

OGLE
AVE. S.E.

WILLIAM ST. S.E.

GALENA ST. S.E.

REFUSE

OUTDOOR
ACTIVITY TREE

DAYCARE
PLAYGROUND

REMODELED
PLAYGROUND

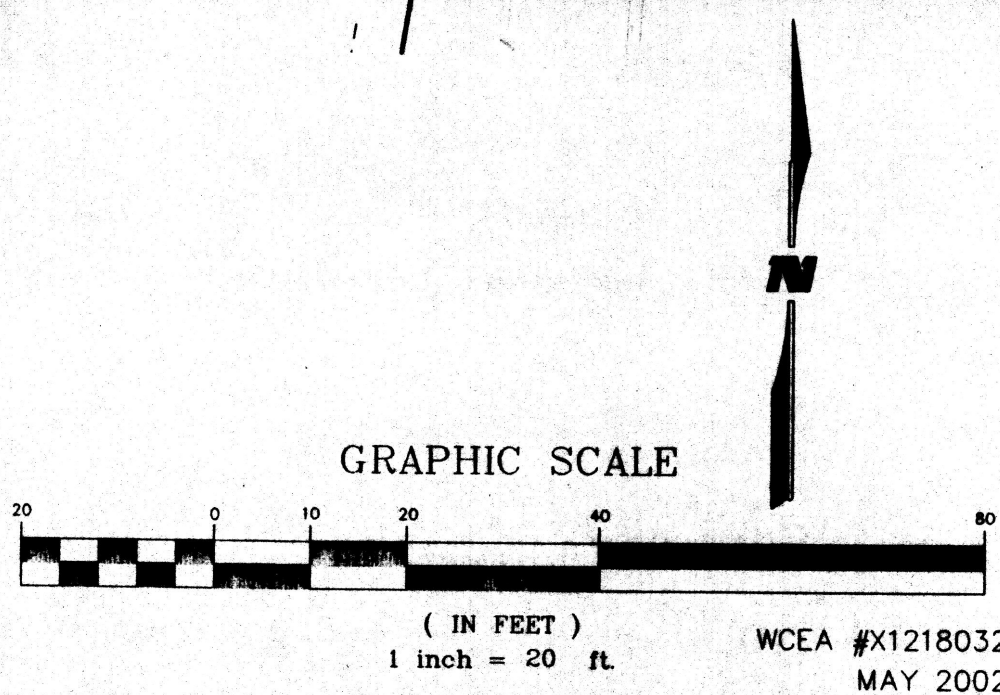
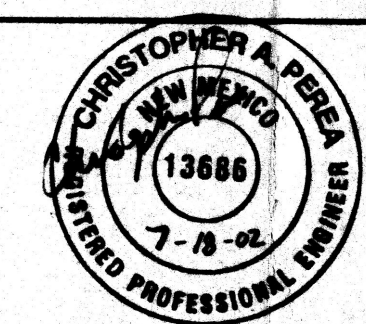
**WILSON
& COMPANY**
2600 THE AMERICAN ROAD S.E.
SUITE 100
RIO RANCHO, NEW MEXICO
87124
(505) 898-8021

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP

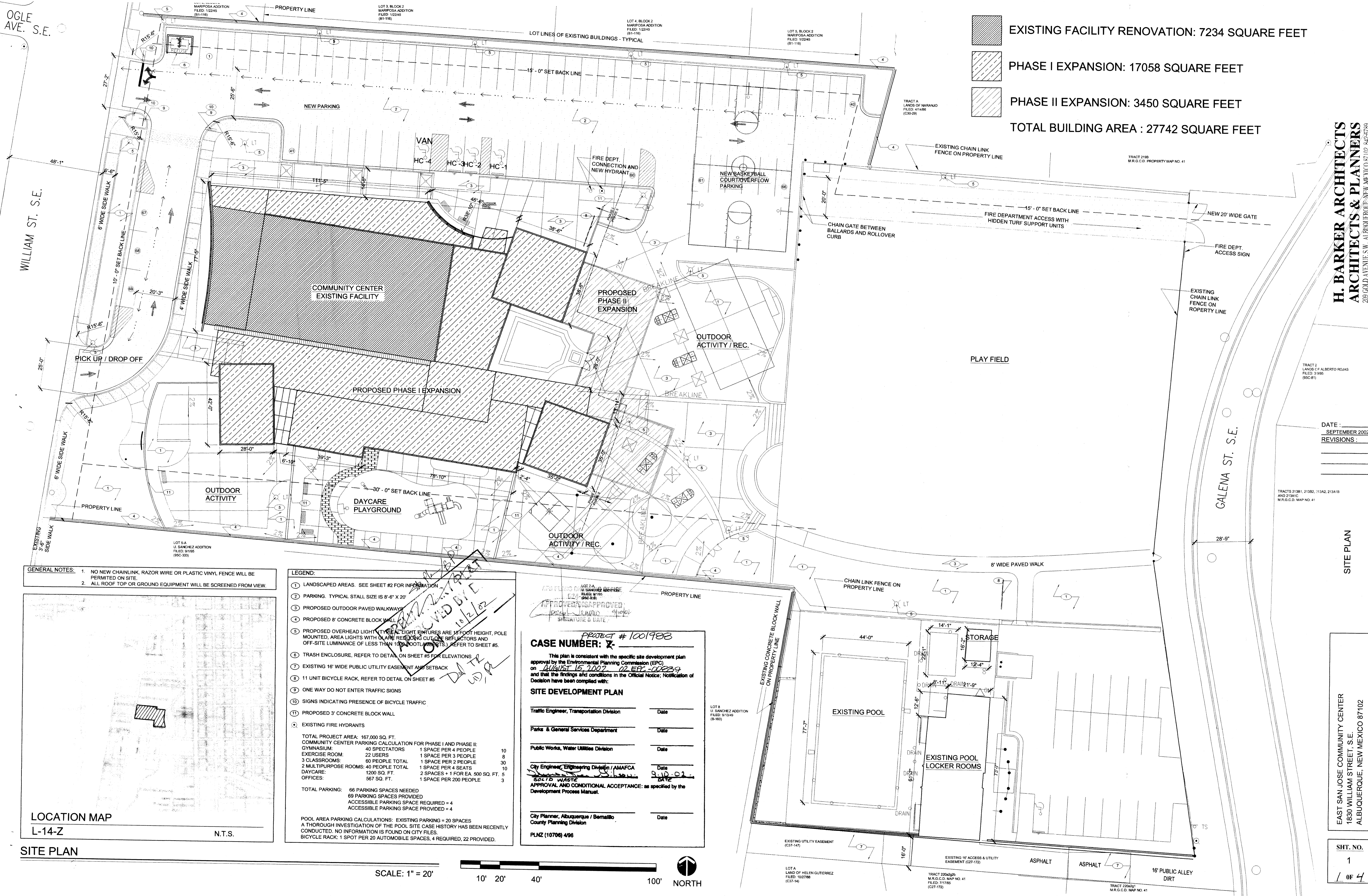
**EAST SAN JOSE COMMUNITY CENTER & PARK
CONCEPTUAL UTILITY PLAN**

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.

City Project No. Zone Map No. L-14 Sheet **5** Of **7**



PLANNING



- EXISTING FACILITY RENOVATION: 7234 SQUARE FEET
- PHASE I EXPANSION: 17058 SQUARE FEET
- PHASE II EXPANSION: 3450 SQUARE FEET
- TOTAL BUILDING AREA : 27742 SQUARE FEET**

**H. BARKER ARCHITECTS
 ARCHITECTS & PLANNERS**
 209 GOLD AVENUE S.W., ALBUQUERQUE, NEW MEXICO 87102-8467(AS)

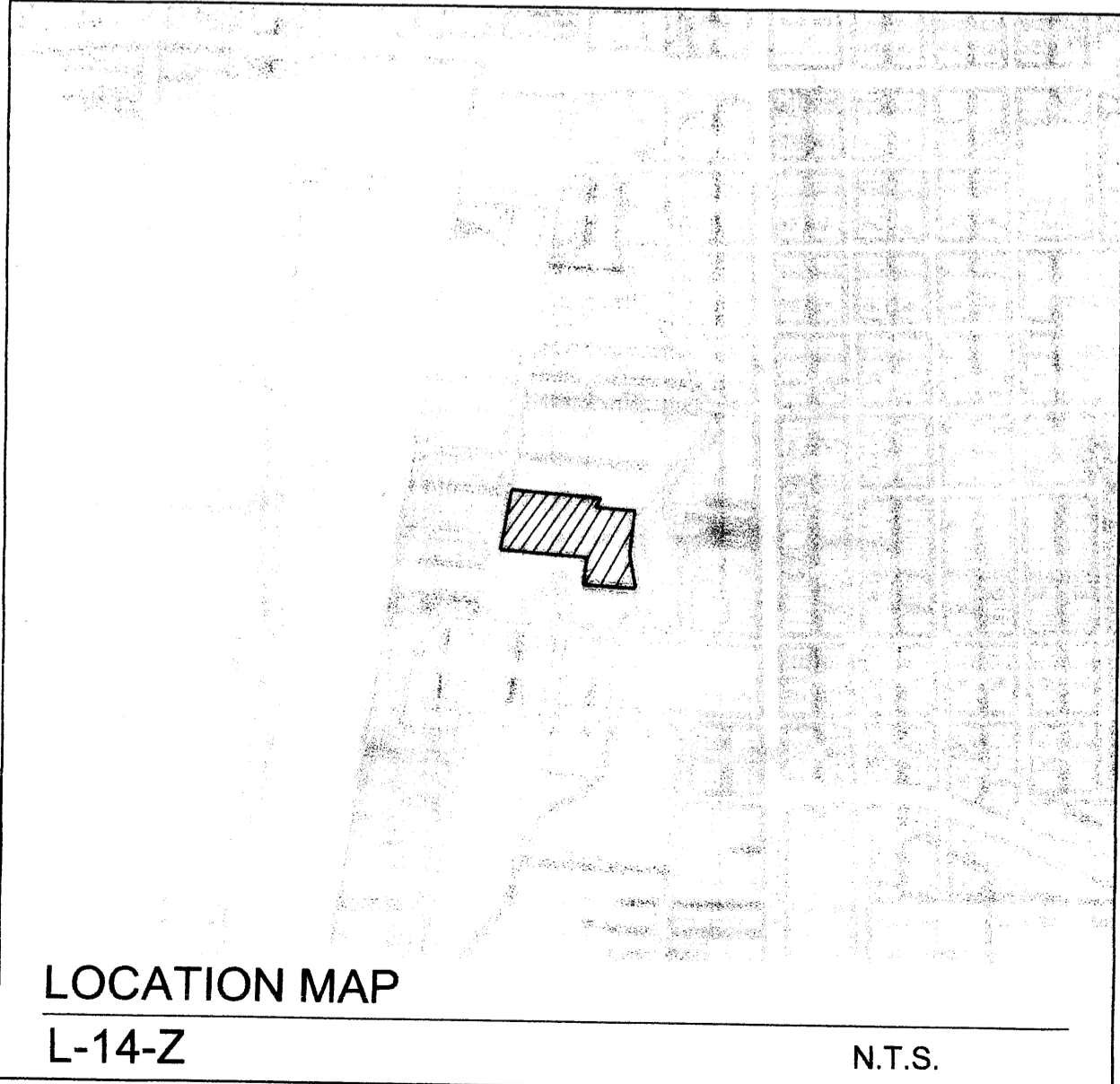
DATE : _____
 SEPTEMBER 2002
 REVISIONS : _____

SITE PLAN

EAST SAN JOSE COMMUNITY CENTER
 1830 WILLIAM STREET, S.E.
 ALBUQUERQUE, NEW MEXICO 87102

SHT. NO.
 1
 OF 4

GENERAL NOTES:
 1. NO NEW CHAINLINK, RAZOR WIRE OR PLASTIC VINYL FENCE WILL BE PERMITTED ON SITE.
 2. ALL ROOF TOP OR GROUND EQUIPMENT WILL BE SCREENED FROM VIEW.



LEGEND:

- 1 LANDSCAPED AREAS. SEE SHEET #2 FOR INFORMATION
- 2 PARKING. TYPICAL STALL SIZE IS 8'-6" X 20'
- 3 PROPOSED OUTDOOR PAVED WALKWAYS
- 4 PROPOSED 8" CONCRETE BLOCK WALL
- 5 PROPOSED OVERHEAD LIGHT FIXTURES ARE 45 FOOT HEIGHT, POLE MOUNTED, AREA LIGHTS WITH 0.4 ARE REDUCING OUTSIDE REFLECTORS AND OFF-SITE LUMINANCE OF LESS THAN 100 FOOTLAMBERTS. REFER TO SHEET #5.
- 6 TRASH ENCLOSURE. REFER TO DETAIL ON SHEET #5 FOR ELEVATIONS
- 7 EXISTING 16" WIDE PUBLIC UTILITY EASEMENT AND SETBACK
- 8 11 UNIT BICYCLE RACK. REFER TO DETAIL ON SHEET #5
- 9 ONE WAY DO NOT ENTER TRAFFIC SIGNS
- 10 SIGNS INDICATING PRESENCE OF BICYCLE TRAFFIC
- 11 PROPOSED 3" CONCRETE BLOCK WALL
- 12 EXISTING FIRE HYDRANTS

TOTAL PROJECT AREA: 167,000 SQ. FT.
 COMMUNITY CENTER PARKING CALCULATION FOR PHASE I AND PHASE II:
 GYMNASIUM: 40 SPECTATORS 1 SPACE PER 4 PEOPLE 10
 EXERCISE ROOM: 22 USERS 1 SPACE PER 3 PEOPLE 8
 3 CLASSROOMS: 60 PEOPLE TOTAL 1 SPACE PER 2 PEOPLE 30
 2 MULTIPURPOSE ROOMS: 40 PEOPLE TOTAL 1 SPACE PER 4 SEATS 10
 DAYCARE: 1200 SQ. FT. 2 SPACES + 1 FOR EA. 500 SQ. FT. 5
 OFFICES: 567 SQ. FT. 1 SPACE PER 200 PEOPLE 3

TOTAL PARKING: 66 PARKING SPACES NEEDED
 69 PARKING SPACES PROVIDED
 ACCESSIBLE PARKING SPACE REQUIRED = 4
 ACCESSIBLE PARKING SPACE PROVIDED = 4

POOL AREA PARKING CALCULATIONS: EXISTING PARKING = 20 SPACES
 A THOROUGH INVESTIGATION OF THE POOL SITE CASE HISTORY HAS BEEN RECENTLY CONDUCTED. NO INFORMATION IS FOUND ON CITY FILES.
 BICYCLE RACK: 1 SPOT PER 20 AUTOMOBILE SPACES. 4 REQUIRED, 22 PROVIDED.

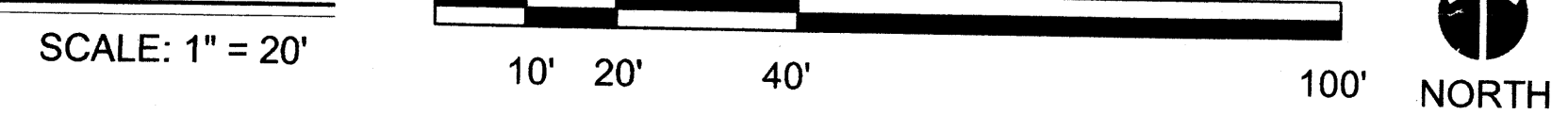
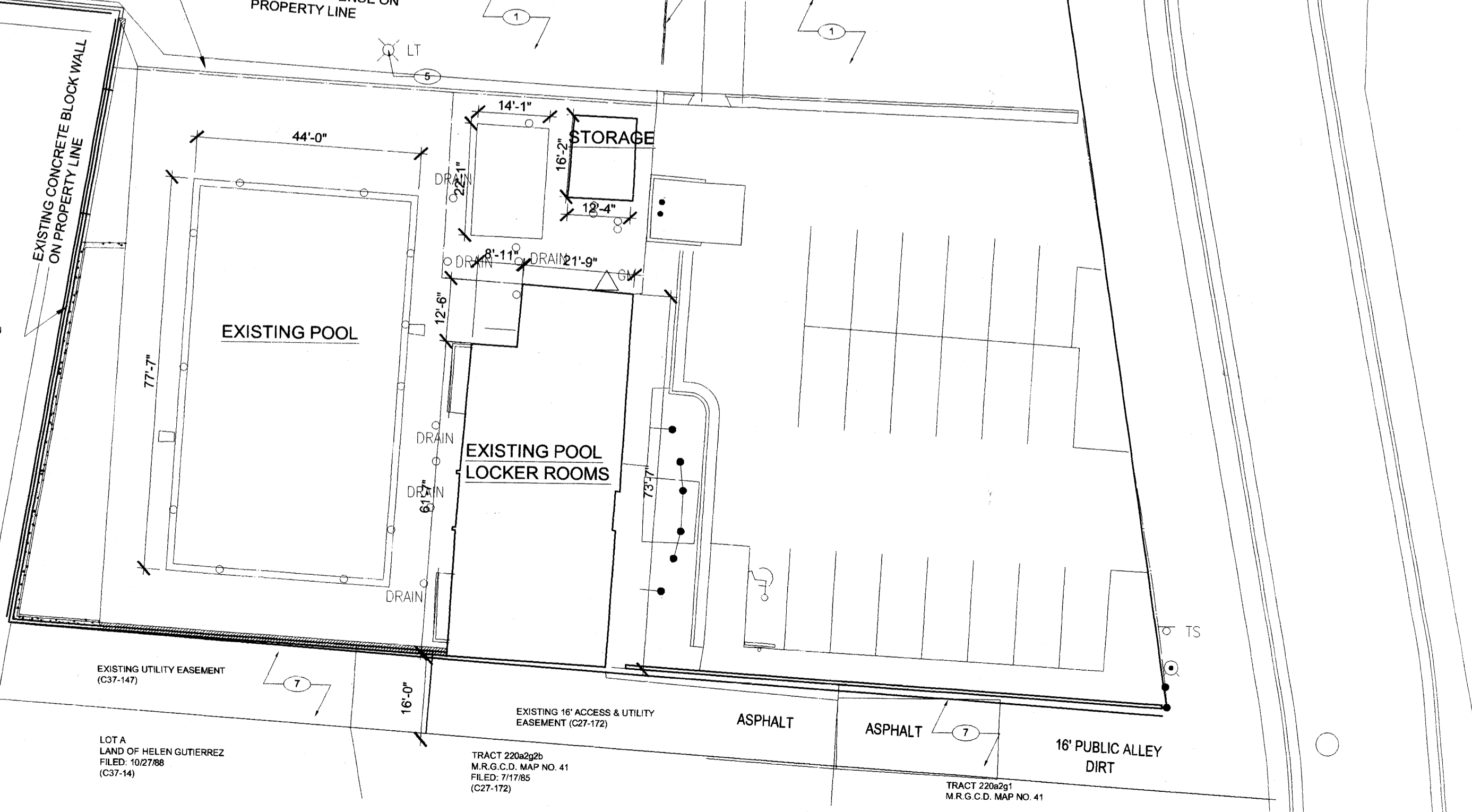
PROJECT # 1001988
CASE NUMBER: Z-

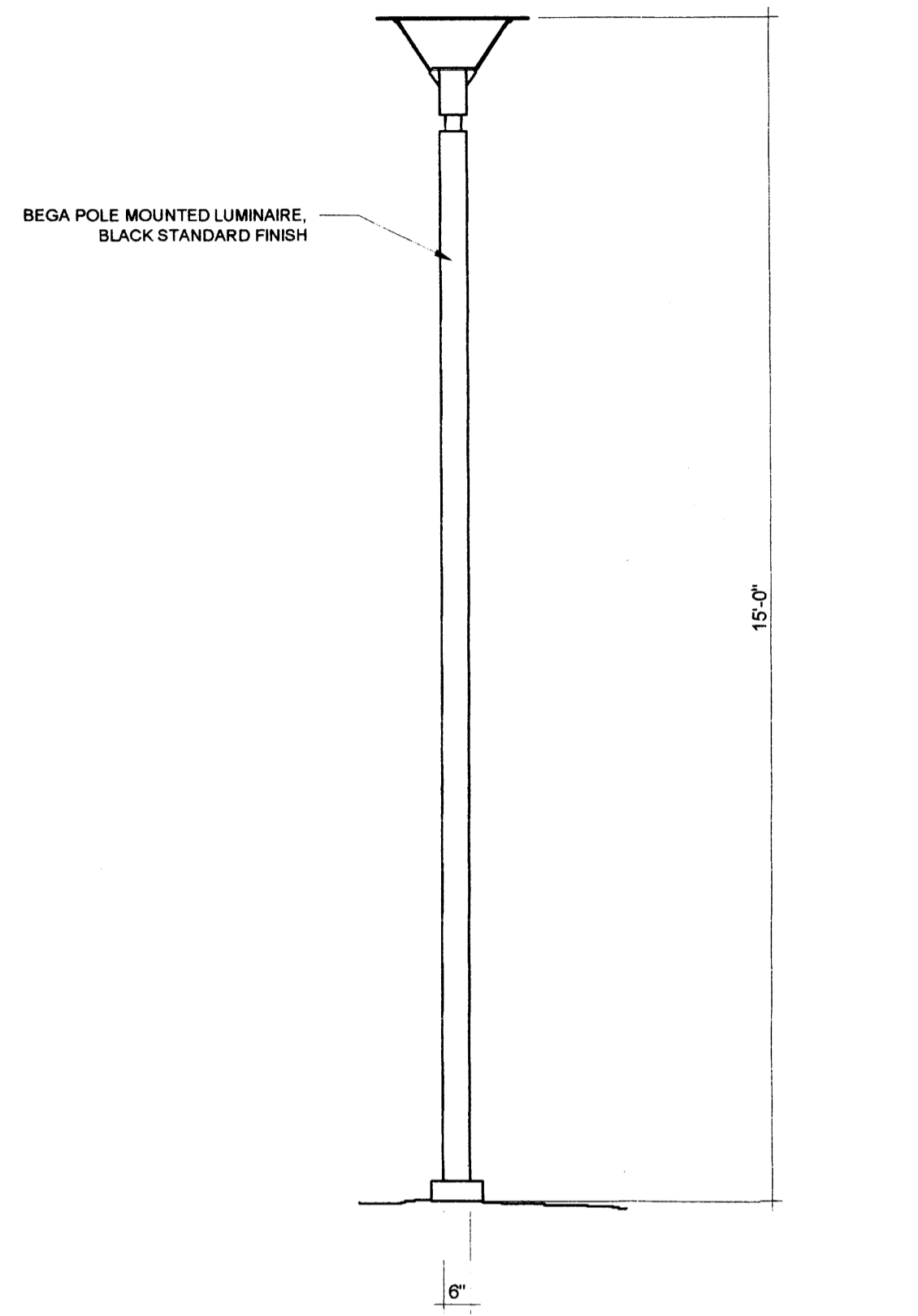
This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on August 15, 2007 02 EPC-00239 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with.

SITE DEVELOPMENT PLAN

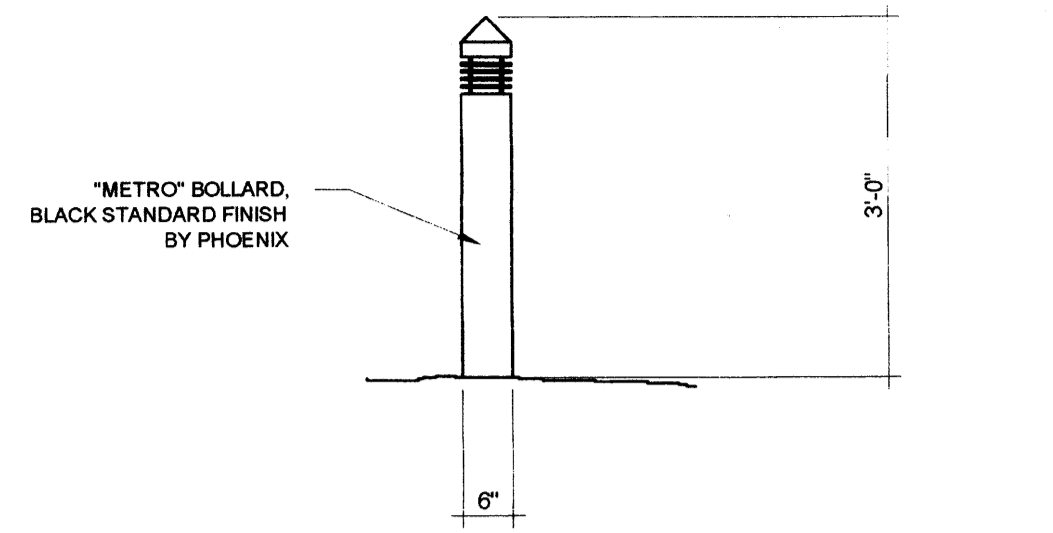
Traffic Engineer, Transportation Division	Date
Parks & General Services Department	Date
Public Works, Water Utilities Division	Date
City Engineer, Engineering Division / AMAFCA	Date
SOILS WASTE	Date
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	Date
City Planner, Albuquerque / Bernalillo County Planning Division	Date

PLNZ (10706) 496

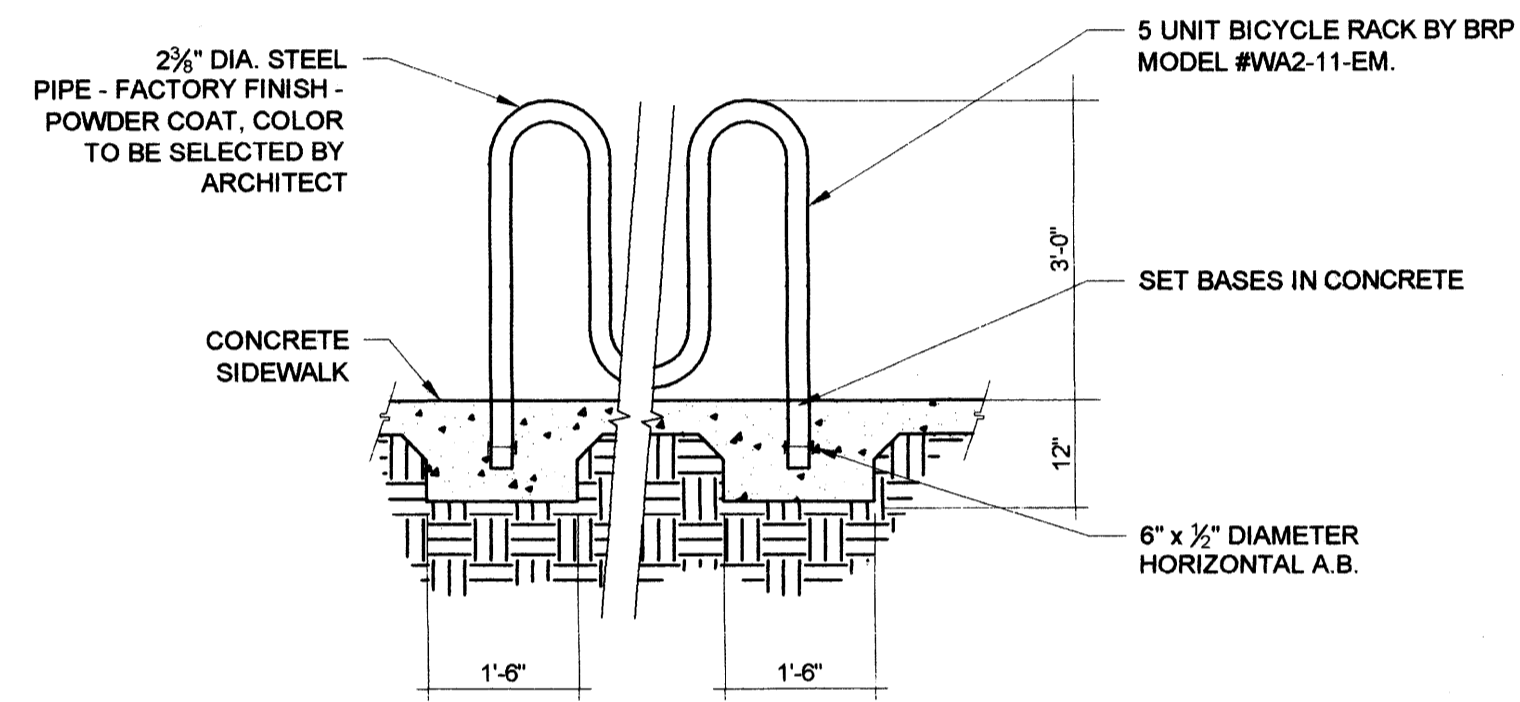




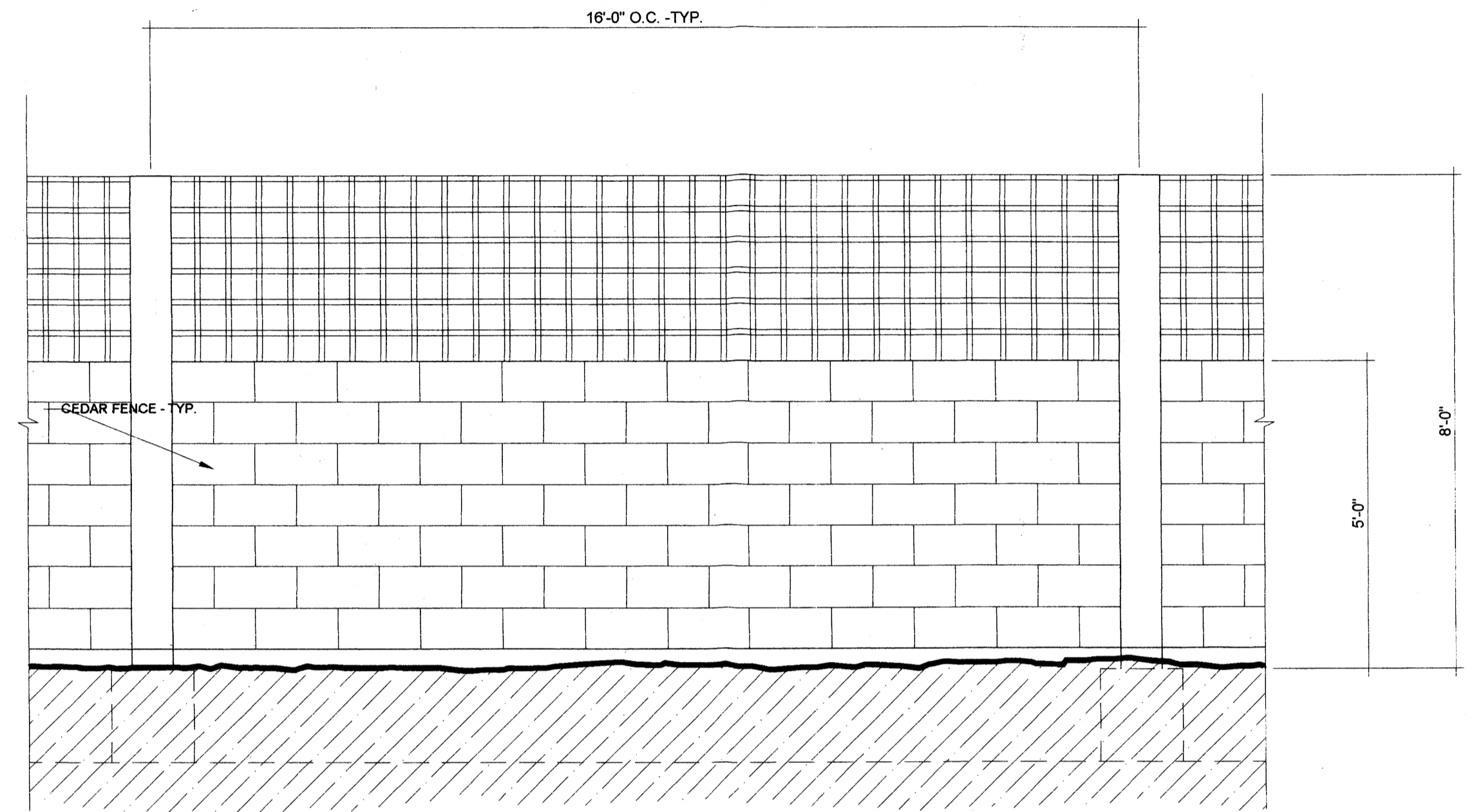
OUTSIDE LIGHT FIXTURE - TYPICAL
NOT TO SCALE



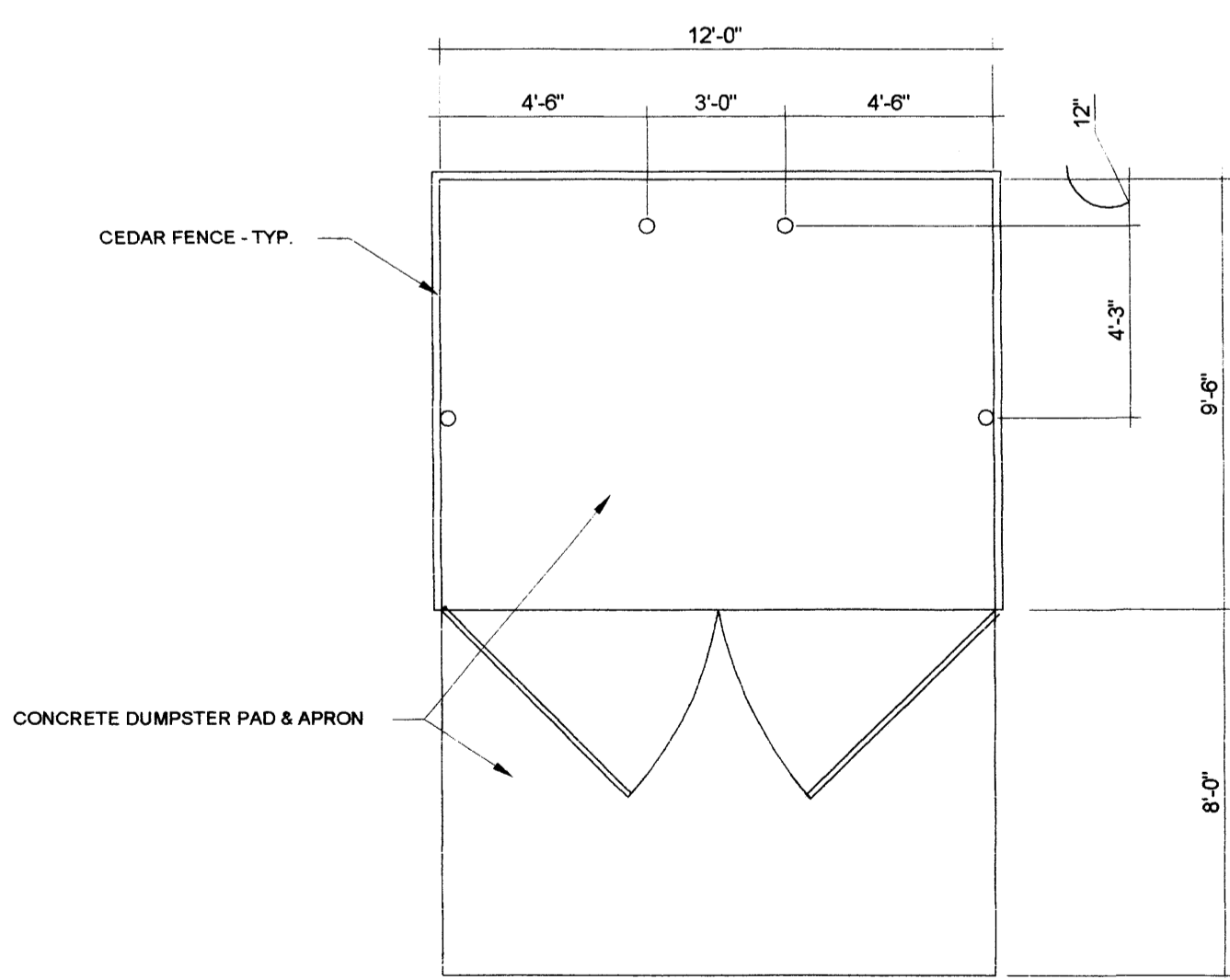
BOLLARD - TYPICAL
NOT TO SCALE



BIKE RACK DETAIL
NOT TO SCALE

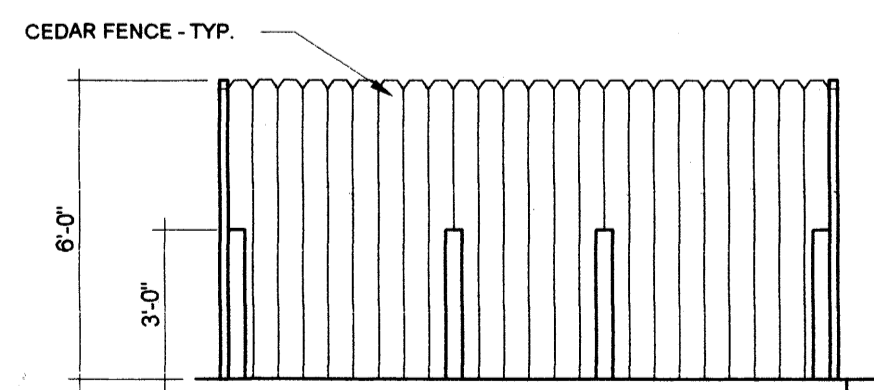


WALL - TYPICAL
NOT TO SCALE

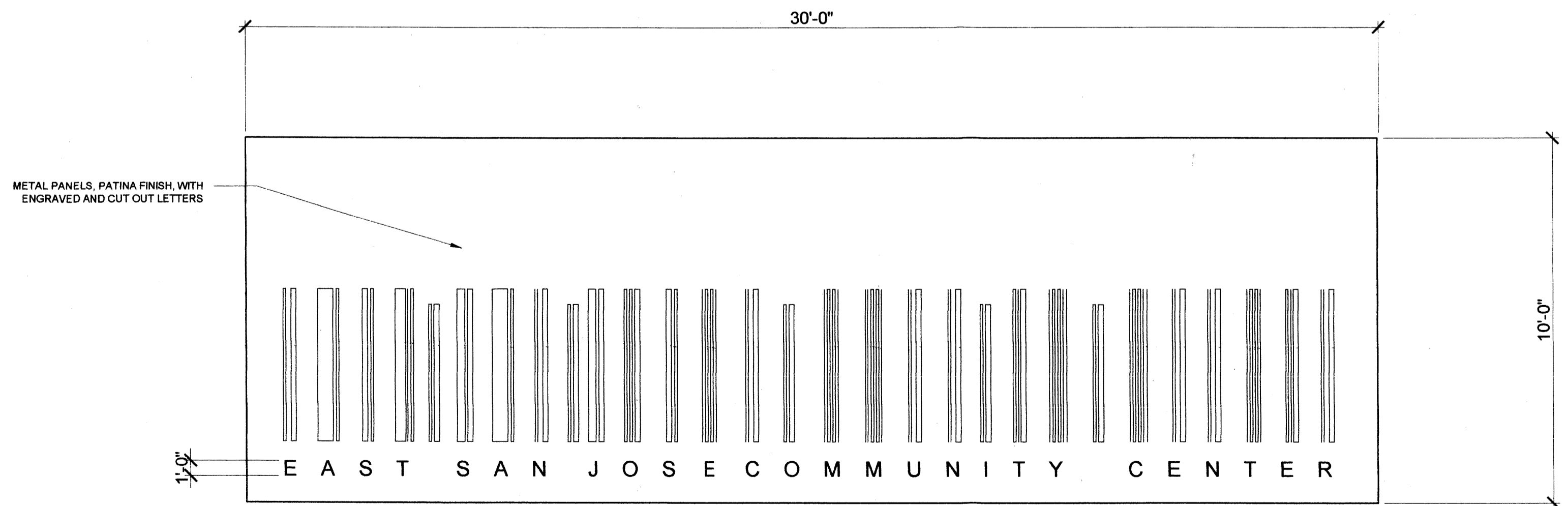


PLAN VIEW
TRASH ENCLOSURE

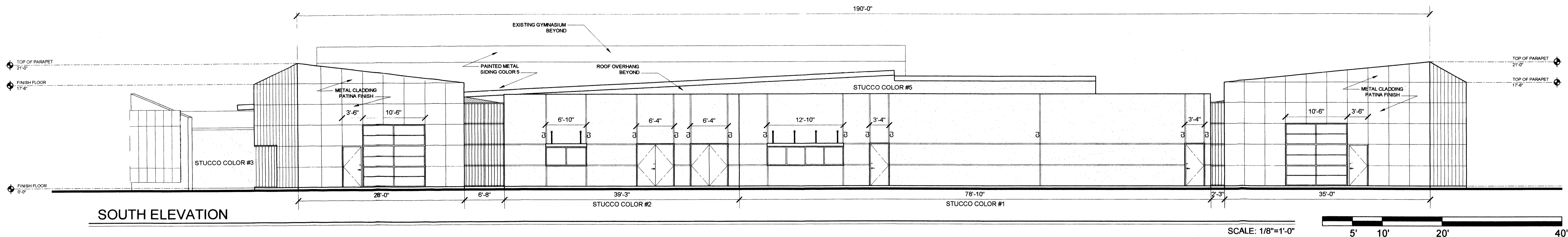
NEW CITY TRASH ENCLOSURE STANDARD



FRONT ELEVATION
NOT TO SCALE

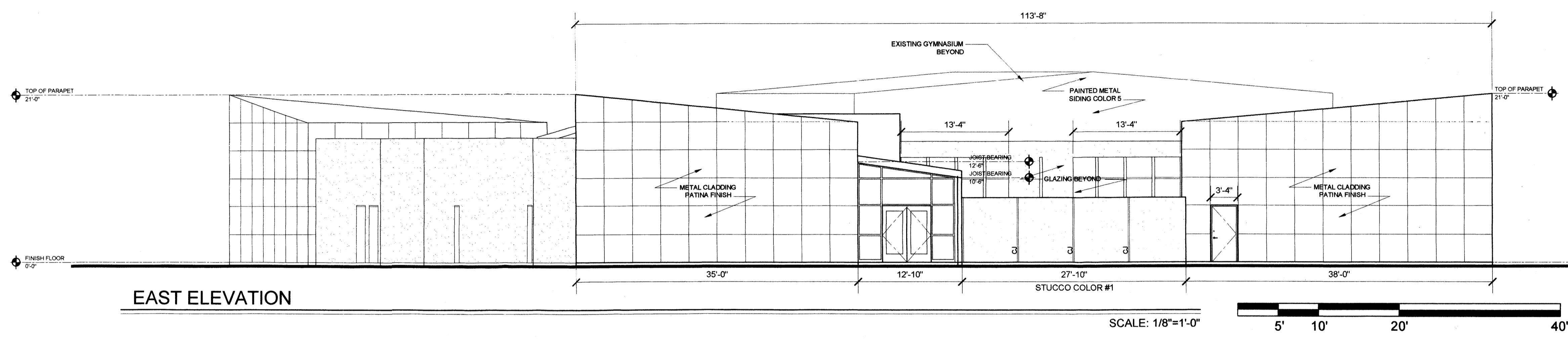


SIGN DETAIL
NOT TO SCALE



SOUTH ELEVATION

SCALE: 1/8"=1'-0" 5' 10' 20' 40'



EAST ELEVATION

SCALE: 1/8"=1'-0" 5' 10' 20' 40'

GENERAL NOTES

EACH PORTION OF THE BUILDING WILL BE ONE OF FIVE COLORS. THE COLORS BY "EL REY" STUCCO AND DUNN EDWARDS PAINT ARE AS FOLLOWS:

1. EL REY 2577 "VINTAGE BLUE"	DUNN EDWARDS SP 39 (GREEN)
2. EL REY xxxx "REMEMBER ME"	DUNN EDWARDS SP 648 (PURPLE)
3. EL REY xxxx "STORMY WEATHER"	DUNN EDWARDS SP 919 (RED)
4. EL REY xxxx "CABLE ASH"	DUNN EDWARDS SP 154 (TAUPE)
5. EL REY xxxx "GALLOW GLASS"	DUNN EDWARDS SP 1086 (DARK GRAY)

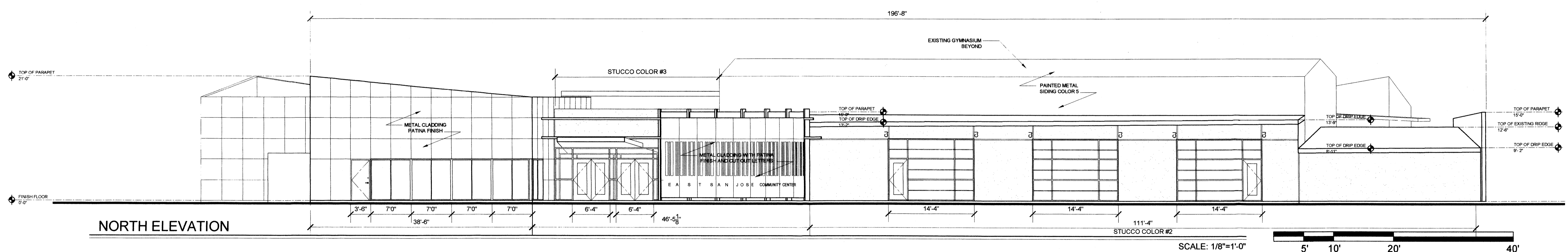
FENCING ON SITE WILL BE CMU
ALL TRIM AND DOORS WILL BE ALUMINUM
ALL WINDOW FRAMES WILL BE ALUMINUM AND BLACK IN COLOR.

BUILDING MOUNTED SIGN WILL BE LOCATED ON THE NORTH FACADE OF THE COMMUNITY CENTER.

TYPICAL: EXTERIOR DOOR AT 3'-0"wx 7'-0"th
PAIR DOOR AT 6'-0"wx 7'-0"th

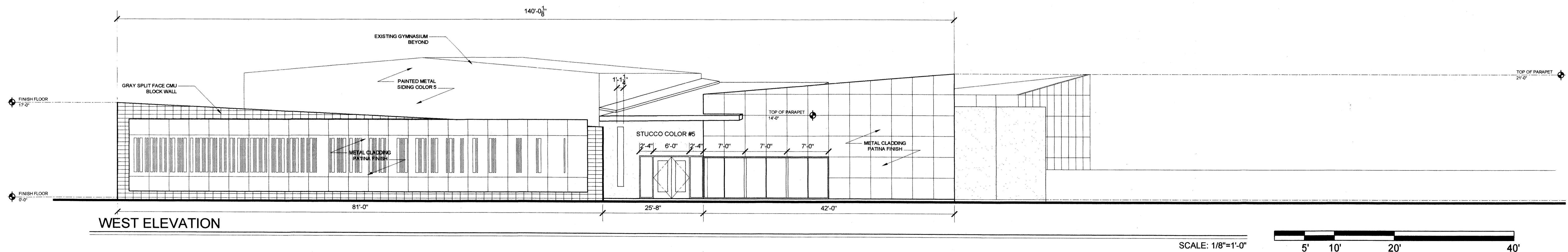
ALL ROOF TOP EQUIPMENT SHALL BE SCREENED FROM VIEWS ALONG THE PERIMETER OF THE PROPERTY. THE TOP OF ROOF EQUIPMENT SHALL BE BELOW THE TOP OF THE PARAPET. GROUND MOUNTED EQUIPMENT SHALL BE SCREENED.

DATE: SEPTEMBER 2002
REVISIONS:



NORTH ELEVATION

SCALE: 1/8"=1'-0" 5' 10' 20' 40'



WEST ELEVATION

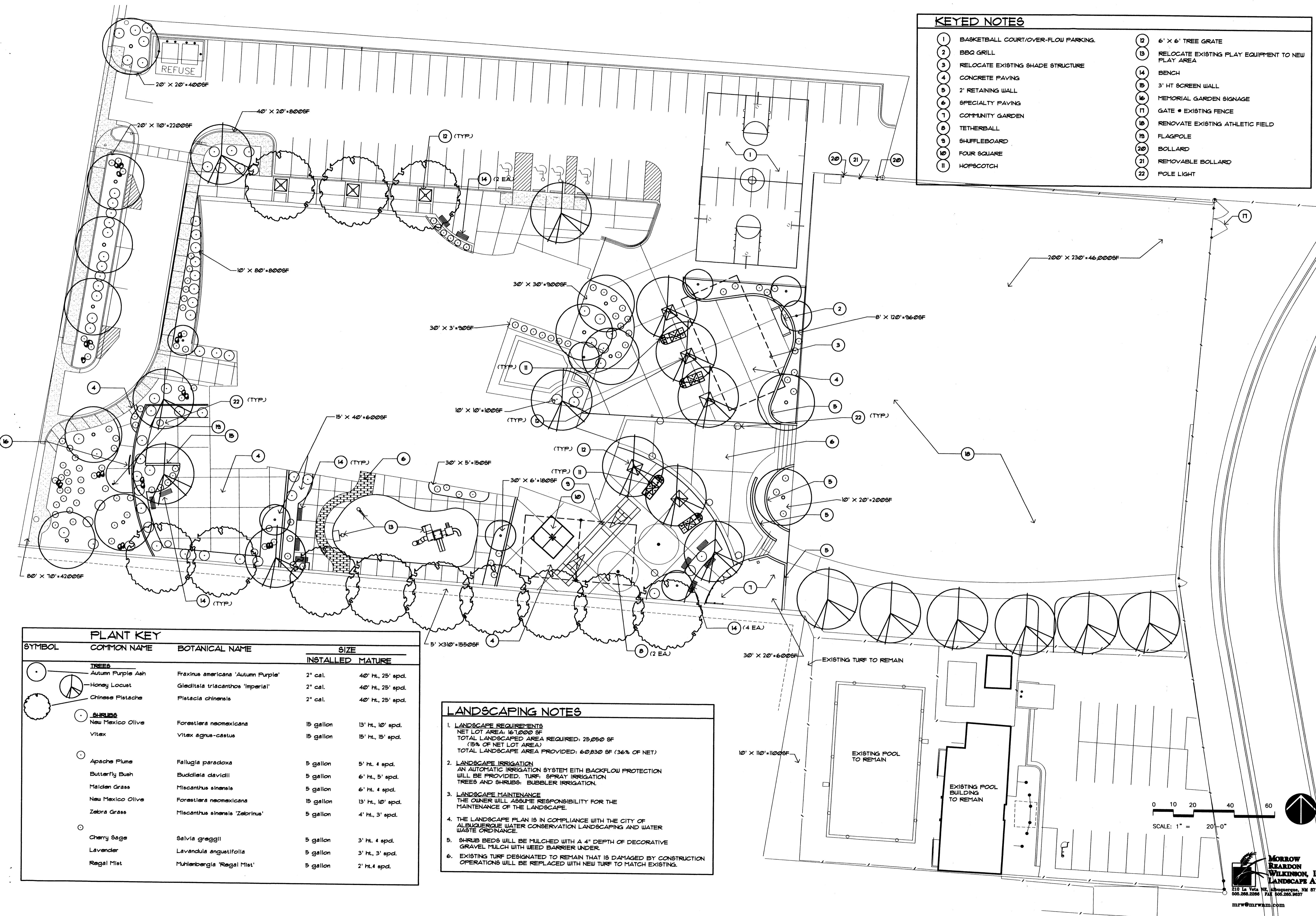
SCALE: 1/8"=1'-0" 5' 10' 20' 40'

**H. BARKER ARCHITECTS
ARCHITECTS & PLANNERS**
285 GOLD AVENUE S.W., ALBUQUERQUE, NEW MEXICO 87102 (505-678-1881)

BUILDING ELEVATIONS

EAST SAN JOSE COMMUNITY CENTER
1830 WILLIAM STREET, S.E.
ALBUQUERQUE, NEW MEXICO 87102

SHT. NO.
3
3 OF 4



KEYED NOTES	
1	BASKETBALL COURT/OVER-FLOW PARKING.
2	BBQ GRILL
3	RELOCATE EXISTING SHADE STRUCTURE
4	CONCRETE PAVING
5	2' RETAINING WALL
6	SPECIALTY PAVING
7	COMMUNITY GARDEN
8	TETHERBALL
9	SHUFFLEBOARD
10	FOUR SQUARE
11	HOPSCOTCH
12	6' X 6' TREE GRATE
13	RELOCATE EXISTING PLAY EQUIPMENT TO NEW PLAY AREA
14	BENCH
15	3' HT SCREEN WALL
16	MEMORIAL GARDEN SIGNAGE
17	GATE - EXISTING FENCE
18	RENOVATE EXISTING ATHLETIC FIELD
19	FLAGPOLE
20	BOLLARD
21	REMOVABLE BOLLARD
22	POLE LIGHT

PLANT KEY				
SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE	
			INSTALLED	MATURE
TREES				
	Autumn Purple Ash	<i>Fraxinus americana</i> 'Autumn Purple'	2" cal.	40' ht., 25' spd.
	Honey Locust	<i>Gleditsia triacanthos</i> 'Imperial'	2" cal.	40' ht., 25' spd.
	Chinese Pistache	<i>Pistacia chinensis</i>	2" cal.	40' ht., 25' spd.
SHRUBS				
	New Mexico Olive	<i>Forestiera neomexicana</i>	15 gallon	13' ht., 10' spd.
	Vitex	<i>Vitex agnus-castus</i>	15 gallon	15' ht., 15' spd.
	Apache Plume	<i>Fallugia paradoxa</i>	5 gallon	5' ht., 4' spd.
	Butterfly Bush	<i>Buddleia davidii</i>	5 gallon	6' ht., 5' spd.
	Maiden Grass	<i>Miscanthus sinensis</i>	5 gallon	6' ht., 4' spd.
	New Mexico Olive	<i>Forestiera neomexicana</i>	15 gallon	13' ht., 10' spd.
	Zebra Grass	<i>Miscanthus sinensis</i> 'Zabrinus'	5 gallon	4' ht., 3' spd.
	Cherry Sage	<i>Salvia greggii</i>	5 gallon	3' ht., 4' spd.
	Lavender	<i>Lavandula angustifolia</i>	5 gallon	3' ht., 3' spd.
	Regal Mist	<i>Muhlenbergia</i> 'Regal Mist'	5 gallon	2' ht., 4' spd.

LANDSCAPING NOTES

- LANDSCAPE REQUIREMENTS**
NET LOT AREA: 161,000 SF
TOTAL LANDSCAPED AREA REQUIRED: 25,050 SF (15% OF NET LOT AREA)
TOTAL LANDSCAPE AREA PROVIDED: 60,830 SF (36% OF NET)
- LANDSCAPE IRRIGATION**
AN AUTOMATIC IRRIGATION SYSTEM WITH BACKFLOW PROTECTION WILL BE PROVIDED. TURF: SPRAY IRRIGATION
TREES AND SHRUBS: BUBBLER IRRIGATION.
- LANDSCAPE MAINTENANCE**
THE OWNER WILL ASSUME RESPONSIBILITY FOR THE MAINTENANCE OF THE LANDSCAPE.
- THE LANDSCAPE PLAN IS IN COMPLIANCE WITH THE CITY OF ALBUQUERQUE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE.
- SHRUB BEDS WILL BE MULCHED WITH A 4" DEPTH OF DECORATIVE GRAVEL MULCH WITH WEED BARRIER UNDER.
- EXISTING TURF DESIGNATED TO REMAIN THAT IS DAMAGED BY CONSTRUCTION OPERATIONS WILL BE REPLACED WITH NEW TURF TO MATCH EXISTING.

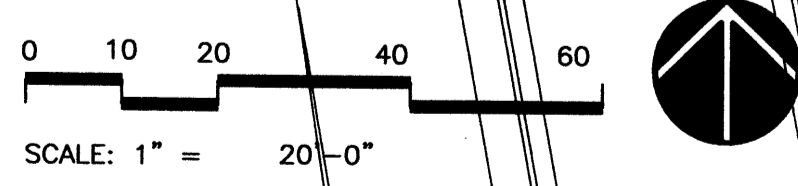
I.L. BARKER ARCHITECTS
 ARCHITECTS & PLANNERS
 200 GOLD AVENUE S.W., ALBUQUERQUE, NEW MEXICO 87102, 505-678-



DATE: JULY 18, 2002
REVISIONS:

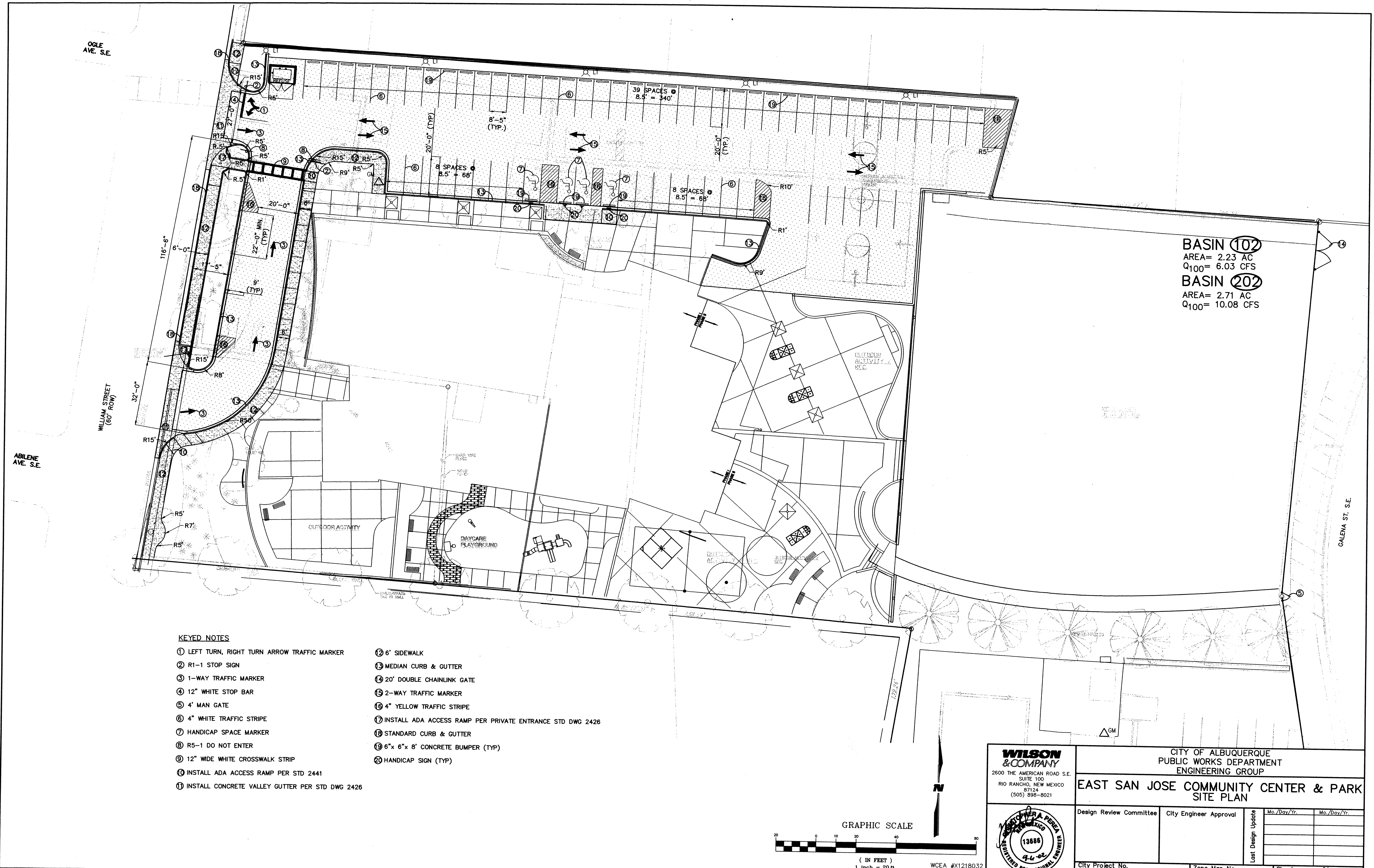
LANDSCAPE PLAN

EAST SAN JOSE COMMUNITY CENTER
 1830 WILLIAMS STREET, S.E.
 ALBUQUERQUE, NEW MEXICO 87102



MORROW REARDON WILKINSON, LTD.
 LANDSCAPE ARCHITECTS
 210 La Veta NE, Albuquerque, NM 87108
 505.268.2200 FAX 505.268.9537
 mrw@mrwam.com

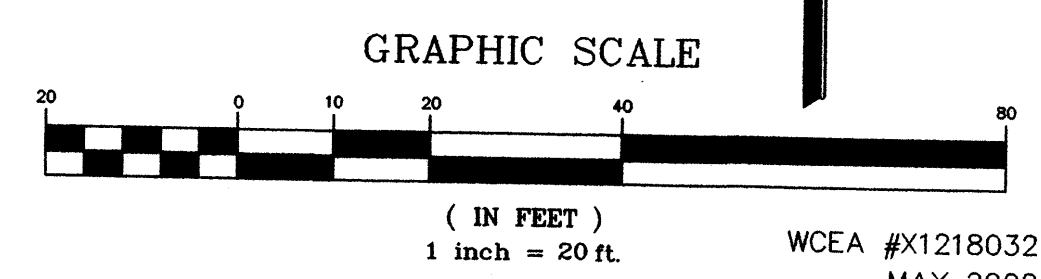
SHEET NO.
 L-1
 4 OF 4



BASIN 102
 AREA= 2.23 AC
 Q100= 6.03 CFS
BASIN 202
 AREA= 2.71 AC
 Q100= 10.08 CFS

KEYED NOTES

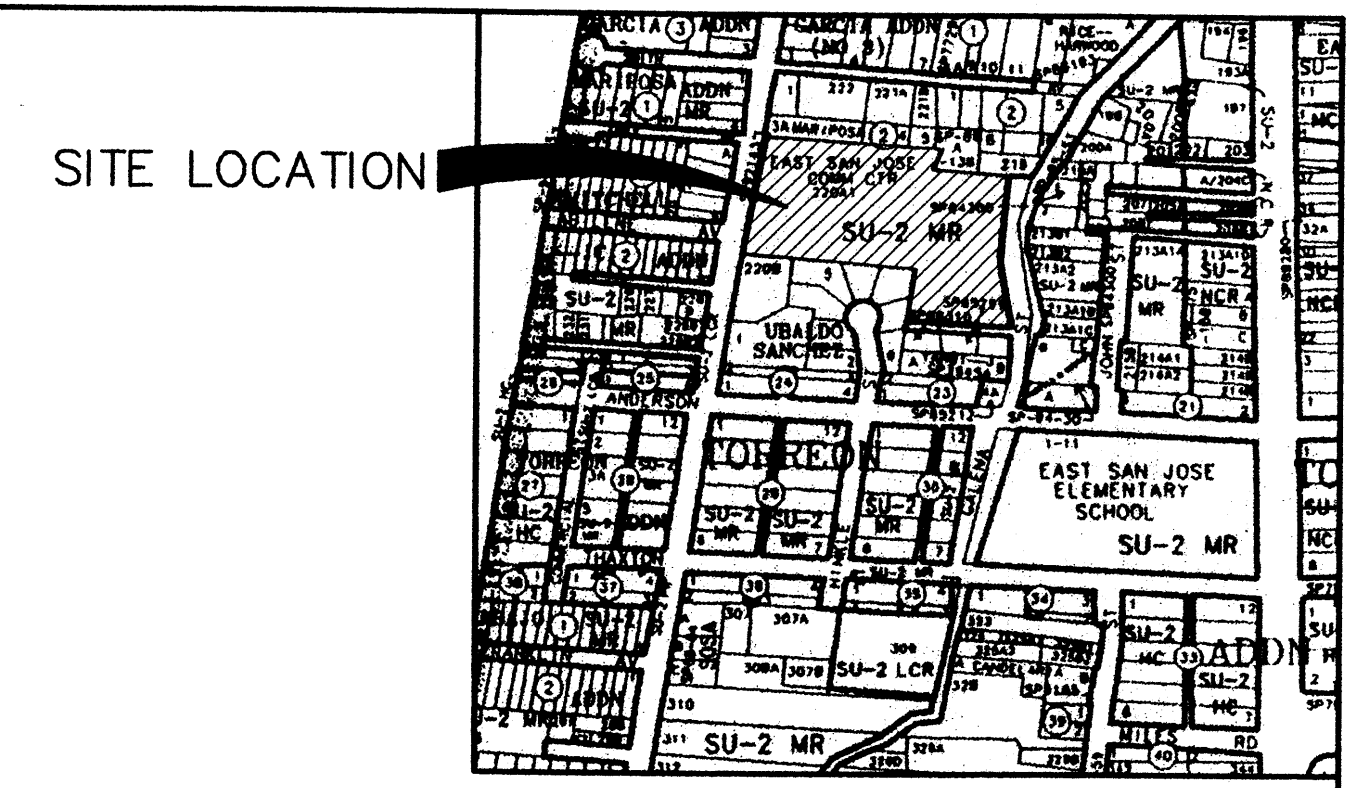
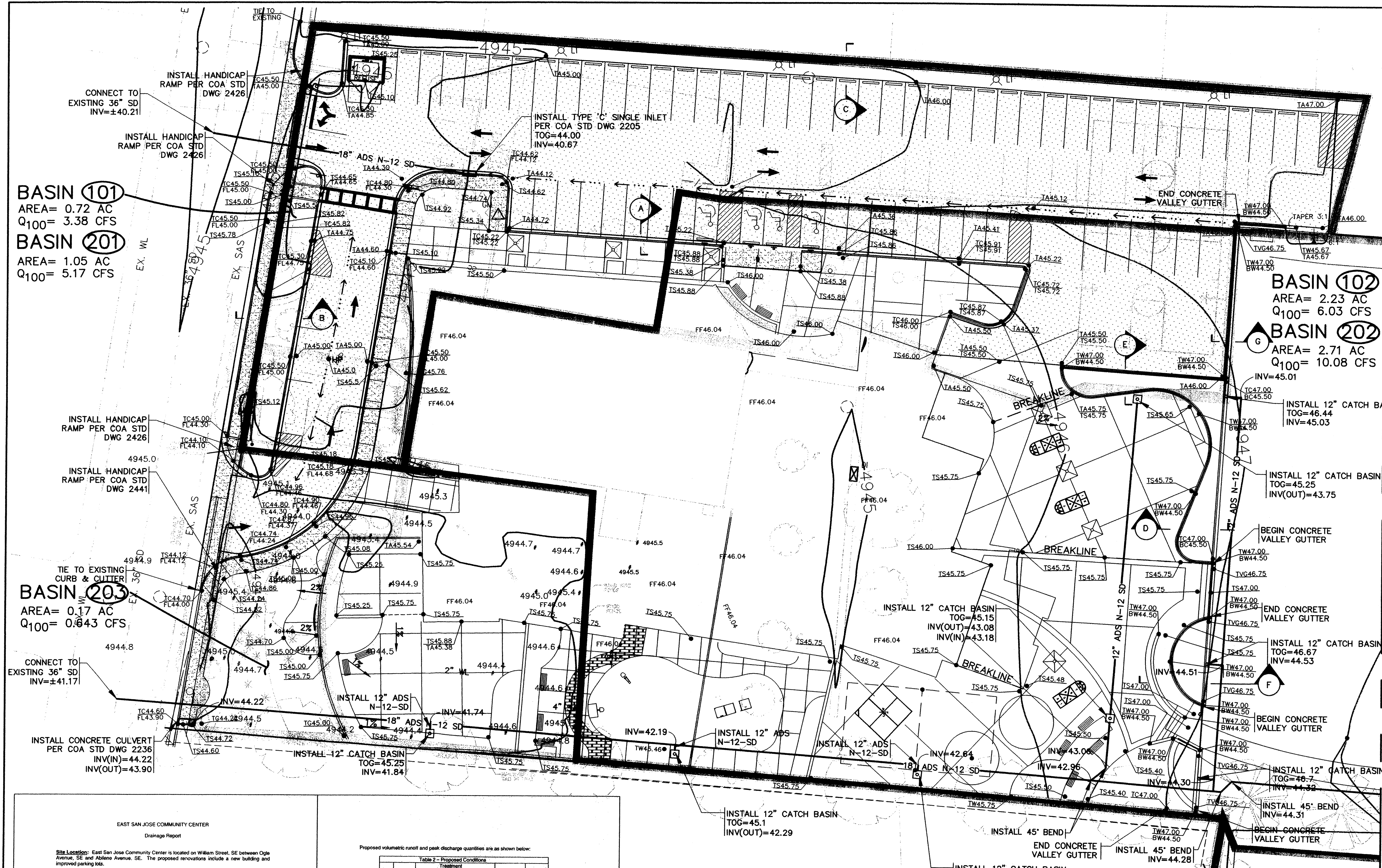
- ① LEFT TURN, RIGHT TURN ARROW TRAFFIC MARKER
- ② R1-1 STOP SIGN
- ③ 1-WAY TRAFFIC MARKER
- ④ 12" WHITE STOP BAR
- ⑤ 4' MAN GATE
- ⑥ 4" WHITE TRAFFIC STRIPE
- ⑦ HANDICAP SPACE MARKER
- ⑧ R5-1 DO NOT ENTER
- ⑨ 12" WIDE WHITE CROSSWALK STRIP
- ⑩ INSTALL ADA ACCESS RAMP PER STD 2441
- ⑪ INSTALL CONCRETE VALLEY GUTTER PER STD DWG 2426
- ⑫ 6' SIDEWALK
- ⑬ MEDIAN CURB & GUTTER
- ⑭ 20' DOUBLE CHAINLINK GATE
- ⑮ 2-WAY TRAFFIC MARKER
- ⑯ 4" YELLOW TRAFFIC STRIPE
- ⑰ INSTALL ADA ACCESS RAMP PER PRIVATE ENTRANCE STD DWG 2426
- ⑱ STANDARD CURB & GUTTER
- ⑲ 6"x 6"x 8" CONCRETE BUMPER (TYP)
- ⑳ HANDICAP SIGN (TYP)



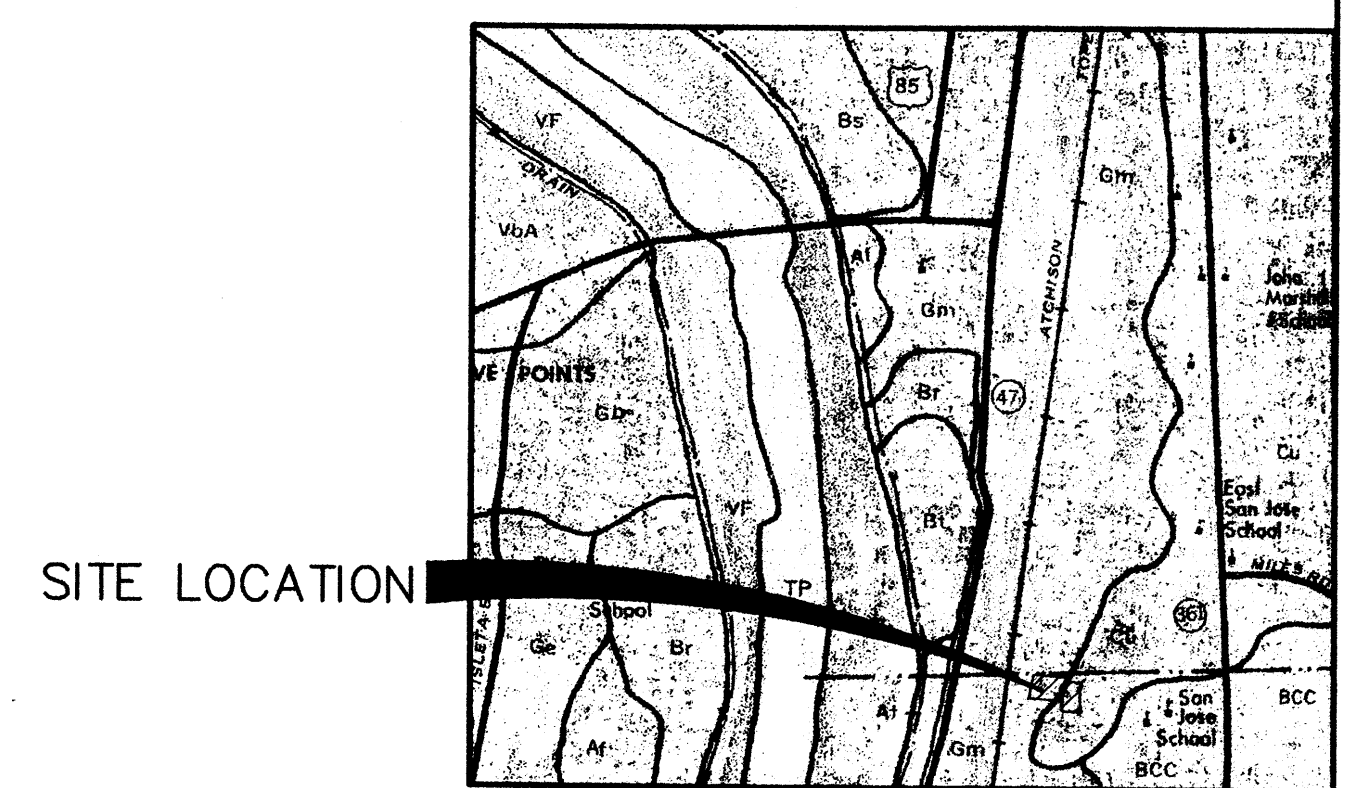
WILSON & COMPANY
 2600 THE AMERICAN ROAD S.E.
 SUITE 100
 RIO RANCHO, NEW MEXICO
 87124
 (505) 898-8021

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING GROUP
**EAST SAN JOSE COMMUNITY CENTER & PARK
 SITE PLAN**

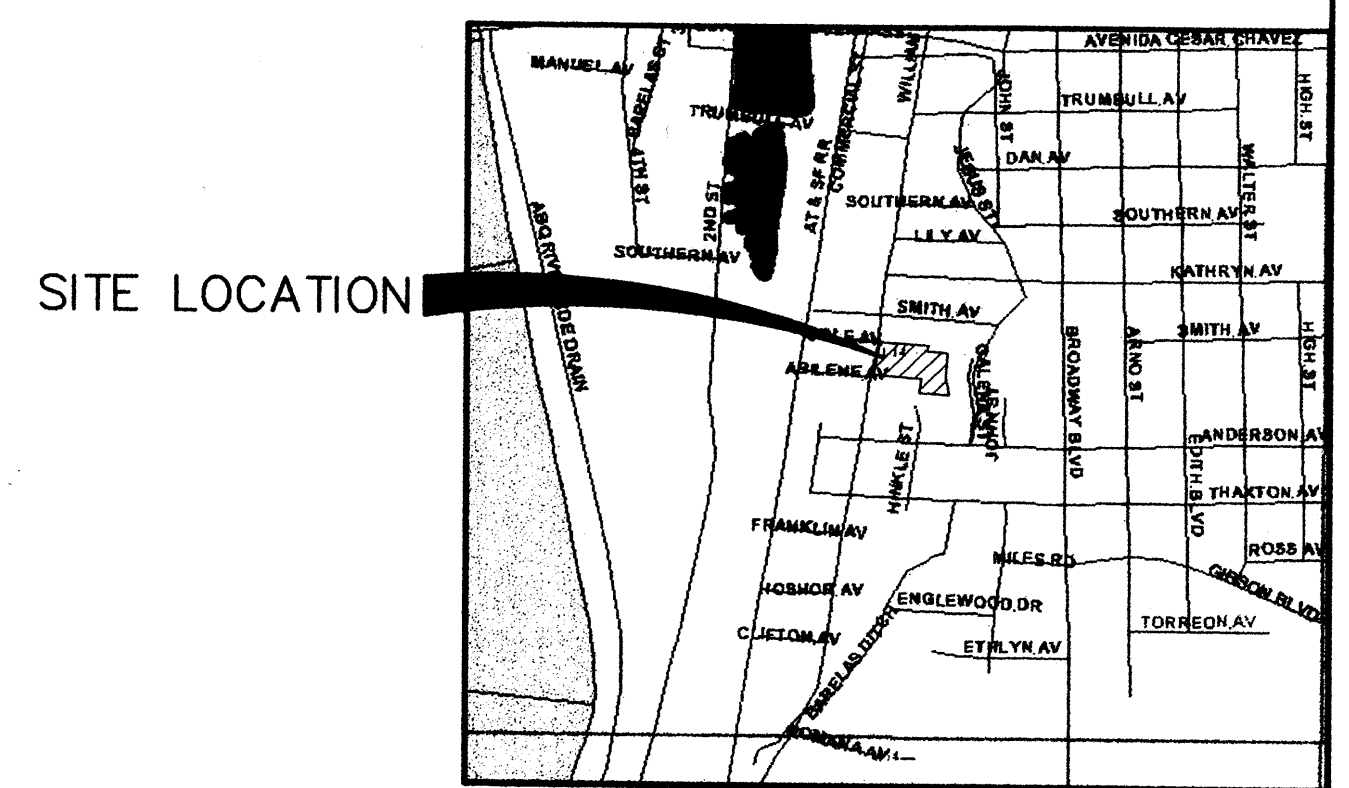
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet 1 of 5		
1001988	L-14			



SITE LOCATION
LOCATION MAP
ZONE ATLAS MAP NO. L-14



SITE LOCATION
SOILS MAP
REFERENCE: SCS BERNALILLO COUNTY SOIL SURVEY SHEET NO. 30



SITE LOCATION
FLOOD INSURANCE MAP
REFERENCE: FLOOD INSURANCE STUDY PANEL 334

EAST SAN JOSE COMMUNITY CENTER
Drainage Report

Site Location: East San Jose Community Center is located on William Street, SE between Digne Avenue, SE and Albino Avenue, SE. The proposed renovations include a new building and improved parking lots.

Methodology: Section 222 of City of Albuquerque DMP was followed to calculate the design volume. The design storm is a 100-year return period 6-hour rainfall as the design storm. The site is located in Zone 2 as delineated from Table A.1. The total storm volume was calculated as per section A.5. The peak discharge was calculated as per section A.6.

Existing Conditions: The site consists of three (3) basins: Basins 101 through 103. Each basin is designated as shown on the grading & drainage plan as described below.

Basin 101: encompasses the west side parking lot located off of William Street, the north parking lot and all of the north roadway existing building. All drainage from this basin shall flow north into a catch basin located in the northwest entrance to the site. This catch basin drains into the City of Albuquerque storm drain system.

Basin 102: encompasses the remaining existing buildings and the entire grass field located on the east and south side of the site. The basin shall flow into a catch basin located between the existing gym and the grass field. This catch basin drains into the catch basin of Basin 101.

Basin 103: encompasses the swimming pool and the parking lot located to the east of the swimming pool. This basin drains into catch basin located on the north side of the swimming pool. This catch basin is connected to the catch basin of Basin 102. There will be no improvements in this basin.

Existing volumetric runoff and peak discharge quantities are as shown below:

Basin Area (ac)	A (%)	B (%)	C (%)	D (%)	V ₁₀₀ (ac-ft)	Q ₁₀₀ (cfs)
101	0	0	0	100	0.197	1.38
102	0	82.5	0	17.5	0.336	0.00
103	0.54	0	0	100	0.99	1.92
Total	3.49	0	0	100	1.523	3.30

Table 1 - provides a breakdown of existing volumetric runoff and peak discharge of the site.

Proposed Conditions: The proposed basin, 201, was modified from Basin 101 to include more parking lot area on the west and north side of the site. This basin will have a Type 'C' curb inlet located on site. This inlet will then flow into the City of Albuquerque storm drain system. Basin 202 changed slightly from Basin 102. Impermeable surface area was increased with the grassy area decreasing and it also included Basin 103, which was the swimming pool area. The basin will have a series of catch basins located throughout the basin and eventually drain into the City of Albuquerque storm drain system. Basin 203 included the southwest corner of Basin 101 and the underdeveloped site purchased by the City of Albuquerque located on the southwest corner of the site. This basin will have a curb inlet located on the south entrance and a sidewalk culvert located at the southwest corner of the site.

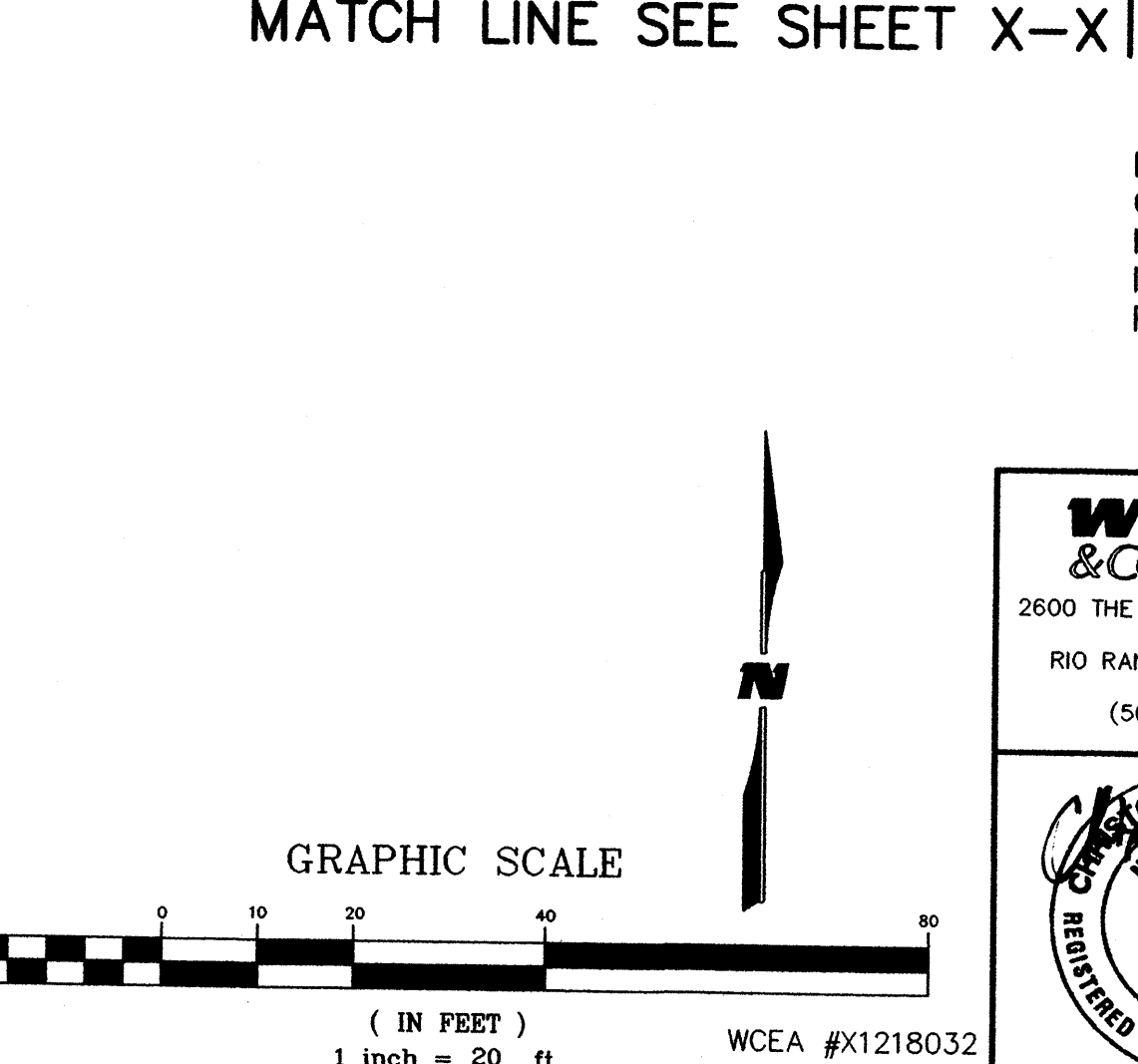
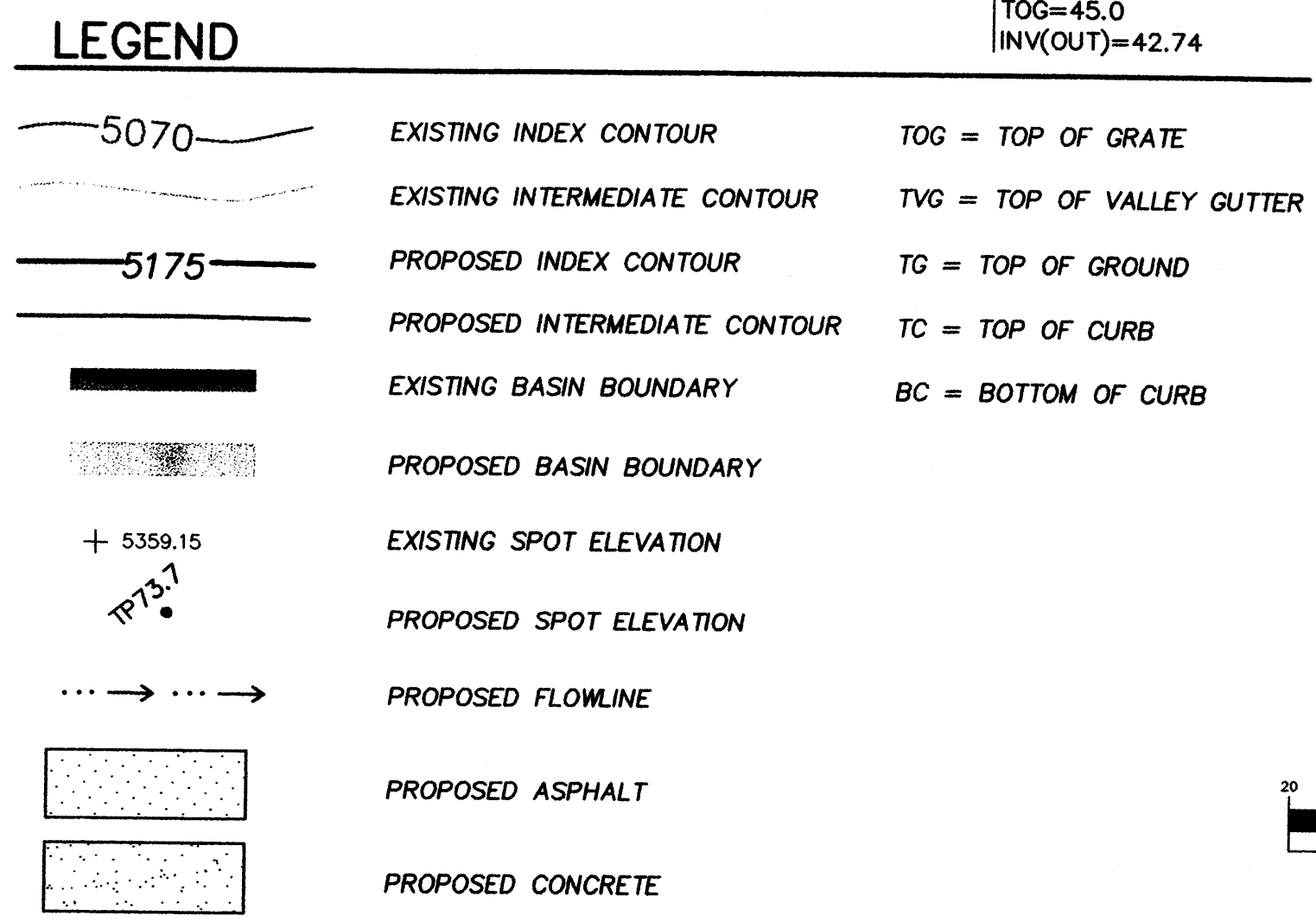
Proposed volumetric runoff and peak discharge quantities are as shown below:

Basin Area (ac)	A (%)	B (%)	C (%)	D (%)	V ₁₀₀ (ac-ft)	Q ₁₀₀ (cfs)
201	1.08	0	0	100	0.194	1.17
202	2.71	0	51	49	0.439	10.68
203	0.07	0	38	62	0.019	0.643
Total	3.86	0	38	41	0.652	12.49

Table 2 - provides a breakdown of proposed volumetric runoff and peak discharge of the site.

Proposed Improvements: to the site will increase the amount of total discharge from the site. Volumetric runoff will increase from 0.528 ac-ft to 0.652 ac-ft. Hence, an increase of approximately 17% or 0.124 ac-ft. Peak discharge will also increase from 11.32 cfs to 12.49 cfs or an increase of approximately 10%. Proposed total area was greater than existing total area due to the fact that approximately 0.32 acres of land was purchased by the City of Albuquerque for these improvements. This parcel was not included in the existing drainage calculations. This, also, contributed to the increase in volumetric runoff and peak discharge.

Conclusion: All drainage from the proposed basins will continue to flow into the City of Albuquerque storm drain system. The grading will be done in all basins, but the direction of flows will not be altered, as they will continue to flow into the City of Albuquerque storm drain system. In conclusion, the slight increase of peak discharge will not affect the flow into the existing storm drain system.



LEGAL DESCRIPTION

BEING THAT CERTAIN PARCEL OF LAND SITUATED WITHIN THE TOWN OF ALBUQUERQUE GRANT, WITHIN THE SECTION 29 (AS PROJECTED), TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING IDENTIFIED AS TRACTS 220A14, 220A2B, 220A2C, 220A2D, 220A2E, & 220A2F, M.R.G.C.D. PROPERTY MAP NO. 41.

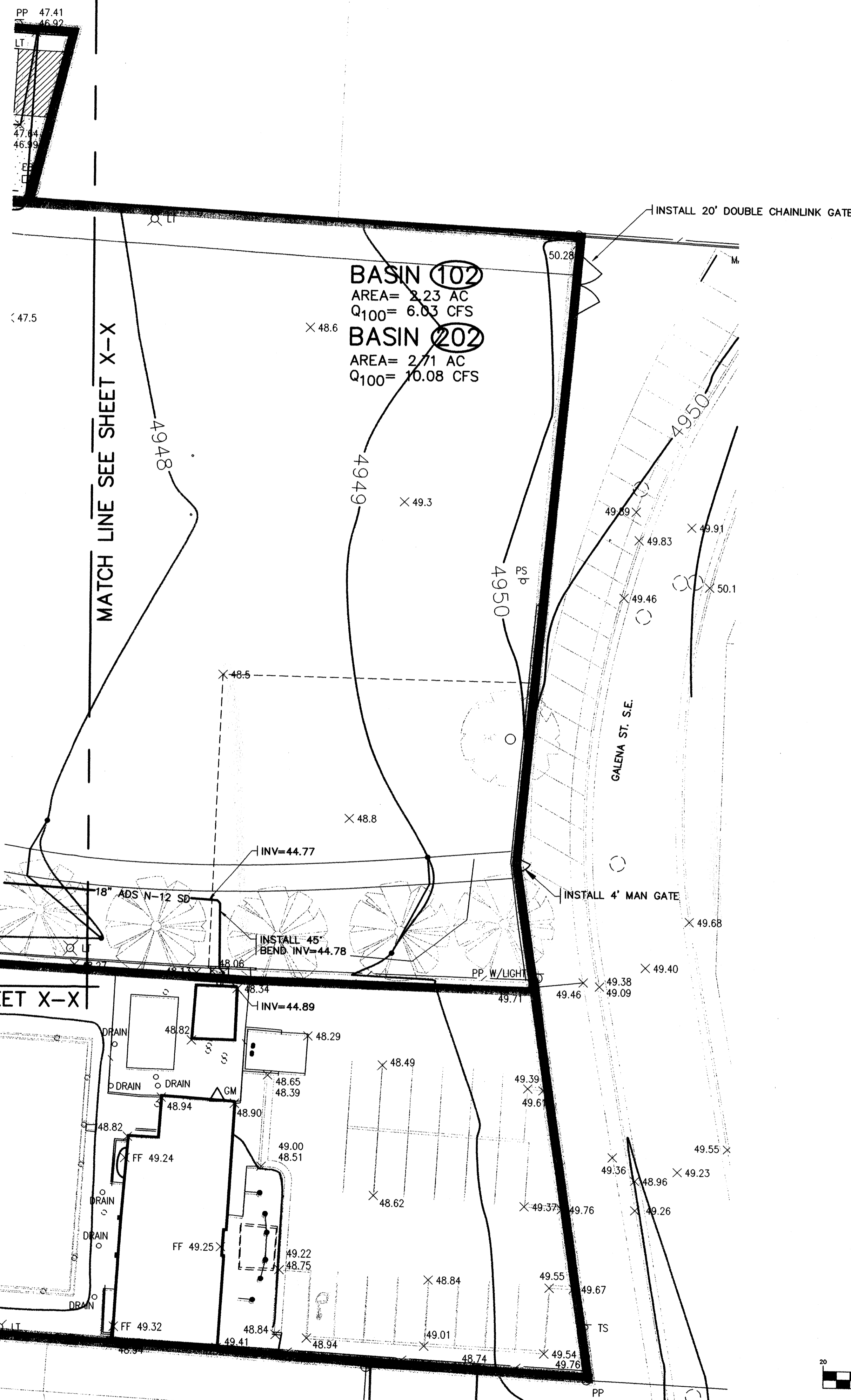
WILSON & COMPANY
2600 THE AMERICAN ROAD S.E.
SUITE 100
RIO RANCHO, NEW MEXICO
87124
(505) 898-8021

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING GROUP**

**EAST SAN JOSE COMMUNITY CENTER & PARK
GRADING & DRAINAGE PLAN**

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
1001988	L-14	2	5

Professional Engineer Seal: 13686, 8-28-02, WCEA #X1218032



NOTICE TO CONTRACTOR

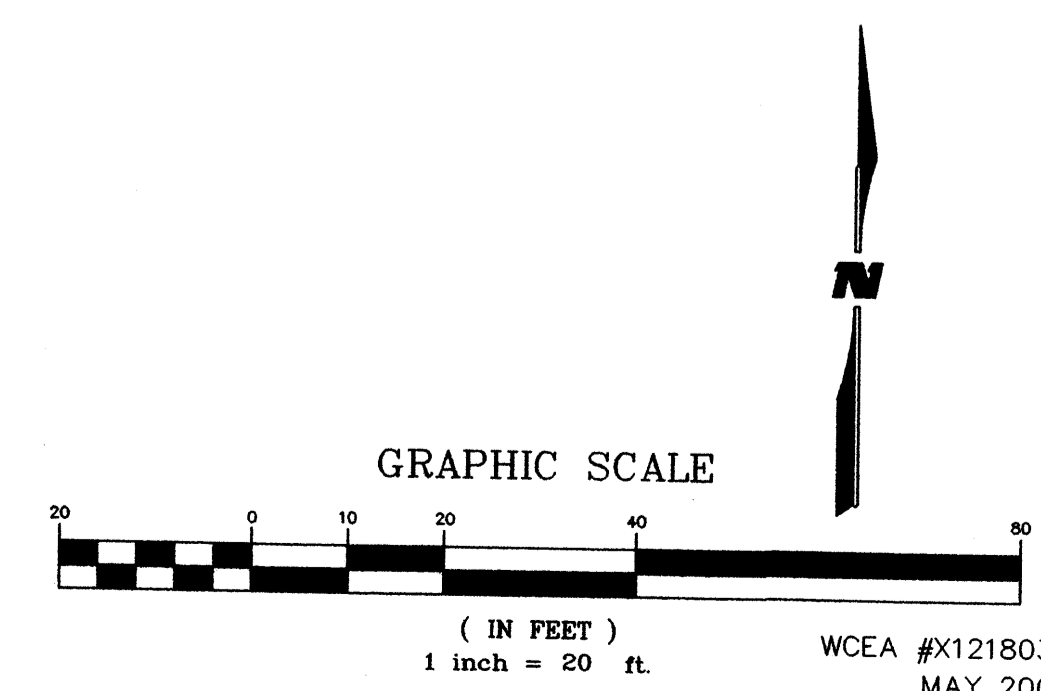
1. AN EXCAVATION/ CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

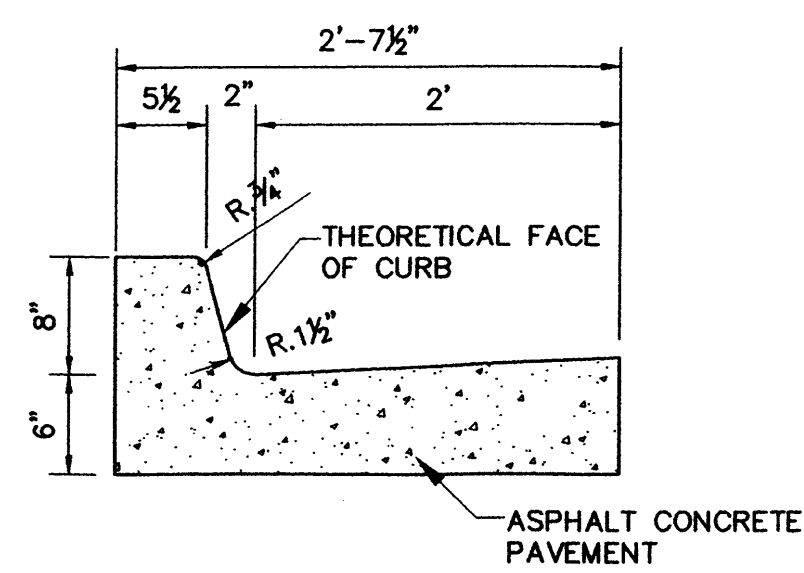
LEGEND

- 5070 EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- 5175 PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- EXISTING BASIN BOUNDARY
- PROPOSED BASIN BOUNDARY
- + 5359.15 EXISTING SPOT ELEVATION
- TP73.7 PROPOSED SPOT ELEVATION
- PROPOSED FLOWLINE
- PROPOSED ASPHALT
- PROPOSED CONCRETE

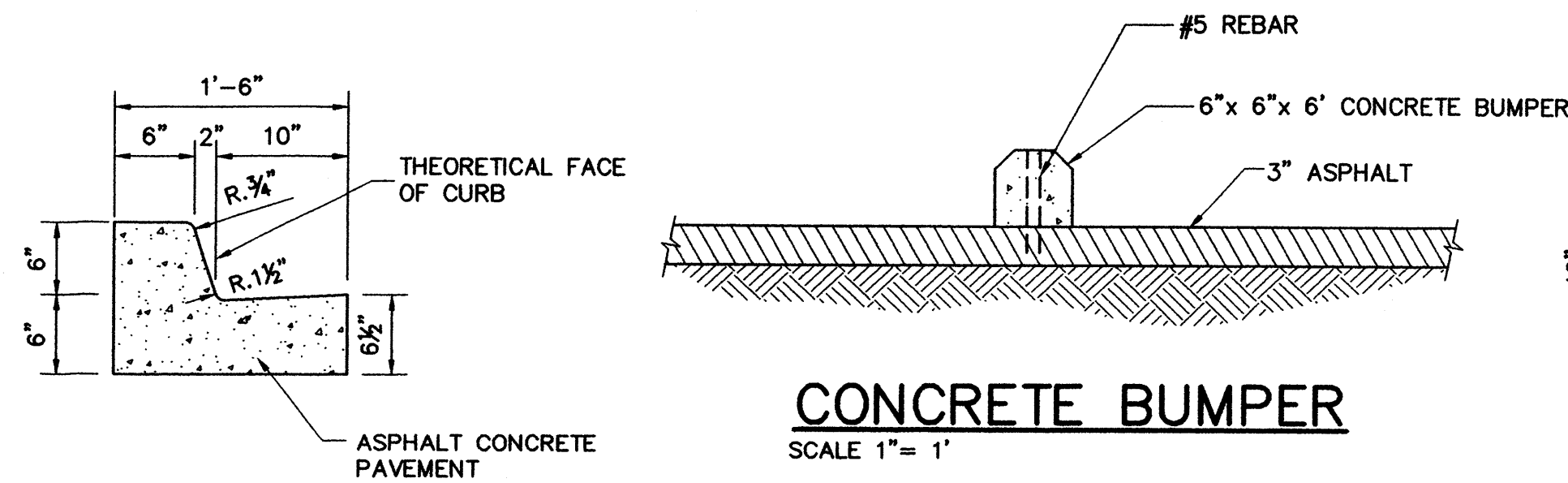
MATCH LINE SEE SHEET X-X



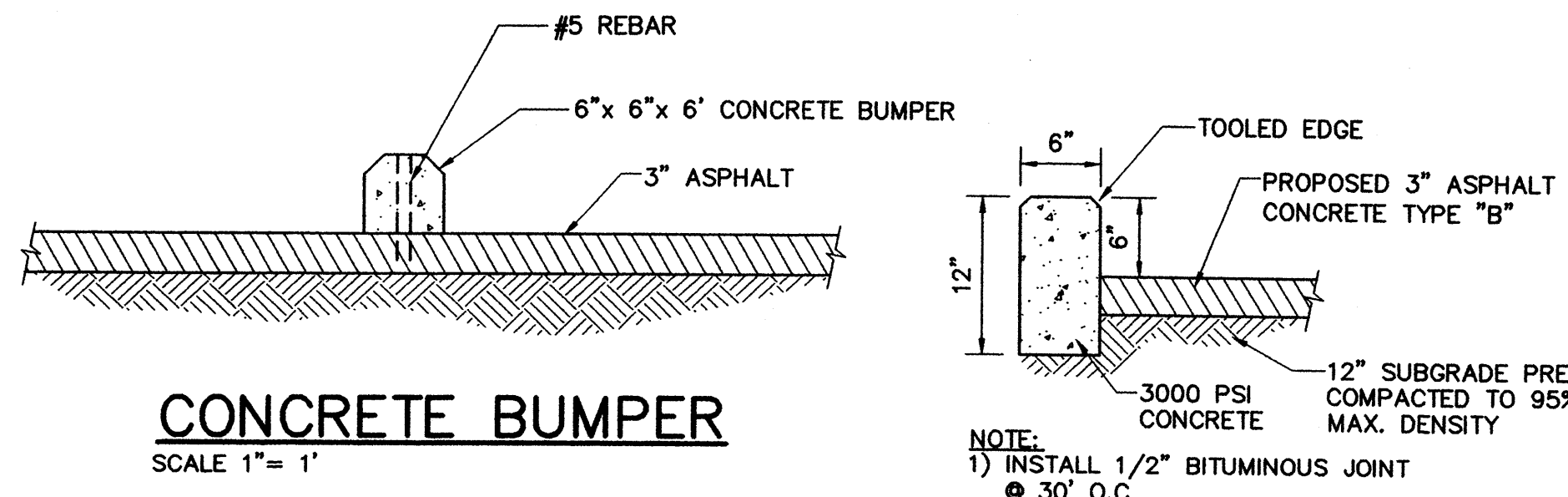
WILSON & COMPANY 2600 THE AMERICAN ROAD S.E. SUITE 100 RIO RANCHO, NEW MEXICO 87124 (505) 898-8021	CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP			
	EAST SAN JOSE COMMUNITY CENTER & PARK GRADING & DRAINAGE PLAN			
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. 1001988	Zone Map No. L-14	Sheet 3	Of 5	



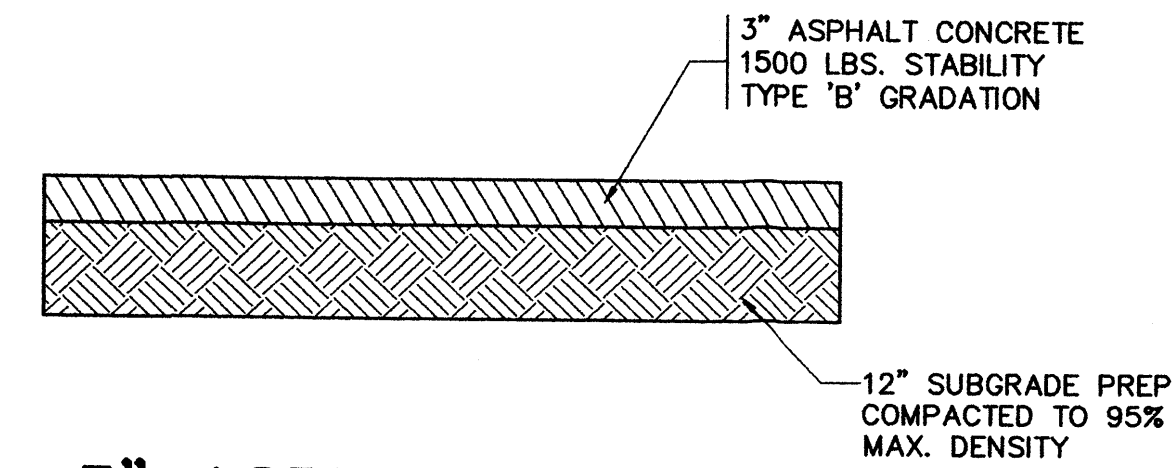
STANDARD CURB & GUTTER
SCALE 1" = 1'



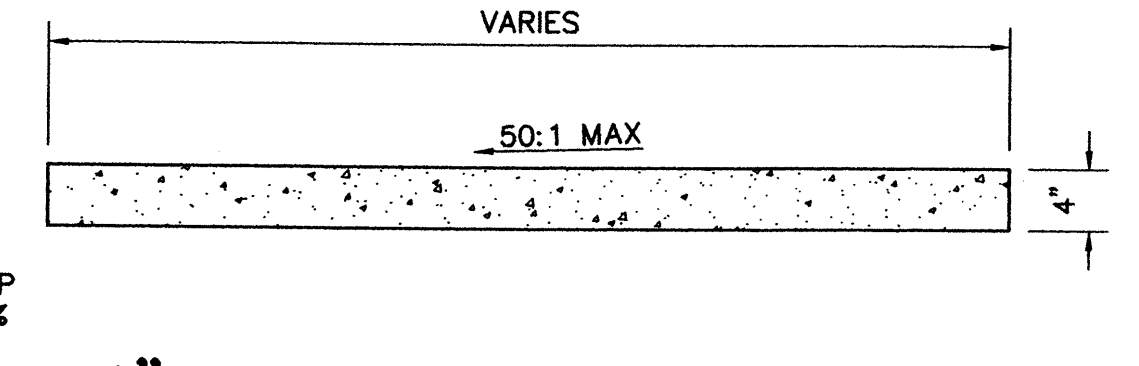
MEDIAN CURB & GUTTER
SCALE 1" = 1'
NOTE: DIMENSION AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.



HEADER CURB
SCALE 1" = 1'

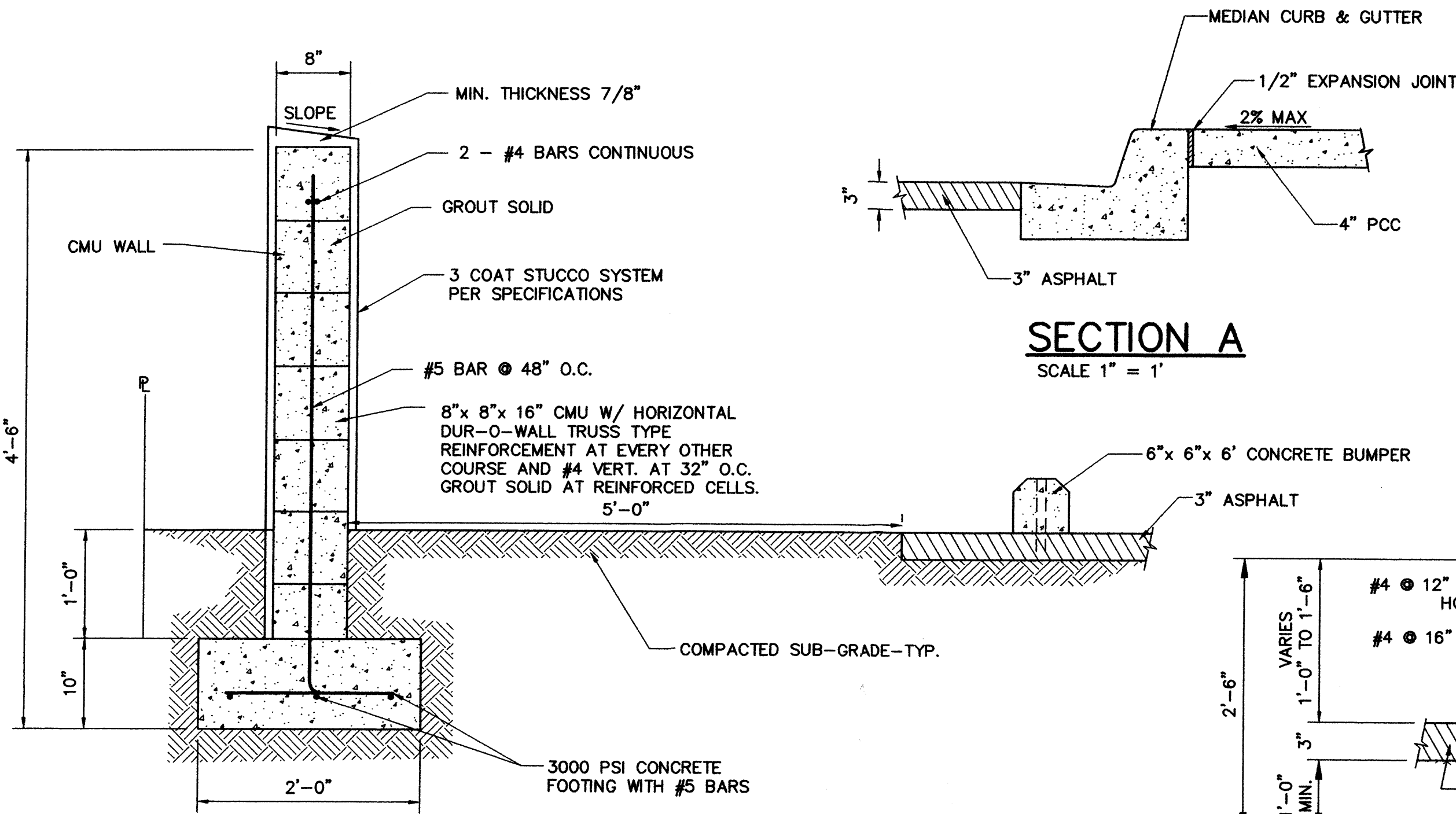


3" ASPHALT SECTION
SCALE: 1" = 1'

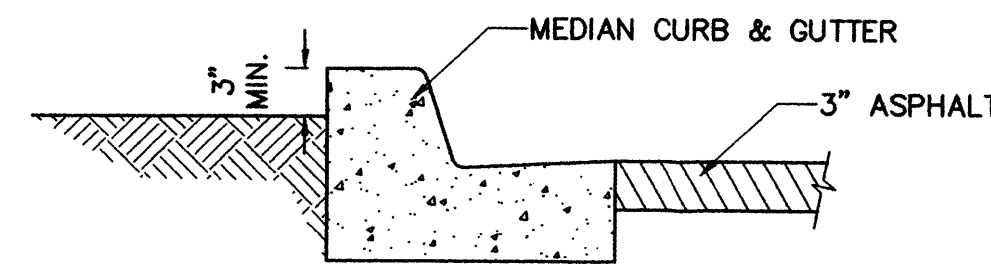


4" PCC SIDEWALK DETAIL
SCALE: 1" = 1'

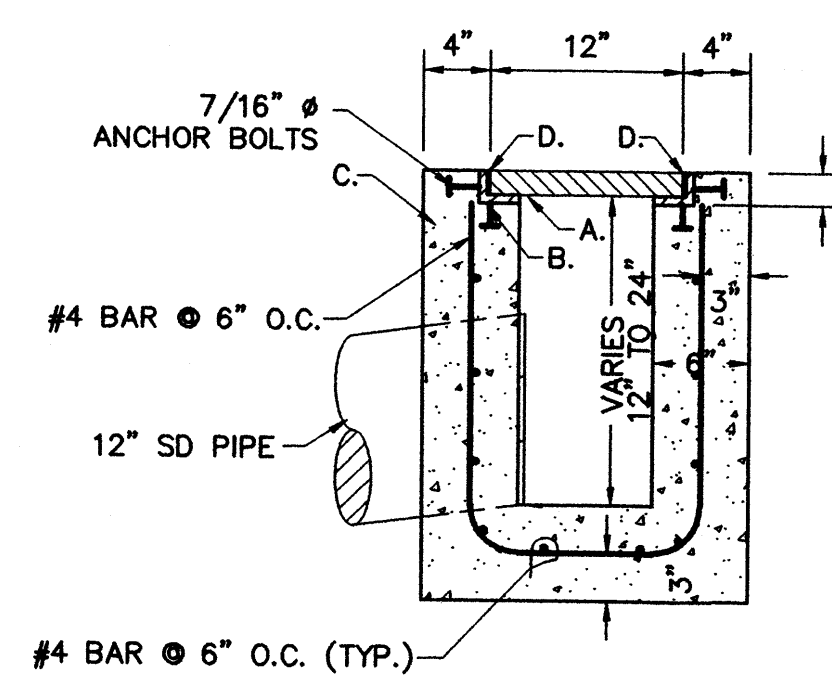
NOTE: 1. AS MUCH AS POSSIBLE SIDEWALK JOINTS SHALL MATCH CURB & GUTTER JOINT SPACING.



SECTION A
SCALE 1" = 1'

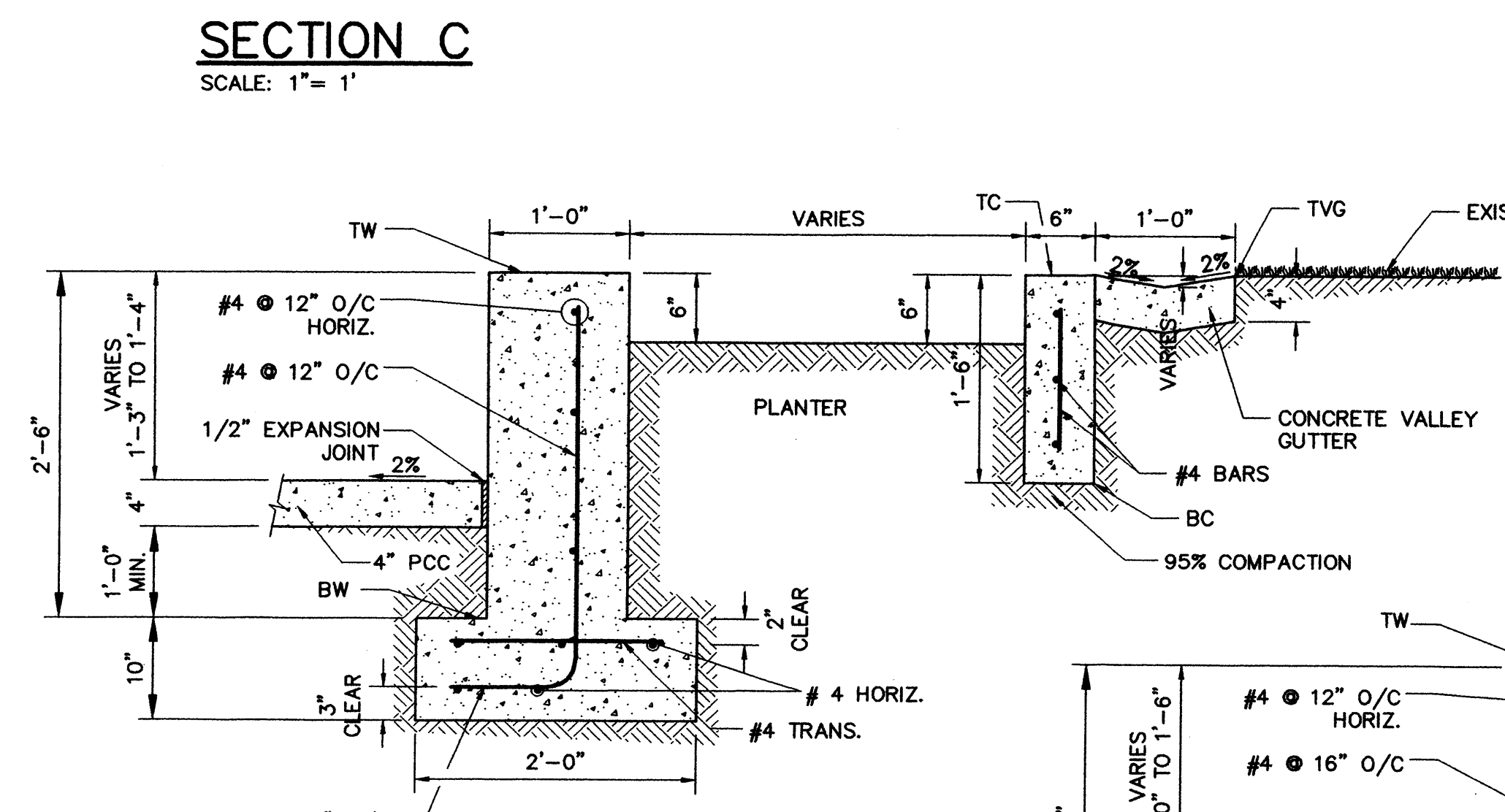


SECTION B
SCALE 1" = 1'

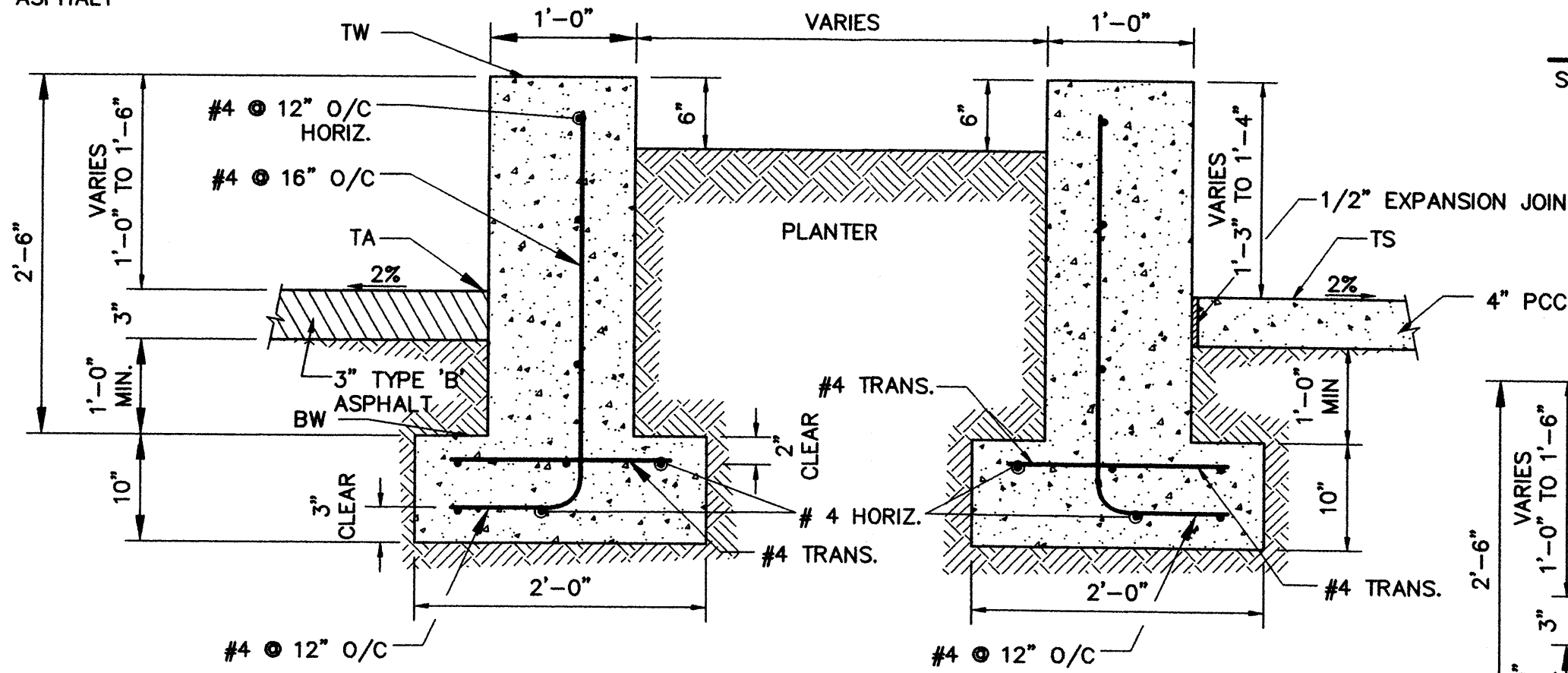


12" CATCH BASIN
SCALE: 1" = 1'

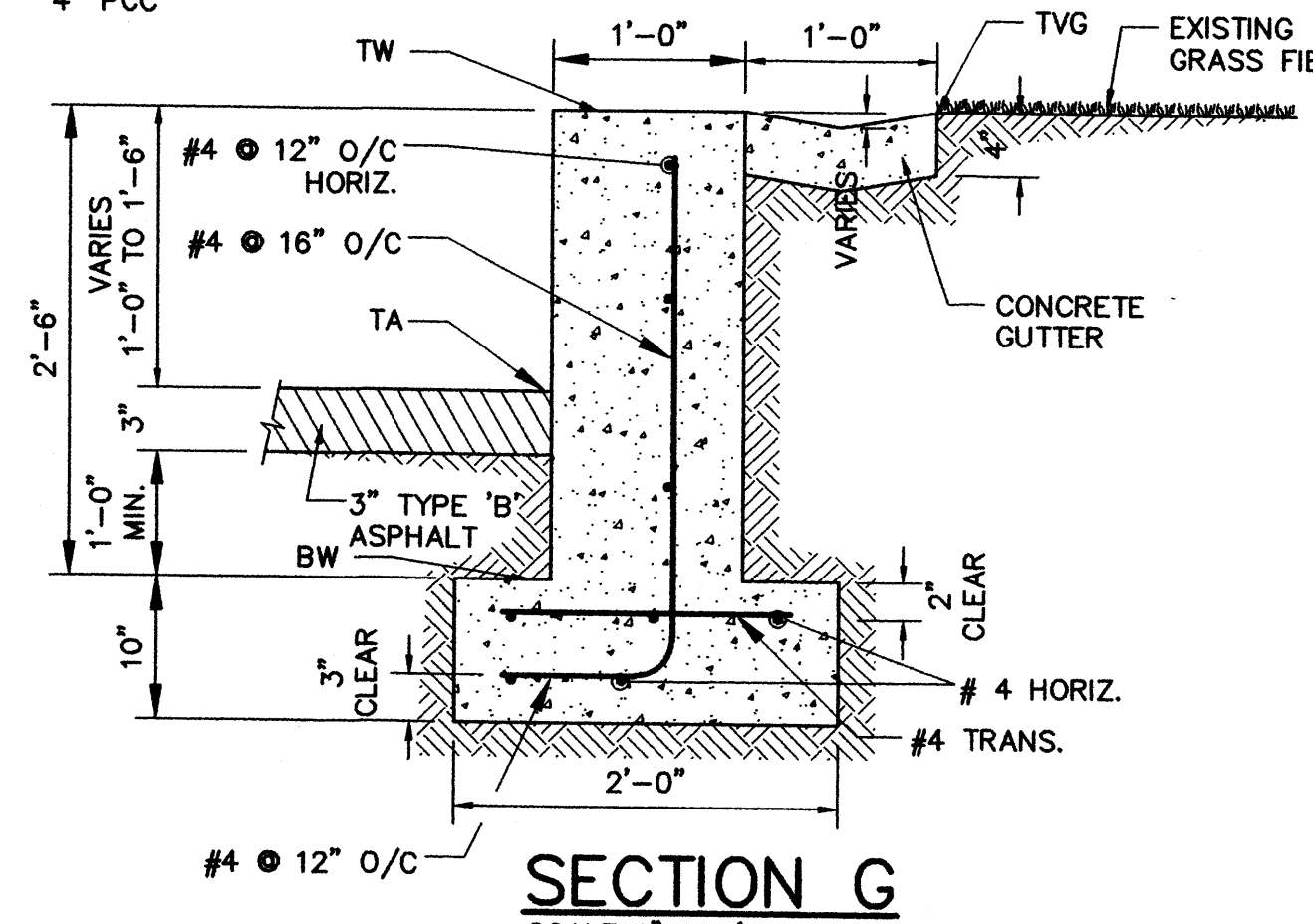
- CONSTRUCTION NOTES:**
- STEEL REINFORCEMENT SHALL COMPLY WITH COA SPECIFICATIONS, SECTION 102
 - BACKFILL SHALL COMPLY WITH COA SPECIFICATIONS, SECTION 501 & 502
- CONSTRUCTION NOTES:**
- NEENAH R-4999-CX TYPE 'C' GRATE
 - SUPPORT ASSEMBLY PER MANUFACTURER'S SPECIFICATIONS
 - f_c=3000 PSI, 28 DAY STRENGTH
 - 3/16" GAP (MAX)



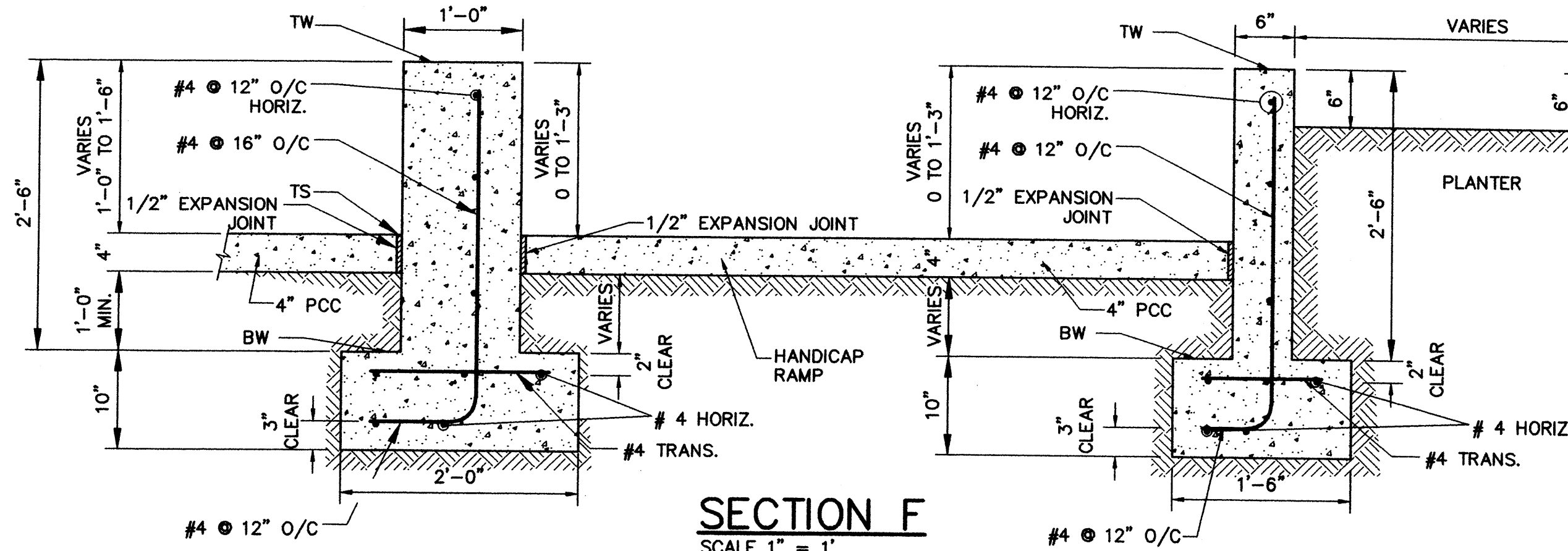
SECTION D
SCALE 1" = 1'



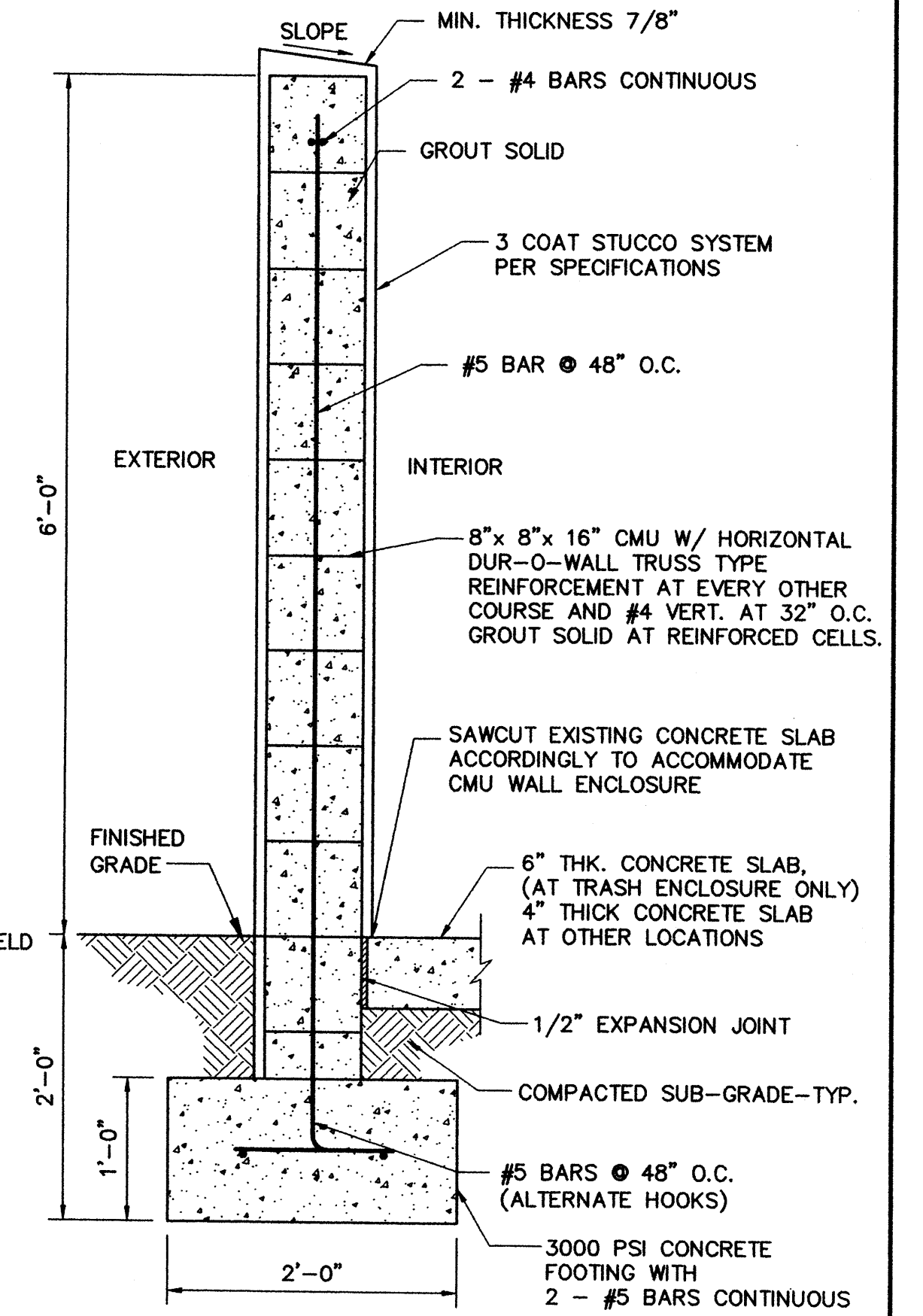
SECTION E
SCALE 1" = 1'



SECTION G
SCALE 1" = 1'



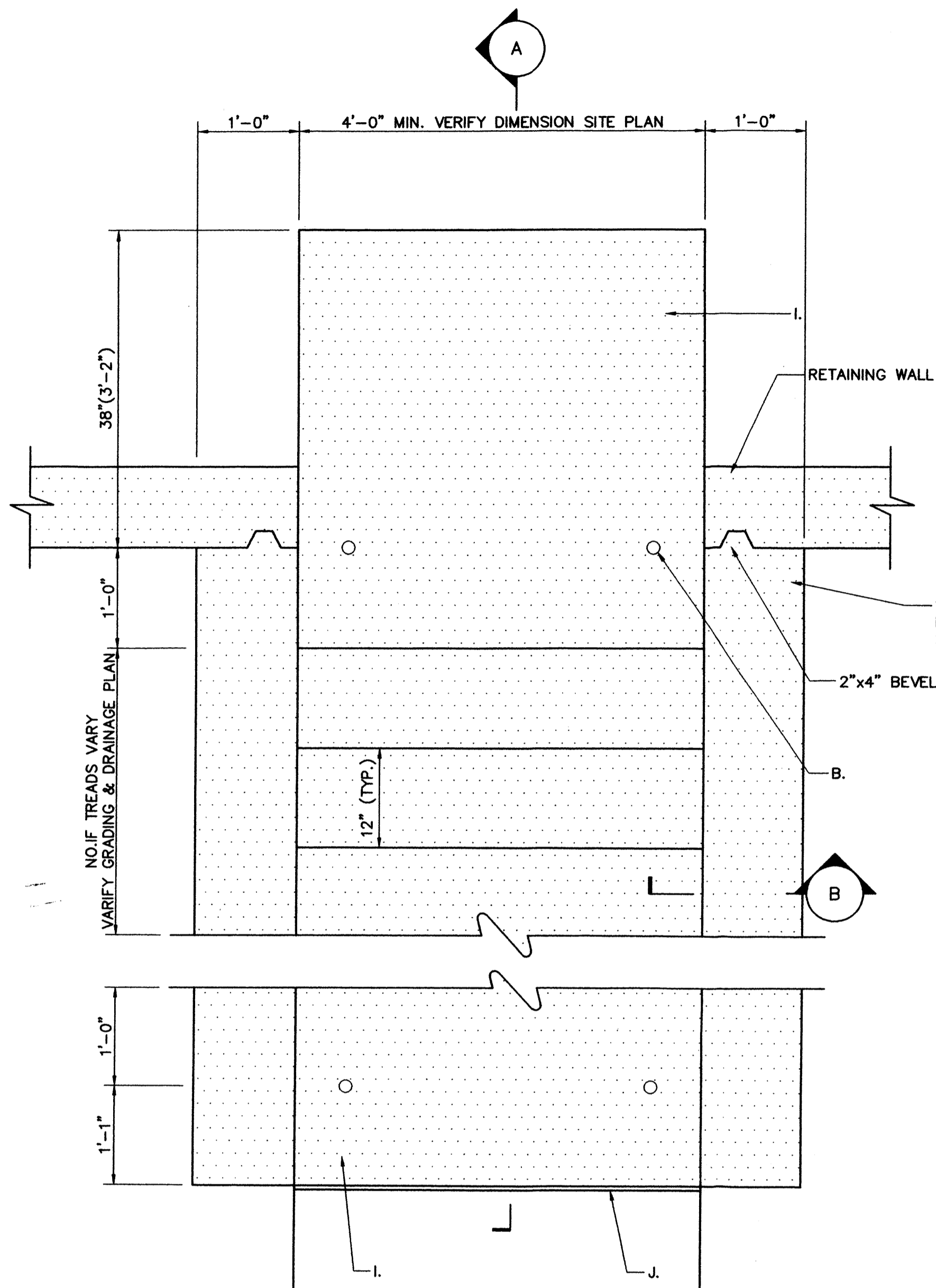
SECTION F
SCALE 1" = 1'



REFUSE ENCLOSURE CMU WALL
SCALE: 1" = 1'

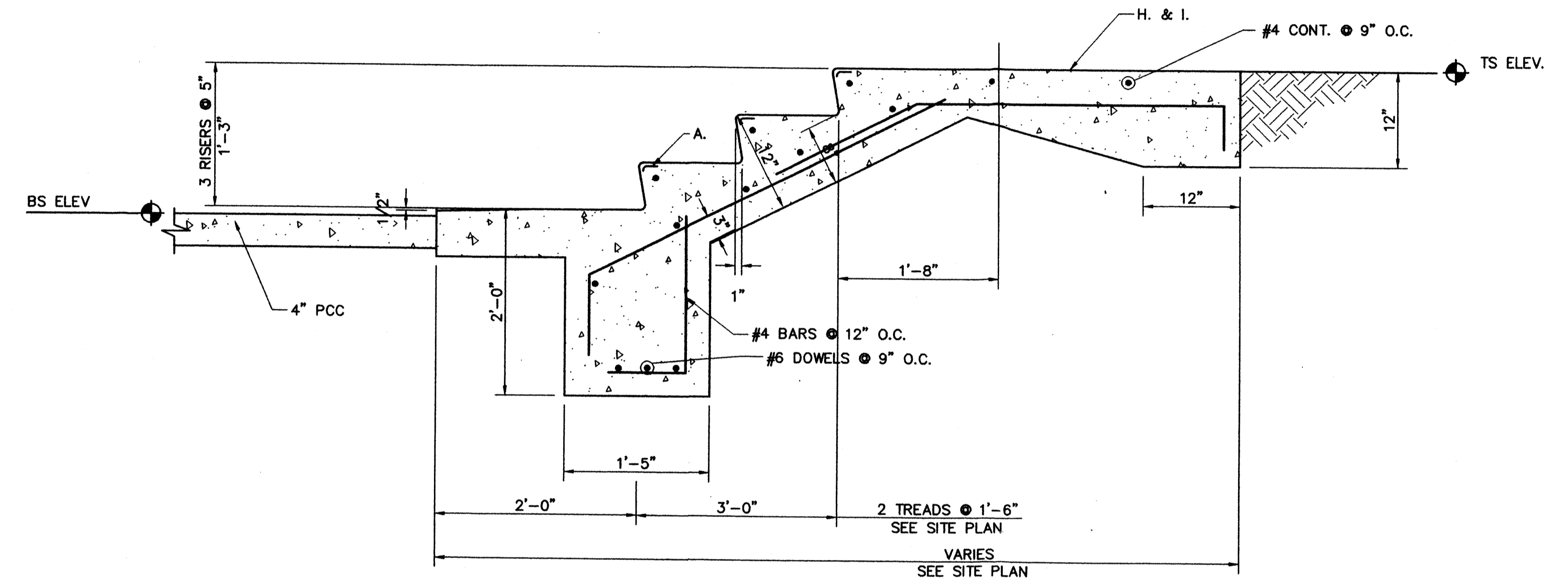
NOTE: APPLY SIKAFLEX POLYMER SEALANT BETWEEN ALL CONCRETE AND ENCLOSURE WALL JOINTS

WILSON & COMPANY 2600 THE AMERICAN ROAD S.E. SUITE 100 RIO RANCHO, NEW MEXICO 87124 (505) 898-8021		CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP	
		EAST SAN JOSE COMMUNITY CENTER & PARK MISCELLANEOUS DETAILS	
Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	Of
1001988	L-14	4	5



PLAN VIEW
SCALE: 1" = 1'

- GENERAL STAIR NOTES:**
- A. NOSING - SUPERGRIT TYPE 231, CG-1 CONCRETE GRAY; WOOSTER PRODUCTS, INC. INSTALL STAIR NOSING TO EACH STAIR TREAD ON CENTERLINE OF STAIRS. TERMINATE NOSING 6" FROM END OF STAIR TREADS. PAINT SURFACES IN CONTACT W/ CONCRETE.
 - B. CORE DRILL FOR RAIL POST (TYP.) EPOXY GROUT IN PLACE
 - C. 2" INSIDE DIAMETER STANDARD STEEL DIAMETER PIPERAIL
 - D. WELD JOINTS ALL AROUND
 - E. MITER CUT CORNERS (TYP.) WELD ALL AROUND
 - F. SADDLE CUT ALL CONNECTIONS (TYP.)
 - G. 2 COAT GRAY PRIMER 1 COAT PAINT. SUBMIT COLOR CHART FOR COLOR SELECTION & APPROVAL TO PROJECT MANAGER.
 - H. STAIR CONCRETE SHALL BE BROOM FINISHED W/ COLOR. SUBMIT COLOR CHART FOR COLOR SELECTION & APPROVAL TO PROJECT MANAGER.
 - I. LANDING - LANDINGS SHALL BE 5' - 0" LONG UNLESS INDICATED OTHERWISE
 - J. CONCRETE RETAINING WALL
 - K. WIDTH OF RETAINING WALL PERPENDICULAR TO STAIRS.
 - L. REVIEW GRADING & DRAINAGE PLAN FOR STAIR ELEVATIONS
 - M. 3/4" CHAMFER
 - N. CIP CONCRETE: 28 DAY STRENGTH $f_c=3000$ PSI



SECTION A
STAIR DETAIL
SCALE 1" = 1'

WILSON & COMPANY 2600 THE AMERICAN ROAD S.E. SUITE 100 RIO RANCHO, NEW MEXICO 87124 (505) 898-8021	CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING GROUP											
	EAST SAN JOSE COMMUNITY CENTER & PARK MISCELLANEOUS DETAILS											
	Design Review Committee	City Engineer Approval	Last Design Update <table border="1"> <thead> <tr> <th>Mo./Day/Yr.</th> <th>Mo./Day/Yr.</th> </tr> </thead> <tbody> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </tbody> </table>	Mo./Day/Yr.	Mo./Day/Yr.							
	Mo./Day/Yr.	Mo./Day/Yr.										
City Project No.	Zone Map No.	Sheet	Of									
1001988	L-14	5	5									