

**GENERAL NOTES:**

- REFUSE COLLECTION WILL BE CURB SIDE PICK UP.
- SITE LIGHTING WILL BE AT ALL INTERSECTIONS AND BE MAXIMUM OF 16' IN HEIGHT WITH FULL CUT-OFF FIXTURES.
- ALL INTERNAL STREETS WILL BE 44' PUBLIC R.O.W. EXCEPT 90TH WHICH IS 68' PUBLIC R.O.W.
- ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION AND BUILDING PERMIT PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- THIS SITE WILL COMPLY WITH THE REQUIREMENTS OF THE STREET TREE ORDINANCE.
- PARK DEVELOPMENT: THE PARK DEVELOPMENT FEES WILL BE SATISFIED FOR THIS SITE USING CASH-IN-LIEU OF PARK DEDICATION.
- WATER AND SEWER: PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SERVICE TO THE SITE MUST BE VERIFIED AND COORDINATED WITH THE CITY OF ALBUQUERQUE UTILITY DEPARTMENT, VIA AN AVAILABILITY STATEMENT. THIS STATEMENT HAS BEEN REQUESTED BY LETTER ON JULY 16, 2002.
- ACCESS: THE ACCESS ALLOWED TO THE PROJECT WILL BE THE TWO ENTRANCES SHOWN ON THE 90TH STREET, NW. (SEE BELOW FOR LOCATION)
- CURBS AND GUTTERS: MOUNTABLE CURB AND GUTTER WILL BE USED THROUGHOUT EXCEPT FOR THOSE AREAS WHERE STANDARD CURB AND GUTTER IS NECESSARY FOR DRAINAGE CONVEYANCE.
- LOT SIZE: TOTAL NUMBER OF PROPOSED LOTS= 29 LOTS  
AVERAGE LOT SIZE IS ABOUT 4,400.00 SF.  
MINIMUM LOT SIZE OF 4,040.40 SF. AND MAXIMUM LOT SIZE OF 4,950.00 SF.  
LOTS 1-18 SHALL NOT PROVIDE VEHICULAR ACCESS TO 90TH STREET.

**DESIGN CRITERIA:**

- EACH MOBILE HOME SHALL BE SKIRTED WITH MATERIAL COMPATIBLE WITH THE SIDING OF THE MOBILE HOME.
- EACH MOBILE HOME LOT SHALL HAVE A LIGHT DESIGNED TO REFLECT AWAY FROM ABUTTING MOBILE HOME LOT.
- EACH MOBILE HOME SPACE WILL PROVIDE A MINIMUM OF TWO OFF-STREET PARKING SPACES PER UNIT.
- THE DRIVEWAYS SHALL BE PAVED.
- LANDSCAPING MAINTENANCE OF EACH LOT SHALL BE THE RESPONSIBILITY OF THE OWNER OF THAT LOT.
- EACH MOBILE HOME LOT SHALL PROVIDE A STORAGE AREA FOR REFUSE CARTS, SO THEY ARE NOT VISIBLE FROM STREET.
- EACH MOBILE HOME LOT (1-29) CAN BE EITHER SINGLE OR DOUBLE WIDE. SEE TYPICAL LOT LAYOUT.

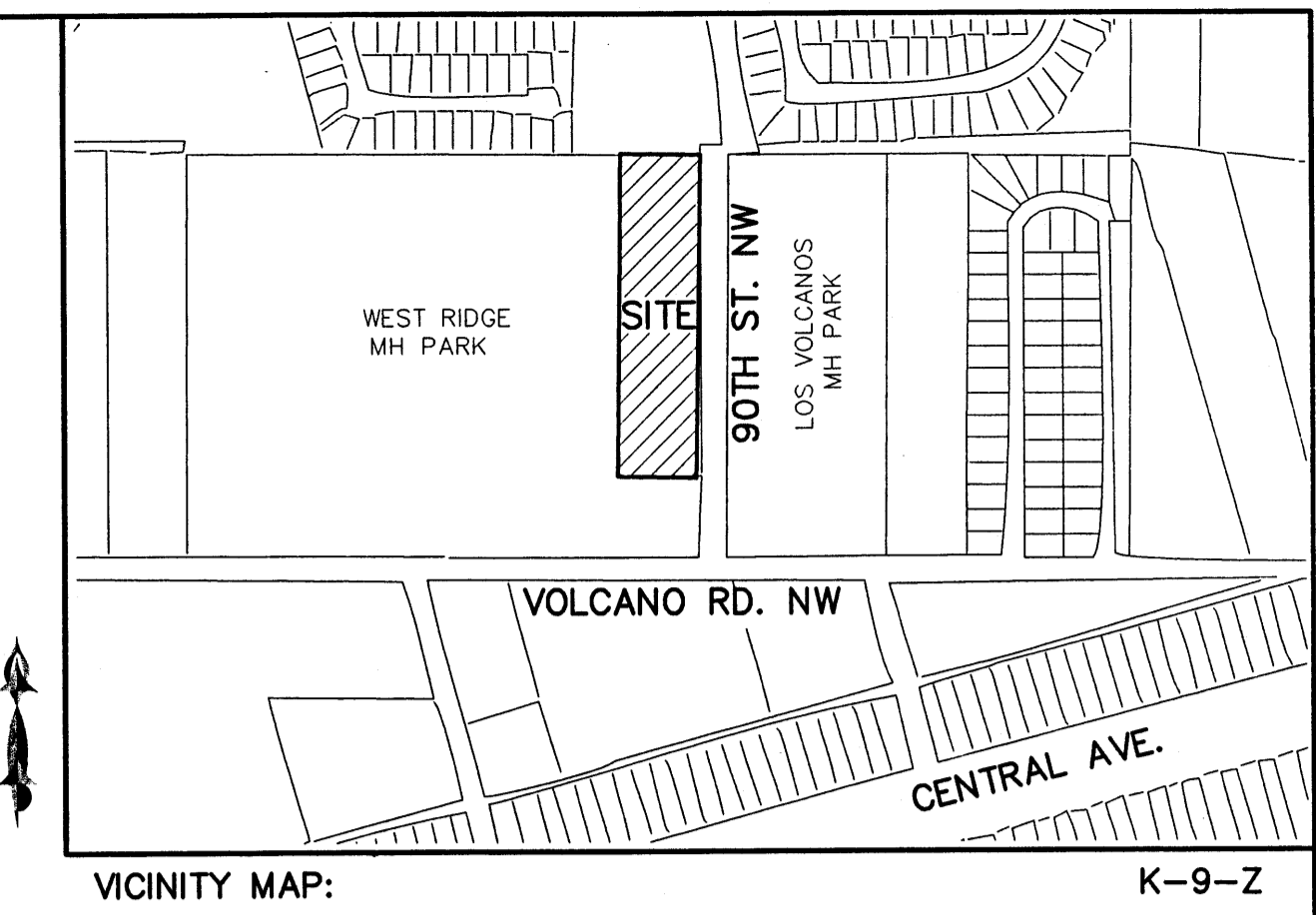
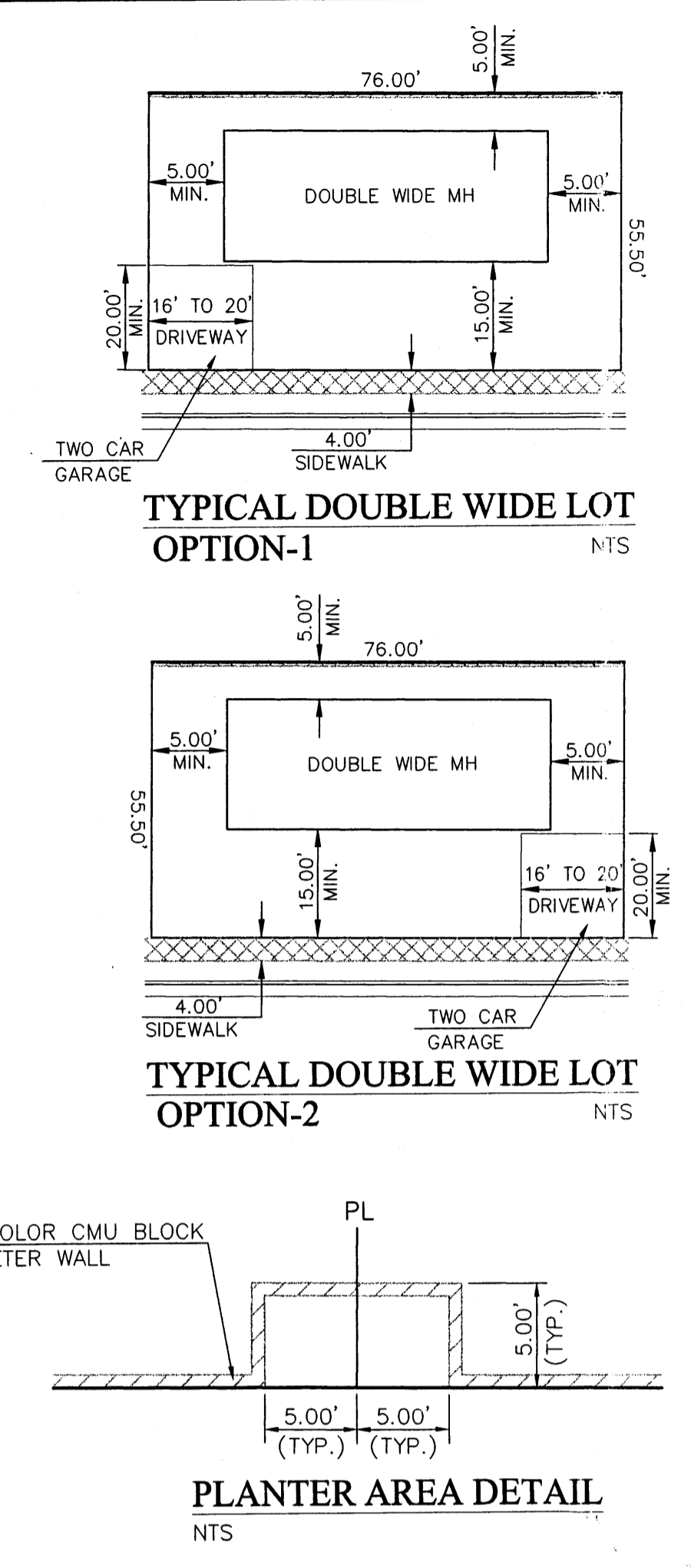
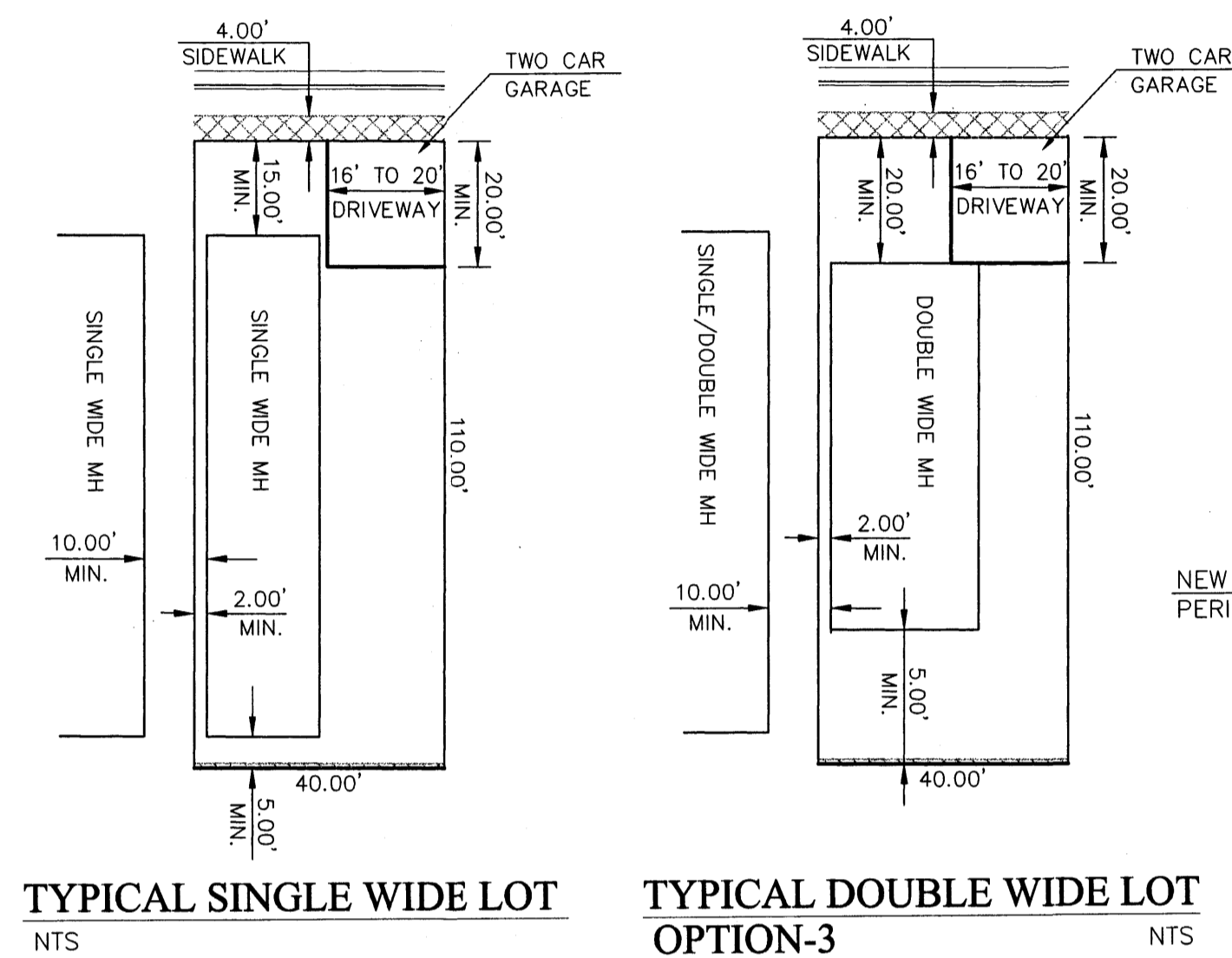
**SITE DATA**

PROPOSED USAGE: MOBILE HOME SUBDIVISION  
 EXISTING ZONING: SU-1 FOR M.H.  
 TOTAL LOT AREA: 174,240.00 SF (4.00 ACRES)  
 PROPOSED NO. OF LOTS: TOTAL SINGLE WIDE = 18  
 TOTAL DOUBLE WIDE = 11  
 GRAND TOTAL OF LOTS = 29  
 OPEN SPACE CALCULATIONS:  
 OPEN SPACE REQUIRED = 34,800 S.F.  
 OPEN SPACE PROVIDED = 43,417 S.F.  
 R.O.W. DEDICATION 47,253.88 S.F.

LOT NO.	GROSS AREA	OPEN SPACE	BUILDABLE LOT AREA
1	4,400.00 SF	1,200 SF	3,200.00 SF
2	4,400.00 SF	1,200 SF	3,200.00 SF
3	4,950.00 SF	1,200 SF	3,750.00 SF
4	4,950.00 SF	1,200 SF	3,750.00 SF
5	4,400.00 SF	1,200 SF	3,200.00 SF
6	4,400.00 SF	1,200 SF	3,200.00 SF
7	4,400.00 SF	1,200 SF	3,200.00 SF
8	4,400.00 SF	1,200 SF	3,200.00 SF
9	4,400.00 SF	1,200 SF	3,200.00 SF
10	4,400.00 SF	1,200 SF	3,200.00 SF
11	4,400.00 SF	1,200 SF	3,200.00 SF
12	4,400.00 SF	1,200 SF	3,200.00 SF
13	4,400.00 SF	1,200 SF	3,200.00 SF
14	4,400.00 SF	1,200 SF	3,200.00 SF
15	4,950.00 SF	1,200 SF	3,750.00 SF
16	4,950.00 SF	1,200 SF	3,750.00 SF
17	4,400.00 SF	1,200 SF	3,200.00 SF
18	4,400.00 SF	1,200 SF	3,200.00 SF
19	4,218.00 SF	1,200 SF	3,018.00 SF
20	4,218.00 SF	1,200 SF	3,018.00 SF
21	4,218.00 SF	1,200 SF	3,018.00 SF
22	4,218.00 SF	1,200 SF	3,018.00 SF
23	4,218.00 SF	1,200 SF	3,018.00 SF
24	4,218.00 SF	1,200 SF	3,018.00 SF
25	4,218.00 SF	1,200 SF	3,018.00 SF
26	4,218.00 SF	1,200 SF	3,018.00 SF
27	4,218.00 SF	1,200 SF	3,018.00 SF
28	4,040.40 SF	1,200 SF	2,840.40 SF
29	4,040.40 SF	1,200 SF	2,840.40 SF
TOTAL	127,442.80 SF	34,800.00 SF	92,642.80 SF

**LEGEND**

- BOUNDARY LINE
- LOT LINE
- NEW SIDEWALK
- NEW CURB & GUTTER
- NEW STANDARD CURB
- EXISTING CURB & GUTTER
- EXISTING CMU WALL
- CHAIN LINKED FENCE
- NEW LIGHT POLE
- OVER HEAD ELECTRIC LINE
- SINGLE OR DOUBLE WIDE
- NEW PAVING AREA



**LEGAL DESCRIPTION:**  
 TRACT 6, LANDS OF C.H. HALL

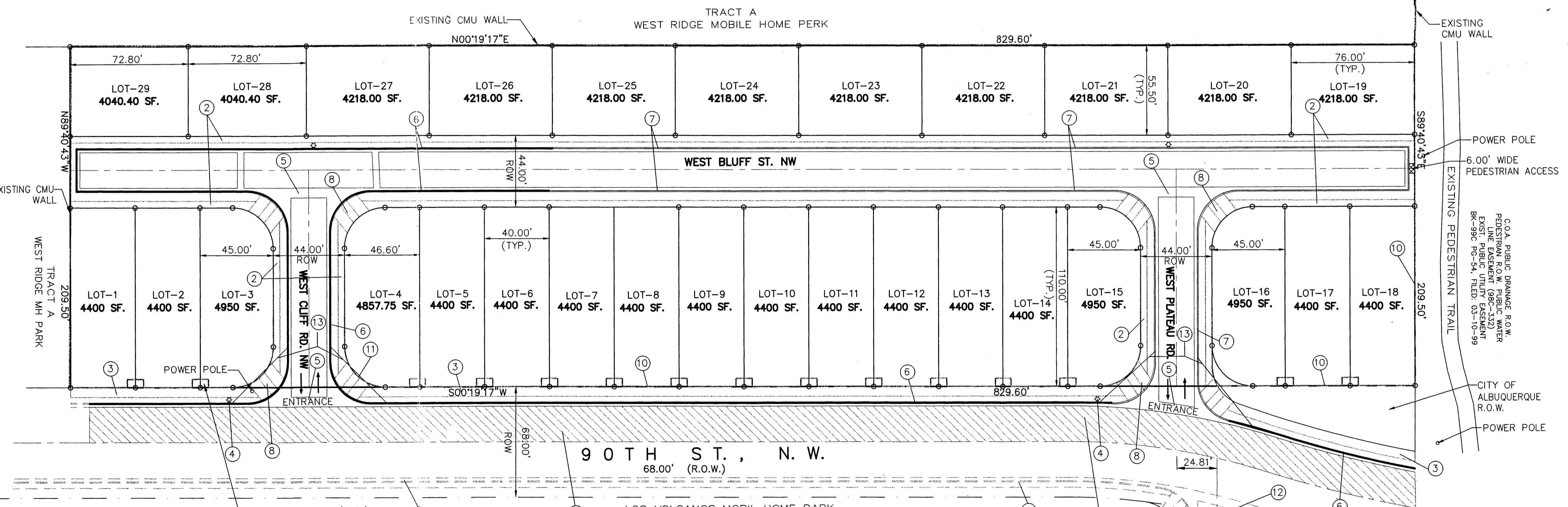
- SHEET INDEX**
- SITE PLAN
  - LANDSCAPING PLAN
  - GRADING AND DRAINAGE PLAN
  - MASTER UTILITY PLAN

PROJECT NUMBER: 1002025  
 APPLICATION NUMBER: 030NB-00139

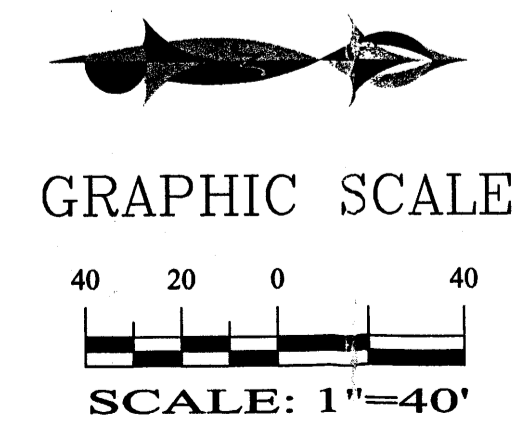
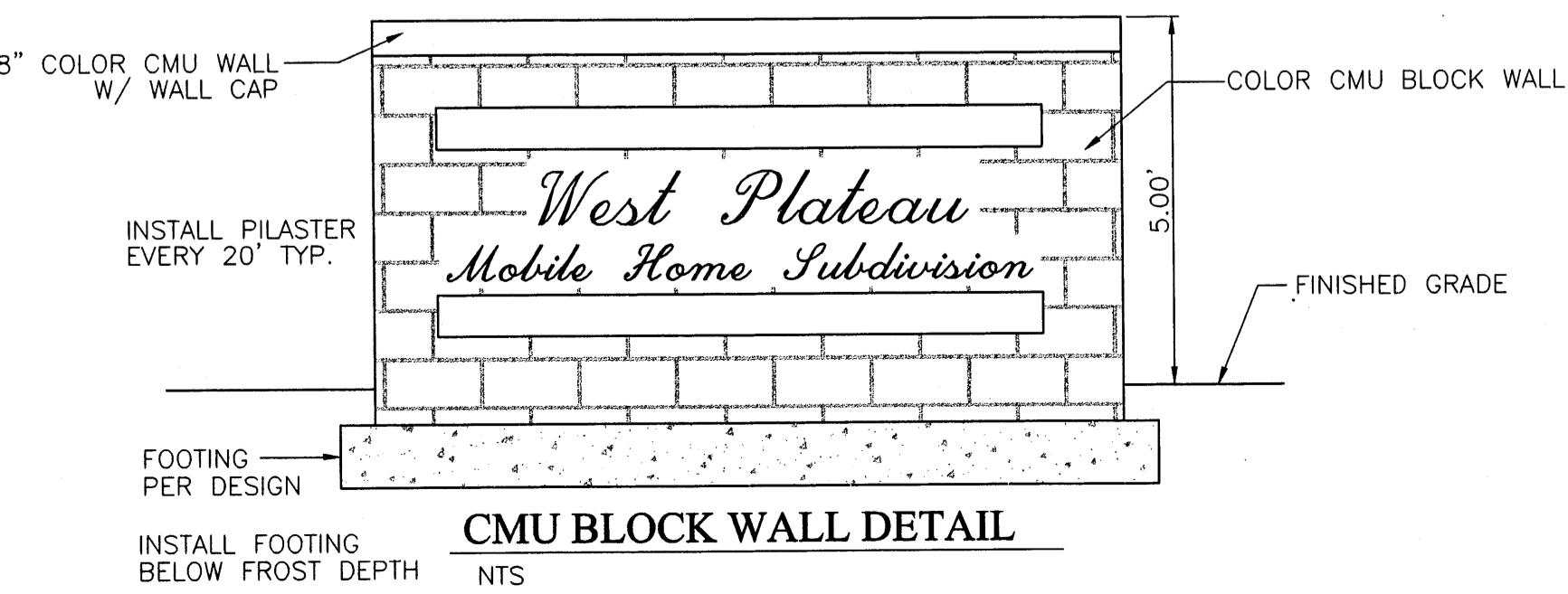
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED \_\_\_\_\_ AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE; NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

**SITE DEVELOPMENT PLAN APPROVAL:**

<i>Michael Holton</i>	1-21-03
SOLID WASTE MANAGEMENT	DATE
<i>Rubal Dand</i>	2-05-03
TRAFFIC ENGINEERING TRANSPORTATION DIVISION	DATE
<i>Roger Green</i>	2/18/03
UTILITIES DEVELOPMENT	DATE
<i>Christina Sandoval</i>	2/5/03
PARKS AND RECREATION DEPARTMENT	DATE
<i>Brad D. Bighan</i>	2/5/03
CITY ENGINEER, ENGINEERING DIVISION / AMAFCA	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.	
<i>Sheran Nelson</i>	2/5/03
CITY PLANNER, ALBUQUERQUE BERNALILLO COUNTY PLANNING DIVISION Dept	DATE



- NOTES:**
- EXISTING CURB AND GUTTER.
  - NEW 4' SIDEWALKS PER COA STANDARD DRAWING 2430.
  - NEW 6' SIDEWALKS PER COA STANDARD DRAWING 2430.
  - NEW STREET LIGHT.
  - NEW 6' VALLEY GUTTER PER COA STANDARD DRAWING 2420.
  - NEW STANDARD CURB AND GUTTER PER COA STANDARD DRAWING 2415.
  - NEW MOUNTABLE CURB AND GUTTER PER COA STANDARD DRAWING 2415.
  - NEW WHEEL CHAIR RAMP PER COA STANDARD DRAWING 2441, CASE II.
  - NEW PAVING AREA.
  - NEW 5' COLOR CMU BLOCK PERIMETER WALL.
  - SIGN LOCATION SEE DETAIL THIS SHEET.
  - PRIVATE EMERGENCY ACCESS EASEMENT REMAINS CLOSED.
  - CLEAR SITE TRIANGLE LOCATION FOR OBSTRUCTION.



**SHAHAR BIAZAR**  
 P.E. #13479

**ADVANCED ENGINEERING and CONSULTING, LLC**

10205 SNOWFLAKE CT. NW  
 ALBUQUERQUE, NEW MEXICO 87114  
 (505)899-5570

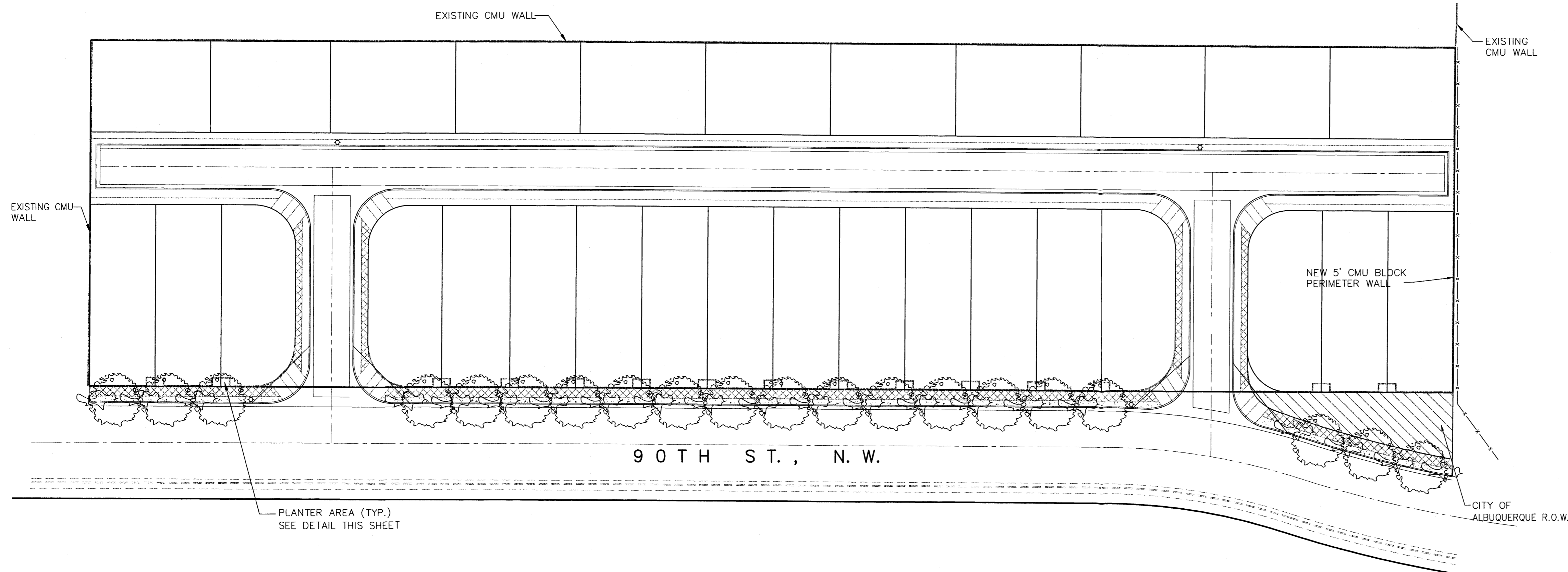
**WEST PLATEAU MH SUBDIVISION SITE PLAN**

DRAWING: 200226-ST.DWG	DRAWN BY: SHH	DATE: 07-18-02	SHEET # 1 OF 4
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LAST REVISION: 07-24-02

PROJECT 1002025





**LANDSCAPE NOTES:**

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping, and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

**IRRIGATION NOTES:**

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

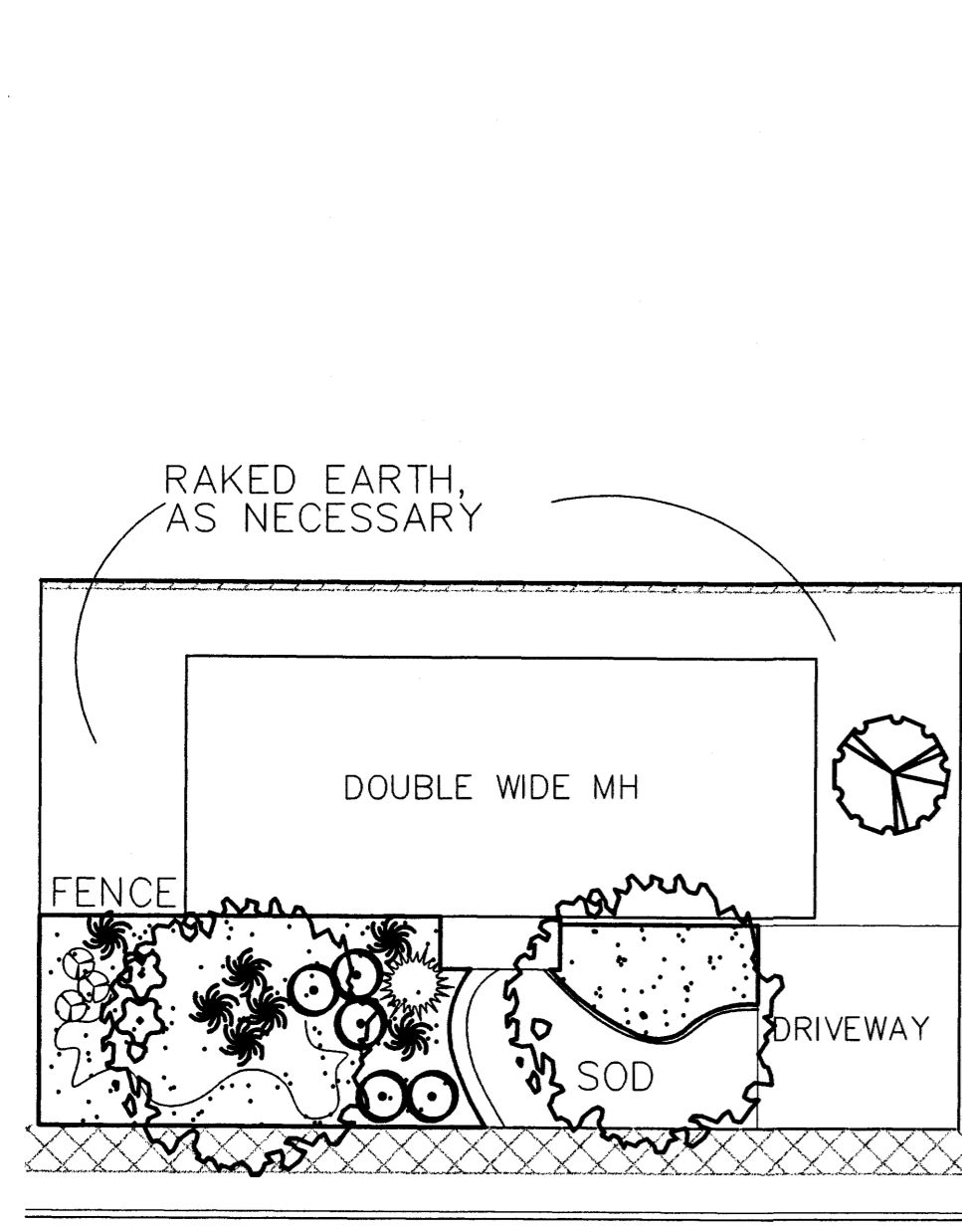
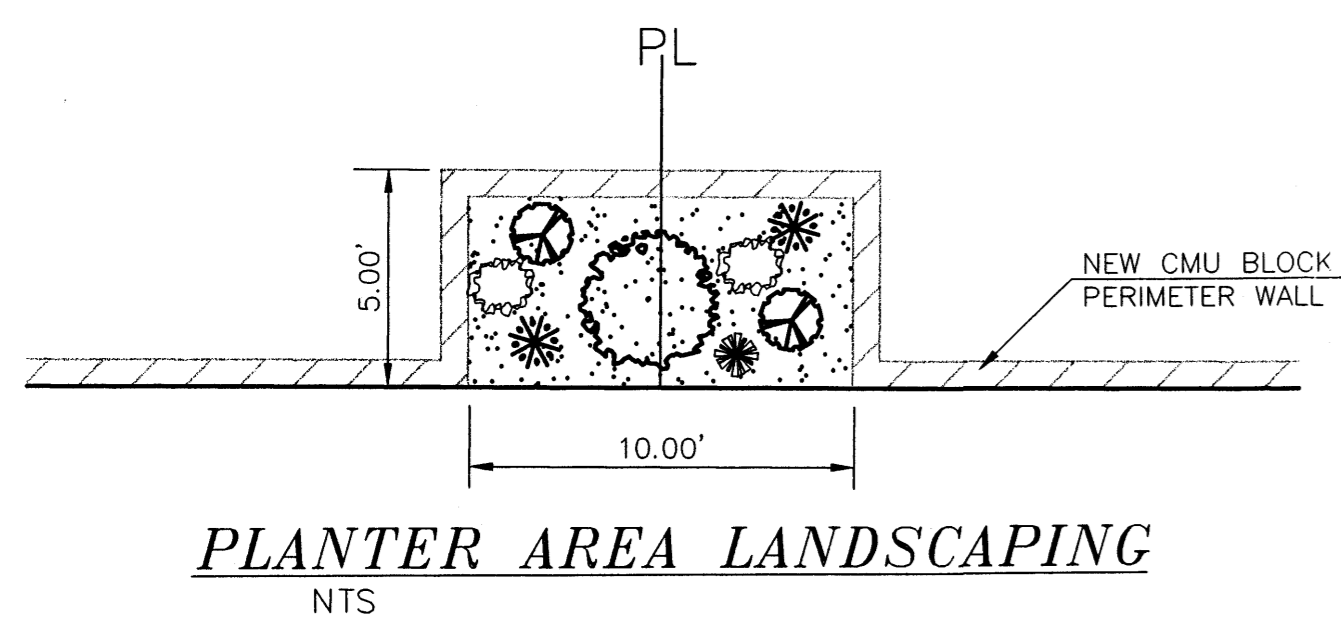
Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

**LANDSCAPING WITHIN CITY RIGHT OF WAY (90TH STREET):**

The landscaping maintenance along 90th street right of way shall be the responsibility of individual lot owners fronting 90th street, (lots 1-18). Each lot owner is responsible for maintenance of their portion of lot abutting 90th street.



**PLANT LEGEND**

- |  |  |   |
|--|--|---|
| ASH (H) OR HONEY LOCUST (H)<br><i>Fraxinus pennsylvanica</i><br><i>Gleditsia triacanthos</i><br>2' Gal | SILVERBERRY (M)<br><i>Eleagnus pungens</i><br>5 gal          | TAM JUNIPER (M)<br><i>Juniperus sabina</i><br>5 gal |
| PURPLE LEAF PLUM (H)<br><i>Prunus saracifera</i><br>1 1/2' Gal   | POTENTILLA (M)<br><i>Potentilla fruticosa</i><br>5 gal       | OVERSIZED GRAVEL & BOULDERS                         |
| AUSTRIAN PINE (H)<br><i>Pinus nigra</i><br>6-8'  | RUSSIAN SAGE (M)<br><i>Perovskia atriplicifolia</i><br>5 gal | 3/4" GREY GRAVEL W/FILTER FABRIC                    |
| NEW MEXICO OLIVE (M)<br><i>Forestiera neomexicana</i><br>15 Gal.                                       | MAIDEN GRASS (M)<br><i>Miscanthus sinensis</i><br>5 gal      | CRIMPED STRAW/ NATIVE SEED                          |
| WASHINGTON HAWTHORN (H)<br><i>Crataegus phenopyrum</i><br>15 gal                                       | APACHE PLUME (L)<br><i>Fallugia paradoxa</i><br>5 Gal.       | RAKED EARTH   |
| VITEX (M)<br><i>Vitex agnus castus</i><br>15 gal   | AUTUMN SAGE (M)<br><i>Salvia greggii</i><br>5 gal            | SOD   |
| PALM YUCCA (L)   | CHAMISA (L)<br><i>Chrysothamnus nauseosus</i><br>1 gal       | COMMERCIAL GRADE STEEL EDGING                       |
| BUTTERFLY BUSH (M)<br><i>Buddleia spp.</i><br>5 gal  | WILDFLOWER<br>1 gal  |   |
| THREE-LEAF SUMAC (L)<br><i>Rhus trilobata</i><br>5 Gal.  |  |   |

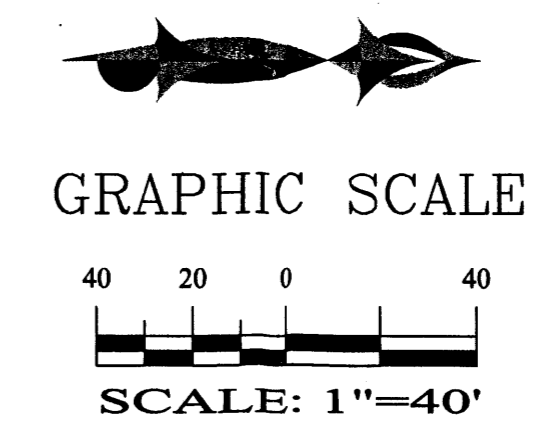
**The Hilltop**

LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
it@hilltoplandscaping.com

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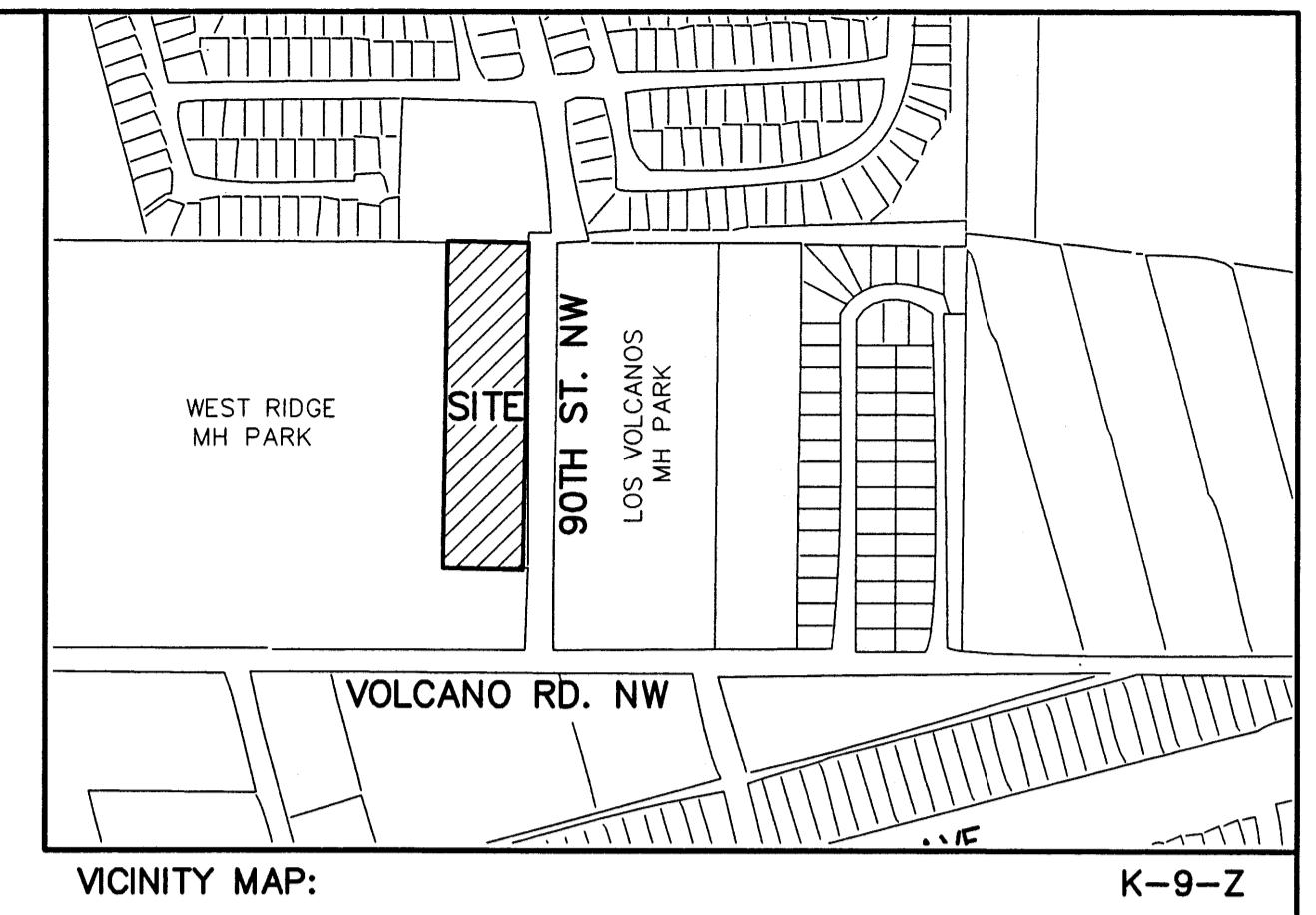
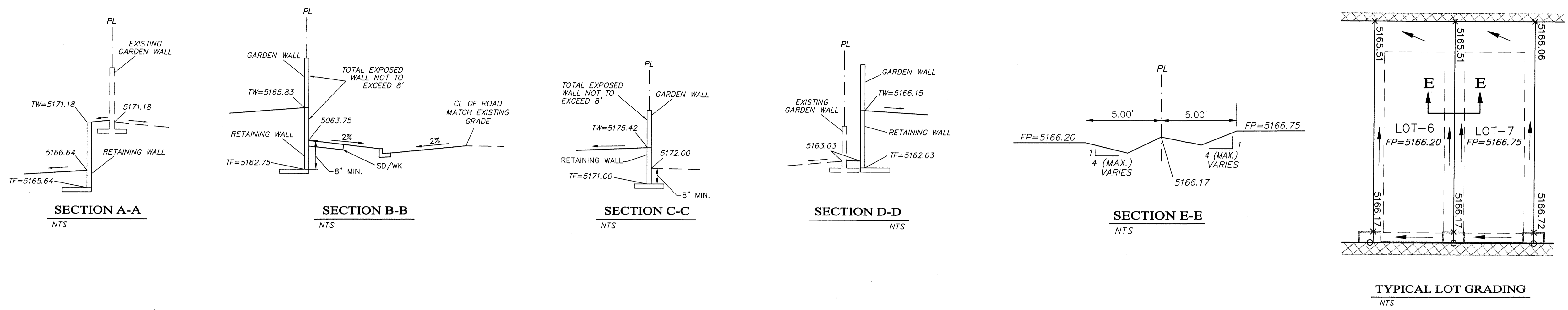
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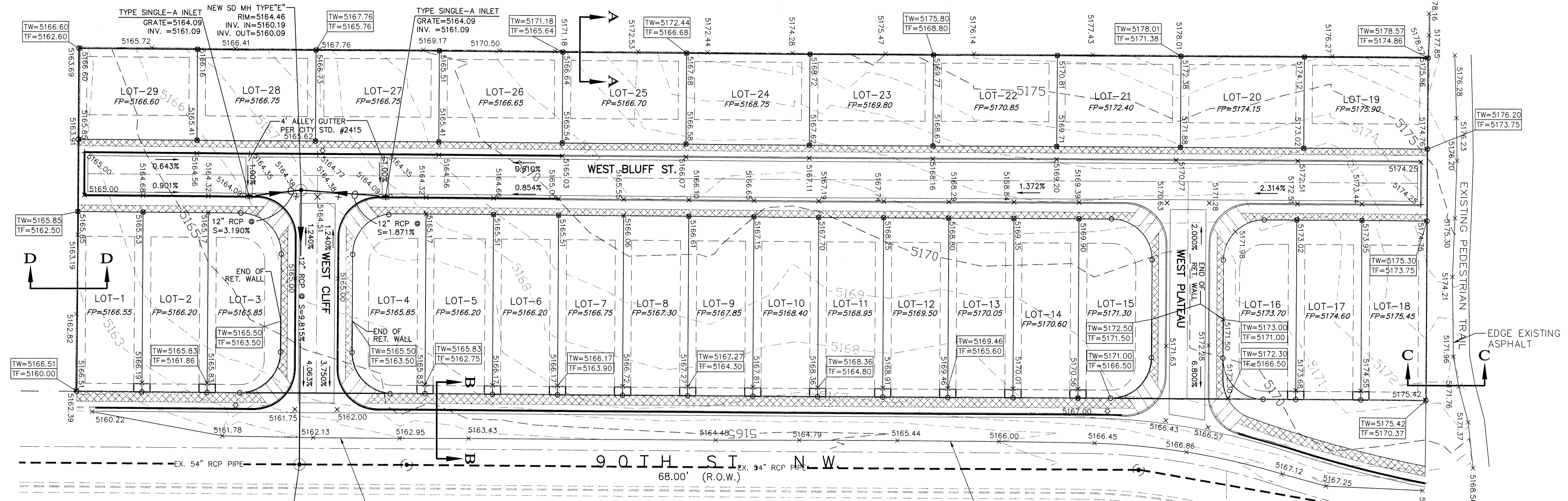


<b>WEST BLUFF MOBILE HOME SUBDIVISION LANDSCAPING PLAN</b>			
DRAWING: 200226-ST.DWG	DRAWN BY: SHH	DATE: 10-08-02	SHEET # 2 OF 4

LAST REVISION: 10-08-02



**LEGAL DESCRIPTION:**  
TRACT 6, LANDS OF C.H. HALL  
CONTAINING ± 4 ACRES MORE OR LESS.



**LEGEND**

- EXISTING CURB & GUTTER
- 5100 --- EXISTING CONTOUR (MAJOR)
- 5102 --- EXISTING CONTOUR (MINOR)
- EXISTING SD PIPE
- RETAINING WALL
- NEW CURB & GUTTER
- SET BACK
- BOUNDARY LINE
- PROPOSE LOT LINE
- CENTER LINE
- NEW SIDEWALK
- STD. CURB & GUTTER
- × 5088.23 PROPOSED SPOT ELEVATION
- PROPOSED DROP INLET
- EXISTING STORM SEWER MH
- NEW STORM SEWER MH
- TW=5167.76 TOP OF RETAINING WALL
- TF=5165.76 TOP OF FOOTING

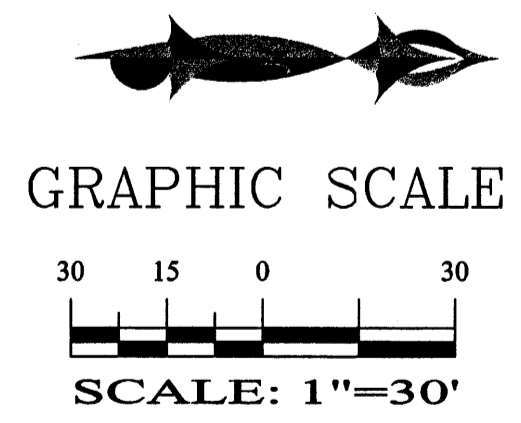
**NOTICE TO CONTRACTORS**

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 785-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

ROUGH GRADING APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

**EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES**

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
- REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
- ALL THE DISTURBED AREAS MUST BE REVEGETATED.



**GENERAL NOTES:**

- CONTOUR INTERVAL IS ONE (1) FOOT.
- ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION HAVING AN ELEVATION OF 5085.00 FEET ABOVE SEA LEVEL.
- UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
- SLOPES ARE AT 3:1 MAXIMUM.

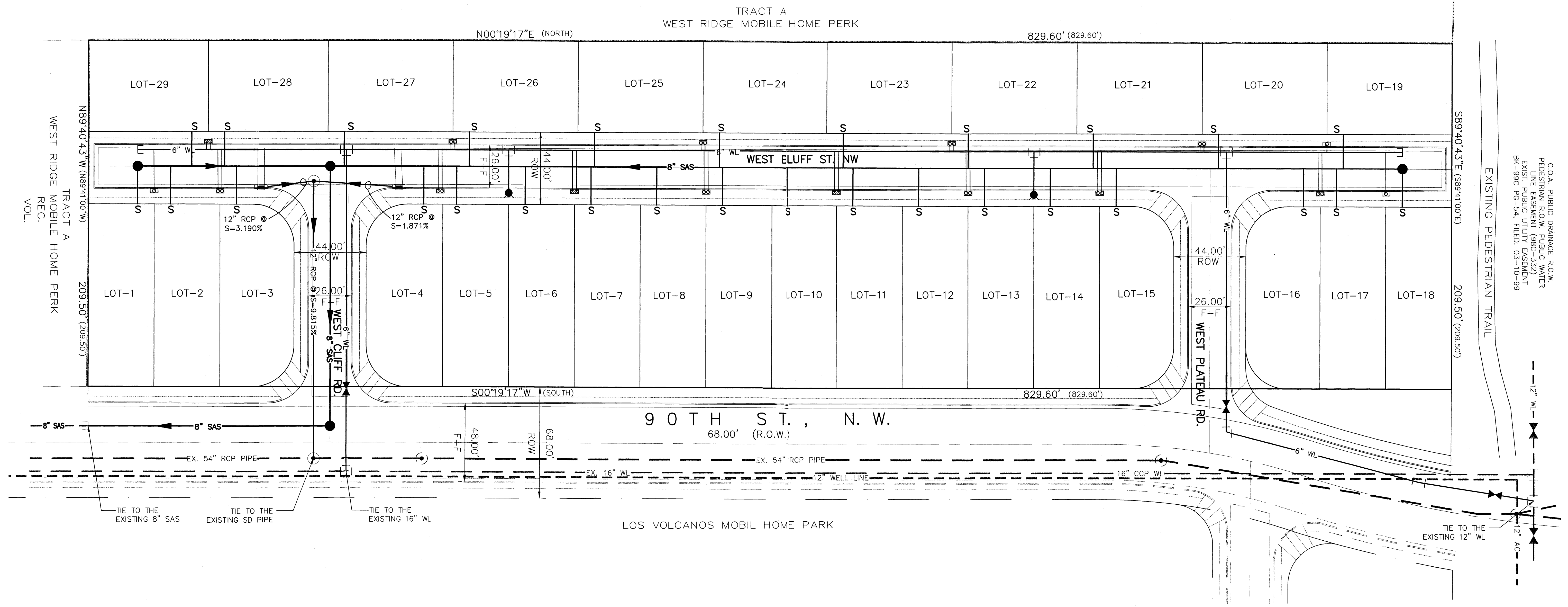
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WEST PLATEAU MH SUBDIVISION GRADING AND DRAINAGE PLAN			
DRAWING: 200226-GR.DWG	DRAWN BY: SHH	DATE: 10-09-02	SHEET # 3 OF 4



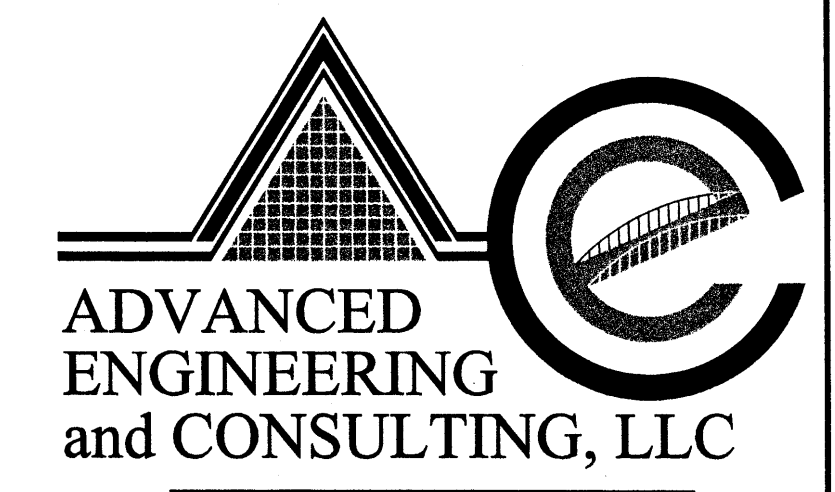
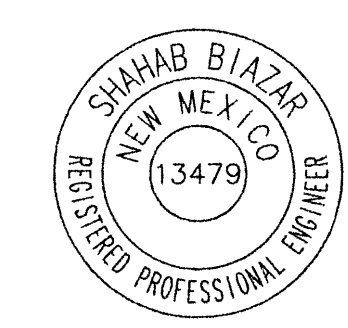
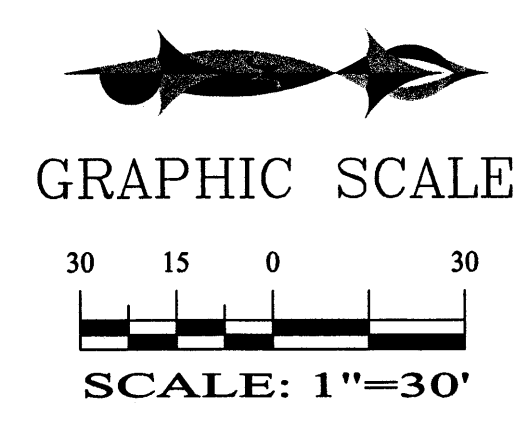


C.O.A. PUBLIC DRAINAGE R.O.W.  
 PEDESTRIAN R.O.W. PUBLIC WATER  
 LINE PLACEMENT (9807-522)  
 EXISTING PUBLIC UTILITY  
 BK-99C PG-54, FILED: 03-10-99

**LEGEND**

	EXISTING SAS MANHOLE
	EXISTING SD MANHOLE
	EX. 54" SD
	EX. 8" SAS
	EX. 16" WL
	8" SAS
	6" WL
	12" SD
	NEW SAS SERVICE
	NEW WATER SERVICE
	NEW SAS MANHOLE
	STORM SEWER MANHOLE
	SINGLE SERVICE METER
	DOUBLE SERVICE METER
	NEW GATE VALVE
	NEW FIRE HYDRANT
	TEE
	CAP (WL)
	NEW CATCH BASIN

**LEGAL DESCRIPTION:**  
 TRACT 6, LANDS OF C.H. HALL



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WEST PLATEAU MH SUBDIVISION MASTER UTILITY PLAN			
DRAWING: 200226-MU.DWG	DRAWN BY: SHH	DATE: 07-24-02	SHEET # 4 OF 4

LAST REVISION: 07-24-02