



Completed
9-12-02
JRM

DRB CASE TRACKING LOG

REVISED 6/27/2002

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: <u>02-01296</u>	Project # <u>1001987</u>
Project Name: <u>Vista Emantado</u>	EPC Application No.: <u>02 EPC - 00836</u>
Agent: <u>Cristo Basanich</u>	Phone No.: <u>765-1020</u>

Project Number 1001987

Your request for (SDP for SUB), (SDP for BP), (PREL/FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 8/28/02 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION:
- UTILITIES: See written comments dated 8/29/02
- CITY ENGINEER / AMAFCA:
- PARKS / CIP:
- PLANNING (Last to sign):
 - See comments dated _____
 - EPC comments (name) J. Vigil
 - Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - Include 3 copies of the approved site plan along with the originals.
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 - Property Management's signature must be obtained prior to Planning Department's signature.

CASE TRACKING LOG FOR DRB DELEGATED SIGN-OFF

<input type="checkbox"/> TRANSPORTATION	Dates: Routed: _____	Disapproved: _____	Approved: _____
<input checked="" type="checkbox"/> UTILITIES	Dates: Routed: _____	Disapproved: _____	Approved: <u>JRM 9/6/02</u>
<input type="checkbox"/> CITY ENGINEER / AMAFCA	Dates: Routed: _____	Disapproved: _____	Approved: _____
<input type="checkbox"/> PARKS / CIP	Dates: Routed: _____	Disapproved: _____	Approved: _____
<input checked="" type="checkbox"/> PLANNING (Last to sign)	Dates: Routed: _____	Disapproved: _____	Approved: <u>JRM 9/11/02</u>
<u>JVigil 9-9-02</u>		<u>Disapproved</u>	<u>Approved 9-11-02</u>

PLANS RELEASED TO APPLICANT OR AGENT

Date Released: 9-12-02
 Print Name: Shelby Joe
 Signed: [Signature] / Log CARD

Date Released: _____
 Print Name: _____
 Signed: _____

Date Returned: 9/6/02
 Firm: [Signature]

Date Returned: _____
 Firm: _____

OK for pick-up
Distribution done

✓

1001987

9/11/02

PROJECT NO.	1001987	APPLICATION NO.	02DRB-01296
PROJECT NAME	Vista Encantado		
EPC APPLICATION NO.			
APPLICANT / AGENT	Custer Basarch	PHONE NO.	765-1070
ZONE ATLAS PAGE	H-18		
ONE STOP COMMENT FORM LOG			Completed 9-12-02 <i>AM</i>

TRANSPORTATION DEV (505) 924-3990		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

UTILITY DEV (505) 924-3989		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>NA</i>	DATE 9/6/02	DATE
COMMENTS:		

HYDROLOGY DEV (505) 924-3986		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

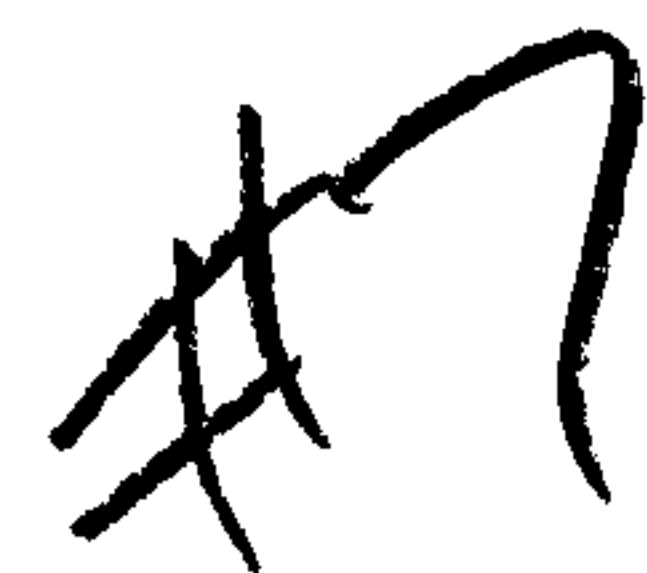
PARKS AND REC (505) 768-5328		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

PLANNING (505) 924-3858		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>YS</i>	DATE 9/11/02	DATE
COMMENTS:		
<i>Distribution Complete.</i>		

(Return form with plat / site plan)

9-11-02 Called agent
for PU
AM

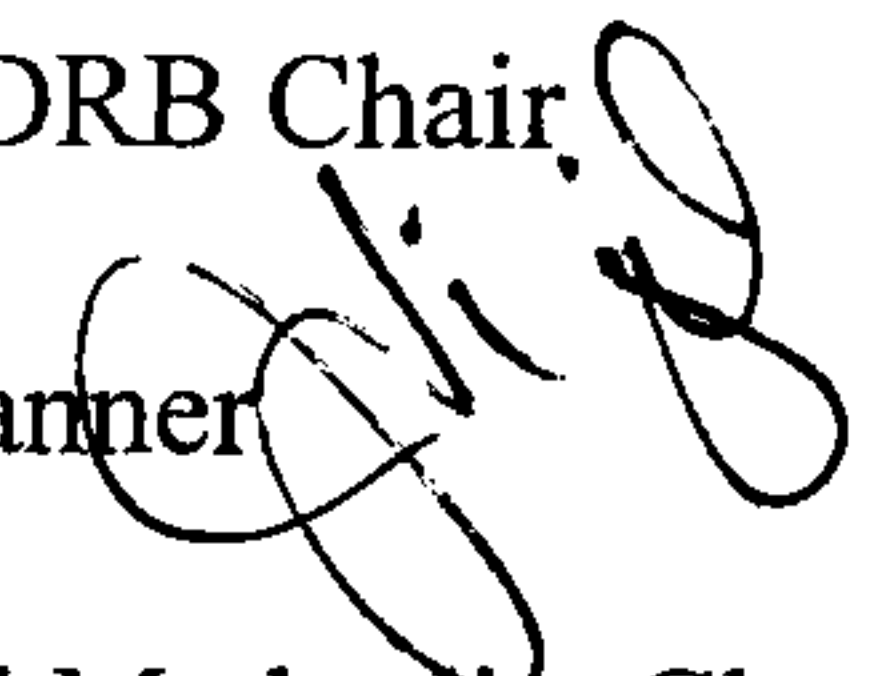
August 27, 2002



City of Albuquerque
Planning Department
Inter-Office Memorandum

|

TO: Janet Stephens, DRB Chair

FROM: Juanita Vigil, Planner 

SUBJECT: St. John's United Methodist Church, Project # 1001987

This application was approved for a site development plan for building permit by the EPC on July 18, 2002 with conditions. The applicant needs to provide the following corrections/clarifications for the site development plan for building permit:

1. Notation #1 under General Notes should include language that clarifies approval delegation to DRB pertains to portions designated as "future phases."
2. The parking spaces along the east property line that exist adjacent to the tree wells are not meeting parking space standards. The parking regulations require the parking spaces to be at least 15' in length to qualify for compact spaces; these parking spaces are 12' in length. The applicant will need to modify the plan to remove these parking spaces and to make modifications to ensure that these areas will not be used for parking of cars. The landscape area could be expanded in this area or the asphalt can be delineated to discourage parking of cars.
3. The signature block for DRB approvals is missing from the submittal and needs to be inserted on the front sheet of the submittal.

If you should have any questions regarding this matter, please do not hesitate to call me at 924-3349.

Thank you.



DRB CASE TRACKING LOG

REVISED 6/27/2002

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 02-01296
Project Name: Vista Encantado
Agent: Cristo Basarich

Project # 1001987
EPC Application No.: 02 EPC 00836
Phone No.: 765-1020

Your request for (SDP for SUB), (SDP for BP), (PREL/FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 8/28/02 by the DRB with delegation of signature(s) to the following departments.

OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION:
- UTILITIES: See written comments dated 8/28/02
- CITY ENGINEER / AMAFCA: _____
- PARKS / CIP: _____
- PLANNING (Last to sign): _____
 - See comments dated _____
 - EPC comments (name) J. Vigil
 - Planning must record this plat. Please submit the following items:
 - The original plat and a mylar copy for the County Clerk.
 - Tax certificate from the County Treasurer.
 - Recording fee (checks payable to the County Clerk). RECORDED DATE: _____
 - Tax printout from the County Assessor.
 - Include 3 copies of the approved site plan along with the originals.
 - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
 - Property Management's signature must be obtained prior to Planning Department's signature.

CASE TRACKING LOG FOR DRB DELEGATED SIGN-OFF

- TRANSPORTATION
Dates: Routed: _____ Disapproved: _____ Approved: _____
- UTILITIES
Dates: Routed: _____ Disapproved: _____ Approved: _____
- CITY ENGINEER / AMAFCA
Dates: Routed: _____ Disapproved: _____ Approved: _____
- PARKS / CIP
Dates: Routed: _____ Disapproved: _____ Approved: _____
- PLANNING (Last to sign)
Dates: Routed: _____ Disapproved: _____ Approved: _____

PLANS RELEASED TO APPLICANT OR AGENT

Date Released: _____
Print Name: _____
Signed: _____

Date Returned: _____
Firm: _____

Date Released: _____
Print Name: _____
Signed: _____

Date Returned: _____
Firm: _____

Project Number 1001987



City of Albuquerque
 CITY OF ALBUQUERQUE
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
 PUBLIC WORKS DEPARTMENT
 DEVELOPMENT SERVICE
 HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

DRB CASE NO/PROJECT NO: 1001987

AGENDA ITEM NO: 7

SUBJECT:

- | | | |
|-------------------------|------------------------------|------------------------------|
| (01) Sketch Plat/Plan | (05) Site Plan for Subd | (10) Sector Dev Plan |
| (02) Bulk Land Variance | (06) Site Plan for BP | (11) Grading Plan |
| (03) Sidewalk Variance | (07) Vacation | (12) SIA Extension |
| (03a) Sidewalk Deferral | (08) Final Plat | (13) Master Development Plan |
| (04) Preliminary Plat | (09) Infrastructure List | (14) Other |

ACTION REQUESTED:

REV/CMT:() APP:() SIGN-OFF:(x) EXTN:() AMEND:()

ENGINEERING COMMENTS:

No adverse comments.

RESOLUTION:

APPROVED ____; DENIED ____; DEFERRED ____; COMMENTS PROVIDED ____; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) **(SP-BP)** (FP) TO: **(UD)** (CE) (TRANS) (PKS) **(PLNG)**

FOR:

SIGNED: Bradley L. Bingham
 City Engineer/AMAFCA Designee

DATE: August 28, 2002

|

|

DEVELOPMENT REVIEW BOARD (DRB)
CITY OF ALBUQUERQUE

REVIEW COMMENTS

By the

UTILITY DEVELOPMENT SECTION (WATER & SEWER)

DEVELOPMENT & BUILDING SERVICES DIVISION

PUBLIC WORKS DEPARTMENT

PHONE 924-3989

D.R.B. CASE NO.: 1001987 DATE: 8/28/02 ITEM NO.: 7

ZONE ATLAS PAGE: H-18 LOCATION: Arizona
District / Manual

REQUEST FOR: Site Plan

COMMENTS:

① Show size and location of Fire line for
Sprinkler system on Utility Plan

② Label sewer line on east side as "Private"
8" line.

③ Use Fire Marshall's stamp of approval
showing location of Fire Hydrants on Site Plan.

SIGNED: Robert Green

DATE: 8/28/02



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

DEVELOPMENT REVIEW BOARD TRANSPORTATION DEVELOPMENT Standard Comment Sheet

DRB-1001987

Item No. 7

Zone Atlas H-18

DATE ON AGENDA 7-28-02

INFRASTRUCTURE REQUIRED () YES (x) NO

CROSS REFERENCE: _____

TYPE OF APPROVAL REQUESTED:

- () SKETCH PLAT () PRELIMINARY PLAT () FINAL PLAT
- () SITE PLAN REVIEW AND COMMENT () SITE PLAN FOR SUBDIVISION
- (x) SITE PLAN FOR BUILDING PERMIT

No.	Comment
<input type="checkbox"/>	No adverse comment.

If you have any questions or comments please call Richard Dourte at 924-3990. Meeting notes:



**DEVELOPMENT REVIEW BOARD
ACTION SHEET**

Plaza del Sol Hearing Room, Basement, Plaza del Sol Building

August 28, 2002

9:00 a.m.

MEMBERS:

Janet Stephens, DRB Chair
Claire Senova, Administrative Assistant

Richard Dourte, Transportation Development
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development
Christina Sandoval, Parks & Recreation

NOTE: UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

NOTE: INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946 (VOICE) OR TELETYPEWRITER (TTY) 924-3361 - TTY USERS MAY ALSO ACCESS THE VOICE NUMBER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

NOTE: REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE BOARD SECRETARY MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order
- B. Changes and/or Additions to the Agenda
- C. Announcements

CASES WHICH REQUIRE PUBLIC NOTIFICATION

MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS

1. **Project # 1000867**
02DRB-01201 Major-One Year SIA

THE LARKIN GROUP NM INC agent(s) for BERNALILLO COUNTY request(s) the above action(s) for all or a portion of Block(s) 1-2, **BERNALILLO COUNTY COURTHOUSE ADDITION**, zoned SU-3 special center zone, located on LOMAS BLVD NW, between 4TH ST NW and 6TH ST NW containing approximately 5 acre(s).[REF: DRB-97-318](J-14) **A ONE-YEAR EXTENSION OF THE SIA WAS APPROVED TO THE CONSTRUCTION COMPLETION DEADLINE DATE OF 8/28/03.**

2. **Project # 1001674**
02DRB-01202 Major-Preliminary Plat Approval
02DRB-01203 Major-Vacation of Pub Right-of-Way
02DRB-01204 Major-Vacation of Public Easements
02DRB-01205 Minor-Temp Defer SDWK
02DRB-01206 Minor-Sidewalk Waiver
- MARK GOODWIN & ASSOCIATES, PA agent(s) for STV INVESTMENTS III, LLC request(s) the above action(s) for all or a portion of Parcel H-12A, **EAGLE RIDGE SUBDIVISION**, RIVERVIEW, zoned R-LT, located on ALL SAINTS NW, between COORS BLVD. NW and EAGLE RANCH RD. NW containing approximately 33 acre(s). [REF:DRB-96-22] [Deferred from 8/28/02] (C-13) **DEFERRED AT THE AGENT'S REQUEST TO 9/4/02.**
3. **Project # 1002134**
02DRB-01196 Major-Bulk Land Variance
02DRB-01197 Major-Vacation of Public Easements
02DRB-01199 Minor-Prelim&Final Plat Approval
- MARK GOODWIN & ASSOCIATES, PA agent(s) for VISTA DEL NORTE DEVELOPMENT, LLC request(s) the above action(s) for all or a portion of Tract(s) U, **VISTA DEL NORTE**, zoned SU-1 for Permissive IP, located on LAS LOMITAS DR NW, between EL PUEBLO RD NW and VISTA DEL NORTE DR NW containing approximately 39 acre(s). [REF: DRB-98-71] (D-16) **BULK LAND VARIANCE APPROVED. VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING.**
4. **Project # 1002135**
02DRB-01208 Major-Vacation of Pub Right-of-Way
- TIERRA WEST LLC agent(s) for GELTMORE INC request(s) the above action(s) for all or a portion of Tract(s) C2A1, **JEANNEDALE ADDITION**, zoned SU-3 for C-2 uses, located on AMERICAS PARKWAY NE, between LOUISIANA BLVD NE and UPTOWN BLVD NE containing approximately 1 acre(s). (H-18) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH ADDITIONAL FINDING AND CONDITION.**

5. **Project # 1001931**
02DRB-01093 Major-Preliminary Plat Approval
02DRB-01094 Minor-Temp Defer SDWK
02DRB-01095 Major-Vacation of Public Easements
02DRB-01264 Minor – Waiver of Sidewalks
- MARK GOODWIN & ASSOC., PA agent(s) for KB HOMES request(s) the above action(s) for all or a portion of Tract(s) T-1, VISTA DEL NORTE, (to be known as **ESCONDIDO @ VISTA DEL NORTE**) zoned SU-1 special use zone, for R-T, R-LT or R-2, located on the EAST SIDE OF LOS LOMITAS DR NE between EL PUEBLO RD NE and VISTA DEL NORTE DR NE containing approximately 12 acre(s). [REF: 02DRB-00689] [Deferred from 8/28/02] (D-16) **DEFERRED AT THE AGENT'S REQUEST TO 9/4/02.**

SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

6. **Project # 1001985**
02DRB-01292 Minor-SiteDev Plan
BldPermit/EPC
- BRISCOE ARCHITECT agent(s) for EAST MOON PROPERTIES LLC request(s) the above action(s) for all or a portion of Lot(s) 6, Block 3, **SANDIA RESEARCH PARK**, zoned SU-1 for IP, located on RESEARCH RD SE, between BRITT ST SE and EAST RESEARCH RD SE containing approximately 2 acre(s). [**Debbie Stover, EPC Case Planner**](M-21) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING.**
7. **Project # 1001987**
02DRB-01296 Minor-SiteDev Plan
BldPermit/EPC
- CUSTER BASARICH, LTD. agent(s) for ST. JOHN'S UNITED METHODIST CHURCH request(s) the above action(s) for all or a portion of Tract(s) M, **VISTA ENCANTADO**, ST. JOHNS METHODIST, zoned SU-2, R-2/O-1, located on ARIZONA NE, between PHOENIX AVE NE and MENAUL BLVD NE containing approximately 5 acre(s). [REF: 02EPC 00836] [**Juanita Vigil, EPC Case Planner**] (H-18) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT AND PLANNING.**

8. **Project # 1001068**
02DRB-01280 Minor-Prelim&Final
Plat Approval
02DRB-01281 Minor-Amnd SiteDev
Plan Subd
02DRB-01282 Minor-Sidewalk Waiver
02DRB-01283 Minor-Temp Defer
SDWK
- MARK GOODWIN & ASSOCIATES agent(s) for MESA VERDE DEVELOPMENT CORP. request(s) the above action(s) for all or a portion of Tract(s) A, **DESERT RIDGE TRAILS SUBDIVISION**, zoned RD, located on VISTAS DR NW, between EAGLE ROCK AVE NW and LA CUEVA CHANNEL containing approximately 2 acre(s). [Deferred at the agent's request to 9/4/02] (C-19) **DEFERRED AT THE AGENT'S REQUEST TO 9/4/02.**

MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS

9. **Project # 1000722**
02DRB-01291 Minor-Prelim&Final
Plat Approval
- ISAACSON & ARFMAN, P. A. agent(s) for ALBUQUERQUE SOUTH GENERAL PARTNERSHIP request(s) the above action(s) for all or a portion of Tract(s) D, **ALBUQUERQUE SOUTH, UNIT 1**, zoned SU-1 / R-LT & SU-1 / C-1, located on the west side of UNSER BLVD SW, between SAPPHIRE ST SW and SAGE RD SW containing approximately 10 acre(s). [REF: ZA-97-31, Z-99-64, DRB-99-220, 00410-01086, 01460-01488, 02DRB-01272, THRU 01275] [Deferred from 8/28/02] (M-10) **DEFERRED AT THE AGENT'S REQUEST TO 9/11/02.**
10. **Project # 1001716**
02DRB-01261 Minor-Prelim&Final
Plat Approval
- KONRAD WERNER agent(s) for MARGARET KELLER request(s) the above action(s) for all or a portion of Lot(s) 1, Block 25, **RIDGECREST ADDITION**, zoned R-1, located on RIDGECREST DR SE, between PAMPAS DR SE and RIDGECREST DR SE containing approximately 1 acre(s). [REF:02400 00129](L-17) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT AND PLANNING.**

11. **Project # 1000430**
02DRB-01288 Minor- Ext of SIA for
Temp Defer SDWK

BOHANNAN HUSTON, INC. agent(s) for RAYLEE HOMES request(s) the above action(s) for all or a portion of Lot(s) 85, 86, 87, 91, 92 and 93, **WHISTLER AT SEVEN BAR NORTH, UNIT 1**, zoned R-1 residential zone, located on the south side of WHISTLER AVE NW, between SEVEN BAR LOOP RD NW and SIERRITA RD NW. [REF: DRB-98-186, 00440-00571] (A-13) **A 2-YEAR EXTENSION TO THE 4-YEAR AGREEMENT WAS APPROVED TO THE CONSTRUCTION COMPLETION DEADLINE DATE OF 8/28/04.**

12. **Project # 1000542**
02DRB-01289 Minor- Ext of SIA for
Temp Defer SDWK

BOHANNAN HUSTON, INC. agent(s) for HIGH DESERT INVESTMENT CORP. request(s) the above action(s) for all or a portion of Lot(s) 22, 28, 29 AND 35, **CANYONS AT HIGH DESERT**, zoned SU-2 special neighborhood zone, HD/R-LT, located on FOOTHILLS CANYON NE, between SPAIN RD NE and BEAR CANYON ARROYO. [REF: 00440-01709] (F-23) **A 2-YEAR EXTENSION TO THE 4-YEAR AGREEMENT WAS APPROVED TO THE CONSTRUCTION COMPLETION DEADLINE DATE OF 8/28/04.**

13. **Project # 1000724**
02DRB-01268 Minor-Extension of
Preliminary Plat
02DRB-01269 Minor-Ext of SIA
for Temp Defer SDWK

MARK GOODWIN & ASSOCIATES, PA agent(s) for THUNDER DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) A, Unit 1, **RAYO DEL SOL SUBDIVISION**, zoned RLT, located on ARENAL SW, between UNSER BLVD SW and COORS BLVD SW containing approximately 28 acre(s). [REF: 00440 01098, Z-97-57, DRB-97-87] (M-10) **A 1-YEAR EXTENSION OF THE PRELIMINARY PLAT WAS APPROVED. THIS APPROVAL INCLUDES THE EXTENSION OF THE INFRASTRUCTURE LIST DATED 9/3/97. A 2-YEAR EXTENSION TO THE 4-YEAR AGREEMENT WAS APPROVED TO THE CONSTRUCTION COMPLETION DEADLINE DATE OF 8/28/04.**

14. **Project # 1000893**
02DRB-01064 Minor-Final Plat
Approval

COMMUNITY SCIENCES CORP. agent(s) for CURB INC. request(s) the above action(s) for all or a portion of Tract(s) A1A, B1 & 2A, **RIDGEVIEW VILLAGE, UNIT 1**, zoned SU-1 special use zone, for R-2 and Mixed Uses, located on the NORTH SIDE OF MCMAHON BLVD NW, between MCMAHON BLVD. NW and the WEST SIDE OF UNSER BLVD. NW containing approximately 10 acre(s). [REF: 02DRB-00679, 02DRB-00681, 02DRB-00713, 00110-01639, 00128-01640] [Deferred from 8/21/02] (A-11) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING.**

**NO ACTION IS TAKEN ON THESE CASES:
IF APPLICANT IS NOT PRESENT, COMMENTS WILL BE FORWARDED**

15. **Project # 1002166**
02DRB-01295 Minor-Sketch Plat or Plan

JON ANDERSON, ARCHITECT agent(s) for GEORGE & KATE LUGER request(s) the above action(s) for all or a portion of Lot(s) C-H, Block(s) 12, **COUNTRY CLUB ADDITION**, zoned R-1 residential zone, located on west side of CEDAR ST NE, between LAS LOMAS RD NE and ROMA AVE NE containing approximately 1 acre(s). [REF: ZA-72-51, ZA-83-89] (J-15) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

16. Approval of the Development Review Board minutes for August 14, 2002. **MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**

17. Other Matters:

ADJOURNED: 10:35 A.M.



Supplemental form
SUBDIVISION **S**
 Major Subdivision action
 Minor Subdivision action
 Vacation **V**
 Variance (Non-Zoning)
SITE DEVELOPMENT PLAN **P**
 ...for Subdivision Purposes
 ...for Building Permit
 IP Master Development Plan
 Cert. of Appropriateness (LUCC) **L**

Supplemental form
ZONING **Z**
 Annexation & Zone Establishment
 Sector Plan
 Zone Change
 Text Amendment
APPEAL / PROTEST of... **A**
 Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeals

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICANT INFORMATION:

NAME: ST. JOHN'S UNITED METHODIST CHURCH - ABQ PHONE: 505-883-9717
 ADDRESS: 2626 ARIZONA NE FAX: 505-883-1441
 CITY: ALBUQUERQUE STATE NM ZIP 87110 E-MAIL: N/A
 Proprietary interest in site: OWNER
 AGENT (if any): CLUSTER BASARICH, LTD. PHONE: 505-765-1020
 ADDRESS: 1400 CENTRAL SE STE. 3000 FAX: 505-766-9205
 CITY: ALBUQUERQUE STATE NM ZIP 87106 E-MAIL: MAIL@CBLARCHITECTS.COM

DESCRIPTION OF REQUEST: ADDITION OF FAMILY LIFE CENTER AND MUSIC CENTER AS ADDITION AND REPLACEMENT TO EXISTING CHURCH FACILITY.

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. TRACT M Block: _____ Unit: _____
 Subdiv. / Addn. VISTA ENCANTADO / ST. JOHN'S METHODIST
 Current Zoning: SU-2, R-2/O-1 Proposed zoning: NO CHANGE
 Zone Atlas page(s): H-18-Z No. of existing lots: 1 No. of proposed lots: NO CHANGE
 Total area of site (acres): 4.414 Density if applicable: dwellings per gross acre: N/A dwellings per net acre: N/A
 Within city limits? Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? NO
 UPC No. 1018059223081 0121 MRGCD Map No. N/A

LOCATION OF PROPERTY BY STREETS: On or Near: ARIZONA NE
 Between: PHOENIX AVE NE and MENAUL BLD NE

CASE HISTORY: Juanita Vigil EPC Case Planner
 List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX-, Z-, V-, S-, etc.): FILE Z-78-22
PROJECT 1001987 ; 02EPC-00836 SDP BUILDING PERMIT

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: N/A
 SIGNATURE Nancy A. Bartlett DATE 8-19-02
 (Print) NANCY A. BARTLETT Applicant Agent

FOR OFFICIAL USE ONLY

Form revised September 2001

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>02DRB- -01296</u>	<u>380BP</u>	<u>2(3)</u>	\$ <u>e</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
Hearing date <u>Aug 28, 2002</u>				Total \$ <u>0</u>

Paul Casady 8/20/02 Project # 1001987
 Planner signature / date

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

SKETCH PLAN REVIEW AND COMMENT

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

SITE DEVELOPMENT PLAN FOR SUBDIVISION

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6** copies.
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Blue-line copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION

AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION

D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
 - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
 - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
 - Letter carefully explaining how each EPC condition has been met and a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
 - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar to the meeting for sign-off. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Shelby J
SLJ

Applicant name (print)

Applicant signature / date



Form revised September 2001

- Checklists complete
 - Fees collected
 - Case #s assigned
 - Related #s listed
- Application case numbers
 02028 - - - 01296

Paul Lander 8/20/02
 Planner signature / date

Project # 1001987



City of Albuquerque
Planning Department
Development Services Division
P.O. Box 1293
Albuquerque, New Mexico 87103

Date: July 19, 2002

OFFICIAL NOTIFICATION OF DECISION

FILE: **Project 1001987**
02EPC-00836- SDP Building Permit

St. John's United Methodist Church
2626 Arizona, NE
Albuquerque, NM 87110

LEGAL DESCRIPTION: Request the above action(s) for all or a portion of Tract(s) M, **Vista Encantado/St. John's Methodist**, zoned SU-2 R-2/O-1, located on ARIZONA STREET NE, between PHOENIX AVENUE, NE and MENAUL BLVD., NE, containing approximately 5 acre(s). (H-18) Juanita Vigil, Staff Planner

On July 18, 2002, the Environmental Planning Commission voted to approve Project 1001987 / 02EPC-00836, a Site Development Plan for Building Permit, based on the following Findings and subject to the following Conditions:

FINDINGS:

1. This is a request for a site development plan for building permit for Tract M, Vista Encantada, containing approximately 4.14 acres and located at 2626 Arizona ST NE, zoned SU-2 R-2/O-1.
2. This site is within the *Uptown Sector Development Plan* (p. 26) and requires approval from the Environmental Planning Commission for the proposed development.
3. The applicant is proposing a Family Life Center, Music Center, and a relocation of the play yard as current project. A classroom expansion, Chancel expansion, Entry/Narthex expansion, stairwell addition, and Parlor expansion are proposed as future projects.
4. The proposed submittal meets the requirement of Policy 50 of the *Comprehensive Plan* allowing for "Redevelopment and rehabilitation of older neighborhoods in the Established Urban Area."
5. This site is in compliance with Goal 1 of the *Uptown Sector Development Plan* that encourages containment within the Uptown Urban Center to stay within rigid boundaries and avoid negative consequences to surrounding residential neighborhoods.
6. The additional landscape in and around the parking areas will further Goal 11.c of the *Uptown Sector Development Plan* that encourages "to promote Uptown as being a special place" and to "promote the installation and maintenance of additional landscaping on new and existing private development."

EPC OFFICIAL NOTIFICATION OF DECISION

Project 1001987 / 02EPC-00836

July 19, 2002

Page 2

CONDITIONS:

1. The submittal of this site plan to the DRB shall meet all EPC conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Each elevation drawing shall clearly identify each type of window, glazing material and color of aluminum frame in either white or aluminum color.
3. Each elevation shall clearly identify the type and color of brick to be used for the proposed submittal and for areas designated as future phases that are to match existing material.
4. The submittal shall include elevations and the proposed materials for the play yard structure.
5. Approval authority for the areas designated as future phases for the Classroom Addition, Stairwell Addition, entry/Narthex expansion, Chancel Expansion and Parlor Addition shall be delegated to the Development Review Board (DRB) for a period to not exceed five years from the date of this approval.
6. The site shall comply with the Public Works Department conditions of approval as follows:
 - a. Site plan shall comply and be designed per DPM Standards.
 - b. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb, and gutter and sidewalk that have not already been provided for.
 - c. Construct wheel chair accessible ramps at the southeast corner of Arizona and Phoenix and the southwest corner of Phoenix and the north site drive.
 - d. North driveway to existing parking lot on west side of site, accessed from Arizona, shall be closed.
 - e. Existing public improvements to be contained within existing right-of-way or easements.
 - f. Instantaneous flow and hydrant placement requirements must be verified with the Fire Marshal and Utility Development prior to DRB action of the site plan.
 - g. An approved conceptual grading and drainage plan is required for site plan sign-off by the City Engineer & AMAFCA. Approval of drainage plan required prior to placement on DRB agenda.
7. The Planting Legend on the Landscape Plan shall display symbols for each type of new landscape to be installed for an easier understanding of the plan.
8. The landscape buffer along the east side of the property shall be installed at large-scale deciduous trees at 40-foot centers. No continuous land buffer at the grade is required.
9. Landscape islands with trees shall be installed in parking areas located to the east of the buildings to ensure that each parking space is within 100' of a tree.
10. The existing landscape buffer along Phoenix Ave NE, between the existing drive aisles, shall be landscaped with living ground cover of at least 20% of that landscape area.
11. Landscape buffers shall be installed along the west property line in the parking area south of the buildings that shall include trees and living groundcover to ensure that each parking space is within 100' of a tree.

EPC OFFICIAL NOTIFICATION OF DECISION

Project 1001987 / 02EPC-00836

July 19, 2002

Page 3

IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY **AUGUST 2, 2002** IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,


For Victor J. Chavez
Planning Director

VJC/JV/nat

cc: Custer Basarich Ltd., 1400 Central Ave. SE, Suite 3000, Albuquerque, NM 87106
Jim Amend, 10608 Moonbeam Court NE, Albuquerque, NM 87111
Jim Hawk, 13200 Twilight Trail Place NE, Albuquerque, NM 87111
Pat Affhalter, 1400 Central Avenue SE, Albuquerque, NM 87106
Nancy Bartlett, 1400 Central Avenue SE, Albuquerque, NM 87106
Bill Sterchi, Alvarado Park N.A., 5607 Princess Jeanne NE, Albuquerque, NM 87110
Lynn Tabor, Alvarado Park N.A., 1804 Alvarado Drive NE, Albuquerque, NM 87110
Stephen Verchinski, Classic Uptown N.A., 2700 Espanola NE, Albuquerque, NM 87110
Mary Lou Sorenson, Classic Uptown N.A., 2800 Charleston NE, Albuquerque, NM 87110
Donna Yetter, Inez N.A., 2111 Hoffman NE, Albuquerque, NM 87110
Carl Bartlett, Inez N.A., 7803 Prospect NE, Albuquerque, NM 87110

EPC OFFICIAL NOTIFICATION OF DECISION

Project 1001987 / 02EPC-00836

July 19, 2002

Page 4

Julie Jones, Jerry Cline Park N.A., 7625 Winter Ave. NE, Albuquerque, NM 87110
Jeff Paul, Jerry Cline Park N.A., 1000 Grove Street NE, Albuquerque, NM 87110
Valorie Vigil, New Kimo N.A., 2408 Madiera NE, Albuquerque, NM 87110
Mark Trujillo New Kimo N.A., 5507 Euclid NE, Albuquerque, NM 87110
Timothy Sanchez-Brown, Quigley Park N.A., 2901 Cagua Drive NE, Albuquerque, NM 87110
Orlando Esparza, Quigley Park N.A., 2728 Cagua Drive NE, Albuquerque, NM 87110
Deborah Prusia, Snow Heights N.A., 1722 Hoffman Drive NE, Albuquerque, NM 87110
Michael Clendenin, Snow Heights N.A., 1602 Utah Street NE, Albuquerque, NM 87110
R. Shelton Weeks, Uptown Association, 2100 Louisiana NE, Suite 51, Albuquerque, NM 87110
Tom Joule, Uptown Association, 6501 Americas Parkway NE, Albuquerque, NM 87110
Richard Peterson, Winrock South N.A., 1112 San Pedro NE, #309, Albuquerque, NM 87110-6724
John Kinney, Winrock South N.A., 1112 San Pedro NE, #309, Albuquerque, NM 87110-6724
Susan McIntyre, Zuni N.A., 7521 Leah Drive NE, Albuquerque, NM 87110
Virginia Emmett, Zuni N.A., 7517 Leah Drive NE, Albuquerque, NM 87110



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103
August 9, 2002

Custer Bassarich
1400 Central SE / Suite 3000
Albuquerque, New Mexico 87106
Attn: Nancy Bartlett

AUG 13 2002

Re: Saint Johns Church Expansion

H-18

Ms. Bartlett:

Existing Conditions: The 33,000 sq. ft. Church complex is at the southeast corner of Arizona and Phoenix. Existing facilities include 6-inch water lines in both streets. There is also a 4-inch water line in California dead-ending at the south property line. See attached. Records show a 2-inch service from the 4-inch. See account #15031960. We have no record of any private fire lines. System maps show 8-inch sanitary lines in Arizona, and the alley along the south property line. Both are available for routine connections. They also show a line on-site in the vacated portion of California. This line may be abandoned. Status must be verified. See below.

Proposed: Plans call for a new 'Family Life Center and Music Room' totaling approximately 22,000 sq. ft. See project #1001987.

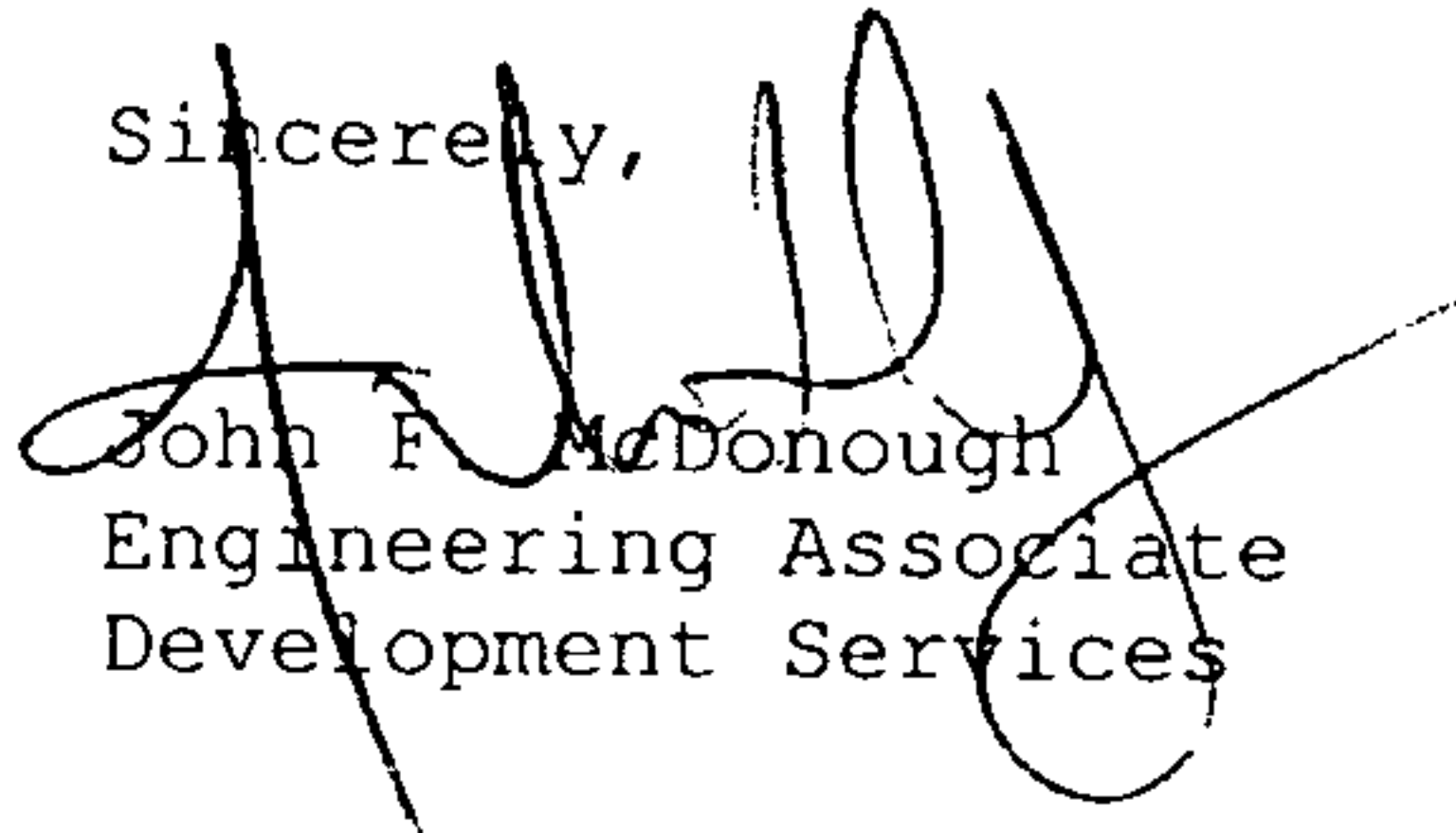
Fire Protection: The Fire Marshal's requirements of August 6 call for 2202 GPM to be available from hydrants within 300-feet. At least two hydrants were specified. Requirements were based on Type II-N construction with a maximum building area of 23,386 sq. ft: specifically the classroom annex and the new music room. The existing sanctuary and proposed Family Life Center will be separated from the classroom annex by 4-hour firewalls. The required flow is available from existing lines and system maps show two hydrants adjoining the site. Accessibility must be verified by the Fire Marshal prior to DRB action, but it appears no system improvements will be required. Plans call for fire sprinklers in the new Family Life Center. The fire line tap and account must be coordinated through Customer Services: 768-2840. Note: City made connections are done by 'hot tap' and are limited to one pipe size smaller than the main: in this case a 4-inch tap. If a 6-inch is required a tee must be inserted in the main. Such connections must be done by the property owners contractor via the 'DRC / Work Order' process. (Note: Assuming a pad elevation of 5258' msl peak day static pressures should be approximately 85 psi. At 2200 GPM residual pressure at the intersection will be approximately 25 psi.)

Service: If required new and / or upsized services will be available via routine connection to existing lines. Metered water service connections must be coordinated through the Customer Services Office: 768-2840. Sanitary sewer connections must be coordinated through a licensed plumber. Installation must conform to the plumbing code as adopted, and to effective Department connection requirements. (As discussed above status of the on-site line is unknown. A condition assessment must precede any connections. If the line proves unserviceable it will be abandoned, in which case any connections must be made to the south or west.

Utility Expansion Charges: In addition to installation and construction costs, both sanitary sewer and metered water service will be subject to Utility Expansion Charges 'UEC' payable at the time service is requested.

This statement of availability will remain in effect for a period of one year and applies only to the development identified herein. Changes in the proposed development may require reevaluation of availability and should be brought to our attention as soon as possible. Any outstanding pro rata and standby assessments must be paid at the time service is taken. All charges and rates collected will be based upon applicable ordinances and policies in effect at the time service is actually requested and authorized. Please do not hesitate to call if you have questions or need additional information: 924-3987.

Sincerely,


John F. McDonough
Engineering Associate
Development Services

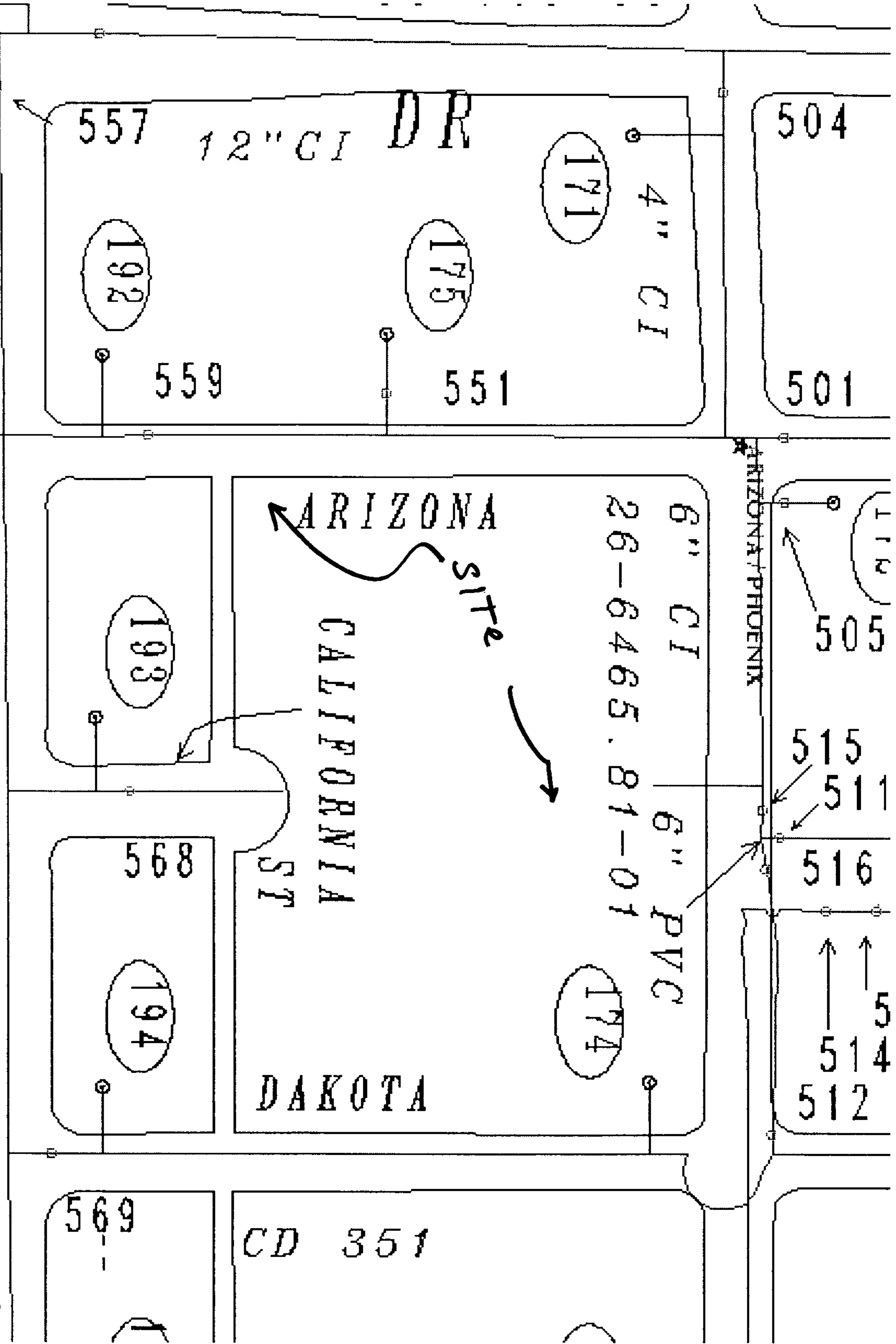
Attachment: System / Location Map(s)

c: Josie Jaramillo, COA PWD
f/ readers #20802
f/ availability H-18
f/ #1001987

Pan/Zoom

X,Y: 7.70177;2.62057
dx,dy: 3.81398,0.07382

Dist: 3.81469



See Letter of
8-9-02
20802

water
↑

8/02

**FIRE HYDRANT AND INSTANTANEOUS
FIRE FLOW REQUIREMENTS**

ALBUQUERQUE FIRE DEPARTMENT
FIRE MARSHAL'S PLAN CHECKING OFFICE
600 2ND ST N.W, 8TH Floor, Plaza del Sol
Albuquerque, New Mexico 87102
(505) 924-3611 / FAX (505) 924-3619



ZONE MAP NUMBER _____

REFERRAL # _____

SITE ADDRESS 2626 ARIZONA ST NE

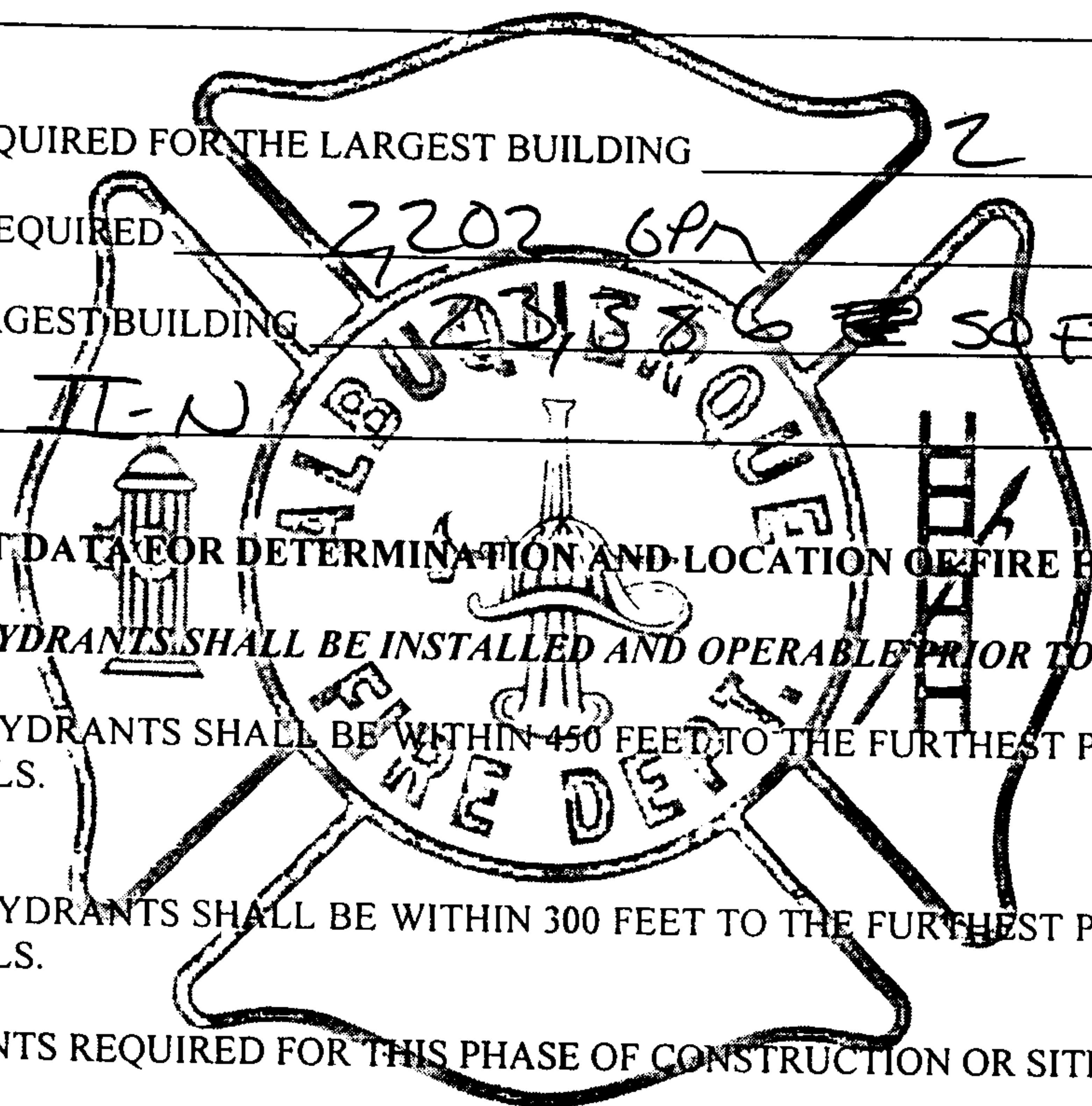
LEGAL DESCRIPTION: SUBJECT TRACT _____

NUMBER HYDRANTS REQUIRED FOR THE LARGEST BUILDING 2

INSTANTANEOUS FLOW REQUIRED 2,202 GPM

SQUARE FOOTAGE - LARGEST BUILDING 38,650 SQ FT

TYPE CONSTRUCTION II-N



PERTINENT DATA FOR DETERMINATION AND LOCATION OF FIRE HYDRANTS

ALL REQUIRED HYDRANTS SHALL BE INSTALLED AND OPERABLE PRIOR TO CONSTRUCTION

ALL REQUIRED HYDRANTS SHALL BE WITHIN 450 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

ALL REQUIRED HYDRANTS SHALL BE WITHIN 300 FEET TO THE FURTHEST POINT OF THE BUILDING AS A TRUCK ROLLS.

TOTAL NUMBER HYDRANTS REQUIRED FOR THIS PHASE OF CONSTRUCTION OR SITE 2

DATE: 8/6/02

FIRE DEPARTMENT INSPECTOR: [Signature]

RECEIVED BY: [Signature]

TELEPHONE: 765-1020

NOTES:

1. ALL HYDRANTS NEEDED TO PROTECT AN INDIVIDUAL BUILDING MUST BE ABLE TO PROVIDE A MINIMUM RESIDUAL OF 20 PSI, UNDER REQUIRED FIRE FLOW CONDITIONS.
2. DETERMINATION OF THE WATER SYSTEM CAPASITY TO PROVIDE REQUIRED FIRE FLOW SHALL BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION (924-3987), BASED ON PEAK DAY CRITERIA.
3. DESIGN OF PRIVATE FIRE PROTECTION SYSTEMS IS THE RESPOSIBILITY OF THE DEVELOPER'S CONSULTANT. APPROVAL OF DESIGN MUST BE MADE BY THE PUBLIC WORKS DEPARTMENT, UTILITY DEVELOPMENT SECTION.

WHITE - INDIVIDUAL YELLOW - FILE

ERC July 02



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 24, 2002

Jeff Mortensen, PE
Jeff Mortensen & Associates, Inc
6010-B Midway Park Blvd. NE
Albuquerque, NM 87109

**Re: St. Johns Methodist Church Addition Grading and Drainage Plan
Engineer's Stamp dated 5-28-02 (H18/D10)**

Dear Mr. Mortensen,

Based upon the information provided in your submittal dated 5-29-02, the above referenced plan is approved for Site Development Plan for Building Permit action by the DRB. It is also approved for Building Permit and SO#19 Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. A separate permit (SO#19) is required for construction within City R/W. A copy of this approval letter must be on hand when applying for this permit.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986.

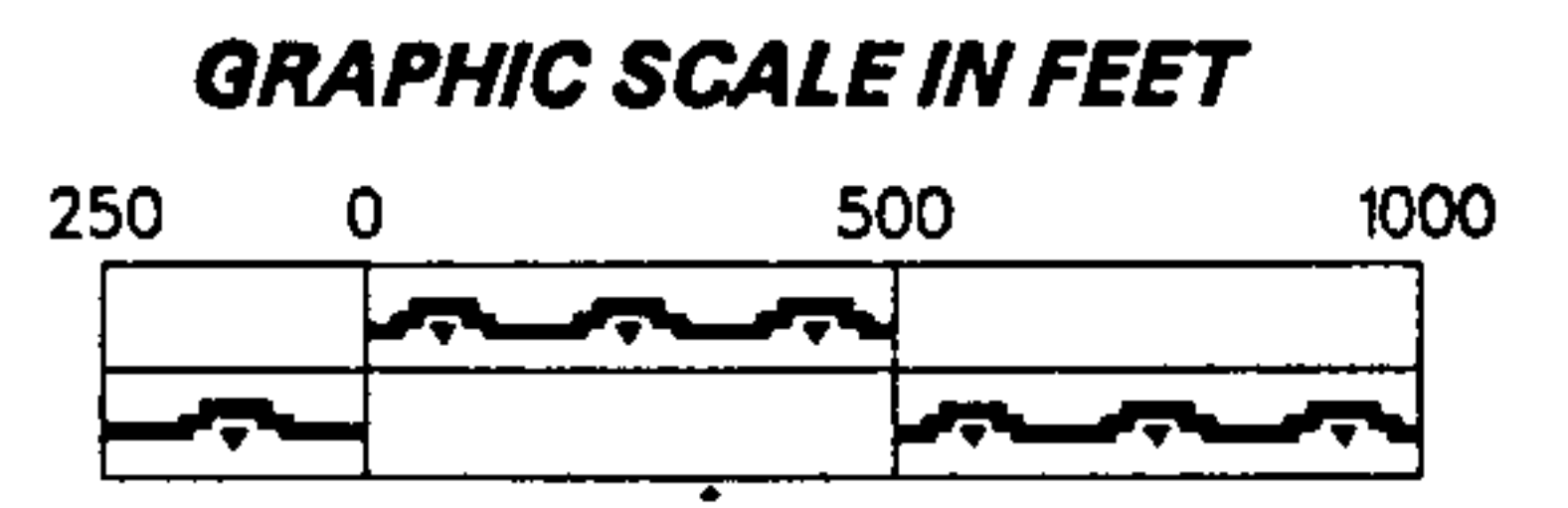
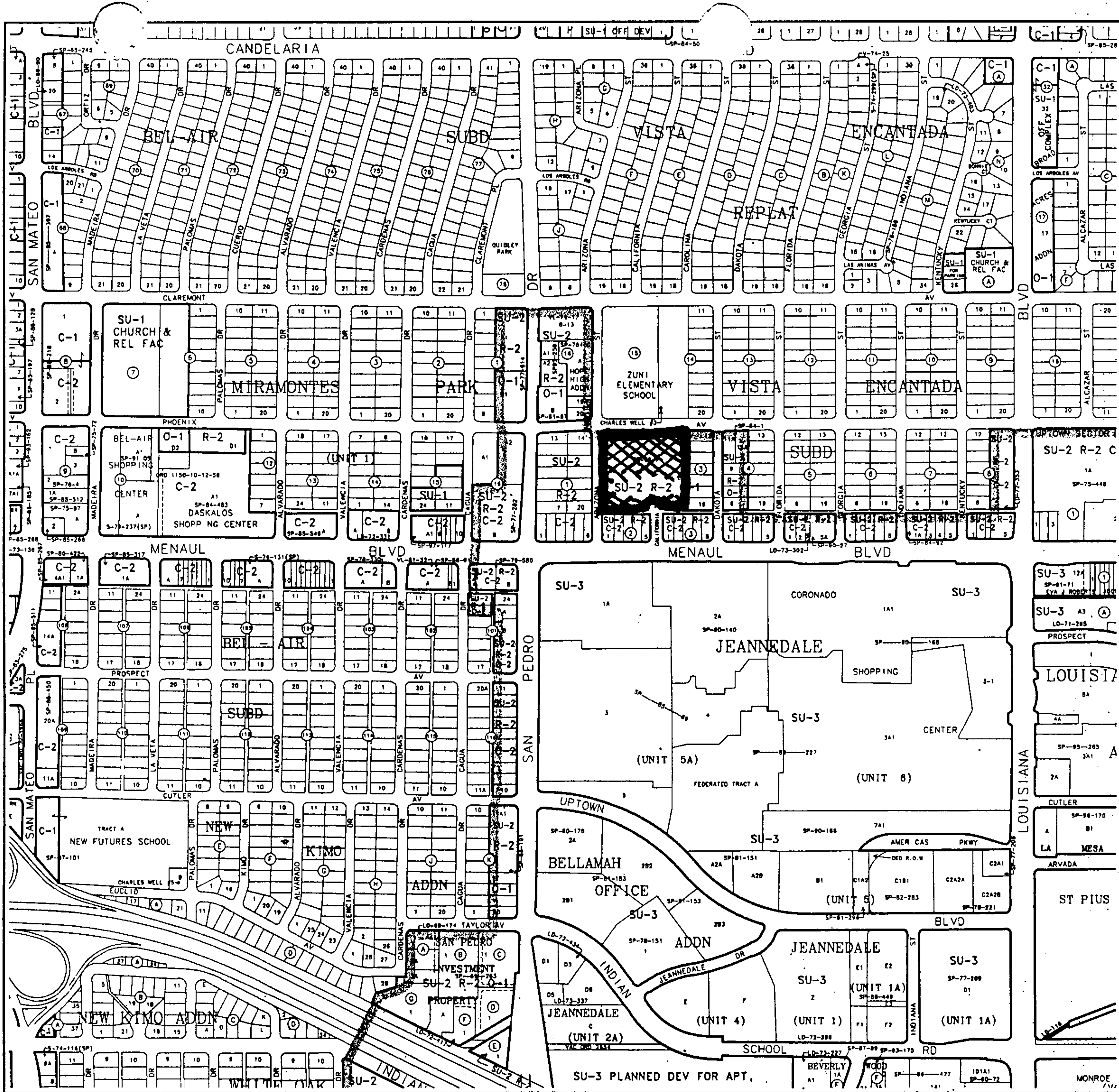
Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, PWD
Development and Building Services

C: file

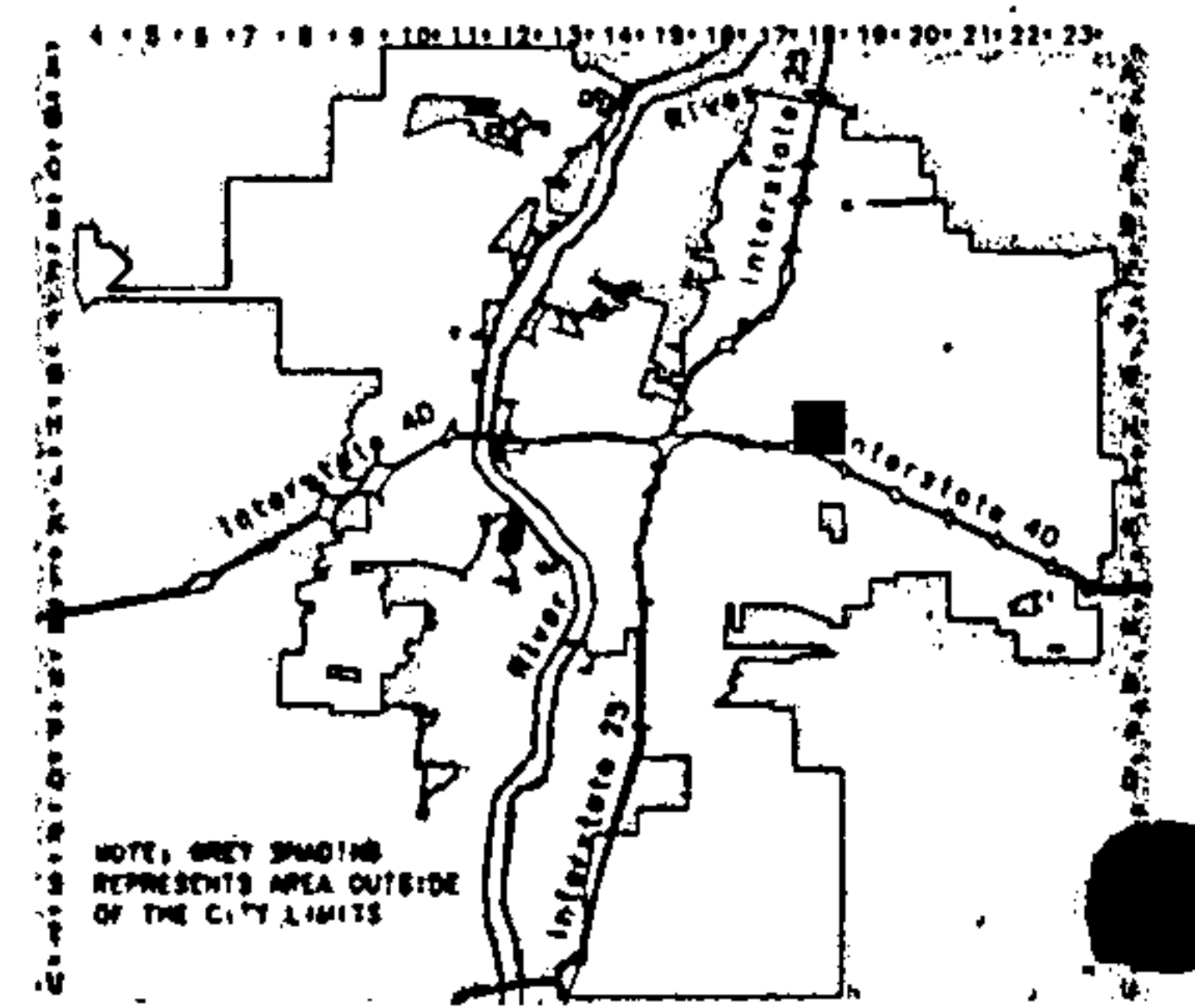
XC: Nancy Bartlett Quintana

9811A 2B/AF



Albuquerque Geographic Information System
PLANNING DEPARTMENT
 © Copyright 1997

Map Amended through October 30, 1997



LEGAL DESCRIPTION
 TION
 RSE
 SEC 12

UNIFORM PROPERTY CODE
 1-018-068

H-18-Z

August 6, 2002

City of Albuquerque
Planning Department
Development Review Board
600 2nd Street NW
Albuquerque, NM 87102

Re: St. John's United Methodist Church
EPC Project # 1001987/02 EPC-00836

Dear Development Review Board Commission:

Custer Basarich Architects is the agent for St. John's United Methodist Church of Albuquerque (owner) regarding the Development Review Board review of this case. This letter is to illustrate that all of the conditions in the Environmental Planning Commission (EPC) Official Notification of Decision (attached) have all been met. The legal description of the subject property is: Tract(s) M, Vista Encantado/ St. John's Methodist, Zoned SU-2, R-2/O-1, located on Arizona Street NE, between Phoenix Avenue NE and Menaul Boulevard, NE, containing approximately 5 acres, Zone Atlas page H-18-Z.

Condition #1: This letter specifies the following conditions have been met. Please note in the southwest parking lot that the Solid Waste Department required a change to the location of the refuse container due to the Public Works Departments deletion of the north parking lot access. That caused a reduction of one parking space. Also, the landscape buffer along the west parking lot as required by the EPC reduced the original parking count by two spaces. The total parking spaces provided still exceed the required amount.

Condition #2: The attached building elevations on DRB Submittal Sheet #5 indicate window glazing material and colors as well as the color of the aluminum framing.

Condition #3: The attached building elevation drawings on DRB Submittal Sheet #5 indicate the new (future phases) that are to be red brick to match the existing red brick.

Condition #4: The play yard shade structure is described in details 7 & 8 on the building elevations drawing sheets DRB Submittal Sheet #5, attached.

Condition #5: A note was added to the architectural site plan (DRB Submittal sheet #1) stating, "Delegation of approval for DRB expires five years from the date of this approval."

Condition #6:

- a. The site plan shall comply and be designed per DPM standards.
- b. The developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan.
- c. Wheel chair accessible ramps will be constructed at the southeast corner of Arizona and Phoenix, and the southwest corner of the north drive and Phoenix.
- d. Only the south entrance to the west parking lot will be provided.
- e. Existing public improvements shall be contained within the existing right-of-way easements.
- f. Instantaneous flow and hydrant placement requirements were verified with the Fire Marshal and Utility Development. Please see the attached Statement of Availability from John McDonough; Development Services (C.O.A.) dated August 9, 2002 and the Fire Hydrant Instantaneous Fire Flow Requirements, dated August 6, 2002.
- g. Bradley Bingham, Development and Building Services (C.O.A.), approved the Grading and Drainage Plan in his letter dated June 24, 2002, attached.

Condition #7: The Landscape Planting Plan (DRB Submittal Sheet #2) legend indicates graphic symbols for easier understanding of the plans.

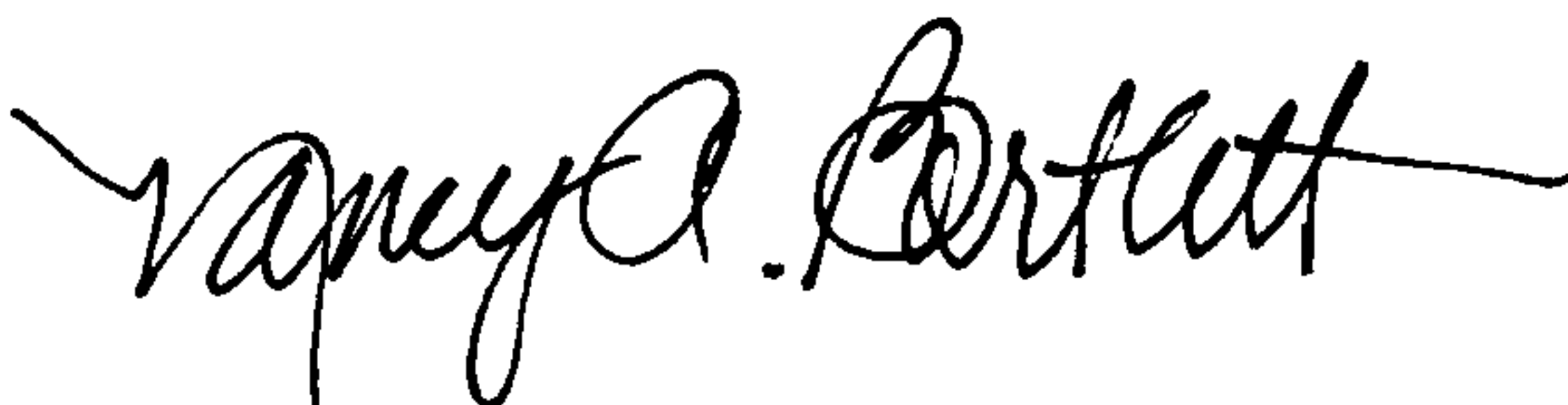
Conditions #8 & 9: The landscape buffer and landscape islands with trees are shown on the Landscape Planting Plan, DRB Submittal Sheet #2, attached.

Conditions # 10 & 11: The landscape buffers along Phoenix shall have 20% living ground cover, the west parking lots shall include landscape buffers and trees as required (DRB Submittal Sheet #2).

Custer Basarich Architects respectfully request the Development Review Board's review and approval of this project for building permit approval.

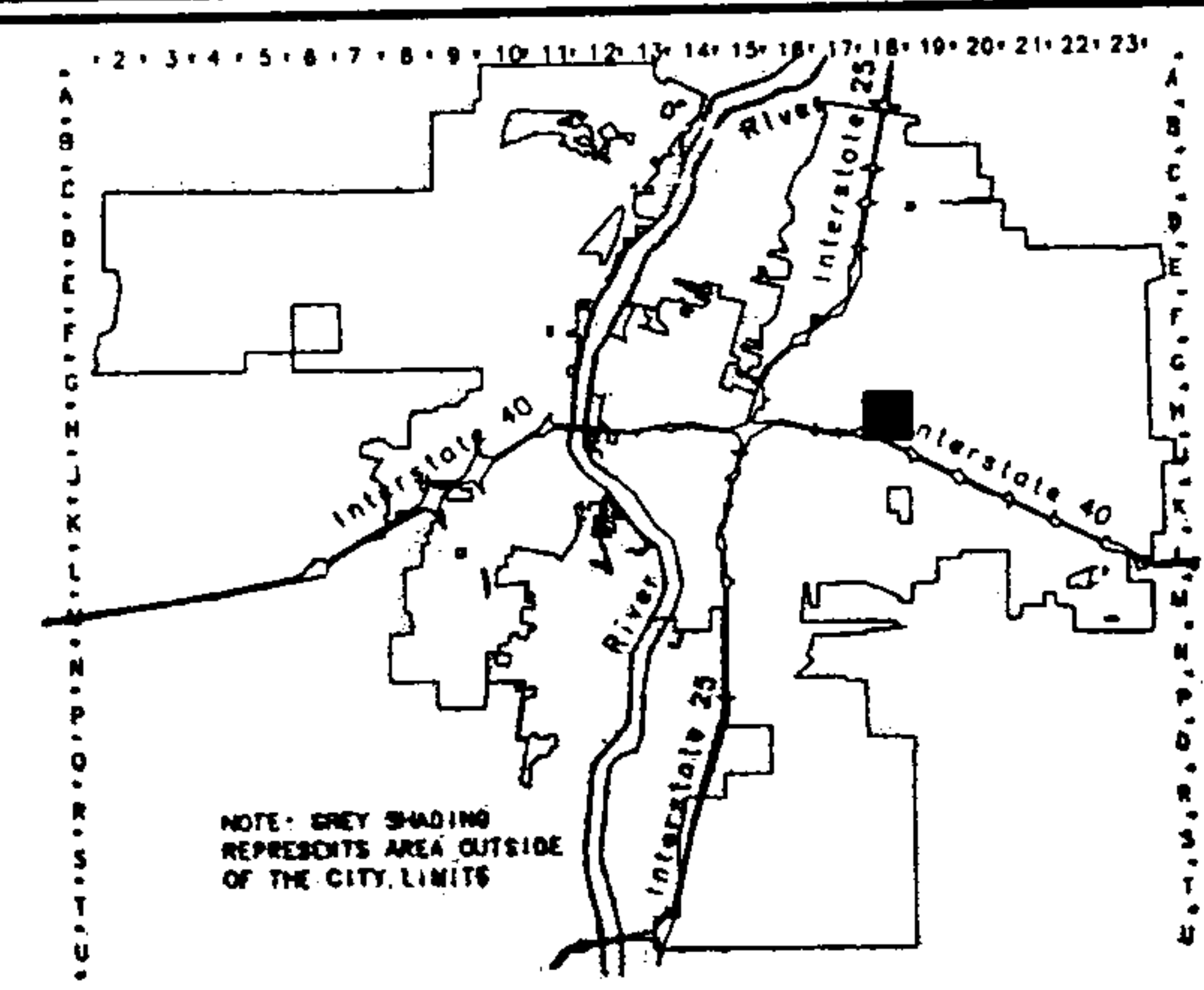
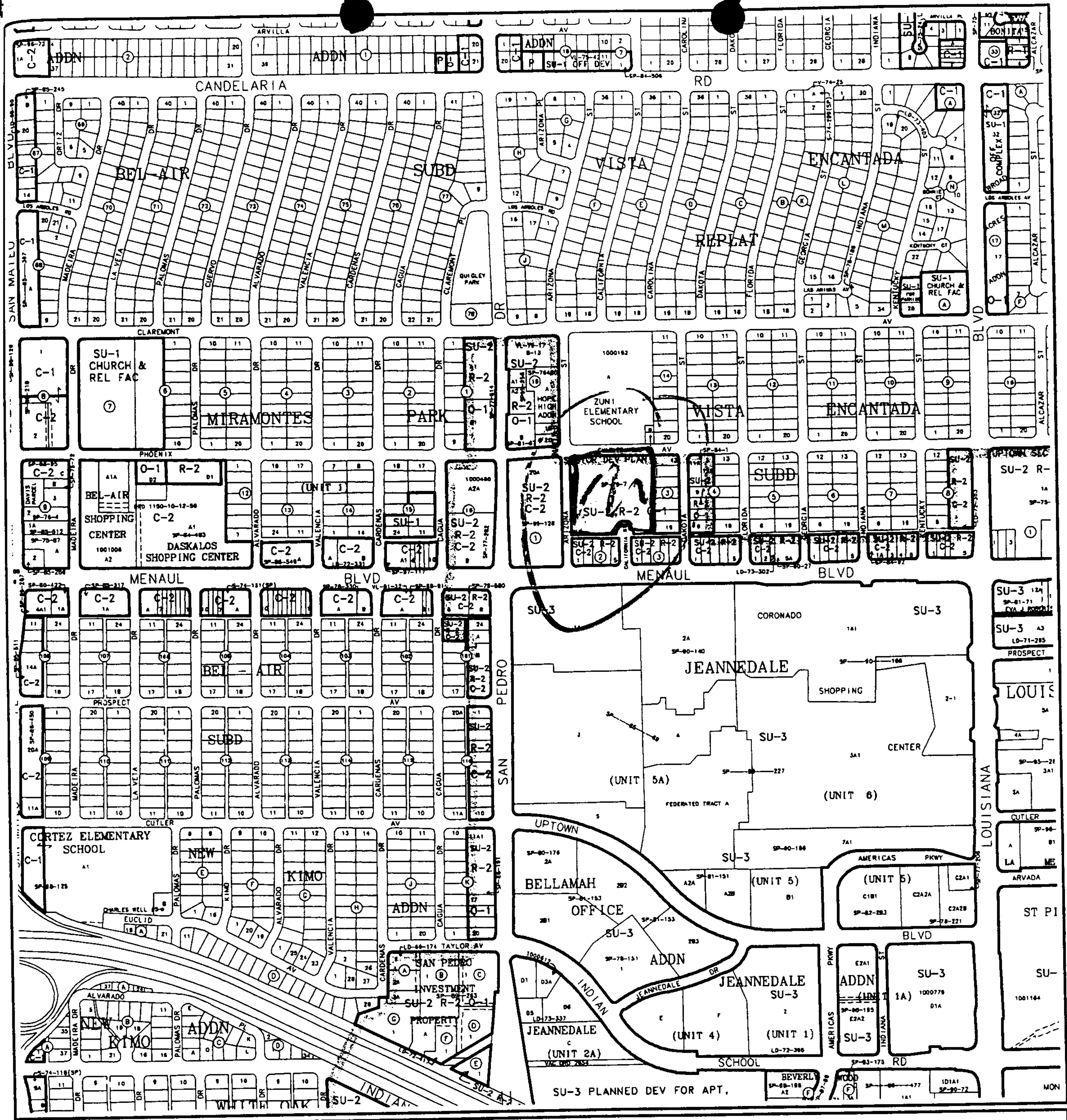
If you have any questions please feel free to contact me at (505) 765-1020.

Sincerely,
Custer Basarich, Ltd.

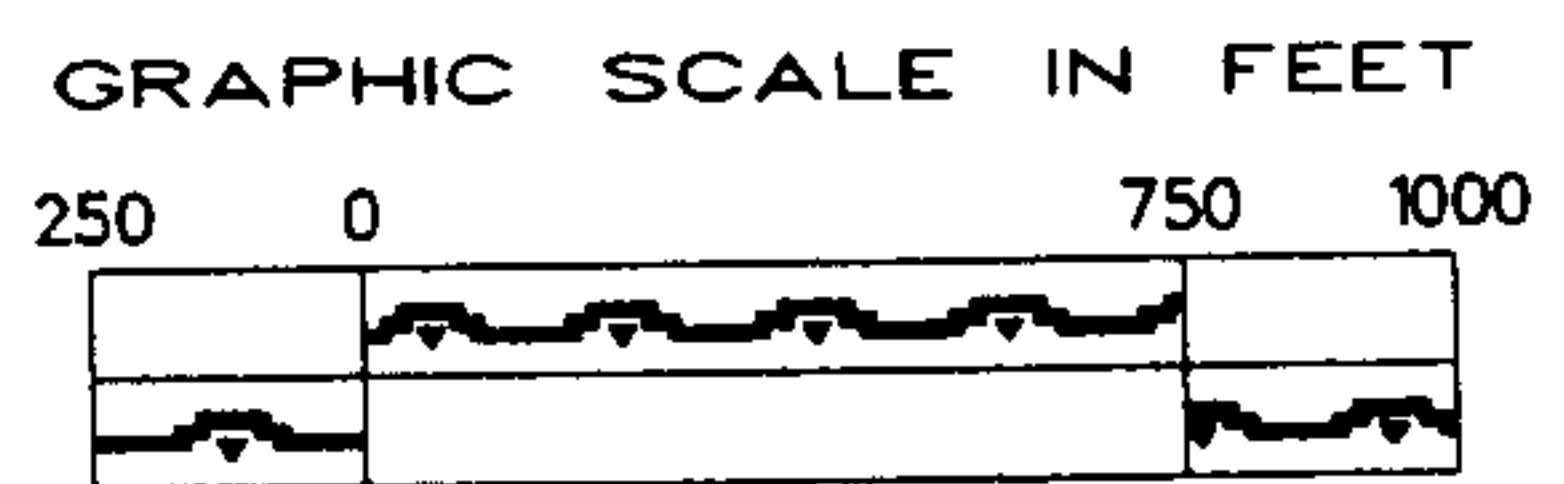


Nancy A. Bartlett, AIA
Associate

Attachments: EPC Official Notification of Decision, dated 7/19/02
Statement of Availability, dated 8/9/02
Fire Hydrant and Instantaneous Fire Flow Requirements, dated 8/6/02
Approval of Grading and Drainage Plan, dated 6/4/02



CITY OF
Albuquerque
Geographic Information System
PLANNING DEPARTMENT
© Copyright 2002



Zone Atlas Page

H-18-Z

Map Amended through April 03, 2002