

PROJ 1001989

EXISTING DISCOUNT TIRE COMPANY FACILITY

VACANT

#1001989
 02 EPC - 00940
 02 EPC - 00941
 02 DRB - 01330
 02 DRB - 01331

CASE NUMBER: Z-73-176;
 Z-76-601

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on **JULY 19, 2002** and that the findings and conditions in the Official Notice: Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

RL Dan 9-01-02
 Traffic Engineer, Transportation Division

Christina Chantoral 9/4/02
 Parks & Community Services Department

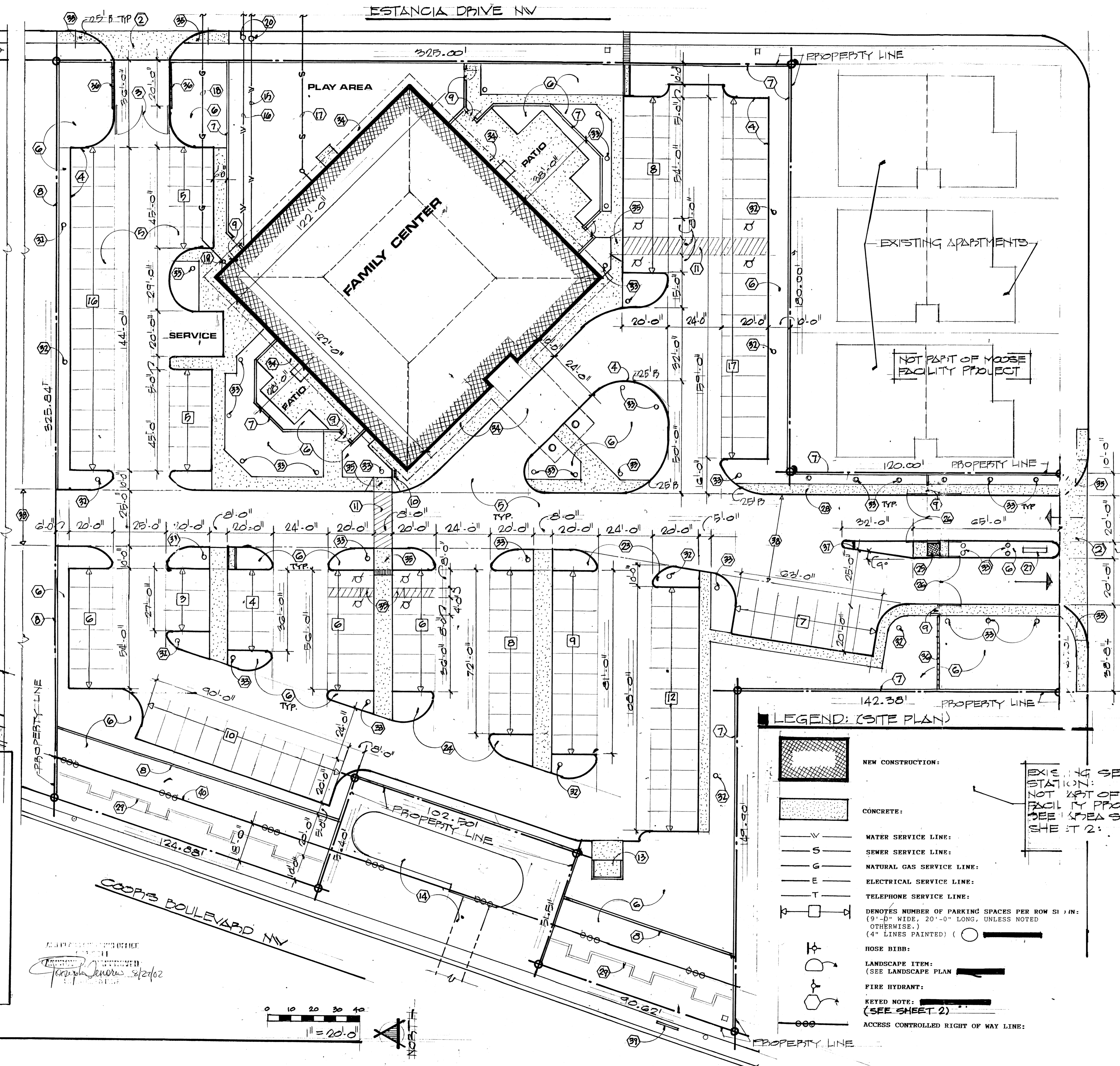
Robin A. Khan 9-4-02
 Public Works/Water Utilities Division

Bradley L. Bingham 9/4/02
 City Engineer, Engineering Division / AMAFCA

Walter S. ... 9-21-02
 SOLID WASTE / City Engineer, Engineering Division

APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual
De ... 9/6/02
 Planner, Planning Division

PLNZ (10706) 4/96



LEGEND: (SITE PLAN)

NEW CONSTRUCTION: [Symbol]

CONCRETE: [Symbol]

WATER SERVICE LINE: [Symbol]

SEWER SERVICE LINE: [Symbol]

NATURAL GAS SERVICE LINE: [Symbol]

ELECTRICAL SERVICE LINE: [Symbol]

TELEPHONE SERVICE LINE: [Symbol]

DENOTES NUMBER OF PARKING SPACES PER ROW SINCE:
 (9'-0" WIDE, 20'-0" LONG, UNLESS NOTED OTHERWISE.)
 (4" LINES PAINTED) [Symbol]

HOSE BIBB: [Symbol]

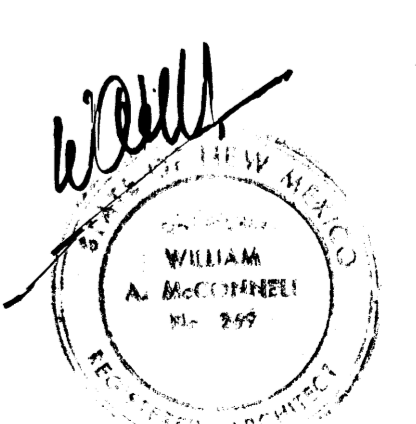
LANDSCAPE ITEM:
 (SEE LANDSCAPE PLAN) [Symbol]

FIRE HYDRANT: [Symbol]

KEYED NOTE:
 (SEE SHEET 2) [Symbol]

ACCESS CONTROLLED RIGHT OF WAY LINE: [Symbol]

EXISTING SERVICE STATION:
 NOT PART OF MOOSE FACILITY PROJECT:
 SEE IDEA SITE PLAN SHEET 2



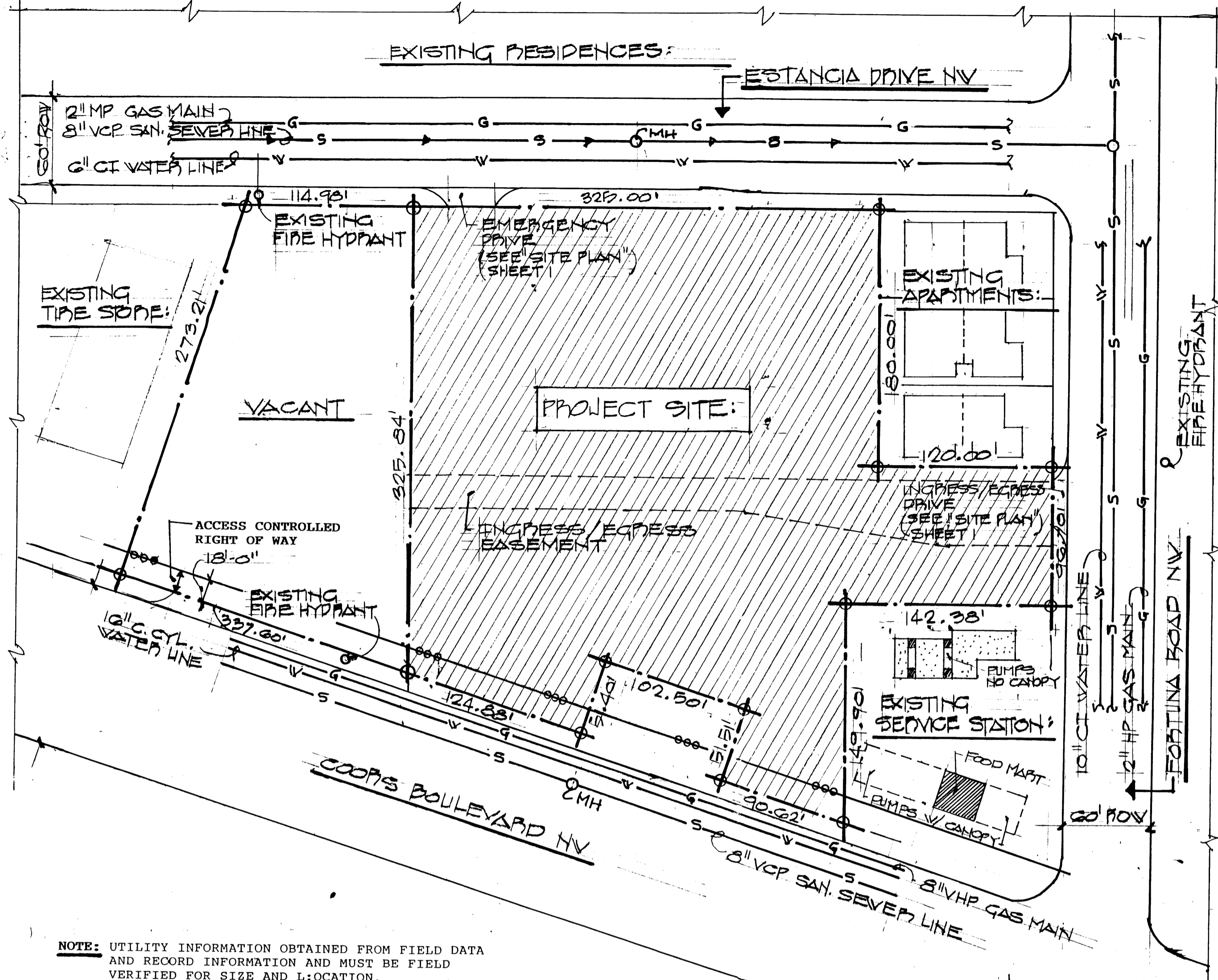
02EPC-00842 - ZONE MAP AMENDMENT
 02EPC-00840 - SDP AMENDMENT TO SUBDIVISION
 02EPC-00841 - SDP BUILDING PERMIT

SITE PLAN:
 (PPS SUBMITTAL)

MOOSE FAMILY CENTER LODGE #17:
 ALBUQUERQUE, NEW MEXICO

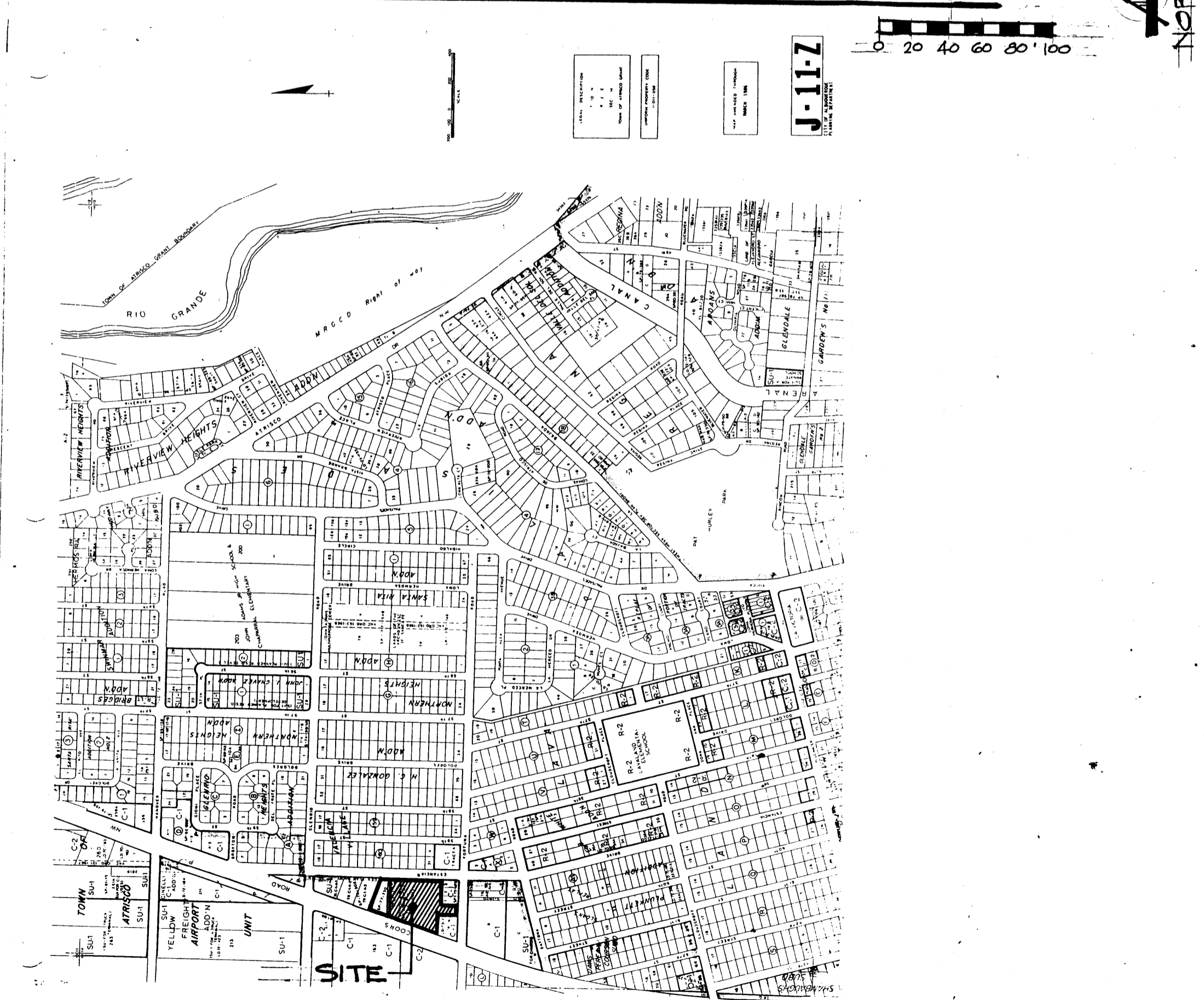
WILLIAM A. MC CONNELL - ARCHITECT
 NEW MEXICO

AUGUST, 2002



NOTE: UTILITY INFORMATION OBTAINED FROM FIELD DATA AND RECORD INFORMATION AND MUST BE FIELD VERIFIED FOR SIZE AND LOCATION.

AREA SITE PLAN: (FOR ORIENTATION ONLY) 1" = 60'-0"



VICINITY PLAN:

SITE:

- DESCRIPTION:** SOUTHERNLY 2.9 ACRES PORTION OF TRACT "C-2-A" OF THE CAMPBELL LANDS, A REVISION OF TRACT "C", AIRPORT UNIT OF ATRISCO GRANT, ALBUQUERQUE, NEW MEXICO. (PRESENTLY BEING REPLATED A TO BE IDENTIFIED AS TRACT "C-2-A-1")
- ADDRESS:** 730 COORS BOULEVARD NW ALBUQUERQUE, NEW MEXICO
- AREA:** 125,335 SF: (2.9 ACRES)
- ZONED:** SU-1: (PROPOSED FOR A FRATERNAL CLUB)
- SEISMIC ZONE:** 2B:
- ZONE ATLAS:** J-11-2:

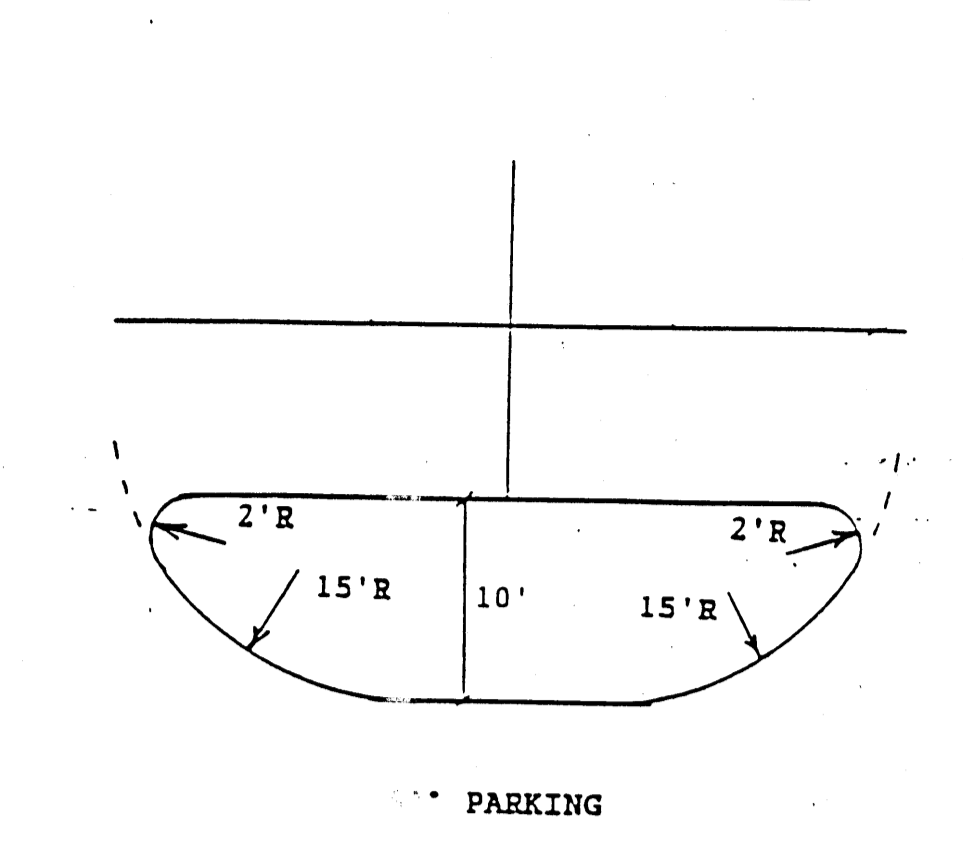
PROJECT:

- OCCUPANCY:** A2.1: (FRATERNAL CLUB FACILITY)
- CONSTRUCTION:** VN: (SPRINKLERED: 18,000 SF ALLOWABLE)
- AREA:** 14,792 SF: (NLA: 12,854 SF:0)
- PARKING:**
 - REQUIRED: (12,854 / 200)..... 65 SPACES:
 - DEDUCT..... 6 (BUS)
 - TOTAL..... 59 SPACES: (8 HANDICAPPED) (3 BICYCLES SPACES RACK):
 - PROVIDED..... 122 SPACES: (8 HANDICAPPED)
- LANDSCAPING:**
 - REQUIRED: (125,335 - 14,792) (.15) = 16,582 SF:
 - PROVIDED..... 29,572 SF: (27%)
- SETBACKS:** 10'-0" MINIMUM:
- BUILDING HEIGHT:** 26'-0" MAXIMUM:
- FLOOR AREA RATIO:** 0.11:

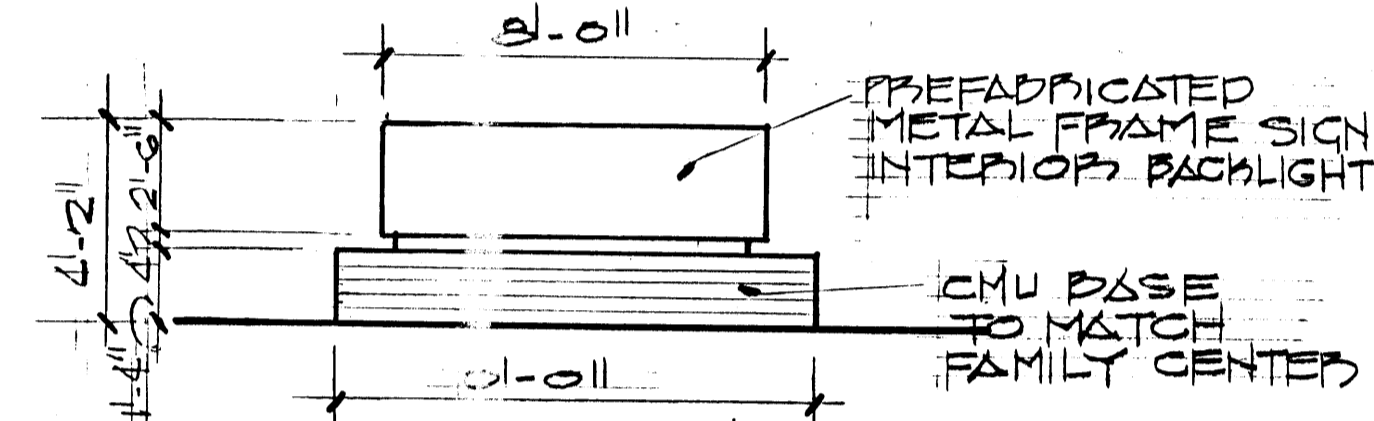
NOTES: (SITE PLAN)

- SEE AREA SITE PLAN, SHEET 2, FOR DIMENSIONS OF RIGHT OF WAYS, UTILITIES, EXISTING FIRE HYDRANTS AND ADJACENT PROPERTY AND EXISTING STRUCTURES.
- NEW CONCRETE DRIVE IN ACCORDANCE WITH CITY OF ALBUQUERQUE REQUIREMENTS SIDE WALK WITH HANDICAPPED RAMP AS REQUIRED. CURB AND GUTTER TO MATCH EXISTING.
- METAL GATES. (BLACK) (FOR EMERGENCY USE ONLY)
- CONCRETE CURB: TYPICAL:
- BITUMINOUS PAVING: TYPICAL:
- LANDSCAPE AREA: TYPICAL: (SEE LANDSCAPING PLAN)
- SOLID CMU WALL: 6'-0" HIGH: (CMU TO MATCH FAMILY CENTER)
- 6'-0" HIGH CMU / METAL COMBINATION WALL: (CMU TO MATCH FAMILY CENTER METAL BLACK)
- METAL GATE: (BLACK)
- BICYCLE RACK:
- PAINTED HANDICAPPED PATH:
- FASCIA LINE:
- TRASH RECEPTACLE ENCLOSURE IN ACCORDANCE WITH CITY OF ALBUQUERQUE REQUIREMENTS: (CMU WALLS TO MATCH FAMILY CENTER)
- PEDESTRIAN CROSSOVER AREA: (EXISTING)
- BUILDING WATER LINE FROM ESTANCIA DRIVE: (SEE AREA SITE PLAN, SHEET 2)
- FIRE SUPPRESSION SPRINKLER SYSTEM WATER SERVICE LINE FROM ESTANCIA DRIVE: (SEE AREA SITE PLAN, SHEET 2)
- BUILDING SANITARY SEWER LINE FROM ESTANCIA DRIVE: (SEE AREA SITE PLAN, SHEET 2)
- NATURAL GAS SERVICE LINE FROM ESTANCIA DRIVE: SEE AREA SITE PLAN, SHEET 2)
- GAS METER:
- WATER METER:
- EXISTING FIRE HYDRANT: (SEE AREA SITE PLAN, SHEET 2)
- ~~_____~~
- ~~_____~~
- TYPICAL END ISLAND AS PER CITY OF ALBUQUERQUE REQUIREMENTS: (SEE DETAIL, SHEET 2)
- END ISLANDS SIMILAR TO :23" ABOVE:
- ENTRY SECURITY HUT: (SEE EXTERIOR ELEVATIONS, SHEET 4 MATCHES FAMILY CENTER)
- METAL GATE: (BLACK)
- SIGN LOCATION: (SEE ELEVATION, SHEET 2)
- CONCRETE WALK: TYPICAL: (5'-0" WIDE UNLESS NOTED OTHERWISE)
- CMU WALL, 1'-4" HIGH: (MATCH FAMILY CENTER)
- ~~_____~~
- EXTERIOR LIGHTING:**
 - BUILDING:** DOWNLIGHTING UNDER OVERHANG SOFFIT:
 - WALKES / LANDSCAPING:** LOW BOLLARD TYPE, 3'-0" HI HIGH MAXIMUM:
 - PARKING AREA:** ANY POLE LIGHTING WILL BE 16'-0" HIGH MAXIMUM AND WOULD BE LOCATED AT THE AREA CLOSEST TO COORS BOULEVARD.
- LIGHT FIXTURES SHALL COMPLY WITH AREA LIGHT, ILLUMINATION, ETC REGULATIONS.
- POLE LIGHT: (16'-0" HIGH MAXIMUM)
- BOLLARD LIGHT: (3'-0" HIGH MAXIMUM)
- DOWNLIGHTS UNDER SOFFIT:
- HANDICAPPED RAMP:
- METAL FENCE: 6'-0" HIGH. (BLACK)
- DIRECTIONAL SIGN:
- COMMON USE INGRESS AND EGRESS EASEMENT: (SEE REPLAT DOCUMENTS ATTACHED)
- BUS STOP:
- DEDICATED RIGHT OF WAY LINE: (SEE REPLAT DOCUMENTS ATTACHED)

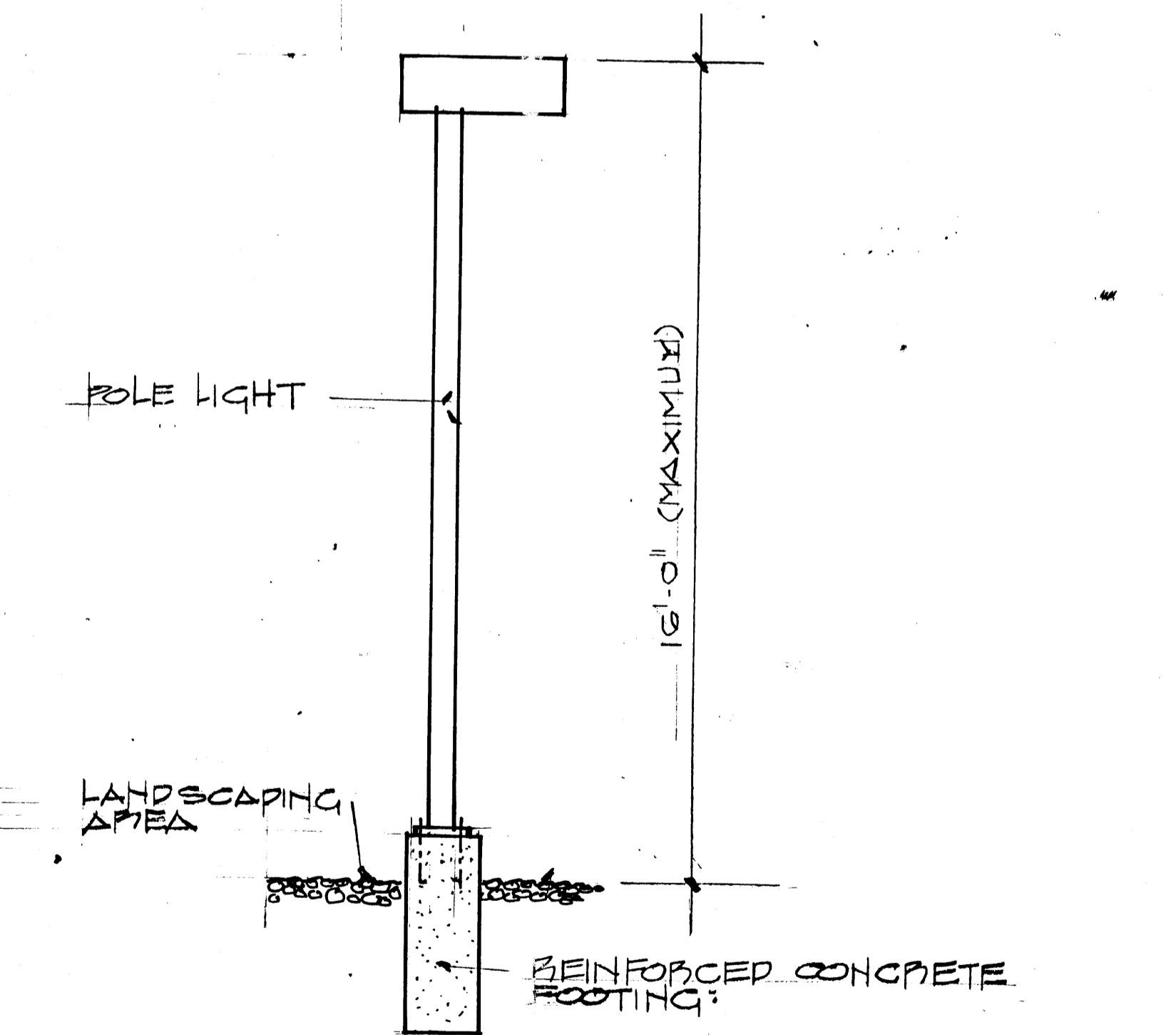
FIGURE END OF AISLE ISLANDS (BY CITY OF ALBUQUERQUE)



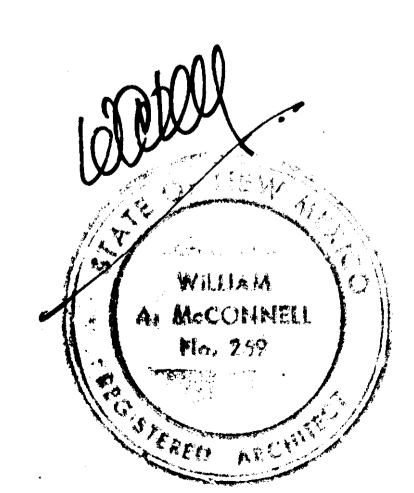
PARKING ISLAND PLAN: (TYPICAL) 1" = 10'-0"



SIGN ELEVATION: 1/4" = 1'-0"



POLE LIGHT: 3/8" = 1'-0"

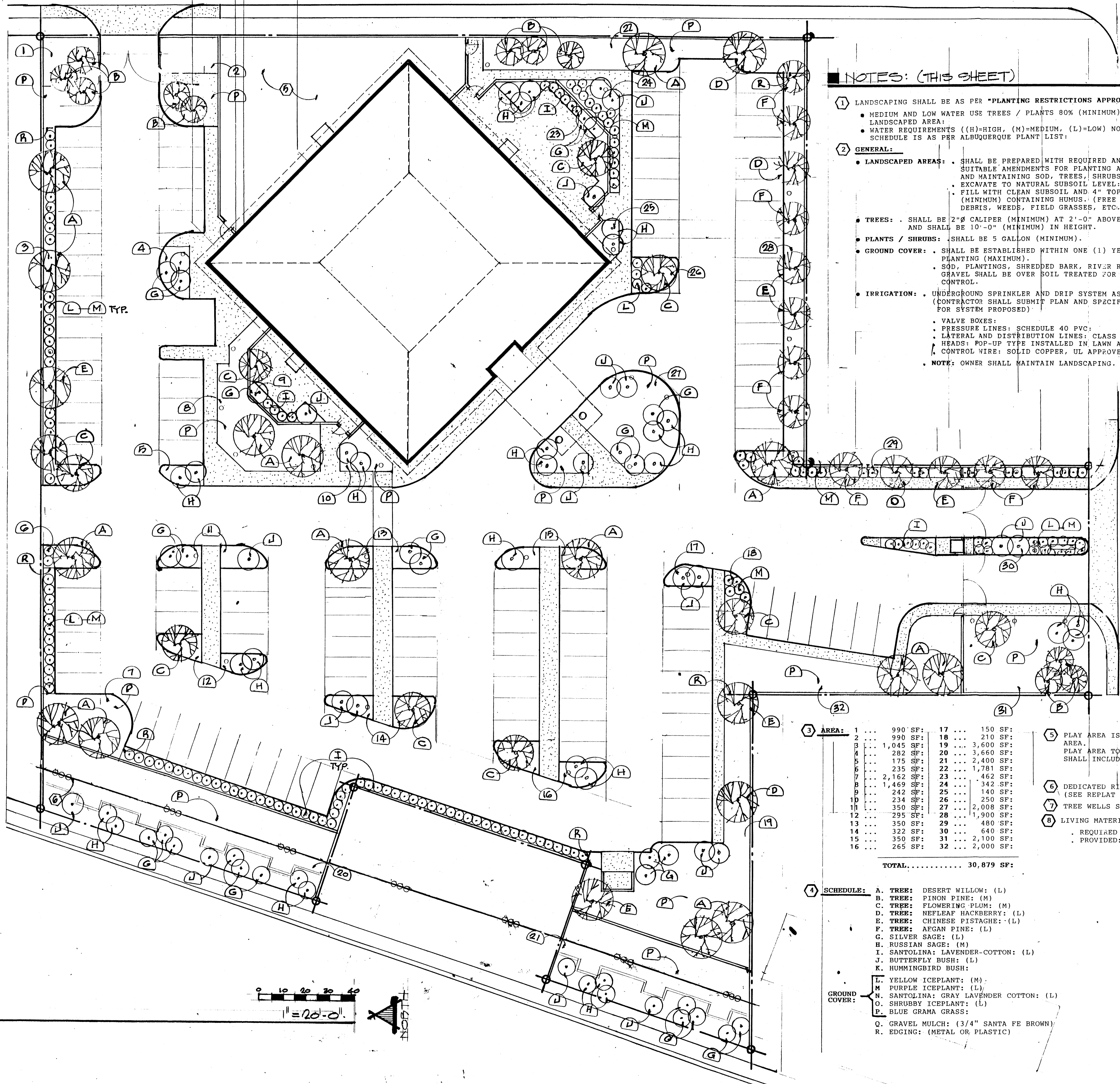


02EFC-00842 - ZONE MAP AMENDMENT:
02EFC-00840 - SDF AMENDMENT TO SUBDIVISION:
02EFC-00841 - SDF BUILDING PERMIT:

LANDSCAPING PLAN:
CADD SUBMITTAL

MOOSE FAMILY CENTER LARGE 1017
ALBUQUERQUE, NEW MEXICO

WILLIAM A. MC CONNELL ARCHITECT
NEW MEXICO



NOTES: (THIS SHEET)

- 1 LANDSCAPING SHALL BE AS PER "PLANTING RESTRICTIONS APPROACH":
 - MEDIUM AND LOW WATER USE TREES / PLANTS 80% (MINIMUM) OF LANDSCAPED AREA:
 - WATER REQUIREMENTS ((H)=HIGH, (M)=MEDIUM, (L)=LOW) NOTED ON SCHEDULE IS AS PER ALBUQUERQUE PLANT LIST:
- 2 GENERAL:
 - LANDSCAPED AREAS: SHALL BE PREPARED WITH REQUIRED AND SUITABLE AMENDMENTS FOR PLANTING AND MAINTAINING SOD, TREES, SHRUBS, ETC.
 - EXCAVATE TO NATURAL SUBSOIL LEVEL:
 - FILL WITH CLEAN SUBSOIL AND 4" TOPSOIL (MINIMUM) CONTAINING HUMUS. (FREE OF DEBRIS, WEEDS, FIELD GRASSES, ETC.)
 - TREES: SHALL BE 2" Ø CALIPER (MINIMUM) AT 2'-0" ABOVE GROUND AND SHALL BE 10'-0" (MINIMUM) IN HEIGHT.
 - PLANTS / SHRUBS: SHALL BE 5 GALLON (MINIMUM).
 - GROUND COVER: SHALL BE ESTABLISHED WITHIN ONE (1) YEAR OF PLANTING (MAXIMUM).
 - SOD, PLANTINGS, SHREDED BARK, RIVER RUN GRAVEL SHALL BE OVER SOIL TREATED FOR WEED CONTROL.
 - IRRIGATION: UNDERGROUND SPRINKLER AND DRIP SYSTEM AS FOLLOWS: (CONTRACTOR SHALL SUBMIT PLAN AND SPECIFICATIONS FOR SYSTEM PROPOSED)
 - VALVE BOXES:
 - PRESSURE LINES: SCHEDULE 40 PVC:
 - LATERAL AND DISTRIBUTION LINES: CLASS 200 PVC:
 - HEADS: POP-UP TYPE INSTALLED IN LAWN AREAS:
 - CONTROL WIRE: SOLID COPPER, UL APPROVED:
 - NOTE: OWNER SHALL MAINTAIN LANDSCAPING.

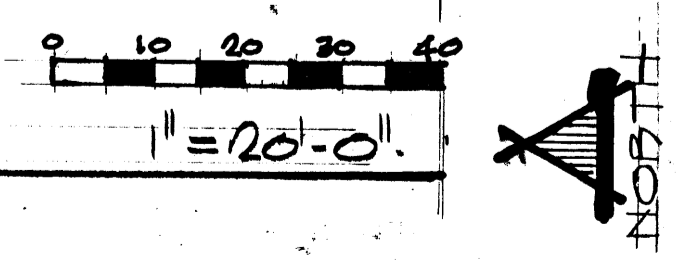
3 AREA:

1	990 SF:	17	150 SF:
2	990 SF:	18	210 SF:
3	1,045 SF:	19	3,600 SF:
4	282 SF:	20	3,660 SF:
5	175 SF:	21	2,400 SF:
6	235 SF:	22	1,781 SF:
7	2,162 SF:	23	462 SF:
8	1,469 SF:	24	342 SF:
9	242 SF:	25	140 SF:
10	234 SF:	26	250 SF:
11	350 SF:	27	2,008 SF:
12	295 SF:	28	1,900 SF:
13	350 SF:	29	480 SF:
14	322 SF:	30	640 SF:
15	350 SF:	31	2,100 SF:
16	265 SF:	32	2,000 SF:
TOTAL..... 30,879 SF:			

- 5 PLAY AREA IS NOT INCLUDED IN LANDSCAPING AREA. PLAY AREA TO BE DEVELOPED BY OTHERS: SHALL INCLUDE:
 - SHADE TREES:
 - GRASS AND OTHER APPROPRIATE SURFACES:
- 6 DEDICATED RIGHT OF WAY LINE: (SEE REPLAT DOCUMENTS ATTACHED)
- 7 TREE WELLS SHALL BE GRAVEL MULCH:
- 8 LIVING MATERIAL GROUND COVER:
 - REQUIRED (75%):... 23,174 SF:
 - PROVIDED:..... 25,846 SF:

- 4 SCHEDULE:
- A. TREE: DESERT WILLOW: (L)
 - B. TREE: PINON PINE: (M)
 - C. TREE: FLOWERING PLUM: (M)
 - D. TREE: NEFLEAF HACKBERRY: (L)
 - E. TREE: CHINESE PISTACHE: (L)
 - F. TREE: AFGAN PINE: (L)
 - G. SILVER SAGE: (L)
 - H. RUSSIAN SAGE: (M)
 - I. SANTOLINA: LAVENDER-COTTON: (L)
 - J. BUTTERFLY BUSH: (L)
 - K. HUMMINGBIRD BUSH:
 - L. YELLOW ICEPLANT: (M)
 - M. PURPLE ICEPLANT: (L)
 - N. SANTOLINA: GRAY LAVENDER COTTON: (L)
 - O. SHRUBBY ICEPLANT: (L)
 - P. BLUE GRAMA GRASS:
- GROUND COVER:
- Q. GRAVEL MULCH: (3/4" SANTA FE BROWN)
 - R. EDGING: (METAL OR PLASTIC)

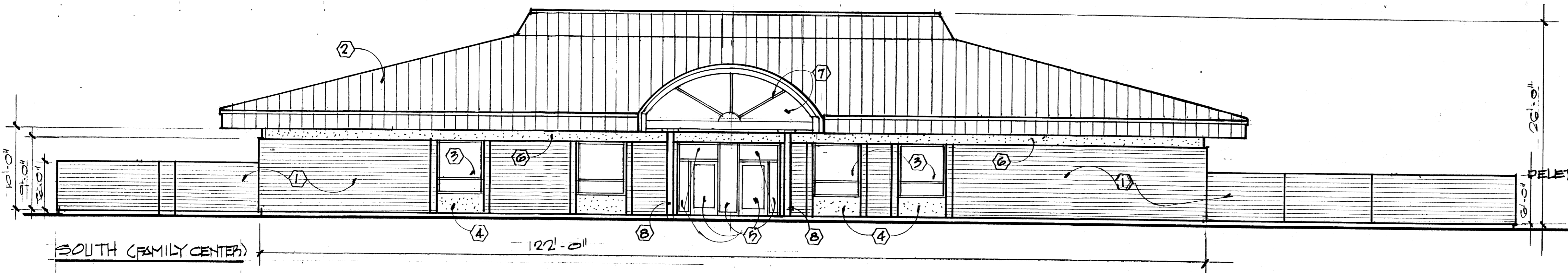
LANDSCAPING PLAN:



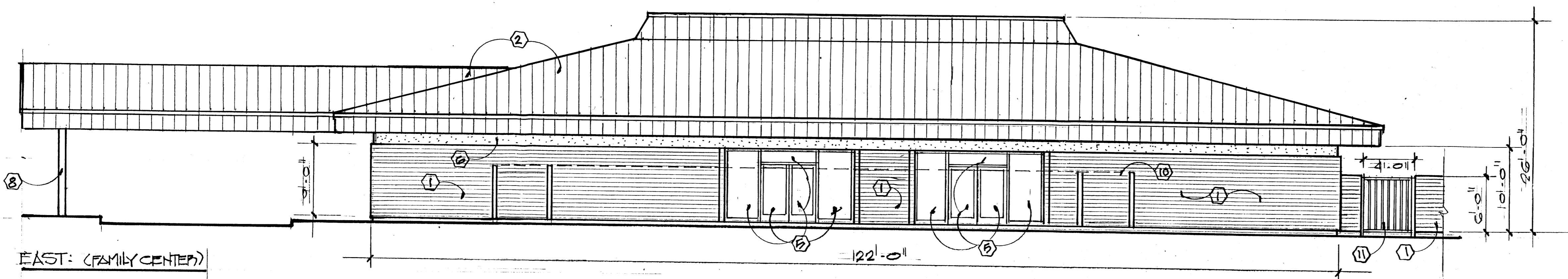
NOTES: (THIS SHEET)

- 1 CMU VENEER: (BROWN) (SOLID AT PATIO WALLS)
- 2 PREFINISHED METAL ROOF: (BLUE)
- 3 WINDOW WITH METAL FRAME: TYPICAL: (BLACK) (6'-0" WIDE X 7'-0" HIGH)
- 4 GLASWELD PANEL AT WINDOWS: TYPICAL: (LIGHT BRONZE)
- 5 GLAZED ENTRY DOORS AND FRAME: (BLACK) (SIDELIGHTS / TRANSOMS MATCH DOORS) (DOORS: 3'-0" X 7'-0")
- 6 GLASWELD STRIP: TYPICAL: (LIGHT BRONZE)
- 7 EXPOSED METAL STRUCTURE: (BLACK) (OPEN BETWEEN MEMBERS: GLASWELD METAL POST: (BLUE: MATCHING ROOF) - PANEL OVER ENTRY A BUILDING)
- 8 METAL POST: (BLUE: MATCHING ROOF)
- 9 LINE OF TOP OF PATIO WALL:
- 10 METAL GATE: (BLACK)
- 11 METAL DOOR AND FRAME: (BLACK)
- 12 GLASWELD PANEL: (LIGHT BRONZE)
- 13 METAL DOOR AND FRAME: (BLACK)
- 14 METAL DOOR AND FRAME: (BLACK)

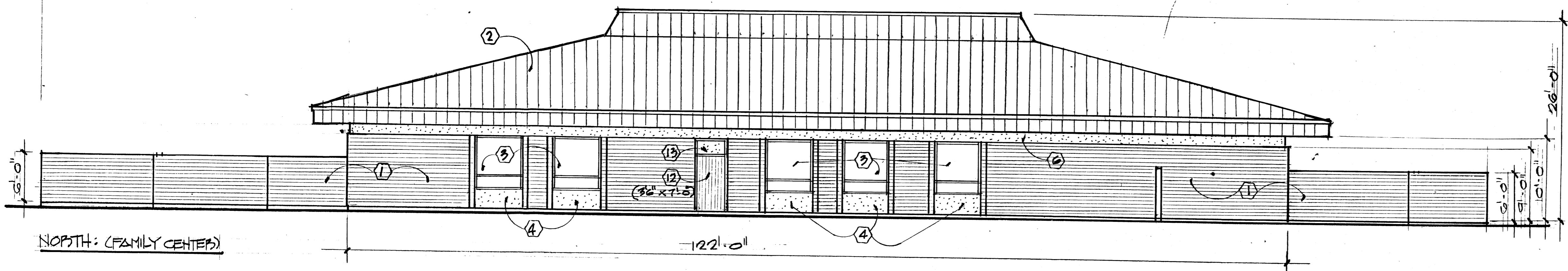
02EPC-00842 - ZONE MAP AMENDMENT:
 02EPC-00840 - SDP AMENDMENT TO SUBDIVISION:
 02EPC-00841 - SDP BUILDING PERMIT:



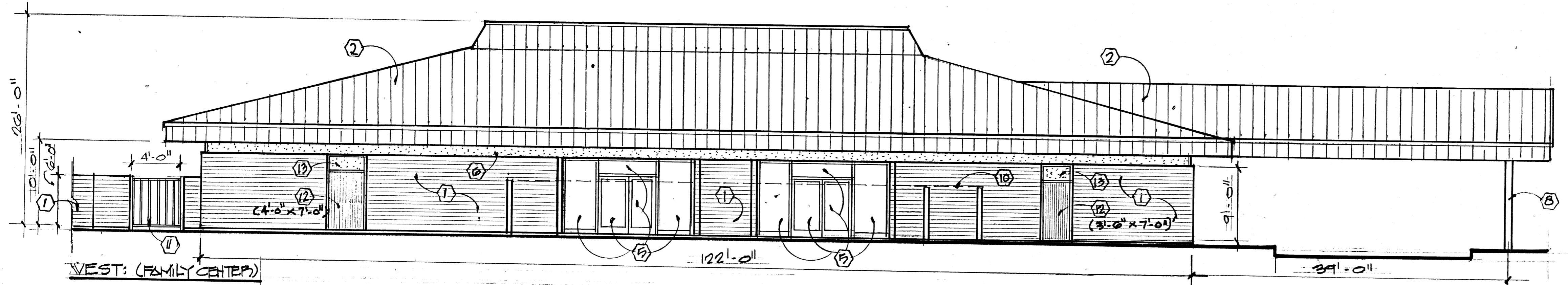
SOUTH (FAMILY CENTER)



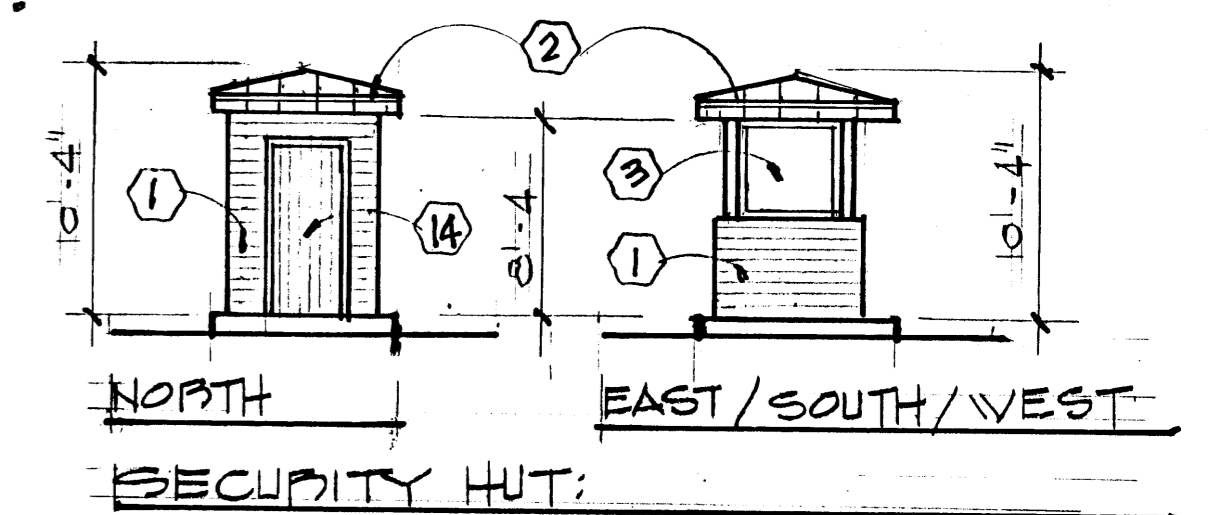
EAST: (FAMILY CENTER)



NORTH: (FAMILY CENTER)

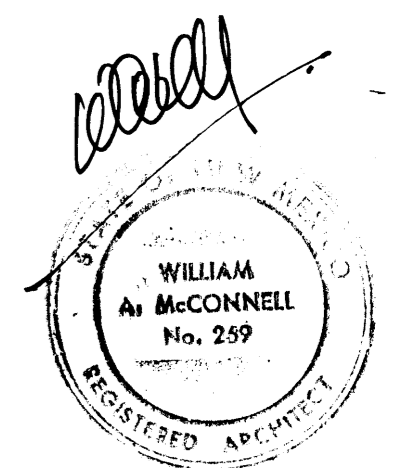
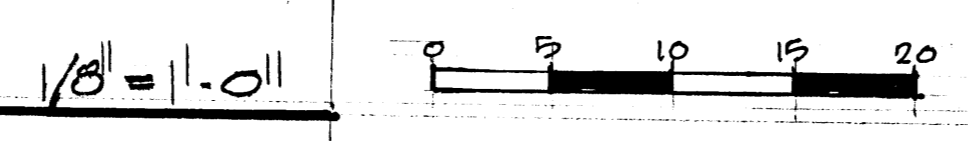


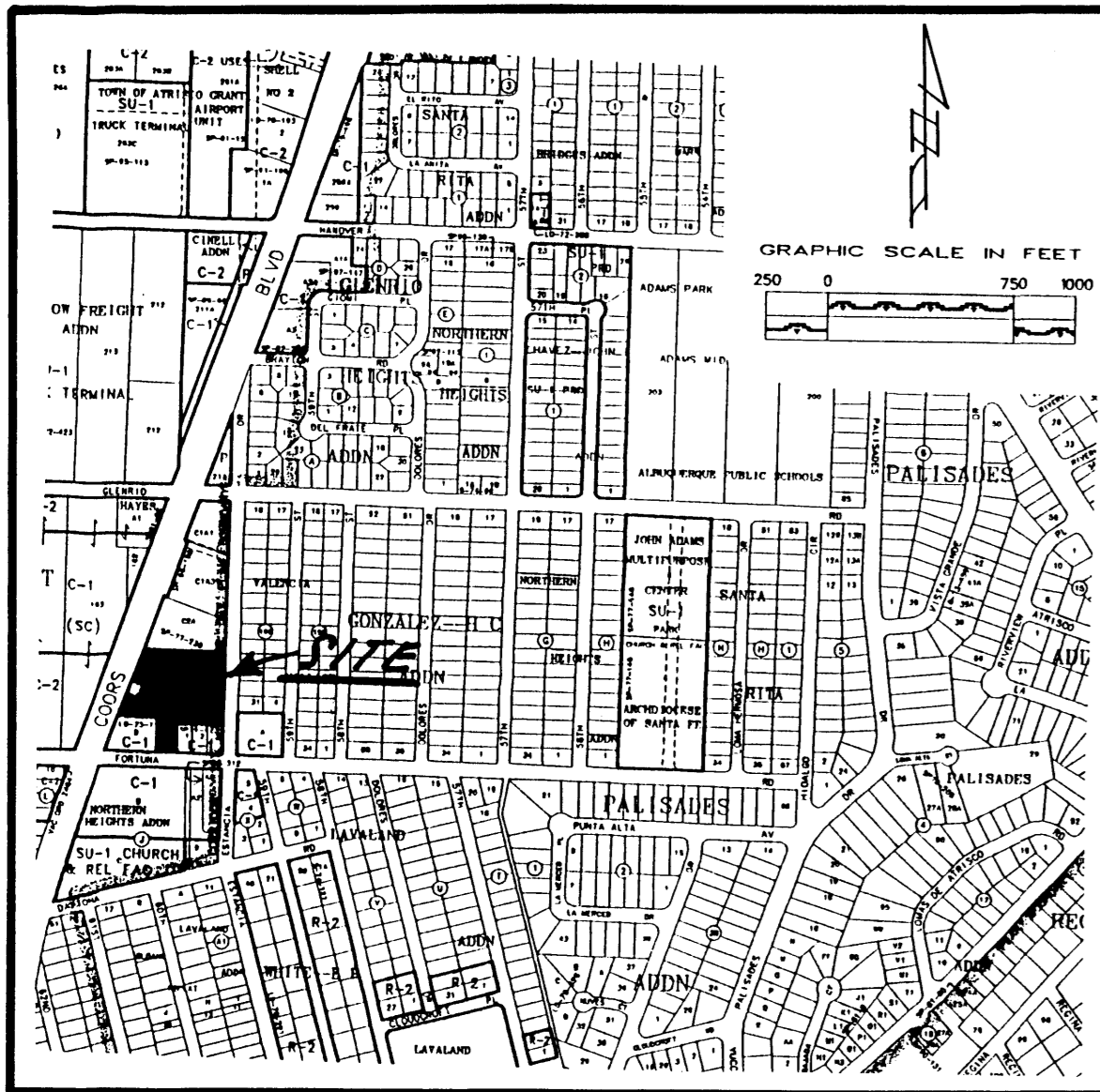
WEST: (FAMILY CENTER)



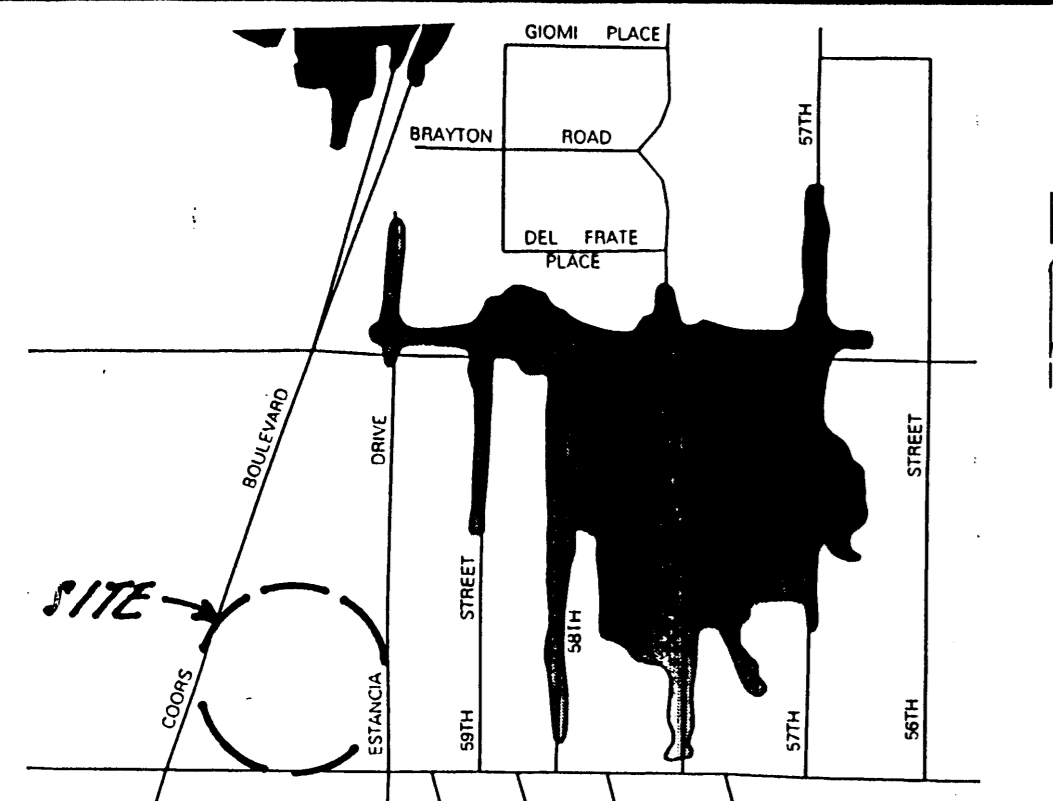
SECURITY HUT:

EXTERIOR ELEVATIONS:





VICINITY MAP J-11-Z



F.M.A. PANEL 327 OF 825

EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS, SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

LEGEND:

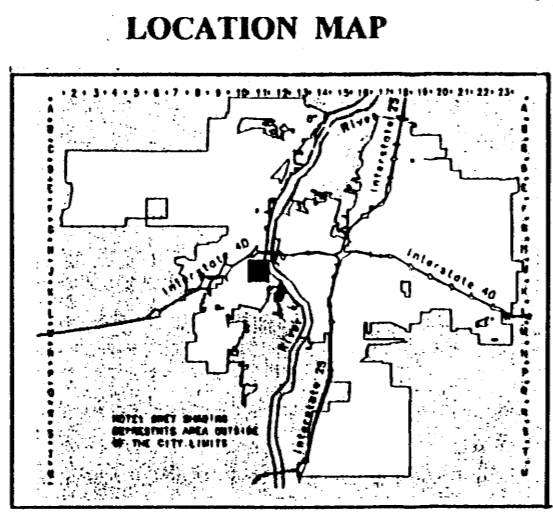
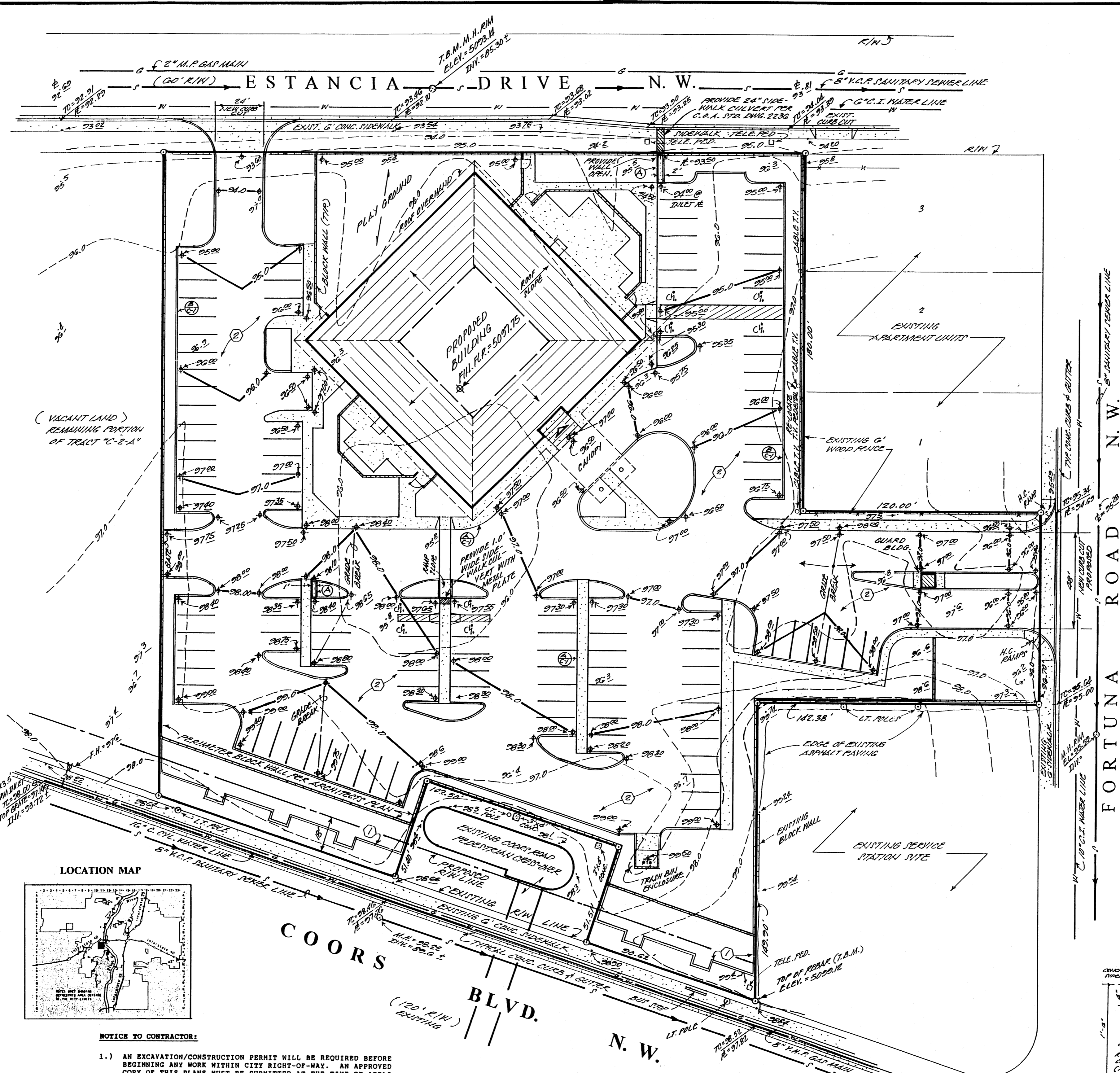
TOP OF CURB ELEVATION = 70+52.01
 CURB FLOWLINE ELEVATION = 6=52.20
 EXISTING SPOT ELEVATION = 30.2
 EXISTING CONTOUR ELEVATION = 97.0
 PROPOSED SPOT ELEVATION = 97.20
 PROPOSED CONTOUR ELEVATION = 98.0
 PROPOSED OR EXISTING CONCRETE SURFACE = [Symbol]
 EXISTING FENCE LINE = [Symbol]

LEGAL DESCRIPTION:

A SOUTHERLY PORTION OF TRACT "C-2-A", OF THE CAMPBELL LANDS, A REDIVISION OF TRACT "C", AIRPORT UNIT, TOWN OF ATRISCO GRANT, ALBUQUERQUE, NEW MEXICO, (PRESENTLY BEING REPLATTED AND TO BE IDENTIFIED AS TRACT "C-2-A-1".

BENCH MARK REFERENCE:

ACS STATION "18-111", M.S.L.D. ELEVATION = 5096.81; (PROJECT T.B.M. AS SHOWN ON THE PLAN HEREON).



NOTICE TO CONTRACTOR:

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION OF THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATION - PUBLIC WORKS CONSTRUCTION - 1985.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS, SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

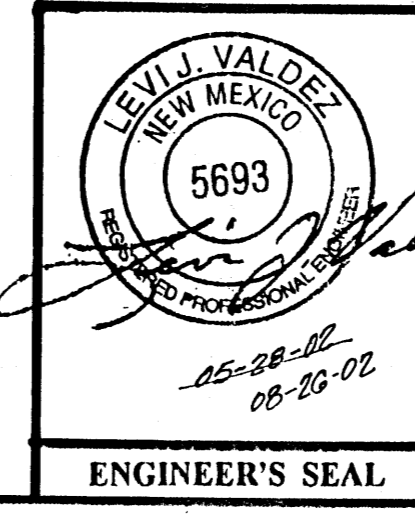
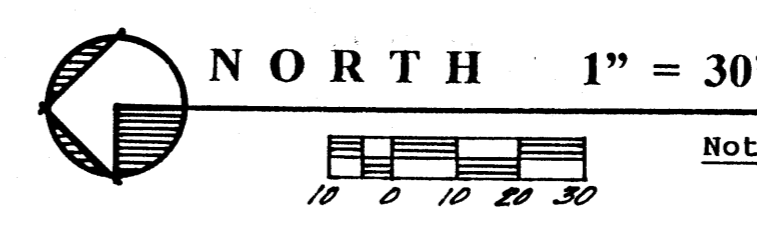
APPROVALS	NAME	DATE
HYDROLOGY INSPECTOR		

NOTE: ALL WORK WITHIN PUBLIC EASEMENT SHALL BE PERFORMED UNDER SEPARATE PERMIT.

- GENERAL NOTES:**
- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
 - NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

Note: Architect to provide roof drain design to outlet through sidewalk(s) and onto proposed asphalt paved parking area(s).

- Proposed new asphalt paved parking area's.
- Note:** Proposed Landscape Wall (1.5' ±) high per Architect's design.



A PROPOSED GRADING AND DRAINAGE PLAN FOR MOOSE FAMILY CENTER LODGE NO. 1517 (730 COORS BLVD. N.W.) ALBUQUERQUE, NEW MEXICO MAY, 2002 (REVISED: AUGUST, 2002)

TABLE A-1. PRECIPITATION ZONES

Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Dubuque, North of Interstate 40; and between San Mateo and the East boundary of Flange 4 East, South of Interstate 40
4	East of Dubuque, North of Interstate 40; and East of the East boundary of Flange 4 East, South of Interstate 40

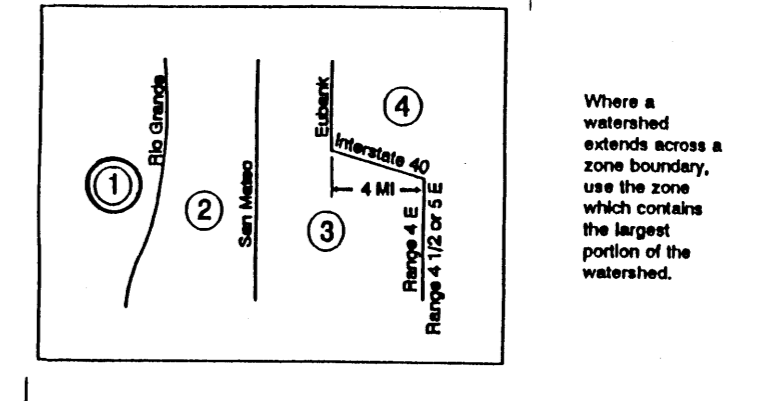


TABLE A-10. PEAK INTENSITY (IN/HR. AT Tc = 0.2 HOUR)

Zone	Intensity [2 YR. 10-YR.]
1	4.70 [1.84, 3.14]
2	4.70 [2.04, 3.41]
3	5.38 [2.21, 3.65]
4	5.88 [2.34, 3.83]

TABLE A-4. LAND TREATMENTS

Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundwater and infiltration capacity. Croplands. Unfertilized arroyos.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil compacted by human activity. Minimal vegetation. Unpaved parking, roads, paths. Most pavements. Gravel or rock on public (desert landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes of 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

TABLE A-8. PEAK DISCHARGE (cfs/acre)

Zone	Treatment	100-YR. [2-YR. 10-YR.]
1	A	1.20 [0.00, 0.24]
	B	2.00 [0.00, 0.76]
	C	2.87 [0.47, 1.49]
	D	4.37 [1.09, 2.89]
2	A	1.58 [0.00, 0.39]
	B	2.28 [0.00, 0.95]
	C	3.14 [0.60, 1.71]
	D	4.70 [1.06, 3.14]
3	A	1.87 [0.00, 0.58]
	B	2.90 [0.21, 1.19]
	C	3.45 [0.78, 2.00]
	D	5.00 [2.04, 3.39]
4	A	2.20 [0.00, 0.87]
	B	2.90 [0.00, 1.45]
	C	3.73 [1.00, 2.31]
	D	5.28 [2.17, 3.57]

DRAINAGE COMMENTS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED AT THE APPROXIMATE NORTHEAST CORNER OF THE INTERSECTION OF COORS BLVD. N.W. AND FORTUNA ROAD N.W., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (CITY ZONE A-11AS "J-11-Z").

THE SUBJECT SITE IS PRESENTLY AN UNDEVELOPED "MIXED ZONE" PROPERTY THAT IS TO HAVE A PROPOSED FACILITY CONSTRUCTED FOR THE MOOSE FAMILY CENTER LODGE NO. 1517, TOGETHER WITH ALL ASSOCIATED IMPROVEMENTS THEREON.

THE SUBJECT SITE, 1) DOES NOT LIE WITHIN A DESIGNATED FLOODPLAIN (RE: F.E.M.A. PANEL 327 OF 825); 2) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES, 3) DOES NOT CONTRIBUTE TO THE OFFSITE FLOWS OF ADJACENT PROPERTIES, 4) DOES NOT LIE ADJACENT TO A NATURAL OR ARTIFICIAL WATER COURSE, 5) IS ALLOWED TO FREE DISCHARGE DEVELOPED FLOWS FROM SAID PROPERTY.

CALCULATIONS:

PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

SITE AREA: 2.90 ACRES
 PRECIPITATION ZONE: ONE (1)
 PEAK INTENSITY: IN./HR. AT Tc = TWELVE (12) MINUTES, 100 YR./6 HR. = 4.70
 LAND TREATMENT METHOD FOR CALCULATION OF "Qp", TABLES "A-8" AND "A-9"
 LAND TREATMENT FACTORS, TABLE "A-4".

EXISTING CONDITIONS:

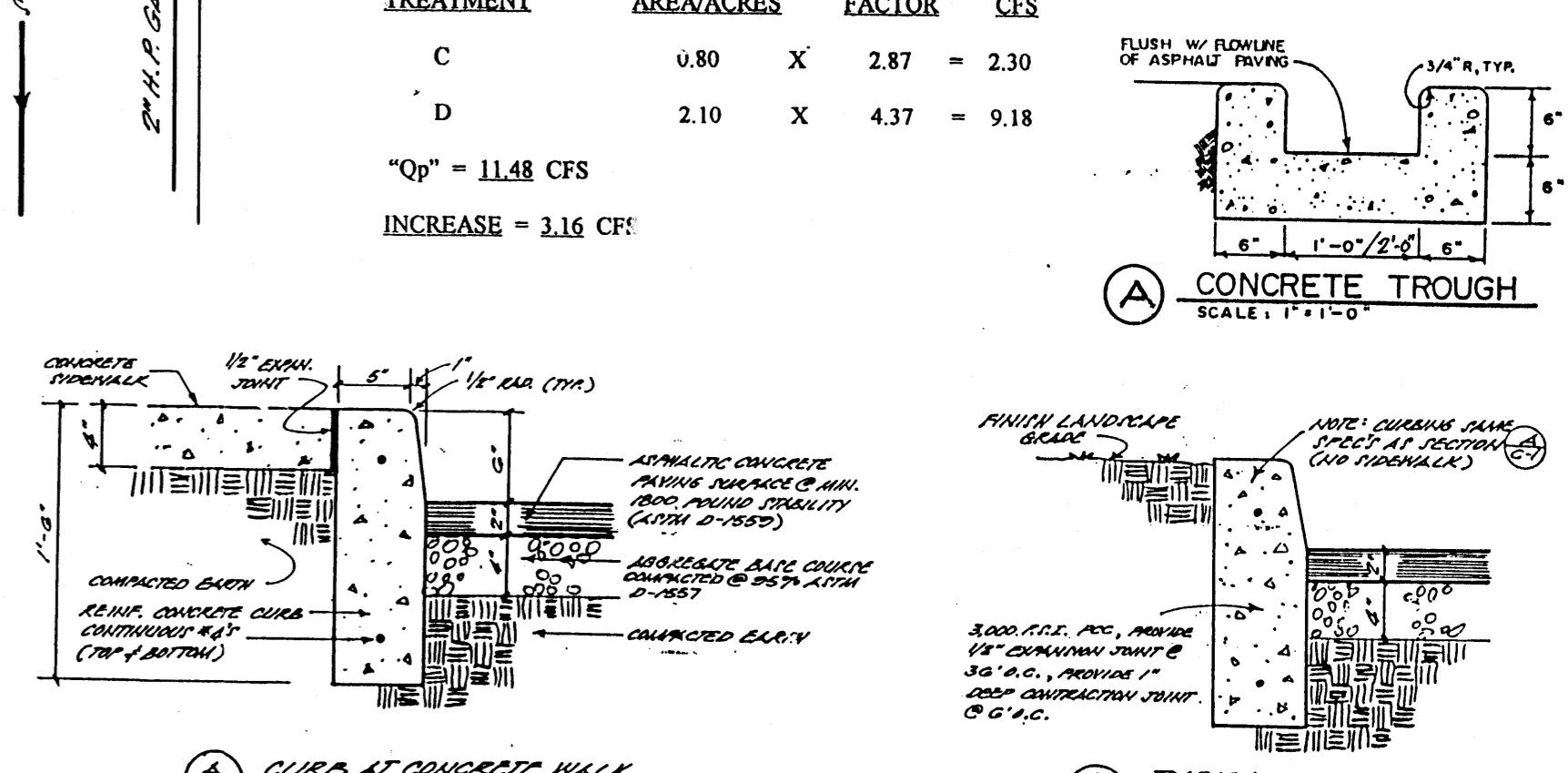
TREATMENT	AREA/ACRES	FACTOR	CFs
C	2.90	X 2.87	= 8.32

"Qp" = 8.32 CFs

PROPOSED DEVELOPED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFs
C	0.80	X 2.87	= 2.30
D	2.10	X 4.37	= 9.18

"Qp" = 11.48 CFs
 INCREASE = 3.16 CFs



NOTE: This is a revision to the original submittal of the "Moose Family Lodge Grading and Drainage Plan", Engineer's stamp dated 05-28-02 (J11/D32); there are no revisions to the grades or concept of said submittal, only to improvements proposed at the main entrance and exits for said development. (J11/D32)