

AA PROJECT # 1001989

THE SITE IS LOCATED ON COORS BLVD. NW & FORTUNA ROAD NW. THE SITE IS PRESENTLY DIVIDED INTO TWO PARCELS WHICH WILL BE COMBINED INTO ONE 3.8192 ACRE PARCEL. THE PROPOSED USE IS A CAR SALES LOT WITH MULTIPLE SALES OFFICES IN A SINGLE BUILDING. PREVIOUS ZONING IS SU-1 FOR FRATERNAL CLUB AND C-1 WITH FULL-SERVICE LIQUOR, ON-PREMISE CONSUMPTION ONLY. CURRENT ZONING IS SU-1 FOR C-1 USES WITH FULL-SERVICE LIQUOR, ON-PREMISE CONSUMPTION ONLY, AND AUTOMOBILE SALES AND LIGHT TRUCK SALES.

VEHICULAR INGRESS AND EGRESS IS OFF COORS BLVD. (RIGHT-IN, RIGHT OUT) AND FORTUNA ROAD (FULL ACCESS). ONSITE CIRCULATION CONSISTS OF MAIN DRIVE AISLES FROM EITHER OF THE INGRESS/EGRESS DRIVEWAY LOCATIONS FEEDING SUB-DRIVE AISLES, ALLOWING TWO-WAY CIRCULATION THROUGHOUT THE SITE.

PEDESTRIAN INGRESS AND EGRESS IS PROVIDED ALONG COORS AT TWO LOCATIONS AND FORTUNA A ONE LOCATION. THERE IS A CONTINUOUS PEDESTRIAN PATH LINKING VARIOUS PARTS OF THE SITE TO THE MAIN BUILDING AND REMOTE SHADED SEATING AREA THAT WILL HAVE TABLES, CHAIRS AND BENCHES. TWO OTHER PATIO AREAS HAVE BENCH SEATING AS WELL.

THE MAXIMUM BUILDING HEIGHT PROPOSED IS 18'-6"

COORS CORRIDOR PLAN REQUIRES 15' FRONT YARD BUILDING SETBACK. UNDERLYING ZONES REQUIRE 5' REAR AND SIDE SETBACKS, BUT 15' WHERE THE SITE ABUTS THE REAR OF A LOT IN A RESIDENTIAL ZONE. A 15' LANDSCAPE BUFFER IS PROVIDED AT THE COORS AND ESTANCIA STREET FRONTAGES.

THE PROJECT WILL BE COMPLETED IN TWO PHASES, WITH 1150 SF OF OFFICES CONSTRUCTED INITIALLY, FOLLOWED BY AN ADDITIONAL CONTIGUOUS 480 SF OF OFFICES (PHASE 2). EVERYTHING SHOWN OTHER THAN THE OFFICE ADDITION WILL BE BUILT IN THE INITIAL PHASE.

THE F.A.R. OF THE FULL BUILDOUT IS .038. THE MAXIMUM F.A.R. FOR THE SITE WILL BE .5.

MINIMUM BUILDING SETBACKS (PER 14-16-2-15): THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET AND A SETBACK OF 11 FEET FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OF PLANNED PUBLIC SIDEWALK LOCATION.

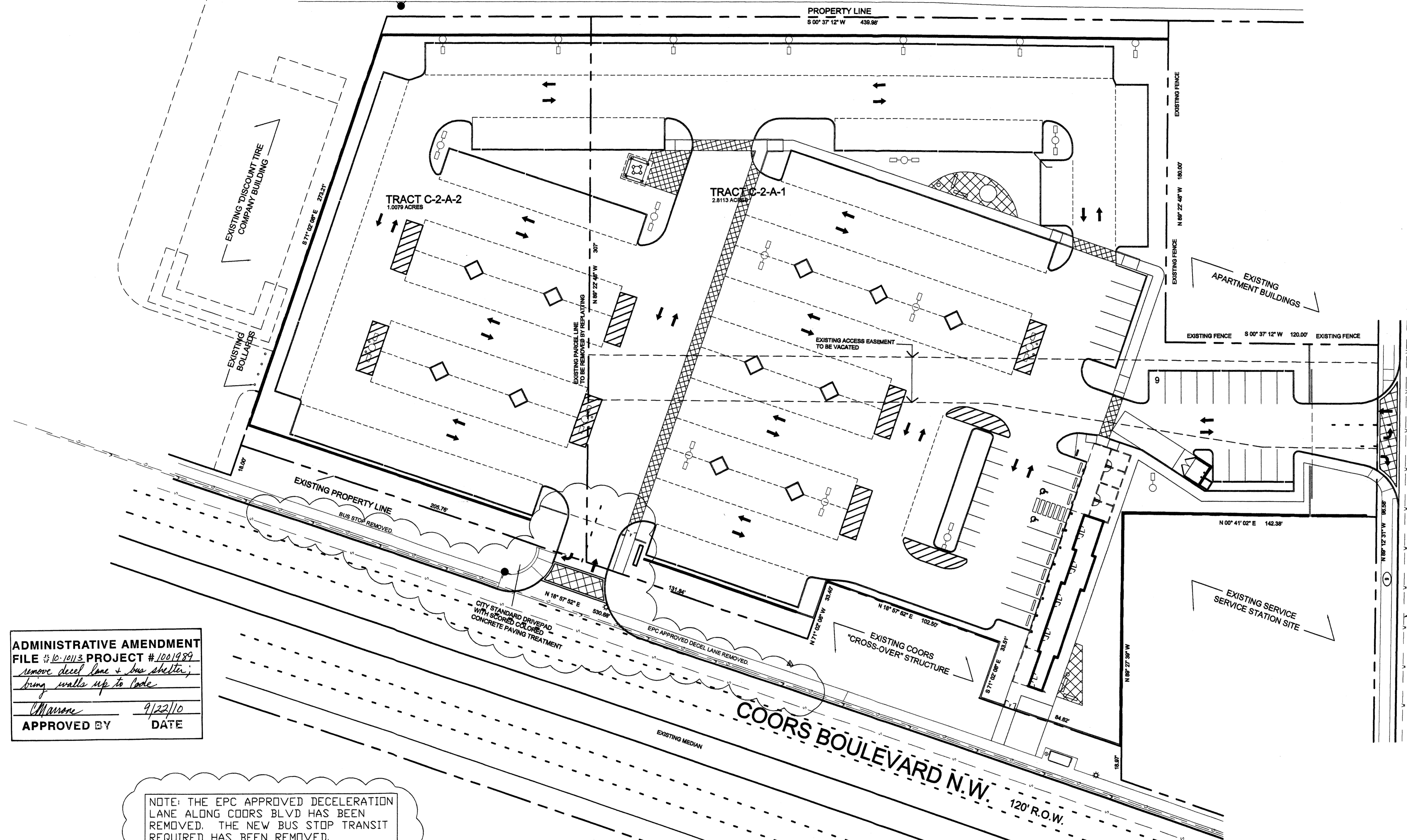
LEGAL DESCRIPTION

TRACT "C-2-A-2-A", BEING A REPLAT OF TRACTS "C-2-A-1" AND "C-2-A-2", OF THE CAMPBELL LANDS, A RE-DIVISION OF TRACT "C", AIRPORT UNIT, TOWN OF ATRISCO GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

ESTANCIA DRIVE N.W. 60' R.O.W.

FORTUNA ROAD N.W. 60' R.O.W.

COORS BOULEVARD N.W. 120' R.O.W.

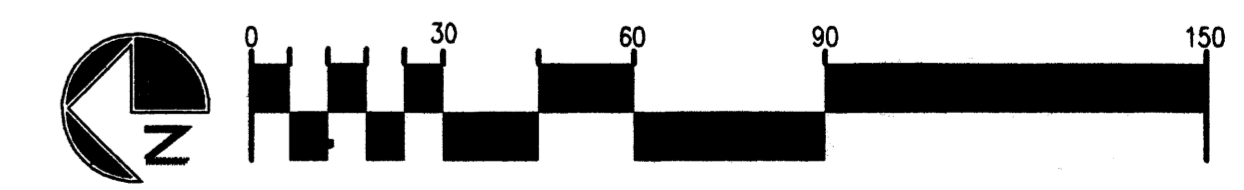


ADMINISTRATIVE AMENDMENT
 FILE # 10-10113 PROJECT # 1001989
remove decel lane + bus shelter;
bring walls up to code
 APPROVED BY *Marion* DATE *9/22/10*

NOTE: THE EPC APPROVED DECELERATION LANE ALONG COORS BLVD HAS BEEN REMOVED. THE NEW BUS STOP TRANSIT REQUIRED HAS BEEN REMOVED.

THE REQUIREMENT FOR A RIGHT TURN DECELERATION LANE, LOCATED AT THE APPROVED RIGHT TURN-IN RIGHT TURN-OUT SITE ACCESS ON COORS BOULEVARD, IS BASED ON THE CRITERIA AS IDENTIFIED IN THE CITY'S DEVELOPMENT PROCESS MANUAL (DPM). THE CURRENT LAND USE FOR THE SITE (I.E. AUTOMOBILE PARK AND SELL) DOES NOT GENERATE THE NUMBER OF ENTERING TRIPS, ASSIGNED TO THIS SITE DRIVE DURING EITHER AM OR PM PEAK HOUR, TO MEET THIS CRITERIA. HOWEVER, SHOULD THE LAND USE CHANGE, TH APPLICANT SHALL BE SUBJECT TO RE-EVALUATION, AS DETERMINED BY THE TRAFFIC ENGINEER, TO ESTABLISH WHETHER A RIGHT TURN DECELERATION LANE WOULD BE REQUIRED FOR THE NEW LAND USE PROPOSAL.

SITE PLAN FOR SUBDIVISION



ADMINISTRATIVE ADMENDMENT REVISION

A PROPOSED PLAN FOR
COORS PARK & SELL
 (COORS BLVD. N.W. AND FORTUNA RD. N.W.)
 ALBUQUERQUE, NEW MEXICO

ENGINEER'S SEAL

JUNE 29, 2009

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ESTANCIA DRIVE N.W.

KEYED NOTES

1. MONUMENT SIGN
2. BIKE RACK
3. NEW 3' HIGH CMU SCREEN WALL
4. NEW 6' HIGH CMU SCREEN WALL
5. 20' HIGH POLE LIGHT
6. 16' HIGH POLE LIGHT
7. SHADE STRUCTURE WITH TABLES/CHAIRS/BENCHES AND TRASH RECEPTACLE
8. NEW CURB CUT/DRIVEPAD PER COA REQUIREMENTS
9. EXISTING 6' WIDE CONCRETE SIDEWALK
10. NEW 8' WIDE CONCRETE SIDEWALK
11. NEW PEDESTRIAN GATE
12. NEW VEHICULAR/PEDESTRIAN GATE
13. COLORED SCORED CONCRETE PATIO
14. 6' WIDE COLORED SCORED CONCRETE CROSSWALK
15. NEW HC RAMP PER COA STANDARDS
16. DUMPSTER ENCLOSURE AND RECYCLING ENCLOSURE PER CITY OF ALBUQUERQUE REQUIREMENTS
17. LANDSCAPE BUFFER
18. EXISTING FIRE HYDRANT
19. NOT USED.
20. 8"x8" TREE PLANTER
21. NEW CMU ON EXISTING RETAINING WALL TO 6' HIGH
22. NEW 6' HIGH ORNAMENTAL IRON FENCE. COLOR TO MATCH SHERWIN WILLIAMS BAKED CLAY SW6340 (WARM BROWN)
23. EXISTING LIGHT POLE TO BE RELOCATED
24. EXISTING LIGHT POLE TO REMAIN
25. BENCH SEATING WITH TRASH RECEPTACLE
26. CONCRETE FILLED PIPE BOLLARD
27. NOT USED.
28. EXISTING COVERED BUS SHELTER.
29. MOTORCYCLE PARKING SPACE SIGN.
30. CURB NOTCH SEE DETAIL 4E ON SITE DETAIL SHEET.
31. SCORED COLORED CONCRETE.

NO ILLUMINATED SIGN, OR ANY ILLUMINATED ELEMENT OF ANY SIGN, MAY TURN ON OR OFF, OR CHANGE ITS BRIGHTNESS.

NO SIGN OR ANY PART OF ANY SIGN MAY MOVE OR ROTATE, INCLUDING WIND DEVICES WHICH ARE ALSO RESTRICTED.

A TOTAL OF TEN ITEMS ALLOWED PER PREMISE FRONTAGE MAY BE DISPLAYED ON A COMBINATION OF GROUND SIGNS, WALL SIGNS, & PROJECTING SIGNS. DIRECTIONAL SIGNS ARE NOT COUNTED. LETTERS & SYMBOLS 3" OR UNDER IN HEIGHT ARE NOT COUNTED.

EACH PREMISES ON COORS BOULEVARD IS PERMITTED TO DISPLAY SIGNS CONTAINING UP TO A TOTAL OF TEN ITEMS OF INFORMATION ALONG ANY ONE STREET FRONTAGE. AN ADDITIONAL TEN ITEMS OF INFORMATION MAY BE DISPLAYED ON ANY OTHER STREET WHICH PROVIDES ACCESS TO THE SAME PREMISE.

REF. COORS CORRIDOR SECTOR PLAN PP. 114,115

SIGNS WHICH ARE DIRECTLY SPOTLIGHTED OR INTERNALLY ILLUMINATED SIGNS ARE ALLOWED PROVIDED THAT: THERE IS NO GLARE ON THE STREET OR UPON ADJACENT PROPERTY & THE LIGHT DOES NOT DISTRACT MOTORISTS.

REF. COORS CORRIDOR SECTOR PLAN PP. 114,115

LEGAL DESCRIPTION

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SITE DATA

BUILDING AREA: 1150 SF
+ 486 SF FUTURE = 1,636 SF

REQUIRED PARKING = 1 PER 200 SF = 8 SPACES REQUIRED

HC PARKING PROVIDED = 2 SPACE

PROVIDED PARKING = 28 CUSTOMER SPACES* (INCLUDING 2 HC)
*FOR 12 SALES OFFICES
+ 2 MOTORCYCLE SPACES

ADDITIONAL SPACES:
310 CAR SALES SPACES / 9 GOLF CART SPACES

BICYCLE SPACES:
5 SLOTS IN RACK

NOTE: BANNERS, PENNANTS, RIBBONS, STREAMERS, STRINGS OF LIGHT BULBS, SPINNERS, TINSEL, BALLOONS AND REFLECTIVE FLAGS SHALL NOT BE ALLOWED.

NOTE: THE TERM "VEHICLE", IN THE CONTEXT OF THIS REQUEST MEANS ONLY AUTOMOBILE OR LIGHT TRUCK.

NOTE: THE USE OF AMPLIFIED SOUND, INCLUDING BUT NOT LIMITED TO SPEAKERS AND PA SYSTEMS, SHALL NOT BE ALLOWED.

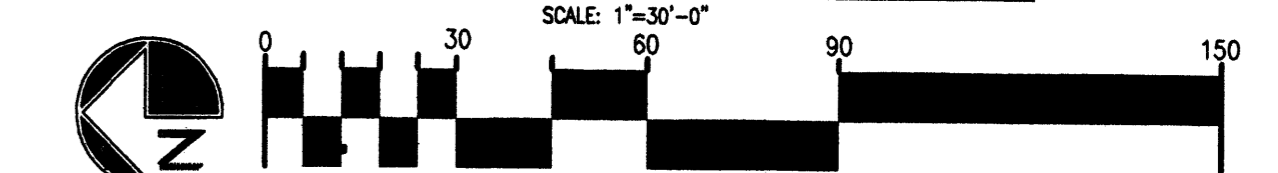
NOTE: ALL EXTERIOR UTILITY BOXES, ELECTRICAL AND GAS METERS, TRANSFORMERS, ETC., SHALL BE SCREENED FROM VIEW.

NOTE: LANDSCAPING ISLANDS SHALL BE AT GRADE WITH THE PARKING LOT (NOT RAISED) SO THE CURB NOTCHES CAN FUNCTION.

NOTE: THE EPC APPROVED DECELERATION LANE ALONG COORS BLVD HAS BEEN REMOVED. THE NEW BUS STOP TRANSIT REQUIRED HAS BEEN REMOVED.

THE REQUIREMENT FOR A RIGHT TURN DECELERATION LANE, LOCATED AT THE APPROVED RIGHT TURN-IN RIGHT TURN-OUT SITE ACCESS ON COORS BOULEVARD, IS BASED ON THE CRITERIA AS IDENTIFIED IN THE CITY'S DEVELOPMENT PROCESS MANUAL (DPM). THE CURRENT LAND USE FOR THE SITE (I.E. AUTOMOBILE PARK AND SELL) DOES NOT GENERATE THE NUMBER OF ENTERING TRIPS, ASSIGNED TO THIS SITE DRIVE DURING EITHER AM OR PM PEAK HOUR, TO MEET THIS CRITERIA. HOWEVER, SHOULD THE LAND USE CHANGE, TH APPLICANT SHALL BE SUBJECT TO RE-EVALUATION, AS DETERMINED BY THE TRAFFIC ENGINEER, TO ESTABLISH WHETHER A RIGHT TURN DECELERATION LANE WOULD BE REQUIRED FOR THE NEW LAND USE PROPOSAL.

SITE PLAN FOR BUILDING PERMIT



NOTE: NO ELECTRONIC DISPLAY PANELS, ALSO KNOWN AS LED DISPLAY PANELS OR ELECTRONIC BILLBOARDS, SHALL BE PERMITTED.

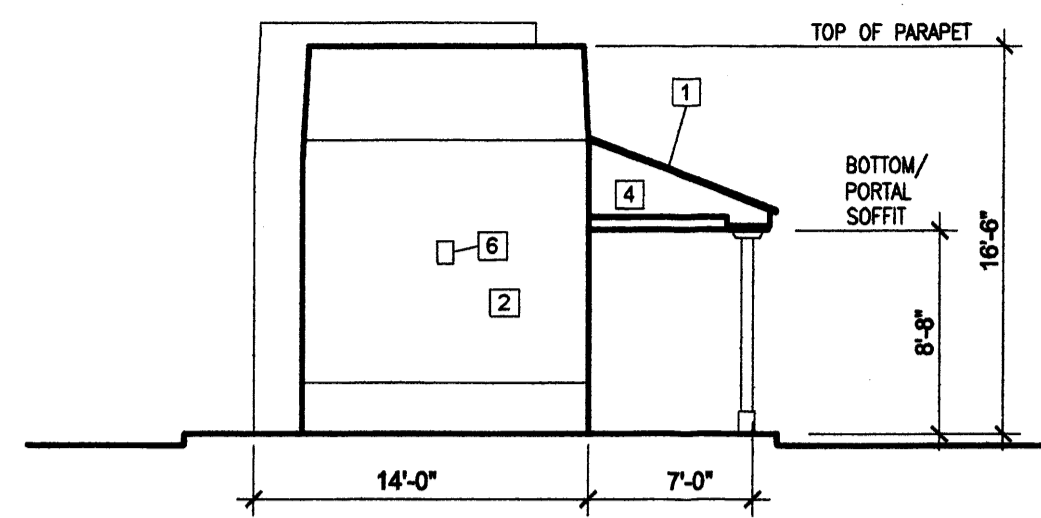
ADMINISTRATIVE ADMENDMENT REVISION

**A PROPOSED PLAN FOR
COORS PARK & SELL
(COORS BLVD. N.W. AND FORTUNA RD. N.W.)
ALBUQUERQUE, NEW MEXICO**

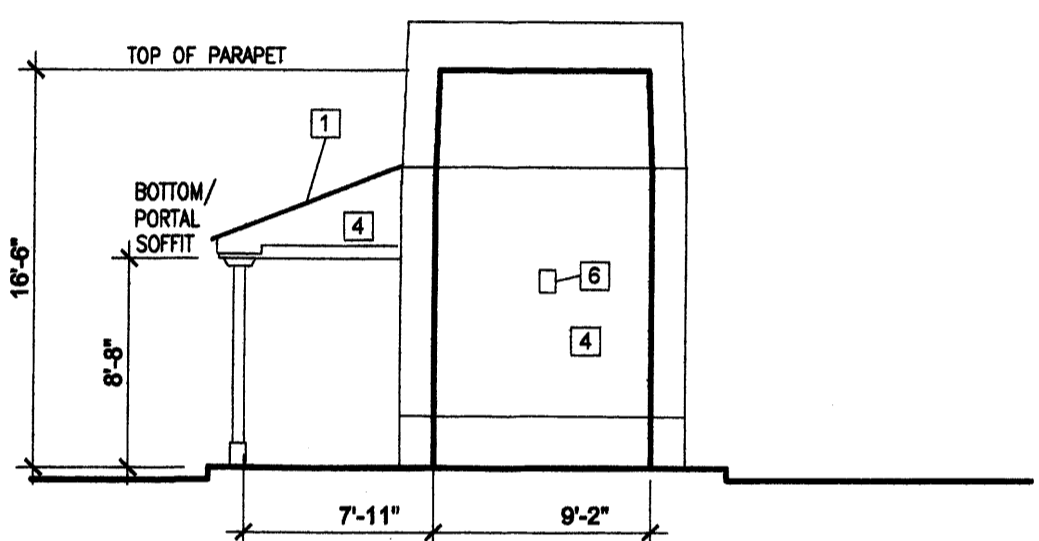
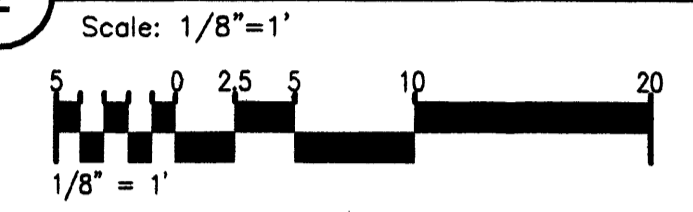
ENGINEER'S SEAL

JUNE 29, 2009

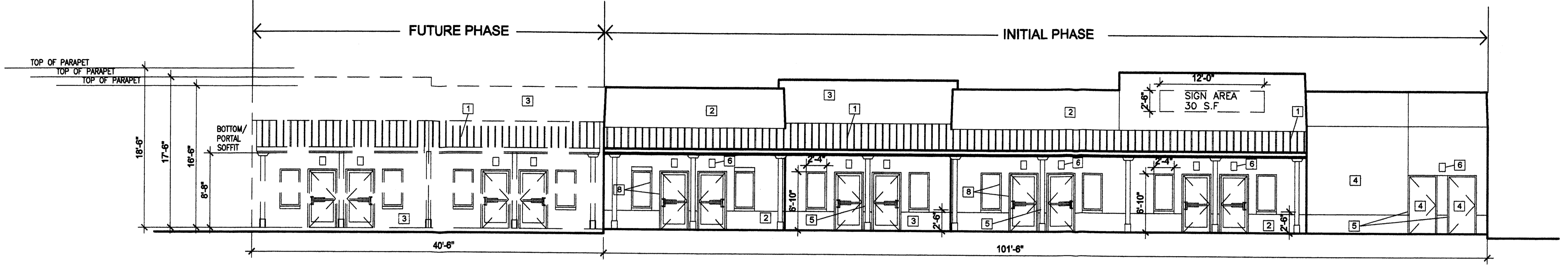
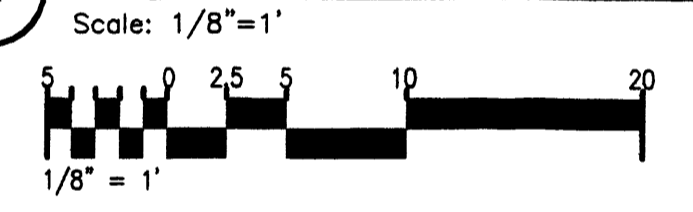
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2 EAST ELEVATION

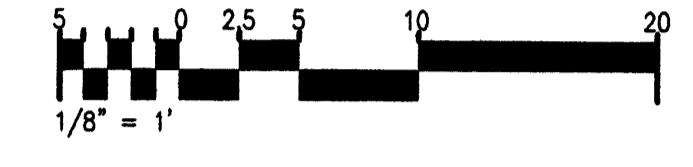


4 WEST ELEVATION

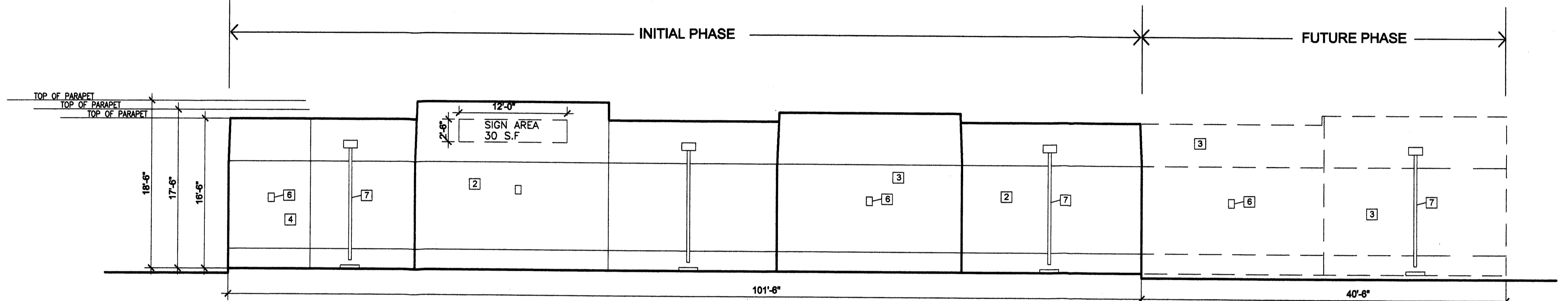


1 NORTH ELEVATION

Scale: 1/8"=1'

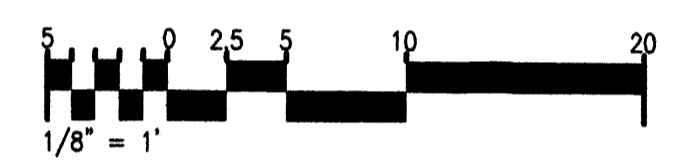


GENERAL NOTE:
SIGNAGE-BUILDING MOUNTED:
1. BUILDING MOUNTED SIGNAGE SHALL NOT EXCEED 7.5% OF EACH FACADE AREA
2. MAXIMUM INDIVIDUAL LETTER HEIGHT IS 3 FEET.
3. ROOFTOP MECHANICAL EQUIPMENT SHALL BE CONCEALED.



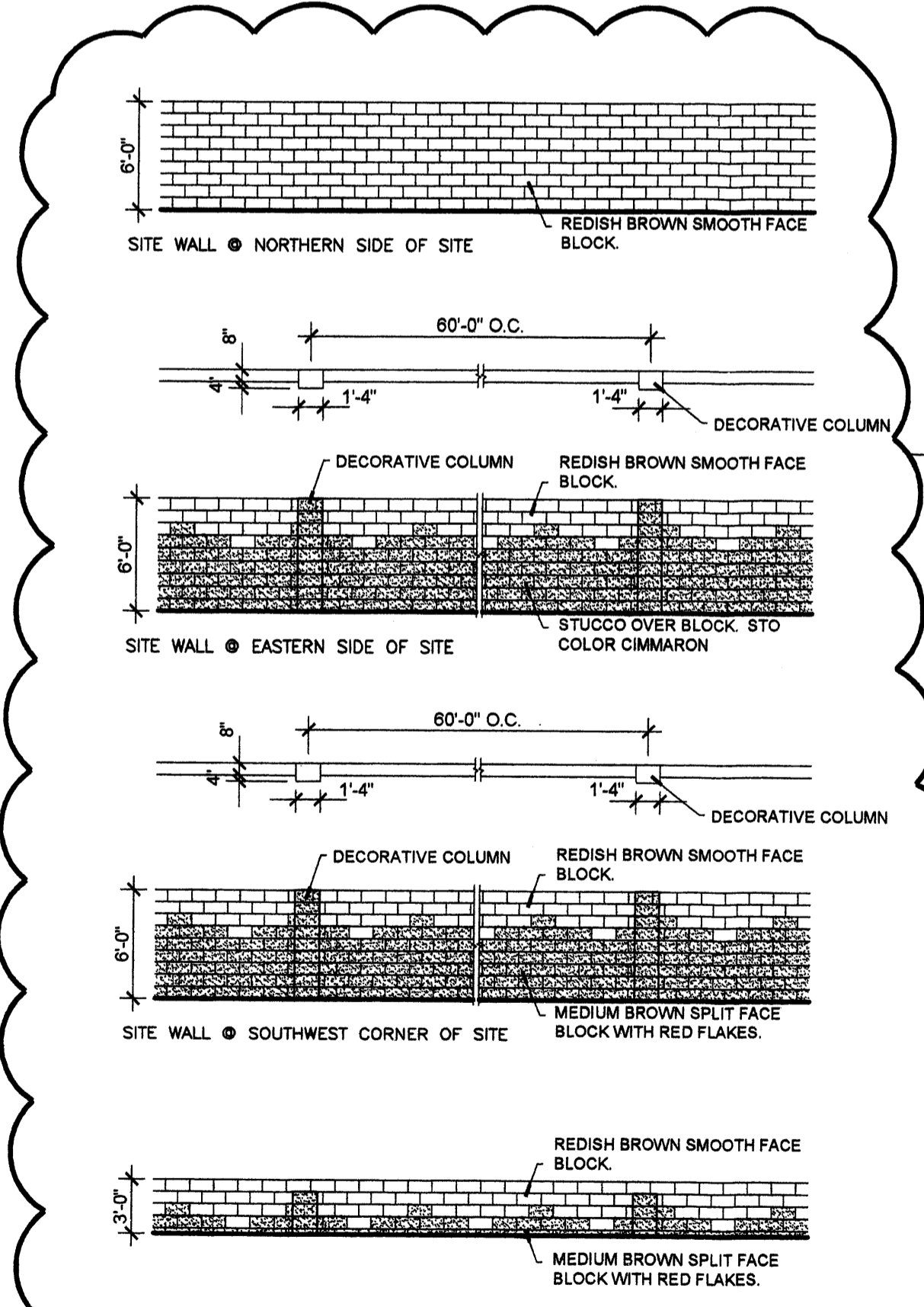
3 SOUTH ELEVATION

Scale: 1/8"=1'



GENERAL NOTE:
1. BUILDING MOUNTED SIGNAGE SHALL NOT EXCEED 7.5% OF EACH FACADE AREA
2. MAXIMUM INDIVIDUAL LETTER HEIGHT IS 3 FEET.
3. ROOFTOP MECHANICAL EQUIPMENT SHALL BE CONCEALED.

Keyed Color	Material Schedule	Common Name	
1	METAL ROOF	STANDING SEAM KYNAR COLONIAL RED	RED-BROWN
2	STUCCO	SHERWIN WILLIAMS TEA LIGHT SW7681	LIGHT BEIGE
3	STUCCO	SHERWIN WILLIAMS OAK BARREL SW7714	MEDIUM TAN
4	STUCCO & HOLLOW METAL DOORS	SHERWIN WILLIAMS BAKED CLAY SW6340	WARM BROWN
5	PAINT @ PORTAL COLUMNS, CANOPY TRIM, HM DOOR FRAMES	SHERWIN WILLIAMS BAKED CLAY SW6340	WARM BROWN
6	WALL MOUNTED LIGHT FIXTURES	BY MFR.	MEDIUM TAN
7	SCUPPER & DOWNSPOUTS	SHERWIN WILLIAMS OAK BARREL SW7714	MEDIUM TAN
8	ALUMINUM FRAME DOORS & WINDOWS	DARK BRONZE FRAME W/1" INSULATING GLASS AT WINDOWS	DARK BROWN



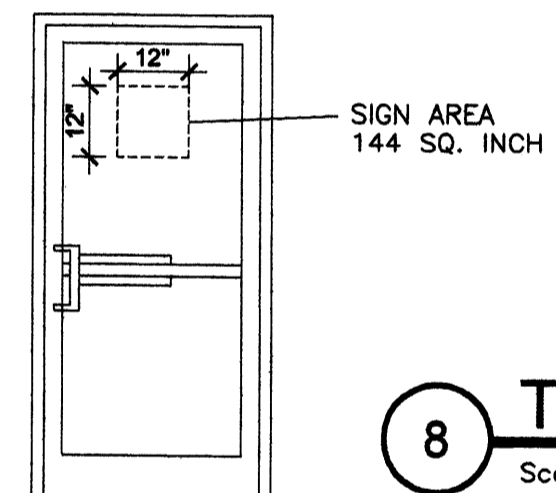
5 CMU SITE WALL ELEVATIONS

Scale: 1/8"=1'

NOTE: CMU CAP BLOCK REQUIRED FOR THE TOP OF ALL 6'-0" SITE WALLS.

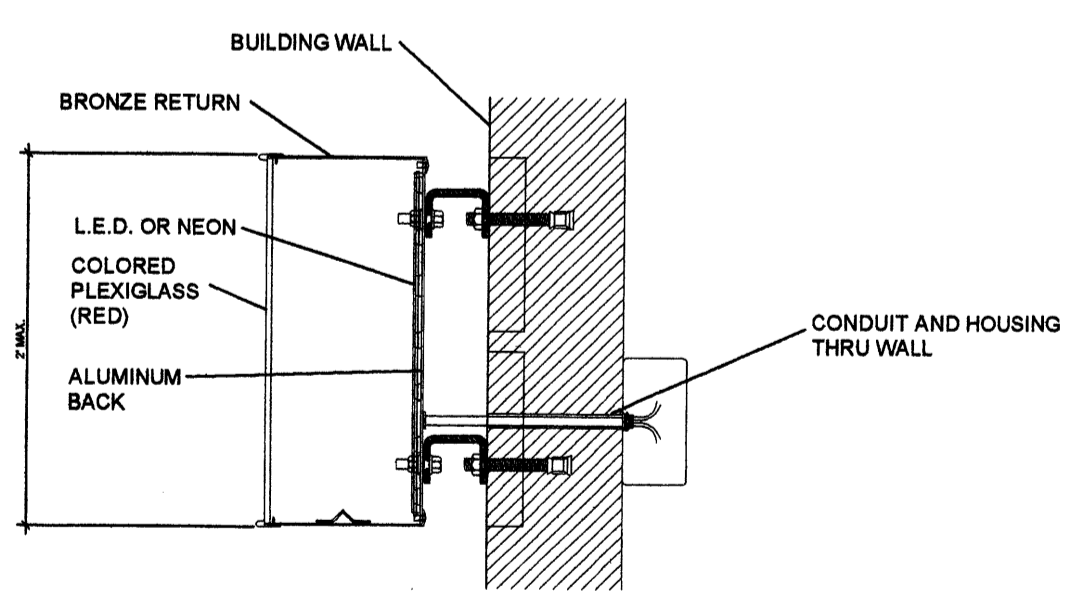
NOTE: SPLIT FACE BLOCK, STUCCO AND DECORATIVE COLUMNS TO BE FACING OUT OF THE SITE (ON THE STREET SIDE OF THE WALL).

NOTE: NO ELECTRONIC DISPLAY PANELS, ALSO KNOWN AS LED DISPLAY PANELS OR ELECTRONIC BILLBOARDS, SHALL BE PERMITTED.



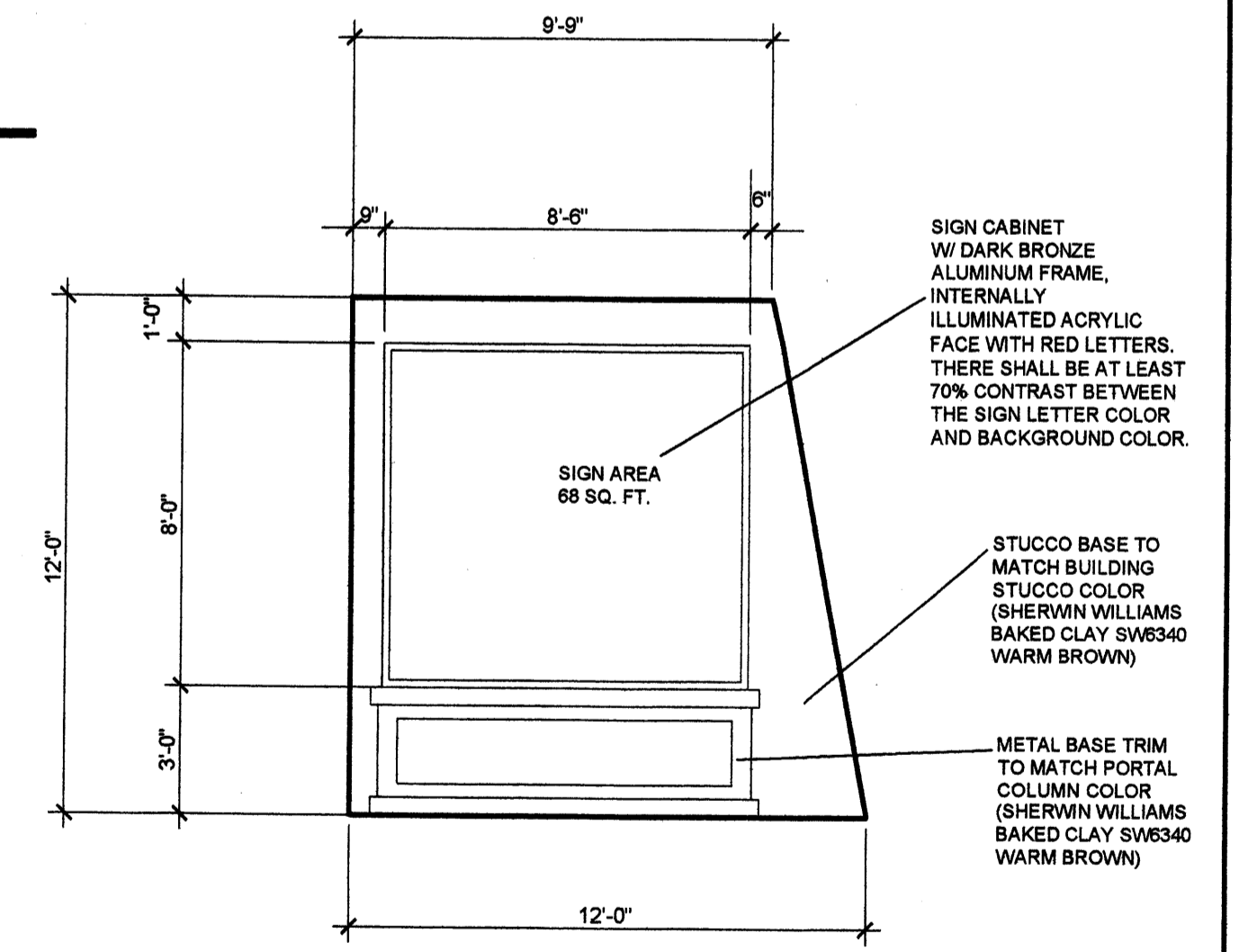
8 TYP. OFFICE TENANT I.D. SIGN

Scale: NTS



6 BUILDING SIGNAGE DETAIL

Scale: NTS



7 MONUMENT SIGN

Scale: 1/4"=1'-0"

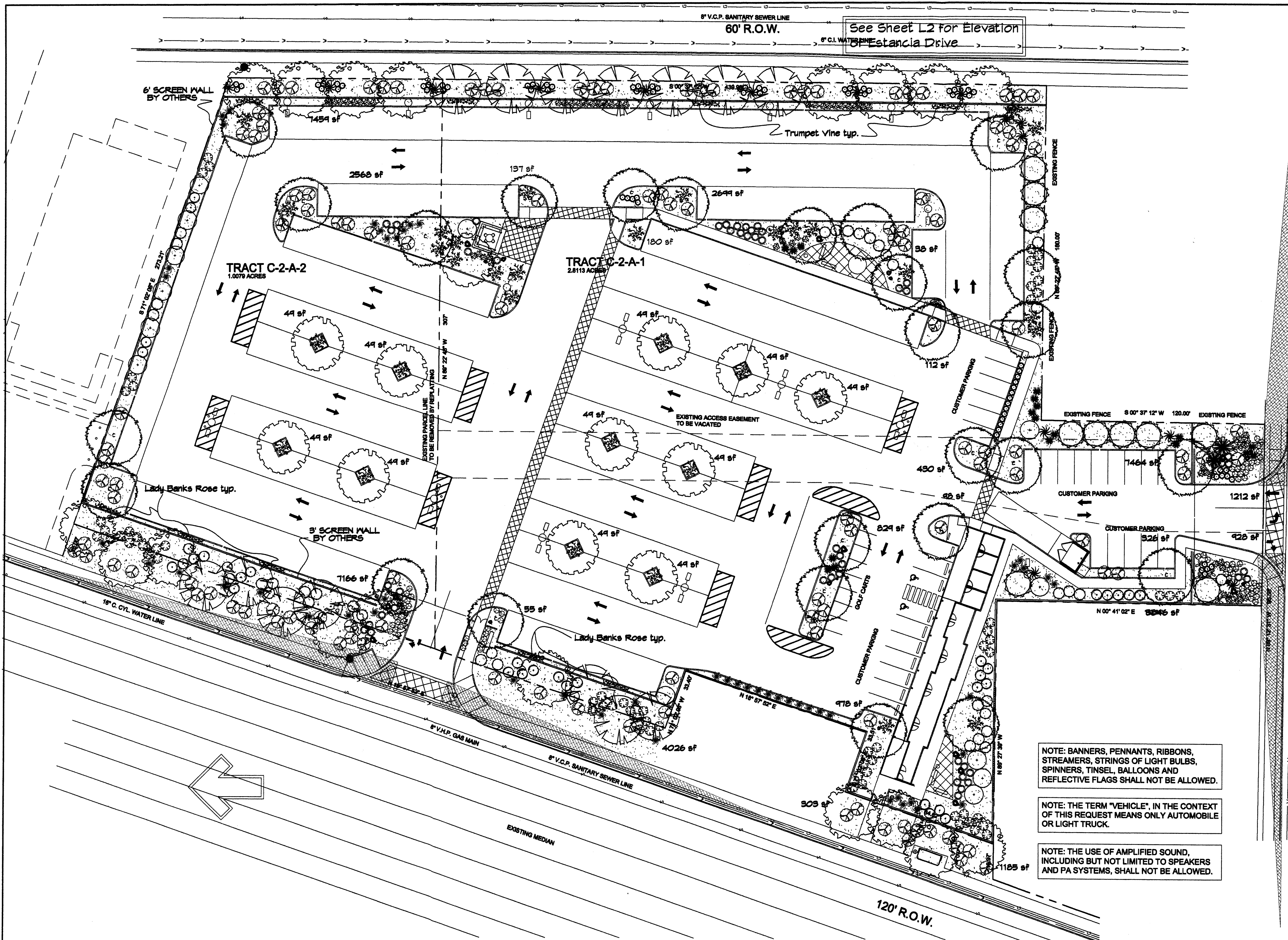
ADMINISTRATIVE ADMENDMENT REVISION

**A PROPOSED PLAN FOR
COORS PARK & SELL**
(COORS BLVD. N.W. AND FORTUNA RD. N.W.)
ALBUQUERQUE, NEW MEXICO

ENGINEER'S SEAL

JUNE 29, 2009

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See Sheet L2 for Elevation of Estancia Drive

PLANT LEGEND

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

- CHINESE PISTACHE 22
Pistacia chinensis
2" Cal., 12-14' Inst./40' x 30' maturity
Water (M) Allergy (L) Osf
- BUR OAK 15
Quercus macrocarpa
2" Cal., 12-14' Inst./60' x 60' maturity
Water (M) Allergy (M) Osf
- CHITALPA 14
Chilopsis x Catalpa
2" Cal., 12-14' Inst./30' x 30' maturity
Water (M) Allergy (L) Osf
- COMMON HACKBERRY 14
Celtis occidentalis
3" Cal., 12-14' Inst./40' x 40' maturity
Water (M) Allergy (L) Osf

DESERT ACCENTS

- BANANA YUCCA 2
Yucca baccata
4-8" Inst., 15' x 6' maturity
Water (L) Allergy (L) Osf
- BANANA YUCCA 15
Yucca baccata
5 Gal., 10-3' Inst./4' x 5' maturity
Water (L) Allergy (L) 25sf
- RED YUCCA 10
Hesperaloe parviflora
5 Gal., 10-3' Inst./3' x 4' maturity
Water (L) Allergy (L) 16sf
- PRICKLY PEAR 15
Opuntia macrocentra
5 Gal., 12-3' Inst./3' x 3' maturity
Water (L) Allergy (L) 9sf

SHRUBS/ORNAMENTAL TREES

- DESERT WILLOW 10
Chilopsis linearis
15 Gal., 4-10' Inst./20' x 25' maturity
Water (L) Allergy (L) 225sf
- NEW MEXICO OLIVE 15
Forestiera neomexicana
5 Gal., 4-10' Inst./15' x 15' maturity
Water (M) Allergy (L) 225sf

SHRUBS/ORNAMENTAL GRASSES

- FIVE GAL.
 - THREE-LEAF SUMAC 36
Rhus trilobata
5 Gal., 10-3' Inst./6' x 6' maturity
Water (L) Allergy (L) 36sf
 - RUSSIAN SAGE 36
Perovskia atriplicifolia
5 Gal., 10-3' Inst./5' x 5' maturity
Water (M) Allergy (L) 25sf
 - MAIDENCRESS 31
Miscanthus sinensis
5 Gal., 10-3' Inst./5' x 5' maturity
Water (M) Allergy (L) 25sf
- ONE GAL.
 - CHAMISA 64
Chrysothamnus nauseosus
1 Gal., 6-15' Inst./3' x 5' maturity
Water (L) Allergy (L) 25sf
 - TURPENTINE BUSH 40
Eriocameria laricina
1 Gal., 6-15' Inst./2' x 4' maturity
Water (L) Allergy (L) 16sf
 - CATMINT 75
Nepeta mussini
1 Gal., 3-15' Inst./1' x 2' maturity
Water (M) Allergy (L) 4sf
 - WILDFLOWER 67
1 Gal., 3-15' Inst./varies at maturity
Water (varies) Allergy (varies) 4sf
 - THREADGRASS 57
Sphaeralcea
1 Gal., 3-15' Inst./2' x 2' maturity
Water (L) Allergy (L) 4sf

GROUNDCOVERS

- HONEYSUCKLE 120
Lonicera japonica 'Halliana'
1 Gal., 6-15' Inst./3' x 12' maturity
Water (M) Allergy (L) 144sf
Unstaked-groundcover
- WINTER JASMINE 33
Jasminum nudiflorum
1 Gal., 6-15' Inst./4' x 12' maturity
Water (L) Allergy (L) 144sf

VINES

- BANKS ROSE 5
Rosa banksiae
1 Gal., 6-15' Inst./climbing to 20'
Water (M) Allergy (L)
- TRUMPET VINE 5
Campsis radicans
1 Gal., 6-15' Inst./climbing to 40'
Water (M) Allergy (L)

HARDSCAPES

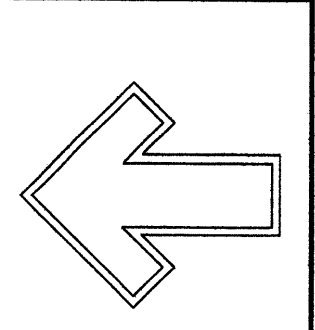
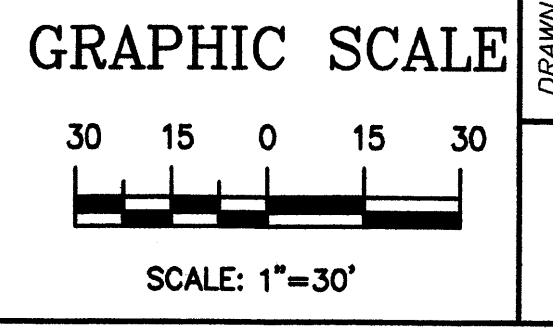
- OVERSIZED GRAVEL
4 21. BOULDERS
- 3/4" GRAY GRAVEL WITH FILTER FABRIC TO A MINIMUM 3" DEPTH

NOTE: BANNERS, PENNANTS, RIBBONS, STREAMERS, STRINGS OF LIGHT BULBS, SPINNERS, TINSEL, BALLOONS AND REFLECTIVE FLAGS SHALL NOT BE ALLOWED.

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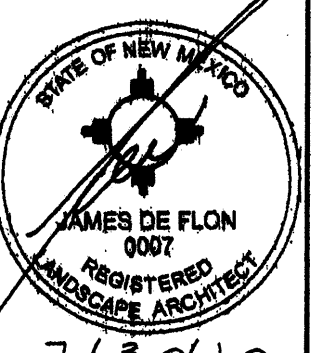
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* DENOTES EVERGREEN PLANT MATERIAL



Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmj@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL



7/3/010
JAMES DE FLON #0007

COORS PARK AND SELL
COORS AND FORTUNA NEC
ALBUQUERQUE, NM
LANDSCAPE PLAN

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DRAWN BY rmc
REVISION # 10
7/7-30-10
DATE 6-25-09

SHEET #
L1 of L2

SEE SHEET L2 FOR NOTES, DETAILS AND CALCULATIONS