

17



Completed 9/26/03

# DRB CASE ACTION LOG

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 03-01217 (FP)  
Project Name: WEST PLATEAU M. H. SUBDIV.  
Agent: Advanced Engineering **K9**

Project # 1002025  
EPC Application No.  
Phone No.: 849-5570

Project Number 1002025

Your request for (SDP for SUB), (SDP for BP), **(FINAL PLATS)**, (MASTER DEVELOP. PLAN), was approved on 7/30/09 by the DRB with delegation of signature(s) to the following departments.  
**OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED**

TRANSPORTATION:

UTILITIES:

CITY ENGINEER / AMAFCA:

PARKS / CIP: CIL payment for park dedication Aug 12/03

PLANNING (Last to sign): Final dedication after lat #

- Planning must record this plat. Please submit the following items:
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.

Include 3 copies of the approved site plan along with the originals.  
County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.

Property Management's signature must be obtained prior to Planning Department's signature.

Copy of final plat AND a DXF File for AGIS is required.  
 Copy of recorded plat for Planning.

Completed.. 9/26/03

APPLICATION NO. 03DRB - 01217	PROJECT NO. 1002025
PROJECT NAME WEST PLATEAU MH SUBD	
EPC APPLICATION NO.	
APPLICANT / AGENT Adv ENG SAAWN	PHONE NO. 899 - 5570
ZONE ATLAS PAGE K9	
(SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEV PLAN), (IR), (AA)	
<b>ONE STOP COMMENT FORM LOG</b>	

<b>TRANSPORTATION DEV (505) 924-3990</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

<b>UTILITY DEV (505) 924-3989</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

<b>HYDROLOGY DEV (505) 924-3986</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
COMMENTS:		

<b>PARKS AND REC (505) 768-5328</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>CS</i>	DATE <i>9/9/03</i>	DATE
COMMENTS:		

<b>PLANNING (505) 924-3858</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>JM</i>	DATE <i>9/26/03</i>	DATE
COMMENTS:		
<i>9/9/03 Needs SVF Called Agent JM p-u JM</i>		

(Return form with plat / site plan)

2025

AGIS ELECTRONIC SUBMITTAL CHECKLIST

DRB Project# 1002025 Subdivision Name West Plateau Mobile Home  
Surveyor Leonard Martinez Company Advanced Eng & Consultants  
Contact person Shahab Phone # 899-5570 email \_\_\_\_\_

Patricia M. Gpt \_\_\_\_\_ 9/18/03  
Approved \*Not Approved Date

DXF RECEIVED 9/18/03 DATE  
 HARD-COPY RECEIVED 9/15/03 DATE  
 DISCLOSURE STATEMENT

NAD 27 ground

**\*Not Approved for one or more of the following reasons:**

**File Format and naming**

- 1) \_\_\_ Format is not DXF file in ASCII format
- 2) \_\_\_ No hard copy of the final plat submitted
- 3) \_\_\_ <DRB Project #>.dxf not used as a standard naming convention

**Coordinate System**

- 4) \_\_\_ Submittal does not include a disclosure of the datum (NAD27 or NAD83)
- 5) \_\_\_ Submittal does not specify if coordinates are based on ground or grid distances
- 6) \_\_\_ Submittal does not include information, such as a tie to an ACS monument, necessary to convert from ground to grid
- 7) \_\_\_ Lines cannot be projected/converted to correct location in NAD83 NMSP coordinate system

**Content**

- 8) \_\_\_ Submittal is not single drawing in model space showing only parcel and easement lines
- 9) \_\_\_ Digital submittal does not match final plat
- 10) \_\_\_ Parcel lines are not in one separate layer
- 11) \_\_\_ Access easement lines and all other easements that are 20 feet wide or greater are not in a second separate layer
- 12) \_\_\_ All other easement lines are not in a third separate layer

**Comments:**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

AGIS Use Only: Copied cov 2025 to agiscov on 9/18/03 Client Notified 9/18/03



17



DRB CASE ACTION LOG

# DRB CASE ACTION LOG

REVISED 3/20/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 03-01217 (FP) Project # 1002025  
 Project Name: WEST PLATEAU M. H. SUBDIV. EPC Application No. \_\_\_\_\_  
 Agent: Advanced Engineering Phone No.: 844 5570

Your request for (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 7/30/09 by the DRB with delegation of signature(s) to the following departments

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

Project Number 1002025

TRANSPORTATION: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

UTILITIES: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

CITY ENGINEER / AMAFCA: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PARKS / CIP: CIL payment for park dedication  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

PLANNING (Last to sign): P-1 designation after lat #

- Planning must record this plat. Please submit the following items:
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE. \_\_\_\_\_
  - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- Copy of final plat AND a DXF File for AGIS is required.
- Copy of recorded plat for Planning.

4444

**CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
Development Review Board  
July 30, 2003 Comments**

**Item # 17**

**Project # 1002025**

**Application # 03DRB-01217**

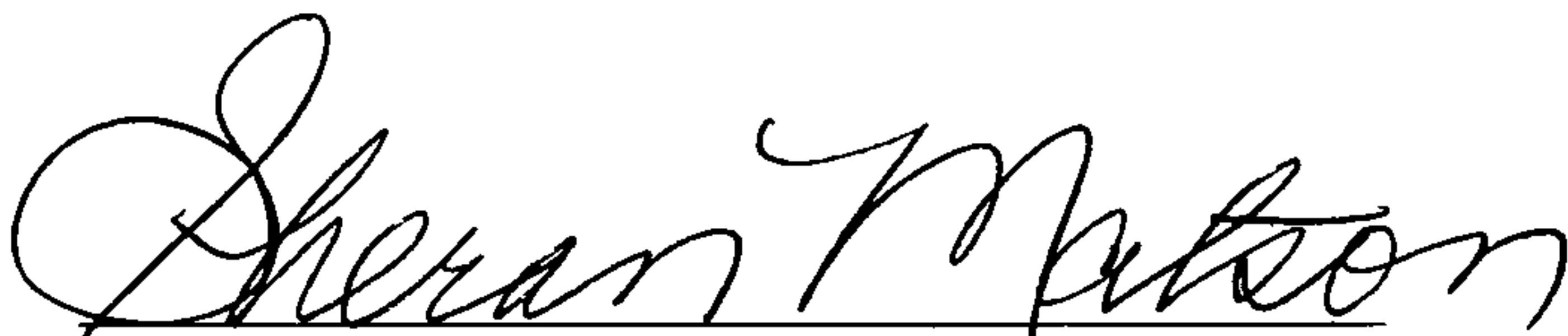
**RE: West Plateau Mobile Home Subdivision**

No objection to the requested action.

AGIS dxf file approval is required before Planning signs the plat.

Please be sure to provide Planning with a recorded copy of the plat to close the file.

In the future, use the updated signature block for platting actions.



Sheran Matson, AICP DRB Chair  
924-3880 Fax: 924-3864



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**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

July 30, 2003

9:00 a.m.

**MEMBERS:**

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Richard Dourte, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946. HEARING IMPAIRED USERS MAY CONTACT HER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE ADMINISTRATIVE ASSISTANT MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

A. Call to Order: 9:00 a.m.

Adjourned: 12:14 p.m.

B. Changes and/or Additions to the Agenda

C. New or Old Business

**NO ACTION IS TAKEN ON THESE CASES:**

**APPLICANT - AGENT IS REQUIRED TO BE AT THE MEETING**

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**  
**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1000313**  
03DRB-01068 Major-Two Year SIA

MARK GOODWIN & ASSOCIATES, PA agent(s) for CLEARBROOK INVESTMENTS INC request(s) the above action(s) for all or a portion of Lot(s) ALL, **EL VALLADO SUBDIVISION**, zoned SU-1/PRD, located on HIDDEN VALLEY DR SE, between SAGEWOOD CT SE and FENNEL CT SE containing approximately 11 acre(s). [REF: DRB-98-142] (L-22) **A ONE-YEAR SIA WAS APPROVED. THE EXISTING CONSTRUCTION COMPLETION DEADLINE DATE OF 7/18/03 AS IDENTIFIED IN THE MOST RECENT SIA WAS EXTENDED TO 7/18/04.**
  
2. **Project # 1000072**  
03DRB-01107 Major - Vacation of Public Right-of-Way  
03DRB-01104 Major-Preliminary Plat Approval  
03DRB-01106 Minor -Temp Deferral of Sidewalks

MARK GOODWIN & ASSOCIATES, PA agent(s) for D R HORTON request(s) the above action(s) for all or a portion of Lot(s) 14-19, Block(s) 34, NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B, (to be known as **THE CARMEL SUBDIVISION** *formerly BREEZE @ LA CUEVA*) zoned RD, located on LOUISIANA BLVD NE, between HOLLY AVE NE and CARMEL AVE NE containing approximately 6 acre(s). [REF: 1000200] (C-18) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/30/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 6/25/03 THE PRELIMINARY PLAT WAS APPROVED. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

3. **Project # 1001348**  
03DRB-01091 Major-Vacation of Public Easements

TIERRA WEST LLC, AGENTS FOR NEWMAN HOMES INC., request(s) the above action(s) for all or a portion of Lot(s) 58, 59 and 60, **QUAIL SPRINGS**, zoned R-D 7DU/A, located on QUAIL SPRINGS NE, between LOUISIANA BLVD NE and WYOMING BLVD NE containing approximately 1 acre(s). [REF: 01ZHE-00963, thru, 01ZHE-00983] (C-19) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

4. **Project # 1002050**  
03DRB-01059 Major – Preliminary Plat Approval  
03DRB-01060 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES, PA, agent(s) for MEL FAMIE LLC, request(s) the above action(s) for all or a portion of Tract(s) B-2, **LAS MARCADAS SUBDIVISION**, zoned R-LT, located on GOLF COURSE RD NW, between MARNA LYNN AVE NW and JILL PATRICIA ST NW containing approximately 7 acre(s). [REF: V-89-95, 03EPC-00146, 03DRB-00573] [Deferred from 7/30/03] (C-12) **DEFERRED AT THE AGENT'S REQUEST TO 8/13/03.**



5. **Project # 1002324**  
03DRB-01112 Major-Vacation of Public  
Easements

ISAACSON & ARFMAN agent(s) for MOCHO, CHANEY, OLSON & MOCHO LLC request(s) the above action(s) for all or a portion of Lot(s) 7-A-1-B, Block(s) 4, **NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B**, zoned IP, located on VENICE AVE NE, between SAN MATEO NE and NORTH I-25 NE containing approximately 1 acre(s). (B-18) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

03DRB-01227 Minor-Prelim&Final Plat

ISAACSON & ARFMAN agent(s) for MOCHO, CHANEY, OLSON & MOCHO LLC request(s) the above action(s) for all or a portion of Lot(s) 7-A-1-B, Block(s) 4, **NORTH ALBUQUERQUE ACRES, TRACT A, UNIT B**, zoned IP, located on VENICE AVE NE, between SAN MATEO NE and NORTH I-25 NE containing approximately 1 acre(s). (B-18) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER FOR CITY ACCEPTANCE OF STORM DRAIN.**

6. **Project # 1002777**  
03DRB-01056 Major-Vacation of Public  
Easements

KAREN MARCOTTE agent(s) for MATTHEW MEADOW NEIGHBORHOOD ASSOCIATION, request(s) the above action(s) for all or a portion of Lot(s) 1 and 40, **MATTHEW MEADOWS SUBDIVISION**, zoned RA-2 residential and agricultural zone, located on N. OF LUA'S LANE NW, between 12<sup>th</sup> ST NW and SAN ISIDRO NW [REF: V-93-54, V-79-37, DRB-93-249, DRB-96-466]. [Deferred from 7/23/03] (G-13) **THE VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

7. **Project # 1002342**  
03DRB-00883 Major-Preliminary Plat  
Approval  
03DRB-00884 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES PA agent(s) for MEL FAMIE, LLC request(s) the above action(s) for all or a portion of Lot(s) 1-3, CLYDE LELAND SUBDIVISION, (to be known as PETROGLYPH GARDENS SUBDIVISION) zoned R-T residential zone, located on the EAST SIDE OF ATRISCO DR NW, between LEGENDS AVE NW and WESTERN TRAIL NW containing approximately 3 acre(s). [REF: Z-85-38-5C2, 02DRB-01720 SK] [Deferred from 6/25/03 & 7/23/03] (F-11) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/30/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 7/7/03 THE PRELIMINARY PLAT WAS APPROVED WITH 2 CONDITIONS. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS ON THE INTERIOR STREETS WAS APPROVED AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

8. **Project # 1001523**  
03DRB-00757 Major-Vacation of Pub  
Right-of-Way  
03DRB-00758 Minor-Vacation of Private  
Easements  
03DRB-00756 Minor-Prelim&Final Plat  
Approval  
03DRB-00755 Major-Bulk Land Variance

COMMUNITY SCIENCES CORP agent(s) for UNSER - 98TH ST and AIM MANAGEMENT request(s) the above action(s) for, **LADERA INDUSTRIAL CENTER**, zoned SU-1, located on UNSER BLVD NW, between LADERA DR NW and OURAY DR NW (VACATED) containing approximately 129 acre(s). [REF: EPC-00152, EPC-00153, EPC-00229, 1002404, 1001523] [Deferred from 6/4/03, 6/18/03 & 7/9/03] (H-9, H-10) **INDEFINITELY DEFERRED AT THE AGENT'S REQUEST.**

- Project # 1001523**  
03DRB-00899 Minor-Amnd SiteDev Plan  
Subd

MARK GOODWIN & ASSOCIATES, PA agent(s) for UNSER - 98TH STREET PARTNERSHIP request(s) the above action(s) for all or a portion of Lot(s) 2, **LADERA INDUSTRIAL CENTER**, zoned SU-1 for Light Industrial, located on UNSER BLVD NW between 98TH ST NW and LADERA DR NW containing approximately 120 acre(s). [REF: 01EPC-01405, 02DRB-00518, 03DRB-00755] [Deferred from 6/11/03, 7/9/03 & 7/30/03] (H-10) **DEFERRED AT THE AGENT'S REQUEST TO 10/29/03.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND  
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED,  
THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

9. **Project # 1000375**  
03DRB-01174 Minor-Prelim&Final Plat  
Approval  
03DRB-01175 Minor-Amnd SiteDev  
Plan Subd
- WAYJOHN SURVEYING, INC. agent(s) for  
CARLISLE PARTNERS, LLC request(s) the above  
action(s) for all or a portion of Tract(s) C-4, **DUKE  
CITY INDUSTRIAL AREA**, zoned C-2 community  
commercial zone, SC, located on the north side of  
CLAREMONT AVE NE, between WELLESLEY DR  
NE and CARLISLE BLVD NE containing  
approximately 5 acre(s). [REF: DRB-99-281, Z-99-76,  
DRB-96-173, 03DRB-00942] (H-16) **THE  
PRELIMINARY PLAT WAS APPROVED WITH  
FINAL SIGN OFF DELEGATED TO  
TRANSPORTATION DEVELOPMENT FOR ACCESS  
EASEMENT TO BE 24-FEET IN WIDTH. THE  
AMENDED SITE PLAN FOR SUBDIVISION WAS  
APPROVED WITH FINAL SIGN OFF DELEGATED  
TO TRANSPORTATION DEVELOPMENT TO  
CHECK FOR THE PLAT TO CONFORM TO THE  
SITE PLAN.**
10. **Project # 1002634**  
03DRB-01172 Minor-SiteDev Plan  
BldPermit/EPC
- KELLS & CRAIG ARCHITECTS INC., agent(s) for  
CITY OF ALBUQUERQUE / OPEN SPACE,  
request(s) the above action(s) for all or a portion of  
Tract(s) 6B2, **LOS POBLANOS RANCH**, zoned SU-1  
for Major Public Open Space, located on TIERRA  
VIVA PL NW, between MONTANO RD NW and the  
GRIEGOS DRAIN NW containing approximately 2  
acre(s). [REF: 03EPC-00695] [CHRIS HYER, EPC  
CASE PLANNER] (F-13) **THE SITE PLAN FOR  
BUILDING PERMIT WAS APPROVED WITH FINAL  
SIGN OFF DELEGATED TO CITY ENGINEER TO  
CHECK FOR PROPER SIGNATURES ON THE  
INFRASTRUCTURE LIST.**

11. **Project # 1001426**  
03DRB-00812 Minor-Amnd SiteDev Plan  
BldPermit

JERRY DANIELE agent(s) for NEW LIFE BAPTIST CHURCH request(s) the above action(s) for all or a portion of Block(s) 2A & 2B, Tract(s) N, **ATRISCO BUSINESS PARK, UNIT 2**, zoned IP, located on LOS VOLCANES RD NW, between UNSER BLVD. NW and COORS NW containing approximately 5 acre(s). [REF: DRB 99-199, 01450-01196] [Deferred from 5/28/03] (J-10) **THE AMENDED SITE PLAN FOR BUILDING PERMIT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

12. **Project # 1001864**  
03DRB-01229 Minor-SiteDev Plan  
BldPermit/EPC

JUNIPER DESIGN agent(s) for S. G. PROPERTIES request(s) the above action(s) for all or a portion of Tract(s) F-1, Block(s) 1, **COUNTRY CLUB SUBDIVISION**, zoned SU-2 special neighborhood zone, MD-1, located on DR MARTIN LUTHER KING JR AVE NE, between MULBERRY ST NE and CEDAR ST NE containing approximately 1 acre(s). [REF: 02EPC-01120] [**DEBBIE STOVER, EPC CASE PLANNER**] (K-15) **THE ABOVE REQUEST WAS INDEFINITELY DEFERRED.**

13. **Project # 1002832**  
03DRB-01230 Minor-SiteDev Plan  
BldPermit

MILLER & ASSOCIATES, agent(s) for PECK-TRASK INVESTMENTS LLC request(s) the above action(s) for all or a portion of Lot(s) 53 , (to be known as **PTI ELECTRICAL CONTRACTORS**), ALAMEDA BUSINESS PARK, zoned SU-2 IP-EP, located on VISTA ALAMEDA NE, between EDITH BLVD NW and the AMAFCA NORTH DIVERSION CHANNEL NW containing approximately 1 acre(s). [REF: DRB-98-223, 1000624] (C-16) **THE SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING TO ADDRESS COMMENTS IN FILE.**



14. **Project # 1002786**  
03DRB-01075 Minor-SiteDev Plan  
BldPermit

JIM MILLER - MILLER & ASSOCIATES, agent(s) for FIDELITY TRUST CO. request(s) the above action(s) for all or a portion of Lot(s) 1-3, Block(s) 5, Tract(s) A, **NORTH ALBUQUERQUE ACRES, UNIT B**, zoned IP industrial park zone, located on SAN MATEO BLVD NE, between SAN DIEGO AVE NE and BEVERLY HILLS AVE NE containing approximately 3 acre(s). [REF: 01ZHE-01832] *[Deferred from 7/9/03 & 7/30/03]* (B-18) **DEFERRED AT THE AGENT'S REQUEST TO 8/6/03.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

15. **Project # 1001396**  
03DRB-01231 Minor-Prelim&Final Plat  
Approval

MARK GOODWIN & ASSOCIATES, PA agent(s) for VISTA DEL NORTE DEVELOPMENT, LLC request(s) the above action(s) for all or a portion of Block(s) 13, Tract(s) 1-A, 2-A & 3-A, **ALTA TIERRA DEL NORTE, UNIT 1**, zoned R-1 residential zone, located on CALLE MONTANA NE, between VISTA DEL NORTE DR NE and CALLE FUERTE NE containing approximately 1 acre(s). [REF: 02DRB-00682, 02DRB-01871] (D-16) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING FOR THE DXF FILE.**

16. **Project # 1001413**  
03DRB-01160 Minor-Final Plat  
Approval

BOHANNAN HUSTON INC agent(s) for PULTE HOMES OF NEW MEXICO INC request(s) the above action(s) for all or a portion of Tract(s) Y-1A-1A-3, VENTANA RANCH, **PINON POINTE - UNIT 5**, zoned R-LT, located on LAS VENTANAS RD NW, between IRVING BLVD NW and RAINBOW BLVD NW containing approximately 17 acre(s). [REF: 03DRB-00591] *[Deferred from 7/23/03]* (B-9) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGNOFF DELEGATED TO CITY ENGINEER FOR SIA AND PLANNING FOR THE DXF FILE.**

17. **Project # 1002025**  
03DRB-01217-~~Minor-Final-Plat~~  
Approval

ADVANCED ENGINEERING & CONSULTING LLC agent(s) for FRED N. SEELEY request(s) the above action(s) for all or a portion of the north portion of Tract(s) 6, LANDS OF C. H. HALL (to be known as **WEST PLATEAU MOBILE HOME SUBDIVISION**, zoned SU-1 special use zone, FOR MH, located on the west side of 90TH ST NW, between VOLCANO RD NW and BLUEWATER RD NW containing approximately 4 acre(s). [REF: 03DRB-00044, 03DRB-00045] (K-09) **THE FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS FOR CASH-IN-LIEU AND PLANNING FOR DXF FILE AND P-1 DESIGNATIONS AFTER LOT #.**

18. **Project # 1002266**  
03DRB-01232 Minor-Preliminary Plat  
Approval

WILKS CO agent(s) for MICHAEL A EAVES request(s) the above action(s) for all or a portion of Tract(s) 121-B-2-A and 121-B-1, (to be known as Lands of Eaves & Olguin >, **MRGCD MAP 31**, zoned RA-2, located WEST OF RIO GRANDE BLVD NW, between ARBOR RD NW and TEODORO RD NW containing approximately 1 acre(s). [REF: 02DRB-01538] (F-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 7/30/03 THE PRELIMINARY PLAT WAS APPROVED WITH THE FOLLOWING CONDITIONS OF FINAL PLAT: 1) ACCESS EASEMENT SHALL BE WIDENED TO 22- FEET. 2) SOLID WASTE'S CONCURRENCE IS REQUIRED PRIOR TO FINAL PLAT APPROVAL.**

19. **Project # 1002479**  
03DRB-01226 Minor-Final Plat  
Approval

ISAACSON & ARFMAN PA, agent(s) for JAY REMBE, (DBA WINTERHAVEN PARTNERS), request(s) the above action(s) for all or a portion of Lot(s) 6, RIVERSIDE PLAZA, (to be known as **THE PRESERVE**) zoned SU-1 special use zone, FOR PRD, 8DU/AC, and located on the east side of WINTERHAVEN RD NW, between MONTANO RD NW and LA ORILLA RD NW containing approximately 4 acre(s). [REF: 03DRB-00233, 03DRB-00813,..814 &..815, 03DRB-00718] (E-12) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

20. **Project # 1000610**  
03DRB-00984 Minor- Final Plat Approval

CONSENSUS PLANNING, agent(s) for WEST MESA MINI STORAGE, request(s) the above action(s) for all or a portion of Tract(s) 334/SLY, **TOWN OF ATRISCO GRANT, UNIT 8**, zoned SU-1 special use zone, OFFICE, located on the NORTHWEST CORNER OF MIAMI ST NW AND 57<sup>TH</sup> ST NW containing approximately 6 acre(s). [REF: 03EPC-00312, 03EPC-00314, 03EPC-00315] [MAKITA HILL, EPC CASE PLANNER] [*Deferred from 6/25/03, 7/9/03 & 7/16/03 WITH THE SIGNING OF THE AMENDED INFRASTRUCTURE LIST DATED 7/16/03 THE PRELIMINARY PLAT WAS APPROVED. THE FINAL PLAT WAS DEFERRED TO 7/23/03, was indefinitely deferred on a no show 7/23/03 & 7/30/03*] (H-11) **INDEFINITELY DEFERRED ON A NO SHOW.**

**THERE ARE NO SKETCH PLATS THIS WEEK**

21. Approval of the Development Review Board Minutes for July 16, 2003. **MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.**

Other Matters: **Project #1000593/Application #03DRB-01079 (SBP)** Sign-off of Site Plan with delegation for request heard 7/23/03. **THIS ACTION WAS TAKEN.**

ADJOURNED: 12:14 P.M.



F

**City of Albuquerque**  
**Parks and Recreation Department**  
PO Box 1293, Albuquerque, New Mexico 87103  
Inter-Office Correspondence  
Development Review Board Comments

**Project Number:** 1002025  
**Application Number:** 03DRB-01217

**DRB Date:** 7/30/03  
**Item Number:** 17

**Subdivision:** West Plateau Mobile Home Subdivision  
Tract 6, Lands of C.H. Hall

**Zoning:** SU-1 MH

**Zone Page:** K-09

**New Lots (or units) :** 29

**Request for:**


- Sketch Plat Review & Comment
- Bulk Land Variance
- Site Development Plan for Subdivision
- Site Development Plan for Building Permit
- Preliminary Plat
- Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other

**Parks and Recreation Comments:**

This request will be subject to the following requirements of the City Park Dedication and Development Ordinance:

Prior to sign-off on the final plat, a fee in-lieu of and equal to the value of the required park land dedication for 29 new residential lots will be required. The fee will be based on an estimate of land value to be provided by the City Real Property office. Alternatively, the applicant may submit current appraisal information mutually acceptable to the applicant and the City.

The park development requirement will be met via the payment of a fee prior to issuance of building permit for each new dwelling unit.

**Signed:**   
Christina Sandoval, (PRD)

Phone: 768-5328





**City of Albuquerque**  
 CITY OF ALBUQUERQUE  
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103  
**PUBLIC WORKS DEPARTMENT**  
**DEVELOPMENT SERVICE**  
 HYDROLOGY DEVELOPMENT SECTION

DEVELOPMENT REVIEW BOARD--SPEED MEMO

**DRB CASE NO/PROJECT NO: 1002025**

**AGENDA ITEM NO: 17**

**SUBJECT:**

- |                         |                          |                              |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan   | (05) Site Plan for Subd  | (10) Sector Dev Plan         |
| (02) Bulk Land Variance | (06) Site Plan for BP    | (11) Grading Plan            |
| (03) Sidewalk Variance  | (07) Vacation            | (12) SIA Extension           |
| (03a) Sidewalk Deferral | <b>(08)</b> Final Plat   | (13) Master Development Plan |
| (04) Preliminary Plat   | (09) Infrastructure List | (14) Other                   |

**ACTION REQUESTED:**

REV/CMT:() APP:(x) SIGN-OFF:() EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

An executed Subdivision Improvements Agreement with financial guarantees is on file for Final Plat sign-off

**RESOLUTION:**

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) **(FP)** TO: (UD) (CE) (TRANS) **(PKS)** **(PLNG)**

FOR:

**SIGNED:** Bradley L. Bingham  
 City Engineer/AMAFCA Designee

**DATE:** July 30, 2003

4 Mak



Completed  
2/21/03  
JMA

DRB

# DRB CASE ACTION LOG

REVISED 1/16/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No.: 03-00138 (SBP) and 00139 (ASPS)

Project # 1002025

Project Name: **LANDS OF C.H. HALL**

EPC Application No: 02EPC-01435, 02EPC-01142

Agent: Advanced Engr. And Consulting LLC

Phone No.: **899-5570 SHAWN**

Your request for **K9 A** (SDP for SUB), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on **2/5/03** by the DRB with delegation of signature(s) to the following departments.

### OUTSTANDING SIGNATURES COMMENTS TO BE ADDRESSED

- TRANSPORTATION: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

- UTILITIES: \_\_\_\_\_
- revise Site Plan Utility Plan to show existing
- 12" dia well collector line and revise connection
- on North end.
- \_\_\_\_\_
- \_\_\_\_\_

- CITY ENGINEER / AMAFCA: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

- PARKS / CIP: \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

- PLANNING (Last to sign): \_\_\_\_\_
- See comments dated \_\_\_\_\_
- EPC comments (name) \_\_\_\_\_
- Planning must record this plat. Please submit the following items:
  - The original plat and a mylar copy for the County Clerk.
  - Tax certificate from the County Treasurer.
  - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
  - Tax printout from the County Assessor.
- Include 3 copies of the approved site plan along with the originals.
- County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
- Property Management's signature must be obtained prior to Planning Department's signature.
- Copy of recorded plat AND a DXF File for Planning.

Project Number

1002025

Completed  
2/21/03  
[Signature]

APPLICATION NO. 03 DRB - 00138 // 00139	PROJECT NO. 100 2025
PROJECT NAME HALL	
EPC APPLICATION NO.	
APPLICANT / AGENT Adv Eng Shawn	PHONE NO. 899-5570
ZONE ATLAS PAGE K-9	
<b>ONE STOP COMMENT FORM LOG</b>	

<b>TRANSPORTATION DEV (505) 924-3990</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
<del>COMMENTS:</del>		

<b>UTILITY DEV (505) 924-3989</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED <i>Ret</i>	DATE <i>2/19/03</i>	DATE
COMMENTS:		

<b>HYDROLOGY DEV (505) 924-3986</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
<del>COMMENTS:</del>		

<b>PARKS AND REC (505) 768-5328</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
<del>COMMENTS:</del>		

<b>PLANNING (505) 924-3858</b>		
PLANS DISAPPROVED	DATE	DATE
PLANS APPROVED	DATE	DATE
<del>COMMENTS:</del>		

(Return form with plat / site plan)



## OFFICIAL NOTICE

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
LAND DEVELOPMENT COORDINATION DIVISION

2-6-2003

#### 4. Project # 1002025

03DRB-00044 Major-Preliminary Plat Approval  
03DRB-00045 Minor-Temp Defer SDWK

ADVANCED ENGINEERING & CONSULTING LLC, agent(s) for FRED N SEELEY request(s) the above action(s) for all or a portion of THE NORTH PORTION OF Tract(s) 6, **LANDS OF C. H. HALL**, zoned SU-1/ MH, located on 90TH ST NW, between VOLCANO RD NW and BLUEWATER RD NW containing approximately 4 acre(s). (K-9)

At the February 5, 2003, Development Review Board meeting, with the signing of the Infrastructure List dated 2/5/03 and approval of the Grading Plan Engineer Stamp dated 10/9/02 the Preliminary Plat was approved.

Temporary deferral of construction of sidewalks was approved for the frontage and side yards of the developable lots on the interior streets as shown on Exhibit C in the Planning file.

03DRB-00138 Minor-SiteDev Plan BldPermit/EPC  
03DRB-00139 Minor-Amnd SiteDev Plan Subd/EPC

ADVANCED ENGINEERING & CONSULTING LLC, agent(s) for FRED N SEELEY request(s) the above action(s) for all or a portion of THE NORTH PORTION OF Tract(s) 6, **LANDS OF C. H. HALL**, zoned SU-1/ MH, located on 90TH ST NW, between VOLCANO RD NW and BLUEWATER RD NW containing approximately 4 acre(s). [REF: 02EPC-01435, 02EPC-01142] **[Makita Hill, EPC Case Planner]** (K-9)

At the February 5, 2003, Development Review Board meeting, the Site Plan for Building Permit was approved with final sign off delegated to Utilities Development. The Amended Site Plan for Subdivision was approved with final sign off delegated to Utilities Development.

If you wish to appeal this decision, you must do so by February 20, 2003, in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision.





**OFFICIAL NOTICE  
PAGE TWO**

The date the determination in question is issued is not included in the 15-day period for filing an appeal; If the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

Sheran Matson, DRB Chair

Cc: Fred N Seeley, 3511 Carlisle NE, 87110

Advanced Engineering & Consulting LLC, 10205 Snowflake Ct NW, 87114

Arlene Portillo, Planning Department, 4th Floor, Plaza del Sol Bldg.

Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg.

File

# DRB PUBLIC HEARING SIGN IN SHEETS

CASE NUMBER: 1002025 AGENDA#: 4 DATE: 2.5.03

1. Name: Sharon Advanced Edg Address: \_\_\_\_\_ Zip: \_\_\_\_\_

2. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

3. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

4. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

5. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

6. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

7. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

8. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

9. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

10. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

11. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

12. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

13. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_

14. Name: \_\_\_\_\_ Address: \_\_\_\_\_ Zip: \_\_\_\_\_



**City of Albuquerque**  
**CITY OF ALBUQUERQUE**  
 P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103  
**PUBLIC WORKS DEPARTMENT**  
**DEVELOPMENT SERVICE**  
**HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD--SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1002025**

**AGENDA ITEM NO: 4**

**SUBJECT:**

- |                         |                          |                              |
|-------------------------|--------------------------|------------------------------|
| (01) Sketch Plat/Plan   | (05) Site Plan for Subd  | (10) Sector Dev Plan         |
| (02) Bulk Land Variance | (06) Site Plan for BP    | (11) Grading Plan            |
| (03) Sidewalk Variance  | (07) Vacation            | (12) SIA Extension           |
| (03a) Sidewalk Deferral | (08) Final Plat          | (13) Master Development Plan |
| (04) Preliminary Plat   | (09) Infrastructure List | (14) Other                   |

**ACTION REQUESTED:**

REV/CMT:() APP:(x) SIGN-OFF:(x) EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

An approved drainage report dated 10-9-02 is on file for Preliminary Plat approval.  
 No adverse comments on site plan or IL.

**RESOLUTION:** *Signal I.L.*

APPROVED ; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
 City Engineer/AMAFCA Designee

**DATE:** February 5, 2003

4



# DRB CASE ACTION LOG

REVISED 1/16/2003

This sheet must accompany your plat or site plan to obtain delegated signatures. Return sheet with site plan/plat once comments are addressed.

DRB Application No: 03-0013 (ASPS) (SBP) and 00139 Project # 1002025

Project Name: LANDS OF C. HALL EPC Application No: 02EPC-01435, 02EPC-01142

Agent: Advanced Engr. And Consulting LLC Phone No.: 899-5570 Shawn

Your request for (SDP for SU), (SDP for BP), (FINAL PLATS), (MASTER DEVELOP. PLAN), was approved on 2/5/04 by the DRB with delegation of signature(s) to the following departments  
**OUTSTANDING SIGNATURES; COMMENTS TO BE ADDRESSED**

Project Number 1002025

- TRANSPORTATION
  - 
  - 
  - 
  -

- UTILITIES:
  - revise Side Plan Utility Plan to show existing
  - 12" dia. Sewer Collector line and revise connection
  - on North end.
  -

- CITY ENGINEER // AFCA:
  - 
  - 
  - 
  -

- PARKS / CIP:
  - 
  - 
  - 
  -

- PLANNING (Last to sign):
  - See comments dated \_\_\_\_\_
  - EPC comments (name) \_\_\_\_\_
  - Planning must record this plat. Please submit the following items:
    - The original plat and a mylar copy for the County Clerk.
    - Tax certificate from the County Treasurer.
    - Recording fee (checks payable to the County Clerk). RECORDED DATE: \_\_\_\_\_
    - Tax printout from the County Assessor.

- Include 3 copies of the approved site plan along with the originals.
  - County Treasurer's signature must be obtained prior to the recording of the plat with the County Clerk.
  - Property Management's signature must be obtained prior to Planning Department's signature.
  - Copy of recorded plat AND a DXF File for Planning.





**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

February 5, 2003                      9:00 a.m.  
MEMBERS:

Sheran Matson, AICP, DRB Chair  
Claire Senova, Administrative Assistant

Richard Dourte, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946 (VOICE) OR TELETYPEWRITER (TTY) 924-3361 - TTY USERS MAY ALSO ACCESS THE VOICE NUMBER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE BOARD SECRETARY MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order: 9 a.m.                      Adjourned: 11:25 a.m.
- B. Changes and/or Additions to the Agenda
- C. Announcements

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1000355**  
03DRB-00023 Major-Vacation of Public Easements

03DRB-00027 Minor-Prel & Final Plat

CARTESIAN SURVEYS INC agent(s) for SIVAGE THOMAS HOMES request(s) the above action(s) for all or a portion of Lot(s) 8, 9, 10 AND 11, **DESERT MOUNTAIN @ HIGH DESERT**, zoned SU-2/ HD / R-LT, located on SLATERIDGE PL NE, between ACADEMY NE AND SPAIN NE EAST OF TRAMWAY containing approximately 1 acre(s). (E-23) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

CARTESIAN SURVEYS INC agent(s) for SIVAGE THOMAS HOMES request(s) the above action(s) for all or a portion of Lot(s) 8, 9, 10 AND 11, Block(s) G, Unit 2, **DESERT MOUNTAIN @ HIGH DESERT**, zoned SU-2/ HD / R-LT, located on SLATERIDGE PL NE, between ACADEMY NE AND SPAIN NE EAST OF TRAMWAY containing approximately 1 acre(s). (E-23) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PLANNING.**
  
2. **Project # 1001267**  
03DRB-00021 Major-Preliminary Plat Approval  
03DRB-00022 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES PA agent(s) for KB HOMES OF NEW MEXICO request(s) the above action(s) for all or a portion of Tract(s) 46-48, **DESERT PINE UNIT 4**, TOWN OF ATRISCO GRANT, zoned RD-9, located on SUNSET GARDENS SW, between EUCARIZ AVE SW and SUNSET GARDENS SW containing approximately 16 acre(s). [REF: 01DRB-01009, 01EPC-00728] (L-9) **DEFERRED AT THE AGENT'S REQUEST TO 2/19/03.**

3. **Project # 1001306**  
03DRB-00038 Major-Bulk Land Variance  
03DRB-00039 Major-Vacation of Pub Right-  
of-Way  
03DRB-00040 Major-Final Plat Approval

SURV-TEK INC agent(s) for CURB WEST/WEST FORK LTD/TRAILS MANAGEMENT request(s) the above action(s) for all or a portion of Tract(s) 1B1C, 1B1D, 1B1E and 1B1G, **SEVILLE SUBDIVISION**, zoned R-LT, located on NORTH OF IRVING BLVD NW, between UNIVERSE BLVD NW and KAYENTA BLVD NW containing approximately 48 acre(s). [REF: 02DRB-01250, 02DRB-01381] (A-10) **BULK LAND VARIANCE APPROVED. VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT.**

4. **Project # 1002025**  
03DRB-00044 Major-Preliminary Plat  
Approval  
03DRB-00045 Minor-Temp Defer SDWK

ADVANCED ENGINEERING & CONSULTING LLC, agent(s) for FRED N SEELEY request(s) the above action(s) for all or a portion of THE NORTH PORTION OF Tract(s) 6, **LANDS OF C. H. HALL**, zoned SU-1/ MH, located on 90TH ST NW, between VOLCANO RD NW and BLUEWATER RD NW containing approximately 4 acre(s). (K-9) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/5/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 10/9/02 THE PRELIMINARY PLAT WAS APPROVED. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS WAS APPROVED FOR THE FRONTAGE AND SIDE YARDS OF THE DEVELOPABLE LOTS ON THE INTERIOR STREETS AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

- 03DRB-00138 Minor-SiteDev Plan  
BldPermit/EPC  
03DRB-00139 Minor-Amnd SiteDev Plan  
Subd/EPC

ADVANCED ENGINEERING & CONSULTING LLC, agent(s) for FRED N SEELEY request(s) the above action(s) for all or a portion of THE NORTH PORTION OF Tract(s) 6, **LANDS OF C. H. HALL**, zoned SU-1/ MH, located on 90TH ST NW, between VOLCANO RD NW and BLUEWATER RD NW containing approximately 4 acre(s).[REF: 02EPC-01435, 02EPC-01142] **[Makita Hill, EPC Case Planner] (K-9) SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT. THE AMENDED SITE PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO UTILITIES DEVELOPMENT.**



5. **Project # 1002092**  
03DRB-00041 Major-Vacation of Pub Right-of-Way

BOHANNAN HUSTON INC agent(s) for OXBOW BLUFF HOMEOWNERS ASSOCIATION request(s) the above action(s) for all or a portion of Lot(s) 1-63, **OXBOW BLUFF SUBDIVISION**, zoned SU-3, located on OXBOW DR NW, between COORS BLVD NW and RIO GRANDE RIVER NW containing approximately 41 acre(s). [REF: DRB-97-501 ] (G-11) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH ADDITIONAL CONDITION.**

03DRB-00131 Minor-Final Plat Approval

BOHANNAN HUSTON INC agent(s) for OXBOW NORTH LLC request(s) the above action(s) for all or a portion of Tract(s) B-1, **ARCHDIOCESE OF SANTA FE, OXBOW NORTH**, zoned SU-3, located on OXBOW DR NW, EAST OF COORS BLVD NW, SOUTH OF NAMASTE DR NW AND NORTH OF ST PIUS X HIGH SCHOOL containing approximately 41 acre(s). [REF: 02-01371, 02-01375, 02-01068, 02-01376 ] (G-11) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS AND PLANNING.**

6. **Project # 1002132**

03DRB-00031 Major-Preliminary Plat Approval  
03DRB-00032 Major-Vacation of Public Easements  
03DRB-00033 Minor-Sidewalk Waiver  
03DRB-00034 Minor-Sidewalk Variance  
03DRB-00035 Minor-Temp Defer SDWK

BOHANNAN HUSTON, INC. agent(s) for T. S. MCNANEY & ASSOCIATES, request(s) the above action(s) for all or a portion of Tract(s) G (to be known as **VILLA DE VILLAGIO SUBDIVISION**, VILLAGE CENTER NORTH, zoned SU-1 / R-2 special use zone, located EAST OF UNSER BLVD NW, between WESTSIDE BLVD NW and MCMAHON BLVD NW containing approximately 13 acre(s). [REF: 02-01190 (SK)] [DEFERRED FROM 2/5/03] (A-11) **DEFERRED AT THE AGENT'S REQUEST TO 2/12/03.**

03DRB-00135 Minor-SiteDev Plan Subd/EPC  
03DRB-00137 Minor-SiteDev Plan BldPermit/EPC

CONSENSUS PLANNING INC agent(s) for T S MCNANEY & ASSOCIATES request(s) the above action(s) for all or a portion of Tract(s) G, VILLAGE CENTER NORTH SUBDIVISION, (to be known as **VILLA DE VILLAGIO SUBDIVISION**, zoned SU-1 / R-2, located WEST OF UNSER BLVD NW, SOUTH OF SUMMER RIDGE RD NW, containing approximately 14 acre(s). [REF: 1000898 / 02EPC-001347, 1000898 / 02EPC-001348, 1000898 / 03EPC-00031] [Russell Brito, EPC Case Planner] [DEFERRED FROM 2/5/03] (A-11) **DEFERRED AT THE AGENT'S REQUEST TO 2/12/03.**

7. **Project # 1002375**

02DRB-01852 Major-Vacation of Pub Right-of-Way

JOSE L. PADILLA request(s) the above action(s) for all or a portion of Lot(s) 1-5 & E-H, Block(s) 3A **PALISADES ADDITION**, zoned C-1, located on BLUEWATER RD NW, between YUCCA NW and PLANO NW containing approximately 2 acre(s). [Deferred from 1/8/03] (J-11) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**

8. **Project # 1001866**  
02DRB-01848 Major-Preliminary Plat  
Approval  
02DRB-01849 Minor – Temp Defer SDWK

MARK GOODWIN & ASSOCIATES, PA, agent(s) for NORTH VALLEY DEVELOPMENT LTD., LLC, request(s) the above action(s) for all or a portion of Lot(s) 16 & 17, ALVARADO ADDITION, **CAMPBELL FARM SUBDIVISION**, zoned RA-2 residential and agricultural zone, located on CAMPBELL RD NW BETWEEN RIO GRANDE BLVD NW AND THE GRIEGOS DRAIN, containing approximately 5 acre(s). [REF: 02500-00540 (SK)] [Deferred from 1/22/03] (G-13) **WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/5/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 2/3/03 THE PRELIMINARY PLAT WAS APPROVED WITH CONDITION. THE TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS WAS APPROVED FOR THE FRONTAGE AND SIDE YARDS OF THE DEVELOPABLE LOTS ON THE INTERIOR STREETS AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

9. **Project # 1001986**  
02DRB-01927 Major-Preliminary Plat  
Approval  
02DRB-01928 Minor-Temp Defer SDWK  
02DRB-01929 Minor-Subd Design Variance

MARK GOODWIN & ASSOCIATES, PA agent(s) for RIO OESTE DEVELOPMENT request(s) the above action(s) for all or a portion of Tract(s) D & E (to be known as **RIO OESTE SUBDIVISION**, TAYLOR RANCH, zoned R-1, located on COORS BLVD NW, between LA ORILLA NW and MONTANO PLAZA DR NW containing approximately 10 acre(s). [Deferred from 2/5/03] (E-12) **DEFERRED AT THE AGENT'S REQUEST TO 2/12/03.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

**NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED, THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.**

10. **Project # 1002371**  
02DRB-01824 Minor-SiteDev Plan  
BldPermit/EPC  
02DRB-01825 Minor-Prelim&Final Plat  
Approval
- TIERRA WEST LLC agent(s) for SENECA INVESTMENT COMPANY request(s) the above action(s) for all or a portion of Block(s) 15, Tract(s) 1A, 1B & 1C, **ALBAN HILLS UNIT 1, (to be known as STONELEIGH ON THE BOSQUE APARTMENTS)** zoned SU-1/R-2, located on COORS BLVD NW, between LA ORILLA RD NW and CORRALES MAIN CANAL containing approximately 18 acre(s). [REF: Z-98-30, DRB-98-113, DRB-98-375] **[Russell Brito, EPC Case Planner]** [Deferred from 12/11/02 AND 1/8/03] (D-12) **SITE PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED OT CITY ENGINEER (SIA) AND UTILITIES DEVELOPMENT. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 2/45/03 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 8/2/02 THE PRELIMINARY PLAT WAS APPROVE WITH FINAL PLAT SIGN OFF DELEGATED TO PARKS AND CITY ENGINEER.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

11. **Project # 1000662**  
03DRB-00130 Minor-Vacation of Private  
Easements
- TIERRA WEST, LLC agent(s) for JONES DEVELOPMENT CO. request(s) the above action(s) for all or a portion of Tract(s) 3A3-A-2-A, **RENAISSANCE CENTER**, zoned SU-1 special use zone, FOR I-P, located on MISSION AVE NE, between ALEXANDER BLVD NE and CULTURE DR NE containing approximately 6 acre(s). [REF: 02DRB-01115, 02DRB-00656, 01DRB-00359, 00DRB-01283, Z-99-105, DRB-98-277] (F-16) **VACATION APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE.**



12. **Project # 1001786**  
03DRB-00128 Minor-Ext of SIA for Temp  
Defer SDWK
- WILLIAM T. CANIGLIA agent(s) for THE GARDENS, INC. request(s) the above action(s) for all or a portion of Lot(s) 1, 3, 4, 5, 7, 19, 24, 25, 26, 33 AND 35, UNIT I, Tract(s) C-3, **THE GARDENS ON THE RIO GRANDE**, zoned RA-1 residential and agricultural zone, semi-urban area, located on the SOUTH SIDE OF MOUNTAIN RD NW, between LAGUNA SECA LN NW and ALAMEDA DRAIN containing approximately 18 acre(s). [REF: 02DRB-00381] (J-12) **A TWO-YEAR EXTENSION TO THE FOUR-YEAR AGREEMENT FOR THE DEFERRAL OF SIDEWALKS WAS APPROVED.**
13. **Project # 1002094**  
03DRB-00134 Minor-Final Plat Approval
- WAYJOHN SURVEYING INC. agent(s) for TRELIS PARTNERS LLC request(s) the above action(s) for all or a portion of Tract(s) A, ALVARADO GARDENS, UNIT 2, **LA TIERRA QUE CANTA**, zoned RA-2, located on TRELIS DR NW, between CAMPBELL RD NW and ORO VISTA NW containing approximately 3 acre(s). [REF: ZA-78-16, 02DRB-01069, SP-78-134] (G-12) **FINAL PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO PARKS, CITY ENGINEER AND PLANNING.**

14. **Project # 1002377**  
03DRB-00126 Minor-Temp Defer SDWK

SURV-TEK, INC. agent(s) for ALBUQUERQUE CHRISTIAN CHILDREN'S HOME request(s) the above action(s) for all or a portion of Tract(s) B-1A, **LANDS OF JOEL P. TAYLOR & UNPLATTED LANDS**, zoned SU-1 special use zone, P D A, A-1, located on the EAST SIDE OF WINTER HAVEN RD NW, between MONTANO RD NW and MONTANO PLAZA DR NW containing approximately 13 acre(s). [REF: DRB-95-469, Z-90-10, AX-90-53,] (E-12) **TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION WAS WITHDRAWN AT THE AGENT'S REQUEST.**

02DRB-01860 Minor-Prelim&Final Plat Approval

SURV-TEK, INC. agent(s) for ALBUQUERQUE CHRISTIAN CHILDREN'S HOME request(s) the above action(s) for all or a portion of Tract(s) B-1A, **LANDS OF JOEL P. TAYLOR & UNPLATTED LANDS**, zoned SU-1 special use zone, P D A, A-1, located on the EAST SIDE OF WINTER HAVEN RD NW, between MONTANO RD NW and MONTANO PLAZA DR NW containing approximately 13 acre(s). [REF:DRB-95-469,Z-90-10,AX-90-53](E-12) **THE PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT.**

15. **Project # 1002378**  
03DRB-00136 Minor-Prelim&Final Plat Approval

WAYJOHN SURVEYING INC. agent(s) for THOMAS HEFLIN request(s) the above action(s) for all or a portion of Lot(s) 9, **LA CUEVA TOWN CENTER** and Lots 9, 10, 23, 24, Block 30, Unit 3, Tract 2, **North Albuquerque Acres**, zoned O-1, located on CARMEL AVE NE, between WYOMING BLVD NE and BARSTOW ST NE containing approximately 5 acre(s). [REF: DRB-98-402, ZA-98-109, V-96-109, 00128-00466, 00450-00876, 02DRB-01749] (C-19) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO CITY ENGINEER AND PLANNING.**

16. **Project # 1000147**  
02DRB-01961 Minor-Final Plat Approval
- MARK GOODWIN & ASSOCIATES, PA agent(s) for C & W LAND DEVELOPMENT ENTERPRISE INC., request(s) the above a action(s) for all or a portion of Tract(s) A, Unit 1, **WHISPERING POINTE SUBDIVISION, UNIT 2**, zoned R-D residential and related uses zone, developing area, 9DU/AC, located on the southside of SUNSET GARDENS RD SW, between 82ND ST SW and UNSER BLVD SW containing approximately 16 acre(s). [REF: DRB-97-497, Z-97-78, 01DRB-00128 FP, 00DRB-00077 XT PP, 01DRB-00005 XPP01DRB-00039 AmPP][Deferred from 1/29/03](L-10) **FINAL PLAT WAS APPROVED AND SIGNED OFF BY THE BOARD.**

**NO ACTION IS TAKEN ON THESE CASES:**

IF APPLICANT IS NOT PRESENT, COMMENTS WILL BE FORWARDED

17. **Project # 1002449**  
03DRB-00111 Minor-Sketch Plat or Plan
- SURVEYS SOUTHWEST LTD agent(s) for JESSIE P MONTROYA request(s) the above action(s) for all or a portion of Tract(s) 133A-1-A-1-A, **MRGCD MAP 39**, zoned R-1, located on ARENAL MAIN CANAL SW, between BLUEWATER SW and ATRISCO DR SW containing approximately 2 acre(s). (J-11) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**
18. **Project # 1002452**  
03DRB-00129 Minor-Sketch Plat or Plan
- WILSON & COMPANY, INC. agent(s) for CITY OF ALBUQUERQUE, OPEN SPACE, request(s) the above action(s) for all or a portion of Lot 6, Tract(s) A , B & 1-6, **LANDS OF RAY A. GRAHAM III, OVENWEST**, zoned SU-1 special use zone, FOR C-2, O-1, & PRD (10 DU/AC), located on the EAST SIDE OF COORS BLVD NW, between LEARNING RD NW and MONTANO RD NW containing approximately 71 acre(s). [REF: 02DRB-00058,02DRB-00059,02DRB-00116,02-01543] (E-12) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

19. Approval of the Development Review Board Minutes for January 22, 2003. THE MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE BOARD.

20. Other Matters: NONE

ADJOURNED: 11:25 A.M.



#4

MEMORANDUM

To: Development Review Board  
From: Makita Hill, Planner, Advance Planning Division *MH*  
Date: Tuesday, February 4, 2003  
Re: Comments on Project 1002025 03DRB 00138/03DRB 00139

Project 1002025, a request for an amendment to an existing site development plan for subdivision, and a site development plan for building permit, was reviewed by the Environmental Planning Commission at a public hearing on September 19, 2002. The EPC voted to approve this request with conditions as noted in the Official Notification of Decision. I have reviewed the revised site development plans for subdivision and building permit as submitted to the DRB, and the letter from agent Shawn Biazar dated January 27, 2003 designed to address the EPC's conditions of approval. I have the following comments:

*Info*

1. The site is located within the Developing Urban area of the Comprehensive Plan. Applicable policies address the need for new development to respect existing neighborhoods and new development on vacant land (policies d, e).
2. The site is located within the Atrisco Park Community planning area of the West Side Strategic Plan (WSSP). Policy 3.33 of the Atrisco Park Community encourages residential and non-residential development in the area (p. 64).
3. The WSSP was amended in May 2002 to include Policy 2.5 under Jurisdictional, Density, and Character Issues that allows the City Planning Department to consider the impact of new residential subdivisions on existing local public schools (P. 53 WSSP Amendment). Albuquerque Public Schools has commented that this development will affect Painted Elementary School, Jimmy Carter Middle School, and West Mesa High School. The above elementary and middle schools are currently enrolled beyond their designed capacities and are projected to substantially increase further in population. West Mesa High School is operating close to capacity.
4. The request is consistent with the West Route 66 Sector Development Plan in that the proposed mobile home park is consistent with the intent of the plan for mobile home development on this site, and with slight modifications will meet the intent of the plan's landscape design standards.
5. In his letter dated January 27, 2003, Shawn Biazar, agent for the applicant, has outlined his responses to all EPC conditions, and has made corresponding changes to the DRB site plan submittal.
6. The outstanding issue regards EPC condition # 8(e) and the location of the northern most driveway access to lots 19-29 in relation to the adjacent emergency access entrance. The proposed location of the northern most driveway must meet the approval of the City's Transportation Development Services Division and the City Engineer.

With the exception of item #6 as indicated above, the DRB submittal of this case has sufficiently addressed all EPC conditions for approval, and is consistent with policies in the Comprehensive Plan, West Side Strategic Plan, and the West Route 66 Sector Development Plan. Upon resolution of item #6 as indicated, staff recommends approval of this application.

XC:       Shawn Biazar, agent



CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
LAND DEVELOPMENT COORD. DIV.

DEVELOPMENT REVIEW BOARD  
February 5, 2003  
Project # 1002025

**Project # 1002025**

03DRB-00044 Major-Preliminary Plat Approval  
03DRB-00045 Minor-Temp Defer SDWK

ADVANCED ENGINEERING & CONSULTING LLC, agent(s) for FRED N SEELEY request(s) the above action(s) for all or a portion of THE NORTH PORTION OF Tract(s) 6, **LANDS OF C. H. HALL**, zoned SU-1/ MH, located on 90TH ST NW, between VOLCANO RD NW and BLUEWATER RD NW containing approximately 4 acre(s). (K-9)

AMAFCA No adverse comments.

COG No adverse comment. For information, the Long Range Roadway System designates 90<sup>th</sup> Street as a location study corridor for a collector. The Long Range Bikeway System proposes a bike route on 90<sup>th</sup>.

Transit No comments received.

Zoning Enforcement Reviewed, no comment.

Neighborhood Coord. No Association.

APS No comments received.

Police Department

A review of following case(s) indicates the following problems or crimes may occur or that the following concerns may need to be evaluated or addressed on this site or in this area. These comments do not indicate that a thorough CPTED evaluation has been done, or that other criminal activities may not occur. Burglaries, assault, Other: Access control is an issue for further CPTED consideration. Access route appears easily assessable for criminal element, making this community vulnerable to above mentioned crimes. Drug dealing and vandalism also foreseeable.

Fire Department Fire Department is not approving street widths less than 32 feet at this time. Per Ray Sanchez, AFD.  
All required fire hydrants shall be installed and made serviceable prior to and during construction of subdivision.

PNM Gas Approves.

PNM Electric Approves.

Comcast No comments received.

QWEST No comments received.

Environmental Health Site is not within 1000 feet of a landfill. No comment.

M.R.G.C.D. No comments received.

Open Space Division No adverse comments.

City Engineer An approved drainage report is required for Preliminary Plat approval. No objection to sidewalk deferral.

#### Transportation Development

Need P-1 designations on the lots. What is developed within this area?

#### Parks & Recreation

This request will be subject to the following requirements of the City Park Dedication and Development Ordinance:

Prior to sign-off on the final plat, a fee in-lieu of and equal to the value of the required park land dedication for 29 new residential lots will be required. The fee will be based on an estimate of land value to be provided by the City Real Property office. Alternatively, the applicant may submit current appraisal information mutually acceptable to the applicant and the City.

The park development requirement will be met via the payment of a fee prior to issuance of building permit for each new dwelling unit.

Utilities Development No objection to Preliminary Plat approval. No objection to Sidewalk Deferral.

Planning Department No objection to the requested actions.

**IT IS REQUIRED THAT THE APPLICANT AND/OR AGENT BE PRESENT AT THE HEARING**

cc:Fred N Seeley, 3511 Carlisle Blvd NE, 87110

Advanced Engineering & Consulting LLC, 10205 Snowflake Ct NW, 87114





**PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE**

Notice is hereby given that the Development Review Board, City of Albuquerque, will hold a public hearing in the Plaza del Sol Hearing Room, Basement, Plaza del Sol Building, 600 2nd St NW, on Wednesday, February 5, 2003, beginning at 9:00 a.m. for the purpose of considering the following:

**Project # 1000355**

03DRB-00023 Major-Vacation of Public Easements

CARTESIAN SURVEYS agent(s) for SIVAGE THOMAS HOMES request(s) the above action(s) for all or a portion of Lot(s) 8, 9, 10 AND 11, **DESERT MOUNTAIN @ HIGH DESERT**, zoned SU-2/ HD / R-LT, located on SLATERIDGE PL NE, between ACADEMY NE AND SPAIN NE EAST OF TRAMWAY containing approximately 1 acre(s). (E-23)

**Project # 1001267**

03DRB-00021 Major-Preliminary Plat Approval  
03DRB-00022 Minor-Temp Defer SDWK

MARK GOODWIN & ASSOCIATES PA agent(s) for KB HOMES OF NEW MEXICO request(s) the above action(s) for all or a portion of Tract(s) 46-48, **DESERT PINE UNIT 4**, TOWN OF ATRISCO GRANT, zoned RD-9, located on SUNSET GARDENS SW, between EUCARIZ AVE SW and SUNSET GARDENS SW containing approximately 16 acre(s). [REF: 01DRB-01009, 01EPC-00728] (L-9)

**Project # 1001306**

03DRB-00038 Major-Bulk Land Variance  
03DRB-00039 Major-Vacation of Pub Right-of-Way  
03DRB-00040 Major-Final Plat Approval

SURV-TEK INC agent(s) for CURB WEST/WEST FORK LTD/TRAILS MANAGEMENT request(s) the above action(s) for all or a portion of Tract(s) 1B1C, 1B1D, 1B1E and 1B1G, **SEVILLE SUBDIVISION**, zoned R-LT, located on NORTH OF IRVING BLVD NW, between UNIVERSE BLVD NW and KAYENTA BLVD NW containing approximately 48 acre(s). [REF: 02DRB-01250, 02DRB-01381] (A-10)

**Project # 1002025**

03DRB-00044 Major-Preliminary Plat Approval  
03DRB-00045 Minor-Temp Defer SDWK

ADVANCED ENGINEERING & CONSULTING LLC, agent(s) for FRED N SEELEY request(s) the above action(s) for all or a portion of THE NORTH PORTION OF Tract(s) 6, **LANDS OF C. H. HALL**, zoned SU-1/ MH, located on 90TH ST NW, between VOLCANO RD NW and BLUEWATER RD NW containing approximately 4 acre(s). (K-9)

**SEE PAGE 2...**



PUBLIC HEARING--DEVELOPMENT REVIEW BOARD  
CITY OF ALBUQUERQUE  
PAGE 2

**Project # 1002092**

03DRB-00041 Major-Vacation of Pub  
Right-of-Way

BOHANNAN HUSTON INC agent(s) for OXBOW BLUFF HOMEOWNERS ASSOCIATION request(s) the above action(s) for all or a portion of Lot(s) 1-63, **OXBOW BLUFF SUBDIVISION**, zoned SU-3, located on OXBOW DR NW, between COORS BLVD NW and RIO GRANDE RIVER NW containing approximately 41 acre(s). [REF: DRB-97-501 ] (G-11)

**Project # 1002132**

03DRB-00031 Major-Preliminary Plat  
Approval  
03DRB-00032 Major-Vacation of Public  
Easements  
03DRB-00033 Minor-Sidewalk Waiver  
03DRB-00034 Minor-Sidewalk Variance  
03DRB-00035 Minor-Temp Defer SDWK

BOHANNAN HUSTON, INC. agent(s) for T. S. MCNANEY & ASSOCIATES, request(s) the above action(s) for all or a portion of Tract(s) G (be be known as **VILLA DE VILLAGIO SUBDIVISION**, VILLAGE CENTER NORTH, zoned SU-1 / R-2 special use zone, located EAST OF UNSER BLVD NW, between WESTSIDE BLVD NW and MCMAHON BLVD NW containing approximately 13 acre(s). [REF: 02-01190 (SK)] (A-11)

Details of the application(s) may be examined at the Development Services Center of the Planning Department, Second Floor, Plaza Del Sol Building, 600 2nd St NW, between 10:00 a.m. and 12:00 p.m. or 2:00 p.m. and 4:00 p.m. Monday through Friday except holidays INDIVIDUALS WITH DISABILITIES who need special assistance to participate at this hearing should contact Claire Senova, Planning Department, at 924-3946 (VOICE) or teletypewriter (TTY) 924-3361 – TTY users may also access the Voice number via the New Mexico Relay Network by calling toll-free 1-800-659-8331.

  
Sheran Matson, Chair  
Development Review Board

**TO BE PUBLISHED IN THE ALBUQUERQUE JOURNAL MONDAY, JANUARY 20, 2003.**

# 830

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT - DEVELOPMENT SERVICES DIVISION  
PROPERTY OWNERSHIP LIST

Meeting Date: Feb. 5, 2003

Zone Atlas Page: K-9-Z

Notification Radius: 100 Ft.

Cross Reference and Location: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

Applicant: Fred N. Seeley ✓

Address: 3511 Carlisle Blvd NE, 87110

Agent: Advanced Engineering & Consulting, LLC ✓

Address: 10205 Snowflake Ct. NW, 87114

SPECIAL INSTRUCTIONS

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Notices Must be mailed from the  
City 15 days prior to the meeting.

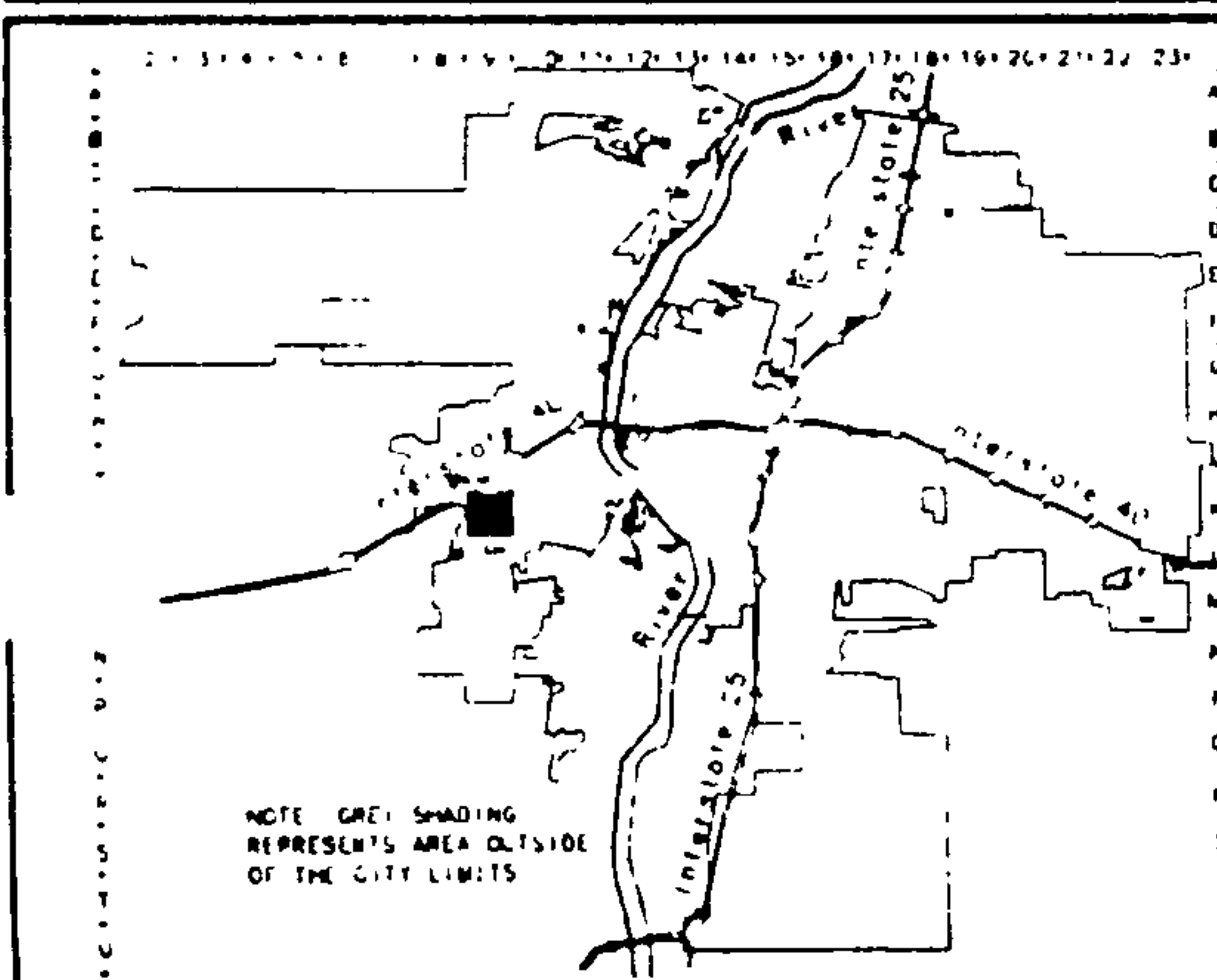
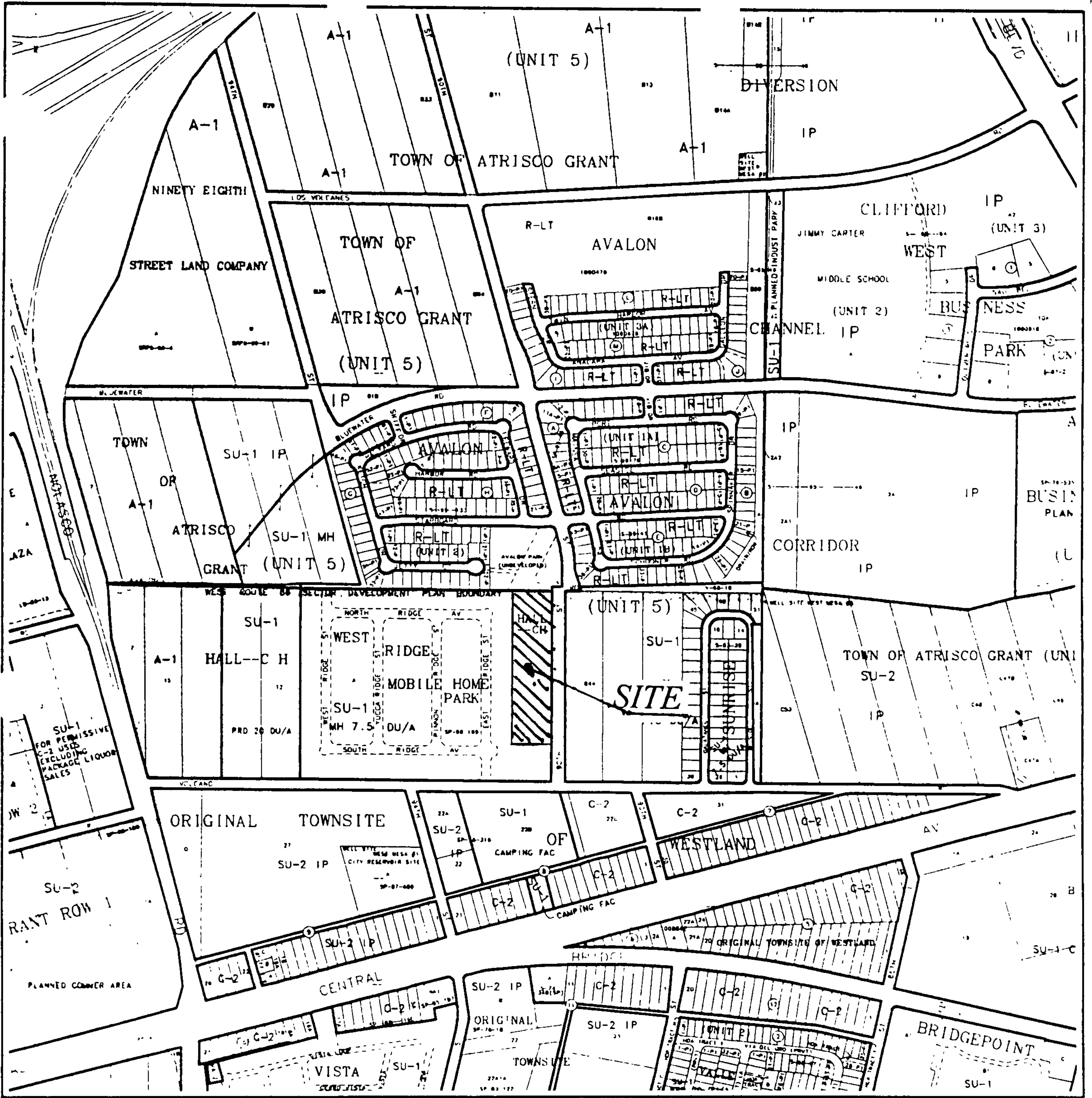
Date Mailed: 1-17-03

Signature: K Tsethlikai

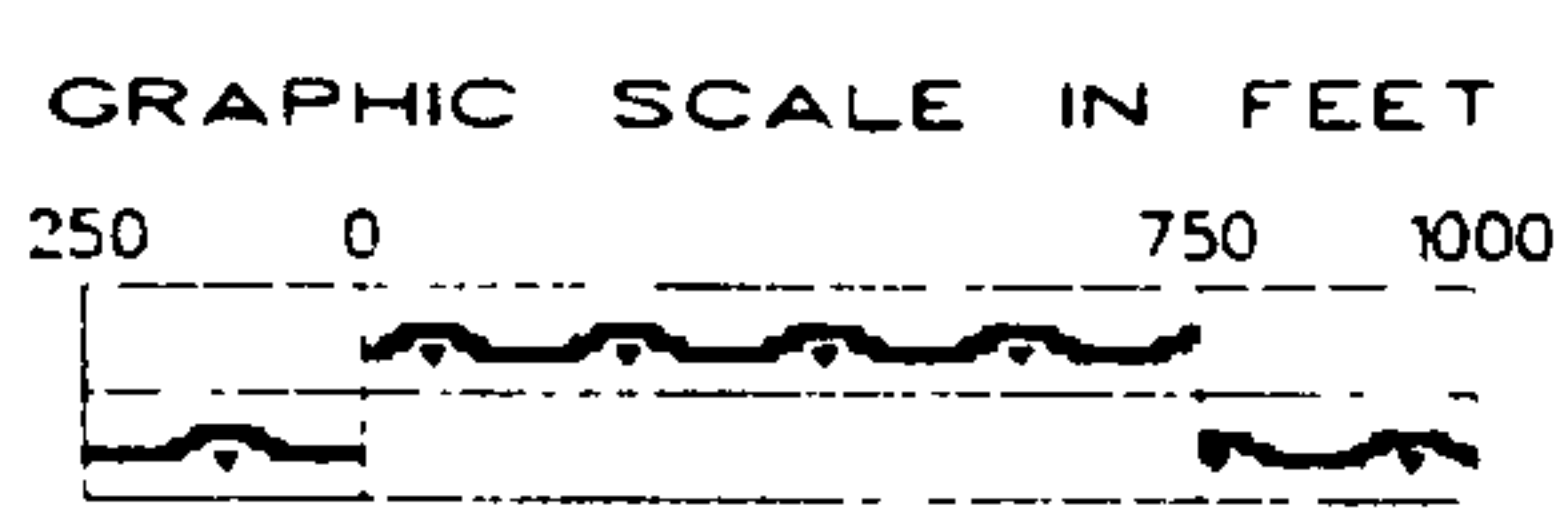
App# <u>13 DRB-0044</u>
Proj# <u>1007025</u>
Other# <u>13 DRB-0045</u>

100905725125520252	LEGAL: PARK SITE PLAT OF AVALON SUBDIVISION UNIT 2 CONT 3 LAND USE: PROPERTY ADDR: 00000 OWNER NAME: CITY OF ALBUQUERQUE OWNER ADDR: 00000	ALBUQUERQUE	NM 87103
100905729622210942	LEGAL: LOT 39-P 1 BLOCK B PLAT OF AVALON SUBDIVISION UNIT LAND USE: PROPERTY ADDR: 00000 9130 SCHOONER RD NW OWNER NAME: CHAVEZ JANELL A & EUGENE R OWNER ADDR: 09130 SCHOONER	RD NW ALBUQUERQUE	NM 87121
100905730121610941	LEGAL: LOT 38-P 1 BLOCK B PLAT OF AVALON SUBDIVISION UNIT LAND USE: PROPERTY ADDR: 00000 9126 SCHOONER RD NW OWNER NAME: TORRES DELBERT & LORRAINE OWNER ADDR: 09126 SCHOONER	RD NW ALBUQUERQUE	NM 87121
100905734120510924	LEGAL: PUBLIC DRAINAGE & PEDESTRIAN R.O.W. PLAT OF AVALON LAND USE: PROPERTY ADDR: 00000 OWNER NAME: CITY OF ALBUQUERQUE OWNER ADDR: 00000	ALBUQUERQUE	NM 87103
100905719318030801	LEGAL: TRACT A CORRECTED PLAT OF TRACT A WEST RIDGE MOBIL LAND USE: PROPERTY ADDR: 00000 9301 VOLCANO RD NW OWNER NAME: WEST RIDGE LIMITED PARTNERSHIP OWNER ADDR: 03511 CARLISLE	BL NE ALBUQUERQUE	NM 87107
100905724822130809	LEGAL: N 20 7.40 FT OF TR 6 C H HALL SURVEY NO 7139 CONT 1.0 LAND USE: PROPERTY ADDR: 00000 N/A OWNER NAME: ORTIZ DELIA A & ALFONSO OWNER ADDR: 00000	MORIARTY	NM 87035
100905727918130810	LEGAL: TR 5 OF C H HALL SURVEY NO 7139 CONT 5.00 LAND USE: PROPERTY ADDR: 00000 N/A OWNER NAME: ZUNI DEVELOPMENT LLC OWNER ADDR: 04705 CUMBERLAND	RD NW ALBUQUERQUE	NM 87120
100905725320130808	LEGAL: S207 .40 FT OF N 414.80 FT OF TRACT 6 C H HALL SURVEY LAND USE: PROPERTY ADDR: 00000 N/A OWNER NAME: ORTIZ ALFONSO A & DELIA OWNER ADDR: 00000	MORIARTY	NM 87035
100905725818030807	LEGAL: S207 .40 FT OF N 622.20 FT TRACT 6 C H HALL SURVEY LAND USE: PROPERTY ADDR: 00000 N/A OWNER NAME: POHL DENNIS ETUX OWNER ADDR: 03046 BRIDGE	BL SW ALBUQUERQUE	NM 87105
100905725216030806	LEGAL: THE N 20 7.40 FT OF THE S 414.80 FT OF TR 6 OF PLAT LAND USE: PROPERTY ADDR: 00000 215 NINETIETH ST SW OWNER NAME: SEDILLO DINA A OWNER ADDR: 09611 WESTERFELD	NE ALBUQUERQUE	NM 87111





CITY OF  
Albuquerque  
A Geographic Information System  
PLANNING DEPARTMENT  
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Zone Atlas Page  
**K-9-Z**  
Map Amended through March 21, 2001

**FORM V: SUBDIVISION VARIANCES & VACATIONS**

**BULK LAND VARIANCE FROM SUBDIVISION DESIGN STANDARDS**

- Application for subdivision (Plat) on FORM S, including those submittal requirements Variance and subdivision should be applied for simultaneously
  - Letter briefly describing and explaining the request, compliance with criteria in the Development Process Manual, and any improvements to be waived
  - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule) Fee is for Variance Plat fee is listed on FORM-S
  - Any original and/or related file numbers are listed on the cover application
- DRB Public hearings are approximately ONE MONTH after the filing deadline **Your attendance is required.**

**VACATION OF PUBLIC RIGHT-OF-WAY**

**VACATION OF PUBLIC EASEMENT**

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) 24 copies (Not required for dedicated and City owned public right-of-way )
- Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc (folded to fit into an 8.5" by 14" pocket) 24 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB Public hearings are approximately ONE MONTH after the filing deadline **Your attendance is required.**

**VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL**

**SIDEWALK DESIGN VARIANCE**

**SIDEWALK WAIVER**

- Scale drawing showing the proposed variance or waiver (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings These actions are not approved through internal routing
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the variance or waiver
  - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline **Your attendance is required.**

**TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**

**EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**

- Drawing showing the sidewalks subject to the proposed deferral or extension (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. These actions are not approved through internal routing.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the deferral or extension
  - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**VACATION OF PRIVATE EASEMENT**

- The complete document which created the private easement (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings These actions are not approved through internal routing
- Scale drawing showing the easement to be vacated, its relation to existing streets, etc (folded to fit into an 8.5" by 14" pocket) 6 copies
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the vacation
- Letter of authorization from the grantors and the beneficiaries
- Fee (see schedule)
- Any original and/or related file numbers are listed on the cover application

Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

SHAHRAM BIAZAK  
Applicant name (print)  
[Signature]  
Applicant signature / date  
1-9-03



Form revised September 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
03DRB- - 00044  
03DRB- - 00045

[Signature] 1/10/03  
Planner signature / date  
Project # 1002025



**ORIGINAL**

*Claire*

*Proj # 1-00-2025*

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

*App # 03-00044  
03-00045*

**LOTS 1-29, WEST PLATEAU MOBILE HOME SUBDIVISION**

*Preliminary Plat approved 2/5/03  
Preliminary Plat expires 2/5/04  
Site Plan approved 2/5/03*

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**NORHT PORTION OF TRACT 6, LANDS OD C.H. HALL**

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portion of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<b>PAVING</b>									
		26' F-F	Residential Pavement C&G ON BOTH SIDES 4' SD/WK ON BOTH SIDES	West Bluff St., NW	South PL	North PL	/	/	/
		Deferred Item							
		26' F-F	Residential Pavement C&G ON BOTH SIDES 4' SD/WK ON BOTH SIDES	West Cliff Rd., NW	West Bluff St., NW	90th Street, NW	/	/	/
		26' F-F	Residential Pavement C&G ON BOTH SIDES 4' SD/WK ON BOTH SIDES	West Plateau Rd., NW	West Bluff St., NW	90th Street, NW	/	/	/
		24' F-CL	Arterial Pavement C&G ON WEST SIDE ONLY 6' SD/WK ON WEST SIDE ONLY	90th Street, NW	South PL, Exist Pav.	North PL, Exist Pav.	/	/	/
<b>WATERLINE</b>									
		4" / 6"	Waterline PVC C-900	West Bluff St., NW	Lot 1, South PL	Lot 18, North PL	/	/	/
		6"	Waterline PVC C-900	West Cliff Rd., NW	West Bluff St., NW	90th Street, NW	/	/	/
		6"	Waterline PVC C-900	West Plateau Rd., NW	West Bluff St., NW	90th Street, NW	/	/	/
		6"	Waterline PVC C-900	90th St.	WEST PLATEAU RD	12" W at PED. TRAIL	/	/	/
<b>SANITARY SEWERLINE</b>									
		8"	Sanitary Sewerline SDR-35	West Bluff St., NW	Lot 1, South PL	Lot 18, North PL	/	/	/
		8"	Sanitary Sewerline SDR-35	West Cliff Rd., NW	West Bluff St., NW	90th Street, NW	/	/	/

**ORIGINAL**

PROJECT # 1002025

SIA	COA DRC	Size	Type of Improvement	Location	From	To	Private	City	City Cnst
Sequence #	Project #	<b>CONTINUE SANITARY SEWERLINE</b>							
<input type="text"/>	<input type="text"/>	8"	Sanitary Sewerline SDR-35	90th Street, NW	West Cliff Rd., NW	South PL, Exist SAS	/	/	/
		<b>STORM SEWER</b>							
<input type="text"/>	<input type="text"/>	12"	Storm Sewer Pipe RCP	West Cliff Rd., NW	West Bluff St., NW	90th Street, NW	/	/	/

**NOTES**

- 1 Water Infrastructure to Include Services, Vales, Fittings, Valve Boxes, and Fire Hydrants as Required
- 2 Catch Basin and Manholes Connection Included with Storm Sewer Pipe
- 3 Sanitary Sewer to Include Manholes and Service Connections as required
- 4 Residential Street Lights Per DPM
- 5 Certified Grading and Drainage and wall for SIA/Financial Release
- 6 Sidewalks which front the lots will be deferred and built during the construction of the individual houses
- 7
- 8
- 9

**AGENT/OWNER**

Shawn Biazar

NAME (print)

Advanced Engineering and Consulting, LLC

FIRM

*Shawn Biazar* 01/9/2003  
SIGNATURE - date

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB

EXTENSION: 2-05-05

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

*Sherrin Watson* 2/5/03 *Christina Sandoval* 2/5/03  
DRB CHAIR - date PARKS & GENERAL SERVICES - date  
*Recreation*

*[Signature]* 2-05-03  
TRANSPORTATION DEVELOPMENT - date

N/A  
AMAFCA - date

*Roger A. Green* 2/5/03  
UTILITY DEVELOPMENT - date

- date

*Brad J. Bigham* 2/5/03  
CITY ENGINEER - date

- date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER
<i>A</i>	4/14/03	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>
<i>B</i>	5/11/04	<i>[Signature]</i>	<i>[Signature]</i>	<i>[Signature]</i>





**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

Supplemental form

**S**

**V**

**P**

**L**

Supplemental form

**ZONING**

- Annexation & Zone Establishment
- Sector Plan
- Zone Change
- Text Amendment

**Z**

**SITE DEVELOPMENT PLAN**

- ... for Subdivision Purposes
- ... for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

**APPEAL / PROTEST of...**

**A**

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: Fred N. Seeley PHONE: 888-9777  
 ADDRESS: 3511 Carlisle, NE FAX: 888-1415  
 CITY: Albuquerque STATE NM ZIP 87110 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: Owner  
 AGENT (if any): Advanced Engineering and Consulting, LLC PHONE: 899-5570  
 ADDRESS: 10205 Snowflake Ct. NW FAX: 897-4996  
 CITY: Albuquerque STATE NM ZIP 87114 E-MAIL: AECLLC@AOL.COM

**DESCRIPTION OF REQUEST:** Final Plat Approval for Major Subdivision

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. North Portion of Tract 6 Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv. / Addn. Lands of C.H. Hall KKA WEST PLATEAU MOBILE HM, S/D  
 Current Zoning: SU-1 For MH Proposed zoning: Same  
 Zone Atlas page(s): K-9-Z No. of existing lots: 1 No. of proposed lots: 29 MH Lots  
 Total area of site (acres): 4.00 Density if applicable: dwellings per gross acre: 7.25 dwellings per net acre: \_\_\_\_\_  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? No  
 UPC No. 100905725320130808 MRGCD Map No. \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: 90<sup>th</sup> Street, NW  
 Between: Volcano Road, NW and Bluewate Road, NW

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_, Z\_, V\_, S\_, etc.): 1002025, 03DRB-00044, 03DRB-00045

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 06-26-02

**SIGNATURE**

Shahram (Shawn) Biazar DATE 07-21-03  
 (Print) Shahram (Shawn) Biazar  Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised September 2001

**INTERNAL ROUTING**

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

03DRB - 01217  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Action

FPA  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

S.F.

5(3)  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Fees

\$ 0  
 \$ \_\_\_\_\_  
 \$ \_\_\_\_\_  
 \$ \_\_\_\_\_  
 \$ \_\_\_\_\_

Hearing date

JULY 30<sup>th</sup> '03

Total

\$ 0

Robert 7/21/03  
 Planner signature / date

Project #

1002025

**FORM S(3): SUBDIVISION - D.R.B. MEETING (UNADVERTISED) OR INTERNAL ROUTING**

**SKETCH PLAT REVIEW AND COMMENT**

- Scale drawing of the proposed subdivision plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings. Sketches are not reviewed through internal routing.
  - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**MAJOR SUBDIVISION EXTENSION OF PRELIMINARY PLAT**

- Preliminary Plat reduced to 8.5" x 11"
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Copy of previous D.R.B. approved infrastructure list
  - Copy of the Official D.R.B. Notice of approval
  - Any original and/or related file numbers are listed on the cover application
- Extensions are not reviewed through internal routing.**  
 Extension of preliminary plat approval expires after one year.  
 DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**MAJOR SUBDIVISION FINAL PLAT APPROVAL**

- Proposed Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
  - Property owner's and City Surveyor's signatures on the Mylar drawing
  - SIA financial guaranty verification
  - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
  - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**MINOR SUBDIVISION PRELIMINARY / FINAL PLAT APPROVAL**

- Proposed Preliminary / Final Plat (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
  - Site sketch with measurements showing structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etcetera, if there is any existing land use (folded to fit into an 8.5" by 14" pocket) 6 copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Original Mylar drawing of the proposed plat for internal routing only. Otherwise, bring Mylar to meeting.
  - Property owner's and City Surveyor's signatures on the Mylar drawing
  - Landfill disclosure and EHD signature line on the Mylar drawing if property is within a landfill buffer
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**AMENDMENT TO PRELIMINARY PLAT (with minor changes)**

**AMENDMENT TO INFRASTRUCTURE LIST (with minor changes)**

**AMENDMENT TO GRADING PLAN (with minor changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Original Preliminary Plat, Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) 6 copies for unadvertised meetings, 4 copies for internal routing.
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Original Mylar drawing of the proposed amended plat for internal routing only. Otherwise, bring Mylar to meeting.
- Property owner's and City Surveyor's signatures on the Mylar drawing, if the plat is being amended
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.  
 DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

SHAHRAM (SHAYN) BIAZAR  
 Applicant name (print)  
[Signature]  
 Applicant signature / date



Form revised September 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
03DRB-0217

[Signature] 7/21/03  
 Planner signature / date  
**Project #** 1002025





**FIGURE 12**

**SUBDIVISION IMPROVEMENTS  
AGREEMENT-PUBLIC AND/OR PRIVATE  
(Procedure B)**

AGREEMENT TO CONSTRUCT  
PUBLIC AND/OR PRIVATE SUBDIVISION IMPROVEMENTS

THIS AGREEMENT is made this 17<sup>th</sup> day of May, 2003, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P. O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103, and West Bluff, LLC ("Subdivider"), a [state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.:] A New Mexico Corporation, whose address is 3511 Carlisle, NE, Albuquerque, NM 87110 and whose telephone number is 888-9777, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

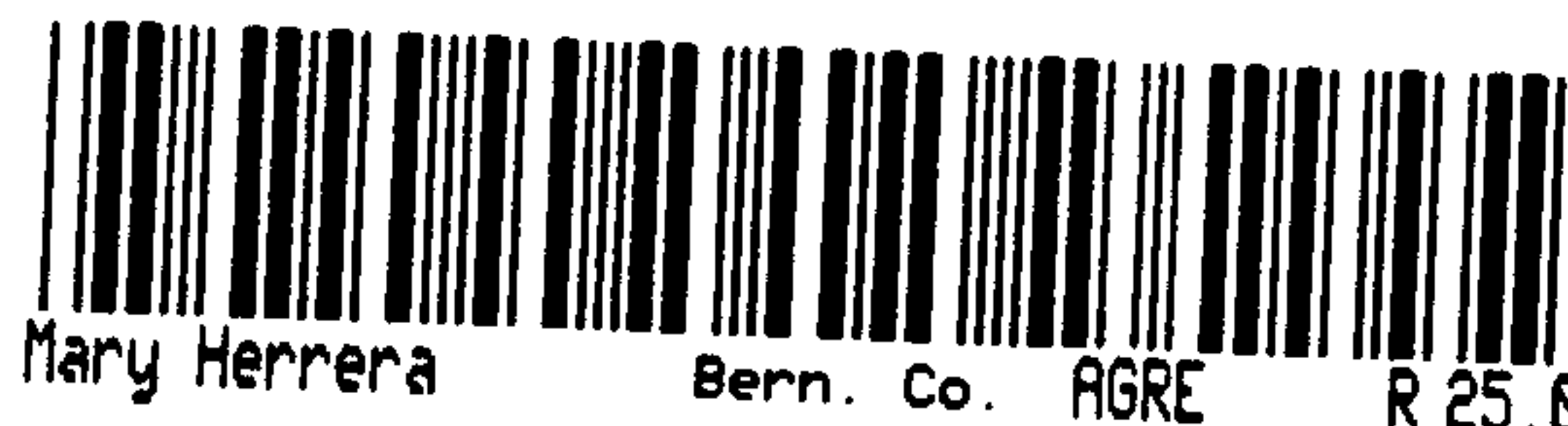
1. Recital. The Subdivider is developing certain lands within the City of Albuquerque, Bernalillo County, New Mexico, known as [existing legal description:] North Portion of Tract 6, Lands of C.H. Hall, recorded on December 30, 19 46 in the records of the Bernalillo County Clerk at Volume B1, Folio 120 (the "Subdivision"). The Subdivider certifies that the Subdivision is owned by [state the name of the present real property owner exactly as shown on the real estate document conveying title in the Subdivision to the present owner:] West Bluff, LLC ("Owner").

The Subdivider has submitted and the City has approved a preliminary plat or Site Development Plan identified as West Plateau Mobile Home Subdivision describing Subdivider's Property.

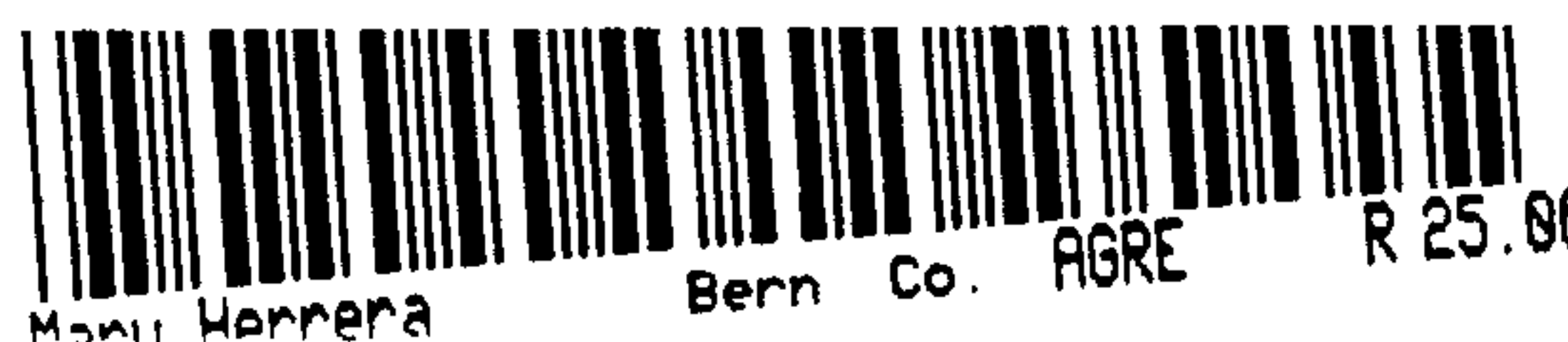
As a result of the development of the Subdivision, the Subdivision Ordinance ("S.O.") and/or the Zoning Code, Section 14-16-3-11, require the Subdivider, at no cost to the City, to install certain public and/or private Improvements, which are reasonably related to the development of the Subdivision, or to financially guarantee the construction of the public and/or private improvements as a prerequisite to approval of the final plat of, or the Site Development Plan for the Subdivision.

2. Improvements and Construction Deadline. The Subdivider agrees to install and complete the public and/or private improvements described Exhibit A, the required infrastructure listing ("Improvements"), to the satisfaction of the City, on or before the 23rd day of April, 20 04 ("Construction Completion Deadline"), at no cost to the City. The Improvements are shown in greater detail on the Subdivider's proposed and approved plans, which have been filed with the City Engineer and are identified as Project No. 707881.

Note: To compute the Construction Completion Deadline: If a final plat will be filed after Subdivider meets the requirements of this Agreement, the Construction Completion Deadline can be no later than two years after execution of this Agreement. (See Subdivision Ordinance Section 14-14-3.) If a final plat will not be filed pursuant to this Agreement, the Construction Completion Deadline can be no later than one year after approval of the preliminary plat by the Development Review Board ("DRB"), unless



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reports and related data to the City which the City requires for review. The City retains the right to perform its own general overall inspection of the construction project at any time prior to final acceptance of the Improvements, if deemed necessary or advisable by the City Engineer. The Subdivider shall pay the City a reasonable fee for the level of inspection performed by the City.

C. Field Testing. Field testing of the construction of the public Improvements shall be performed by Vinyard & Associates, Inc., and field testing of the private Improvements shall be performed by Vinyard & Associates, Inc., both certified testing laboratories under the supervision of a New Mexico Registered Professional Engineer, in accordance with the current City of Albuquerque Standard Specifications for Public Works Construction. If any field testing is performed by an entity other than the City, the City may monitor the field testing and the Subdivider shall ensure that the field testing entity provides all field testing results, reports and related data to the City which the City requires for review. The Subdivider shall pay the City a reasonable fee for any field testing performed by the City.

D. Additional Testing. The City retains the right to perform all additional testing which the City Engineer deems is necessary or advisable, and the Subdivider shall pay the City a reasonable fee therefor.

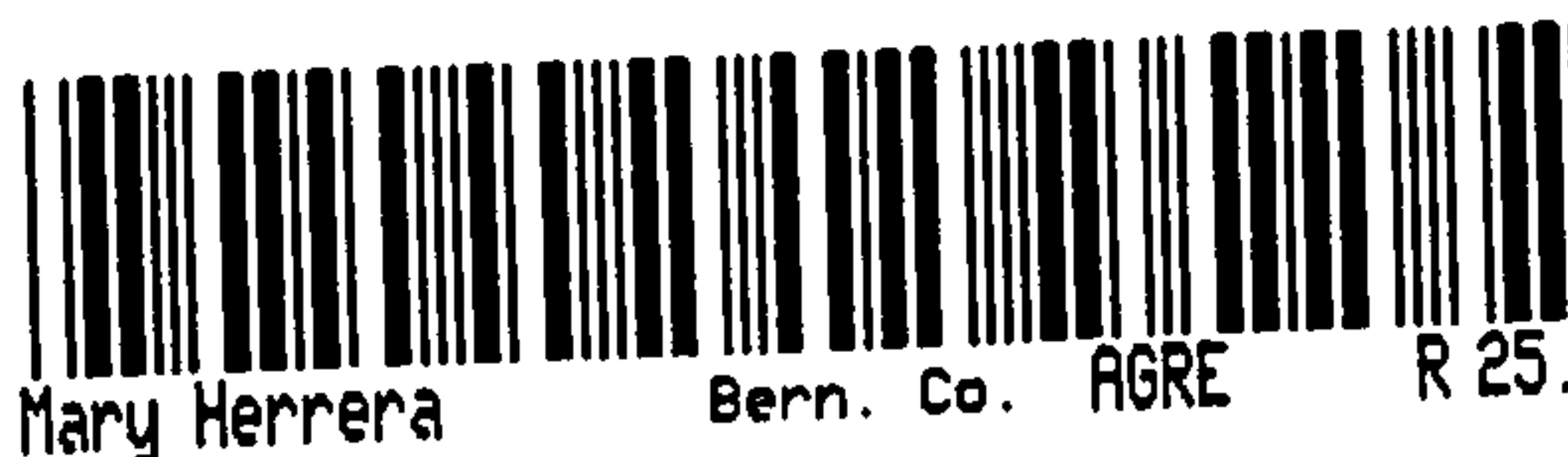
5. Financial Guaranty. If final plat approval is not requested prior to construction of the Subdivision, a financial guaranty is not required. If final plat approval is requested, the Subdivider must provide the City with a financial guaranty in an amount of not less than 125% of the estimated cost of constructing the Improvements, as approved by the City Engineer. The financial guaranty must be irrevocable and may be in the form of a letter of credit, escrow deposit or loan reserve letter issued by a Federally Insured Financial Institution; a bond issued by a surety qualified to do business in New Mexico; or other pledge of liquid assets which meets all City requirements. The City must be able to call the financial guaranty at any time within the sixty (60) days immediately following the Construction Completion Deadline.

To meet the Subdivision Ordinance requirements, the Subdivider has acquired or is able to acquire the following "Financial Guarantee:"

Type of Financial Guaranty: Loan Reserve Letter  
Amount: \$ 321,453.55 Name of Financial Institution or Surety  
providing Guaranty: Sunrise Bank of Albuquerque  
Date City first able to call Guaranty: April 23, 2004.  
[Construction Completion Deadline]: April 23, 2004  
If Guaranty other than a Bond, last day City able to call Guaranty is:  
June 23, 2004  
Additional information: \_\_\_\_\_

6. Notice of Start of Construction. Before construction begins, the Subdivider shall deliver an acceptable Notice to Proceed to the City and shall arrange or a preconstruction conference and all required inspections.

7. Completion, Acceptance and Termination. When the City receives Subdivider's final acceptance package, the City shall review it for completeness and accuracy. (See DPM Volume 1, Chapter 5, Work Order Process, Step 9.) If the package is acceptable, the City shall approve the package and issue a Certificate of Completion and Acceptance for the public Improvements and a Certificate of Completion for the private Improvements. Thereafter, the Subdivider's obligations to the City pursuant to this Agreement shall terminate, with the exception of the bond or other guarantee which the Subdivider has provided to assure the materials and workmanship, as required by the Subdivision Ordinance. After the City approves the final acceptance package, the City will promptly release this Agreement and the Financial Guaranty.



8. Conveyance of Property Rights. When the Improvements are completed, if the City does not own the real property upon or in which the public Improvements are constructed, the Subdivider will convey to the City all real and personal property rights which the City deems reasonably necessary, and all public Improvements, free and clear of all claims, encumbrances and liens before the City will accept the public Improvements. Conveyance may be made by appropriate dedication on the final plat of the Subdivision.

9. Reduction of Financial Guaranty Upon Partial Completion. The Subdivider shall be entitled to a reduction of the Financial Guaranty as a result of completing construction of part of the Improvements if the following conditions are met:

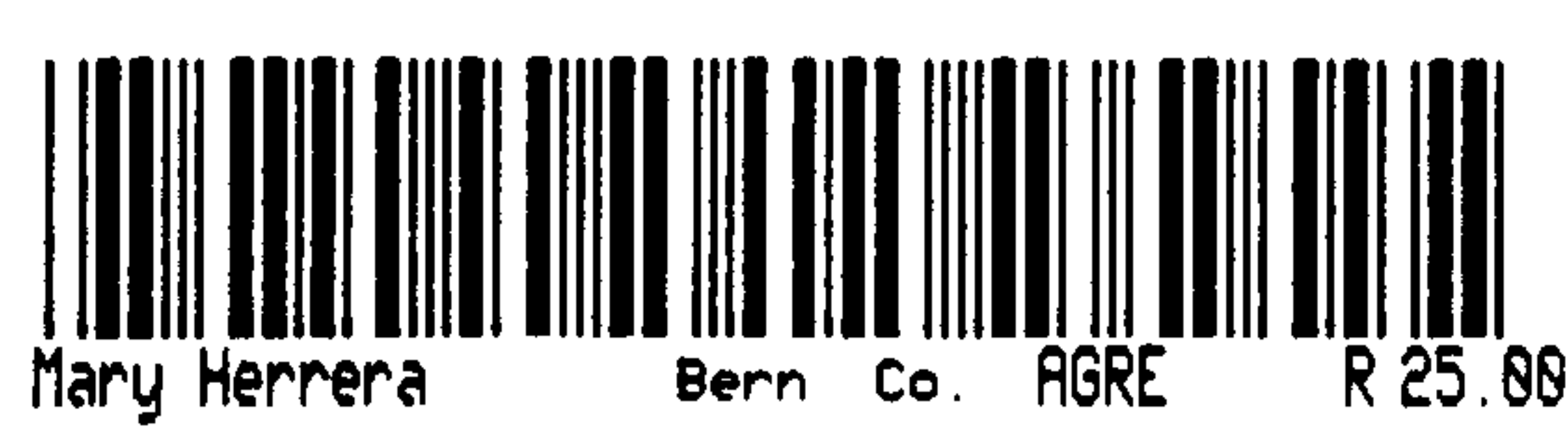
A. Loan Reserve Financial Guaranty. If a loan reserve letter was provided as the Financial Guaranty, the Subdivider must follow the procedures and meet the requirements detailed in the Development Process Manual, Volume 1, Chapter 5.

B. Non-Loan Reserve Financial Guaranty. If a Financial Guarantee other than a loan reserve letter has been provided, the completed Improvements must be free-standing, functionally independent of any Improvements which have not yet been completed and completed in substantial compliance with the approved construction plans, as determined by City on-site inspection in order to qualify for a Financial Guaranty reduction. If the Improvements which have been completed meet all City requirements, the City Engineer will estimate the cost of completing the remaining Improvements. Thereafter, the subdivider must submit the following documents to the City for review and approval: - - -

- (1) A revised Financial Guaranty in an amount of not less than 125% of the cost of completing the remaining Improvements, as estimated by the City;
- (2) A-bond or other instrument acceptable to the City, which guarantees the completed Improvements against defective materials and workmanship for the period required by the Subdivision Ordinance.
- (3) Conveyance of real and personal property rights which meet the requirements of section 8 of this Agreement.

After the City receives and approves the required documents, the City shall issue a Partial Certificate of Completion and Acceptance for the completed public Improvements and a Certificate of Partial Completion for the completed private Improvements.

10. Indemnification. Until the Improvements are accepted by the City, the Developer shall be solely responsible for maintaining the premises upon which the Improvements are being constructed in a safe condition. The Developer agrees to defend, indemnify and hold harmless the City and its officials, agents and employees from any claims, actions, suits or other proceedings arising from or out of the negligent acts or omissions of the Developer, its agents, representatives, contractors or subcontractors or arising from the failure of the Developer, its agents, representatives, contractors or subcontractors to perform any act or duty required of the Developer herein; provided, however, to the extent, if at all, Section 56-7-1 NMSA 1978 is applicable to this Agreement, this Agreement to indemnify will not extend to liability, claims, damages, losses or expenses, including attorney fees, arising out of (1) the preparation or approval of maps, drawings, opinions, reports, surveys, change orders, designs or specifications by the indemnitee, or the agents or employees of the indemnitee; or (2) the giving of or the failure to give directions or instructions by the indemnitee, where such giving or failure to give directions or instructions is the primary cause of bodily injury to persons or damage to property. The indemnification required hereunder shall not be limited as a result of the specifications of any applicable insurance coverage. Nothing herein is intended to impair any right or immunity under the laws of the State of New Mexico.





11. Assignment. This Agreement shall not be assigned without the prior written consent of the City and the Subdivider and the express written concurrence of any financial institution or surety which has undertaken to guarantee the completion of the Improvements. The City's approval will not be withheld unreasonably. If so assigned, this Agreement shall extend to and be binding upon the successors and assigns of the parties hereto.

12. Release. If the Subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Subdivider from its obligations under this Agreement and will continue to hold the Subdivider responsible for all Improvements until a successor in interest to the Subdivider has entered into a Subdivision Improvements Agreement with the City. Thereafter, if the Subdivider's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

13. Payment for Incomplete Improvements. If the Subdivider fails to satisfactorily complete construction of the Improvements by the Construction Completion Deadline, the City may construct or cause the Improvements to be constructed as shown on the final plat and in the approved plans and specifications. The Subdivider shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Subdivider's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the City's Claim of Lien or any Financial Guaranty, the Subdivider shall be liable to, and shall pay, the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to any Financial Guaranty.

14. Binding on Subdivider's Property. The provisions of this Agreement constitute covenants running with Subdivider's Property for the benefit of the City and its successors and assigns until terminated, and are binding on the Subdivider and the Owner and their heirs, successors and assigns.

15. Notice. For purposes of giving formal written notice, including notice of change of address, the Subdivider's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

16. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

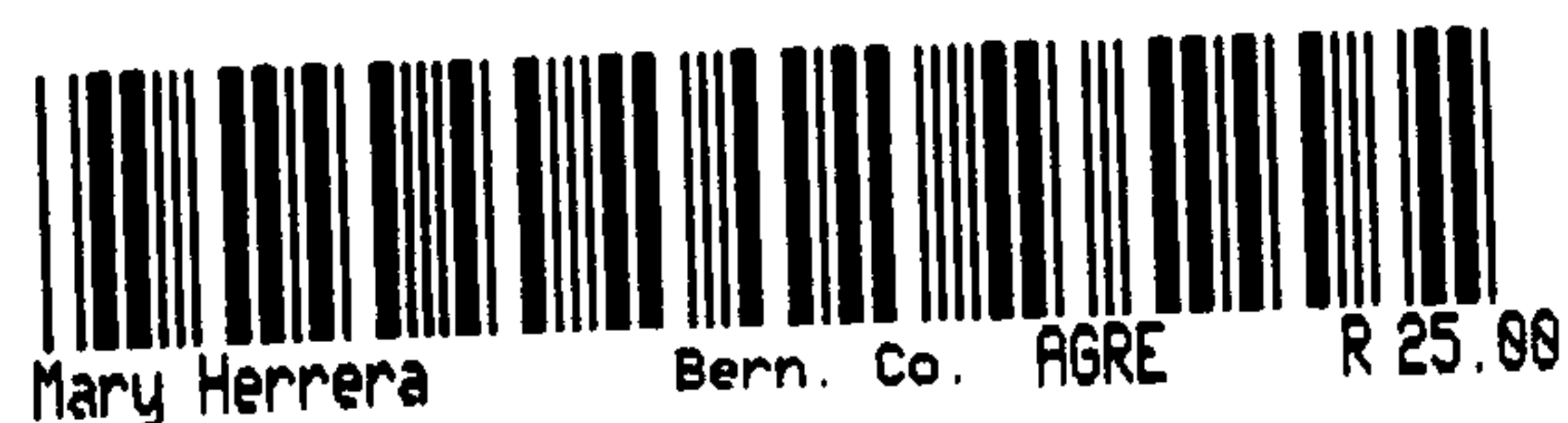
17. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

18. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

19. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

20. Form not Changed. Subdivider agrees that changes to this form are not binding unless initialed by the subdivider and signed by the City's Legal Department on this form.

21. Authority to Execute. If the Subdivider signing below is not the Owner of the Subdivision, the Owner must execute the Power of Attorney below.







**ORIGINAL**

TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

LOTS 1-29, WEST PLATEAU MOBILE HOME SUNDIVIDION

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

NORHT PORTION OF TRACT 6, LANDS OD C.H. HALL

TR05# 100000  
App# 03.00044  
03-00045  
Preliminary Plat approved 2/5/03  
Preliminary Plat expires 2/5/04  
Site Plan approved 2/5/03

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portion of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA	COA DRC	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
Sequence #	Project #								
B-1	707881								
<b>PAVING</b>									
		26' F-F	Residential Pavement 815 C&G ON BOTH SIDES 1485 4' SD/WK ON BOTH SIDES 1485	West Bluff St., NW	South PL	North PL	/	/	/
		26' F-F	Residential Pavement 120 C&G ON BOTH SIDES 170 4' SD/WK ON BOTH SIDES 170	West Cliff Rd., NW	West Bluff St., NW	90th Street, NW	/	/	/
		26' F-F	Residential Pavement 125 C&G ON BOTH SIDES 180 4' SD/WK ON BOTH SIDES 180	West Plateau Rd., NW	West Bluff St., NW	90th Street, NW	/	/	/
		24' F-CL	Arterial Pavement 830 C&G ON WEST SIDE ONLY 700 6' SD/WK ON WEST SIDE ONLY 700	90th Street, NW	South PL, Exist Pav.	North PL, Exist Pav.	/	/	/
<b>WATERLINE</b>									
		6"	4" 220 6" 540 Waterline PVC C-900 760	West Bluff St., NW	Lot 1, South PL	Lot 18, North PL	/	/	/
		6"	Waterline PVC C-900 160	West Cliff Rd., NW	West Bluff St., NW	90th Street, NW	/	/	/
		6"	Waterline PVC C-900 170	West Plateau Rd., NW	West Bluff St., NW	90th Street, NW	/	/	/
<b>SANITARY SEWERLINE</b>									
		8"	Sanitary Sewerline SDR-35 770	West Bluff St., NW	Lot 1, South PL	Lot 18, North PL	/	/	/
		8"	Sanitary Sewerline SDR-35 155	West Cliff Rd., NW	West Bluff St., NW	90th Street, NW	/	/	/



SIA	COA DRC	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
Sequence #	Project #	<b>CONTINUE SANITARY SEWERLINE</b>							
B-1	707881	8" 145	Sanitary Sewerline SDR-35	90th Street, NW	West Cliff Rd., NW	South PL, Exist SAS	/	/	/
		<b>STORM SEWER</b>							
		12" 235	Storm Sewer Pipe RCP	West Cliff Rd., NW	West Bluff St., NW	90th Street, NW	/	/	/

**NOTES**

- 1 Water Infrastructure to Include Services, Vales, Fittings, Valve Boxes, and Fire Hydrants as Required
- 2 Catch Basin and Manholes Connection Included with Storm Sewer Pipe
- 3 Sanitary Sewer to Include Manholes and Service Connections as required
- 4 Residential Street Lights Per DPM
- 5 Certified Grading and Drainage and wall for SIA/Financial Release
- 6 Sidewalks which front the lots will be deferred and built during the construction of the individual houses
- 7
- 8
- 9

**AGENT/OWNER**

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

Shawn Biazar  
 NAME (print)

Advanced Engineering and Consulting, LLC  
 FIRM

*Shawn Biazar* 01/9/2003  
 SIGNATURE - date

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: 2-05-05

*Sherrin Matson* 2/5/03  
 DRB CHAIR - date

*[Signature]* 2-05-03  
 TRANSPORTATION DEVELOPMENT - date

*Roger A. Green* 2/5/03  
 UTILITY DEVELOPMENT - date

*Brad J. Bigham* 2/5/03  
 CITY ENGINEER - date

*Christina Sandoval* 2/5/03  
 PARKS & GENERAL SERVICES - date  
 Recreation

N/A  
 AMAFCA - date

- date

- date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER



# FINANCIAL GUARANTY AMOUNT

04/22/2003

Type of Estimate: SIA Procedure - B - w/F.G.

Project Description:

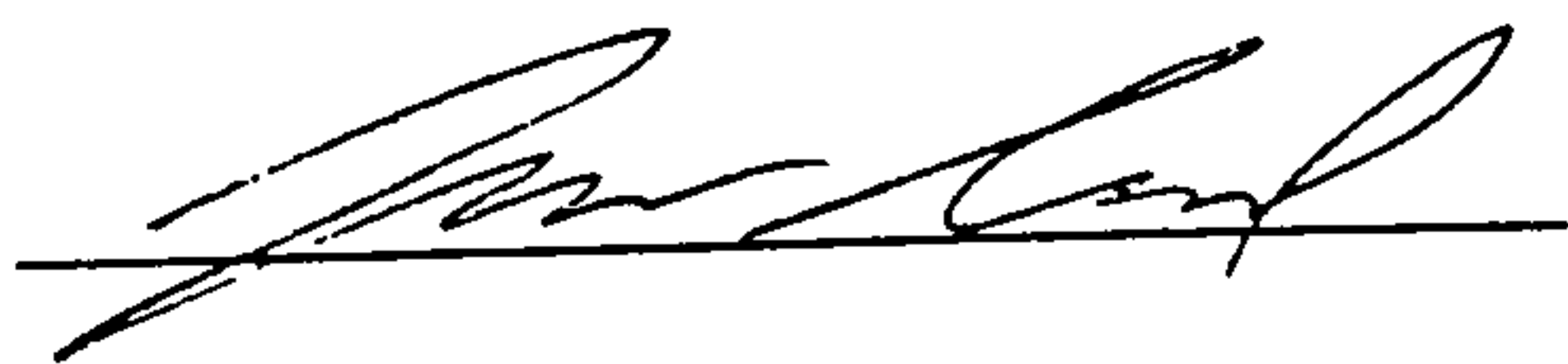
Project ID #: 707881, West Plateau Mobile Home Subdivision, Phase/Unit

Requested By: Shahram Biazar w/ Advanced Engineering & Consulting, LL

Approved estimate amount:		\$223,790.38
Contingency Amount:	0.00%	\$ .00
Subtotal:		\$223,790.38
NMGRT	5.8125%	\$13,007.82
Subtotal:		\$236,798.20
Engineering Fee	6.60%	\$15,628.68
Testing Fee	2.00%	\$4,735.96
Subtotal:		\$257,162.84
FINANCIAL GUARANTY RATE		1.25
Retainage Amount:		\$ .00
TOTAL FINANCIAL GUARANTY REQUIRED		<u>\$321,453.55</u>

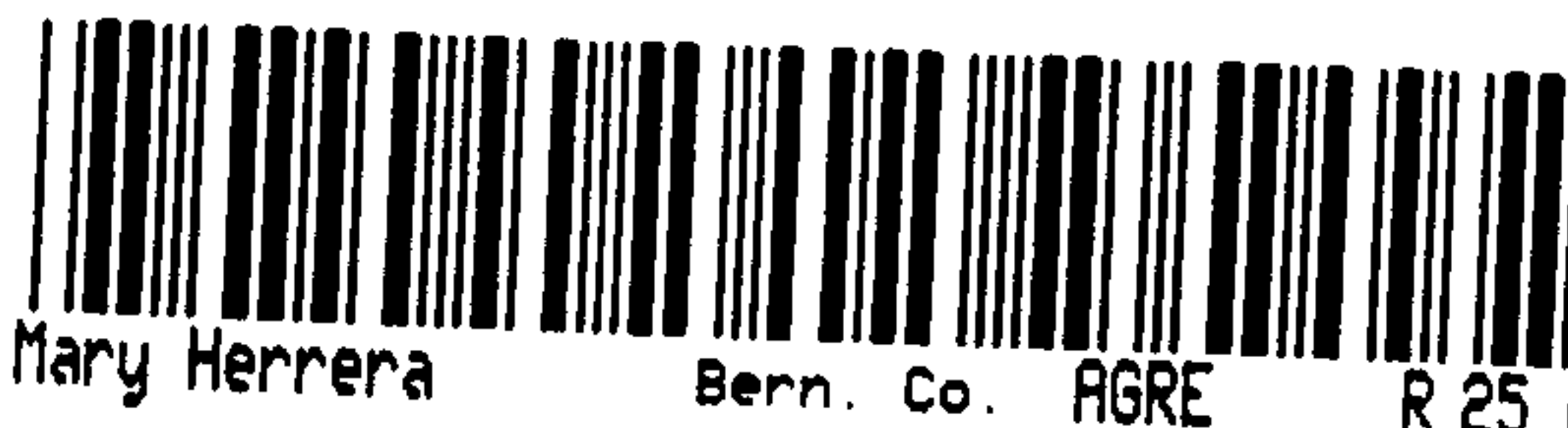
APPROVAL:

DATE:



4-22-2003

Notes: Certification for grading & drainage prior to release of financial guaranty.



Mary Herrera

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SUNRISE BANK OF ALBUQUERQUE

April 23, 2003

Jay J. Czar  
Chief Administrative Officer  
City of Albuquerque  
P.O. Box 1293-  
Albuquerque, NM 87103

RE: Loan Reserve for: WEST BLUFF, LLC  
City of Albuquerque Project No.: 707881  
Project Name: INFRASTRUCTURE FOR WEST PLATEAU MOBILE HOME  
SUBDIVISION

Dear Mr. Czar

This letter is to advise the City of Albuquerque ("City") that, at the request of WEST BLUFF LLC, Sunrise Bank of Albuquerque, "Financial Institution") in Albuquerque, New Mexico, holds as a loan reserve the sum of THREE HUNDRED TWENTY ONE THOUSAND FOUR HUNDRED FIFTY THREE DOLLARS AND 53/100 (\$321,453.53) ("Loan Reserve") for the exclusive purpose of providing the financial guarantee which the City requires WEST BLUFF, LLC ("Subdivider") to provide for the installation of the improvements which must be constructed at WEST PLATEAU MOBILE HOME SUBDIVISION, Project No. 707881 ("Project"). The amount of the Loan Reserve is 125% of the City's estimated cost of improvements as required by the City's Subdivision Ordinance. The improvements are identified in the agreement between the City of Albuquerque and Subdivider, which was recorded on 5/13/03 in the records of the Clerk of Bernalillo County, New Mexico in Book Misc. 456, at pages 4830 to 4830 ("Earlier Agreement").

- 1) Reduction of Reserve. If the Assistant Director of Public Works/Engineering for the City, or that person's authorized designee, determines that it is appropriate to release a specified amount of the loan reserves as the result of the Subdivider's construction of a portion of the required infrastructure, then the Assistant Director of Public Works/Engineering, or that person's authorized designee, may execute an "Authorization to Release" which will authorize the Financial Institution to




release a specified amount from the loan reserves. The Authorization to Release will state the amount of the "reduced Loan Reserve Balance" which must be maintained following the reduction. The Reduced Loan Reserve Balance shall not be reduced by more than 90% of the City's estimated cost of the Project until the Project is accepted by the City. When the Financial Institution receives the Authorization to Release, which has been signed by the City, the Financial Institution may reduce the loan reserve to the Reduced Loan Reserve Balance.

- 2) Liability of Financial Institution. Although the City may approve the Financial Institution's release of a part of the loan reserves, the approval will not constitute the City's final acceptance of part or all of the Project. However, no matter what agreement exists between the Subdivider and the City, the total liability of the Financial Institution to the City with respect to the loan reserves established pursuant to this Loan Reserve Letter shall at all times be limited to the lesser of the amount stated in this Loan Reserve Letter or the latest Reduced Loan Reserve Balance authorized in writing by the City, and the Financial Institution's liability to the City under this Loan Reserve Letter shall cease upon termination of the loan reserve as provided in Section 4 herein.
- 3) Draw on Reserve. If by April 23, 2004 the improvements described in the Agreement have not been fully installed, inspected, approved and accepted by the City, then, upon presentation between April 23, 2004 and June, 23, 2004 inclusive, the City may demand payment from the Financial Institution up to the lesser of the amount stated in this Loan Reserve Balance authorized in writing by the City. The City may demand payment by delivering to the Financial Institution a certified "Demand for Payment" executed by the CAO or the CAO's authorized designee, which shall state that the Subdivider has failed to comply with the terms of the Agreement and also shall state the estimated cost of completing the improvements, specified in the Agreement ("Estimated Cost of Completion"). Upon receipt of the Demand for Payment, the Financial Institution promptly shall draw from the loan reserves by cashier's check to the City of Albuquerque the amount of 125% of the estimated cost of completion, not to exceed the lesser of the total Reduced Loan Reserve Balance authorized in writing by the City. The Financial Institution shall deliver the cashier's check promptly to the City.

WEST BLUFF, LLC

- 4) Termination of Reserve. This loan reserve is for the benefit of the City and shall be irrevocable until the occurrence of one of the following:
- A. Sixty (60) days after the City accepts the completed improvements specified in the Agreement; or
  - B. City delivery of the Demand for Payment and the Financial Institution's payment to the City by cashier's check as required Section "3" herein; or
  - C. Expiration of the date June 23, 2004; or
  - D. Written termination of this Loan Reserve Letter, signed by its Chief Administrative Officer of the City.

Sunrise Bank of Albuquerque

By:   
David Daniels  
Sr. Vice-President

ACCEPTED: -  
City of Albuquerque

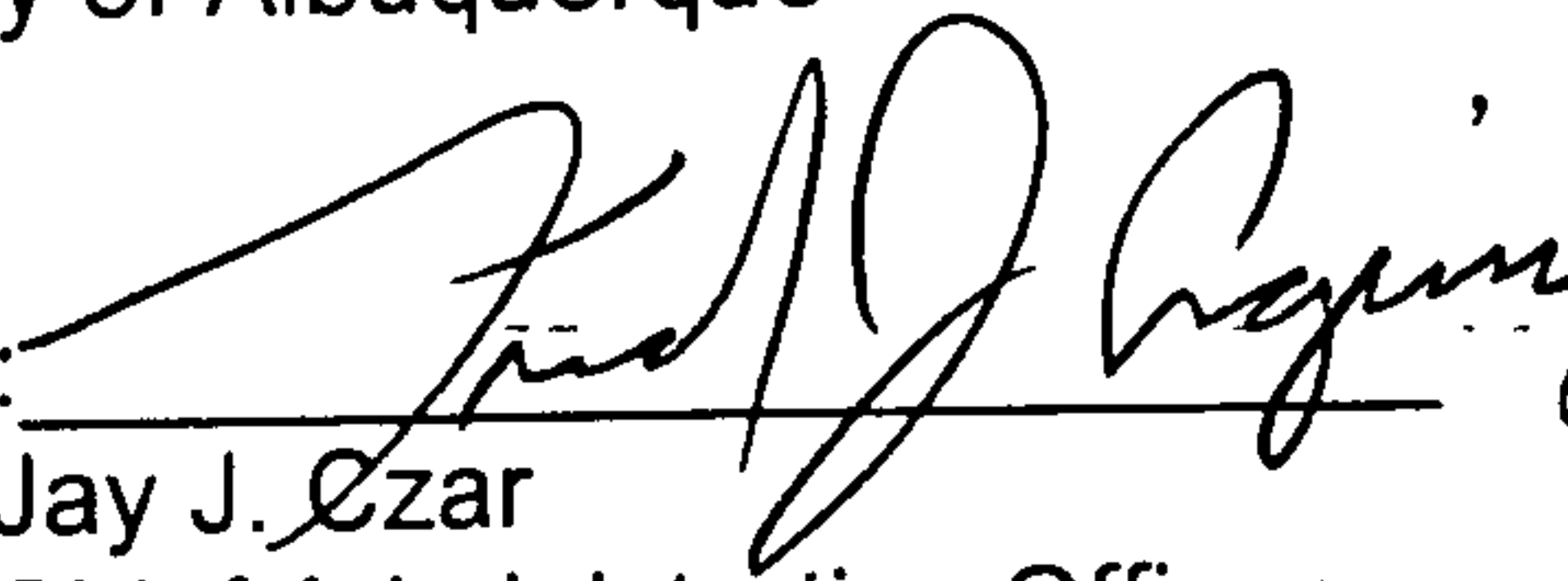
By:  5/12/03  
Jay J. Czar  
Chief Administrative Officer  
5-6-03 4-5/4/03

FIGURE 19  
SIDEWALK DEFERRAL AGREEMENT  
PROJECT NO. 707881

THIS AGREEMENT is made this 12<sup>th</sup> day of May, 20 03, by and between the City of Albuquerque, New Mexico ("City"), a municipal corporation, whose address is P.O. Box 1293 (One Civic Plaza), Albuquerque, New Mexico 87103 and West Bluff, LLC ("Developer"), whose address is 3511 Carlisle, NE, Albuquerque, NM 87110 and whose telephone number is 888-9777, a (state the type of business entity, for instance, "New Mexico corporation," "general partnership," "joint venture," "individual," etc.): A New Mexico Corporation, is made in Albuquerque, New Mexico, and is entered into as of the date of final execution of this Agreement.

WHEREAS, the Developer is developing certain lands within the City of Albuquerque, County of Bernalillo, State of New Mexico, known as (existing legal description) North Portion of Tract 6, Lands of C.H. Hall (the "Subdivision"); and

WHEREAS, the Developer has submitted and the City has approved Developer's development plans and (state "preliminary" or "final":) Preliminary plat, to be identified as (state name of plat:) West Plateau Mobile Home Subdivision; and

WHEREAS, Developer has requested and the City has determined that it is acceptable for the Developer to defer construction of the sidewalks within the Subdivision until after construction of other required infrastructure; and

WHEREAS, the Subdivision Ordinance requires all sidewalks to be completed within four (4) years after execution of the Agreement to Construct Subdivision Improvements; and

WHEREAS, the Developer must execute and deliver to the City an Agreement and an acceptable financial guaranty to provide funds for construction of the sidewalk improvements in case the Developer does not complete the construction as required.

THEREFORE, the City and the Developer agree:

1.A. Sidewalk Construction Deadline. Developer has obtained a sidewalk deferral, as shown in the attached Exhibit "A", which is a copy of the Development Review Board's decision regarding the deferral granted. Developer agrees to utilize the City's sidewalk permit process and complete the sidewalk to the satisfaction of the City by April 23, 20 04 ("Sidewalk Construction Deadline").

B. Request for Extension. If this Sidewalk Deferral Agreement establishes a Sidewalk Construction Deadline which is less than four (4) years after execution of the Subdivision Improvements Agreement, the Developer may request an extension from the Project Review Section for an additional period of time, which shall not exceed a total of four years after execution of the Subdivision Improvements Agreement. The form of the Financial Guaranty extension and the amount must be approved by the City, but shall not exceed 125% of the City's estimate of the cost of construction at the time Developer requests an extension. If the Developer will need more than four (4) years after execution of the Subdivision Improvements Agreement to construct the sidewalks, the Developer must request and obtain an extension from the Development Review Board and submit the required documentation to the Design Review Section before expiration of the four (4) years.

Figure 19 - Page 1



Mary Herrera

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binding upon the successors and assigns of the parties hereto

Figure 19 - Page 2



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7. Release. If the subdivision or any part thereof is sold, conveyed or assigned, the City will not release the Developer from its obligations under this Agreement and will continue to hold the Developer responsible for all Improvements until a successor in interest to the Developer has posted a suitable financial guaranty and entered into a Sidewalk Improvements Agreement with the City. Thereafter, when the Developer's successor in interest has provided a substitute financial guaranty acceptable to the City, the City will release this Agreement and any related Financial Guaranty.

8. Payment for Incomplete Improvements. If the Developer fails to satisfactorily complete construction of the sidewalks by the Construction Completion Deadline, the City may construct or cause the sidewalks to be constructed as shown on the final plat and in the approved plans and specifications. The Developer shall be jointly and severally liable to pay to, and indemnify the City for the total cost, including, but not limited to engineering, legal and contingent costs, together with any damages, either direct or consequential, which the City may sustain as a result of Developer's failure to perform as required by this Agreement. If the direct or indirect costs and damages to the City exceed the amount of the Financial Guaranty, the Developer shall be liable to, and shall pay the City for all such costs and damages. The surety or sureties shall be jointly and severally liable to pay to and indemnify the City for the total cost to the extent of their obligations pursuant to the Financial Guaranty.

9. Binding on Developer's Property. The provisions of this Agreement constitute covenants running with Developer's Subdivision for the benefit of the City and its successors and assigns until terminated, and are binding on the Developer and its heirs, successors and assigns.

10. Notice. For purposes of giving formal written notice, including notice of change of address, the Developer's and the City's addresses are as stated in the first paragraph of this Agreement. Notice may be given either in person or by certified U.S. mail, postage paid. Notice will be considered to have been received within six days after the notice is mailed if there is no actual evidence of receipt.

11. Entire Agreement. This Agreement contains the entire agreement of the parties and supersedes any and all other agreements or understandings, oral or written, whether previous to the execution hereof or contemporaneous herewith.

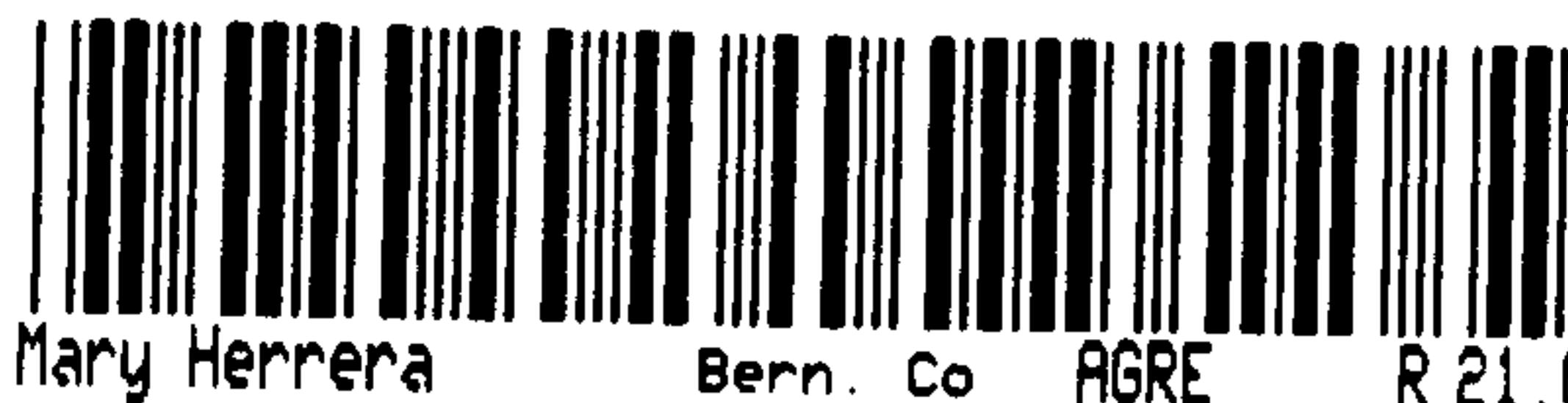
12. Changes to Agreement. Changes to this Agreement are not binding unless made in writing, signed by both parties.

13. Construction and Severability. If any part of this Agreement is held to be invalid or unenforceable, the remainder of the Agreement will remain valid and enforceable if the remainder is reasonably capable of completion.

14. Captions. The captions to the sections or paragraphs of this Agreement are not part of this Agreement and will not affect the meaning or construction of any of its provisions.

15. Form not Changes. Developer agrees that changes to this form are not binding unless initialed by the Developer and signed by the City's Legal Department on this form.

16. Authority to Execute. If the Developer signing below is not the Owner of the Subdivision, the owner must provide a Power of Attorney or other evidence of authority to execute this Agreement which is acceptable to the City.









## OFFICIAL NOTICE

CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
LAND DEVELOPMENT COORDINATION DIVISION

2-6-2003

4. **Project # 1002025**  
03DRB-00044 Major-Preliminary Plat Approval  
03DRB-00045 Minor-Temp Defer SDWK

ADVANCED ENGINEERING & CONSULTING LLC, agent(s) for FRED N SEELEY request(s) the above action(s) for all or a portion of THE NORTH PORTION OF Tract(s) 6, **LANDS OF C. H. HALL**, zoned SU-1/ MH, located on 90TH ST NW, between VOLCANO RD NW and BLUEWATER RD NW containing approximately 4 acre(s). (K-9)

At the February 5, 2003, Development Review Board meeting, with the signing of the Infrastructure List dated 2/5/03 and approval of the Grading Plan Engineer Stamp dated 10/9/02 the Preliminary Plat was approved.

Temporary deferral of construction of sidewalks was approved for the frontage and side yards of the developable lots on the interior streets as shown on Exhibit C in the Planning file.

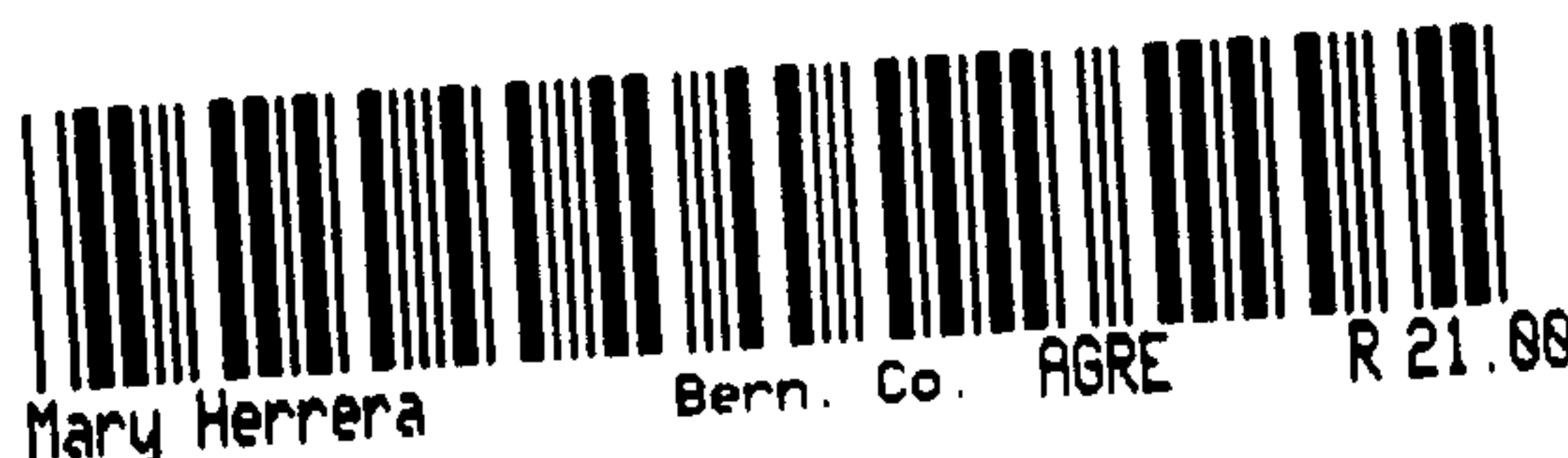
- 03DRB-00138 Minor-SiteDev Plan BldPermit/EPC  
03DRB-00139 Minor-Amnd SiteDev Plan Subd/EPC

ADVANCED ENGINEERING & CONSULTING LLC, agent(s) for FRED N SEELEY request(s) the above action(s) for all or a portion of THE NORTH PORTION OF Tract(s) 6, **LANDS OF C. H. HALL**, zoned SU-1/ MH, located on 90TH ST NW, between VOLCANO RD NW and BLUEWATER RD NW containing approximately 4 acre(s). [REF: 02EPC-01435, 02EPC-01142] [Makita Hill, EPC Case Planner] (K-9)

At the February 5, 2003, Development Review Board meeting, the Site Plan for Building Permit was approved with final sign off delegated to Utilities Development. The Amended Site Plan for Subdivision was approved with final sign off delegated to Utilities Development.

If you wish to appeal this decision, you must do so by February 20, 2003, in the manner described below.

Appeal is to the Environmental Planning Commission. Any person aggrieved with any determination of the Development Review Board may file an appeal on the Planning Division form, to the Planning Division, within 15 days of the Development Review Board's decision.



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OFFICIAL NOTICE  
PAGE TWO

The date the determination in question is issued is not included in the 15-day period for filing an appeal; If the fifteenth day falls on a Saturday, Sunday or holiday as-listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. Such appeal shall be heard within 60 days of its filing.

You will receive notice if any other person files an appeal. Successful applicants are reminded that other requirements of the City must be complied with, even after approval of the referenced application(s).

Please note that a Preliminary Plat approval date is the date of the DRB action plus the 15-day appeal period. The Preliminary Plat approval is effective one year from that date. The DRB must take action on the Preliminary Plat Extension prior to the expiration of the approval or the Preliminary Plat approval is null and void. (REF: Chapter 14 Article 14 Part 3-4 (E) Revised Ordinance.)

Sheran Matson, DRB Chair

Cc: Fred N Seeley, 3511 Carlisle NE, 87110

Advanced Engineering & Consulting LLC, 10205 Snowflake Ct NW, 87114

Arlene Portillo, Planning Department, 4th Floor, Plaza del Sol Bldg.

Scott Howell, Property Management, Legal Dept./4th Flr, City/County Bldg.

File



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# FINANCIAL GUARANTY AMOUNT

04/08/2003

Type of Estimate: Sidewalk Deferral

Project Description:

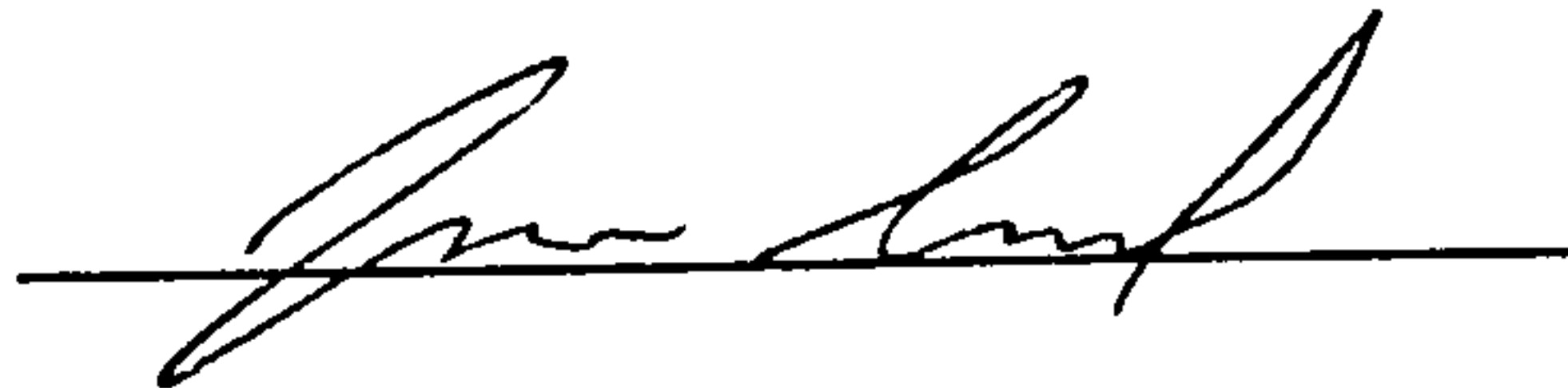
Project ID #: 707881, West Plateau Mobile Home Subdivision, Phase/Unit #

Requested By: Shahram Biazar w/ Advanced Engineering & Consulting, LLC

Approved estimate amount:		\$9,390.00
NMGRT	5.8125%	\$545.79
Subtotal:		\$9,935.79
125% FINANCIAL GUARANTY RATE		1.25
<b>TOTAL FINANCIAL GUARANTY REQUIRED</b>		<b>\$12,419.74</b>

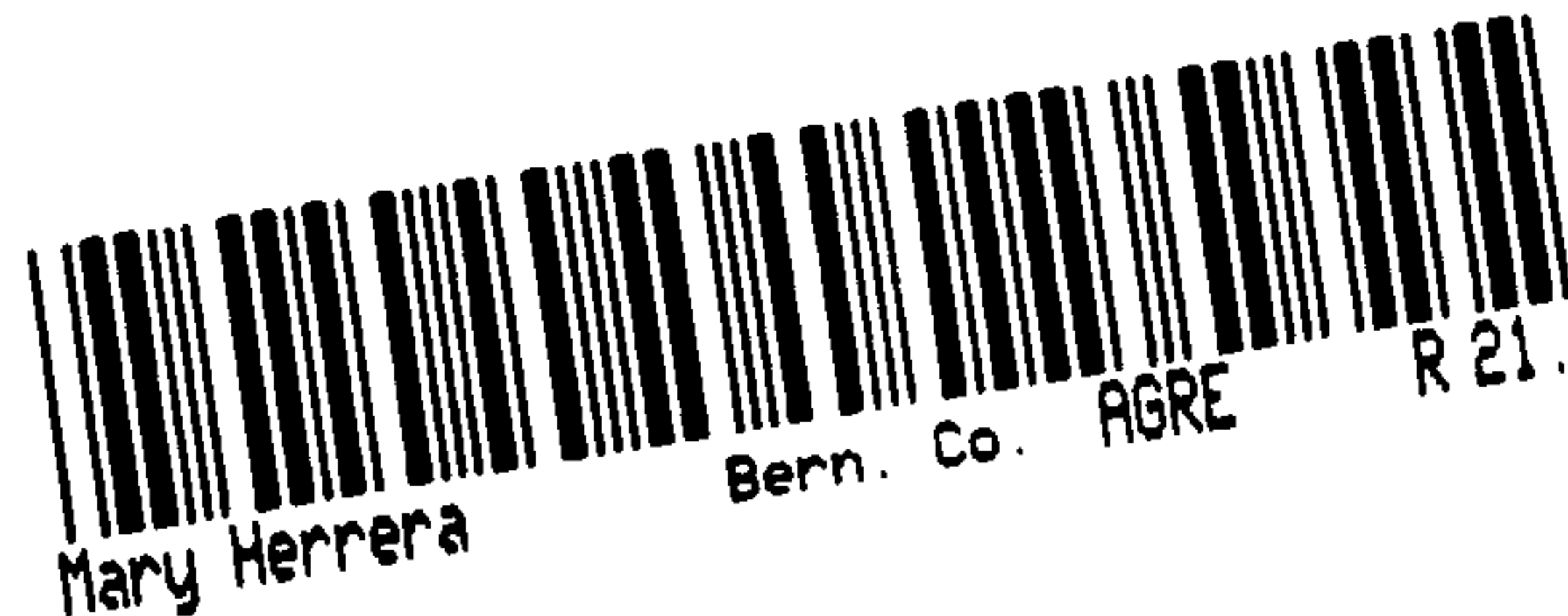
APPROVAL:

DATE:



4-8-2003

Notes:



Mary Herrera

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SUNRISE BANK OF ALBUQUERQUE

April 23, 2003

Jay J. Czar  
Chief Administrative Officer  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

RE: Loan Reserve for: WEST BLUFF, LLC  
City of Albuquerque Project No.: 707881  
Project Name: SIDEWALK DEFERRAL FOR WEST PLATEAU MOBILE HOME  
SUBDIVISION

Dear Mr. Czar

This letter is to advise the City of Albuquerque ("City") that, at the request of WEST BLUFF LLC, Sunrise Bank of Albuquerque, "Financial Institution") in Albuquerque, New Mexico, holds as a loan reserve the sum of TWELVE THOUSAND FOUR HUNDRED NINETEEN DOLLARS AND 74/100 (\$12,419.74) ("Loan Reserve") for the exclusive purpose of providing the financial guarantee which the City requires WEST BLUFF, LLC ("Subdivider") to provide for the installation of the improvements which must be constructed at WEST PLATEAU MOBILE HOME SUBDIVISION, Project No. 707881 ("Project"). The amount of the Loan Reserve is 125% of the City's estimated cost of improvements as required by the City's Subdivision Ordinance. The improvements are identified in the agreement between the City of Albuquerque and Subdivider, which was recorded on 5/13/03 in the records of the Clerk of Bernalillo County, New Mexico in Book Misc. A55, at pages 483 to 487 ("Earlier Agreement").

- 1) Reduction of Reserve. If the Assistant Director of Public Works/Engineering for the City, or that person's authorized designee, determines that it is appropriate to release a specified amount of the loan reserves as the result of the Subdivider's construction of a portion of the required infrastructure, then the Assistant Director of Public Works/Engineering, or that person's authorized designee, may execute an "Authorization to Release" which will authorize the Financial Institution to

release a specified amount from the loan reserves. The Authorization to Release will state the amount of the "reduced Loan Reserve Balance" which must be maintained following the reduction. The Reduced Loan Reserve Balance shall not be reduced by more than 90% of the City's estimated cost of the Project until the Project is accepted by the City. When the Financial Institution receives the Authorization to Release, which has been signed by the City, the Financial Institution may reduce the loan reserve to the Reduced Loan Reserve Balance.

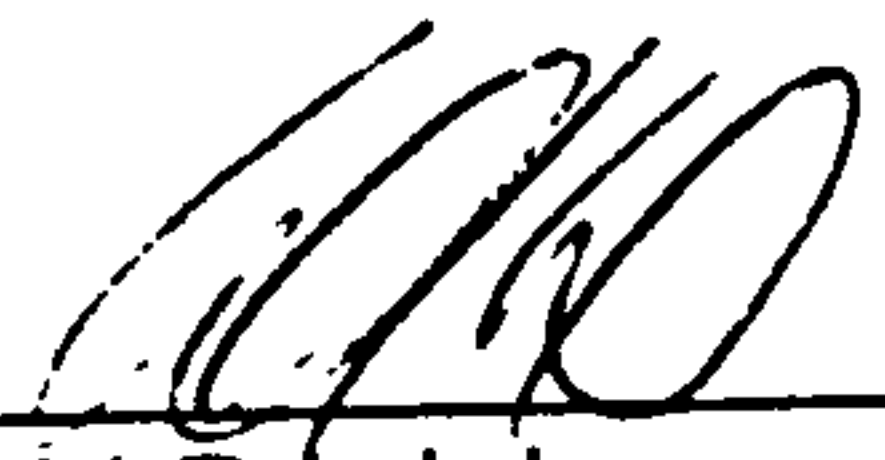
- 2) Liability of Financial Institution. Although the City may approve the Financial Institution's release of a part of the loan reserves, the approval will not constitute the City's final acceptance of part or all of the Project. However, no matter what agreement exists between the Subdivider and the City, the total liability of the Financial Institution to the City with respect to the loan reserves established pursuant to this Loan Reserve Letter shall at all times be limited to the lesser of the amount stated in this Loan Reserve Letter or the latest Reduced Loan Reserve Balance authorized in writing by the City, and the Financial Institution's liability to the City under this Loan Reserve Letter shall cease upon termination of the loan reserve as provided in Section 4 herein.
- 3) Draw on Reserve. If by April 23, 2004 the improvements described in the Agreement have not been fully installed, inspected, approved and accepted by the City, then, upon presentation between April 23, 2004 and June, 23, 2004 inclusive, the City may demand payment from the Financial Institution up to the lesser of the amount stated in this Loan Reserve Balance authorized in writing by the City. The City may demand payment by delivering to the Financial Institution a certified "Demand for Payment" executed by the CAO or the CAO's authorized designee, which shall state that the Subdivider has failed to comply with the terms of the Agreement and also shall state the estimated cost of completing the improvements, specified in the Agreement ("Estimated Cost of Completion"). Upon receipt of the Demand for Payment, the Financial Institution promptly shall draw from the loan reserves by cashier's check to the City of Albuquerque the amount of 125% of the estimated cost of completion, not to exceed the lesser of the total Reduced Loan Reserve Balance authorized in writing by the City. The Financial Institution shall deliver the cashier's check promptly to the City.



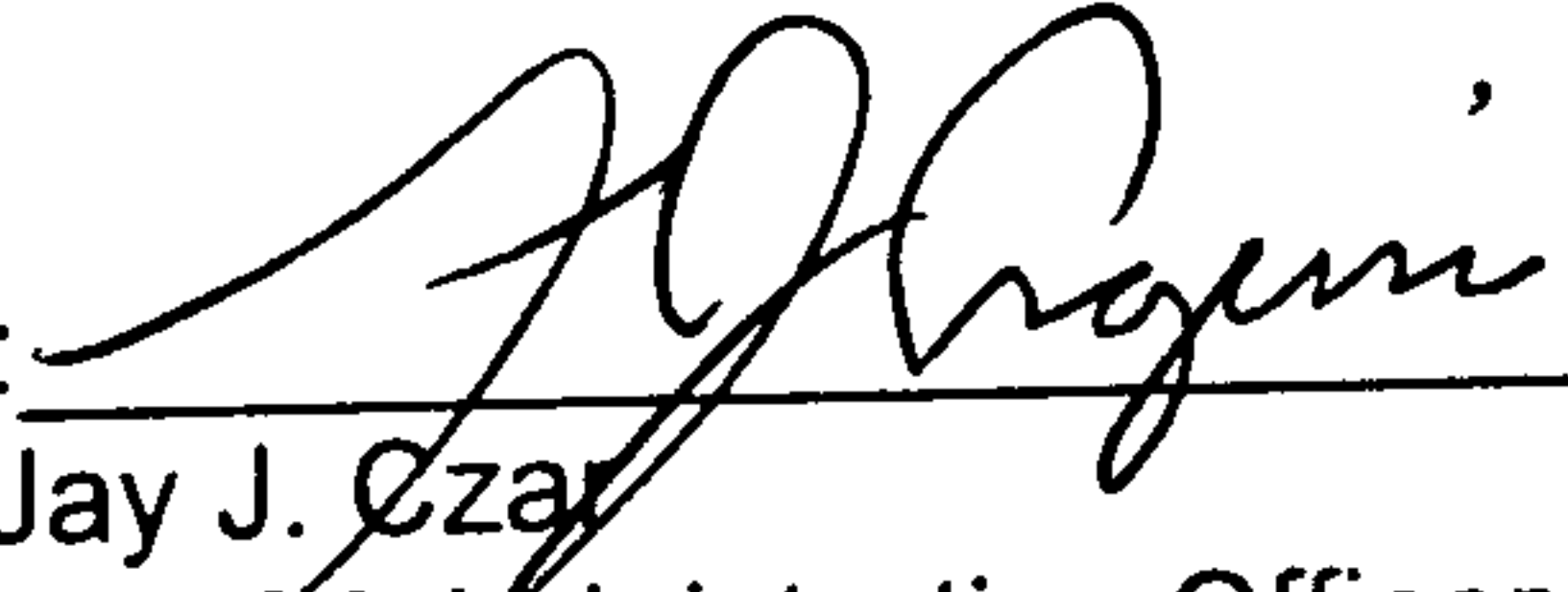
WEST BLUFF, LLC

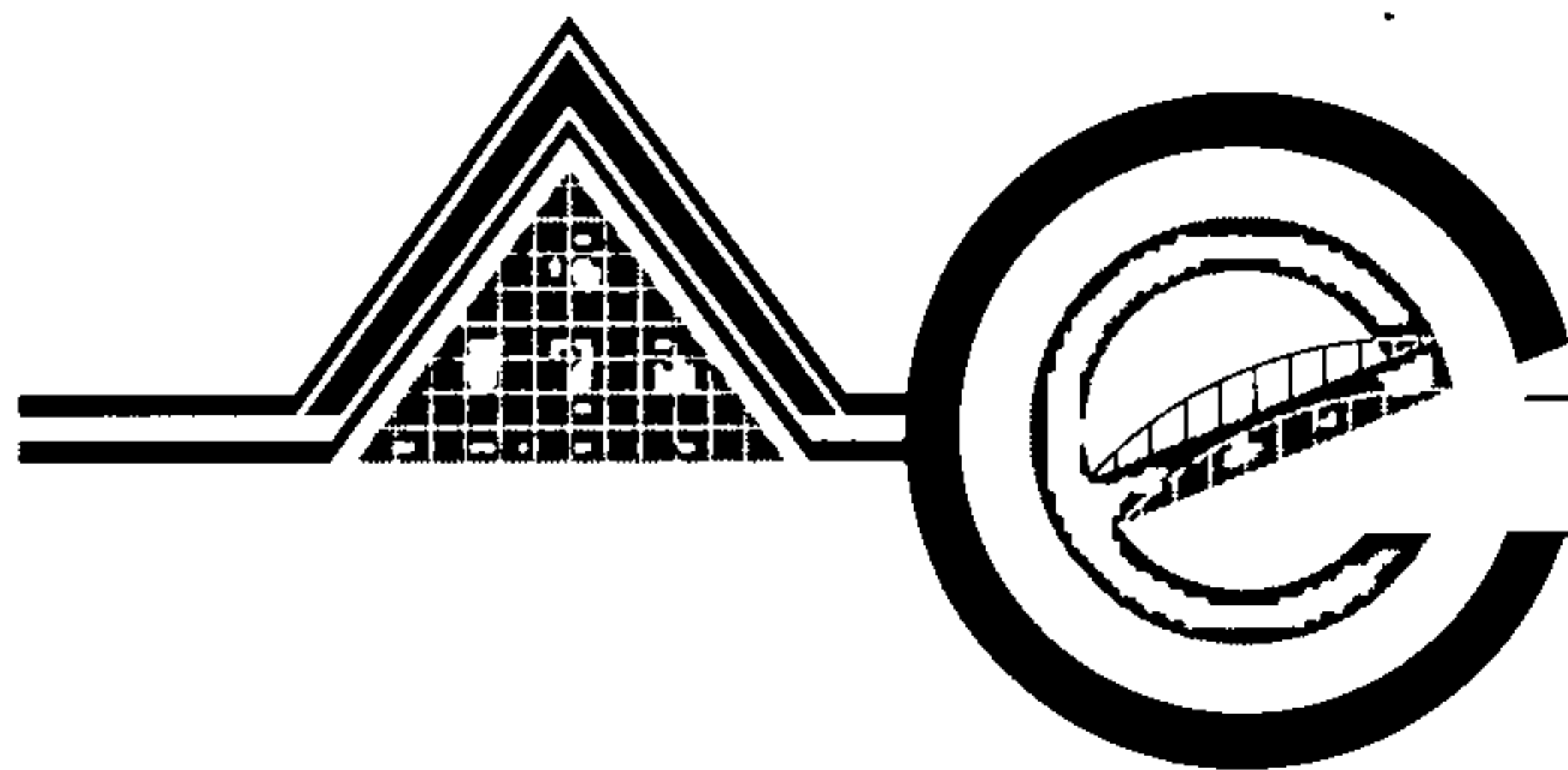
- 4) Termination of Reserve. This loan reserve is for the benefit of the City and shall be irrevocable until the occurrence of one of the following:
- A. Sixty (60) days after the City accepts the completed improvements specified in the Agreement; or
  - B. City delivery of the Demand for Payment and the Financial Institution's payment to the City by cashier's check as required Section "3" herein; or
  - C. Expiration of the date June 23, 2004; or
  - D. Written termination of this Loan Reserve Letter, signed by its Chief Administrative Officer of the City.

Sunrise Bank of Albuquerque

By:   
David Daniels  
Sr. Vice-President

ACCEPTED:  
City of Albuquerque

By:  5/12/03  
Jay J. Czar  
Chief Administrative Officer 9:26 AM 5/16/03



January 27, 2003

*Consulting  
Design  
Development  
Management  
Inspection  
Surveying*

Mr. Roger Green, PE  
DRB Chairperson  
Plaza Del Sol-2<sup>nd</sup> Floor West  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

Re: **Final Sign-Off Site Development Plan for Subdivision and Building Permit for West Plateau Mobile Home Subdivision, ±4.00 Acres  
Portion of Tract 6, Lands of C.H. Hall, Zoned SU-1 for MH, Zone Atlas Page K-9  
Project # 1002025, Case # 02EPC-01142 SDP-Subdivision and 02EPC-01142 SDP-Subdivision**

Dear Mr. Green:

Attached please find six copies of final site plan for subdivision and building permit for the above referenced case. We are requesting the final sign-off on the site plan for subdivision and building permit. Below are the response to the conditions of approval by the EPC:

1. A letter has been written.
2. An statement has been added to the landscaping plan in regard of the landscaping maintenance along City right-of-way, see sheet 2 of 4.
3. Tam Juniper shrubs has been added to the City right-of-way along 90<sup>th</sup> Street, see sheet 2 of 4.
4. A note has been added to the site plan that lots 1-18 shall not provide vehicular access to 90<sup>th</sup> Street, see note # 12 under GENERAL NOTES.
5. The access to the site is through West Cliff Rd., NW and West Plateau Rd., NW. The word ENTRANCE has been added to these streets, see site plan for location.
6. Every lot in this subdivision can either be single or double wide. A note has been added to the site plan, see note # 7 under DESIGN CRITERIA.
7. We have changed the regular CMU block to colored CMU block on the site plan, see typical wall drawing or note # 10 under NOTES.

Mr. Roger Green  
January 27, 2003  
Page 2

8.
  - A. The developer shall comply with this condition and provide all the Permanent improvements needed for transportation and utility facilities adjacent to proposed site development plan. See attached infrastructure list.
  - B. The site plan complies per DPM standards.
  - C. A site distance is maintained and site lines has been labeled on site plan. see note # 13 under NOTES.
  - D. We have shown existing private emergency access easement across the street. see note 12 under NOTES.
  - E. Existing driveway across the street is a private emergency access easement which is closed at all time, except in an emergency. We have met with Mr. Tony Lloyed about this matter and explained the situation. He has recommended that we move our entrance as close as possible to this emergency access entrance across the street and we have done so.
  - F. Attached is a copy of approved grading and drainage plan.
  - G. We have already submitted a preliminary plat approval request to DRB.
  
9. A note has been added to the site plan for the automated carts storage area, see note # 6 under DESIGN CRITERIA.

I hope that letter along with along with the site development plans, and infrastructure list contains sufficient information for a final signature on the site plan. If there are any questions concerning this request or any other aspect of the project do not hesitate to contact me.

Sincerely,



Shawn Biazar, Managing Member

Enclosure

cc: Fred Seeley

JN: 200226

SB/sb



200220  
EPL



City of Albuquerque  
Planning Department  
Development Services Division  
P.O. Box 1293  
Albuquerque, New Mexico 87103

Date: September 20, 2002

## OFFICIAL NOTIFICATION OF DECISION

FILE: **Project 1002025**  
02EPC-01142 SDP - Subdivision  
02EPC-01143 SDP - Building Permit

Fred N. Seeley  
3511 Carlisle, NE  
Albuq., NM 87110

LEGAL DESCRIPTION: Request the above action(s) for all or a portion of Tract(s) 6, **Lands of C.H. Hall**, zoned SU-1 for MH, located on 90TH STREET NW between VOLCANO ROAD NW and BLUEWATER ROAD NW, containing approximately 4.0 acres. (K-9)  
Makita Hill, Staff Planner

On September 19, 2002 the Environmental Planning Commission voted to approve Project 1002025 / 02EPC-01142, a Site Development Plan for Subdivision, based on the following Findings and subject to the following Conditions:

### FINDINGS:

1. This is a request for approval of a site development plan for subdivision for Tract 6, Lands of C.H. Hall, to create a 29-lot mobile home park. The site is located near 90<sup>th</sup> Street NW between Volcano Rd NW and Bluewater Rd NW and is currently vacant.
2. The request is consistent with policies in the Comprehensive Plan in that the proposed mobile home park is to be located next to an existing mobile home park and thus respects the existing residential development pattern, and is proposed for development on vacant land (Developing Urban, Policies d, e).
3. The request is consistent with the West Side Strategic Plan in that the proposed mobile home park is consistent with the initiative for residential and non-residential development in the Atrisco Park Community area (policy 3.31, Atrisco Park).
4. The WSSP was amended in May 2002 to include Policy 2.5 under Jurisdictional, Density and Character Issues that allows the City Planning Department to consider the impact of new residential subdivisions on existing local public schools (p. 53 WSSP Amendment). Albuquerque Public Schools has commented that this development will affect Painted Elementary School, Jimmy Carter Middle School, and West Mesa High School. The above elementary and middle schools are currently enrolled beyond their designed capacities and are projected to substantially increase further in population. West Mesa High School is operating close to capacity.
5. The request is consistent with the West Route 66 Sector Development Plan in that the proposed mobile home park is consistent with the intent of the plan for mobile home development on this site, and meets the intents of the plan's landscape design standards.

**EPC OFFICIAL NOTIFICATION OF DECISION**

**Project 1002025 / 02EPC-01142 & 02EPC-01143**

**September 20, 2002**

**Page 2**

6. Due to the SU-1 zoning, the EPC is authorized to approve this request for site development plan for subdivision as it has been submitted, however the applicant should be called upon to justify the discrepancy in lot width from the requirements of the MH zone in the City Zoning Code.

---

On September 19, 2002 the Environmental Planning Commission voted to approve Project 1002025 / 02EPC-01143, a Site Development Plan for Building Permit, based on the following Findings and subject to the following Conditions:

**FINDINGS:**

1. This is a request for approval of a site development plan for building permit for Tract 6, Lands of C.H. Hall, to create a 29-lot mobile home park. The site is located near 90<sup>th</sup> Street NW between Volcano Rd NW and Bluewater Rd NW. Zoning on the site is currently SU-1 for Mobile Home Park, and the site is currently vacant.
2. The request is consistent with policies in the Comprehensive Plan in that the proposed mobile home park is to be located next to an existing mobile home park and thus respects the existing residential development pattern, and is proposed for development on vacant land (Developing Urban, Policies d, e).
3. The request is consistent with the West Side Strategic Plan in that the proposed mobile home park is consistent with the initiative for residential and non-residential development in the Atrisco Park Community area (policy 3.31, Atrisco Park).
4. The WSSP was amended in May 2002 to include Policy 2.5 under Jurisdictional, Density and Character Issues that allows the City Planning Department to consider the impact of new residential subdivisions on existing local public schools (p. 53 WSSP Amendment). Albuquerque Public Schools has commented that this development will affect Painted Elementary School, Jimmy Carter Middle School, and West Mesa High School. The above elementary and middle schools are currently enrolled beyond their designed capacities and are projected to substantially increase further in population. West Mesa High School is operating close to capacity.
5. The request is also consistent with the West Route 66 Sector Development Plan in that the proposed mobile home park is consistent with the intent of the plan for mobile home development on this site, and meets the intents of the plan's landscape design standards.
6. The submitted site development plan for building permit is in compliance with the Design Overlay Zone established in the West Route 66 Sector Development Plan in that the plans establish a 13-foot landscape setback buffer area along street frontages, and colored CMU blocks are proposed for walls in the development.
7. Minor modifications to the site plans are needed to address all outstanding issues.



**EPC OFFICIAL NOTIFICATION OF DECISION**

**Project 1002025 / 02EPC-01142 & 02EPC-01143**

**September 20, 2002**

**Page 3**

**CONDITIONS:**

1. The submittal of this plan to the DRB shall meet all EPC and City Council conditions. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC and City Council hearing, including how the site plan has been modified to meet each of the conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. The applicant shall provide a statement on the landscape site plan indicating maintenance responsibility for all organic landscape materials planted in City right-of-way.
3. The applicant shall provide Tam Juniper shrubs in the City right-of-way along 90<sup>th</sup> Street in addition to the Ash/Locust trees indicated to provide additional groundcover.
4. Lots 1-18 shall not provide vehicular access to 90<sup>th</sup> Street as 90<sup>th</sup> Street is a collector road.
5. The applicant shall indicate vehicular access points on the site plan for all lots.
6. The applicant shall indicate on the site plan which lots are intended for single-wide mobile homes and which lots are intended for double-wide mobile homes.
7. The applicant shall use a colored CMU block for wall and sign construction within the development consistent with design standards in the West Route 66 Plan (p. 82, Design Overlay Zone, Architectural Design).
8. The applicant shall meet the following transportation-related conditions as recommended by the City Engineer:
  - a. The Developer is responsible for permanent improvements to the transportation facilities adjacent to the proposed site development plan. Those improvements will include any additional right-of-way requirements, paving, curb and gutter and sidewalk that have not already been provided for.
  - b. Site Plan shall comply and be designed per DPM Standards.
  - c. Maintain site distance requirements at driveway where sign is to be located per MUTCD. Label site lines on site plan.
  - d. Show existing driveways (if any) on east side of 90<sup>th</sup> St.
  - e. Orient proposed driveways with existing driveways (if any) per DPM.
  - f. An approved conceptual grading and drainage plan is required for Site Plan sign-off by the City Engineer. Approval of drainage plan required prior to placement on DRB agenda.
  - g. Re-platting should be concurrent with site plan approvals.
9. Each lot or home shall have a storage area for residential automated carts such that the cart not be visible from the street.



**EPC OFFICIAL NOTIFICATION OF DECISION**

**Project 1002025 / 02EPC-01142 & 02EPC-01143**

**September 20, 2002**

**Page 4**

**IF YOU WISH TO APPEAL/PROTEST THIS DECISION, YOU MUST DO SO BY OCTOBER 4, 2002 IN THE MANNER DESCRIBED BELOW. A NON-REFUNDABLE FILING FEE WILL BE CALCULATED AT THE LAND DEVELOPMENT COORDINATION COUNTER AND IS REQUIRED AT THE TIME THE APPEAL IS FILED.**

Appeal to the City Council: Persons aggrieved with any determination of the Environmental Planning Commission acting under this ordinance and who have legal standing as defined in Section 14-16-4-4.B.2 of the City of Albuquerque Comprehensive Zoning Code may file an appeal to the City Council by submitting written application on the Planning Department form to the Planning Department within 15 days of the Planning Commission's decision. The date the determination in question is issued is not included in the 15-day period for filing an appeal, and if the fifteenth day falls on a Saturday, Sunday or holiday as listed in the Merit System Ordinance, the next working day is considered as the deadline for filing the appeal. The City Council may decline to hear the appeal if it finds that all City plans, policies and ordinances have been properly followed. If it decides that all City plans, policies and ordinances have not been properly followed, it shall hear the appeal. Such appeal, if heard, shall be heard within 45 days of its filing.

**YOU WILL RECEIVE NOTIFICATION IF ANY OTHER PERSON FILES AN APPEAL. IF THERE IS NO APPEAL, YOU CAN RECEIVE BUILDING PERMITS AT ANY TIME AFTER THE APPEAL DEADLINE QUOTED ABOVE, PROVIDED ALL CONDITIONS IMPOSED AT THE TIME OF APPROVAL HAVE BEEN MET. - SUCCESSFUL APPLICANTS ARE REMINDED THAT OTHER REGULATIONS OF THE CITY MUST BE COMPLIED WITH, EVEN AFTER APPROVAL OF THE REFERENCED APPLICATION(S).**

Successful applicants should be aware of the termination provisions for Site Development Plans specified in Section 14-16-3-11 of the Comprehensive Zoning Code. Generally plan approval is terminated 7 years after approval by the EPC

Sincerely,

  
for Victor J. Chavez  
Planning Director

VJC/MH/nat

cc: Advanced Engineering & Consulting LLC, 10205 Snowflake Court NW, Albuquerque, NM 87114

**ORIGINAL**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

**LOTS 1-29, WEST PLATEAU MOBILE HOME SUBDIVISION**

**PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN**

**NORHT PORTION OF TRACT 6, LANDS OD C.H. HALL**

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

*Permit # 1002025  
App 03-00138  
03-00139*

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portion of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

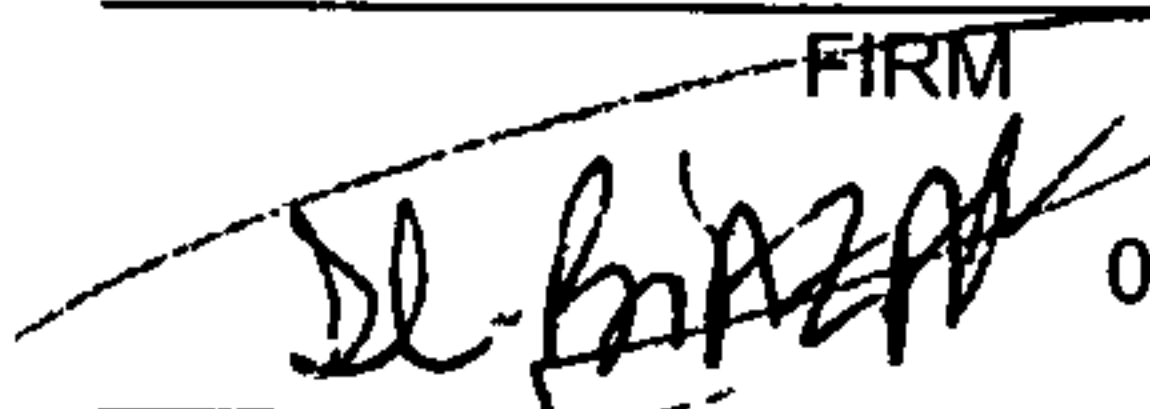
SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<b>PAVING</b>									
<input type="text"/>	<input type="text"/>	26' F-F	Residential Pavement C&G ON BOTH SIDES 4' SD/WK ON BOTH SIDES	West Bluff St., NW	South PL	North PL	/	/	/
		Deffered Item							
<input type="text"/>	<input type="text"/>	26' F-F	Residential Pavement C&G ON BOTH SIDES 4' SD/WK ON BOTH SIDES	West Cliff Rd , NW	West Bluff St., NW	90th Street, NW	/	/	/
<input type="text"/>	<input type="text"/>	26' F-F	Residential Pavement C&G ON BOTH SIDES 4' SD/WK ON BOTH SIDES	West Plateau Rd., NW	West Bluff St., NW	90th Street, NW	/	/	/
<input type="text"/>	<input type="text"/>	24' F-CL	Arterial Pavement C&G ON WEST SIDE ONLY 6' SD/WK ON WEST SIDE ONLY	90th Street, NW	South PL, Exist Pav.	North PL, Exist Pav.	/	/	/
<b>WATERLINE</b>									
<input type="text"/>	<input type="text"/>	6"	Waterline PVC C-900	West Bluff St., NW	Lot 1, South PL	Lot 18, North PL	/	/	/
<input type="text"/>	<input type="text"/>	6"	Waterline PVC C-900	West Cliff Rd., NW	West Bluff St., NW	90th Street, NW	/	/	/
<input type="text"/>	<input type="text"/>	6"	Waterline PVC C-900	West Plateau Rd , NW	West Bluff St., NW	90th Street, NW	/	/	/
<b>SANITARY SEWERLINE</b>									
<input type="text"/>	<input type="text"/>	8"	Sanitary Sewerline SDR-35	West Bluff St., NW	Lot 1, South PL	Lot 18, North PL	/	/	/
<input type="text"/>	<input type="text"/>	8"	Sanitary Sewerline SDR-35	West Cliff Rd., NW	West Bluff St , NW	90th Street, NW	/	/	/

SIA Sequence #	COA DRC Project #	<b>Size</b>	<b>Type of Improvement</b>	<b>Location</b>	<b>From</b>	<b>To</b>	Private Inspector	City Inspector	City Cnst Engineer	
		<b>CONTINUE SANITARY SWEWERLINE</b>								
		8"	Sanitary Sewerline SDR-35	90th Street, NW	West Cliff Rd., NW	South PL, Exist SAS	/	/	/	
		<b>STORM SEWER</b>								
		12"	Storm Sewer Pipe RCP	West Cliff Rd., NW	West Bluff St., NW	90th Street, NW	/	/	/	

**NOTES**

- 1 Water Infrastructure to Include Services, Vales, Fittings, Valve Boxes, and Fire Hydrants as Required
- 2 Catch Basin and Manholes Connection Included with Storm Sewer Pipe
- 3 Sanitary Sewer to Include Manholes and Service Connections as required
- 4 Residential Street Lights Per DPM
- 5 Certified Grading and Drainage and wall for SIA/Financial Release
- 6 Sidewalks which front the lots will be deferred and built during the construction of the individual houses
- 7 \_\_\_\_\_
- 8 \_\_\_\_\_
- 9 \_\_\_\_\_

<b>AGENT/OWNER</b>	<b>DEVELOPMENT REVIEW BOARD MEMBER APPROVALS</b>
--------------------	--

Shawn Biazar  
 \_\_\_\_\_  
 NAME (print)  
 Advanced Engineering and Consulting, LLC  
 \_\_\_\_\_  
 FIRM  
  
 01/9/2003  
 \_\_\_\_\_  
 SIGNATURE - date

\_\_\_\_\_ DRB CHAIR - date  
 \_\_\_\_\_ TRANSPORTATION DEVELOPMENT - date  
 \_\_\_\_\_ UTILITY DEVELOPMENT - date  
 \_\_\_\_\_ CITY ENGINEER - date

\_\_\_\_\_ PARKS & GENERAL SERVICES - date  
 \_\_\_\_\_ AMAFCA - date  
 \_\_\_\_\_ - date  
 \_\_\_\_\_ - date

MAXIMUM TIME ALLOWED TO CONSTRUCT  
 THE IMPROVEMENTS WITHOUT A DRB  
 EXTENSION: \_\_\_\_\_

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER



# A City of Albuquerque



## DEVELOPMENT REVIEW APPLICATION

<b>SUBDIVISION</b>	Supplemental form <b>S</b>	Supplemental form <b>Z</b>
<input type="checkbox"/> Major Subdivision action <input type="checkbox"/> Minor Subdivision action <input type="checkbox"/> Vacation <input type="checkbox"/> Variance (Non-Zoning)		<b>ZONING</b> <input type="checkbox"/> Annexation & Zone Establishment <input type="checkbox"/> Sector Plan <input type="checkbox"/> Zone Change <input type="checkbox"/> Text Amendment
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>	<b>A</b>
<input checked="" type="checkbox"/> ... for Subdivision Purposes <input checked="" type="checkbox"/> ... for Building Permit <input type="checkbox"/> IP Master Development Plan <input type="checkbox"/> Cert. of Appropriateness (LUCC)	<b>L</b>	<b>APPEAL / PROTEST of...</b> <input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: Fred N. Seeley PHONE: 888-9777  
 ADDRESS: 3511 Carlisle, NE FAX: 888-1415  
 CITY: Albuquerque STATE NM ZIP 87110 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: Owner  
 AGENT (if any): Advanced Engineering and Consulting, LLC PHONE: 899-5570  
 ADDRESS: 10205 Snowflake Ct. NW FAX: 897-4996  
 CITY: Albuquerque STATE NM ZIP 87114 E-MAIL: AECLLC@AOL.COM

**DESCRIPTION OF REQUEST:** D.R.B. Final Sign-Off for EPC Approved SDP for Subdivision and Building Permit  
 Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. North Portion of Tract 6 Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv. / Addn. Lands of C.H. Hall  
 Current Zoning: SU-1 For MH Proposed zoning: Same  
 Zone Atlas page(s): K-9-Z No. of **existing** lots: 1 No. of **proposed** lots: 29 MH Lots  
 Total area of site (acres): 4.00 Density if applicable: dwellings per gross acre: 7.25 dwellings per net acre: \_\_\_\_\_  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? No  
 UPC No. 100905725320130808 MRGCD Map No. \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: 90<sup>th</sup> Street, NW  
 Between: Volcano Road, NW and Bluewater Road, NW

**CASE HISTORY:** Maketa Hill, EPC Case Planner 02EPC-011435DP  
02EPC-011425DP  
 List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): 1002025

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 06-26-02

**SIGNATURE** Shahram (Shawn) Biazar DATE 01-23-03  
 (Print) Shahram (Shawn) Biazar  Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised September 2001

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>03DRB - 00138</u>	<u>SBP</u>	<u>P3</u>	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected	<u>03DRB - 00139</u>	<u>SPS</u>	<u>P3</u>	\$ <u>0</u>
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate				\$ <u>0</u>

Hearing date FEB 5 2003

Project # 1002025

JM 1/28/03  
 Planner signature / date

**FORM P(3): SITE PLAN R EW - D.R.B. MEETING (UNADVE...ISED)**

**SKETCH PLAN REVIEW AND COMMENT**

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6** copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION**

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6** copies.
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - Blue-line copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
  - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
  - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
  - Infrastructure List, if relevant to the site plan
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

SHAWN BIAZAR

Applicant name (print)

Shawn Biazar

1/28/03  
Applicant signature / date



Form revised September 2001

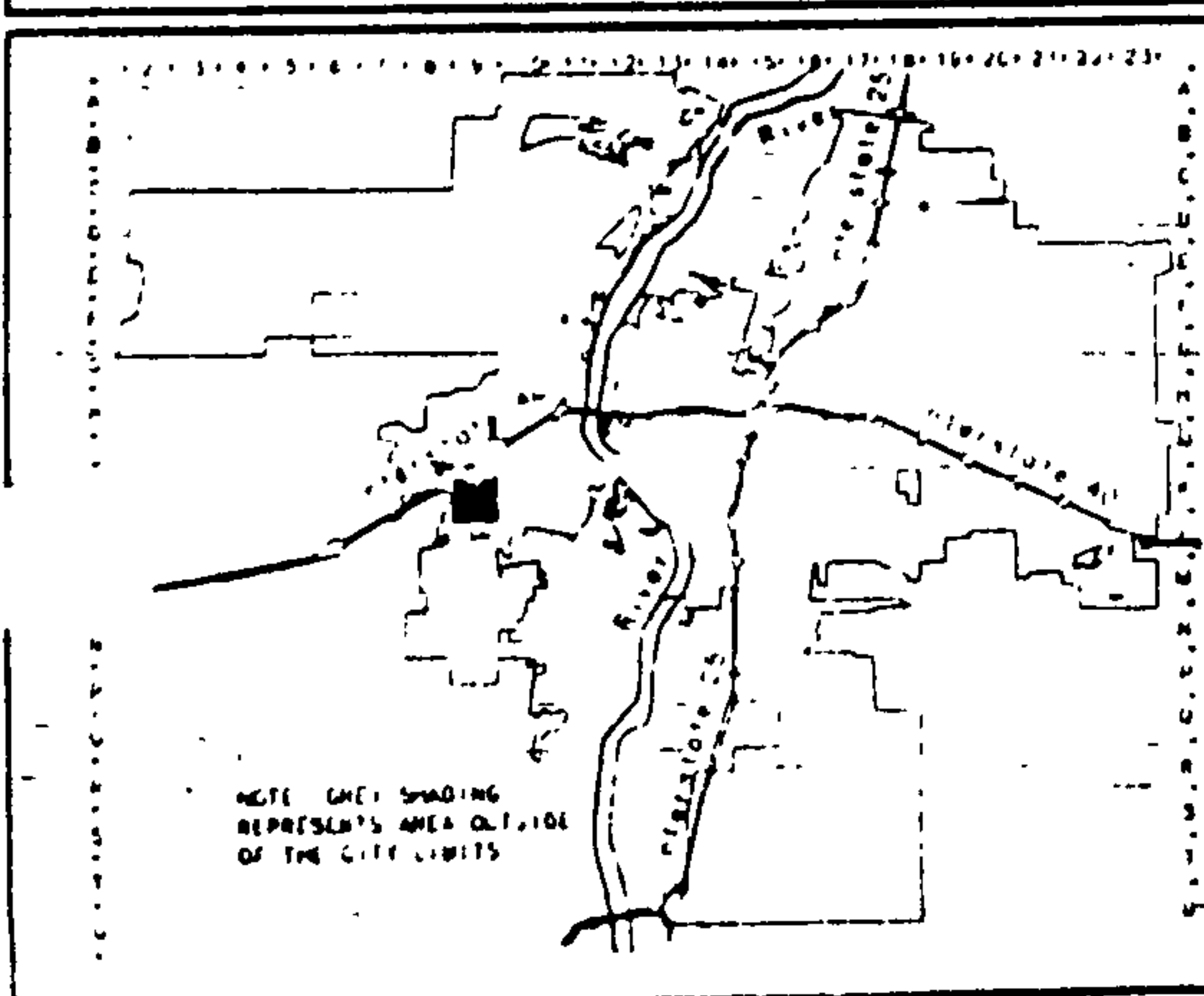
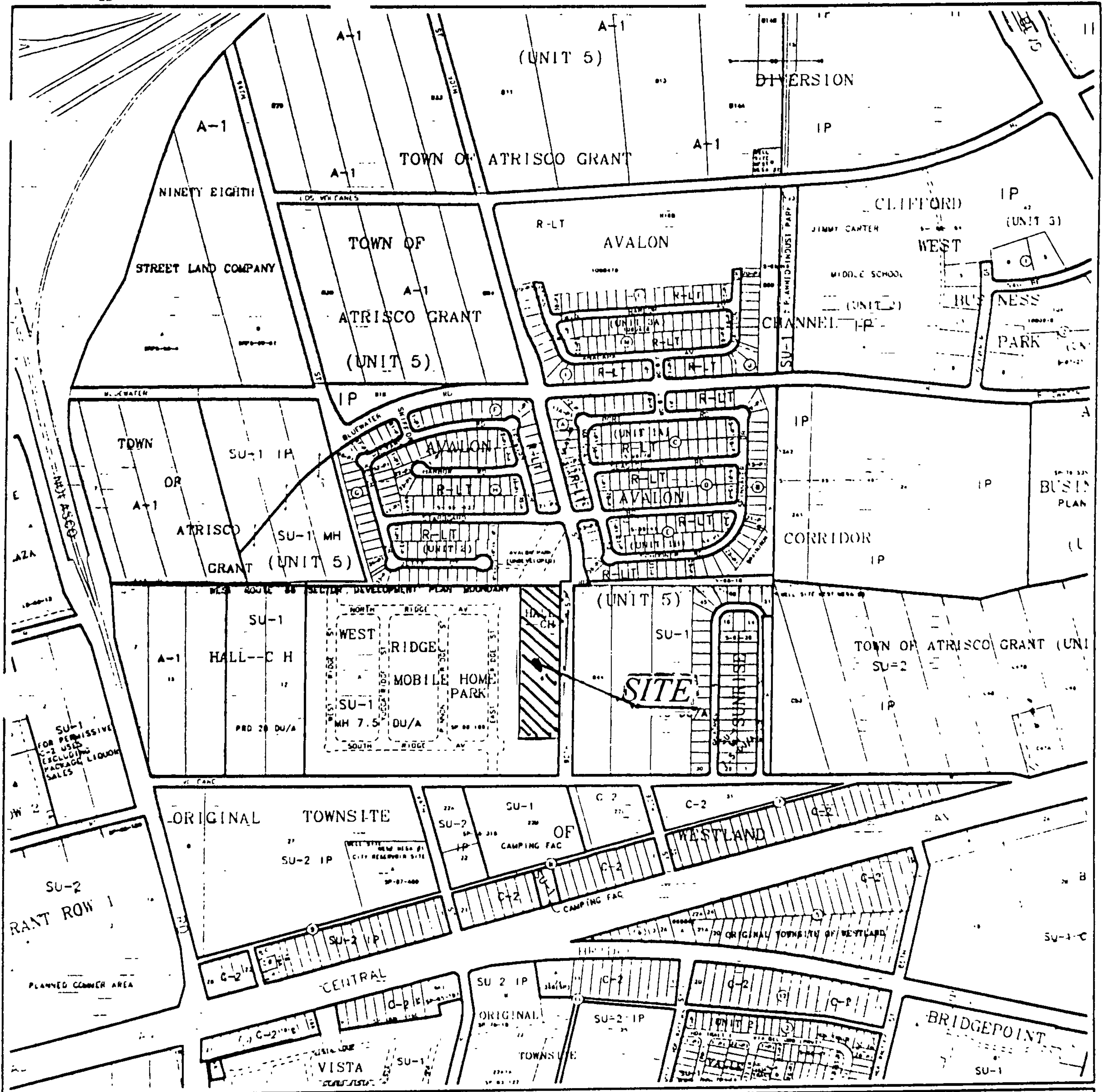
- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
 03DRB- -00138  
 03DRB- -00139  
 - -

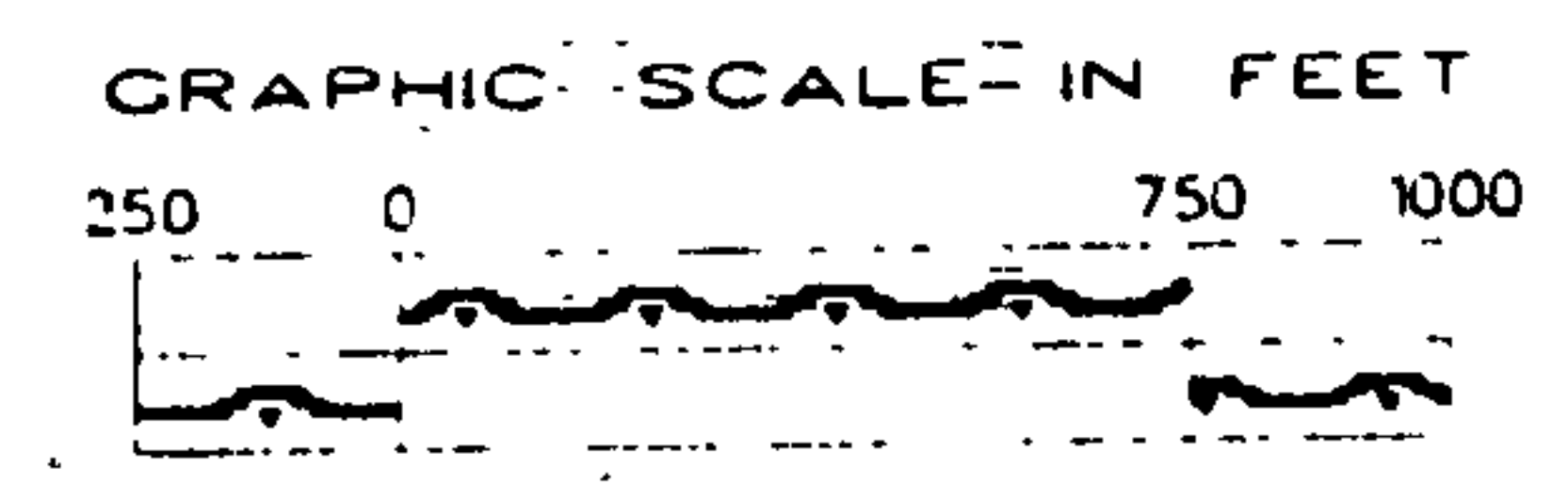
MM 1/28/03  
Planner signature / date

**Project # 1002025**





CITY OF  
Albuquerque  
**A G I S**  
PLANNING DEPARTMENT  
© Copyright 2001



**Zone Atlas Page**  
**K-9-Z**

Map Amended through March 21, 2001



**ORIGINAL**

**TO SUBDIVISION IMPROVEMENTS AGREEMENT  
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST**

LOTS 1-29, WEST PLATEAU MOBILE HOME SUBDIVISION

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

NORHT PORTION OF TRACT 6, LANDS OD C.H. HALL

*PROJ# 1-002002  
App# 03-00044  
03-00045  
Preliminary Plat approved 2/5/03  
Preliminary Plat expires 2/5/04  
Site Plan approved 2/5/03*

**EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION**

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portion of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<b>PAVING</b>									
<input type="text"/>	<input type="text"/>	26' F-F	Residential Pavement C&G ON BOTH SIDES 4' SD/WK ON BOTH SIDES	West Bluff St., NW	South PL	North PL	/	/	/
		Deferred Item							
<input type="text"/>	<input type="text"/>	26' F-F	Residential Pavement C&G ON BOTH SIDES 4' SD/WK ON BOTH SIDES	West Cliff Rd., NW	West Bluff St., NW	90th Street, NW	/	/	/
<input type="text"/>	<input type="text"/>	26' F-F	Residential Pavement C&G ON BOTH SIDES 4' SD/WK ON BOTH SIDES	West Plateau Rd., NW	West Bluff St., NW	90th Street, NW	/	/	/
<input type="text"/>	<input type="text"/>	24' F-CL	Arterial Pavement C&G ON WEST SIDE ONLY 6' SD/WK ON WEST SIDE ONLY	90th Street, NW	South PL, Exist Pav.	North PL, Exist Pav.	/	/	/
<b>WATERLINE</b>									
<input type="text"/>	<input type="text"/>	6"	Waterline PVC C-900	West Bluff St., NW	Lot 1, South PL	Lot 18, North PL	/	/	/
<input type="text"/>	<input type="text"/>	6"	Waterline PVC C-900	West Cliff Rd., NW	West Bluff St., NW	90th Street, NW	/	/	/
<input type="text"/>	<input type="text"/>	6"	Waterline PVC C-900	West Plateau Rd., NW	West Bluff St., NW	90th Street, NW	/	/	/
<b>SANITARY SEWERLINE</b>									
<input type="text"/>	<input type="text"/>	8"	Sanitary Sewerline SDR-35	West Bluff St., NW	Lot 1, South PL	Lot 18, North PL	/	/	/
<input type="text"/>	<input type="text"/>	8"	Sanitary Sewerline SDR-35	West Cliff Rd., NW	West Bluff St., NW	90th Street, NW	/	/	/

**ORIGINAL**

PROJECT # 1002025

SIA Sequence #	COA DRC Project #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
<b>CONTINUE SANITARY SEWERLINE</b>									
		8"	Sanitary Sewerline SDR-35	90th Street, NW	West Cliff Rd., NW	South PL, Exist SAS	/	/	/
<b>STORM SEWER</b>									
		12"	Storm Sewer Pipe RCP	West Cliff Rd., NW	West Bluff St., NW	90th Street, NW	/	/	/

**NOTES**

- 1 Water Infrastructure to Include Services, Vales, Fittings, Valve Boxes, and Fire Hydrants as Required
- 2 Catch Basin and Manholes Connection Included with Storm Sewer Pipe
- 3 Sanitary Sewer to Include Manholes and Service Connections as required
- 4 Residential Street Lights Per DPM
- 5 Certified Grading and Drainage and wall for SIA/Financial Release
- 6 Sidewalks which front the lots will be deferred and built during the construction of the individual houses
- 7
- 8
- 9

**AGENT/OWNER**

Shawn Biazar

NAME (print)

Advanced Engineering and Consulting, LLC

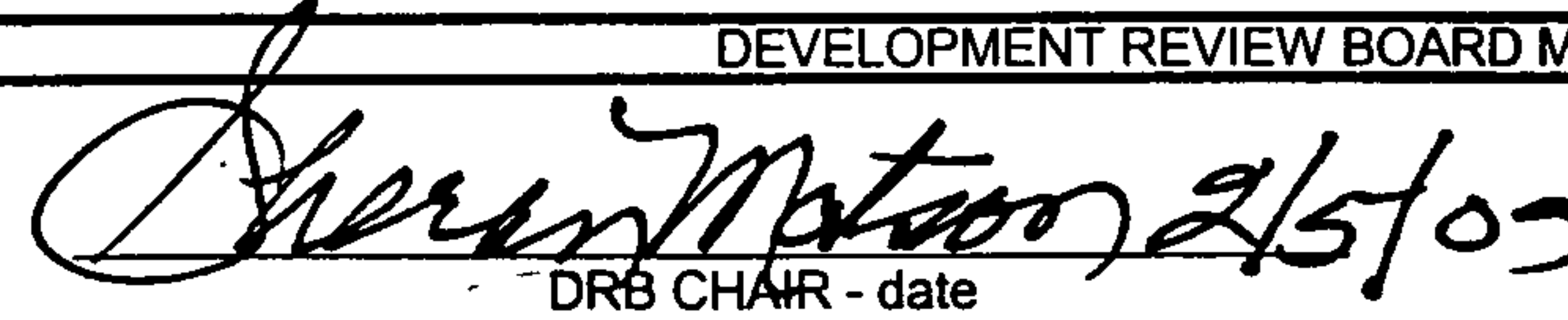
FIRM

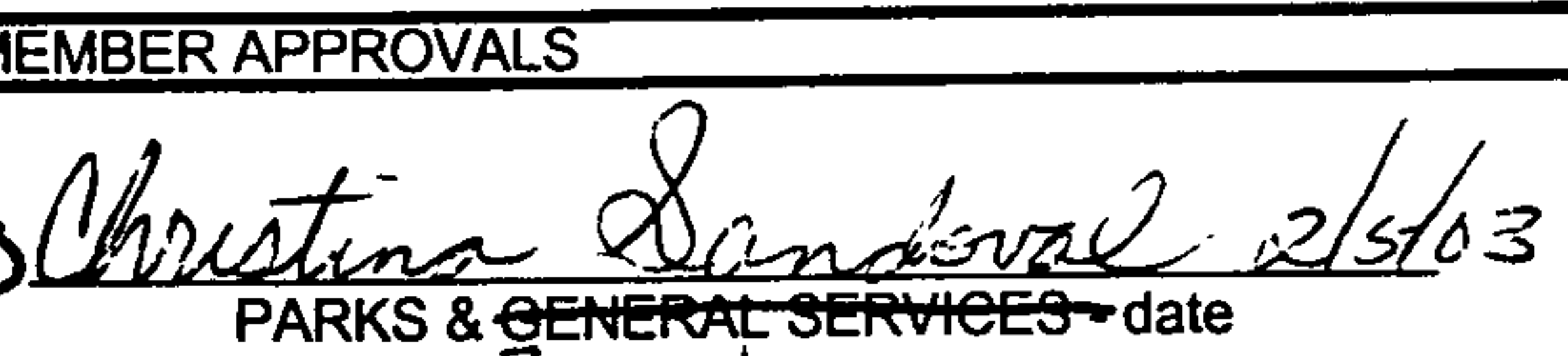
 01/9/2003  
SIGNATURE - date

MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB

EXTENSION: 2-05-05

**DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

 2/5/03  
DRB CHAIR - date


 2/5/03  
PARKS & GENERAL SERVICES - date  
*Recreation*

 2-05-03  
TRANSPORTATION DEVELOPMENT - date

N/A  
AMAFCA - date

 2/5/03  
UTILITY DEVELOPMENT - date

- date

 2/5/03  
CITY ENGINEER - date

- date

**DESIGN REVIEW COMMITTEE REVISIONS**

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT/OWNER



**SUBDIVISION**

- Major Subdivision action
- Minor Subdivision action
- Vacation
- Variance (Non-Zoning)

**SITE DEVELOPMENT PLAN**

- ... for Subdivision Purposes
- ... for Building Permit
- IP Master Development Plan
- Cert. of Appropriateness (LUCC)

Supplemental form **S**

**V**

**P**

**L**

Supplemental form **ZONING**

- Annexation & Zone Establishment
- Sector Plan
- Zone Change
- Text Amendment

**APPEAL / PROTEST of...**

- Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal

**Z**

**A**

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: Fred N. Seeley PHONE: 888-9777  
 ADDRESS: 3511 Carlisle, NE FAX: 888-1415  
 CITY: Albuquerque STATE NM ZIP 87110 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: Owner  
 AGENT (if any): Advanced Engineering and Consulting, LLC PHONE: 899-5570  
 ADDRESS: 10205 Snowflake Ct. NW FAX: 897-4996  
 CITY: Albuquerque STATE NM ZIP 87114 E-MAIL: AECLLC@AOL.COM

**DESCRIPTION OF REQUEST:** Preliminary Plat Approval for Major Subdivision, Temporary Deferral of Sidewalk Construction

Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. North Protion of Tract 6 Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv. / Adn. Lands of C.H. Hall  
 Current Zoning: SU-1 For MH Proposed zoning: Same  
 Zone Atlas page(s): K-9-Z No. of **existing** lots: 1 No. of **proposed** lots: 29 MH Lots  
 Total area of site (acres): 4.00 Density if applicable: dwellings per gross acre: 7.25 dwellings per net acre: \_\_\_\_\_  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? No  
 UPC No. 100905725320130808 MRGCD Map No. \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: 90<sup>th</sup> Street, NW  
 Between: Volcano Road, NW and Bluwate Road, NW

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX\_, Z\_, V\_, S\_, etc.): 1002025

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: 06-26-02

**SIGNATURE**

DATE 01-09-03

(Print) Shahram (Shawn) Biazar

Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised September 2001

**INTERNAL ROUTING**

- All checklists are complete
- All fees have been collected
- All case #s are assigned
- AGIS copy has been sent
- Case history #s are listed
- Site is within 1000ft of a landfill
- F.H.D.P. density bonus
- F.H.D.P. fee rebate

Application case numbers

03DRB - 00044  
03DRB - 00045  
 \_\_\_\_\_ - \_\_\_\_\_  
 \_\_\_\_\_ - \_\_\_\_\_  
 \_\_\_\_\_ - \_\_\_\_\_

Action

PP  
TDSW  
 \_\_\_\_\_  
 \_\_\_\_\_  
Notice

S.F.

S2  
V  
 \_\_\_\_\_  
 \_\_\_\_\_

Fees

\$ 1380.-  
 \$ \_\_\_\_\_  
 \$ \_\_\_\_\_  
 \$ \_\_\_\_\_  
 \$ 75.-  
 Total \$ 1455.-

Hearing date FEB 5 2003

Project # 1002025

1/10/03  
 Planner signature / date



**FORM S(2): SUBDIVISION - D.R.B. PUBLIC HEARING**

A **Bulk Land Variance** requires application on FORM-V in addition to application for subdivision on FORM-S.

**MAJOR SUBDIVISION PRELIMINARY PLAT APPROVAL**

- Proposed Preliminary Plat including the Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
  - Proposed Infrastructure List.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Property owner's and City Surveyor's signature on the proposed plat
  - FORM DRWS Drainage Report, Water & Sewer availability statement filing information
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - TIS/AQIA Traffic Impact Study / Air Quality Impact Assessment form
  - Fee (see schedule)  $565 + (15 \times 29) + (4 \times 95) + 565 + 435 = 380$
  - Any original and/or related file numbers are listed on the cover application
- Preliminary plat approval expires after one year.  
DRB Public hearings are approximately ONE MONTH after the filing deadline **Your attendance is required.**

- MAJOR SUBDIVISION AMENDMENT TO PRELIMINARY PLAT (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO INFRASTRUCTURE LIST (with significant changes)**
- MAJOR SUBDIVISION AMENDMENT TO GRADING PLAN (with significant changes)**

PLEASE NOTE: There are no clear distinctions between significant and minor changes with regard to subdivision amendments. Significant changes are those deemed by the DRB to require public notice and public hearing.

- Proposed Amended Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket) **24** copies
- Original Preliminary Plat, and/or Infrastructure List, and/or Grading Plan (folded to fit into an 8.5" by 14" pocket)
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Property owner's and City Surveyor's signature on the proposed amended plat, if the preliminary plat is being amended
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application

Amended preliminary plat approval expires after one year.  
DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

**MAJOR SUBDIVISION EXTENSION OF SUBDIVISION IMPROVEMENTS AGREEMENT**

**(Temporary sidewalk deferral uses FORM-V)**

- 1 copy of each of the following items
- Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
- Letter briefly describing, explaining, and justifying the request
- Plat or plan reduced to 8.5" x 11"
- Official D.R.B. Notice of the original approval
- Approved Infrastructure List. If not applicable, please initial. \_\_\_\_\_
- Previous SIA extension notice, if one has been issued. If not applicable, please initial. \_\_\_\_\_
- Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
- Sign Posting Agreement
- Any original and/or related file numbers are listed on the cover application

**DRB Public hearings are approximately ONE MONTH after the filing deadline.** Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

SAHRAM BAZAR  
Applicant name (print)

[Signature] 1-9-03  
Applicant signature / date



Form revised September 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers  
 O3DRB - 00044  
 O3DRB - 00045

[Signature] 1/10/03  
Planner signature / date

**Project #** 1002025

**FORM V: SUBDIVISION VARIANCES & VACATIONS**

**BULK LAND VARIANCE FROM SUBDIVISION DESIGN STANDARDS**

- Application for subdivision (Plat) on FORM S, including those submittal requirements Variance and subdivision should be applied for simultaneously.
  - Letter briefly describing and explaining: the request, compliance with criteria in the Development Process Manual, and any improvements to be waived
  - Notice on the proposed Plat that there are conditions to subsequent subdivision (refer to DPM)
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule) Fee is for Variance. Plat fee is listed on FORM-S.
  - Any original and/or related file numbers are listed on the cover application
- DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

**VACATION OF PUBLIC RIGHT-OF-WAY**

**VACATION OF PUBLIC EASEMENT**

- The complete document which created the public easement (folded to fit into an 8.5" by 14" pocket) **24** copies. (Not required for dedicated and City owned public right-of-way.)
  - Drawing showing the easement or right-of-way to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) **24** copies
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Office of Community & Neighborhood Coordination inquiry response, notifying letter, certified mail receipts
  - Sign Posting Agreement
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB Public hearings are approximately ONE MONTH after the filing deadline. **Your attendance is required.**

**VARIANCE FROM MINIMUM STANDARDS OF THE DEVELOPMENT PROCESS MANUAL**

**SIDEWALK DESIGN VARIANCE**

**SIDEWALK WAIVER**

- Scale drawing showing the proposed variance or waiver (folded to fit into an 8.5" by 14" pocket) **6** copies for unadvertised meetings. These actions are not approved through internal routing.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the variance or waiver
  - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**

**EXTENSION OF THE SIA FOR TEMPORARY DEFERRAL OF SIDEWALK CONSTRUCTION**

- Drawing showing the sidewalks subject to the proposed deferral or extension (folded to fit into an 8.5" by 14" pocket) **6** copies for unadvertised meetings. These actions are not approved through internal routing.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the deferral or extension
  - Any original and/or related file numbers are listed on the cover application
- DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**VACATION OF PRIVATE EASEMENT**

- The complete document which created the private easement (folded to fit into an 8.5" by 14" pocket) **6** copies for unadvertised meetings. These actions are not approved through internal routing.
  - Scale drawing showing the easement to be vacated, its relation to existing streets, etc. (folded to fit into an 8.5" by 14" pocket) **6** copies
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the vacation
  - Letter of authorization from the grantors and the beneficiaries
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Unless the vacation is shown on a DRB approved plat recorded by the County Clerk within one year, it will expire. DRB meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

SHAHRAM BIAZAK Applicant name (print)  
[Signature] Applicant signature / date  
 1-9-03



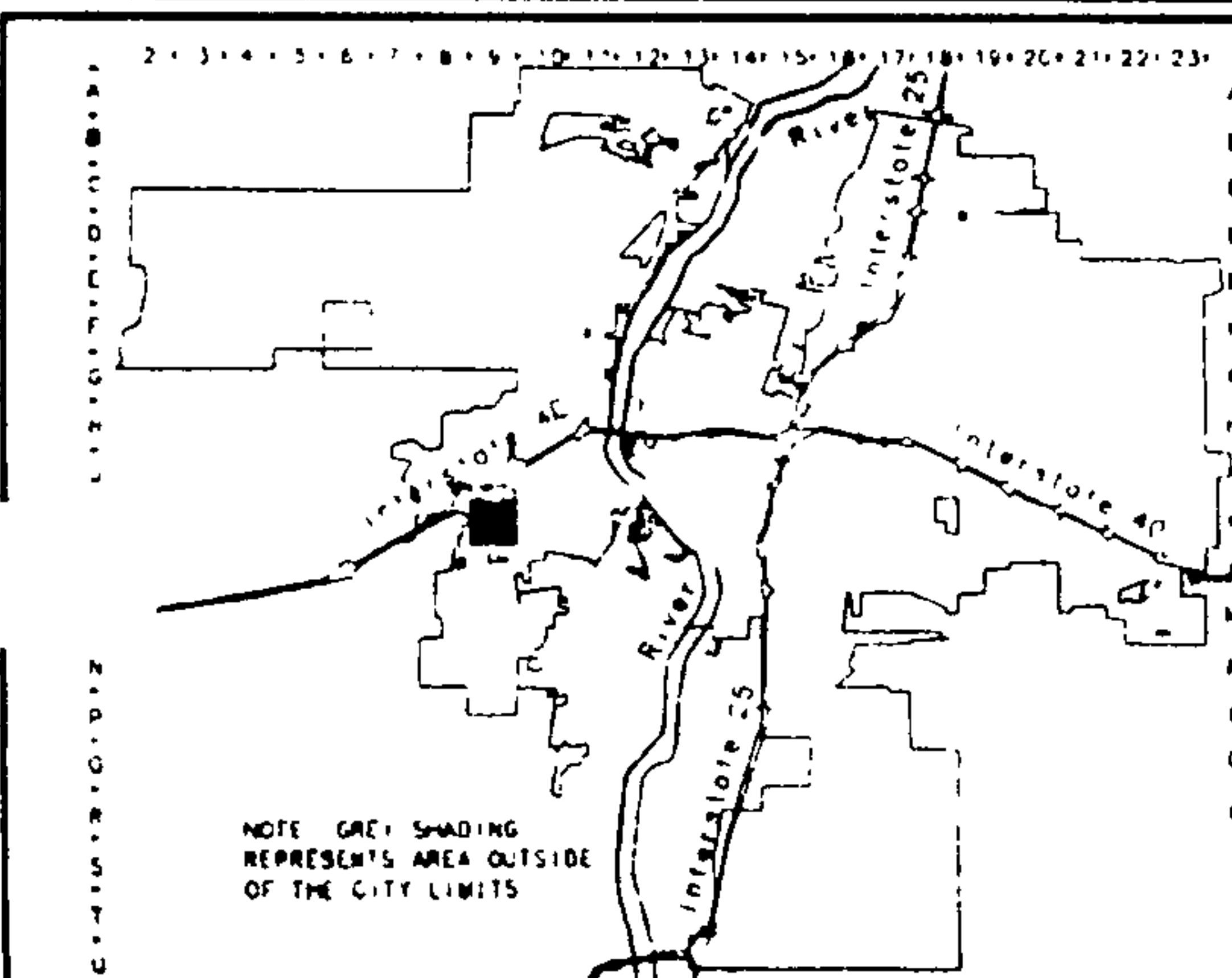
Form revised September 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

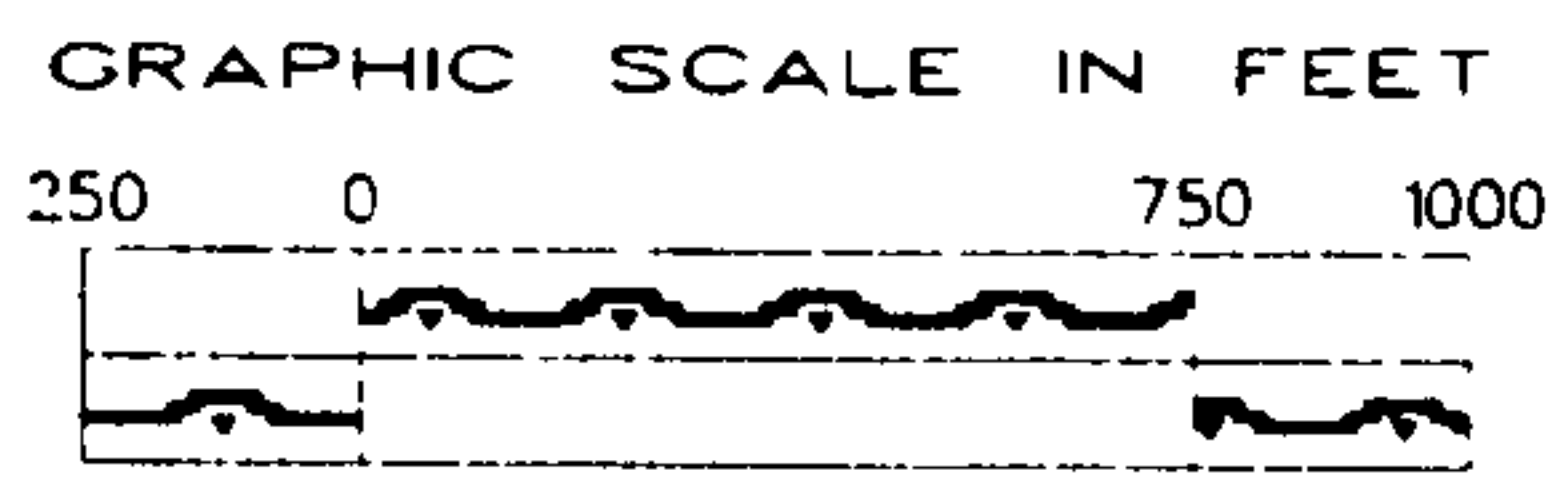
Application case numbers  
 03DRB- \_\_\_\_\_ - 00044  
 03DRB- \_\_\_\_\_ - 00045

[Signature] 1/10/03  
 Planner signature / date  
**Project # 1002025**





CITY OF  
Albuquerque  
A Bureau Geographic Information System  
PLANNING DEPARTMENT  
© Copyright 2001

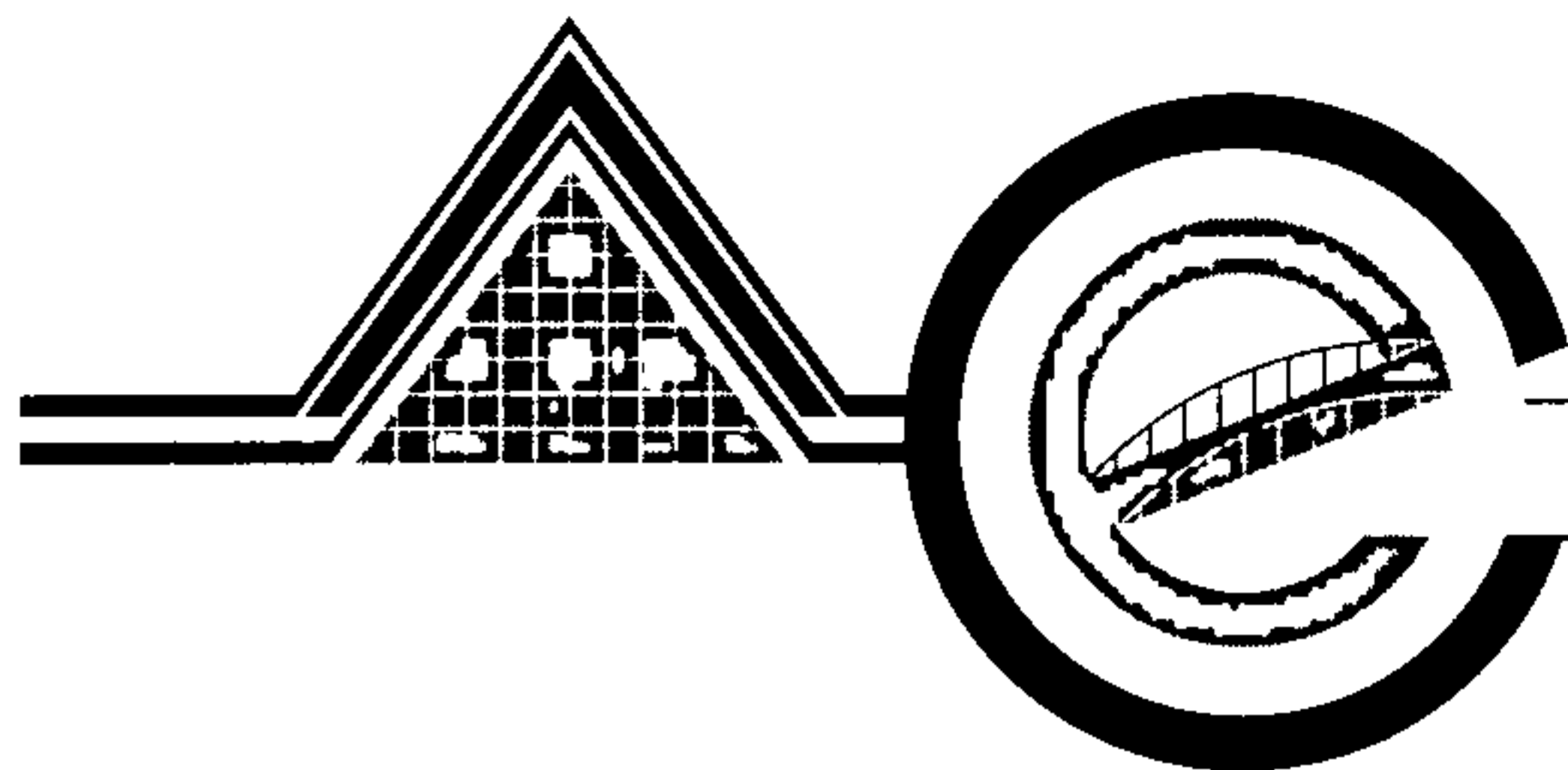


**Zone Atlas Page**

**K-9-Z**

Map Amended through March 21, 2001





ADVANCED ENGINEERING and CONSULTING, LLC

January 10, 2003

*Consulting  
Design  
Development  
Management  
Inspection  
Surveying*

Mr. Roger Green, PE  
DRB Chairperson  
Plaza Del Sol-2<sup>nd</sup> Floor West  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

RE: Preliminary Plat Approval, Temporary Deferral of Sidewalk Construction For  
North Portion of Tract 6, Lands of C.H. Hall, ±0.8217 Acre, Zone Atlas Page K-9-Z,  
Proj. # 1002025, 02EPC-01142 SDP-Subdivision, 02EPC-01143 SDP-Building Permit

Dear Mr. Green:

Advanced Engineering and Consulting on behalf of Fred Seeley is requesting preliminary plat approval, and temporary deferral of side walk construction. We also requesting approval of the grading and drainage plan dated 10-09-02.

This site is located on 90<sup>th</sup> Street, NW, between Volcano Road and Blue Water Road, NW., containing 4.00 acres. The site plan for subdivision and building permit was approved with condition by EPC on September 19, 2002. We are also submitting the site plan for final signature to DRB. Attached are 24 copies of proposed preliminary plat and grading and drainage plan.

These mobile homes lots are for sale and most likely all the building are on the permanent foundation. The owner is requesting the temporary deferral of construction of the sidewalks to build them as the lots get constructed.

Please contact me if there are any questions or concerns regarding this submittal.

Sincerely yours,

Shahram (Shawn) Biazar, Managing Member

FORM DRWS: DRAINAGE REPORT / WATER & SEWER AVAILABILITY

THIS FORM IS REQUIRED WITH THE DEVELOPMENT REVIEW BOARD APPLICATION FOR MAJOR SUBDIVISIONS AND SITE DEVELOPMENT PLANS.

PROJECT NAME West Plateau Mobile Home Subdivision

AGIS MAP # K-9

LEGAL DESCRIPTION North Portion of Tract 6, Lands of C.H. Hall

     DRAINAGE REPORT

A drainage report, as per the Drainage Ordinance, was submitted to the City of Albuquerque Public Works Department, Hydrology Division ( 2nd floor Plaza del Sol ) on 10-9-02 [date]

[Signature]

Applicant / Agent

1-10-03

Date

Letter 11/7/02

[Signature]

Hydrology Division Representative

1-10-03

Date

WATER AND SEWER AVAILABILITY STATEMENT

A Water and Sewer Availability Statement for this project was requested from the City of Albuquerque Utilities Development Division ( 2nd floor Plaza del Sol ) on July 23, 2002 [date]

[Signature]

Applicant / Agent

1-10-03

Date

Letter 7/23/02

[Signature]

Utilities Division Representative

1-10-03

Date

DRB# \_\_\_\_\_

# CITY OF ALBUQUERQUE

## TRAFFIC IMPACT STUDY (TIS) / AIR QUALITY ASSESSMENT (AQIA) FORM

APPLICANT: Advanced Engineering and Consulting, LLC Date of request: 07 / 24 / 02 Zone atlas page(s): K-9

CURRENT: Zoning SU-1 for MH Legal Description - Lot or Tract # Tract 6 Block #

Parcel Size (acres / sq.ft.) 4.00 acres / 174,240 SF Subdivision Name Lands of C.H. Hall

### REQUESTED CITY ACTION(S):

Annexation	[ ]	Sector Plan	[ ]	Site Development Plan:	Building Permit	<input checked="" type="checkbox"/>
Comp. Plan		Zone Change	[ ]	a) Subdivision	Access Permit	[ ]
Amendment	[ ]	Conditional Use	[ ]	b) Build'g Purposes	Other	[ ]
				c) Amendment		[ ]

### PROPOSED DEVELOPMENT:

No construction / development [ ]  
 New Construction [ ]  
 Expansion of existing development [ ]

### GENERAL DESCRIPTION OF ACTION: 1

# of units - 29 Lots SU-1 FOR MH  
 Building Size -  (sq. ft.)

Notes: 1. Changes made to development proposals / assumptions, from the information provided above, may change the TIS or AQIA analysis requirements.

Applicant or Representative [Signature] Date 07-24-02  
(To be signed upon completion of processing by Traffic Engineer and Environmental Health)

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES [ ] NO  BORDERLINE [ ]

PWD, Dev. & Bldg. Services Div., Transportation Dev. Section - 2nd FL. 600 2nd St. NW Plaza del Sol Bldg. 924-3991 or 3994

THRESHOLDS MET? YES [ ] NO  Mitigating reasons for not requiring TIS: Previously studied: [ ]

Notes: SINGLE MANUFACTURED HOME LOTS

IF A TIS IS REQUIRED: A scoping meeting (as outlined in the Development Process Manual) must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new TIS.

[Signature] 7-24-02  
TRAFFIC ENGINEER DATE

AIR QUALITY IMPACT ASSESSMENT (AQIA) REQUIRED: YES [ ] NO  BORDERLINE [ ]

ENVIRONMENTAL HEALTH DEPT. Air Quality Div. 3rd Floor / Rm. 3023 City/County Bldg. 768-2600

THRESHOLDS MET? YES [ ] NO  Mitigating reasons for not requiring AQIA: Previously studied: [ ]

Notes:

IF AN AQIA IS REQUIRED: a scoping meeting must be held to define the level of analysis needed and the parameters of the study. Any subsequent changes to the development proposal identified above may require an update or new AQIA.

\* Exempt for EHD 7/24/02 Proposed does not meet min. thresholds to require AQIA  
ENVIRONMENTAL HEALTH DATE

Required TIS and / or AQIA must be completed prior to applying to the EPC. Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS - SUBMITTED \_\_\_/\_\_\_/\_\_\_  
- FINALIZED \_\_\_/\_\_\_/\_\_\_ TRAFFIC ENGINEER DATE

AQIA - SUBMITTED \_\_\_/\_\_\_/\_\_\_  
- FINALIZED \_\_\_/\_\_\_/\_\_\_ ENVIRONMENTAL HEALTH DATE

TO BE COMPLETED BY APPLICANT

TRANSPORTATION DEVELOPMENT

ENVIRONMENTAL HEALTH





# City of Albuquerque

**PLEASE NOTE:** The Neighborhood Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office. It is your responsibility to provide current information – outdated information may result in a deferral of your case.

Date: July 14, 2002

Planning Department  
Plaza Del Sol Building  
600 Second St. NW  
Second Floor (924-3860)

This letter will serve to notify you that on July 16, 2002  
(date)

TO CONTACT NAME: Shawn Bazar  
COMPANY/AGENCY: Advanced Engineering & Consulting, LLC  
ADDRESS/ZIP: 10205 Snowflake Ct NW 87114  
PHONE/FAX #: 899-5570 / 897-4996

Contacted the Office of Community and Neighborhood Coordination requesting the contact names for any Recognized Neighborhood Associations affected by their request concerning a Zoning Action or Site Development Plan, etc. at Tract 6 Lands of C.H. Hall located on 90th St. NW  
zone map page(s) K-9.

Our records indicate that as of 7-16-02, there were **no Recognized**  
(date)

**Neighborhood Associations** in this area.

If you have any questions about the information provided, please contact our office at (505) 924-3914 or by fax at 924-3913.

Sincerely,

Dalaina A. Carmona  
OFFICE OF COMMUNITY AND NEIGHBORHOOD COORDINATION

ONE STOP SHOP ••• FRONT COUNTER  
City of Albuquerque • Planning Department

DEVELOPMENT & BUILDING SERVICES (D&B Svcs)  
LAND DEVELOPMENT COORDINATION SECTION (LDC)  
Plaza Del Sol -2nd & 4<sup>TH</sup> Floor West - 600 2nd St NW 87102  
Front Counter Main Number (505) 924-3858 or 924-3895  
Main Fax (505) 924-3864

**PAID RECEIPT**

**APPLICANT NAME** Freed Seeley  
**AGENT** AE + C  
**ADDRESS** \_\_\_\_\_  
**PROJECT NO.** 100 2025  
**APPLICATION NO.** \_\_\_\_\_

\$ 1380. 441006 / 4983000 (DRB Cases)  
\$ \_\_\_\_\_ 441006 / 4971000 (EPC & AA / LUCC / Appeals)  
\$ 75. 441018 / 4971000 (Notification)  
  
\$ 1455.- **Total amount due**

2316

ADAMS INVESTMENT COMPANY, LLC

DATE 1/9/03

95-32 NM  
1124 1070

\$ 1455.00

DOLLARS  Security Features Included. Details on Back.

City of Albuquerque

PAY TO THE ORDER OF City of Albuquerque  
Fourteen Hundred Fifty-Five and 10/100



FOR Street Project

[Signature]

⑆001107000327⑆ 000162707137⑆

City of Albuquerque  
Treasury Division

01/10/2003 12:17PM LOC: ANN  
X  
RECEIPT# 00002002 WS# 007 TRANSH# 0027  
Account 441006 Fund 0000  
Activity 498300010/28/02 TRSCCS  
Trans Amt \$1,455.00  
J24 Misc \$1,380.00

CHARGE  
CN  
TRANS AMT  
J24 MISC  
FOR  
RECEIPT# 00002002  
TRANS# 0027  
Fund 0000  
\$1,455.00  
TRSCCS  
\$75.00  
\$1,455.00

\*\*\*PLICATE\*\*\*  
City of Albuquerque  
Treasury Division  
1/10/03 12:17PM  
LOC: ANN  
counterreceipt.doc

ONE STOP SHOP ••• FRONT COUNTER  
City of Albuquerque • Planning Department

DEVELOPMENT & BUILDING SERVICES (D&B Svcs)  
LAND DEVELOPMENT COORDINATION SECTION (LDC)  
Plaza Del Sol - 2nd & 4<sup>TH</sup> Floor West - 600 2nd St NW 87102  
Front Counter Main Number (505) 924-3858 or 924-3895  
Main Fax (505) 924-3864

### PAID RECEIPT

**APPLICANT NAME** Freed Seeley  
**AGENT** AE + C  
**ADDRESS** \_\_\_\_\_  
**PROJECT NO.** 100 2025  
**APPLICATION NO.** \_\_\_\_\_


\$ 1380. 441006 / 4983000 (DRB Cases)  
\$ \_\_\_\_\_ 441006 / 4971000 (EPC & AA / LUCC / Appeals)  
\$ 75. 441018 / 4971000 (Notification)  
\$ 1455.- Total amount due

2316

ADAMS INVESTMENT COMPANY, LLC

DATE 1/9/03

95-32  
1124 1070 NM

City of Albuquerque  
PAY TO THE ORDER OF Twenty Four Hundred Fifty-Five and 10/100 \$ 1455.00  
Bank of America. DOLLARS  Security Features Included. Details on Back.

RECEIVED # 00002002 WSH# 007 TRANS# 0027  
ACCOUNT# 441006 Fund 0000  
ACTIVITY 4983000  
Trans Amt \$1,455.00  
J24 Misc \$75.00  
CK \$1,455.00

01/10/2003 12:17PM  
RECEIPT# 00002002 WSH# 007 TRANS# 0027  
Account 441006 Fund 0000  
Activity 4983000 10/28/02 TRSCCS  
Trans Amt \$1,455.00  
J24 Misc \$1,380.00

\*\*\* DUPLICATE \*\*\*  
City of Albuquerque  
Treasury Division  
counterreceipt.doc  
LOC: ANN



# SIGN POSTING REQUIREMENTS

## POSTING SIGNS ANNOUNCING PUBLIC HEARINGS

All persons making application to the City under the requirements and procedures established by the City Zoning Code or subdivision Ordinance are responsible for the posting and maintaining of one or more signs on the property which the application describes. Vacations of public rights-of-way (if the way has been in use) also require signs. Waterproofed signs will be provided at the time of application. If the application is mailed, you must still stop at the Planning Division to pick up the sign.

The applicant is responsible for ensuring that the signs remain posted throughout the 15-day period prior to public hearing. Failure to maintain the signs during this entire period may be cause for deferral or denial of the application. Replacement signs for those lost or damaged are available from the Planning Division at a charge of \$3.00 each.

### 1. LOCATION

- A. The sign shall be conspicuously located. It shall be located within twenty feet of the public sidewalk (or edge of public street). Staff may indicate a specific location.
- B. The face of the sign shall be parallel to the street, and the bottom of the sign shall be two to seven feet from the ground.
- C. No barrier shall prevent a person from coming within five feet of the sign in order to read it.

### 2. NUMBER

- A. One sign shall be posted on each paved street frontage. Signs maybe required on unpaved street frontages.
- B. If the land does not abut a public street, then in addition to a sign placed on the property a sign shall be placed on and at the edge of the public right-of-way of the nearest paved City street. Such a sign must direct readers toward the subject property by an arrow and an indication of distance.

### 3. PHYSICAL POSTING

- A. A heavy stake with two crossbars or a full plywood backing works best to keep the sign in place, especially during high winds.
- B. Large headed nails or staple are best for attaching signs to a post or backing; the sign tears out less easily.

### 4. TIME

Signs must be posted from JAN 21 2003 To FEB 5 2003.

### 5. REMOVAL

- A. The sign is not to be removed before the initial hearing on the request.
- B. The sign should be removed within five (5) days after the initial hearing.

I have read this sheet and discussed it with the Planning Division staff. I understand (A) my obligation to keep the sign(s) posted for fifteen (15) days and (B) where the sign(s) are to be located. I am being given a copy of this sheet.

 1-10-03  
(Applicant or Agent) (Date)

I issued 1 signs for this application, 1/10/03, JM  
(Date) (Staff Member)

03 DRB { 00044  
                  00045

Page 1002025

NOTICE OF SUBDIVISION PLAT CONDITIONS

TRACTS 1-B-1-C THRU 1-B-1-G-1  
SEVILLE

The plat of TRACTS 1-B-1-C THRU 1-B-1-G-1, Seville has been granted a variance or waiver from certain subdivision requirements pursuant to Section 7 of the City of Albuquerque Subdivision Ordinance.

Future subdivision of lands within this plat, zoning Site Development Plan approvals, and development permits may be conditioned upon dedication of right-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading, and parks in accordance with current resolutions, ordinances, and policies in effect at the time for any specific proposal.

The City and AMAFCA (with reference to drainage) may require and/or permit easements to be added, modified, or removed when future plats and/or Site Development Plans are approved.

By its approval of this subdivision, the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements; drainage requirements and/or improvements; and excavation, filling, or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

At such time as all such conditions have been satisfactorily met, the City Engineer shall approve a recordable document, removing such conditions from all of from a portion of the area within the subject subdivision.

A SEPARATE NOTICE OF THESE CONDITIONS WAS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON 2-11-03, 2003 IN VOLUME 2003022198, PAGE 209C/30.

2003022198

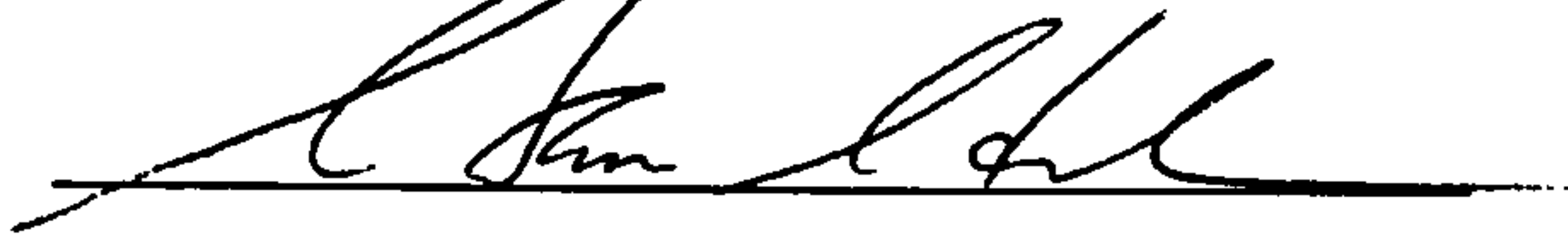
2003C/30



**ACKNOWLEDGEMENT**

TRACTS 1-B-1-C, 1-B-1-D, 1-B-1-E, 1-B-1-G

WESTFORK, LIMITED

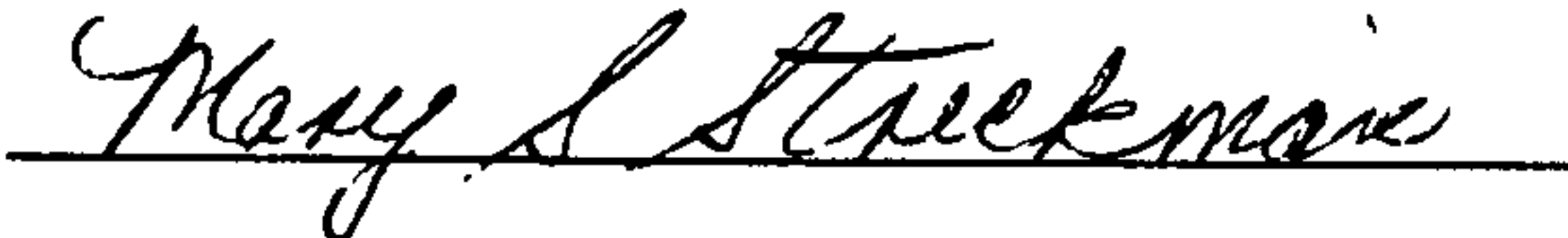


By: Stan Strickman, Vice President  
Trails Management, Inc.  
General Partner

STATE OF NEW MEXICO SS

COUNTY OF BERNALILLO

On this 6 th day of February, 2003, before me the undersigned, a Notary Public, personally appeared, Stan Strickman, as vice president of Trails Management, Inc..



Notary Public

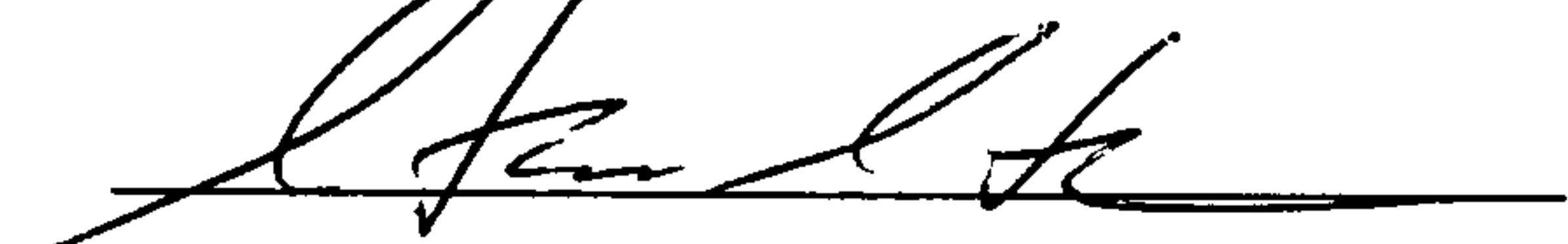
My Commission expires: \_\_\_\_\_



OFFICIAL SEAL  
MARY S. STRICKMAN  
NOTARY PUBLIC-STATE OF NEW MEXICO  
My commission expires: 3-9-2003

TRACT 1-B-1-F

CURB WEST, INC.

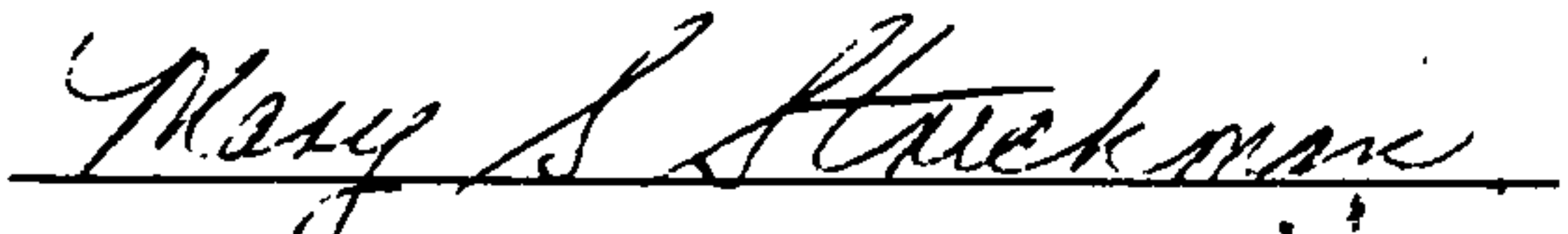


By: Stan Strickman, Vice President

STATE OF NEW MEXICO SS

COUNTY OF BERNALILLO

On this 6 th day of February, 2003, before me the undersigned, a Notary Public, personally appeared, Stan Strickman, as vice president of Curb West, Inc.



Notary Public

My Commission expires: \_\_\_\_\_

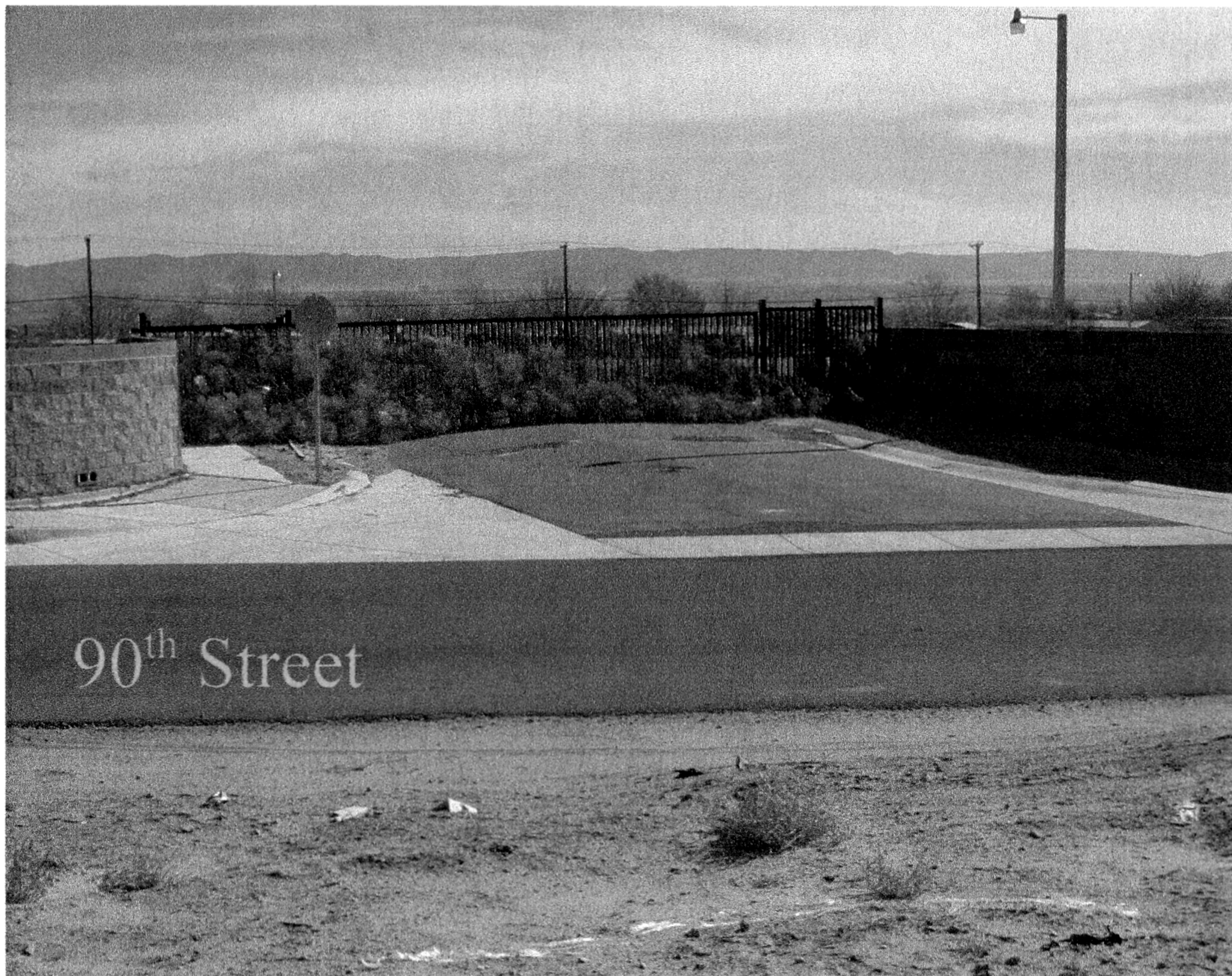


OFFICIAL SEAL  
MARY S. STRICKMAN  
NOTARY PUBLIC-STATE OF NEW MEXICO  
My commission expires: 3-9-2003





Emergency Entrance to Los Volcanos Mobile Home Park On  
The East Side Of 90<sup>th</sup> Street  
(Across West Plateau Mobile Home Subdivision)



#1002025





CITY OF ALBUQUERQUE  
PLANNING DEPARTMENT  
DEVELOPMENT REVIEW BOARD

June 26, 2002

**12. Project #1002025  
Application # 02DRB-00926  
Lands of CH Hall**

---

1. The site lies within the boundaries of the West Route 66 Sector Development Plan. Future development must be in compliance with all goals, policies and regulations.
2. The site is zoned SU-1 MH. Prior to the DRB acting on a plat, approval of a site development plan for subdivision/building permit must be obtained from the EPC. The plat and site plan should be brought to DRB concurrently.

  
-----  
Janet Cunningham-Stephens, DRB Chair  
Planning Manager, Land Development Coordination  
Tel: 505-924-3880 FAX: 505-924-3864



# City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

## DEVELOPMENT REVIEW BOARD TRANSPORTATION DEVELOPMENT Standard Comment Sheet

DRB-1002025

Item No. 12

Zone Atlas K-9

DATE ON AGENDA 6-26-02

INFRASTRUCTURE REQUIRED (x)YES ( )NO

CROSS REFERENCE: \_\_\_\_\_  
\_\_\_\_\_

**TYPE OF APPROVAL REQUESTED:**

- (x) SKETCH PLAT ( ) PRELIMINARY PLAT ( ) FINAL PLAT
- ( ) SITE PLAN REVIEW AND COMMENT ( ) SITE PLAN FOR SUBDIVISION
- ( ) SITE PLAN FOR BUILDING PERMIT

No.	Comment
<input type="checkbox"/>	The standard street improvements are required on an infrastructure list.
<input type="checkbox"/>	The streets need to meet the requirements of the DPM.

**If you have any questions or comments please call Richard Dourte at 924-3990. Meeting notes:**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_





**City of Albuquerque**  
**Parks and Recreation Department**  
PO Box 1293, Albuquerque, New Mexico 87103  
Inter-Office Correspondence

Development Review Board Comments

**Project Number:** 1002025  
**Application Number:** 02DRB-00926

**DRB Date:** 6/26/02  
**Item Number:** 12

**Subdivision:** Lands of C H Hall  
Tract 6, Lands of C H Hall

**Zoning:** SU-1 For MH

**Zone Page:** K-9

**New Lots (or units) :** 29

**Request for:**

- Sketch Plat Review & Comment
- Bulk Land Variance
- Site Development Plan for Subdivision
- Site Development Plan for Building Permit
- Preliminary Plat
- Final Plat
- Vacation of Public RoW
- Vacation of Public Easement
- Vacation of Private Easement
- Temp. Deferral of Sidewalk Construction
- Sidewalk Variance
- SIA Extension
- Other

**Parks and Recreation Comments:**

This request will be subject to the following requirements of the City Park Dedication and Development Ordinance:

Prior to sign-off on the final plat, a fee in-lieu of and equal to the value of the required park land dedication for 29 new residential lots will be required. The fee will be based on an estimate of land value to be provided by the City Real Property office. Alternatively, the applicant may submit current appraisal information mutually acceptable to the applicant and the City.

The park development requirement will be met via the payment of a fee prior to issuance of building permit for each new dwelling unit.

The SU-1 zone within the Developing Urban area of the Comprehensive Plan requires detached open space for each dwelling unit. If this site is within the Developing Urban area, please address this requirement at time of platting to the DRB.

**Signed:** Deborah Hilyard (PRD)  
~~Christina Sandoval, (PRD)~~

Phone: 768-5328



**City of Albuquerque**  
**CITY OF ALBUQUERQUE**  
 P.O. BOX 4293 ALBUQUERQUE, NEW MEXICO 87103  
**PUBLIC WORKS DEPARTMENT**  
**DEVELOPMENT SERVICE**  
**HYDROLOGY DEVELOPMENT SECTION**

**DEVELOPMENT REVIEW BOARD--SPEED MEMO**

**DRB CASE NO/PROJECT NO: 1002025**

**AGENDA ITEM NO: 12**

**SUBJECT:**

- |                                |                                 |                                     |
|--------------------------------|---------------------------------|-------------------------------------|
| <b>(01)</b> Sketch Plat/Plan   | <b>(05)</b> Site Plan for Subd  | <b>(10)</b> Sector Dev Plan         |
| <b>(02)</b> Bulk Land Variance | <b>(06)</b> Site Plan for BP    | <b>(11)</b> Grading Plan            |
| <b>(03)</b> Sidewalk Variance  | <b>(07)</b> Vacation            | <b>(12)</b> SIA Extension           |
| <b>(03a)</b> Sidewalk Deferral | <b>(08)</b> Final Plat          | <b>(13)</b> Master Development Plan |
| <b>(04)</b> Preliminary Plat   | <b>(09)</b> Infrastructure List | <b>(14)</b> Other                   |

**ACTION REQUESTED:**

REV/CMT:(x) APP:() SIGN-OFF:() EXTN:() AMEND:()

**ENGINEERING COMMENTS:**

An approved drainage report is required for Preliminary Plat approval.  
 An approved infrastructure list is required for Preliminary Plat approval.

**RESOLUTION:**

APPROVED \_\_\_\_; DENIED \_\_\_\_; DEFERRED \_\_\_\_; COMMENTS PROVIDED \_\_\_\_; WITHDRAWN

SIGNED-OFF: (SEC-PLN) (SP-SUB) (SP-BP) (FP) BY: (UD) (CE) (TRANS) (PKS) (PLNG)

DELEGATED: (SEC-PLN) (SP-SUB) (SP-BP) (FP) TO: (UD) (CE) (TRANS) (PKS) (PLNG)

FOR:

**SIGNED:** Bradley L. Bingham  
 City Engineer/AMAFCA Designee

**DATE:** June 26, 2002



**DEVELOPMENT REVIEW BOARD  
ACTION SHEET**

**Plaza del Sol Hearing Room, Basement, Plaza del Sol Building**

June 26, 2002

9:00 a.m.

**MEMBERS:**

Janet Stephens, DRB Chair  
Claire Senova, Administrative Assistant

Richard Dourte, Transportation Development  
Brad Bingham, Alternate City Engineer

Roger Green, Utility Development  
Christina Sandoval, Parks & Recreation

\*\*\*\*\*

**NOTE:** UNLESS ANNOUNCED DURING THE MEETING, THE DEVELOPMENT REVIEW BOARD WILL NOT TAKE A LUNCH BREAK.

**NOTE:** INDIVIDUALS WITH DISABILITIES WHO NEED SPECIAL ASSISTANCE TO PARTICIPATE AT THIS MEETING SHOULD CONTACT CLAIRE SENOVA, PLANNING DEPARTMENT, AT 924-3946 (VOICE) OR TELETYPEWRITER (TTY) 924-3361 - TTY USERS MAY ALSO ACCESS THE VOICE NUMBER VIA THE NEW MEXICO RELAY NETWORK BY CALLING TOLL-FREE:1-800-659-8331.

**NOTE:** REQUESTS FOR DEFERRAL OF CASES WILL BE DISCUSSED BY THE BOARD AND THE APPLICANT AND/OR AGENT AT THE BEGINNING OF THE AGENDA. BOTH PARTIES MUST AGREE UPON THE DATE OF DEFERRAL. IF THE APPLICANT/AGENT IS NOT PRESENT, THE BOARD SECRETARY MUST RECEIVE A LETTER, PRIOR TO THE HEARING DATE, REQUESTING A SPECIFIC DEFERRAL DATE. THE BOARD WILL DISCUSS AND MAKE A DECISION AT THE HEARING. THE APPLICANT/AGENT WILL THEN BE INFORMED OF THE DEFERRAL DATE AND REASON.

- A. Call to Order
- B. Changes and/or Additions to the Agenda
- C. Announcements

**CASES WHICH REQUIRE PUBLIC NOTIFICATION**

**MAJOR SUBDIVISIONS, VACATIONS, SIA EXTENSIONS AND SITE DEVELOPMENT PLANS**

1. **Project # 1000196**  
02DRB-00845 Major-Two Year SIA

BEN RUIZ agent(s) for BEN RUIZ request(s) the above action(s) for all or a portion of Tract(s) C1B, **CORONADO SAVINGS & LOAN**, zoned C-1 neighborhood commercial zone, located on COORS BLVD NW, between REDLANDS NW and SEQUOIA NW containing approximately 2 acre(s). (G-11) **THE SIA EXTENSION WAS APPROVED TO THE CONSTRUCTION COMPLETION DEADLINE DATE OF 1/15/03. THIS WILL BE THE LAST EXTENSION.**



2. **Project # 1001757**  
02DRB-00793 Major-Vacation of  
Public Easements  
02DRB-00792 Major-Preliminary Plat  
Approval  
02DRB-00794 Minor-Temp Defer  
SDWK

MARK GOODWIN & ASSOCIATES, PA agent(s) for STV INVESTMENTS request(s) the above action(s) for all or a portion of Lot(s) 1-4, **LANDS OF CARLOS BARELAS**, zoned R-T, located on BRIDGE BLVD SW, between COORS BLVD. SW and UNSER BLVD. SW containing approximately 5 acre(s). [REF: 02EPC 00286/00285 ][DEFERRED FROM 6/19/02] (K-10) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/26/02 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 6/25/02 THE PRELIMINARY PLAT WAS APPROVED. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS WAS APPROVED FOR THE FRONTAGE AND SIDE YARDS OF THE DEVELOPABLE LOTS ON THE INTERIOR STREETS AS SHOWN ON EXHIBIT C IN THE PLANNING FILE.**

3. **Project # 1000296**  
02DRB-00544 Major-Vacation of  
Public Right-of-Way  
02DRB-00545 Major-Vacation of  
Public Easements  
02DRB-00546 Minor-Sidewalk Waiver  
02DRB-00547 Minor-Temp Defer  
SDWK  
02DRB-00548 Major-SiteDev Plan  
Subd  
02DRB-00549 Major-SiteDev Plan  
BldPermit  
02DRB-00550-Major-Preliminary Plat

BOHANNAN HUSTON, INC. agent(s) for ALTURA WEST LTD. CO. request(s) the above action(s) for all or a portion of Tract(s) B1, OXBOW PARK SUBDIVISION (to be known as **THE ENCLAVE AT OXBOW**) zoned SU-3, located on ST. JOSEPH DRIVE NW, between COORS BLVD. NW and ALAMOGORDO DR. NW containing approximately 12 acre(s). [REF: 02500 00234] [Deferred from 6/19/02] (G-11) **THE VACATIONS (00544 AND 00545) WERE APPROVED AS SHOWN ON EXHIBIT A IN THE PLANNING FILE. WITH THE SIGNING OF THE INFRASTRUCTURE LIST DATED 6/26/02 AND APPROVAL OF THE GRADING PLAN ENGINEER STAMP DATED 6/20/02 THE PRELIMINARY PLAT WS APPROVED WITH THE FOLLOWING CONDITION OF FINAL PLAT: OXBOW PARK MUST BE REPLATTED TO PROVIDE A 20 FOOT PUBLIC SANITARY SEWER LINE EASEMENT THROUGH LOT 51. TEMPORARY DEFERRAL OF CONSTRUCTION OF SIDEWALKS WAS APPROVED FOR THE FRONTAGE AND SIDE YARDS OF THE DEVELOPABLE LOTS ON THE INTERIOR STREETS AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. A SIDEWALK VARIANCE FOR WAIVER OF SIDEWALKS WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE. SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT AND PLANNING. SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT AND PLANNING.**

4. **Project # 1001789**  
02DRB-00405 Major-Vacation of Pub  
Right-of-Way

JOSE A VENZOR agent(s) for JOSE A. VENZOR request(s) the above action(s) for all or a portion of Lot(s) 15&16, Block(s) 6 17-28 & LOTS 1-3, **MONTE VISTA ADDITION**, zoned SU-2, CCR, located on EW ALLEY N. OF CENTRAL AV NE, between WELLESLEY DR. NE and TULANE DR. NE containing approximately 3 acre(s). [REF: Z-76-42, ZA-78-71, VAC. ORD. 76-37 ] [Deferred from 6/19/02] (K-16) **VACATION WAS APPROVED AS SHOWN ON EXHIBIT B IN THE PLANNING FILE WITH THE FOLLOWING CONDITIONS OF PRELIMINARY PLAT APPROVAL: 1) THE SANITARY SEWER EASEMENT IS RETAINED IN THE VACATED ALLEY (OR) THE SANITARY SEWER LINE IS RELOCATED PRIOR TO FINAL PLAT APPROVAL. 2) WRITTEN VERIFICATION FROM THE REFUSE DEPARTMENT STATING THAT THEY DO NOT HAVE ANY OBJECTIONS TO THE VACATION IS REQUIRED. THIS VERIFICATION IS NEEDED PRIOR TO PRELIMINARY PLAT APPROVAL.**

5. **Project # 1001725**  
02DRB-00767 Major-Preliminary Plat  
Approval  
02DRB-00766 Major-Bulk Land  
Variance

TIERRA WEST, LLC agent(s) for UNIVERSITY OF NEW MEXICO request(s) the above action(s) for all or a portion of Tract(s) B, **EVER READY OIL SUBDIVISION**, zoned C-1, located on GIBSON BLVD SE, between UNIVERSITY BLVD SE and 1-25 NORTH FRONTAGE ROAD [REF: 02500 00161, 02110 00648/02128 00649] [DEFERRED FROM 6/19 AND 6/26/02] (L-15) **DEFERRED AT THE AGENT'S REQUEST TO 7/10/02.**



6. **Project # 1001523**  
02DRB-00518 Major-Preliminary Plat  
Approval  
02DRB-00519 Major-Vacation of Pub  
Right-of-Way  
02DRB-00526 Major-Vacation of  
Public Easements  
02DRB-00520 Minor-Temp Defer  
SDWK

02DRB-00621 Minor-SiteDev Plan  
Subd/EPC

MARK GOODWIN & ASSOC agent(s) for UNSER -  
98TH ST PARTNERS request(s) the above action(s)  
for all or a portion of Lot(s) 2, **LADERA INDUSTRIAL  
CENTER**, zoned SU-1 special use zone / for Light  
Industrial, located on UNSER BLVD NW, between  
98TH ST NW and LADERA DR NW containing  
approximately 120 acre(s). [REF: AX-81-10, Z-81-49,  
01128-01405] [Deferred from 6/5/02,6/12/02, 6/19/02]  
(H-10)

CONSENSUS PLANNING, INC. agent(s) for UNSER-  
98TH STREET PARTNERSHIP, LLC request(s) the  
above action(s) for all or a portion of Lot(s) 2,  
**LADERA INDUSTRIAL CENTER**, zoned SU-1 for  
Light Industrial, located on UNSER BLVD NW,  
between 98TH ST NW and LADERA DR NW  
containing approximately 120 acre(s). [REF: 01128  
01405, 02400 00519/02500 00520, Z-81-49] [Deferred  
from 6/5/02, 6/12/02, 6/19/02] (H-9) **WITH THE  
SIGNING OF THE INFRASTRUCTURE LIST DATED  
6/26/02 AND APPROVAL OF THE GRADING PLAN  
ENGINEER STAMP DATED 6/21/02 THE  
PRELIMINARY PLAT WAS APPROVED WITH THE  
FOLLOWING CONDITION: APPROVAL FROM  
AMAFCA FOR THE WATER AND SEWER LINE  
CROSSINGS OF THE MIREHAVEN CHANNEL IS  
REQUIRED. THE VACATIONS (00519 AND 00526)  
WERE APPROVED AS SHOWN ON EXHIBIT B IN  
THE PLANNING FILE. TEMPORARY DEFERRAL  
OF CONSTRUCTION OF SIDEWALKS WAS  
APPROVED FOR THE FRONTAGE AND SIDE  
YARDS OF THE DEVELOPABLE LOTS ON THE  
INTERIOR STREETS AS SHOWN ON EXHIBIT C IN  
THE PLANNING FILE. THE SITE PLAN FOR  
SUBDIVISION WAS APPROVED WITH FINAL SIGN  
OFF DELEGATED TO CITY ENGINEER AND  
PLANNING.**

**SITE DEVELOPMENT PLANS (EPC FINAL SIGN-OFF) AMENDED PLANS AND  
MASTER DEVELOPMENT PLANS (CITY COUNCIL FINAL SIGN-OFF)**

NOTE: IF THE APPLICANT/AGENT IS NOT PRESENT WHEN THEIR REQUEST IS CALLED,  
THEN THE REQUEST MAY BE INDEFINITELY DEFERRED ON A NO SHOW.

7. **Project # 1001973**  
02DRB-00924 Minor-SiteDev Plan  
BldPermit
- ADVANCED ENGINEERING AND CONSULTING, LLC agent(s) for ROB HELMICK request(s) the above action(s) for all or a portion of Lot(s) 42, **RICHFIELD PARK SUBDIVISION**, zoned IP, located on ADAMS ST. NE, between WASHING ST. NE and JEFFERSON ST. NE containing approximately 2 acre(s). [REF: Z-85-704 ] (C-17) **SITE DEVELOPMENT PLAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT AND PLANNING.**
8. **Project # 1000596**  
02DRB-00533 Minor-SiteDev Plan  
Subd/EPC  
02DRB-00535 Minor-SiteDev Plan  
BldPermit
- DEKKER / PERICH / SABATINI agent(s) for HEART OFFICE BLDG. LLC request(s) the above action(s) for all or a portion of Tract(s) 2B, **ST. JOSEPH HOSPITAL**, zoned SU-1 special use zone, for Hosp., Hotel & rel. uses, located on ELM ST NE, between MARTIN LUTHER KING JR. AVE NE and LOMAS BLVD. NE containing approximately 8 acre(s). [REF: Project #1001718; Z-98-8, DRB-98-97, 02128-00140 & 141, 02223000521 & 522] [**Juanita Vigil, EPC Case Planner**][Deferred from 4/17, 6/5, 6/19/02] [Heard under Project #1001718 on 6/5/02] (K-15) **THE SECOND AMENDMENT OF THE SITE DEVELOPMENT PLAN FOR SUBDIVISION WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT AND PLANNING. THE SITE DEVELOPMENT PAN FOR BUILDING PERMIT WAS APPROVED WITH FINAL SIGN OFF DELEGATED TO TRANSPORTATION DEVELOPMENT AND PLANNING.**

**MINOR PLATS, FINAL (MAJOR) PLATS, AMENDED PLATS AND PLANS**

9. **Project # 1002013**  
02DRB-00903 Minor-Prelim&Final Plat Approval
- ALBUQUERQUE SURVEYING CO., INC. agent(s) for ROBERT & YRENIA R. LARES request(s) the above action(s) for all or a portion of Lot(s) 20, **LINDA VISTA ADDITION NO. 1**, zoned R-1, located on HENDRIX RD NW, between MONTANO NW and 2ND ST. NW containing approximately 1 acre(s). (F-14) **PRELIMINARY PLAT WAS APPROVED WITH FINAL SIGNOFF DELEGATED TO PARKS, TRANSPORTATION DEVELOPMENT AND PLANNING.**

**NO ACTION IS TAKEN ON THESE CASES:  
IF APPLICANT IS NOT PRESENT, COMMENTS WILL BE FORWARDED**

10. **Project # 1002022**  
02DRB-00922 Minor-Sketch Plat or Plan
- BOHANNAN HUSTON, INC. agent(s) for JUDE BACA request(s) the above action(s) for all or a portion of Tract(s) 8 & 9, **TOWN OF ATRISCO GRANT, UNIT 2**, zoned R-D residential and related uses zone, developing area, 9 DU/AC, located on WEST SIDE OF UNSER BLVD SW, between EUCARIZ AV. SW and TOWER RD. SW containing approximately 10 acre(s). [REF: DRB-95-58, DRB-97-202 ] (L-10)**THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**



11. **Project # 1002023**  
02DRB-00923 Minor-Sketch Plat or  
Plan

WAYJOHN SURVEYING INC agent(s) for ELIZABETH OROZCO request(s) the above action(s) for all or a portion of Lot(s) 10, **INDIAN FARM ESTATES**, zoned RA-2 residential and agricultural zone, located on INDIAN FARM LN NW, between CANDELARIA RD NW and MATTHEW AVE NW containing approximately 1 acre(s). [REF: DRB-95-856 ] (G-13) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

12. **Project # 1002025**  
02DRB-00926 Minor-Sketch Plat or  
Plan

ADVANCED ENGINEERING & CONSULTING agent(s) for FRED N SEELEY request(s) the above action(s) for all or a portion of Tract(s) 6, **LANDS OF C H HALL**, zoned SU-1 special use zone / Mobile Home Park, located on VOLCANO RD NW, between 90TH ST NW and BLUEWATER RD NW containing approximately 4 acre(s). (K-9) **THE ABOVE REQUEST WAS REVIEWED AND COMMENTS WERE GIVEN.**

13. Approval of the Development Review Board Minutes for June 12, 2002. **MINUTES WERE APPROVED SUBJECT TO CHANGES BY THE DEVELOPMENT REVIEW BOARD.**

ADJOURNED: 12:05 P.M.



<b>SUBDIVISION</b>	Supplemental form <b>S</b>	<b>ZONING</b>	Supplemental form <b>Z</b>
<input type="checkbox"/> Major Subdivision action		<input type="checkbox"/> Annexation & Zone Establishment	
<input type="checkbox"/> Minor Subdivision action		<input type="checkbox"/> Sector Plan	
<input type="checkbox"/> Vacation	<b>V</b>	<input type="checkbox"/> Zone Change	
<input type="checkbox"/> Variance (Non-Zoning)		<input type="checkbox"/> Text Amendment	
<b>SITE DEVELOPMENT PLAN</b>	<b>P</b>	<b>APPEAL / PROTEST of...</b>	<b>A</b>
<input type="checkbox"/> ... for Subdivision Purposes		<input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director or Staff, ZHE, Zoning Board of Appeal	
<input checked="" type="checkbox"/> ... for Building Permit			
<input type="checkbox"/> IP Master Development Plan			
<input type="checkbox"/> Cert. of Appropriateness (LUCC)	<b>L</b>		

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2<sup>nd</sup> Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

**APPLICANT INFORMATION:**

NAME: Fred N. Seeley PHONE: 888-9777  
 ADDRESS: 3511 Carlisle, NE FAX: 888-1415  
 CITY: Albuquerque STATE NM ZIP 87110 E-MAIL: \_\_\_\_\_  
 Proprietary interest in site: Owner  
 AGENT (if any): Advanced Engineering and Consulting, LLC PHONE: 899-5570  
 ADDRESS: 10205 Snowflake Ct. NW FAX: 897-4996  
 CITY: Albuquerque STATE NM ZIP 87114 E-MAIL: AECLLC@AOL.COM

**DESCRIPTION OF REQUEST:** Site Plan for Building Permit Review and Comments **SKETCH**  
 Is the applicant seeking incentives pursuant to the Family Housing Development Program?  Yes.  No.

**SITE INFORMATION: ACCURACY OF THE LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.**

Lot or Tract No. Tract 6 Block: \_\_\_\_\_ Unit: \_\_\_\_\_  
 Subdiv. / Addn. Lands of C.H. Hall  
 Current Zoning: SU-1 For MH Proposed zoning: Same  
 Zone Atlas page(s): K-9-Z No. of existing lots: 1 No. of proposed lots: 1 (29 MH)  
 Total area of site (acres): 4.00 Density if applicable: dwellings per gross acre: 7.25 dwellings per net acre: N/A  
 Within city limits?  Yes. No , but site is within 5 miles of the city limits (DRB jurisdiction.) Within 1000FT of a landfill? No  
 UPC No. 100905725320130808 MRGCD Map No. \_\_\_\_\_  
 LOCATION OF PROPERTY BY STREETS: On or Near: 90<sup>th</sup> Street, NW  
 Between: Volcano Road, NW 7009 and Bluewate Road, NW

**CASE HISTORY:**

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX, Z, V, S, etc.): \_\_\_\_\_

Check-off if project was previously reviewed by Sketch Plat/Plan , or Pre-application Review Team . Date of review: \_\_\_\_\_

SIGNATURE Shahram (Shawn) Biazar DATE 06-18-02  
 Applicant  Agent

**FOR OFFICIAL USE ONLY**

Form revised September 2001

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>02 DRB - 00926</u>	<u>SK</u>	<u>P3</u>	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus				Total
<input type="checkbox"/> F.H.D.P. fee rebate				\$ <u>0</u>

Hearing date June 26 2002

Project # 1002025

JM 6/18/02  
 Planner signature / date



**FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)**

**SKETCH PLAN REVIEW AND COMMENT**

- Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6** copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR SUBDIVISION**

- Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

**SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
  - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6** copies.
  - Solid Waste Management Department signature on Site Plan
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Copy of the document delegating approval authority to the DRB
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - Blue-line copy of Site Plan with Fire Marshal's stamp
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

**AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION**

**AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT**

- Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
  - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) Copies as needed above
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter briefly describing, explaining, and justifying the request
  - Letter of authorization from the property owner if application is submitted by an agent
  - Infrastructure List, if relevant to the site plan
  - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
  - Fee (see schedule)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for SUBDIVISION**

**D.R.B. FINAL SIGN-OFF FOR E.P.C. APPROVED S.D.P. for BUILDING PERMIT**

- Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6** copies.
  - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6** copies.
  - Solid Waste Management Department signature on Site Plan (not required for SDP for Subdivision)
  - Zone Atlas map with the entire property(ies) precisely and clearly outlined and crosshatched (to be photocopied)
  - Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
  - Infrastructure List, if relevant to the site plan
  - 2 copies of the Conceptual Utility Layout Plan (mark one for Planning, one for Utility Development)
  - Blue-line copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
  - Any original and/or related file numbers are listed on the cover application
- Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original Mylar** to the meeting for sign-off. **Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions

Shahram (Shawn) Piazar  
Applicant name (print)

[Signature]  
Applicant signature / date



Form revised September 2001

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

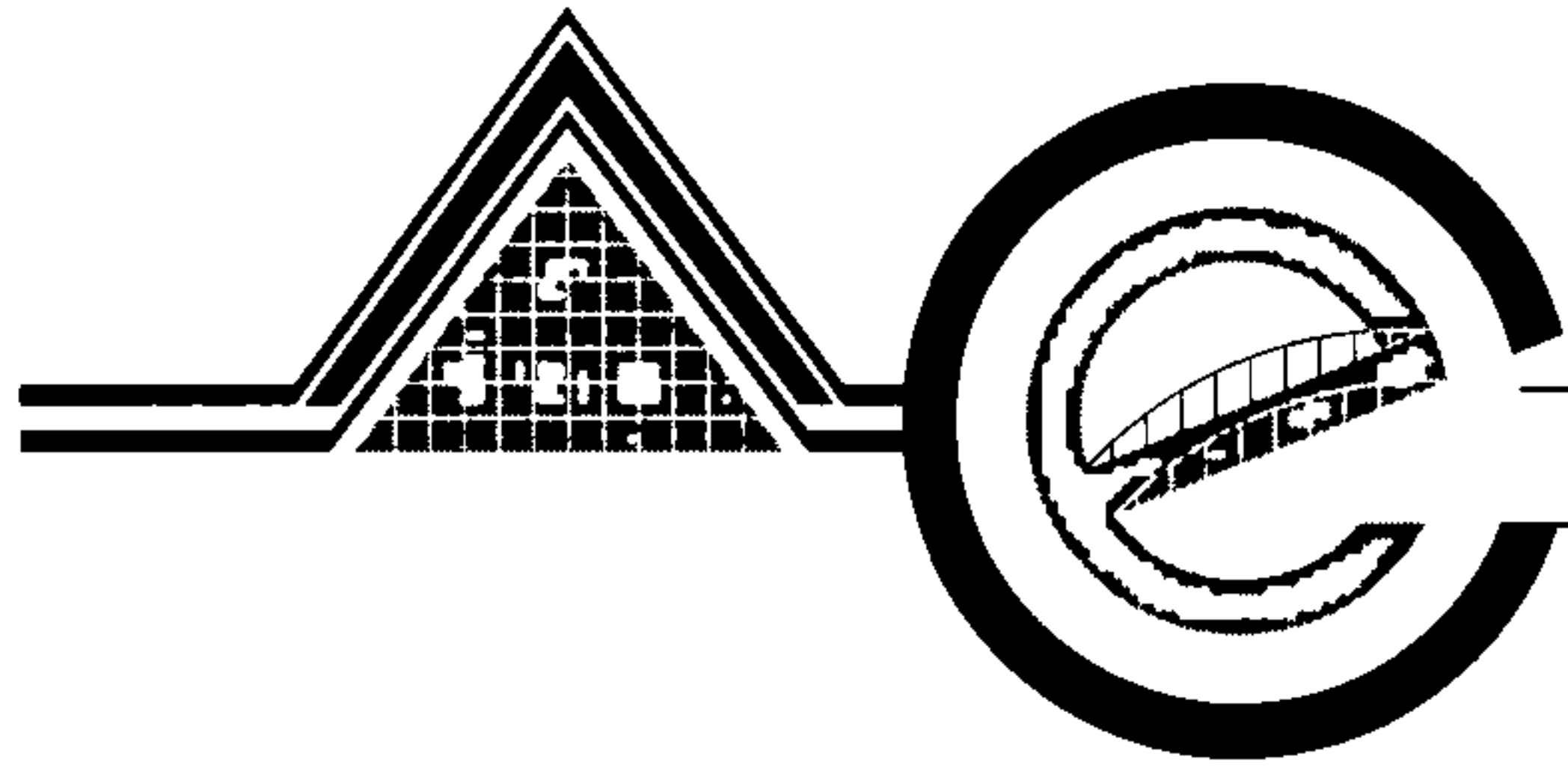
Application case numbers  
02DRB - - 0026  
 \_\_\_\_\_  
 \_\_\_\_\_

JM 6/18/02  
Planner signature / date

**Project #** 100







ADVANCED ENGINEERING and CONSULTING, LLC

June 18, 2002

*Consulting  
Design  
Development  
Management  
Inspection  
Surveying*

Janet Stephens, DRB Chair  
City of Albuquerque Planning Department  
Plaza Del Sol 2<sup>nd</sup> floor West  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

Re: Tract 6, Lands of C. H. Hall, Containing 4.00 Acres  
Zone Atlas Page K-9-Z  
Site Plan Review and Comments

Dear Ms. Stephens:

Enclosed please find 6 copies of proposed site plan for the above referenced site for your review and comments. The site is zoned SU-1 for MH and located on 90<sup>th</sup> Street, NW, between Volcano Road, NW, and Bluewater Road, NW. The owner of the property is proposing 29 mobile home lots on this site. Please provide us your comments in regards to this site plan.

If you should have any questions or require any additional information, please contact our office at your convenience.

Sincerely,

Shahram (Shawn) Biazar

Enclosures

JN: 200226  
SB