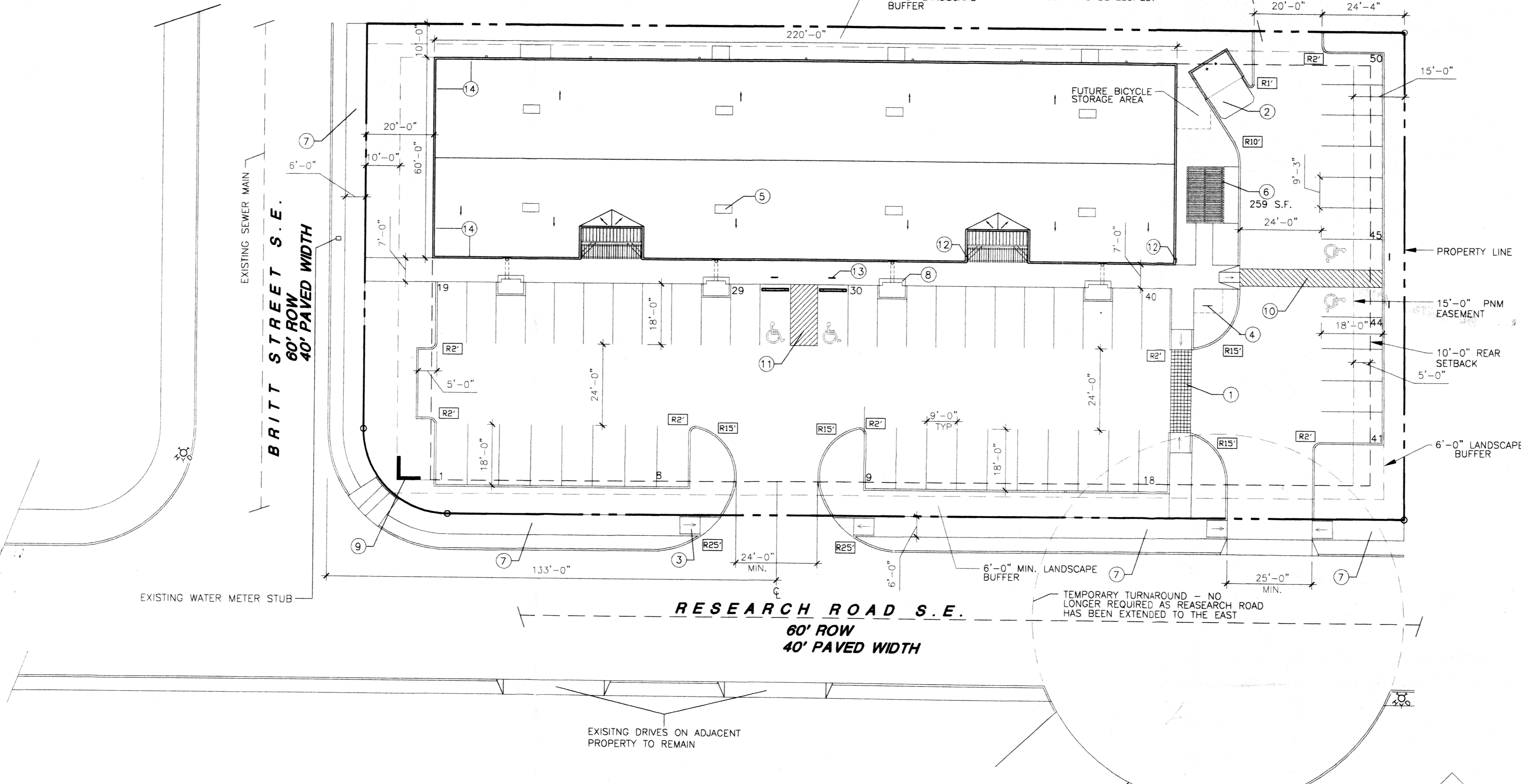


NOTE: TURN AROUND ON LOT 5 IS NOT PROVIDED. REFUSE DEPT. AGREES THAT TRUCKS CAN BACK UP UNTIL SUCH TIME THAT LOT 5 IS DEVELOPED.



Keyed Notes

- 6'-0" WIDE PATTERNED CONCRETE SIDEWALK - FLUSH W/ ASPHALT
- REFUSE CONTAINER PER DETAIL A
- 3'-0" WIDE ACCESSIBLE CONCRETE RAMP - SLOPE 1:12 (TYP. OF 4)
- BIKE RACK ON CRUSHER FINES PER DETAIL B
- COMBINATION HVAC UNIT (TYP. OF 8)
- 16'-3"x17'-0" COVERED PATIO AREA W/ CONCRETE TABLE AND BENCHES
- CONCRETE SIDEWALK
- PLANTER AT GRADE W/ RAISED SEAT - (TYP. OF 4)
- MONUMENT SIGN - PER DETAIL B, SHEET A-3
- 5' WIDE ACCESSIBLE AISLE W/ 4" WIDE PAINTED STRIPING TYP.
- 8' WIDE ACCESSIBLE AISLE W/ 4" WIDE PAINTED STRIPING TYP.
- 500 WATT, WALL MOUNT SECURITY LIGHT W/ PHOTO CELL, TIME CONTROL, AND CUT OFF SHIELD (TO PREVENT OBSERVATION OF LIGHT SOURCE FROM OFF SITE) - TYP. OF 5
- ADA SIGNAGE PER DETAIL C
- PARAPET TO SCREEN VIEW OF ROOF TOP MECHANICAL EQUIPMENT

Project Description

NEW OFFICE BUILDING

Project Data

OWNER: EASTMOON PROPERTIES LLC
501 EUBANK SE, STE. 206
ALBUQUERQUE, NM
505.323 6140

ARCHITECT: BRISCOE ARCHITECTS, P.C.
4100 MENAUL BLVD. NE, STE. 2B
ALBUQUERQUE, N.M. 87110
PH. 262-1093 JOHN BRISCOE AIA

BUILDING ADDRESS: 10501 RESEARCH ROAD SE
ALBUQUERQUE, NM

ZONE ATLAS PAGE: M-21-2

USAGE: OFFICES

CONSTRUCTION TYPE: V-N FULLY FINISHED SPRAWLED

Area Calculations

LOT AREA 44,498 S.F. . 1.02 ACRES

BUILDING AREA 12,861 S.F.

NET AREA = 31,637 S.F.

LANDSCAPING REQUIRED = 15% OF NET AREA

LANDSCAPING REQUIRED - 4,746 S.F.

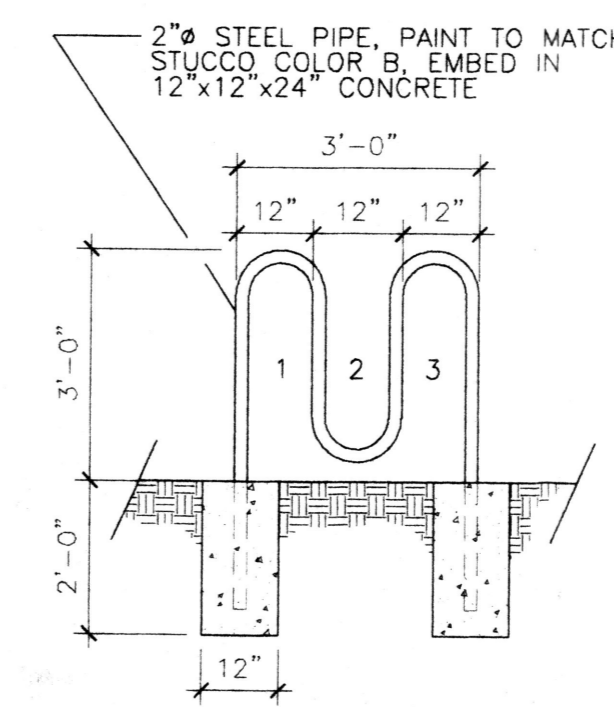
LANDSCAPING SHOWN 11,015 S.F.

50 TYPICAL PARKING SPACES

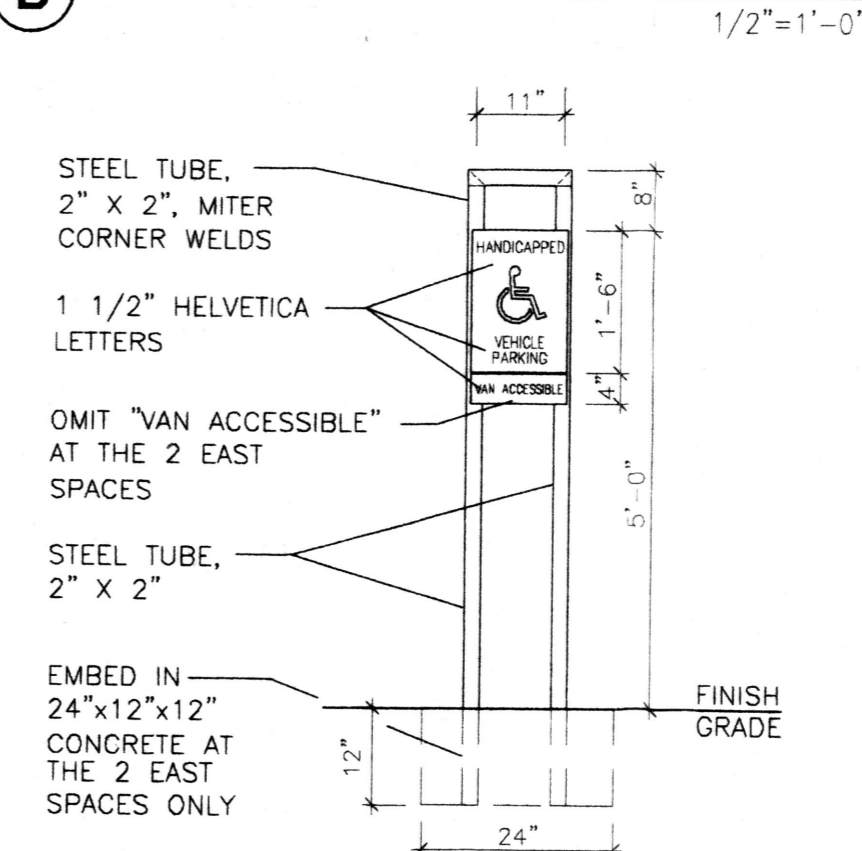
4 H.C. PARKING SPACES

54 TOTAL PARKING SPACES = 1 SPACE PER 238 SF

3 BICYCLE SPACES



B Elevation At Bike Rack



C Handicap/Van Accessible Signage

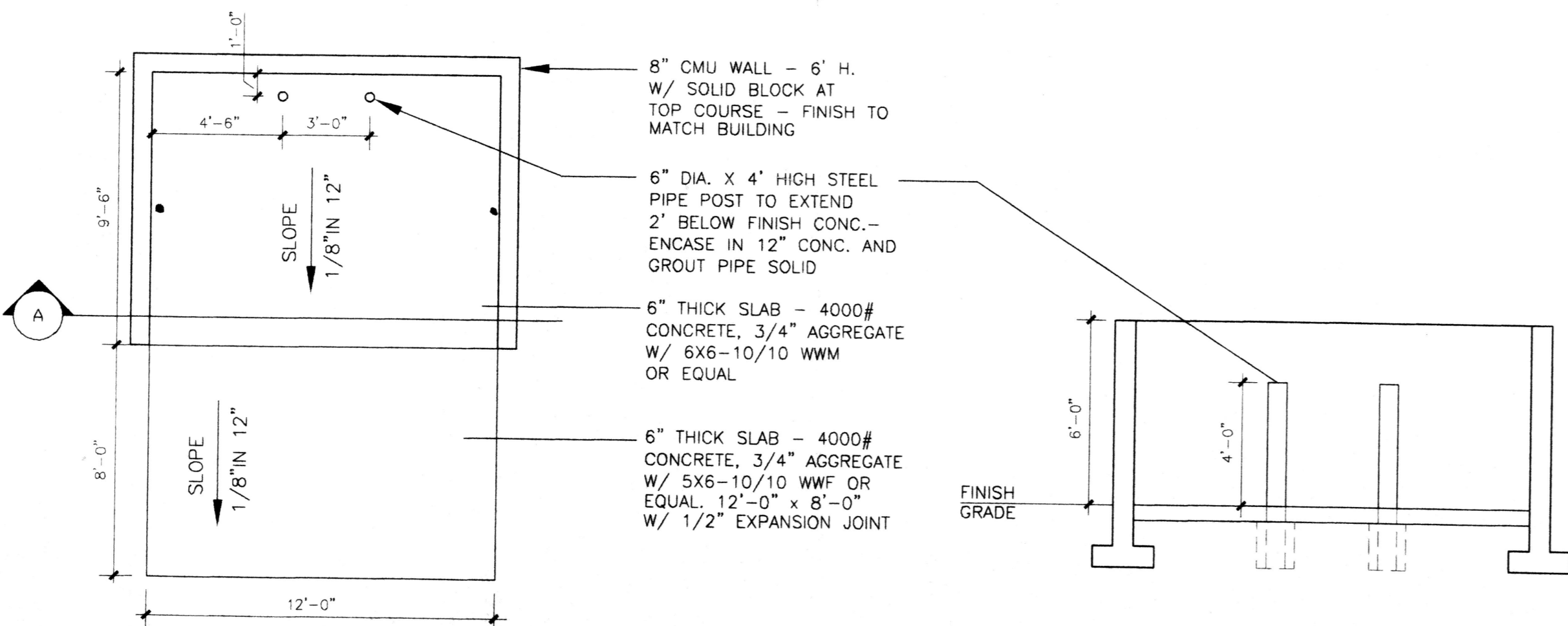


Site Plan

NOTE: GRADING AND LANDSCAPE PLANS ARE COORDINATED TO ALLOW MAXIMUM POTENTIAL WATER ABSORPTION ON SITE, PERIMETER PLANTING AREAS ARE RECESSED BELOW ADJACENT PAVED SURFACES TO FACILITATE RAINWATER COLLECTION, SCREENING OF PARKING AT STREET IS ACCOMPLISHED BY EVERGREEN SHRUBS.

Legend

- PROPERTY LINE
- 15'-0" PNM EASEMENT
- 6' MIN. LANDSCAPE BUFFER



A Refuse Container Enclosure

N.T.S.

Section At Refuse Container

N.T.S.

General Notes

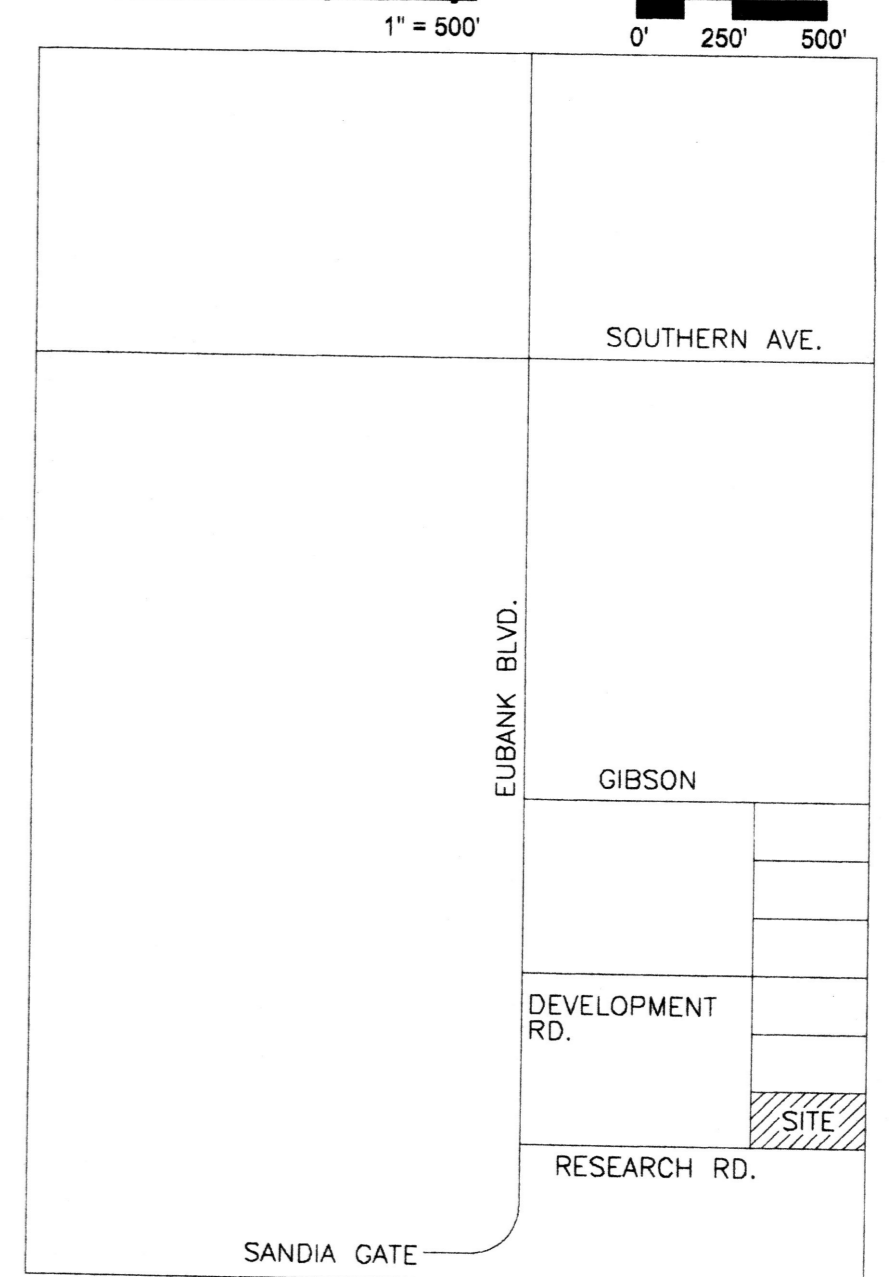
- (CONDITIONS 4&5)
- NO FREESTANDING CELL TOWERS OR ANTENNA ARE ALLOWED.
- NO CHAIN-LINK, RAZOR WIRE (CONCERTINA), OR PLASTIC VINYL FENCING IS ALLOWED.

02 EPC- 00829
02 DRB- 01292

DRB Approval Signatures Project 1001985

PLANNING DEPARTMENT	<i>[Signature]</i>	DATE 9/12/02
CITY ENGINEER	<i>Becky L. Bigham</i>	DATE 8/28/02
TRANSPORTATION DEVELOPMENT	<i>Rachel Dow</i>	DATE 8-28-02
PARKS AND RECREATION DIRECTOR	<i>Christina Sandoral</i>	DATE 8/28/02
SOLID WASTE DEPARTMENT	<i>[Signature]</i>	DATE August 16 2002
UTILITIES DEVELOPMENT	<i>Page A [Signature]</i>	DATE 8-28-02

Site Vicinity Map



LEGAL DESCRIPTION: LOT 6, BLOCK 3, SANDIA RESEARCH PARK
ZONE ATLAS PAGE: M-21-2

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

13 August 2002

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Briscoe Architects, p.c.

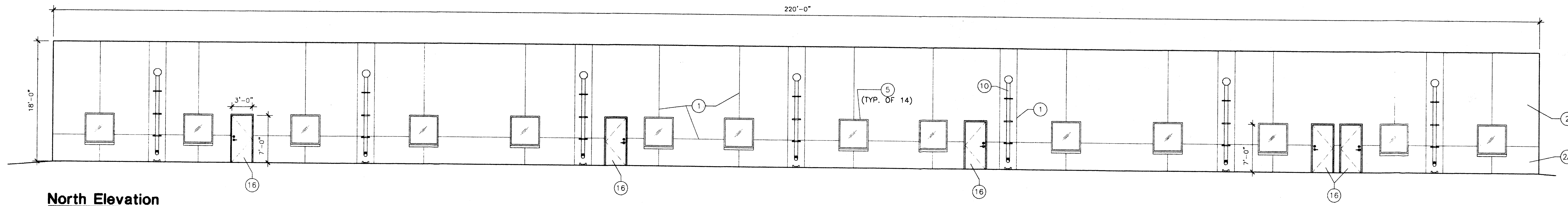
ARCHITECTURAL SERVICES FOR THE COMMERCIAL DEVELOPMENT COMMUNITY

4100 MENAUL BLVD. NE, SUITE 2B
ALBUQUERQUE, NM 87110-8224
V: 505.262.0193 F: 505.881.9114 E: briscoe@mna.com

STATE OF NEW MEXICO
REGISTERED ARCHITECT
JOHN A. BRISCOE
NO. 2308

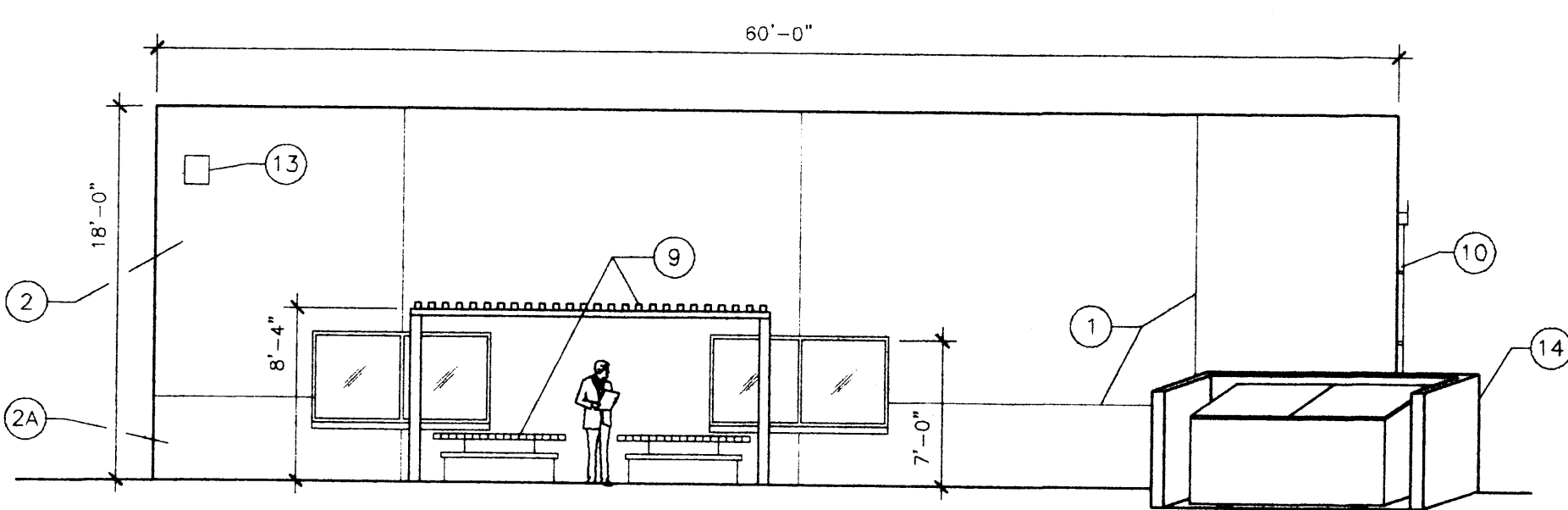
Eastmoon Properties LLC.
10501 Research Rd. SE
Albuquerque, NM

SHEET NO. **1**



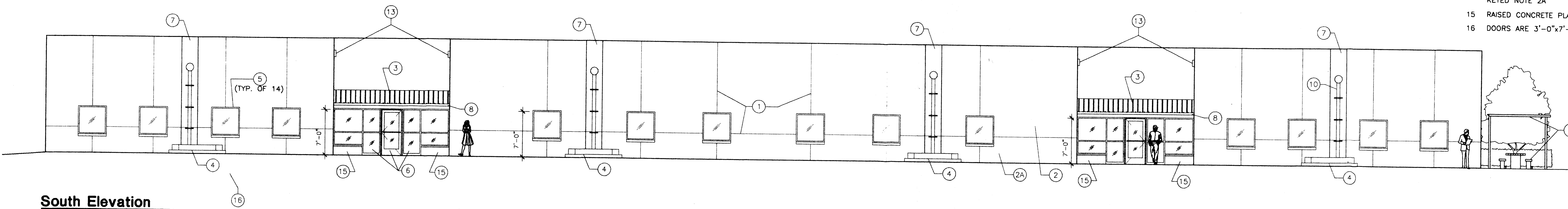
North Elevation

1/8" = 1'-0"



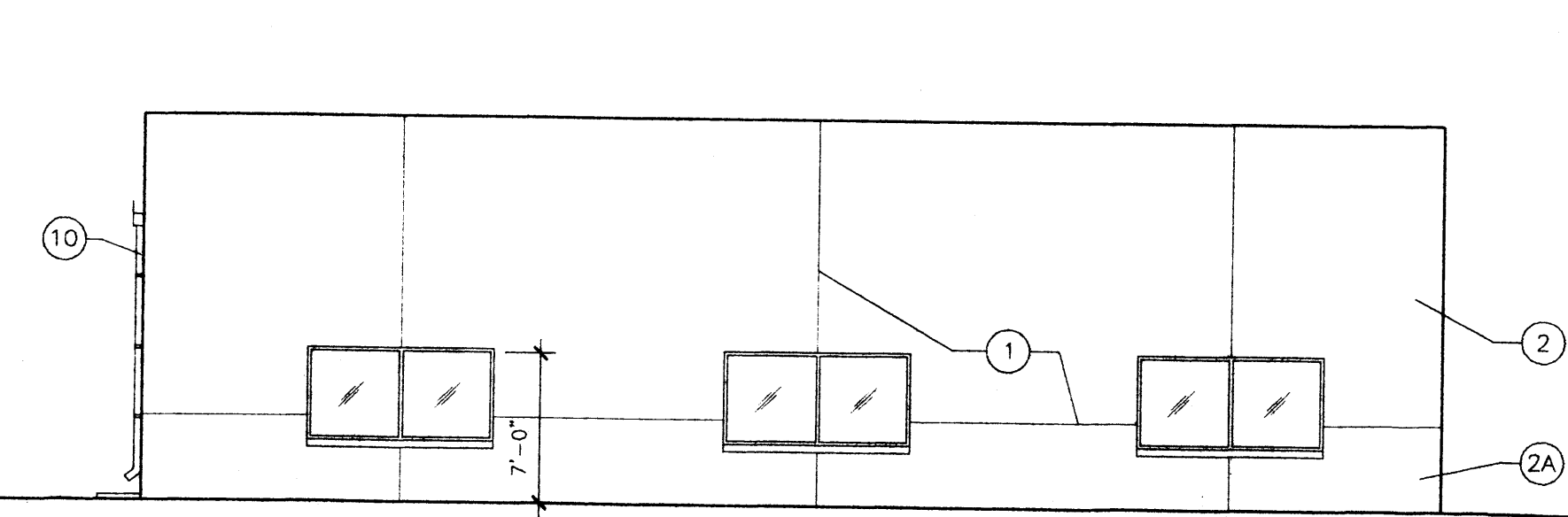
East Elevation

1/8" = 1'-0"



South Elevation

1/8" = 1'-0"

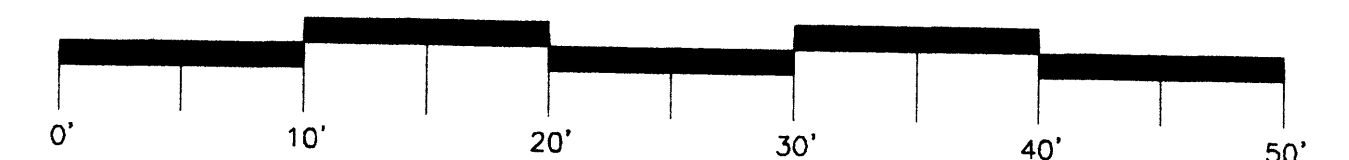


West Elevation

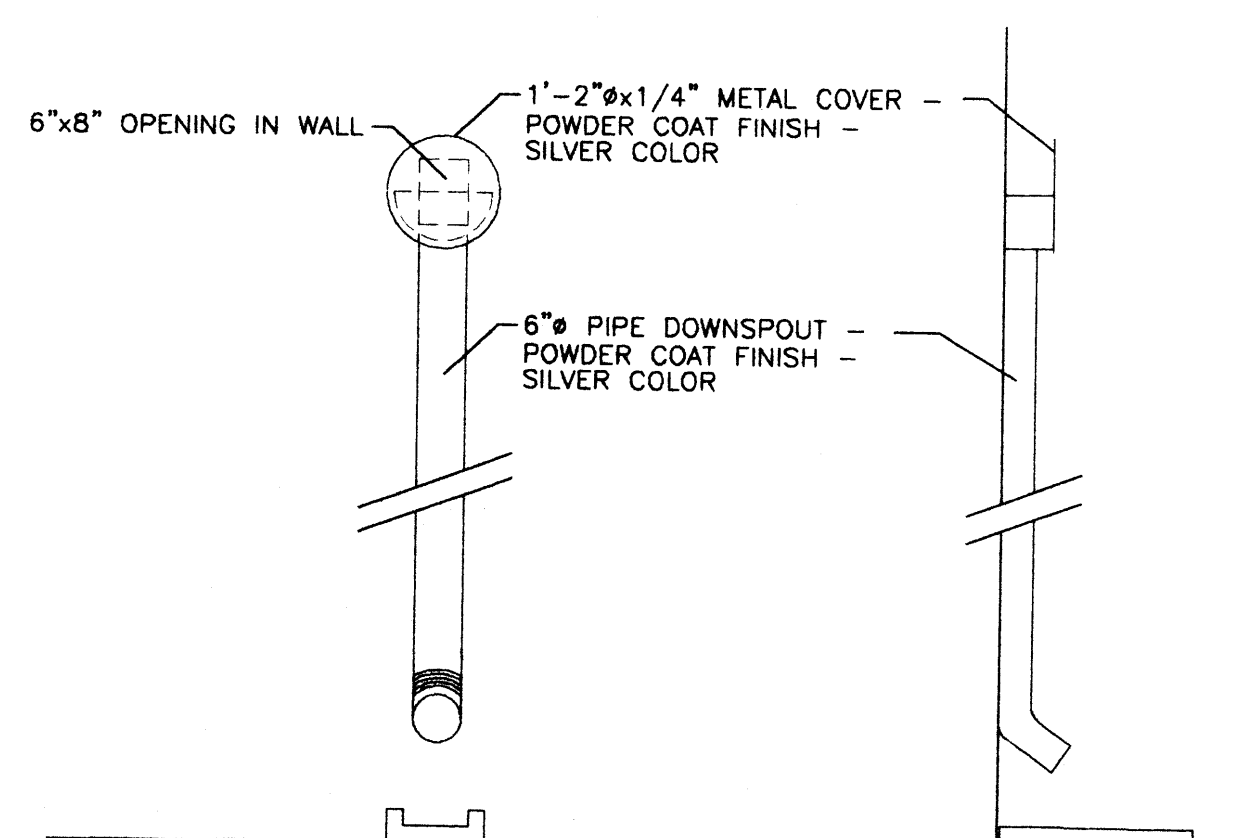
1/8" = 1'-0"

Keyed Notes

- 1 EXPANSION JOINT
- 2 ACRYLIC STUCCO - EL REY "AUTUMN BROWN" #26B-2T
- 2A ACRYLIC STUCCO - EL REY "DESERT SAND" #21C-1P
- 3 4" METAL PANEL AWNING W/ 4" GUTTER - SILVER COLOR
- 4 PLANTER AT GRADE W/ RAISED 16" H. CONCRETE SEAT
- 5 FIXED WINDOW - 48" x 48" - INSUL. GL. IN ALUMINUM FRAME - CLEAR ANODIZED FINISH
- 6 STOREFRONT DOOR - 3'-0"x7'-0" TYP. - AND WINDOWS - 7'-3"x7'-0" TYP. - ALUMINUM FRAME W/ CLEAR ANODIZED FINISH 2"x30" RECESS
- 7 METAL TRELLIS - 1"x1" ON TOP OF 4"x4" BEAM
- 8 PATIO AREA W/ METAL TRELLIS - SILVER COLOR
- 9 SILVER POWDERCOATED METAL DOWNSPOUT PER DETAIL A W/ CONCRETE SPLASH BLOCK
- 11 NOT USED
- 12 NOT USED
- 13 500 WATT, WALL MOUNT SECURITY LIGHT W/ PHOTO CELL, TIME CONTROL, AND CUT OFF SHIELD (TO PREVENT OBSERVATION OF LIGHT SOURCE FROM OFF SITE) - TYP. OF 5
- 14 REFUSE CONTAINER ENCLOSURE PER DETAIL A, SHEET 1 - COLOR KEYED NOTE 2A
- 15 RAISED CONCRETE PLANTER W/ SEAT
- 16 DOORS ARE 3'-0"x7'-0" TYP.

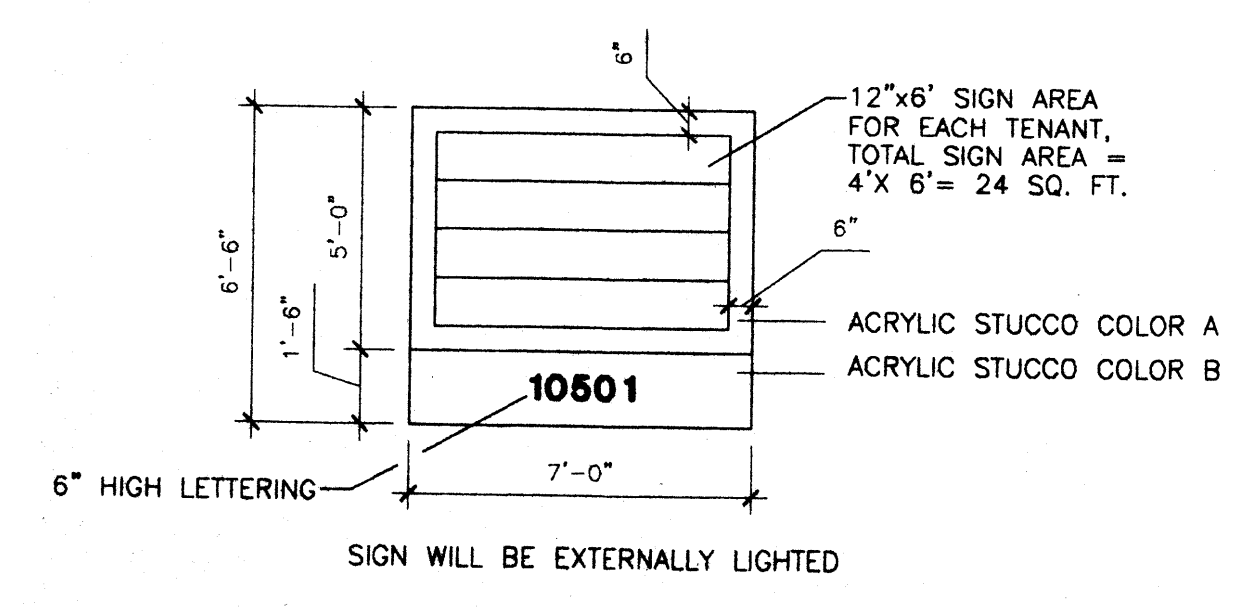


SITE DEVELOPMENT PLAN FOR BUILDING PERMIT



A Detail Of Downspout

1/2" = 1'-0"



B Elevation At Monument Sign

NOTE: SIGN WILL BE CMU WITH STUCCO FINISH 1/4" = 1'-0"

13 August 2002	Briscoe Architects, p.c. ARCHITECTURAL SERVICES FOR THE COMMERCIAL DEVELOPMENT COMMUNITY
© 2002 Briscoe Architects, P.C.	
	4100 MENAUL BLVD. NE, SUITE 2B ALBUQUERQUE, NM 87110-8224 V: 505.262.0193 F: 505.881.9114 E: briscoe@man.com
	Eastmoon Properties LLC 10501 Research Rd. SE Albuquerque, NM
SHEET NO.	2

PLANTING RESTRICTIONS APPROACH

A MINIMUM OF 80% OF THE PLANTINGS TO BE LOW OR MEDIUM WATER USE PLANTS
 A MAXIMUM OF 20% OF THE LANDSCAPE AREA TO BE HIGH WATER USE TURF

NOTES

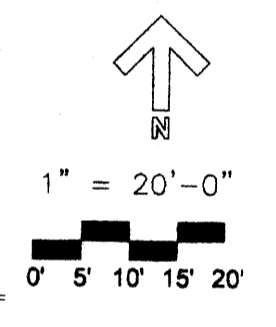
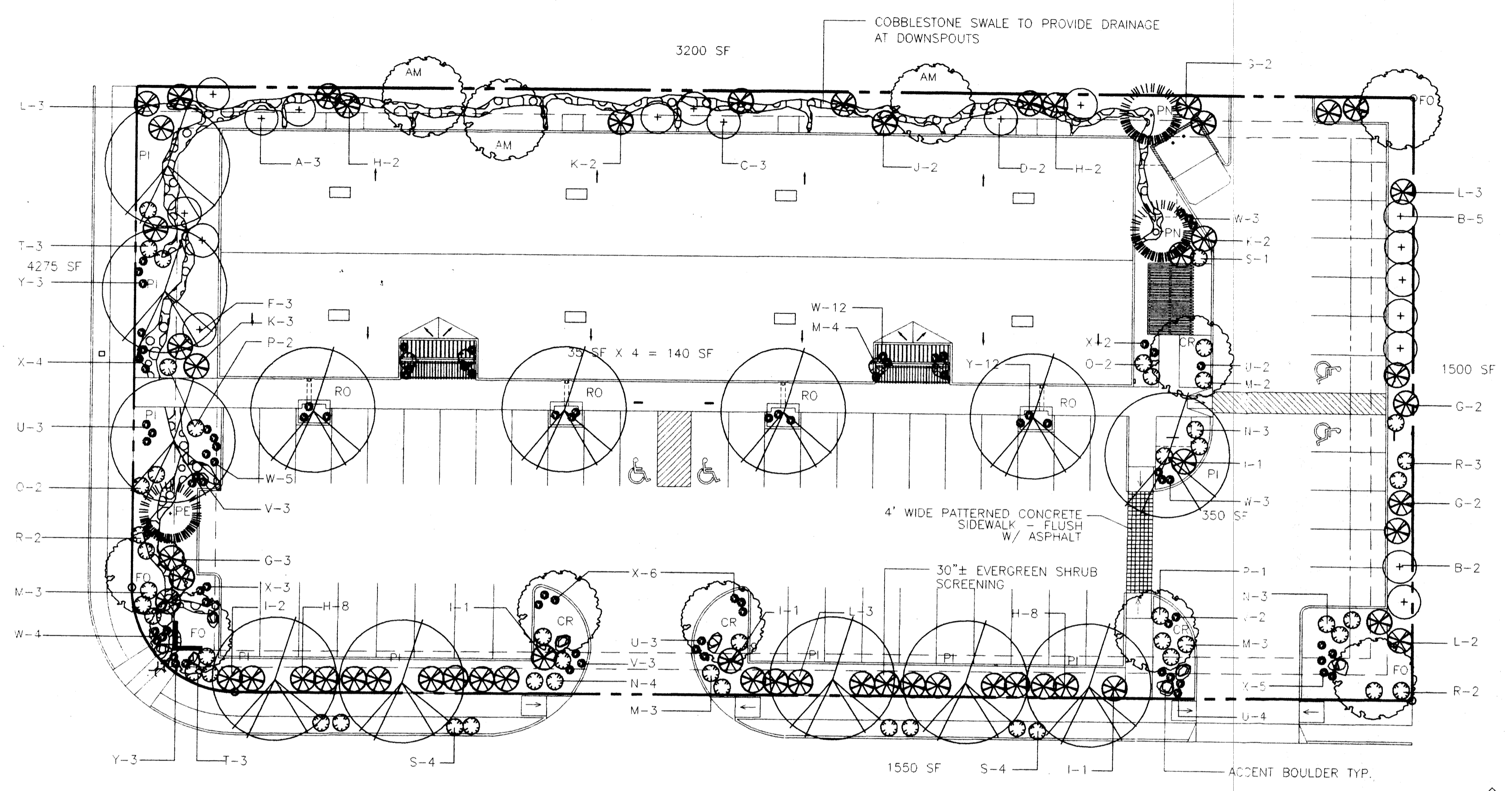
- MAINTENANCE OF LANDSCAPE PROVIDED BY OWNER
- PLANTINGS TO BE WATERED BY AUTO. DRIP IRRIGATION SYSTEM
- WATER MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER
- THIS PLAN IS TO COMPLY WITH C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE PLANTING RESTRICTIONS APPROACH
- IT IS THE INTENT OF THIS PLAN TO PROVIDE MIN. 75% LIVE GROUND COVER OF LANDSCAPE AREAS AT MATURITY
- LANDSCAPE AREAS TO BE MULCHED WITH ORGANIC MULCH AT 2"-3" DEPTH
- APPROVAL OF THE LANDSCAPE PLAN DOES NOT CONSTITUTE EXEMPTION FROM THE C.O.A. LANDSCAPE AND WATER WASTE ORDINANCE
- TREES ARE NOT TO BE PLACED IN PUBLIC UTILITY EASEMENTS
- NO PARKING SPACE SHALL BE MORE THEN 100' FROM A TREE.
- LANDSCAPE AREAS TO BE 4"-6" BELOW GRADE WITH CURB OPENINGS FOR WATER HARVESTING

SITE DATA

GROSS LOT AREA	44,300 SF
LESS BUILDING	13,100 SF
NET LOT AREA	31,200 SF
REQUIRED LANDSCAPE 15% OF NET LOT AREA	4,680 SF
PROPOSED LANDSCAPE PERCENT OF NET LOT AREA	11,015 SF 35%

PLANT LEGEND

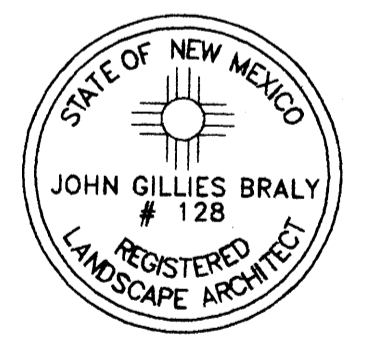
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME
SHADE TREE 2" CAL			
RO	4	ROBINIA	PURPLE ROBE LOCUST
PI	9	PISTACIA	CHINESE PISTACHE
ORNAMENTAL TREE 15 GAL			
CR	4	CRATAEGUS	HAWTHORN
AM	3	AMELANCHIER	SERVICEBERRY
FO	4	FORESTIERA	N.M. OLIVE
EVERGREEN TREE 8' HT - MIN.			
PN	2	PINUS NIGRA	AUSTRIAN PINE
PE	1	PINUS EDULIS	POND PINE
LARGE SHRUB 1-5 GAL			
A	3	PRUNUS BESSEYI	SAND CHERRY
B	7	ELAEAGNUS	SILVERBERRY
C	3	NANDINA	NANDINA
D	2	MISCANTHUS	WEDEN GRASS
E	0	FALLUGIA	APACHE PLUME
F	3	CERCOCARPUS	CL. MTN. MAHOGANY
MEDIUM SHRUB 1-5 GAL			
G	9	CAROPTERIS	ELLE MIST
H	20	ROSMARINUS	APP. ROSEMARY
I	6	RAPHOLEPIS	INDIA HAWTHORN
J	2	RHUS TRILOBATA	3 LEAF SUMAC
K	7	POTENTILLA	CINQUEFOIL
L	11	COTONEASTER	GRAY COTONEASTER
SMALL SHRUB 1-5 GAL			
M	15	LAVANDULA	LAVENDER
N	10	SALVIA GREGGII	CHEERY SAGE
O	4	HELICTOTRICHON	BLUE AVENA GRASS
P	3	PINUS MUGO	MUGHO PINE
R	7	RHUS	GRG. LOW SUMAC
S	5	LONICERA	HONEYSUCKLE
T	6	ROSMARINUS	CREEPING ROSEMARY
PERENNIAL 1 GAL			
U	12	SEDUM	AUTUMN JOY SEDUM
V	8	CENTRANTHUS	JUPITERS BEARD
W	26	PENSTEMON	ROCKY MTN. PENSTEMON
X	20	AGASTACHE	HYSCOP
Y	18	SALVIA	GARDEN SAGE



Landscape Plan

NOTE: GRADING AND LANDSCAPE PLANS ARE COORDINATED TO ALLOW MAXIMUM POTENTIAL WATER ABSORPTION ON SITE. PERIMETER PLANTING AREAS ARE RECESSED BELOW ADJACENT PAVED SURFACES TO FACILITATE RAINWATER COLLECTION. SCREENING OF PARKING AT STREET IS ACCOMPLISHED BY EVERGREEN SHRUBS.

HeadSup
 LANDSCAPE CONTRACTORS
 7525 SECOND ST. NW
 ALBUQUERQUE, NM
 (505) 898-9615
 LICENSE 18890
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SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

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JOHN A. BRISCOE NO. 2308 REGISTERED ARCHITECT	Eastmoon Properties LLC. 10501 Research Rd. SE Albuquerque, NM
	SHEET NO. 3