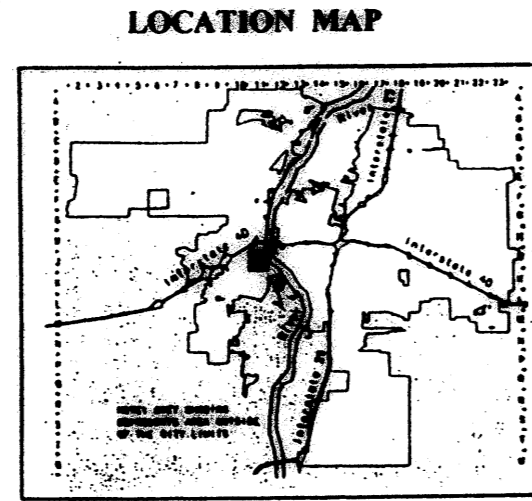
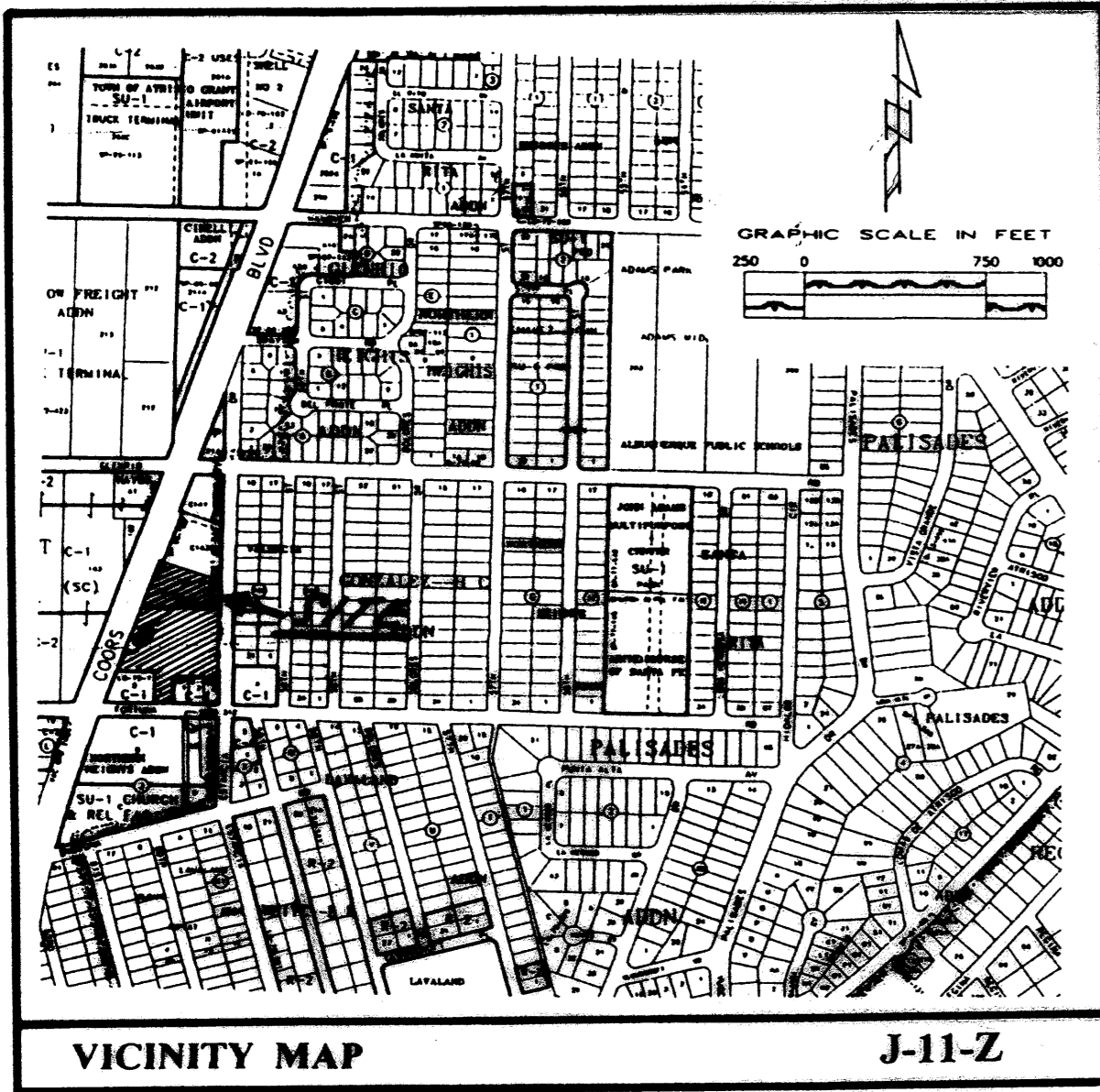


1001989 DRB DRAWER



# FUTURE “COORS PARK & SELL”

(COORS BLVD. N.W. AND FORTUNA ROAD N.W.)

ALBUQUERQUE, NEW MEXICO

JUNE 29, 2009

**INDEX:**

- 1.) COVER SHEET
- 2.) SITE DEVELOPMENT PLAN FOR SUBDIVISION
- 3.) SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
- 4.) LANDSCAPE PLAN
- 5.) CONCEPTUAL GRADING AND DRAINAGE PLAN
- 6.) BUILDING ELEVATIONS
- 7.) MISCELLANEOUS DETAILS
- 8.) UTILITY PLAN
- 9.) E.P.C APPROVAL SHEET “MOOSE LODGE”,  
(PROJECT 1001989).

PROJECT NUMBER: 1001989

APPLICATION NUMBER:

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated \_\_\_\_\_ and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) YES ( ) NO If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic, Engineering, Transportation Division	02/04/10
Water Utility Department	01/13/10
Parks and Recreation Department	1/13/10
City Engineer	4-20-10
Environmental Health Department *(conditional)	12-14-9
Solid Waste Management	01-13-10
DRB Chairperson, Planning Department	Catalina Jaramila

\* Environmental Health, if necessary

PLANS CHECKING OFFICE  
924-3611  
APPROVED FOR PERMIT  
R.C. Jaramila 12-14-09  
SIGNATURE & DATE

**KEYED NOTES**

- MONUMENT SIGN
- BIKE RACK
- NEW 3' HIGH CMU SCREEN WALL
- NEW 6' HIGH CMU SCREEN WALL
- 20' HIGH POLE LIGHT
- 16' HIGH POLE LIGHT
- SHADE STRUCTURE WITH TABLES/CHAIRS/BENCHES AND TRASH RECEPTACLE
- NEW CURB CUT/DRIVEPAD PER COA REQUIREMENTS
- EXISTING 6' WIDE CONCRETE SIDEWALK
- NEW 6' WIDE CONCRETE SIDEWALK
- NEW PEDESTRIAN GATE
- NEW VEHICULAR/PEDESTRIAN GATE
- COLORLED SCORED CONCRETE PATIO
- 6' WIDE COLORED SCORED CONCRETE CROSSWALK
- NEW HC RAMP PER COA STANDARDS
- DUMPSTER ENCLOSURE AND RECYCLING ENCLOSURE PER CITY OF ALBUQUERQUE REQUIREMENTS
- LANDSCAPE BUFFER
- EXISTING FIRE HYDRANT
- ~~NEW WHEELCHAIR RAMP~~
- 8'x8' TREE PLANTER
- NEW CMU ON EXISTING RETAINING WALL TO 6' HIGH
- NEW 6' HIGH ORNAMENTAL IRON FENCE. COLOR TO MATCH SHERWIN WILLIAMS BAKED CLAY SW6340 (WARM BROWN)
- EXISTING LIGHT POLE TO BE RELOCATED
- EXISTING LIGHT POLE TO REMAIN.
- BENCH SEATING WITH TRASH RECEPTACLE
- CONCRETE FILLED PIPE BOLLARD
- NEW TYPE 'C' BUS SHELTER. PER COA STANDARD DETAIL COA #2535.
- EXISTING COVERED BUS SHELTER.
- MOTORCYCLE PARKING SPACE SIGN.
- CURB NOTCH SEE DETAIL 4E ON SITE DETAIL SHEET.
- SCORED COLORED CONCRETE.

SIGNS WHICH ARE DIRECTLY SPOTLIGHTED OR INTERNALLY ILLUMINATED SIGNS ARE ALLOWED PROVIDED THAT: THERE IS NO GLARE ON THE STREET OR UPON ADJACENT PROPERTY & THE LIGHT DOES NOT DISTRACT MOTORISTS.

REF: COORS CORRIDOR SECTOR PLAN PP. 114,115

NO ILLUMINATED SIGN, OR ANY ILLUMINATED ELEMENT OF ANY SIGN, MAY TURN ON OR OFF, OR CHANGE ITS BRIGHTNESS.

NO SIGN OR ANY PART OF ANY SIGN MAY MOVE OR ROTATE, INCLUDING WIND DEVICES WHICH ARE ALSO RESTRICTED.

A TOTAL OF TEN ITEMS ALLOWED PER PREMISE FRONTAGE MAY BE DISPLAYED ON A COMBINATION OF GROUND SIGNS, WALL SIGNS, & PROJECTING SIGNS. DIRECTIONAL SIGNS ARE NOT COUNTED. LETTERS & SYMBOLS 3" OR UNDER IN HEIGHT ARE NOT COUNTED.

EACH PREMISES ON COORS BOULEVARD IS PERMITTED TO DISPLAY SIGNS CONTAINING UP TO A TOTAL OF TEN ITEMS OF INFORMATION ALONG ANY ONE STREET FRONTAGE. AN ADDITIONAL TEN ITEMS OF INFORMATION MAY BE DISPLAYED ON ANY OTHER STREET WHICH PROVIDES ACCESS TO THE SAME PREMISE.

REF: COORS CORRIDOR SECTOR PLAN PP. 114,115

**LEGAL DESCRIPTION**

TRACT "C-2-A-2", BEING A REPLAT OF TRACTS "C-2-A-1" AND "C-2-A-2", OF THE CAMPBELL LANDS, A RE-DIVISION OF TRACT "C", AIRPORT UNIT, TOWN OF ATRISCO GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

**SITE DATA**

BUILDING AREA: 1150 SF  
+ 486 SF FUTURE = 1,636 SF

REQUIRED PARKING = 1 PER 200 SF = 8 SPACES REQUIRED

HC PARKING PROVIDED = 2 SPACE

PROVIDED PARKING = 28 CUSTOMER SPACES\* (INCLUDING 2 HC)  
\*FOR 12 SALES OFFICES  
+ 2 MOTORCYCLE SPACES

ADDITIONAL SPACES:  
310 CAR SALES SPACES / 9 GOLF CART SPACES

BICYCLE SPACES:  
5 SLOTS IN RACK

NOTE: ALL EXTERIOR UTILITY BOXES, ELECTRICAL AND GAS METERS, TRANSFORMERS, ETC., SHALL BE SCREENED FROM VIEW.

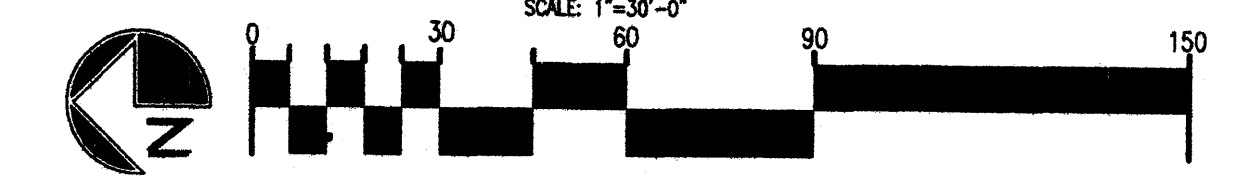
NOTE: LANDSCAPING ISLANDS SHALL BE AT GRADE WITH THE PARKING LOT (NOT RAISED) SO THE CURB NOTCHES CAN FUNCTION.

NOTE: BANNERS, PENNANTS, RIBBONS, STREAMERS, STRINGS OF LIGHT BULBS, SPINNERS, TINSEL, BALLOONS AND REFLECTIVE FLAGS SHALL NOT BE ALLOWED.

NOTE: THE TERM "VEHICLE", IN THE CONTEXT OF THIS REQUEST MEANS ONLY AUTOMOBILE OR LIGHT TRUCK.

NOTE: THE USE OF AMPLIFIED SOUND, INCLUDING BUT NOT LIMITED TO SPEAKERS AND PA SYSTEMS, SHALL NOT BE ALLOWED.

**SITE PLAN FOR BUILDING PERMIT**



NOTE: NO ELECTRONIC DISPLAY PANELS, ALSO KNOWN AS LED DISPLAY PANELS OR ELECTRONIC BILLBOARDS, SHALL BE PERMITTED.

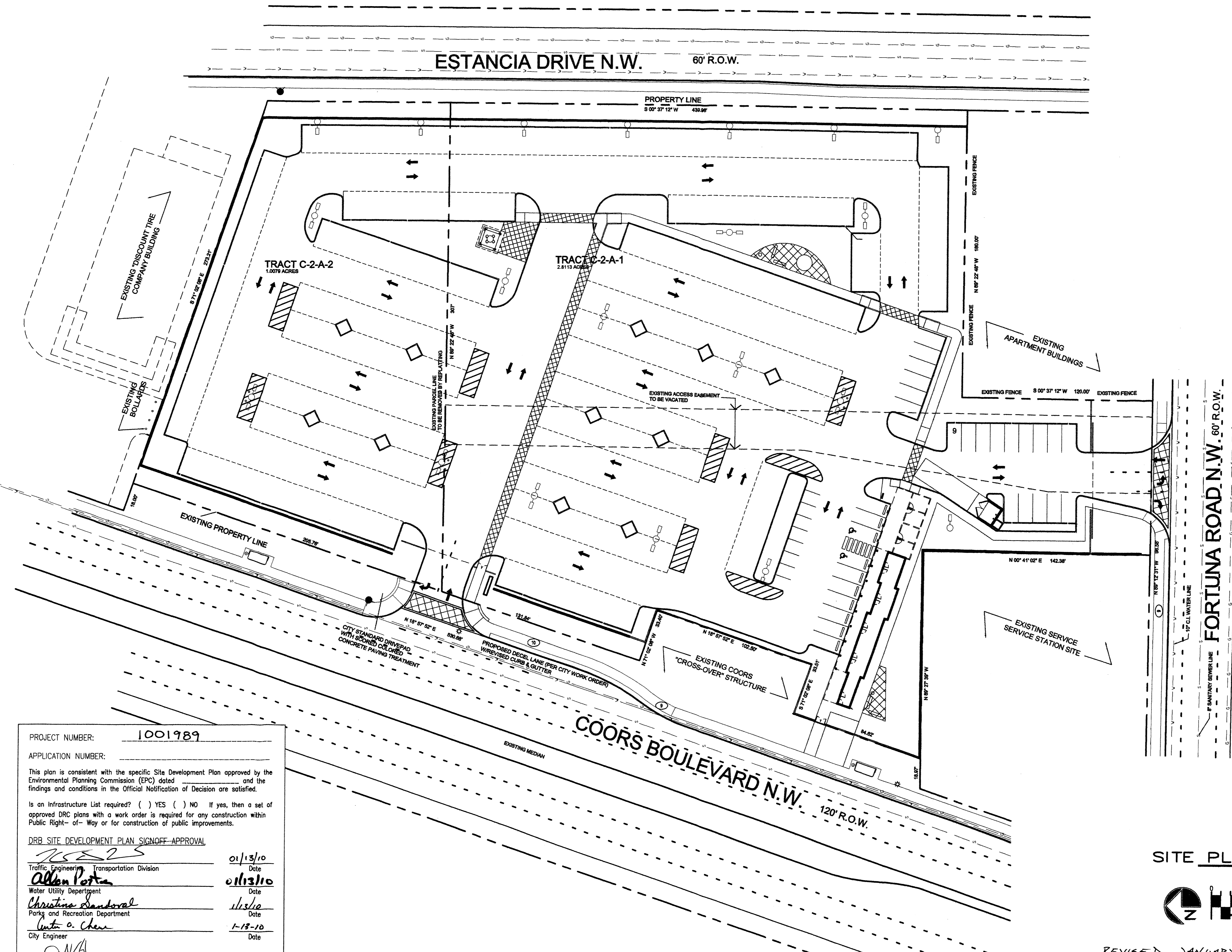
REVISED JANUARY 2010

A PROPOSED PLAN FOR  
**COORS PARK & SELL**  
(COORS BLVD. N.W. AND FORTUNA RD. N.W.)  
ALBUQUERQUE, NEW MEXICO

ENGINEER'S SEAL

JUNE 29, 2009

3 OF 9



THE SITE IS LOCATED ON COORS BLVD. NW & FORTUNA ROAD NW. THE SITE IS PRESENTLY DIVIDED INTO TWO PARCELS WHICH WILL BE COMBINED INTO ONE 3.8192 ACRE PARCEL. THE PROPOSED USE IS A CAR SALES LOT WITH MULTIPLE SALES OFFICES IN A SINGLE BUILDING. PREVIOUS ZONING IS SU-1 FOR FRATERNAL CLUB AND C-1 WITH FULL-SERVICE LIQUOR, ON-PREMISE CONSUMPTION ONLY. CURRENT ZONING IS SU-1 FOR C-1 USES WITH FULL-SERVICE LIQUOR, ON-PREMISE CONSUMPTION ONLY, AND AUTOMOBILE SALES AND LIGHT TRUCK SALES.

VEHICULAR INGRESS AND EGRESS IS OFF COORS BLVD. (RIGHT-IN, RIGHT OUT) AND FORTUNA ROAD (FULL ACCESS). ONSITE CIRCULATION CONSISTS OF MAIN DRIVE AISLES FROM EITHER OF THE INGRESS/EGRESS DRIVEWAY LOCATIONS FEEDING SUB-DRIVE AISLES, ALLOWING TWO-WAY CIRCULATION THROUGHOUT THE SITE.

PEDESTRIAN INGRESS AND EGRESS IS PROVIDED ALONG COORS AT TWO LOCATIONS AND FORTUNA A ONE LOCATION. THERE IS A CONTINUOUS PEDESTRIAN PATH LINKING VARIOUS PARTS OF THE SITE TO THE MAIN BUILDING AND REMOTE SHADED SEATING AREA THAT WILL HAVE TABLES, CHAIRS AND BENCHES. TWO OTHER PATIO AREAS HAVE BENCH SEATING AS WELL.

THE MAXIMUM BUILDING HEIGHT PROPOSED IS 18'-6" COORS CORRIDOR PLAN REQUIRES 15' FRONT YARD BUILDING SETBACK. UNDERLYING ZONES REQUIRE 5' REAR AND SIDE SETBACKS, BUT 15' WHERE THE SITE ABUTS THE REAR OF A LOT IN A RESIDENTIAL ZONE. A 15' LANDSCAPE BUFFER IS PROVIDED AT THE COORS AND ESTANCIA STREET FRONTAGES.

THE PROJECT WILL BE COMPLETED IN TWO PHASES, WITH 1150 SF OF OFFICES CONSTRUCTED INITIALLY, FOLLOWED BY AN ADDITIONAL CONTIGUOUS 480 SF OF OFFICES (PHASE 2). EVERYTHING SHOWN OTHER THAN THE OFFICE ADDITION WILL BE BUILT IN THE INITIAL PHASE.

THE F.A.R. OF THE FULL BUILDOUT IS .038. THE MAXIMUM F.A.R. FOR THE SITE WILL BE .5.

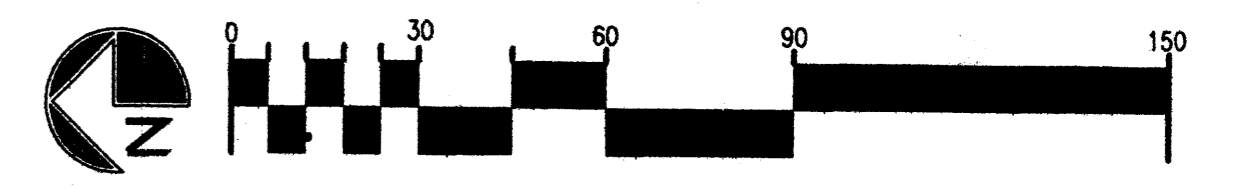
MINIMUM BUILDING SETBACKS (PER 14-16-2-15): THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET AND A SETBACK OF 11 FEET FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OF PLANNED PUBLIC SIDEWALK LOCATION.

**LEGAL DESCRIPTION**  
 TRACT "C-2-A-2-A", BEING A REPLAT OF TRACTS "C-2-A-1" AND "C-2-A-2", OF THE CAMPBELL LANDS, A RE-DIVISION OF TRACT "C", AIRPORT UNIT, TOWN OF ATRISCO GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

PROJECT NUMBER: 1001989  
 APPLICATION NUMBER: \_\_\_\_\_  
 This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated \_\_\_\_\_ and the findings and conditions in the Official Notification of Decision are satisfied.  
 Is an Infrastructure List required? ( ) YES ( ) NO If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.  
**DRB SITE DEVELOPMENT PLAN SIGNOFF-APPROVAL**  
 Traffic Engineering, Transportation Division: *Allen Portia* 01/13/10  
 Water Utility Department: \_\_\_\_\_  
 Parks and Recreation Department: *Christina Santoval* 1/13/10  
 City Engineer: *Walter A. Chen* 1-13-10  
 Environmental Health Department \*(conditional): \_\_\_\_\_  
 Solid Waste Management: *John De* 12-14-9  
 DRB Chairperson, Planning Department: *Patricia* 4-20-10  
 \* Environmental Health, if necessary

APD PLANS CHECKING OFFICE  
 824-2611  
 APPROVED FOR SUBMITTAL  
 R.C. SANDOZ 12-14-09  
 ENGINEER & DATE

**SITE PLAN FOR SUBDIVISION**



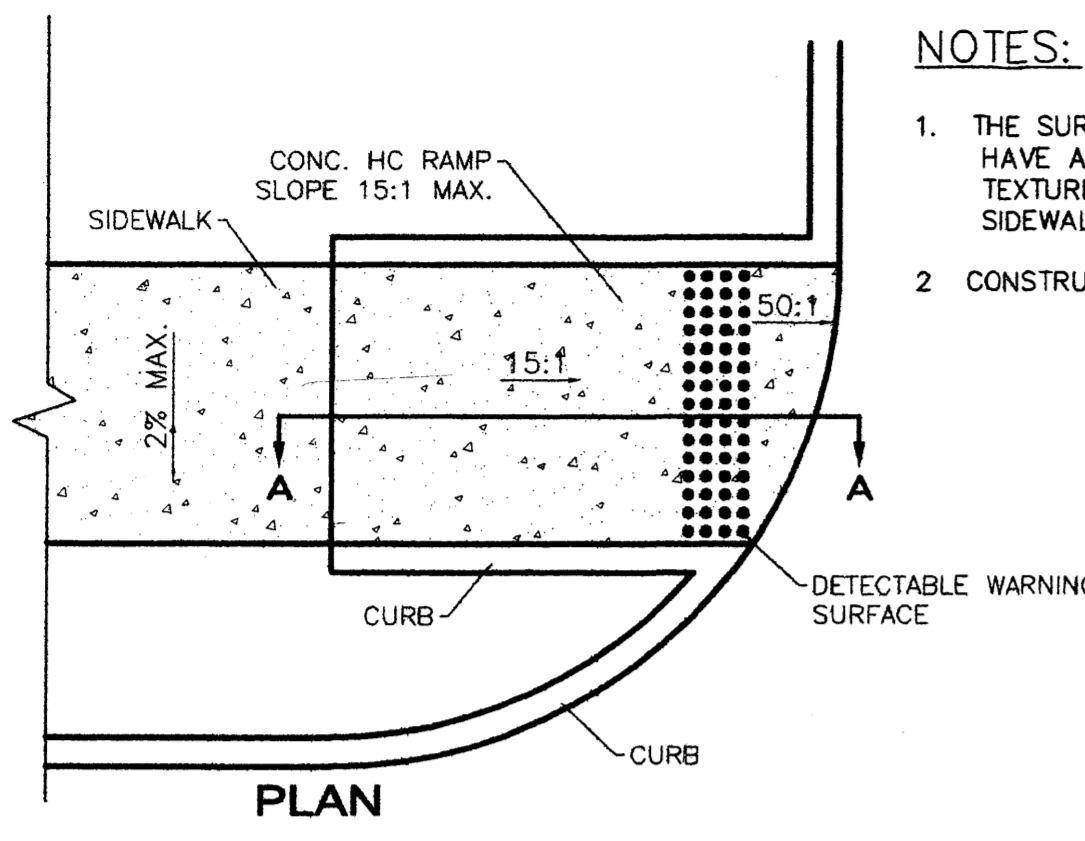
REVISED JANUARY 2010

**A PROPOSED PLAN FOR  
 COORS PARK & SELL**  
 (COORS BLVD. N.W. AND FORTUNA RD. N.W.)  
 ALBUQUERQUE, NEW MEXICO

ENGINEER'S SEAL

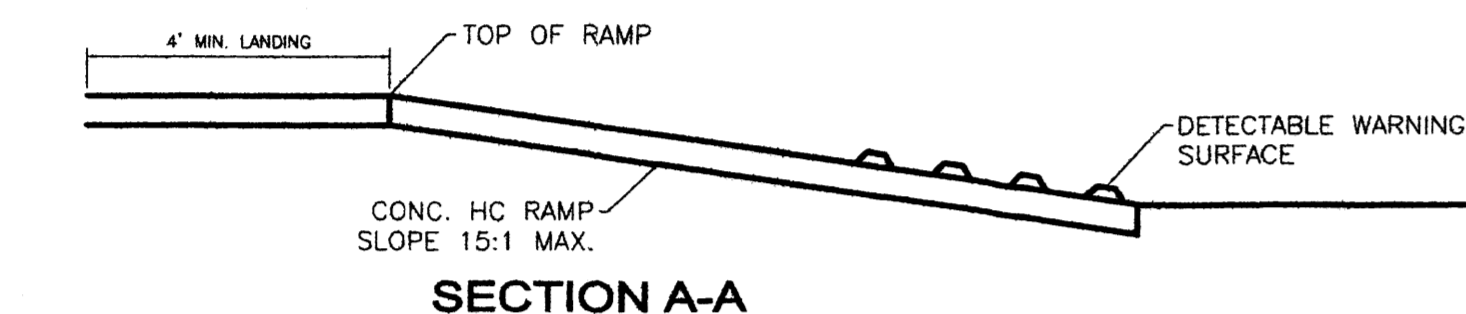
JUNE 29, 2009

3 OF 9



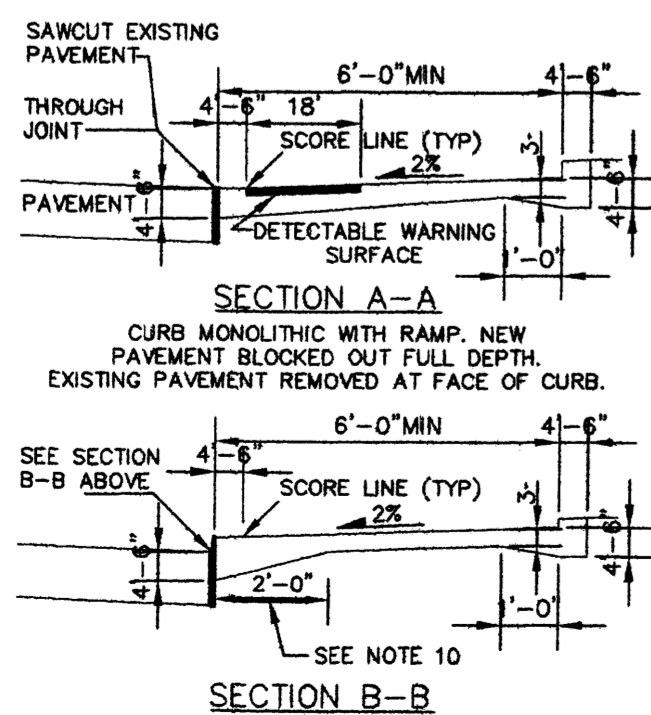
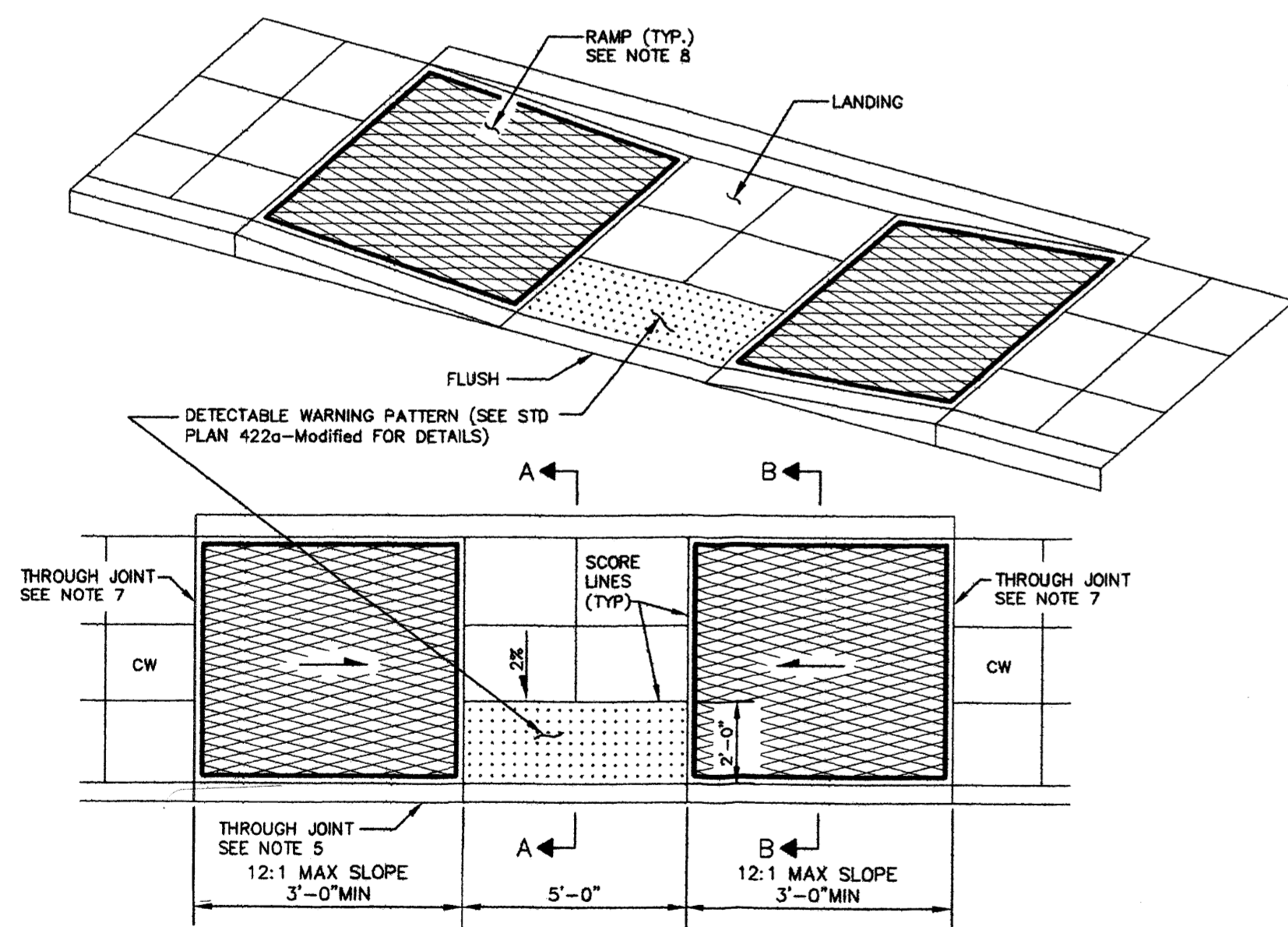
**NOTES:**

1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. CONSTRUCT PER A.D.A. STANDARDS.



**UNIDIRECTIONAL H.C RAMP**  
NOT TO SCALE

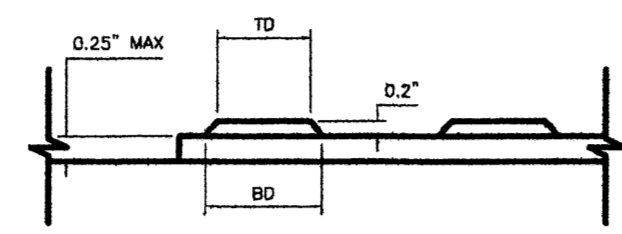
**4B RAMP DETAIL**  
Scale: 1/2"=1'-0"



**NOTES:**

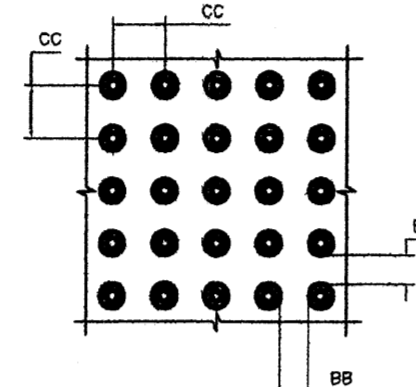
1. TWO CURB RAMPS SHALL BE INSTALLED AT EACH CORNER UNLESS OTHERWISE DIRECTED BY SEATTLE TRANSPORTATION
2. CURB RAMPS SHALL BE INSTALLED ON THE OPPOSITE SIDE OF THE STREET FROM ANY RAMP BEING CONSTRUCTED
3. CURBS SHALL BE DEPRESSED FOR FUTURE CURB RAMPS WHERE CURBS ARE INSTALLED WITH NO SIDEWALKS
4. THE DESIGNER SHALL USE TYPE 422a CURB RAMPS. IF NOT FEASIBLE, THEN ALTERNATE CURB RAMP TYPE 422a MAY BE INSTALLED WITH THE APPROVAL OF SDOTN
5. NEW PAVEMENT SHALL BE BLOCKED OUT FULL DEPTH. EXISTING PAVEMENT SHALL BE REMOVED AT THE FACE OF THE CURB
6. THE SIDEWALK THICKENED EDGE SHALL BE CONTINUED THROUGH THE RAMPS OF TYPE 422a CURB RAMPS
7. FOR ADDITIONAL REQUIREMENTS AND CONDITIONS REFER TO STD PLAN NO 422a AND THE AMERICAN WITH DISABILITIES ACT

**4A RAMP DETAIL**  
NOT TO SCALE



**DOMINE SECTION**

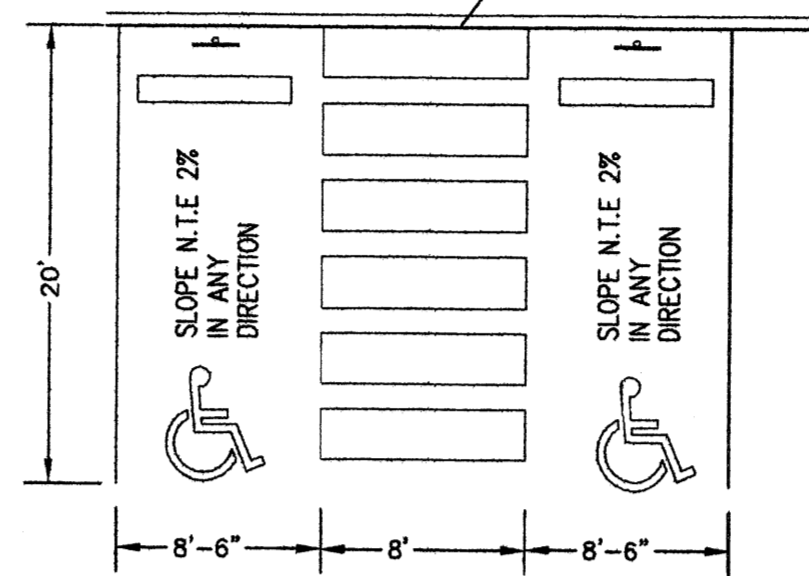
BD - BASE DIAMETER 0.9" MIN  
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



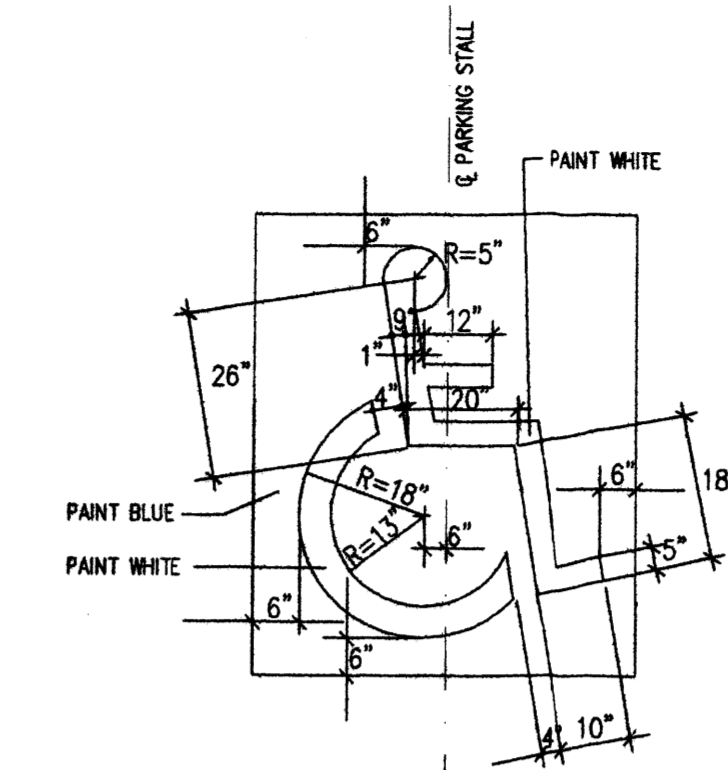
**DOMINE SPACING**

CC - CENTER TO CENTER SPACING  
2.35"  
BB - BASE TO BASE SPACING  
1.48" MIN

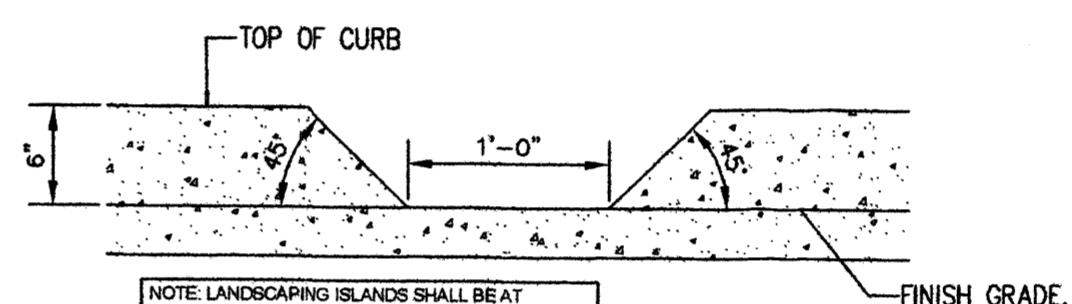
NOTE: TOP OF ASPHALT IS FLUSH WITH TOP OF CURB AT CUSTOMER PARKING ON THE NORTH SIDE OF THE BUILDING ONLY.



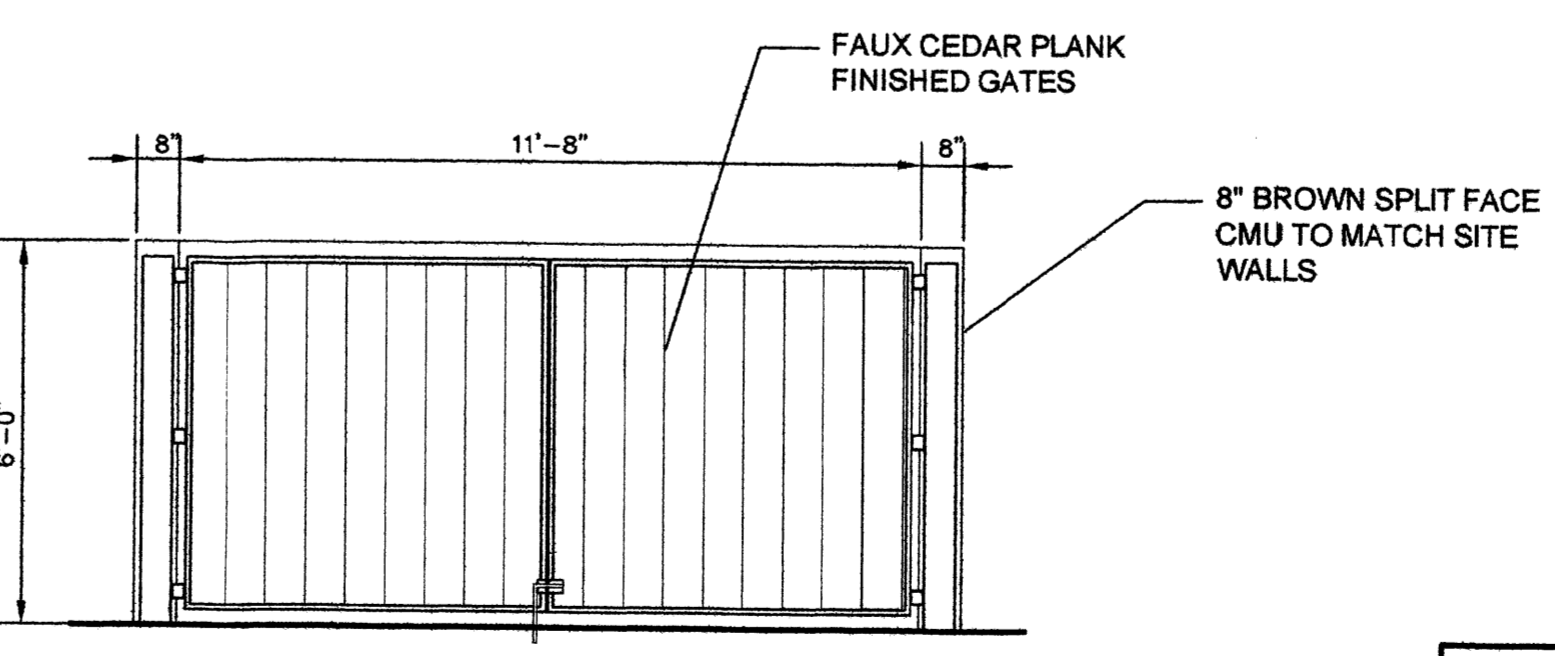
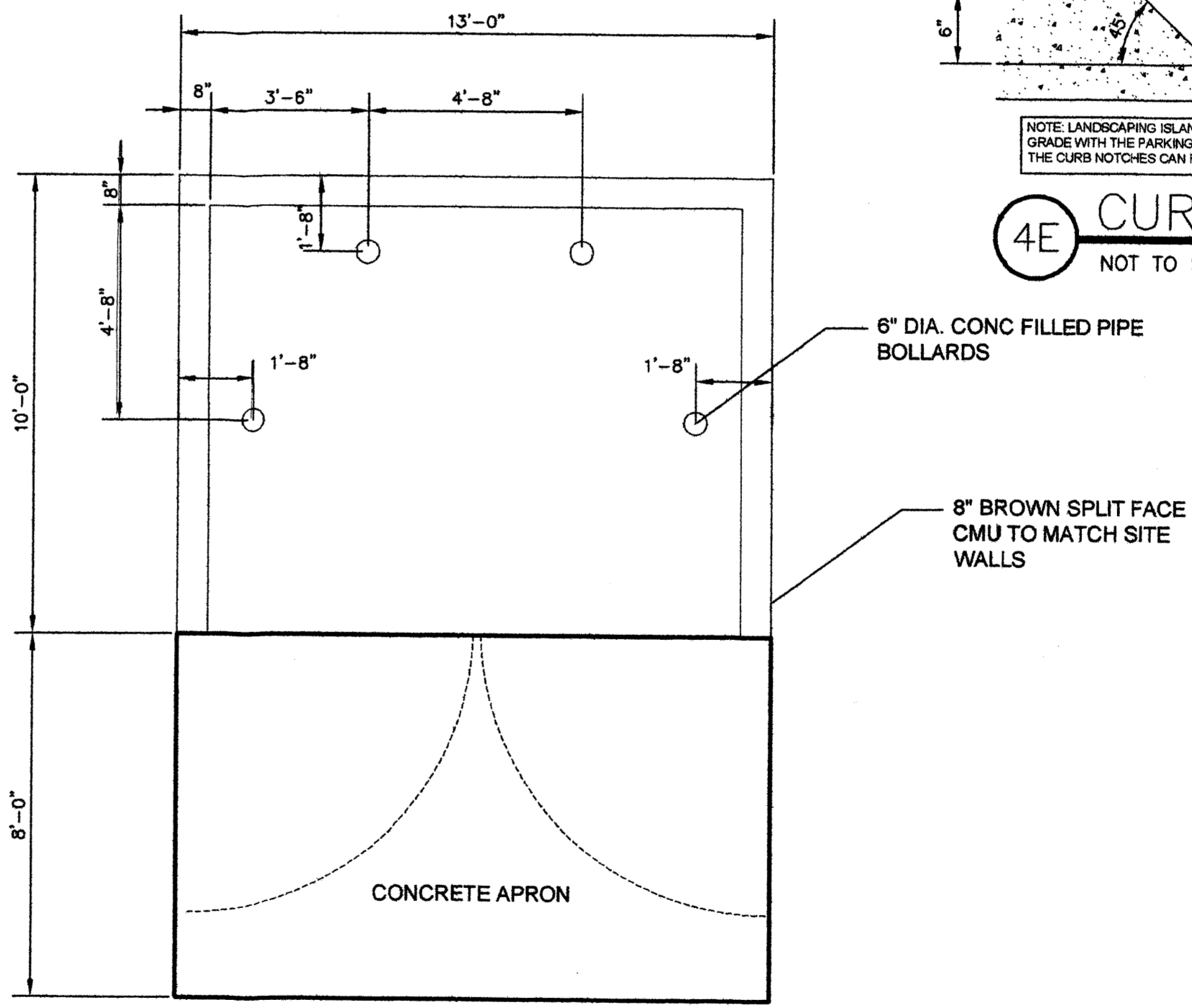
**4C H.C TYP. PARKING DET.**  
NOT TO SCALE



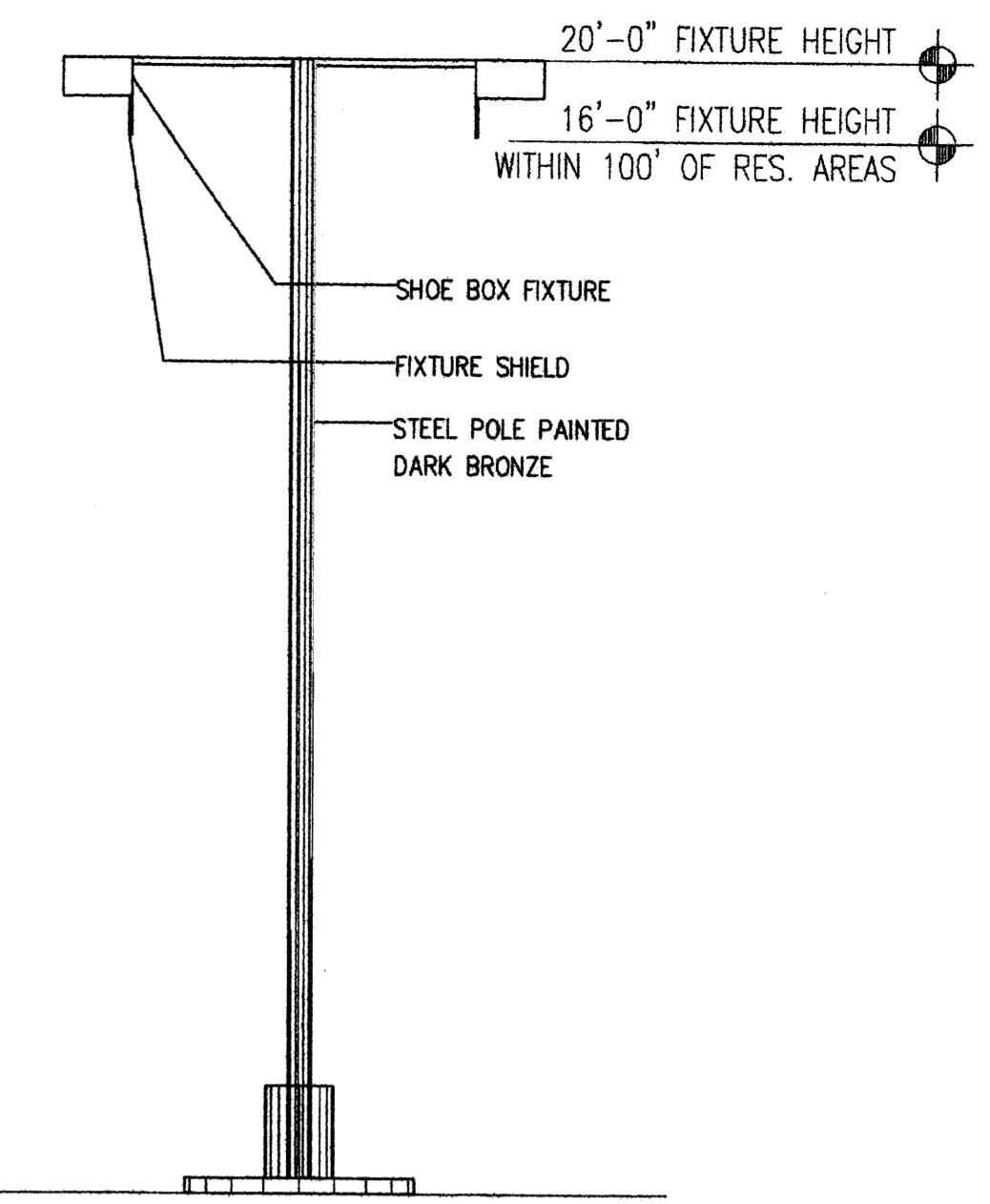
**4D H.C SYMBOL**  
NOT TO SCALE



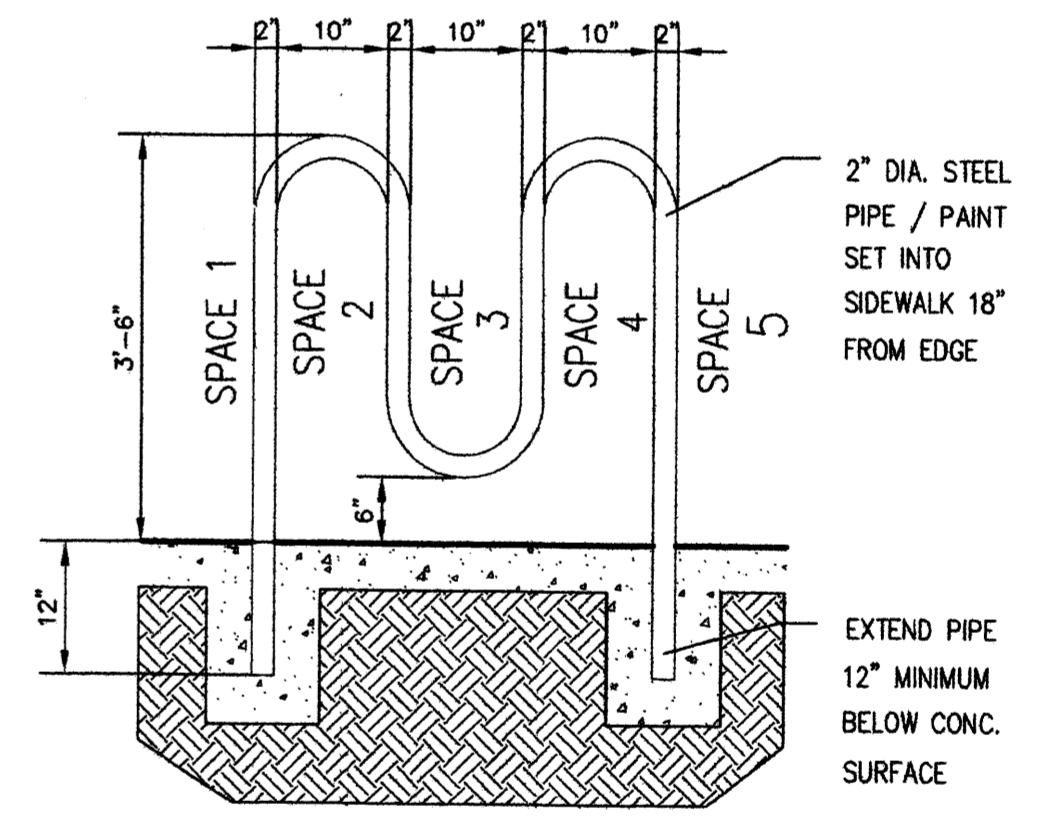
**4E CURB NOTCH**  
NOT TO SCALE



**3 DUMPSTER ENCLOSURE**  
NOT TO SCALE



**1 LIGHT POLE DETAIL**  
NOT TO SCALE



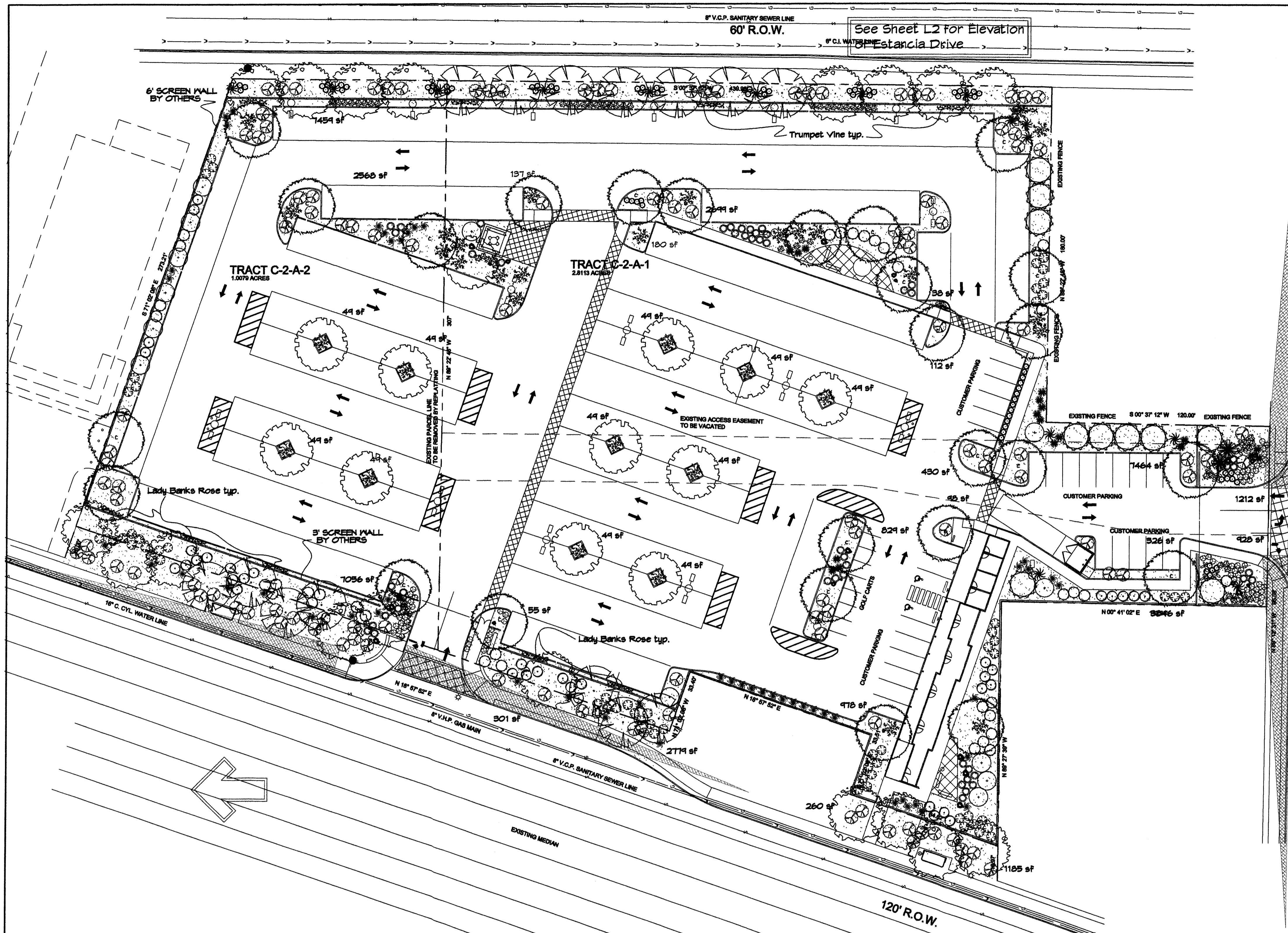
**2 BIKE RACK DETAIL**  
NOT TO SCALE

**MISCELLANEOUS DETAILS**  
SCALE: AS NOTED

ENGINEER'S SEAL

**A PROPOSED PLAN FOR  
COORS PARK & SELL**  
(COORS BLVD. N.W. AND FORTUNA RD. N.W.)  
ALBUQUERQUE, NEW MEXICO

JUNE 2009

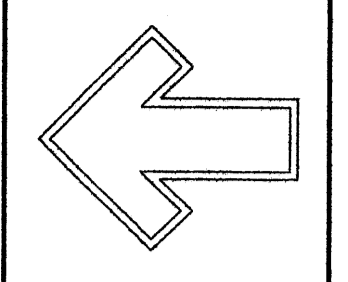


See Sheet L2 for Elevation  
 Estancia Drive

**PLANT LEGEND**

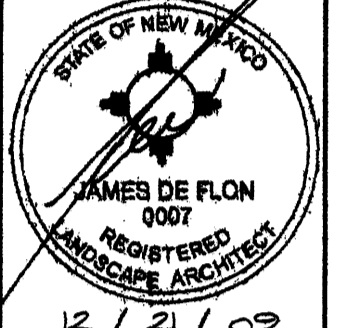
All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

- CHINESE PISTACHE 22**  
*Pistachia chinensis*  
 2" Gal., 12"-14" inst./40' x 30' maturity  
 Water (M) Allergy (L) 0sf
- BUR OAK 15**  
*Quercus macrocarpa*  
 2" Gal., 12"-14" inst./60' x 60' maturity  
 Water (M) Allergy (M) 0sf
- CHITALPA 14**  
*Chilopsis x Catalpa*  
 2" Gal., 12"-14" inst./30' x 30' maturity  
 Water (M) Allergy (L) 0sf
- COMMON HACKBERRY 14**  
*Celtis occidentalis*  
 2" Gal., 12"-14" inst./40' x 40' maturity  
 Water (M) Allergy (L) 0sf
- DESERT ACCENTS**
- \* PALM YUCCA 2**  
*Yucca faxonii*  
 4"-9" inst./6' maturity  
 Water (L) Allergy (L) 0sf
- \* BANANA YUCCA 15**  
*Yucca baccata*  
 5 Gal., 18"-3' inst./4' x 5' maturity  
 Water (L) Allergy (L) 25sf
- \* RED YUCCA 18**  
*Hesperaloe parviflora*  
 5 Gal., 18"-3' inst./3' x 4' maturity  
 Water (L+) Allergy (L) 16sf
- \* PRICKLY PEAR 15**  
*Opuntia macrocentra*  
 5 Gal., 12"-3' inst./3' x 3' maturity  
 Water (L) Allergy (L) 4sf
- SHRUBS/ORNAMENTAL TREES**
- DESERT WILLOW 10**  
*Chilopsis linearis*  
 15 Gal., 4'-10" inst./20' x 25' maturity  
 Water (L+) Allergy (L) 225sf
- NEW MEXICO OLIVE 13**  
*Forestiera neomexicana*  
 5 Gal., 4'-10" inst./15' x 15' maturity  
 Water (M) Allergy (L) 225sf
- SHRUBS/ORNAMENTAL GRASSES**
- FIVE GAL.**
- THREE-LEAF SUMAC 36**  
*Rhus trilobata*  
 5 Gal., 18"-3' inst./6' x 6' maturity  
 Water (L+) Allergy (L) 56sf
- RUSSIAN SAGE 36**  
*Perovskia atriplicifolia*  
 5 Gal., 18"-3' inst./3' x 3' maturity  
 Water (M) Allergy (L) 25sf
- MAIDEN GRASS 51**  
*Miscanthus sinensis*  
 5 Gal., 18"-3' inst./3' x 3' maturity  
 Water (M+) Allergy (L) 25sf
- ONE GAL.**
- CHAMAEA 64**  
*Chrysothamnus nauseosus*  
 1 Gal., 6"-15" inst./3' x 3' maturity  
 Water (L) Allergy (L) 25sf
- \* TURPENTINE BUSH 48**  
*Eriocameria laricifolia*  
 1 Gal., 6"-15" inst./3' x 4' maturity  
 Water (L+) Allergy (L) 16sf
- CATMINT 75**  
*Nepeta mussini*  
 1 Gal., 3"-15" inst./1' x 2' maturity  
 Water (M) Allergy (L) 4sf
- WILDFLOWER 67**  
 1 Gal., 3"-15" inst./varies at maturity  
 Water (varies) Allergy (varies) 4sf
- THREADGRASS 57**  
*Stipa tenuissima*  
 1 Gal., 3"-15" inst./2' x 2' maturity  
 Water (L+) Allergy (L) 4sf
- GROUNDCOVERS**
- \* HONEYSUCKLE 120**  
*Lonicera japonica 'Halliana'*  
 1 Gal., 6"-15" inst./3' x 12' maturity  
 Water (M) Allergy (L) 144sf  
 Unstaked-groundcover
- WINTER JASMINE 35**  
*Jasminum nudiflorum*  
 1 Gal., 6"-15" inst./4' x 12' maturity  
 Water (L+) Allergy (L) 144sf
- VINES**
- \* BANK'S ROSE 5**  
*Rosa banksiae*  
 1 Gal., 6"-15" inst./climbing to 20'  
 Water (M) Allergy (L)
- TRUMPET VINE 5**  
*Campsis radicans*  
 1 Gal., 6"-15" inst./climbing to 40'  
 Water (M) Allergy (L)
- HARDSCAPES**
- OVERSIZED GRAVEL**  
 4 21' BOLDERS
- 3/4" GRAY GRAVEL**  
 WITH FILTER FABRIC  
 TO A MINIMUM 3" DEPTH



Cont. Lic. #26458  
 7909 Edith N.E.  
 Albuquerque, NM 87184  
 Ph. (505) 898-9690  
 Fax (505) 898-7337  
 cmj@hilltoplandscaping.com

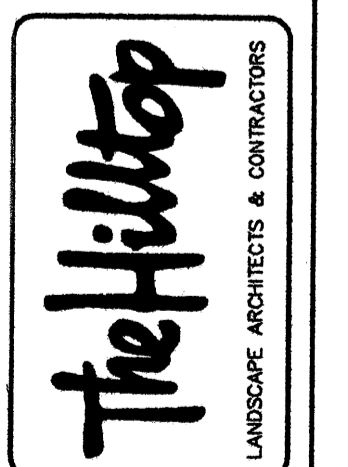
LANDSCAPE ARCHITECT'S SEAL



12/21/09  
 JAMES DE FLON  
 #0007

AAA QUALITY CARS  
 COORS AND FORTUNA NEC  
 ALBUQUERQUE, NM  
 LANDSCAPE PLAN

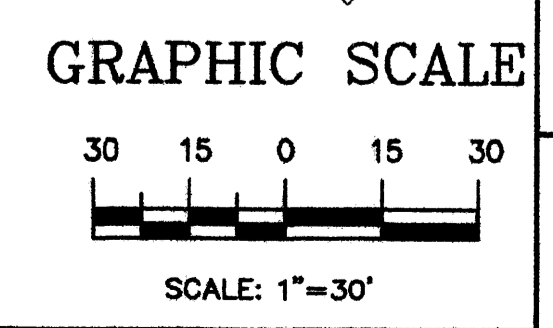
All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. The contractor shall be responsible for obtaining all required permits and shall be responsible for all costs associated with the project.



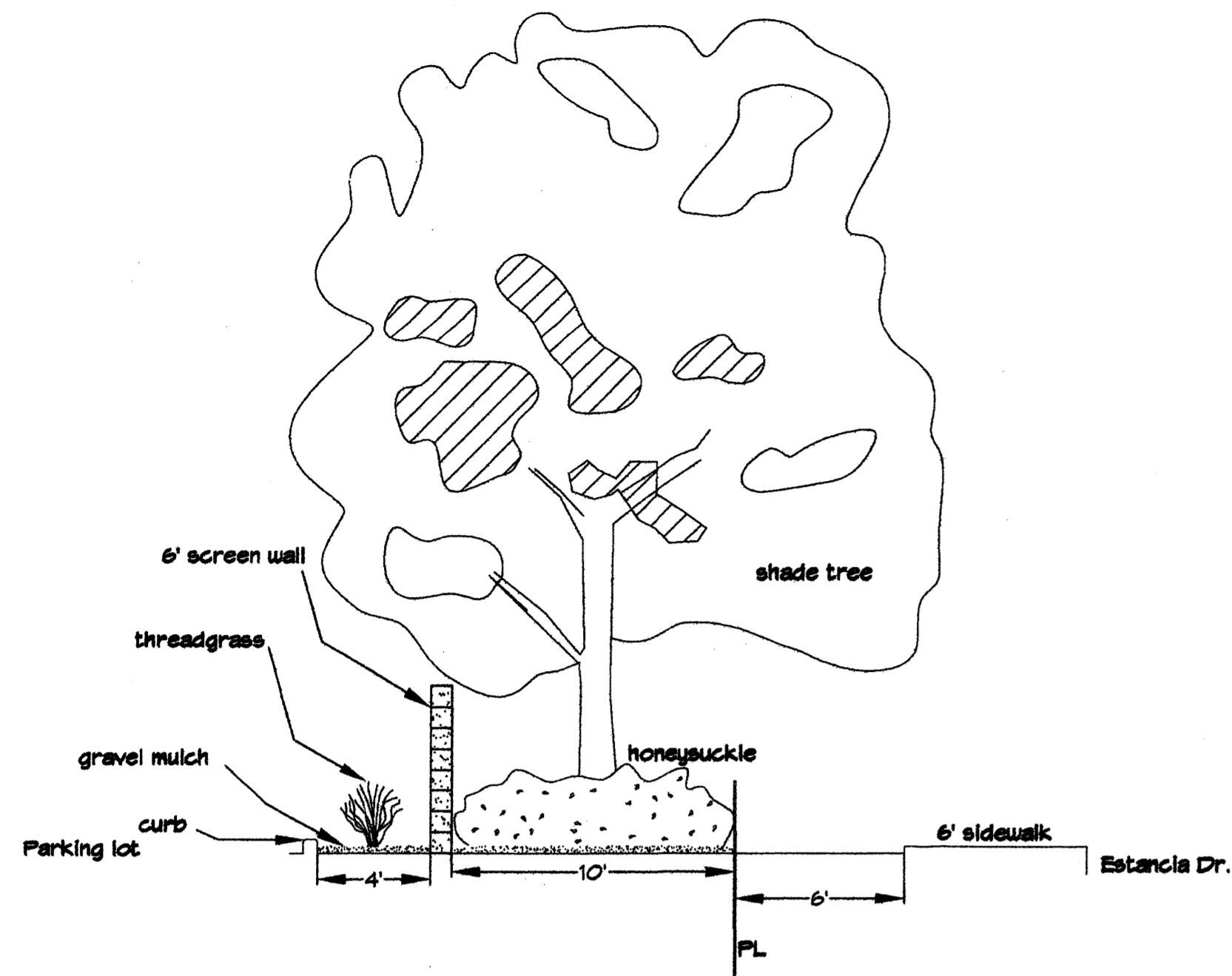
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 REVISION # 08  
 6/1/2-21-08  
 DATE 6-25-09

SHEET #  
 L1 OF L2

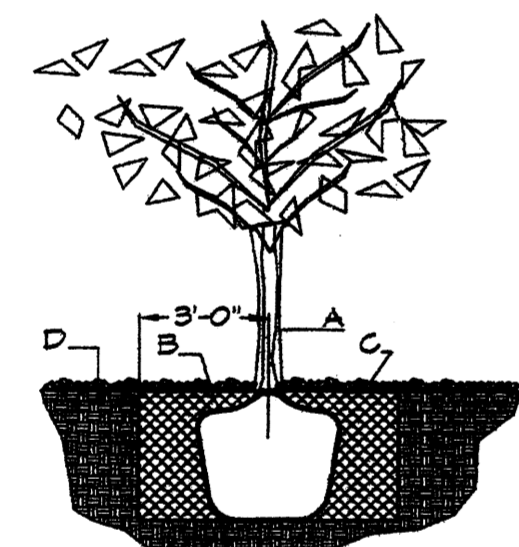
SEE SHEET L2 FOR NOTES, DETAILS AND CALCULATIONS



\* DENOTES EVERGREEN PLANT MATERIAL

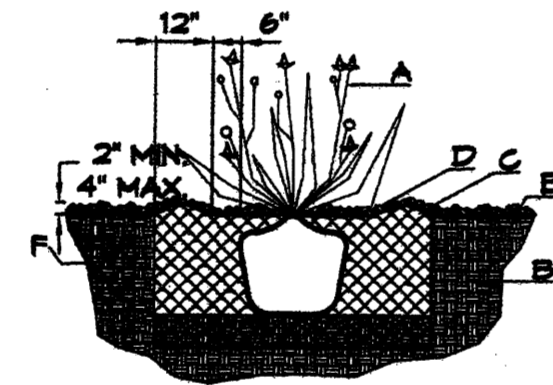


Estancia Drive Elevation



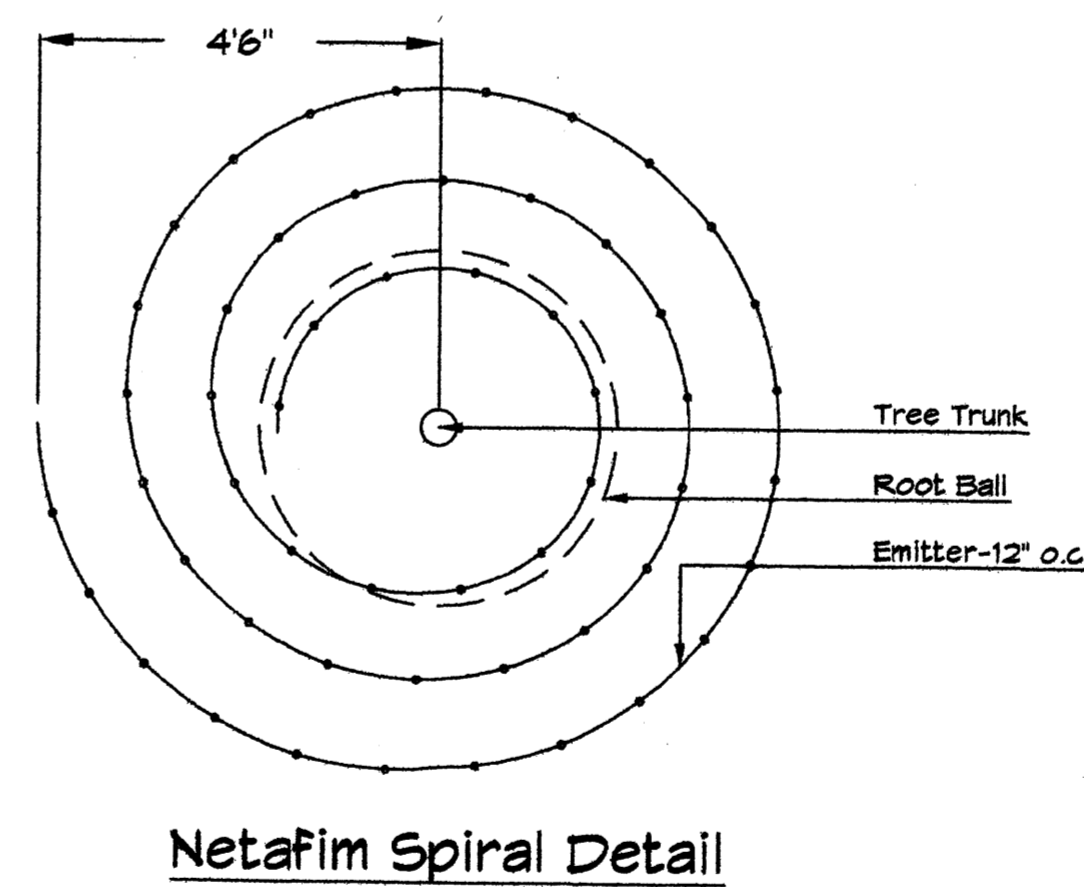
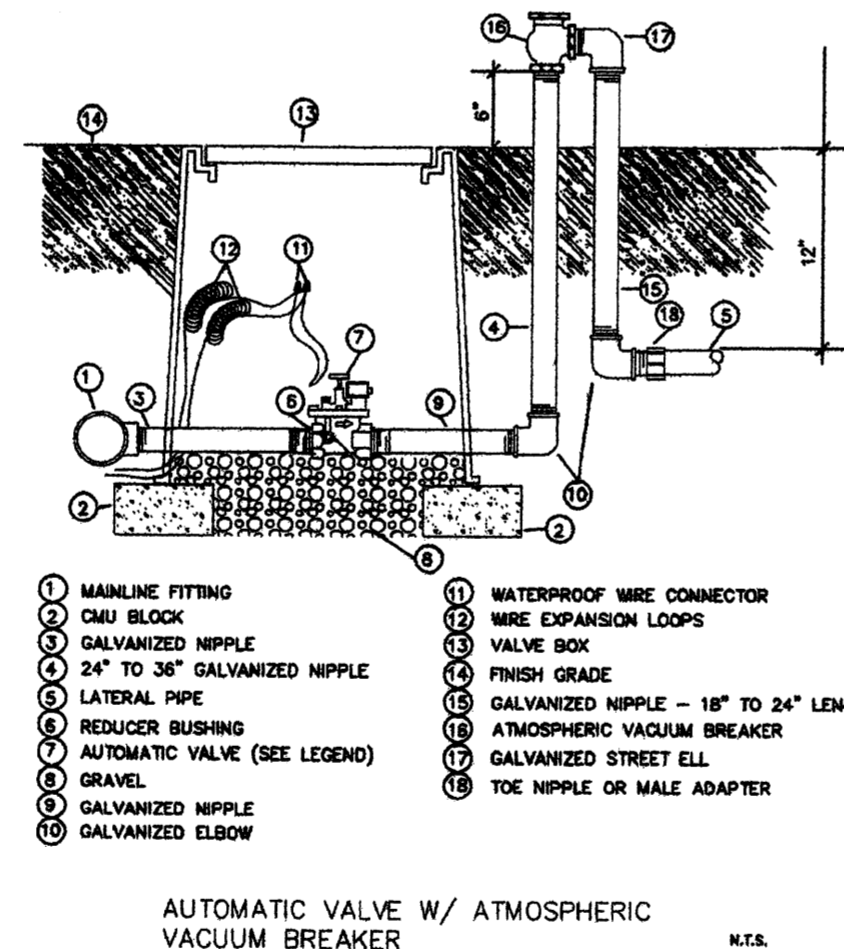
**TREE PLANTING DETAIL**

- NTS
- GENERAL NOTES:**
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.
  2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DIS. THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.
  3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.
  4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.
- CONSTRUCTION NOTES:**
- A. TREE
  - B. BACKFILL WITH EXISTING SOIL.
  - C. 3" DEPTH OF GRAVEL MULCH.
  - D. UNDISTURBED SOIL.

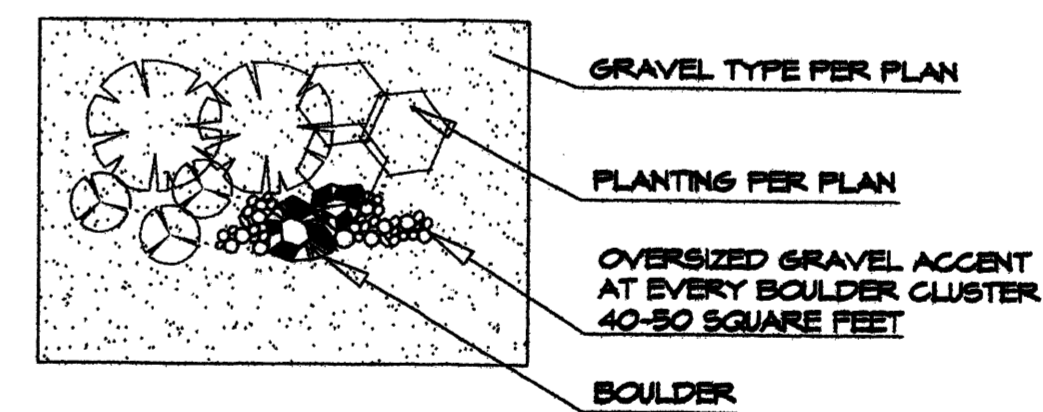


**SHRUB PLANTING DETAIL**

- NTS
- GENERAL NOTES:**
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.
- CONSTRUCTION NOTES:**
- A. SHRUB.
  - B. BACKFILL WITH EXISTING SOIL.
  - C. EARTH BERM AROUND WATER RETENTION BASIN.
  - D. 3" DEPTH OF GRAVEL MULCH.
  - E. FINISH GRADE.
  - F. UNDISTURBED SOIL.



**GRAVEL ACCENT DETAIL**



**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain all plant material including street trees in the R.O.M. in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Foliage Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Crushed Gray Gravel over Filter Fabric to a minimum depth of 5" shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 5 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polypipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

**STREET TREE REQUIREMENTS - Minimum 2" Caliper**

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Coors Blvd. NW  
Required # 15 Provided # 17

Name of Street: Estancia Dr. NW  
Required # 15 Provided # 15

**PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper**

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces  
Required # 34 Provided # 34

**NOTE TO CLIENT:**

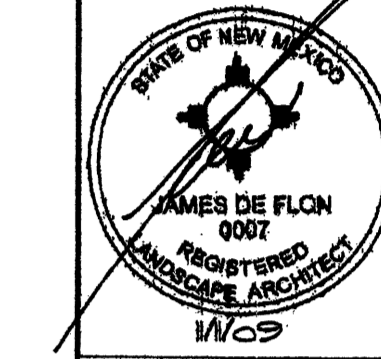
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an in-field change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	170322	square feet
TOTAL BUILDINGS AREA	1636	square feet
NET LOT AREA	168686	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	25303	square feet
TOTAL BED PROVIDED	41488	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQUIREMENT	31116	square feet
TOTAL GROUND COVER PROVIDED	32217 (17%)	square feet
Includes eastern buffer		
TOTAL SOD AREA	0	square feet
(max. 20% of landscape required)		
TOTAL LANDSCAPE PROVIDED	41488 (24%)	square feet
EASTERN BUFFER LANDSCAPE AREA	4416	square feet
GROUND COVER REQ.	75%	square feet
GROUND COVER REQUIRED	3312	square feet
GROUND COVER PROVIDED	3523 (74%)	square feet

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Albuquerque, NM 87184  
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Fax: (505) 886-7737  
cm@hilltoplandscaping.com

LANDSCAPE ARCHITECT'S SEAL

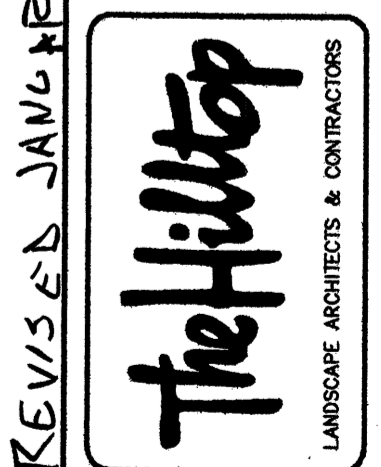


JAMES DE FLON #0007

AAA QUALITY CARS  
COORS AND FORTUNA NEC  
ALBUQUERQUE, NM  
LANDSCAPE DETAILS AND NOTES

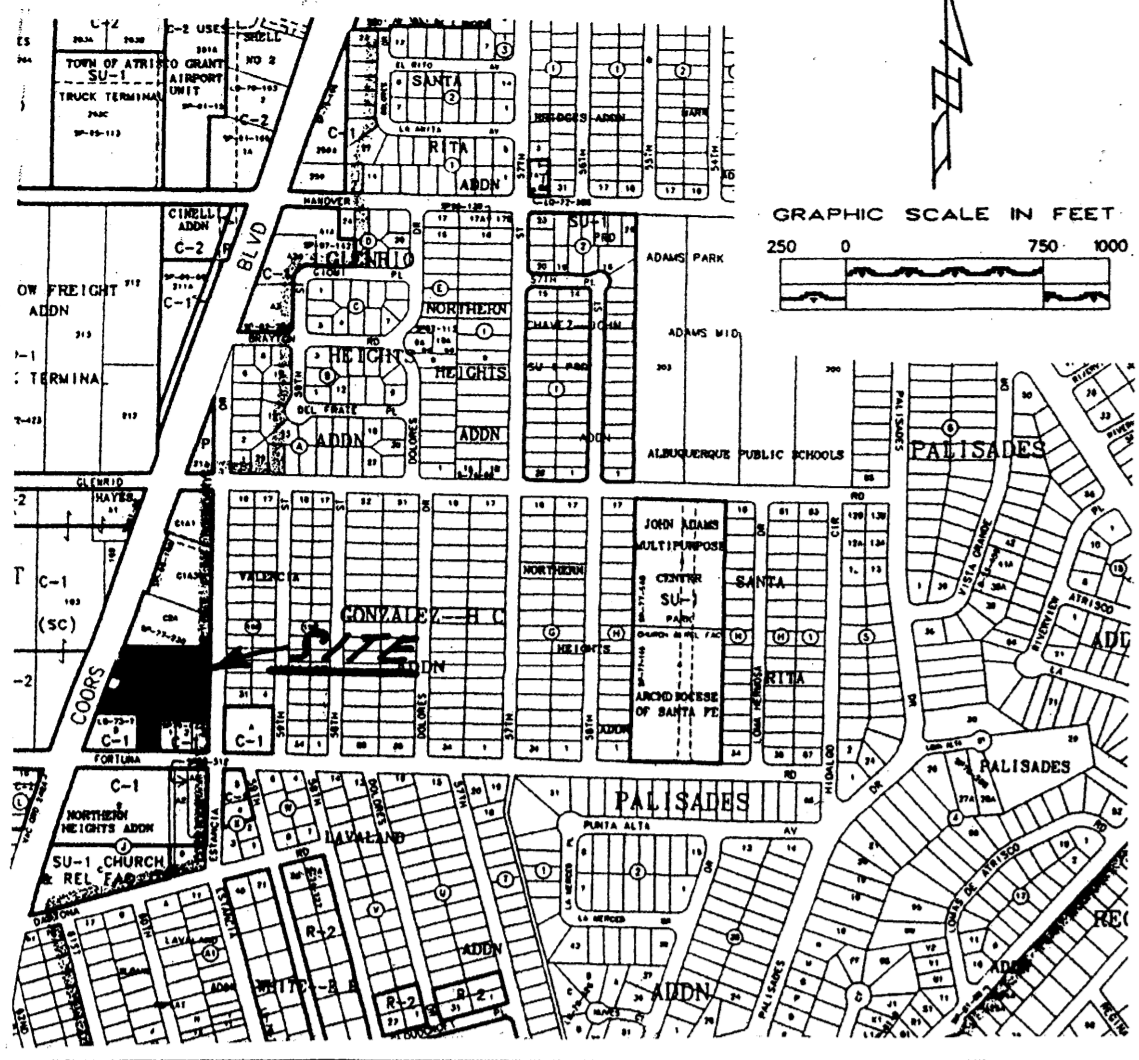
REVIS & JANUARY 2010

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and Contractors and are protected by copyright laws. This is an original design and must not be reworked or copied unless appropriate written permission has been obtained.

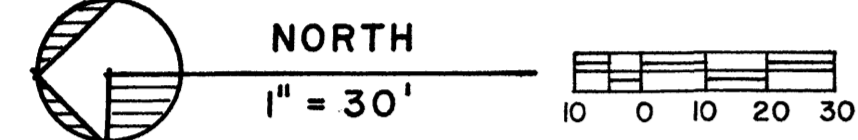


DRAWN BY rmc  
REVISION # 5/11/09  
DATE 6-25-09

SHEET # L2 OF L2



VICINITY MAP J-11-Z



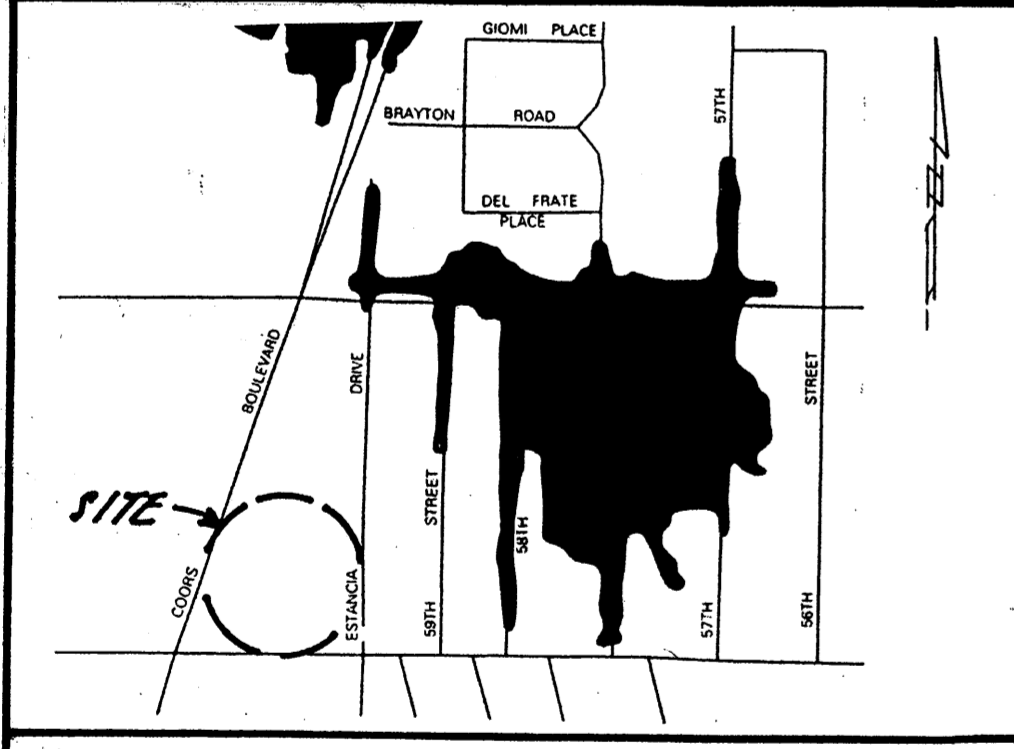
**EROSION CONTROL MEASURES:**

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DICES, SWALES, PONDS, AND OTHER TEMPORARY GRADINGS AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

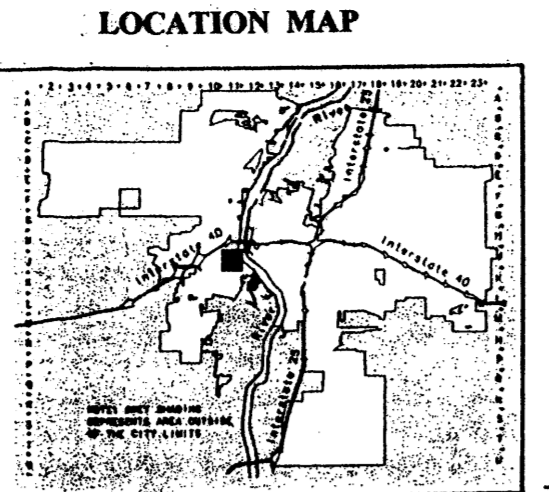
**CONSTRUCTION NOTES:**

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAYS SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALLILLO COUNTY STANDARDS AND PROCEDURES.



F.E.M.A. PANEL 327 OF 825

**UTILITY PRECAUTIONS:**  
THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.



**LEGAL DESCRIPTION:**  
TRACT "C-2-A-2-A", COMPRISING A REPLAT OF TRACT "C-2-A-1" AND "C-2-A-2", OF THE CAMPBELL LANDS, AIRPORT UNIT, TOWN OF ATRISCO GRANT, ALBUQUERQUE, BERNALLILLO COUNTY, NEW MEXICO.

**ESTANCIA DRIVE N.W.**

NOTE: CONVEYED MAP 18 "P.L.C. (2014.00)  
DRAINAGE TO EXISTING STREET PER C.O.A.  
STD. D.W.G. N.B. 2237

- NOTES:**
- NO RETAINING WALLS PROPOSED.
  - NO POND AREA'S REQUIRED (FREE-DISCHARGE).

**TABLE A-1. PRECIPITATION ZONES**

ZONE	LOCATION
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Estabek, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Estabek, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40

**TABLE A-10. PEAK INTENSITY (IN/HR at 1-0.2 hour)**

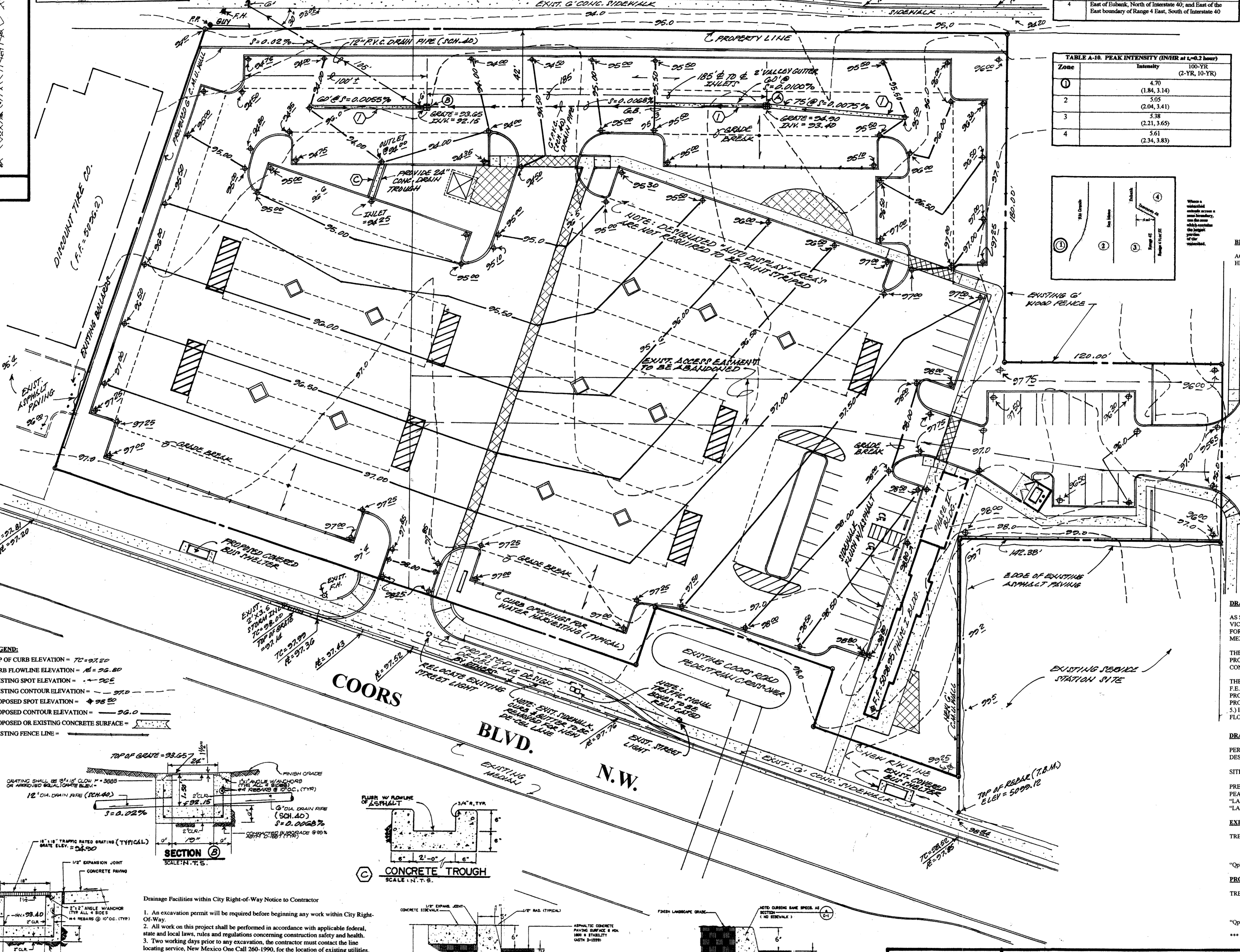
Zone	Intensity (100-YR (2-YR, 10-YR))
1	4.70 (1.84, 3.14)
2	5.03 (2.04, 3.41)
3	5.38 (2.21, 3.65)
4	5.61 (2.34, 3.83)

**TABLE A-4. LAND TREATMENTS**

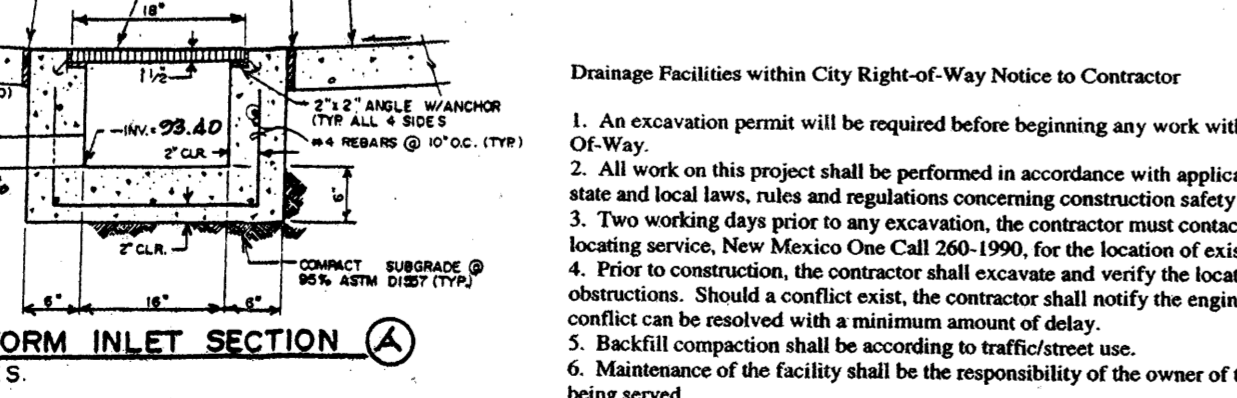
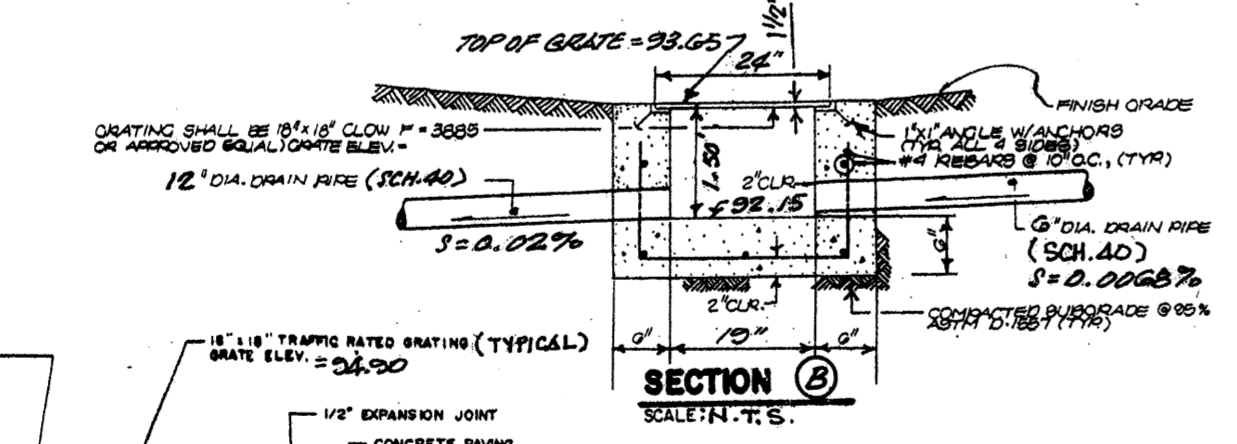
Treatment	Land Condition
A	Soil unoccupied by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, granular cover and infiltration capacity. Croplands. Undisturbed.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil unoccupied by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil unoccupied by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on planter (desert landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds, and shrubs, and soil unoccupied by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

**TABLE A-9. PEAK DISCHARGE (cfs/acre)**

Zone	Treatment			
	A	B	C	D
1	1.29 (0.00, 0.24)	2.03 (0.33, 0.70)	2.87 (0.47, 1.49)	4.37 (1.69, 2.89)
2	1.56 (0.00, 0.38)	2.28 (0.08, 0.95)	3.14 (0.60, 1.71)	4.70 (1.86, 3.14)
3	1.87 (0.00, 0.58)	2.60 (0.21, 1.19)	3.45 (0.78, 2.009)	5.02 (2.04, 3.39)
4	2.20 (0.05, 0.87)	2.92 (0.38, 1.45)	3.73 (1.00, 2.26)	5.25 (2.17, 3.57)



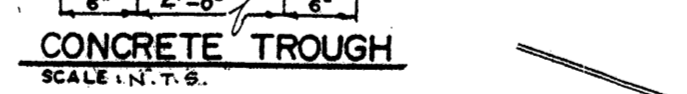
**LEGEND:**  
TOP OF CURB ELEVATION = TC=97.20  
CURB FLOWLINE ELEVATION = A=26.80  
EXISTING SPOT ELEVATION = -26.5  
EXISTING CONTOUR ELEVATION = 97.0  
PROPOSED SPOT ELEVATION = 98.52  
PROPOSED CONTOUR ELEVATION = 99.0  
PROPOSED OR EXISTING CONCRETE SURFACE = 99.0  
EXISTING FENCE LINE =



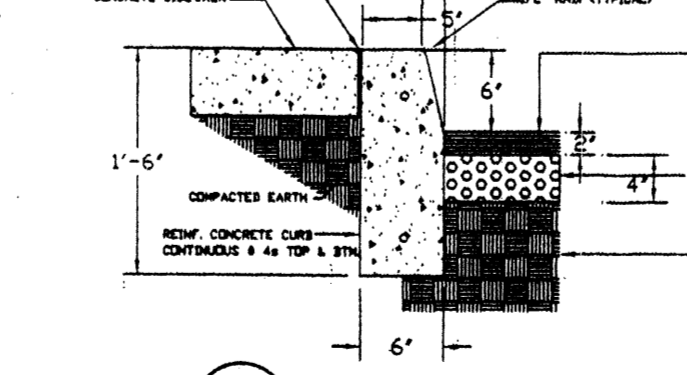
- Drainage Facilities within City Right-of-Way Notice to Contractor
- An excavation permit will be required before beginning any work within City Right-of-Way.
  - All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
  - Two working days prior to any excavation, the contractor must contact the line locating service, New Mexico One Call 260-1990, for the location of existing utilities.
  - Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
  - Backfill compaction shall be according to traffic/street use.
  - Maintenance of the facility shall be the responsibility of the owner of the property being served.
  - Work on arterial streets shall be performed on a 24-hour basis.

APPROVALS	NAME	DATE
HYDROLOGY INSPECTOR		

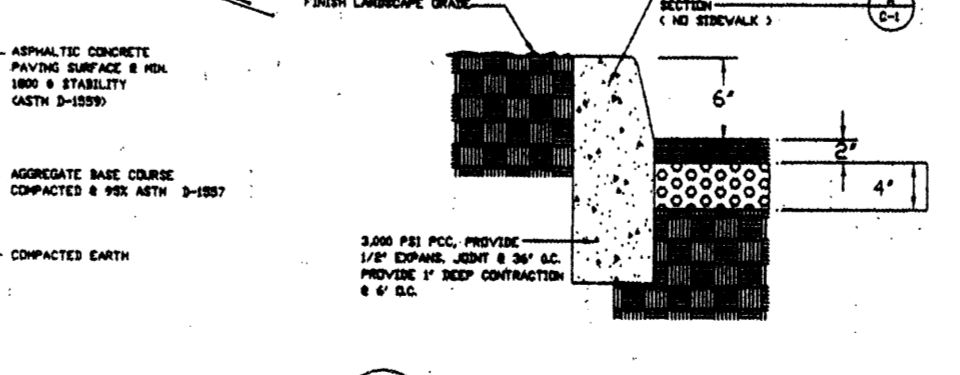
NOTE: ALL WORK WITHIN PUBLIC EASEMENT SHALL BE PERFORMED UNDER SEPARATE PERMIT.



CONCRETE TROUGH SCALE: 1" = 1'-0"

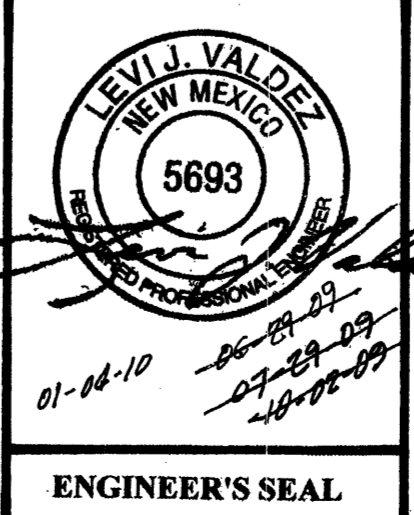


C-1 CURB AT CONCRETE WALK NTS

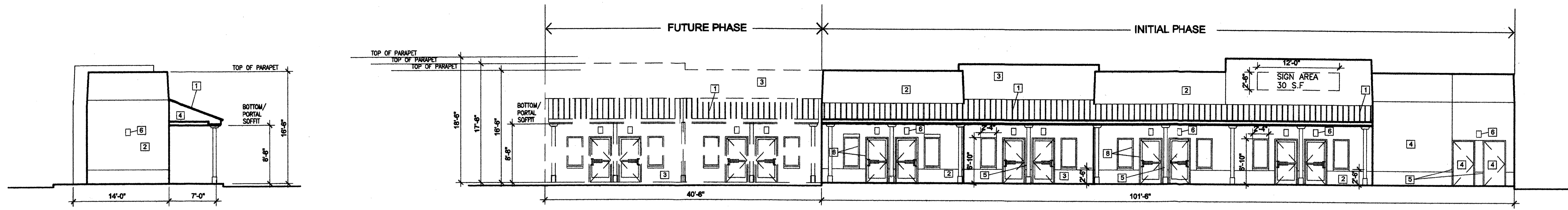


C-1 TYPICAL CURB NTS

**GRADING AND DRAINAGE PLAN**



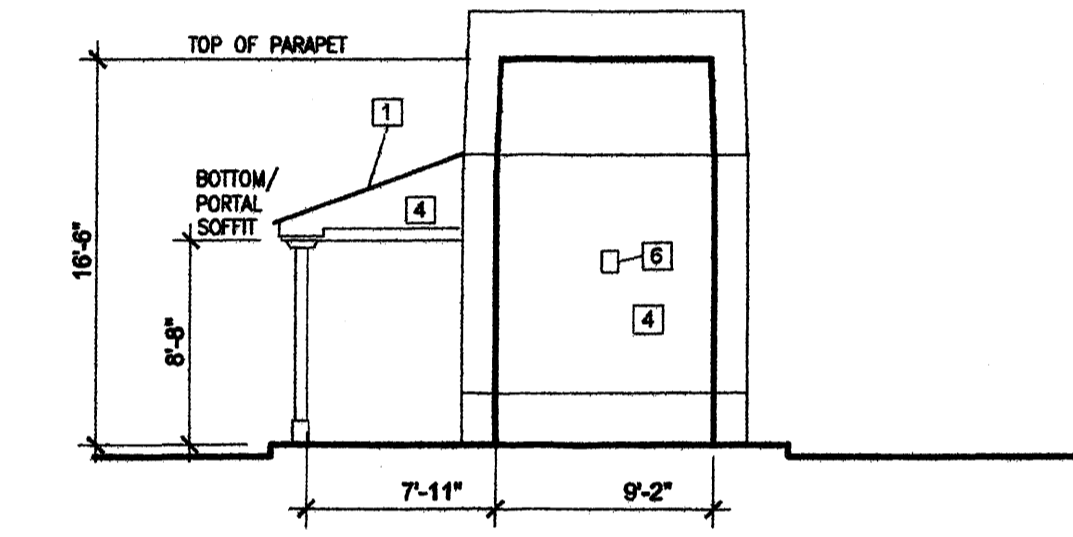
**A PROPOSED PLAN FOR COORS PARK & SELL**  
(COORS BLVD. N.W. AND FORTUNA ROAD N.W.)  
ALBUQUERQUE, NEW MEXICO  
JUNE, 2009



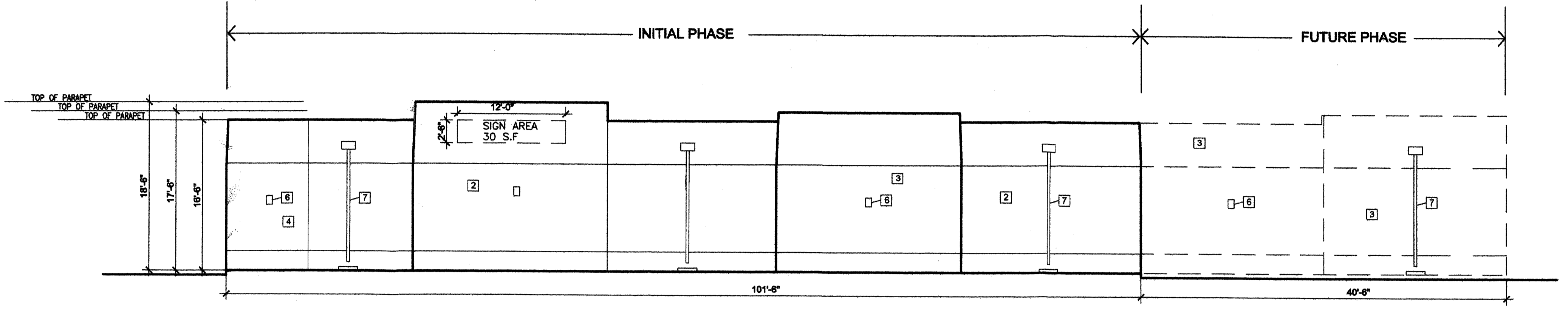
**2 EAST ELEVATION**  
Scale: 1/8"=1'

**1 NORTH ELEVATION**  
Scale: 1/8"=1'

GENERAL NOTE:  
SIGNAGE-BUILDING MOUNTED:  
1. BUILDING MOUNTED SIGNAGE SHALL NOT EXCEED 7.5% OF EACH FACADE AREA  
2. MAXIMUM INDIVIDUAL LETTER HEIGHT IS 3 FEET.  
3. ROOFTOP MECHANICAL EQUIPMENT SHALL BE CONCEALED.

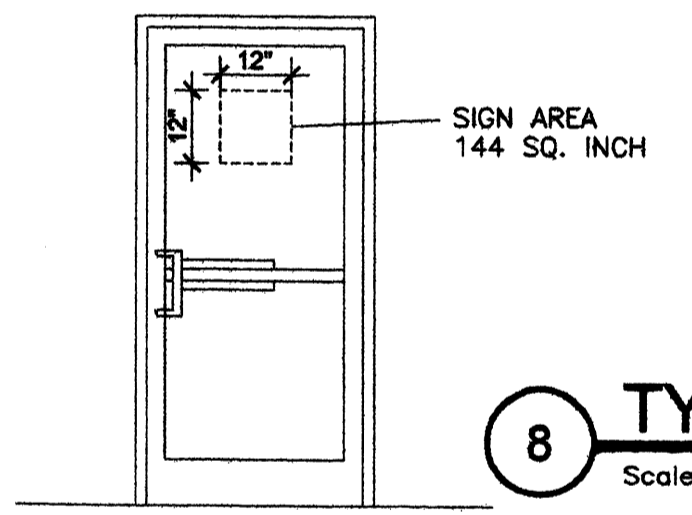


**4 WEST ELEVATION**  
Scale: 1/8"=1'



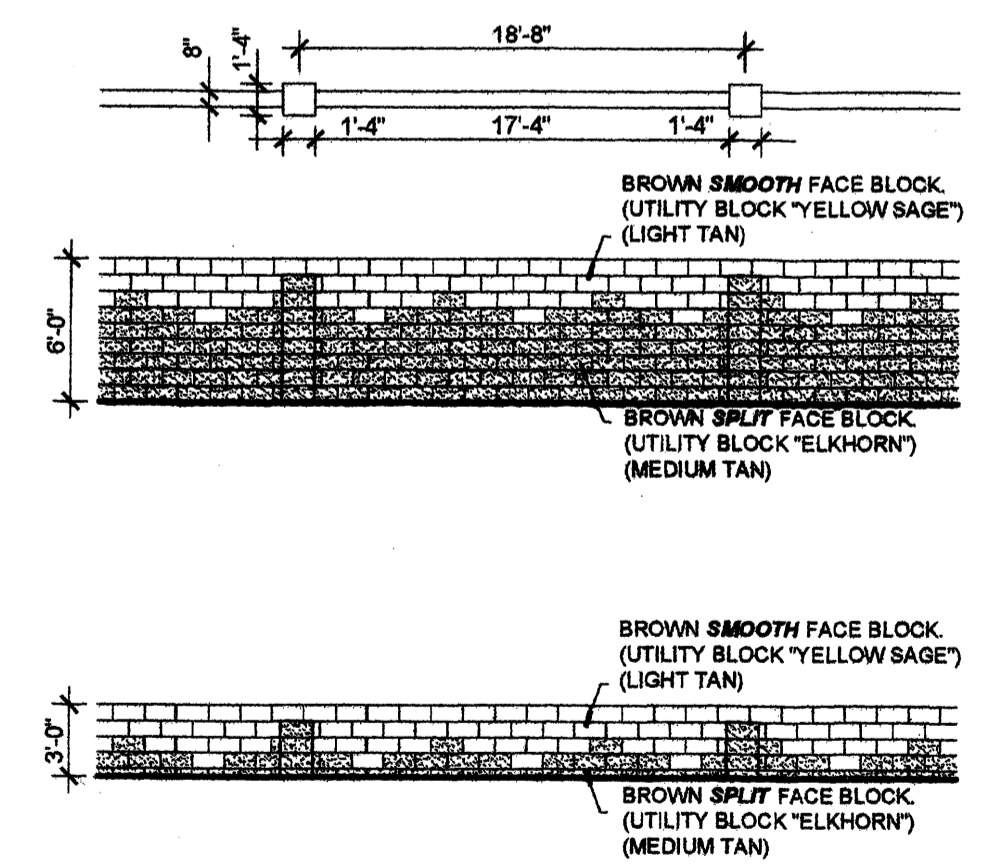
**3 SOUTH ELEVATION**  
Scale: 1/8"=1'

GENERAL NOTE:  
1. BUILDING MOUNTED SIGNAGE SHALL NOT EXCEED 7.5% OF EACH FACADE AREA  
2. MAXIMUM INDIVIDUAL LETTER HEIGHT IS 3 FEET.  
3. ROOFTOP MECHANICAL EQUIPMENT SHALL BE CONCEALED.

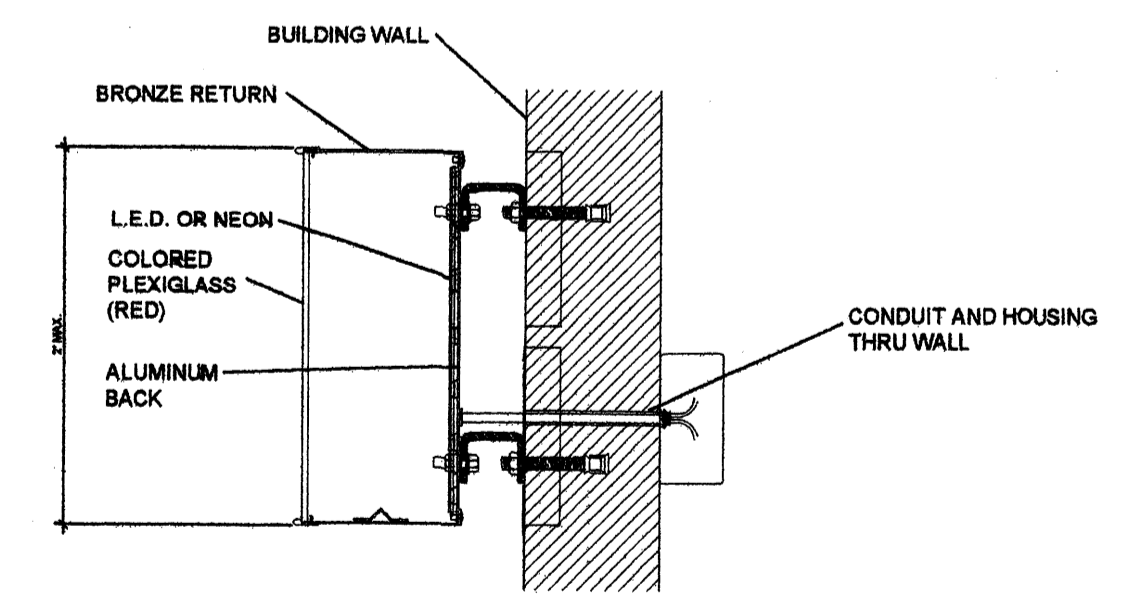


**8 TYP. OFFICE TENANT I.D. SIGN**  
Scale: NTS

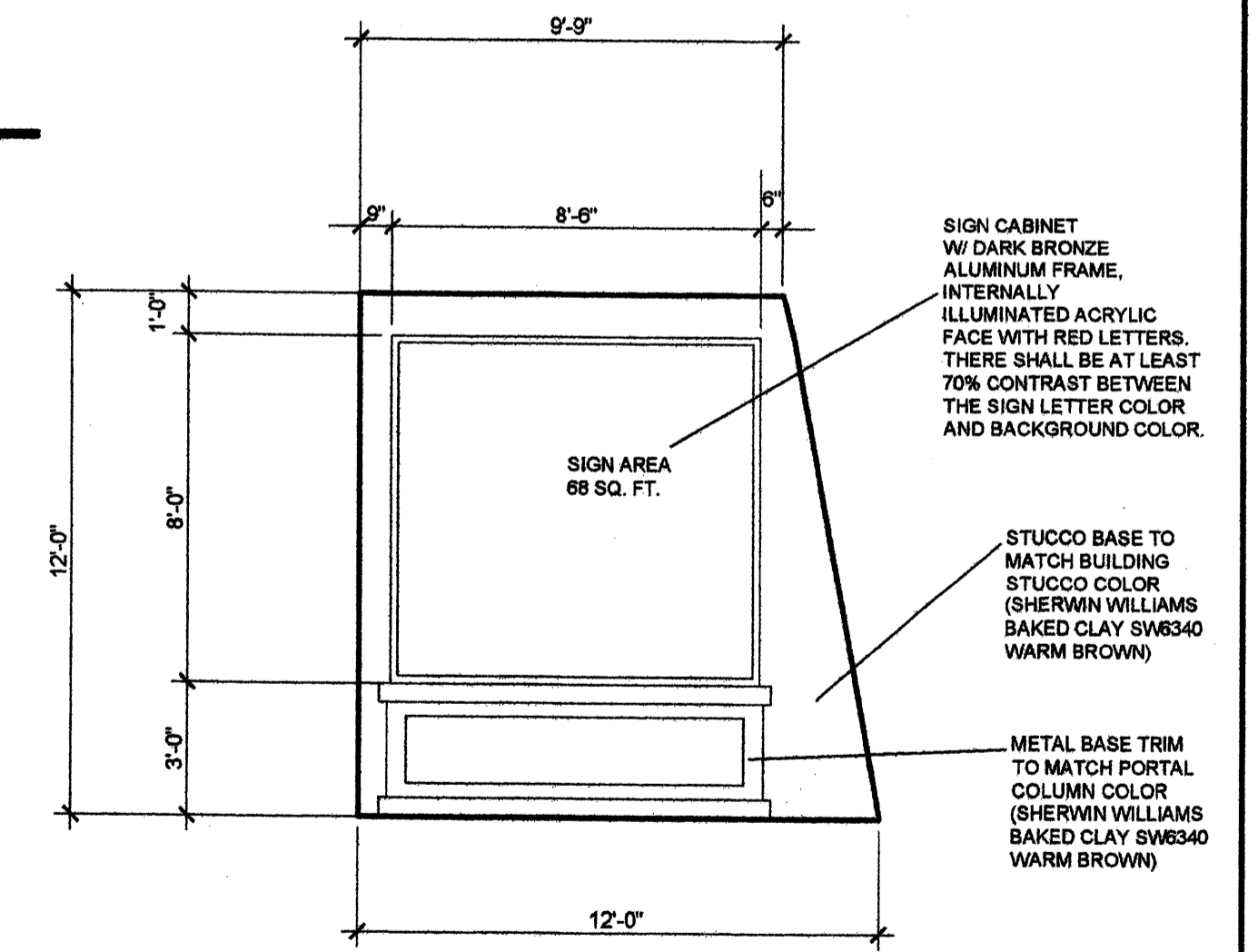
Keyed Color	Material Schedule	Common Name
1	METAL ROOF STANDING SEAM KYNAR COLONIAL RED	RED-BROWN
2	STUCCO SHERWIN WILLIAMS TEA LIGHT SW7681	LIGHT BEIGE
3	STUCCO SHERWIN WILLIAMS OAK BARREL SW7714	MEDIUM TAN
4	STUCCO & HOLLOW METAL DOORS SHERWIN WILLIAMS BAKED CLAY SW6340	WARM BROWN
5	PAIN @ PORTAL COLUMNS, CANOPY TRIM, HM DOOR FRAMES SHERWIN WILLIAMS BAKED CLAY SW6340	WARM BROWN
6	WALL MOUNTED LIGHT FIXTURES BY MFR.	MEDIUM TAN
7	SCUPPER & DOWNSPOUTS SHERWIN WILLIAMS OAK BARREL SW7714	MEDIUM TAN
8	ALUMINUM FRAME DOORS & WINDOWS DARK BRONZE FRAME W/1" INSULATING GLASS AT WINDOWS	DARK BROWN



**5 CMU SITE WALL ELEVATIONS**  
Scale: 1/8"=1'



**6 BUILDING SIGNAGE DETAIL**  
Scale: NTS



**7 MONUMENT SIGN**  
Scale: 1/4"=1'-0"

NOTE: NO ELECTRONIC DISPLAY PANELS, ALSO KNOWN AS LED DISPLAY PANELS OR ELECTRONIC BILLBOARDS, SHALL BE PERMITTED.

ENGINEER'S SEAL

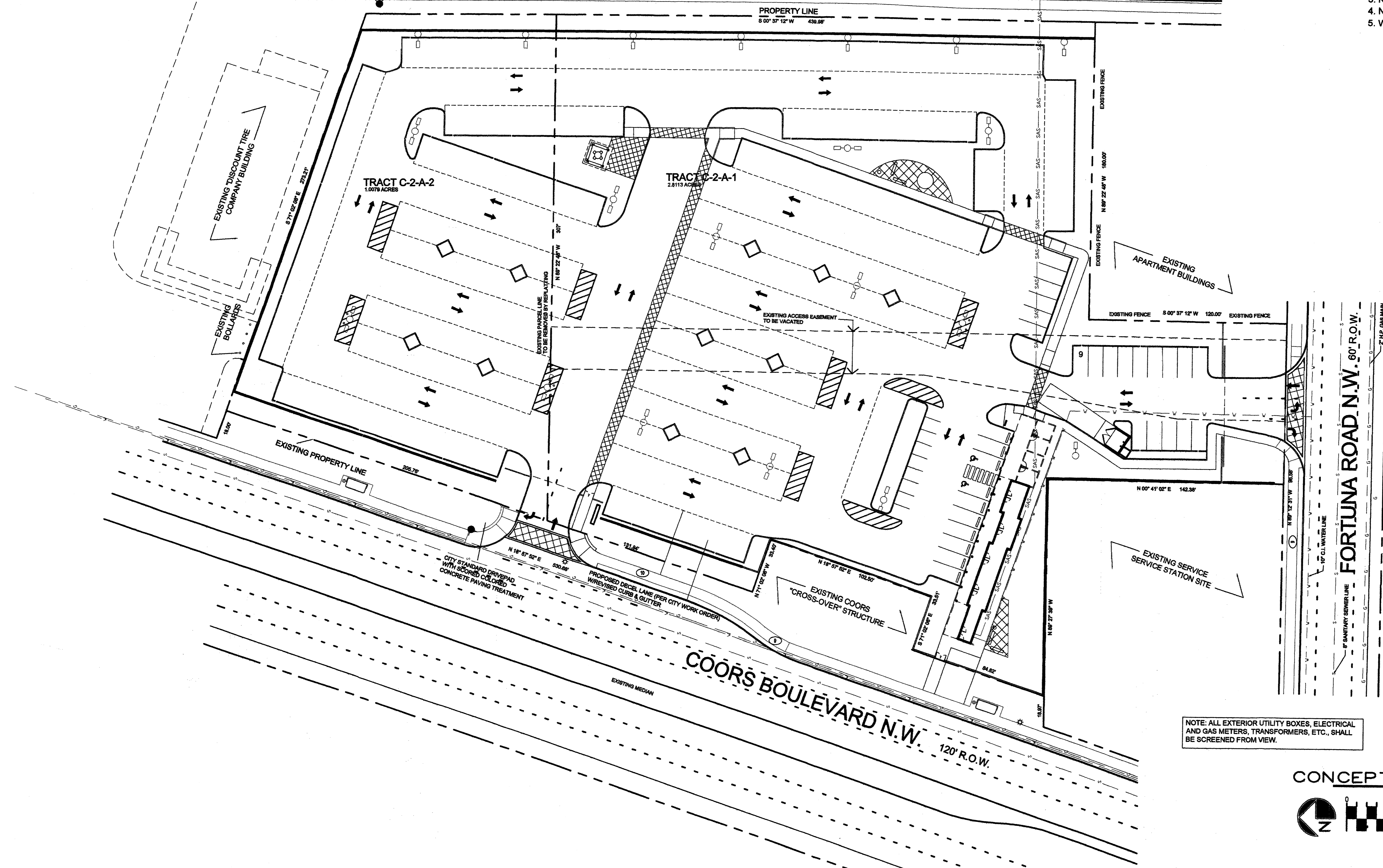
REVISED JANUARY 2010  
**A PROPOSED PLAN FOR  
COORS PARK & SELL**  
(COORS BLVD. N.W. AND FORTUNA RD. N.W.)  
ALBUQUERQUE, NEW MEXICO  
JUNE 29, 2009 **6 OF 9**



ESTANCIA DRIVE N.W. 60' R.O.W.

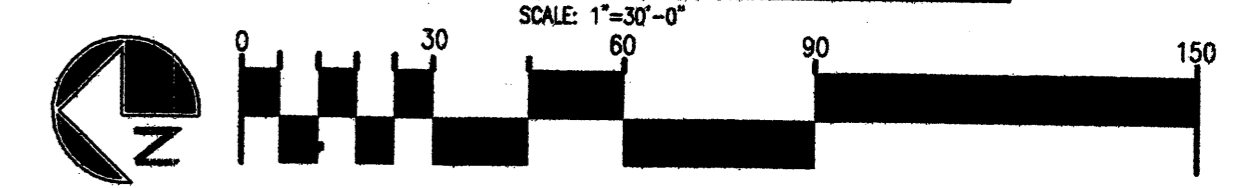
**KEYED NOTES**

1. NOT USED
2. EXISTING FIRE HYDRANT
3. NEW 4" SAS SERVICE
4. NEW DOMESTIC WATER SERVICE LINE
5. WATER METER BOX



NOTE: ALL EXTERIOR UTILITY BOXES, ELECTRICAL AND GAS METERS, TRANSFORMERS, ETC., SHALL BE SCREENED FROM VIEW.

**CONCEPTUAL UTILITY PLAN**



REVISED JANUARY 2010

**A PROPOSED PLAN FOR  
COORS PARK & SELL**  
(COORS BLVD. N.W. AND FORTUNA RD. N.W.)  
ALBUQUERQUE, NEW MEXICO

ENGINEER'S SEAL

JUNE 29, 2009

8 OF 9