

# FUTURE “COORS PARK & SELL”

(COORS BLVD. N.W. AND FORTUNA ROAD N.W.)

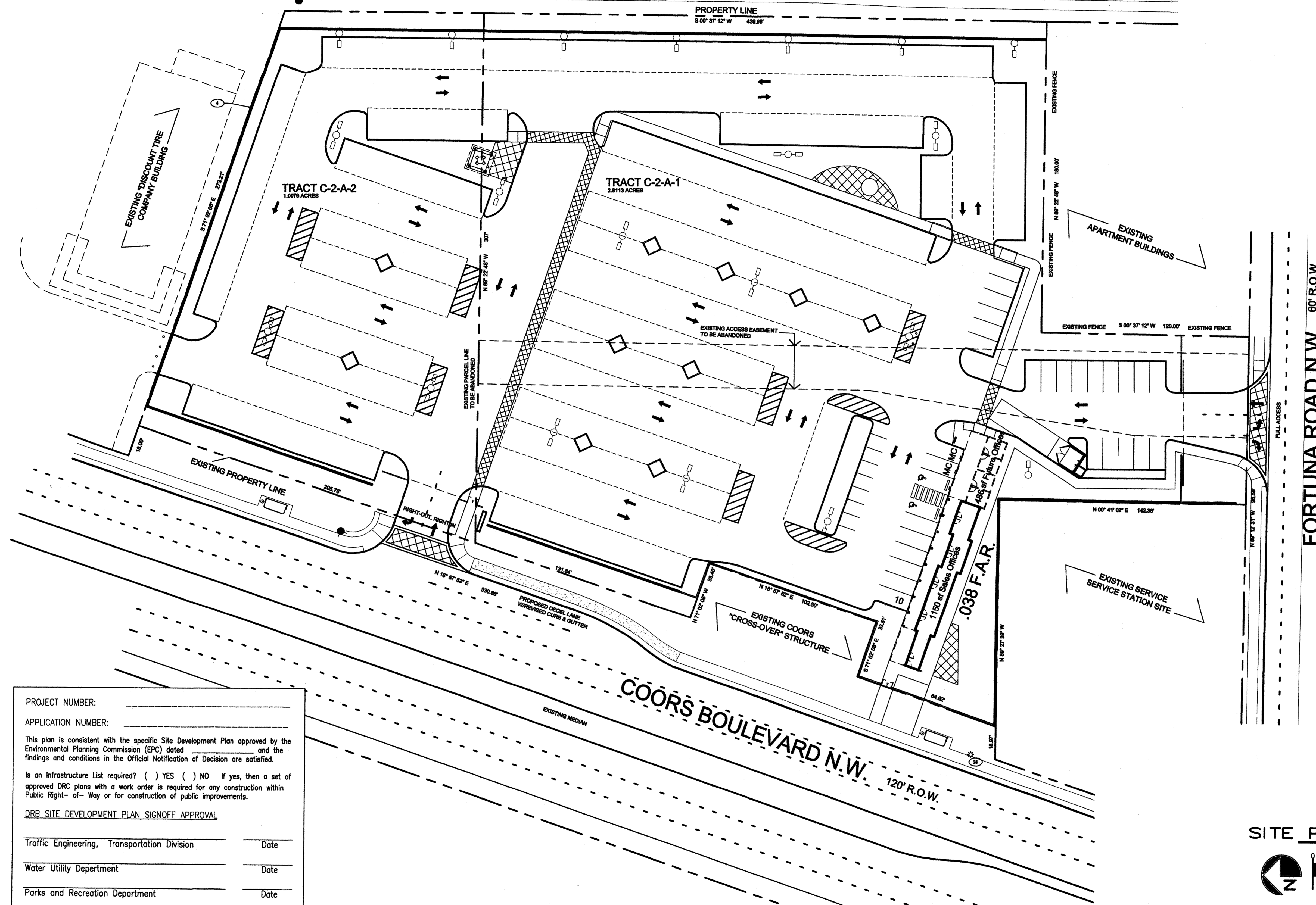
ALBUQUERQUE, NEW MEXICO

JUNE 29, 2009

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(PROJECT 1001989).

ESTANCIA DRIVE N.W. 60' R.O.W.



THE SITE IS LOCATED ON COORS BLVD. NW & FORTUNA ROAD NW. THE SITE IS PRESENTLY DIVIDED INTO TWO PARCELS WHICH WILL BE COMBINED INTO ONE 3.8192 ACRE PARCEL. THE PROPOSED USE IS A CAR SALES LOT WITH MULTIPLE SALES OFFICES IN A SINGLE BUILDING. PREVIOUS ZONING IS SU-1 FOR FRATERNAL CLUB AND C-1 WITH FULL-SERVICE LIQUOR, ON-PREMISE CONSUMPTION ONLY. CURRENT ZONING IS SU-1 FOR C-1 USES WITH FULL-SERVICE LIQUOR, ON-PREMISE CONSUMPTION ONLY, AND AUTOMOBILE SALES AND LIGHT TRUCK SALES.

VEHICULAR INGRESS AND EGRESS IS OFF COORS BLVD. (RIGHT-IN, RIGHT OUT) AND FORTUNA ROAD (FULL ACCESS). ONSITE CIRCULATION CONSISTS OF MAIN DRIVE AISLES FROM EITHER OF THE INGRESS/EGRESS DRIVEWAY LOCATIONS FEEDING SUB-DRIVE AISLES, ALLOWING TWO-WAY CIRCULATION THROUGHOUT THE SITE.

PEDESTRIAN INGRESS AND EGRESS IS PROVIDED ALONG COORS AT TWO LOCATIONS AND FORTUNA A ONE LOCATION. THERE IS A CONTINUOUS PEDESTRIAN PATH LINKING VARIOUS PARTS OF THE SITE TO THE MAIN BUILDING AND REMOTE SHADED SEATING AREA THAT WILL HAVE TABLES, CHAIRS AND BENCHES. TWO OTHER PATIO AREAS HAVE BENCH SEATING AS WELL.

THE MAXIMUM BUILDING HEIGHT PROPOSED IS 18'-6"

COORS CORRIDOR PLAN REQUIRES 15' FRONT YARD BUILDING SETBACK. UNDERLYING ZONES REQUIRE 5' REAR AND SIDE SETBACKS, BUT 15' WHERE THE SITE ABUTS THE REAR OF A LOT IN A RESIDENTIAL ZONE. A 15' LANDSCAPE BUFFER IS PROVIDED AT THE COORS AND ESTANCIA STREET FRONTAGES.

THE PROJECT WILL BE COMPLETED IN TWO PHASES, WITH 1150 SF OF OFFICES CONSTRUCTED INITIALLY, FOLLOWED BY AN ADDITIONAL CONTIGUOUS 480 SF OF OFFICES (PHASE 2). EVERYTHING SHOWN OTHER THAN THE OFFICE ADDITION WILL BE BUILT IN THE INITIAL PHASE.

THE F.A.R. OF THE FULL BUILDOUT IS .038. THE MAXIMUM F.A.R. FOR THE SITE WILL BE .5.

MINIMUM BUILDING SETBACKS (PER 14-16-2-15): THERE SHALL BE A FRONT AND A CORNER SIDE YARD SETBACK OF NOT LESS THAN FIVE FEET AND A SETBACK OF 11 FEET FROM THE JUNCTION OF A DRIVEWAY OR ALLEY AND A PUBLIC SIDEWALK OF PLANNED PUBLIC SIDEWALK LOCATION.

**LEGAL DESCRIPTION**

TRACT "C-2-A-2-A", BEING A REPLAT OF TRACTS "C-2-A-1" AND "C-2-A-2", OF THE CAMPBELL LANDS, A RE-DIVISION OF TRACT "C", AIRPORT UNIT, TOWN OF ATRISCO GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

PROJECT NUMBER: \_\_\_\_\_  
 APPLICATION NUMBER: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated \_\_\_\_\_ and the findings and conditions in the Official Notification of Decision are satisfied.

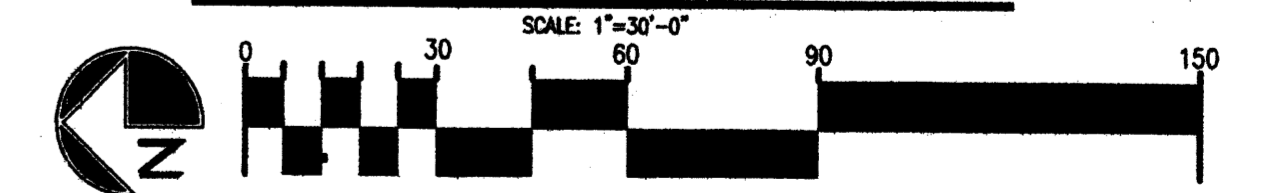
Is an Infrastructure List required? ( ) YES ( ) NO If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	Date
Water Utility Department	Date
Parks and Recreation Department	Date
City Engineer	Date
Environmental Health Department *(conditional)	Date
Solid Waste Management	10/8/09 Date
DRB Chairperson, Planning Department	Date

\* Environmental Health, if necessary

**SITE PLAN FOR SUBDIVISION**



AFD PLANS CHECKING OFFICE  
 924,3611  
 APPROVED/DISAPPROVED  
 HYDRANT(S) ONLY  
 10/19/09  
 SIGNATURE & DATE

ENGINEER'S SEAL

A PROPOSED PLAN FOR  
**COORS PARK & SELL**  
 (COORS BLVD. N.W. AND FORTUNA RD. N.W.)  
 ALBUQUERQUE, NEW MEXICO

JUNE 29, 2009

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**ESTANCIA DRIVE N.W.**

**KEYED NOTES**

1. MONUMENT SIGN
2. BIKE RACK
3. NEW 3' HIGH CMU SCREEN WALL
4. NEW 6' HIGH CMU SCREEN WALL
5. 20' HIGH POLE LIGHT
6. 16' HIGH POLE LIGHT
7. SHADE STRUCTURE WITH TABLES/CHAIRS/BENCHES AND TRASH RECEPTACLE
8. NEW CURB CUT/DRIVEPAD PER COA REQUIREMENTS
9. EXISTING 6' WIDE CONCRETE SIDEWALK
10. NEW 6' WIDE CONCRETE SIDEWALK
11. NEW PEDESTRIAN GATE
12. NEW VEHICULAR/PEDESTRIAN GATE
13. COLORED SCORED CONCRETE PATIO
14. 6' WIDE COLORED SCORED CONCRETE CROSSWALK
15. NEW HC RAMP PER COA STANDARDS
16. DUMPSTER ENCLOSURE AND RECYCLING ENCLOSURE PER CITY OF ALBUQUERQUE REQUIREMENTS
17. LANDSCAPE BUFFER
18. EXISTING FIRE HYDRANT
19. FIRE HYDRANT TO BE RELOCATED TO THIS POSITION
20. 8'x8' TREE PLANTER
21. NEW CMU ON EXISTING RETAINING WALL TO 6' HIGH NEW 6' HIGH ORNAMENTAL IRON FENCE. COLOR TO MATCH SHERWIN WILLIAMS BAKED CLAY SW6340 (WARM BROWN)
23. EXISTING LIGHT POLE TO BE RELOCATED
24. EXISTING LIGHT POLE TO REMAIN.
25. BENCH SEATING WITH TRASH RECEPTACLE
26. CONCRETE FILLED PIPE BOLLARD
27. NEW TYPE 'C' BUS SHELTER. PER COA STANDARD DETAIL COA #2535.
28. EXISTING COVERED BUS SHELTER.
29. MOTORCYCLE PARKING SPACE SIGN.
30. CURB NOTCH SEE DETAIL 4E ON SITE DETAIL SHEET.
31. SCORED COLORED CONCRETE.

NO ILLUMINATED SIGN, OR ANY ILLUMINATED ELEMENT OF ANY SIGN, MAY TURN ON OR OFF, OR CHANGE ITS BRIGHTNESS.

NO SIGN OR ANY PART OF ANY SIGN MAY MOVE OR ROTATE, INCLUDING WIND DEVICES WHICH ARE ALSO RESTRICTED.

A TOTAL OF TEN ITEMS ALLOWED PER PREMISE FRONTAGE MAY BE DISPLAYED ON A COMBINATION OF GROUND SIGNS, WALL SIGNS, & PROJECTING SIGNS. DIRECTIONAL SIGNS ARE NOT COUNTED. LETTERS & SYMBOLS 3" OR UNDER IN HEIGHT ARE NOT COUNTED.

EACH PREMISES ON COORS BOULEVARD IS PERMITTED TO DISPLAY SIGNS CONTAINING UP TO A TOTAL OF TEN ITEMS OF INFORMATION ALONG ANY ONE STREET FRONTAGE. AN ADDITIONAL TEN ITEMS OF INFORMATION MAY BE DISPLAYED ON ANY OTHER STREET WHICH PROVIDES ACCESS TO THE SAME PREMISE.

REF: COORS CORRIDOR SECTOR PLAN PP. 114,115

SIGNS WHICH ARE DIRECTLY SPOTLIGHTED OR INTERNALLY ILLUMINATED SIGNS ARE ALLOWED PROVIDED THAT: THERE IS NO GLARE ON THE STREET OR UPON ADJACENT PROPERTY & THE LIGHT DOES NOT DISTRACT MOTORISTS.

REF: COORS CORRIDOR SECTOR PLAN PP. 114,115

**LEGAL DESCRIPTION**

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**SITE DATA**

BUILDING AREA: 1150 SF  
+ 486 SF FUTURE = 1,636 SF

REQUIRED PARKING = 1 PER 200 SF =  
8 SPACES REQUIRED

HC PARKING PROVIDED = 2 SPACE

PROVIDED PARKING = 28 CUSTOMER SPACES\* (INCLUDING 2 HC)  
\*FOR 12 SALES OFFICES  
+ 2 MOTORCYCLE SPACES

ADDITIONAL SPACES:  
310 CAR SALES SPACES / 9 GOLF CART SPACES

BICYCLE SPACES:  
5 SLOTS IN RACK

NOTE: BANNERS, PENNANTS, RIBBONS, STREAMERS, STRINGS OF LIGHT BULBS, SPINNERS, TINSEL, BALLOONS AND REFLECTIVE FLAGS SHALL NOT BE ALLOWED.

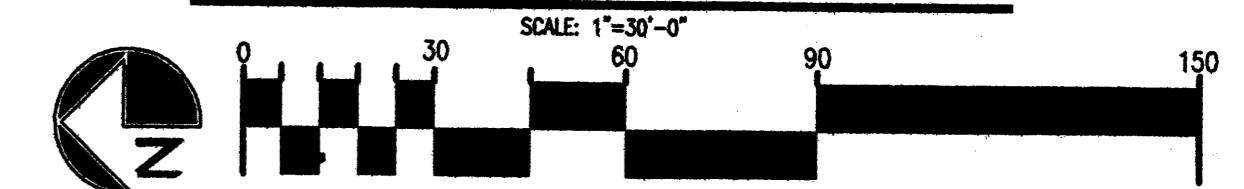
NOTE: THE TERM "VEHICLE", IN THE CONTEXT OF THIS REQUEST MEANS ONLY AUTOMOBILE OR LIGHT TRUCK.

NOTE: THE USE OF AMPLIFIED SOUND, INCLUDING BUT NOT LIMITED TO SPEAKERS AND PA SYSTEMS, SHALL NOT BE ALLOWED.

NOTE: ALL EXTERIOR UTILITY BOXES, ELECTRICAL AND GAS METERS, TRANSFORMERS, ETC., SHALL BE SCREENED FROM VIEW.

NOTE: LANDSCAPING ISLANDS SHALL BE AT GRADE WITH THE PARKING LOT (NOT RAISED) SO THE CURB NOTCHES CAN FUNCTION.

**SITE PLAN FOR BUILDING PERMIT**



PROJECT NUMBER: \_\_\_\_\_

APPLICATION NUMBER: \_\_\_\_\_

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated \_\_\_\_\_ and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) YES ( ) NO If yes, then a set of approved DRP plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL**

Traffic Engineering, Transportation Division	_____	Date	_____
Water Utility Department	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
City Engineer	_____	Date	_____
Environmental Health Department *(conditional)	<i>S.A. B...</i>	Date	10/9/09
Solid Waste Management	_____	Date	_____
DRB Chairperson, Planning Department	_____	Date	_____

\* Environmental Health, if necessary

AFD PLANS CHECKING OFFICE  
024-3611  
APPROVED/DISAPPROVED  
HYDRANT(S) ONLY  
*[Signature]*  
SIGNATURE & DATE 10/9/09

ENGINEER'S SEAL

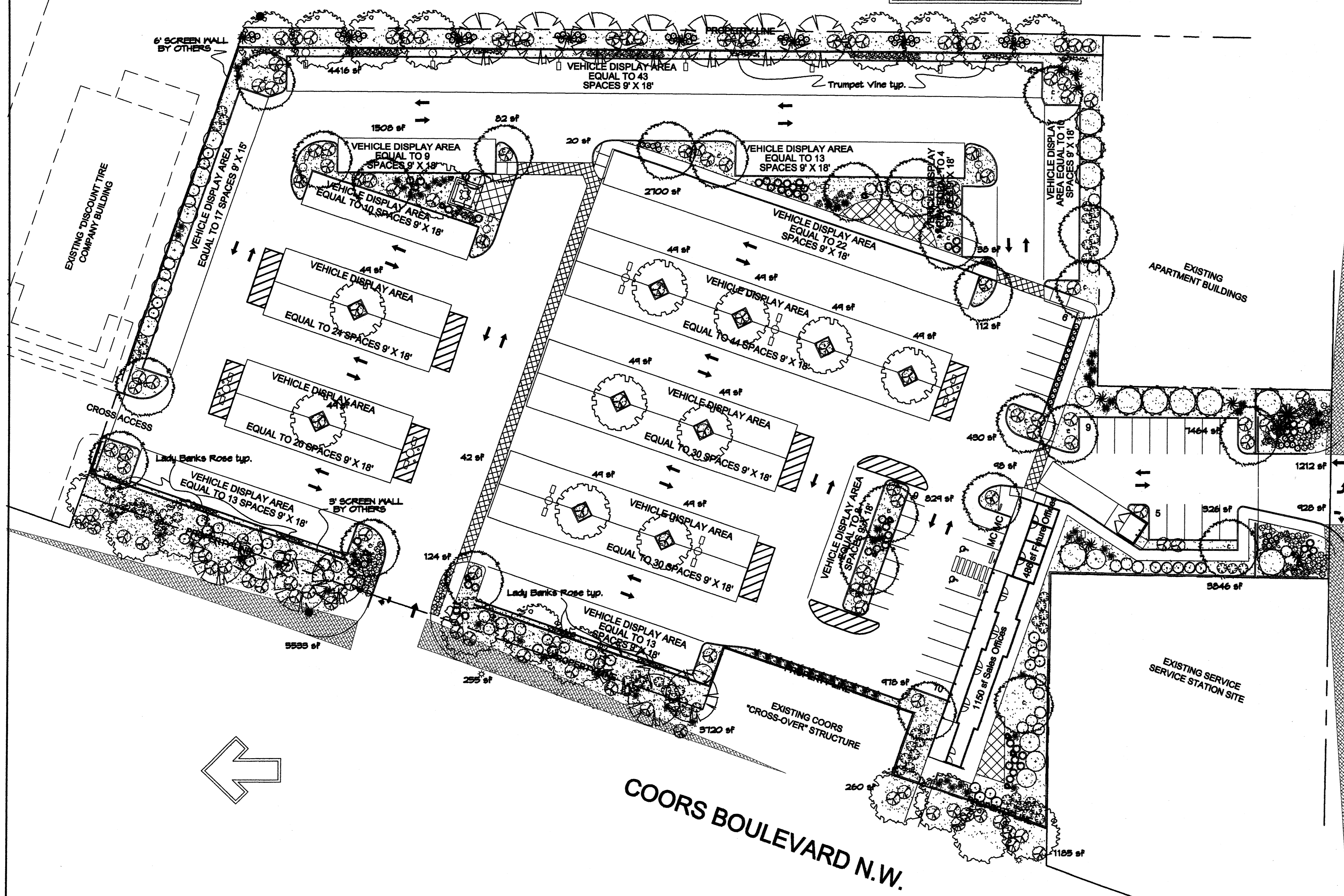
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JUNE 29, 2009

3 OF 9

ESTANCIA DRIVE N.W.

See Sheet L2 for Elevation of Estancia Drive



FORTUNA ROAD N.W.

**PLANT LEGEND**

All plants shall be sized per American Standard for Nursery Stock. Installation size shall indicate the greater of height or spread. In cases where Type O plants have been pruned for rejuvenation, measurement should be by spread of roots rather than by the height of the plant.

- AUTUMN BLAZE MAPLE 22**  
Acer freemanii  
2" Cal., 12-14" Inst./45' x 50' maturity  
Water (M+) Allergy (H) 0sf
- BUR OAK 15**  
Quercus macrocarpa  
2" Cal., 12-14" Inst./60' x 60' maturity  
Water (M) Allergy (M) 0sf
- CHITALPA 15**  
Chitalpa x Crotalaria  
2" Cal., 12-14" Inst./30' x 50' maturity  
Water (M) Allergy (L) 0sf
- COMMON HACKBERRY 14**  
Celtis occidentalis  
2" Cal., 12-14" Inst./40' x 40' maturity  
Water (M) Allergy (L) 0sf

- DESERT ACCENTS**
- PALM YUCCA 2**  
Yucca faxonii  
4'-6" Inst., 15' x 6' maturity  
Water (L) Allergy (L) 0sf
- BANANA YUCCA 15**  
Yucca baccata  
5 Gal., 18"-5' Inst./4' x 5' maturity  
Water (L) Allergy (L) 25sf
- RED YUCCA 15**  
Hesperaloe parviflora  
5 Gal., 18"-5' Inst./5' x 4' maturity  
Water (L+) Allergy (L) 15sf
- PRICKLY PEAR 15**  
Opuntia macrocentra  
5 Gal., 12"-5' Inst./3' x 3' maturity  
Water (L) Allergy (L) 4sf

- SHRUBS/ORNAMENTAL TREES**
- DESERT WILLOW 10**  
Chilopsis linearis  
15 Gal., 4'-10" Inst./20' x 25' maturity  
Water (L+) Allergy (L) 225sf
- NEW MEXICO OLIVE 15**  
Forestiera neomexicana  
5 Gal., 4'-10" Inst./15' x 15' maturity  
Water (M) Allergy (L) 225sf

- SHRUBS/ORNAMENTAL GRASSES**
- FIVE GAL.**
- THREE-LEAF SUMAC 36**  
Rhus trilobata  
5 Gal., 18"-5' Inst./6' x 6' maturity  
Water (L+) Allergy (L) 56sf
- RUSSIAN SAGE 36**  
Perovskia atriplicifolia  
5 Gal., 18"-5' Inst./5' x 5' maturity  
Water (M) Allergy (L) 25sf
- MAIDEN GRASS 51**  
Miscanthus sinensis  
5 Gal., 18"-5' Inst./5' x 5' maturity  
Water (M+) Allergy (L) 25sf

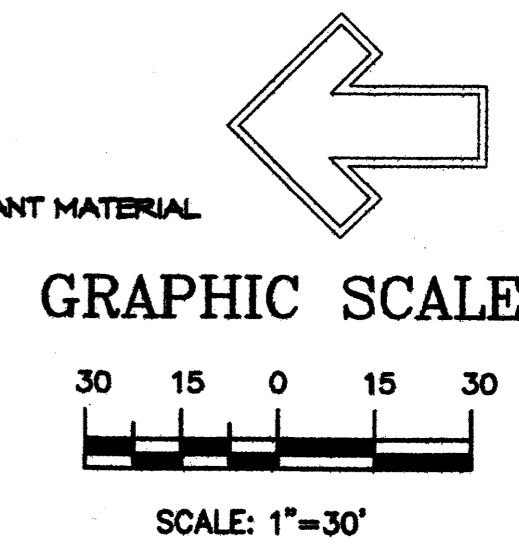
- ONE GAL.**
- CHAMISA 64**  
Chrysothamnus nauseosus  
1 Gal., 6"-15" Inst./5' x 5' maturity  
Water (L) Allergy (L) 25sf
- TURPENTINE BUSH 48**  
Ericameria laricifolia  
1 Gal., 6"-15" Inst./2' x 4' maturity  
Water (L+) Allergy (L) 16sf
- CATMINT 75**  
Nepeta mussini  
1 Gal., 9"-15" Inst./1' x 2' maturity  
Water (M) Allergy (L) 4sf
- WILDFLOWER 67**  
1 Gal., 9"-15" Inst./varies at maturity  
Water (varies) Allergy (varies) 4sf

- GROUNDCOVERS**
- HONEYBUCKLE 150**  
Lonicera japonica 'Halliana'  
1 Gal., 6"-15" Inst./5' x 12' maturity  
Water (M) Allergy (L) 144sf  
Unstaked Groundcover

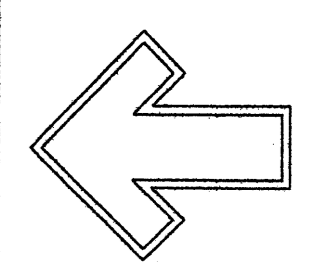
- VINES**
- BANKS ROSE 5**  
Rosa banksiae  
1 Gal., 6"-15" Inst./climbing to 20'  
Water (M) Allergy (L)
- TRUMPET VINE 5**  
Campsis radicans  
1 Gal., 6"-15" Inst./climbing to 40'  
Water (M) Allergy (L)

- HARDSCAPES**
- OVERSIZED GRAVEL**  
4 21' BOULDERS
- 3/4" GRAY GRAVEL**  
WITH FILTER FABRIC  
TO A MINIMUM 3" DEPTH

\* DENOTES EVERGREEN PLANT MATERIAL

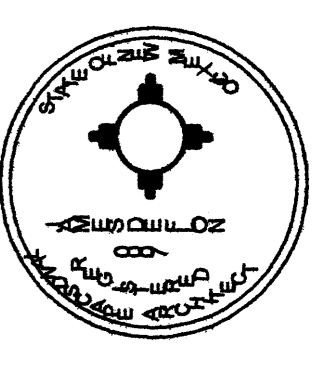


SEE SHEET L2 FOR NOTES, DETAILS AND CALCULATIONS



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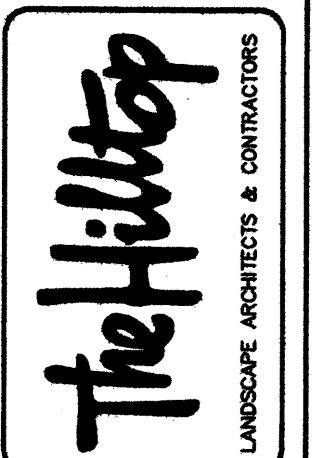
LANDSCAPE ARCHITECT'S SEAL



JAMES DE FLON #0007

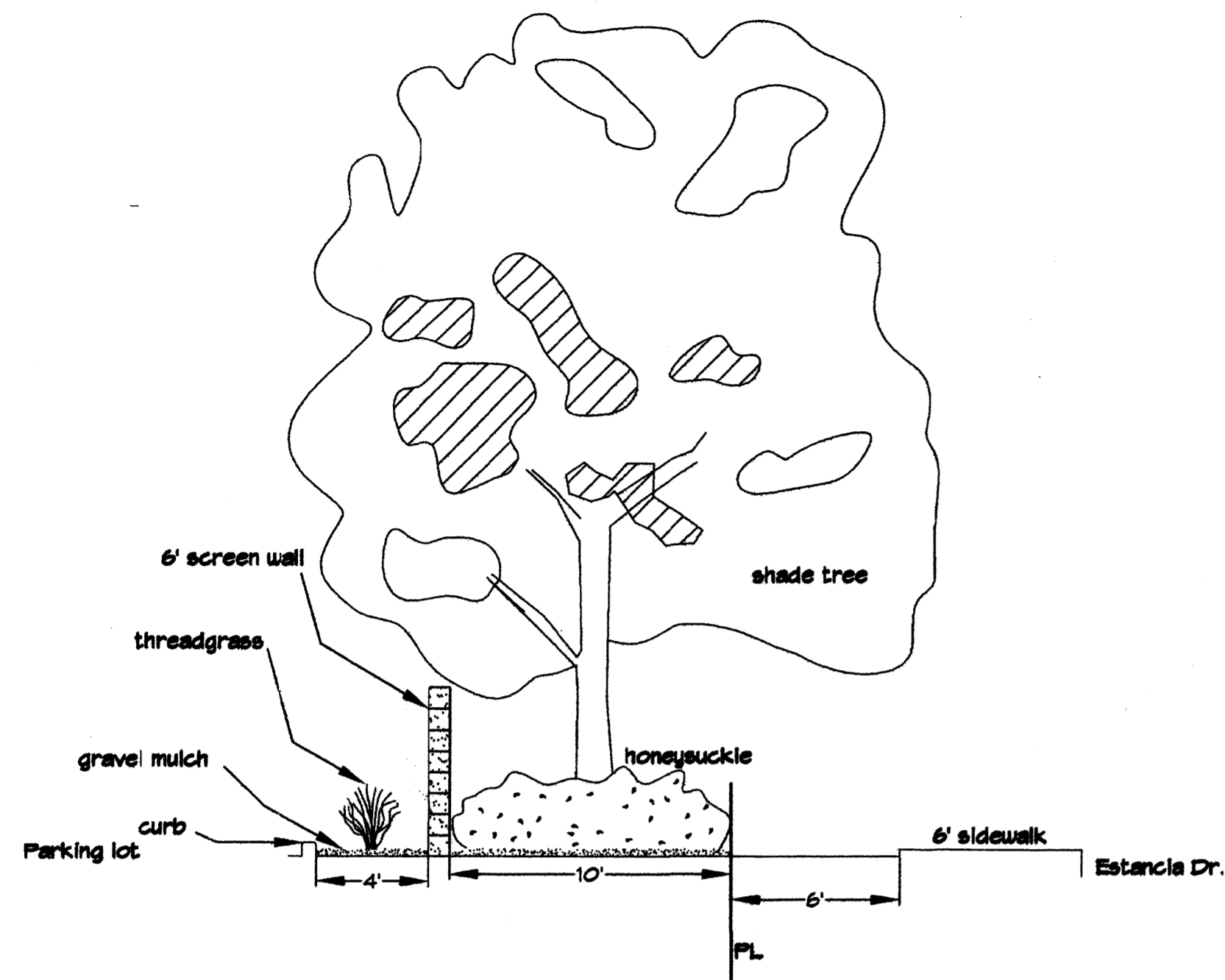
AAA QUALITY CARS  
COORS AND FORTUNA NEC  
ALBUQUERQUE, NM  
LANDSCAPE PLAN

All creative ideas contained herein remain the property of The Hilltop Landscape Architects and this is an original design and must not be reworked or copied unless applicable fees have been paid or job order placed.

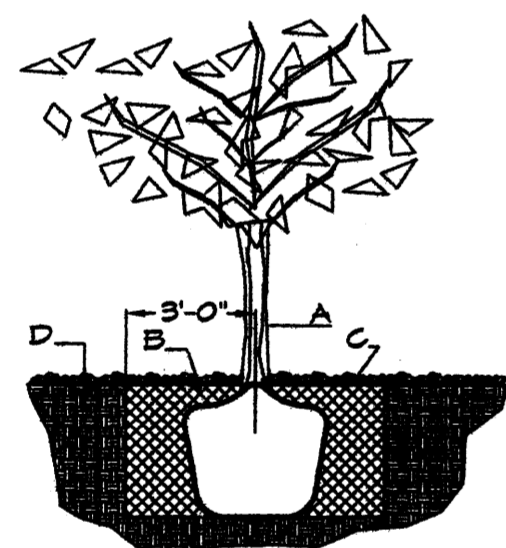


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REVISION: 4/10-5-09  
DATE: 6-25-09

SHEET #  
L1 OF L2



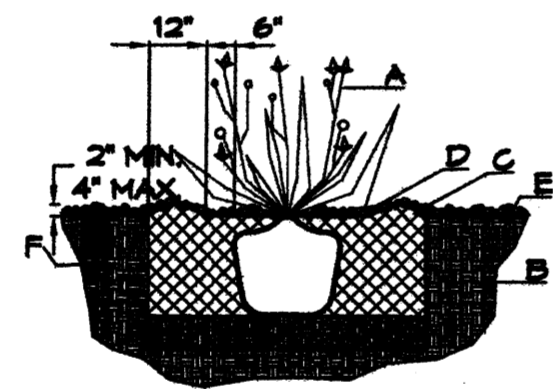
Estancia Drive Elevation



**TREE PLANTING DETAIL**

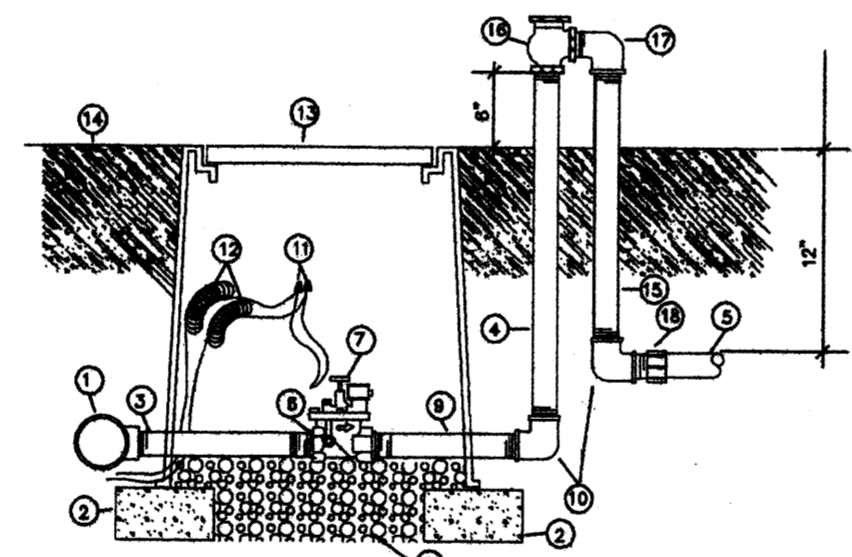
- NTS  
GENERAL NOTES:  
1. ROOTBALL SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT TREE FROM SETTLING.  
2. TOP OF ROOTBALL INDICATED LEVEL AT WHICH TREE WAS GROWN AND DUG; THIS REPRESENTS THE LEVEL AT WHICH THE TREE SHOULD BE INSTALLED; THAT LEVEL MAY BE EXCEEDED BY ONLY A ONE INCH LAYER OF SOIL.  
3. PRIOR TO BACKFILLING TREE, ALL WIRE, ROPE AND SYNTHETIC MATERIALS SHALL BE REMOVED FROM THE TREE AND THE PLANTING PIT.  
4. PRIOR TO BACKFILLING ALL BURLAP SHALL BE CUT AWAY EXCEPT FROM BOTTOM OF THE ROOTBALL.

- CONSTRUCTION NOTES:  
A. TREE  
B. BACKFILL WITH EXISTING SOIL.  
C. 3" DEPTH OF GRAVEL MULCH.  
D. UNDISTURBED SOIL.

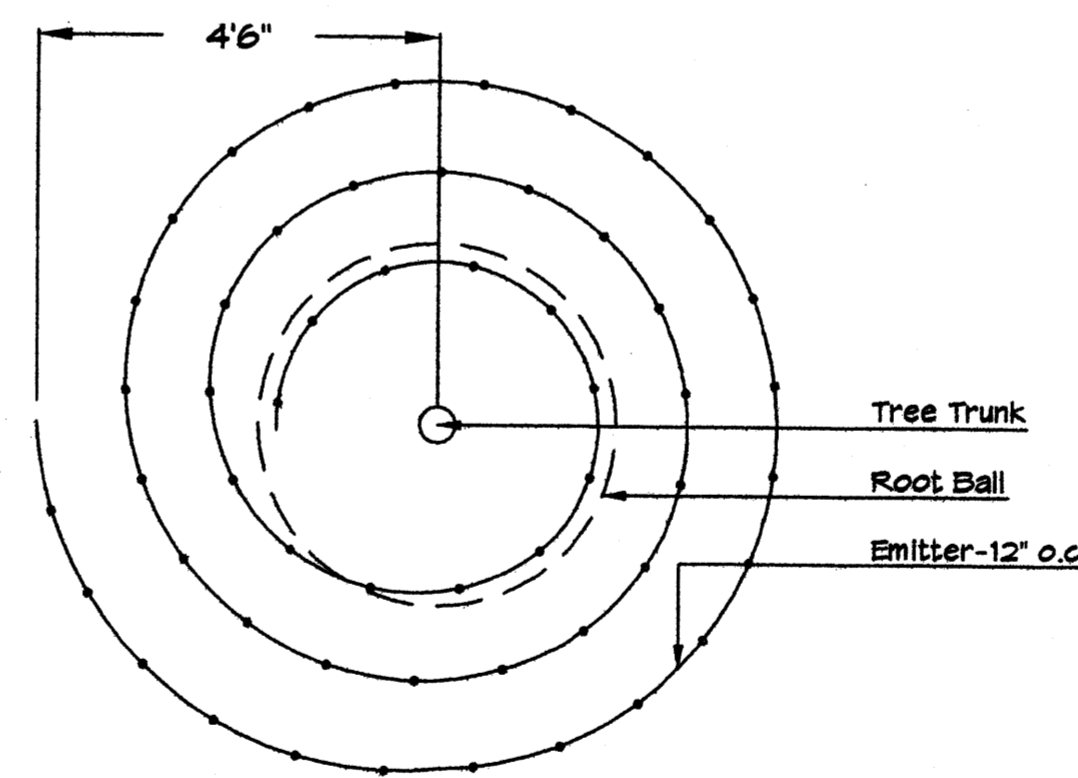


**SHRUB PLANTING DETAIL**

- NTS  
GENERAL NOTES:  
1. THE OUTSIDE DIAMETER OF THE WATER RETENTION BASIN SHALL BE TWICE THE DIAMETER OF THE SHRUB PLANTING PIT.  
CONSTRUCTION NOTES:  
A. SHRUB.  
B. BACKFILL WITH EXISTING SOIL.  
C. EARTH BERM AROUND WATER RETENTION BASIN.  
D. 3" DEPTH OF GRAVEL MULCH.  
E. FINISH GRADE.  
F. UNDISTURBED SOIL.

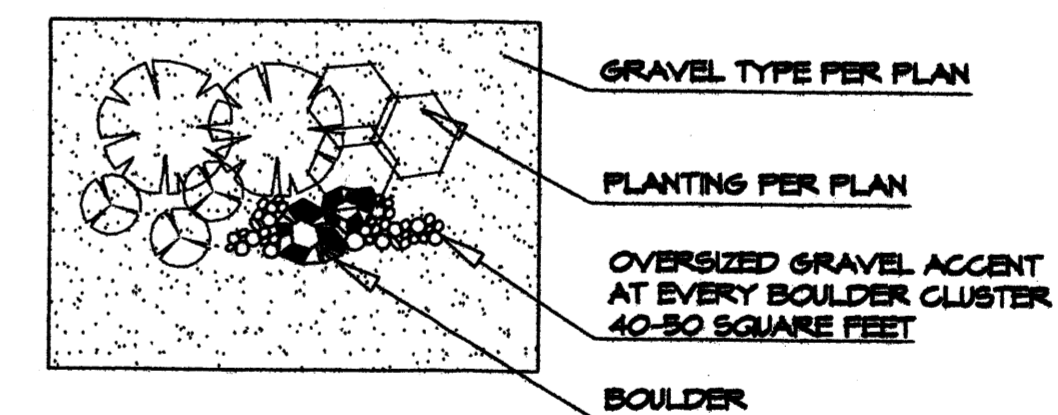


- 1 MAINLINE FITTING  
2 OAS BLOCK  
3 GALVANIZED NIPPLE  
4 24" TO 36" GALVANIZED NIPPLE  
5 LATERAL PIPE  
6 REDUCER BUSHING  
7 AUTOMATIC VALVE (SEE LEGEND)  
8 GRAVEL  
9 GALVANIZED NIPPLE  
10 GALVANIZED ELBOW  
11 WATERPROOF WIRE CONNECTOR  
12 WIRE EXPANSION LOOPS  
13 VALVE BOX  
14 FINISH GRADE  
15 GALVANIZED NIPPLE - 18" TO 24" LENGTH  
16 ATMOSPHERIC VACUUM BREAKER  
17 GALVANIZED STREET ELL  
18 TOE NIPPLE OR MALE ADAPTER
- AUTOMATIC VALVE W/ ATMOSPHERIC VACUUM BREAKER  
N.T.S.



Netafim Spiral Detail

**GRAVEL ACCENT DETAIL**



**LANDSCAPE NOTES:**  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain all plant material including street trees in the R.O.M. in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Foliage Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Crushed Grey Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**  
Irrigation shall be a complete underground system with Trees to receive 1 Netafim spiral (50' length) with 3 loops at a final radius of 4.5' from tree trunk, pinned in place. Netafim shall have emitters 12" o.c. with a flow of .6 gph. Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 1.5 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

Water and Power source shall be the responsibility of the Developer/Builder.

**STREET TREE REQUIREMENTS - Minimum 2" Caliper**

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

Name of Street: Coors Blvd. NW  
Required # 15 Provided # 17

Name of Street: Estancia Dr. NW  
Required # 15 Provided # 15

**PARKING LOT TREE REQUIREMENTS - Minimum 2" Caliper**

Shade trees required under the City of Albuquerque Parking Lot Tree Ordinance are as follows:

1 Shade tree per 10 spaces  
Required # 34 Provided # 34

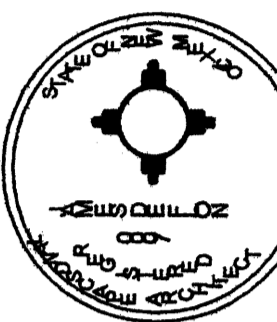
**NOTE TO CLIENT:**  
Should The Hilltop not receive a Grading and Drainage plan during the design process or the on-site grades differ from the Grading and Drainage plan received, The Hilltop reserves the right to apply slope stabilization materials where the specified gravel will not be suitable. Gravel smaller than 2-4" cobblestone will not stay on a slope greater than 3:1. If the grades are greater than what was originally designed, we will request an in-field change-order to lay cobblestone or rip-rap, in lieu of the specified gravel, to stabilize the slope. All vegetative material shall remain per plan.

**LANDSCAPE CALCULATIONS**

TOTAL LOT AREA	170322	square feet
TOTAL BUILDINGS AREA	1636	square feet
NET LOT AREA	168686	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	25303	square feet
TOTAL BED PROVIDED	36638	square feet
GROUNDCOVER REQ.	75%	square feet
TOTAL GROUNDCOVER REQUIREMENT	21478	square feet
TOTAL GROUNDCOVER PROVIDED	28405 (18%)	square feet
Includes eastern buffer		
TOTAL SOD AREA	0	square feet
(max. 20% of landscape required)		
TOTAL LANDSCAPE PROVIDED	36638 (22%)	square feet
EASTERN BUFFER LANDSCAPE AREA	4416	square feet
GROUNDCOVER REQ.	75%	square feet
GROUNDCOVER REQUIRED	3312	square feet
GROUNDCOVER PROVIDED	3523 (74%)	square feet

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LANDSCAPE ARCHITECT'S SEAL



JAMES DE FLON #0007

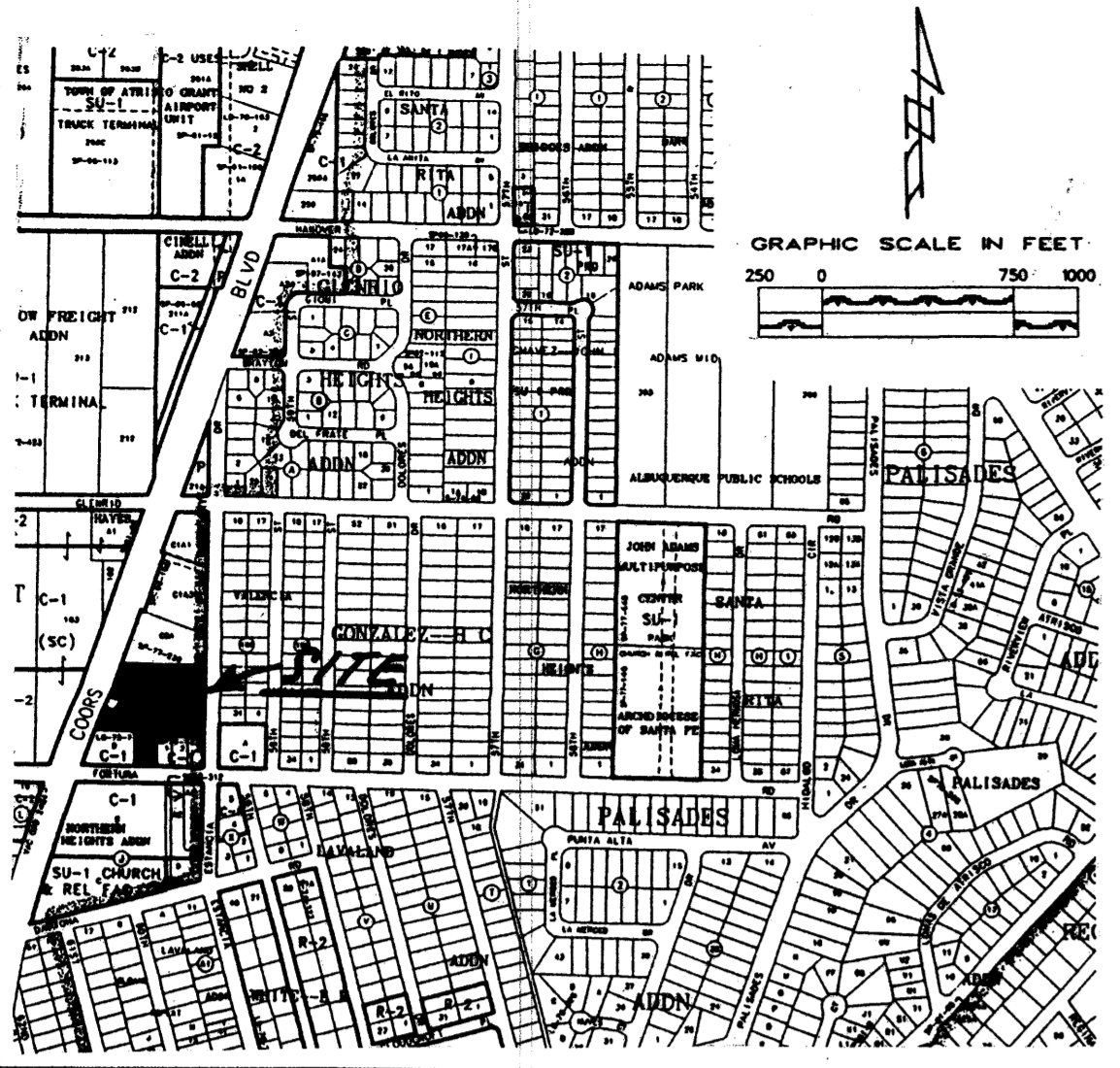
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LANDSCAPE DETAILS AND NOTES

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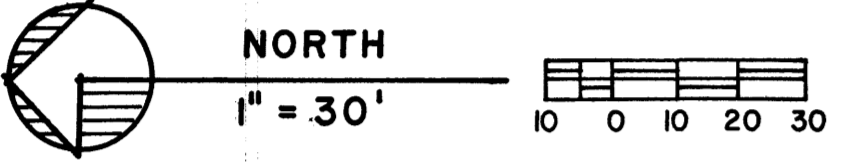


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REVISION # 4/10-5-09  
DATE 6-25-09

SHEET # L2 of L2



VICINITY MAP J-11-Z

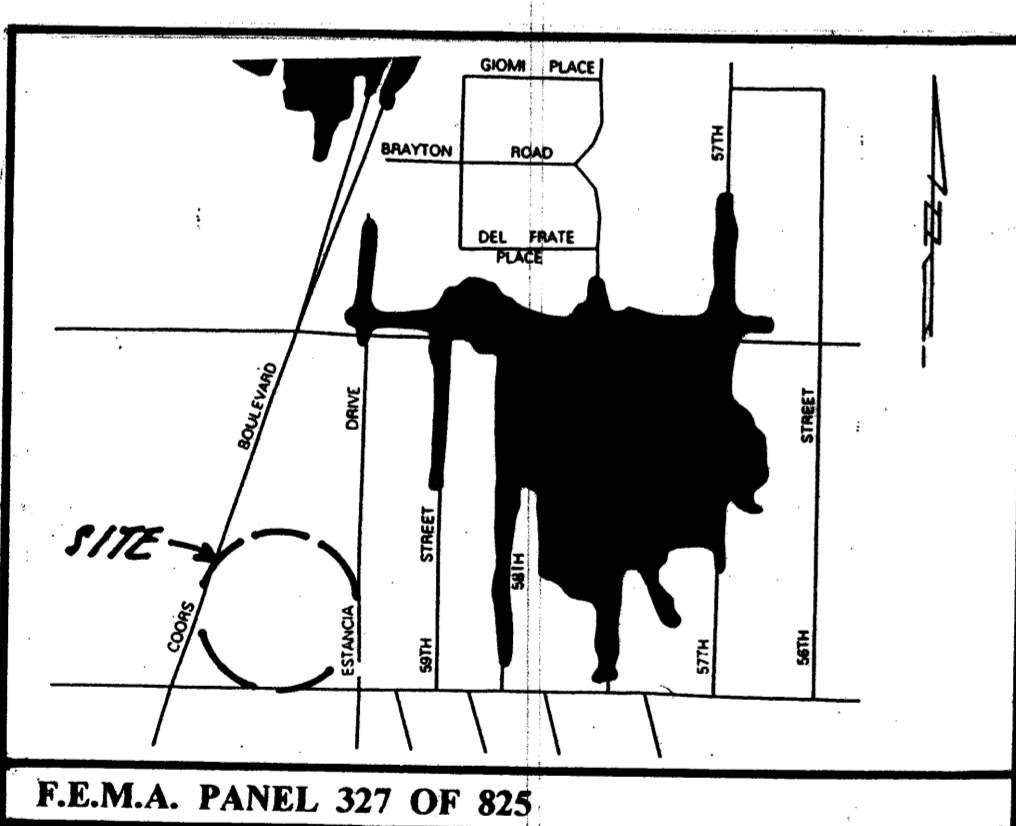


**EROSION CONTROL MEASURES:**

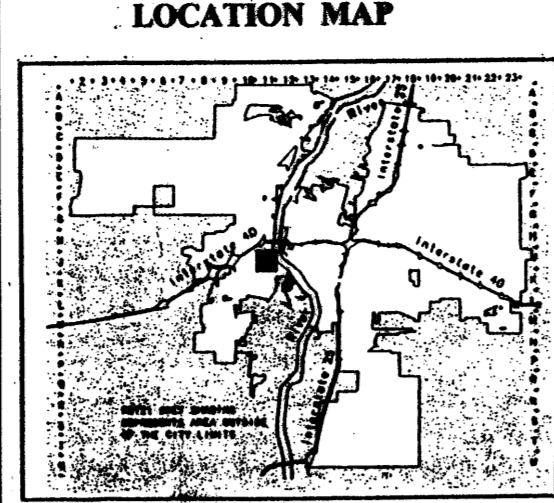
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:
- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY MEASURES AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
  - ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
  - THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

**CONSTRUCTION NOTES:**

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.



F.E.M.A. PANEL 327 OF 825



**LEGAL DESCRIPTION:**  
TRACT "C-2-A-2-A", COMPRISING A REPLAT OF TRACT "C-2-A-1" AND "C-2-A-2", OF THE CAMPBELL LANDS, AIRPORT UNIT, TOWN OF ATRISCO GRANT, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

**NOTES:**  
A.) NO RETAINING WALLS PROPOSED.  
B.) NO POND AREA'S REQUIRED (FREE-DISCHARGE).

**TABLE A-1. PRECIPITATION ZONES**

ZONE	LOCATION
1	West of Rio Grande
2	Between Rio Grande and San Mateo
3	Between San Mateo and Edbank, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Edbank, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40

**TABLE A-4. LAND TREATMENTS**

Treatment	Land Condition
A	Soil unimpacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundwater and infiltration capacity. Croplands (Unirrigated).
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil unimpacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil unimpacted by human activity. Minimal vegetation. Unimproved parking, roads, trails. Most vacant lots. Gravel or rock on planter (desert landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds, and shrubs, and soil unimpacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

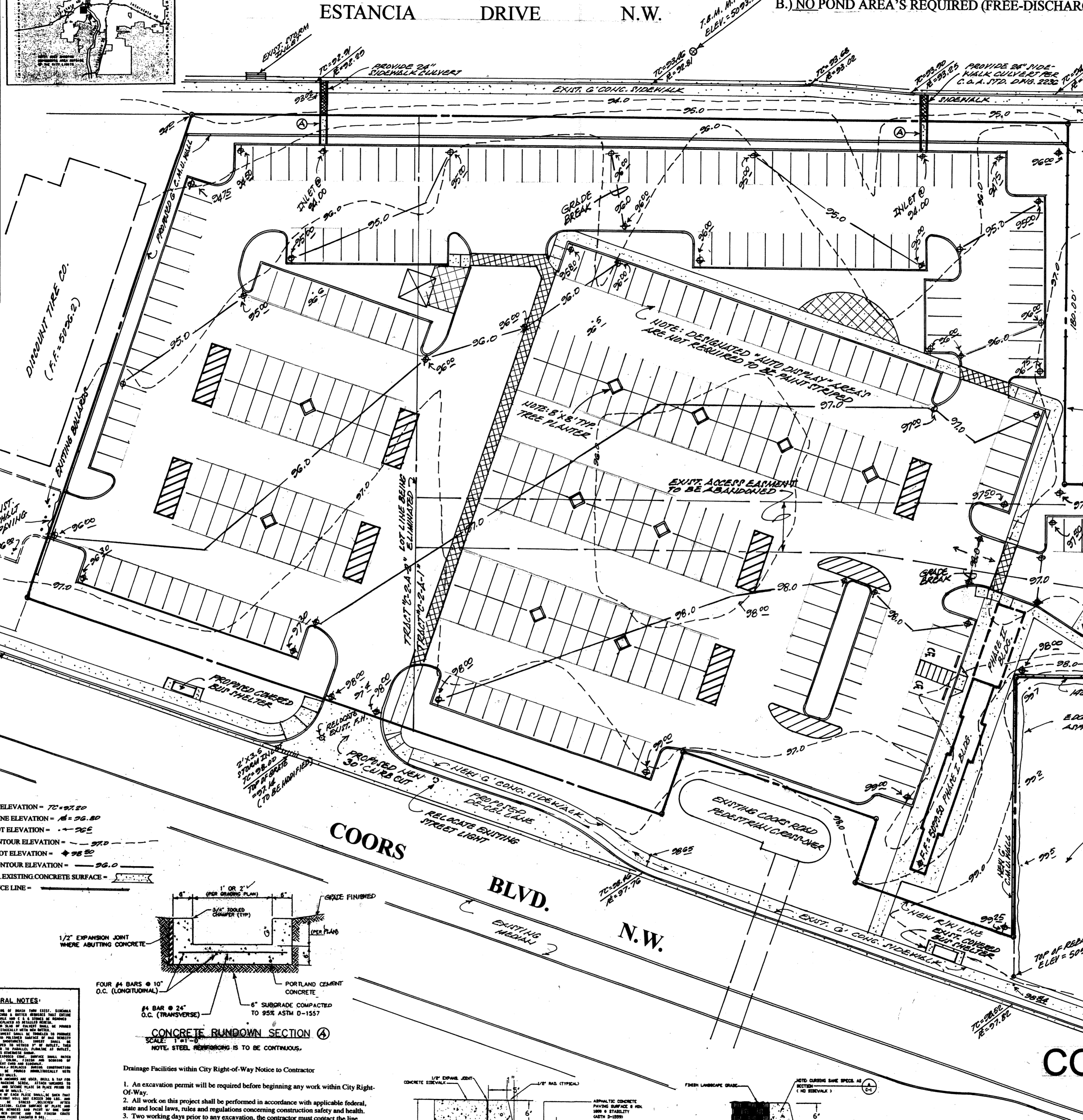
Most watersheds contain a mix of land treatments. To determine proportional treatment, measure respective subareas. In lieu of specific measurement for treatment D, the areal percentages in TABLE A-5 may be employed.

**TABLE A-9. PEAK DISCHARGE (cfs/acre)**

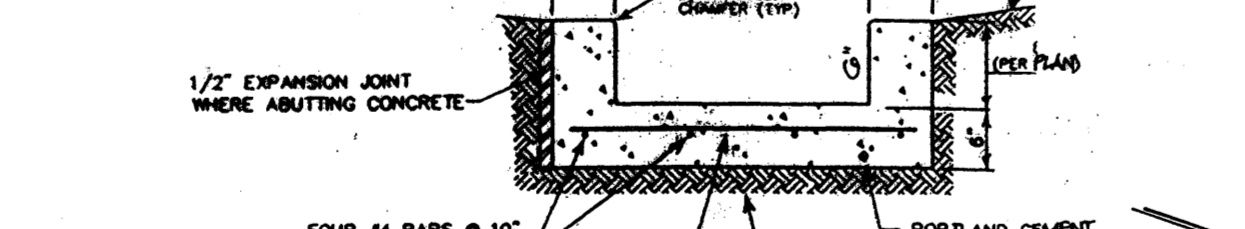
Zone	Treatment (2-YR, 10-TR)			
	A	B	C	D
1	1.29 (0.00, 0.24)	2.03 (0.33, 0.76)	2.87 (0.47, 1.49)	4.37 (1.69, 2.89)
2	1.56 (0.00, 0.38)	2.28 (0.08, 0.95)	3.14 (0.60, 1.71)	4.70 (2.04, 3.14)
3	1.87 (0.00, 0.58)	2.60 (0.21, 1.19)	3.45 (0.78, 2.009)	5.02 (2.04, 3.39)
4	2.20 (0.05, 0.87)	2.92 (0.38, 1.45)	3.73 (1.00, 2.36)	5.25 (2.17, 3.57)

**TABLE A-10. PEAK INTENSITY (INCH PER HOUR)**

Zone	Intensity (100-YR, 10-YR)
1	4.70
2	5.02
3	5.38
4	5.61



**LEGEND:**  
TOP OF CURB ELEVATION = 70.00  
CURB FLOWLINE ELEVATION = 69.80  
EXISTING SPOT ELEVATION = 70.0  
EXISTING CONTOUR ELEVATION = 70.0  
PROPOSED SPOT ELEVATION = 70.80  
PROPOSED CONTOUR ELEVATION = 70.0  
PROPOSED OR EXISTING CONCRETE SURFACE = [Symbol]  
EXISTING FENCE LINE = [Symbol]



**GENERAL NOTES:**

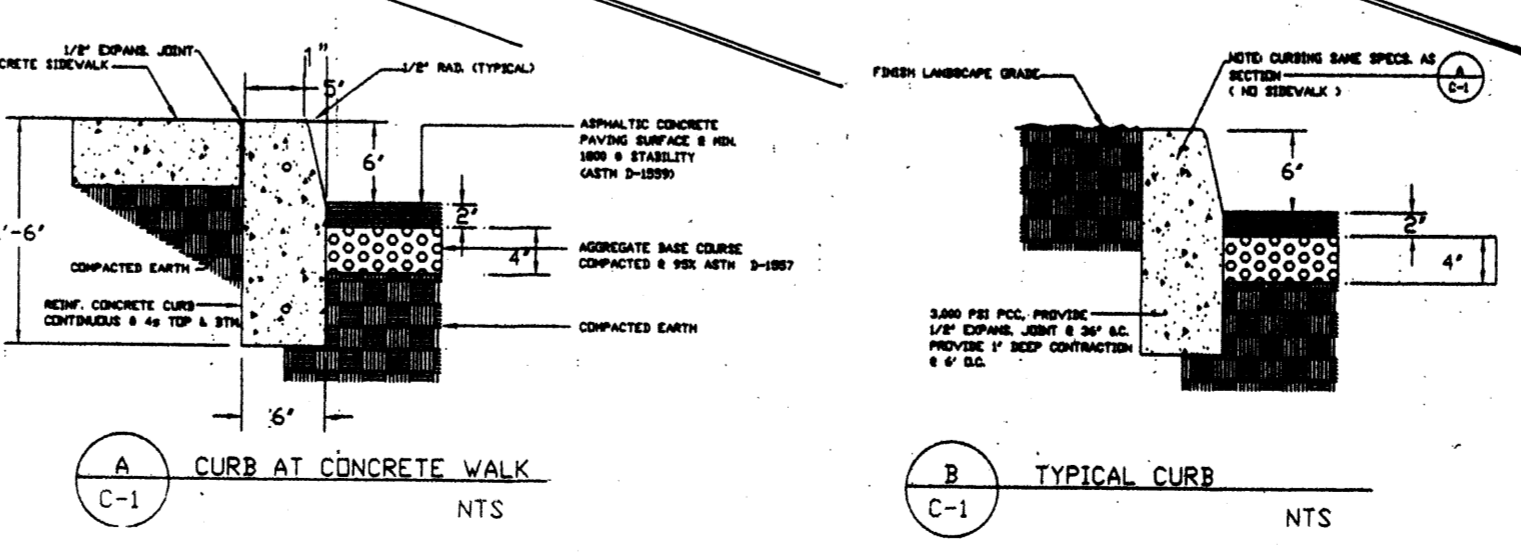
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL 260-1990, FOR THE LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.
- MAINTENANCE OF THE FACILITY SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

**CONSTRUCTION NOTES:**

1. ALL WORK WITHIN PUBLIC EASEMENT SHALL BE PERFORMED UNDER SEPARATE PERMIT.

**APPROVALS**

NAME	DATE
HYDROLOGY INSPECTOR	



GRADING AND DRAINAGE PLAN

**BENCH MARK REFERENCE:**  
ACS STATION "18-111", M.S.L.D. ELEVATION = 5096.81; PROJECT T.B.M. AS SHOWN ON PLAN HEREON.

**DRAINAGE COMMENTS:**  
AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED IN THE VICINITY OF THE NORTHEAST CORNER OF THE INTERSECTION OF COORS BLVD. N.W. AND FORTUNA ROAD N.W., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (CITY ZONE ATLAS MAP "J-11-Z").

THE SUBJECT SITE IS PRESENTLY AN UNDEVELOPED IN-FILL SITE THAT IS TO HAVE A PROPOSED AUTO PARK AND SELL, TOGETHER WITH ALL ASSOCIATED IMPROVEMENTS CONSTRUCTED THEREON.

THE SUBJECT SITE: 1) DOES NOT LIE WITHIN A DESIGNATED FLOODPLAIN (RE: TO F.E.M.A. PANEL 327, OF 825); 2) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES; 3) DOES NOT CONTRIBUTE TO THE OFFSITE FLOWS OF ADJACENT PROPERTIES; 4) DOES NOT LIE ADJACENT TO A NATURAL OR ARTIFICIAL WATER COURSE; 5) IS ALLOWED TO FREE DISCHARGE DEVELOPED FLOWS FROM SAID PROPERTY; SAID FLOWS WILL NOT HAVE AN ADVERSE AFFECT TO DOWNSTREAM PROPERTIES.

**DRAINAGE CALCULATIONS:**  
PER SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

SITE AREA: 3.82 ACRE

PRECIPITATION ZONE: ONE (1)  
PEAK INTENSITY: IN. HR. A T<sub>s</sub> = TWELVE (12) MINUTES, 100-YR. - 6 HOUR = 4.70  
"LAND TREATMENT METHOD" FOR CALCULATION OF "Q<sub>p</sub>", TABLES A-8 & A-9  
"LAND TREATMENT FACTORS", TABLE A-4

**EXISTING CONDITIONS:**

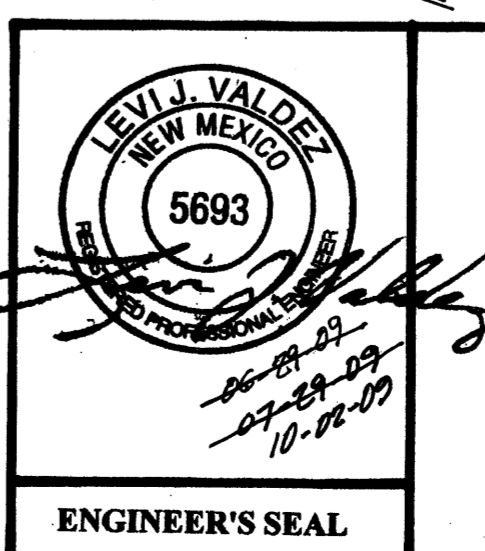
TREATMENT	AREA/ACRES	FACTOR	CFS
C	3.82	2.87	10.96
D	0.00	4.37	0.00

"Q<sub>p</sub>" = 10.96 CFS

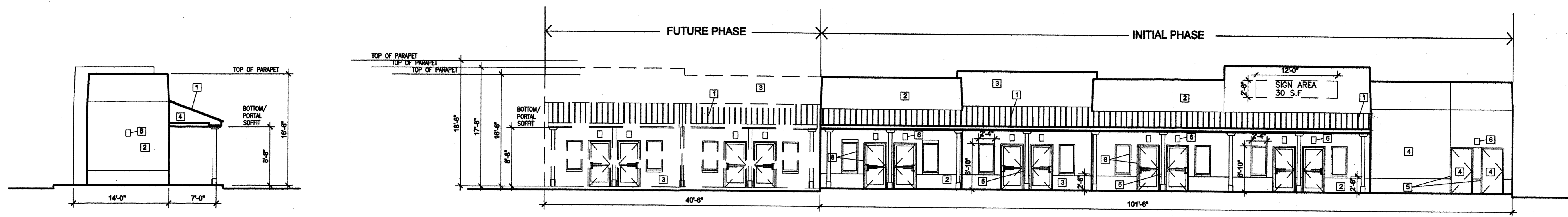
**PROPOSED DEVELOPED CONDITIONS:**

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.87	2.87	2.50
D	2.95	4.37	12.89

"Q<sub>p</sub>" = 15.39 CFS  
\*\*\* INCREASE = 4.43 CFS

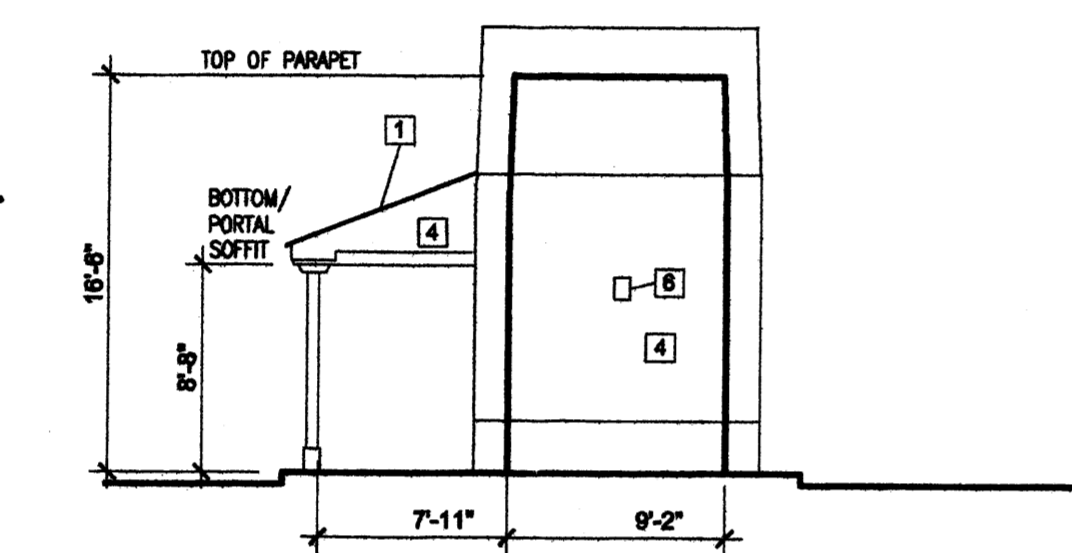


A PROPOSED PLAN FOR  
**COORS PARK & SELL**  
(COORS BLVD. N.W. AND FORTUNA ROAD N.W.)  
ALBUQUERQUE, NEW MEXICO

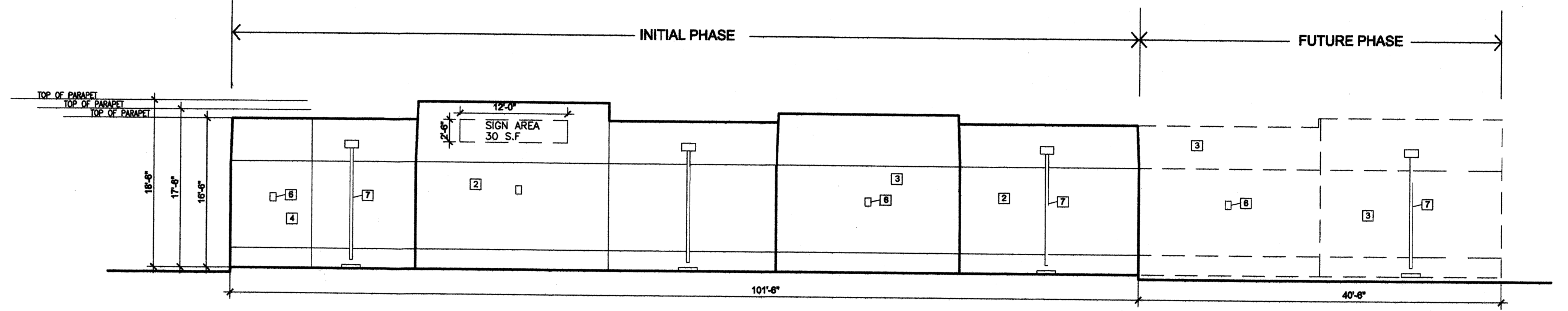


**2 EAST ELEVATION**  
Scale: 1/8"=1'

**1 NORTH ELEVATION**  
Scale: 1/8"=1'



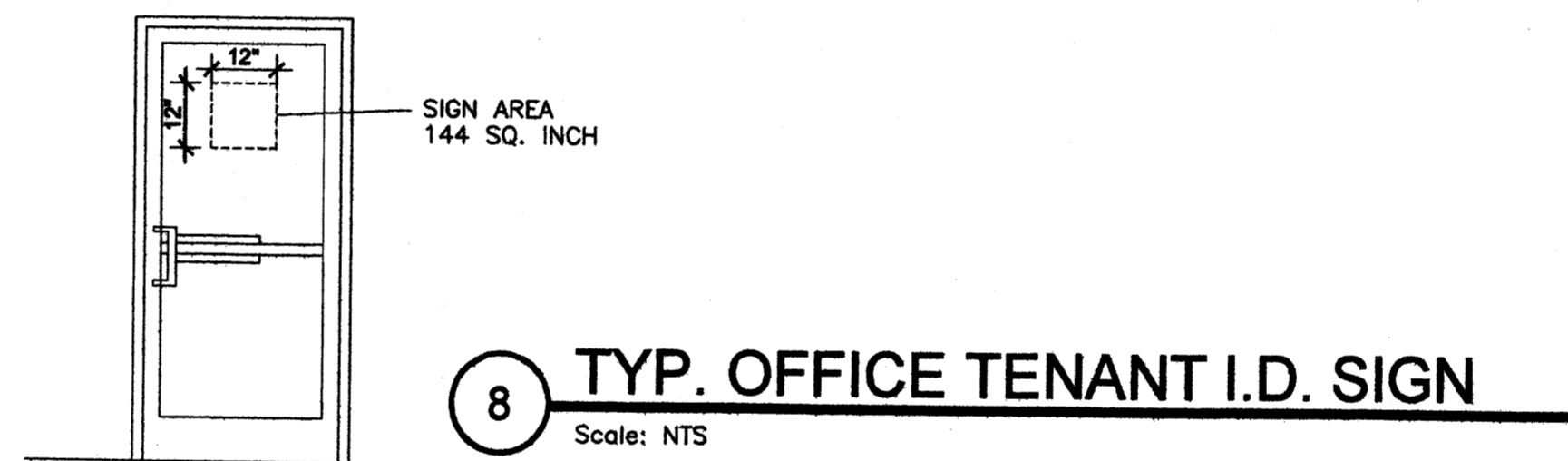
**4 WEST ELEVATION**  
Scale: 1/8"=1'



**3 SOUTH ELEVATION**  
Scale: 1/8"=1'

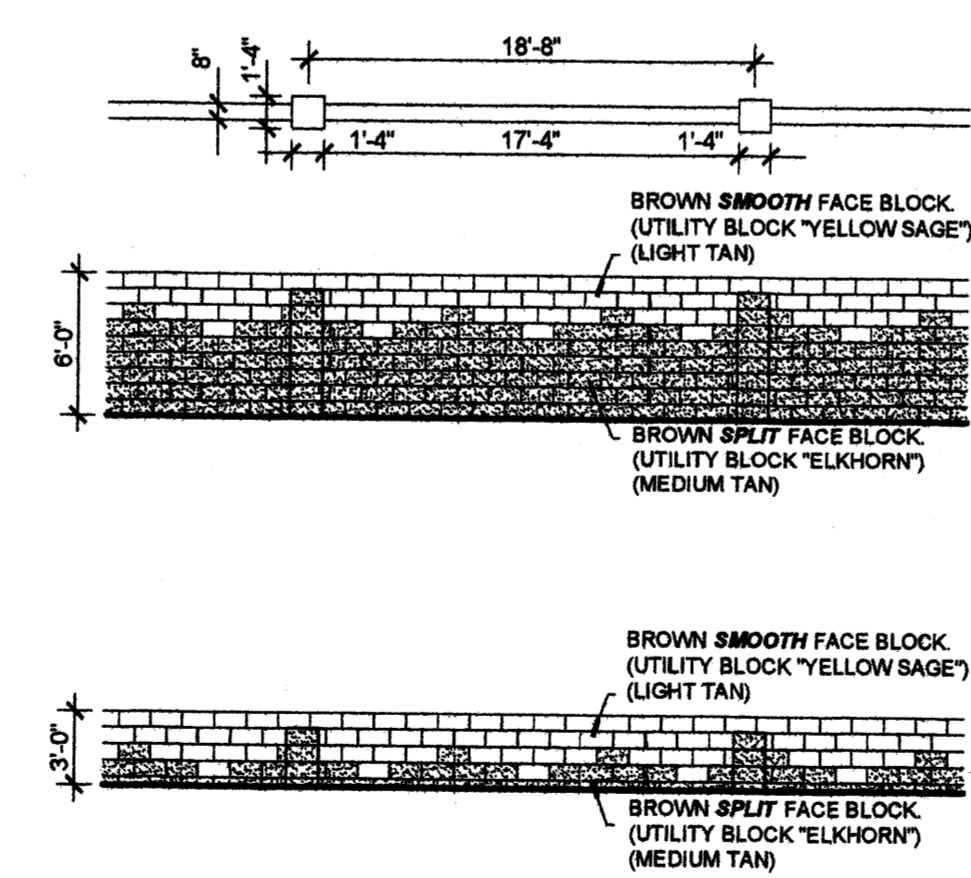
GENERAL NOTE:  
SIGNAGE-BUILDING MOUNTED:  
1. BUILDING MOUNTED SIGNAGE SHALL NOT EXCEED 7.5% OF EACH FACADE AREA  
2. MAXIMUM INDIVIDUAL LETTER HEIGHT IS 3 FEET.  
3. ROOFTOP MECHANICAL EQUIPMENT SHALL BE CONCEALED.

GENERAL NOTE:  
1. BUILDING MOUNTED SIGNAGE SHALL NOT EXCEED 7.5% OF EACH FACADE AREA  
2. MAXIMUM INDIVIDUAL LETTER HEIGHT IS 3 FEET.  
3. ROOFTOP MECHANICAL EQUIPMENT SHALL BE CONCEALED.

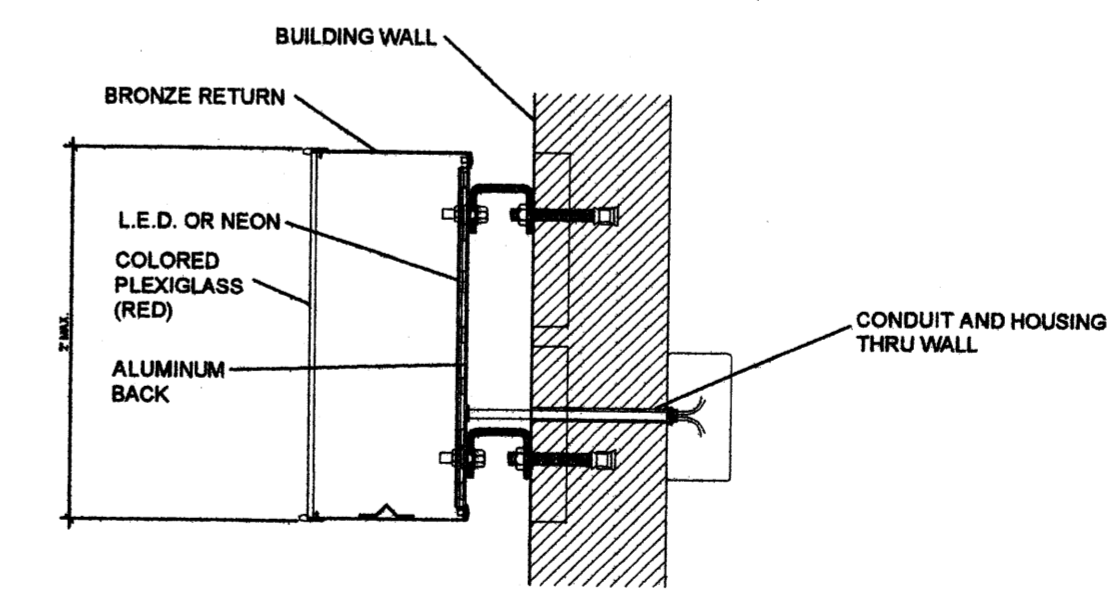


**8 TYP. OFFICE TENANT I.D. SIGN**  
Scale: NTS

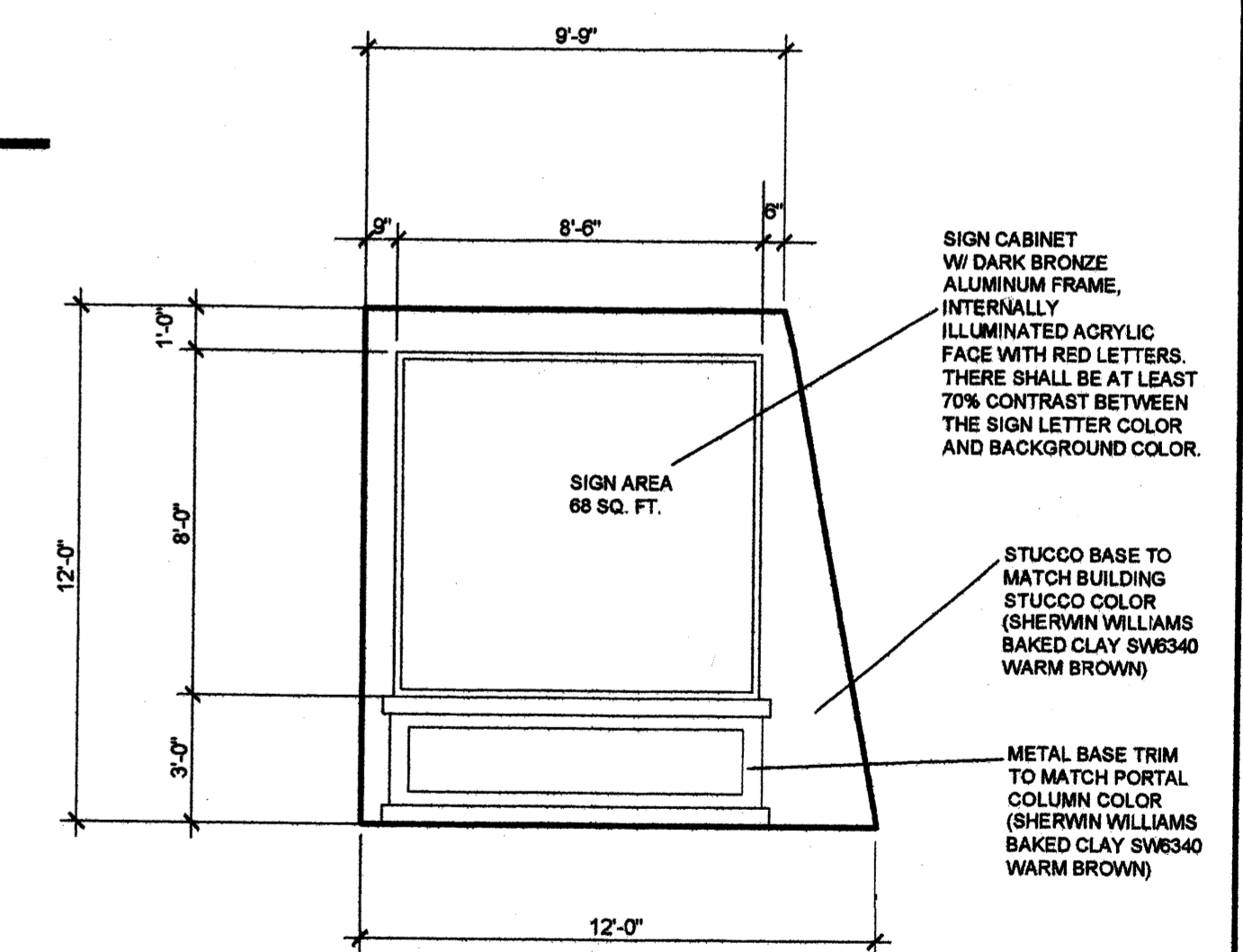
Keyed Color	Material Schedule	Common Name
1	METAL ROOF STANDING SEAM KYNAR COLONIAL RED	RED-BROWN
2	STUCCO SHERWIN WILLIAMS TEA LIGHT SW7681	LIGHT BEIGE
3	STUCCO SHERWIN WILLIAMS OAK BARREL SW7714	MEDIUM TAN
4	STUCCO & HOLLOW METAL DOORS SHERWIN WILLIAMS BAKED CLAY SW6340	WARM BROWN
5	PAINT @ PORTAL COLUMNS, CANOPY TRIM, HM DOOR FRAMES SHERWIN WILLIAMS BAKED CLAY SW6340	WARM BROWN
6	WALL MOUNTED LIGHT FIXTURES BY MFR.	MEDIUM TAN
7	SCUPPER & DOWNSPOUTS SHERWIN WILLIAMS OAK BARREL SW7714	MEDIUM TAN
8	ALUMINUM FRAME DOORS & WINDOWS DARK BRONZE FRAME W/1" INSULATING GLASS AT WINDOWS	DARK BROWN



**5 CMU SITE WALL ELEVATIONS**  
Scale: 1/8"=1'



**6 BUILDING SIGNAGE DETAIL**  
Scale: NTS

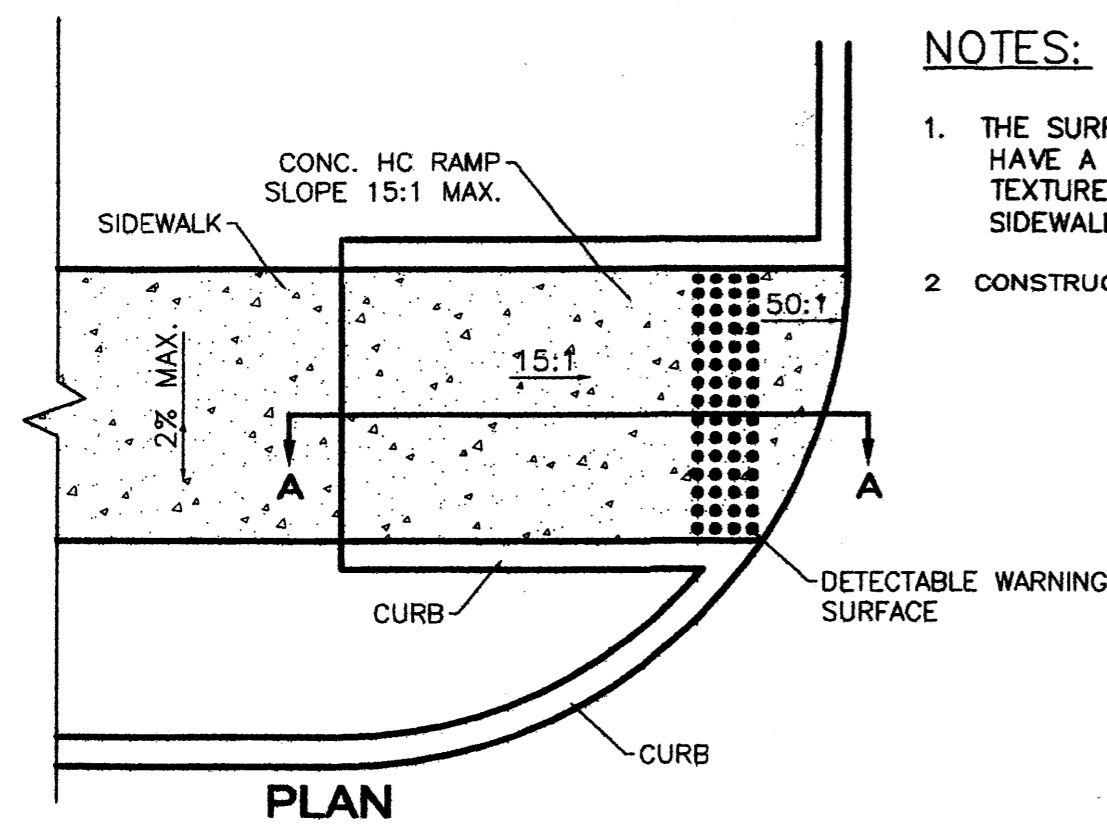


**7 MONUMENT SIGN**  
Scale: 1/4"=1'-0"

NOTE: NO ELECTRONIC DISPLAY PANELS, ALSO KNOWN AS LED DISPLAY PANELS OR ELECTRONIC BILLBOARDS, SHALL BE PERMITTED.

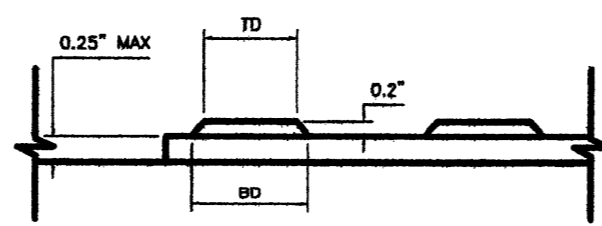
ENGINEER'S SEAL

A PROPOSED PLAN FOR  
**COORS PARK & SELL**  
(COORS BLVD. N.W. AND FORTUNA RD. N.W.)  
ALBUQUERQUE, NEW MEXICO

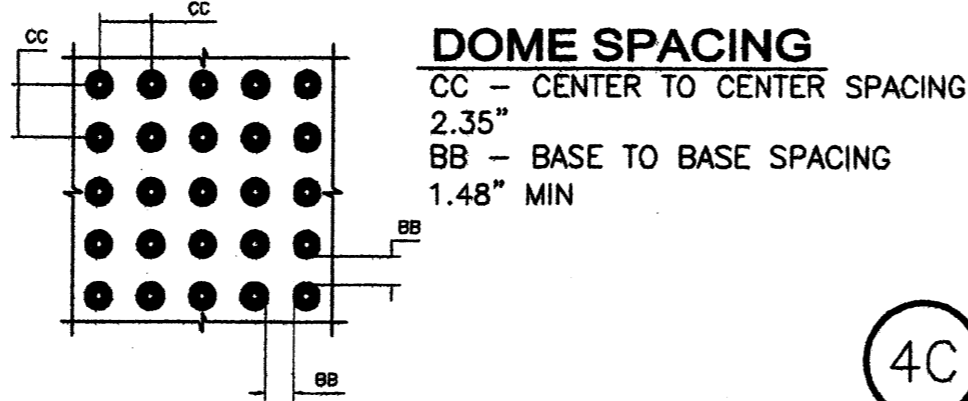


**NOTES:**

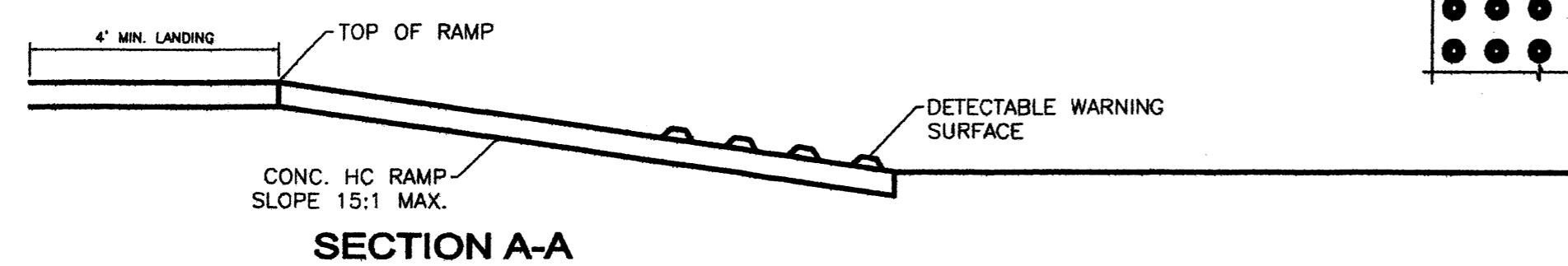
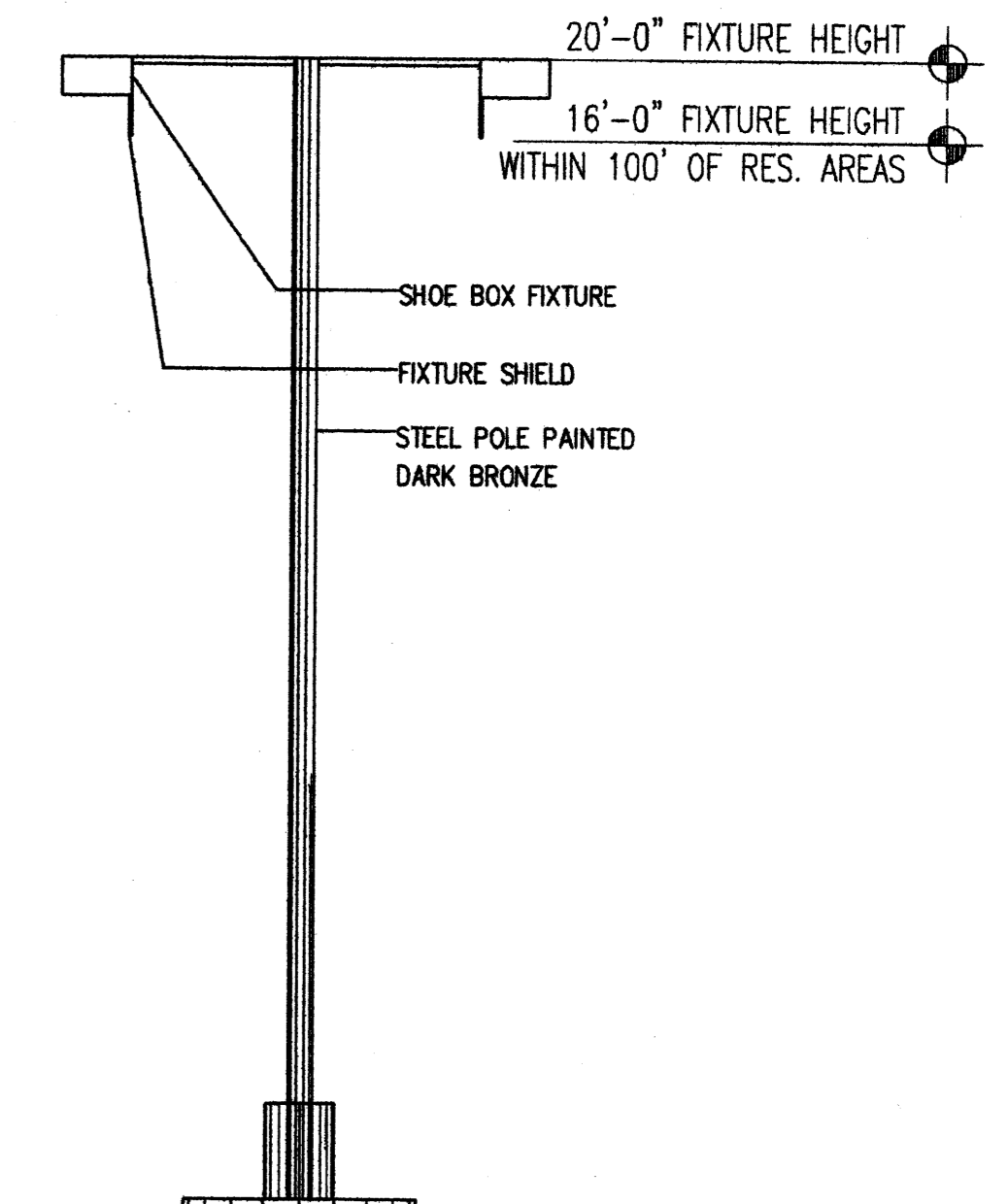
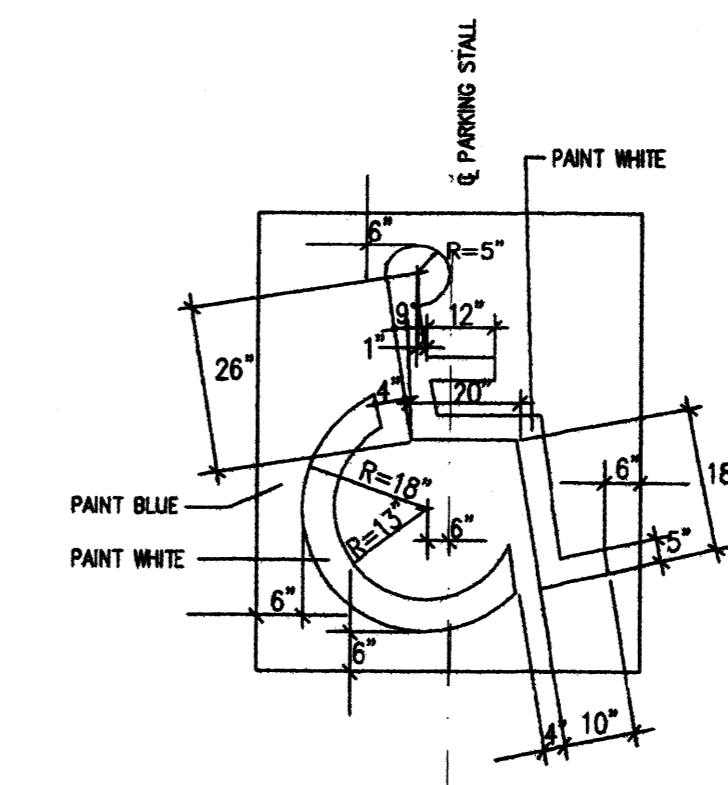
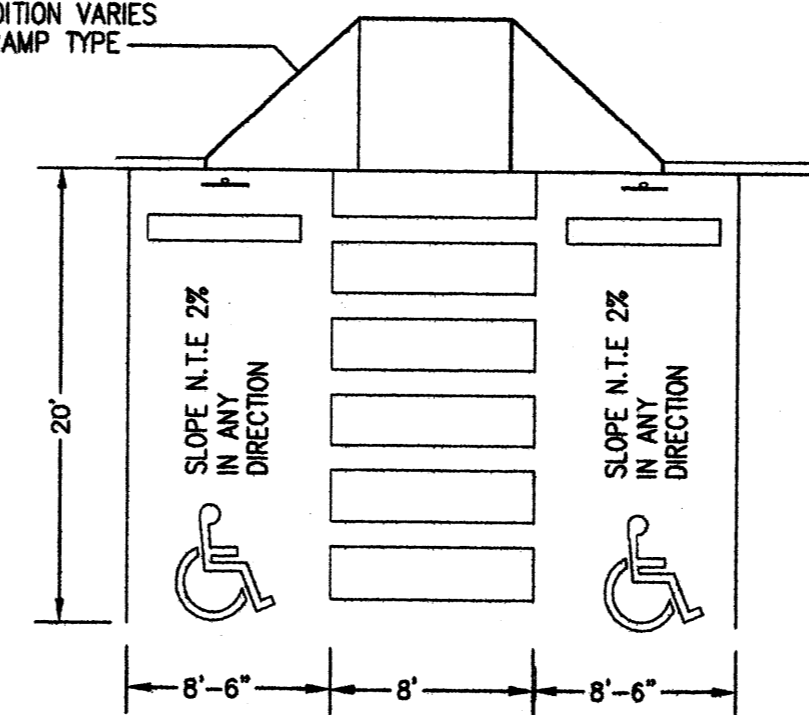
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
2. CONSTRUCT PER A.D.A. STANDARDS.



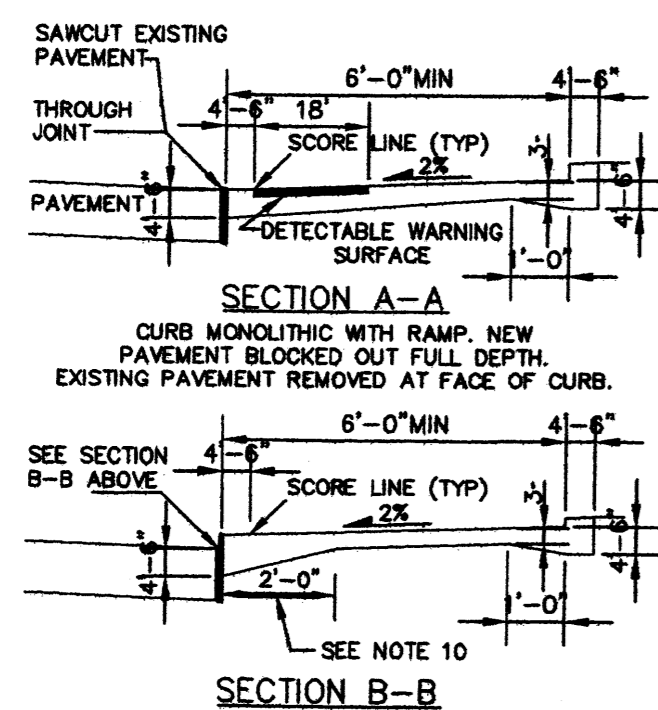
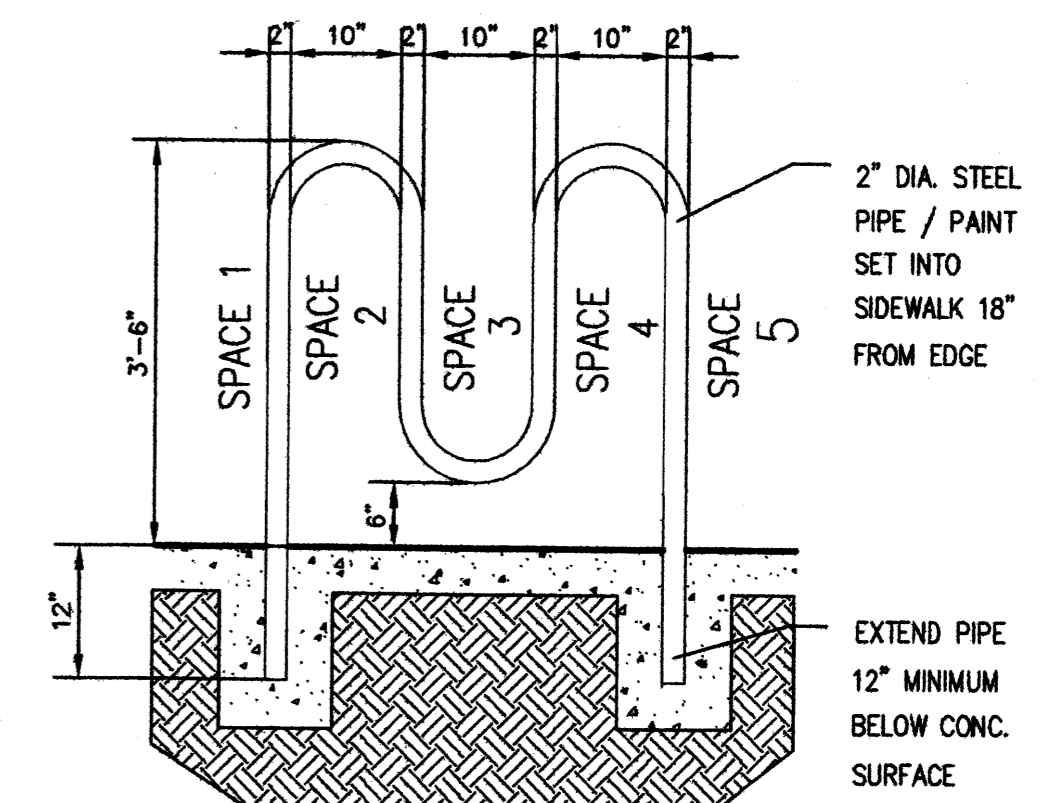
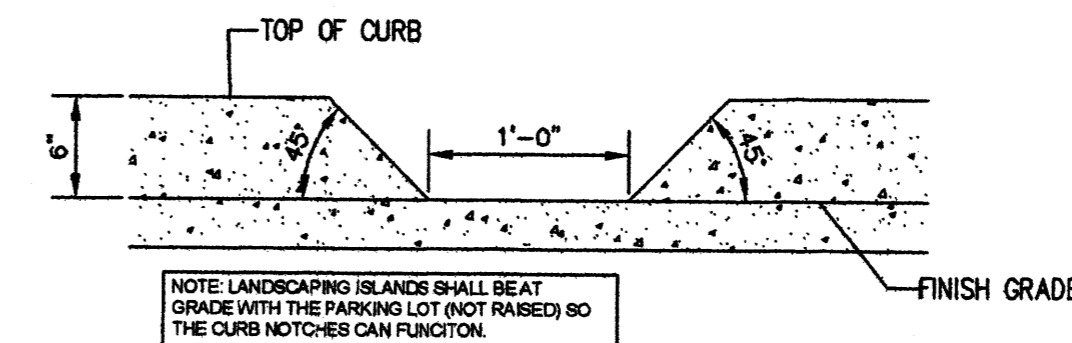
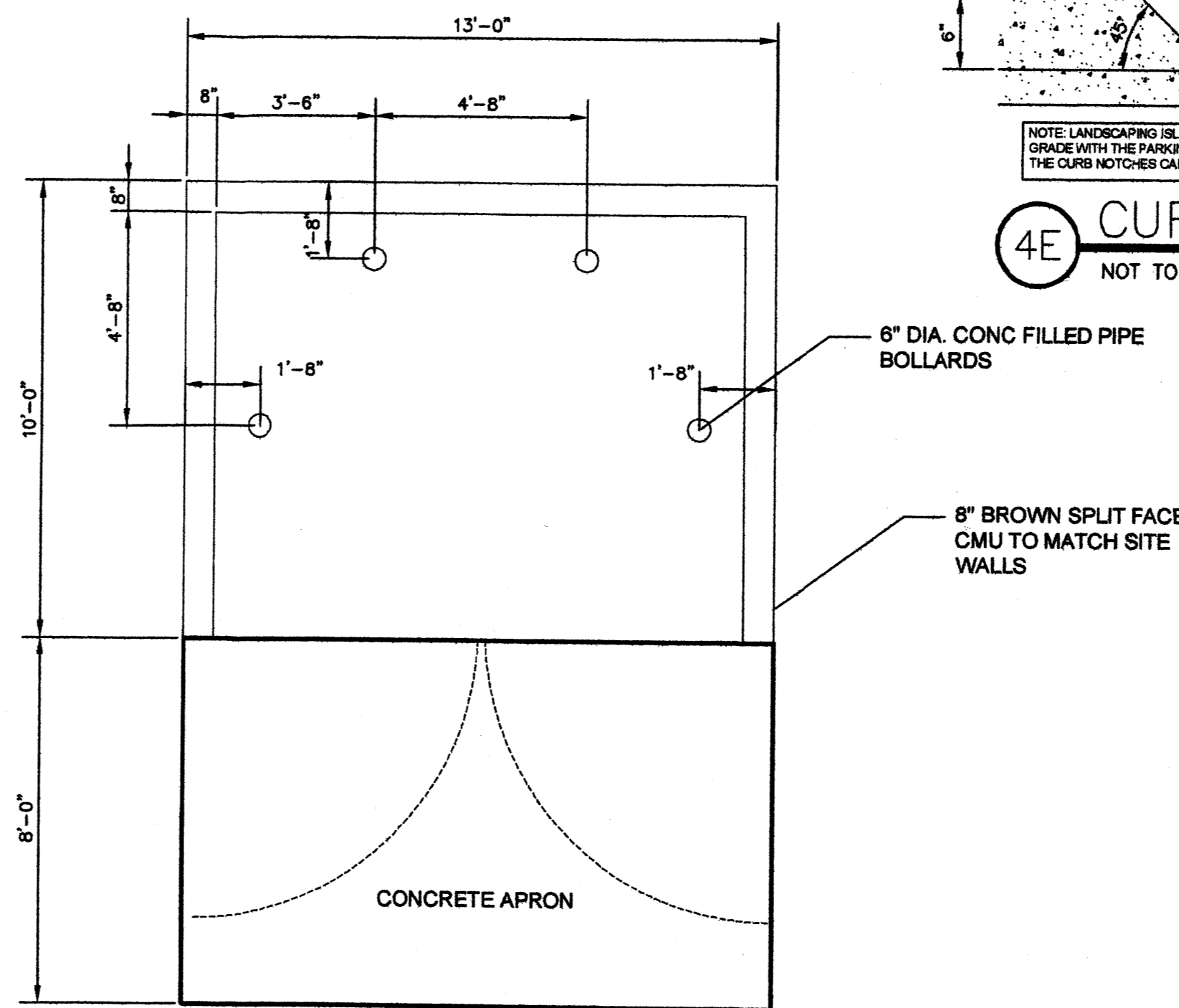
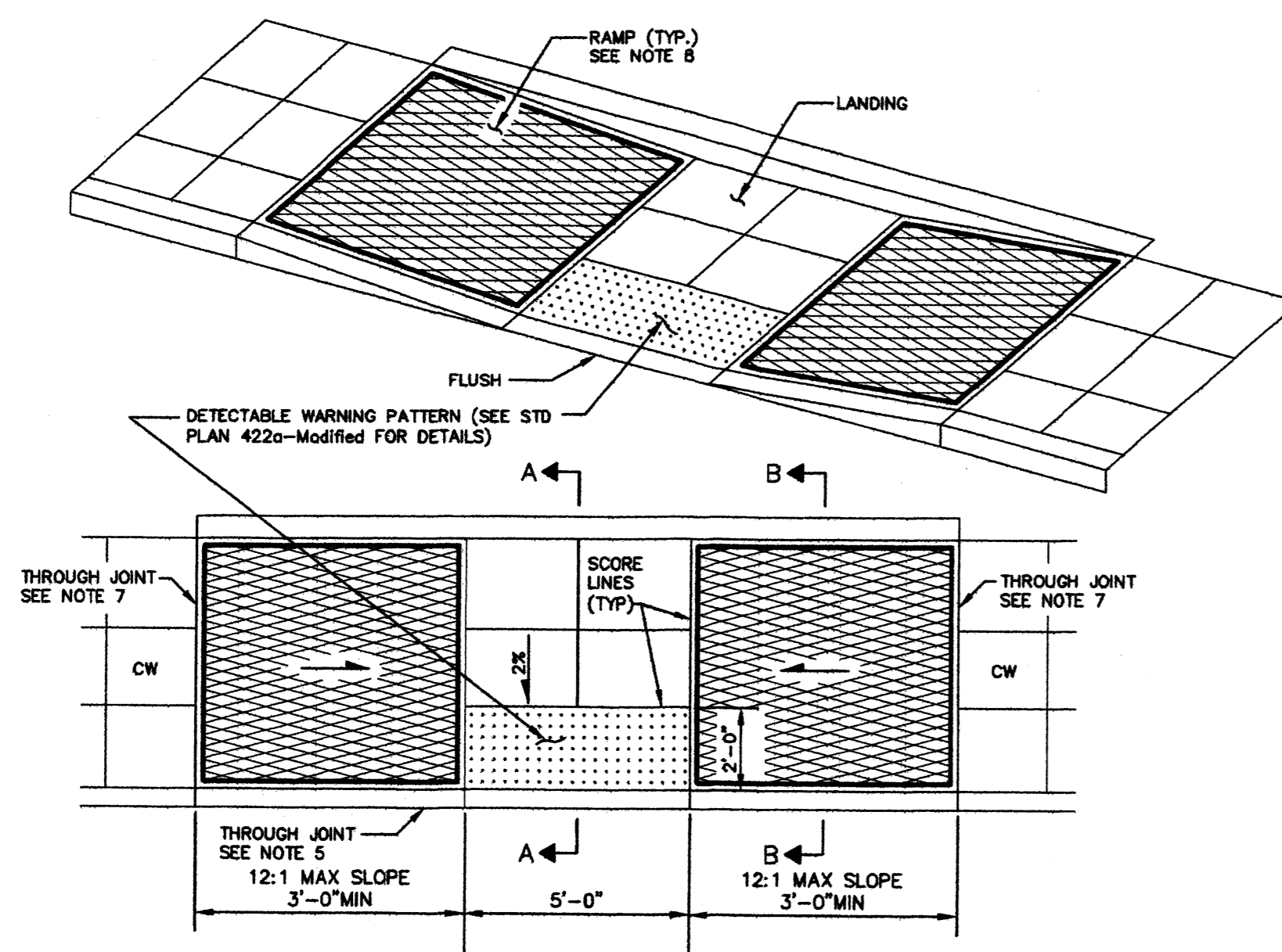
**DOMINE SECTION**  
BD - BASE DIAMETER 0.9" MIN  
TD - TOP DIAMETER 50% OF BD MIN TO 65% OF BD MAX



NOTE:  
H.C. RAMP CONDITION VARIES  
RE: SITE FOR RAMP TYPE



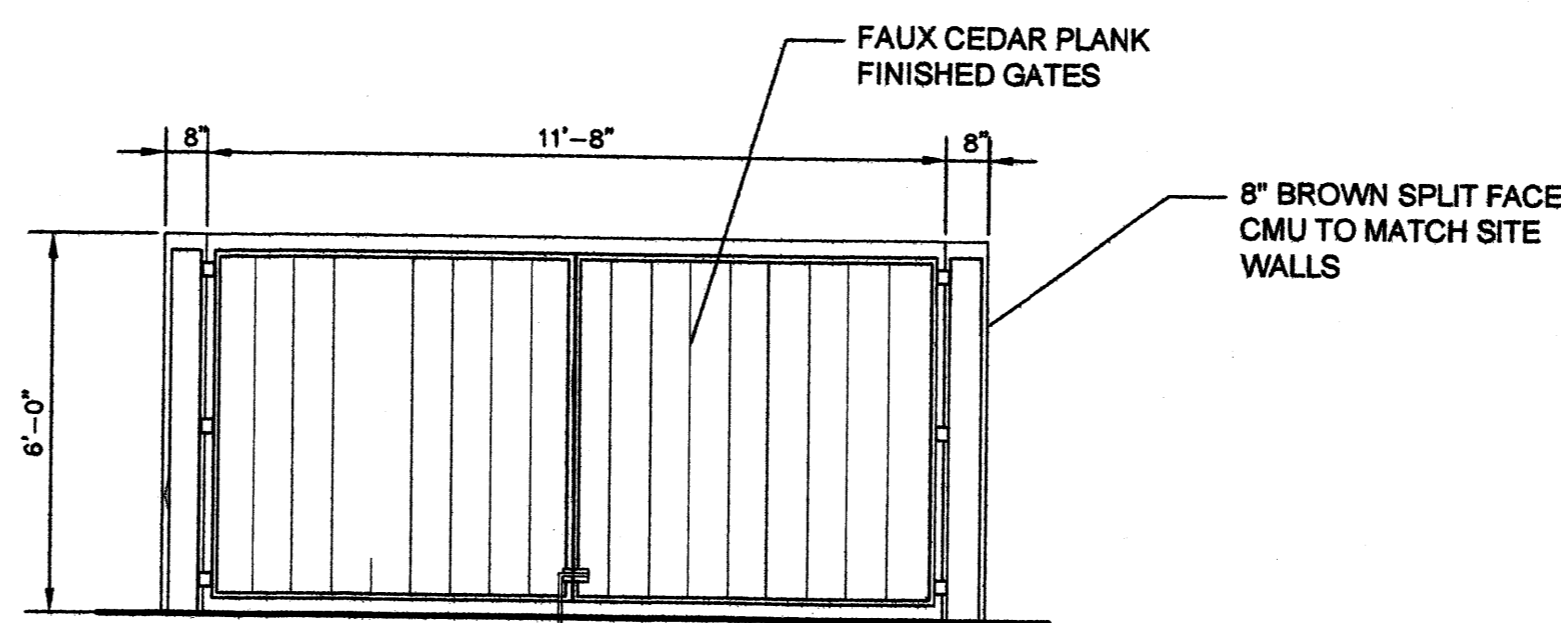
4B RAMP DETAIL  
Scale: 1/2"=1'-0"



**NOTES:**

1. TWO CURB RAMPS SHALL BE INSTALLED AT EACH CORNER UNLESS OTHERWISE DIRECTED BY SEATTLE TRANSPORTATION
2. CURB RAMPS SHALL BE INSTALLED ON THE OPPOSITE SIDE OF THE STREET FROM ANY RAMP BEING CONSTRUCTED
3. CURBS SHALL BE DEPRESSED FOR FUTURE CURB RAMPS WHERE CURBS ARE INSTALLED WITH NO SIDEWALKS
4. THE DESIGNER SHALL USE TYPE 422a CURB RAMPS. IF NOT FEASIBLE, THEN ALTERNATE CURB RAMP TYPE 422a MAY BE INSTALLED WITH THE APPROVAL OF SDOTN
5. NEW PAVEMENT SHALL BE BLOCKED OUT FULL DEPTH. EXISTING PAVEMENT SHALL BE REMOVED AT THE FACE OF THE CURB
6. THE SIDEWALK THICKENED EDGE SHALL BE CONTINUED THROUGH THE RAMPS OF TYPE 422a CURB RAMPS
7. FOR ADDITIONAL REQUIREMENTS AND CONDITIONS REFER TO STD PLAN NO 422a AND THE AMERICAN WITH DISABILITIES ACT

4A RAMP DETAIL  
NOT TO SCALE



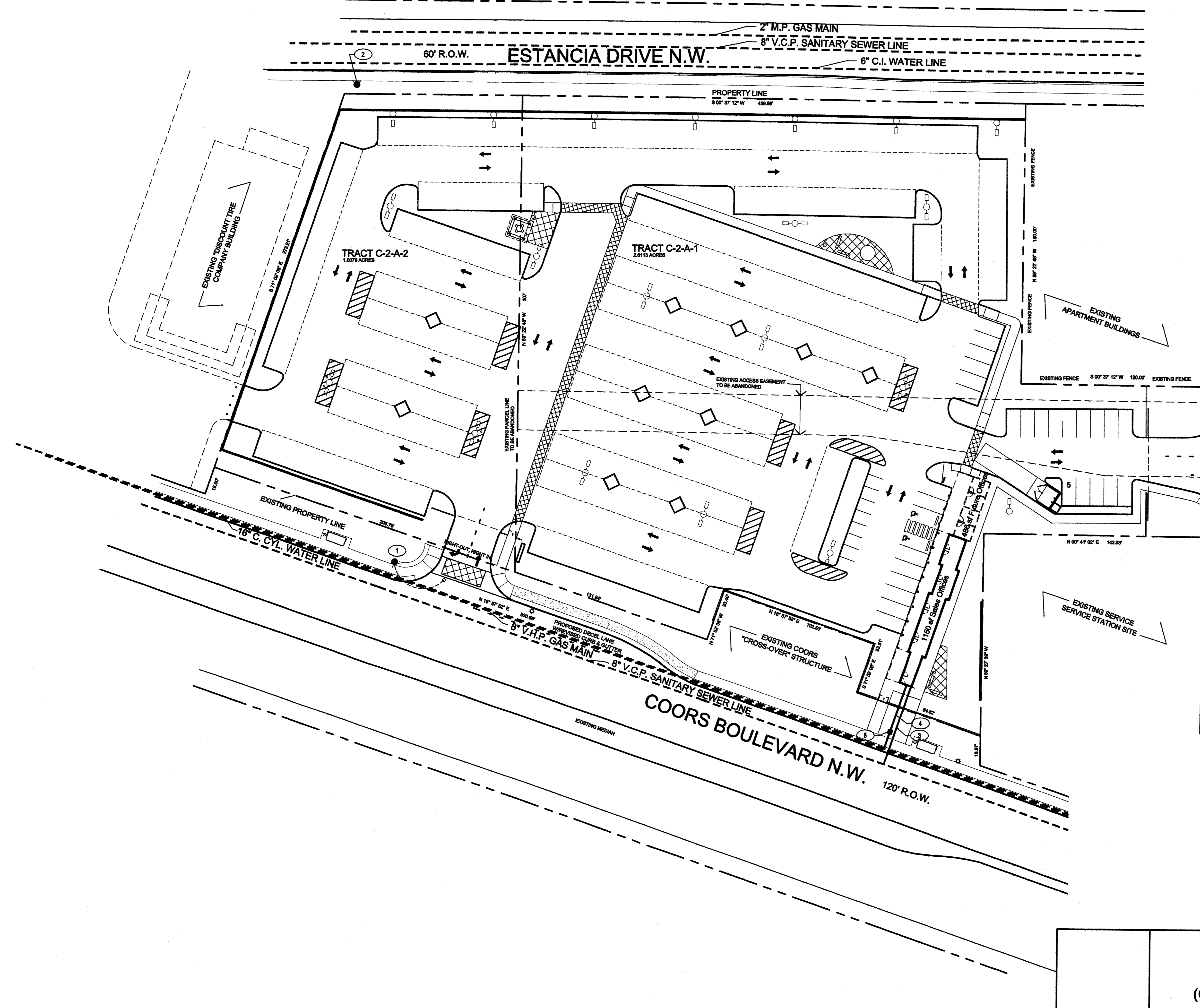
MISCELLANEOUS DETAILS  
SCALE: AS NOTED

A PROPOSED PLAN FOR  
**COORS PARK & SELL**  
(COORS BLVD. N.W. AND FORTUNA RD. N.W.)  
ALBUQUERQUE, NEW MEXICO

JUNE 2009

ENGINEER'S SEAL





- KEYED NOTES**
1. FIRE HYDRANT TO BE RELOCATED TO THIS POSITION
  2. EXISTING FIRE HYDRANT
  3. NEW 4" SAS SERVICE
  4. NEW DOMESTIC WATER SERVICE LINE
  5. WATER METER BOX

**LEGAL DESCRIPTION**

TRACT "C-2-A-2-A", BEING A REPLAT OF TRACTS "C-2-A-1" AND "C-2-A-2", OF THE CAMPBELL LANDS, A RE-DIVISION OF TRACT "C", AIRPORT UNIT, TOWN OF ATRISCO GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

**SITE DATA**

BUILDING AREA: 1150 SF  
 + 486 SF FUTURE = 1,636 SF

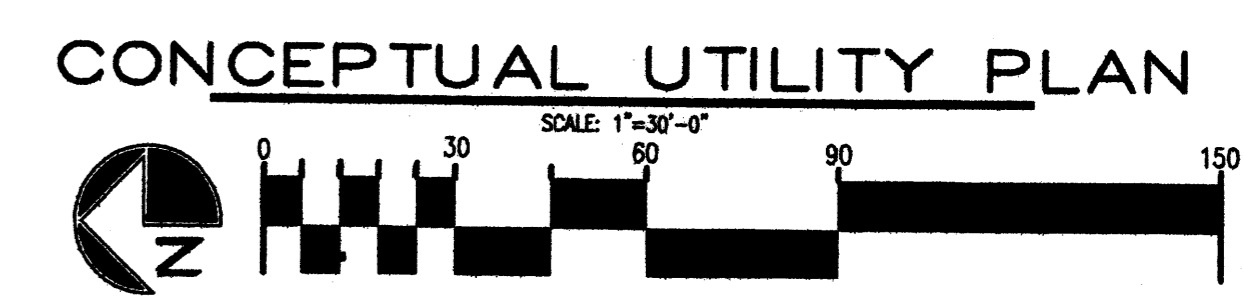
REQUIRED PARKING = 1 PER 200 SF = 9 SPACES REQUIRED

HC PARKING PROVIDED = 1 SPACE

PROVIDED PARKING = 28 CUSTOMER SPACES\* (INCLUDING 2 HC)  
 \*FOR 12 SALES OFFICES  
 + 2 MOTORCYCLE SPACES

ADDITIONAL SPACES:  
 306 CAR SALES SPACES / 8 GOLF CART SPACES

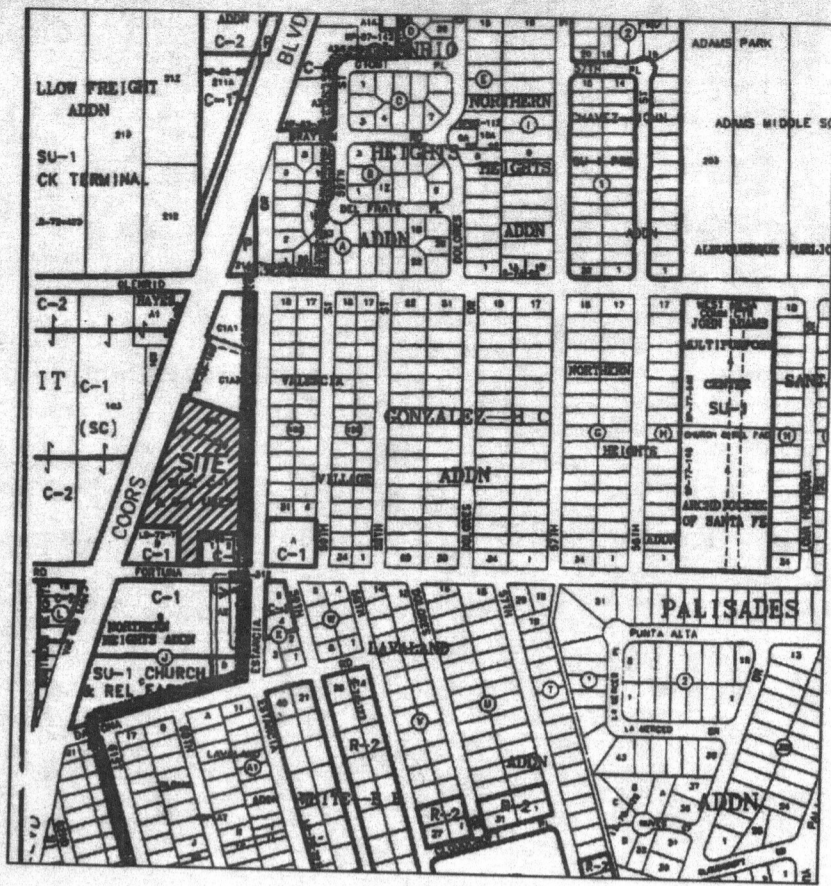
BICYCLE SPACES:  
 5 SLOTS IN RACK



ENGINEER'S SEAL

**A PROPOSED PLAN FOR  
 COORS PARK & SELL**  
 (COORS BLVD. N.W. AND FORTUNA RD. N.W.)  
 ALBUQUERQUE, NEW MEXICO

JUNE 29, 2009 8 OF 9



VICINITY MAP (J-11) NO SCALE

SUBDIVISION DATA

1. DRB Proj. No.
2. Zone Atlas Index No. J-11
3. Current Zoning SU-1 C-1 and O-1 uses
4. Gross acreage 4.1163 ac.
5. Total Number of Tracts created - 1 -
6. This plat has been prepared for the purposes of creating two tracts from one existing tract and to plat a tract owned by the City of Albuquerque that was conveyed to them by deed.

LOG NO. 2002341865

NOTES

1. Bearings shown on this plat are New Mexico State Plane Grid Bearings, Central Zone, NAD 1927.
2. Perimeter distances are field measurements were made on the ground between recovered and accepted monumentation within the subdivision. Bearings and distances appearing on the plat of record are shown in parentheses ( ).
3. Monuments recovered and accepted or set are noted on inscribed plat.
4. This plat shows all easements of record.
5. Eighteen feet (18') of Public right-of-way has been dedicated to the City of Albuquerque in fee simple with warranty covenants by this plat.
6. A portion of Tract C-2-A conveyed to the City of Albuquerque for Public Pedestrian Access and Right of Way by deed recorded March 1, 1994, in Book 94-7, Page 4157, as document No. 94028088. This tract is included in this platting action to bring it into conformance with the City of Albuquerque Subdivision Ordinance.
7. A Common Use Ingress and Egress Easement for the benefit of Tracts C-2-A-1 and C-2-A-2 granted by this plat. Maintenance of said easement is the responsibility of the owner(s) of Tracts C-2-A-1 and C-2-A-2.

DESCRIPTION

Tract "C-2-A", of the CAMPBELL LANDS, Summary Plat showing redivision of Tract "C", Airport Unit, Town of Atrisco Grant, Albuquerque, New Mexico, as the same is shown and designated on the Summary Plat of said Subdivision, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April 26, 1977, in Plat Book B12, folio 178, together with that portion excepted from Tract C-2-A by that conveyance to the City of Albuquerque, a Municipal corporation, filed March 1, 1994, recorded in Book 94-7, Page 4157, as Document No. 94028088, records of Bernalillo County, New Mexico, and being more particularly described as follows:  
 BEGINNING at the Northwest corner of the property herein described, being a point on the Easterly Right-of-Way line of Coors Boulevard, NW, from whence the ACS Monument "18-11" bears N 17° 39' 05" E, 495.22 feet distant;  
 THENCE leaving said Right-of-Way line, S 71° 02' 08" E, 273.21 feet to the Northeast corner, being a point on the Westerly Right-of-Way line of Estancia Drive, NW;  
 THENCE along said Westerly Right-of-Way line, S 00° 37' 12" W, 439.98 feet to the Southeast corner;  
 THENCE leaving said Right-of-Way line, N 89° 22' 48" W, 180.00 feet;  
 THENCE S 00° 37' 12" W, 120.00 feet to a point on the Northerly Right-of-Way line of Fortuna Road, NW;  
 THENCE along said Northerly Right-of-Way line, N 89° 12' 31" W, 96.58 feet;  
 THENCE leaving said Right-of-Way line, N 00° 43' 02" E, 142.38 feet;  
 THENCE N 89° 27' 39" W, 149.90 feet to the Southwest corner, being a point on said Easterly Right-of-Way line of Coors Boulevard, NW;  
 THENCE along said Easterly Right-of-Way line, N 18° 57' 52" E, 530.68 feet to the Point of Beginning and containing 4.1163 acres, more or less.

FREE CONSENT AND DEDICATION

The division of Tract C-2-A of CAMPBELL LANDS into two tracts, dedication of additional right-of-way to the City of Albuquerque in fee simple with warranty covenants and granting of a common use, ingress and egress easement is with the free consent and in accordance with the desires of the undersigned owner.

Jose Moreno Sr., Authorized representative of the Loyal Order of Moose, a New Mexico Corporation, on behalf of said corporation.

ACKNOWLEDGMENT

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) ss

On this 26<sup>th</sup> day of August, 2002, the foregoing instrument was acknowledged before me by Jose Moreno Sr., Authorized representative of the Loyal Order of Moose, a New Mexico Corporation, on behalf of said corporation.

My Commission expires 07-20-03

Luís H. King  
 Notary Public



FREE CONSENT

The platting of Tract C-2-A-3 of CAMPBELL LANDS as shown hereon, dedication of additional right-of-way to the City of Albuquerque in fee simple is with the free consent and in accordance with the desires of the undersigned owner.

Jay J. Czar, Chief Administrative Officer, City of Albuquerque, a Municipal Corporation

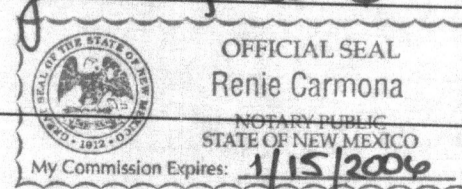
ACKNOWLEDGMENT

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) ss

This instrument was acknowledged before me on Sept. Aug 27, 2002, by Jay J. Czar, Chief Administrative Officer of the City of Albuquerque, New Mexico, a Municipal Corporation.

My Commission expires January 15, 2006

Renie Carmona  
 Notary Public



PLAT OF  
 TRACTS C-2-A-1,  
 C-2-A-2 and C-2-A-3  
 CAMPBELL LANDS  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

A REPLAT OF TRACT C-2-A, CAMPBELL LANDS  
 WITHIN PROJECTED SEC. 14, T. 10 N., R. 2 E., NMPM  
 TOWN OF ATRISCO GRANT

AUGUST 2002

APPROVALS as specified by the City of Albuquerque Subdivision Ordinance:

PROJECT NO. \_\_\_\_\_ APPLICATION NO. \_\_\_\_\_

\_\_\_\_\_  
 Planning Director, City of Albuquerque Date

\_\_\_\_\_  
 Property Management, City of Albuquerque Date

\_\_\_\_\_  
 Traffic Engineer, City of Albuquerque Date

\_\_\_\_\_  
 Water Utilities Department, City of Albuquerque Date

J.B. Far  
 City Surveyor, City of Albuquerque 8-27-02 Date

\_\_\_\_\_  
 Parks and Recreation, City of Albuquerque Date

\_\_\_\_\_  
 A.M.A.F.C.A. Date

\_\_\_\_\_  
 City Engineer, City of Albuquerque Date

SURVEYOR'S CERTIFICATE

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective October 1, 2000 and is true and correct to the best of my knowledge and belief.

Thomas D. Johnston  
 Thomas D. Johnston, N.M.P.S. No. 14269

8/26/02  
 Date

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY

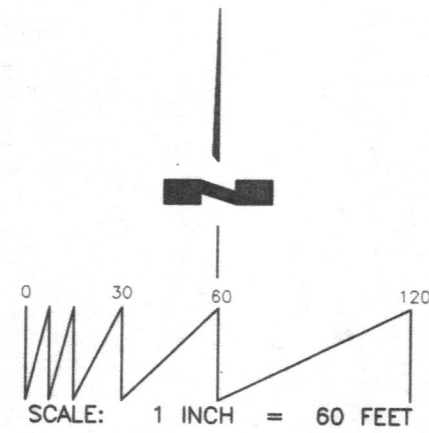
THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
 UPC# 1 011 058 049 293 20203

PROPERTY OWNER OF RECORD:  
 ALBUQUERQUE LODGE No. 1517 LOYAL ORDER  
 OF MOOSE INC.

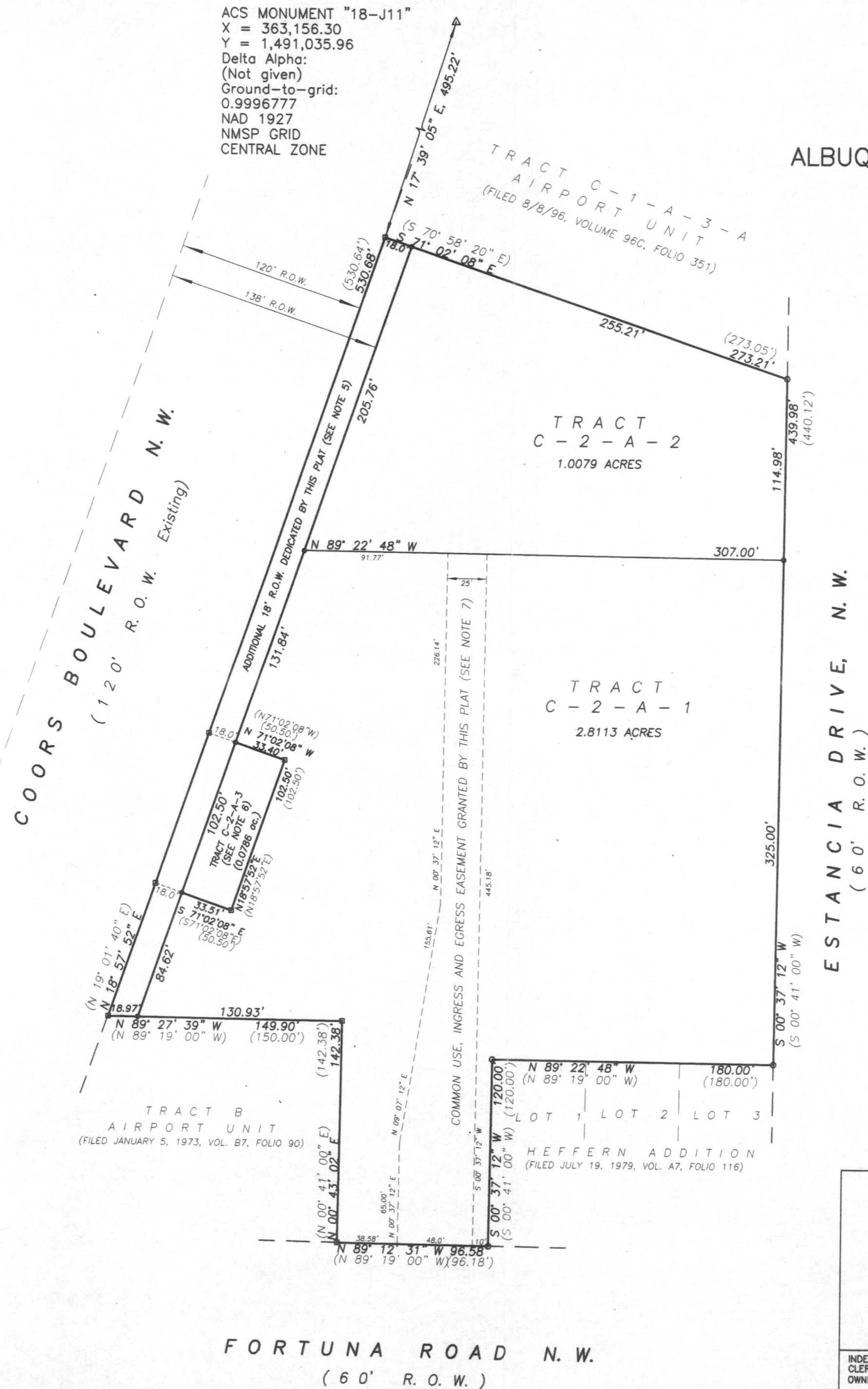
BERNALILLO COUNTY TREASURER'S OFFICE

	<b>WAYJOHN SURVEYING, INC.</b> 330 LOUISIANA BLVD., N.E. ALBUQUERQUE, N.M. 87108 PHONE: 255-2052 FAX: 255-2887		
	INDEXING INFORMATION FOR COUNTY CLERK OWNER: LOYAL ORDER OF MOOSE, INC. LOCATION: PROJ. SEC. 14, T.10 N., R.2 E., N.M.P.M. ALBUQUERQUE, NM SUBDIVISION: TRACT C-2-A-1, C-2-A-2 & C-2-A-3 CAMPBELL LANDS	DRAWN: E W K CHECKED: T D J DRAWING NO. SP80102.DWG	SCALE: 1" = 60' FILE NO. SP-8-01-2002 SHEET 1 OF 2

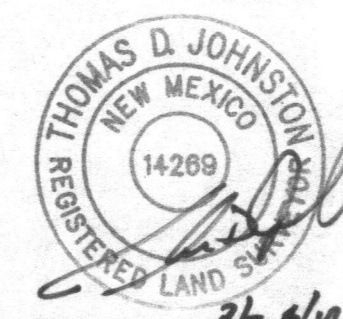
PLAT OF  
 TRACTS C-2-A-1,  
 C-2-A-2 and C-2-A-3  
**CAMPBELL LANDS**  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 A REPLAT OF TRACT C-2-A, CAMPBELL LANDS  
 WITHIN PROJECTED SEC. 14, T. 10 N., R. 2 E., NMPM  
 TOWN OF ATRISCO GRANT  
 AUGUST 2002



ACS MONUMENT "18-J11"  
 X = 363,156.30  
 Y = 1,491,035.96  
 Delta Alpha:  
 (Not given)  
 Ground-to-grid:  
 0.9996777  
 NAD 1927  
 NMSP GRID  
 CENTRAL ZONE



- LEGEND:**
- SET #4 REBAR WITH CAP "WAYJOHN PS 14269"
  - FOUND #4 REBAR - NO CAP
  - FOUND #4 REBAR AND CAP "PS 11463"
- ALL FOUND AND ACCEPTED MONUMENTS TAGGED WITH WASHER "PS 14269".



**WAYJOHN SURVEYING, INC.**  
 330 LOUISIANA BLVD., N.E.  
 ALBUQUERQUE, N.M. 87108  
 PHONE: 255-2052 FAX: 255-2887

INDEXING INFORMATION FOR COUNTY CLERK OWNER: LOYAL ORDER OF MOOSE, INC. LOCATION: PROJ. SEC. 14, T.10 N., R.2 E., N.M.P.M. ALBUQUERQUE, NM SUBDIVISION: TRACT C-2-A-1, C-2-A-2 & C-2-A-3 CAMPBELL LANDS	DRAWN: E W K	SCALE: 1" = 60'	FILE NO. SP-8-01-2002
	CHECKED: T D J	DRAWING NO. SP80102.DWG	21 AUG 2002

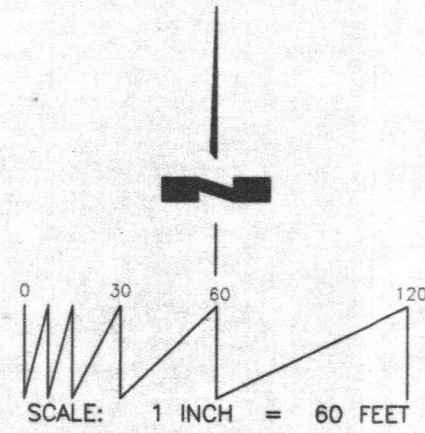
PLAT OF  
TRACTS C-2-A-1,  
C-2-A-2 and C-2-A-3  
CAMPBELL LANDS

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

A REPLAT OF TRACT C-2-A, CAMPBELL LANDS  
WITHIN PROJECTED SEC. 14, T. 10 N., R. 2 E., NMPM  
TOWN OF ATRISCO GRANT

AUGUST 2002

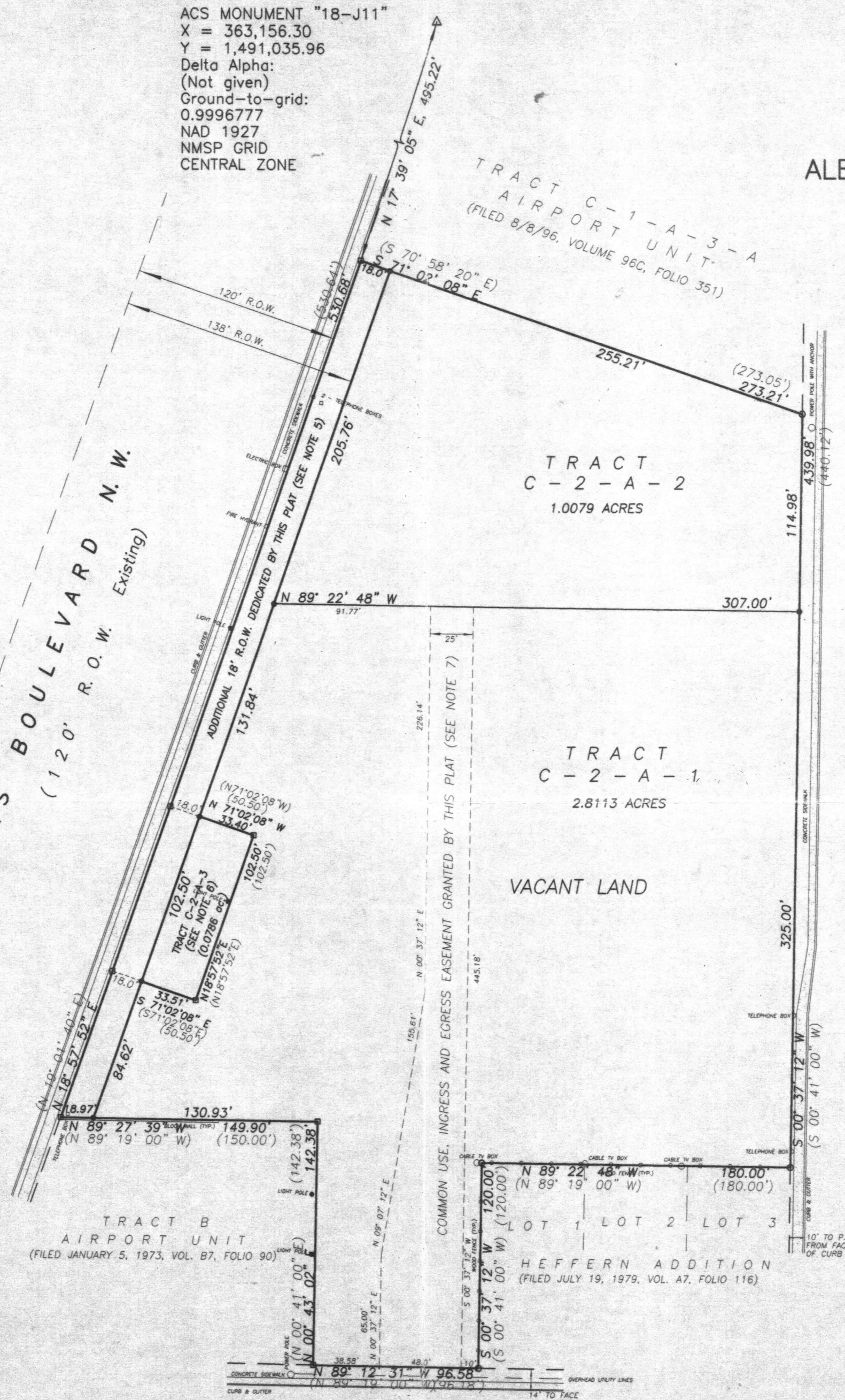
EXISTING CONDITIONS



ACS MONUMENT "18-J11"  
X = 363,156.30  
Y = 1,491,035.96  
Delta Alpha:  
(Not given)  
Ground-to-grid:  
0.9996777  
NAD 1927  
NMSP GRID  
CENTRAL ZONE

COORS BOULEVARD N. W.  
(120' R.O.W. Existing)

ESTANCIA DRIVE, N. W.  
(60' R.O.W.)



TRACT B  
AIRPORT UNIT  
(FILED JANUARY 5, 1973, VOL. B7, FOLIO 90)

TRACT  
C-2-A-2  
1.0079 ACRES

TRACT  
C-2-A-1  
2.8113 ACRES

VACANT LAND

HEFFERN ADDITION  
(FILED JULY 19, 1979, VOL. A7, FOLIO 116)

FORTUNA ROAD N. W.  
(60' R.O.W.)

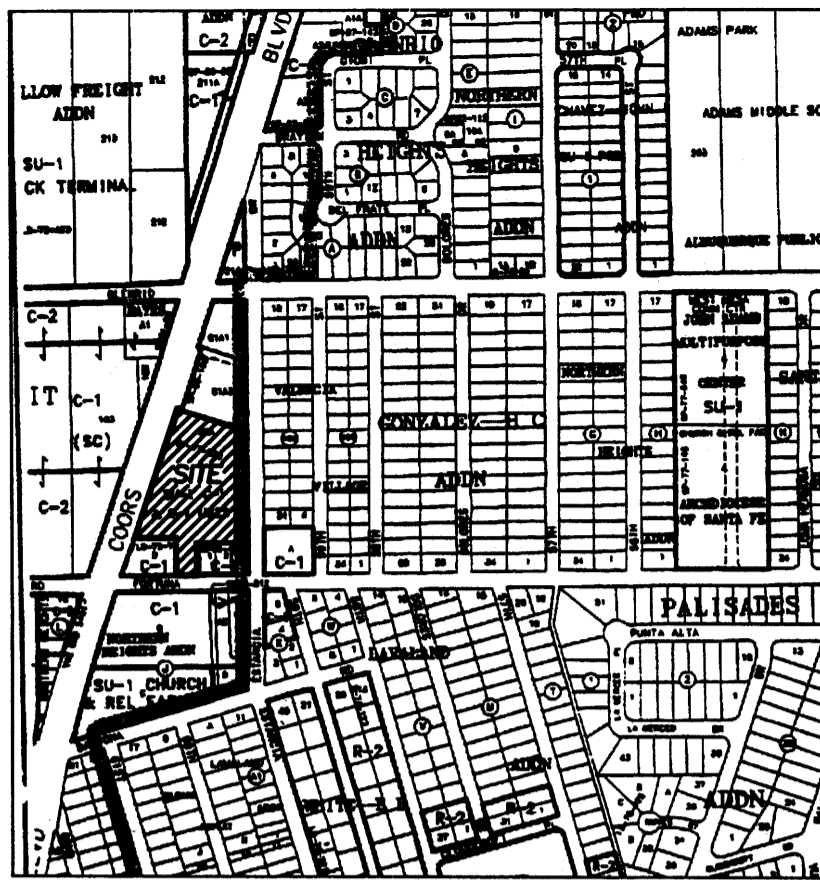
LEGEND:

- SET #4 REBAR WITH CAP "WAYJOHN PS 14269"
  - FOUND #4 REBAR - NO CAP
  - FOUND #4 REBAR AND CAP "PS 11463"
- ALL FOUND AND ACCEPTED MONUMENTS TAGGED WITH WASHER "PS 14269".

**WAYJOHN  
SURVEYING, INC.**

330 LOUISIANA BLVD., N.E.  
ALBUQUERQUE, N.M. 87108  
PHONE: 255-2052 FAX: 255-2887

INDEXING INFORMATION FOR COUNTY CLERK OWNER: LOYAL ORDER OF MOOSE, INC. LOCATION: PROJ. SEC. 14, T.10 N., R.2 E., N.M.P.M. ALBUQUERQUE, NM SUBDIVISION: TRACT C-2-A-1, C-2-A-2 & C-2-A-3 CAMPBELL LANDS	DRAWN: E W K	SCALE: 1" = 60'	FILE NO. SP-8-01-2002
	CHECKED: T D J	DRAWING NO. SP80102.DWG	21 AUG 2002 SHEET 2 OF 2



VICINITY MAP (J-11) NO SCALE

**SUBDIVISION DATA**

- DRB Proj. No.
- Zone Atlas Index No. J-11
- Current Zoning SU-1 C-1 and O-1 uses
- Gross acreage 4.1163 ac.
- Total Number of Tracts created - 1 -
- This plat has been prepared for the purposes of creating two tracts from one existing tract and to plat a tract owned by the City of Albuquerque that was conveyed to them by deed.

LOG NO. 2002341865

**NOTES**

- Bearings shown on this plat are New Mexico State Plane Grid Bearings, Central Zone, NAD 1927.
- Perimeter distances are field measurements were made on the ground between recovered and accepted monumentation within the subdivision. Bearings and distances appearing on the plat of record are shown in parentheses ( ).
- Monuments recovered and accepted or set are noted on inscribed plat.
- This plat shows all easements of record.
- Eighteen feet (18') of Public right-of-way has been dedicated to the City of Albuquerque in fee simple with warranty covenants by this plat.
- A portion of Tract C-2-A conveyed to the City of Albuquerque for Public Pedestrian Access and Right of Way by deed recorded March 1, 1994, in Book 94-7, Page 4157, as document No. 94028088. This tract is included in this platting action to bring it into conformance with the City of Albuquerque Subdivision Ordinance.
- A Common Use Ingress and Egress Easement for the benefit of Tracts C-2-A-1 and C-2-A-2 granted by this plat. Maintenance of said easement is the responsibility of the owner(s) of Tracts C-2-A-1 and C-2-A-2.

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
 UPC# 1 011 058 049 293 20203

PROPERTY OWNER OF RECORD:  
 ALBUQUERQUE LODGE No. 1517 LOYAL ORDER  
 OF MOOSE INC.

BERNALILLO COUNTY TREASURER'S OFFICE

**DESCRIPTION**

Tract "C-2-A", of the CAMPBELL LANDS, Summary Plat showing redivision of Tract "C", Airport Unit, Town of Atrisco Grant, Albuquerque, New Mexico, as the same is shown and designated on the Summary Plat of said Subdivision, filed in the Office of the County Clerk of Bernalillo County, New Mexico, on April 26, 1977, in Plat Book B12, folio 178, together with that portion excepted from the conveyance to the City of Albuquerque, a Municipal corporation, filed March 1, 1994, recorded in Book 94-7, Page 4157, as Document No. 94028088, records of Bernalillo County, New Mexico, and being more particularly described as follows:  
 BEGINNING at the Northwest corner of the property herein described, being a point on the Easterly Right-of-Way line of Coors Boulevard, NW, from whence the ACS Monument "18-J11" bears N 17° 39' 05" E, 495.22 feet distant;  
 THENCE leaving said Right-of-Way line, S 71° 02' 08" E, 273.21 feet to the Northeast corner, being a point on the Westerly Right-of-Way line of Estancia Drive, NW;  
 THENCE along said Westerly Right-of-Way line, S 00° 37' 12" W, 439.98 feet to the Southeast corner;  
 THENCE leaving said Right-of-Way line, N 89° 22' 48" W, 180.00 feet;  
 THENCE S 00° 37' 12" W, 120.00 feet to a point on the Northerly Right-of-Way line of Fortuna Road, NW;  
 THENCE along said Northerly Right-of-Way line, N 89° 12' 31" W, 96.58 feet;  
 THENCE leaving said Right-of-Way line, N 00° 43' 02" E, 142.38 feet;  
 THENCE N 89° 27' 39" W, 149.90 feet to the Southwest corner, being a point on said Easterly Right-of-Way line of Coors Boulevard, NW;  
 THENCE along said Easterly Right-of-Way line, N 18° 57' 52" E, 530.68 feet to the Point of Beginning and containing 4.1163 acres, more or less.

**FREE CONSENT AND DEDICATION**

The division of Tract# C-2-A of CAMPBELL LANDS into two tracts, dedication of additional right-of-way to the City of Albuquerque in fee simple with warranty covenants and granting of a common use, ingress and egress easement is with the free consent and in accordance with the desires of the undersigned owner.

\_\_\_\_\_, Authorized representative of the Loyal Order of Moose, a New Mexico Corporation, on behalf of said corporation.

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) ss

On this \_\_\_\_\_ day of \_\_\_\_\_, 2002, the foregoing instrument was acknowledged before me by \_\_\_\_\_, Authorized representative of the Loyal Order of Moose, a New Mexico Corporation, on behalf of said corporation.

My Commission expires \_\_\_\_\_

\_\_\_\_\_  
 Notary Public

**FREE CONSENT**

The platting of Tract C-2-A-3 of CAMPBELL LANDS as shown hereon, dedication of additional right-of-way to the City of Albuquerque in fee simple is with the free consent and in accordance with the desires of the undersigned owner.

\_\_\_\_\_  
 Joy J. Czar, Chief Administrative Officer, City of Albuquerque, a Municipal Corporation

**ACKNOWLEDGMENT**

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) ss

This instrument was acknowledged before me on \_\_\_\_\_, 2002, by Joy J. Czar, Chief Administrative Officer of the City of Albuquerque, New Mexico, a Municipal Corporation.

My Commission expires \_\_\_\_\_

\_\_\_\_\_  
 Notary Public

PLAT OF  
 TRACTS C-2-A-1,  
 C-2-A-2 and C-2-A-3  
 CAMPBELL LANDS  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 A REPLAT OF TRACT C-2-A, CAMPBELL LANDS  
 WITHIN PROJECTED SEC. 14, T. 10 N., R. 2 E., NMPM  
 TOWN OF ATRISCO GRANT

AUGUST 2002

APPROVALS as specified by the City of Albuquerque Subdivision Ordinance:

PROJECT NO. \_\_\_\_\_ APPLICATION NO. \_\_\_\_\_

\_\_\_\_\_  
 Planning Director, City of Albuquerque Do

\_\_\_\_\_  
 Property Management, City of Albuquerque Do

\_\_\_\_\_  
 Traffic Engineer, City of Albuquerque Do

\_\_\_\_\_  
 Water Utilities Department, City of Albuquerque Do

\_\_\_\_\_  
 City Surveyor, City of Albuquerque Do

\_\_\_\_\_  
 Parks and Recreation, City of Albuquerque Do

\_\_\_\_\_  
 A.M.A.F.C.A. Do

\_\_\_\_\_  
 City Engineer, City of Albuquerque Do

**SURVEYOR'S CERTIFICATE**

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys as adopted by the New Mexico State Board of Registration for Professional Engineers and Surveyors, effective October 1, 2000 and is true and correct to the best of my knowledge and belief.

Thomas D. Johnston, N.M.P.S. No. 14269

Date

**WAYJOHN SURVEYING, INC**  
 330 LOUISIANA BLVD., N.E  
 ALBUQUERQUE, N.M. 8710  
 PHONE: 255-2052 FAX: 255-2887

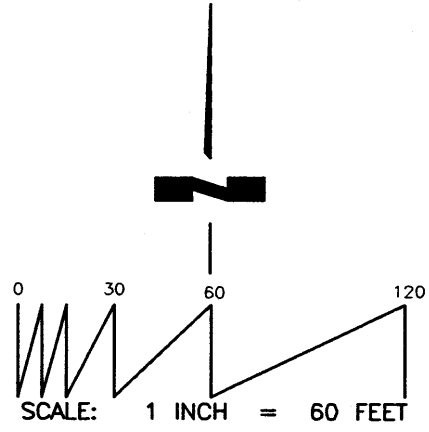
INDEXING INFORMATION FOR COUNTY CLERK OWNER: LOYAL ORDER OF MOOSE, INC. LOCATION: SEC. 9, T.10 N., R.3 E., N.M.P.M. ALBUQUERQUE, NM SUBDIVISION: TRACT C-2-A-1, C-2-A-2 & C-2-A-3 CAMPBELL LANDS	DRAWN: E W K	SCALE: 1" = 60'	FILE NO. SP-8-01-200
	CHECKED: T D J DRAWING NO. SP80102.DWG	21 AUG 2002	SHEET 1 OF 1

PLAT OF  
TRACTS C-2-A-1,  
C-2-A-2 and C-2-A-3  
**CAMPBELL LANDS**

ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

A REPLAT OF TRACT C-2-A, CAMPBELL LANDS  
WITHIN PROJECTED SEC. 14, T. 10 N., R. 2 E., NMPM  
TOWN OF ATRISCO GRANT

AUGUST 2002

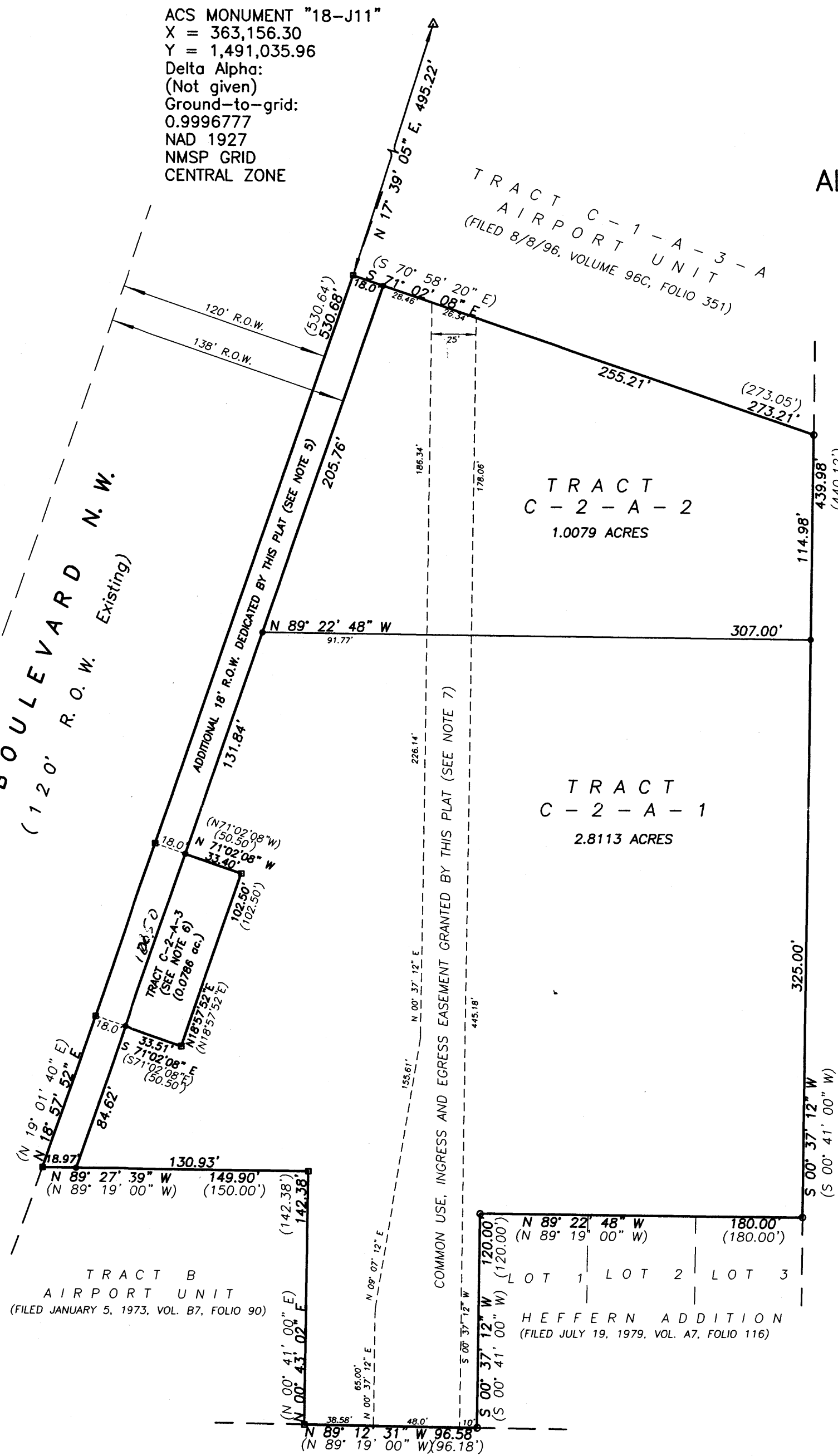


ACS MONUMENT "18-J11"  
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Delta Alpha:  
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0.9996777  
NAD 1927  
NMSP GRID  
CENTRAL ZONE

COORS BOULEVARD N. W.  
(120' R.O.W. Existing)

ESTANCIA DRIVE, N. W.  
(60' R.O.W.)

FORTUNA ROAD N. W.  
(60' R.O.W.)



LEGEND:

- SET #4 REBAR WITH CAP "WAYJOHN PS 14269"
  - FOUND #4 REBAR - NO CAP
  - FOUND #4 REBAR AND CAP "PS 11463"
- ALL FOUND AND ACCEPTED MONUMENTS TAGGED WITH WASHER "PS 14269".

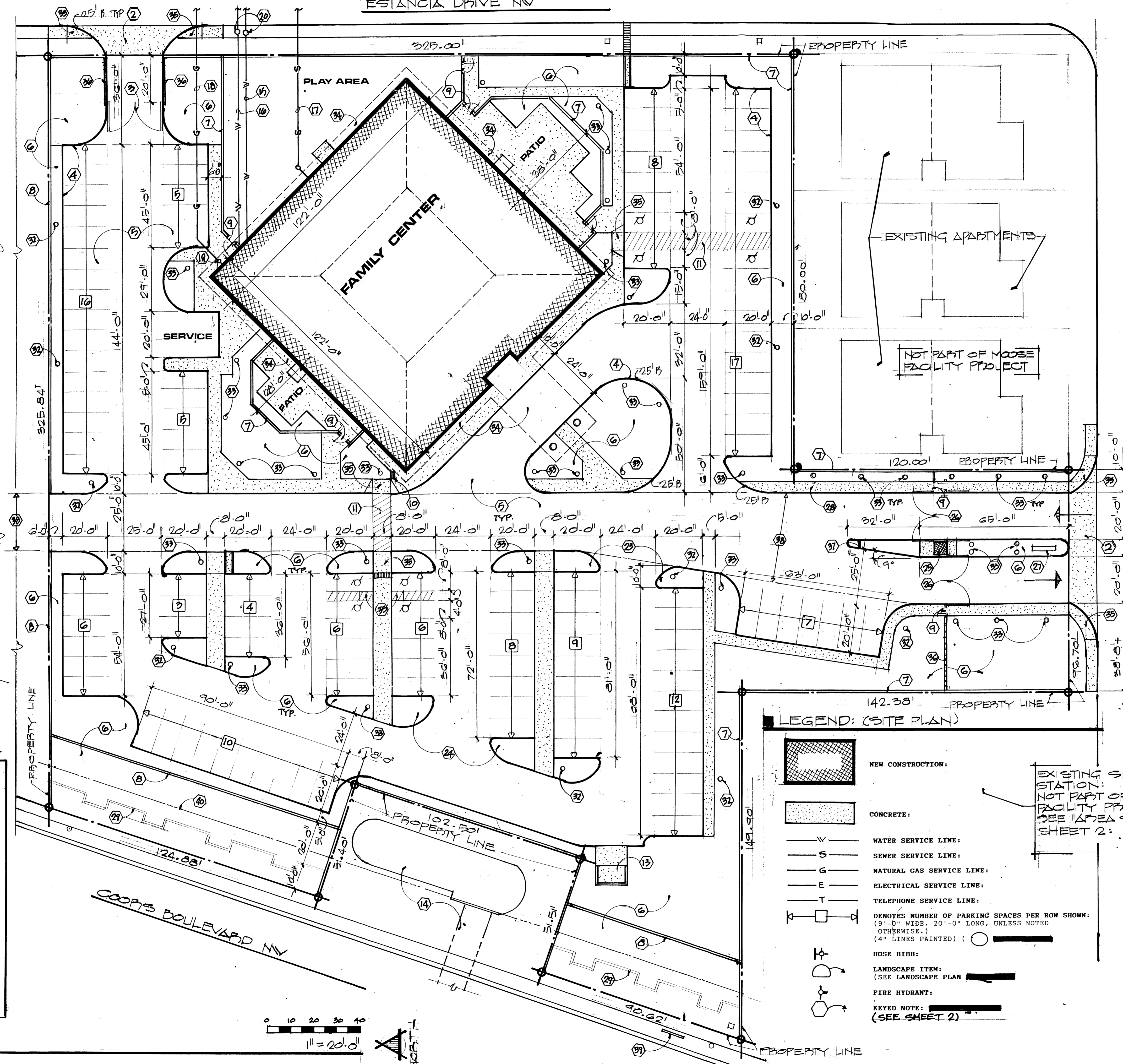
**WAYJOHN SURVEYING, INC.**  
330 LOUISIANA BLVD., N.E.  
ALBUQUERQUE, N.M. 87108  
PHONE: 255-2052 FAX: 255-2887

INDEXING INFORMATION FOR COUNTY CLERK OWNER: LOYAL ORDER OF MOOSE, INC. LOCATION: SEC. 14, T. 10 N., R. 2 E., N.M.P.M. ALBUQUERQUE, NM SUBDIVISION: TRACT C-2-A-1 & C-2-A-2 CAMPBELL LANDS	DRAWN: E W K	SCALE: 1" = 60'	FILE NO. SP-8-01-2002
	CHECKED: T D J	DRAWING NO. SP80102.DWG	21 AUG 2002

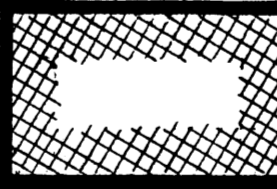

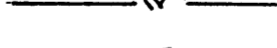


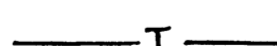
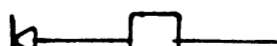





EXISTING DISCOUNT TIRE COMPANY FACILITY

VACANT

FORTUNA ROAD NW



LEGEND: (SITE PLAN)

-  NEW CONSTRUCTION:
-  CONCRETE:
-  WATER SERVICE LINE:
-  SEWER SERVICE LINE:
-  NATURAL GAS SERVICE LINE:
-  ELECTRICAL SERVICE LINE:
-  TELEPHONE SERVICE LINE:
-  DENOTES NUMBER OF PARKING SPACES PER ROW SHOWN: (9'-0" WIDE, 20'-0" LONG, UNLESS NOTED OTHERWISE.) (4" LINES PAINTED)
-  HOSE BIBB:
-  LANDSCAPE ITEM: (SEE LANDSCAPE PLAN)
-  FIRE HYDRANT:
-  KEYED NOTE: (SEE SHEET 2)

EXISTING SERVICE STATION: NOT PART OF MOOSE FACILITY PROJECT: SEE 11A-EA SITE PLAN SHEET 2.

**CASE NUMBER: Z-** \_\_\_\_\_

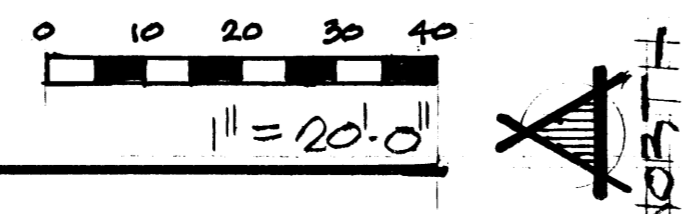
This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on \_\_\_\_\_ and that the findings and conditions in the Official Notice: Notification of Decision have been complied with:

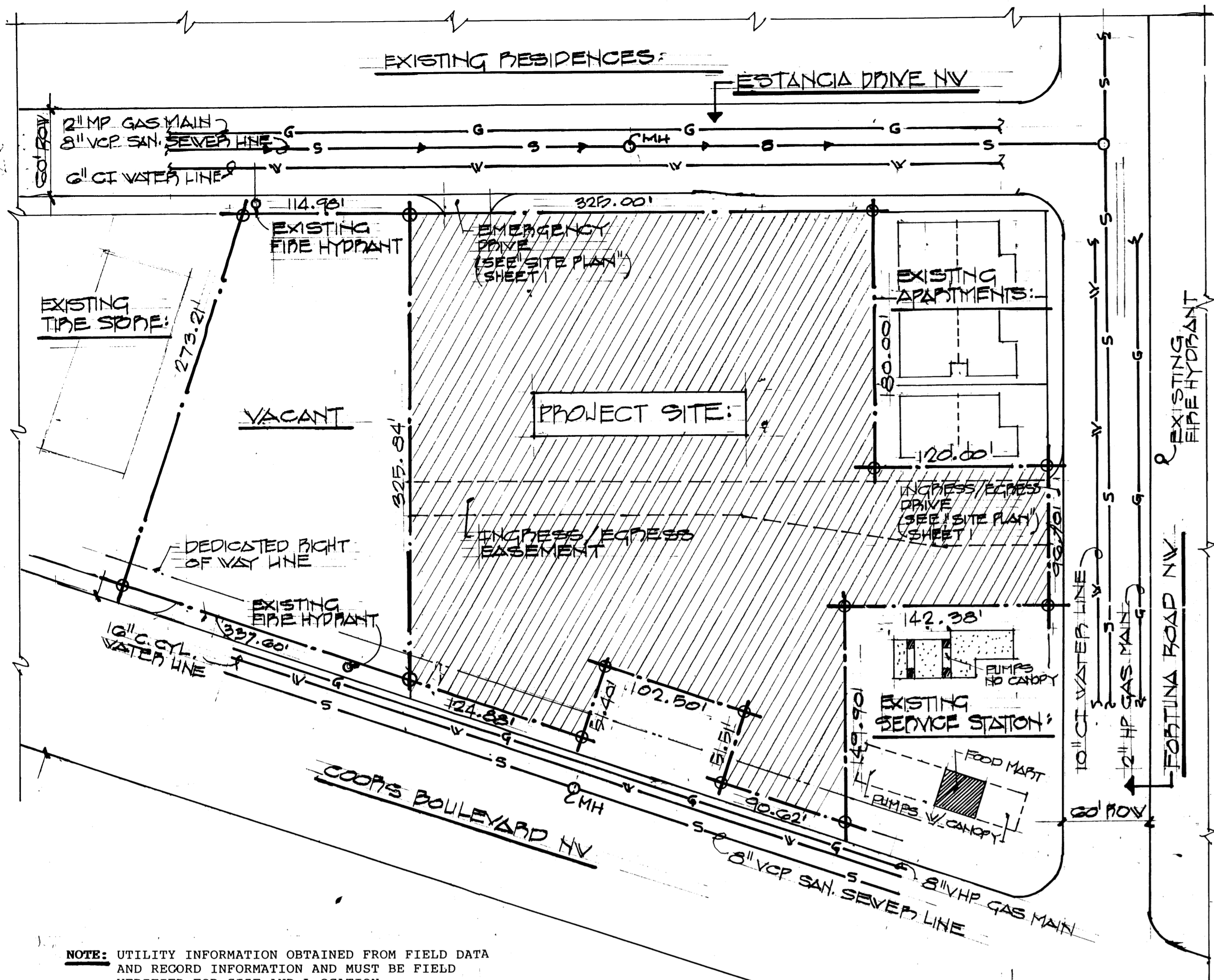
**SITE DEVELOPMENT PLAN**

Traffic Engineer, Transportation Division	Date _____
Parks & General Services Department	Date _____
Public Works, Water Utilities Division	Date _____
City Engineer, Engineering Division / AMAFCA	Date _____
<b>SOLID WASTE APPROVAL AND CONDITIONAL ACCEPTANCE:</b> as specified by the Development Process Manual.	<b>DATE</b> _____
City Planner, Albuquerque / Bernalillo County Planning Division	Date _____

PLNZ (10706) 4/96

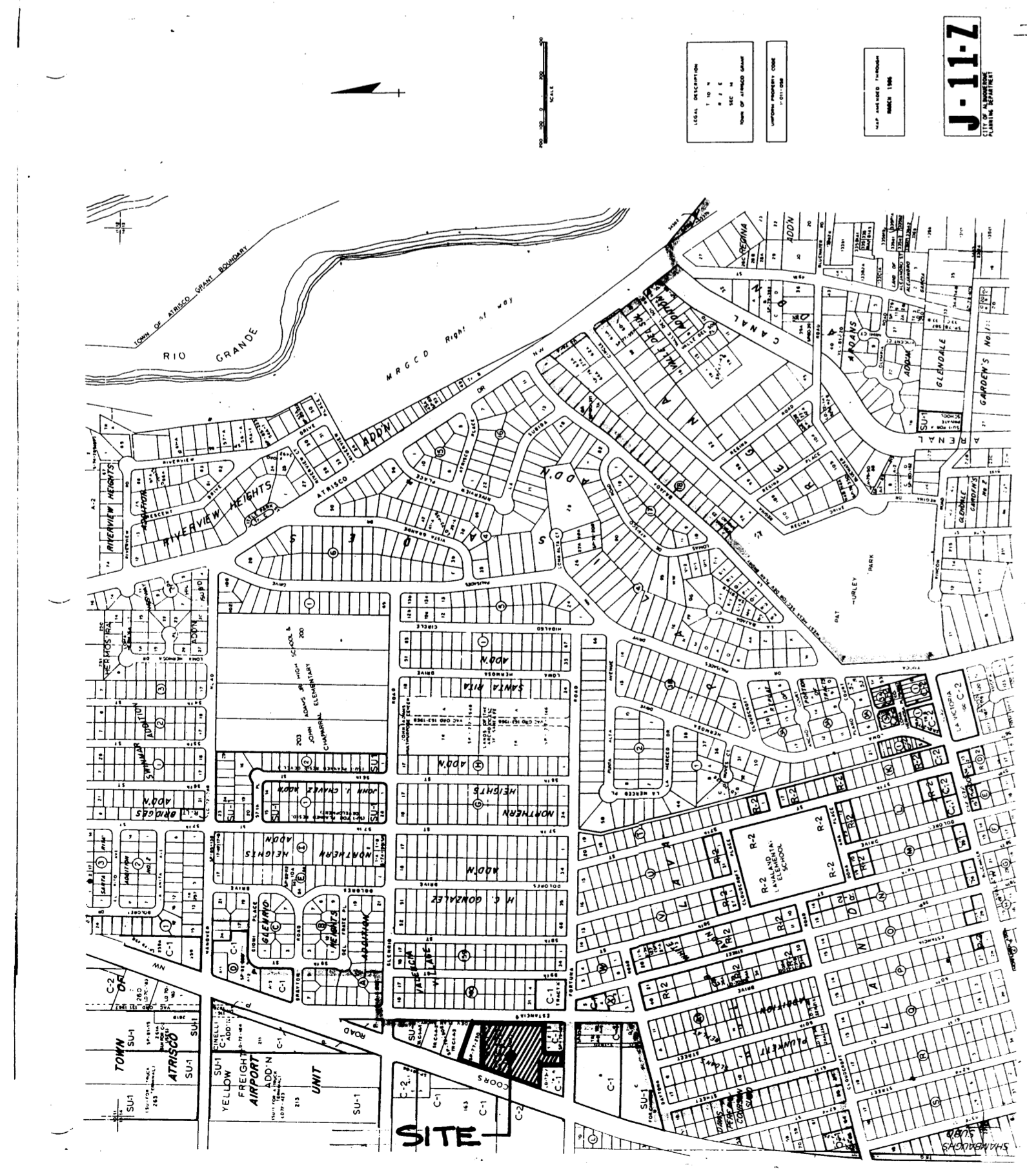
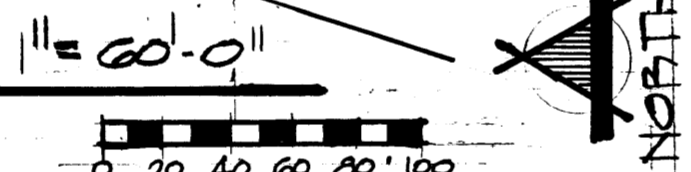
SITE PLAN:





NOTE: UTILITY INFORMATION OBTAINED FROM FIELD DATA AND RECORD INFORMATION AND MUST BE FIELD VERIFIED FOR SIZE AND LOCATION.

AREA SITE PLAN: (FOR ORIENTATION ONLY)



VICINITY PLAN:

SITE:

- DESCRIPTION: SOUTHERNLY 2.9 ACRES PORTION OF TRACT "C-2-A" OF THE CAMPBELL LANDS, A REVISION OF TRACT "C" AIRPORT UNIT OF ATRISCO GRANT, ALBUQUERQUE, NEW MEXICO. (PRESENTLY BEING REPLATED A TO BE IDENTIFIED AS TRACT "C-2-A-1")
- ADDRESS: 730 COORS BOULEVARD NW ALBUQUERQUE, NEW MEXICO
- AREA: 125,335 SF: (2.9 ACRES)
- ZONED: SU-1: (PROPOSED FOR A FRATERNAL CLUB)
- SEISMIC ZONE: 2B:
- ZONE ATLAS: J-11-2:

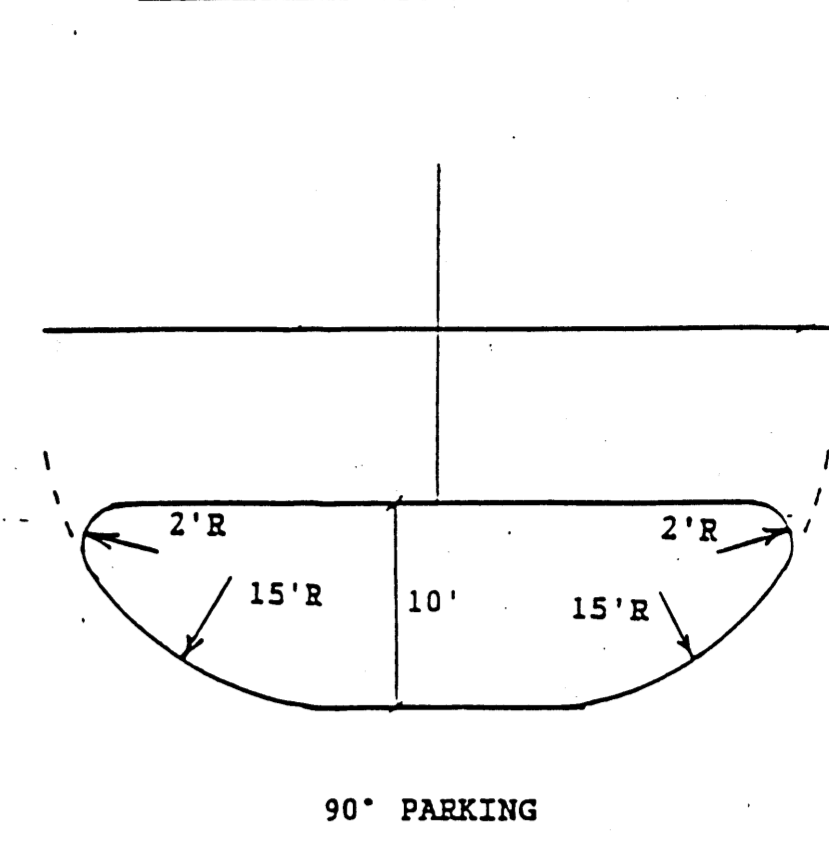
PROJECT:

- OCCUPANCY: A2.1: (FRATERNAL CLUB FACILITY)
- CONSTRUCTION: VN: (SPRINKLERED: 18,000 SF ALLOWABLE)
- AREA: 14,792 SF: (NLA: 12,854 SF:0)
- PARKING:
  - REQUIRED: (12,854 / 200)..... 65 SPACES:
  - DEDUCT..... 6 (BUS)
  - TOTAL..... 59 SPACES: (8 HANDICAPPED) (3 BICYCLES SPACES RACK:)
  - PROVIDED..... 122 SPACES: (8 HANDICAPPED)
- LANDSCAPING:
  - REQUIRED: (125,335 - 14,792) (.15) = 16,582 SF:
  - PROVIDED..... 29,572 SF: (27%)
- SETBACKS: 10'-0" MINIMUM:
- BUILDING HEIGHT: 26'-0" MAXIMUM:
- FLOOR AREA RATIO: 0.11:

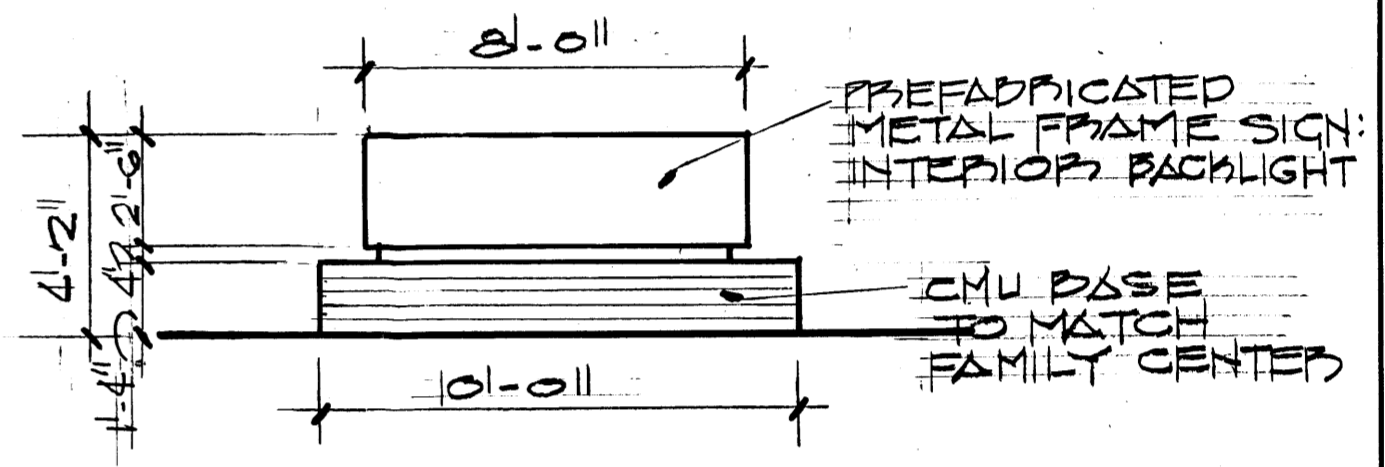
NOTES: (SITE PLAN)

- SEE AREA SITE PLAN, SHEET 2, FOR DIMENSIONS OF RIGHT OF WAYS, UTILITIES, EXISTING FIRE HYDRANTS AND ADJACENT PROPERTY AND EXISTING STRUCTURES.
- NEW CONCRETE DRIVE IN ACCORDANCE WITH CITY OF ALBUQUERQUE REQUIREMENTS SIDE WALK WITH HANDICAPPED RAMP AS REQUIRED. CURB AND GUTTER TO MATCH EXISTING.
- METAL GATES. (BLACK) (FOR EMERGENCY USE ONLY)
- CONCRETE CURB: TYPICAL:
- BITUMINOUS PAVING: TYPICAL:
- LANDSCAPE AREA: TYPICAL: (SEE LANDSCAPING PLAN)
- SOLID CMU WALL: 6'-0" HIGH: (CMU TO MATCH FAMILY CENTER)
- 6'-0" HIGH CMU / METAL COMBINATION WALL: (CMU TO MATCH FAMILY CENTER METAL BLACK)
- METAL GATE: (BLACK)
- BICYCLE RACK:
- PAINTED HANDICAPPED PATH:
- FASCIA LINE:
- TRASH RECEPTACLE ENCLOSURE IN ACCORDANCE WITH CITY OF ALBUQUERQUE REQUIREMENTS: (CMU WALLS TO MATCH FAMILY CENTER)
- PEDESTRIAN CROSSOVER AREA: (EXISTING)
- BUILDING WATER LINE FROM ESTANCIA DRIVE: (SEE AREA SITE PLAN, SHEET 2)
- FIRE SUPPRESSION SPRINKLER SYSTEM WATER SERVICE LINE FROM ESTANCIA DRIVE: (SEE AREA SITE PLAN, SHEET 2)
- BUILDING SANITARY SEWER LINE FROM ESTANCIA DRIVE: (SEE AREA SITE PLAN, SHEET 2)
- NATURAL GAS SERVICE LINE FROM ESTANCIA DRIVE: SEE AREA SITE PLAN, SHEET 2)
- GAS METER:
- WATER METER:
- EXISTING FIRE HYDRANT: (SEE AREA SITE PLAN, SHEET 2)
- DELETED
- DELETED
- TYPICAL END ISLAND AS PER CITY OF ALBUQUERQUE REQUIREMENTS: (SEE DETAIL, SHEET 2)
- END ISLANDS SIMILAR TO :23" ABOVE:
- ENTRY SECURITY HUT: (SEE EXTERIOR ELEVATIONS, SHEET 4 MATCHES FAMILY CENTER)
- METAL GATE: (BLACK)
- SIGN LOCATION: (SEE ELEVATION, SHEET 2)
- CONCRETE WALK: TYPICAL: (5'-0" WIDE UNLESS NOTED OTHERWISE)
- CMU WALL, 1'-4" HIGH: (MATCH FAMILY CENTER)
- DELETED
- EXTERIOR LIGHTING:
  - BUILDING: DOWNLIGHTING UNDER OVERHANG SOFFIT:
  - WALKES / LANDSCAPING: LOW BOLLARD TYPE, 3'-0" HI HIGH MAXIMUM:
  - PARKING AREA: ANY POLE LIGHTING WILL BE HIGH MAXIMUM AND WOULD BE LOCATED AT THE AREA CLOSEST TO COORS BOULEVARD.
- LIGHT FIXTURES SHALL COMPLY WITH AREA LIGHT, ILLUMINATION, ETC REGULATIONS.
- POLE LIGHT: (16'-0" HIGH MAXIMUM)
- BOLLARD LIGHT: (3'-0" HIGH MAXIMUM)
- DOWNLIGHTS UNDER SOFFIT:
- HANDICAPPED RAMP:
- METAL FENCE: 6'-0" HIGH. (BLACK)
- DIRECTIONAL SIGN:
- COMMON USE INGRESS AND EGRESS EASEMENT: (SEE REPLAT DOCUMENTS ATTACHED)
- BUS STOP:
- DEDICATED RIGHT OF WAY LINE: (SEE REPLAT DOCUMENTS ATTACHED)

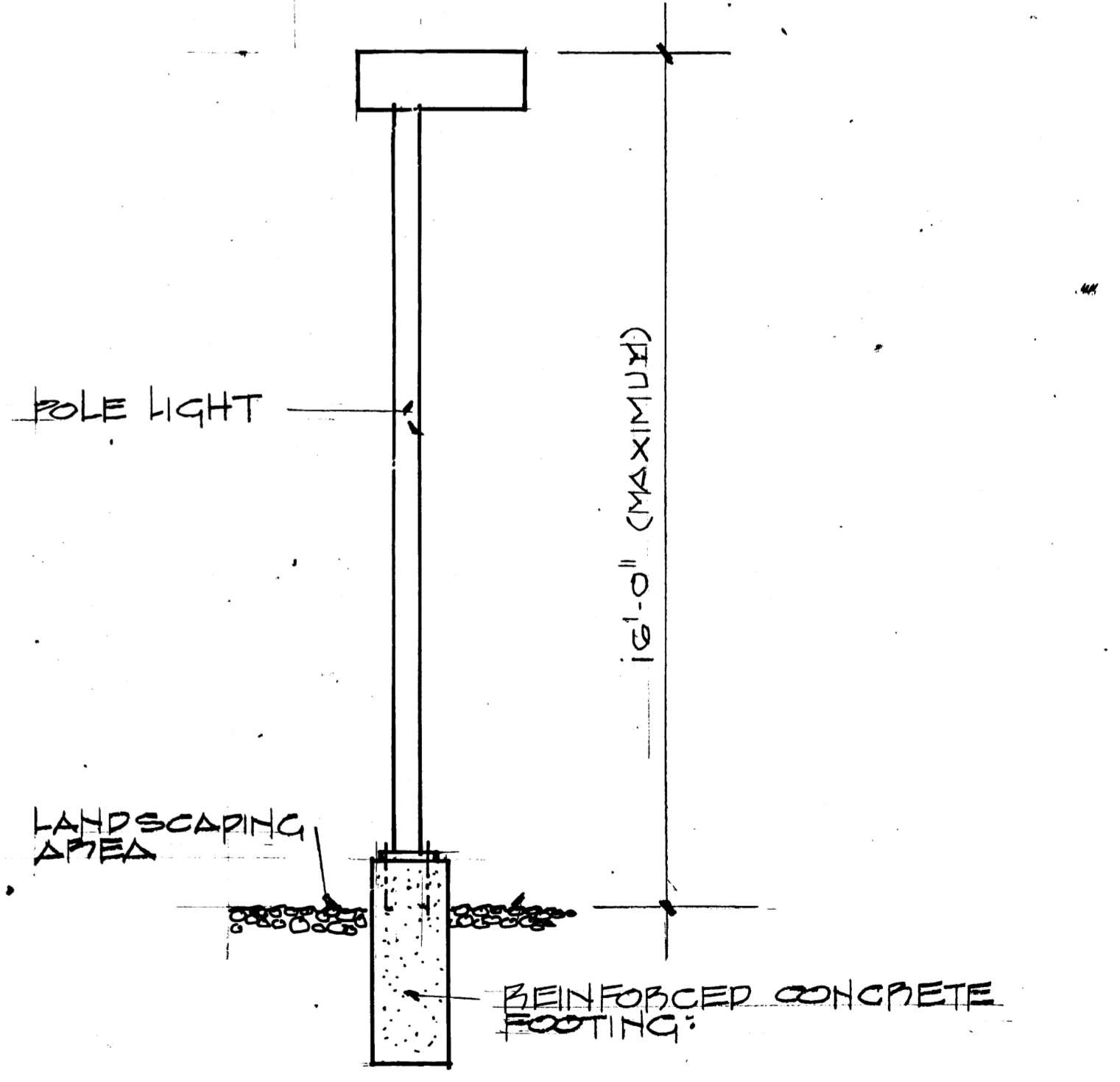
FIGURE END OF AISLE ISLANDS (BY CITY OF ALBUQUERQUE)



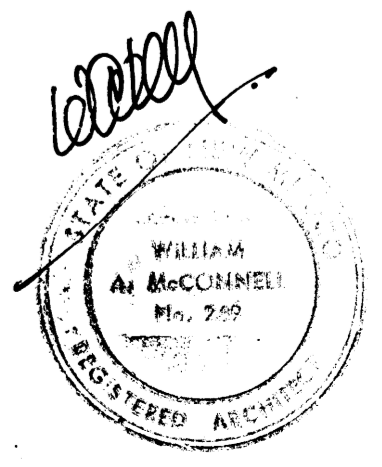
PARKING ISLAND PLAN: (TYPICAL) 1"=10'-0"



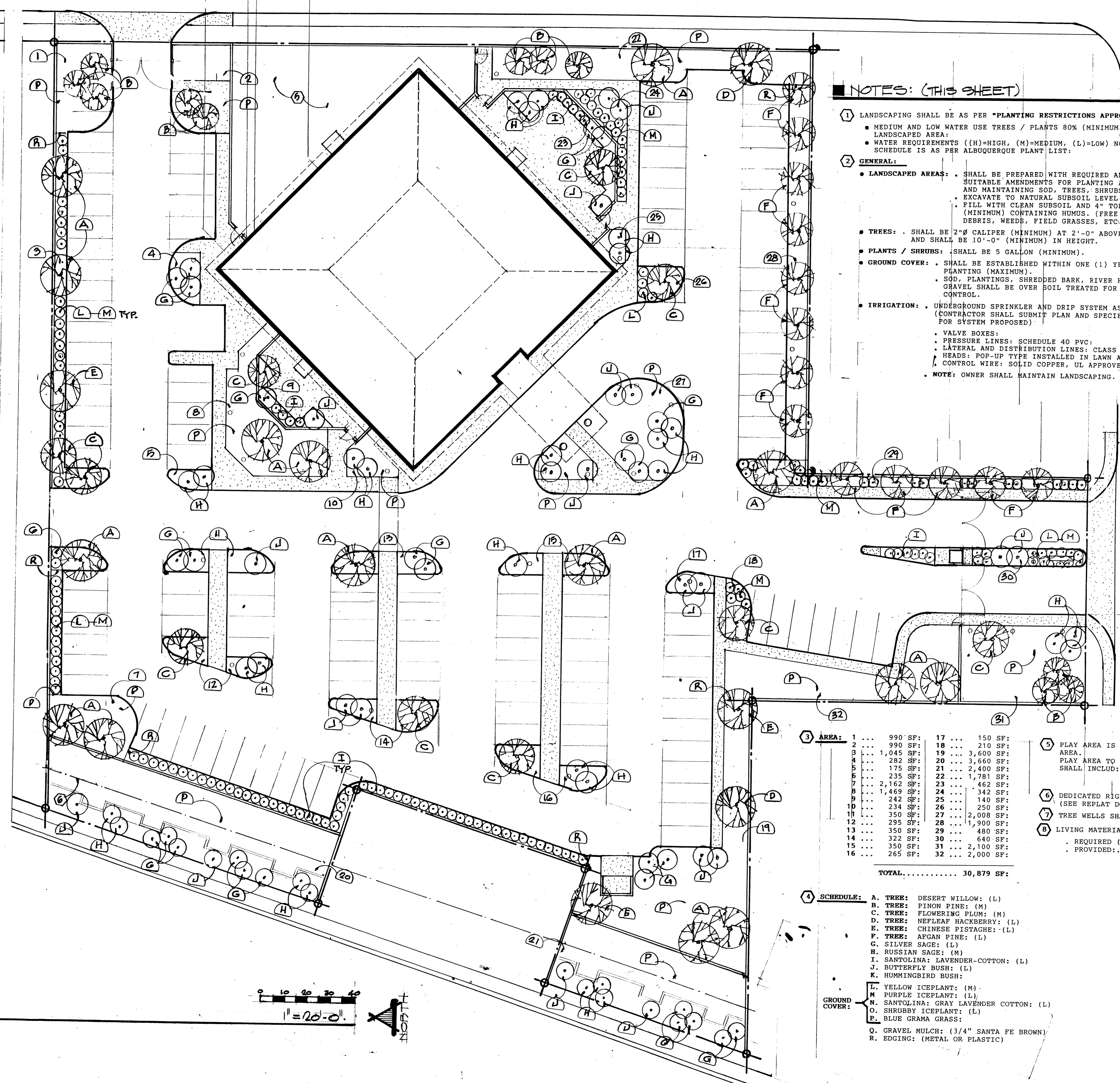
SIGN ELEVATION: 1/4"=1'-0"



POLE LIGHT: 3/8"=1'-0"







**NOTES: (THIS SHEET)**

- 1 LANDSCAPING SHALL BE AS PER "PLANTING RESTRICTIONS APPROACH":
- MEDIUM AND LOW WATER USE TREES / PLANTS 80% (MINIMUM) OF LANDSCAPED AREA;
  - WATER REQUIREMENTS ((H)=HIGH, (M)=MEDIUM, (L)=LOW) NOTED ON SCHEDULE IS AS PER ALBUQUERQUE PLANT LIST;
- 2 GENERAL:
- LANDSCAPED AREAS: SHALL BE PREPARED WITH REQUIRED AND SUITABLE AMENDMENTS FOR PLANTING AND MAINTAINING SOD, TREES, SHRUBS, ETC.
    - EXCAVATE TO NATURAL SUBSOIL LEVEL;
    - FILL WITH CLEAN SUBSOIL AND 4" TOPSOIL (MINIMUM) CONTAINING HUMUS. (FREE OF DEBRIS, WEEDS, FIELD GRASSES, ETC.)
  - TREES: SHALL BE 2"Ø CALIPER (MINIMUM) AT 2'-0" ABOVE GROUND AND SHALL BE 10'-0" (MINIMUM) IN HEIGHT.
  - PLANTS / SHRUBS: SHALL BE 5 GALLON (MINIMUM).
  - GROUND COVER: SHALL BE ESTABLISHED WITHIN ONE (1) YEAR OF PLANTING (MAXIMUM).
    - SOD, PLANTINGS, SHREDDED BARK, RIVER RUN GRAVEL SHALL BE OVER SOIL TREATED FOR WEED CONTROL.
  - IRRIGATION: UNDERGROUND SPRINKLER AND DRIP SYSTEM AS FOLLOWS: (CONTRACTOR SHALL SUBMIT PLAN AND SPECIFICATIONS FOR SYSTEM PROPOSED)
    - VALVE BOXES:
    - PRESSURE LINES: SCHEDULE 40 PVC;
    - LATERAL AND DISTRIBUTION LINES: CLASS 200 PVC;
    - HEADS: POP-UP TYPE INSTALLED IN LAWN AREAS;
    - CONTROL WIRE: SOLID COPPER, UL APPROVED;
- NOTE: OWNER SHALL MAINTAIN LANDSCAPING.

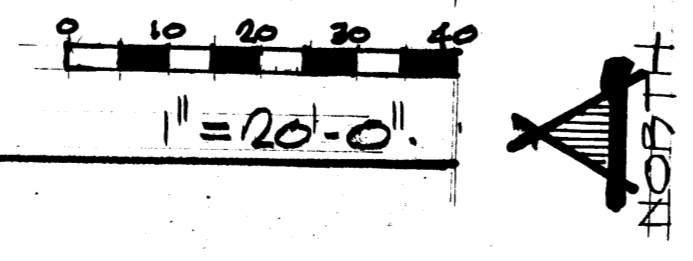
3 AREA:

1	990 SF:	17	150 SF:
2	990 SF:	18	210 SF:
3	1,045 SF:	19	3,600 SF:
4	282 SF:	20	3,660 SF:
5	175 SF:	21	2,400 SF:
6	235 SF:	22	1,781 SF:
7	2,162 SF:	23	462 SF:
8	1,469 SF:	24	342 SF:
9	242 SF:	25	140 SF:
10	234 SF:	26	250 SF:
11	350 SF:	27	2,008 SF:
12	295 SF:	28	1,900 SF:
13	350 SF:	29	480 SF:
14	322 SF:	30	640 SF:
15	350 SF:	31	2,100 SF:
16	265 SF:	32	2,000 SF:
<b>TOTAL..... 30,879 SF:</b>			

- 5 PLAY AREA IS NOT INCLUDED IN LANDSCAPING AREA.  
PLAY AREA TO BE DEVELOPED BY OTHERS:  
SHALL INCLUDE: SHADE TREES;  
GRASS AND OTHER APPROPRIATE SURFACES;
- 6 DEDICATED RIGHT OF WAY LINE:  
(SEE REPEAT DOCUMENTS ATTACHED)
- 7 TREE WELLS SHALL BE GRAVEL MULCH;
- 8 LIVING MATERIAL GROUND COVER:  
REQUIRED (75%):... 23,174 SF:  
PROVIDED:..... 25,846 SF:

- 4 SCHEDULE:
- A. TREE: DESERT WILLOW: (L)
  - B. TREE: PINON PINE: (M)
  - C. TREE: FLOWERING PLUM: (M)
  - D. TREE: NEFLEAF HACKBERRY: (L)
  - E. TREE: CHINESE PISTACHE: (L)
  - F. TREE: AFGAN PINE: (L)
  - G. SILVER SAGE: (L)
  - H. RUSSIAN SAGE: (M)
  - I. SANTOLINA: LAVENDER-COTTON: (L)
  - J. BUTTERFLY BUSH: (L)
  - K. HUMMINGBIRD BUSH:
  - L. YELLOW ICEPLANT: (M)
  - M. PURPLE ICEPLANT: (L)
  - N. SANTOLINA: GRAY LAVENDER COTTON: (L)
  - O. SHRUBBY ICEPLANT: (L)
  - P. BLUE GRAMA GRASS:
  - Q. GRAVEL MULCH: (3/4" SANTA FE BROWN)
  - R. EDGING: (METAL OR PLASTIC)
- GROUND COVER:

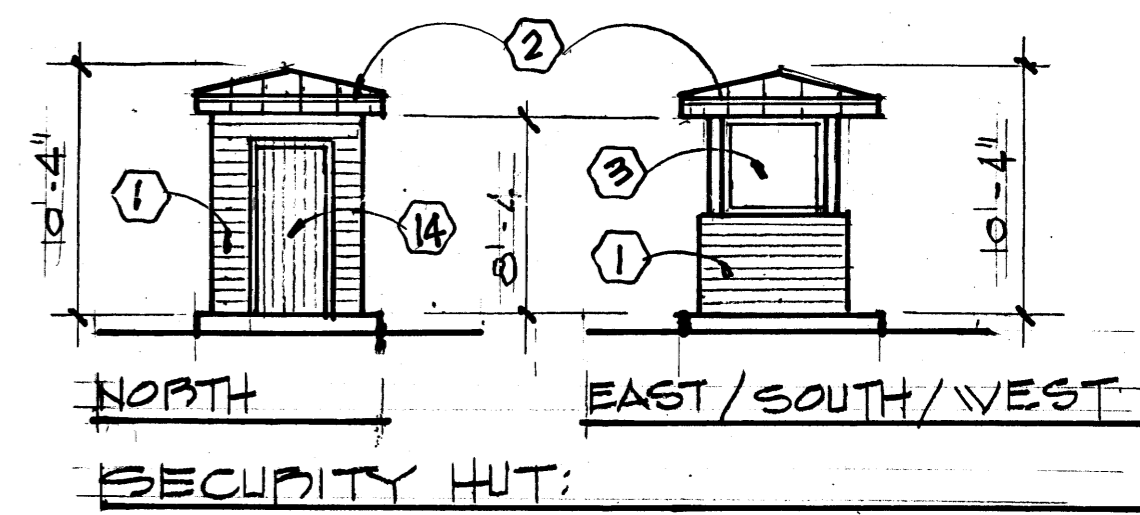
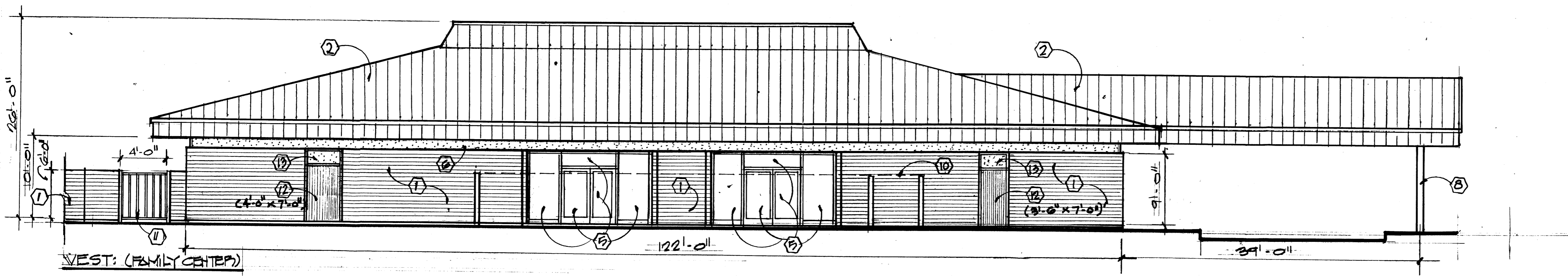
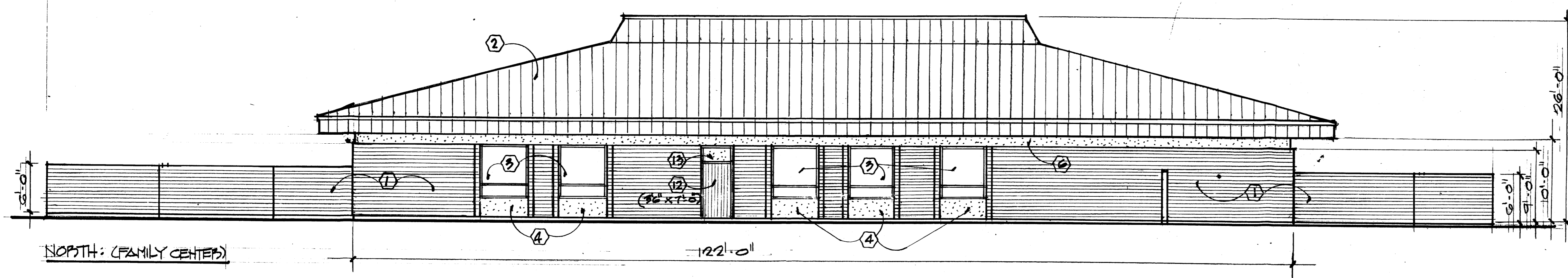
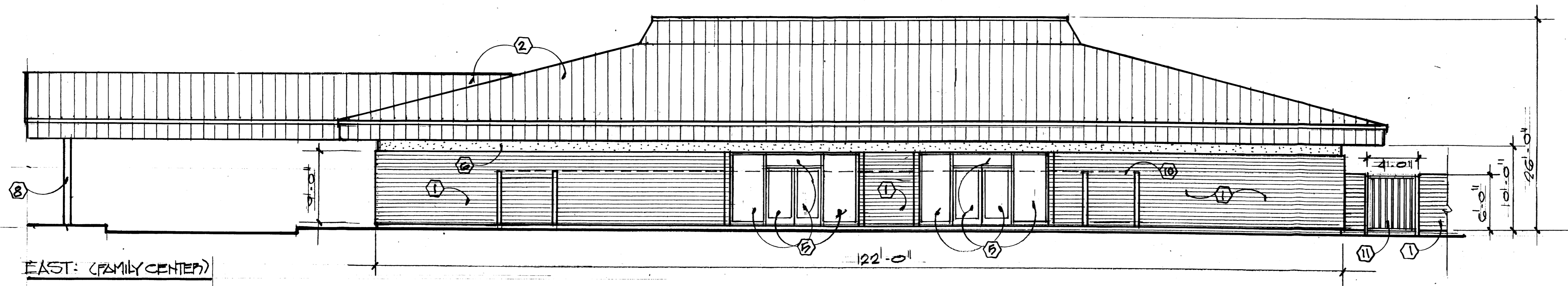
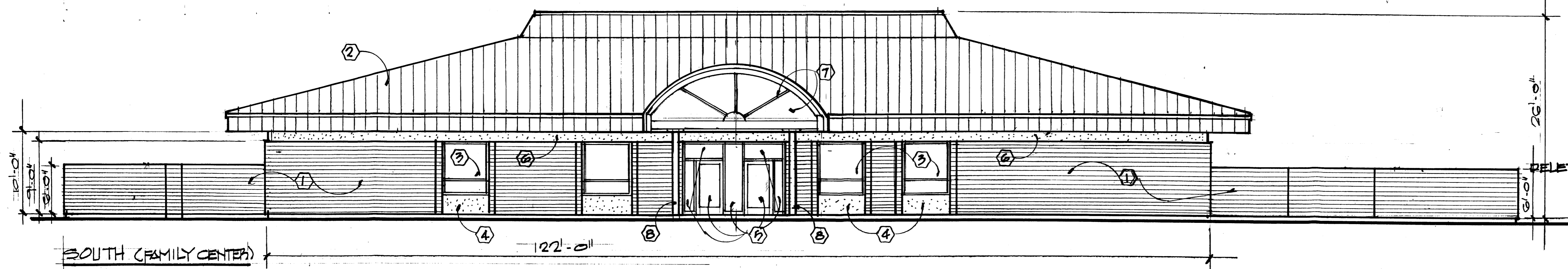
LANDSCAPING PLAN:



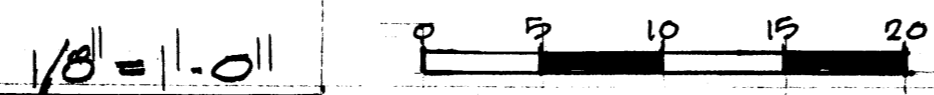
*W.A. Mc Connell*

NOTES: (THIS SHEET)

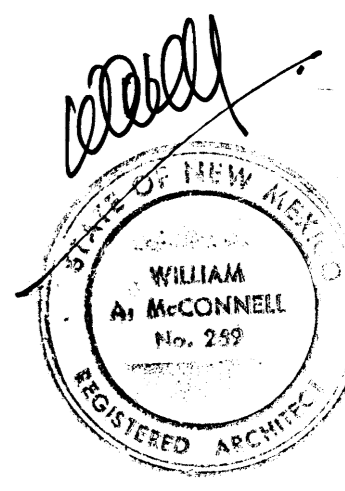
- 1 CMU VENEER: (BROWN) (SOLID AT PATIO WALLS)
- 2 PREFINISHED METAL ROOF: (BLUE)
- 3 WINDOW WITH METAL FRAME: TYPICAL: (BLACK) (6'-0" WIDE x 7'-0" HIGH)
- 4 GLASWELD PANEL AT WINDOWS: TYPICAL: (LIGHT BRONZE)
- 5 GLAZED ENTRY DOORS AND FRAME: (BLACK) (SIDELIGHTS / TRANSOMS MATCH DOOR) (DOORS: 3'-6" x 7'-0")
- 6 GLASWELD STRIP: TYPICAL: (LIGHT BRONZE)
- 7 EXPOSED METAL STRUCTURE: (BLACK) (OPEN BETWEEN MEMBERS: GLASWELD PANEL OVER ENTRY & BUILDING)
- 8 METAL POST: (BLUE: MATCHING ROOF)
- 9
- 10 LINE OF TOP OF PATIO WALL:
- 11 METAL GATE: (BLACK)
- 12 METAL DOOR AND FRAME: (BLACK)
- 13 GLASWELD PANEL: (LIGHT BRONZE)
- 14 METAL DOOR AND FRAME: (BLACK)

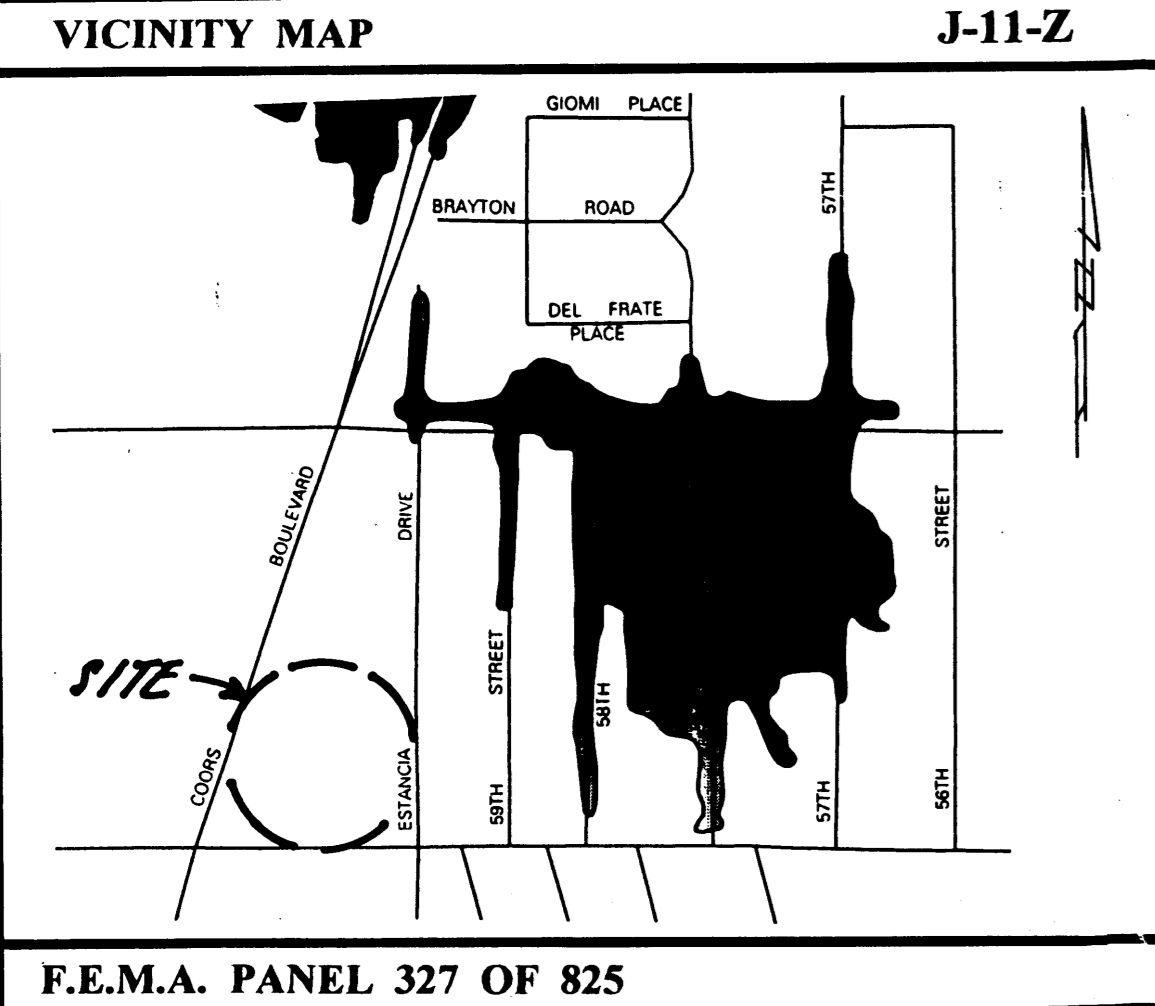
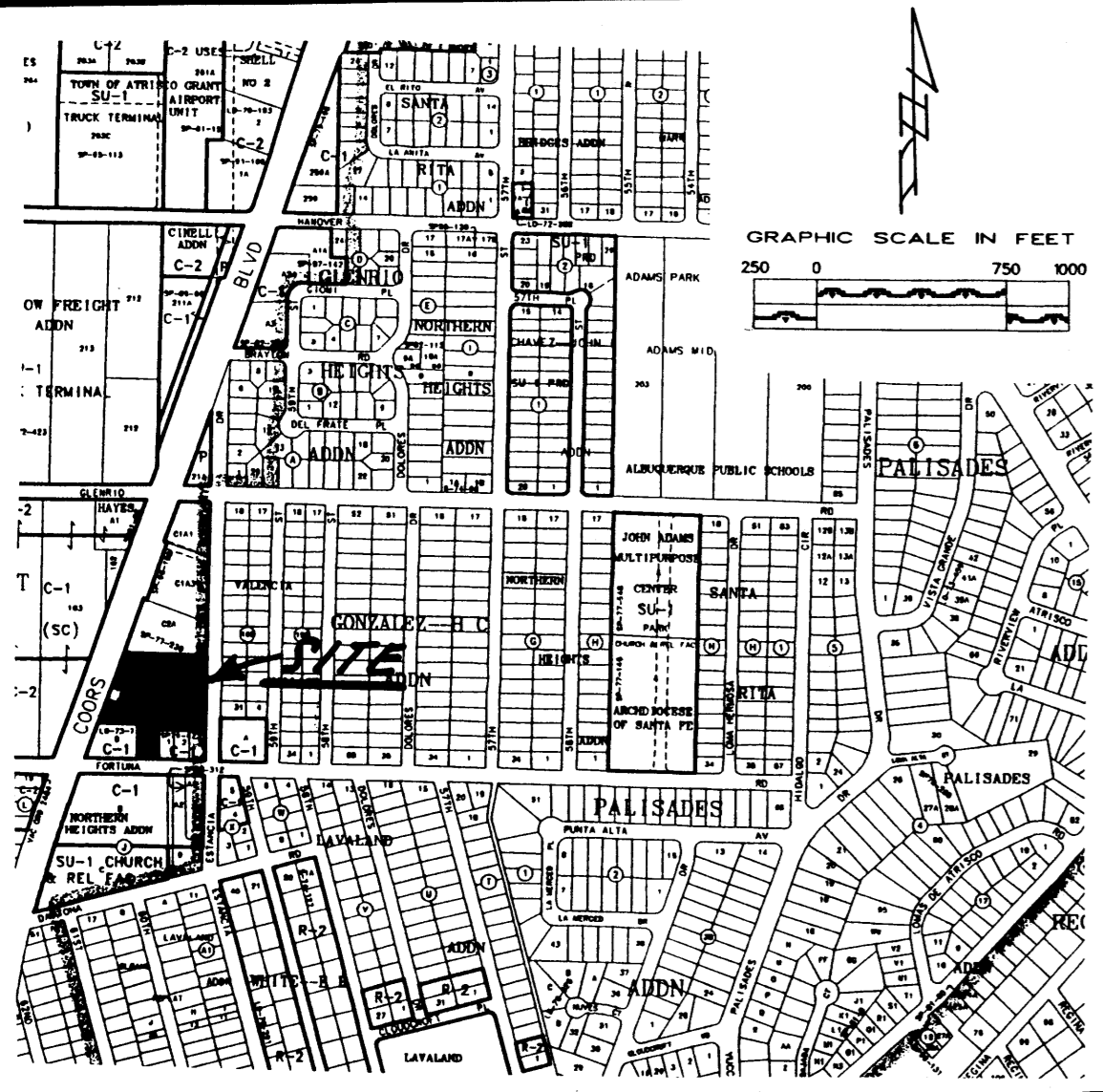


EXTERIOR ELEVATIONS:



MAY, 2002  
 EXTERIOR ELEVATIONS:  
 (EPC SUBMITTAL)  
 MOOSE FAMILY CENTER, LODGE 1817,  
 ALBUQUERQUE, NEW MEXICO  
 WILLIAM A. MC CONNELL - ARCHITECT  
 NEW MEXICO  
 4





F.E.M.A. PANEL 327 OF 825

**EROSION CONTROL MEASURES:**  
 THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

**CONSTRUCTION NOTES:**

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS(S) OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

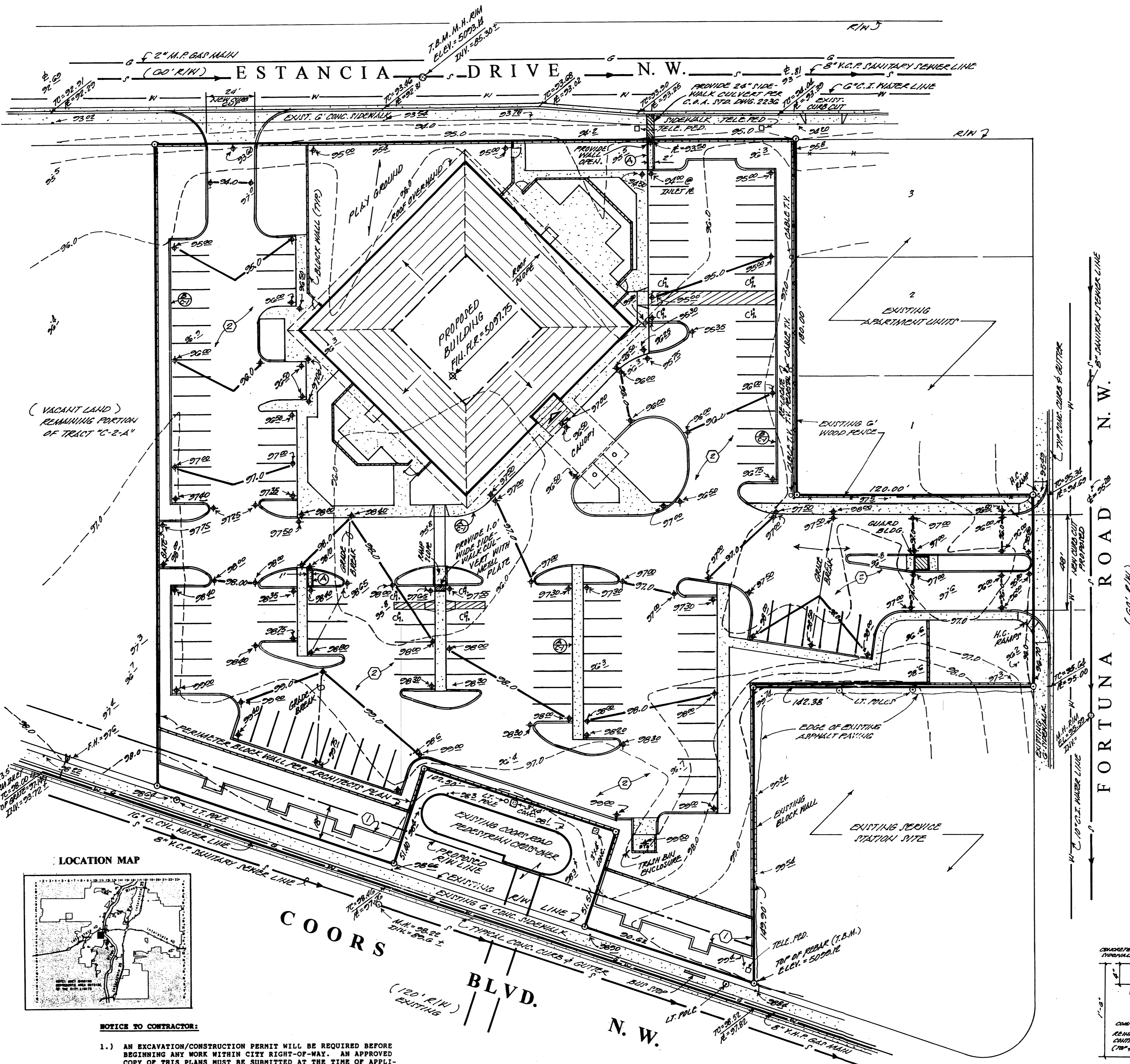
**LEGEND:**  
 TOP OF CURB ELEVATION = 70'-02.21'  
 CURB FLOWLINE ELEVATION = 69'-02.20'  
 EXISTING SPOT ELEVATION = 69'-02.20'  
 EXISTING CONTOUR ELEVATION = 69'-02.20'  
 PROPOSED SPOT ELEVATION = 69'-02.20'  
 PROPOSED CONTOUR ELEVATION = 69'-02.20'  
 PROPOSED OR EXISTING CONCRETE SURFACE = [Symbol]  
 EXISTING FENCE LINE = [Symbol]

**LEGAL DESCRIPTION:**

A SOUTHERLY PORTION OF TRACT "C-2-A", OF THE CAMPBELL LANDS, A REDIVISION OF TRACT "C", AIRPORT UNIT, TOWN OF ATRISCO GRANT, ALBUQUERQUE, NEW MEXICO; (PRESENTLY BEING REPLATTED AND TO BE IDENTIFIED AS TRACT "C-2-A-1".

**BENCH MARK REFERENCE:**

ACS STATION "18-J11", M.S.L.D. ELEVATION = 5096.81; (PROJECT T.B.M. AS SHOWN ON THE PLAN HEREON).



**NOTICE TO CONTRACTOR:**

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION OF THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATION - PUBLIC WORKS CONSTRUCTION - 1985.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

**Note:** Architect to provide roof drain design to outlet through sidewalk(s) and onto proposed asphalt paved parking area(s).

**Note:** Proposed new asphalt paved parking area's.

**Note:** Proposed Landscape Wall (1.5' ±) high per Architect's design.

APPROVALS	NAME	DATE
HYDROLOGY INSPECTOR		

**GENERAL NOTES:**

- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

**PRECIPITATION ZONES**  
 Bernalillo County's four precipitation zones are indicated in TABLE A-1 and in FIGURE A-1.

Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40

**FIGURE A-1**

Where a watershed extends across a zone boundary, use the zone which contains the largest portion of the watershed.

Zone	Intensity
1	4.70 (1.84, 3.14)
2	5.05 (2.04, 3.41)
3	5.38 (2.21, 3.85)
4	5.81 (2.34, 3.83)

Zone	A	B	C	D
1	1.29 (0.00, 2.24)	2.50 (0.23, 0.78)	2.87 (0.47, 1.07)	4.27 (1.00, 2.28)
2	1.58 (0.00, 2.58)	2.28 (0.00, 0.95)	3.14 (0.60, 1.71)	4.70 (1.86, 3.14)
3	1.87 (0.00, 2.58)	2.80 (0.21, 1.19)	3.46 (0.78, 2.20)	5.22 (2.04, 3.29)
4	2.20 (0.25, 0.87)	2.92 (0.36, 1.45)	3.73 (1.00, 2.28)	5.25 (2.17, 3.87)

**DRAINAGE COMMENTS:**  
 AS SHOWN ON THE VICINITY MAP HEREOF, THE SUBJECT SITE IS LOCATED AT THE APPROXIMATE NORTHEAST CORNER OF THE INTERSECTION OF COORS BLVD. N.W. AND FORTUNA ROAD N.W., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (CITY ZONE ATLAS "J-11-Z").

THE SUBJECT SITE IS PRESENTLY AN UNDEVELOPED "MIXED ZONE" PROPERTY THAT IS TO HAVE A PROPOSED FACILITY CONSTRUCTED FOR THE MOOSE FAMILY CENTER LODGE NO. 1517, TOGETHER WITH ALL ASSOCIATED IMPROVEMENTS THEREON.

THE SUBJECT SITE, 1) DOES NOT LIE WITHIN A DESIGNATED FLOODPLAIN (RE: F.E.M.A. PANEL 327 OF 825 ), 2) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES, 3) DOES NOT CONTRIBUTE TO THE OFFSITE FLOWS OF ADJACENT PROPERTIES, 4) DOES NOT LIE ADJACENT TO A NATURAL OR ARTIFICIAL WATER COURSE, 5) IS ALLOWED TO FREE DISCHARGE DEVELOPED FLOWS FROM SAID PROPERTY.

**CALCULATIONS:**  
 PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

SITE AREA: 2.90 ACRES  
 PRECIPITATION ZONE: ONE (1)  
 PEAK INTENSITY: IN/HR. AT Tc = TWELVE (12) MINUTES, 100 YR./6 HR. = 4.70  
 LAND TREATMENT METHOD FOR CALCULATION OF "Qp", TABLES 'A-8' AND 'A-9'  
 LAND TREATMENT FACTORS, TABLE 'A-4':

**EXISTING CONDITIONS:**

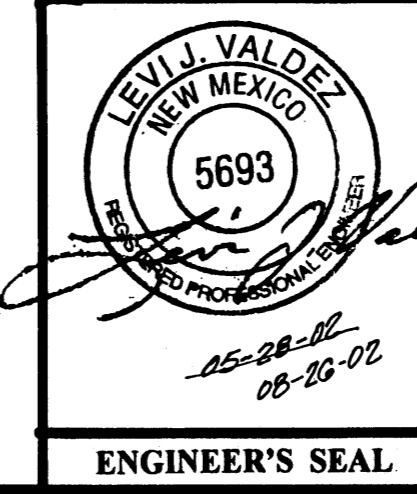
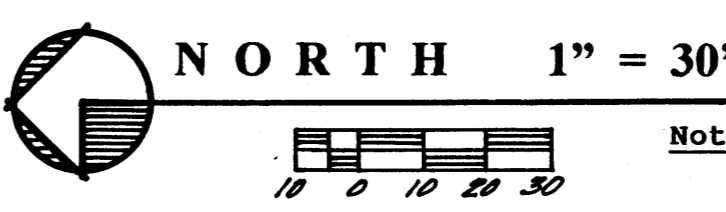
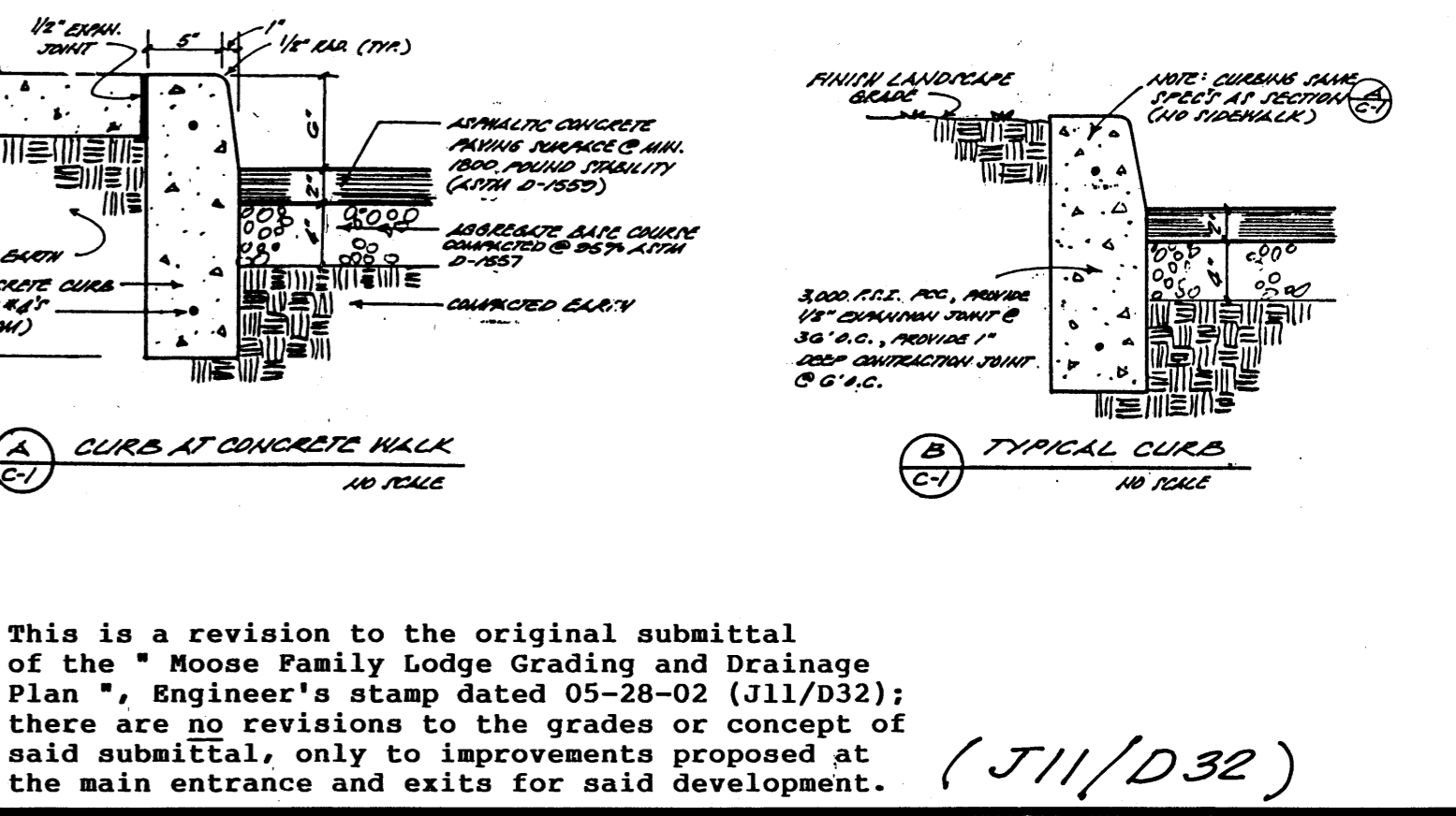
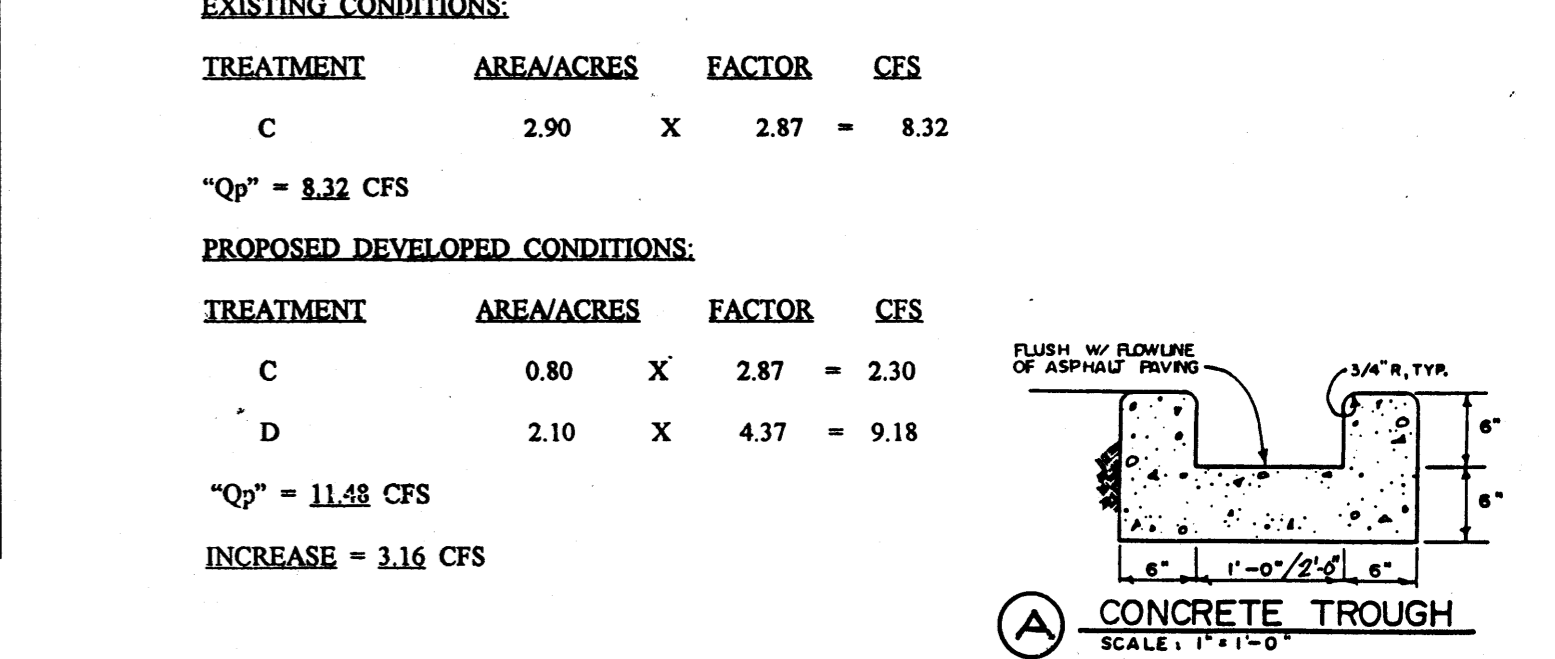
TREATMENT	AREA/ACRES	FACTOR	CFS
C	2.90	X 2.87	= 8.32

"Qp" = 8.32 CFS

**PROPOSED DEVELOPED CONDITIONS:**

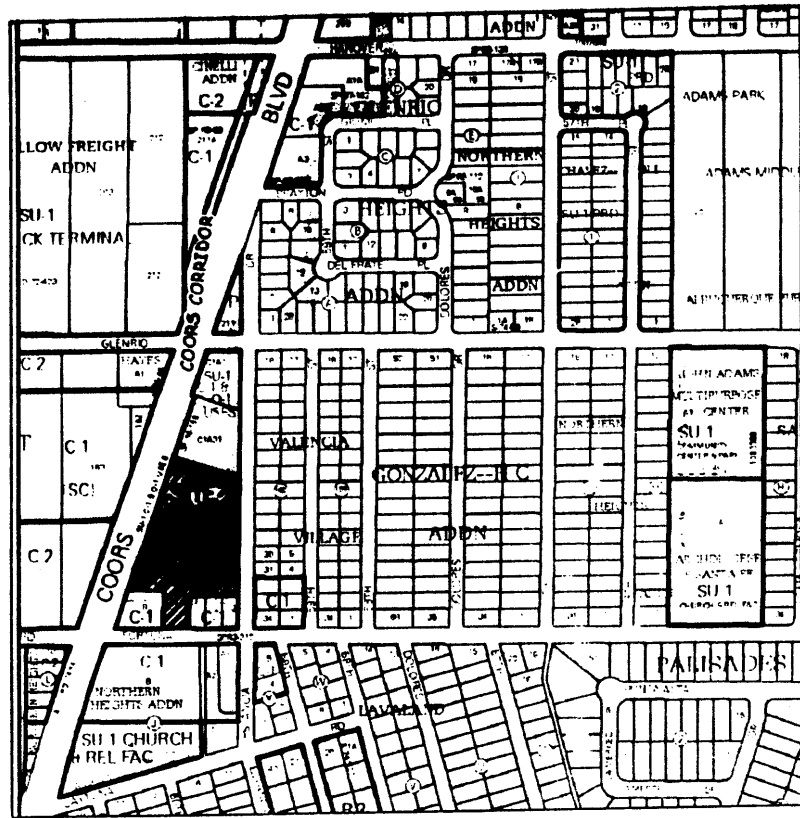
TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.80	X 2.87	= 2.30
D	2.10	X 4.37	= 9.18

"Qp" = 11.48 CFS  
 INCREASE = 3.16 CFS



**A PROPOSED GRADING AND DRAINAGE PLAN**  
**FOR**  
**MOOSE FAMILY CENTER LODGE NO. 1517**  
 ( 730 COORS BLVD. N.W. )  
 ALBUQUERQUE, NEW MEXICO  
 MAY, 2002  
 (REVISED: AUGUST, 2002)

VICINITY MAP (J-11) NO SCALE



DOCN 2010036364  
 04/29/2010 09:32 AM Page: 1 of 2  
 PLAT R:\$12.00 B: 2010C P: 0051 M: Toulous Olivere, Bernalillo Cour

COUNTY CLERK RECORDING LABEL HERE

SURVEY LEGAL DESCRIPTION

Tracts "C-2-A-1" and "C-2-A-2" of Campbell Lands, Albuquerque, Bernalillo County, New Mexico, a Replat of Tract C-2-A, Campbell Lands, within projected Section 14, T. 10 N., R. 2 E., N.M.P.M., Town of Atrisco Grant, Bernalillo County, New Mexico, as the same are shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on September 11, 2002, in Plat Book 2002C, Page 301, and being more particularly described as follows: BEGINNING at the Northwest corner of the parcel herein described, being a point on the Easterly Right of Way line of Coors Boulevard, NW, from whence the ACS Monument "18-J11" (x=1,503,402.094, y=1,491,098.596, NMSP Central Zone, NAD 83) bears N 15° 34' 20" E, 496.06 feet distant; THENCE leaving said Easterly Right of Way line, S 71° 02' 08" E, 255.21 feet to the Northeast corner, being a point on the Westerly Right of Way line of Estancia Drive NW; THENCE along said Westerly Right of Way line, S 00° 37' 12" W, 439.98 feet; THENCE leaving said Westerly Right of Way line, N 89° 22' 48" W, 180.00 feet; THENCE S 00° 37' 12" W, 120.00 feet to the Southeast corner, being a point on the Northerly Right of Way line of Fortuna Road, NW; THENCE along said Northerly Right of Way line, N 89° 12' 31" W, 96.58 feet to the Southwest corner; THENCE leaving said Northerly Right of Way line, N 00° 43' 02" E, 142.38 feet; THENCE N 89° 27' 39" W, 130.93 feet to a point on the Easterly Right of Way line of Coors Boulevard, NW; THENCE along said Easterly Right of Way line, N 18° 57' 52" E, 84.62 feet; THENCE S 71° 02' 08" E, 33.51 feet; THENCE N 18° 57' 52" E, 102.50 feet; THENCE N 71° 02' 08" W, 33.40 feet; THENCE N 18° 57' 52" E, 337.60 feet to the Point of Beginning and containing 3.8192 acres, more or less.

PLAT OF  
**TRACT C-2-A-1-A**  
**CAMPBELL LANDS**  
 A REPLAT OF TRACTS C-2-A-1 AND C-2-A-2  
 CAMPBELL LANDS  
 WITHIN PROJECTED SECTION 14, T. 10 N., R. 2 E., N.M.P.M.  
 WITHIN THE TOWN OF ATRISCO GRANT  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 SEPTEMBER 2009

PROJECT NUMBER: 1001989

Application Number: 09 DRB-70323

City Approvals:  
  
 City Surveyor 9-30-09  
 Date

Traffic Engineering, Transportation Division 01/13/10  
 Date

ABCWUA 01/13/10  
 Date

Parks and Recreation Department 11/13/10  
 Date

AMAFCA 4/20/10  
 Date

City Engineer 1-13-10  
 Date

DRB Chairperson, Planning Department 4-22-10  
 Date

SUBDIVISION DATA

1. DRB Proj. No. 1001989
2. Zone Atlas Index No. J-11
3. Gross acreage 3.8192 Ac.
4. Existing number of lots 2  
 Replatted number of lots 1  
 LOG NO. 2009394135

5. PURPOSE OF PLAT  
 This plat has been prepared for the purpose of creating one tract from two tracts and to vacate an easement.

NOTES

1. Bearings shown on this plat are New Mexico State Plane Grid, Central Zone, NAD 83. Bearings and distances in parenthesis are from existing plat.
2. Perimeter distances are field measurements made on the ground.
3. Monuments recovered and accepted or reset are noted on inscribed plat.
4. No property within the area of requested plat shall at any time be subject to a deed restriction, covenant, or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat.
5. An Existing Common Use Ingress and Egress Easement for the benefit of Tracts C-1-A-1 and C-1-A-2 was granted by plat recorded 9/11/2002 in Plat Book 2002C, page 301. This easement is vacated by the filing of this plat.

FREE CONSENT

The platting of the property as described above is with the free consent and in accordance with the desires of the undersigned owner. Said owner warrants that he holds complete and indefeasible title in fee simple to the land subdivided.

William Melad, Managing Member, AAA Quality Cars, LLC a New Mexico Limited Liability Company 9/30/09  
 Date

ACKNOWLEDGMENT

STATE OF NEW MEXICO )  
 COUNTY OF BERNALILLO ) ss

On this 30th day of September, 2009, the foregoing instrument was acknowledged before me by William Melad, Managing Member, AAA Quality Cars, LLC a New Mexico Limited Liability Company on behalf of said Company.

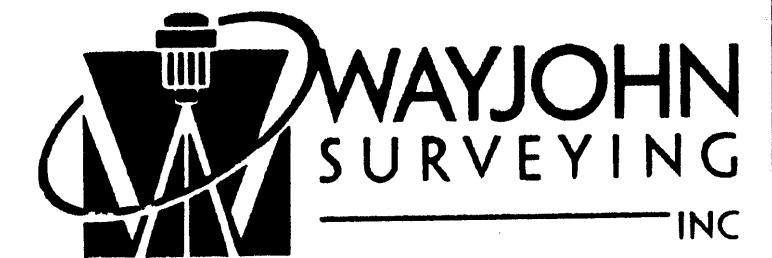
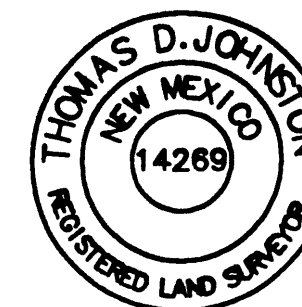
My Commission expires 1/19/2011

Notary Public

SURVEYOR'S CERTIFICATE

I, Thomas D. Johnston, licensed as a Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that I am responsible for this plat, that it shows all easements of the recorded plat and made known to me by the title company, utility companies or by the owner of record, meets the minimum standards for monumentation and surveys of the Albuquerque Subdivision Ordinance, and meets the Minimum Standards for Land Surveys adopted by the New Mexico State Board of Licensure for Professional Engineers and Surveyors, effective May 1, 2007 and is true and correct to the best of my knowledge and belief.

Thomas D. Johnston, N.M.P.S. No. 14269 9-30-09  
 Date



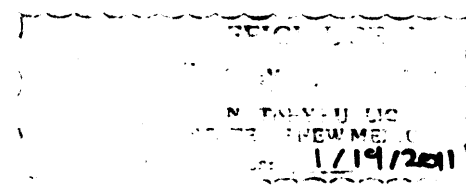
330 LOUISIANA BLVD., N.E.  
 ALBUQUERQUE, N.M. 87108  
 PHONE: (505) 255-2052 FAX: (505) 255-2887

INDEXING INFORMATION FOR COUNTY CLERK  OWNER: AAA QUALITY CARS LOCATION: SEC. 14 T.10 N., R.2 E., N.M.P.M. CAMPBELL LANDS	DRAWN: T D J	SCALE: 1" = 50'	FILE NO. SP-9-01-2009
	CHECKED: T D J		
	DRAWING NO. SP90109.DWG	25 SEP 2009	SHEET 1 OF 2

FOR BERNALILLO COUNTY TREASURER'S OFFICE USE ONLY  
 THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON  
 UPC# 1 011 058 038 279 20209, 1 011 058 048 304 20203

PROPERTY OWNER OF RECORD:  
 SDG REAL ESTATE, LLC; GANESH GROUP LLC

BERNALILLO COUNTY TREASURER'S OFFICE  
  
4/29/10



DOCH 2010036364

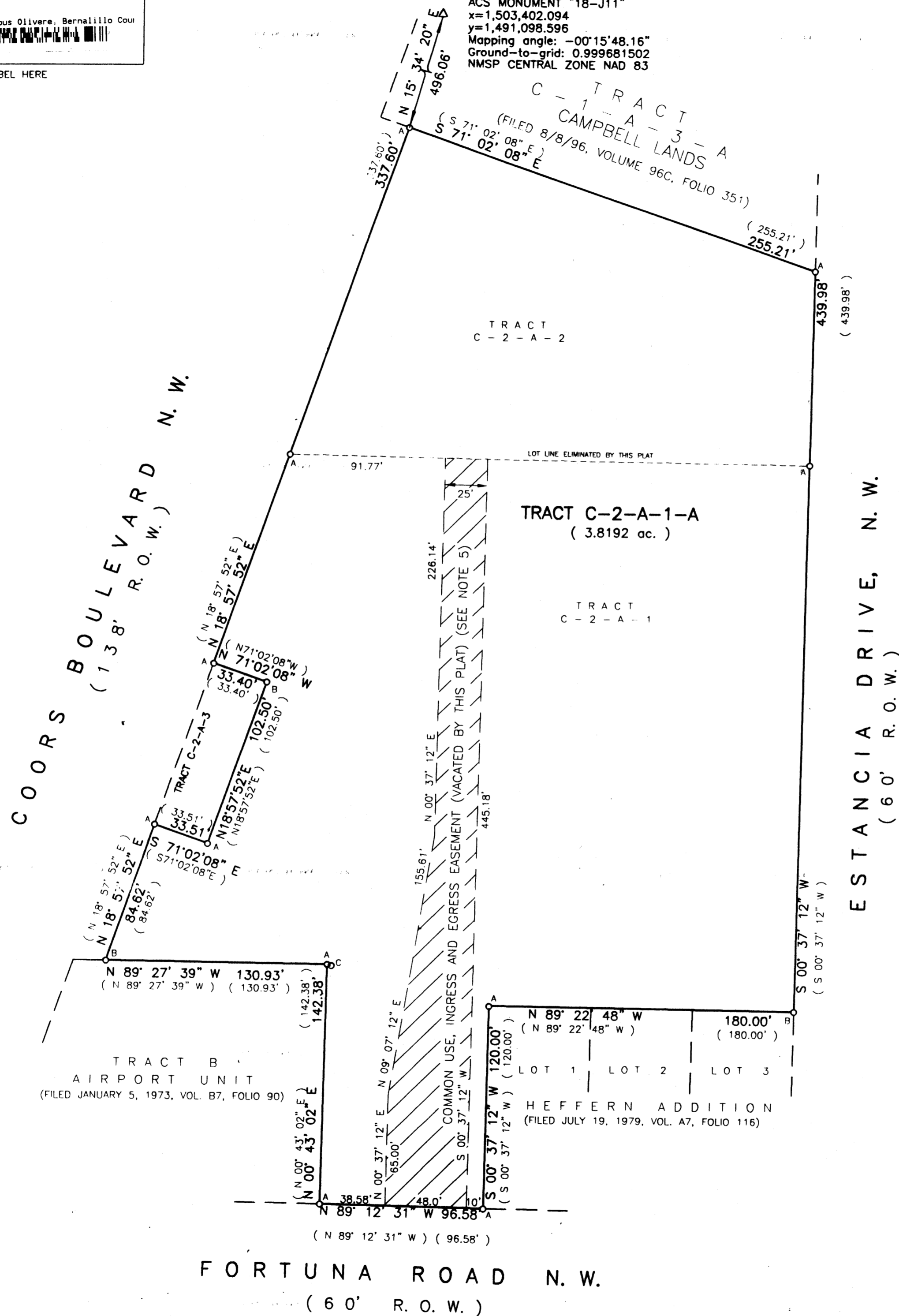
04/29/2010 09:32 AM Page: 2 of 2  
City: PLAT R: \$12.00 B: 2010C P: 0051 R: Toulouse Olivere, Bernalillo Cou

COUNTY CLERK RECORDING LABEL HERE

ACS MONUMENT "18-J11"  
x=1,503,402.094  
y=1,491,098.596  
Mapping angle: -00°15'48.16"  
Ground-to-grid: 0.999681502  
NMSZ CENTRAL ZONE NAD 83

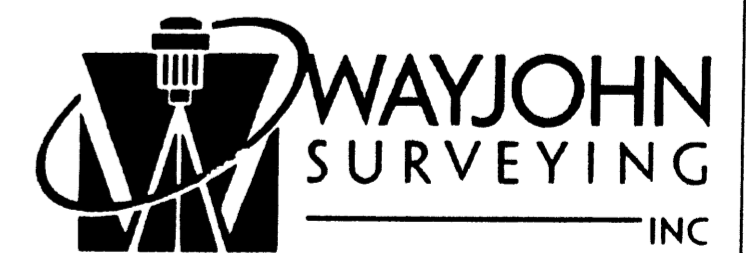
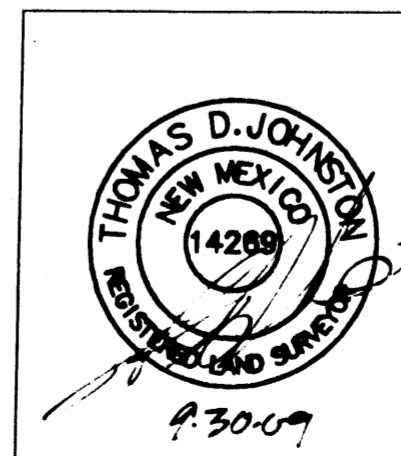
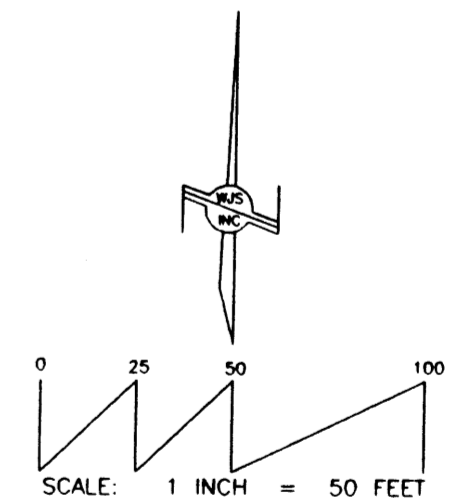
# PLAT OF TRACT C-2-A-1-A CAMPBELL LANDS

A REPLAT OF TRACTS C-2-A-1 AND C-2-A-2  
CAMPBELL LANDS  
WITHIN PROJECTED SECTION 14, T. 10 N., R. 2 E., N.M.P.M.  
WITHIN THE TOWN OF ATRISCO GRANT  
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
SEPTEMBER 2009



### LEGEND:

- o = FOUND/SET MONUMENT AS NOTED:
- A: FOUND #4 REBAR AND CAP "WAYJOHN PS 14269"
- B: FOUND #4 REBAR - NO CAP
- C: FOUND 2" STEEL PIPE - NOT ACCEPTED



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INDEXING INFORMATION FOR COUNTY CLERK  
OWNER: AAA QUALITY CARS  
LOCATION: SEC. 14  
T.10 N., R.2 E., N.M.P.M.  
CAMPBELL LANDS

DRAWN: T D J  
CHECKED: T D J  
DRAWING NO: SP90109.DWG

SCALE:  
1" = 50'  
25 SEP 2009

FILE NO.  
SP-9-01-2009  
SHEET 2 OF 2