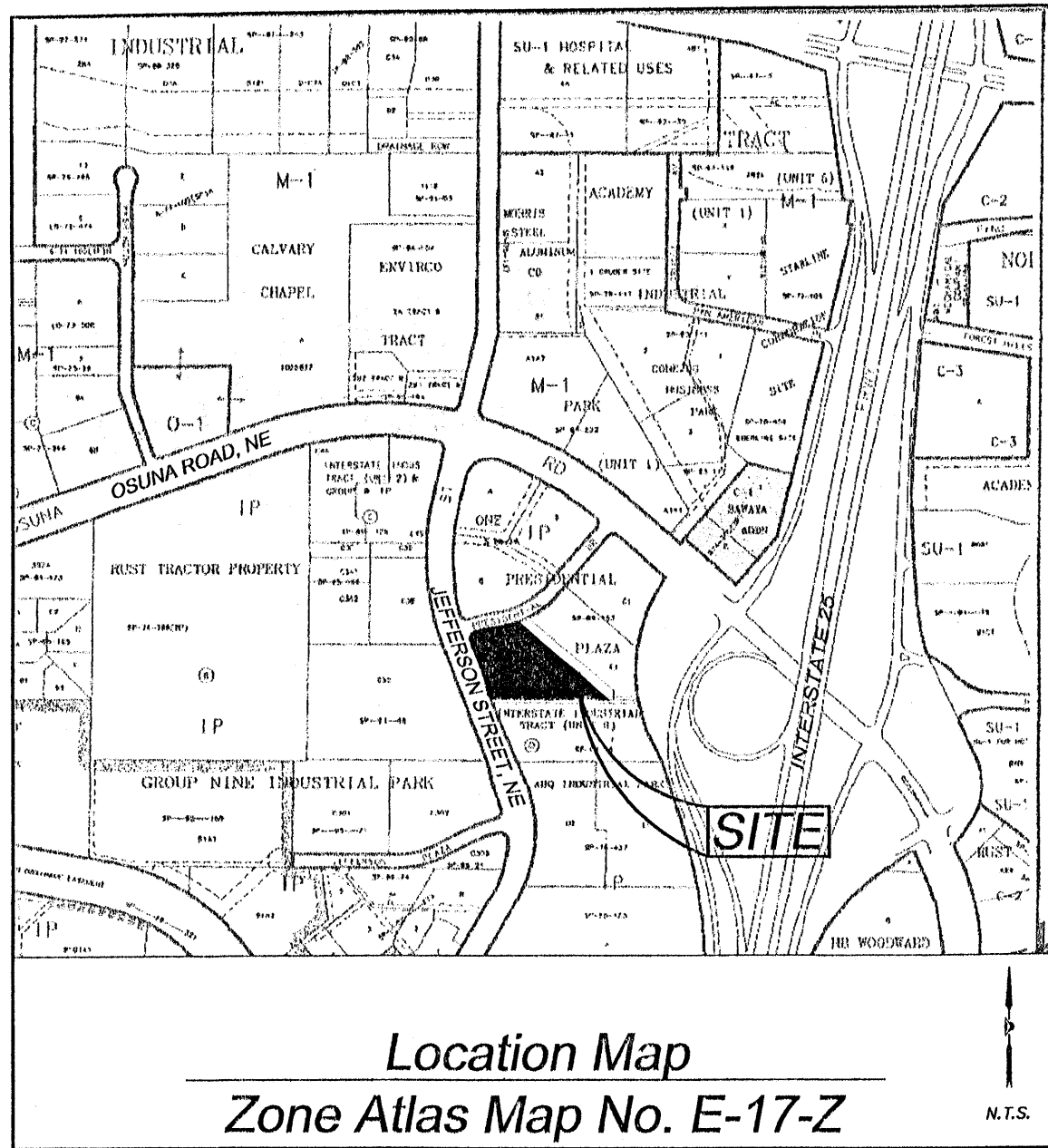


RECORDING STAMP

Plat of
 Lots E-2-A-1, E-2-A-2 and E-2-A-3
One Presidential Plaza
 Albuquerque, Bernalillo County, New Mexico
 December 2002



Legal Description

A CERTAIN TRACT OF LAND SITUATE WITHIN THE ELENA GALLEGOS GRANT, IN PROJECTED SECTION 26, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO, COMPRISING OF LOT LETTERED "E-2-A" OF ONE PRESIDENTIAL PLAZA, A SUBDIVISION WITHIN THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 11, 2002 IN VOLUME 2002C, FOLIO 235, NOW COMPRISING OF LOTS "E-2-A-1", "E-2-A-2", AND "E-2-A-3", ONE PRESIDENTIAL PLAZA.

Approvals	Application No.
CITY PLANNER, ALBUQUERQUE PLANNING DIVISION	DATE
CITY ENGINEER	DATE
A.M.A.F.C.A.	DATE
TRAFFIC ENGINEER	DATE
CITY SURVEYOR	DATE
PROPERTY MANAGEMENT	DATE
WATER RESOURCES DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST CORPORATION	DATE
COMCAST CABLE	DATE

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 2.4300 ACRES±
 ZONE ATLAS INDEX NO: E-17-Z
 NO. OF TRACTS CREATED: 0
 NO. OF LOTS CREATED: 2
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: MAY 22, 2002, FIELD VERIFIED OCTOBER 23, 2002.

Notes:

- MISC. DATA: ZONING IP
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 26, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING ONE LOT INTO THREE NEW LOTS.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2002442669
- NEW SIDEWALKS SHALL NOT BE CONTINUOUS WITHIN THE 10' PUBLIC UTILITY AND PUBLIC PEDESTRIAN ACCESS EASEMENTS SHOWN ON THIS PLAT. SIDEWALK MAY MEANDER IN AND OUT OF 10' PUBLIC UTILITY AND PUBLIC ACCESS EASEMENTS.

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.
 PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
 1. PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 2. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 3. QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.
 INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.
 IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT EASEMENT FOR UTILITIES AS SHOWN HEREON WITH SAME STIPULATIONS AS LISTED ABOVE FOR EXISTING UTILITIES.

THE WELSH IRREVOCABLE TRUST II, U/A/D 12/31/93
 CAROLYN JEANNETTE PICKARD, TRUSTEE, AN UNDIVIDED
 NINETY-EIGHT PERCENT (98%) INTEREST

CAROLYN J. PICKARD, INDIVIDUALLY, A MARRIED WOMAN
 AN UNDIVIDED TWO PERCENT (2%) INTEREST

Acknowledgment

STATE OF NEW MEXICO)
) SS
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2002 BY CAROLYN JEANNETTE PICKARD, TRUSTEE, THE WELSH IRREVOCABLE TRUST II, U/A/D 12/31/93, AN UNDIVIDED NINETY-EIGHT PERCENT (98%) INTEREST
 BY _____ MY COMMISSION EXPIRES: _____
 NOTARY PUBLIC

Acknowledgment

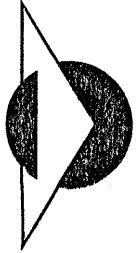
STATE OF NEW MEXICO)
) SS
 COUNTY OF BERNALILLO)
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2002 BY CAROLYN J. PICKARD, INDIVIDUALLY, A MARRIED WOMAN, AN UNDIVIDED TWO PERCENT (2%) INTEREST
 BY _____ MY COMMISSION EXPIRES: _____
 NOTARY PUBLIC

TREASURER'S CERTIFICATE

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

LARRY W. MEDRANO
 N.M.P.S. No. 11993



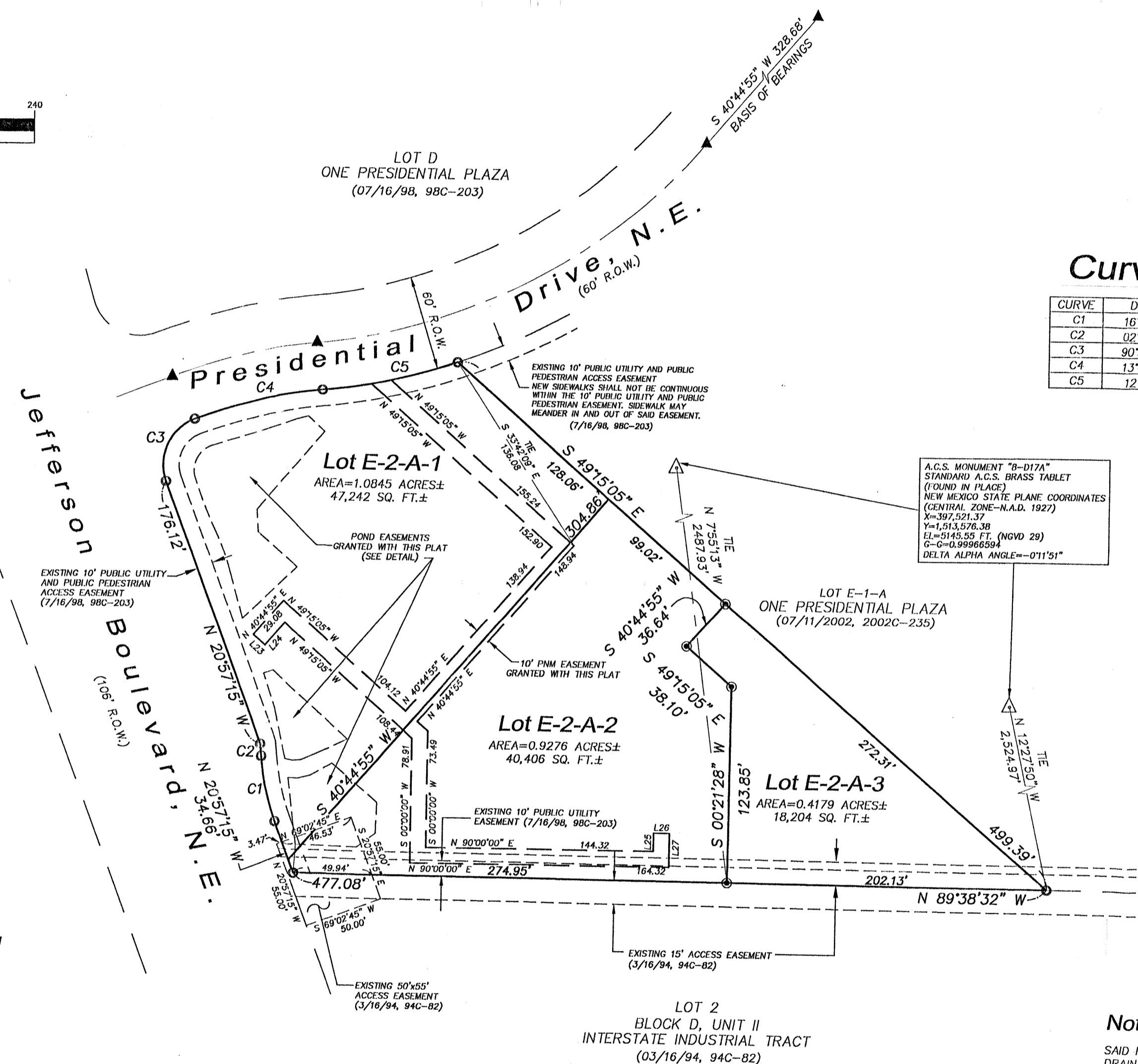
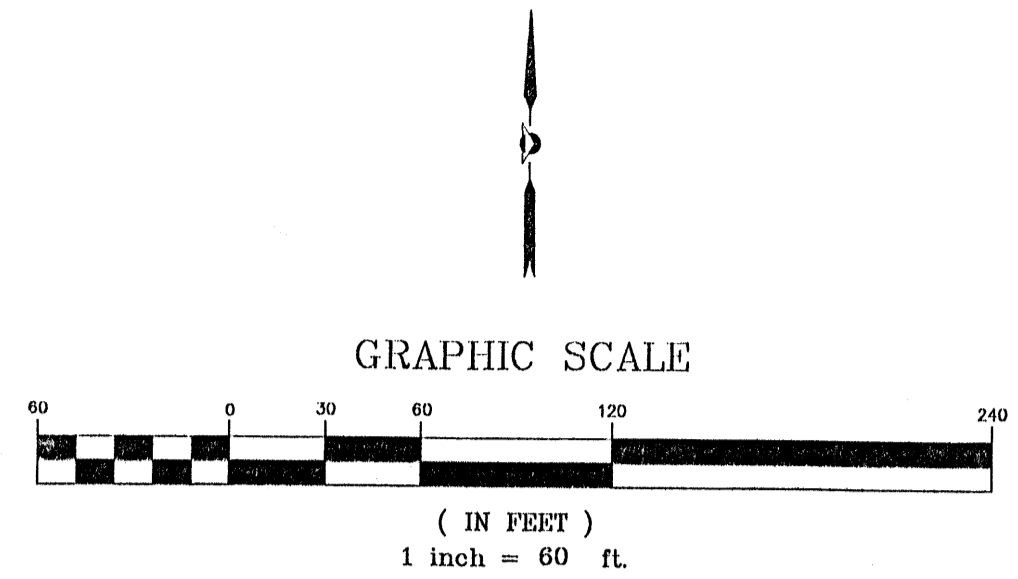
PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

Project No. _____

Plat of
 Lots E-2-A-1, E-2-A-2 and E-2-A-3
One Presidential Plaza
 Albuquerque, Bernalillo County, New Mexico
 December 2002

RECORDING STAMP

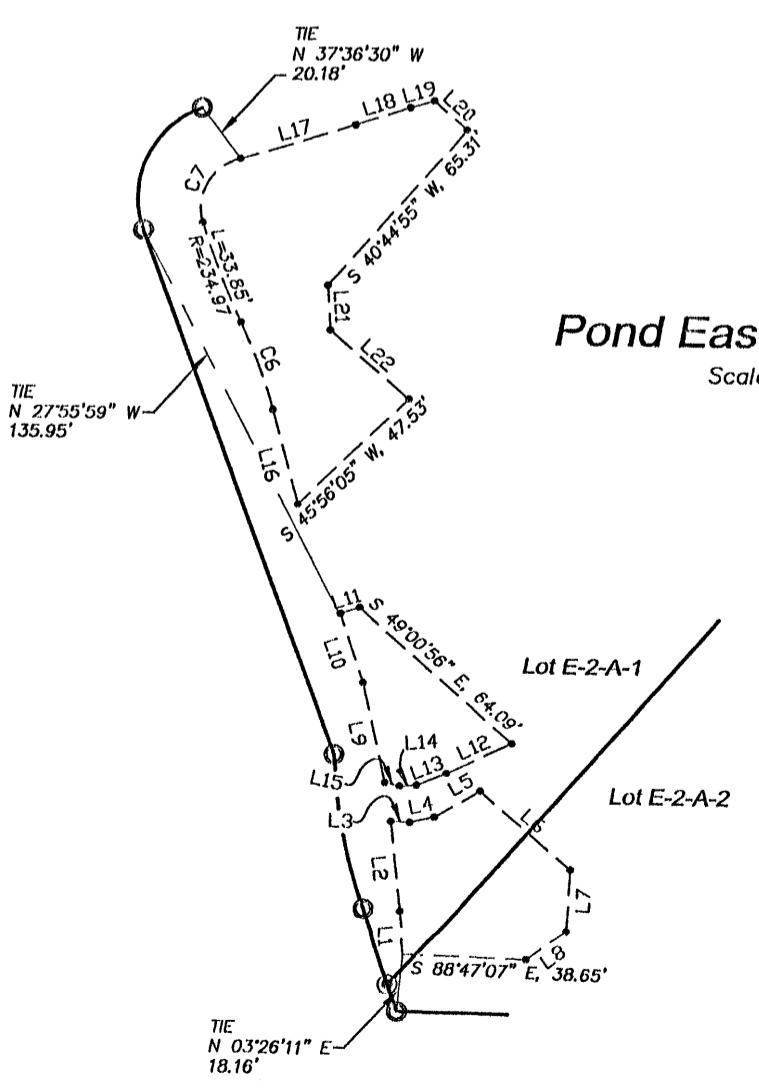


Curve Data

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	DIRECTION	CHORD
C1	16°09'41"	150.00'	42.31'	21.30'	42.17'	N 12°52'28" W	42.17'
C2	02°53'31"	150.00'	7.57'	3.79'	7.57'	N 06°14'28" W	7.57'
C3	90°39'35"	30.00'	47.47'	30.35'	42.67'	N 24°22'29" E	42.67'
C4	13°43'53"	350.00'	83.88'	42.14'	83.68'	N 76°34'10" E	83.68'
C5	12°14'51"	410.00'	87.64'	43.99'	87.47'	N 77°18'41" E	87.47'

LINE TABLE

LINE	LENGTH	BEARING
L1	13.84'	S 08°02'39" E
L2	28.49'	S 06°56'33" E
L3	5.82'	N 88°40'02" W
L4	7.84'	S 77°12'44" W
L5	16.50'	S 59°41'24" W
L6	37.69'	N 49°53'40" W
L7	19.44'	N 02°02'53" E
L8	14.86'	N 52°37'54" E
L9	32.44'	N 13°28'01" W
L10	22.69'	N 19°05'25" W
L11	6.26'	N 71°52'48" E
L12	22.47'	S 64°10'56" W
L13	9.99'	S 67°56'33" W
L14	5.31'	S 85°40'32" W
L15	4.69'	N 77°16'26" W
L16	30.60'	N 15°55'10" W
L17	37.47'	N 73°04'08" E
L18	17.94'	N 71°10'33" E
L19	7.80'	N 73°56'40" E
L20	14.01'	S 48°32'18" E
L21	14.14'	S 04°15'05" E
L22	32.97'	S 49°15'05" E
L23	10.00'	S 49°15'05" E
L24	19.08'	N 40°44'55" E
L25	11.58'	N 00°00'00" E
L26	10.00'	S 90°00'00" E
L27	21.58'	S 00°00'00" E



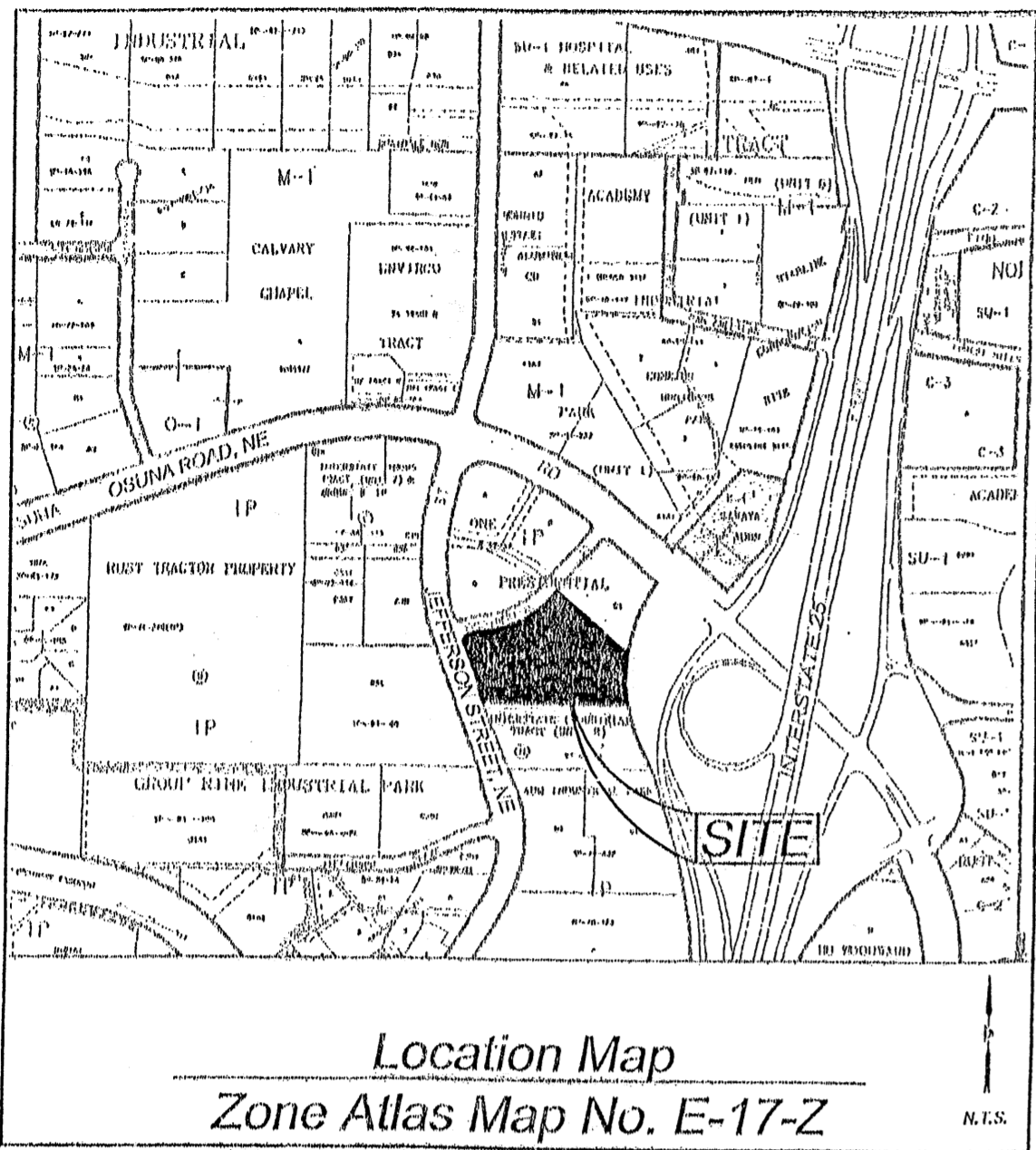
A.C.S. MONUMENT "B-D17A"
 STANDARD A.C.S. BRASS TABLET
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1927)
 X=397,521.37
 Y=1,513,876.38
 EL=5145.55 FT. (NGVD 29)
 G-C=0.99966594
 DELTA ALPHA ANGLE=-01°1'51"

Legend

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED REBAR W/CAP "PS 11993"
- DENOTES REBAR W/CAP "PS 11993" SET UNLESS OTHERWISE NOTED
- ▲ FOUND AND USED CENTERLINE MONUMENT

1002021 ADMINISTRATIVE
 DEVELOPMENT PLAN AMENDMENT
 FILE NO. AA-01826
 02HA
Shift lot lines - DRB submitted
Required for Plat Adjustment
Planning Director 12/23/02
 PLANNING DIRECTOR DATE

Note:
 SAID PROPERTY SUBJECT TO RECIPROCAL PARKING, ACCESS AND DRAINAGE EASEMENT FOR THE JOINT BENEFIT AND USE OF TRACTS E-2-A-1, E-2-A-2 AND E-2-A-3, TO BE MAINTAINED BY EACH TRACT FOR THE BENEFIT OF ALL TRACTS, GRANTED BY THIS PLAT.



RECORDING STAMP

Plat of
 Lots E-1-A and E-2-A
One Presidential Plaza
 Albuquerque, Bernalillo County, New Mexico
 May 2002

Legal Description

A CERTAIN TRACT OF LAND SITUATE WITHIN THE ELENA GALLEGOS GRANT, IN PROJECTED SECTION 26, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO, COMPRISING OF LOTS LETTERED "E-1" AND "E-2" OF ONE PRESIDENTIAL PLAZA, A SUBDIVISION WITHIN THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON APRIL 04, 2000 IN VOLUME 2000C, FOLIO 99; NOW COMPRISING OF LOTS "E-1-A" AND "E-2-A", ONE PRESIDENTIAL PLAZA.

Approvals	Application No.
CITY PLANNER, ALBUQUERQUE PLANNING DIVISION	DATE
CITY ENGINEER	DATE
A.M.A.F.C.A.	DATE
TRAFFIC ENGINEER <i>[Signature]</i>	DATE 6-11-02
CITY SURVEYOR	DATE
PROPERTY MANAGEMENT	DATE
WATER RESOURCES DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT <i>[Signature]</i>	DATE 6-14-02
PNM ELECTRIC SERVICES <i>[Signature]</i>	DATE 6-14-02
PNM GAS SERVICES <i>[Signature]</i>	DATE 6-13-02
QUEST CORPORATION <i>[Signature]</i>	DATE 6/13/02
COMCAST CABLE <i>[Signature]</i>	DATE 6/13/02

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 5.2803 ACRES±
 ZONE ATLAS INDEX NO: E-17-Z
 NO. OF TRACTS CREATED: 0
 NO. OF LOTS CREATED: 2
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: MAY 22, 2002.

Notes:

- MISC. DATA: ZONING IP
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE -- NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES--US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 26, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO LOTS INTO TWO NEW LOTS.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 200223217Z
- NEW SIDEWALKS SHALL NOT BE CONTINUOUS WITHIN THE 10' PUBLIC UTILITY AND PUBLIC PEDESTRIAN ACCESS EASEMENTS SHOWN ON THIS PLAT. SIDEWALK MAY MEANDER IN AND OUT OF 10' PUBLIC UTILITY AND PUBLIC ACCESS EASEMENTS.

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.
 PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:
 1. PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
 2. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
 3. QUEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
 4. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OR POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.

Free Consent and Dedication

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS, SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT EASEMENT FOR UTILITIES AS SHOWN HEREON WITH SAME STIPULATIONS AS LISTED ABOVE FOR EXISTING UTILITIES.

HAGEN L.L.C. DBA HAGEN LAND DEVELOPMENT IN NEW MEXICO

[Signature] 6-7-02
 JEFFERY D. HAGEN, MANAGER
 HAGEN L.L.C. DBA HAGEN LAND DEVELOPMENT IN NEW MEXICO

Acknowledgement

STATE OF MINNESOTA)
 COUNTY OF HENNEPIN)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 7th DAY OF June, 2002 BY
 JEFFERY D. HAGEN, MANAGER HAGEN L.L.C. DBA HAGEN LAND DEVELOPMENT IN NEW MEXICO

BY *[Signature]* KATHLYN J. WHITMAN
 PUBLIC MY COMMISSION EXPIRES: 1/31/05

Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature] 6/14/02
 LARRY W. MEDRANO
 N.M.P.S. No. 11993

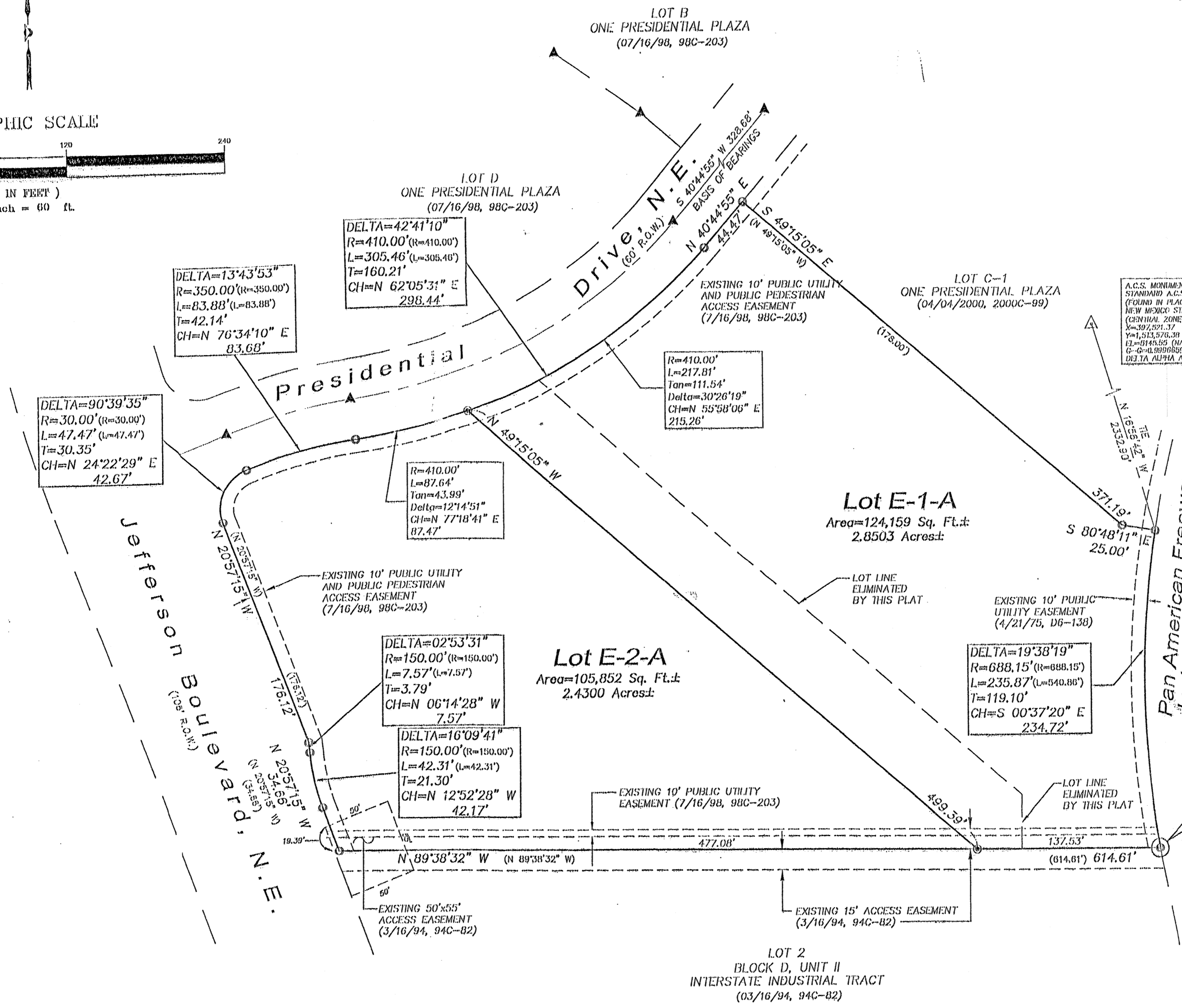
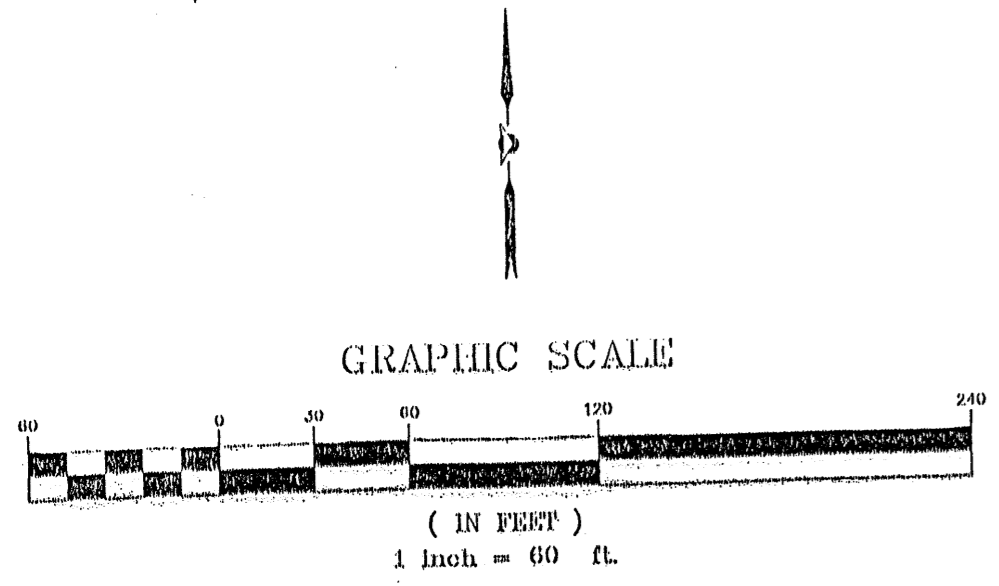


PRECISION SURVEYS, INC.
 0414-D JEFFERSON ST., N.E. PHONE 505 856-5700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856-7900

Project No.

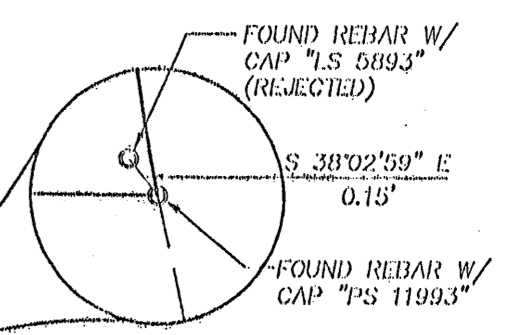
Plat of
 Lots E-1-A and E-2-A
One Presidential Plaza
 Albuquerque, Bernalillo County, New Mexico
 May 2002

RECORDING STAMP



ACCURACY MONUMENT "B-D77A"
 STANDARD A.C.S. BRASS TABLET
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1927)
 S=39,451.37
 Y=1,513,576.38
 EL=6145.83 (NAVD 1929)
 C=4-11.8000594
 DELTA ALPHA ANGLE=071°51'

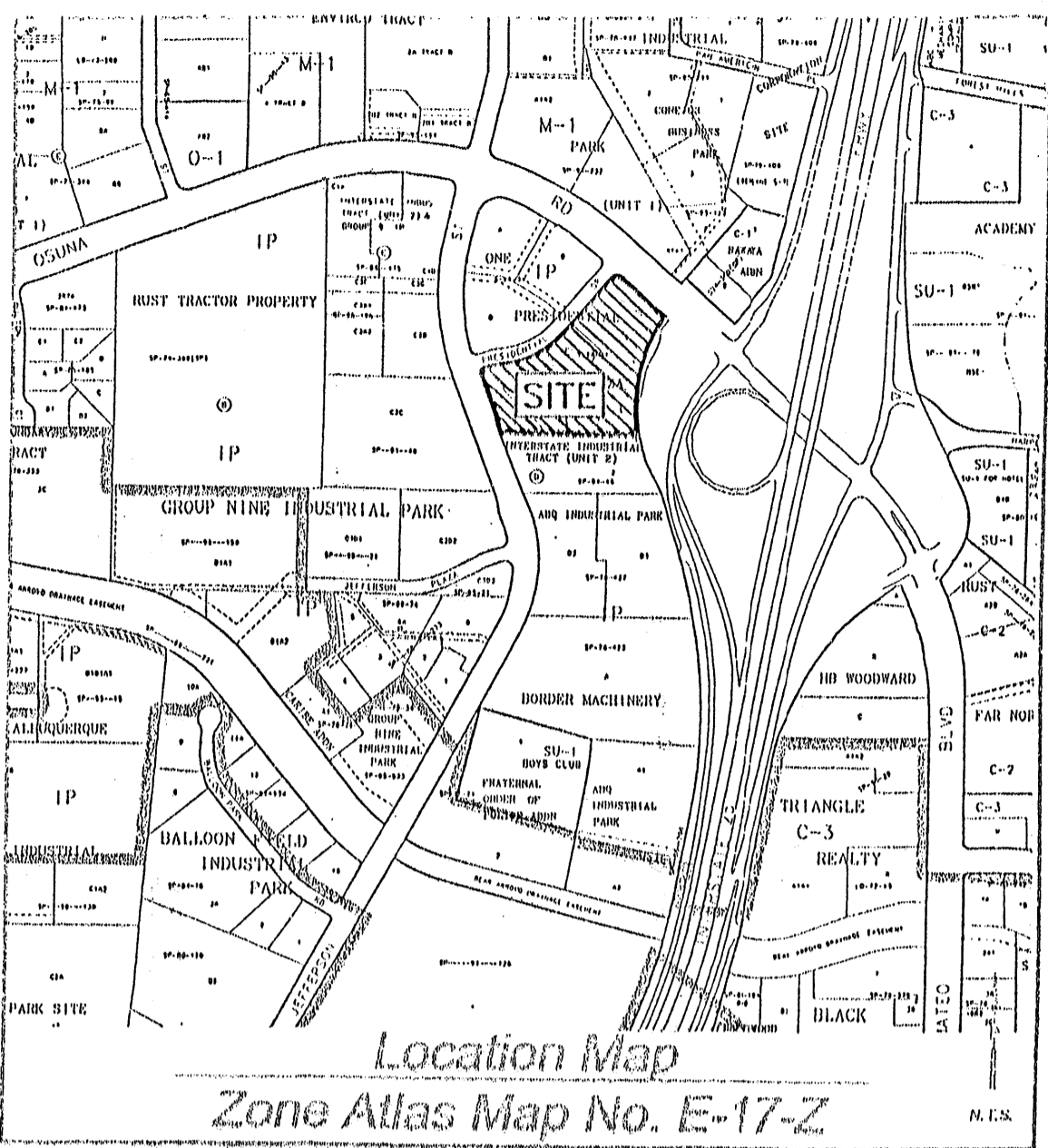
ADMINISTRATIVE
 DEVELOPMENT PLAN AMENDMENT
 FILE NO. AA-00997
 02/11/02
 Submitted by: DRB Submitted
 Required for Plat Adj.
 Cynthia Boncompagni 7/19/02
 PLANNING DIRECTOR FOR DATE



Legend

- (N 90°00'00\"/>

PRECISION SURVEYS, INC.
 8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900



Subdivision Data:

CROSS SUBDIVISION ACRES: 7.566 ACRES
 ZONE ATLAS INDEX NO.: E-17-Z
 NO. OF TRACTS CREATED: 3
 NO. OF LOTS CREATED: 0
 MILLS OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: JUNE 2, 1999

In improving this plot, PNM Electric Services and Gas Services (PNEGS) did not conduct a Title Search of the properties shown hereon. Consequently, PNEGS does not warrant any easement or other right which may have been granted by deed, lease, or other document which are not shown on this plot.

Notes:

- MISC. DATA: ZONING IP
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES--US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 26, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING TWO LOTS INTO THREE NEW LOTS.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 99081611300436
- NEW SIDEWALKS SHALL NOT BE CONTINUOUS WITHIN THE 10' PUBLIC UTILITY AND PUBLIC PEDESTRIAN ACCESS EASEMENTS SHOWN ON THIS PLAT. SIDEWALK MAY MEANDER IN AND OUT OF 10' PUBLIC UTILITY AND PUBLIC ACCESS EASEMENTS.

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- U.S. WEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- JONES INTERCABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRICAL TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OR POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

Legal Description

A CERTAIN TRACT OF LAND SITUATE WITHIN THE ELENA GALLEGOS GRANT, IN PROJECTED SECTION 26, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO, COMPRISING ALL OF LOTS FIELD "C" AND "E" OF ONE PRESIDENTIAL PLAZA, A SUBDIVISION WITHIN THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 16, 1998 AS DOCUMENT NUMBER 1998089091 IN VOLUME 986, FOLIO 203 AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID TRACT LYING ON THE INTERSECTION OF THE SOUTHWESTERLY RIGHT OF WAY OF OSUNA ROAD, N.E. AND THE WEST RIGHT OF WAY LINE OF THE INTERSTATE 25 FRONTAGE ROAD (SOUTHBOUND), MARKED BY A SET REBAR WITH CAP "PS 11993", FROM WHENCE A TIE TO ACS MONUMENT "8-D17A" BEARS N 22°06'48" W, A DISTANCE OF 2105.84 FEET;

THENCE FROM SAID BEGINNING POINT, SOUTHWESTERLY ALONG SAID WEST RIGHT OF WAY LINE, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 684.15 FEET, AN ARC LENGTH OF 540.85 FEET, AND A CHORD OF S 12°04'22" W, A DISTANCE OF 527.04 FEET TO THE SOUTHEAST CORNER OF SAID TRACT MARKED BY A SET REBAR WITH CAP "PS 11993";

THENCE LEAVING SAID WEST RIGHT OF WAY LINE, N 89°38'32" W, A DISTANCE OF 614.61 FEET TO THE SOUTHWEST CORNER OF SAID TRACT LYING ON THE EAST RIGHT OF WAY LINE OF JEFFERSON BOULEVARD, N.E., MARKED BY A SET REBAR WITH CAP "PS 11993";

THENCE N 20°57'15" W ALONG SAID EAST RIGHT OF WAY LINE FOR THE NEXT FOUR COURSES, A DISTANCE OF 34.66 FEET TO A POINT OF CURVATURE MARKED BY A SET REBAR WITH CAP "PS 11993";

THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 150.00 FEET, AN ARC LENGTH OF 42.31 FEET, AND A CHORD OF N 12°52'28" W, A DISTANCE OF 42.17 FEET TO A POINT OF REVERSE CURVATURE MARKED BY A SET REBAR WITH CAP "PS 11993";

THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 150.00 FEET, AN ARC LENGTH OF 7.57 FEET, AND A CHORD OF N 06°14'28" W, A DISTANCE OF 7.57 FEET TO A POINT OF TANGENCY MARKED BY A SET REBAR WITH CAP "PS 11993";

THENCE N 20°57'15" W, A DISTANCE OF 176.12 FEET TO A POINT OF CURVATURE MARKED BY A SET REBAR WITH CAP "PS 11993";

THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 30.00 FEET, AN ARC LENGTH OF 47.47 FEET, AND A CHORD OF N 24°22'29" E, A DISTANCE OF 42.67 FEET TO A POINT OF COMPOUND CURVATURE LYING ON THE SOUTH RIGHT OF WAY LINE OF PRESIDENTIAL DRIVE, N.E. MARKED BY A SET REBAR WITH CAP "PS 11993";

THENCE ALONG SAID SOUTH RIGHT OF WAY LINE FOR THE NEXT THREE COURSES ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 350.00 FEET, AN ARC LENGTH OF 83.88 FEET, AND A CHORD OF N 76°34'10" E, A DISTANCE OF 83.68 FEET TO A POINT OF REVERSE CURVATURE MARKED BY A SET REBAR WITH CAP "PS 11993";

THENCE ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 410.00 FEET, AN ARC LENGTH OF 305.46 FEET, AND A CHORD OF N 62°05'31" E, A DISTANCE OF 288.44 FEET TO A POINT OF TANGENCY MARKED BY A SET REBAR WITH CAP "PS 11993";

THENCE N 40°44'55" E, A DISTANCE OF 313.74 FEET TO A POINT OF CURVATURE MARKED BY A SET REBAR WITH CAP "PS 11993";

THENCE ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 30.00 FEET, AN ARC LENGTH OF 47.11 FEET, AND A CHORD OF N 89°44'26" E, A DISTANCE OF 42.42 FEET TO A POINT OF TANGENCY LYING ON THE SAID SOUTHWEST RIGHT OF WAY LINE OF OSUNA ROAD, N.E. MARKED BY A SET REBAR WITH CAP "PS 11993";

THENCE S 49°16'03" E ALONG SAID SOUTHWEST RIGHT OF WAY LINE FOR THE NEXT FIVE COURSES, A DISTANCE OF 124.44 FEET TO AN ANGLE POINT MARKED BY A SET REBAR WITH CAP "PS 11993";

THENCE S 45°32'31" E, A DISTANCE OF 39.40 FEET TO AN ANGLE POINT MARKED BY A SET REBAR WITH CAP "PS 11993";

THENCE S 49°16'03" E, A DISTANCE OF 62.63 FEET TO AN ANGLE POINT MARKED BY A SET REBAR WITH CAP "PS 11993";

THENCE N 40°43'57" E, A DISTANCE OF 2.56 FEET TO AN ANGLE POINT MARKED BY A SET REBAR WITH CAP "PS 11993";

THENCE S 49°16'03" E, A DISTANCE OF 38.36 FEET TO THE POINT OF BEGINNING, CONTAINING 7.566 ACRES (329,553 SQUARE FEET) MORE OR LESS, NOW COMPRISING LOTS C-1, E-1 AND E-2, ONE PRESIDENTIAL PLAZA.

Free Consent and Dedication

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT EASEMENT FOR UTILITIES AS SHOWN HEREON WITH SAME STIPULATIONS AS LISTED ABOVE FOR EXISTING UTILITIES.

HAGEN L.L.C. DBA HAGEN LAND DEVELOPMENT IN NEW MEXICO

[Signature]
 JERRY D. HAGEN, MANAGER
 HAGEN L.L.C. DBA HAGEN LAND DEVELOPMENT IN NEW MEXICO

DATE: June 22, 1999

Acknowledgment

STATE OF MINNESOTA)
 COUNTY OF HENNEPIN)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 22nd DAY OF June, 1999 BY
 JERRY D. HAGEN, MANAGER HAGEN L.L.C. DBA HAGEN LAND DEVELOPMENT IN NEW MEXICO.

BY *[Signature]* KATHLYN J. WHITMAN, MY COMMISSION EXPIRES: 1/31/2000
 NOTARY PUBLIC

Plat of
 Lots C-1, E-1, and E-2
One Presidential Plaza
 Albuquerque, Bernalillo County, New Mexico
 June 1999

2808032477
 5353276
 Page: 1 of 2
 04/04/2000 10:58A
 BK-2609C Pg-99

Judy D. Woodward Bern. Co. PLAT R 12.99

Approvals SP 99-153

<i>[Signature]</i> CITY PLANNER	ALBUQUERQUE PLANNING DIVISION	8/16/99
<i>[Signature]</i> CITY ENGINEER		7-7-99
<i>[Signature]</i> A.M.A.T.C.A.		7-7-99
<i>[Signature]</i> TRAFFIC ENGINEER		7-07-99
<i>[Signature]</i> CITY SURVEYOR		062899
<i>[Signature]</i> PROPERTY MANAGEMENT		8-10-99
<i>[Signature]</i> WATER RESOURCES DEPARTMENT		7-7-99
<i>[Signature]</i> DESIGN AND DEVELOPMENT, C/O		7-7-99
<i>[Signature]</i> PNM ELECTRIC SERVICES		7-20-99
<i>[Signature]</i> PNM GAS SERVICES		7-20-99
<i>[Signature]</i> U.S. WEST COMMUNICATIONS		07-15-99
<i>[Signature]</i> JONES INTERCABLE, INC.		7-15-99

THIS IS TO CERTIFY THAT I AM A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF REGISTRATION FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature]
 LARRY W. MEDRANO
 REGISTERED PROFESSIONAL SURVEYOR

Surveyor's Certificate

LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF REGISTRATION FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature] LARRY W. MEDRANO 6/17/99
 LARRY W. MEDRANO
 N.M.P.S. No. 11993

DATE: 6/17/99

PRECISION SURVEYS, INC.
 8414-D JEFFERSON ST., N.E. PHONE 505-856-8700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505-856-7800

KATHLYN J. WHITMAN
 NOTARY PUBLIC - MINNESOTA
 MY COMMISSION EXPIRES 1/31/2000

ONE

PRESIDENTIAL

PLAZA

Index To Drawings

SHEET 1 OF 7	COVER SHEET
SHEET 2 OF 7	MASTER DEVELOPMENT PLAN
SHEET 3 OF 7	MASTER DRAINAGE PLAN
SHEET 4 OF 7	MASTER UTILITY PLAN
SHEET 5 OF 7	LANDSCAPE CONCEPTS
SHEET 6 OF 7	LANDSCAPE CONCEPTS
SHEET 7 OF 7	SITE & ARCHITECTURAL DESIGN CRITERIA

Master Development Plan

Jefferson Blvd. and Osuna Rd.

Albuquerque, New Mexico

Owner:

Platinum Properties Group, Inc.
1589 Highway 7, Suite 203
Minneapolis, Minnesota 55305

Architectural/Planning:

dekker/perich & associates
6501 Americas Pkwy NE, Suite 675
Albuquerque, New Mexico 87110
(505) 888-3111
Fax: 883-8050

Civil Engineering and Landscaping:

Bohannon Huston, Inc.
7500 Jefferson St. NE
Albuquerque, New Mexico 87109
(505) 823-1000

Master Development Plan One Presidential Plaza Albuquerque, New Mexico

Legal Description

LOT 1 OF INTERSTATE INDUSTRIAL TRACT (UNIT 2), ALBUQUERQUE, NEW MEXICO AS SHOWN ON ZONING ATLAS PAGE E-17.

Zoning

TRACT IS ZONED: IP PER THE CITY OF ALBUQUERQUE ZONING ORDINANCE.

Subdivision Concept

THE PLAN FOR THE 15.139 ACRE SITE SUBDIVIDES THE SITE INTO 5 SEPARATE LOTS TO BE DESIGNATED AS LOTS A, B, C, D AND E, AND GRANTS A 60'-0" PUBLIC RIGHT OF WAY WHICH WILL CONNECT FROM JEFFERSON BLVD. TO OSUNA RD. ADDITIONALLY, THERE WILL BE ESTABLISHED TWO PRIVATE INTERNAL STREETS, ONE CONNECTING JEFFERSON BLVD. TO THE PROPOSED PUBLIC R.O.W. AND ONE FROM OSUNA RD. TO THE FIRST PRIVATE STREET.

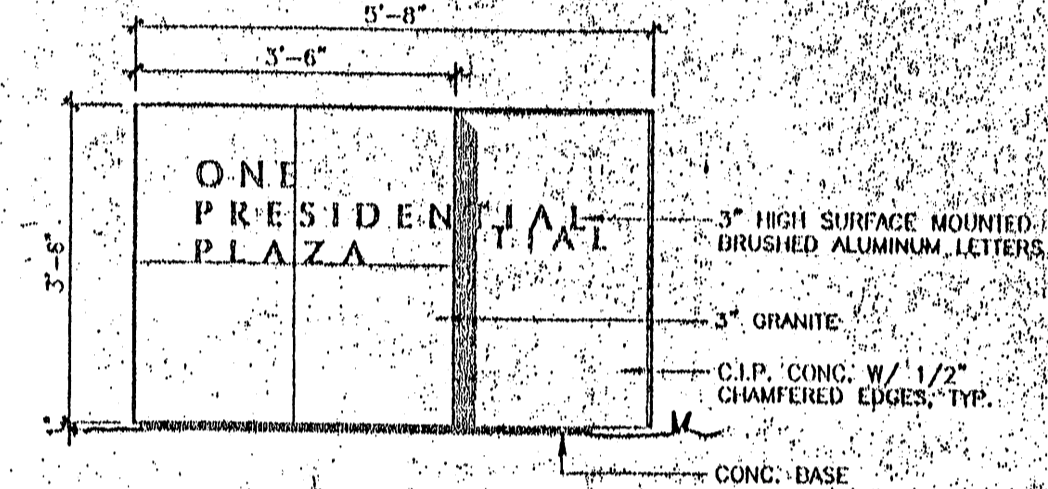
THE SUBDIVISION CONCEPT IS TO ESTABLISH A MIXED USE COMMERCIAL AND OFFICE DEVELOPMENT, PARK WITH GUIDELINES AND PROCEDURES TO INSURE A UNIFORM LEVEL OF QUALITY AND DESIGN WHILE ALLOWING SUFFICIENT FLEXIBILITY TO PROMOTE CREATIVE SITE PLANNING AND ARCHITECTURAL EXPRESSION.

Land Utilization

THE PROPOSED LAND USES AND RESTRICTIONS FOR EACH TRACT ARE AS FOLLOWS:

- LOT A. RESTAURANT USE WITH OR WITHOUT DRIVE LINES AND POSSIBLY INTEGRATED WITH GASOLINE SERVICE STATION WITH CAR WASH FACILITY.
- LOT B. BRANCH BANK USE OF 10,000 S.F. MAXIMUM WITH MAXIMUM OF 4 DRIVE UP TELLER LINES.
- LOT C. HOTEL USE WITH OR WITHOUT ASSOCIATED RESTAURANT (EITHER ATTACHED OR DETACHED).
- LOT D. OFFICE USE. THE LAND USE INTENSITY (BUILDING AREA DIVIDED BY THE GROSS SITE AREA) IS NOT TO EXCEED A FIXED AREA RATIO OF .35.
- LOT E. OFFICE USE. THE LAND INTENSITY IS NOT TO EXCEED A FIXED AREA RATIO OF .35.

LAND USES OTHER THAN THOSE LISTED ABOVE FOR THE INDIVIDUAL LOTS MAY BE CONSIDERED PROVIDED THEY ARE PERMISSIVE OR CONDITIONAL USES UNDER THE IP ZONING OF THE CITY OF ALBUQUERQUE ZONING ORDINANCE.



Development Sign 19.85 S.F. OF SIGN AREA
1/2" = 1'-0"

General Notes

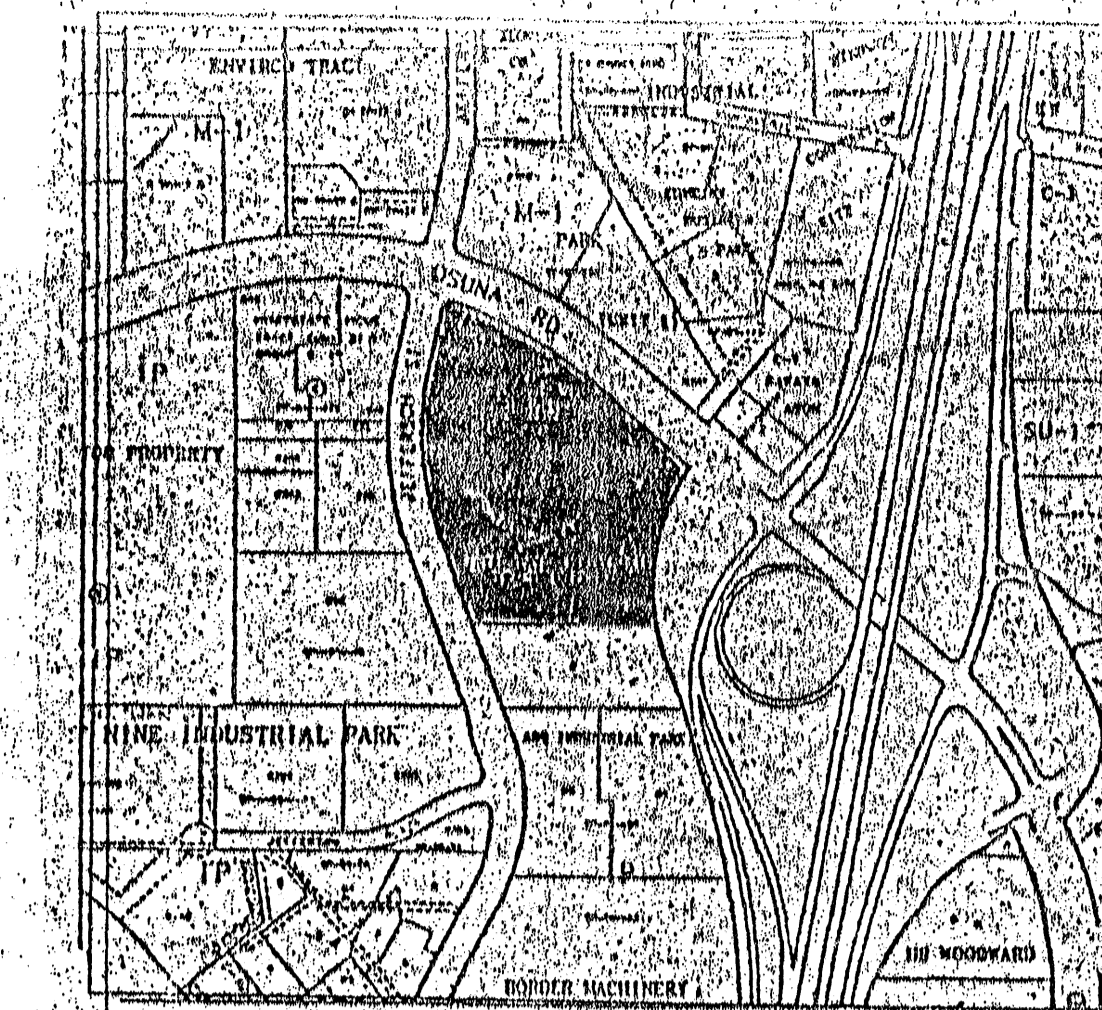
1. THIS BASED ON FAR'S, IDENTIFIED HERE AND HOTEL ROOMS.
2. ALL STREET CL RADI TO BE 300' MIN. PER DPM STANDARDS.
3. CROSS ACCESS EASEMENTS SHALL BE PROVIDED FOR PRIVATE STREETS.
4. DRIVE ACCESS CUTS TO LOTS FROM 60' PUBLIC R.O.W. AND PUBLIC STREETS TO BE DETERMINED DURING INDIVIDUAL SITE DEVELOPMENT DESIGN. THESE TO CONFORM TO DPM STANDARDS.
5. FUTURE SIDEWALKS TO BE DESIGNED AND CONSTRUCTED DURING INDIVIDUAL LOT SITE DEVELOPMENT (OR SOONER AT DEVELOPMENT OWNER'S OPTION).
6. ALL H.C. RAMPS AT LOT CORNERS AND DRIVE LOTS TO BE CONSTRUCTED DURING MASTER DEVELOPMENT PER C.O.A. STANDARDS.
7. PEDESTRIAN EASEMENTS ALONG SIDEWALKS OF JEFFERSON AND OSUNA AND PRIVATE STREETS TO BE DEDICATED BY PLAT.

THIS PLAN IS CONSISTENT WITH THE SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON 9/10/97 - CASE NO. 2-97-91

Shelley Adams 2-24-98 DATE
 TRAFFIC ENGINEER, TRANSPORTATION DIVISION
Frank J. Argue 2-24-98 DATE
 CITY ENGINEER/MAYOR
Roger Johnson 2-24-98 DATE
 PUBLIC WORKS, UTILITY DIVISION
Edward J. Stang 2/24/98 DATE
 PARKS AND GENERAL SERVICES DEPARTMENT
Kevin L. Torome 2/24/98 DATE
 CITY PLANNER, PLANNING DIVISION

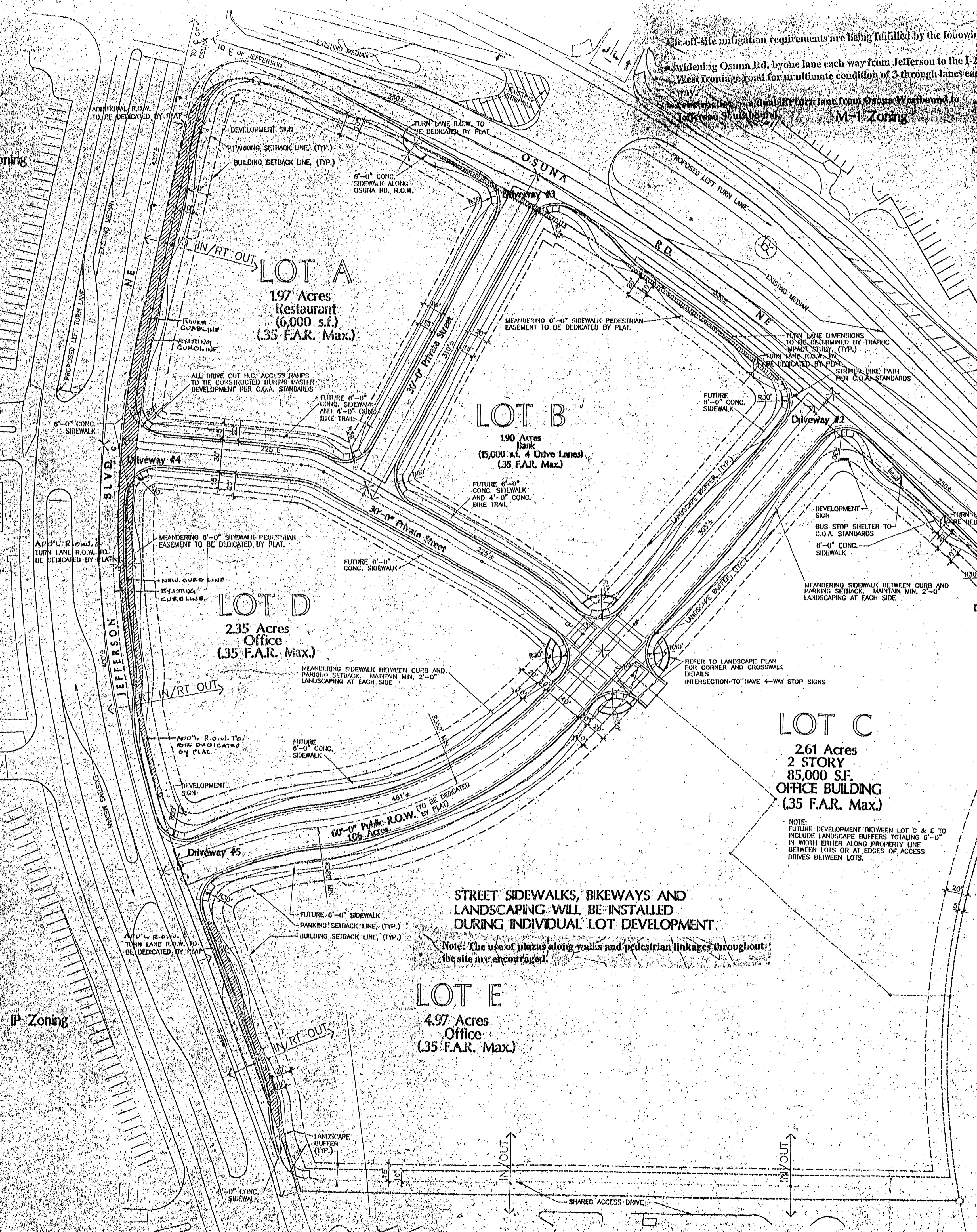
DRB Submittal
Master Development Plan
Sheet 2 of 7
November 25, 1997

Dekker / Perich
architecture planning interiors



Vicinity Map
1" = 400'

The off-site mitigation requirements are being fulfilled by the following:
 widening Osuna Rd. by one lane each way from Jefferson to the I-25 West frontage road for an ultimate condition of 3 through lanes each way.
 installation of a dual left turn lane from Osuna Westbound to Jefferson Southbound.
M-1 Zoning



STREET SIDEWALKS, BIKEWAYS AND LANDSCAPING WILL BE INSTALLED DURING INDIVIDUAL LOT DEVELOPMENT.

Note: The use of plazas along walks and pedestrian linkages throughout the site are encouraged.

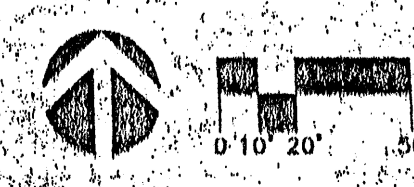
Parcel Owned By
Highway Department

IP Zoning

IP Zoning

IP Zoning

IP Zoning



MASTER DRAINAGE PLAN

LEGEND

- DIRECTION OF FLOW ARROW
- WATER BLOCK
- PROPOSED CURB AND GUTTER

HYDROLOGIC DATA (DEVELOPED CONDITION)

BASIN	AREA (AC)	LAND TREATMENT %				Q (CFS) FREE DISCHARGE
		A	B	C	D	
A	2.1	0	20	10	70	8.5
B	2.1	0	20	10	70	8.5
C	3.1	0	20	10	70	12.6
D	2.7	0	20	10	70	11.0
E	4.8	0	20	10	70	19.5
TOTAL						60.1

GENERAL NOTES:

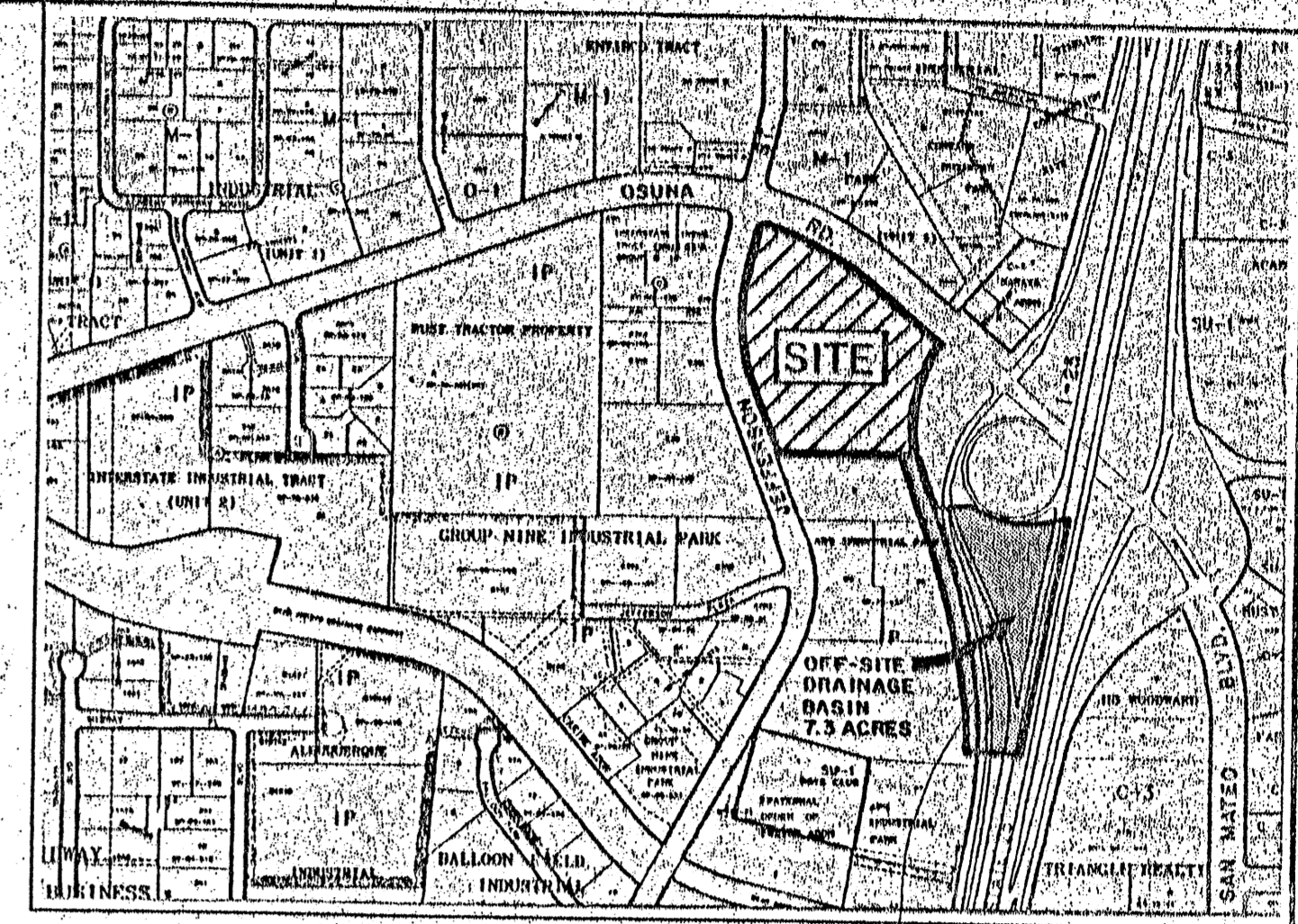
- EACH LOT WILL REQUIRE ITS OWN DETAILED GRADING & DRAINAGE PLAN. THOSE PLANS SHALL CONFORM TO THIS MASTER PLAN.
- SHOULD THE FLOWS GENERATED BY THE DEVELOPED SITES EXCEED THE FLOW FOR THE BASIN AS SHOWN IN THE HYDROLOGIC DATA TABLE ABOVE, PONDING SUFFICIENT TO REDUCE THE DISCHARGE TO THAT SHOWN ON THIS PLAN, WILL BE REQUIRED.

CONSTRUCTION INFORMATION
THE FOLLOWING GENERAL ITEMS WILL BE CONSTRUCTED ON THE SITE:

- PUBLIC AND PRIVATE ROADS, INCLUDING TURN LANES AS REQUIRED BY THE TRAFFIC STUDY.
- PRIVATE IMPROVEMENTS ON THE INDIVIDUAL LOTS

NOTE:

- CONSTRUCTION OF ITEM 1 ABOVE MAY OR MAY NOT PRECEED CONSTRUCTION OF ITEM 2 ABOVE.
- EXCEPT FOR PUBLIC AND/OR PRIVATE STREET CONSTRUCTION, NO GRADING OF THE LOTS WILL BE PERMITTED UNTIL INDIVIDUAL LOT DEVELOPMENT OCCURS.



CONCEPTUAL MASTER DRAINAGE PLAN
THE PURPOSE OF THIS PLAN:

- EPC/DRB Site development plan approval
- DRC approval of public/private street construction
- Plat approval
- Drainage guidelines for the development of drainage plans on individual lots

EXISTING CONDITIONS:

The existing site consists of approximately 15 acres of undeveloped land. The land slopes to the west, and is sparsely covered with native vegetation. Currently the site drains by sheet flow over the east curb along Jefferson Blvd., and into the public street, where it drains to the north, into Osuna Road. In turn, Osuna Road drains to the west, and into the AMAFA North Diversion Channel. The site is in Precipitation Zone 2, as defined by the Albuquerque Development Process Manual Section 22.2.

The total flow which drains from the site onto Jefferson Blvd., appears to be 55.7cfs in the 100yr 6hr storm event. This consists of 30.3cfs from the 1-25 right-of-way, and 25.4cfs from the undeveloped site. The plan on this sheet shows off-site Basin 01, and the vicinity map shows off-site basin 02, which consists of 1-25 right-of-way, and generates 29cfs in the 100yr storm. Basin 01 contains approximately 0.4 acres, and generates 1.3cfs in the 100yr storm (assuming 100% land treatment 'C'). Basin 02 contains approximately 7.3 acres, and was determined to be approximately 50% impermeable area, and 50% land treatment 'C' as defined by the City of Albuquerque Development Process Manual. The off-site flows from the 1-25 right-of-way enter the site from an existing swale at the southeast corner. These off-site flows are conveyed through the site via surface flow in a small existing swale.

The flows developed onsite under existing conditions were calculated based on the total area of the on-site basins (14.8 acres), and a land treatment ratio of 90% land treatment type 'A' and 10% land treatment type 'C'.

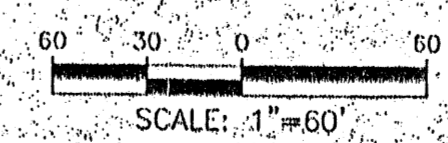
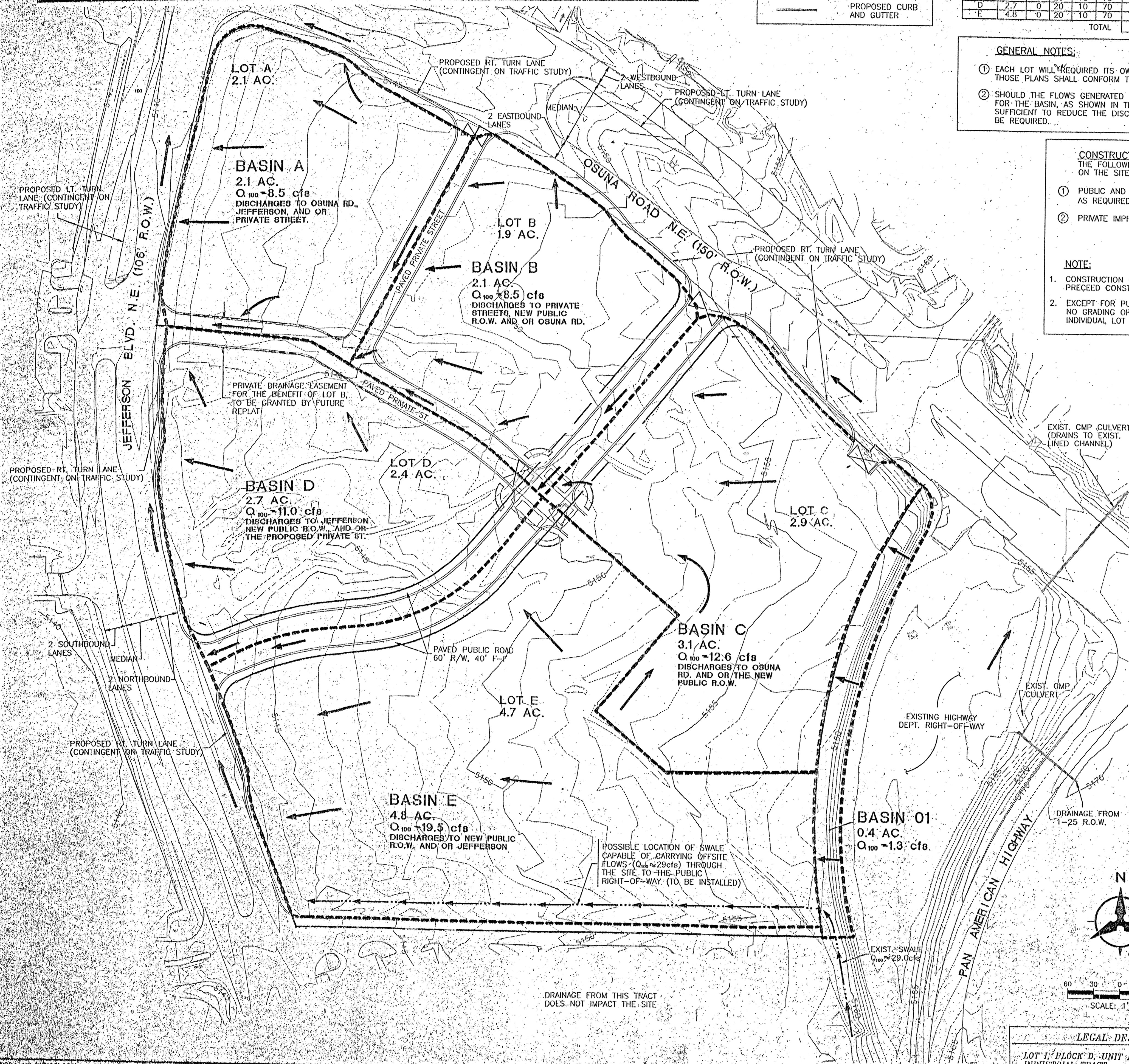
PROPOSED CONDITIONS:

Under proposed conditions, the site will drain via free discharge to the new public right-of-way, to the proposed private drainage easement, and to existing Jefferson Blvd and Osuna Rd. Previous drainage plans for this area have been required to either justify the downstream drainage capacity or control discharge to historic floodwaters. The following justification of the downstream capacity of Osuna Drive is offered:

Please refer to the following approved drainage reports: Final Drainage Report for Diamond Shamrock - hereby referred to as the Diamond Shamrock report (E17/D49) and the Drainage Report for ABQ Venture II Office and Warehouse Facility - hereby referred to as the ABQ II report (E17/D37). The most critical point for downstream drainage capacity is Osuna Drive just upstream of the North Diversion Channel. The drainage basin which contributes flows to Osuna Road was calculated in the ABQ II report. Land treatment percentages of 70% 2D, 20% C, and 10% A were used. The Diamond Shamrock report calculated percentages of 70% 2D, 20% C, and 10% A. The Diamond Shamrock report calculated the peak flow generated by the contributing basin of Osuna Road (174.7cfs), and the peak flow generated by the contributing basin Shamrock site (152.2cfs). Based on these calculations, free discharge was approved for the Diamond Shamrock site. This plan proposes to allow free discharge from the One Presidential Plaza site, provided that the land treatment percentages do not exceed those used in the above analysis.

The Hydrologic Data table on this plan was calculated assuming that under developed conditions, the parcels would be 70% impermeable, 20% land treatment 'B', and 10% land treatment 'C'. If actual development conditions exceed the above percentages, ponding will be required. The first development to occur on the site will be the construction of the public and private roadways. These roads can be constructed without exceeding the allowable discharge as shown in the hydrologic data table, therefore, no site grading or drainage improvements will be constructed with the roads.

This plan also proposes to allow the off-site flows to simply "pass-through" the site. This could be accomplished using a swale that connects the public right-of-way to the existing swale at the southeast corner of the site. The off-site flows will not be mitigated in any way.



LEGAL DESCRIPTION
LOT 1, BLOCK D, UNIT II OF INTERSTATE INDUSTRIAL TRACT

ENGINEERS' STAMP

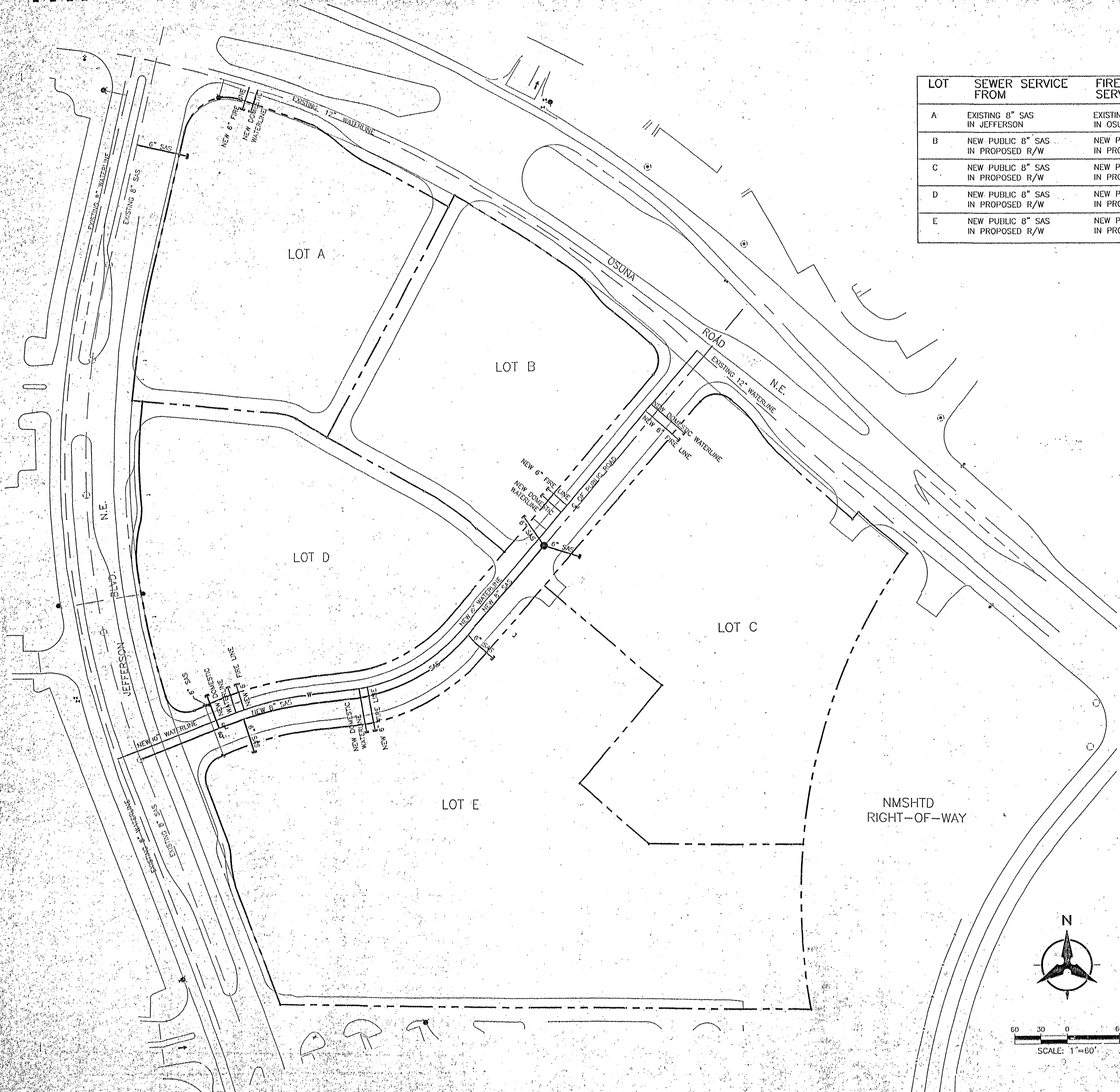
Amber R. Topf
7/31/97

Master Development Plan
One Presidential Plaza
DRB Sheet 3 of 7

Dekker / Perich
architecture planning interiors

Country Club
7500 RUFFIN BLVD
ALBUQUERQUE, NM 87109
NEW MEXICO 87109

MASTER CONCEPTUAL UTILITY PLAN



LOT	SEWER SERVICE FROM	FIRE PROTECTION SERVICE FROM
A	EXISTING 8" SAS IN JEFFERSON	EXISTING 12" WATERLINE IN OSUNA
B	NEW PUBLIC 8" SAS IN PROPOSED R/W	NEW PUBLIC 10" WATERLINE IN PROPOSED R/W
C	NEW PUBLIC 8" SAS IN PROPOSED R/W	NEW PUBLIC 10" WATERLINE IN PROPOSED R/W
D	NEW PUBLIC 8" SAS IN PROPOSED R/W	NEW PUBLIC 10" WATERLINE IN PROPOSED R/W
E	NEW PUBLIC 8" SAS IN PROPOSED R/W	NEW PUBLIC 10" WATERLINE IN PROPOSED R/W

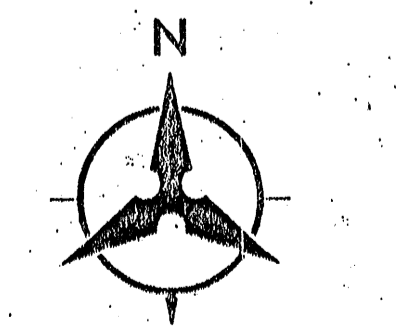
GENERAL UTILITY NOTES

1. MINIMUM DEPTHS OF COVER SHALL BE 36" FOR WATERLINES, 48" FOR SEWER (EXCEPT AT BUILDING CONNECTION).
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED OF HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE CITY OF ALBUQUERQUE STANDARD SPECS., LATEST EDITION.
3. UTILITY LINES SHALL BE INSTALLED PRIOR TO PAVEMENT AND/OR SIDEWALK AS APPLICABLE.
4. ROUGH GRADING OF STREETS (±0.5') SHALL BE COMPLETED PRIOR TO INSTALLATION OF UTILITY LINES.
5. ALL VALVES SHALL BE ANCHORED PER STD. SPECIFICATIONS.
6. FIRE LINES SHALL USE PIPE MATERIALS UNDERWRITERS LABORATORIES LISTED AND APPROVED FOR FIRE SERVICE.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WATER METER, FIRELINE AND SEWER HOOK-UP FEES FOR INSTALLATIONS. OWNER SHALL BE RESPONSIBLE FOR UTILITY EXPANSION CHARGES, PRORATA AND OTHER SPECIAL ASSESSMENTS.
8. EXISTING UTILITY INFORMATION ACQUIRED FROM THE CITY OF ALBUQUERQUE UTILITY MAPS. ALL LOCATIONS ARE APPROXIMATE.

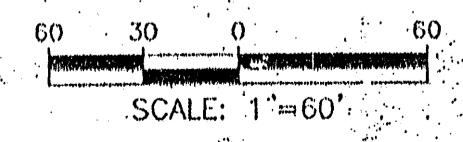
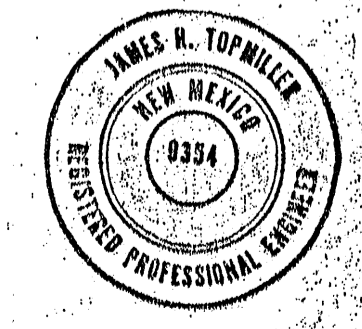
LEGEND

- EXISTING SANITARY SEWER LINE
- EXISTING WATERLINE
- NEW SANITARY SEWER LINE
- NEW WATERLINE
- EXISTING FIRE HYDRANT
- EXISTING SAS MANHOLE (APPROX. LOCATION)
- NEW SAS MANHOLE

DRB Submittal
 Master Development Plan
 One Presidential Plaza
 Sheet 4 of 7
 June 26, 1997
 Nov. 25, 1997



ENGINEERS STAMP

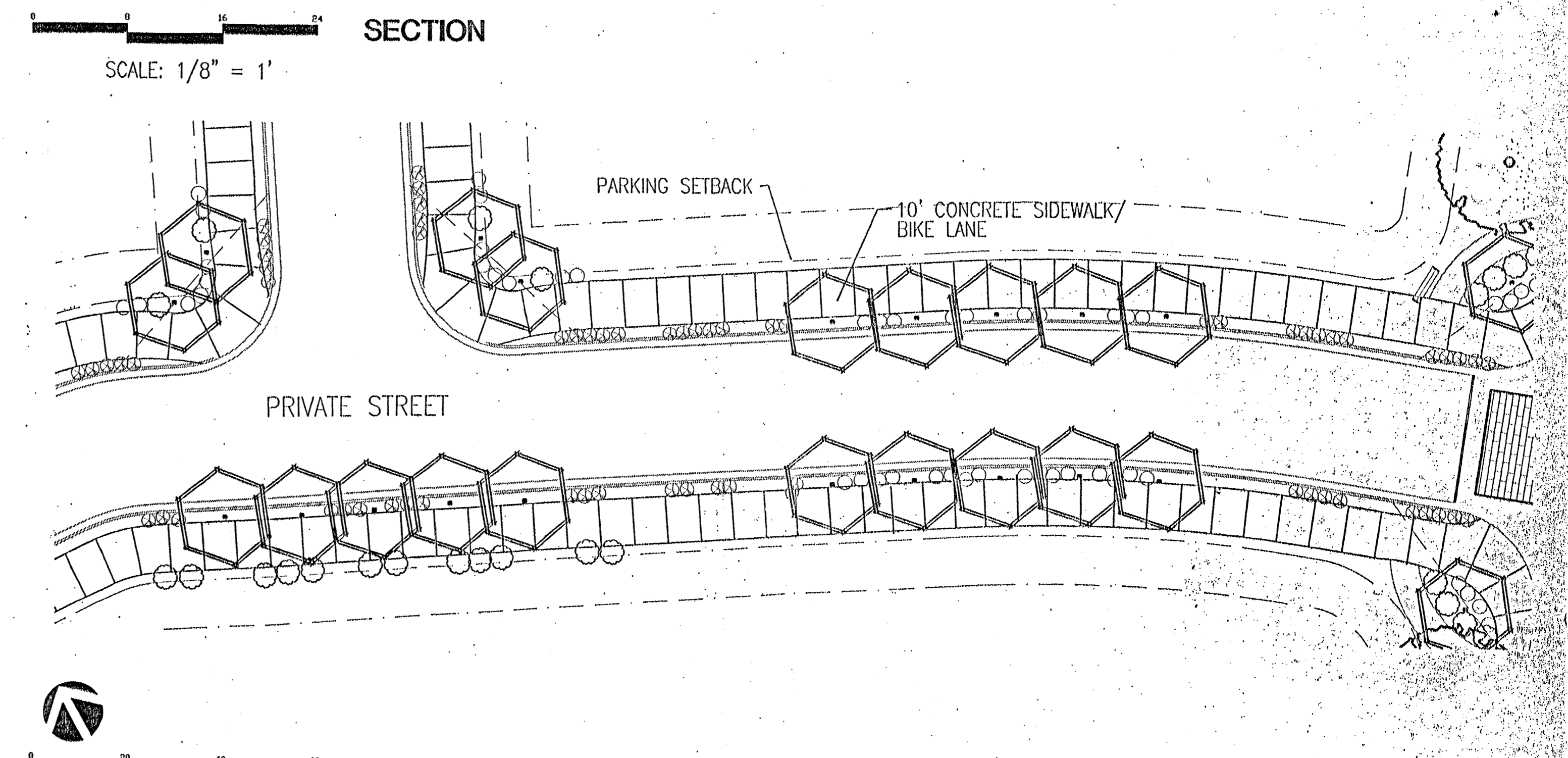
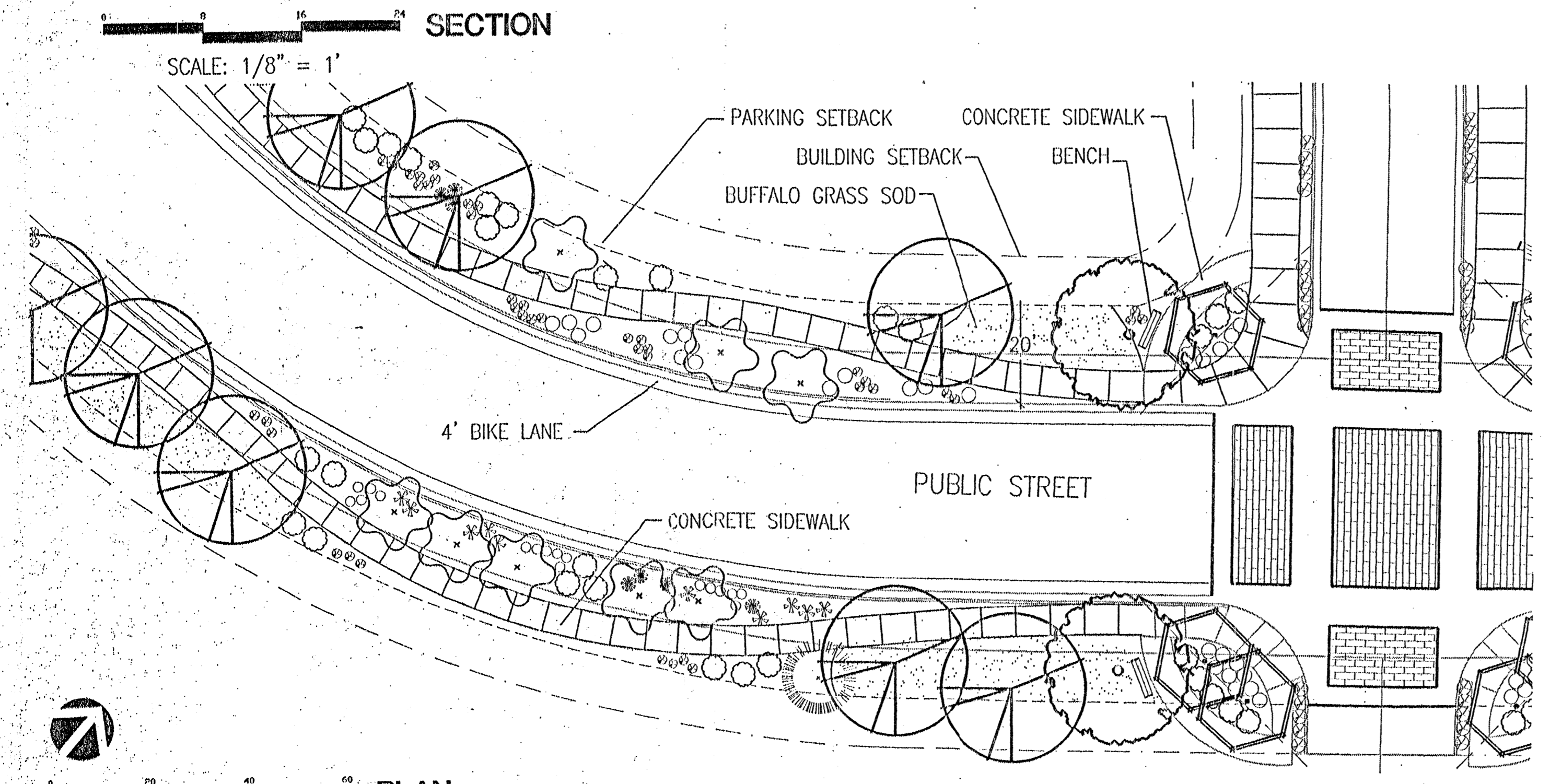
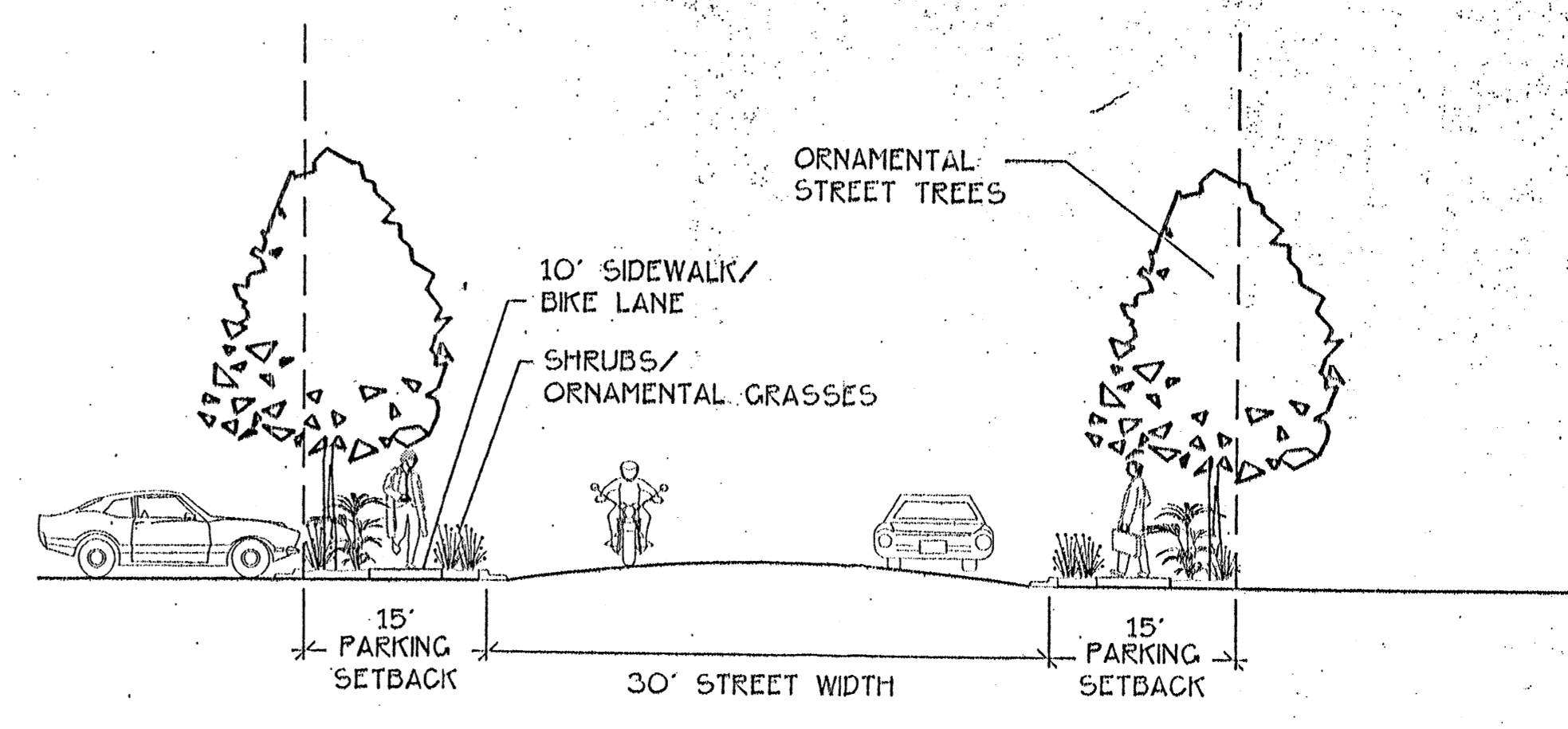
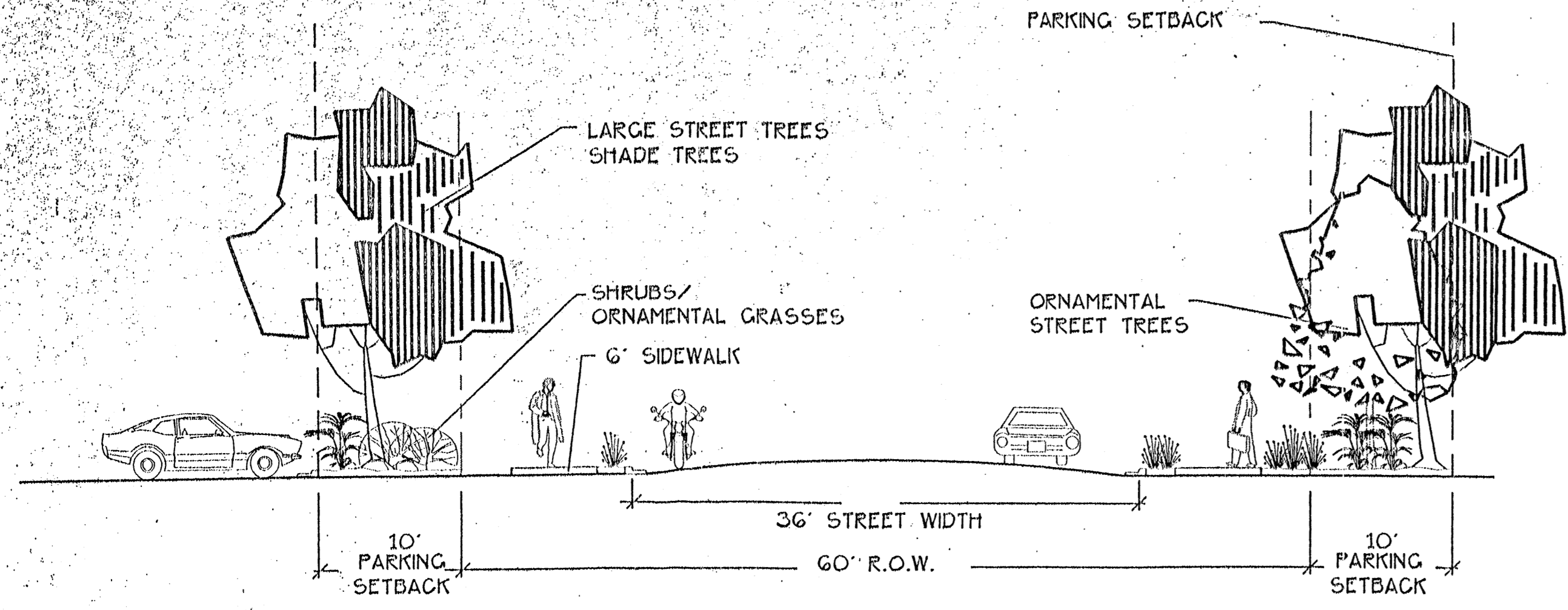


Courtesy of
 7500 JEFFERSON NE
 ALBUQUERQUE
 NEW MEXICO 87109

Dekker / Perich
 architecture planning interiors

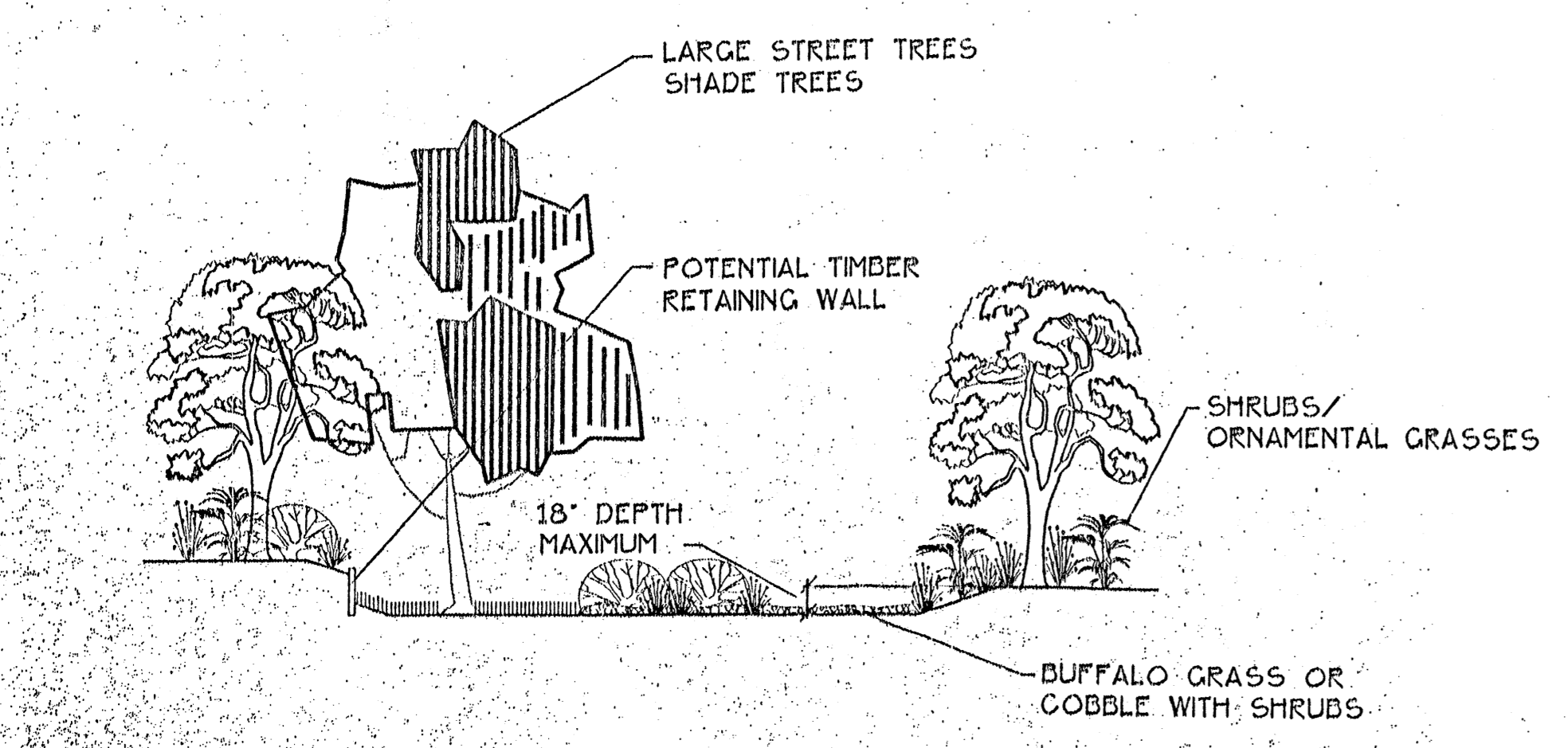
ENGINEERS - PLANNERS - PHOTOGRAPHERS
 SURVEYORS - LANDSCAPE ARCHITECTS

LANDSCAPE CONCEPTS



TYPICAL PUBLIC STREET LANDSCAPE

TYPICAL PRIVATE STREET LANDSCAPE



TYPICAL POND SECTION

PLANT LEGEND

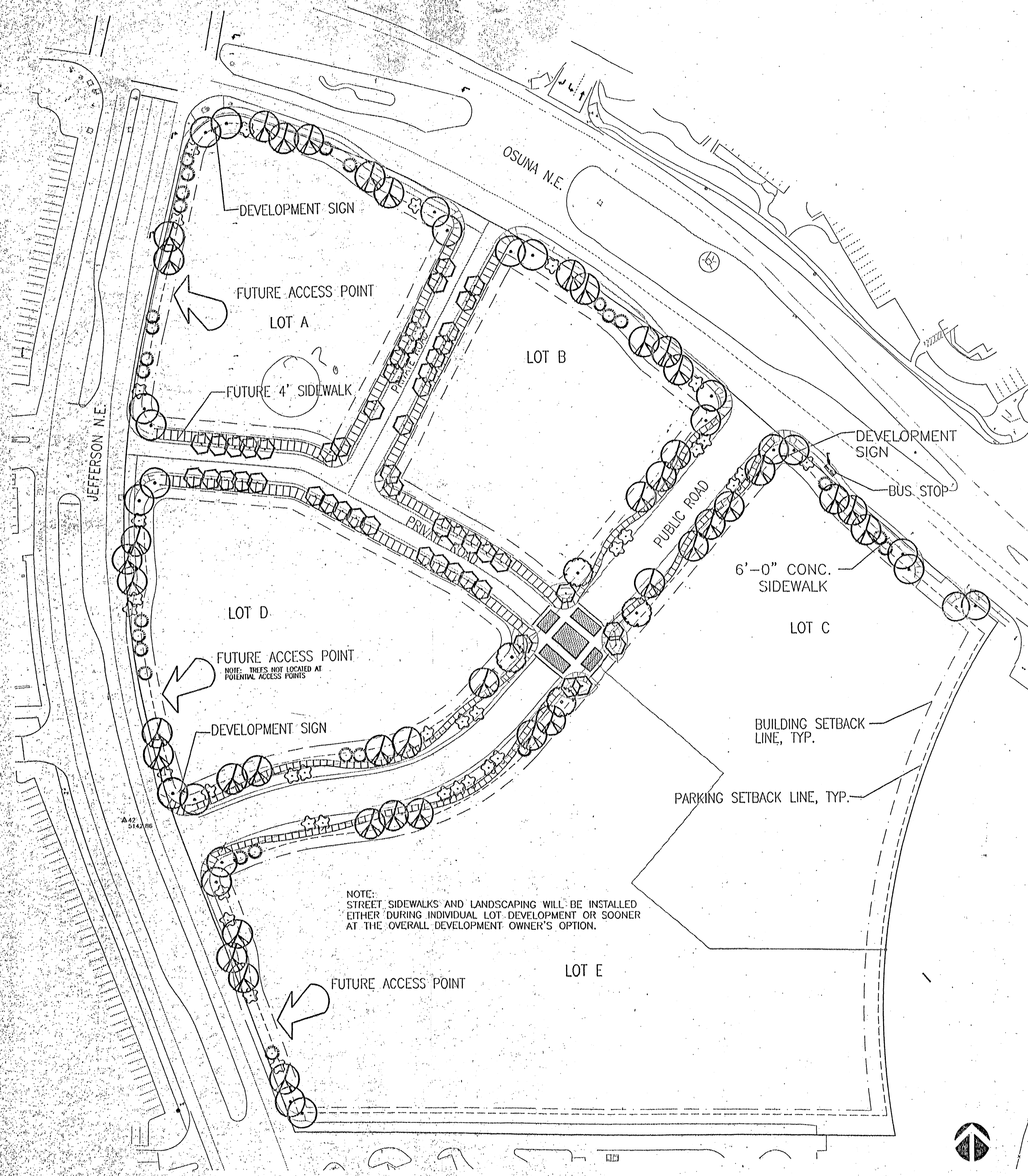
DESCRIPTION	SIZE	ESTIMATED QUANTITY	SIZE	ESTIMATED QUANTITY
TREES				
Quercus emoryi	EMORY OAK	2 1/2" CAL	4	
Quercus muhlenbergia	CHINQUAPIN	2" CAL.	24	
Robinia ambigua	PURPLE ROBE			
Gleditsia triacanthos	HONEY LOCUST	2" CAL.	42	
Forestiera neomexicana	NM OLIVE	15 GAL.	35	
Chilopsis linearis	DESERT WILLOW			
Crataegus spp.	CRIMSON CLOUD HAWTHORN	15 GAL.	51	
Pinus edulis	PINON	6"-8" HT	26	
Populus fremontii	COTTONWOOD (Pond Areas Only)	2 1/2" CAL	5	
		5 GAL.	+ 630	
SHRUBS				
Fallugia paradoxa	APACHE PLUME			
Chrysothamnus nauseosus	CHAMISA			
Agave spp.	AGAVE			
Cotoneaster glaucophyllus	GREYLEAF COTONEASTER			
Rosemarinus officinalis "Arp"	ARP ROSEMARY			
GROUND COVERS				
Helictotrichon sempervirens	BLUE AVENA	1 GAL.	+ 860	
Pennisetum alopecuroides	FOUNTAIN GRASS			
Stipa tenuissima	MEXICAN FEATHER GRASS			
Salvia greggii	CHERRY SAGE			
Cytisus x "Lena"	LENA'S BROOM			
Hesperaloe parviflora	RED YUCCA			
GRASSES				
Buchloe dactyloides	BUFFALO GRASS	SOD	+12000 SF	
	Reclamation Seeding			

DRB Submittal
 Master Development Plan
 One Presidential Plaza
 Sheet 5 of 7
 November 25, 1997

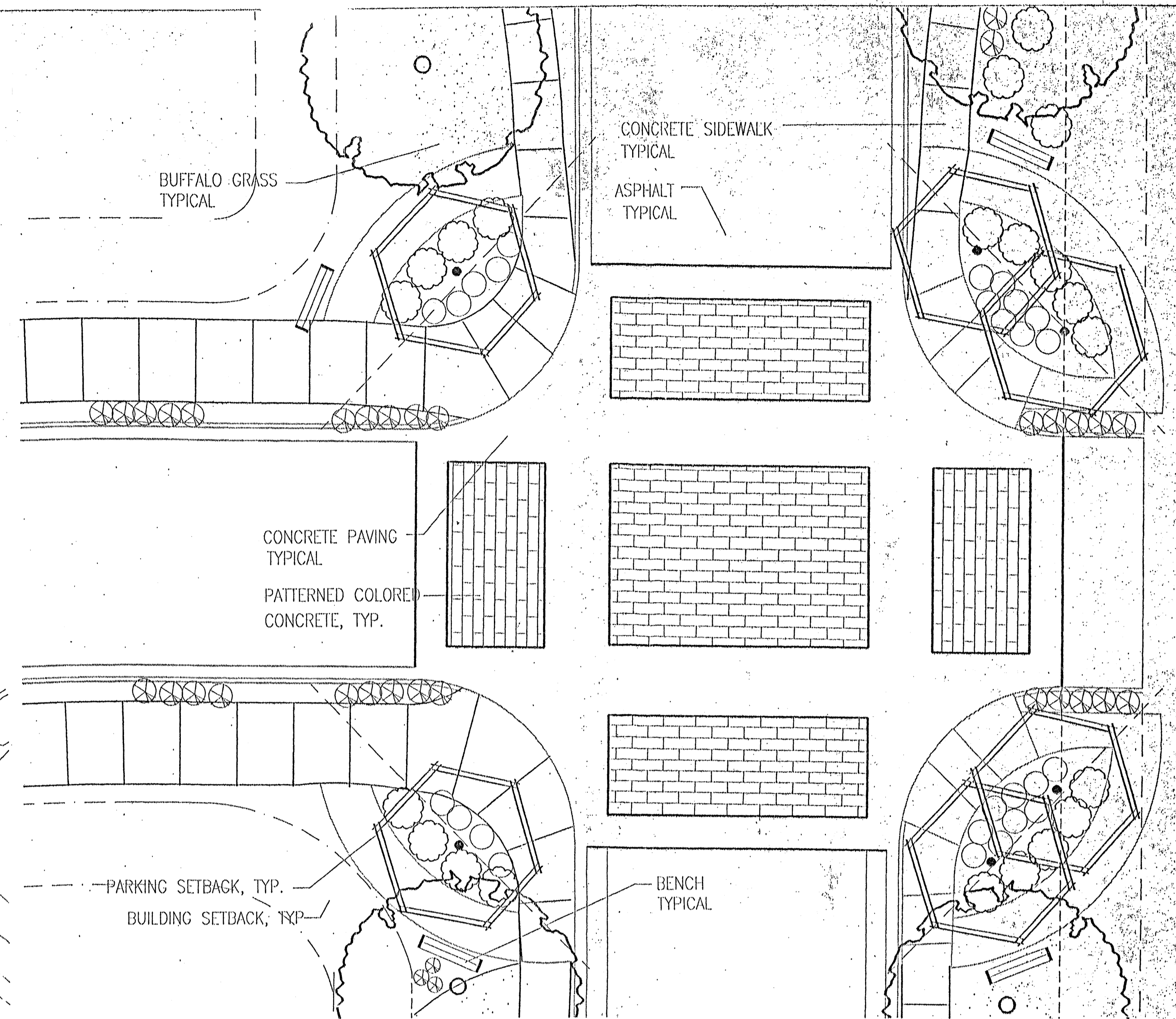
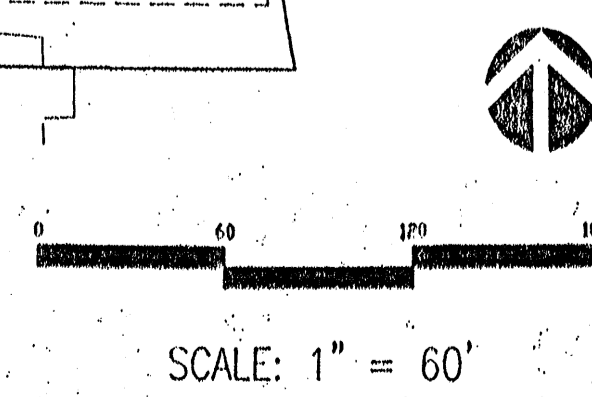
Dekker / Perich
 architecture · planning · interiors

Bourgeois & O'Neil
 Courtyard One
 7500 JEFFERSON NE
 Albuquerque
 NEW MEXICO 87109
 ENGINEERS · PLANNERS · PHOTOGRAPHERS
 SCULPTORS · LANDSCAPE ARCHITECTS

LANDSCAPE CONCEPTS



SCHEMATIC LANDSCAPE PLAN



MAJOR INTERSECTION STREETSCAPE

PLANT LEGEND

DESCRIPTION	SIZE	ESTIMATED QUANTITY
TREES		
Quercus emoryi	EMORY OAK	2 1/2" CAL. 4
Quercus muhlenbergia	CHINQUAPIN	2" CAL. 24
Robinia ambigua	PURPLE ROBE	2" CAL. 42
Gleditsia triacanthos	HONEY LOCUST	2" CAL. 35
Forestiera neomexicana	NM OLIVE	15 GAL. 51
Chilopsis linearis	DESERT WILLOW	6'-8" HT. 26
Crataegus spp.	CRIMSON CLOUD HAWTHORN	15 GAL. 5
Pinus edulis	PINON	2 1/2" CAL. 5
Populus fremontii	COTTONWOOD (Pond Areas Only)	
SHRUBS		
Fallugia paradoxa	APACHE PLUME	5 GAL. ± 630
Chrysothamnus nauseosus	CHAMISA	
Agave spp.	AGAVE	
Cotoneaster glaucophyllus	GREYLEAF COTONEASTER	
Rosemarinus officianalis "Arp"	ARP ROSEMARY	
GROUND COVERS		
Helictotrichon sempervirens	BLUE AVENA	1 GAL. ± 860
Pennisetum alopecuroides	FOUNTAIN GRASS	
Stipa tenuissima	MEXICAN FEATHER GRASS	
Salvia greggii	CHERRY SAGE	
Cytisus x "Lena"	LENA'S BROOM	
Hesperaloe parviflora	RED YUCCA	
GRASSES		
Buchloe dactyloides	BUFFALO GRASS SOD	+12000 SF
Reclamation Seeding		

LANDSCAPING NOTES

- ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" LAYER OF 1 1/2" SANTA ANA TAN GRAVEL. ALL GRAVEL SHALL BE UNDERLINED WITH DE WITT PRO 5'28" MIL. FILTER FABRIC OR APPROVED EQUAL. EXCLUDE FILTER FABRIC IN GROUNDCOVER AND PERENNIAL AREAS.
- TREE LOCATIONS AS SHOWN ARE SCHEMATIC AND MAY VARY BASED ON SIGNAGE LOCATIONS, AND OTHER SITE CONSTRAINTS. TREE LOCATIONS SHALL COMPLY WITH ALL JURISDICTIONAL ORDINANCES WHICH APPLY.
- RESPONSIBILITY FOR LANDSCAPE MAINTENANCE ON THE SITE SHALL LIE WITH THE OWNER.
- AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM IS TO BE DESIGNED AND CONSTRUCTED FOR ALL INSTALLED PLANT MATERIALS. GRASS AREAS WILL BE SPRAY IRRIGATED. TREES WILL BE IRRIGATED WITH A LOW FLOW BUBBLER SYSTEM, AND SHRUBS AND GROUND COVERS WILL BE IRRIGATED WITH A DRIP EMITTER SYSTEM.
- AT MATURITY, PLANTS WILL PROVIDE MINIMUM COVERAGE OF 75% OF THE LANDSCAPE AREA.

DRB Submittal
Master Development Plan
One Presidential Plaza

Sheet 6 of 7
 November 25, 1997

Dekker / Perich
 architecture planning interiors

Bottanini & Hubston
 Courtyard One
 7500 JEFFERSON NE
 Albuquerque
 NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAPHERS
 SURVEYORS LANDSCAPE ARCHITECTS

Site Design Criteria

Zoning and Building Codes
All site design will comply with the City of Albuquerque Zoning Ordinance, Uniform Building Code (1991 Edition), all ADA and applicable Accessibility Standards required by the City of Albuquerque and the following criteria:

- Building setbacks** 1 are to be established by the zoning ordinance or the following, whichever is greater:
- Adjacent to Jefferson Blvd. and Osuna Rd. 20'-0" from ROW Line
 - Adjacent to Interior Public ROW 20'-0" from ROW Line
 - Adjacent to Interior Private Streets 20'-0" from face of curb
 - Adjacent to Private Access Drives 10'-0" from face of curb

Off-street parking 2 will be provided as required by the City of Albuquerque Zoning Ordinance as a minimum for each type of use. Parking and parking lot design will conform to the Albuquerque Development Process Manual. Parking should be buffered from the adjacent streets and public view as much as practical by the use of landscaping or buildings.

Site off-street parking for each development shall designate 10% of the total parking provided as reserved for Multiple Occupancy Vehicles.

Parking setbacks are to be per the zoning ordinance or the following, whichever is greater:

- Along Jefferson Blvd. 10'-0" from ROW
- Along Osuna Rd. 10'-0" from ROW
- Along Interior Public ROW 10'-0" from ROW
- Along Private Streets 15'-0" from face of curb

Parking and traffic circulation should be designed to promote the smooth flow of traffic through the site and avoid traffic congestion both on the site and the adjacent Public and Private Streets.

Site Screening 3

All on-site trash dumpsters and outdoor storage areas will be enclosed by a solid wall constructed of materials similar to the materials of the buildings they serve and have a minimum height of 6'-0". Enclosures will be located in as inconspicuous a location as possible within the site and will be constructed and located to meet the City of Albuquerque Refuse Department requirements.

All on-site utility equipment exposed to public view (i.e. electrical transformers, switchgear, backflow preventers, etc.) will be screened using landscaping or a combination of landscaping and berming to screen these elements from public view.

All site located mechanical equipment such as generators or HVAC equipment will be screened with structural enclosures of materials and finishes similar to the building they serve and of sufficient height to screen the equipment from public view as much as practical.

Pedestrian Walks and Linkages

Sidewalks shall be provided on all sites to insure adequate pedestrian linkages between adjacent public and private streets and building entries as well as between adjacent properties separated by streets. Pedestrian linkages in the form of sidewalks or designated pedestrian paths will be provided from bus stops to the building entries. *The use of plazas along pedestrian walks and linkages is encouraged.*

All sidewalks 4 and pedestrian paths will meet the requirements of The Americans with Disabilities Act (ADA) and have a minimum width of 4'-0".

All sidewalks are to have adjacent landscaping 5 and have adjacent shade trees as required by city ordinances.

Where possible, sidewalks are to be meandering rather than straight, especially when adjacent to public streets.

The use of paving materials other than poured gray concrete (i.e. stone, brick, color integral concrete) are acceptable and encouraged at building entries or site plazas; provided the paving material is at least as durable as concrete and is architecturally consistent with the building material and color. Sidewalks along street frontages will all be of poured in place concrete with a light broom finish perpendicular to the direction of travel.

Site Signage

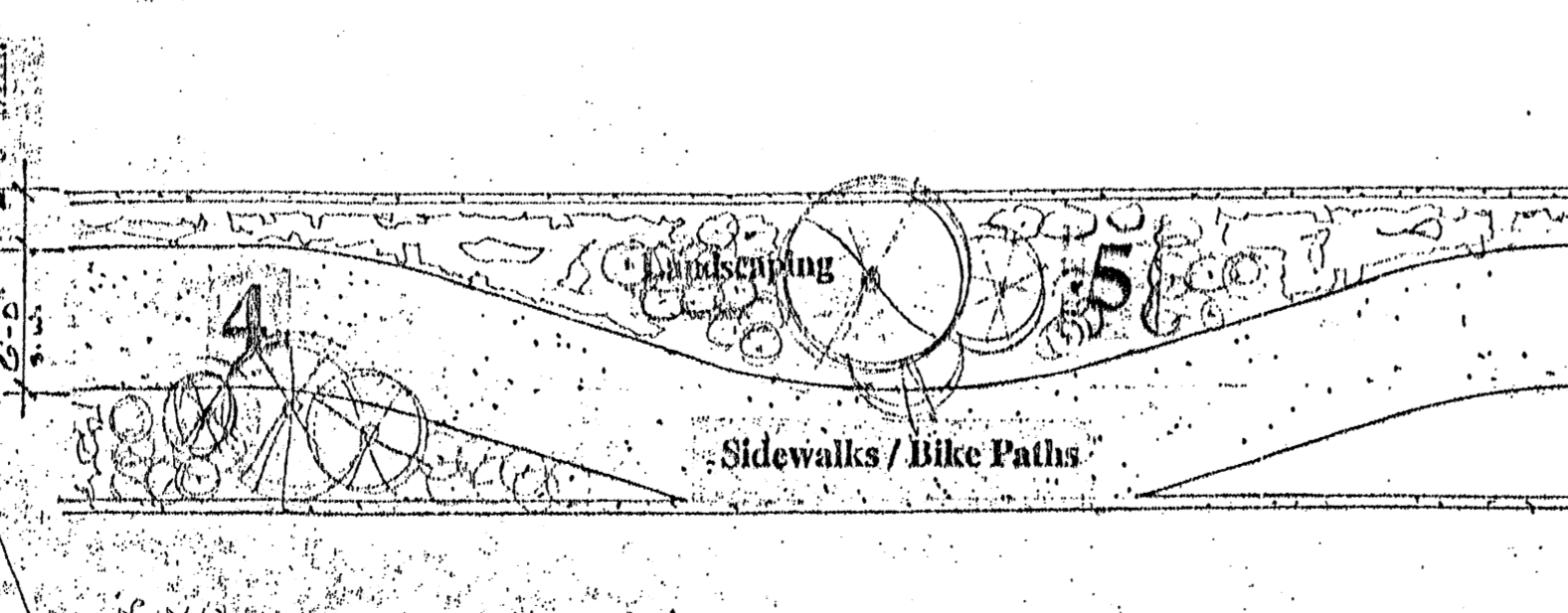
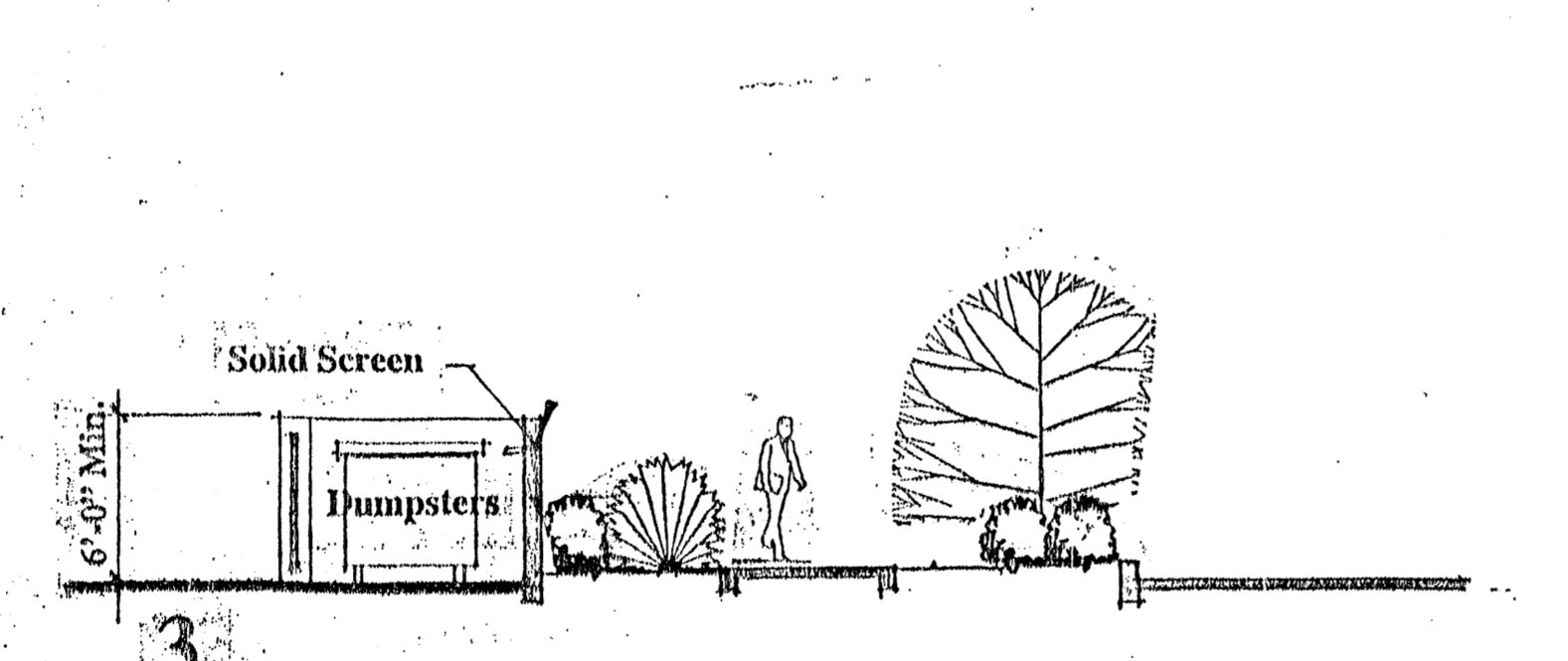
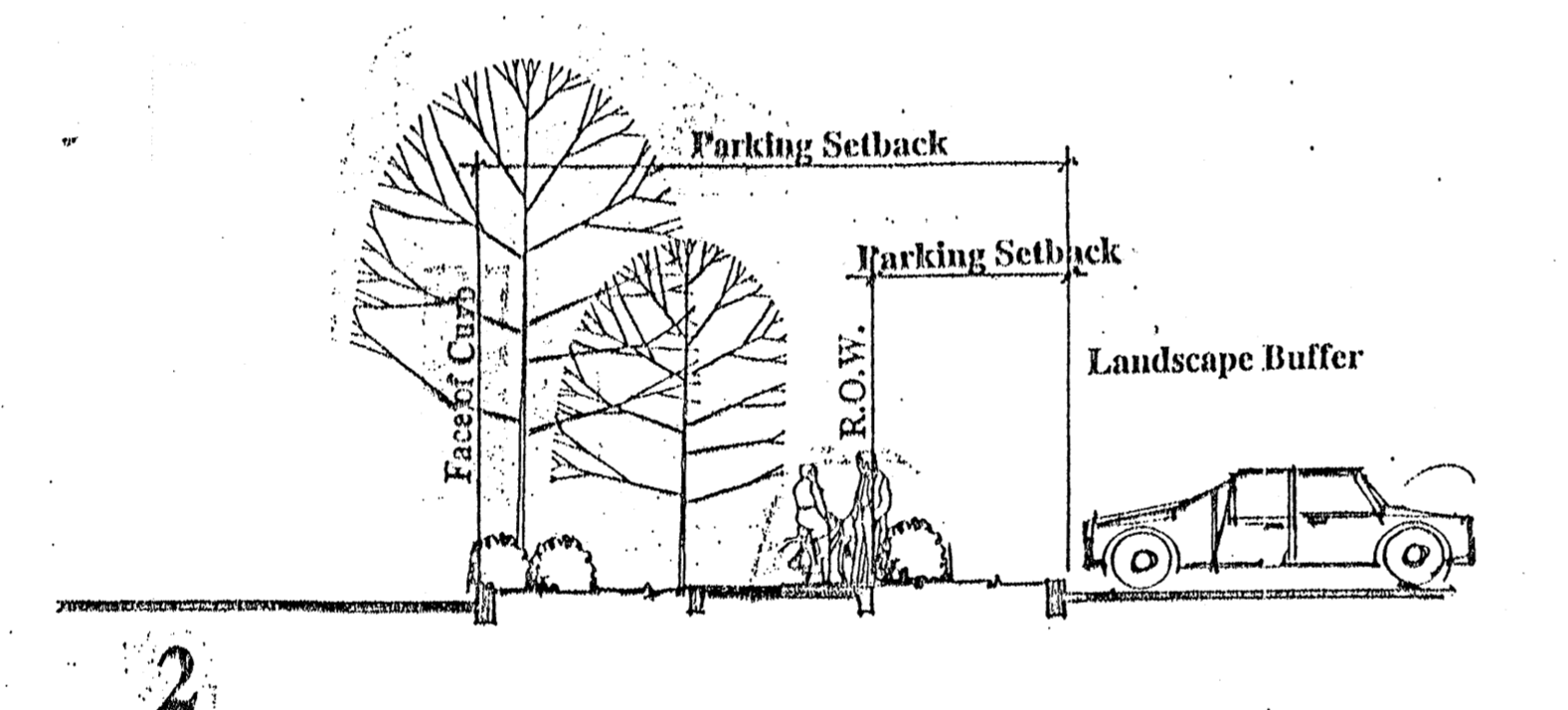
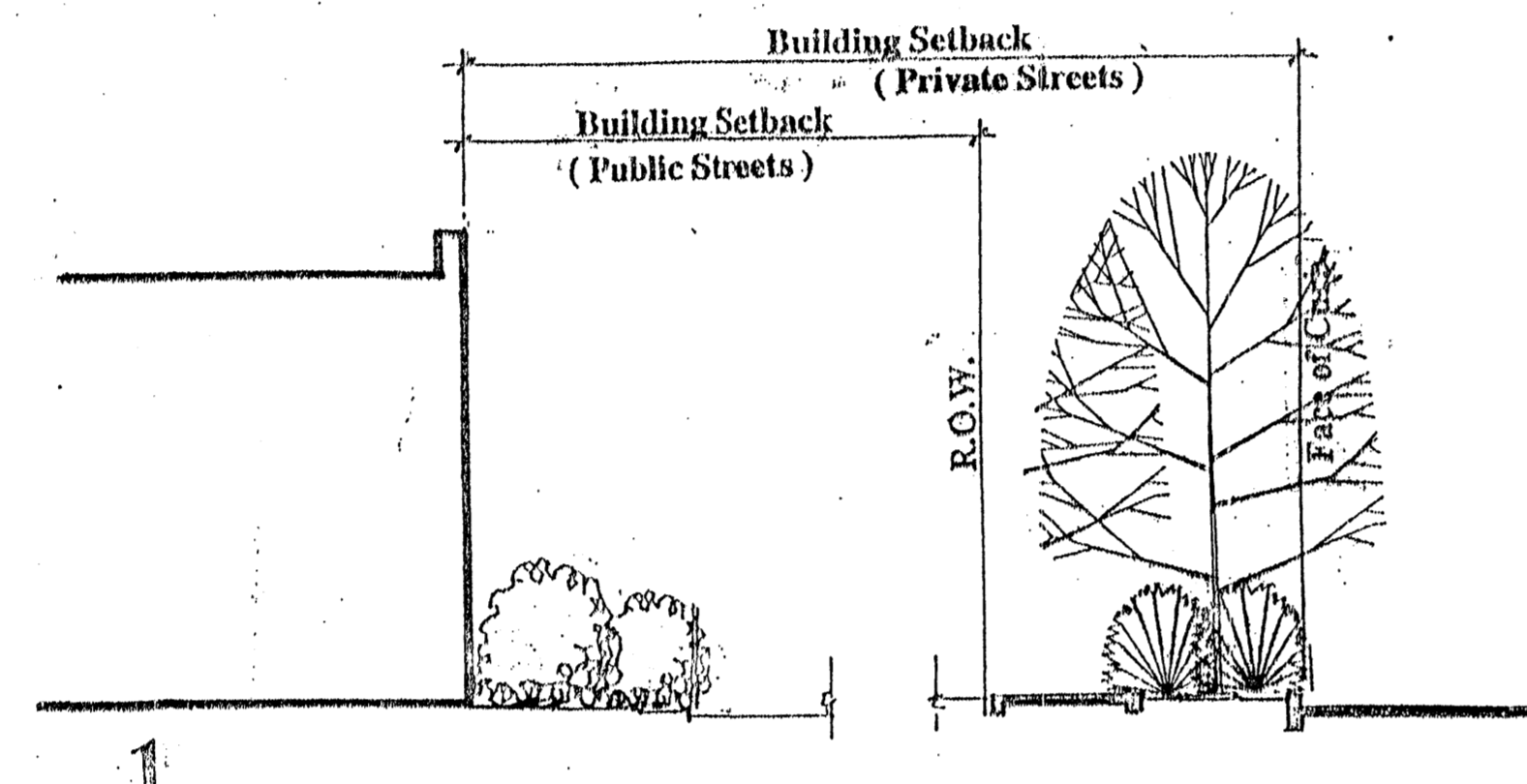
Signage on each lot shall comply with the Albuquerque Zoning Ordinance and the following:

- Pole mounted signs shall be limited in height to the height of similar signs located directly across Jefferson Blvd. or Osuna Rd. or diagonally across the intersection of these streets.
- Pole signs shall be limited to one per lot.
- Each individual lot development which includes a pole mounted sign shall be limited to the following additional signage:
 - a. A maximum of two building mounted wall signs.
 - b. No site mounted monument signs.
- Lot developments which do not include a pole mounted sign shall be allowed the following:
 - a. A maximum of three building mounted signs.
 - b. A maximum of one site monument sign.
- Projecting signs and roof signs are not allowed.
- Bill boards and off-premise signage are not allowed in any portion of this development.

Site Lighting

In addition to lighting regulations in the zoning ordinance, the following shall apply:

- Site lighting of parking lots, drives, plazas and entries will be provided to insure adequate lighting for both vehicular and pedestrian traffic after dark.
- Site parking lot lighting fixtures will not exceed 24'-0" in height.
- Light fixtures for walkways and plazas will be located between 6'-0" and 16'-0" in height.
- All parking lot lighting will be metal halide type fixtures.
- Site and exterior area lighting pole mounted fixtures will be of the "shoebox" type to avoid lights from interfering with local or adjacent traffic. Finish of poles and fixtures are to be consistent with the colors of the building.
- The use of landscape and building exterior lighting is encouraged to accent building features and highlight site and landscape areas. All such lighting is to be designed to minimize fugitive light either onto adjacent streets or the night sky.



Architectural Design Criteria

Architectural Design

Architectural Design Criteria are established to promote a visual and aesthetic consistency within the development and to avoid incompatible design schemes and elements harmful to the overall and individual developments.

All building design and exterior building treatments shall be architecturally compatible within individual site development buildings and between buildings on separate sites. In this regard, the 1st project approved and developed will establish the architectural design direction for all subsequent buildings. This is not to imply that all buildings be identical but should be designed to promote architectural harmony and compatibility in the development.

No generic franchise building designs will be allowed within the development.

Building Heights A must fall within a 45-degree plane drawn from the horizontal at the mean grade along each boundary of the premises, but a structure (including parapets and roof equipment screens) will not exceed 120 feet.

Opaque exterior building materials B used will be consistent with commonly used materials in Albuquerque and New Mexico. These include stucco, exterior finish and insulation systems (EIFS) with synthetic stucco finishes, brick and stone masonry or veneer, concrete masonry with architectural exterior treatment and pre-cast architectural concrete. Materials not allowed as the predominant facades finishes include smooth face concrete masonry, metal paneling, ceramic tile veneer or reflective glass.

Windows and storefronts are to have tinted glass and are to be in anodized aluminum or pre-finished metal frames. Glass colors are to be compatible with the overall color scheme of the building. Glass curtainwalls are limited to building entries and should not exceed 25% of the area of the building facade of which they are part. Glass curtainwalls may have reflective glass of a color compatible with other glass used in windows and storefronts.

Accent walls or accent elements introduced to the building design to give it detailing may utilize any of the allowable materials above as well as painted or pre-finished metal, stainless steel, ceramic tile veneer or colored concrete.

Building Colors of major facades are to be muted or pastel rather than bright or brilliant. The use of primary colors for major building walls is prohibited.

Architectural accent walls, detached entry walls or colonnades or attached accent elements (entry canopies, window shading devices, medallions, window awnings) may be primary or bright colors.

Roofs may be either flat or pitched. Flat roofs shall have a perimeter parapet which as no point will be lower than any portion of the roof it surrounds.

Pitched roofs are to be of either concrete tiles, clay tiles or pre-finished ribbed metal. Tile and metal roof colors are to be consistent with the building colors and are not to have a highly reflective surface.

Roof Equipment Screens C

Mechanical equipment on roofs is to be screened from public view as much as practical. Roof equipment screens are to be at least as high as the highest part of the equipment. Roof screens are to be architecturally compatible with the building.

Building mounted signage D, where allowed by other portions of this masterplan, will conform to the zoning ordinance and the following:

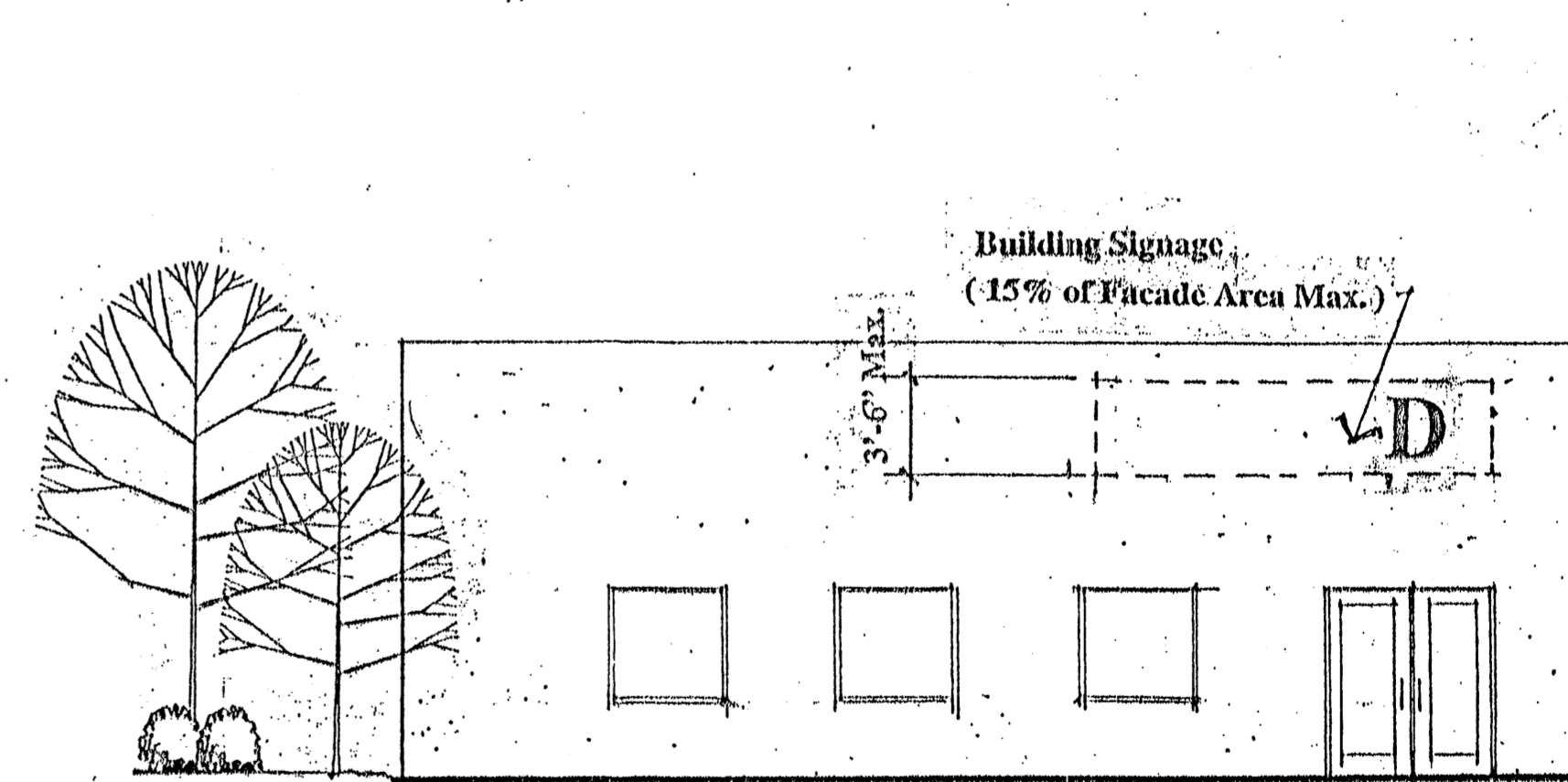
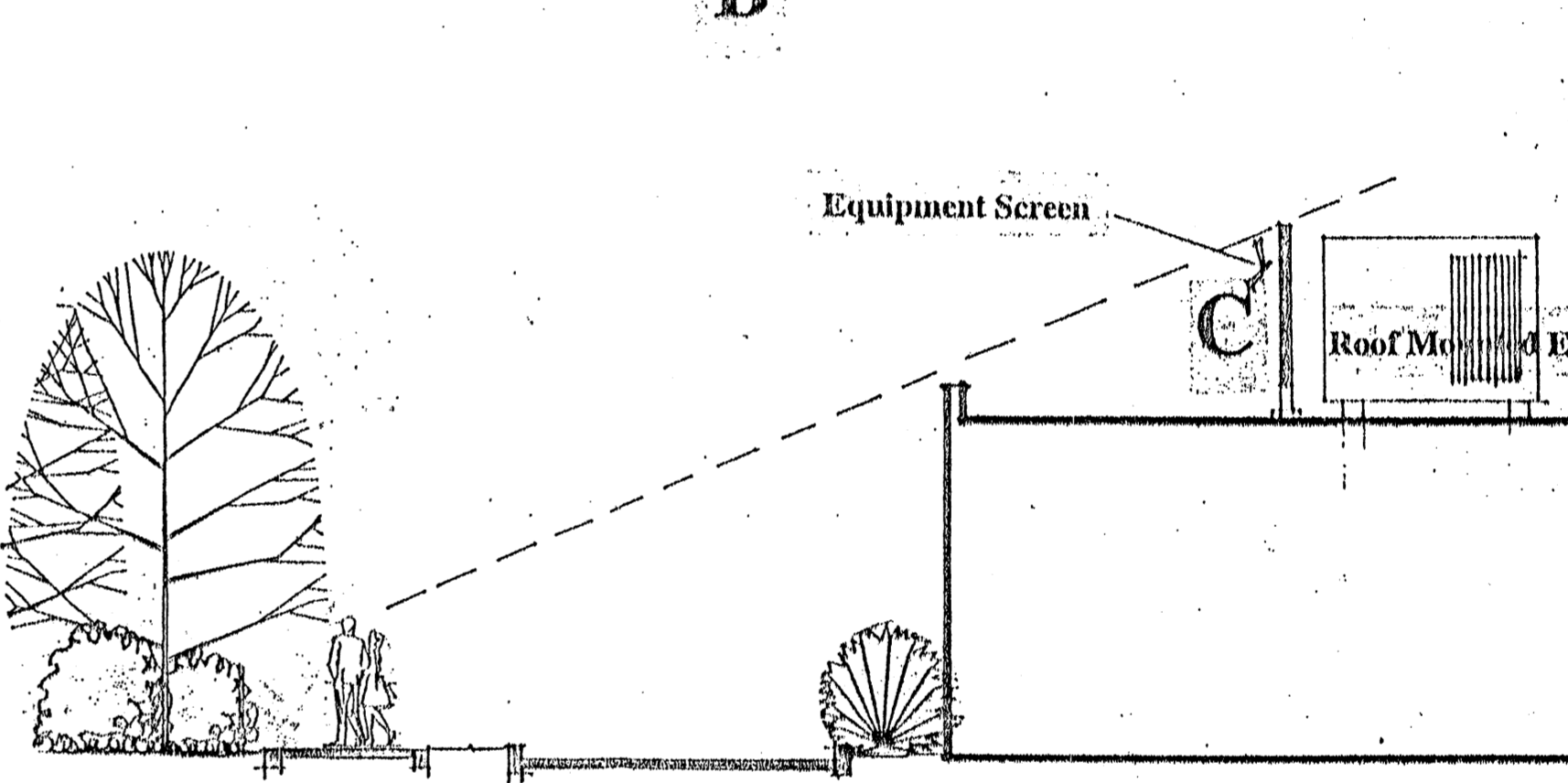
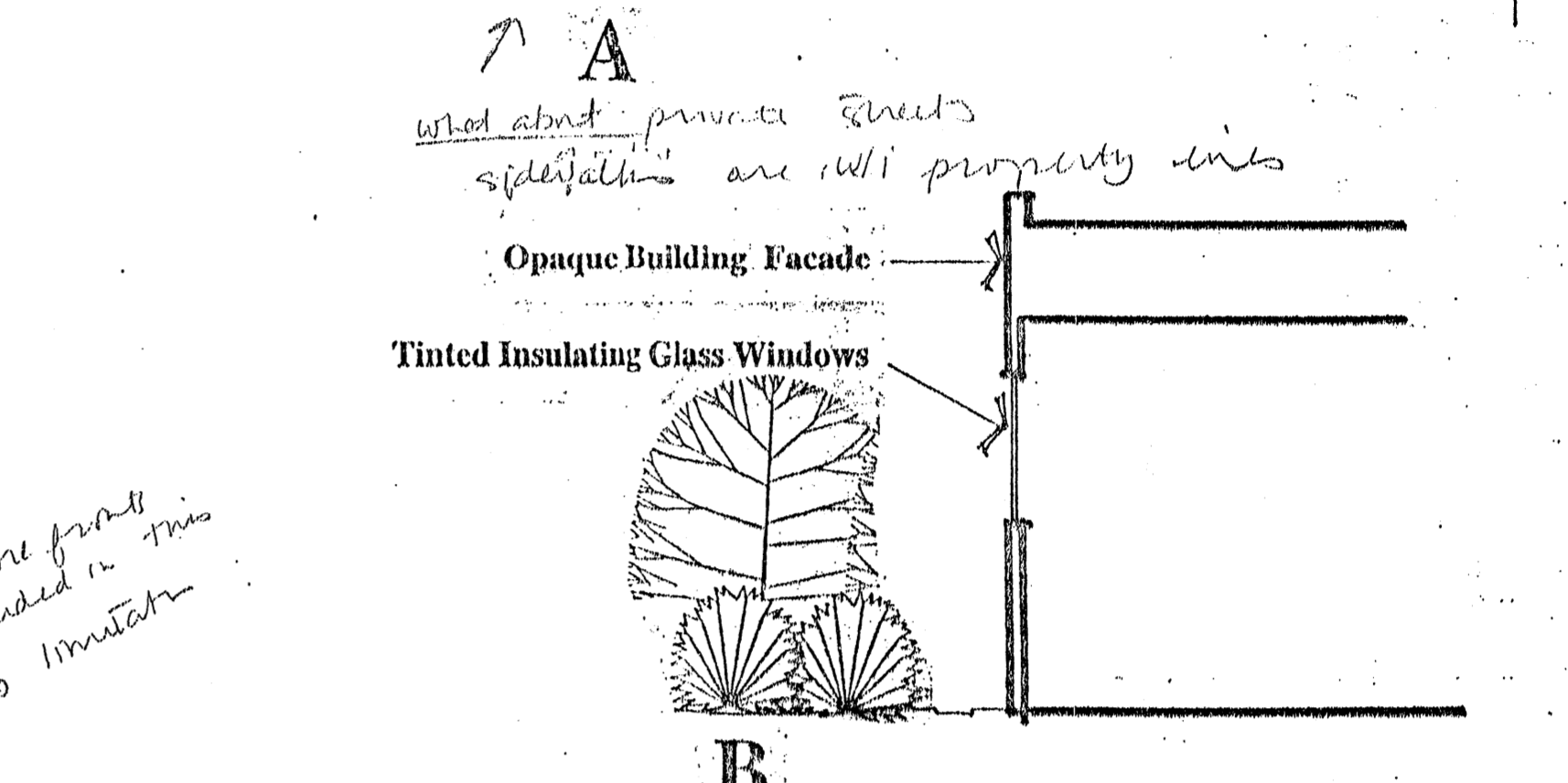
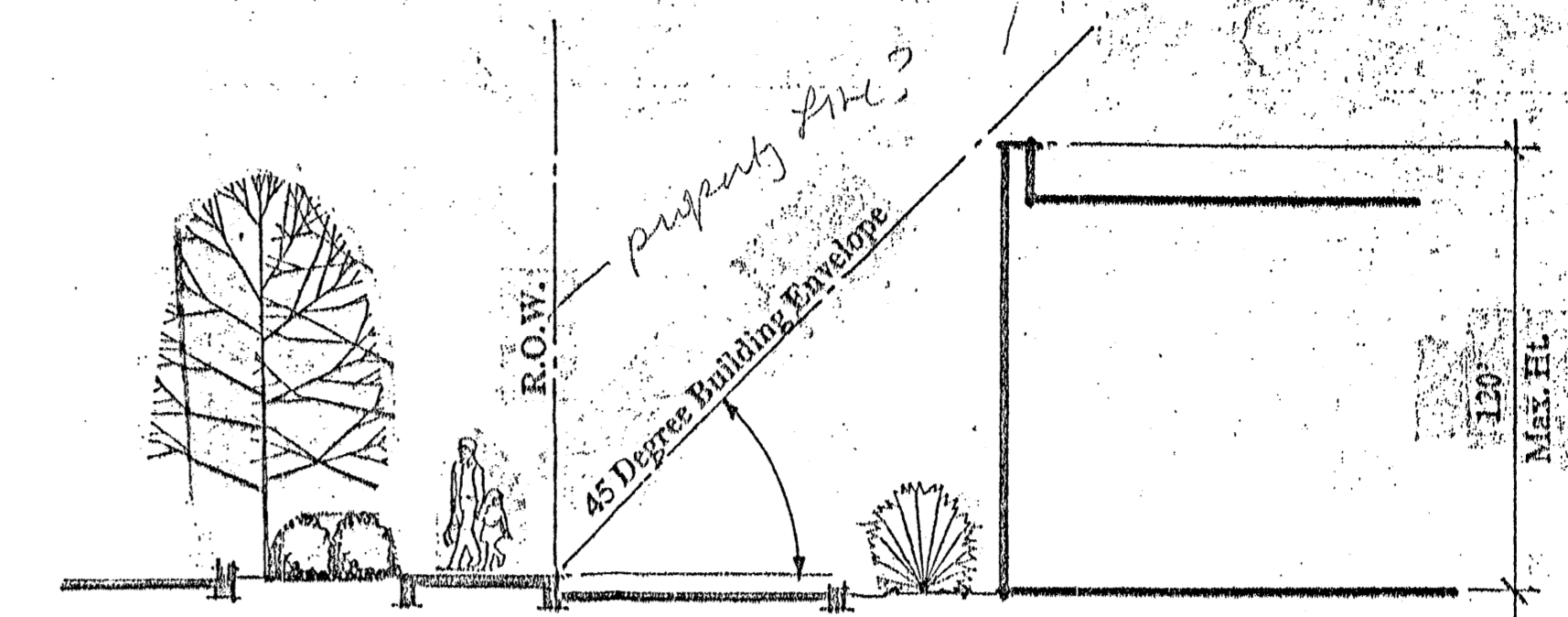
- Height of any portion of the signs shall not exceed 3'-6".
- Signage area shall not exceed 15% of facade area.
- No portion of the sign shall protrude more than 6" from the building face on which it is mounted.
- Building mounted signs shall not extend above the building parapet.

General Criteria

- All office buildings to have employee lockers and showers based on the requirements of the Supporting Bicycle Facilities Plan of the LKTP.
- Office buildings shall provide for outdoor eating and gathering areas.
- Larger office building on Lot E shall provide for indoor eating and gathering area.

ALL EMPLOYEES WITH OVER 50 EMPLOYEES ON THIS SITE ARE REQUIRED TO JOIN THE I-25 ACTIVITY CENTER TRANSPORTATION MANAGEMENT ASSOCIATION

- All antennae for individual projects will be screened from view with structural enclosures of materials and finishes similar to the building they service.
- Drive through canopies are to be designed to be architecturally compatible in terms of materials, exterior finishes and colors with the other building on site.



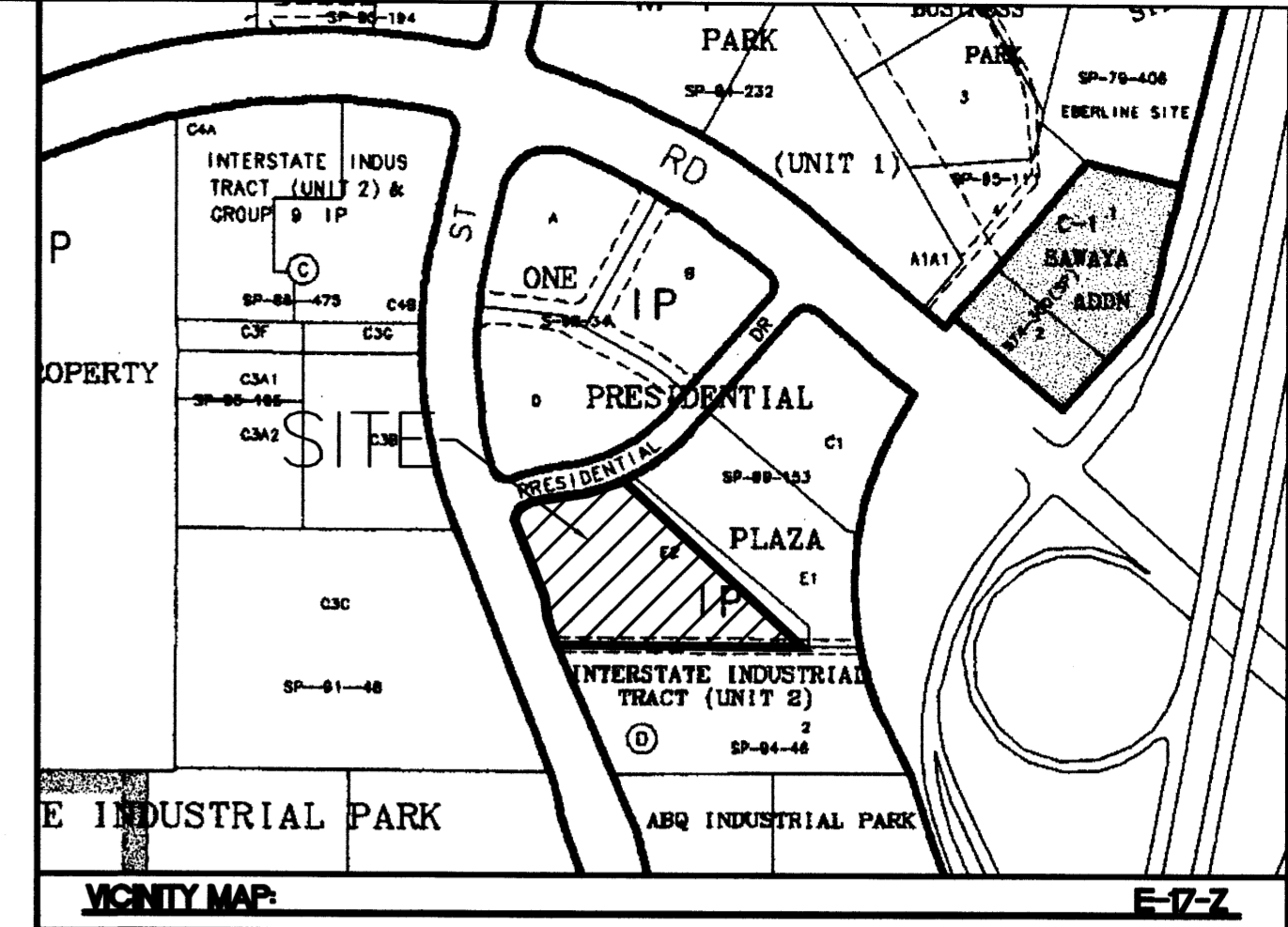
DRB Submittal
Design Criteria
Sheet 7 of 7
November 25, 1997

Dekker / Perich
architecture planning interiors

Presidential Drive, N.E.
(60' R.O.W.)

CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C1	42.31	150.00	16°09'41"
C2	7.57	150.00	2°53'31"
C3	47.47	30.00	90°39'35"
C4	83.88	350.00	13°43'53"
C5	87.64	410.00	12°14'51"

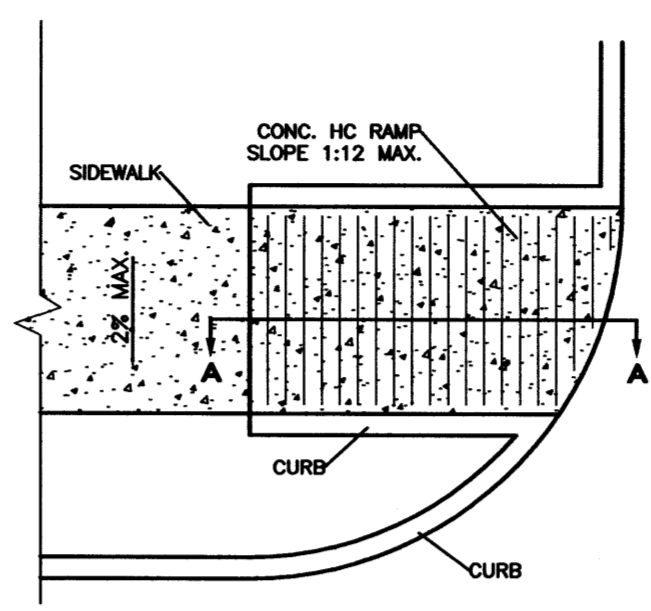
LINE TABLE		
LINE	LENGTH	BEARING
L1	499.39	N49°15'05"W
L2	477.08	N89°38'32"W
L3	34.66	N20°57'15"W
L4	176.12	N20°57'15"W



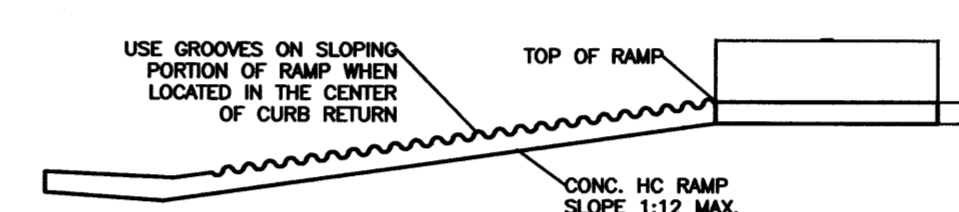
LEGAL DESCRIPTION:
LOT E-2-A, ONE PRESIDENTIAL PLAZA

NOTES:
1. ---

- NOTES:**
1. THE SURFACE OF RAMP AND SIDES SHALL HAVE A TRANSVERSE BROOKED SURFACE TEXTURE ROUGHER THAN THE SURROUNDING SIDEWALK.
 2. THE RAMP SHALL BE GROOVED IN A TRANSVERSE PATTERN WITH 1/4" GROOVES APPROXIMATELY 1-1/2" O.C. SEE SECTION A-A.
 3. THE BOTTOM OF THE RAMP SHALL HAVE A 1/4" UP OF 48".
 4. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
 5. CONSTRUCT PER A.D.A. STANDARDS.

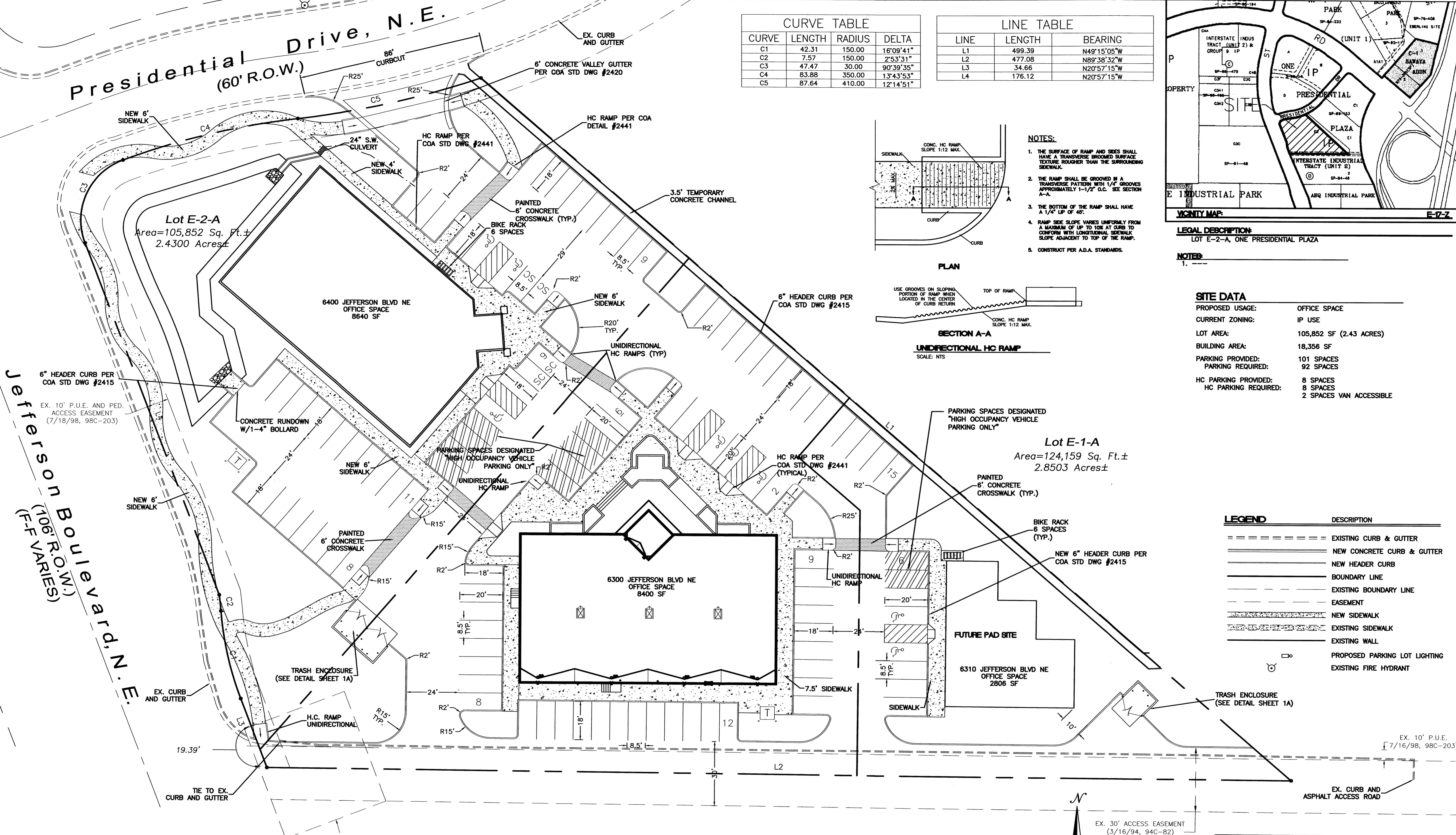


PLAN



SECTION A-A

UNIDIRECTIONAL H.C. RAMP
SCALE: NTS

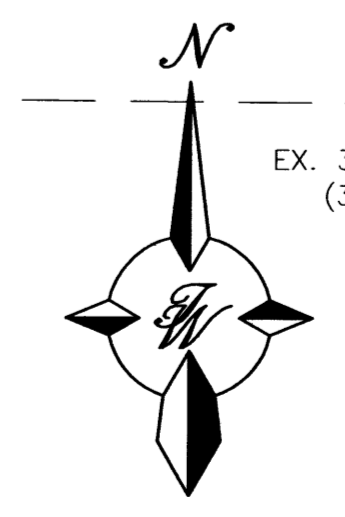


SITE DATA

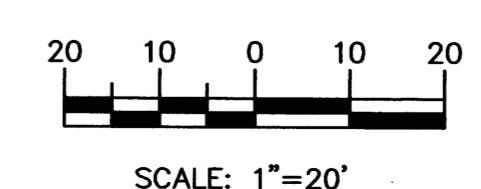
PROPOSED USAGE:	OFFICE SPACE
CURRENT ZONING:	IP USE
LOT AREA:	105,852 SF (2.43 ACRES)
BUILDING AREA:	18,356 SF
PARKING PROVIDED:	101 SPACES
PARKING REQUIRED:	92 SPACES
H.C. PARKING PROVIDED:	8 SPACES
H.C. PARKING REQUIRED:	8 SPACES
	2 SPACES VAN ACCESSIBLE

LEGEND

SYMBOL	DESCRIPTION
--- (dashed line)	EXISTING CURB & GUTTER
— (solid line)	NEW CONCRETE CURB & GUTTER
— (solid line)	NEW HEADER CURB
— (dashed line)	BOUNDARY LINE
— (dashed line)	EXISTING BOUNDARY LINE
— (dashed line)	EASEMENT
— (dashed line)	NEW SIDEWALK
— (dashed line)	EXISTING SIDEWALK
— (dashed line)	EXISTING WALL
— (dashed line)	PROPOSED PARKING LOT LIGHTING
— (dashed line)	EXISTING FIRE HYDRANT



GRAPHIC SCALE



SCALE: 1"=20'

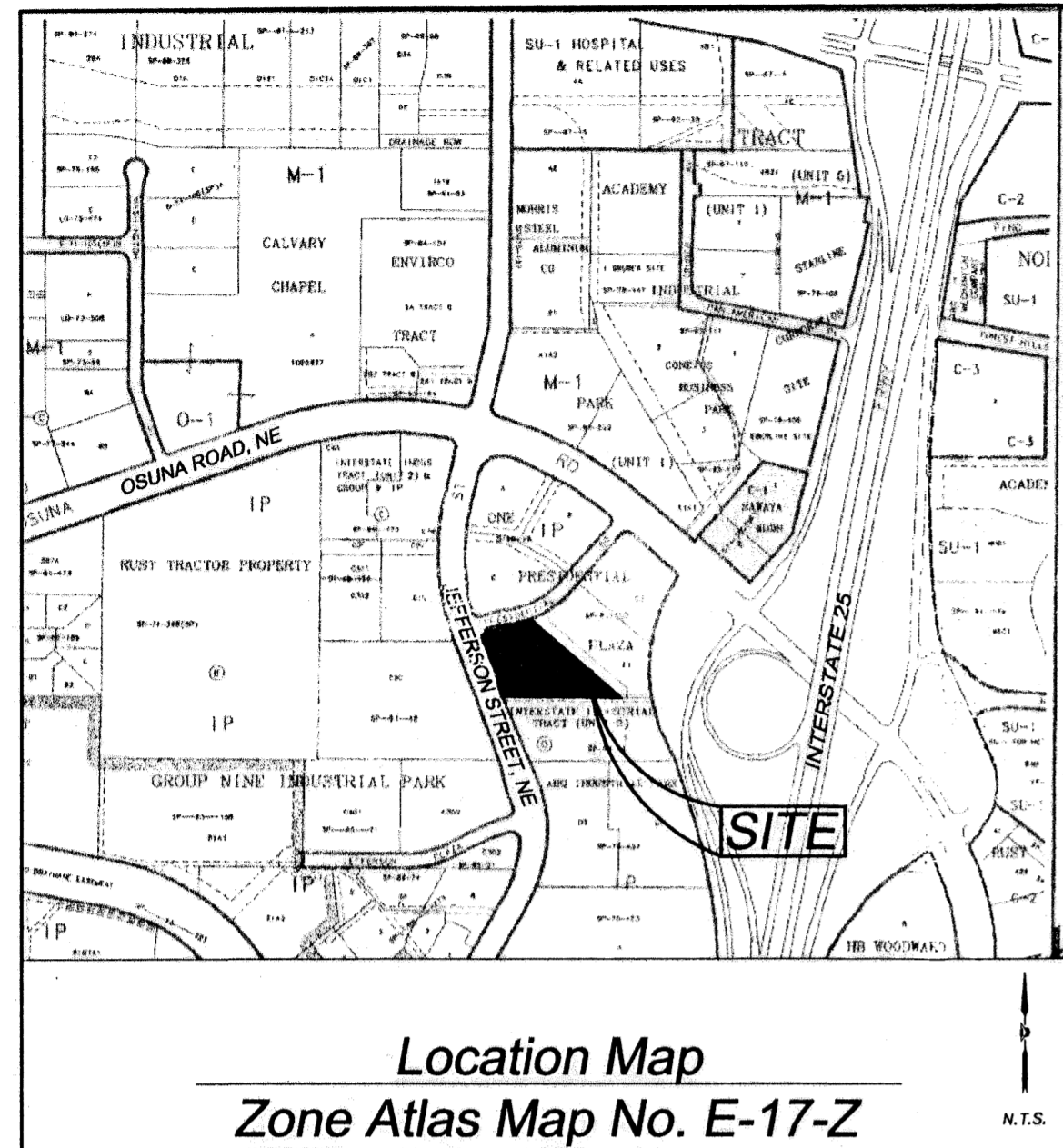
LOT 2
BLOCK D, UNIT II
INTERSTATE INDUSTRIAL TRACT
(03/16/94, 94C-82)

EX. 30' ACCESS EASEMENT
(3/16/94, 94C-82)

Solid Waste Engineer

Date

ENGINEER'S SEAL	ONE PRESIDENTIAL PLAZA	DRAWN BY B/JF
	TRAFFIC CONTROL LAYOUT AND SITE PLAN	DATE 12/18/02
RONALD R. BOHANNAN P.E. #7868	TERRA WEST, LLC 8509 JEFFERSON NE ALBUQUERQUE, NEW MEXICO 87113 (505)858-3100	22060TCL-SP.DWG
		SHEET # 1
		JOB # 220060



Location Map
Zone Atlas Map No. E-17-Z

Subdivision Data:

GROSS SUBDIVISION ACREAGE: 2.4300 ACRES±
 ZONE ATLAS INDEX NO: E-17-Z
 NO. OF TRACTS CREATED: 0
 NO. OF LOTS CREATED: 2
 MILES OF FULL-WIDTH STREETS CREATED: 0
 DATE OF SURVEY: MAY 22, 2002, FIELD VERIFIED OCTOBER 23, 2002.

Notes:

- MISC. DATA: ZONING IP
- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE - NAD 1927).
- ALL DISTANCES ARE GROUND DISTANCES-US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN PROJECTED SECTION 26, TOWNSHIP 11 NORTH, RANGE 3 EAST, ELENA GALLEGOS GRANT, N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING ONE LOT INTO THREE NEW LOTS.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- SP NO. 2002442669
- NEW SIDEWALKS SHALL NOT BE CONTINUOUS WITHIN THE 10' PUBLIC UTILITY AND PUBLIC PEDESTRIAN ACCESS EASEMENTS SHOWN ON THIS PLAT. SIDEWALK MAY MEANDER IN AND OUT OF 10' PUBLIC UTILITY AND PUBLIC ACCESS EASEMENTS.

Easements

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED.

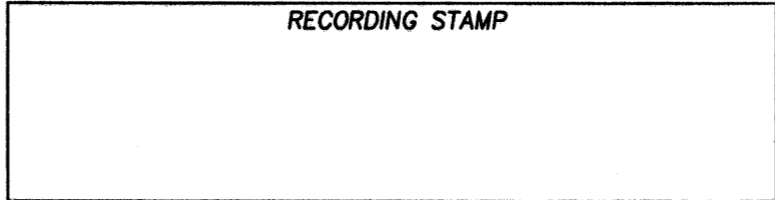
PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND GAS SERVICES (PNM) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON. CONSEQUENTLY, PNM DOES NOT WAIVE NOR RELEASE ANY EASEMENT OR EASEMENT RIGHTS TO WHICH IT MAY BE ENTITLED.



Legal Description

A CERTAIN TRACT OF LAND SITUATE WITHIN THE ELENA GALLEGOS GRANT, IN PROJECTED SECTION 26, TOWNSHIP 11 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, BERNALILLO COUNTY, ALBUQUERQUE, NEW MEXICO, COMPRISING OF LOT LETTERED "E-2-A" OF ONE PRESIDENTIAL PLAZA, A SUBDIVISION WITHIN THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JULY 11, 2002 IN VOLUME 2002C, FOLIO 235, NOW COMPRISING OF LOTS "E-2-A-1", "E-2-A-2", AND "E-2-A-3", ONE PRESIDENTIAL PLAZA.

Plat of
 Lots E-2-A-1, E-2-A-2 and E-2-A-3
One Presidential Plaza
 Albuquerque, Bernalillo County, New Mexico
 December 2002

Approvals	Application No.
CITY PLANNER, ALBUQUERQUE PLANNING DIVISION	DATE
CITY ENGINEER	DATE
A.M.A.F.C.A.	DATE
TRAFFIC ENGINEER <i>[Signature]</i>	DATE 1/2/03
CITY SURVEYOR	DATE
PROPERTY MANAGEMENT	DATE
WATER RESOURCES DEPARTMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	1-8-03
PNM ELECTRIC SERVICES	DATE
<i>[Signature]</i>	1-8-03
PNM GAS SERVICES	DATE
<i>[Signature]</i>	3-27-03
QWEST CORPORATION	DATE
<i>[Signature]</i>	1-16-03
COMCAST CABLE	DATE

Free Consent

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER AND/OR PROPRIETOR. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER AND/OR PROPRIETOR DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER AND/OR PROPRIETOR DOES HEREBY GRANT EASEMENT FOR UTILITIES AS SHOWN HEREON WITH SAME STIPULATIONS AS LISTED ABOVE FOR EXISTING UTILITIES.

Carolyn Jeannette Pickard, trustee

THE WELSH IRREVOCABLE TRUST II, U/A/D 12/31/93
 CAROLYN JEANNETTE PICKARD, TRUSTEE, AN UNDIVIDED
 NINETY-EIGHT PERCENT (98%) INTEREST

Carolyn J. Pickard

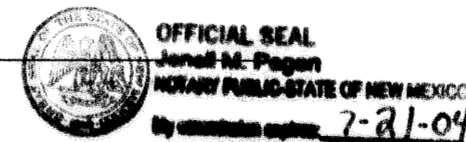
CAROLYN J. PICKARD, INDIVIDUALLY, A MARRIED WOMAN
 AN UNDIVIDED TWO PERCENT (2%) INTEREST

Acknowledgment

STATE OF NEW MEXICO)
) SS
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 16th DAY OF December, 2002 BY CAROLYN JEANNETTE PICKARD, TRUSTEE, THE WELSH IRREVOCABLE TRUST II, U/A/D 12/31/93, AN UNDIVIDED NINETY-EIGHT PERCENT (98%) INTEREST

BY *Janell M. Pagan* MY COMMISSION EXPIRES: _____
 NOTARY PUBLIC

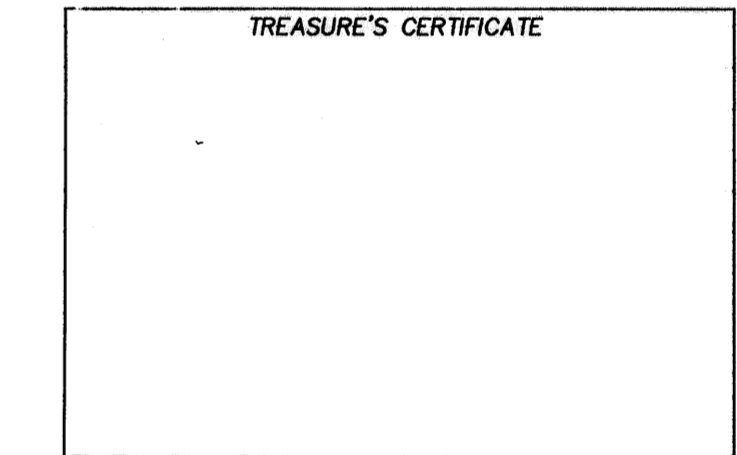
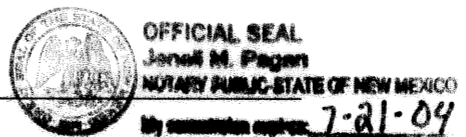


Acknowledgment

STATE OF NEW MEXICO)
) SS
 COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 16th DAY OF December, 2002 BY CAROLYN J. PICKARD, INDIVIDUALLY, A MARRIED WOMAN, AN UNDIVIDED TWO PERCENT (2%) INTEREST

BY *Janell M. Pagan* MY COMMISSION EXPIRES: _____
 NOTARY PUBLIC



Surveyor's Certificate

I, LARRY W. MEDRANO, A REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM FIELD NOTES OF AN ACTUAL SURVEY MEETING THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE CITY OF ALBUQUERQUE SUBDIVISION ORDINANCE AND OF STANDARDS FOR LAND SURVEYS OF THE N.M. BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT NO ENCROACHMENTS EXIST EXCEPT AS NOTED ABOVE AND THAT ALL IMPROVEMENTS ARE SHOWN IN THEIR CORRECT LOCATION RELATIVE TO RECORD BOUNDARIES AS LOCATED BY THIS SURVEY.

[Signature] 12/04/02
 LARRY W. MEDRANO DATE
 N.M.P.S. No. 11993



PRECISION SURVEYS, INC.

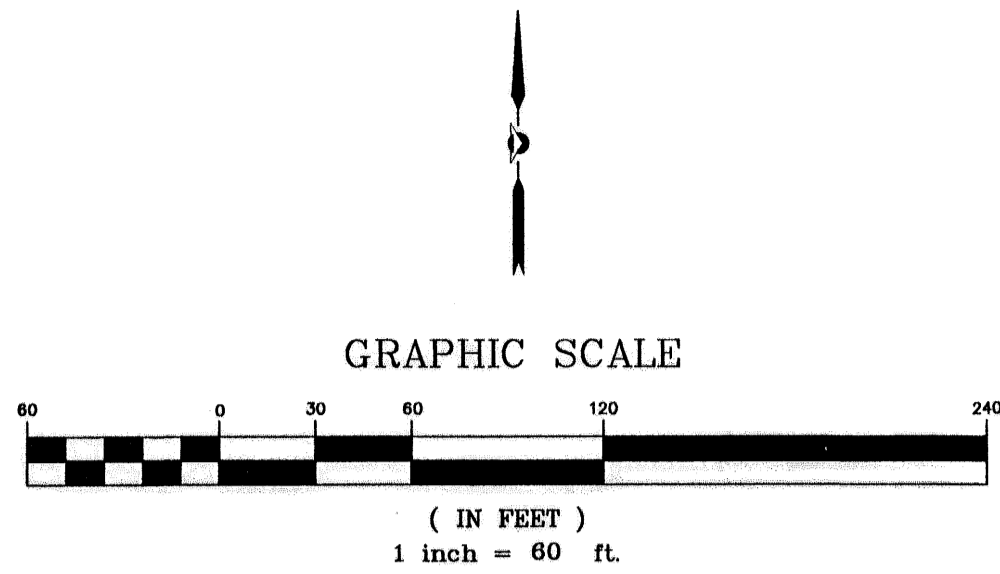
8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

G:\PLATS\2002\024209p2.dwg Wed Dec 04 07:31:17 2002

024209P

Plat of
 Lots E-2-A-1, E-2-A-2 and E-2-A-3
One Presidential Plaza
 Albuquerque, Bernalillo County, New Mexico
 December 2002

RECORDING STAMP

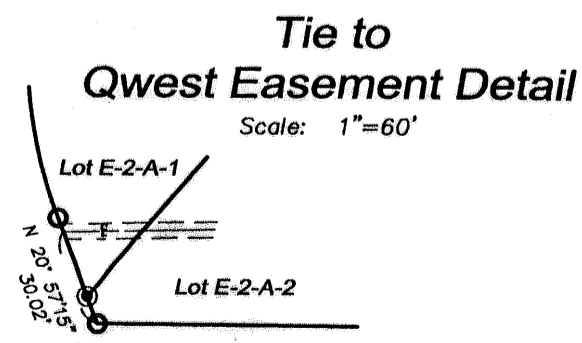
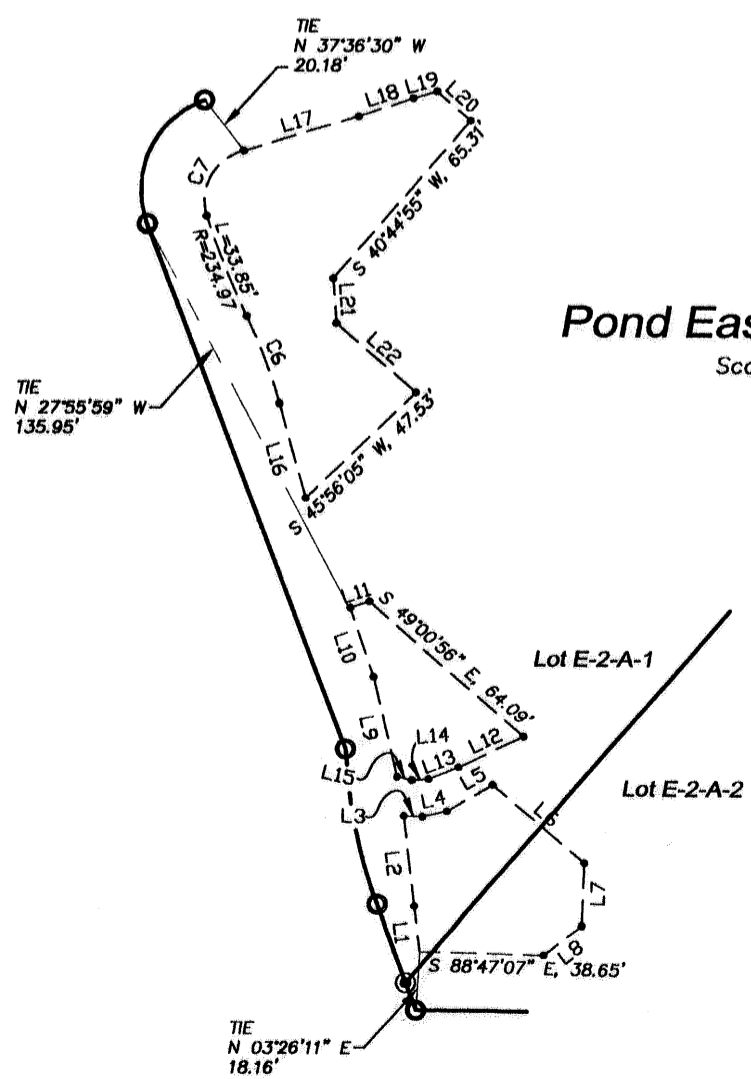
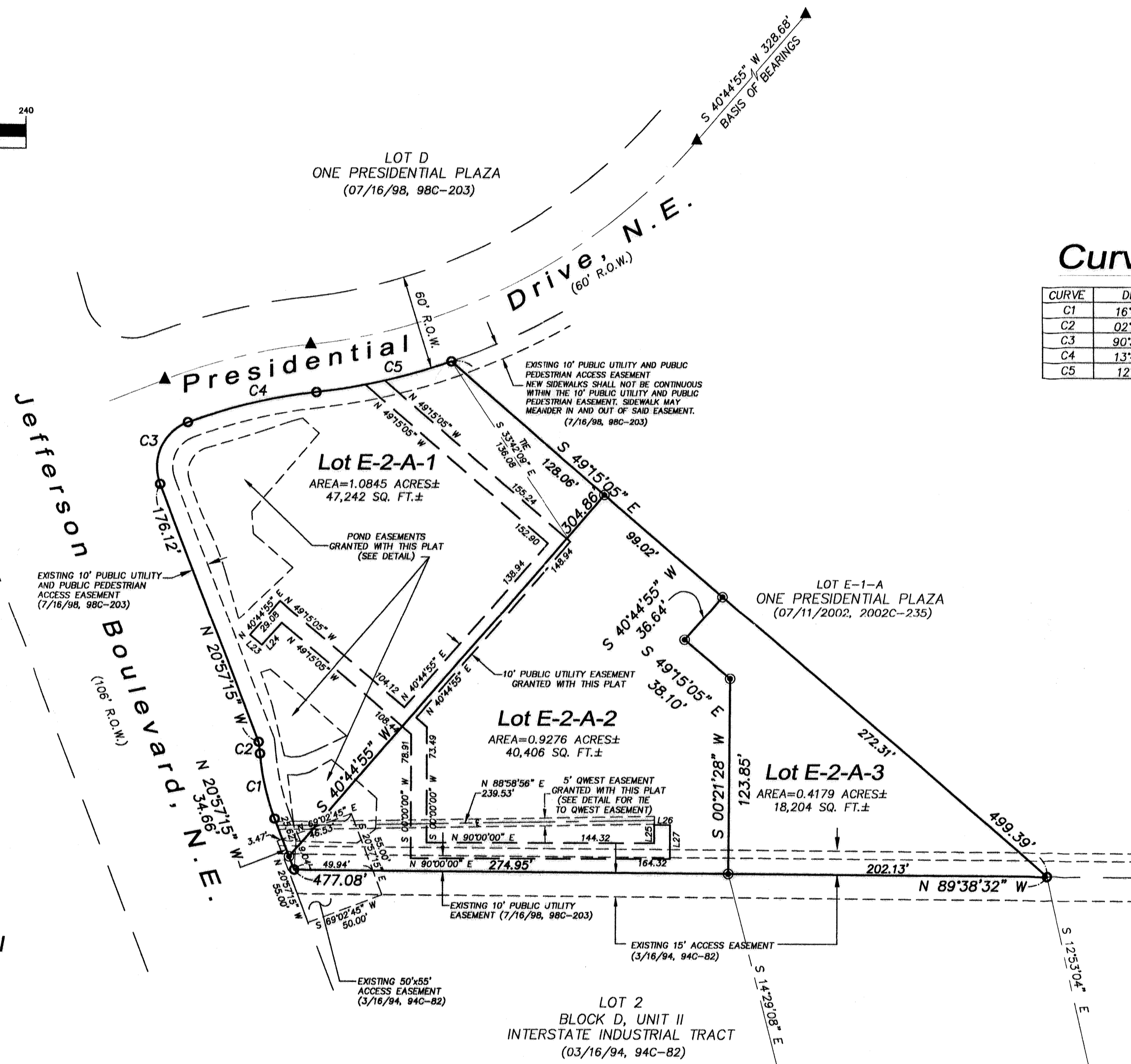


Curve Data

CURVE	DELTA	RADIUS	LENGTH	TANGENT	CHORD	DIRECTION	CHORD
C1	16°09'41"	150.00'	42.31'	21.30'	N 12°52'28" W		42.17'
C2	02°53'31"	150.00'	7.57'	3.79'	N 06°14'28" W		7.57'
C3	90°39'35"	30.00'	47.47'	30.35'	N 24°22'29" E		42.67'
C4	13°43'53"	350.00'	83.88'	42.14'	N 76°34'10" E		83.68'
C5	12°14'51"	410.00'	87.64'	43.99'	N 77°18'41" E		87.47'

LINE TABLE

LINE	LENGTH	BEARING
L1	13.84'	S 08°02'39" E
L2	28.49'	S 06°56'33" E
L3	5.82'	N 88°40'02" W
L4	7.84'	S 77°12'44" W
L5	16.50'	S 59°41'24" W
L6	37.69'	N 49°53'40" W
L7	19.44'	N 02°02'53" E
L8	14.86'	N 52°37'54" E
L9	32.44'	N 13°28'01" W
L10	22.69'	N 19°05'25" W
L11	6.26'	N 71°52'48" E
L12	22.47'	S 64°10'56" W
L13	9.99'	S 67°56'33" W
L14	5.31'	S 85°40'32" W
L15	4.69'	N 77°16'26" W
L16	30.60'	N 15°55'10" W
L17	37.47'	N 73°04'08" E
L18	17.94'	N 71°10'33" E
L19	7.80'	N 73°56'40" E
L20	14.01'	S 48°32'18" E
L21	14.14'	S 04°15'05" E
L22	32.97'	S 49°15'05" E
L23	10.00'	S 49°15'05" E
L24	19.08'	N 40°44'55" E
L25	11.58'	N 00°00'00" E
L26	10.00'	S 90°00'00" E
L27	21.58'	S 00°00'00" E



Legend

(N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS
 N 90°00'00" E MEASURED BEARING AND DISTANCES

○ FOUND AND USED REBAR W/CAP "PS 11993"

● DENOTES REBAR W/CAP "PS 11993" SET UNLESS OTHERWISE NOTED

▲ FOUND AND USED CENTERLINE MONUMENT

A.C.S. MONUMENT "9-F18"
 3 1/4" ALUMINUM CAP
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE-N.A.D. 1927)
 X=399,624.65
 Y=1,504,295.63
 EL=5209.56 FT. (NGVD 29)
 G-G=0.9999624
 DELTA ALPHA ANGLE=-0°11'36"

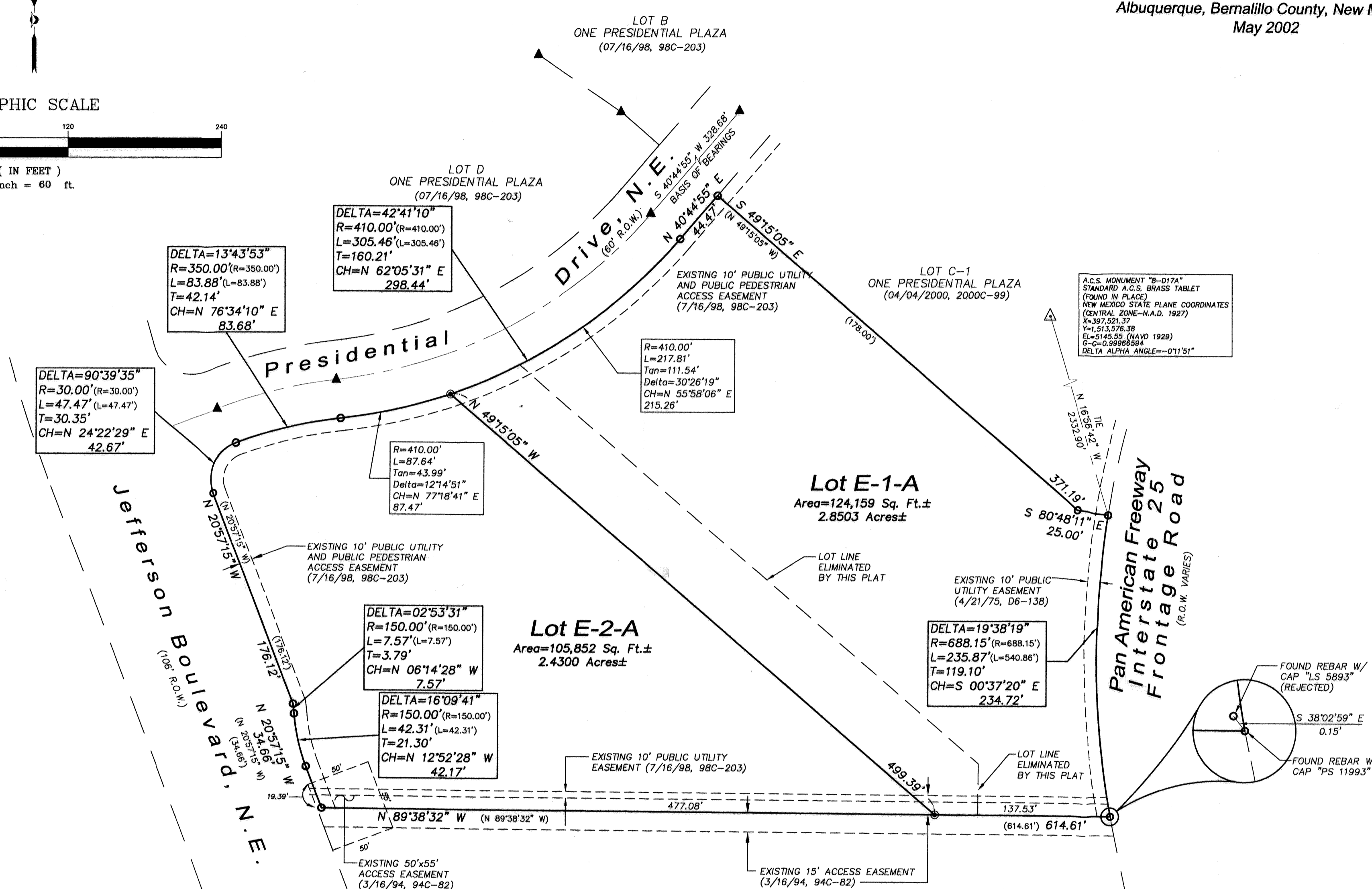
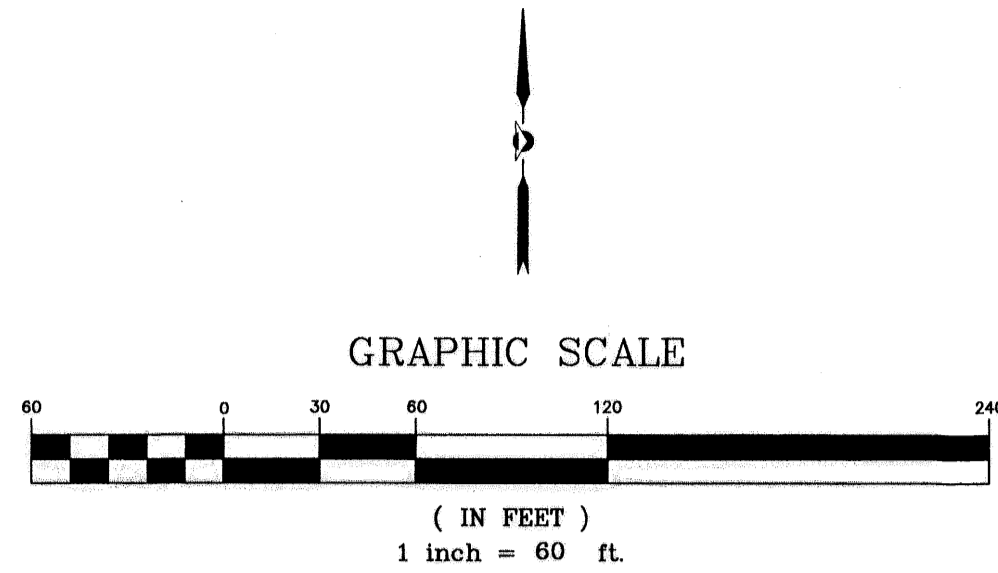
Note:
 SAID PROPERTY SUBJECT TO RECIPROCAL PARKING, ACCESS AND DRAINAGE EASEMENT FOR THE JOINT BENEFIT AND USE OF TRACTS E-2-A-1, E-2-A-2 AND E-2-A-3, TO BE MAINTAINED BY EACH TRACT FOR THE BENEFIT OF ALL TRACTS, GRANTED BY THIS PLAT.

Project No.

Plat of
 Lots E-1-A and E-2-A
One Presidential Plaza

Albuquerque, Bernalillo County, New Mexico
 May 2002

RECORDING STAMP



A.C.S. MONUMENT "B-D17A"
 STANDARD A.C.S. BRASS TABLET
 (FOUND IN PLACE)
 NEW MEXICO STATE PLANE COORDINATES
 (CENTRAL ZONE--N.A.D. 1927)
 X=387,521.37
 Y=1,513,576.38
 EL=5145.55 (NAVD 1929)
 G-C=0.99968594
 DELTA ALPHA ANGLE=-071°51"

Legend

- (N 90°00'00" E) RECORD BEARINGS AND DISTANCES SHOWN IN PARENTHESIS
- N 90°00'00" E MEASURED BEARING AND DISTANCES
- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES REBAR W/CAP "PS 11993" TO BE SET UNLESS OTHERWISE NOTED
- ▲ FOUND AND USED CENTERLINE MONUMENT

PRECISION SURVEYS, INC.

8414-D JEFFERSON ST., N.E. PHONE 505 856 5700
 ALBUQUERQUE, NEW MEXICO 87113 FAX 505 856 7900

G:\PLATS\2002\024084P.DWG Thu Jun 06 09:03:22 2002

024084P