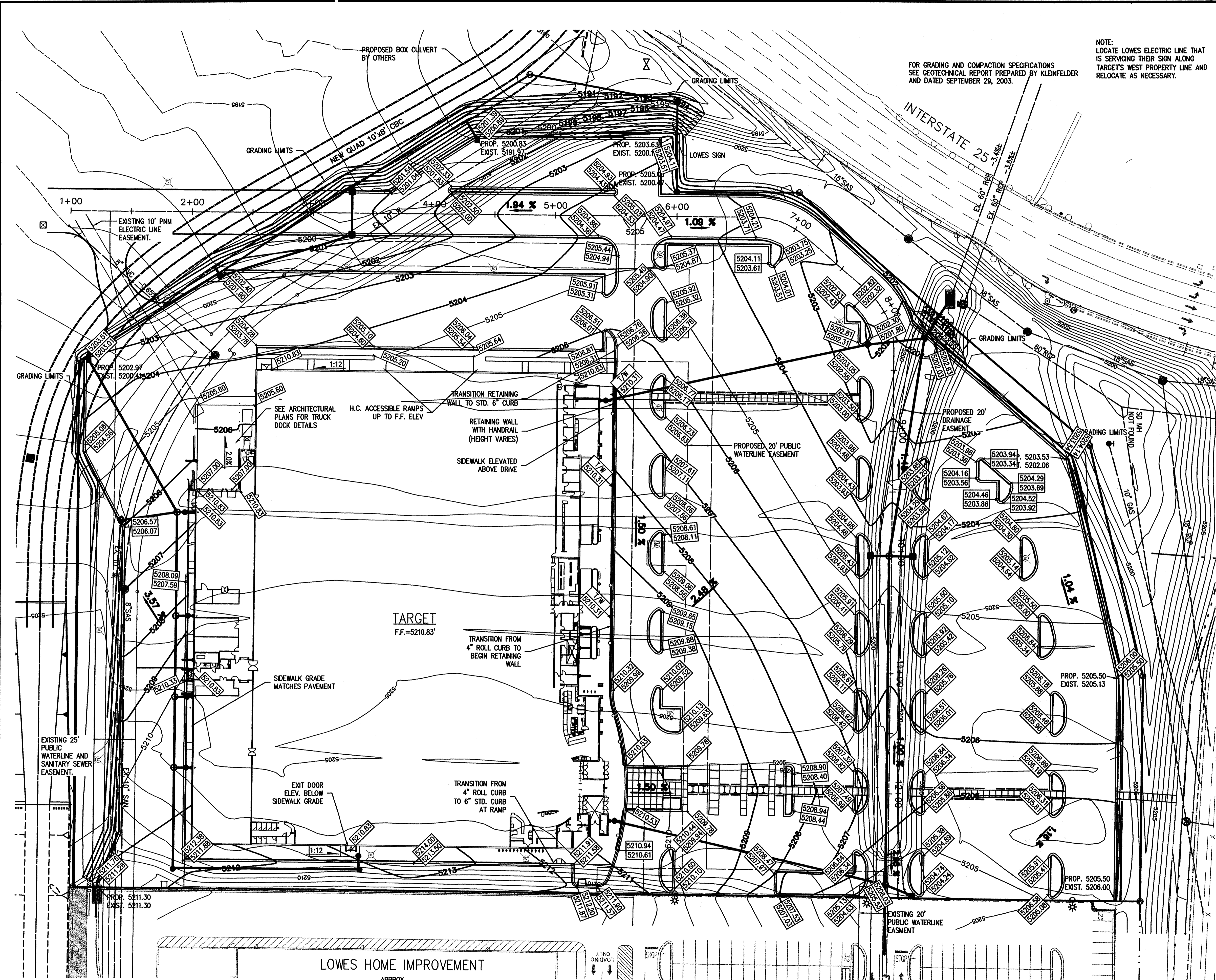


ALBUQUERQUE, NM

02 September 2004

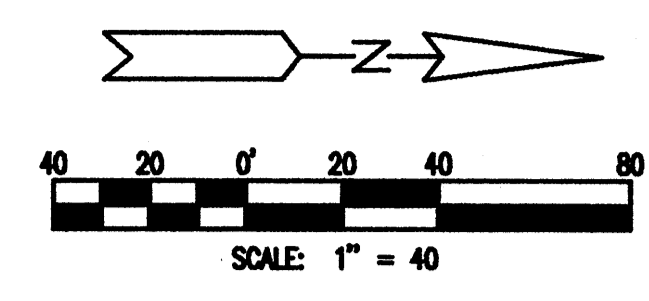
Target Store Planning & Design, Architecture & Engineering





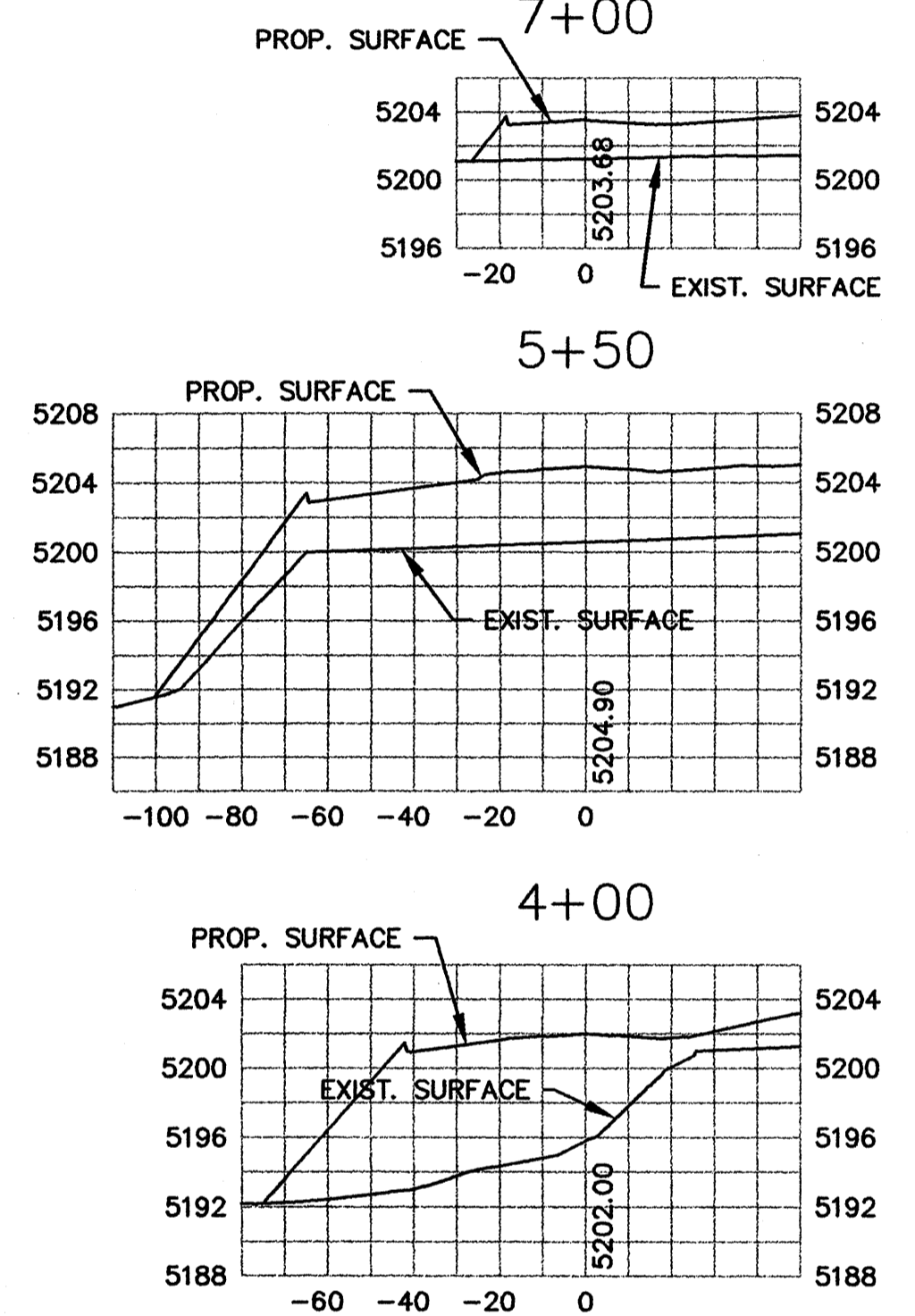
FOR GRADING AND COMPACTION SPECIFICATIONS SEE GEOTECHNICAL REPORT PREPARED BY KLEINFELDER AND DATED SEPTEMBER 29, 2003.

NOTE: LOCATE LOWES ELECTRIC LINE THAT IS SERVING THEIR SIGN ALONG TARGET'S WEST PROPERTY LINE AND RELOCATE AS NECESSARY.



EXISTING TOPOGRAPHY CONDITIONS
 THE EXISTING TOPOGRAPHY CONSISTS OF A SITE THAT IS GRADED AT ABOUT A 1% SLOPE FROM EAST TO WEST. THERE IS A 6 FOOT DIFFERENCE IN ELEVATION BETWEEN THE LOWES AND TARGET SITE AT THE EAST PROPERTY LINE. A PAVED DRAINAGE SWALE CURRENTLY SERVICES THE STORM RUNOFF FROM LOWES AND RUNS ACROSS TARGET'S PROPERTY FROM EAST TO WEST.

PROPOSED GRADING
 THE PROPOSED GRADING PLAN CONSISTS OF ELEVATING THE SITE BY IMPORTING FILL. THE MAXIMUM GRADES ACROSS THE PARKING LOT ARE 3% AND THE MINIMUM GRADES ARE 1%. HOWEVER, IN ORDER TO MATCH LOWES SITE ALONG THE EAST PROPERTY LINE A 4% MAXIMUM GRADE IS USED. THE DRAINAGE SWALE IN THE NORTH PART OF THE SITE WILL BE ENCLOSED AND A 36\"/>



TARGET **REVIEWED BY:**

Development Manager	___ Not Reviewed ___ Approved as Noted ___ Approved
Project Architect	___ Not Reviewed ___ Approved as Noted ___ Approved
Project Engineer (M)	___ Not Reviewed ___ Approved as Noted ___ Approved
Project Engineer (E)	___ Not Reviewed ___ Approved as Noted ___ Approved
Project Engineer (S)	___ Not Reviewed ___ Approved as Noted ___ Approved

Approved only for conformance of the site construction documents to Target Developer Guide, Edition 2.4 and the Target building documents. Consultant is solely responsible for completeness, accuracy, and dimensions on the site construction documents.

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE:	NO.	DATE:	NO.	DATE:	NO.	DATE:
DESIGNED BY: RMB	DATE: 7/1/2004	DESIGNED BY: RMB	DATE: 7/1/2004	DESIGNED BY: RMB	DATE: 7/1/2004	DESIGNED BY: RMB	DATE: 7/1/2004
DRAWN BY: BCL	DATE: 7/1/2004	DRAWN BY: BCL	DATE: 7/1/2004	DRAWN BY: BCL	DATE: 7/1/2004	DRAWN BY: BCL	DATE: 7/1/2004
CHECKED BY: BEB	DATE: 7/1/2004	CHECKED BY: BEB	DATE: 7/1/2004	CHECKED BY: BEB	DATE: 7/1/2004	CHECKED BY: BEB	DATE: 7/1/2004
REVISIONS	DATE	REVISIONS	DATE	REVISIONS	DATE	REVISIONS	DATE
1	7/1/04	1	7/1/04	1	7/1/04	1	7/1/04
2	10/19/04	2	10/19/04	2	10/19/04	2	10/19/04

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TITLE: GRADING PLAN (PRELIMINARY)

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO/DAY/YR	MO/DAY/YR
DRAWING NO.	MAP NO.	SHEET	C3.0

LOWES HOME IMPROVEMENT
 APPROX. F.F.=5213.00'

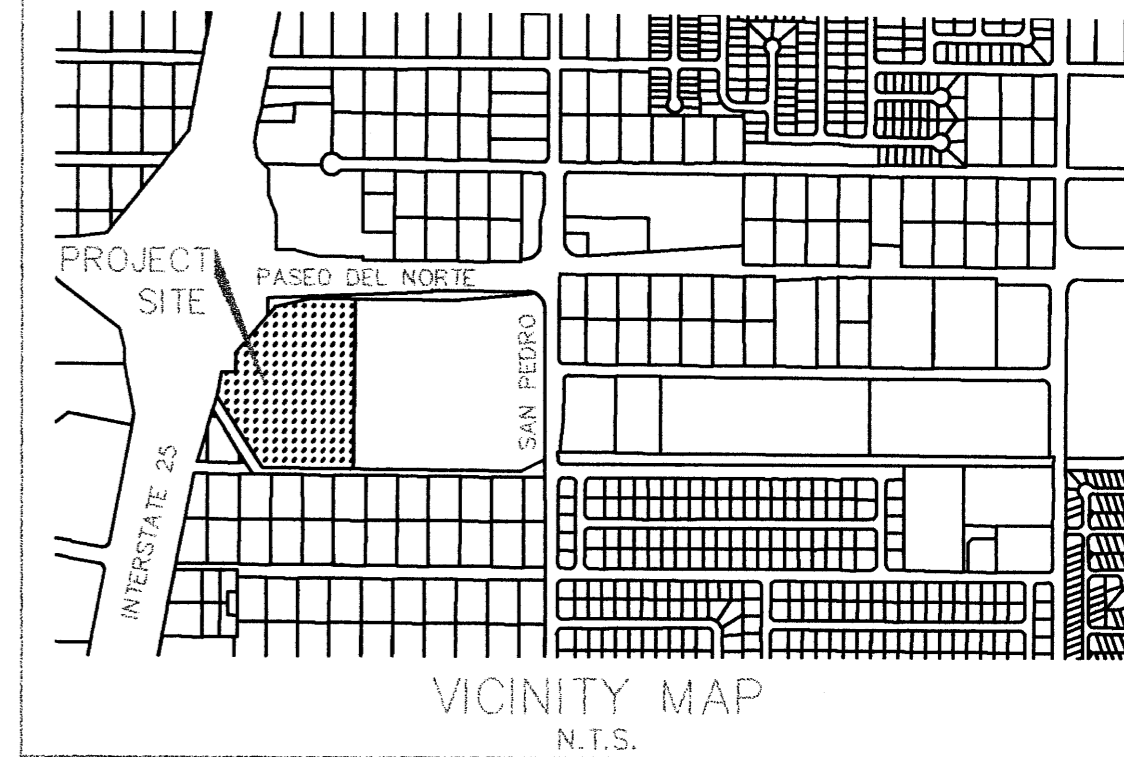
TARGET SITE DEVELOPMENT PLANS

IN THE CITY OF ALBUQUERQUE

STATE OF NEW MEXICO

CAPITAL PROJECT REQUEST PLAN SUBMITTAL

October 26, 2004



ALL WORK, MATERIALS, EQUIPMENT, INSTALLATION, TESTING, ETC. SHALL COMPLY WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION MANUAL, DATED 1986, AS AMMENDED, AND THE FOLLOWING STANDARD DETAILS.

PROPOSED LEGEND

DESCRIPTION	PROPOSED
SANITARY SEWER LINE ENCASUREMENT	SAS
SANITARY SEWER MANHOLE	●
GAS SERVICE CONNECTION	T T
STORM DRAIN LINE	SD
STORM DRAIN MANHOLE	●
STORM DRAIN INLET	■
WATER LINE	W
GATE VALVE	⊗
BUTTERFLY VALVE	⊕
FIRE HYDRANTS	⊕
REDUCERS	⊕
WATER SERVICE CONNECTION	⊕
TEES	⊕
CROSSES	⊕
BENDS	⊕
CAPS AND PLUGS	⊕
CURB AND GUTTER	⊕
SIDWALK	⊕
PAVEMENT	⊕
UNDERGROUND ELECTRIC	⊕
BLOCK WALL	⊕
CHAIN LINK FENCE	⊕
FIELD FENCE	⊕
CONTOUR LINES	50
SIDE SLOPE	⊕
SWALE	⊕
SPOT ELEVATIONS	⊕
RIGHT OF WAY LINES	⊕
PROPERTY LINES	⊕
CENTER LINES	⊕
PUBLIC EASEMENTS	⊕

EXISTING LEGEND

DESCRIPTION	EXISTING
PROPOSED BOUNDARY LINE	⊕
EXISTING ENCASUREMENT	⊕
CURB & GUTTER	⊕
FLOWLINE	⊕
CONCRETE PAD	⊕
EDGE OF PAVEMENT	⊕
EDGE OF CHANNEL	⊕
EDGE OF SIDEWALK	⊕
DTM BREAKLINE	⊕
SANITARY SEWER MANHOLE	●
STORM DRAIN MANHOLE	●
WATER VALVE	⊕
FOUND HUB & TACK	⊕
FOUND REBAR WITH CAP	⊕
SIGNAL POLE	⊕
TOP OF PAVEMENT SHOT SIGN	⊕
DROP INLET	⊕
ELECTICAL PULLBOX	⊕
GROUND SHOT	⊕
METAL LIGHT POLE	⊕

INDEX OF SHEETS

C1.0	TITLE SHEET
C2.0	ALTA/ASCM TITLE SURVEY (BY OTHERS)
C3.0	GRADING PLAN (PRELIMINARY)
C4.0	SESC AND SWPP PLAN (PRELIMINARY)
C5.0	OVERALL SITE PLAN
C6.0	UTILITY PLAN (PRELIMINARY)
C7.0	STORM DRAINAGE PLANS (PRELIMINARY)
C8.0	SITE PLAN
C8.1	SITE PLAN DETAILS
C8.2	STAGING PLAN
C9.0	PAVEMENT PLANS
C10.0	SITE LIGHTING PLAN
C11.0	LANDSCAPING PLAN
C11.1	LANDSCAPING NOTES & DETAILS

CITY OF ALBUQUERQUE STANDARDS

SPEC. NO.	TITLE	SPEC. NO.	TITLE
	STANDARD DETAILS FOR SEWER	2440	CURB ACCESS RAMP
2101	MANHOLE TYPE 'C'	2441	WHEEL CHAIR ACCESS RAMP
2102	MANHOLE TYPE 'E'	2450	CONCRETE JOINTS STANDARD
2107	CONCRETE MANHOLE COVER TYPE 'C'	2451	CONCRETE JOINTS STANDARD TYPE 5 & 6
2110	MANHOLE FRAME AND COVERS	2453	STANDARD PENETRATIONS PCC PAVEMENT
2111	MANHOLE ADJUSTING RING	2460	MANHOLE & VALVE BOX REGRADING
2116	VERTICAL DROP AT MANHOLE		STANDARD DETAILS FOR LANDSCAPING
2118	SERVICE LINE CONNECTION AT MANHOLE	2701	MASTER VALVE W/RPBA
2125	SERVICE LINE DETAILS	2701-A	BERMAD FLOWMETER MASTERVALVE W/RPBA
2136	RISER DETAILS FLEXIBLE PIPE MAIN	2702	MASTERVALVE W/PVB
2140	ENCASEMENT DETAILS	2702-A	BERMAD FLOWMASTER MASTERVALVE W/PVB
	STANDARD DETAILS FOR DRAINAGE	2702-B	IRRIGATION SYSTEMS
2201	STORM INLET TYPE 'A'	2702-C	IRRIGATION SYSTEMS W/CHEMICAL INJECTION
2202	STORM INLET TYPE 'A'	2703	IRRIGATION ELECTRIC VALVE
2205	STORM INLET DOUBLE 'C'	2704	IRRIGATION THRUST BLOCKS
2206	STORM INLET DOUBLE 'B'	2705	AIR RELIEF VALVE
2207	STORM INLET GUTTER TRANSITION	2706	IRRIGATION GATE VALVE
2215	STORM INLET CENTER SUPPORT ASSEMBLY	2707	IRRIGATION MAINLINE ISOLATION VALVE
2216	STORM INLET FRAME	2708	QUICKS COUPLER VALVE
2220	STORM INLET ALBUQUERQUE GRATE	2709	SPRINKLER HEAD W/FLEX PIPE ASSEMBLY
2221	STORM INLET ALTERNATE GRATE	2709-A	IRRIGATION DIPS VALVE
	STANDARD DETAILS FOR WATER	2709-B	DRINKING FOUNTAIN W/BALL DRAIN
2301	WATERLINE CONNECTION DETAILS	2710	IRRIGATION BUBBLER HEAD AT TREE
2320	CONCRETE BLOCKING DESIGN	2711	IRRIGATION BUBBLER HEAD AT SHRUB
2326	WATER VALVE BOX	2711-A	BUBBLER DETAIL IN FLOWER BED
2328	RING & COVER FOR VALVE BOX	2712	IRRIGATION BUBBLER HEAD IN TREE GRATE
2333	WATER VALVE ANCHORAGE	2713	TREE PLANTED IN TURF
2340	FIRE HYDRANT INSTALLATION	2714	ISOLATED TREE PLANTING
2358	THRUST TIE DETAILS	2715	TREE IN PLANTER
2370	TYPE 'A' OR 'B' PITS FOR 3" METERS	2716	TREE PLANTED ON SLOPE
2385	RPP BACKFLOW PREVENTION ASSEMBLY	2717	ISOLATED SHRUB PLANTING
2386	DOUBLE CHECK VALVE ASSEMBLY	2718	SHRUB BED
2387	DOUBLE CHECK-DETECTOR CHECK ASSEMBLY	2719	FLOWER BED
2388-A	PRESSURE VACUUM BREAKER	2720	CONCRETE WALK
2388-B	PRESSURE VACUUM BREAKER	2722	ASPHALT PATH W/CONCRETE MOWSTRIP
2388-B	ENCLOSURES		TEMPORARY TRAFFIC CONTROL
	STANDARD DETAILS FOR PAVING	2801	GENERAL NOTES
2415A	CURB & GUTTER AND CURB CUT DETAILS	2802	TRAFFIC CONTROL SIGNING
2418	MOUNTABLE TO STANDARD CURB TRANSITION	2803	CONSTRUCTION TRAFFIC CONTROL
2420	CONCRETE VALLEY GUTTER	2804	SIGNING EXAMPLES (MUTCD)
2421	CONCRETE VALLEY GUTTER (KNUCKLE)	2805	SIGNING EXAMPLES (MUTCD)
2430	SIDEWALK DETAILS	2806	SIGNING EXAMPLES (MUTCD)
2431	SIDEWALK OBSTRUCTIONS	2807	SIGNING EXAMPLES (MUTCD)
2432	SIDEWALK TRANSITIONS	2808	SIGNING EXAMPLES (MUTCD)

ARCHITECT: TARGET
ENGINEER: WADE-TRIM
OWNER: TARGET

SITE ADDRESS:
6200 PASEO DEL NORTE
ALBUQUERQUE, NEW MEXICO 87109



REVIEWED BY:

Development Manager	___	Not Reviewed	___	Approved as Noted	___	Approved
Project Architect	___	Not Reviewed	___	Approved as Noted	___	Approved
Project Engineer (M)	___	Not Reviewed	___	Approved as Noted	___	Approved
Project Engineer (E)	___	Not Reviewed	___	Approved as Noted	___	Approved
Project Engineer (S)	___	Not Reviewed	___	Approved as Noted	___	Approved

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ENGINEER'S SEAL & SIGNATURE



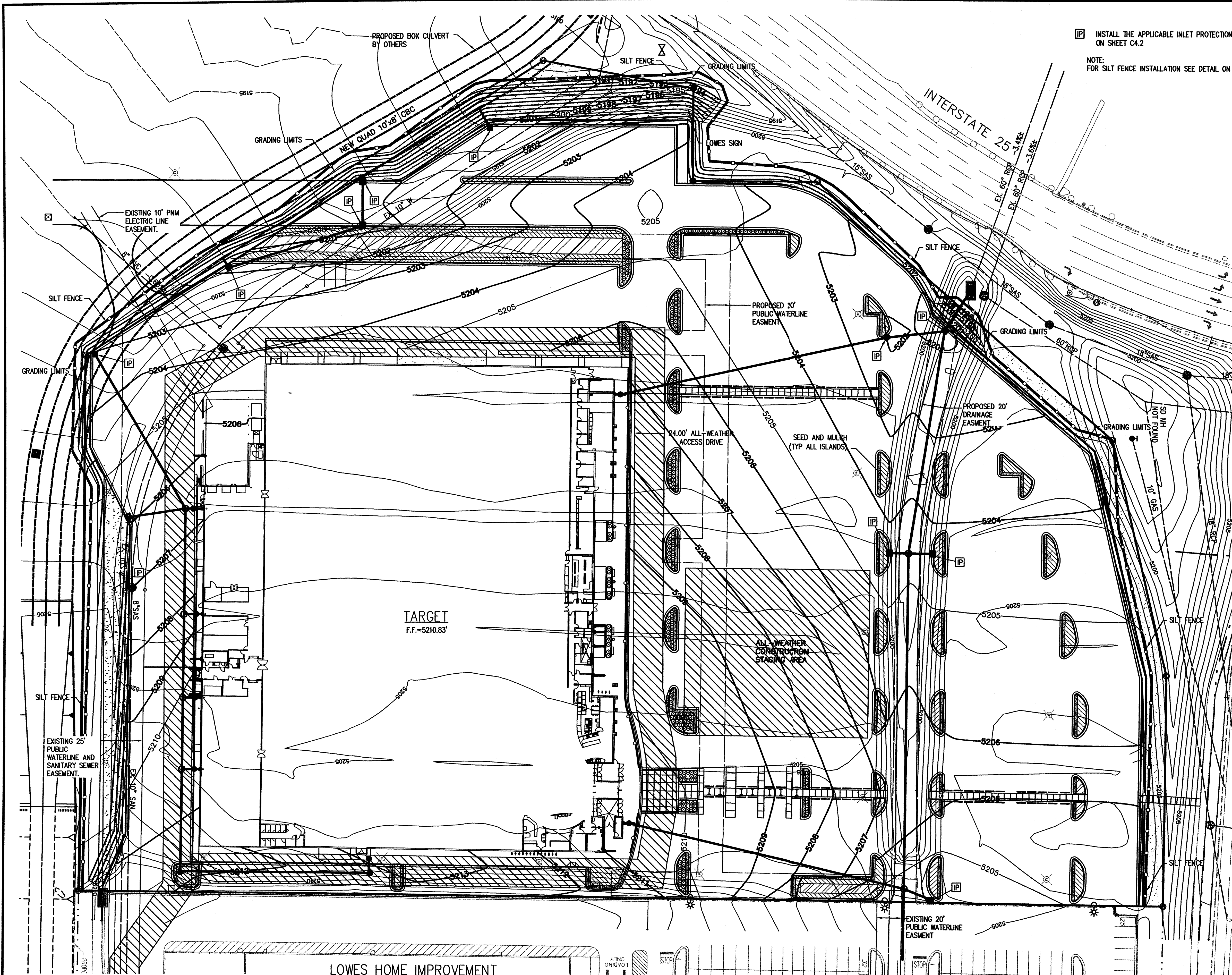
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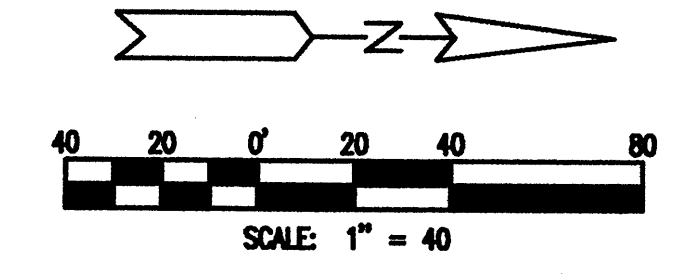
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APPROVED FOR
CONSTRUCTION

SHEET C1.0



NOTE:
 IP INSTALL THE APPLICABLE INLET PROTECTION AS SHOWN ON SHEET C4.2
 NOTE:
 FOR SILT FENCE INSTALLATION SEE DETAIL ON SHEET C4.1



**CITY OF ALBUQUERQUE
 EROSION CONTROL AND STORMWATER POLLUTION PREVENTION NOTES:**

A. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY IMPLEMENTING BEST MANAGEMENT PRACTICES (BMP'S) TO PROTECT THE SOIL FROM WIND, AND WATER EROSION.

B. DURING THE MONTHS OF JULY, AUGUST OR SEPTEMBER, ANY GRADING WITHIN OR ADJACENT TO A WATERCOURSE DEFINED AS A MAJOR FACILITY SHALL PROVIDE FOR EROSION CONTROL AND SAFE PASSAGE OF THE 10-YEAR DESIGN STORM RUNOFF DURING THE CONSTRUCTION PHASE.

C. CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL DUST CONTROL AND STORMWATER POLLUTION PREVENTION REQUIREMENTS AND IS RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS, PERMITS, AND APPROVALS.

D. ALL GRADED AREAS WHICH DO NOT RECEIVE A FINAL SURFACE TREATMENT WILL BE REVEGETATED IN ACCORDANCE WITH COA STANDARD SPECIFICATION 1012 AND THE LANDSCAPE SPECIFICATIONS.

E. CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.

SITE DESCRIPTION

• REFER TO APPLICATION (NOI) FOR DESCRIPTION OF CONSTRUCTION ACTIVITY, ESTIMATES OF DISTURBED AREAS, AND RECEIVING WATERS.

• REFER TO THIS MAP FOR DRAINAGE PATTERNS, SLOPES, LIMITS OF GRADING, AREAS OF SOIL DISTURBANCE, AND STABILIZATION AREAS.

CONSTRUCTION NOTES

- CONTRACTOR SHALL INSTALL ALL TEMPORARY EROSION CONTROL DEVICES PRIOR TO INITIATING WORK.
- CONTRACTOR SHALL MAINTAIN TIRE SCRUB AREA DAILY.
- NO FUELS SHALL BE STORED ON SITE.
- LUBRICANTS TO BE STORED IN SITE CONSTRUCTION TRAILER.
- GARAGE DUMPSTERS SHALL BE EMPTIED DAILY OR WHEN FULL.
- SANITATION FACILITIES SHALL BE PROVIDED FOR WORKERS AND MAINTAINED DAILY.
- CONTRACTOR SHALL ADHERE TO LOCAL SOIL EROSION PERMIT REQUIREMENTS.
- CONTRACTOR SHALL INSPECT AND MAINTAIN SOIL EROSION CONTROL MEASURES WEEKLY OR WITHIN 24 HOURS OF STORM EVENT.
- CONTRACTOR SHALL COMPLY WITH NEW MEXICO DNR NPDES REQUIREMENTS.
- ANY CHANGES TO THIS PLAN SHALL BE UPDATED IMMEDIATELY AND RESUBMITTED TO THE NEW MEXICO DNR.
- THIS PLAN SHALL BE TRANSFERRED FROM THE SITE CONTRACTOR, TO THE BUILDING CONTRACTOR, BY SIGNATURE.
- NO MORE THAN 10 ACRES OF RAW EARTH WILL BE DISTURBED.
- SITE CONTRACTOR SHALL IMPLEMENT, INSPECT, AND MAINTAIN ALL SOIL EROSION CONTROLS UNTIL PROJECT IS TRANSFERRED TO BUILDING CONTRACTOR.



REVIEWED BY:

Development Manager	Not Reviewed	Approved as Noted	Approved
Project Architect	Not Reviewed	Approved as Noted	Approved
Project Engineer (M)	Not Reviewed	Approved as Noted	Approved
Project Engineer (E)	Not Reviewed	Approved as Noted	Approved
Project Engineer (S)	Not Reviewed	Approved as Noted	Approved

Approved only for conformance of the site construction documents to Target Developer Guide, Edition 2.4 and the Target building documents. Consultant is solely responsible for completeness, accuracy, and dimensions on the site construction documents.

SEQUENCE OF ACTIVITIES

- INSTALL SILT FENCE AND STONE SILT CHECKS - 1 DAY
- ROUGH GRADING, PAD CONSTRUCTION - 30 DAYS
- INSTALL UTILITIES, RESTORE TRENCHES WITH 6" COARSE AGGREGATE - 5 DAYS
- CONSTRUCT ISLANDS - 7 DAYS
- PLANT NEW VEGETATION AND HYDROSEED/SOD - 7 DAYS
- CONSTRUCT NEW BUILDING - 9 MONTHS
- REMOVE EROSION CONTROL MEASURES - 1 DAY

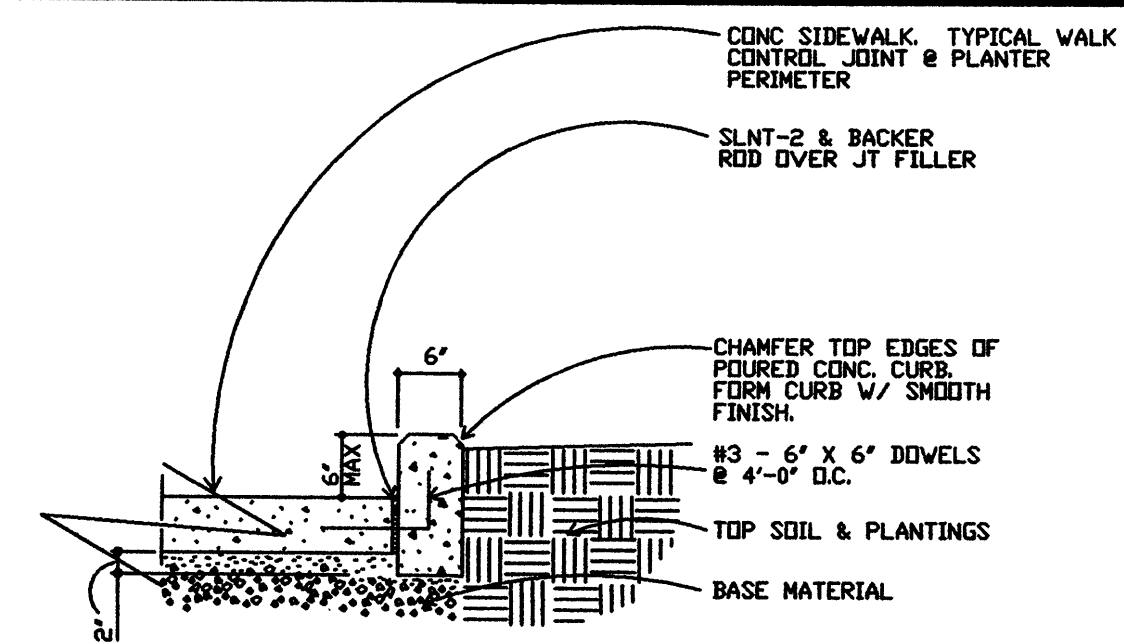
EROSION AND SEDIMENT CONTROLS

- SILT FENCE - TEMPORARY
- STONE SILT FENCE - TEMPORARY
- TIRE SCRUB - TEMPORARY
- CONSTRUCTION ENTRANCE - TEMPORARY
- PAVING - PERMANENT
- CURB - PERMANENT
- HYDROSEED/SOD - PERMANENT
- CONCRETE WALKS/PAVING - PERMANENT
- REFER TO SEQUENCE OF ACTIVITIES FOR SCHEDULING.
- UNDER NO CIRCUMSTANCES SHALL BARE EARTH REMAIN UNSTABILIZED OVER 14 DAYS.
- TO MINIMIZE EROSION AND POLLUTANTS, FINAL SURFACES CONSIST OF ASPHALT, CONCRETE, MULCH, AND GRASS, AND SHALL BE MAINTAINED BY THE OWNERS/APPLICANT.

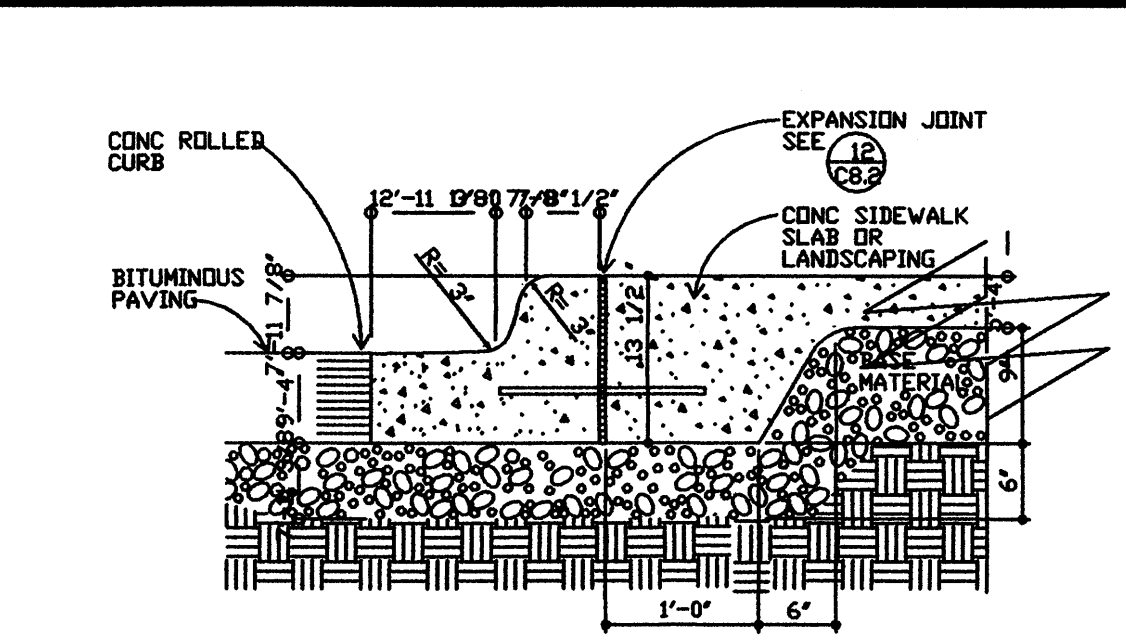
• IF POLLUTION, SPILLS, OR EROSION ARE EVIDENT (THROUGH DAILY INSPECTIONS BY THE CONTRACTOR) ALL WORK WILL STOP AND THE CONTRACTOR SHALL IMMEDIATELY CORRECT THE PROBLEM.

• THE CONTRACTOR SHALL INSPECT THE RECEIVING WATERS ON A DAILY BASIS FOR POLLUTION, OR EROSION CAUSED BY HIS OPERATIONS.

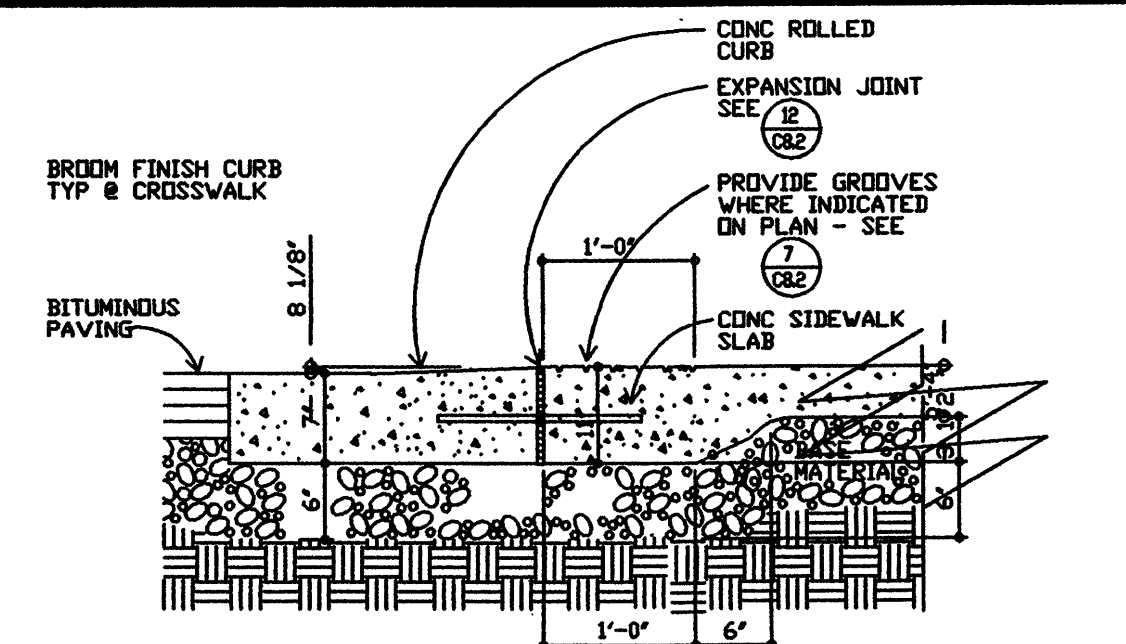
AS-BUILT INFORMATION		CONTRACTOR	DATE:
BENCH MARKS		MARK	DATE:
SURVEY INFORMATION		DESIGNED BY	DATE:
FIELD NOTES		DRAWN BY	DATE:
ENGINEER'S SEAL		CHECKED BY	DATE:
REVISIONS		NO.	DATE
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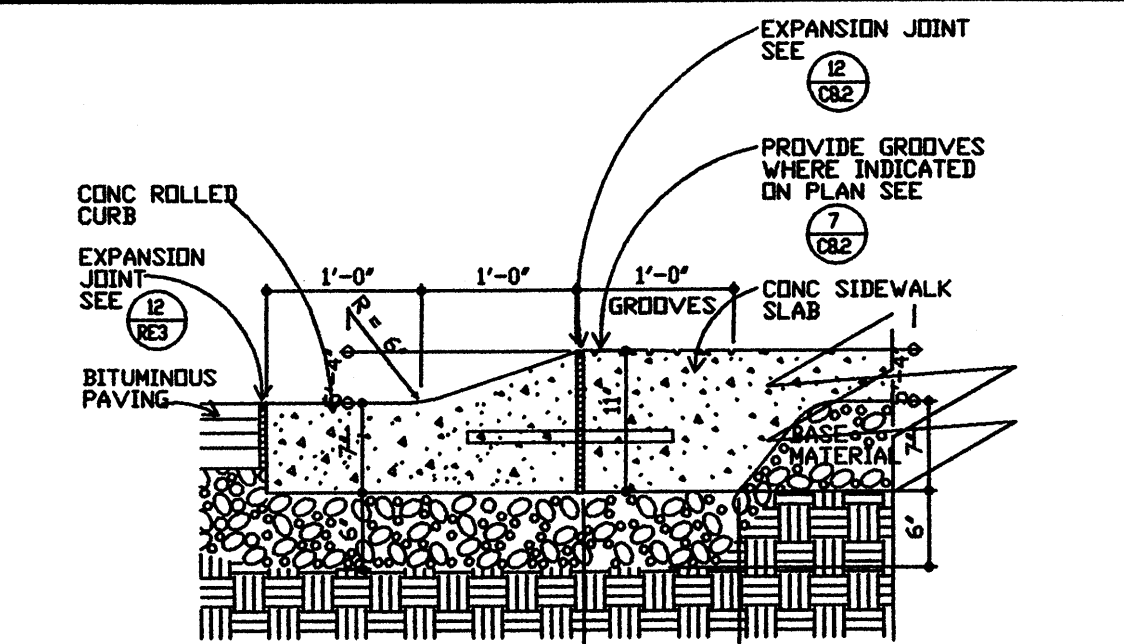
3 CONCRETE PLANTER CURB
1 1/2"=1'-0"



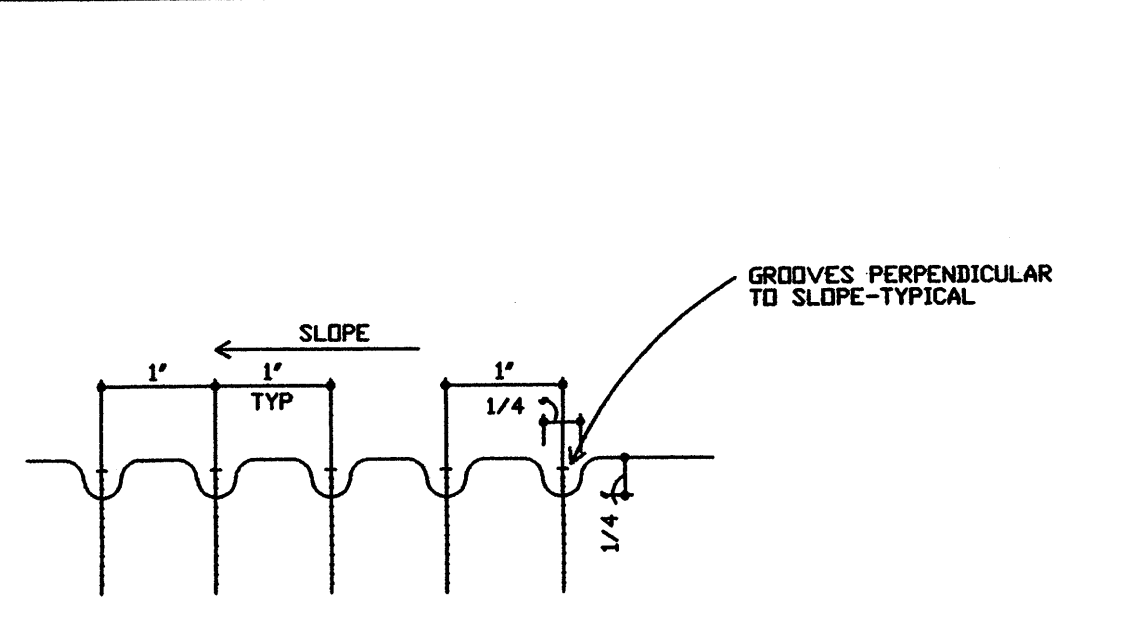
4 B612 CURB
1"=1'-0"



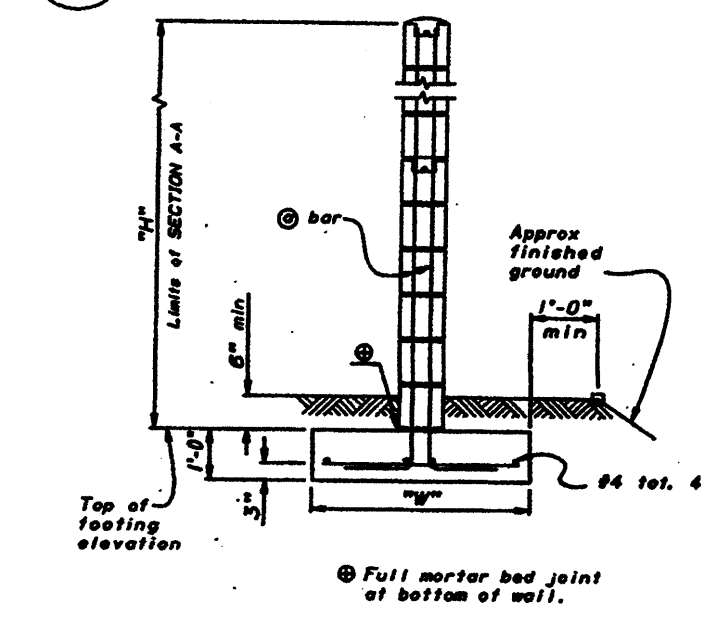
5 FLUSH CURB & WALK
1"=1'-0"



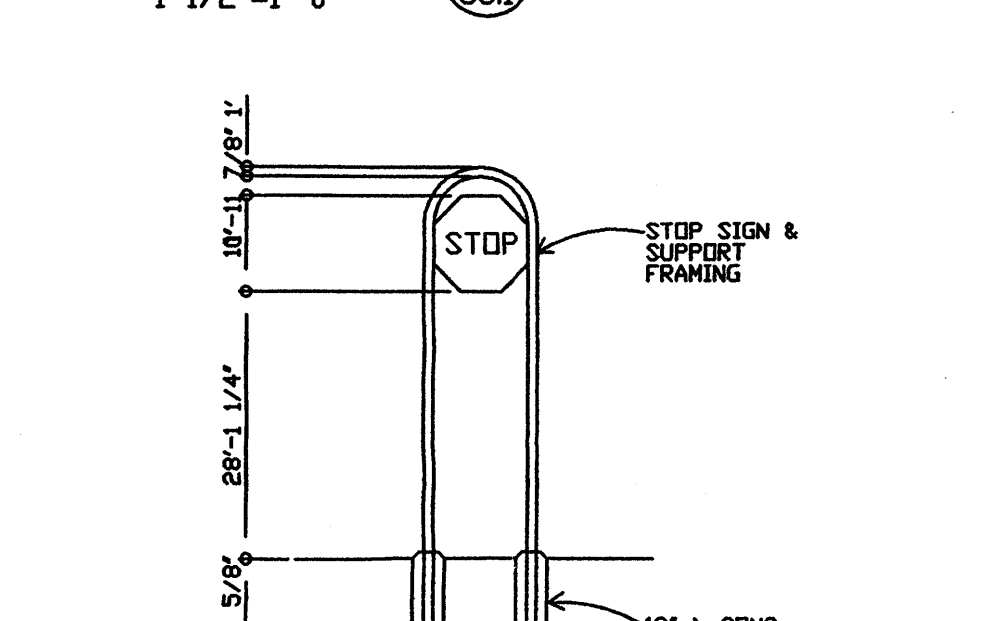
6 ROLLED CURB & WALK
1"=1'-0"



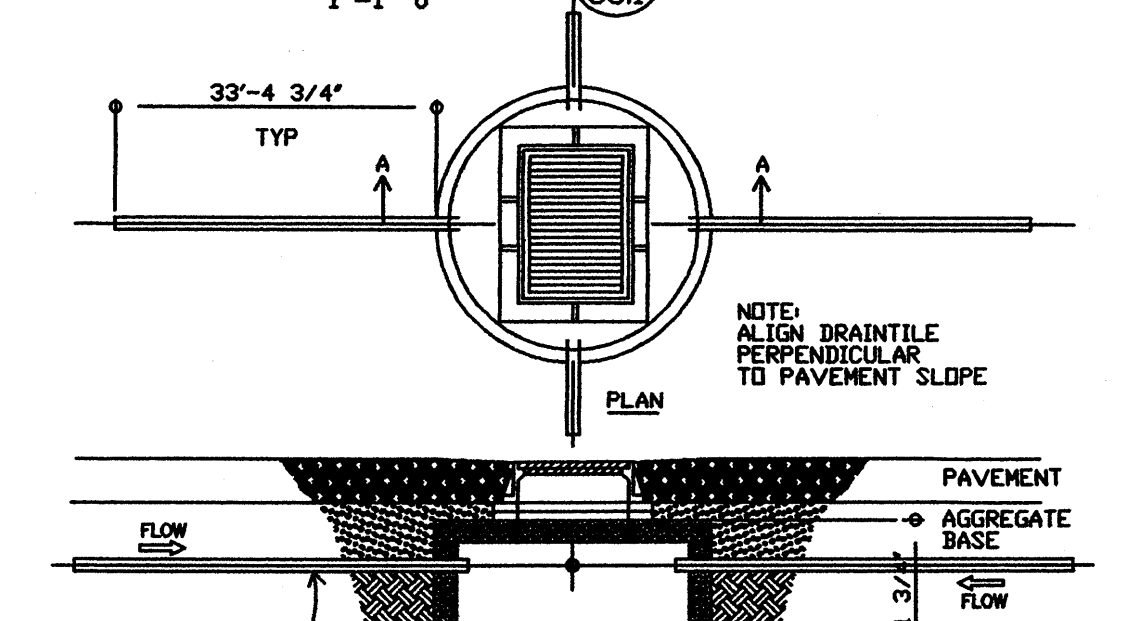
7 GROOVING DETAIL @ RAMP
NTS



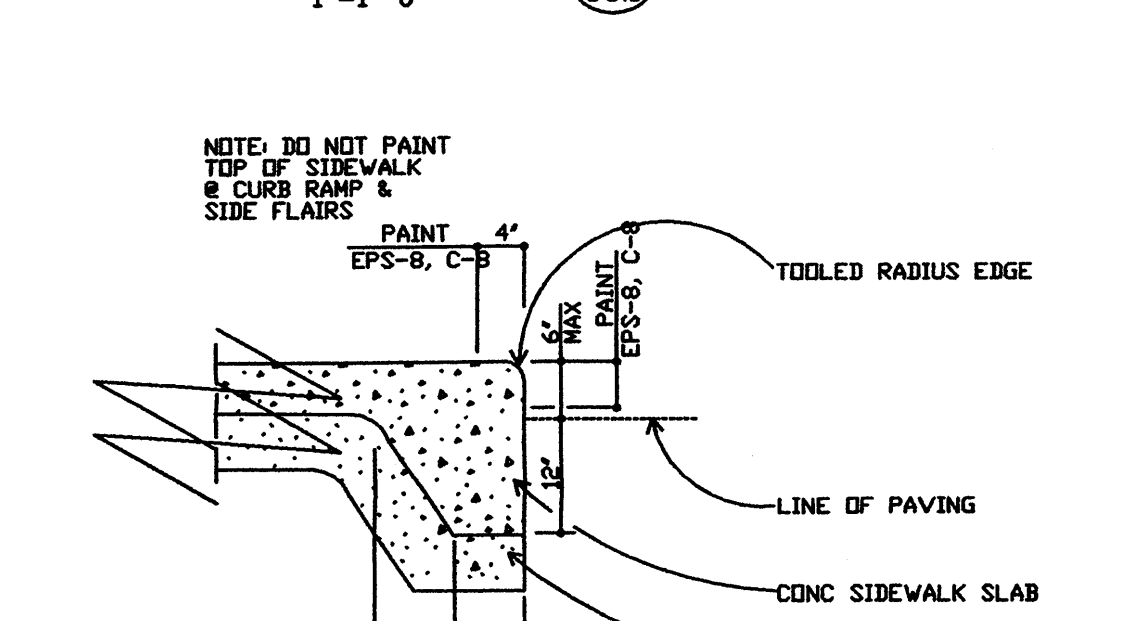
8 MASONRY BLOCK WALL
NTS



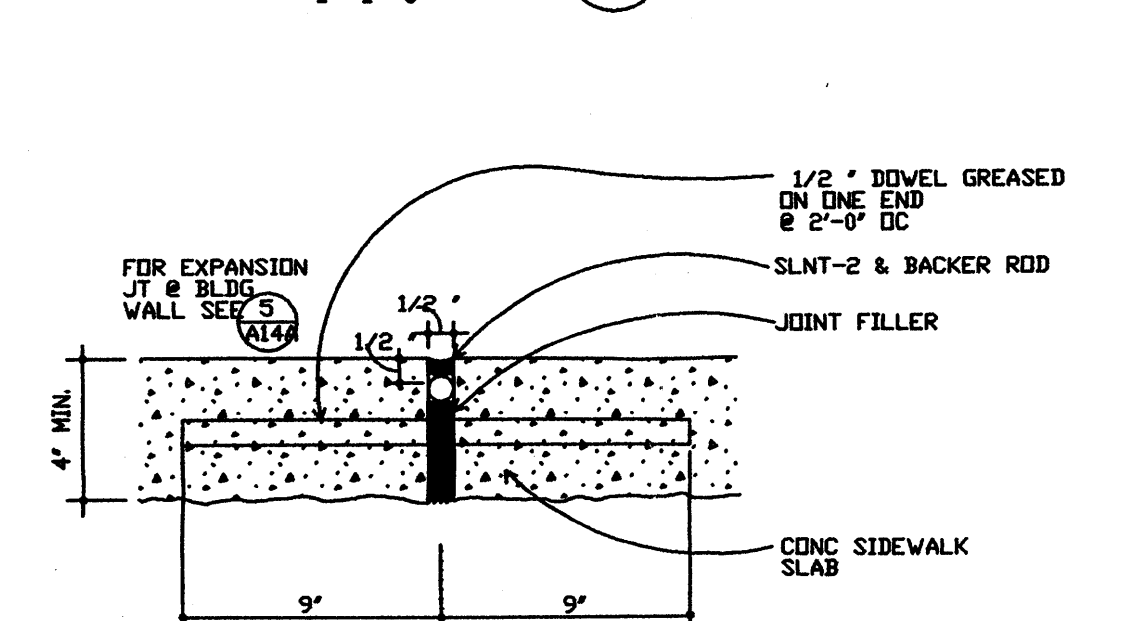
9 STOP SIGN
NTS



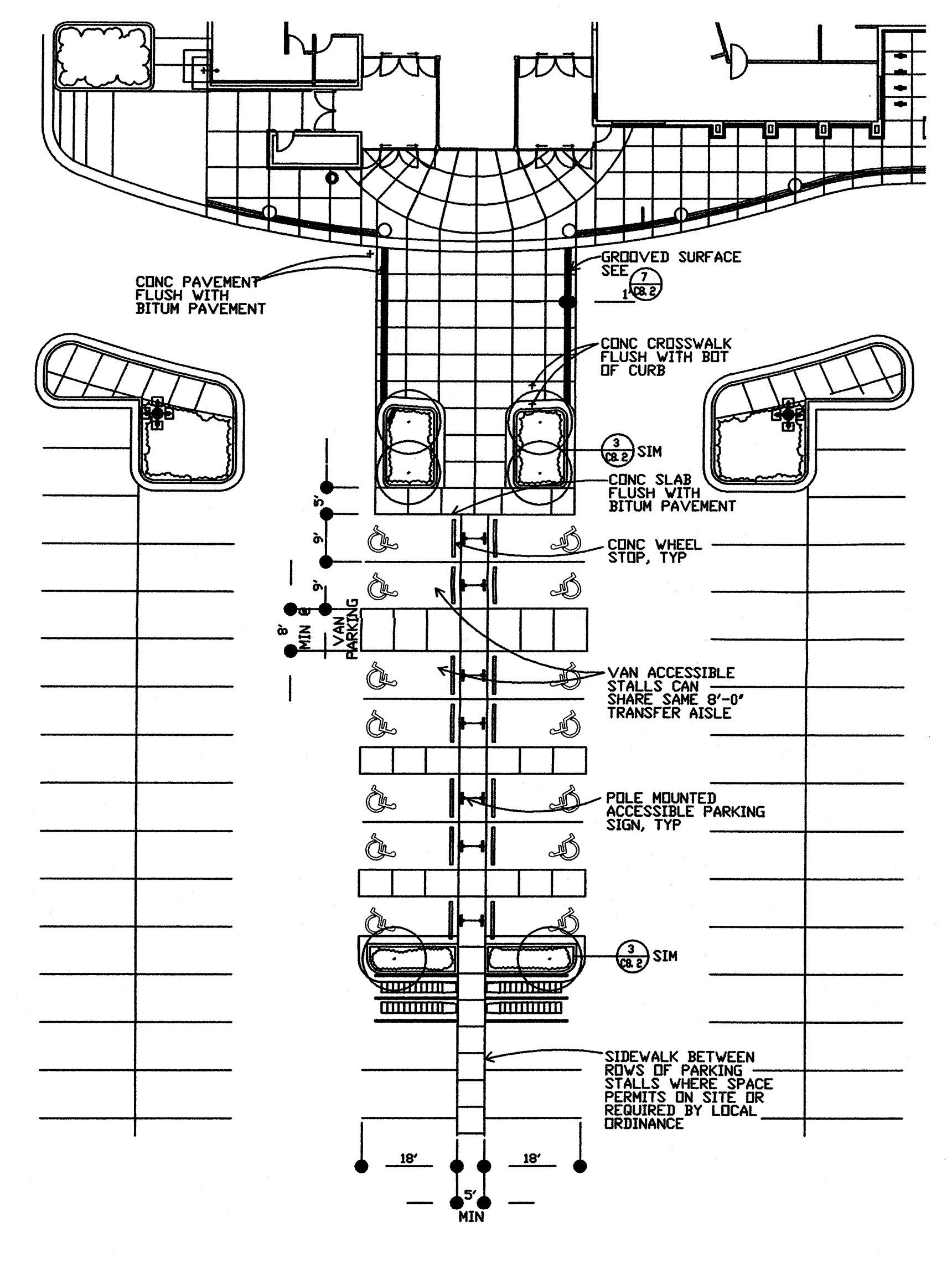
10 FINGER DRAIN DETAIL
NTS



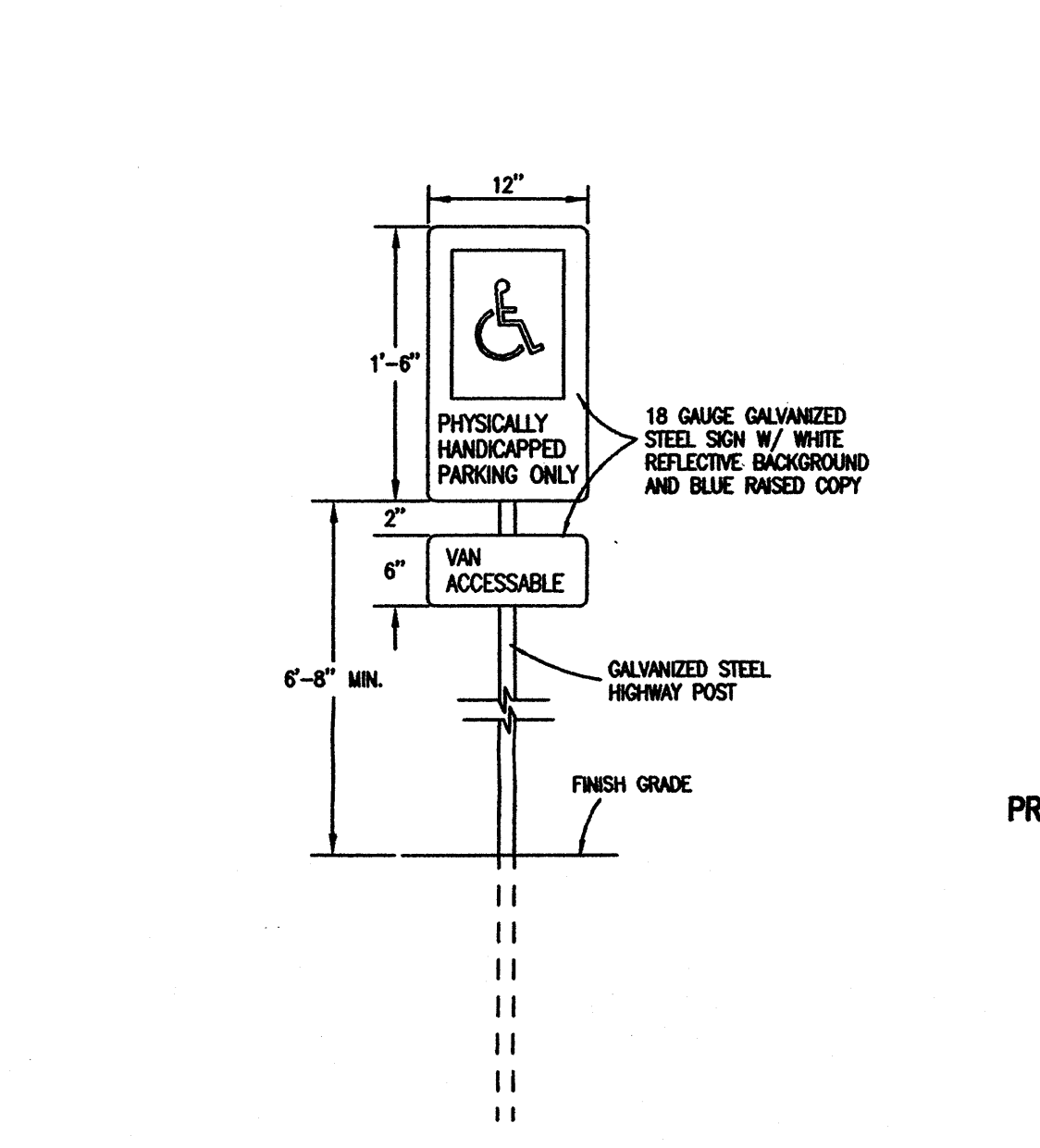
11 INTEGRAL CURB & WALK
NTS



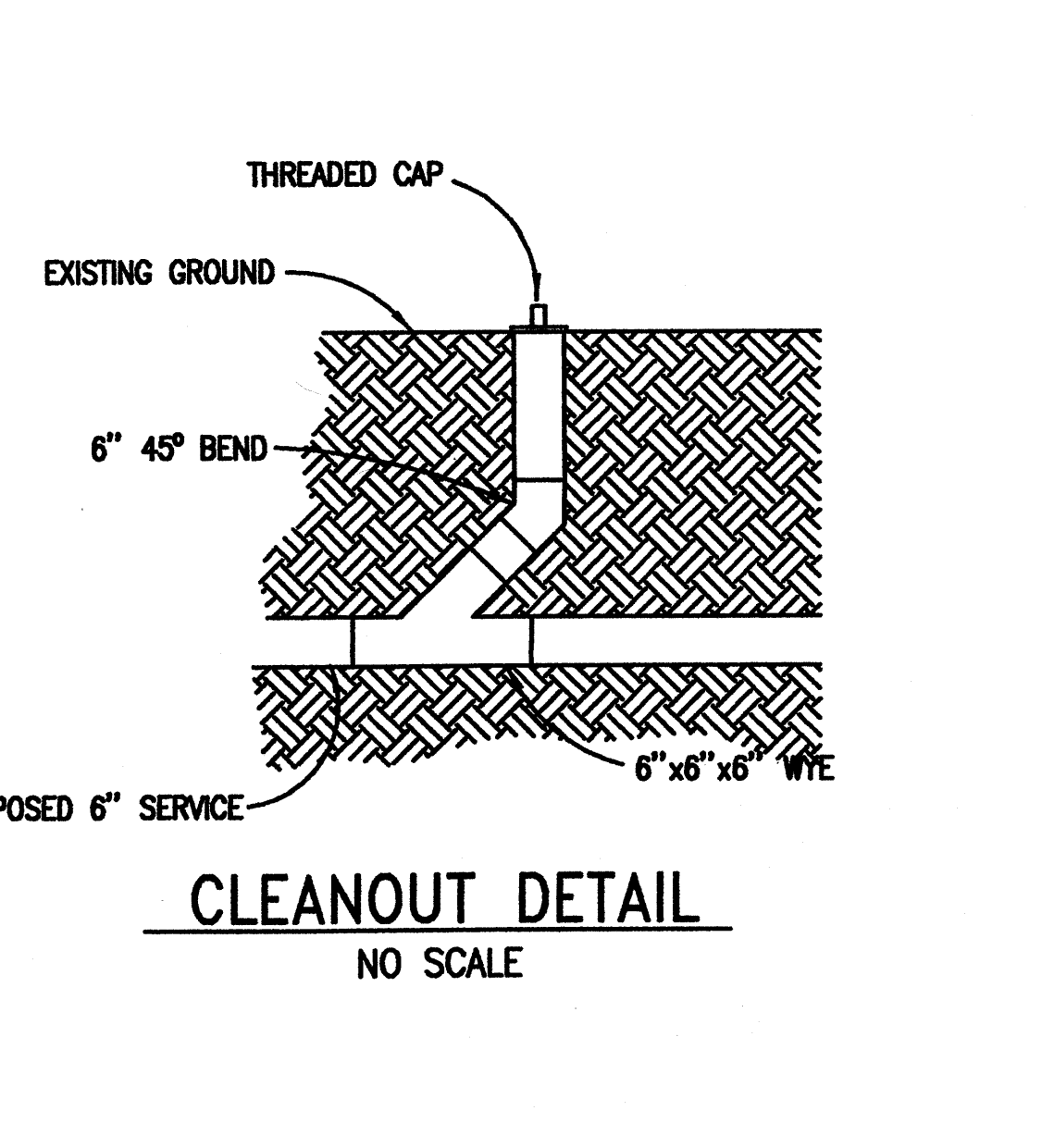
12 SIDEWALK EXPANSION JOINT
NOT TO SCALE



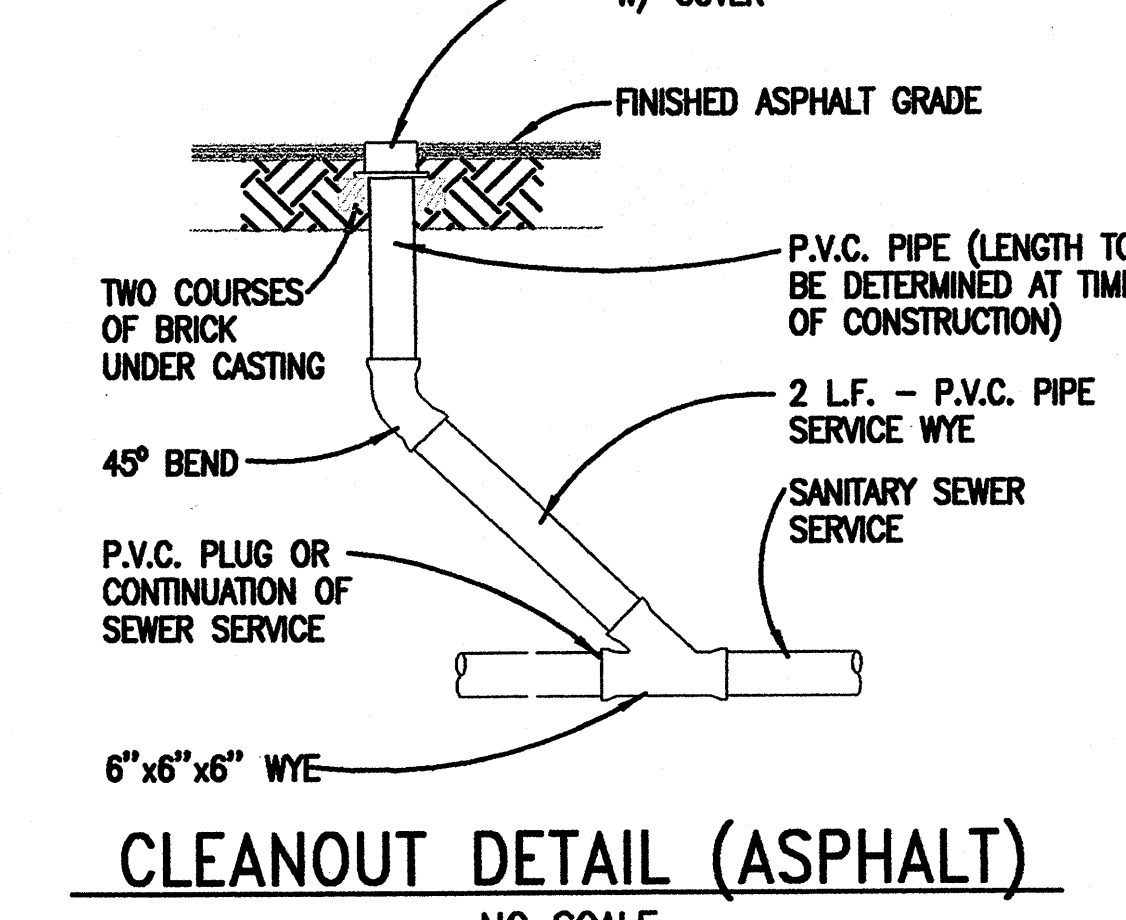
2 ACCESSIBLE PARKING AREA PLAN
1/16"=1'-0"



BARRIER FREE PARKING SIGN
NO SCALE



CLEANOUT DETAIL
NO SCALE



CLEANOUT DETAIL (ASPHALT)
NO SCALE

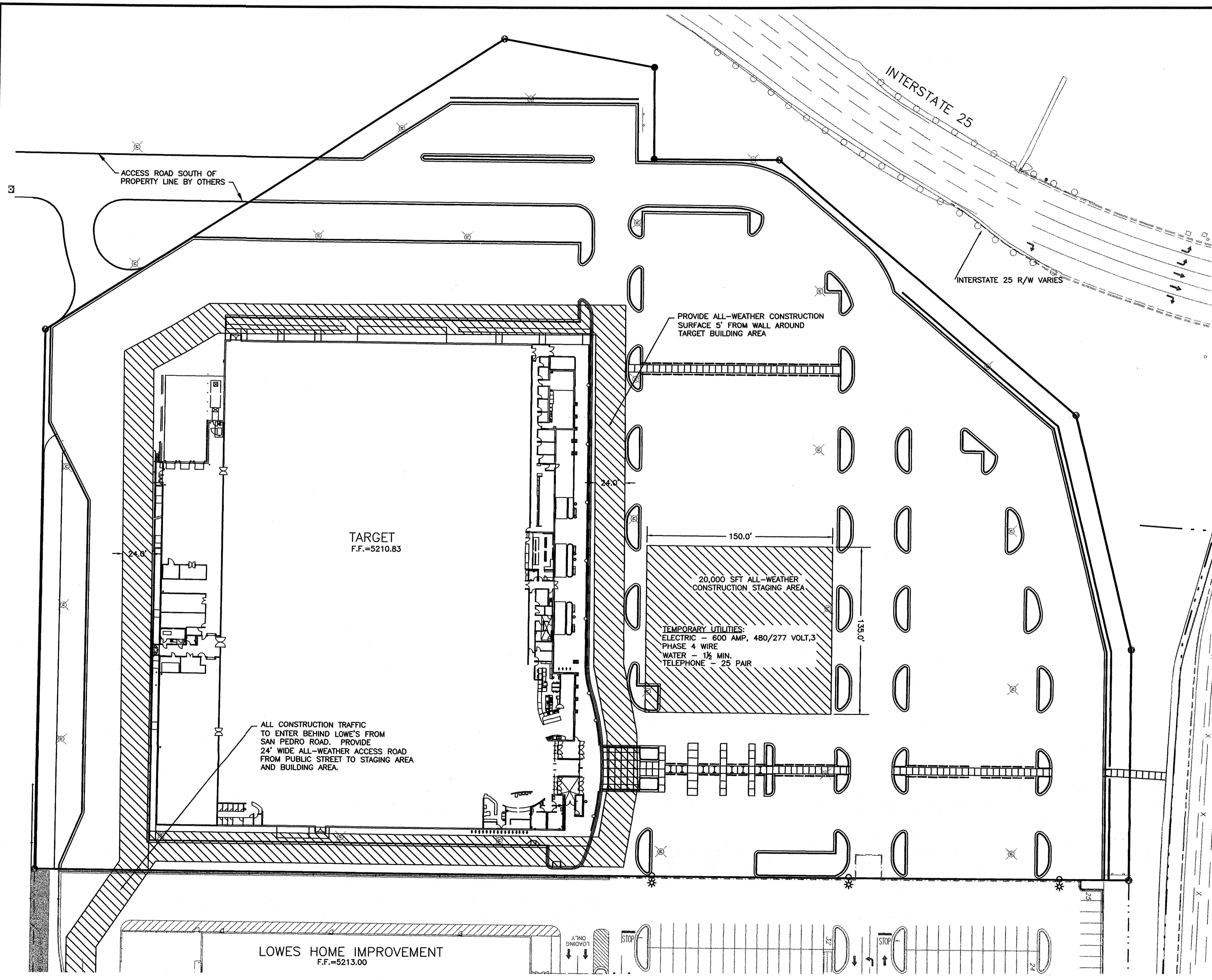
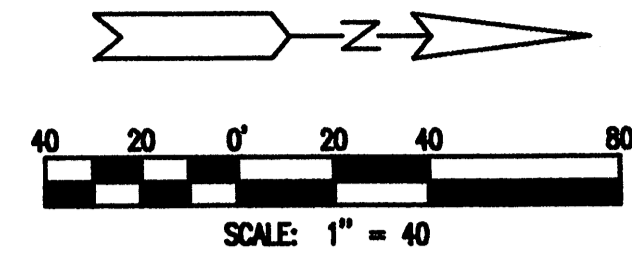
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CONTRACTOR:	REVISION:	DATE:	DATE:	DATE:	DATE:
DESIGNED BY:	DRAWN BY:	DATE:	DATE:	DATE:	DATE:
CHECKED BY:	RECORDED BY:	DATE:	DATE:	DATE:	DATE:
MICRO-FILM INFORMATION		NO.	DATE:	NO.	DATE:
BENCH MARKS		NO.	DATE:	NO.	DATE:
SURVEY INFORMATION		NO.	DATE:	NO.	DATE:
FIELD NOTES		NO.	DATE:	NO.	DATE:
ENGINEER'S SEAL		NO.	DATE:	NO.	DATE:
2	10/19/04	RMB	11/19/04	BCL	7/1/2004
1	7/9/04	BCL	7/9/04	BCL	7/1/2004
SUBMITTED TO DRB		PER CITY COMMENTS		REVISIONS	
NO.		DATE		BY	
DESIGNED BY: RMB		DATE: 7/1/2004		DESIGN	
DRAWN BY: BCL		DATE: 7/1/2004		REVISIONS	
CHECKED BY: BEB		DATE: 7/1/2004		DESIGN	

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TITLE: SITE PLAN DETAILS

DESIGN REVIEW COMMITTEE:	CITY ENGINEER APPROVAL:	MO/DAY/YR	MO/DAY/YR
LAST DESIGN UPDATE			
DRAWING NO.		MAP NO.	SHEET
			C8.1

P:\145002020\02020\CADD\dwg\p11 SITE PLAN.dwg, Layout: 1, 10/25/2004 8:15:10 AM, cshely, C:\msdopt\HP100c\pc3, 1, 1



NOTE:
ALL-WEATHER IS DEFINED AS A COMPACTED, NON-EXPANSIVE, FREE-DRAINING, DRIVEABLE SURFACE ABLE TO PERFORM UNDER ALL WEATHER CONDITIONS.

TARGET

REVIEWED BY:

- Development Manager _____ /
 Revise and Resubmit Not Reviewed Approved as Noted Approved
- Project Architect _____ /
 Revise and Resubmit Not Reviewed Approved as Noted Approved
- Project Engineer (M) _____ /
 Revise and Resubmit Not Reviewed Approved as Noted Approved
- Project Engineer (E) _____ /
 Revise and Resubmit Not Reviewed Approved as Noted Approved
- Project Engineer (S) _____ /
 Revise and Resubmit Not Reviewed Approved as Noted Approved

Approved only for conformance of the site construction documents to Target Developer Guide, Edition 2.4 and the Target building documents. Consultant is solely responsible for completeness, accuracy, and dimensions on the site construction documents.

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NO.	DATE	FIELD	BY	NO.	DATE
DESIGNED BY: RMB	DATE: 7/1/2004						
DRAWN BY: BCL	DATE: 7/1/2004						
CHECKED BY: BEB	DATE: 7/1/2004						

NO.	DATE	REVISIONS
2	10/19/04	SUBMITTED TO DRB
1	7/9/04	PER CITY COMMENTS

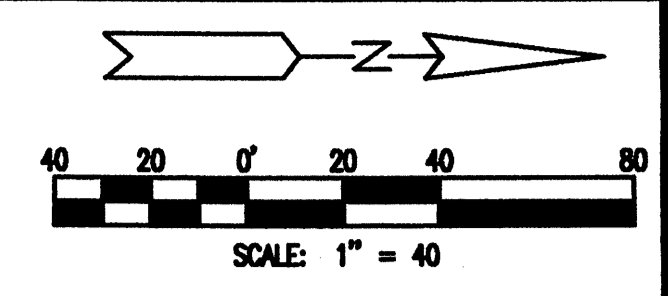
Wade-Trim
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 Cleveland, OH 44114
 216.363.0300
 216.363.0303
 www.wadeftrim.com Building relationships on a foundation of excellence.

TITLE: STAGING PLAN

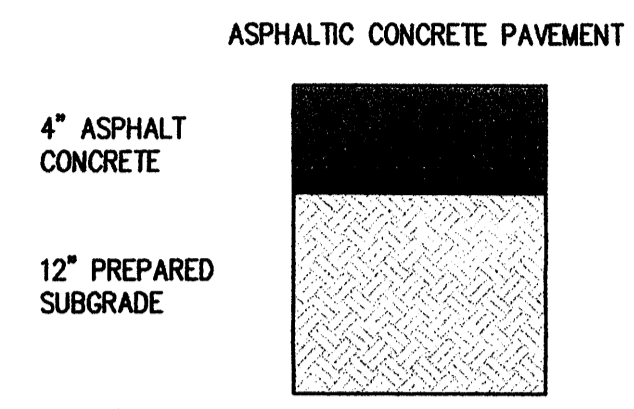
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO/DAY/YR	MO/DAY/YR

DRAWING NO. _____ MAP NO. _____ SHEET **C8.2**

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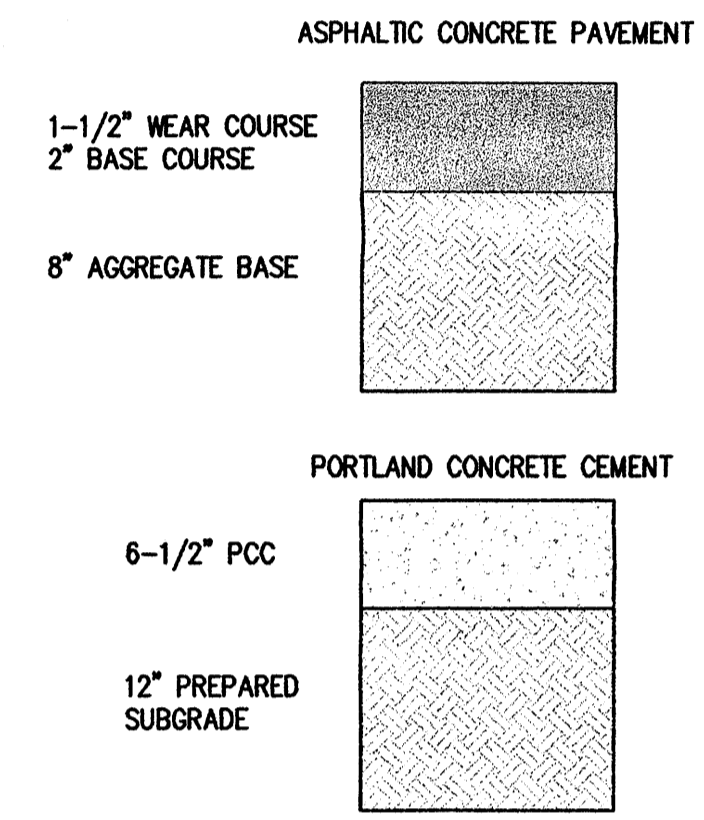


BIKE PATH PAVEMENT SECTION

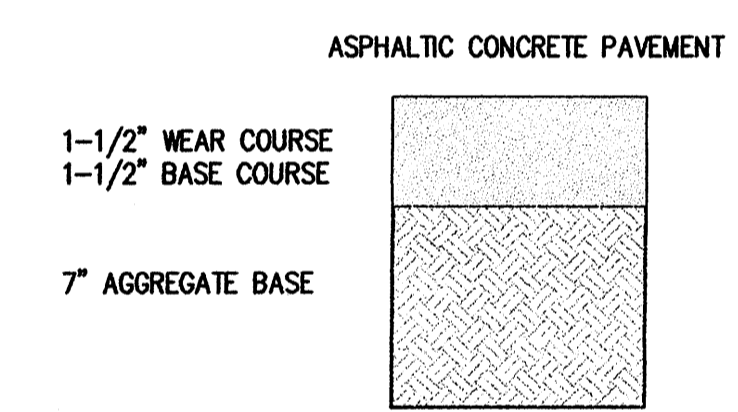


* OR AS DIRECTED BY CITY OF ALBUQUERQUE

HEAVY DUTY PAVEMENT SECTION



LIGHT DUTY PAVEMENT SECTION



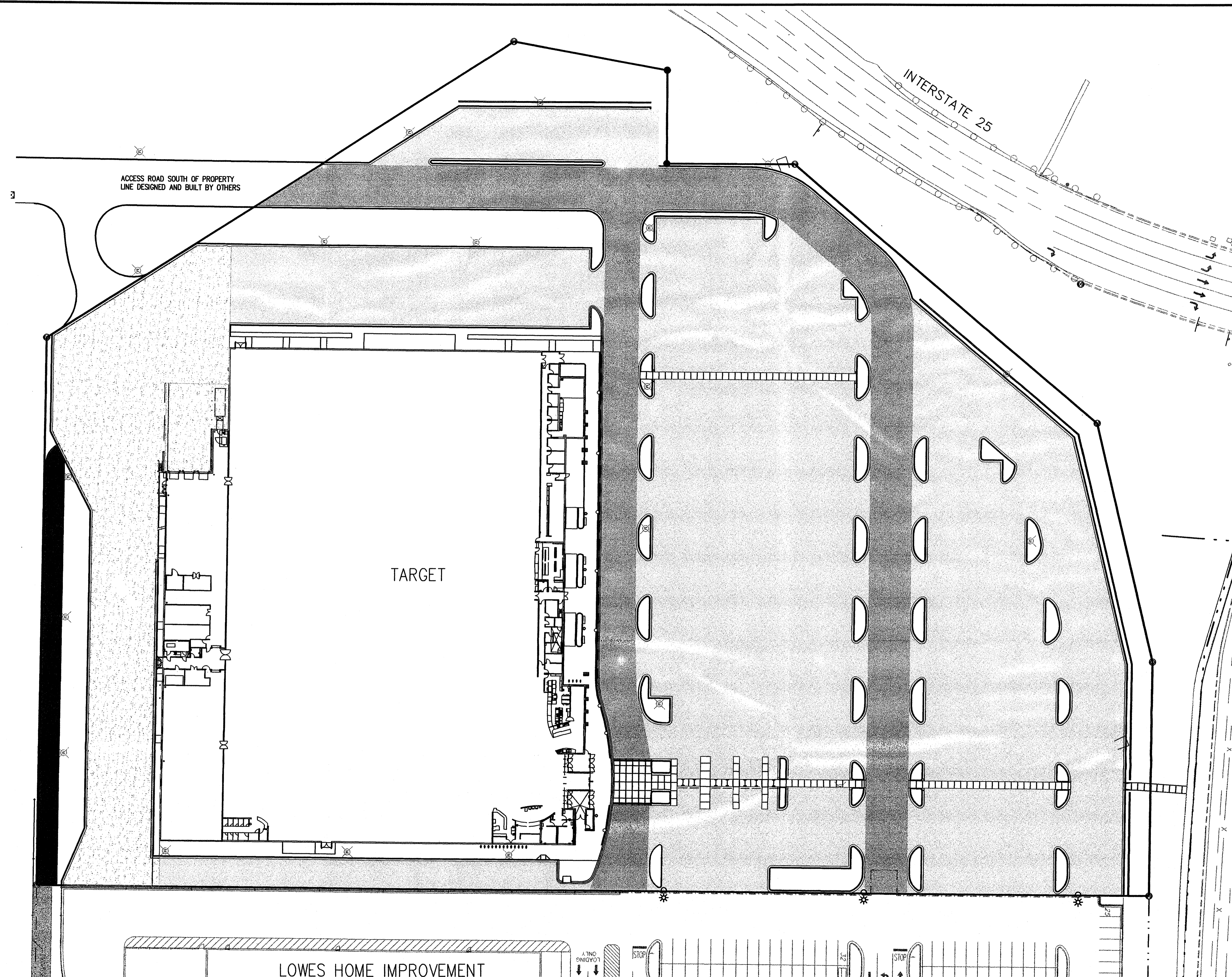
NOTE:
1. PAVEMENT SECTIONS ABOVE ARE A 10-YEAR DESIGN
2. SEE KLEINFELDER GEOTECHNICAL REPORT DATED SEPTEMBER 29, 2003 FOR SUBGRADE COMPACTION AND PAVEMENT SPECIFICATIONS



REVIEWED BY:

Development Manager	<input type="checkbox"/> Revise and Resubmit	<input type="checkbox"/> Not Reviewed	<input type="checkbox"/> Approved as Noted	<input type="checkbox"/> Approved
Project Architect	<input type="checkbox"/> Revise and Resubmit	<input type="checkbox"/> Not Reviewed	<input type="checkbox"/> Approved as Noted	<input type="checkbox"/> Approved
Project Engineer (M)	<input type="checkbox"/> Revise and Resubmit	<input type="checkbox"/> Not Reviewed	<input type="checkbox"/> Approved as Noted	<input type="checkbox"/> Approved
Project Engineer (E)	<input type="checkbox"/> Revise and Resubmit	<input type="checkbox"/> Not Reviewed	<input type="checkbox"/> Approved as Noted	<input type="checkbox"/> Approved
Project Engineer (S)	<input type="checkbox"/> Revise and Resubmit	<input type="checkbox"/> Not Reviewed	<input type="checkbox"/> Approved as Noted	<input type="checkbox"/> Approved

Approved only for conformance of the site construction documents to Target Developer Guide, Edition 2.4 and the Target building documents. Consultant is solely responsible for completeness, accuracy, and dimensions on the site construction documents.



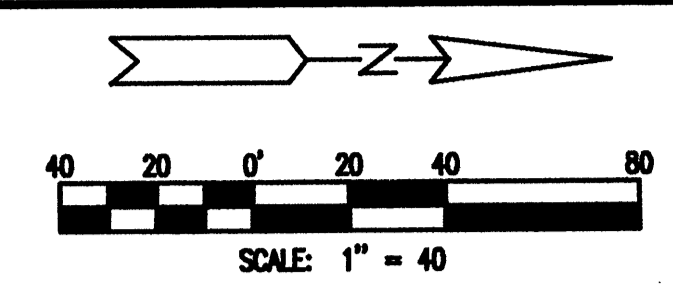
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DESIGNED BY	DATE
CHECKED BY	DATE
RECORDED BY	DATE
NO.	DATE
BENCH MARKS	
NO.	DATE
SURVEY INFORMATION	
FIELD BY	DATE
NO.	DATE
ENGINEER'S SEAL	
DESIGNED BY: RMB	DATE: 7/1/2004
DRAWN BY: BCL	DATE: 7/1/2004
CHECKED BY: BEB	DATE: 7/1/2004
2	10/18/04
NO.	DATE
SUBMITTED TO DRB	
REMARKS	
REVISIONS	
DESIGN	



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TITLE: PAVEMENT PLAN			
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO/DAY/YR	MO/DAY/YR
DRAWING NO.		MAP NO.	SHEET
			C9.0

P:\TAR6002\02a\CAD\Drawings\PLT_PAV\PLAN.dwg, Layout1, 10/28/2004 8:18:37 AM, cbeeb, gajborst HP1606.pcs, 11



LANDSCAPING LEGEND

- SALVIA GREGGII
CHERRY SAGE
- ARTEMISIA FRIGIDA
FRINGED SAGE
- SHREDDED BARK MULCH
3" MINIMUM DEPTH
- BUCHLOE DACTYLOIDES
BUFFALOGRASS
- BUDDLEIA DAVIDII CV.
DWARF BLUE BUTTERFLY BUSH
- GLEDITSIA T. 'SHADEMASTER'
SHADEMASTER HONEYLOCUST
- ROBINIA PSEUDOACACIA 'NEOMEXICANA'
NEW MEXICO BLACK LOCUST
- PRUNUS CERASIFERA 'ATROPURPUREA'
PURPLELEAF PLUM

LANDSCAPE REQUIREMENTS

ITEM	REQUIRED	PROVIDED
FRONT LANDSCAPE BUFFER	20 FT. WIDTH	20 FT. WIDTH
SIDE LANDSCAPE BUFFER	6 FT. WIDTH	6 FT. WIDTH MIN. (VARIES)
REAR LANDSCAPE BUFFER	6 FT. WIDTH	6 FT. WIDTH MIN. (VARIES)
OFF STREET PARKING LANDSCAPING	619 SPACES 62 TREES	69 TREES
PERCENT SHADE TREES	75% MIN. (51)	54 TREES
STREET TREES AT COLLECTOR ROADS	TO BE PROVIDED	11 SHADE TREES 2 ORNAMENTAL TREES
VEGETATIVE GROUNDCOVER IN REQ. LANDSCAPE AREAS	75% MINIMUM	PARKING ISLANDS: 82% VARIOUS BUFFER AREAS: 87% BUFFALOGRASS

ADDITIONAL LANDSCAPE DATA

OVERALL SITE AREA = 10.82± ACRES
 BUILDING AREA = 2.95 ACRES
 PAVEMENT AREA = 6.8± ACRES
 LANDSCAPING AREA = 1.07 ACRES
 PARKING LOT ISLANDS: 19,450 SF
 BUFFER AREA: 27,160 SF
 LANDSCAPING AREA AS % OF NON-BUILDING AREA = 14%
 ALL LANDSCAPED AREAS ARE TO BE IRRIGATED PER THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS.



DESIGNED BY	REVIEWED BY	DATE
2		7/1/2004
1		7/9/04
1		7/1/2004
1		7/1/2004

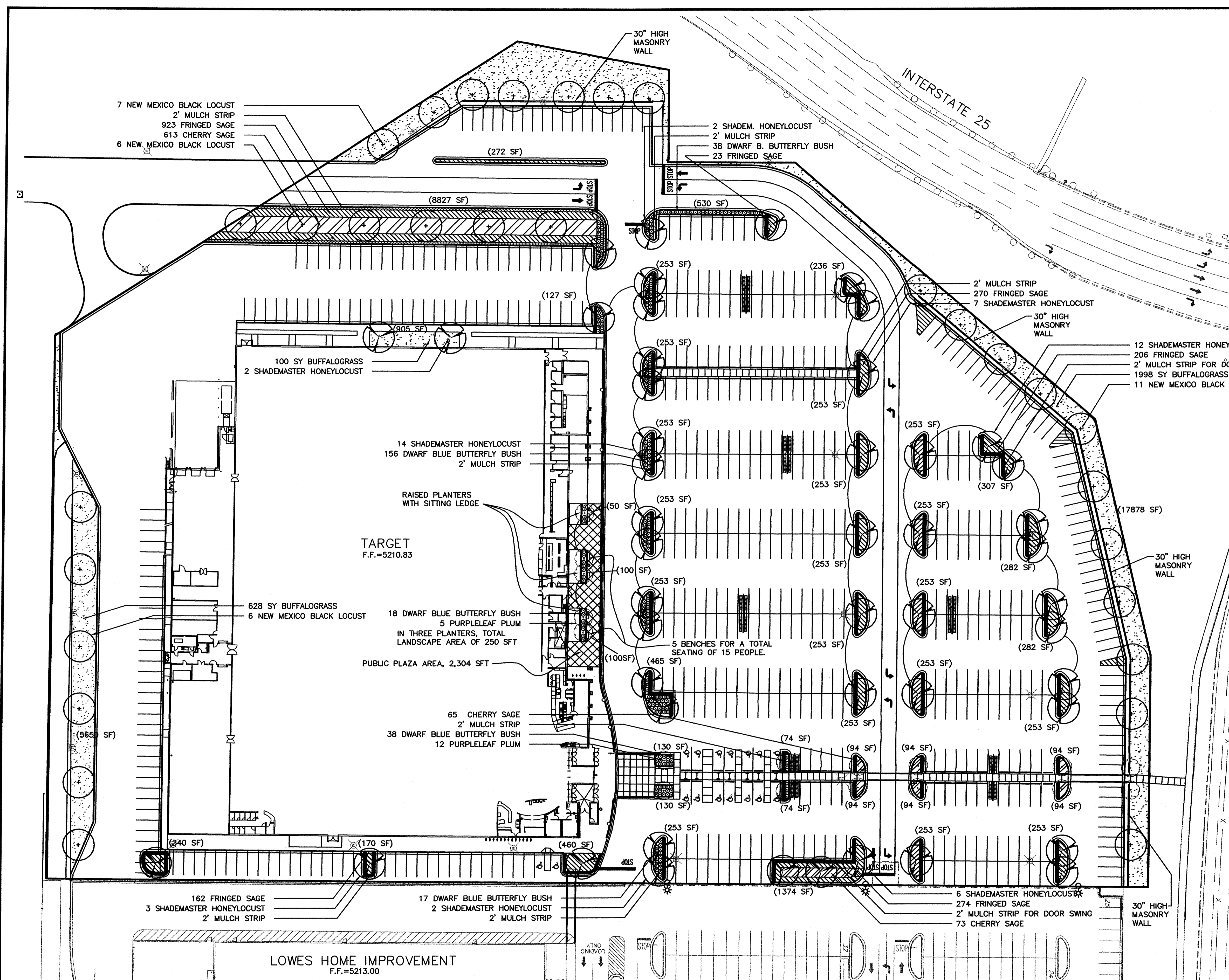
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DESIGN REVIEW COMMITTEE		CITY ENGINEER APPROVAL		MO/DAY/YR	MO/DAY/YR
LAST DESIGN UPDATE					
DRAWING NO.	MAP NO.	SHEET			
		C11.0			

SHEET QUANTITIES

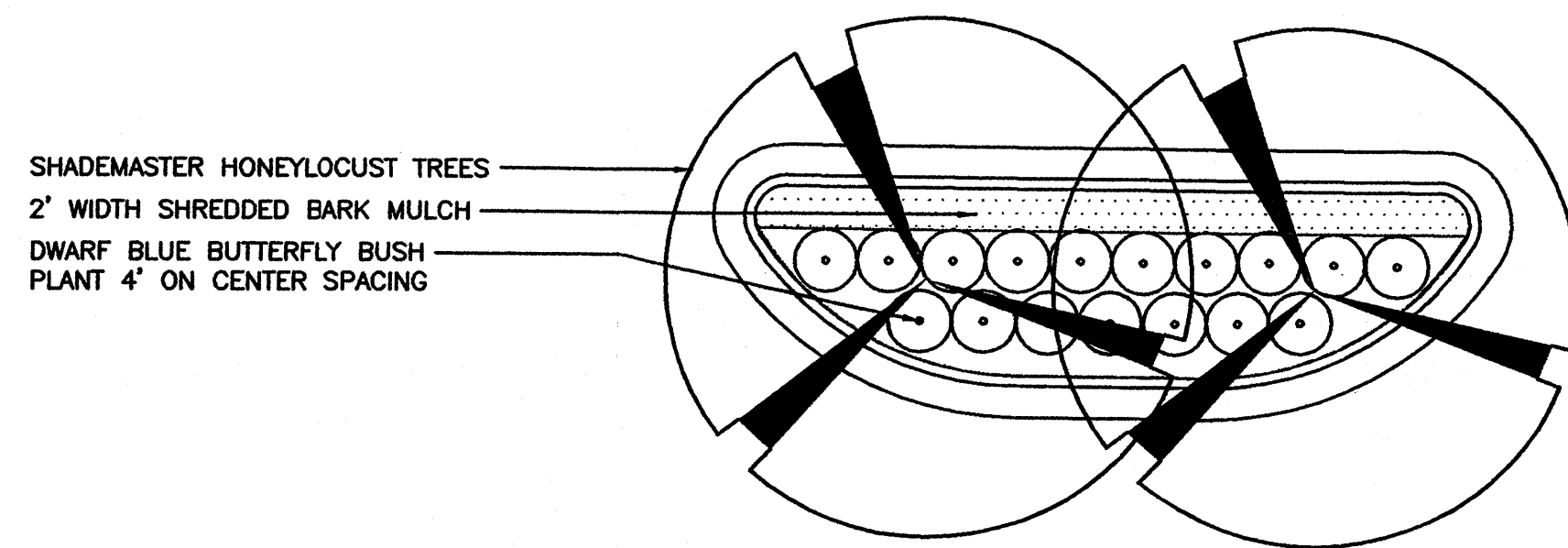
QUANTITY	UNIT	ITEM DESCRIPTION	MATURE H. BY W.
48	EA	SHADEMASTER HONEYLOCUST, 2.5" CAL.	60' X 40'
30	EA	NEW MEXICO BLACK LOCUST, 2.5" CAL.	65' X 35'
17	EA	PURPLELEAF PLUM, 2.5" CAL.	20' X 20'
2,135	EA	FRINGED SAGE, #1 CONT.	18" X 24"
751	EA	CHERRY SAGE, #1 CONT.	30" X 30"
267	EA	DWARF BLUE BUTTERFLY BUSH, #2 CONT.	5' X 4'
181	C.Y.	SHREDDED BARK MULCH, 3" DEPTH	
722	C.Y.	PLANTING MIXTURE, 12" DEPTH	
2,726	S.Y.	BUFFALOGRASS	
530	C.Y.	STOCKPILE AND REUSE TOPSOIL FOR BUFFALOGRASS AREA	



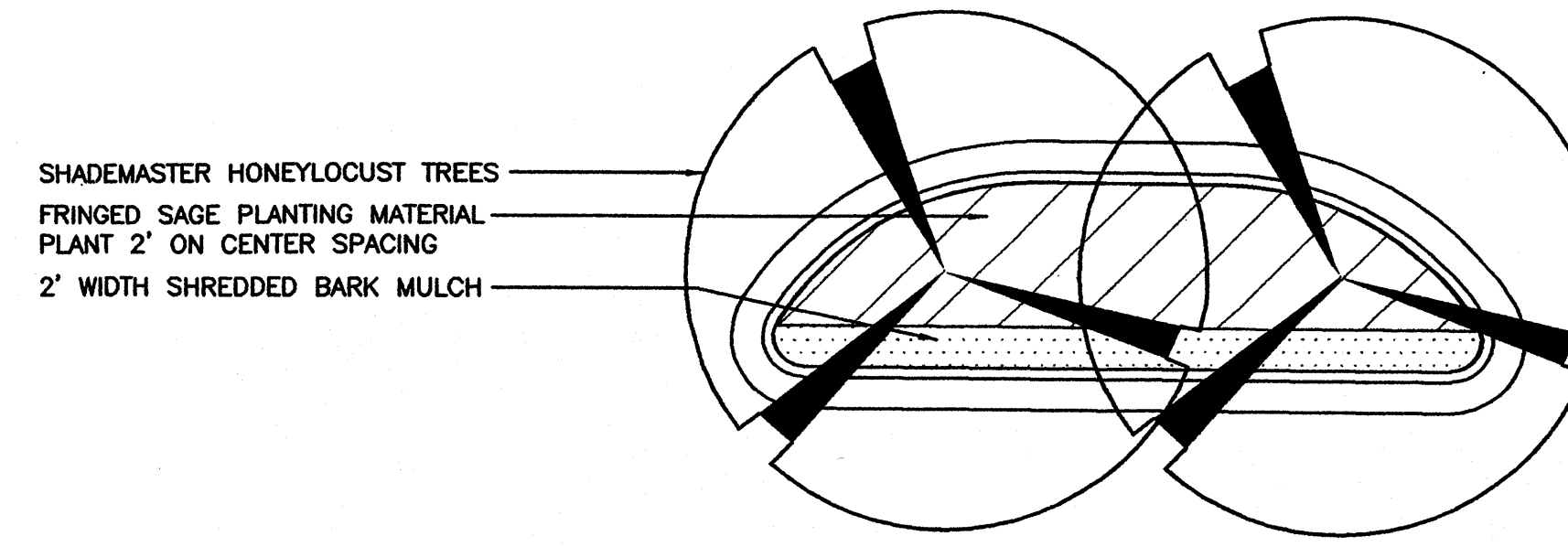
P:\1\60202\02\04\00-dell\dwg\PL_LANDSCAPE\PLANS.dwg, Landscape Plan, 10/25/2004 12:28 AM, c:\users\glen\appdata\local\temp\11

LANDSCAPING NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR INVESTIGATING THE EXTENT AND LOCATION OF UTILITIES AND SHALL BE RESPONSIBLE FOR PROTECTION AND RESTORATION OF THE SAME (TO THE SATISFACTION OF THE AUTHORITY HAVING JURISDICTION), AT HIS/HER EXPENSE IF DAMAGED AS A RESULT OF HIS/HER OPERATIONS. THE LOCATION OF UTILITIES DELINEATED ON THE PLANS ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES BELIEVED TO BE RELIABLE. NO GUARANTEE IS EXPRESSED OR IMPLIED AS TO LOCATION, TYPE, OR EXTENT.
- CONTRACTOR SHALL CALL NEW MEXICO ONE CALL SYSTEM INC. (800.321.2537) A MIN. OF THREE (3) WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY EXISTING MATERIALS THAT ARE DAMAGED DURING CONSTRUCTION.
- ALL PLANTS TO BE INSTALLED SHALL BE IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS.
- ANY SUBSTITUTIONS OF PLANT MATERIAL OR ALTERATION IN PLANT SIZES OR SPECIFICATIONS SHALL BE APPROVED BY THE ENGINEER IN ADVANCE OF PLACEMENT.
- THE ENGINEER RESERVES THE RIGHT TO REJECT ANY PLANT MATERIALS ON SITE.
- THE CONTRACTOR SHALL PROVIDE A PLANTING MIX CONSISTING OF 67% TOPSOIL AS SPECIFIED, AND 33% PEAT MOSS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS.
- NO PLANT SHALL BE PLACED IN THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED BY THE ENGINEER.
- ALL TREES SHALL BE SET PLUMB UNLESS OTHERWISE SPECIFIED.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANTS ORIGINAL GRADE BEFORE DIGGING.
- ALL PLANTS SHALL BE BALLED AND WRAPPED UNLESS OTHERWISE NOTED.
- AT PLANTING TIME, ALL DECIDUOUS TREES SHALL BE THINNED BY REMOVING A BALANCED ONE-THIRD OF THE VEGETATIVE MATERIAL AND "HEADED UP" TO PROVIDE 7-FOOT UNDER CLEARANCE.
- ALL PLANTS SHALL BE INSTALLED AS PER THE APPLICABLE DETAILS AND THE CONTRACT SPECIFICATIONS.
- ALL PLANTS SHALL BE LOW VELOCITY WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING.
- PLANT SIZES SHALL BE THE MINIMUM STATED ON THE PLANT LIST OR LARGER. ALL MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "A.A.N. STANDARDS FOR NURSERY STOCK."
- CONTRACTOR SHALL BE RESPONSIBLE FOR VIEWING THE SITE PRIOR TO BIDDING, MAKING NOTE OF ANY SPECIAL CONDITIONS THAT WOULD BE OF A CONCERN TO THIS PART OF THE CONTRACT.
- ALL PLANT MATERIALS, PLANT MIX, FERTILIZER, COMPOST, AND MULCHING MATERIALS SHALL BE APPROVED BY THE ENGINEER PRIOR TO PLANTING. THE CONTRACTOR SHALL SUBMIT PLANTING MATERIAL SOURCES TO THE ENGINEER FOR APPROVAL A MINIMUM OF SEVEN (7) DAYS PRIOR TO THEIR DELIVERY.
- THE CONTRACTOR AGREES TO MAINTAIN AND GUARANTEE ALL PLANT MATERIALS FOR THE PERIOD OF TWO YEARS, FOLLOWING AT PROJECT COMPLETION. AT THAT TIME, THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT FOR A FINAL INSPECTION. PLANT MATERIALS WITH 25% DIE BACK AS DETERMINED BY THE OWNER'S REPRESENTATIVE SHALL BE REPLACED. THIS GUARANTEE INCLUDES THE FURNISHING OF NEW PLANTS, LABOR, MATERIALS, AND RESTORATION OF SITE. ALL PLANTS REPLACED BY THIS GUARANTEE SHALL COMPLY TO THESE PLANS AND SPECIFICATIONS.
- ALL PLANT MATERIALS, PLANT MIX, FERTILIZER, COMPOST, AND MULCHING MATERIALS SHALL BE MAINTAINED BY THE OWNER AFTER THE TWO YEAR WARRANTY PERIOD. IT SHALL BE COMPLETED TO THE SATISFACTION OF THE CITY OF ALBUQUERQUE INCLUDING PLANT REPLACEMENT FOR ANY PLANTS THAT DIE AFTER THE WARRANTY PERIOD.
- ALL ON SITE TOPSOIL SHALL BE STOCKPILED, SCREENED, AND REUSED FOR ALL BUFFALOGRASS LAWN AREAS. THE DEPTH OF REINSTALLED TOPSOIL SHALL BE 6" MINIMUM, AND SHALL BE FREE OF ROCKS OR ANY DEBRIS OVER 1/2" DIAMETER IN ANY DIRECTION.
- RESPONSIBILITY FOR MAINTAINCE WILL BE BY TARGET
- THESE PLANS ARE IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION ORDINANCE, ARTICLE 6-1-1
- IRRIGATION SYSTEM WILL BE PROVIDED TO IRRIGATE LANDSCAPED AREAS. SPECIFIC DESIGN OF IRRIGATION SYSTEM WILL BE PROVIDED BY CONTRACTOR. SHOP DRAWINGS WILL BE REVIEWED BY ENGINEER AND OWNER



1 Typical Landscape Island Near Building Entrance
C11.1 NO SCALE



2 Typical Landscape Island in Parking Lot
C11.1 NO SCALE

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE			FIELD NOTES			
RECORDED BY	DATE			NO.	BY	DATE	
REVISIONS BY	DATE						
FIELD	DATE						
APPROVED BY	DATE						
RECORDED BY	DATE						
NO.							
MICRO-FILM INFORMATION							
RECORDED BY	DATE						
NO.							

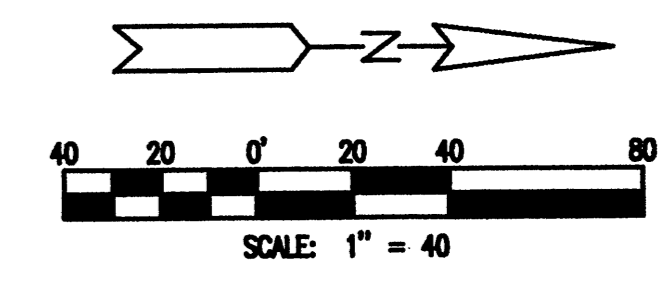
RMB	BCL	BT	
10/18/04	7/9/04		
2	1		
SUBMITTED TO DRB		PER CITY COMMENTS	
REVISIONS		DESIGN	
DESIGNED BY: RMB		DATE: 7/1/2004	
DRAWN BY: BCL		DATE: 7/1/2004	
CHECKED BY: BEB		DATE: 7/1/2004	

Wade-Trim
1100 Superior Avenue, Suite 1410
Cleveland, OH 44114
216.363.0300
FAX: 216.363.0303
www.wadetrim.com Building relationships on a foundation of excellence

TITLE: LANDSCAPING DETAILS

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO/DAY/YR	MO/DAY/YR
LAST DESIGN UPDATE			
DRAWING NO.	MAP NO.	SHEET	C11.1

P:\174620202\CAD\00-detailed\dwg\T_LANDSCAPING.dwg, Details & Notes, 10/22/2004 8:20:59 AM, c:\winnt\winnt\font\arial\arial.ttc, 11



SANITARY STRUCTURE TABLE		
STRUCTURE	INVERTS	TYPE
SAS 1A	RIM = 5209.83 6" INV. S. = 5204.66 6" INV. W. = 5204.46	SAS MANHOLE
SAS 1	RIM = 5205.53 6" INV. E. = 5201.47 6" INV. S. = 5201.27	SAS MANHOLE
SAS 2	RIM = 5203.05 6" INV. N. = 5198.39 6" INV. SE. = 5198.20	SAS MANHOLE
SAS 3	RIM = 5202.75 6" INV. NW. = 5197.53 10" INV. SE. = 5186.23 10" INV. SW. = 5186.23	EXISTING SAS MANHOLE DROP PIPE

NOTE:
 1. THIS PLAN FOR WATER AND SANITARY ONLY.
 2. ALL HYDRANTS, VALVES, WATER LINE, CONNECTIONS, BLOCKING, ETC., SHALL BE IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARDS.
 3. ALL WATER MAIN SHALL BE DUCTILE IRON, PRESSURE CLASS 150.
 4. ALL SANITARY MANHOLES SHALL BE TYPE 'C'.
 5. ALL SANITARY SEWER SHALL BE PVC, SDR-35.



REVIEWED BY:

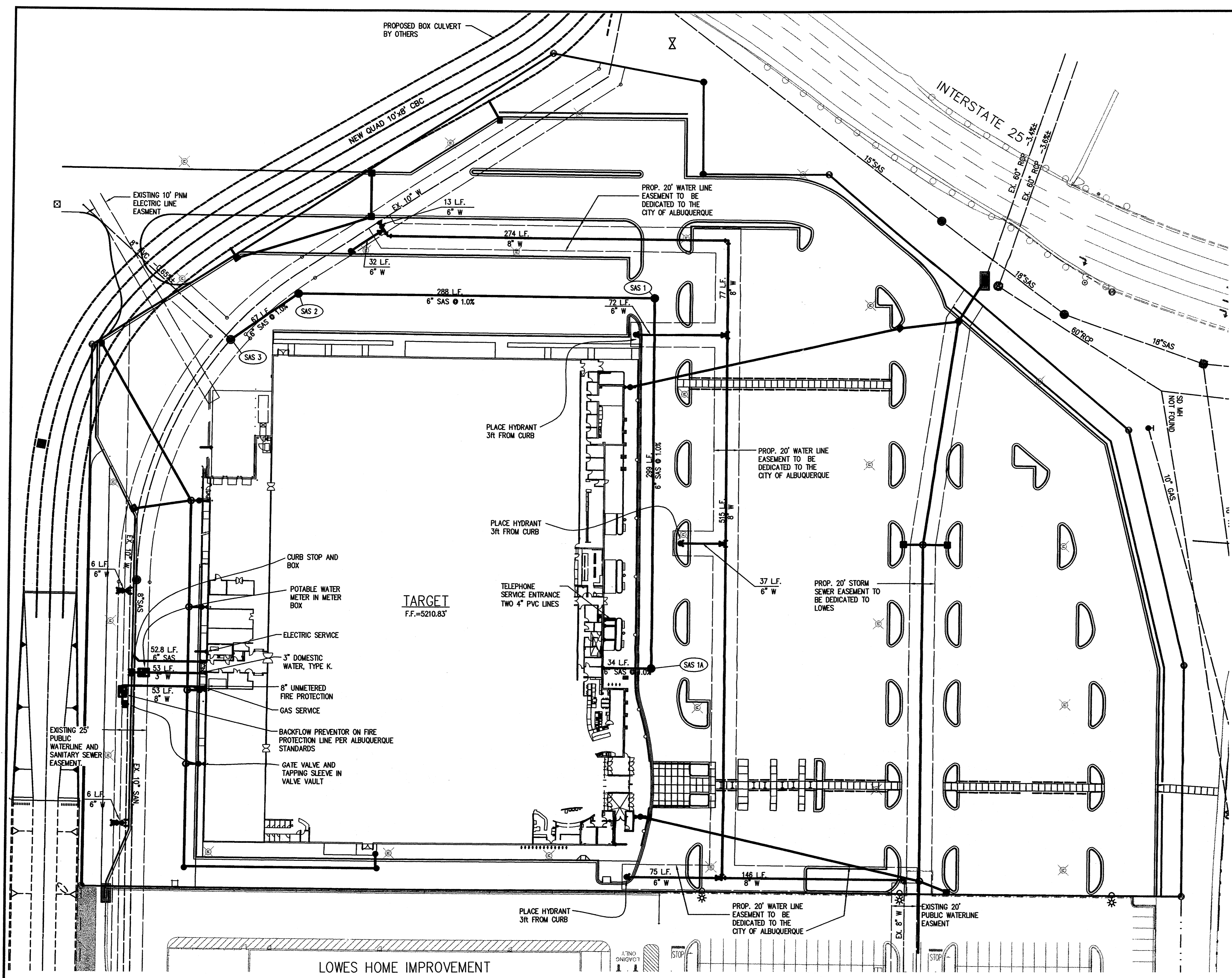
Development Manager	<input type="checkbox"/> Revise and Resubmit	<input type="checkbox"/> Not Reviewed	<input type="checkbox"/> Approved as Noted	<input type="checkbox"/> Approved
Project Architect	<input type="checkbox"/> Revise and Resubmit	<input type="checkbox"/> Not Reviewed	<input type="checkbox"/> Approved as Noted	<input type="checkbox"/> Approved
Project Engineer (M)	<input type="checkbox"/> Revise and Resubmit	<input type="checkbox"/> Not Reviewed	<input type="checkbox"/> Approved as Noted	<input type="checkbox"/> Approved
Project Engineer (E)	<input type="checkbox"/> Revise and Resubmit	<input type="checkbox"/> Not Reviewed	<input type="checkbox"/> Approved as Noted	<input type="checkbox"/> Approved
Project Engineer (S)	<input type="checkbox"/> Revise and Resubmit	<input type="checkbox"/> Not Reviewed	<input type="checkbox"/> Approved as Noted	<input type="checkbox"/> Approved

Approved only for conformance of the site construction documents to Target Developer Guide, Edition 2.4 and the Target building documents. Consultant is solely responsible for completeness, accuracy, and dimensions on the site construction documents.



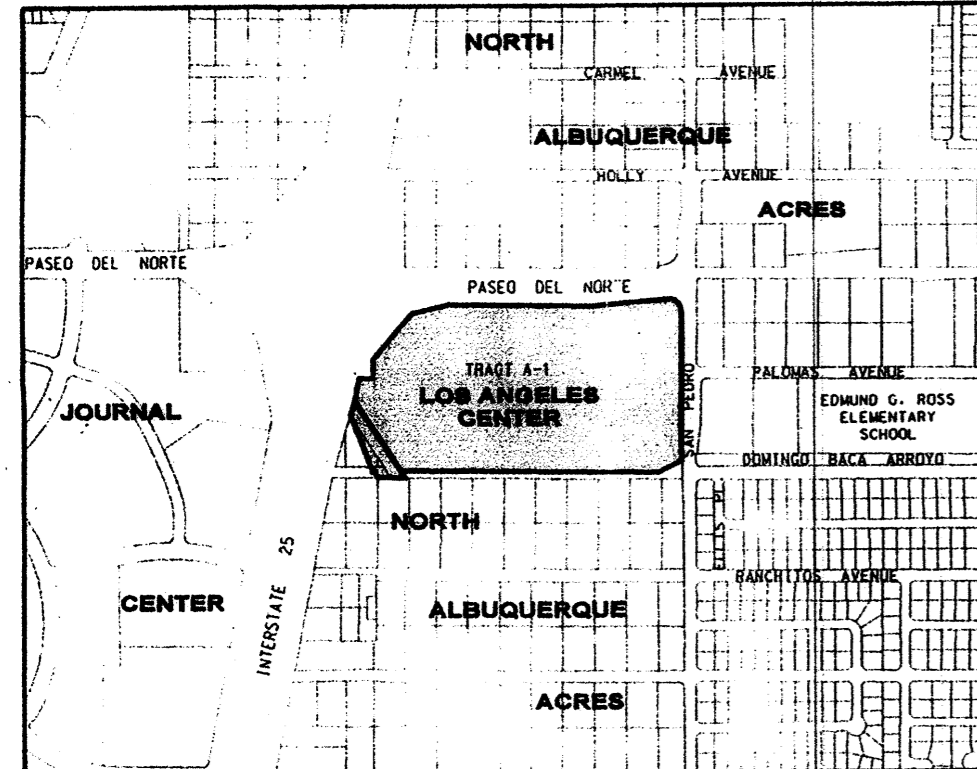
Wade-Trim
 5605 Valley Belt Road
 Independence, OH 44131
 216.398.6400
 FAX: 216.739.1860
 Building relationships on a foundation of excellence.

TITLE: UTILITY PLAN (PRELIMINARY)			
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	NO/DAY/YR	NO/DAY/YR
LAST DESIGN UPDATE			
DRAWING NO.	MAP NO.	SHEET C6.0	



AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE
DESIGNED BY: RMB	DATE: 7/1/2004	SUBMITTED TO DRB		REVISIONS		DESIGN	
DRAWN BY: BCL	DATE: 7/1/2004	NO.	DATE	NO.	DATE	NO.	DATE
CHECKED BY: BEB	DATE: 7/1/2004						

P:\14\2004\204-CDD-04-04-04\PT_UTILITY\PLAN.dwg Layout: 10/25/2004 9:43:01 AM cshahy, Daycord HP1000c.p3, 11



LOCATION MAP

ZONE ATLAS INDEX MAP No. D-18-Z NOT TO SCALE

SUBDIVISION DATA

- 1. DRB No. 1001946
2. Zone Atlas Index No. D-18.
3. Gross Subdivision Acreage: 33.0300 Acres.
4. Total Number of Tracts created: Five (5) Tracts.
5. Total Mileage of Partial Width Streets Created: 0.1577 Mile.
6. Date of Survey: May, 2002.
7. Plat is located within the Elena Gallegos Grant, within projected Section 24, T11N, R3E, N3M.

DISCLOSURE STATEMENT

The purpose of this PLAT is to subdivide Tract A-1 of the PLAT OF TRACTS A-1 AND A-2 LOS ANGELES CENTER, Albuquerque, New Mexico, as the same is shown and designated on the Plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 20, 1997 as Document No. 97062853 in Book 97C, Page 198 together with the Domingo Baca Arroyo, being Parcel 2 as described in CV No. 8-73-09298, recorded in the office of the County Clerk of Bernalillo County, New Mexico on December 18, 1973, together with a southerly and northerly portion of Vacated San Bernardino Avenue NE, Vacation Ordinance No. 114-1969 on August 25, 1969, of the plat of TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 17, 1937 in Volume D, Folio 129, into five (5) Tracts, to dedicate additional Public Street Right-of-Way to the City of Albuquerque, to vacate existing easements and right-of-way and to grant easements.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground & overhead electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet(10') in front of transformers/switchgear door and five feet (5') on each side.

DESCRIPTION

A certain tract of land situate within the Elena Gallegos Grant, in projected Section 24, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being Tract A-1 of the Plat of Tracts A-1 and A-2, LOS ANGELES CENTER, as the same is shown and designated on the plat thereof recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 20, 1997 in Volume 97C, Folio 198, as Document Number 97062853, and also being the Domingo Baca Arroyo, being Parcel 2 as described in CV No. 8-73-09298, recorded in the office of the County Clerk of Bernalillo County, New Mexico on December 18, 1973, together with the southerly and northerly portion of San Bernardino Avenue NE, Vacation Ordinance No. 114-1969 on August 25, 1969, comprising a portion of Tract A, Unit A, NORTH ALBUQUERQUE ACRES, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 17, 1937 in Volume D, Folio 129 and being more particularly described by New Mexico Grid Bearings (Central Zone NAD 1927) and ground distances as follows:

BEGINNING at a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" at the northeast corner of the tract herein described, said corner also being the intersection of the southerly right-of-way line of Paseo Del Norte N.E. and the westerly right-of-way line of San Pedro Drive N.E., whence the City of Albuquerque survey monument "9-C18" an aluminum cap riveted to a 2-1/2 inch aluminum tube, having New Mexico State Plane Grid Coordinates, (Central Zone NAD 1927) : X=402,255.61 and Y=1,521,435.09 bears N01°32'16"E, a distance of 2741.78 feet; thence running along the westerly right-of-way line San Pedro Drive N. E. and the easterly boundary line of said Tract A-1, 98.08 feet along the arc of a curve to the right having a radius of 90.00 feet and a chord which bears S31°02'35"E a distance of 93.30 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" at a point of tangency; thence, 500°10'37"W a distance of 150.00 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978"; thence, 501°26'47"E a distance of 60.08 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978"; thence, 500°02'43"W a distance of 565.71 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" at the southeasterly corner of said Tract A-1; thence running along the said southerly boundary line of Tract A-1, 563°17'37"W a distance of 140.10 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" at a point on the northerly right-of-way line of the Domingo Baca Arroyo; thence running along said Arroyo right-of-way and the said southerly boundary line of Tract A-1, N89°28'42"W a distance of 1343.96 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" at a point on the westerly boundary line of said Tract A-1; thence running along said Arroyo right-of-way line, S32°30'17"E, a distance of 35.77 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" at a point on the southerly right-of-way line of vacated San Bernardino Avenue NE and also being a point on the northerly boundary line of Lot numbered seven (7), Block numbered three (3) of said NORTH ALBUQUERQUE ACRES, thence running along said southerly right-of-way line, N89°28'42"W, a distance of 161.66 feet to a 5/8 inch rebar with aluminum cap stamped "PS 3516", at the northwest corner of said Lot numbered seven (7), Block numbered three (3) and also being a point on the southerly right-of-way line of vacated San Bernardino Avenue NE; thence, N23°35'02"W, a distance of 32.86 feet to a 5/8 inch rebar with aluminum cap stamped "PS 3516", a point on the centerline of said vacated San Bernardino Avenue NE, thence running along said centerline, N89°28'42"W, a distance of 22.37 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" to a point on the westerly boundary line of the Domingo Baca Arroyo, thence running along said westerly boundary line, N21°39'19"W, a distance of 342.46 feet to a point on the easterly right-of-way line of Interstate 25 (I-25), thence running along said right-of-way line, N12°57'31"E, a distance of 98.58 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978"; thence, S51°34'58"E, a distance of 44.26 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978"; thence, S32°30'17"E, a distance of 19.66 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" at a point on the westerly boundary line of said Tract A-1, thence running along said westerly boundary line, N10°33'06"E a distance of 123.70 feet to a found 5/8 inch rebar tagged with a brass survey disk stamped "PS 5978"; thence, S89°42'36"E a distance of 74.06 feet to a found 5/8 inch rebar with a survey cap stamped "LS 8478"; thence, N00°14'12"E a distance of 101.44 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978"; thence, N40°53'44"E, a distance of 316.18 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" at a point on the said southerly right-of-way line of Paseo Del Norte N.E. and the said northerly boundary line of Tract A-1; thence running along the said southerly right-of-way line and also along the said northerly boundary line, N76°52'49"E a distance of 195.00 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978"; thence, S89°26'20"E a distance of 755.00 feet to a 5/8 inch rebar with red plastic cap stamped "LS 5978"; thence, N84°57'45"E a distance of 369.20 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978"; thence, N84°57'45"E a distance of 40.69 feet to the point and place of beginning.

Tract contains 33.0300 acres, more or less.

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Elena Gallegos Grant, in projected Section 24, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract A-1 of the Plat of Tracts A-1 and A-2, LOS ANGELES CENTER, as the same is shown and designated on the plat thereof recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 20, 1997 in Volume 97C, Folio 198, as Document Number 97062853 together with the Domingo Baca Arroyo, being Parcel 2 as described in CV No. 8-73-09298, recorded in the office of the County Clerk of Bernalillo County, New Mexico on December 18, 1973, together with a southerly and northerly portion of Vacated San Bernardino Avenue NE, Vacation Ordinance No. 114-1969 on August 25, 1969, of the plat of TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 17, 1937 in Volume D, Folio 129, now comprising Tracts A-1-A, A-1-B, A-1-C, A-1-D, and A-1-E, LOS ANGELES CENTER, Albuquerque, New Mexico is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional Public Streets Right-of-Way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants and hereby grant: All access, Utility, and Drainage Easements hereon, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried and/or overhead distribution lines, conduits, pipes for underground and/or overhead Utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantee's Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("work") it deems appropriate without liability to the City, if work effects any Improvements or Encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of Improvements or Encroachments. If the opinion of the City, the work to be performed by the City could endanger the structural integrity or otherwise damage the Improvements or Encroachments, the Grantee shall, at its own expense, take whatever protective measures are required to safeguard the Improvements or Encroachments. Those signing as owner(s) warrant that they hold among them complete and indefeasible title (in Fee Simple) to the land subdivided. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is with their free act and deed.

LOWE'S H/W, INC. BY: Robin P. Nickles, Vice President of Lowe's H/W, Inc. This instrument was acknowledged before me on 25 day of August 2004 by David E. Shotton, Vice President of Lowe's H/W, Inc. My Commission Expires: 2/20/2007 Notary Public



NOTES

- 1. Basis of Bearings: New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 Datum also being the same as Bearings shown on PLAT OF TRACTS A-1 & A-2, LOS ANGELES CENTER, Filed: June 20, 1997 as Document No. 97062853 in Volume 97C, Folio 198.
2. Distances are Ground Distances.
3. All easements of record are shown.
4. Reciprocal cross-access and cross-drainage easements are provided over and across Tracts A-1-A, A-1-B, A-1-C, A-1-D and A-1-E for the use and benefit of same Tracts. Maintenance of these easements shall be by same Tracts' owners. (Ref. Z-95-092)
5. Record Bearings and distances are shown in parenthesis ().

SURVEYOR'S CERTIFICATION

I, Thomas G. Klingenhagen, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Bohannon-Huston, Inc. Courtyard I 7500 Jefferson Street, N.E. Albuquerque, New Mexico 87109 (505)823-1000

Thomas G. Klingenhagen New Mexico Professional Surveyor 5978 Date: 8-20-04



Barcode area with text: 2005010863 626694 Page: 1 of 3 01/24/2005 10:46A Mary Herrera Bern. Co. PLRT R 17.00 Bk-2065C Pg-25

PLAT OF TRACTS A-1-A, A-1-B, A-1-C, A-1-D & A-1-E LOS ANGELES CENTER

(A REPLAT OF TRACT A-1 LOS ANGELES CENTER AND THE DOMINGO BACA ARROYO TOGETHER WITH VACATED SAN BERNADINO AVENUE NE NORTH ALBUQUERQUE ACRES)

ALBUQUERQUE, NEW MEXICO AUGUST, 2004

PLAT APPROVAL

PROJECT NUMBER 1001946 APPLICATION NUMBER 04DRB-01965

UTILITY APPROVALS: QWEST TELECOMMUNICATIONS 8-31-04 COMCAST CABLE 8-30-04 PNM ELECTRIC SERVICES 8-31-04 PNM GAS SERVICES 8-31-04

CITY APPROVALS: CITY SURVEYOR 8-30-04 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION 1-24-05 UTILITIES DEVELOPMENT 12/29/04 PARKS & RECREATION DEPARTMENT 12/29/04 CITY ENGINEER 12-29-04 DRB CHAIRPERSON, PLANNING DEPARTMENT 1/23/05 REAL PROPERTY 1-06-05 ENVIRONMENTAL HEALTH 08.23.2004

TAX CERTIFICATION PROPERTY OWNER OF RECORD Sheriff Albuquerque Louie's Home Code Date: 1-24-05 BERNALILLO COUNTY TREASURER'S OFFICE 1-08-063 175 469 90804 rd 2004 1-08-063 094 450 80802

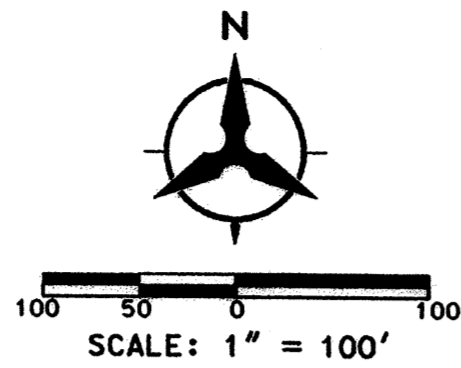
PNM STAMP In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Bohannon & Huston logo and address: Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- - - CENTERLINE
- - - EXISTING EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ⊙ 5/8" REBAR WITH 1 1/4" RED PLASTIC SURVEY CAP STAMPED "PS 5978"
- ⊠ CHISELED "+" IN CONCRETE
- ⊙ CONCRETE NAIL WITH 1" BRASS WASHER STAMPED "LS 11808"
- CONCRETE NAIL WITH 3/4" BRASS WASHER STAMPED "LS 5978"
- ⊙ 5/8" REBAR W/CAP STAMPED "PS 3516" TAGGED W/BRASS DISK STAMPED "PS 5978"
- ⊙ 5/8" REBAR W/CAP STAMPED "HUGG LS 11808"

SEE SHEET 3 OF 3 FOR CURVE AND TANGENT DATA



2605810963
 888894
 Page: 2 of 3
 01/24/2005 10:46A
 BK-2605C Pg-25

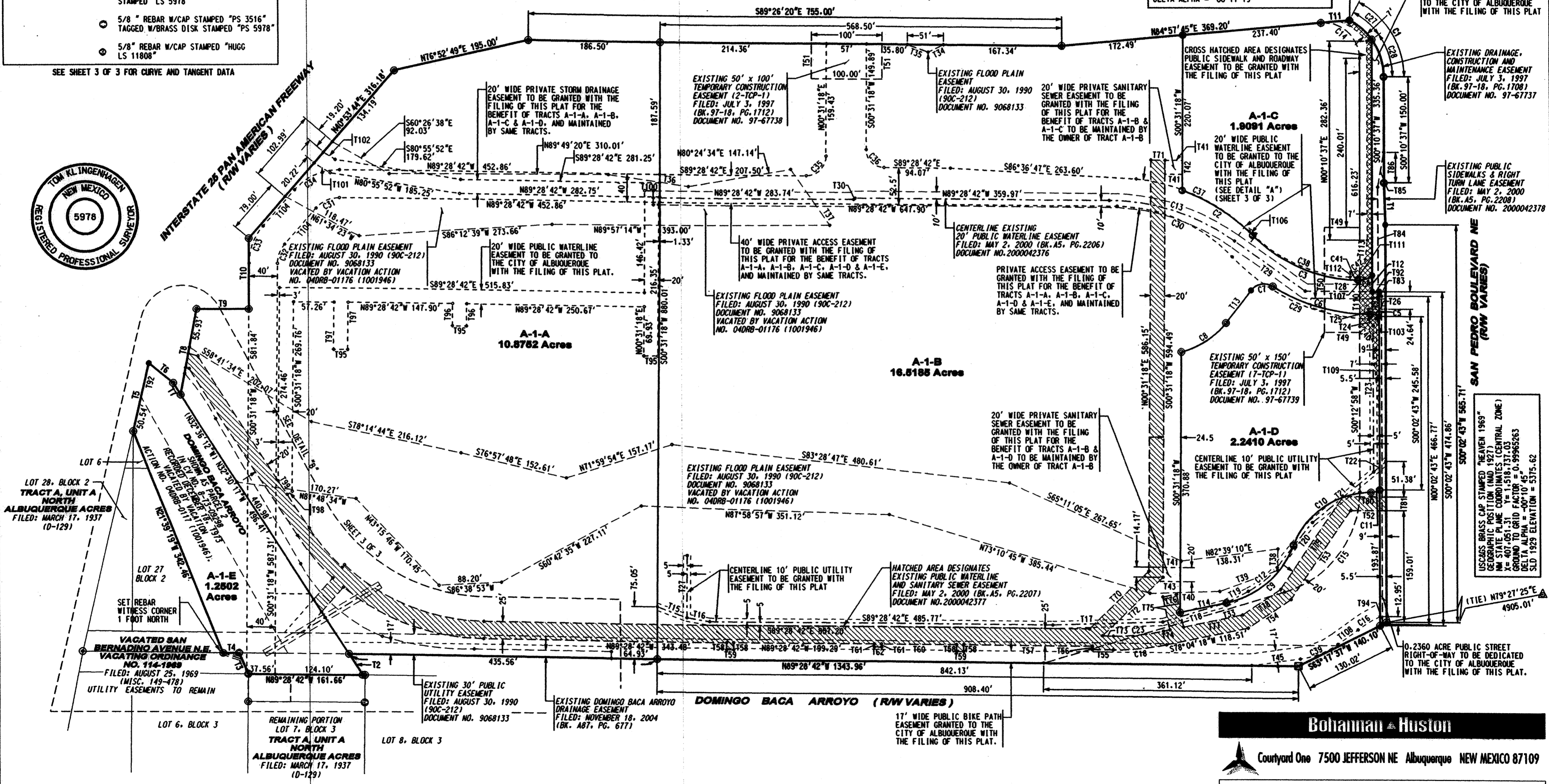
Mary Herrera Bern. Co. PLAT R 17.00

PLAT OF
TRACTS A-1-A, A-1-B,
A-1-C, A-1-D & A-1-E
LOS ANGELES CENTER
 (A REPLAT OF TRACT A-1 LOS ANGELES CENTER
 AND THE DOMINGO BACA ARROYO TOGETHER
 WITH VACATED SAN BERNADINO AVENUE NE
 NORTH ALBUQUERQUE ACRES)
 ALBUQUERQUE, NEW MEXICO
 OCTOBER, 2004

LANDFILL DISCLOSURE STATEMENT

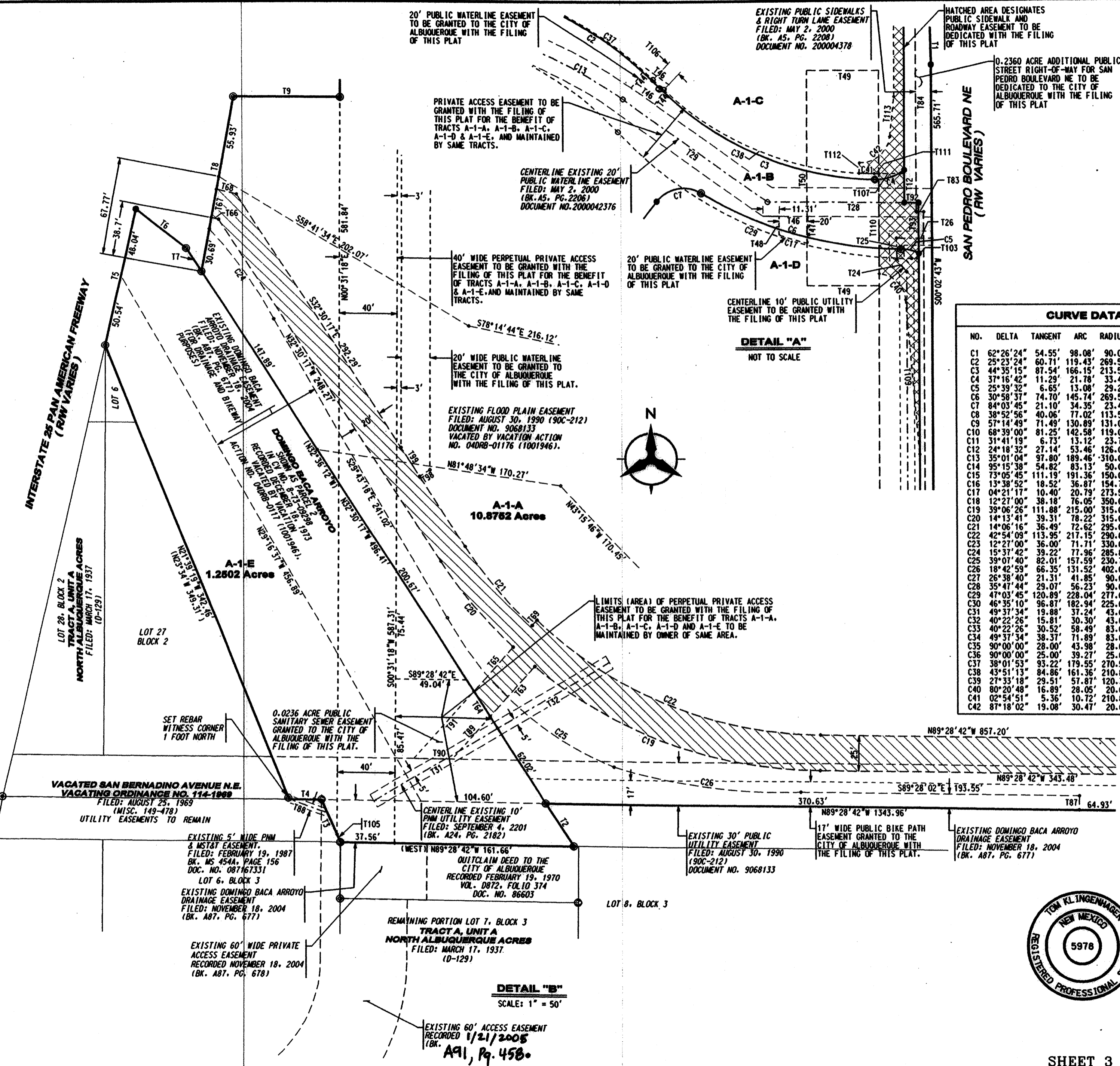
THE SUBJECT PROPERTY IS LOCATED (NEAR, ON) A (FORMER, EXISTING) LANDFILL. DUE TO THE SUBJECT PROPERTY BEING (ON, NEAR) A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1000 FEET OF LANDFILLS) SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

ACS ALUMINUM CAP STAMPED "9-C18 1985"
 GEOREFERENCE POSITION (NAD 1983)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X= 402,255.61 Y= 1,521,435.08
 GROUND TO GRID FACTOR = 0.9996608
 DELTA ALPHA = -00°11'19"



Bohannon & Huston
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

**PLAT OF
TRACTS A-1-A, A-1-B,
A-1-C, A-1-D & A-1-E
LOS ANGELES CENTER**
(A REPLAT OF TRACT A-1 LOS ANGELES CENTER
AND THE DOMINGO BACA ARROYO TOGETHER
WITH VACATED SAN BERNADINO AVENUE NE
NORTH ALBUQUERQUE ACRES)
ALBUQUERQUE, NEW MEXICO
OCTOBER, 2004

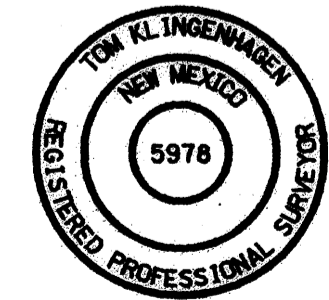
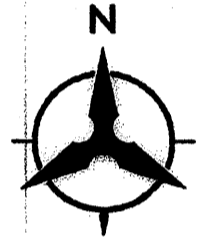


CURVE DATA

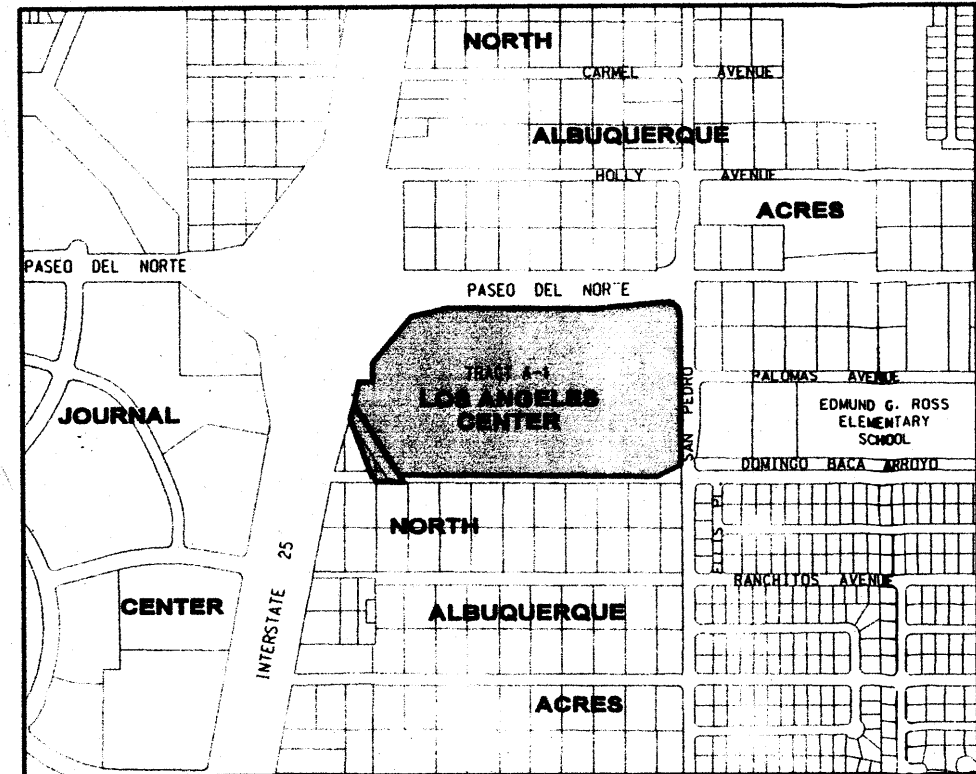
NO.	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BEARING
C1	62°26'24"	54.55'	98.08'	90.00'	93.30'	S31°02'35"E
C2	25°23'24"	60.71'	119.43'	269.50'	118.45'	S57°09'07"E
C3	44°35'15"	87.54'	166.15'	213.50'	161.98'	S66°45'02"E
C4	37°16'42"	11.29'	21.78'	33.48'	21.40'	N72°19'00"E
C5	25°39'32"	6.65'	13.08'	29.21'	12.97'	N76°37'16"W
C6	30°58'37"	74.70'	145.74'	269.56'	143.97'	N73°57'44"W
C7	84°03'45"	21.10'	34.35'	23.41'	31.35'	S79°29'42"W
C8	38°52'56"	40.06'	77.02'	113.50'	75.55'	S56°54'17"W
C9	57°14'49"	71.49'	130.89'	131.00'	125.51'	N49°26'53"E
C10	68°39'00"	81.25'	142.58'	119.00'	134.20'	N55°08'59"E
C11	31°41'19"	6.73'	13.12'	23.73'	12.96'	N73°37'49"E
C12	24°18'32"	27.14'	53.46'	126.00'	53.06'	N50°21'47"E
C13	35°01'04"	97.80'	189.46'	310.00'	186.53'	N71°58'10"W
C14	95°15'38"	54.82'	83.13'	90.00'	73.88'	S47°24'52"E
C15	73°05'45"	111.19'	191.36'	150.00'	178.65'	S36°45'50"W
C16	13°58'52"	18.52'	36.87'	154.79'	36.78'	S58°28'22"W
C17	04°21'17"	10.40'	20.79'	273.56'	20.79'	N73°39'45"W
C18	12°27'00"	38.18'	76.05'	350.00'	75.90'	S84°17'48"W
C19	39°06'26"	111.88'	215.00'	315.00'	210.85'	N69°55'29"W
C20	14°13'41"	39.31'	78.22'	315.00'	78.02'	N39°37'07"E
C21	14°06'16"	36.49'	72.62'	295.00'	72.44'	S39°33'25"E
C22	42°54'09"	113.95'	217.15'	290.00'	212.11'	S68°01'37"E
C23	12°27'00"	36.00'	71.71'	330.00'	71.57'	N84°17'48"E
C24	15°37'42"	39.22'	77.96'	285.82'	77.72'	S34°37'34"E
C25	39°01'40"	82.01'	157.59'	230.77'	154.55'	S48°07'34"E
C26	18°42'59"	66.35'	131.52'	402.62'	130.94'	S82°21'52"E
C27	26°38'40"	21.31'	41.85'	90.00'	41.48'	S48°56'27"E
C28	35°47'44"	29.07'	56.23'	90.00'	55.32'	S17°43'14"E
C29	47°03'45"	120.89'	228.04'	277.63'	221.68'	N66°25'25"W
C30	46°35'10"	96.87'	182.94'	225.00'	177.95'	N66°11'07"W
C31	49°37'34"	19.98'	37.24'	43.00'	36.09'	S65°42'31"W
C32	40°22'26"	15.81'	30.30'	43.00'	29.68'	S20°42'31"W
C33	40°22'26"	30.52'	58.49'	83.00'	57.28'	N20°42'31"E
C34	49°37'34"	38.37'	71.89'	83.00'	69.66'	N65°42'31"E
C35	90°00'00"	28.00'	43.98'	28.00'	39.60'	N45°31'18"E
C36	90°00'00"	25.00'	39.27'	25.00'	35.36'	S44°28'42"E
C37	38°01'53"	93.22'	179.55'	270.50'	176.27'	S65°07'01"E
C38	43°51'13"	84.86'	161.36'	210.82'	157.45'	S68°01'41"E
C39	27°33'18"	29.51'	57.87'	120.33'	57.31'	S68°19'29"W
C40	80°20'48"	16.89'	28.05'	20.00'	25.80'	N45°06'31"W
C41	02°54'51"	5.36'	10.72'	210.82'	10.72'	N88°29'52"W
C42	87°18'02"	19.08'	30.47'	20.00'	27.61'	N49°49'37"E

TANGENT DATA

NO.	BEARING	DISTANCE	NO.	BEARING	DISTANCE
T1	S01°26'47"E	60.08'	T56	N00°31'18"E	5.00'
T2	S32°30'17"E	35.77'	T57	N89°28'42"W	182.39'
T3	(S32°36'12"E)		T58	S00°31'18"W	10.00'
T4	N23°35'02"W	32.86'	T59	N89°28'42"W	10.00'
T5	(N23°45'N)	(32.86')	T60	N89°28'42"W	106.16'
T6	N89°28'42"W	22.37'	T61	S00°31'18"W	4.50'
T7	(WEST)		T62	N89°28'41"W	10.00'
T8	N12°57'31"E	98.58'	T63	S41°26'53"W	47.02'
T9	(N10°34'E)	(93.34')	T64	N32°30'17"W	20.81'
T10	S51°34'58"E	44.26'	T65	N41°26'53"E	41.27'
T11	(S49°26'E)	(41.28')	T66	N76°14'24"W	5.18'
T12	S32°30'17"E	19.66'	T67	N10°33'06"E	20.03'
T13	(S32°36'12"E)		T68	S76°14'24"E	14.32'
T14	N10°33'06"E	123.70'	T69	N41°26'53"E	5.00'
T15	S89°42'36"E	74.06'	T70	N45°46'58"E	117.66'
T16	N00°14'12"E	101.44'	T71	S89°28'42"E	20.00'
T17	N84°57'45"E	40.69'	T72	S45°46'58"W	120.02'
T18	S00°10'37"W	22.69'	T73	S89°28'42"E	15.36'
T19	N78°04'18"E	9.24'	T74	N78°04'18"E	9.24'
T20	S78°04'18"E	67.35'	T75	N11°55'42"W	47.80'
T21	S68°52'42"E	44.58'	T76	N78°04'18"E	20.00'
T22	S80°29'49"E	32.65'	T77	N78°04'18"E	65.42'
T23	N88°18'49"E	155.92'	T78	N56°15'07"E	65.48'
T24	N73°01'15"E	93.35'	T79	N33°45'07"E	159.90'
T25	N62°31'03"E	36.26'	T80	S89°28'42"E	60.86'
T26	N38°12'31"E	81.55'	T81	S00°02'43"W	20.00'
T27	N49°42'24"E	114.17'	T82	S63°17'37"W	6.16'
T28	N49°42'24"E	22.96'	T83	N89°57'17"W	5.00'
T29	N00°02'43"E	206.23'	T84	N00°02'43"E	155.70'
T30	N37°01'40"W	11.27'	T85	N10°26'04"E	50.10'
T31	N00°56'16"W	14.86'	T86	S00°10'37"W	43.21'
T32	S89°56'27"E	24.55'	T87	S00°31'58"W	9.82'
T33	N00°31'18"E	88.09'	T88	N69°49'15"W	25.00'
T34	N89°28'42"W	94.96'	T89	S41°26'53"W	39.76'
T35	N54°27'38"W	122.82'	T90	N89°28'42"W	26.47'
T36	S45°31'18"W	2.83'	T91	N41°26'53"E	62.85'
T37	N59°02'11"E	100.18'	T92	S89°28'42"E	35.41'
T38	S59°05'13"E	90.56'	T93	S00°02'43"W	9.92'
T39	S73°19'39"W	357.17'	T94	S63°17'37"W	10.08'
T40	S64°25'14"W	24.10'	T95	N89°28'42"W	20.00'
T41	N69°33'41"W	31.23'	T96	S00°31'18"W	32.16'
T42	S81°44'56"E	114.13'	T97	S00°31'18"W	67.66'
T43	S34°19'00"E	97.08'	T98	S57°29'27"W	8.43'
T44	S00°32'55"W	30.00'	T99	N32°30'17"W	23.73'
T45	S69°50'22"W	87.66'	T100	S89°28'42"E	12.33'
T46	S88°14'06"W	99.08'	T101	N57°33'18"W	26.53'
T47	S89°28'42"E	24.50'	T102	S57°33'18"E	19.43'
T48	S00°31'18"W	20.00'	T103	N89°57'17"W	5.07'
T49	N89°28'42"E	30.38'	T104	S40°53'44"W	68.40'
T50	N35°32'22"E	17.20'	T105	N23°35'02"W	5.98'
T51	S82°06'08"W	69.77'	T106	S46°06'04"E	10.19'
T52	N89°28'42"W	20.00'	T107	S89°57'17"E	20.65'
T53	S33°45'07"W	153.07'	T108	S54°04'04"W	35.44'
T54	S56°15'07"W	73.32'	T109	N04°56'07"W	107.49'
T55	N89°28'42"W	29.57'	T110	N00°12'58"E	70.24'
			T111	N89°57'17"W	3.11'
			T112	N03°28'38"E	7.34'
			T113	N06°10'36"E	27.82'



Bohman & Huston
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS



LOCATION MAP

ZONE ATLAS INDEX MAP No. D-18-Z NOT TO SCALE

SUBDIVISION DATA

- 1. DRB No. 1001946
2. Zone Atlas Index No. D-18.
3. Gross Subdivision Acreage: 33.0300 Acres.
4. Total Number of Tracts Created: Five (5) Tracts.
5. Total Mileage of Partial Width Streets Created: 0.1577 Mile.
6. Date of Survey: May, 2002.
7. Plat is located within the Elena Gallegos Grant, within projected Section 24, T11N, R3E, N11M.

DISCLOSURE STATEMENT

The purpose of this PLAT is to subdivide Tract A-1 of the PLAT OF TRACTS A-1 AND A-2 LOS ANGELES CENTER, Albuquerque, New Mexico, as the same is shown and designated on the Plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 20, 1997, as Document No. 97062853 in Book 97C, Page 198 together with the Domingo Baca Arroyo, being Parcel 2 as described in CV No. 8-73-09298, recorded in the office of the County Clerk of Bernalillo County, New Mexico on December 18, 1973, together with the southerly and northerly portion of Vacated San Bernardino Avenue NE, Vacation Ordinance No. 114-1969 on August 25, 1969 of the plat of TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 17, 1937 in Volume D, Folio 129, into five (5) Tracts, to dedicate additional Public Street Right-of-Way to the City of Albuquerque, to vacate existing easements and right-of-way and to grant easements.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground & overhead electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. ONEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet(10') in front of transformers/switchgear door and five feet (5') on each side.

DESCRIPTION

A certain tract of land situate within the Elena Gallegos Grant, in projected Section 24, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being Tract A-1 of the Plat of Tracts A-1 and A-2, LOS ANGELES CENTER, as the same is shown and designated on the plat thereof recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 20, 1997 in Volume 97C, Folio 198, as Document Number 97062853, and also being the Domingo Baca Arroyo, being Parcel 2 as described in CV No. 8-73-09298, recorded in the office of the County Clerk of Bernalillo County, New Mexico on December 18, 1973, together with the southerly and northerly portion of San Bernardino Avenue NE, Vacation Ordinance No. 114-1969 on August 25, 1969, comprising a portion of Tract A, Unit A, NORTH ALBUQUERQUE ACRES, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 17, 1937 in Volume D, Folio 129 and being more particularly described by New Mexico Grid Bearings (Central Zone NAD 1927) and ground distances as follows:

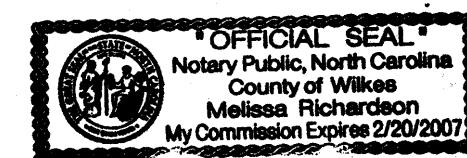
BEGINNING at a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" at the northeast corner of the tract herein described, said corner also being the intersection of the southerly right-of-way line of Paseo Del Norte N.E. and the westerly right-of-way line of San Pedro Drive N.E., whence the City of Albuquerque survey monument "9-C18" an aluminum cap riveted to a 2-1/2 inch aluminum tube, having New Mexico State Plane Grid Coordinates, (Central Zone NAD 1927): X=402,255.61 and Y=1,521,435.09 bears N01°32'16"E, a distance of 2741.78 feet; thence running along the westerly right-of-way line San Pedro Drive N. E. and the easterly boundary line of said Tract A-1, 98.08 feet along the arc of a curve to the right having a radius of 90.00 feet and a chord which bears S31°02'35"E a distance of 93.30 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" at a point of tangency; thence, S00°10'37"W a distance of 150.00 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978"; thence, S01°26'47"E a distance of 60.08 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978"; thence, S00°02'43"W a distance of 565.71 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" at the southeasterly corner of said Tract A-1; thence running along the said southerly boundary line of Tract A-1, S63°17'37"W a distance of 140.10 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" at a point on the northerly right-of-way line of the Domingo Baca Arroyo; thence running along said Arroyo right-of-way and the said southerly boundary line of Tract A-1, N89°28'42"W a distance of 1343.96 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" at a point on the westerly boundary line of said Tract A-1; thence running along said Arroyo right-of-way line, S32°30'17"E, a distance of 35.77 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" at a point on the southerly right-of-way line of vacated San Bernardino Avenue NE and also being a point on the northerly boundary line of Lot numbered seven (7), Block numbered three (3) of said NORTH ALBUQUERQUE ACRES; thence running along said southerly right-of-way line, N89°28'42"W, a distance of 161.66 feet to a 5/8 inch rebar with aluminum cap stamped "PS 3516", at the northwest corner of said Lot numbered seven (7), Block numbered three (3) and also being a point on the southerly right-of-way line of vacated San Bernardino Avenue NE; thence, N23°35'02"W, a distance of 32.86 feet to a 5/8 inch rebar with aluminum cap stamped "PS 3516", a point on the centerline of said vacated San Bernardino Avenue NE, thence running along said centerline, N89°28'42"W, a distance of 22.37 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" to a point on the westerly boundary line of the Domingo Baca Arroyo, thence running along said westerly boundary line, N21°39'19"W, a distance of 342.46 feet to a point on the easterly right-of-way line of Interstate 25 (I-25), thence running along said right-of-way line, N12°57'31"E, a distance of 98.58 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978"; thence, S51°34'58"E, a distance of 44.26 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978"; thence, S32°30'17"E, a distance of 19.66 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" a point on the westerly boundary line of said Tract A-1; thence running along said westerly boundary line, N10°33'06"E a distance of 123.70 feet to a found 5/8 inch rebar tagged with a brass survey disk stamped "PS 5978"; thence, S89°42'36"E a distance of 74.06 feet to a found 5/8 inch rebar with a survey cap stamped "LS 8478"; thence, N00°14'12"E a distance of 101.44 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978"; thence, N40°53'44"E a distance of 316.18 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978" at a point on the said southerly right-of-way line of Paseo Del Norte N.E. and the said northerly boundary line of Tract A-1; thence running along the said southerly right-of-way line and also along the said northerly boundary line, N76°52'49"E a distance of 195.00 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978"; thence, S89°26'20"E a distance of 755.00 feet to a 5/8 inch rebar with red plastic cap stamped "LS 5978"; thence, N84°57'45"E a distance of 369.20 feet to a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978"; thence, N84°57'45"E a distance of 40.69 feet to the point and place of beginning.

Tract contains 33.0300 acres, more or less.

FREE CONSENT AND DEDICATION

The foregoing Plat of that certain tract of land situate within the Elena Gallegos Grant, in projected Section 24, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tract A-1 of the Plat of Tracts A-1 and A-2, LOS ANGELES CENTER, as the same is shown and designated on the plat thereof recorded in the office of the County Clerk of Bernalillo County, New Mexico on June 20, 1997 in Volume 97C, Folio 198, as Document Number 97062853 together with the Domingo Baca Arroyo, being Parcel 2 as described in CV No. 8-73-09298, recorded in the office of the County Clerk of Bernalillo County, New Mexico on December 18, 1973, together with a southerly and northerly portion of Vacated San Bernardino Avenue NE, Vacation Ordinance No. 114-1969 on August 25, 1969, of the plat of TRACT A, UNIT A, NORTH ALBUQUERQUE ACRES, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on March 17, 1937 in Volume D, Folio 129, now comprising Tracts A-1-A, A-1-B, A-1-C, A-1-D, and A-1-E, LOS ANGELES CENTER, Albuquerque, New Mexico is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate additional Public Streets Rights-of-Way shown hereon to the City of Albuquerque in Fee Simple with Warranty Covenants and hereby grant: All access, Utility, and Drainage Easements hereon, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried and/or overhead distribution lines, conduits, pipes for underground and/or overhead Utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantee's Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("work") it deems appropriate without liability to the City. If work effects any Improvements or Encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of Improvements or Encroachments. If in the opinion of the City, the work to be performed by the City could endanger the structural integrity or otherwise damage the Improvements or Encroachments, the Grantee shall, at its own expense, take whatever protective measures are required to safeguard the Improvements or Encroachments. Those signing as owner(s) warrant that they hold among them complete and indefeasible title (in Fee Simple) to the land subdivided. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is with their free act and deed.

LOWE'S H/W, INC.
By: David E. Shelton, Robin P. Nickles, Senior Vice President
This instrument was acknowledged before me on 25 day of August 2004 by David E. Shelton, Senior Vice President of Lowe's H/W, Inc.
My Commission Expires: 2/29/2007
Notary Public



NOTES

- 1. Basis of Bearings: New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 Datum also being the same as Bearings shown on PLAT OF TRACTS A-1 & A-2, LOS ANGELES CENTER, Filed: June 20, 1997 as Document No. 97062853 in Volume 97C, Folio 198.
2. Distances are Ground Distances.
3. All easements of record are shown.
4. Reciprocal cross-access and cross-drainage easements are provided over and across Tracts A-1-A, A-1-B, A-1-C, A-1-D and A-1-E for the use and benefit of same Tracts. Maintenance of these easements shall be by same Tracts' owners. (Ref. Z-95-092)
5. Record Bearings and distances are shown in parenthesis ().

SURVEYOR'S CERTIFICATION

I, Thomas G. Klingenhagen, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.
Bohannon-Huston, Inc.
Court yard I
7500 Jefferson Street, N.E.
Albuquerque, New Mexico 87109
(505)823-1000
Date: 8-20-04



Barcode area with project number 2885818863, page 1 of 3, and date 8/24/2004.

PLAT OF TRACTS A-1-A, A-1-B, A-1-C, A-1-D & A-1-E LOS ANGELES CENTER (A REPLAT OF TRACT A-1 LOS ANGELES CENTER AND THE DOMINGO BACA ARROYO TOGETHER WITH VACATED SAN BERNADINO AVENUE NE NORTH ALBUQUERQUE ACRES) ALBUQUERQUE, NEW MEXICO AUGUST, 2004

Table with columns for Utility Approvals (ONEST, Comcast, PNM Electric, PNM Gas), City Officials (City Surveyor, Traffic Engineering, Utilities Development, Parks & Recreation, City Engineer, DRB Chairperson, Environmental Health), and Tax Certification. Includes dates and signatures for each approval.

PROPERTY OWNER OF RECORD City of Albuquerque, Lowe's Home Centers
Bennett South House
BERNILLLO COUNTY TREASURER'S OFFICE
1-018-063-175-469-2004 pd 2004
1-018-063 094 450 20202

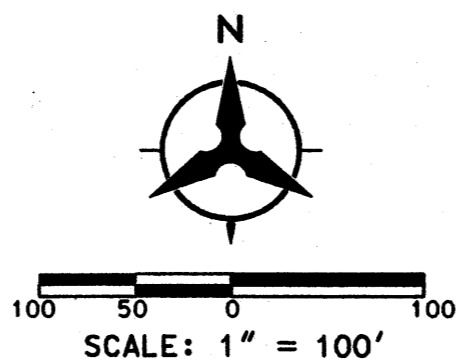
PNM STAMP
In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Bohannon & Huston logo and address: Court yard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109. Services: ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS.

LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- - - CENTERLINE
- - - EXISTING EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ⊙ 5/8" REBAR WITH 1 1/4" RED PLASTIC SURVEY CAP STAMPED "PS 5978"
- ⊠ CHISELED "+" IN CONCRETE
- ⊙ CONCRETE NAIL WITH 1" BRASS WASHER STAMPED "LS 11808"
- ⊙ CONCRETE NAIL WITH 3/4" BRASS WASHER STAMPED "LS 5978"
- ⊙ 5/8" REBAR W/CAP STAMPED "PS 3516" TAGGED W/BRASS DISK STAMPED "PS 5978"
- ⊙ 5/8" REBAR W/CAP STAMPED "HUGG LS 11808"

SEE SHEET 3 OF 3 FOR CURVE AND TANGENT DATA



2005010003
6296994
Page: 2 of 3
81/24/2005 10:48A
Bk-2065C Pg-25

Mary Herrera Bern. Co. PLRT R 17.00 Bk-2065C Pg-25

PLAT OF
TRACTS A-1-A, A-1-B,
A-1-C, A-1-D & A-1-E
LOS ANGELES CENTER
 (A REPLAT OF TRACT A-1 LOS ANGELES CENTER AND THE DOMINGO BACA ARROYO TOGETHER WITH VACATED SAN BERNADINO AVENUE NE NORTH ALBUQUERQUE ACRES)
 ALBUQUERQUE, NEW MEXICO
 OCTOBER, 2004

LANDFILL DISCLOSURE STATEMENT

THE SUBJECT PROPERTY IS LOCATED (NEAR, ON) A (FORMER, EXISTING) LANDFILL. DUE TO THE SUBJECT PROPERTY BEING (ON, NEAR) A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1000 FEET OF LANDFILLS) SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.

ACS ALUMINUM CAP STAMPED "9-C18 1985"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X= 402,255.61 Y= 1,521,435.09
 GROUND TO GRID FACTOR = 0.9996608
 DELTA ALPHA = -00°11'19"

(TIE) N01°32'16"E
 2741.78'
 0.2360 ACRE PUBLIC STREET RIGHT-OF-WAY TO BE DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

PASEO DEL NORTE (RW VARIES)

INTERSTATE 28 PAN AMERICAN FREEWAY (RW VARIES)

EXISTING DRAINAGE, CONSTRUCTION AND MAINTENANCE EASEMENT FILED: JULY 3, 1997 (BK. 97-18, PG. 1708) DOCUMENT NO. 97-67737

EXISTING PUBLIC SIDEWALKS & RIGHT TURN LANE EASEMENT FILED: MAY 2, 2000 (BK. A5, PG. 2208) DOCUMENT NO. 2000042378

CROSS HATCHED AREA DESIGNATES PUBLIC SIDEWALK AND ROADWAY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT

A-1-C 1.9091 Acres

20' WIDE PUBLIC WATERLINE EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT (SEE DETAIL "A") (SHEET 3 OF 3)

20' WIDE PRIVATE SANITARY SEWER EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT FOR THE BENEFIT OF TRACTS A-1-B & A-1-C TO BE MAINTAINED BY THE OWNER OF TRACT A-1-B

EXISTING 50' x 100' TEMPORARY CONSTRUCTION EASEMENT (2-TC-1) FILED: JULY 3, 1997 (BK. 97-18, PG. 1712) DOCUMENT NO. 97-67738

40' WIDE PRIVATE ACCESS EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT FOR THE BENEFIT OF TRACTS A-1-A, A-1-B, A-1-C, A-1-D & A-1-E, AND MAINTAINED BY SAME TRACTS.

CENTERLINE EXISTING 20' PUBLIC WATERLINE EASEMENT FILED: MAY 2, 2000 (BK. A5, PG. 2206) DOCUMENT NO. 2000042376

EXISTING FLOOD PLAIN EASEMENT FILED: AUGUST 30, 1990 (90C-212) VACATED BY VACATION ACTION NO. 04DRB-01176 (1001946)

PRIVATE ACCESS EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT FOR THE BENEFIT OF TRACTS A-1-A, A-1-B, A-1-C, A-1-D & A-1-E, AND MAINTAINED BY SAME TRACTS.

A-1-B 16.5185 Acres

EXISTING 50' x 150' TEMPORARY CONSTRUCTION EASEMENT (7-TC-1) FILED: JULY 3, 1997 (BK. 97-18, PG. 1712) DOCUMENT NO. 97-67739

20' WIDE PRIVATE SANITARY SEWER EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT FOR THE BENEFIT OF TRACTS A-1-B & A-1-D TO BE MAINTAINED BY THE OWNER OF TRACT A-1-B

EXISTING FLOOD PLAIN EASEMENT FILED: AUGUST 30, 1990 (90C-212) VACATED BY VACATION ACTION NO. 04DRB-01176 (1001946)

A-1-D 2.2410 Acres

CENTERLINE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT

HATCHED AREA DESIGNATES EXISTING PUBLIC WATERLINE AND SANITARY SEWER EASEMENT FILED: MAY 2, 2000 (BK. A5, PG. 2207) DOCUMENT NO. 2000042377

CENTERLINE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT

0.2360 ACRE PUBLIC STREET RIGHT-OF-WAY TO BE DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT.

DOMINGO BACA ARROYO (RW VARIES)

VACATED SAN BERNADINO AVENUE N.E. VACATING ORDINANCE NO. 114-1989

FILED: AUGUST 25, 1969 (MISC. 149-478)
 UTILITY EASEMENTS TO REMAIN

REMAINING PORTION LOT 7, BLOCK 3 TRACT A, UNIT A NORTH ALBUQUERQUE ACRES FILED: MARCH 17, 1937 (10-129)

LOT 8, BLOCK 3

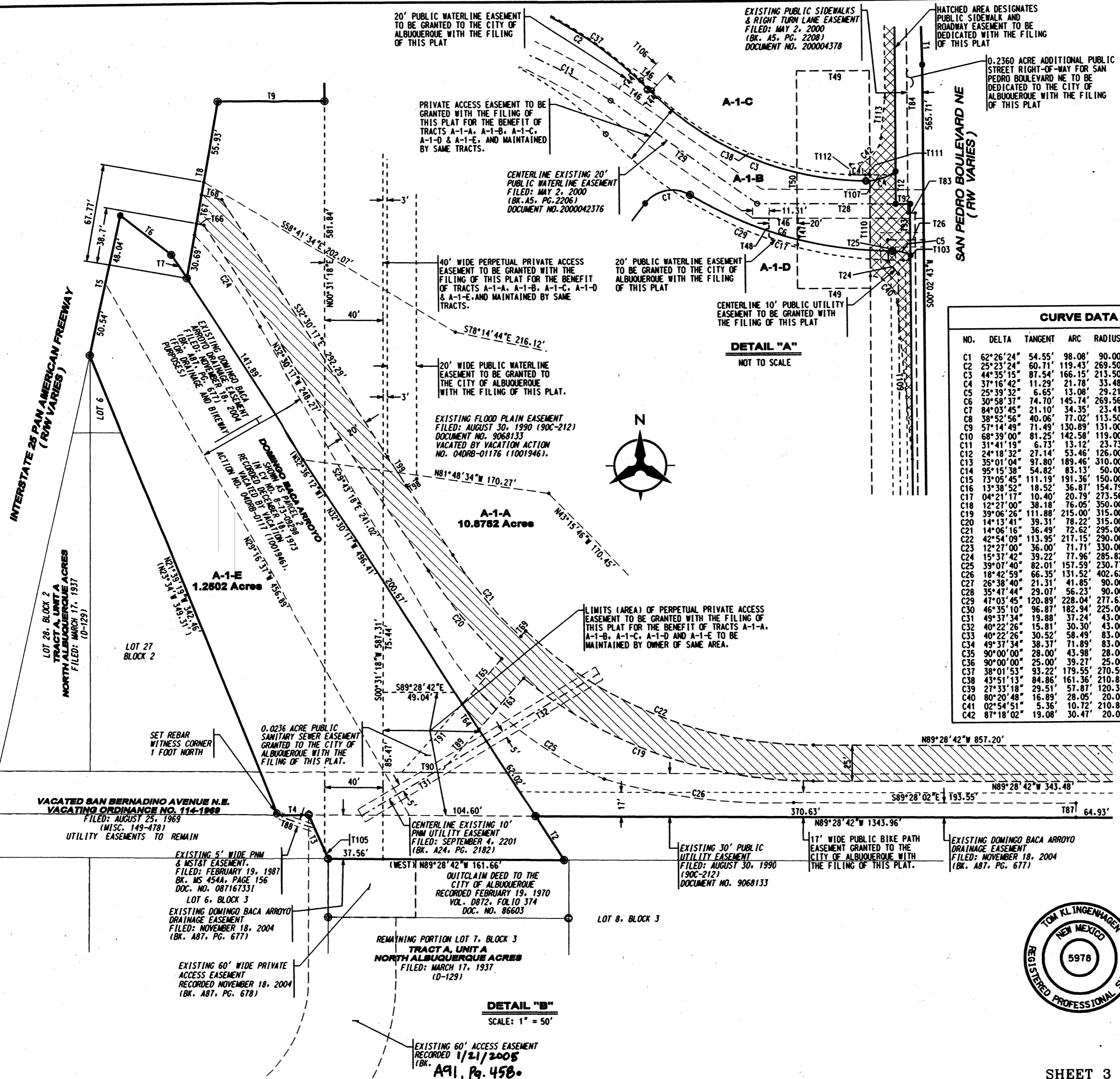
LOT 28, BLOCK 2 TRACT A, UNIT A NORTH ALBUQUERQUE ACRES FILED: MARCH 17, 1937 (10-129)

LOT 27, BLOCK 2

LOT 6, BLOCK 3

Bohannon & Huston
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

**PLAT OF
 TRACTS A-1-A, A-1-B,
 A-1-C, A-1-D & A-1-E
 LOS ANGELES CENTER**
 (A REPLAT OF TRACT A-1 LOS ANGELES CENTER
 AND THE DOMINGO BACA ARROYO TOGETHER
 WITH VACATED SAN BERNADINO AVENUE NE
 NORTH ALBUQUERQUE ACRES)
 ALBUQUERQUE, NEW MEXICO
 OCTOBER, 2004



CURVE DATA

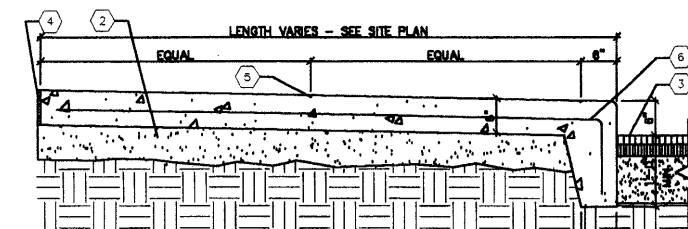
NO.	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BEARING
C1	62°26'24"	54.55'	98.08'	90.00'	93.30'	S31°02'35"E
C2	25°23'24"	60.71'	119.43'	269.50'	118.45'	S57°09'07"E
C3	44°35'15"	87.54'	166.15'	213.50'	161.90'	S66°45'02"E
C4	37°16'42"	11.29'	21.78'	33.48'	21.40'	N72°19'00"E
C5	25°39'32"	6.65'	13.08'	29.21'	12.97'	N76°37'16"W
C6	30°58'37"	74.70'	145.74'	269.56'	143.97'	N73°57'44"W
C7	84°03'45"	21.10'	34.35'	23.41'	31.35'	S79°29'42"W
C8	38°52'56"	40.06'	77.02'	113.50'	75.55'	S56°54'17"W
C9	57°14'49"	71.49'	130.89'	131.00'	125.51'	N49°26'53"E
C10	68°39'00"	81.25'	142.58'	119.00'	134.20'	N55°08'59"E
C11	31°41'19"	6.73'	13.12'	23.73'	12.96'	N73°37'49"E
C12	24°18'32"	27.14'	53.46'	126.00'	53.06'	N50°21'47"E
C13	35°01'04"	97.80'	189.46'	310.00'	186.53'	N71°58'10"W
C14	95°15'38"	54.82'	83.13'	50.00'	73.88'	S47°24'52"E
C15	73°05'45"	111.19'	191.36'	150.00'	178.65'	S36°45'50"W
C16	13°38'52"	18.52'	36.87'	154.79'	36.78'	S58°28'22"W
C17	04°21'17"	10.40'	20.79'	273.56'	20.79'	N73°39'45"W
C18	12°27'00"	38.18'	76.05'	350.00'	75.90'	S84°17'48"W
C19	39°06'26"	111.88'	215.00'	315.00'	210.85'	N69°55'29"W
C20	14°13'41"	39.31'	78.22'	315.00'	78.02'	N39°37'07"W
C21	14°06'16"	36.49'	72.62'	295.00'	72.44'	S39°33'25"E
C22	42°54'09"	113.95'	217.15'	290.00'	212.11'	S68°01'37"E
C23	12°27'00"	36.00'	71.71'	330.00'	71.57'	N84°17'48"E
C24	15°37'42"	39.22'	77.96'	285.82'	77.72'	S34°37'34"E
C25	39°07'40"	82.01'	157.59'	230.71'	154.55'	S48°07'34"E
C26	18°42'59"	66.35'	131.52'	402.62'	130.94'	S82°21'52"E
C27	26°38'40"	21.31'	41.85'	90.00'	41.48'	S48°56'27"E
C28	35°47'44"	29.07'	56.23'	90.00'	55.32'	S17°43'14"E
C29	47°03'45"	120.89'	228.04'	277.63'	221.68'	N66°25'25"W
C30	46°35'10"	96.87'	182.94'	225.00'	177.95'	N66°11'07"W
C31	49°37'34"	19.88'	37.24'	43.00'	36.09'	S65°42'31"W
C32	40°22'26"	15.81'	30.30'	43.00'	29.68'	S20°42'31"E
C33	40°22'26"	30.52'	58.49'	83.00'	57.28'	N20°42'31"E
C34	49°37'34"	38.37'	71.89'	83.00'	69.66'	N65°42'31"E
C35	90°00'00"	28.00'	43.98'	28.00'	39.60'	N45°31'18"E
C36	90°00'00"	25.00'	39.27'	25.00'	35.36'	S44°28'42"E
C37	38°01'53"	93.22'	179.55'	270.50'	176.27'	S65°07'01"E
C38	43°51'13"	84.86'	161.36'	210.82'	157.45'	S68°01'41"E
C39	27°33'18"	29.51'	57.87'	120.33'	57.31'	S68°19'29"W
C40	80°20'48"	16.89'	28.05'	20.00'	25.80'	N45°06'31"W
C41	02°54'51"	5.36'	10.72'	210.82'	10.72'	N88°29'52"W
C42	87°18'02"	19.08'	30.47'	20.00'	21.61'	N49°49'37"E

TANGENT DATA

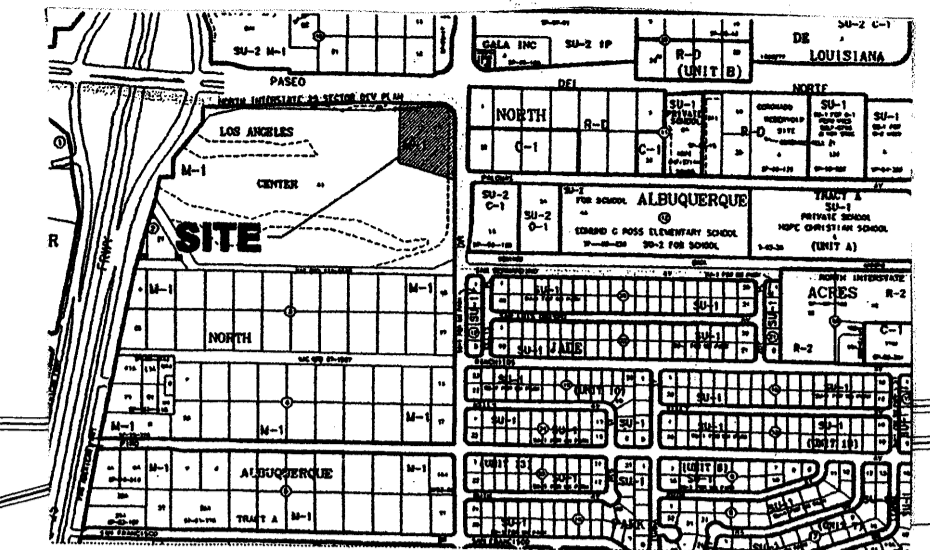
NO.	BEARING	DISTANCE	NO.	BEARING	DISTANCE
T1	S01°26'47"E	60.08'	T56	N00°31'18"E	5.00'
T2	S32°30'17"E	35.77'	T57	N89°28'42"W	182.39'
	(S32°36'12"E)		T58	S00°31'18"W	10.00'
T3	N23°35'02"E	32.86'	T59	N89°28'42"W	10.00'
	(N23°45"W)	(32.86')	T60	N89°28'42"W	106.16'
T4	N89°28'42"W	22.37'	T61	S00°31'18"W	4.50'
	(WEST)		T62	N89°28'41"W	10.00'
T5	N12°57'31"E	98.58'	T63	S41°26'53"W	47.02'
	(N10°34"E)	(93.34')	T64	N32°30'17"W	20.81'
T6	S51°34'58"E	44.26'	T65	N41°26'53"E	41.27'
	(S49°26"E)	(41.28')	T66	N76°14'24"W	5.18'
T7	S32°30'17"E	19.66'	T67	N10°33'06"E	20.03'
	(S32°36'12"E)		T68	S76°14'24"E	14.32'
T8	N10°33'06"E	123.70'	T69	N41°26'53"E	5.00'
T9	S89°42'36"E	74.06'	T70	N45°46'58"E	117.66'
T10	N00°14'12"E	101.44'	T71	S89°28'42"E	20.00'
T11	N84°57'45"E	40.69'	T72	S45°46'58"W	120.02'
T12	S00°10'37"W	22.69'	T73	S89°28'42"E	15.36'
T13	S37°27'50"W	58.44'	T74	N78°04'18"E	9.24'
T14	S78°04'18"E	67.35'	T75	N11°55'42"W	47.80'
T15	S69°52'42"E	44.58'	T76	N78°04'18"E	20.00'
T16	S80°29'49"E	32.65'	T77	N78°04'18"E	85.42'
T17	N88°18'49"E	155.92'	T78	N56°15'07"E	65.48'
T18	N73°01'15"E	93.35'	T79	N33°45'07"E	159.90'
T19	N62°01'03"E	36.26'	T80	S89°28'42"E	60.86'
T20	N38°12'31"E	81.55'	T81	S00°02'43"W	20.00'
T21	N49°42'24"E	114.17'	T82	S63°17'37"W	6.16'
T22	N49°42'24"E	22.96'	T83	N89°57'17"W	5.00'
T23	N00°02'43"E	206.23'	T84	N00°02'43"E	155.70'
T24	N37°01'40"W	11.27'	T85	N10°26'04"E	50.10'
T25	N00°56'16"W	14.86'	T86	S00°10'37"W	43.21'
T26	S89°56'27"E	24.55'	T87	S00°31'58"W	9.82'
T27	N00°31'18"E	88.09'	T88	N69°49'15"W	25.00'
T28	N89°28'42"E	94.96'	T89	S41°26'53"W	39.76'
T29	N54°27'38"W	122.82'	T90	N89°28'42"E	26.47'
T30	S45°31'18"W	2.83'	T91	N41°26'53"E	62.85'
T31	N59°02'11"E	100.18'	T92	S89°28'42"E	9.92'
T32	N59°05'13"E	90.56'	T93	S00°02'43"W	35.41'
T33	S73°19'39"W	357.17'	T94	S63°17'37"W	10.08'
T34	S64°25'14"W	24.10'	T95	N89°28'42"W	20.00'
T35	N69°33'44"W	31.23'	T96	S00°31'18"W	32.16'
T36	S81°44'56"E	114.13'	T97	S00°31'18"W	67.66'
T37	S34°19'00"E	97.08'	T98	S57°29'27"W	8.43'
T38	S00°32'55"W	30.00'	T99	N32°30'17"W	23.73'
T39	S69°50'22"W	87.66'	T100	S89°28'42"E	12.33'
T40	S88°14'06"W	99.08'	T101	N57°33'18"W	26.53'
T41	S89°28'42"E	24.50'	T102	S57°33'18"E	19.43'
T42	S00°31'18"E	20.00'	T103	N89°57'17"W	5.07'
T43	N89°28'42"W	30.38'	T104	S40°53'44"W	68.40'
T44	N35°32'22"E	17.20'	T105	N23°35'02"W	5.98'
T45	S82°06'08"W	69.77'	T106	S46°06'04"E	10.19'
T46	N89°28'42"W	20.00'	T107	S89°57'17"E	20.65'
T47	S00°31'18"W	18.81'	T108	S54°04'04"W	35.44'
T48	N00°31'18"E	13.14'	T109	N04°56'07"W	107.49'
T49	N89°47'02"W	50.00'	T110	N00°12'58"E	70.24'
T50	N00°12'58"E	50.00'	T111	N89°57'17"W	3.11'
T51	S00°33'40"W	50.00'	T112	N03°28'38"E	7.34'
T52	N89°28'42"W	50.22'	T53	S33°45'07"W	153.07'
T53	S33°45'07"W	153.07'	T54	S56°15'07"W	73.32'
T54	S56°15'07"W	73.32'	T55	N89°28'42"W	29.57'



Bohannon & Huston
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS



4 BLDG PER. SIDEWALK DETAIL
3/8" = 1'



VICINITY MAP
LOS ANGELES CENTER, TRACT A
ZONE ATLAS D-18-Z

LINE TABLE

LINE	BEARING	DISTANCE
L1	N89°57'17"W	5.38'

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	98.25	90.00	54.67	93.45	S31°05'53"E	62°32'59"
C2	53.05	33.48	33.94	47.67	S45°33'37"W	90°46'56"
C3	166.15	213.50	87.54	161.99	N66°45'02"W	44°35'19"
C4	119.43	269.50	60.71	118.46	N57°09'07"W	25°23'27"

Walgreens

FACILITIES PLANNING AND DESIGN
1000 2500
DEERFIELD, IL 60015

3/20/05
PRELIMINARY PLAN
APPROVED BY DRB
WALGREENS CONSULTANT
HANDS ON CONSULTANTS
ON 3/20/05

ALL CONSTRUCTION WORK UNLESS NOTED OTHERWISE BY:
 WALGREENS CONTRACTOR
 LANDLORDS CONTRACTOR (TURNKEY CONSTRUCTION)

- RADIUS INFORMATION:
- 1 RADIUS = 2'-0"
 - 2 RADIUS = 3'-0"
 - 3 RADIUS = 5'-0"
 - 4 RADIUS = 10'-0"
 - 5 RADIUS = 15'-0"
 - 6 RADIUS = 20'-0"
 - 7 RADIUS = 25'-0"
 - 8 RADIUS = 30'-0"
 - 9 RADIUS = 40'-0"
 - 10 RADIUS = 50'-0"
 - 11 RADIUS = 60'-0"
 - 12 RADIUS = 100'-0"

- KEYED NOTES
- COMPACTOR LOCATION - PAD AND ENCLOSURE TO CURRENT CITY OF ALBUQUERQUE REQUIREMENTS
 - YELLOW PAINTED ARROW AND 24" HIGH LETTERS
 - TRANSFORMER
 - NEW LANDSCAPE BUFFERS/ISLANDS
 - BICYCLE RACK LOCATIONS - 4 BIKES
 - STRIPING, YELLOW, 4" WIDE (TYPICAL)
 - ACCESSIBLE SPACE WITH PAINTED SYMBOL AND SIGN PER CITY OF ALBUQUERQUE REQUIREMENTS
 - STANDARD PAVING. SEE GEOTECHNICAL REPORT
 - 2-LANE PHARMACY DRIVE-THRU
 - ACCESSIBLE RAMP. SEE AT-14
 - STRIPED ACCESSIBLE AISLE
 - HEAVY DUTY ASPHALTIC PAVING FOR TRUCK TRAFFIC. SEE GEOTECHNICAL REPORT
 - TRAFFIC SIGNAL BOXES.
 - BENCH. SEE DETAIL 3 THIS SHEET.
 - WALGREEN'S PYLONS SIGN. SEE SHEET A5.1 FOR DETAILS.
 - "DO NOT ENTER" SIGN.

PROJECT INFORMATION

LOCATION: DEVELOPMENT IS LOCATED AT THE SOUTHWEST CORNER OF PASEO DEL NORTE AND SAN PEDRO NE ALBUQUERQUE, NEW MEXICO

LEGAL DESCRIPTION:

ARCHITECTS: GEORGE RAINHART ARCHITECT & ASSOCIATES, P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110

ZONING: M-1

OCCUPANT LOAD: 413 OCCUPANTS

OCCUPANCY GROUP: M (MERCANTILE)

TOTAL ACREAGE: 2 AC

CONSTRUCTION TYPE: II-B SPRINKLERED

TOTAL BUILDING AREA: 14,820 SQUARE FEET

PARKING ANALYSIS

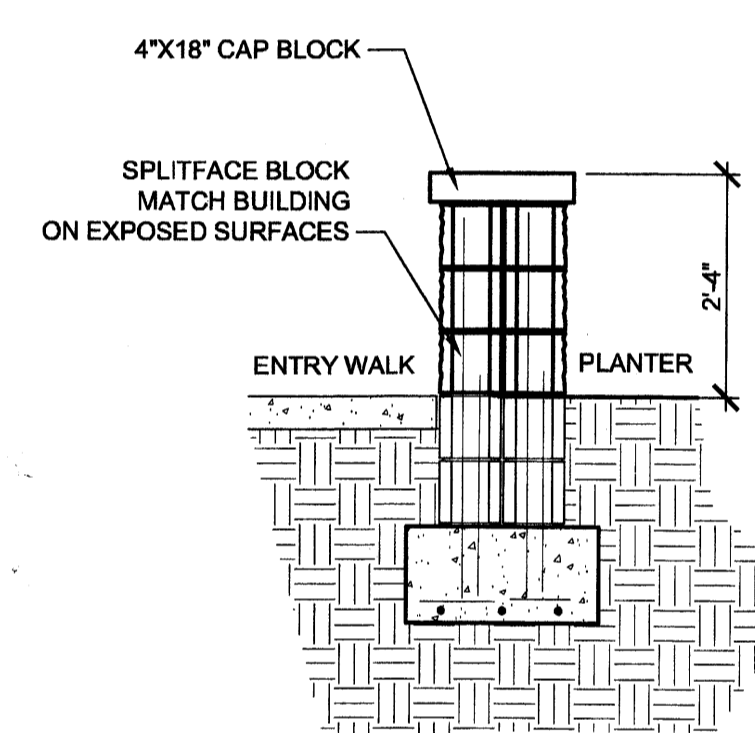
REQUIRED: 1 SPACE PER 200 SF OF GROSS FLOOR AREA LESS 20% OF FLOOR AREA FOR STORAGE
16,510 SF x 80% = 11,866 SF SALES AREA
11,866 SF/200 = 60 REQUIRED SPACES

PROVIDED: 97 SPACES INCLUDING 93 STANDARD SPACES AND 4 ACCESSIBLE SPACES (1 VAN ACCESSIBLE SPACE)

PASEO DEL NORTE
42,000 CARS PER DAY
(RW VARIES)

EXISTING DRAINAGE, CONSTRUCTION AND MAINTENANCE EASEMENT FILED: JULY 3, 1997 (BK.97-18, PG.1708) DOCUMENT NO. 97-67737

SAN PEDRO DRIVE N.E.
15,300 CARS PER DAY
(RW VARIES)

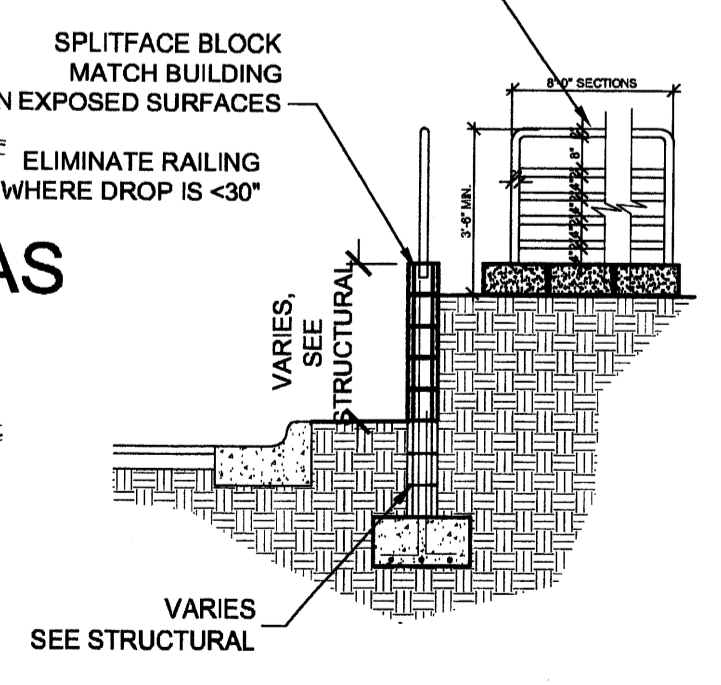


3 SEATING DETAIL
1/2" = 1'

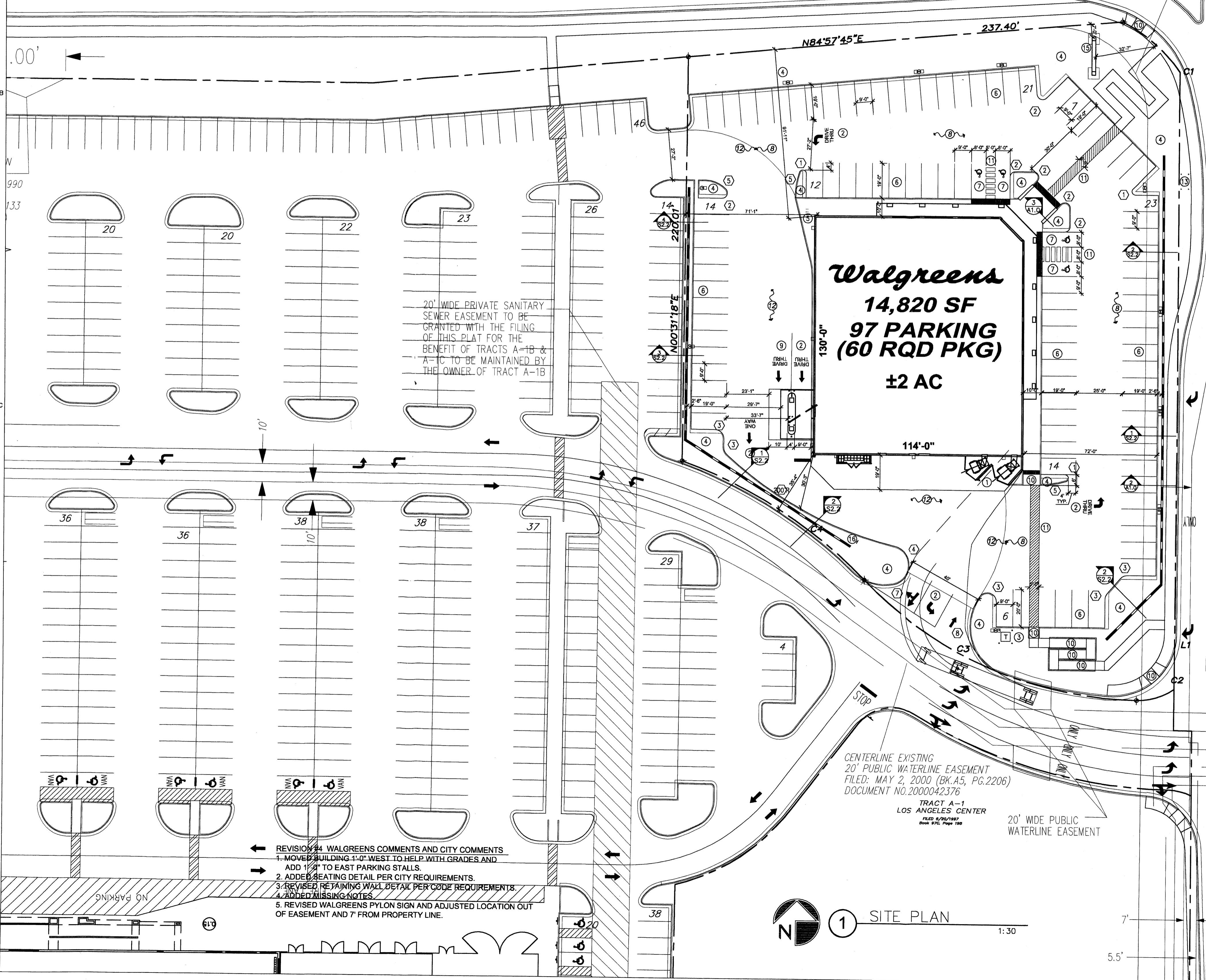
CITY OF ALBUQUERQUE
"SOLID WASTE" MANAGEMENT DEPARTMENT
APPROVED M.H. 3-22-05

EXISTING PUBLIC SIDEWALKS & RIGHT TURN LANE EASEMENT FILED: MAY 2, 2000 (BK.A5, PG.2208) DOCUMENT NO. 2000042378

PALOMAS AVE.



2 WALL DETAIL
1/4" = 1'



1 SITE PLAN
1:30

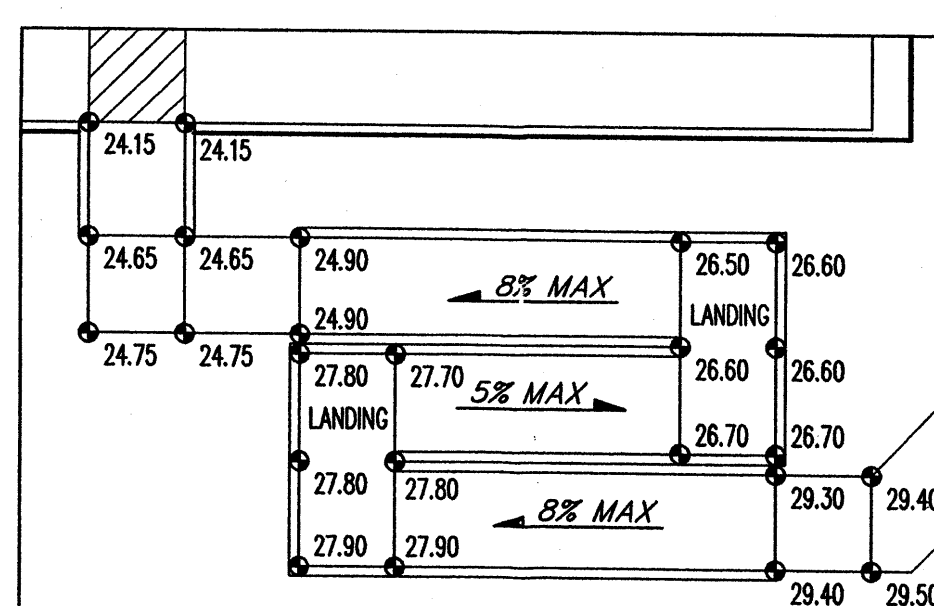
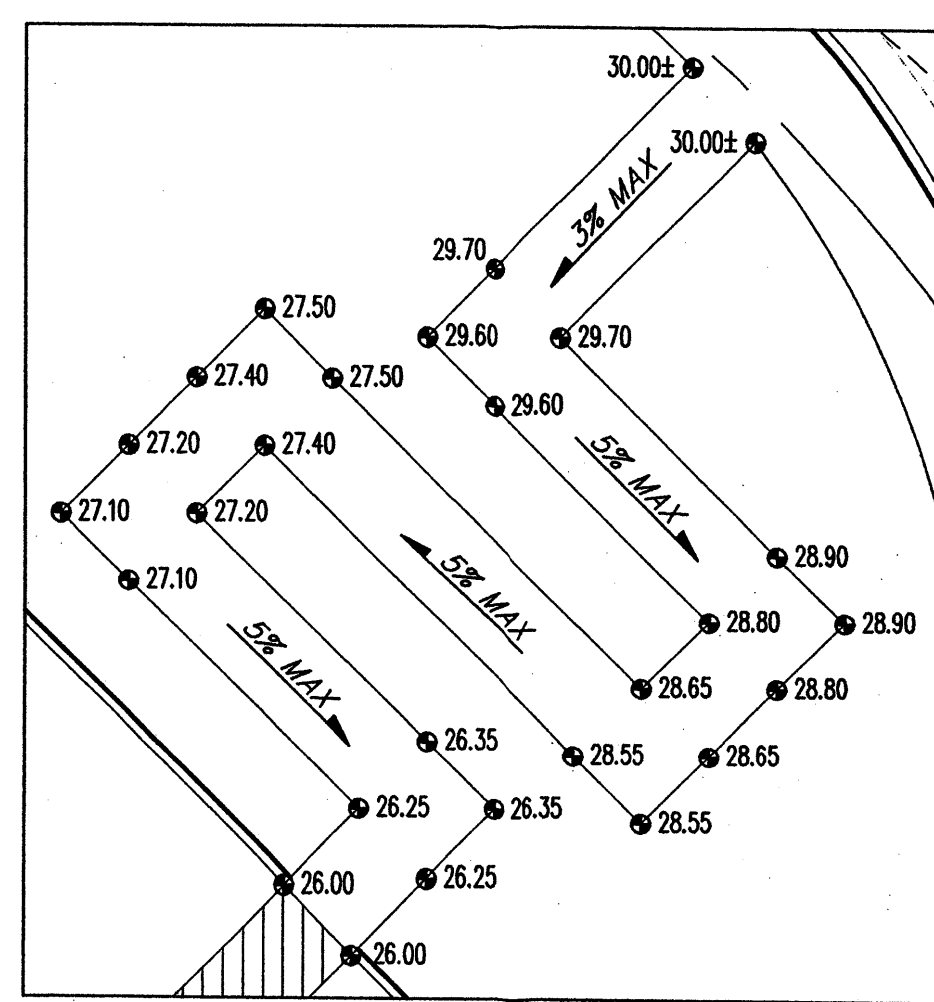
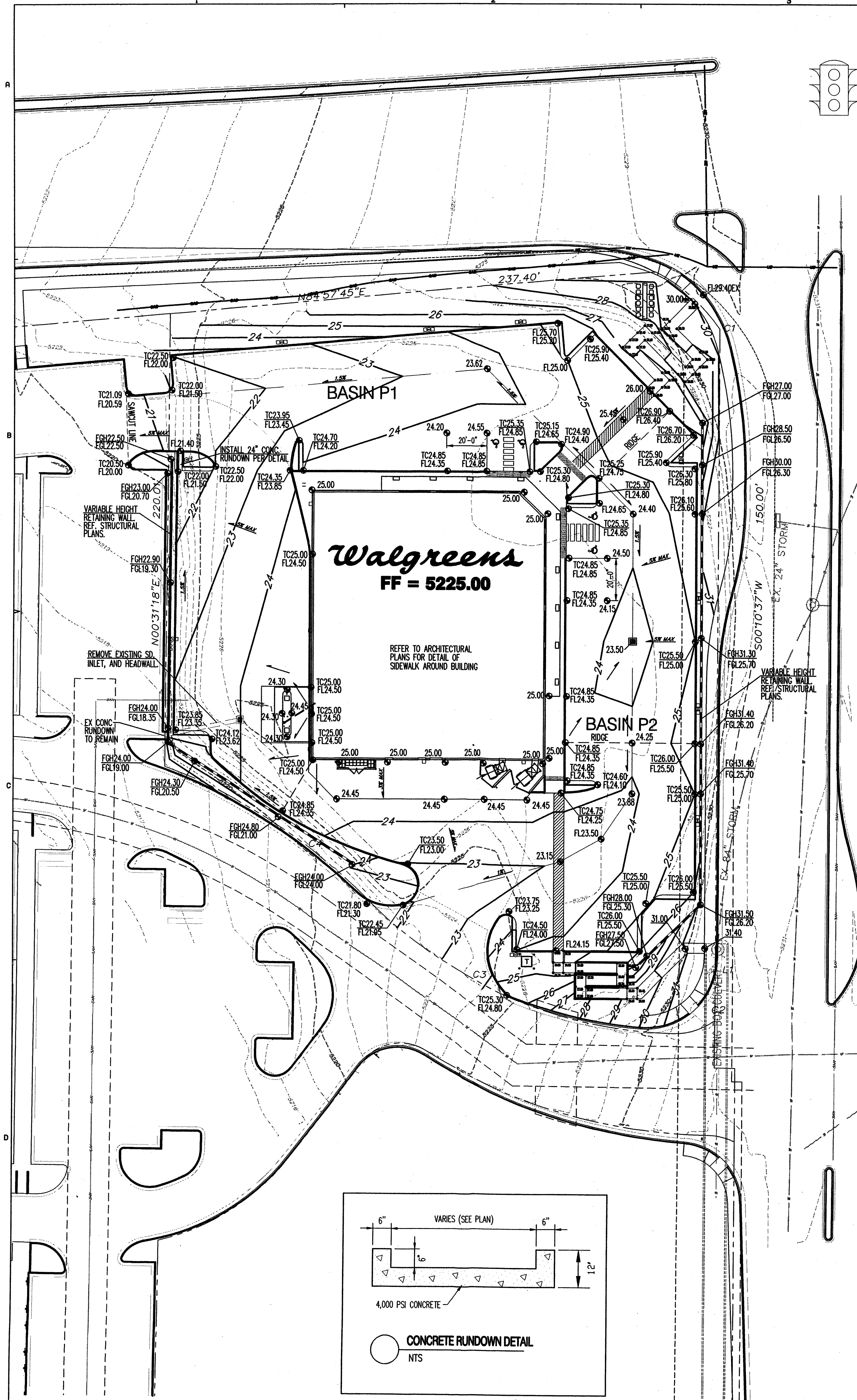
- REVISION #4 WALGREENS COMMENTS AND CITY COMMENTS
- MOVE BUILDING 1'-0" WEST TO HELP WITH GRADES AND ADD 1'-0" TO EAST PARKING STALLS
 - ADDED SEATING DETAIL PER CITY REQUIREMENTS
 - REVISED RETAINING WALL DETAIL PER CODE REQUIREMENTS
 - ADDED MISSING NOTES
 - REVISED WALGREENS PYLON SIGN AND ADJUSTED LOCATION OUT OF EASEMENT AND 7' FROM PROPERTY LINE.

20' WIDE PRIVATE SANITARY SEWER EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAN FOR THE BENEFIT OF TRACTS A-1B & A-1C TO BE MAINTAINED BY THE OWNER OF TRACT A-1B

CENTERLINE EXISTING 20" PUBLIC WATERLINE EASEMENT FILED: MAY 2, 2000 (BK.A5, PG.2206) DOCUMENT NO. 2000042376

TRACT A-1 LOS ANGELES CENTER FILED: 8/10/97 (BK.97-18, PG.1708) DOCUMENT NO. 97-67737

20' WIDE PUBLIC WATERLINE EASEMENT

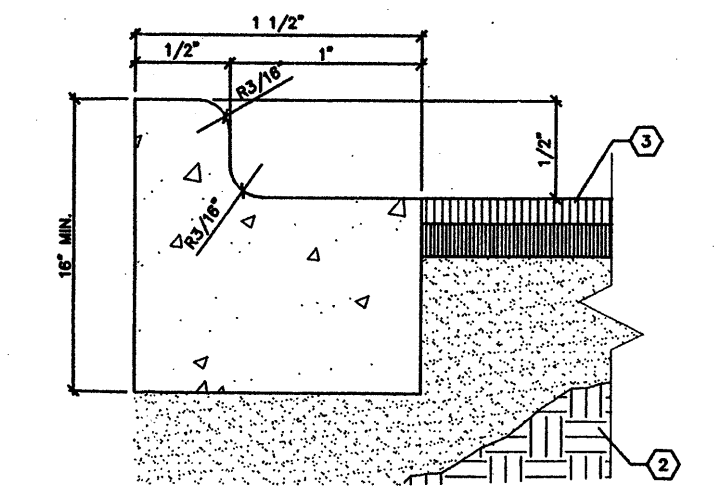


GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (IE, BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
12. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
13. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
14. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING NOTES

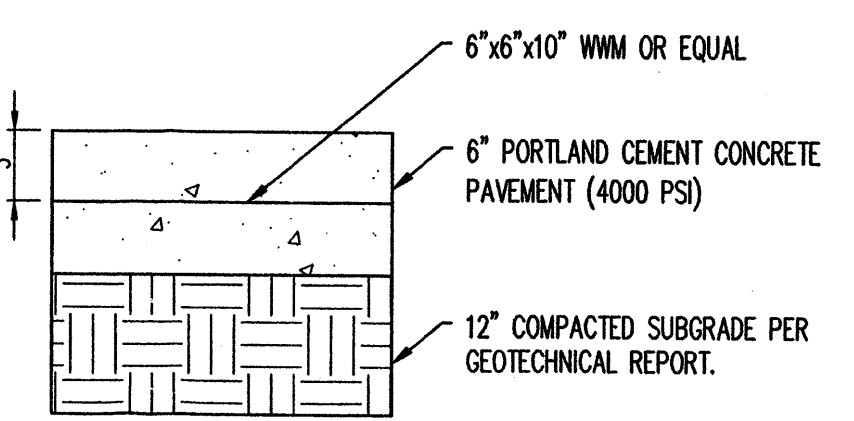
1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS OR SILT FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.05' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.



LEGEND

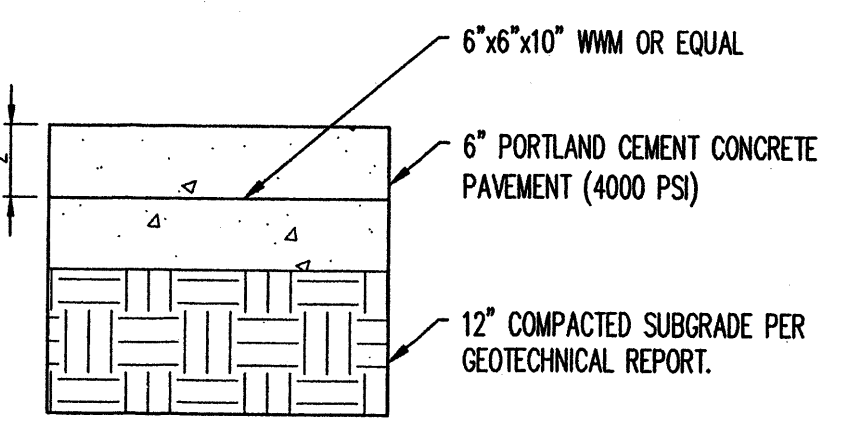
- PROPERTY LINE
- EXISTING CONTOURS
- PROPOSED SPOT ELEVATION
- TC=TOP OF CURB, FL=FLOW LINE
- FG=GRADE AT TOP OF WALL
- EX=EXISTING, TG=TOP OF GRADE
- PROPOSED DIRECTION OF FLOW
- PROPOSED RETAINING WALL
- PROPOSED CONTOURS
- 6.5" ASPHALTIC CONCRETE-TYPE "D" PER NMASHTD. SPEC. SECTION 420 UPPER LIFT = 2", MIDDLE LIFT = 2" LOWER LIFT = 2.5"
- 12" (MINIMUM) COMPACTED SUBGRADE PER GEOTECHNICAL REPORT
- HEAVY-DUTY ASPHALT PAVEMENT SECTION SEE GEOTECHNICAL REPORT FOR APPROVED ALTERNATE PAVING SECTIONS.
- 4.5" ASPHALTIC CONCRETE-TYPE "D" PER NMASHTD. SPEC. SECTION 420 UPPER LIFT = 2", LOWER LIFT = 2.5"
- 12" (MINIMUM) COMPACTED SUBGRADE PER GEOTECHNICAL REPORT
- LIGHT-DUTY ASPHALT PAVEMENT SECTION SEE GEOTECHNICAL REPORT FOR APPROVED ALTERNATE PAVING SECTIONS.

CONCRETE PAVEMENT SECTION



NOTE: ALL CONSTRUCTION AND SAWED 'DUMMY' JOINTS SHALL BE INSTALLED PER PORTLAND CEMENT ASSOCIATION (PCA) RECOMMENDATIONS.

SIDEWALK PAVEMENT SECTION



NOTE: ALL CONSTRUCTION AND SAWED 'DUMMY' JOINTS SHALL BE INSTALLED PER PORTLAND CEMENT ASSOCIATION (PCA) RECOMMENDATIONS.

NOTE: REFERENCE SITE PLAN FOR LIMITS OF PAVEMENT SECTIONS.

- NOTES:**
1. MAXIMUM CROSS SLOPE ON ALL SIDEWALKS IS 2%.
 2. MAXIMUM SLOPE BETWEEN 5'x5' LANDINGS ON ACCESSIBLE ROUTE IS 5%. MAXIMUM CROSS SLOPE IS 2%.
 3. MAXIMUM SLOPE BETWEEN 5'x5' LANDINGS ON ACCESSIBLE ROUTE WITH HANDRAILS IS 8%. MAXIMUM CROSS SLOPE IS 2%.
 4. MAXIMUM SLOPE ON ACCESSIBLE RAMPS IS 8%.
 5. MAXIMUM SLOPE IN HANDICAP PARKING IS 2% IN ALL DIRECTIONS.



GRADING PLAN

SCALE: 1" = 30'-0"

Bohannon & Huston
 Courtyard I 7800 Jefferson St. NE Albuquerque, NM 87109-4398
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

Walgreens
 FACILITIES PLANNING AND DESIGN
 200 WILMOT ROAD DEERFIELD, IL 60015
 708-940-2500

PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:

WALGREENS' CONSULTANT
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK UNLESS NOTED OTHERWISE BY:

WALGREENS' CONTRACTOR
 LANDLORDS'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW	NEW
REMODELING	EXISTING
RELOCATION	NEW SHELL ONLY
OTHERS	

PROJECT INFORMATION

NO.	DATE	BY	DESCRIPTION	CONST.
8				
7				
6				
5				
4		BJS		
3	10/25/04	AOB	UPDATED SITE/FORMAT	
2	7/22/04	BJ	ADD SITE INFO	
1	9/01/03	MPS	WIDEN DRIVE AISLE TO 40'	

REVISIONS

NO.	DATE	BY	DESCRIPTION	CONST.
8				
7				
6				
5				
4		BJS		
3	10/25/04	AOB	UPDATED SITE/FORMAT	
2	7/22/04	BJ	ADD SITE INFO	
1	9/01/03	MPS	WIDEN DRIVE AISLE TO 40'	

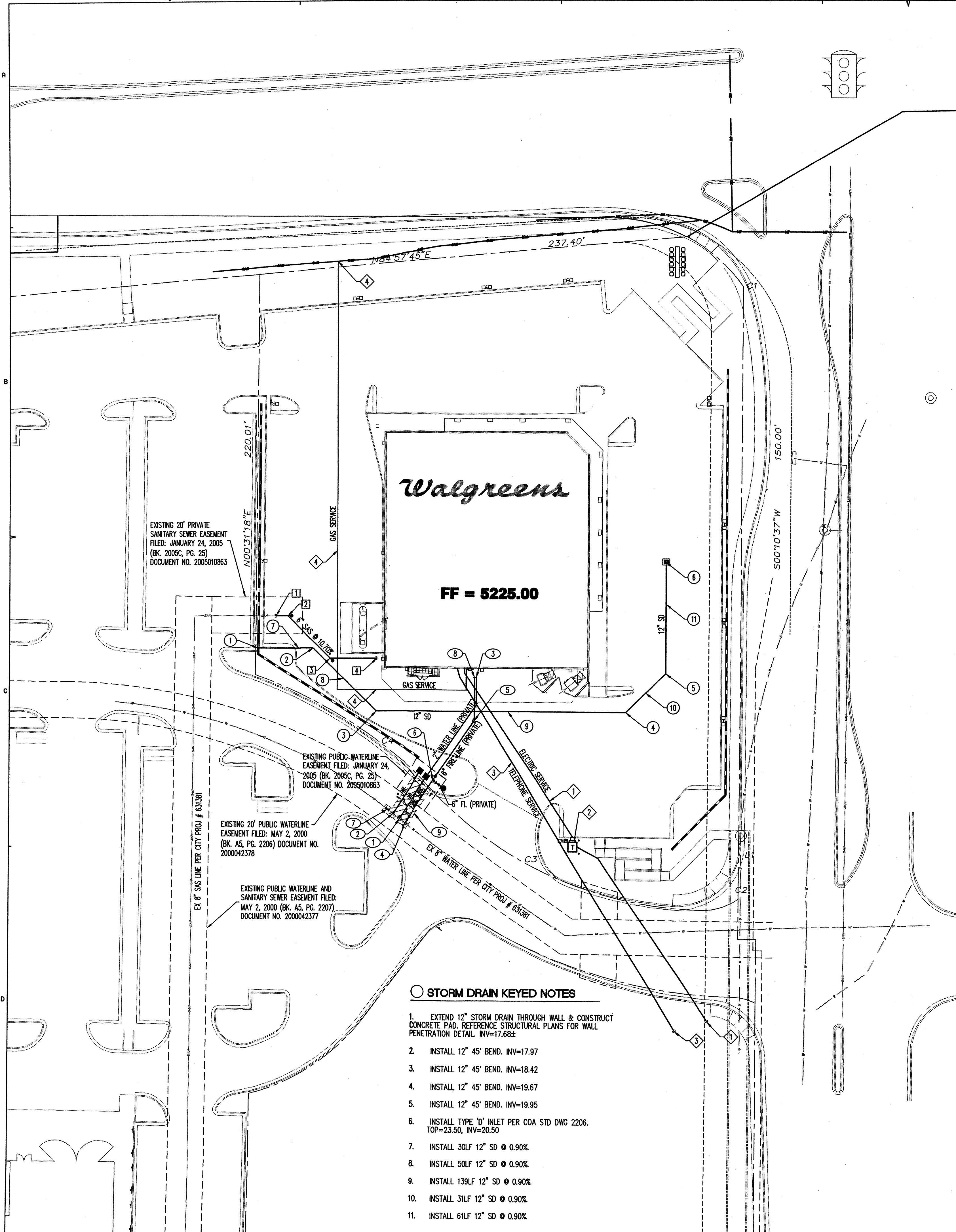
CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NEW MEXICO AS SIGNIFIED BY MY HAND AND SEAL.

George Rainhart
 GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
 2325 SAN PEDRO NE, SUITE 2-B
 ALBUQUERQUE, NEW MEXICO 87110
 PHONE (505) 884-9110 FAX (505) 837-9877
 www.gra-arch.com

PROJECT NAME
 WALGREENS STORE
 (SWC) SAN PEDRO AND PASEO DEL NORTE
 ALBUQUERQUE, NEW MEXICO

DATE 02-15-05 STORE NO. 9608 DRAWING NO. 9608
 DRAWN BY: JTW SCALE: 1:30
 REVIEWED BY: BJS RELEASED TO CONSTRUCTION: OF DWGS.



GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
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- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
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- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE ADJACENT PROPERTY OWNER PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT PROPERTY.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

UTILITY NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE INSTALLATION OF ALL WORK RELATED TO MECHANICAL UTILITIES AS SHOWN ON THIS PLAN INCLUDING: TRENCHING, BACKFILL, SUPPORTS, CLEANOUT PADS, SERVICE STOPS AND BOXES, SERVICE LINES, TESTING, CLEANING, AND STERILIZING. ANY WORK NOT ACCEPTED BY THE ARCHITECT OR ENGINEER DUE TO IMPROPER WORKMANSHIP OR LACK OF PROPER COORDINATION SHALL BE REMOVED AND CORRECTLY INSTALLED AT THE CONTRACTOR'S EXPENSE, AS DIRECTED.
- MINIMUM DEPTHS OF COVER SHALL BE: 36" FOR WATERLINES AND 48" FOR SEWER, EXCEPT AT BUILDING CONNECTION.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE IAPMO UNIFORM PLUMBING CODE, LATEST EDITION.
- UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT, CURB AND GUTTER, AND/OR SIDEWALK, AS APPLICABLE.
- ROUGH GRADING OF SITE (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
- CONTRACTOR WILL BE RESPONSIBLE FOR CONNECTIONS TO BUILDING DRAIN LINES AND ALL NECESSARY FITTINGS.
- ALL VALVES SHALL BE ANCHORED PER COA STANDARD DWG. 2333.
- FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRE LINE, AND SEWER HOOKUP FEES FOR INSTALLATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
- CONTRACTOR SHALL VERIFY INVERTS AND LOCATIONS OF EXISTING WATER/SAS LINES PRIOR TO BEGINNING WORK. ALL CONFLICTS SHALL BE BROUGHT TO ATTENTION OF THE ENGINEER AND RESOLVED PRIOR TO BEGINNING WORK.
- CONTRACTOR SHALL PREPARE ALL SUBMITTAL MATERIALS & PAY APPLICABLE FEES TO OBTAIN THE "MINI WORK ORDER" REQUIRED FOR CONNECTION TO THE EXISTING CITY WATER MAIN AND OTHER "PUBLIC" WATER LINE CONSTRUCTION.

WATERLINE KEYED NOTES

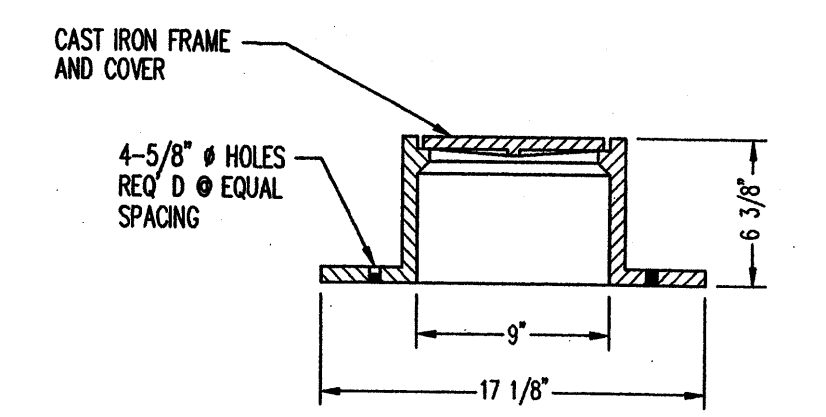
- INSTALL 2" METERED DOMESTIC WATER SERVICE AS PER COA STD DWG 2363. CONTRACTOR SHALL PAY ALL CITY FEES ASSOCIATED WITH WATER SERVICE INSTALLATION. (SEE UTILITY NOTE #11)
- INSTALL 1" METERED IRRIGATION WATER SERVICE AS PER COA STD DWG 2362. CONTRACTOR SHALL PAY ALL CITY FEES ASSOCIATED WITH WATER SERVICE INSTALLATION. VERIFY METER SIZE BACKFLOW PREVENTER INSTALLATION WITH LANDSCAPE/IRRIGATION PLANS. (SEE UTILITY NOTE #11). WALGREEN'S SEPARATE METER LOCATED INSIDE BUILDING (SEE PLUMBING PLANS).
- REFERENCE MEP PLANS FOR CONTINUATION OF 2" WATER LINE.
- INSTALL 8"x8" TEE AND 8" GATE VALVE. GATE VALVE PER COA STD DWGS 2326 & 2328. (SEE UTILITY NOTE #11)
- INSTALL 8" 45° BEND WITH BLOCKING.
- INSTALL 8"x6" TEE, 6" GATE VALVE, FIRE HYDRANT, AND 8"x6" REDUCER PER COA STD DWGS. FH PER COA STD DWG 2340, WITH 4 FT BURY AND FULLY RESTRAINED. (SEE UTILITY NOTE #11)
- INSTALL NEW 8" GATE VALVE ON EXISTING 8" WATER LINE. (SEE UTILITY NOTE #11)
- REFERENCE MEP PLANS FOR CONTINUATION OF 6" FIRE LINE. BACKFLOW PREVENTION INSIDE BUILDING.
- SAWOUT, REMOVE, AND REPLACE EXISTING PAVEMENT TO MEET OR EXCEED EXISTING CONDITIONS.

SANITARY SEWER KEYED NOTES

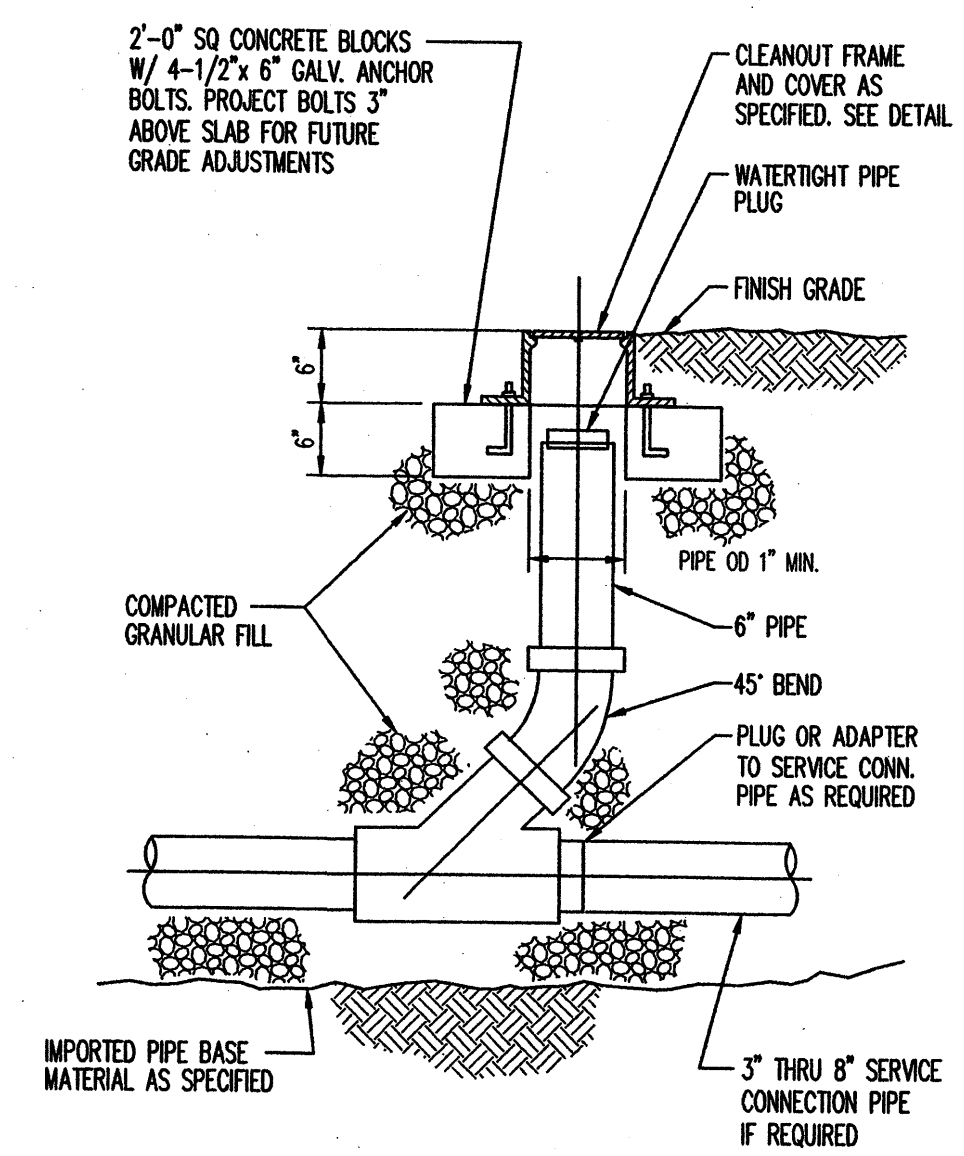
- TIE PROPOSED 6" SANITARY SEWER SERVICE INTO EXISTING 8" SANITARY SEWER LINE. INV=5212.00±.
- INSTALL WYE AND CLEANOUT (SEE DETAIL THIS SHEET). INV=5212.69.
- INSTALL WYE AND CLEANOUT (SEE DETAIL THIS SHEET). INV=5216.23.
- SEE MEP PLANS FOR CONTINUATION OF 6" SANITARY SEWER SERVICE. INV=5219.00± (VERIFY WITH MEP PLANS PRIOR TO CONSTRUCTION).

UTILITY KEYED NOTES

- UNDERGROUND ELECTRICAL SERVICE. REFER TO MECHANICAL, ELECTRICAL, OR PLUMBING (MEP) PLANS.
- PAD MOUNTED TRANSFORMER AND METER PER LOCAL UTILITY COMPANY DESIGN STANDARDS. REFER TO MEP PLANS.
- UNDERGROUND TELEPHONE SERVICE. REFER TO MEP PLANS.
- PROPOSED GAS SERVICE. REFER TO MEP PLANS.



CLEANOUT FRAME & COVER
N.T.S.



CLEANOUT
N.T.S.

STORM DRAIN KEYED NOTES

- EXTEND 12" STORM DRAIN THROUGH WALL & CONSTRUCT CONCRETE PAD. REFERENCE STRUCTURAL PLANS FOR WALL PENETRATION DETAIL. INV=17.68±.
- INSTALL 12" 45° BEND. INV=17.97
- INSTALL 12" 45° BEND. INV=18.42
- INSTALL 12" 45° BEND. INV=19.67
- INSTALL 12" 45° BEND. INV=19.95
- INSTALL TYPE 'D' INLET PER COA STD DWG 2206. TOP=23.50, INV=20.50
- INSTALL 30LF 12" SD @ 0.90%
- INSTALL 50LF 12" SD @ 0.90%
- INSTALL 139LF 12" SD @ 0.90%
- INSTALL 31LF 12" SD @ 0.90%
- INSTALL 61LF 12" SD @ 0.90%

PLANS CHECKING OFFICE
824-3011
APPROVED
DATE 3-22-05



UTILITY PLAN

SCALE: 1"= 30'-0"

Bohannon & Huston
 7000 Jefferson St NE Albuquerque, NM 87108-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES



FACILITIES PLANNING AND DESIGN
200 WILMOT ROAD
788-940-2500
DEERFIELD, IL 60015

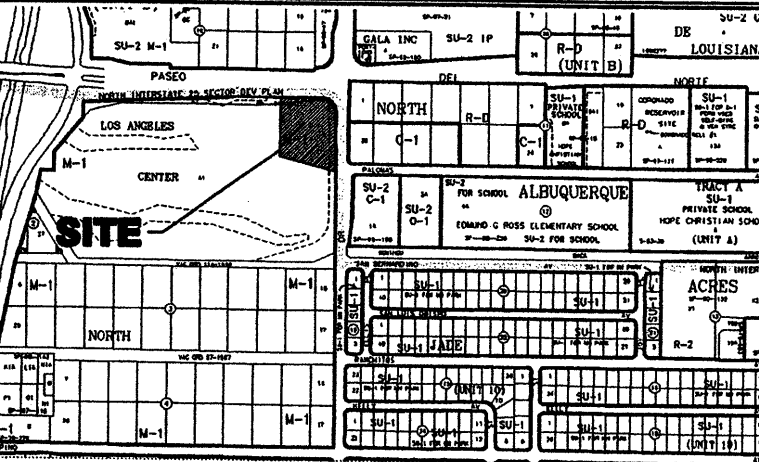
PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:
 WALGREENS' CONSULTANT
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS' CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW..... <input checked="" type="checkbox"/>	NEW..... <input checked="" type="checkbox"/>
REMODELING... <input type="checkbox"/>	EXISTING..... <input type="checkbox"/>
RELOCATION... <input type="checkbox"/>	NEW SHELL ONLY... <input type="checkbox"/>
OTHERS..... <input type="checkbox"/>	

PROJECT INFORMATION



VICINITY MAP
LOS ANGELES CENTER, LOT A1, BLOCK 0000
6200 PASEO DEL NORTE NE

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT

APPROVALS FOR:	NAME	DATE
DESIGN:		
UTILITY DEVELOPMENT		
CONSTRUCTION:		
CONSTRUCTION ENGINEER		
ACCEPTANCE:		
CONSTRUCTION INSPECTOR		

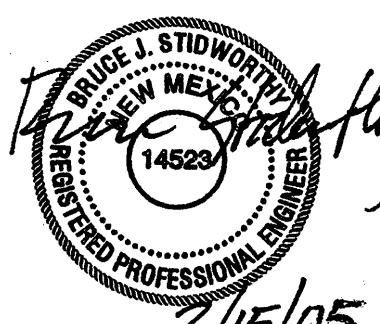
City Project No. _____ Zone Map No. **D-18-Z**

NO.	DATE	BY	DESCRIPTION	CONST.
8				
7				
6				
5				
4				
3	10/25/04	AOB	UPDATED SITE/FORMAT	
2	7/22/04	BJ	ADD SITE INFO	
1	06/15/03	MPS	WIDEN DRIVE AISLSE TO 40'	

REVISIONS

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NEW MEXICO AS SIGNIFIED BY MY HAND AND SEAL.

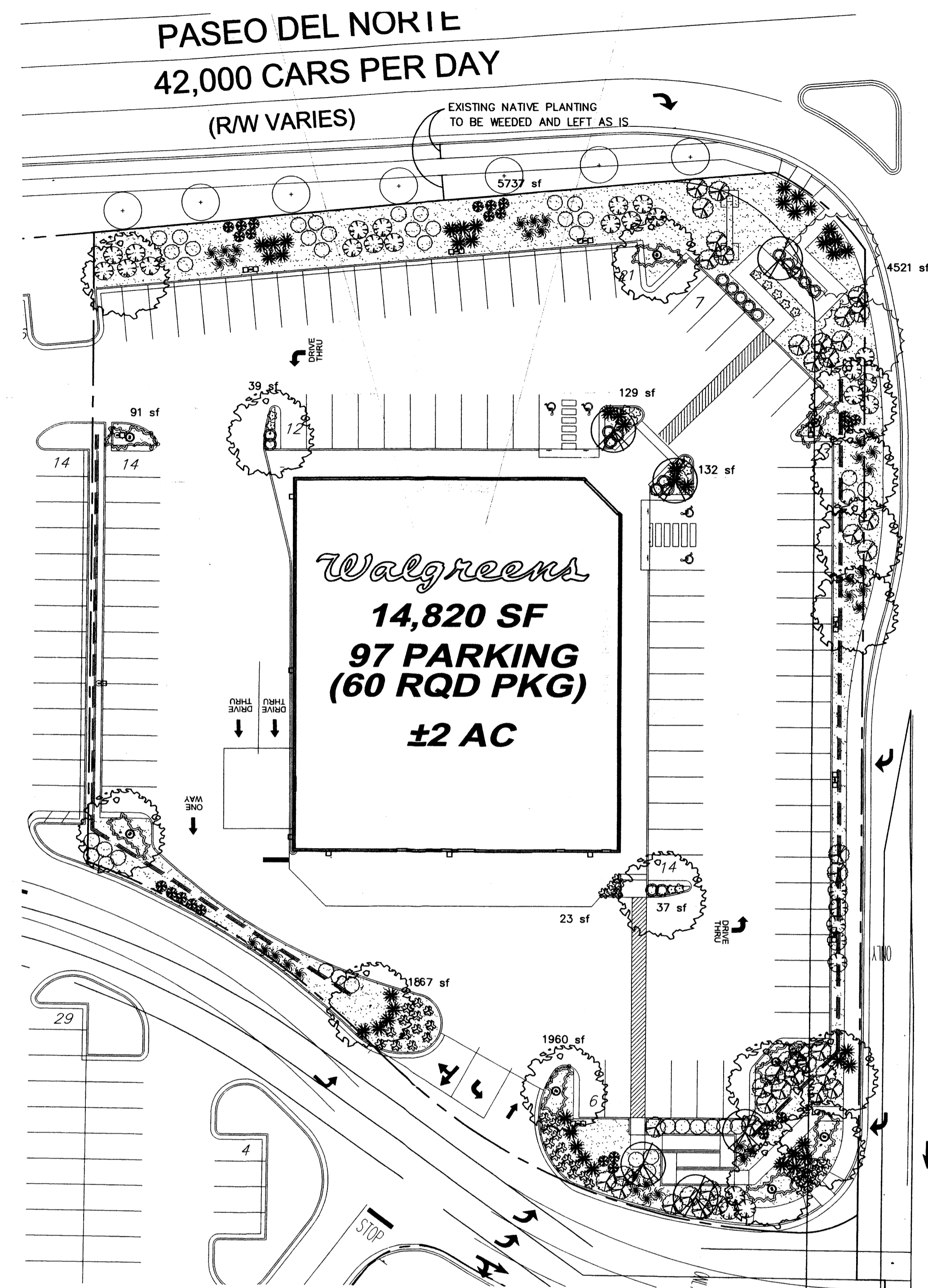


PROJECT NAME
WALGREENS STORE
(SWO) SAN PEDRO AND PASEO DEL NORTE
ALBUQUERQUE, NEW MEXICO

GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877
www.gra-arch.com

DRAWING TITLE
UTILITY PLAN

DATE	02-15-05	STORE NO.	9608	DRAWING NO.	
DRAWN BY:	JTW	SCALE:	1:30	C2.0	OF DWGS.
REVIEWED BY:	BJS	RELEASED TO CONSTRUCTION:			



LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Gray Gravel over Filter Fabric shall be placed in all landscape areas as designated.

PLANT LEGEND

- EXISTING TREE 2
- EXISTING DESERT WILLOW 7
- ASH (H) OR HONEY LOCUST (M) 15
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Cal. 60' Tall, 60' Canopy
- FLOWERING PEAR (M+) 6
Pyrus calleryana
2" Cal. 20-25' Tall, 10-15' Canopy
- APACHE PLUME (L) 40
Fallugia paradoxa
5 Gal. 25sf
- ROSEMARY (M) 20
Rosmarinus officinalis
2 Gal. 9sf
- POTENTILLA (M) 18
Potentilla fruticosa
2 Gal.
- HALL'S HONEYSUCKLE (M) 41
Japonica 'Halliana'
1 Gal. 144sf
Unstaked-Groundcover
- RED YUCCA (L) 44
Hesperaloe parviflora
5 Gal. 9sf
- CHAMISA (L) 28
Chrysothamnus nauseosus
1 Gal. 25sf
- MAIDENGRASS (M) 33
Miscanthus sinensis
5 Gal. 16sf
- REGAL MIST (M) 24
Muhlenbergia capillaris
5 Gal. 9sf
- THREADGRASS (M) 40
Stipa tenuissima
1 Gal. 4sf
- GREYLEAF COTONEASTER (M) 24
Cotoneaster buxifolius
5 Gal. 81sf
Symbol indicates 3 plants
- NATURAL EDGE
- 3/4" GRAY GRAVEL WITH FILTER FABRIC

LANDSCAPE CALCULATIONS

TOTAL LOT AREA	83169	square feet
TOTAL BUILDINGS AREA	14820	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	68349	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	10252	square feet

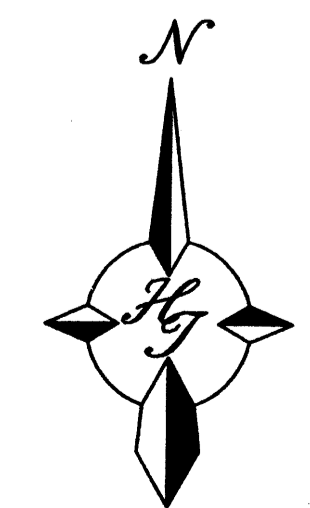
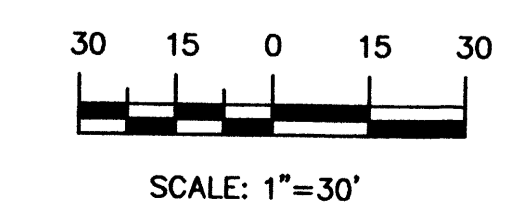
TOTAL BED PROVIDED	14536	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	10902	square feet
TOTAL GROUNDCOVER PROVIDED	11100	square feet

STREET TREE REQUIREMENTS
Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:
Paseo del Norte
Trees Required#7/Existing # 7
San Pedro
Required#11/Existing # 2/Provided#9/Total#11

PARKING LOT TREE REQUIREMENTS
Parking Lot Trees required under the City Of Albuquerque Ordinance are as follows:
1 Shade Tree per 10 Spaces
Trees Required#10/Trees Provided#10/Total#10



GRAPHIC SCALE



FACILITIES PLANNING AND DESIGN
200 WILMOT ROAD DEERFIELD, IL. 60015
708-940-2500

PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:
 WALGREENS' CONSULTANT
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS' CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW..... <input checked="" type="checkbox"/>	NEW..... <input checked="" type="checkbox"/>
REMODELING... <input type="checkbox"/>	EXISTING..... <input type="checkbox"/>
RELOCATION... <input type="checkbox"/>	NEW SHELL ONLY... <input type="checkbox"/>
OTHERS..... <input type="checkbox"/>	

PROJECT INFORMATION

8				
7				
6				
5				
4				
3				
2				
1				
NO.	DATE	BY	DESCRIPTION	CONST.

REVISIONS

CERTIFICATION AND SEAL

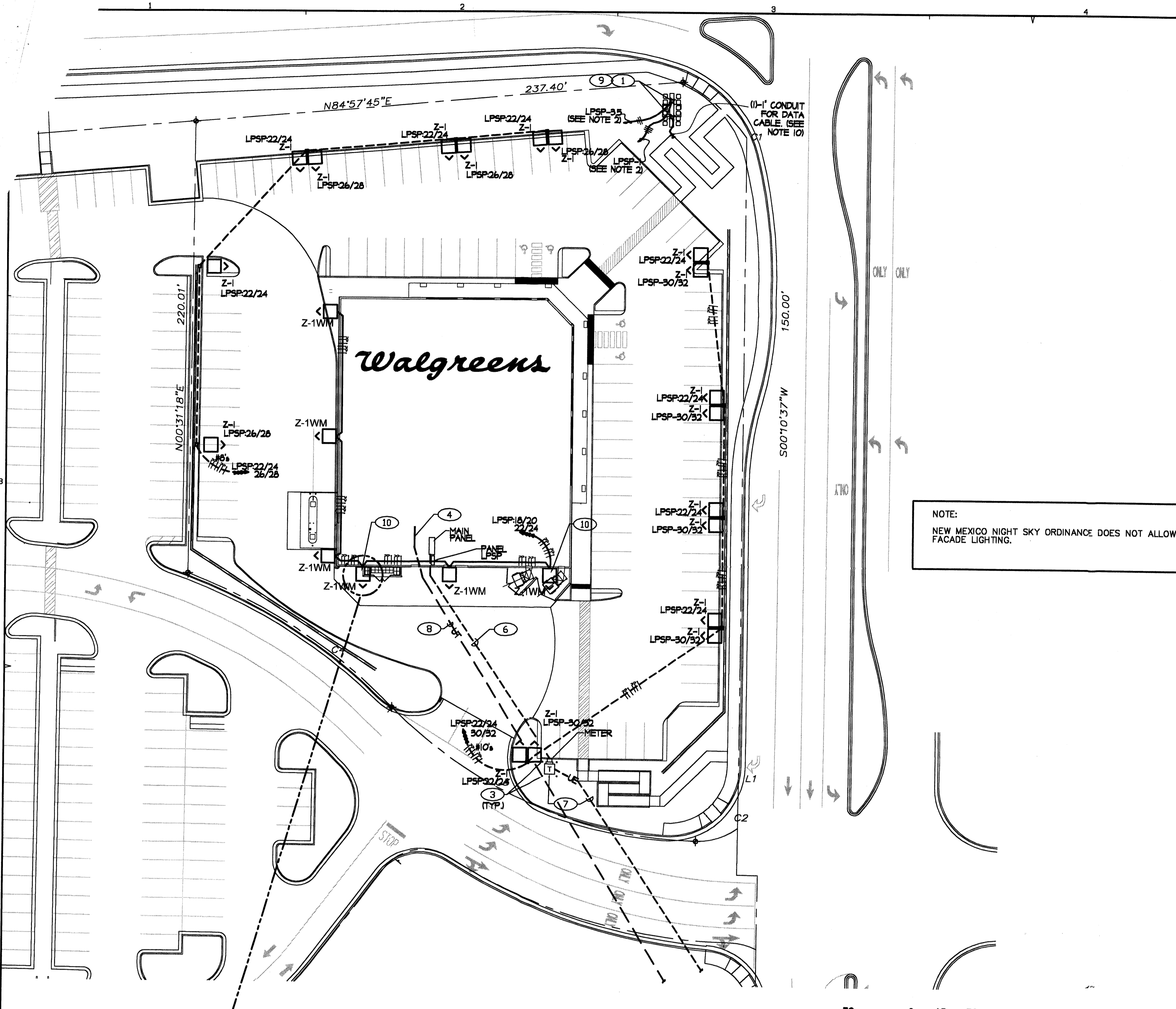
I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NEW MEXICO AS SIGNIFIED BY MY HAND AND SEAL.

PROJECT NAME
WALGREENS STORE
(SWC) SAN PEDRO AND PASEO DEL NORTE
ALBUQUERQUE, NEW MEXICO

GEORGE RAINHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE., SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877
www.gra-arch.com

DRAWING TITLE
LANDSCAPE PLAN

DATE 12-15-04	STORE NO. 9608	DRAWING NO.
DRAWN BY: dr	SCALE: 1:30	L1.0
REVIEWED BY:	RELEASED TO CONSTRUCTION:	OF DWGS.



NOTE:
NEW MEXICO NIGHT SKY ORDINANCE DOES NOT ALLOW
FACADE LIGHTING.

- NOTES**
- ALL WORK SHOWN SHALL COMPLY WITH ALL NATIONAL, STATE AND LOCAL CODES, ORDINANCES, ETC.
 - FOR WALGREENS STANDARD PYLON SIGN, PROVIDE (1) 20A 120V CIRCUIT FROM PANEL "LP-SP" TO PYLON SIGN FOR PRIMARY PANEL (16'-8" X 5'-4"). POWER REQUIREMENTS FOR LED READERBOARD SHALL BE BASED ON PYLON SIGN ELECTRICAL DATA SHOWN BELOW.
 - FURNISH AND INSTALL THE DRIVE ALARM SENSOR, WITH CABLE ROUTED BACK TO THE CONTROL PANEL, WHICH IS MOUNTED ON THE INTERIOR WALL OF THE DRIVE-THRU WINDOW UNIT. SEE DRAWING E1.2 FOR ELECTRICAL REQUIREMENTS.
 - SEE LUMINAIRE SCHEDULE ON DRAWING E4.1 FOR LUMINAIRE INFORMATION.
 - THE SITE LIGHTING IS BASED ON:
 - MCGRAW-EDISON
 - LITHONIA
 - PROVIDE CROWN ON TOP OF CONCRETE BASE TO COMPLETELY SHED WATER. IF WATERSHED IS NOT PROVIDED, THEN GROUTING WITH A NON-SHRINK GROUT IS REQUIRED, PROVIDE WEEP HOLES FOR DRAINAGE.
 - FACADE ACCENT FIXTURE BRACKET SHALL BE 3" SQUARE STRUCTURAL TUBING WELDED TO STEEL MOUNTING PLATE WITH 2" TENON AND FIBERON FIT STEEL END CAP BRACKET MOUNTING HARDWARE SHALL INCLUDE (2) 1/2"-13/16" 304 STAINLESS STEEL THRU-BOLTS (UTILIZE ONLY WITH CANOPY ELEVATIONS).
 - THE POLE HOLDING THE "W-1" OR THE "W-2" FACADE ACCENT FIXTURE SHALL BE LOCATED AT THE PERIMETER OF THE SITE WITHIN 20 FEET OF THE CENTERLINE OF THE "WALGREENS" LOGO SCRIPT SIGN ON THE FACADE. (UTILIZE ONLY WITH CANOPY ELEVATIONS).
 - GROUP B, DRAWING E2.1A OF CONTROL SCHEDULE CONTROLS LIGHTS REQUIRED TO ILLUMINATE PATH OF TRAVEL FROM THE STORE ENTRANCE TO THE DESIGNATED EMPLOYEE PARKING SPACES. ACCORDING TO SPECIFIC LAYOUT SHOWN ON CRITERIA DRAWING E0.1, LIGHTS ON THREE POLES ARE INCLUDED IN GROUP B. SELECTION OF POLES IS BASED ON THE FOLLOWING LOGIC:
 - POLE 1 - CLOSEST TO INTERSECTION
 - POLE 2 - NEXT TO THE CLOSEST TO INTERSECTION ON STREET WITH HIGHER TRAFFIC COUNT (MAIN STREET)
 - POLE 3 - TWO FOLLOWING OPTIONS ARE CONSIDERED FOR POLE LOCATION:
 - ALONG PROPERTY LINE IF PARKING STALLS ARE PRESENT AND NON-RESIDENTIAL
 - ALONG STREET WITH LOWER TRAFFIC COUNT.
 - NOTE THAT THE SPECIFIC LIGHTING SCHEME OUTLINED ABOVE APPLIES ONLY TO THE PROTOTYPICAL SITE PLAN SHOWN HEREIN. FOR OTHER SITE LAYOUTS, PLEASE CONSULT WITH THE WALGREENS PROJECT ARCHITECT TO DETERMINE WHICH POLES SHALL BE PART OF GROUP B. IN THE CASE OF 24 HOUR STORES, POLES DESIGNATED TO BE PART OF GROUP B MUST STILL BE INCLUDED, SINCE THE 24 HOUR DESIGNATION MIGHT CHANGE.
 - PROVIDE A MINIMUM OF TWO (2) 1" DIAMETER PVC CONDUITS TO PYLON SIGN(S) TO SEPARATE DATA CABLE AND POWER CIRCUITS. 2'-0" SEPARATION SHALL BE MAINTAINED BETWEEN POWER AND DATA CONDUITS. RUN DATA CONDUIT WITH #12 WIRE FOR PULL STRING) TO OFFICE SPACE. SEE DRAWING E1.3 - ETHERNET SYSTEM, FOR EXACT LOCATION. ALL CONDUIT AND POWER SHALL BE FURNISHED AND INSTALLED BY THE ELECTRICAL CONTRACTOR. PYLON DATA CABLE FURNISHED AND INSTALLED BY WALGREEN CONTRACTOR.
 - THE SITE LIGHTING POLE SHALL BE USED WITH A WIND SPEED OF:
 - 90 MPH AND BELOW
 - 120 MPH AND BELOW
 - 150 MPH AND BELOW

Walgreens
FACILITIES PLANNING AND DESIGN
200 WILMOT ROAD DEERFIELD, IL. 60015
847-940-2500

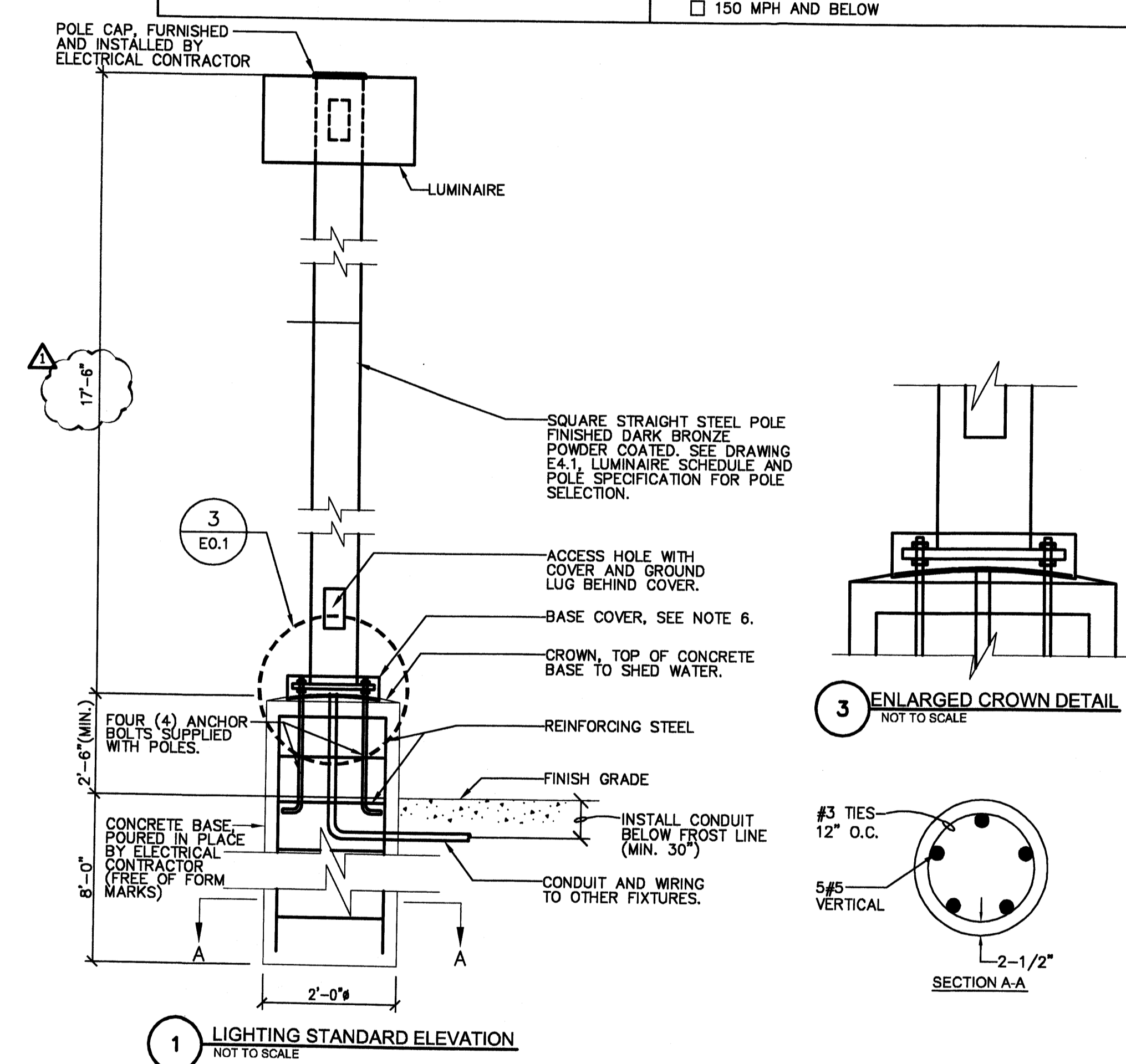
PROJECT TYPE

DRAWINGS/SPECIFICATIONS BY:
 WALGREENS' CONSULTANT
 LANDLORD'S CONSULTANT

ALL CONSTRUCTION WORK, UNLESS NOTED OTHERWISE, BY:
 WALGREENS' CONTRACTOR
 LANDLORD'S CONTRACTOR (TURNKEY CONSTRUCTION)

STORE	BUILDING
NEW <input checked="" type="checkbox"/>	NEW <input checked="" type="checkbox"/>
REMODELING... <input type="checkbox"/>	EXISTING... <input type="checkbox"/>
RELOCATION... <input type="checkbox"/>	NEW SHELL ONLY. <input type="checkbox"/>
OTHERS... <input type="checkbox"/>	

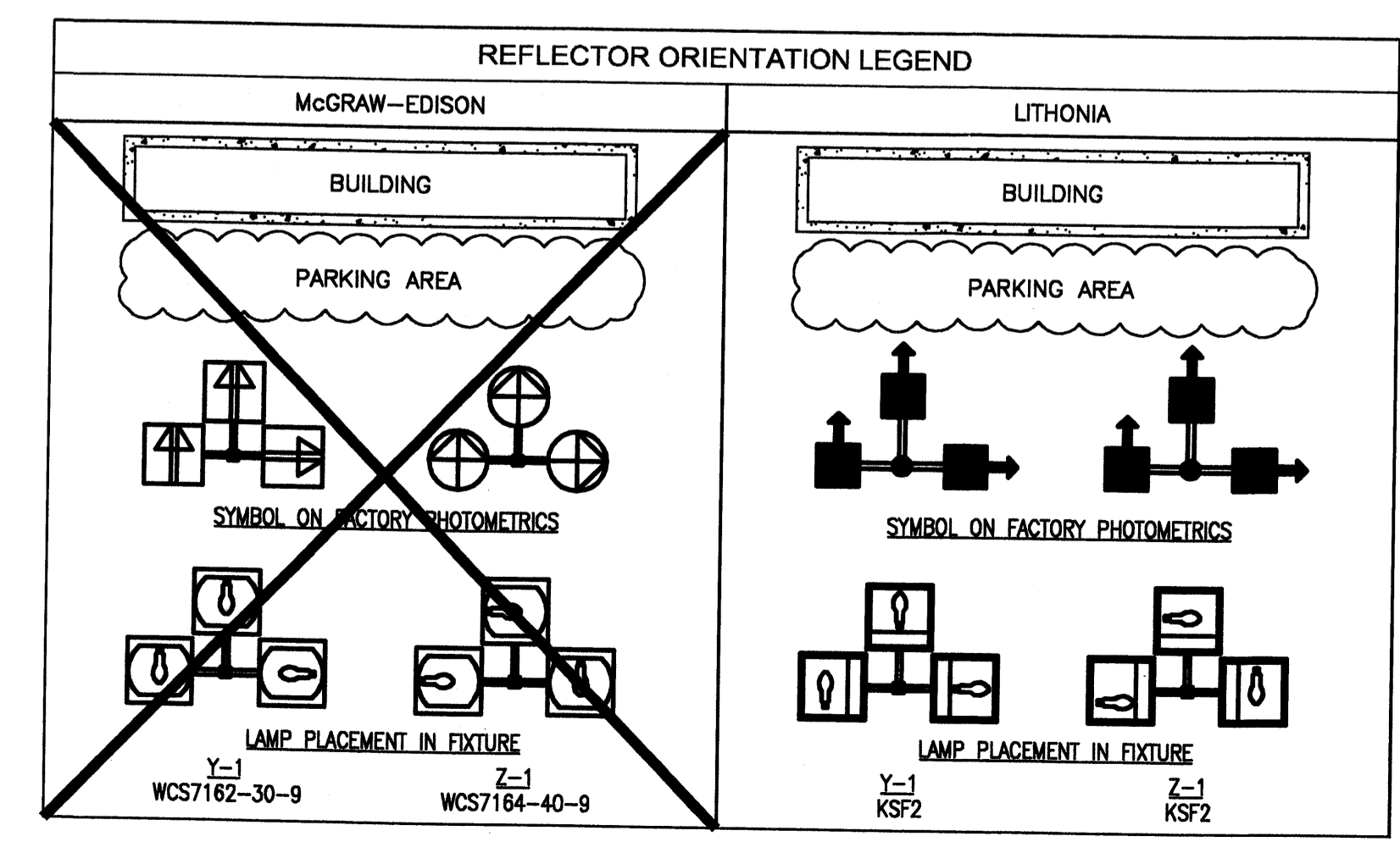
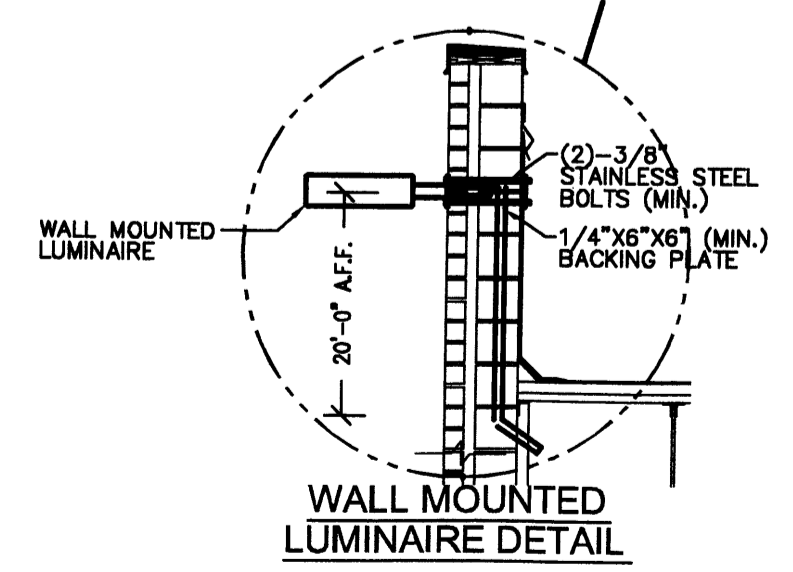
- KEYED NOTES**
- WALGREENS PYLON SIGN. SEE NOTE 2.
 - SEE NOTES NUMBER 5 THIS SHEET.
 - BOLLARD (TYPICAL).
 - MAIN TELEPHONE TERMINAL BOARD
 - NOT USED.
 - ELECTRICAL SERVICE REFER TO POWER RISER DIAGRAM ON DRAWING NO. E2.1.
 - PAD MOUNTED TRANSFORMER, METER AND 4' PRIMARY UNDERGROUND CONDUIT PER LOCAL UTILITY COMPANY DESIGN STANDARDS. SERVICE ENTRANCE SHALL BE PER LOCAL UTILITY COMPANY DESIGN STANDARDS. COORDINATE INSTALLATION WITH LOCAL UTILITY PRIOR TO ROUGH-IN. UNDERGROUND CONDUIT INSTALLED BY ELECTRICAL CONTRACTOR. CONDUCTORS INSTALLED BY LOCAL UTILITY.
 - 3' PVC CONDUIT FOR TELEPHONE SERVICE. VERIFY EXACT LOCATION OF STUB OUT WITH LOCAL TELEPHONE COMPANY. COORDINATE INSTALLATION OF 50 PAIR MINIMUM TELEPHONE CABLE FOR SERVICE WITH LOCAL TELEPHONE PROVIDER.
 - PROVIDE NEMA 3R JUNCTION BOX FOR SIGN AND MAKE REQUIRED CONNECTIONS. VERIFY EXACT LOCATION IN FIELD PRIOR TO ROUGH IN.
 - THIS FIXTURE SHALL BE AT 18'-0" A.F.G. TO AVOID CONFLICT WITH 'WALGREENS' SIGN.



SITE ELECTRICAL PLAN
SCALE 1" = 50'-0"

PYLON SIGN ELECTRICAL DATA							
	LAMPS	DESCRIPTION	BALLAST	AMPS	V.A.	CIRCUITS	CIRCUIT ORIGIN
PRIMARY PANEL	(18) 80" 1-12 CW/10		(2) 256-872 (1) 256-472	9.0 2.7	1080.0 324.0	(1)-20AMP, 120V.	SIGN PANEL 'LP-SP'
LED READER-BOARD (THERE ARE TWO(2) FACES ON TYPICAL READER-BOARD)	LED (OPTION #1)	MIX FULL COLOR & RED			1350 (PER FACE)	(1)-20AMP, 120V (PER FACE)	SIGN PANEL 'LP-SP'
	LED (OPTION #2)	RED ONLY			600 (PER FACE)	(1)-20AMP, 120V (PER FACE)	SIGN PANEL 'LP-SP'
	LED (OPTION #3)	2'-8"X3'-2" FULL COLOR			2500 (PER FACE)	(1)-20AMP, 120V (PER FACE)	SIGN PANEL 'LP-SP'
	LED (OPTION #4)	2'-8"X3'-2" FULL COLOR			3850 (PER FACE)	(2)-20AMP, 120V (PER FACE)	SIGN PANEL 'LP-SP'

ONLY OPTIONS APPLICABLE TO PARTICULAR STORE SHALL BE SHOWN ON CONSULTANT'S DRAWING



NO.	DATE	BY	DESCRIPTION	CONST.
1	2/11/05	SED	Walgreens Comments	

CERTIFICATION AND SEAL

I HEREBY CERTIFY THAT THIS PLAN AND SPECIFICATION WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A JULY REGISTERED ARCHITECT OR ENGINEER UNDER THE LAWS OF THE STATE OF NEW MEXICO AS SIGNIFIED BY MY HAND AND SEAL.

MANUEL GABALDON
NEW MEXICO
REGISTERED PROFESSIONAL ENGINEER
8507
2/12/05

PROJECT NAME
WALGREENS STORE (SVC) SAN PEDRO AND PASEO DEL NORTE ALBUQUERQUE, NEW MEXICO

GEORGE RANHART, ARCHITECT & ASSOCIATES P.C.
2325 SAN PEDRO NE, SUITE 2-B
ALBUQUERQUE, NEW MEXICO 87110
PHONE (505) 884-9110 FAX (505) 837-9877

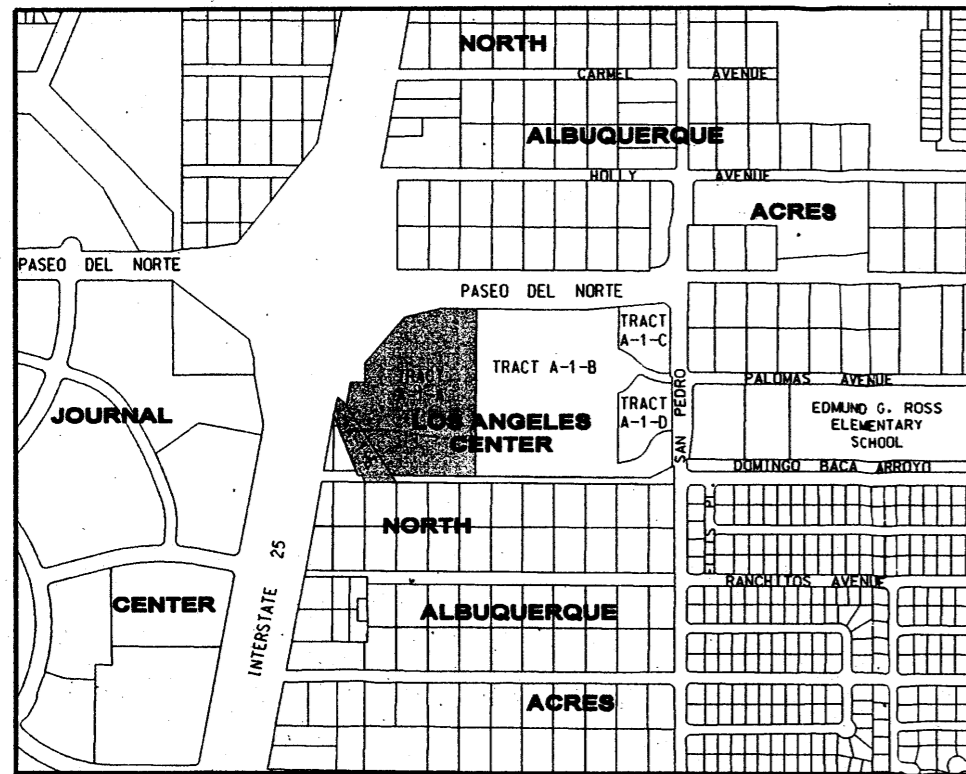
DRAWING TITLE
SITE ELECTRICAL PLAN

DATE	STORE NO.	DRAWING NO.
11/17/04	9608	Z-1

DRAWN BY: SED SCALE: AS NOTED **E0.1**

RELEASED TO CONSTRUCTION

REVIEWED BY: DF DWGS.



LOCATION MAP
ZONE ATLAS INDEX MAP No. D-18-Z
NOT TO SCALE

SUBDIVISION DATA

- 1. DRB No.
2. Gross Subdivision Acreage: 12.1254 Acres.
3. Total Number of Tracts created: Two (2) Tracts.
4. No public street right-of-way created with this plat.
5. Date of Survey: May, 2002.
6. Plat is located within the Elena Gallegos Grant, within projected Section 24, T11N, R3E, NMPM.

DISCLOSURE STATEMENT

The purpose of this PLAT is to combine Tracts A-1-A and A-1-E, LOS ANGELES CENTER and resubdivide.

NOTES

- 1. Basis of Bearings: New Mexico State Plane Grid Bearings (Central Zone) NAD 1927 Datum also being the same as Bearings shown on PLAT OF TRACTS A-1-A, A-1-B, A-1-C, A-1-D & A-1-E, LOS ANGELES CENTER, recorded in the office of the County Clerk of Bernalillo County, New Mexico on January 27, 2005, in Book 2005C, page 25, as Document No. 2005010863.
2. Distances are Ground Distances.
3. All easements of record are shown.
4. Reciprocal cross-access and cross-drainage easements are provided over and across Tracts A-1-A, A-1-B, A-1-C, A-1-D and A-1-E for the use and benefit of same Tracts. Maintenance of these easements shall be by same Tracts' owners. (Ref. Z-95-092)

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground & overhead electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformers/switchgear door and five feet (5') on each side.

DESCRIPTION

A certain tract of land situate within the Elena Gallegos Grant, in projected Section 24, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being Tract A-1-A and Tract A-1-E, as the same are shown and designated on the Plat of TRACTS A-1-A, A-1-B, A-1-C, A-1-D & A-1-E, LOS ANGELES CENTER, recorded in the office of the County Clerk of Bernalillo County, New Mexico on January 24, 2005 in Book 2005C, page 25, as Document Number 2005010863 and being more particularly described by New Mexico Grid Bearings (Central Zone, NAD 1927) and ground distances as follows:

BEGINNING at a 5/8 inch rebar with 1-1/4" red plastic survey cap stamped "LS 5978", (unless otherwise noted all corners of the tract herein described are marked in the same manner) at a point on the southerly right-of-way line of Paseo del Norte and the northeast corner of said Tract A-1-A, whence the City of Albuquerque survey monument "9-C18" a brass tablet set in concrete, having New Mexico State Plane Grid Coordinates, (Central Zone, NAD 1927): X=402,255.61 and Y=1,521,435.09, bears N20°45'29"E a distance of 2963.60 feet; thence along the easterly boundary line of said Tract A-1-A, S00°31'18"W a distance of 880.01 feet, thence along the southerly boundary line of said Tract A-1-A, N89°28'42"W a distance of 435.56; thence along the easterly boundary line of said Tract A-1-E, S32°30'17"E a distance of 35.77; thence along the southerly boundary line of said Tract A-1-E, N89°28'42"W a distance of 161.66 feet; thence, N23°35'02"W a distance of 32.86 feet; thence, N89°28'42"W a distance of 22.37 feet to the southwest corner of said Tract A-1-E; thence along the westerly boundary line of the tract herein described, N21°39'19"W a distance of 342.46 feet; thence, N12°57'31"E a distance of 98.58 feet; thence, S51°34'58"E a distance of 44.26 feet; thence, S32°30'17"E a distance of 19.66 feet to a point on the easterly right-of-way line of the Interstate Highway 25 (I-25) Pan American Freeway; thence along the said Highway right-of-way line and the said westerly boundary line of Tract A-1-A, N10°33'06"E a distance of 123.70 feet to a found 5/8 inch rebar tagged with a brass survey disk stamped "PS 5978"; thence, S89°42'36"E a distance of 74.06 feet; thence, N00°14'12"E a distance of 101.44 feet; thence, N40°53'44"E a distance of 316.18 feet to a point on the said southerly right-of-way line of Paseo Del Norte N.E. and the said northerly boundary line of Tract A-1-A; thence along the said southerly right-of-way line and also along the said northerly boundary line, N76°52'49"E a distance of 195.00 feet; thence, S89°26'20"E a distance of 186.50 feet to the point and place of beginning.

This tract contains 12.1254 acres, more or less.

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND
RECORDING INFO # 1018063175 46920804
PROPERTY OWNER OF RECORD:
Loas Home Center INC
BERNALILLO COUNTY TREASURER'S OFFICE
Conchita Luevano 4/15/05

SURVEYOR'S CERTIFICATION

I, Thomas G. Klingenhagen, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.

Bohannon-Huston, Inc.
Courtyard I
7500 Jefferson Street, N.E.
Albuquerque, New Mexico 87109
(505)823-1000

Date: 3-07-05

FREE CONSENT AND DEDICATION

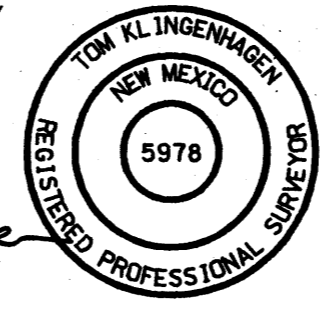
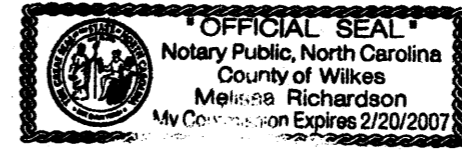
The foregoing Plat of that certain tract of land situate within the Elena Gallegos Grant, in projected Section 24, Township 11 North, Range 3 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, being and comprising all of Tracts A-1-A and A-1-E of the Plat of Tracts A-1-A, A-1-B, A-1-C, A-1-D and A-1-E, LOS ANGELES CENTER, as the same is shown and designated on the plat thereof recorded in the office of the County Clerk of Bernalillo County, New Mexico on January 24, 2005 in Book 2005C, page 25, as Document Number 2005010863, now comprising Tracts A-1-A-1 and A-1-E-1, LOS ANGELES CENTER, Albuquerque, New Mexico is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant: all Access, Utility, and Drainage Easements shown hereon, and all Public Utility Easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried and/or overhead distribution lines, conduits, pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The city has the right to enter upon the Grantees Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If work effects any Improvements or Encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of Improvements or Encroachments. If in the opinion of the City, the work to be performed by the City could endanger the structural integrity or otherwise damage the Improvements or Encroachments, the Grantee shall, at its own expense, take whatever protective measures are required to safeguard the Improvements or Encroachments. Those signing as owner(s) warrant that they hold among them complete and indefeasible title in Fee Simple to the land subdivided. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is with their free act and deed.

Owners of TRACT A-1-A-1
TARGET CORPORATION
BY: Scott Nelson, Vice President, Target Corporation

State of Minnesota)
County of Hennepin)
This instrument was acknowledged before me on 11th day of March 2005 by SCOTT NELSON, Vice President, Real Estate, Target Corp.
My Commission Expires: Jan 31, 2009

Owners of TRACT A-1-E-1
LOWE'S H.W., INC.
BY: Robin P. Nickles, Vice President, Lowe's H.W., Inc.

State of NORTH CAROLINA)
County of WILKES)
This instrument was acknowledged before me on 16th day of March 2005 by ROBIN P. NICKLES, Vice President of Lowe's H.W., Inc.
My Commission Expires: 2/20/2007



PLAT OF
TRACTS A-1-A-1 & A-1-E-1
LOS ANGELES CENTER

(A REPLAT OF TRACTS A-1-A AND
A-1-E, LOS ANGELES CENTER)
ALBUQUERQUE, NEW MEXICO
MARCH, 2005

PLAT APPROVAL
PROJECT NUMBER 1001946
APPLICATION NUMBER 0520200557

Table with columns for Utility Approvals (QWEST, PNM Electric, PNM Gas), City Approvals (City Surveyor, Traffic Engineering, Utilities Development, Parks & Recreation, City Engineer, DRB Chairperson, Environmental Health), and dates.

TAX CERTIFICATION

PROPERTY OWNER OF RECORD
BERNALILLO COUNTY TREASURER'S OFFICE DATE

PNM STAMP
In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Bohannon & Huston logo and address: Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335. ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

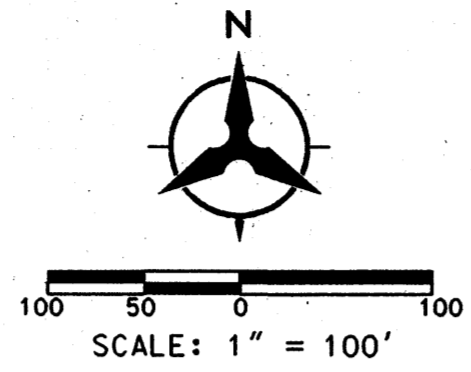
**PLAT OF
 TRACTS A-1-A-1 & A-1-E-1
 LOS ANGELES CENTER**
 (A REPLAT OF TRACTS A-1-A AND
 A-1-E, LOS ANGELES CENTER)
 ALBUQUERQUE, NEW MEXICO
 MARCH, 2005

LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- - - CENTERLINE
- - - EXISTING EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ⊙ 5/8" REBAR WITH 1 1/4" RED PLASTIC SURVEY CAP STAMPED "PS 5978"
- CONCRETE NAIL WITH 3/4" BRASS WASHER STAMPED "LS 5978"
- 5/8" REBAR W/CAP STAMPED "PS 3516" TAGGED W/BRASS DISK STAMPED "PS 5978"
- ⊙ 5/8" REBAR W/CAP STAMPED "HUGG LS 11808"

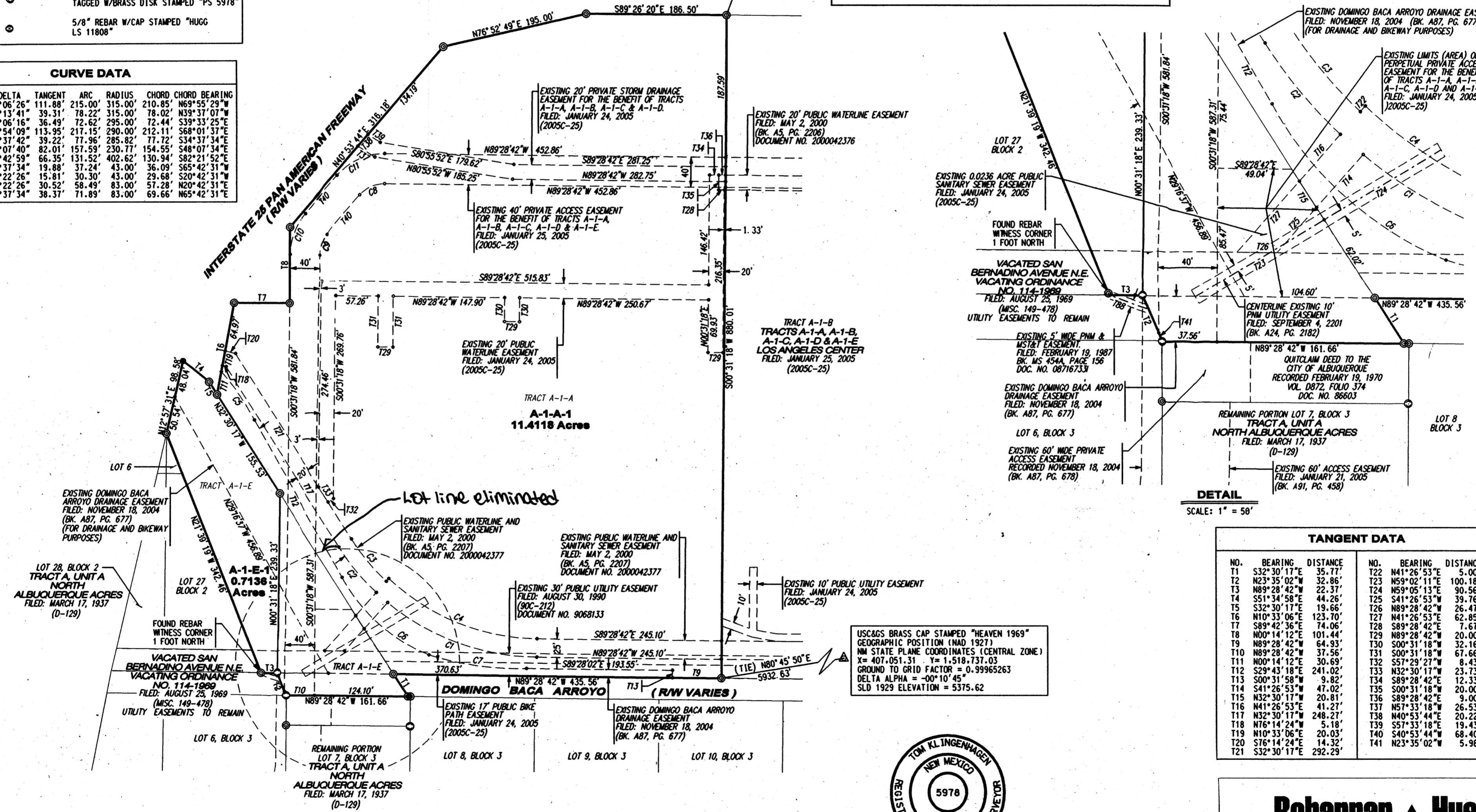
CURVE DATA

NO.	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BEARING
C1	39°06'26"	111.88	215.00'	315.00'	210.85	N69°55'29"W
C2	14°13'41"	39.31	78.22'	315.00'	78.02	N39°37'07"W
C3	14°06'16"	36.49	72.62'	295.00'	72.44	S39°33'25"E
C4	42°54'09"	113.95	217.15'	290.00'	212.11	S68°01'37"E
C5	15°37'42"	39.22	77.96'	285.82'	77.72	S34°37'34"E
C6	39°07'40"	82.01	157.59'	230.77'	154.55	S48°07'34"E
C7	18°42'59"	66.35	131.52'	402.62'	130.94	S82°21'52"E
C8	49°37'34"	19.88	37.24'	43.00'	36.09	S65°42'31"W
C9	40°22'26"	15.81	30.30'	43.00'	29.68	S20°42'31"W
C10	40°22'26"	30.52	58.49'	83.00'	57.28	N20°42'31"E
C11	49°37'34"	38.37	71.89'	83.00'	69.66	N65°42'31"E



ACS ALUMINUM CAP STAMPED "9-C18 1985"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X= 402,255.61 Y= 1,521,435.09
 GROUND TO GRID FACTOR = 0.9996608
 DELTA ALPHA = -00°11'19"

LANDFILL DISCLOSURE STATEMENT
 THE SUBJECT PROPERTY IS LOCATED (NEAR, ON) A (FORMER, EXISTING) LANDFILL. DUE TO THE SUBJECT PROPERTY BEING (ON, NEAR) A FORMER LANDFILL, CERTAIN PRECAUTIONARY MEASURES MAY NEED TO BE TAKEN TO ENSURE THE HEALTH AND SAFETY OF THE PUBLIC. RECOMMENDATIONS MADE BY A PROFESSIONAL ENGINEER WITH EXPERTISE IN LANDFILLS AND LANDFILL GAS ISSUES (AS REQUIRED BY THE INTERIM GUIDELINES FOR DEVELOPMENT WITHIN 1000 FEET OF LANDFILLS) SHALL BE CONSULTED PRIOR TO DEVELOPMENT OF THE SITE.



DETAIL
 SCALE: 1" = 50'

TANGENT DATA

NO.	BEARING	DISTANCE	NO.	BEARING	DISTANCE
T1	S32°30'17"E	35.77'	T22	N41°26'53"E	5.00'
T2	N23°35'02"W	32.86'	T23	N59°02'11"E	100.18'
T3	N89°28'42"W	22.37'	T24	N59°05'13"E	90.56'
T4	S51°34'58"E	44.26'	T25	S41°26'53"W	39.76'
T5	S32°30'17"E	19.66'	T26	N89°28'42"W	26.47'
T6	N10°33'06"E	123.70'	T27	N41°26'53"E	62.85'
T7	S89°42'36"E	74.06'	T28	S89°28'42"E	7.67'
T8	N00°14'12"E	101.44'	T29	N89°28'42"W	20.00'
T9	N89°28'42"W	64.93'	T30	S00°31'18"W	32.16'
T10	N89°28'42"W	37.56'	T31	S00°31'18"W	67.66'
T11	N00°14'12"E	30.69'	T32	S57°29'27"W	8.43'
T12	S29°43'18"E	241.02'	T33	N32°30'17"W	23.73'
T13	S00°31'58"W	9.82'	T34	S89°28'42"E	12.33'
T14	S41°26'53"W	47.02'	T35	S00°31'18"W	20.00'
T15	N32°30'17"W	20.81'	T36	S89°28'42"E	9.00'
T16	N41°26'53"E	41.27'	T37	N57°33'18"W	26.53'
T17	N32°30'17"W	248.27'	T38	N40°53'44"E	20.22'
T18	N76°14'24"W	5.18'	T39	S57°33'18"E	19.43'
T19	N10°33'06"E	20.03'	T40	S40°53'44"W	68.40'
T20	S76°14'24"E	14.32'	T41	N23°35'02"W	5.98'
T21	S32°30'17"E	292.29'			

USC&GS BRASS CAP STAMPED "HEAVEN 1969"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X= 407,051.31 Y= 1,518,737.03
 GROUND TO GRID FACTOR = 0.99965263
 DELTA ALPHA = -00°10'45"
 SLD 1929 ELEVATION = 5375.62



Bohannon & Huston
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