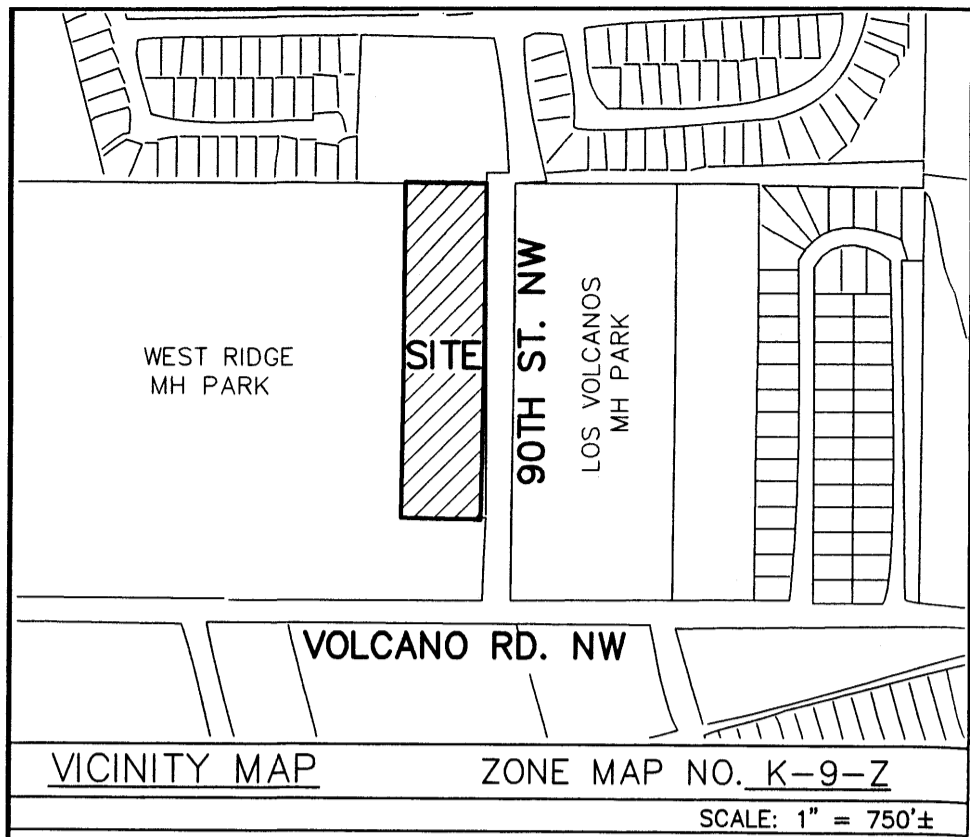


**PLAT OF
WEST PLATEAU MOBILE HOME SUBDIVISION
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2003**



EASEMENTS:

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED. PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. THE PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICES OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. THE PNM GAS SERVICES DIVISION FOR THE INSTALLATION, MAINTENANCE, AND SERVICES OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
3. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
4. COMCAST CABLE COMMUNICATION, INC. FOR THE INSTALLATION, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON, PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OR POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

IN APPROVING THIS PLAT, THE UTILITY COMPANIES DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, THE UTILITY COMPANIES DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE FEET (5') ON EACH SIDE.

DRB PROJECT NO. 1002025

DRB APPLICATION NO. 03DRB-00044

APPROVALS: 03DRB-00045

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14 OF THE REVISED ORDINANCE OF ALBUQUERQUE, NEW MEXICO.

CITY PLANNER/CITY OF ALBUQUERQUE PLANNING DIVISION _____ DATE _____

CITY ENGINEER, CITY OF ALBUQUERQUE, N.M. _____ DATE _____

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY _____ DATE _____

TRANSPORTATION DEVELOPMENT, CITY OF ALBUQUERQUE, N.M. _____ DATE _____

UTILITY DEVELOPMENT DIVISION, CITY OF ALBUQUERQUE, N.M. _____ DATE _____

PARKS AND RECREATION DEPARTMENT _____ DATE _____

[Signature] _____ 1-10-03
CITY SURVEYOR, CITY OF ALBUQUERQUE, N.M. _____ DATE _____

PNM GAS SERVICES _____ DATE _____

PNM ELECTRIC SERVICES _____ DATE _____

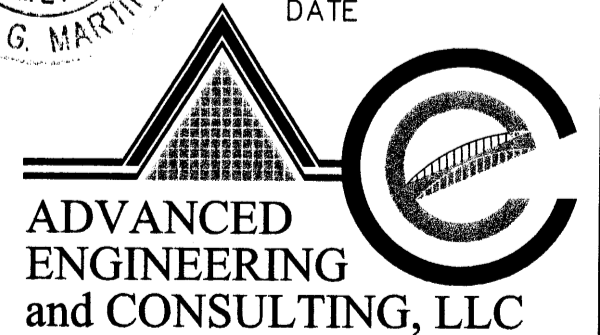
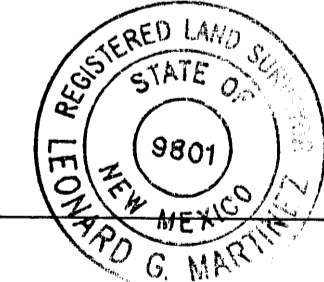
QWEST TELECOMMUNICATIONS _____ DATE _____

COMCAST CABLE COMMUNICATION, INC. _____ DATE _____

SURVEYORS CERTIFICATE:

I, LEONARD MARTINEZ, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND ALSO MEETS THE MINIMUM STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

[Signature] _____ 1-9-03
LEONARD MARTINEZ P.S. # 9801 _____ DATE _____



10205 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

DISCLOSURE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING LOT INTO 29 NEW RESIDENTIAL LOTS. GRANT NEW EASEMENTS AS SHOWN AND DEDICATE NEW RIGHT-OF-WAY AS SHOWN.

NOTES:

- 1: TOTAL AREA OF PROPERTY.....4.0000 ACRES
- 2: NUMBER OF EXISTING TRACTS/LOTS.....1 LOTS
- 3: NUMBER OF TRACTS/LOTS CREATED.....29 LOTS
- 4: MILES OF FULL STREETS CREATED.....0.2059
- 5: MILES OF HALF STREETS CREATED.....0.00
- 6: AREA DEDICATED TO CITY OF ALBUQUERQUE.....1.0848 ACRES
- 7: DATE OF SURVEY.....OCTOBER 2002

GENERAL NOTES:

- 1: UNLESS NOTED, NO.4 REBAR WITH CAP STAMPED P.S. #9801 WERE SET AT ALL PROPERTY CORNERS.
- 2: THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- 3: TALOS LOG NO. SP 2003022516
- 4: BASIS OF BEARING IS THE BEARING BETWEEN ALBUQUERQUE CONTROL STATIONS 7-K9 AND 8-K9.
- 5: BEARINGS ARE GRID, DISTANCES ARE GROUND.
- 6: THIS PROPERTY LIES WITHIN PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO.
- 7: MISC. DATA: ZONING IS SU-1 FOR MH.
- 8: CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICES TO THESE LOTS MUST BE VERIFIED AND COORDINATE WITH THE WATER RESOURCES DEPARTMENT, CITY OF ALBUQUERQUE.

LEGAL DESCRIPTION:

A TRACT OF LAND LYING AND SITUATE WITHIN PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, TOWN OF ATRISCO GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF THE NORTH EIGHT HUNDRED TWENTY NINE AND SIX TENTHS FEET (829.60') OF TRACT SIX (6), AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT ENTITLED "PLAT SHOWING LANDS OF C.H. HALL COMPRISING OF TRACTS 4, 7, 8, 9, 10, 11 AND 12 OF TRACTS ALLOTTED FROM THE TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 30, 1946, IN VOLUME B1, FOLIO 120, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID TRACT BEING A POINT ON THE WEST RIGHT OF WAY LINE OF 90TH STREET, N.W., MARKED BY A SET REBAR WITH CAP "PS 9801", FROM WHENCE A TIE TO ACS MONUMENT "7-K9" BEARS N. 56°30'14" W., A DISTANCE OF 1339.70 FEET; THENCE,

FROM SAID BEGINNING POINT N. 89°40'43" W., A DISTANCE OF 209.50 FEET TO THE SOUTHWEST CORNER OF SAID TRACT; THENCE,

N. 00°19'17" E., A DISTANCE OF 829.60 FEET TO THE NORTHWEST CORNER OF SAID TRACT; THENCE,

S. 89°40'43" E., A DISTANCE OF 209.50 FEET TO THE WEST RIGHT OF WAY LINE OF 90TH STREET; THENCE,

LEAVING THE SAID POINT ALONG WEST RIGHT OF WAY LINE S. 00°19'17" W., A DISTANCE OF 829.60 FEET TO SOUTHEAST CORNER OF SAID TRACT AND THE POINT OF BEGINNING, CONTAINING 4.0000 ACRE (174,240.00 SQUARE FEET), MORE OR LESS,

FREE CONSENT AND DEDICATION

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE ALL STREET AND PUBLIC RIGHT-OF-WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT: ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

OWNER SIGNATURE: *[Signature]* _____ DATE: 1-9-03

OWNER PRINT NAME: Fred W Seeley

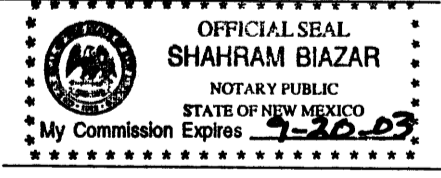
ACKNOWLEDGMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) S.S.

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 9th DAY OF January

20 03, BY Fred Seeley, Owner

[Signature] _____ MY COMMISSION EXPIRES: 9-30-03
NOTARY



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC # _____

PROPERTY OWNER OF RECORD: _____

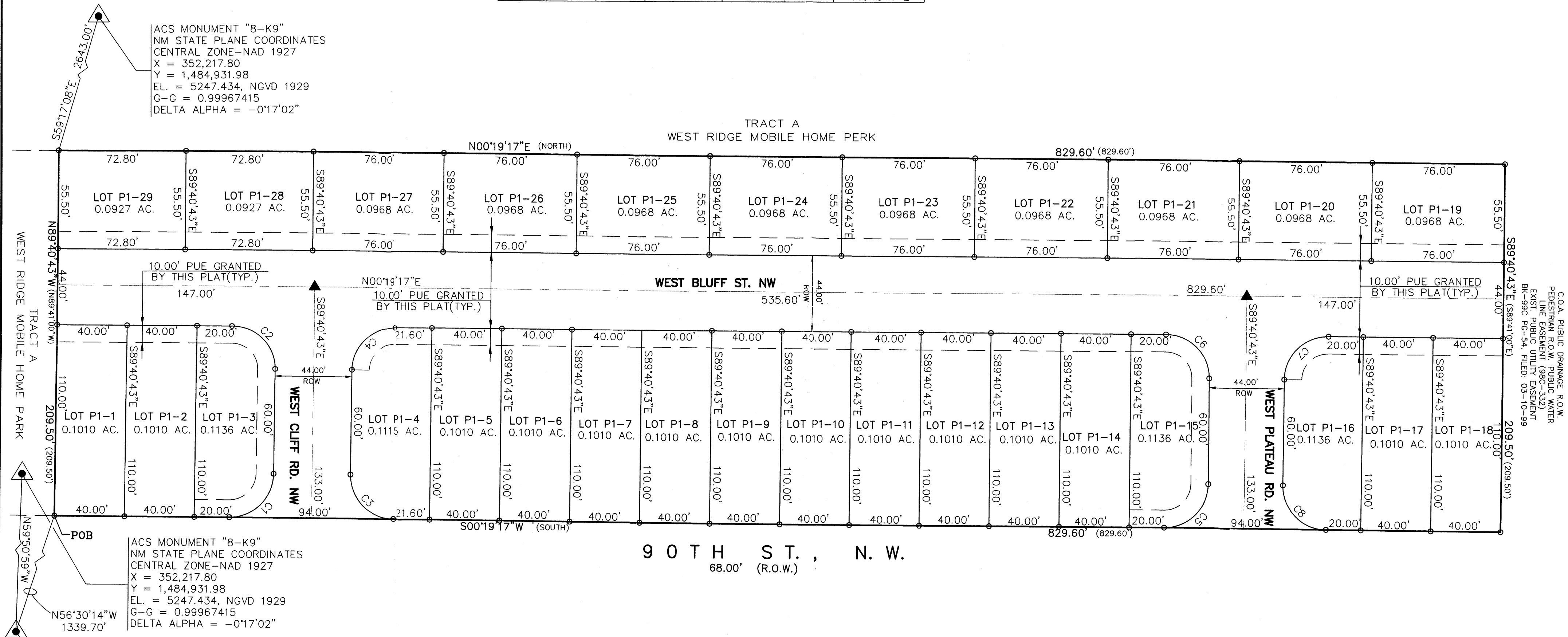
BERNALILLO CO. TREASURER'S OFFICE: _____

**PLAT OF
WEST PLATEAU MOBILE HOME SUBDIVISION**
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2003

ABBREVIATIONS:
 PUE PUBLIC UTILITY EASEMENT
 ROW RIGHT-OF-WAY
 AC. ACRES
 N.W. NORTH WEST
 AVE. AVENUE
 ST. STREET

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CORD	CORD DIRECTION
C1	39.27	25.00	90°00'00"	25.00	35.36	N44°40'43"W
C2	39.27	25.00	90°00'00"	25.00	35.36	S45°19'17"W
C3	39.27	25.00	90°00'00"	25.00	35.36	N45°19'17"E
C4	39.27	25.00	90°00'00"	25.00	35.36	S44°40'43"E
C5	39.27	25.00	90°00'00"	25.00	35.36	N44°40'43"W
C6	39.27	25.00	90°00'00"	25.00	35.36	S45°19'17"W
C7	39.27	25.00	90°00'00"	25.00	35.36	S44°40'43"E
C8	39.27	25.00	90°00'00"	25.00	35.36	N45°19'17"E

ACS MONUMENT "8-K9"
 NM STATE PLANE COORDINATES
 CENTRAL ZONE-NAD 1927
 X = 352,217.80
 Y = 1,484,931.98
 EL. = 5247.434, NGVD 1929
 G-G = 0.99967415
 DELTA ALPHA = -0°17'02"

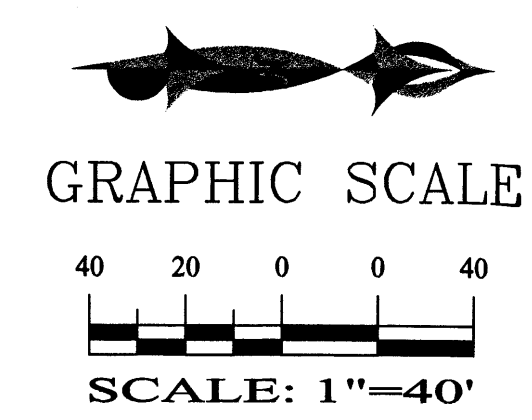


ACS MONUMENT "8-K9"
 NM STATE PLANE COORDINATES
 CENTRAL ZONE-NAD 1927
 X = 352,217.80
 Y = 1,484,931.98
 EL. = 5247.434, NGVD 1929
 G-G = 0.99967415
 DELTA ALPHA = -0°17'02"

ACS MONUMENT "7-K9"
 NM STATE PLANE COORDINATES
 CENTRAL ZONE-NAD 1927
 X = 355,815.77
 Y = 1,482,842.09
 EL. = 5137.363, NGVD 1929
 G-G = 0.99967820
 DELTA ALPHA = -0°16'37"

NOTE:
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTION AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS #9801".

* ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT- OF-WAY.

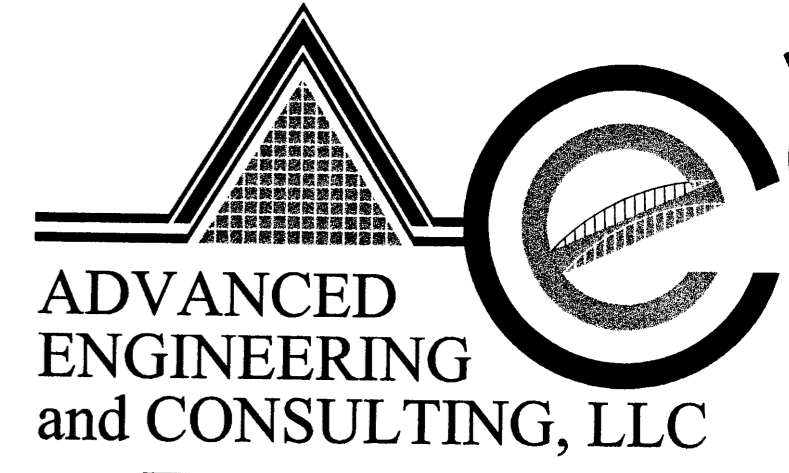
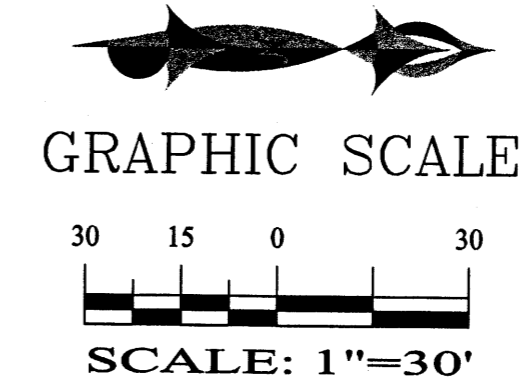
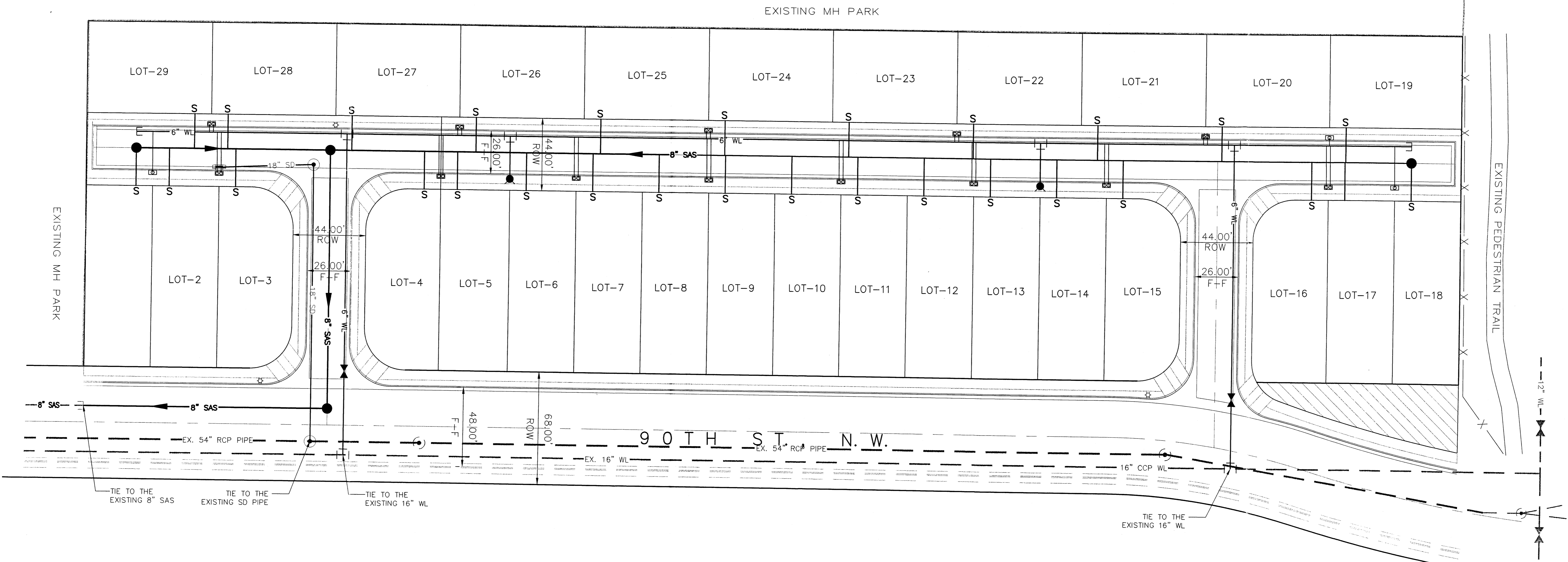


10205 SNOWFLAKE CT., NW
 ALBUQUERQUE, NEW MEXICO 87114
 (505)899-5570

LEGEND

- EXISTING SAS MANHOLE
- EXISTING SD MANHOLE
- EX. 54" SD
- EX. 8" SAS
- EX. 16" WL
- 8" SAS
- 6" WL
- 18" SD
- NEW SAS SERVICE
- NEW WATER SERVICE
- NEW SAS MANHOLE
- STORM SEWER MANHOLE
- SINGLE SERVICE METER
- DOUBLE SERVICE METER
- NEW GATE VALVE
- NEW FIRE HYDRANT
- TEE
- CAP (WL)
- NEW CATCH BASIN

LEGAL DESCRIPTION:
TRACT 6, LANDS OF C.H. HALL



SHAHAB BIAZAR
P.E. #13479

10205 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

WEST PLATEAU MH SUBDIVISION MASTER UTILITY PLAN			
DRAWING:	DRAWN BY:	DATE:	SHEET #
200226-MU.DWG	SHH	07-24-02	4 OF 4

LAST REVISION: 07-24-02

Planning

GENERAL NOTES:

- REFUSE COLLECTION WILL BE CURB SIDE PICK UP.
- SITE LIGHTING WILL BE AT ALL INTERSECTIONS AND BE MAXIMUM OF 16' IN HEIGHT WITH FULL CUT-OFF FIXTURES.
- ALL INTERNAL STREETS WILL BE 44' PUBLIC R.O.W. EXCEPT 90TH WHICH IS 68' PUBLIC R.O.W.
- ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION AND BUILDING PERMIT PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN.
- APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
- THIS SITE WILL COMPLY WITH THE REQUIREMENTS OF THE STREET TREE ORDINANCE.
- PARK DEVELOPMENT: THE PARK DEVELOPMENT FEES WILL BE SATISFIED FOR THIS SITE USING CASH-IN-LIEU OF PARK DEDICATION.
- WATER AND SEWER: PRIOR TO DEVELOPMENT, CITY OF ALBUQUERQUE WATER AND SANITARY SERVICE TO THE SITE MUST BE VERIFIED AND COORDINATED WITH THE CITY OF ALBUQUERQUE UTILITY DEPARTMENT, VIA AN AVAILABILITY STATEMENT. THIS STATEMENT HAS BEEN REQUESTED BY LETTER ON JULY 16, 2002.
- ACCESS: THE ACCESS ALLOWED TO THE PROJECT WILL BE THE TWO ENTRANCES SHOWN ON THE 90TH STREET, NW. (SEE BELOW FOR LOCATION)
- CURBS AND GUTTERS: MOUNTABLE CURB AND GUTTER WILL BE USED THROUGHOUT EXCEPT FOR THOSE AREAS WHERE STANDARD CURB AND GUTTER IS NECESSARY FOR DRAINAGE CONVEYANCE.
- LOT SIZE: TOTAL NUMBER OF PROPOSED LOTS= 29 LOTS AVERAGE LOT SIZE IS ABOUT 4,400.00 SF. MINIMUM LOT SIZE OF 4,040.40 SF. AND MAXIMUM LOT SIZE OF 4,950.00 SF.
- LOTS 1-18 SHALL NOT PROVIDE VEHICULAR ACCESS TO 90TH STREET.

DESIGN CRITERIA:

- EACH MOBILE HOME SHALL BE SKIRTED WITH MATERIAL COMPATIBLE WITH THE SIDING OF THE MOBILE HOME.
- EACH MOBILE HOME LOT SHALL HAVE A LIGHT DESIGNED TO REFLECT AWAY FROM ABUTTING MOBILE HOME LOT.
- EACH MOBILE HOME SPACE WILL PROVIDE A MINIMUM OF TWO OFF-STREET PARKING SPACES PER UNIT.
- THE DRIVEWAYS SHALL BE PAVED.
- LANDSCAPING MAINTENANCE OF EACH LOT SHALL BE THE RESPONSIBILITY OF THE OWNER OF THAT LOT.
- EACH MOBILE HOME LOT SHALL PROVIDE A STORAGE AREA FOR REFUSE CARTS, SO THEY ARE NOT VISIBLE FROM STREET.
- EACH MOBILE HOME LOT (1-29) CAN BE EITHER SINGLE OR DOUBLE WIDE. SEE TYPICAL LOT LAYOUT.

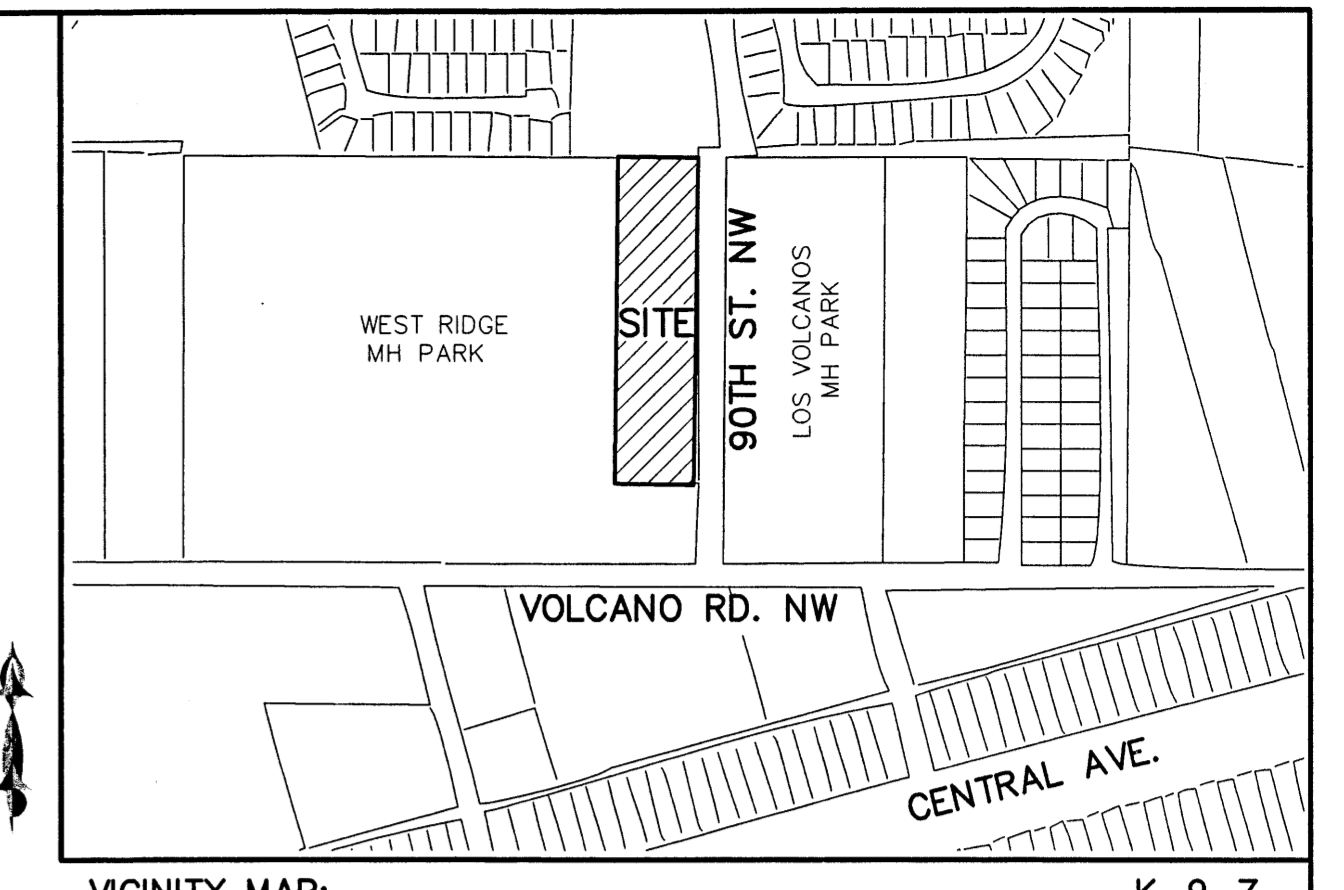
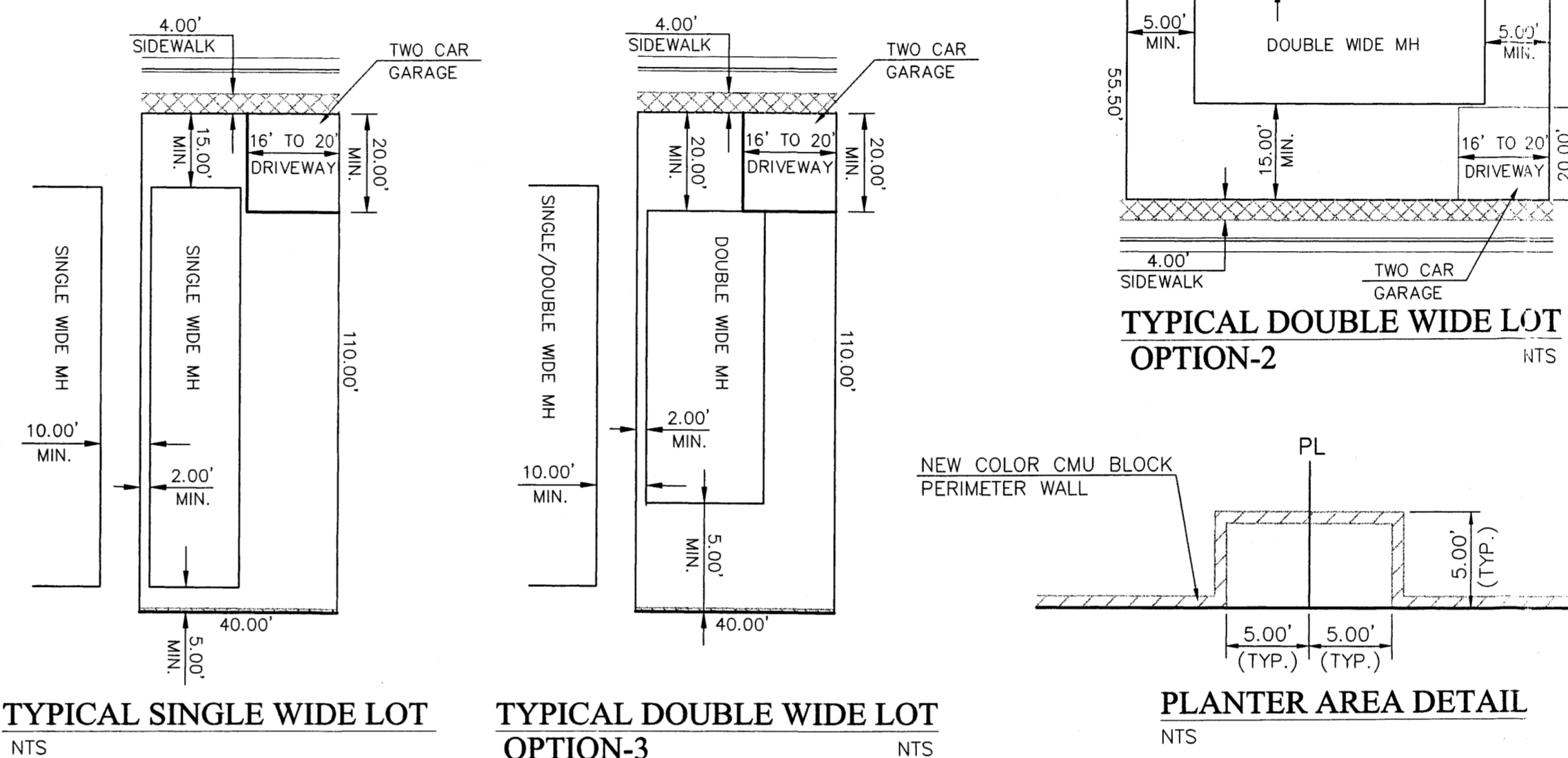
SITE DATA

PROPOSED USAGE: MOBILE HOME SUBDIVISION
 EXISTING ZONING: SU-1 FOR M.H.
 TOTAL LOT AREA: 174,240.00 SF (4.00 ACRES)
 PROPOSED NO. OF LOTS: TOTAL SINGLE WIDE = 18
 TOTAL DOUBLE WIDE = 11
 GRAND TOTAL OF LOTS = 29
 OPEN SPACE CALCULATIONS: OPEN SPACE REQUIRED = 34,800 S.F.
 OPEN SPACE PROVIDED = 43,417 S.F.
 R.O.W. DEDICATION 47,253.88 S.F.

LOT NO.	GROSS AREA	OPEN SPACE	BUILDABLE LOT AREA
1	4,400.00 SF	1,200 SF	3,200.00 SF
2	4,400.00 SF	1,200 SF	3,200.00 SF
3	4,950.00 SF	1,200 SF	3,750.00 SF
4	4,950.00 SF	1,200 SF	3,750.00 SF
5	4,400.00 SF	1,200 SF	3,200.00 SF
6	4,400.00 SF	1,200 SF	3,200.00 SF
7	4,400.00 SF	1,200 SF	3,200.00 SF
8	4,400.00 SF	1,200 SF	3,200.00 SF
9	4,400.00 SF	1,200 SF	3,200.00 SF
10	4,400.00 SF	1,200 SF	3,200.00 SF
11	4,400.00 SF	1,200 SF	3,200.00 SF
12	4,400.00 SF	1,200 SF	3,200.00 SF
13	4,400.00 SF	1,200 SF	3,200.00 SF
14	4,400.00 SF	1,200 SF	3,200.00 SF
15	4,950.00 SF	1,200 SF	3,750.00 SF
16	4,950.00 SF	1,200 SF	3,750.00 SF
17	4,400.00 SF	1,200 SF	3,200.00 SF
18	4,400.00 SF	1,200 SF	3,200.00 SF
19	4,218.00 SF	1,200 SF	3,018.00 SF
20	4,218.00 SF	1,200 SF	3,018.00 SF
21	4,218.00 SF	1,200 SF	3,018.00 SF
22	4,218.00 SF	1,200 SF	3,018.00 SF
23	4,218.00 SF	1,200 SF	3,018.00 SF
24	4,218.00 SF	1,200 SF	3,018.00 SF
25	4,218.00 SF	1,200 SF	3,018.00 SF
26	4,218.00 SF	1,200 SF	3,018.00 SF
27	4,218.00 SF	1,200 SF	3,018.00 SF
28	4,040.40 SF	1,200 SF	2,840.40 SF
29	4,040.40 SF	1,200 SF	2,840.40 SF
TOTAL	127,442.80 SF	34,800.00 SF	92,642.80 SF

LEGEND

- BOUNDARY LINE
- LOT LINE
- NEW SIDEWALK
- NEW CURB & GUTTER
- NEW STANDARD CURB
- EXISTING CURB & GUTTER
- EXISTING CMU WALL
- CHAIN LINKED FENCE
- NEW LIGHT POLE
- OVER HEAD ELECTRIC LINE
- SINGLE OR DOUBLE WIDE
- NEW PAVING AREA

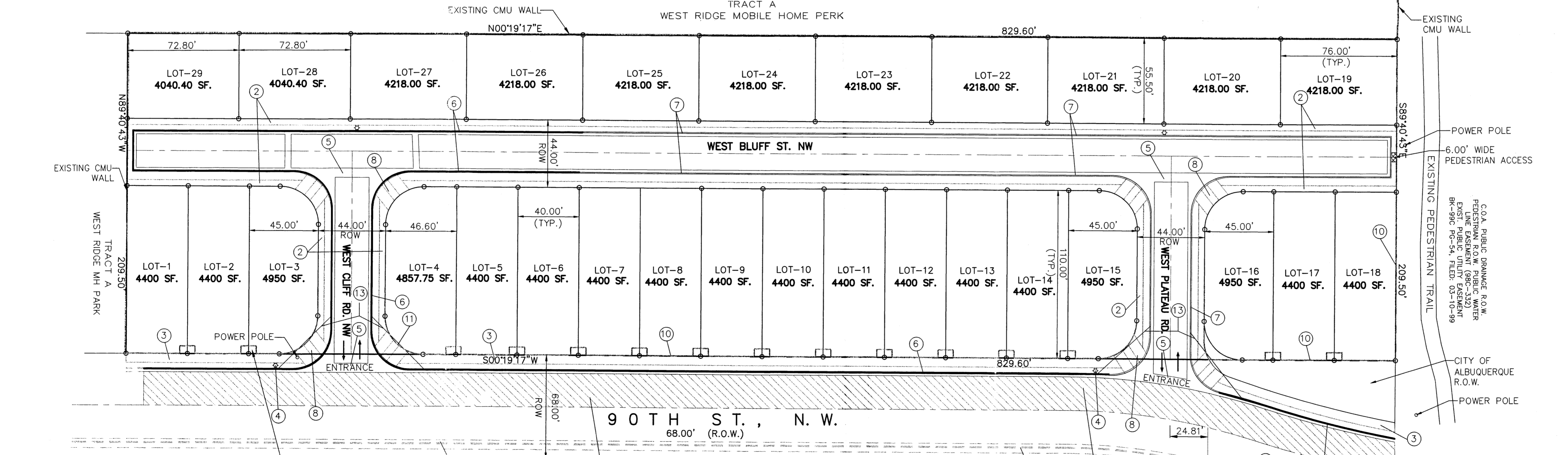


VICINITY MAP: K-9-Z

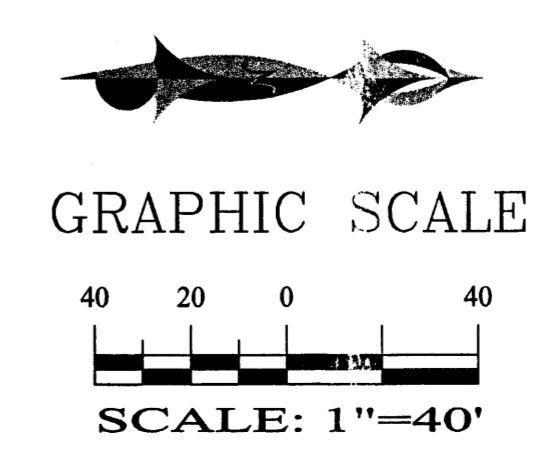
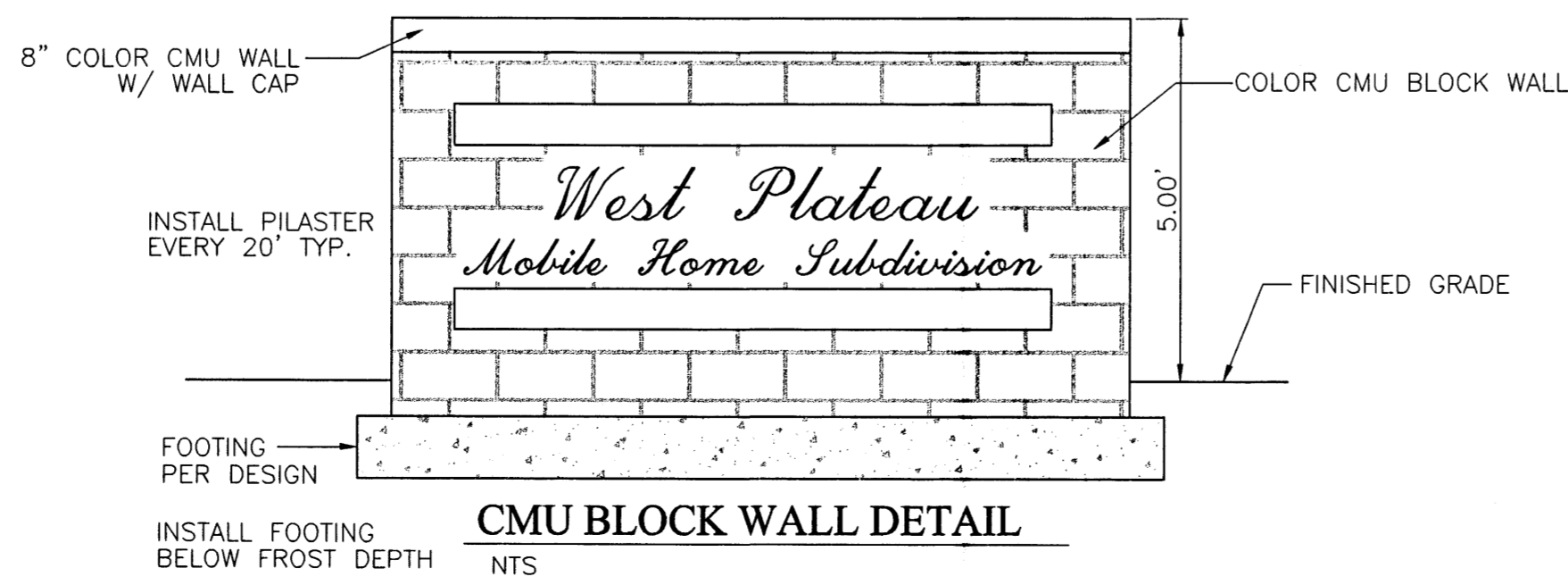
LEGAL DESCRIPTION:
 TRACT 6, LANDS OF C.H. HALL

- SHEET INDEX**
- SITE PLAN
 - LANDSCAPING PLAN
 - GRADING AND DRAINAGE PLAN
 - MASTER UTILITY PLAN

PROJECT NUMBER: 1002025
 APPLICATION NUMBER: 02EPD-01142SDP - SUBD. 02EPD-01143SDP - BUID. PERMIT.
 THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED _____ AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE OF NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:
 SITE DEVELOPMENT PLAN APPROVAL:
 Michael Hutton 1-21-03
 SOLID WASTE MANAGEMENT will comply w/ COA space DATE
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION DATE
 UTILITIES DEVELOPMENT DATE
 PARKS AND RECREATION DEPARTMENT DATE
 CITY ENGINEER, ENGINEERING DIVISION / AMAFCA DATE
 APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.
 CITY PLANNER, ALBUQUERQUE / BERNALILLO DATE
 COUNTY PLANNING DIVISION



- NOTES:**
- EXISTING CURB AND GUTTER.
 - NEW 4" SIDEWALKS PER COA STANDARD DRAWING 2430.
 - NEW 6" SIDEWALKS PER COA STANDARD DRAWING 2430.
 - NEW STREET LIGHT.
 - NEW 6" VALLEY GUTTER PER COA STANDARD DRAWING 2420.
 - NEW STANDARD CURB AND GUTTER PER COA STANDARD DRAWING 2415.
 - NEW MOUNTABLE CURB AND GUTTER PER COA STANDARD DRAWING 2415.
 - NEW WHEEL CHAIR RAMP PER COA STANDARD DRAWING 2441, CASE II.
 - NEW PAVING AREA.
 - NEW 5" COLOR CMU BLOCK PERIMETER WALL
 - SIGN LOCATION SEE DETAIL THIS SHEET
 - PRIVATE EMERGENCY ACCESS EASEMENT REMAINS CLOSED.
 - CLEAR SITE TRIANGLE LOCATION FOR OBSTRUCTION.

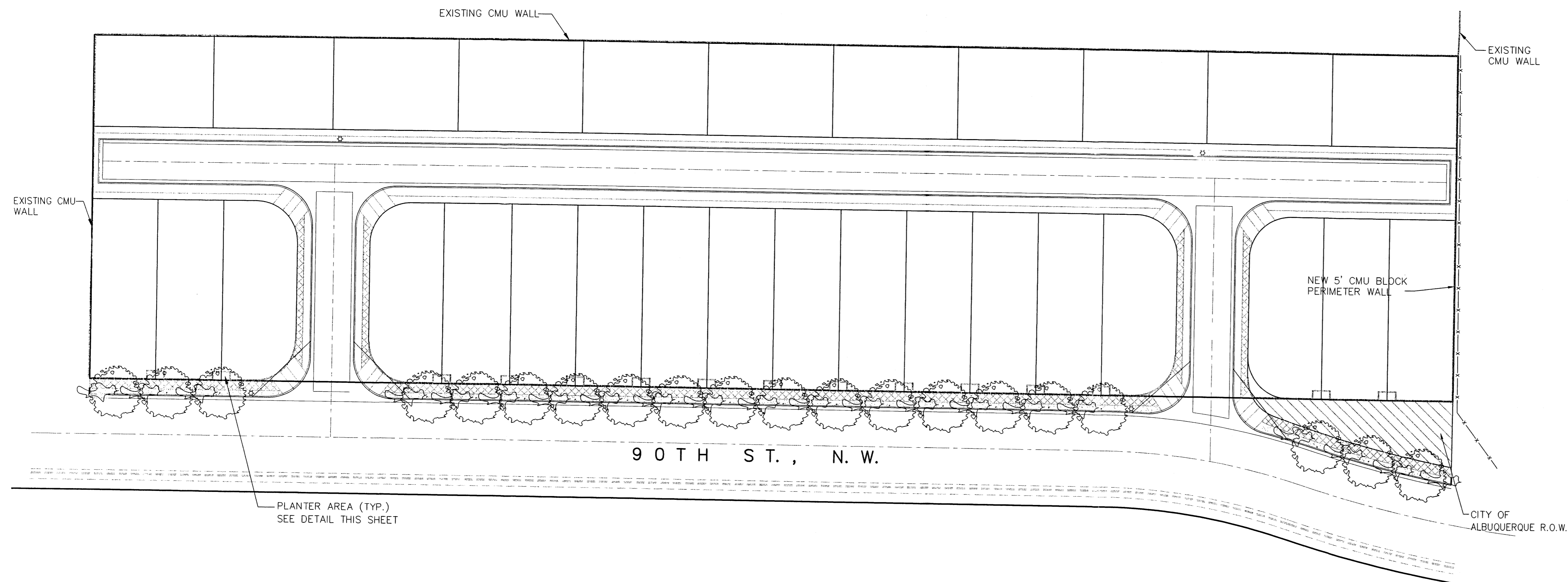


SHAHAB BIAZAR
 P.E. #13479
 10205 SNOWFLAKE CT., NW
 ALBUQUERQUE, NEW MEXICO 87114
 (505)899-5570

ADVANCED ENGINEERING and CONSULTING, LLC

WEST PLATEAU MH SUBDIVISION SITE PLAN

DRAWING: 200226-ST.DWG	DRAWN BY: SHH	DATE: 07-18-02	SHEET # 1 OF 4
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LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque, Water Conservation Landscaping and Water Waste Ordinance, planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping, and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

3/4" Gray Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

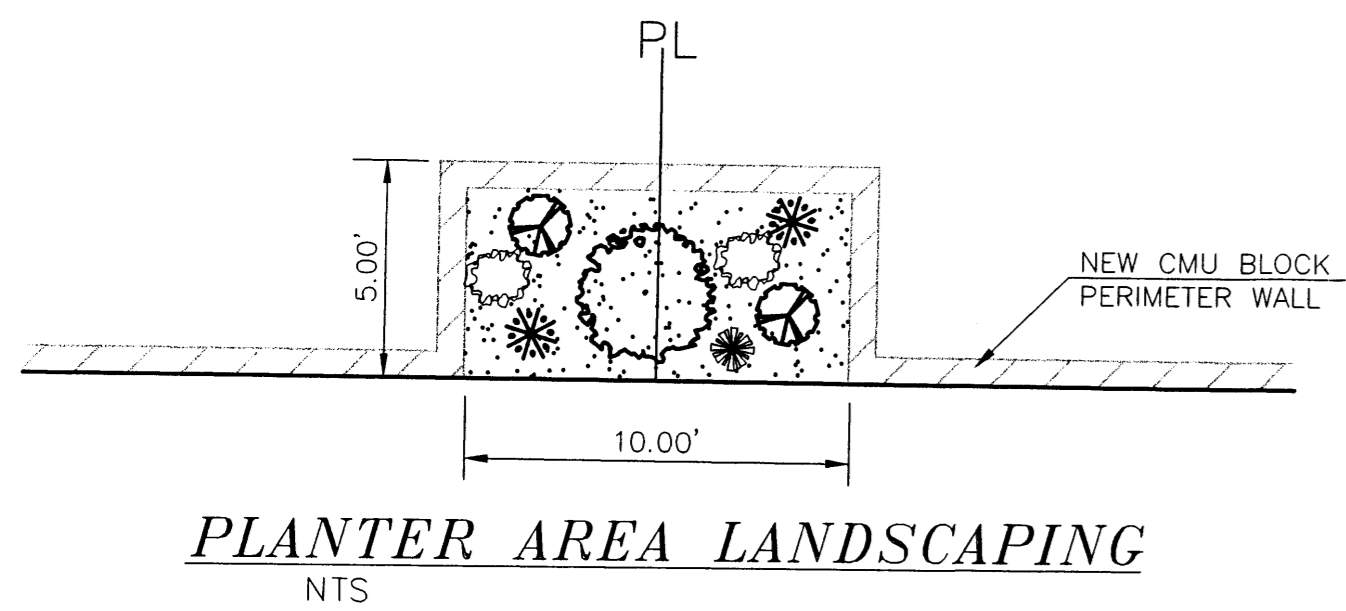
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

LANDSCAPING WITHIN CITY RIGHT OF WAY (90TH STREET):

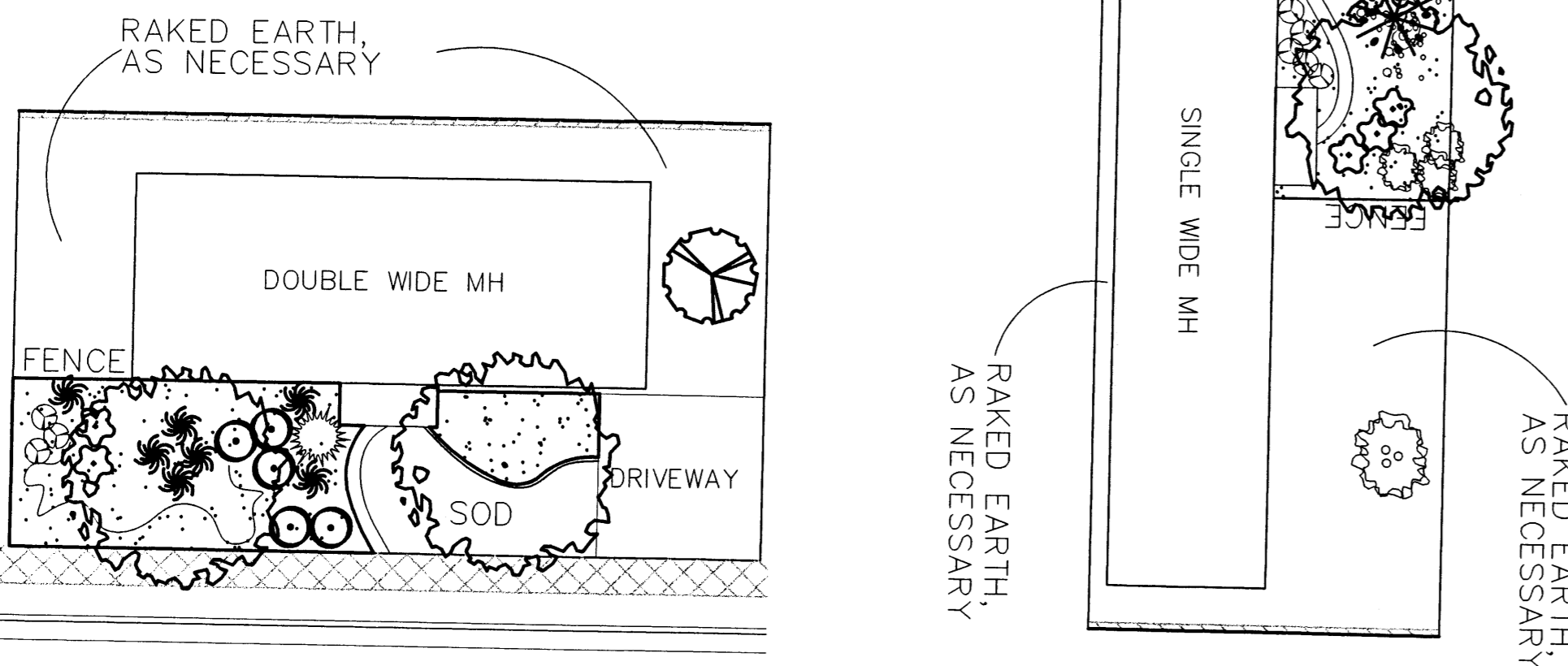
The landscaping maintenance along 90th street right of way shall be the responsibility of individual lot owners fronting 90th street, (lots 1-18). Each lot owner is responsible for maintenance of their portion of lot abutting 90th street.

PLANTER AREA (TYP.)
SEE DETAIL THIS SHEET



PLANT LEGEND

- | | | | | | |
|--|--|--|--|--|--|
| | ASH (H) OR HONEY LOCUST (H)
<i>Fraxinus pennsylvanica</i>
<i>Gleditsia triacanthos</i>
2" Cal | | SILVERBERRY (M)
<i>Elaeagnus pungens</i>
5 gal | | TAM JUNIPER (M)
<i>Juniperus sabinia</i>
5 gal |
| | PURPLE LEAF PLUM (H)
<i>Prunus saracifera</i>
1 1/2" Cal | | POTENTILLA (M)
<i>Potentilla fruticosa</i>
5 gal | | OVERSIZED GRAVEL & BOULDERS |
| | AUSTRIAN PINE (H)
<i>Pinus nigra</i>
6"-8" | | RUSSIAN SAGE (M)
<i>Perovskia atriplicifolia</i>
5 gal | | 3/4" GREY GRAVEL
W/FILTER FABRIC |
| | NEW MEXICO OLIVE (M)
<i>Forestiera neomexicana</i>
15 Gal. | | MAIDEN GRASS (M)
<i>Miscanthus sinensis</i>
5 gal | | CRIMPED STRAW/ NATIVE SEED |
| | WASHINGTON HAWTHORN (H)
<i>Crataegus phaenopyrum</i>
15 gal | | APACHE PLUME (L)
<i>Fallugia paradoxa</i>
5 Gal. | | RAKED EARTH |
| | VITEX (M)
<i>Vitex agnus castus</i>
15 gal | | AUTUMN SAGE (M)
<i>Salvia greggii</i>
5 gal | | SOD |
| | PALM YUCCA (L) | | CHAMISA (L)
<i>Chrysothamnus nauseosus</i>
1 gal | | COMMERCIAL GRADE
STEEL EDGING |
| | BUTTERFLY BUSH (M)
<i>Buddleia spp.</i>
5 gal | | WILDFLOWER
1 gal | | |
| | THREE-LEAF SUMAC (L)
<i>Rhus trilobata</i>
5 Gal. | | | | |



TYPICAL LOT LANDSCAPING DETAIL

The Hilltop

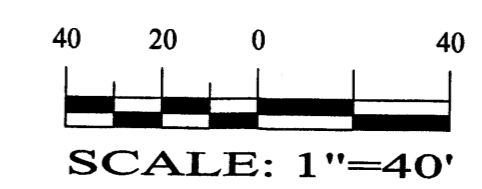
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
it@hilltoplandscaping.com

THE HILLTOP agrees to reserve the common law copyright and other property rights in these plans. These plans are not to be reproduced, changed or copied in any manner whatsoever, nor are they to be assigned to any third party without obtaining the express written permission and consent of THE HILLTOP.

ADVANCED ENGINEERING and CONSULTING, LLC

10205 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

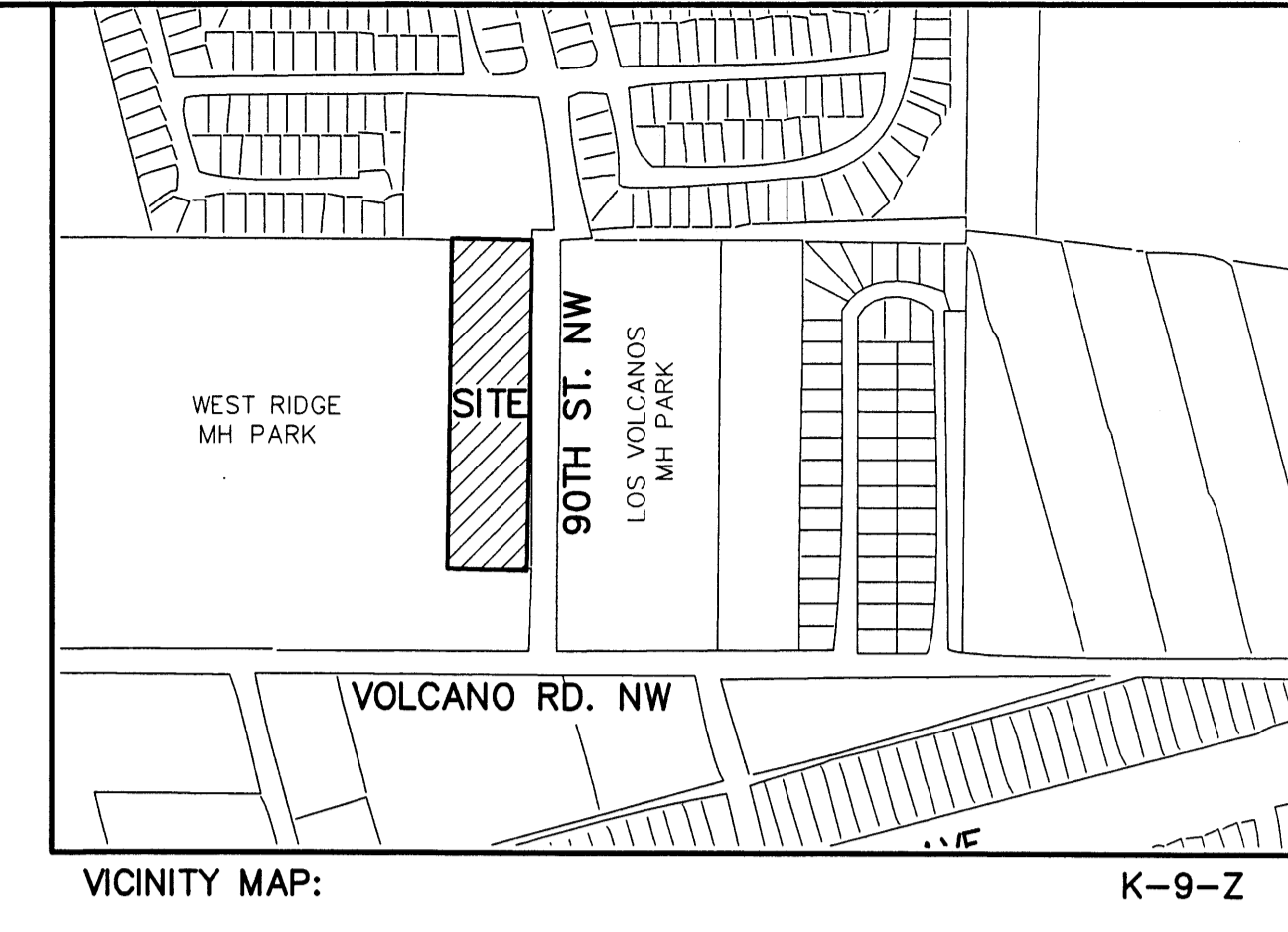
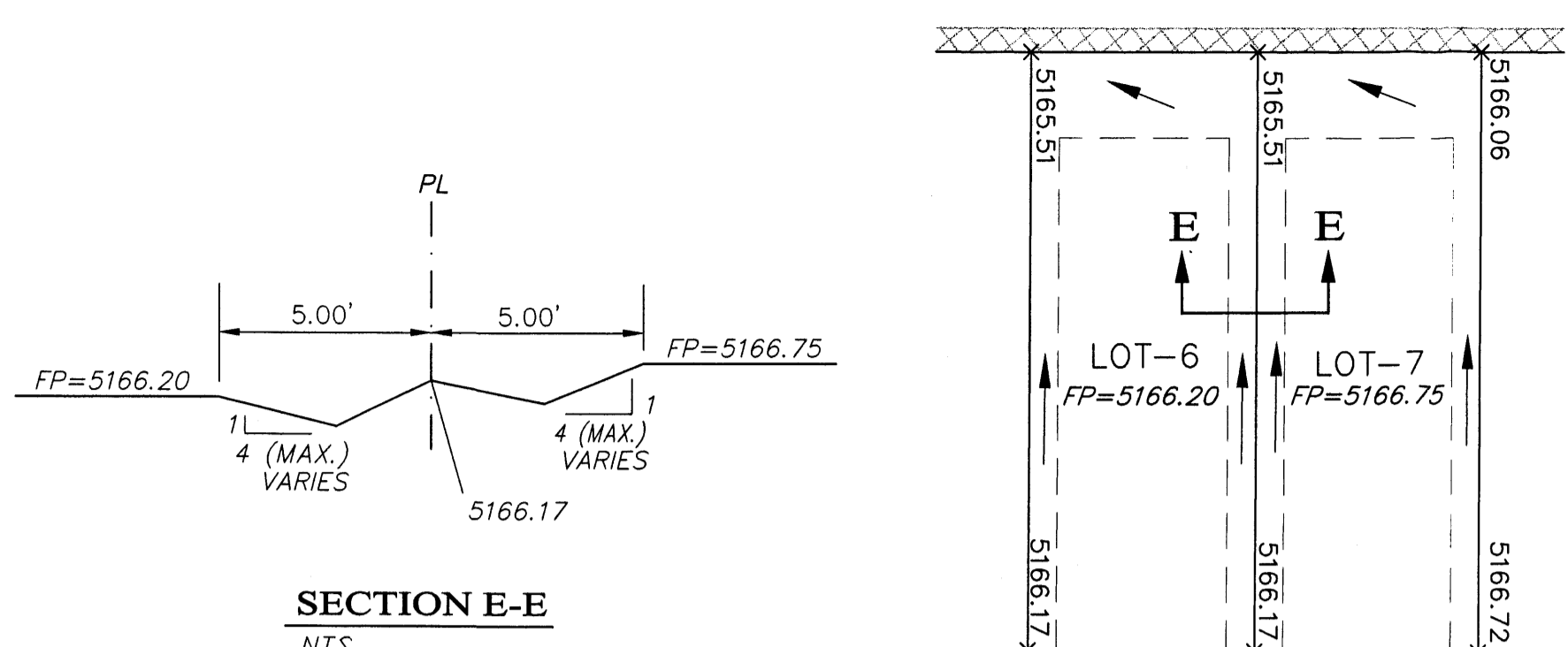
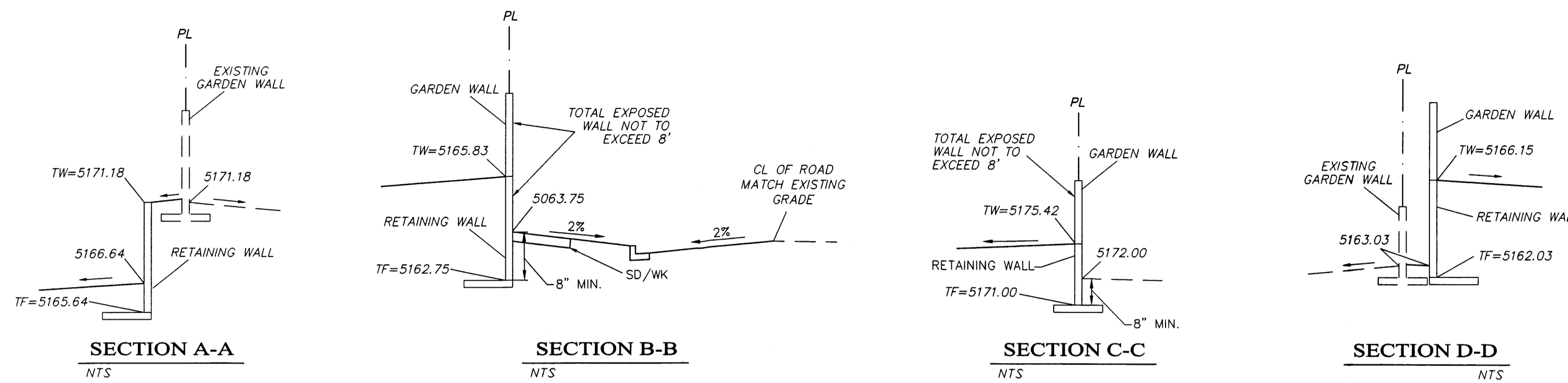
GRAPHIC SCALE



WEST BLUFF MOBILE HOME SUBDIVISION LANDSCAPING PLAN

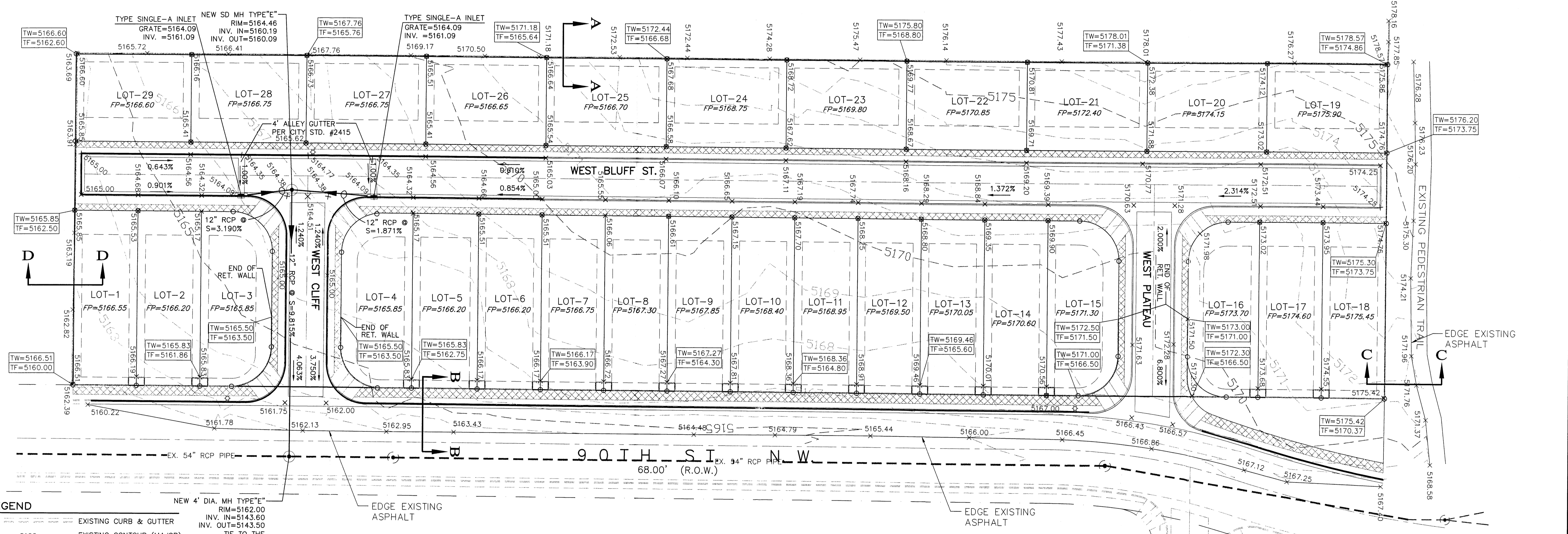
DRAWING:	DRAWN BY:	DATE:	SHEET #
200226-ST.DWG	SHH	10-08-02	2 OF 4

LAST REVISION: 10-08-02



VICINITY MAP: K-9-Z

LEGAL DESCRIPTION:
TRACT 6, LANDS OF C.H. HALL
CONTAINING ± 4 ACRES MORE OR LESS.



- LEGEND**
- EXISTING CURB & GUTTER
 - 5100 — EXISTING CONTOUR (MAJOR)
 - 5100 — EXISTING CONTOUR (MINOR)
 - - - EXISTING SD PIPE
 - RETAINING WALL
 - NEW CURB & GUTTER
 - - - SET BACK
 - BOUNDARY LINE
 - PROPOSE LOT LINE
 - CENTER LINE
 - NEW SIDEWALK
 - STD. CURB & GUTTER
 - x 5088.23 PROPOSED SPOT ELEVATION
 - PROPOSED DROP INLET
 - EXISTING STORM SEWER MH
 - NEW STORM SEWER MH
 - TOP OF RETAINING WALL
 - TOP OF FOOTING

NEW 4" DIA. MH TYPE "E"
RIM=5162.00
INV. IN=5143.60
INV. OUT=5143.50
TIE TO THE EXISTING SD PIPE

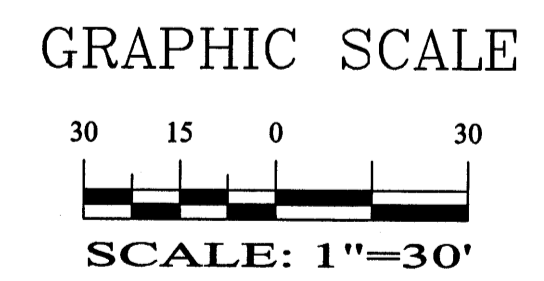
- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
 2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
 3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
 4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
 5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
 6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
 7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

ROUGH GRADING APPROVAL _____ DATE _____

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

- GENERAL NOTES:**
- 1: CONTOUR INTERVAL IS ONE (1) FOOT.
 - 2: ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION HAVING AN ELEVATION OF 5085.00 FEET ABOVE SEA LEVEL.
 - 3: UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
 - 4: THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
 - 5: SLOPES ARE AT 3:1 MAXIMUM.



ADVANCED ENGINEERING and CONSULTING, LLC





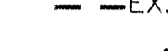












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ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

WEST PLATEAU MH SUBDIVISION GRADING AND DRAINAGE PLAN

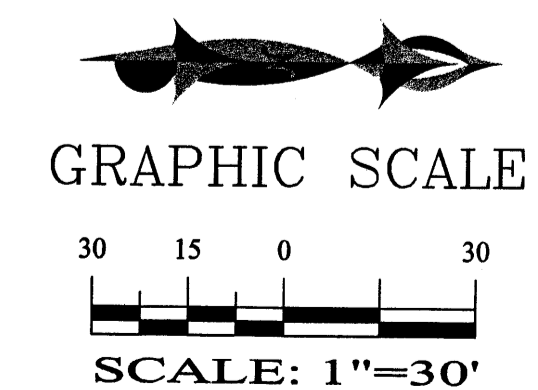
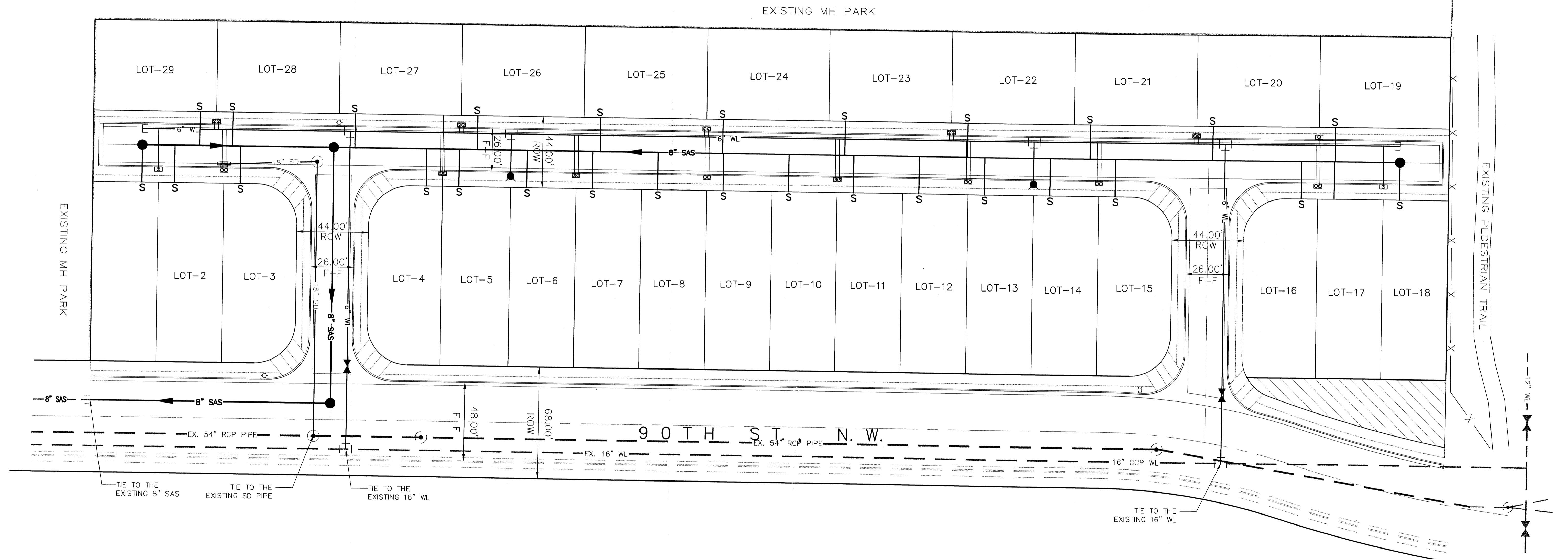
DRAWING: 200226-GR.DWG	DRAWN BY: SHH	DATE: 10-09-02	SHEET # 3 OF 4
------------------------	---------------	----------------	----------------

LAST REVISION: 10-09-2002

LEGEND

-  EX. 54" SD
-  EX. 8" SAS
-  EX. 16" WL
-  8" SAS
-  6" WL
-  18" SD
-  NEW SAS SERVICE
-  NEW WATER SERVICE
-  NEW SAS MANHOLE
-  STORM SEWER MANHOLE
-  SINGLE SERVICE METER
-  DOUBLE SERVICE METER
-  NEW GATE VALVE
-  NEW FIRE HYDRANT
-  TEE
-  CAP (WL)
-  NEW CATCH BASIN

LEGAL DESCRIPTION:
TRACT 6, LANDS OF C.H. HALL





SHAHAB BIAZAR
P.E. #13479

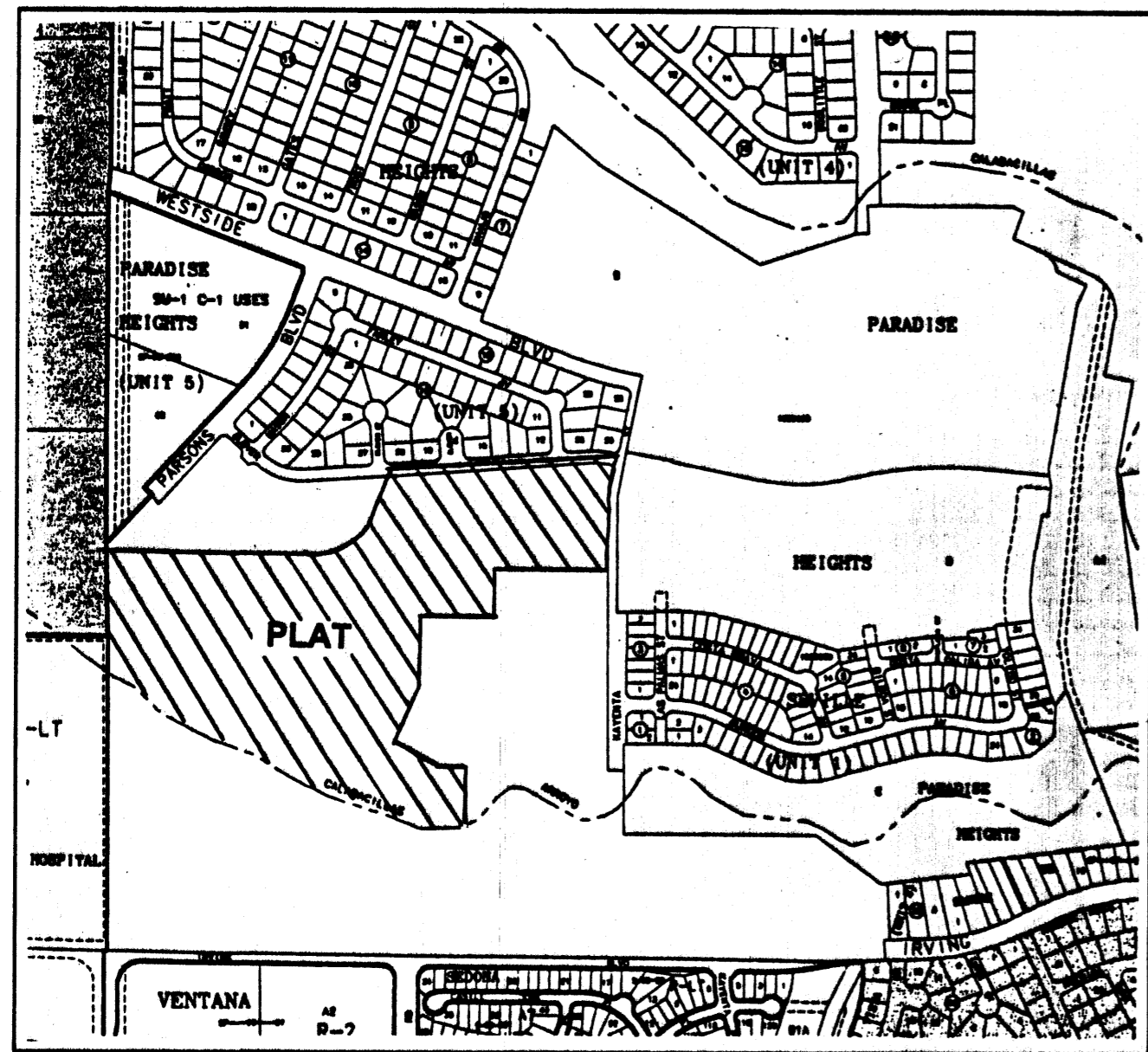


**ADVANCED
ENGINEERING
and CONSULTING, LLC**

10205 SNOWLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

WEST PLATEAU MH SUBDIVISION MASTER UTILITY PLAN			
DRAWING: 200226-MU.DWG	DRAWN BY: SHH	DATE: 07-24-02	SHEET # 4 OF 4

LAST REVISION: 07-24-02



Vicinity Map
N.T.S.

GENERAL NOTES

- Bearings are grid based upon the New Mexico State Plane Coordinate System, Central Zone (NAD 27) and rotated to grid at the Albuquerque Survey Control Monument "2-B10".
- Distances are ground.
- Record plat bearings and distances where they differ from those measured by field survey are shown in parenthesis ().
- All corners are a 5/8" rebar and cap stamped "HUGG L.S. 9750" unless otherwise indicated hereon.
- Albuquerque City Zone Atlas page A-10.
- U.C.L.S. Log Number 2003022472.
- Number of Existing Tracts = 5
- Number of Tracts created = 5
- Total plat acreage= 47.6868 Ac.

DISCLOSURE STATEMENT

The purpose of this Bulk land Plat is to:

- Amend and adjust the Easterly and Southerly lines of existing Tract 1-B-1-D; the Westerly line of existing Tract 1-B-1-G; and the Northerly line of Tract 1-B-1-E, Seville as shown hereon to facilitate future platting.
- Show the Public Access and Utility Easements which were vacated by 03 DRB-00037

SHEET INDEX

- SHEET 1 OF 6 - Approvals, General Notes, Ect...
- SHEET 2 OF 6 - Legal Description, Free consent and dedication
- SHEET 3 OF 6 - Curve and Line Tables
- SHEET 4 OF 6 - Overall Bulk Plat Boundary and Tracts
- SHEET 5 OF 6 - Enlargement of South Area
- SHEET 6 OF 6 - Enlargement of North Area

TREASURERS CERTIFICATION

This is to certify that taxes are current and paid on the following:

1 010 066 067 126 30101
 Property owner of Record: Curb West Inc
Wmmy Vigil Jr 11 Feb 03
 Bernalillo County Treasurer Date

APPROVALS

Leonard D. Marks 1-16-03
 PNM Electric Services Date
Leonard D. Marks 1-16-03
 PNM Gas Services Date
Daniel R. Muller 1-16-03
 Qwest Corporation Date
Rita E. Innes 1-16-03
 Comcast Date
[Signature] 1-17-03
 New Mexico Utilities, Inc. Date

Note: These properties lie within the New Mexico Utilities, Inc. (NMU, Inc.) Franchise area. Water and Sanitary Sewer capabilities are based upon the NMU, Inc. facilities, not the City of Albuquerque.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

- PNM Electric Services for installation, maintenance, and service of overhead and underground electrical lines, transformers, and other equipment and related facilities reasonably necessary to provide electrical service.
- PNM Gas Services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- Qwest Communications for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to ground pedestals and closures.
- Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.
- New Mexico Utilities, Inc. for the installation, maintenance, and service of underground water and sanitary sewer lines, valves and other equipment and facilities reasonably necessary to provide water and sanitary sewer service. Across said easement, but not parallel within.
- Curb West, Inc. for the installation, maintenance and service of such lines, cables, equipment and other related facilities reasonably necessary to provide electrical, telephone and television services including but not limited to ground pedestals and closures.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.

DISCLAIMER

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

**BULK LAND PLAT OF
TRACTS 1-B-1-C-1 THRU 1-B-1-G-1
SEVILLE**

(BEING A REPLAT OF TRACTS 1-B-1-C THRU 1-B-1-G, SEVILLE)

WITHIN
 THE TOWN OF ALAMEDA GRANT
 IN
 PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2003

APPROVALS

[Signature] 2-07-03
 Traffic Engineer, City of Albuquerque
 Public Works Department Date
[Signature] 1-9-03
 City Surveyor, City of Albuquerque
 Public Works Department Date
[Signature] 2-5-03
 Utility Development Division, City of
 Albuquerque Public Works Department Date
[Signature] 2-6-03
 Albuquerque Metropolitan Arroyo Flood
 Control Authority Date
[Signature] 2-5-03
 City Engineer, City of Albuquerque
 Public Works Department Date

N/A
 Property Management, City of Albuquerque Date
[Signature] 2/5/03
 Parks and Recreation, City of Albuquerque Date

APPROVAL as specified by the Albuquerque Subdivision Ordinance.
[Signature] 2/5/03
 Chair, Albuquerque Development Review Board Date

PROJECT NO. 1002025
 APPLICATION NO. 03 DRB-00040 +00038

SURVEYORS CERTIFICATION

I, Russ P. Hugg, New Mexico Professional Surveyor Number 9750, hereby certify that this plat of survey was prepared from field notes of an actual ground survey performed by me or under my supervision; that it meets the Standards for Land Surveys in New Mexico as adopted by the New Mexico State Board of Registration for Professional Engineers and Professional Surveyors; that it meets the minimum requirements for surveys and monumentation of the Albuquerque Subdivision Ordinance; that it shows all easements of record; and that it is true and correct to the best of my knowledge and belief.



[Signature]
 Russ P. Hugg
 NMPS No. 9750
 January 7, 2003



**BULK LAND PLAT OF
TRACTS 1-B-1-C-1 THRU 1-B-1-G-1
SEVILLE**

(BEING A REPLAT OF TRACTS 1-B-1-C THRU 1-B-1-G, SEVILLE)

WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JANUARY, 2003

LEGAL DESCRIPTION

That certain parcel of land situate within the Town of Alameda Grant in projected Section 3, Township 11 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico, comprising the following: All of Tracts 1-B-1-C, 1-B-1-D, 1-B-1-E, 1-B-1-F and 1-B-1-G, Seville as the same are shown and designated on the plat entitled "BULK LAND PLAT OF TRACTS 1-A-1, 1-A-2, 1-B-1A THRU 1-B-1F, 1-B-2A, B-2A AND B-2B, SEVILLE (BEING A REPLAT OF TRACTS 1-A, 1-B-1, 1-B-2, SEVILLE AND TRACT B-2, PARADISE HEIGHTS) WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", filed in the office of the County Clerk of Bernalillo County, New Mexico, on September 19, 2002 in Plat Book 2002C, Page 312.

Said parcel contains 47.8888 acres, more or less.

FREE CONSENT AND DEDICATION

SURVEYED and REPLATTED and now comprising, "BULK LAND PLAT OF TRACTS 1-B-1-C-1 THRU 1-B-1-G-1, SEVILLE (BEING A REPLAT OF TRACTS 1-B-1-C THRU 1-B-1-G, SEVILLE, WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO", with the free consent of and in accordance with the wishes and desires of the undersigned owner(s) and proprietor(s) thereof. Said owner(s) and proprietor(s) do hereby consent to all of the foregoing and do hereby represent that they are so authorized to act.

OWNER OF TRACTS 1-B-1-C, 1-B-1-D, 1-B-1-E, 1-B-1-G
WESTFORK, LIMITED

By Stan Strickman

Stan Strickman, Vice President
Trails Management, Inc.
General Partner

OWNER OF TRACT 1-B-1F
CURB WEST, INC.

By Stan Strickman

Stan Strickman, Vice President

ACKNOWLEDGEMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this 9th day of September, 2003, by Stan Strickman as Vice President of Trails Management, Inc.

Margo Marlene Dedrich My commission expires 8-11-06
Notary Public



STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

The foregoing instrument was acknowledged before me this day of September, 2003, by Stan Strickman as Vice President of Curb West, Inc.

Margo Marlene Dedrich My commission expires 8-11-06
Notary Public



NOTICE OF SUBDIVISION PLAT CONDITIONS

TRACTS 1-B-1-C THRU 1-B-1-G-1
SEVILLE

The plat of Tracts 1-B-1-C-1 THRU 1-B-1-G-1, SEVILLE has been granted a variance or waiver from certain subdivision requirements pursuant to Section 7 of the City of Albuquerque Subdivision Ordinance.

Future subdivision of lands within this plat, zoning Site Development Plan approvals, and development permits may be conditioned upon dedication of right-of-way and easements, and/or upon infrastructure improvements by the owner for water, sanitary sewer, streets, drainage, grading, and parks in accordance with current resolutions, ordinances, and policies in effect at the time for any specific proposal.

The City and AMAFCA (with reference to drainage) may require and/or permit easements to be added, modified, or removed when future plats and/or Site Development Plans are approved.

By its approval of this subdivision, the City makes no representation or warranties as to availability of utilities, or final approval of all requirements including (but not limited to) the following items: water and sanitary sewer availability; future street dedications and/or improvements; park and open space requirements; drainage requirements and/or improvements; and excavation, filling, or grading requirements. Any person intending development of lands within this subdivision is cautioned to investigate the status of these items.

At such time as all such conditions have been satisfactorily met, the City Engineer shall approve a recordable document, removing such conditions from all of from a portion of the area within the subject subdivision.

Note: There is a Notice of subdivision plat conditions for Tracts 1-B-1-C-1 THRU 1-B-1-G-1, SEVILLE, filed in the office of the County Clerk of Bernalillo County, New Mexico on 2-11-03 2003 in Book RSO, page 255.



2883022198
3685198
Page: 2 of 6
02/11/2003 03:05P
Mary Herrera Bern. Co. PLAT R 32.00 Bk-2883C Pg-38

SHEET 2 OF 6

SURVOTEK, INC.

Consulting Surveyors
5645 Paradise Blvd. N.W. Albuquerque, New Mexico 87114 Phone: 505-897-3366
Fax: 505-897-3377

**BULK LAND PLAT OF
TRACTS 1-B-1-C-1 THRU 1-B-1-G-1
SEVILLE**

(BEING A REPLAT OF TRACTS 1-B-1-C THRU 1-B-1-G, SEVILLE)

WITHIN
THE TOWN OF ALAMEDA GRANT
IN
PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JANUARY, 2003

LINE TABLE

LINE	DIRECTION	LENGTH
L1	S78°32'40"E	4.08
L2	S11°25'42"W	49.97
L3	S77°50'51"E	4.37
L4	N11°27'20"E	124.21
L5	N00°16'28"E	130.06
L6	S00°16'27"W	10.03
L7	S89°43'32"E	101.68
L8	N00°13'42"E	143.75
L9	S89°46'18"E	146.00
L10	S00°13'42"W	16.47
L11	S89°46'18"E	124.86
L12	N33°04'33"E	61.93
L13	N56°55'26"W	4.50
L14	N33°24'03"E	150.00
L15	N56°55'23"W	306.57
L16	N56°55'27"W	150.00
L17	S33°04'32"W	5.01
L18	S89°43'32"E	126.84
L19	N00°16'28"E	346.92
L20	N84°04'18"E	44.78
L21	S88°29'58"E	70.75
L22	S60°10'54"E	57.13
L23	S70°16'38"E	53.38
L24	S86°20'16"W	92.96
L25	S68°38'23"E	171.00
L26	S65°58'37"E	122.74
L27	S68°35'23"E	105.77
L28	S44°42'21"E	87.92
L29	S57°33'17"E	45.48
L30	N82°16'07"W	63.20
L31	S47°08'10"E	57.87
L32	S40°15'05"E	51.58
L33	S44°27'58"E	39.78
L34	S58°03'53"E	32.04
L35	S68°12'32"E	130.52
L36	S61°31'16"E	130.99
L37	S44°41'19"E	122.80
L38	S56°01'47"E	2.93
L39	N79°42'07"W	111.00
L40	N62°54'58"W	46.35
L41	N00°13'56"E	102.00
L42	N89°46'04"W	7.11
L43	N05°35'54"W	46.00
L44	N00°13'42"E	76.92
L45	N89°46'18"W	23.06
L46	S81°03'43"W	66.71
L47	N73°14'27"E	13.67
L48	N00°13'42"E	96.28
L49	S89°46'04"E	7.11
L50	N33°04'33"E	76.46
L51	S82°00'03"W	111.92
L52	N56°55'27"W	65.63
L53	N66°59'55"W	89.43
L54	S53°13'26"E	98.68
L55	N89°46'18"W	51.54
L56	S68°54'41"E	109.79
L57	S68°54'41"E	189.69
L58	N48°45'13"E	106.52
L59	N00°13'36"E	42.81
L60	S89°43'47"E	156.55
L61	N00°13'42"E	10.00
L62	S89°43'47"E	30.00
L63	N00°13'42"E	142.27
L64	S71°00'30"E	206.29
L65	N18°59'30"E	10.00
L66	S71°00'30"E	30.00
L67	N18°59'30"E	10.00
L68	S71°00'30"E	244.59
L69	N18°59'30"E	10.00
L70	S71°00'30"E	30.00
L71	N18°59'30"E	10.00
L72	S71°00'30"E	16.45
L73	S56°55'27"E	430.53
L74	N78°04'33"E	45.64
L75	N33°04'33"E	97.75
L76	N33°04'33"E	110.17
L77	N78°04'33"E	70.49
L78	S56°55'27"E	442.96
L79	S71°00'30"E	548.83
L80	N00°13'42"E	123.79
L81	S89°43'47"E	156.55
L82	S00°16'28"W	125.06
L83	N69°10'42"W	20.82
L84	N20°49'18"E	72.00
L85	N69°10'42"W	33.00
L86	S78°32'40"E	43.48
L87	S78°32'40"E	57.06
L88	N69°10'42"W	58.00
L89	N20°49'18"E	87.00
L90	N69°10'42"W	20.82
L91	S00°16'28"W	125.06
L92	S00°16'28"W	134.76

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	200.00'	242.29'	138.51'	227.74'	N55°31'37"E	69°24'39"
C2	2232.89'	331.58'	166.09'	331.27'	S73°27'27"E	08°30'30"
C4	25.00'	38.97'	24.70'	35.14'	N33°11'44"W	89°18'09"
C5	25.00'	39.27'	25.00'	35.36'	S56°27'31"W	90°00'00"
C6	472.00'	77.16'	38.66'	77.07'	N73°51'41"W	09°21'57"
C7	807.00'	55.97'	28.00'	55.96'	S09°28'07"W	03°58'27"
C8	694.00'	135.24'	67.83'	135.02'	S05°51'54"W	11°10'52"
C17	302.00'	30.73'	15.38'	30.72'	N87°19'01"E	5°49'50"
C18	25.00'	36.73'	22.58'	33.51'	S42°18'54"W	84°10'24"
C19	350.00'	86.04'	43.24'	85.82'	N63°57'58"W	14°05'03"
C20	320.00'	78.66'	39.53'	78.46'	N63°57'58"W	14°05'03"
C21	784.00'	104.65'	52.40'	104.58'	S04°05'55"W	7°38'54"
C22	110.00'	148.02'	87.66'	137.11'	N30°37'41"W	77°06'04"
C23	15.00'	23.56'	15.00'	21.21'	S24°10'42"E	90°00'00"
C24	25.00'	16.09'	8.33'	15.81'	N87°36'48"W	36°52'12"
C25	528.00'	86.31'	43.25'	86.21'	S73°51'41"E	9°21'57"
C26	25.00'	39.27'	25.00'	35.36'	N33°32'40"W	90°00'00"
C27	518.00'	84.68'	42.43'	84.58'	S73°51'41"E	9°21'57"
C28	25.00'	39.27'	25.00'	35.36'	S24°10'42"E	90°00'00"
C29	100.00'	134.57'	79.69'	124.64'	N30°37'41"W	77°06'04"
C30	794.00'	105.99'	53.07'	105.91'	S04°05'55"W	7°38'54"

2003022198
5865196
Page: 3 of 6
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R 32.69 Bx-2003C Pg-38
Mary Herrera Bern. Co. PLAT



SHEET 3 OF 6

SURV TEK, INC.

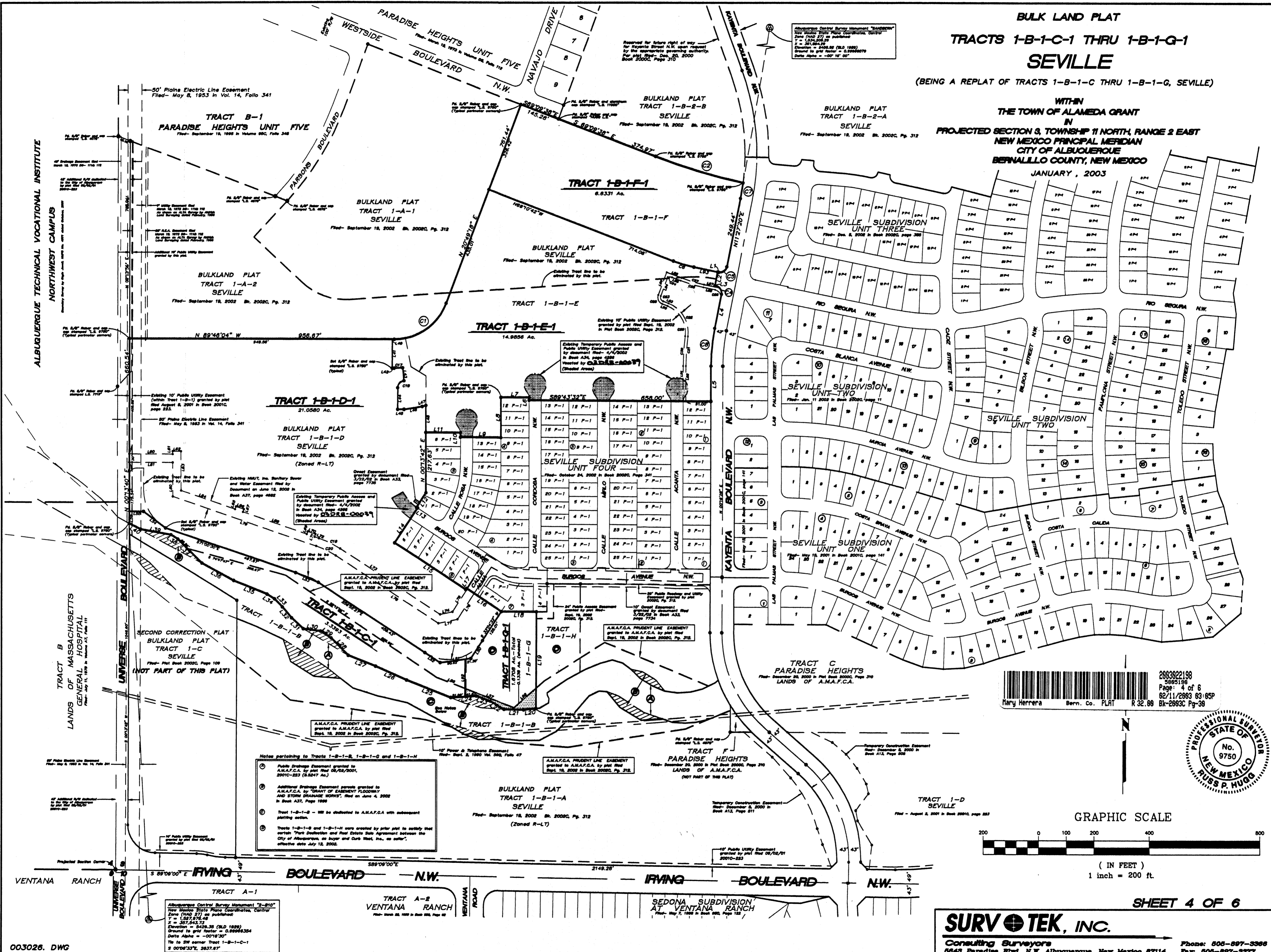
Consulting Surveyors
6645 Paradise Blvd. N.W. Albuquerque, New Mexico 87114
Phone: 505-897-5866 Fax: 505-897-5377

BULK LAND PLAT
TRACTS 1-B-1-C-1 THRU 1-B-1-G-1
SEVILLE

(BEING A REPLAT OF TRACTS 1-B-1-C THRU 1-B-1-G, SEVILLE)

WITHIN
THE TOWN OF ALAMEDA GRANT
 IN
PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST
NEW MEXICO PRINCIPAL MERIDIAN
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JANUARY, 2003



Albuquerque Central Survey Monument "BANDER" New Mexico State Plane Coordinate, Central Zone (NAD 27) as published
 T = 1,234,567.89
 N = 123,456.78
 Elevation = 5428.38 (BLD 1889)
 Ground to grid factor = 0.9999979
 Date Alpha = -00' 10" 00"

Reserved for future right of way for Kavena Street A.R.K. upon request by the appropriate governing authority. Per plat filed Dec. 20, 2000 Book 2000C, Page 310

TRACT 1-B-1-F-1
 6.8331 Ac.

TRACT 1-B-1-E-1
 14.9856 Ac.

TRACT 1-B-1-D-1
 21.0380 Ac.

TRACT 1-B-1-E
 14.9856 Ac.

TRACT B-1
PARADISE HEIGHTS UNIT FIVE
 Filed- September 18, 2002 in Volume 99C, Page 348

BULKLAND PLAT
TRACT 1-A-2
SEVILLE
 Filed- September 18, 2002 Bl. 2002C, Pg. 312

BULKLAND PLAT
TRACT 1-B-1-D
SEVILLE
 Filed- September 18, 2002 Bl. 2002C, Pg. 312
 (Zoned R-LT)

TRACT 1-B-1-E
 14.9856 Ac.

TRACT 1-B-1-F
 6.8331 Ac.

BULKLAND PLAT
TRACT 1-B-2-A
SEVILLE
 Filed- September 18, 2002 Bl. 2002C, Pg. 312

BULKLAND PLAT
TRACT 1-B-2-B
SEVILLE
 Filed- September 18, 2002 Bl. 2002C, Pg. 312

BULKLAND PLAT
TRACT 1-B-2-C
SEVILLE
 Filed- September 18, 2002 Bl. 2002C, Pg. 312

BULKLAND PLAT
TRACT 1-B-2-D
SEVILLE
 Filed- September 18, 2002 Bl. 2002C, Pg. 312

BULKLAND PLAT
TRACT 1-B-2-E
SEVILLE
 Filed- September 18, 2002 Bl. 2002C, Pg. 312

BULKLAND PLAT
TRACT 1-B-2-F
SEVILLE
 Filed- September 18, 2002 Bl. 2002C, Pg. 312

BULKLAND PLAT
TRACT 1-B-2-G
SEVILLE
 Filed- September 18, 2002 Bl. 2002C, Pg. 312

BULKLAND PLAT
TRACT 1-B-2-H
SEVILLE
 Filed- September 18, 2002 Bl. 2002C, Pg. 312

BULKLAND PLAT
TRACT 1-B-2-I
SEVILLE
 Filed- September 18, 2002 Bl. 2002C, Pg. 312

BULKLAND PLAT
TRACT 1-B-2-J
SEVILLE
 Filed- September 18, 2002 Bl. 2002C, Pg. 312

BULKLAND PLAT
TRACT 1-B-2-K
SEVILLE
 Filed- September 18, 2002 Bl. 2002C, Pg. 312

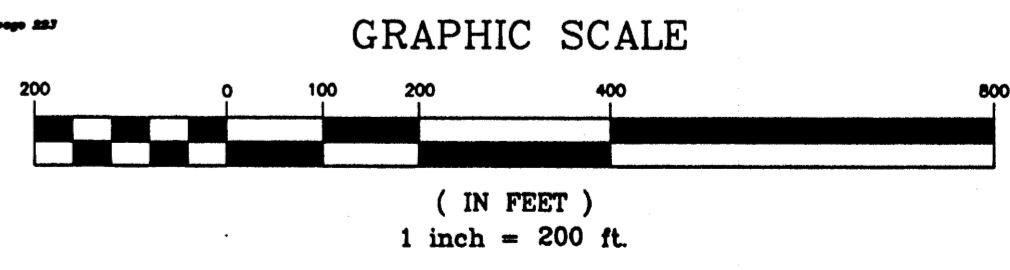
SECOND CORRECTION PLAT
BULKLAND PLAT
TRACT 1-C
SEVILLE
 Filed- Plat Book 2002C, Page 109
 (NOT PART OF THIS PLAT)

BULKLAND PLAT
TRACT 1-B-1-A
SEVILLE
 Filed- September 18, 2002 Bl. 2002C, Pg. 312
 (Zoned R-LT)

TRACT C
PARADISE HEIGHTS
 Lands of A.M.A.F.C.A.
 Filed- December 26, 2000 in Plat Book 2000C, Page 310

TRACT F
PARADISE HEIGHTS
 Lands of A.M.A.F.C.A.
 Filed- December 26, 2000 in Plat Book 2000C, Page 310

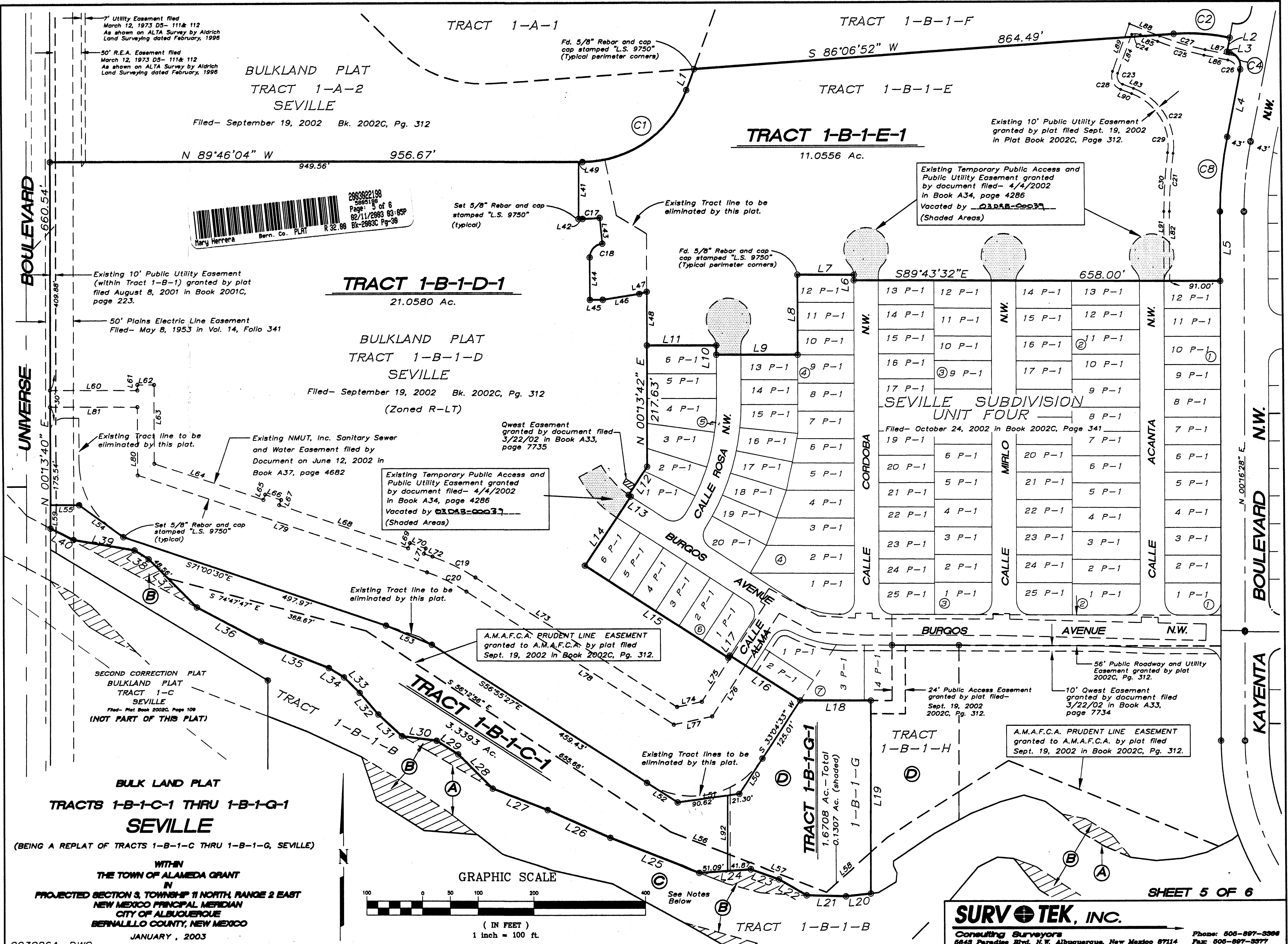
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 5965198
 Page: 4 of 6
 62/11/2683 63:65P
 Mary Herrera Bern. Co. PLAT R 32.00 Bk-2683C Pg-38



SHEET 4 OF 6

SURVTEK, INC.
 Consulting Surveyors
 5643 Paradise Blvd. N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3366 Fax: 505-897-3377

003026.DWG



7' Utility Easement filed March 12, 1973 D5-111&112 As shown on ALTA Survey by Aldrich Land Surveying dated February, 1996

50' R.E.A. Easement filed March 12, 1973 D5-111&112 As shown on ALTA Survey by Aldrich Land Surveying dated February, 1996

BULKLAND PLAT TRACT 1-A-2 SEVILLE
 Filed- September 19, 2002 Bk. 2002C, Pg. 312



Set 5/8" Rebar and cap stamped "L.S. 9750" (typical)

Existing Tract line to be eliminated by this plat.

Existing Temporary Public Access and Public Utility Easement granted by document filed- 4/4/2002 in Book A34, page 4286 Vacated by ~~Q3PAB-00033~~ (Shaded Areas)

Existing 10' Public Utility Easement (within Tract 1-B-1) granted by plat filed August 8, 2001 in Book 2001C, page 223.

50' Plains Electric Line Easement Filed- May 8, 1953 in Vol. 14, Folio 341

TRACT 1-B-1-D-1
 21.0580 Ac.

BULKLAND PLAT TRACT 1-B-1-D SEVILLE
 Filed- September 19, 2002 Bk. 2002C, Pg. 312
 (Zoned R-LT)

Qwest Easement granted by document filed 3/22/02 in Book A33, page 7735

Existing Temporary Public Access and Public Utility Easement granted by document filed- 4/4/2002 in Book A34, page 4286 Vacated by ~~Q3PAB-00033~~ (Shaded Areas)

Existing Tract line to be eliminated by this plat.

Existing NMUT, Inc. Sanitary Sewer and Water Easement filed by Document on June 12, 2002 in Book A37, page 4682

Set 5/8" Rebar and cap stamped "L.S. 9750" (typical)

Existing Tract line to be eliminated by this plat.

A.M.A.F.C.A. PRUDENT LINE EASEMENT granted to A.M.A.F.C.A. by plat filed Sept. 19, 2002 in Book 2002C, Pg. 312.

SECOND CORRECTION PLAT BULKLAND PLAT TRACT 1-C SEVILLE Filed- Plat Book 2002C, Page 109 (NOT PART OF THIS PLAT)

24' Public Access Easement granted by plat filed- Sept. 19, 2002 2002C, Pg. 312.

10' Qwest Easement granted by document filed 3/22/02 in Book A33, page 7734

A.M.A.F.C.A. PRUDENT LINE EASEMENT granted to A.M.A.F.C.A. by plat filed Sept. 19, 2002 in Book 2002C, Pg. 312.

BULK LAND PLAT TRACTS 1-B-1-C-1 THRU 1-B-1-G-1 SEVILLE

(BEING A REPLAT OF TRACTS 1-B-1-C THRU 1-B-1-G, SEVILLE)

WITHIN THE TOWN OF ALAMEDA GRANT IN PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST NEW MEXICO PRINCIPAL MERIDIAN CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

JANUARY, 2003

GRAPHIC SCALE



(IN FEET)
 1 inch = 100 ft.

See Notes Below

SHEET 5 OF 6

SURV TEK, INC.
 Consulting Surveyors
 6645 Paradise Blvd. N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-3398 Fax: 505-897-3377

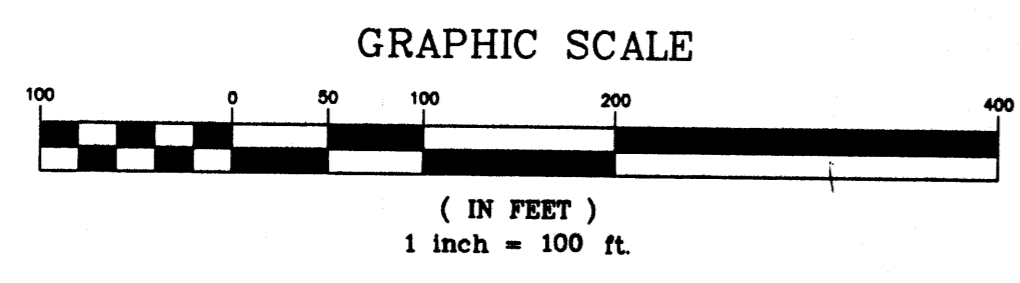
WESTSIDE BOULEVARD
 PARADISE HEIGHTS UNIT FIVE
 Filed- March 12, 1973 in Volume D5, Folio 112

NAVAJO DRIVE
 BLOCK 7
 BLOCK 8
 BLOCK 9

Reserved for future right of way
 for Kayenta Street N.W. upon request
 by the appropriate governing authority.
 Per plat filed- Dec. 20, 2000
 Book 2000C, Page 310

Albuquerque Control Survey Monument "SANDBERN"
 New Mexico State Plane Coordinates, Central
 Zone (NAD 27) as published:
 Y = 1,534,209.29
 X = 361,854.29
 Elevation = 5456.92 (SLD 1929)
 Ground to grid factor = 0.99966079
 Delta Alpha = -00° 16' 00"

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 3665198
 Page: 6 of 6
 02/11/2003 03:05P
 R 32.00 Bk-2003C Pg-30
 Mary Herrera Bern. Co. PLR



BULKLAND PLAT
 TRACT 1-A-1
 SEVILLE
 Filed- September 19, 2002 Bk. 2002C, Pg. 312

BULKLAND PLAT
 TRACT 1-B-2-B
 SEVILLE
 Filed- September 19, 2002 Bk. 2002C, Pg. 312

BULKLAND PLAT
 TRACT 1-B-2-A
 SEVILLE
 Filed- September 19, 2002 Bk. 2002C, Pg. 312

TRACT 1-B-1-F-1
 6.6331 Ac.

BULKLAND PLAT
 SEVILLE
 Filed- September 19, 2002 Bk. 2002C, Pg. 312

SEVILLE SUBDIVISION
 UNIT THREE
 Filed- Dec. 5, 2002 in Book 2002C, page 385

TRACT 1-B-1-E-1
 14.9856 Ac.

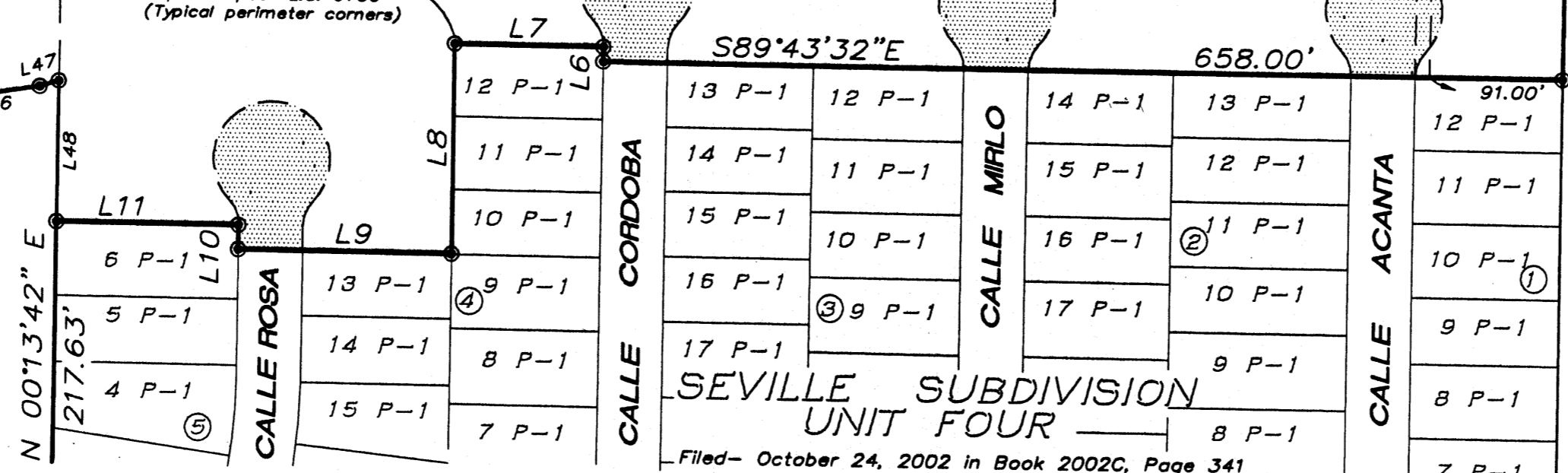
Existing Temporary Public Access and
 Public Utility Easement granted
 by document filed- 4/4/2002
 in Book A34, page 4286
 Vacated by ~~01216-00033~~
 (Shaded Areas)

TRACT 1-B-1-D-1
 21.0580 Ac.

BULKLAND PLAT
 TRACT 1-B-1-D
 SEVILLE
 Filed- September 19, 2002 Bk. 2002C, Pg. 312
 (Zoned R-LT)

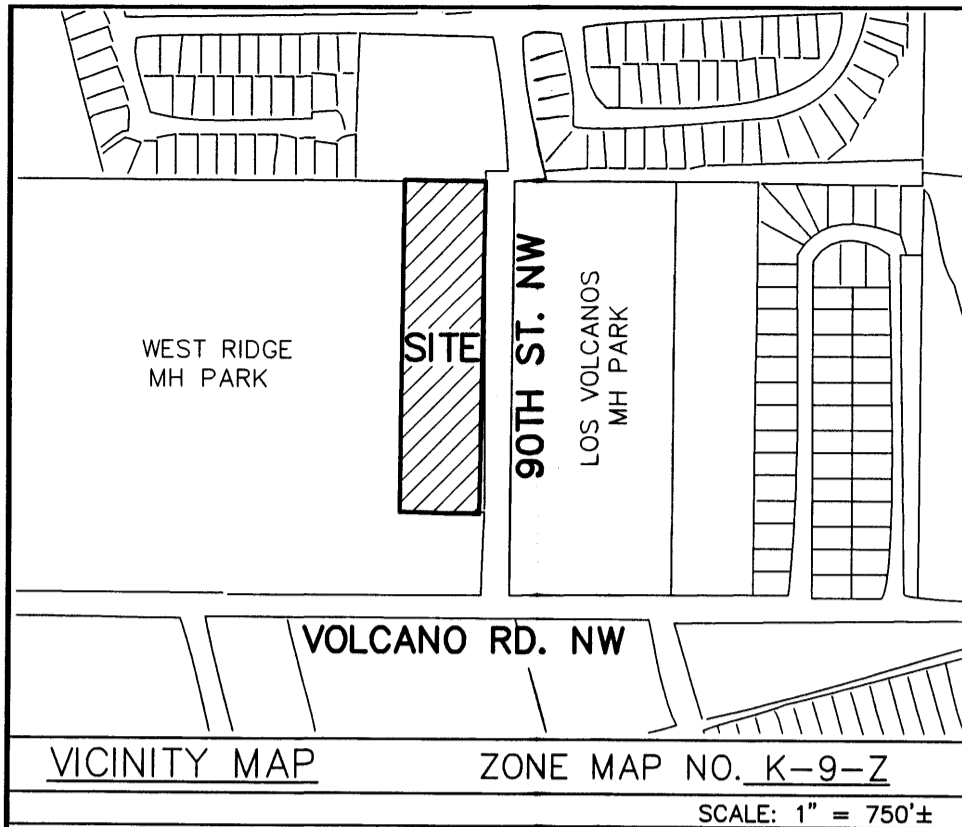
**BULK LAND PLAT
 TRACTS 1-B-1-C-1 THRU 1-B-1-G-1
 SEVILLE**

(BEING A REPLAT OF TRACTS 1-B-1-C THRU 1-B-1-G, SEVILLE)
 WITHIN
 THE TOWN OF ALAMEDA GRANT
 IN
 PROJECTED SECTION 3, TOWNSHIP 11 NORTH, RANGE 2 EAST
 NEW MEXICO PRINCIPAL MERIDIAN
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2003



SEVILLE SUBDIVISION
 UNIT FOUR
 Filed- October 24, 2002 in Book 2002C, Page 341

SURV TEK, INC.
 Consulting Surveyors
 6043 Paradise Blvd. N.W. Albuquerque, New Mexico 87114
 Phone: 505-897-5368
 Fax: 505-897-5377



DISCLOSURE STATEMENT:

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING LOT INTO 29 NEW RESIDENTIAL LOTS. GRANT NEW EASEMENTS AS SHOWN AND DEDICATE NEW RIGHT-OF-WAY AS SHOWN.

NOTES:

- 1: TOTAL AREA OF PROPERTY.....4.0000 ACRES
- 2: NUMBER OF EXISTING TRACTS/LOTS.....1 LOTS
- 3: NUMBER OF TRACTS/LOTS CREATED.....29 LOTS
- 4: MILES OF FULL STREETS CREATED.....0.2059
- 5: MILES OF HALF STREETS CREATED.....0.00
- 6: AREA DEDICATED TO CITY OF ALBUQUERQUE...1.0848 ACRES
- 7: DATE OF SURVEY.....OCTOBER 2002

GENERAL NOTES:

- 1: UNLESS NOTED, NO.4 REBAR WITH CAP STAMPED P.S. #9801 WERE SET AT ALL PROPERTY CORNERS.
- 2: THIS PLAT SHOWS ALL EASEMENTS OF RECORD.
- 3: TALOS LOG NO. SP 2003022516
- 4: BASIS OF BEARING IS THE BEARING BETWEEN ALBUQUERQUE CONTROL STATIONS 7-K9 AND 8-K9.
- 5: BEARINGS ARE GRID, DISTANCES ARE GROUND.
- 6: THIS PROPERTY LIES WITHIN PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO.
- 7: MISC. DATA: ZONING IS SU-1 FOR MH.
- 8: CITY OF ALBUQUERQUE WATER AND SANITARY SEWER SERVICES TO THESE LOTS MUST BE VERIFIED AND COORDINATE WITH THE WATER RESOURCES DEPARTMENT, CITY OF ALBUQUERQUE.

LEGAL DESCRIPTION:

A TRACT OF LAND LYING AND SITUATE WITHIN PROJECTED SECTION 21, TOWNSHIP 10 NORTH, RANGE 2 EAST, NEW MEXICO PRINCIPAL MERIDIAN, TOWN OF ATRISCO GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF THE NORTH EIGHT HUNDRED TWENTY NINE AND SIX TENTHS FEET (829.60') OF TRACT SIX (6), AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT ENTITLED "PLAT SHOWING LANDS OF C.H. HALL COMPRISING OF TRACTS 4, 7, 8, 9, 10, 11 AND 12 OF TRACTS ALLOTTED FROM THE TOWN OF ATRISCO GRANT, BERNALILLO COUNTY, NEW MEXICO", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 30, 1946, IN VOLUME B1, FOLIO 120, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHEAST CORNER OF SAID TRACT BEING A POINT ON THE WEST RIGHT OF WAY LINE OF 90TH STREET, N.W., MARKED BY A SET REBAR WITH CAP "PS 9801", FROM WHENCE A TIE TO ACS MONUMENT "7-K9" BEARS N. 56°30'14" W., A DISTANCE OF 1339.70 FEET; THENCE,

FROM SAID BEGINNING POINT N. 89°40'43" W., A DISTANCE OF 209.50 FEET TO THE SOUTHWEST CORNER OF SAID TRACT; THENCE,

N. 00°19'17" E., A DISTANCE OF 829.60 FEET TO THE NORTHWEST CORNER OF SAID TRACT; THENCE,

S. 89°40'43" E., A DISTANCE OF 209.50 FEET TO THE WEST RIGHT OF WAY LINE OF 90TH STREET; THENCE,

LEAVING THE SAID POINT ALONG WEST RIGHT OF WAY LINE S. 00°19'17" W., A DISTANCE OF 829.60 FEET TO SOUTHEAST CORNER OF SAID TRACT AND THE POINT OF BEGINNING, CONTAINING 4.0000 ACRE (174,240.00 SQUARE FEET), MORE OR LESS,

EASEMENTS:

THIS PLAT SHOWS EXISTING RECORDED AND APPARENT EASEMENTS AS NOTED. PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. THE PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE, AND SERVICES OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.
2. THE PNM GAS SERVICES DIVISION FOR THE INSTALLATION, MAINTENANCE, AND SERVICES OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
3. QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
4. COMCAST CABLE COMMUNICATION, INC. FOR THE INSTALLATION, AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON, PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OR POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

IN APPROVING THIS PLAT, THE UTILITY COMPANIES DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, THE UTILITY COMPANIES DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10') IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE FEET (5') ON EACH SIDE.

FREE CONSENT AND DEDICATION

THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE ALL STREET AND PUBLIC RIGHT-OF-WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT: ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

OWNER SIGNATURE: Fred Seeley DATE: 1-9-03

OWNER PRINT NAME: Fred A Seeley

ACKNOWLEDGMENT

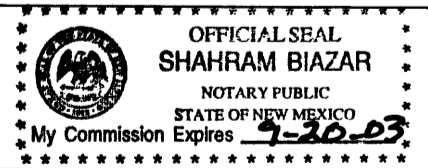
STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) S.S.

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 9th DAY OF January

20 03, BY Fred Seeley, Owner

Shahram Biazar
NOTARY

MY COMMISSION EXPIRES:



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON

UPC # _____

PROPERTY OWNER OF RECORD: _____

BERNALILLO CO. TREASURER'S OFFICE: _____

PLAT OF WEST PLATEAU MOBILE HOME SUBDIVISION

CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2003

DRB PROJECT NO. _____

DRB APPLICATION NO. _____

APPROVALS:

APPROVAL AND CONDITIONAL ACCEPTANCE AS SPECIFIED BY THE ALBUQUERQUE SUBDIVISION ORDINANCE, CHAPTER 14 ARTICLE 14 OF THE REVISED ORDINANCE OF ALBUQUERQUE, NEW MEXICO.

CITY PLANNER/CITY OF ALBUQUERQUE PLANNING DIVISION _____ DATE _____

CITY ENGINEER, CITY OF ALBUQUERQUE, N.M. _____ DATE _____

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY _____ DATE _____

TRANSPORTATION DEVELOPMENT, CITY OF ALBUQUERQUE, N.M. _____ DATE _____

UTILITY DEVELOPMENT DIVISION, CITY OF ALBUQUERQUE, N.M. _____ DATE _____

PARKS AND RECREATION DEPARTMENT _____ DATE _____

Shahram Biazar
CITY SURVEYOR, CITY OF ALBUQUERQUE, N.M. 1-10-03 DATE _____

PNM GAS SERVICES _____ DATE _____

PNM ELECTRIC SERVICES _____ DATE _____

QWEST TELECOMMUNICATIONS _____ DATE _____

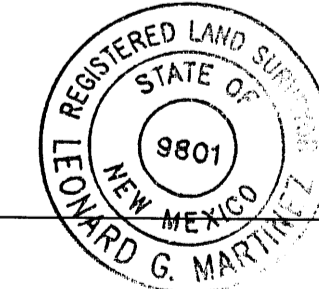
COMCAST CABLE COMMUNICATION, INC. _____ DATE _____

SURVEYORS CERTIFICATE:

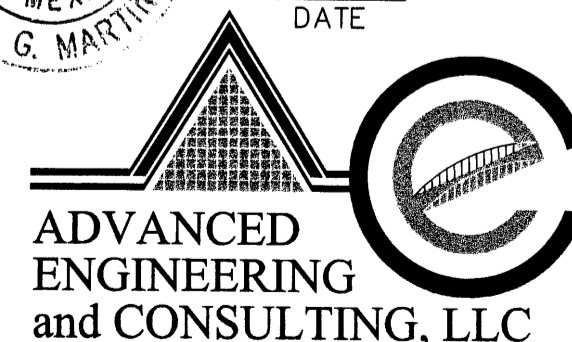
I, LEONARD MARTINEZ, A DULY PROFESSIONAL LAND SURVEYOR, UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE PLAT WAS PREPARED UNDER MY DIRECT SUPERVISION AND MEETS THE REQUIREMENTS FOR MONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE AND ALSO MEETS THE MINIMUM STANDARDS FOR LAND SURVEYS IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Leonard G. Martinez

LEONARD MARTINEZ P.S. # 9801



1-9-03 DATE



10205 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

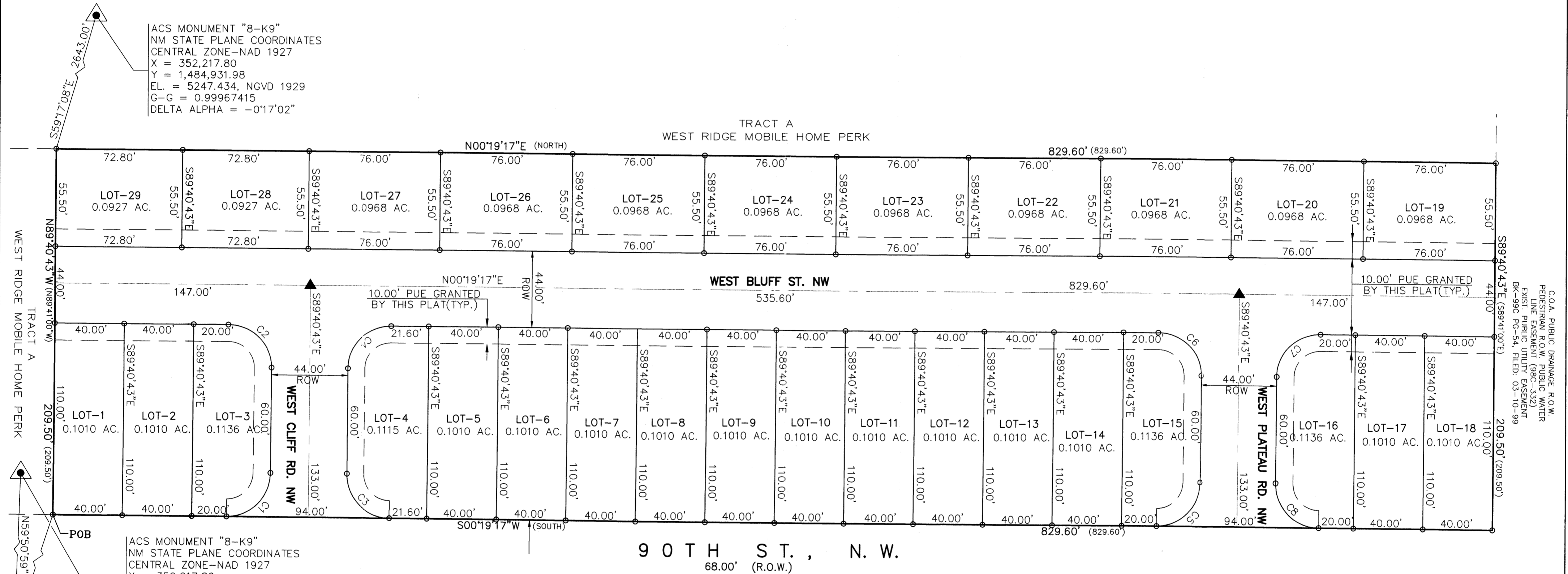
**PLAT OF
WEST PLATEAU MOBILE HOME SUBDIVISION**
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2003

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CORD	CORD DIRECTION
C1	39.27	25.00	90°00'00"	25.00	35.36	N44°40'43"W
C2	39.27	25.00	90°00'00"	25.00	35.36	S45°19'17"W
C3	39.27	25.00	90°00'00"	25.00	35.36	N45°19'17"E
C4	39.27	25.00	90°00'00"	25.00	35.36	S44°40'43"E
C5	39.27	25.00	90°00'00"	25.00	35.36	N44°40'43"W
C6	39.27	25.00	90°00'00"	25.00	35.36	S45°19'17"W
C7	39.27	25.00	90°00'00"	25.00	35.36	S44°40'43"E
C8	39.27	25.00	90°00'00"	25.00	35.36	N45°19'17"E

ABBREVIATIONS:

PUE PUBLIC UTILITY EASEMENT
ROW RIGHT-OF-WAY
AC. ACRES
N.W. NORTH WEST
AVE. AVENUE
ST. STREET

ACS MONUMENT "8-K9"
NM STATE PLANE COORDINATES
CENTRAL ZONE-NAD 1927
X = 352,217.80
Y = 1,484,931.98
EL. = 5247.434, NGVD 1929
G-G = 0.99967415
DELTA ALPHA = -0°17'02"



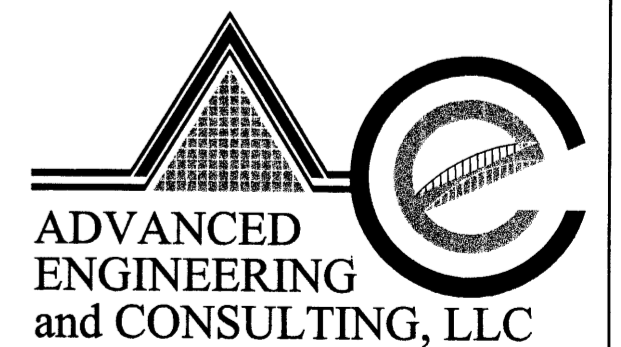
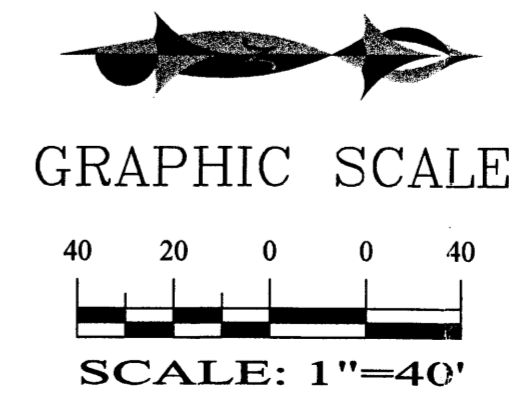
ACS MONUMENT "8-K9"
NM STATE PLANE COORDINATES
CENTRAL ZONE-NAD 1927
X = 352,217.80
Y = 1,484,931.98
EL. = 5247.434, NGVD 1929
G-G = 0.99967415
DELTA ALPHA = -0°17'02"

ACS MONUMENT "7-K9"
NM STATE PLANE COORDINATES
CENTRAL ZONE-NAD 1927
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Y = 1,482,842.09
EL. = 5137.363, NGVD 1929
G-G = 0.99967820
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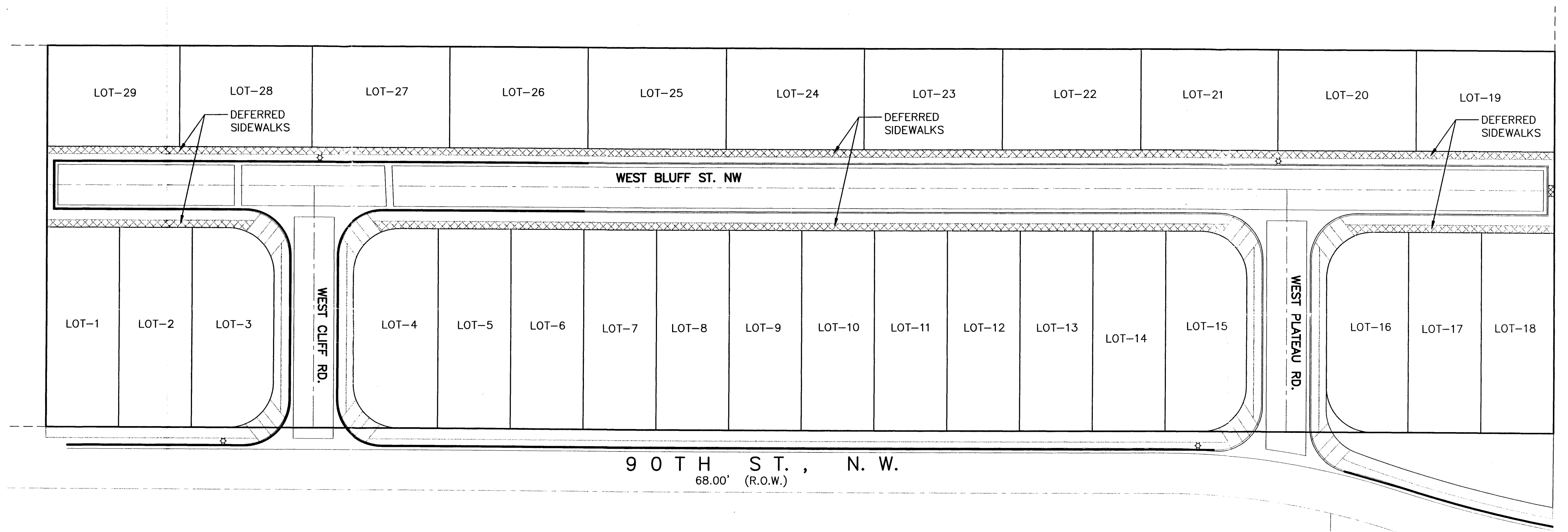
NOTE:

CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTION AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS #9801".

* ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT- OF-WAY.



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LEGEND

———— LOT LINE

XXXXXXXXX DEFERRED SIDEWALKS

==== CURB & GUTTER

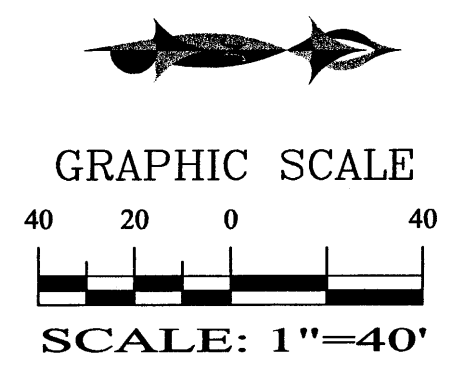
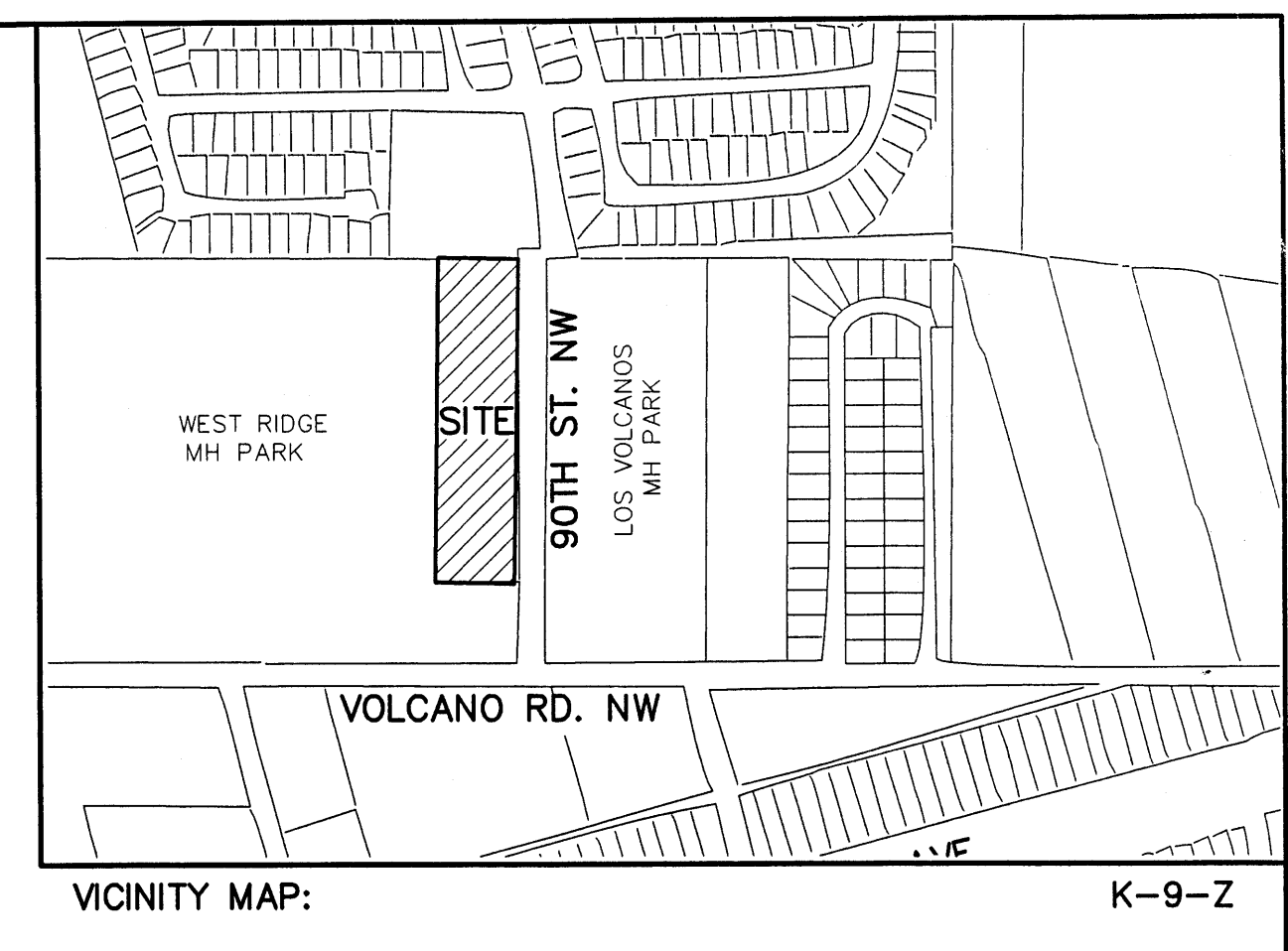
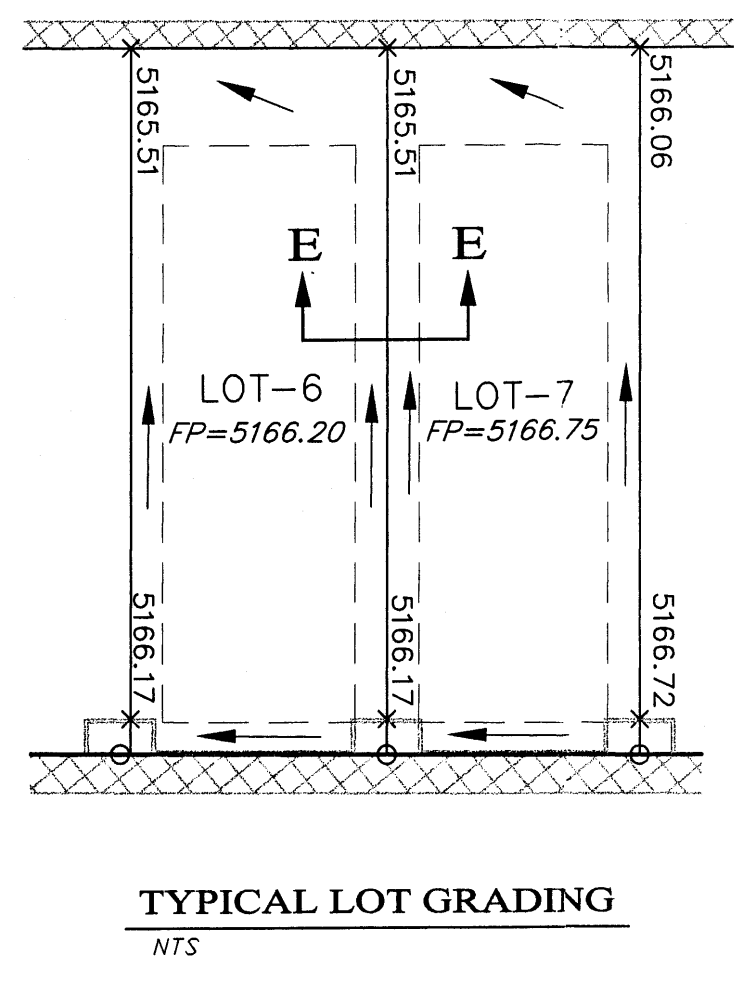
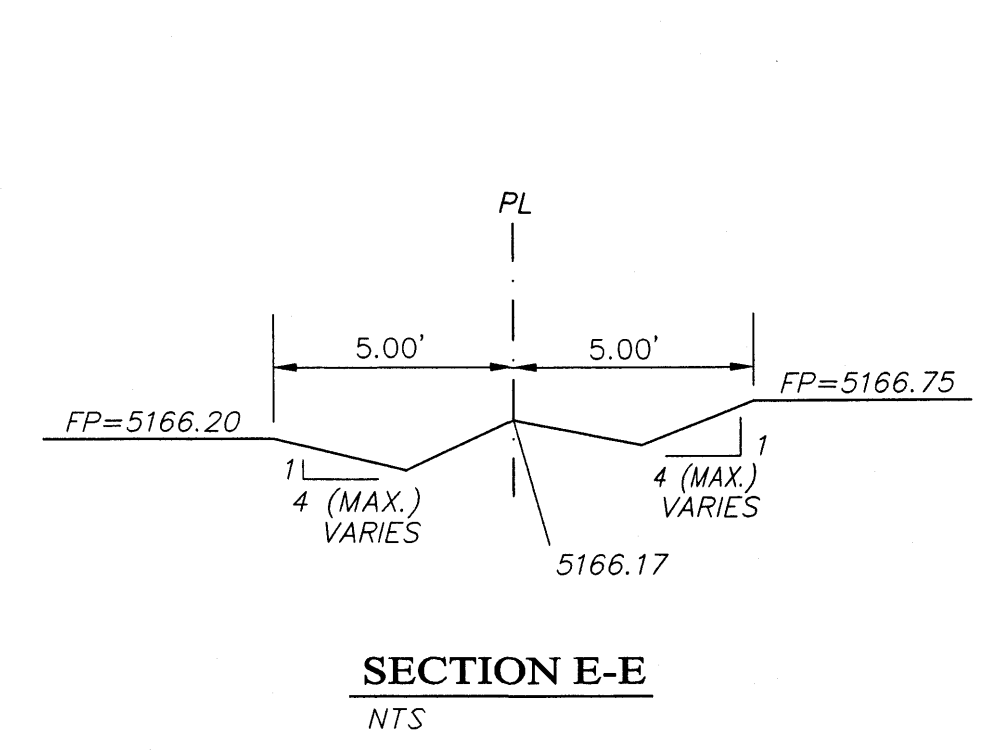
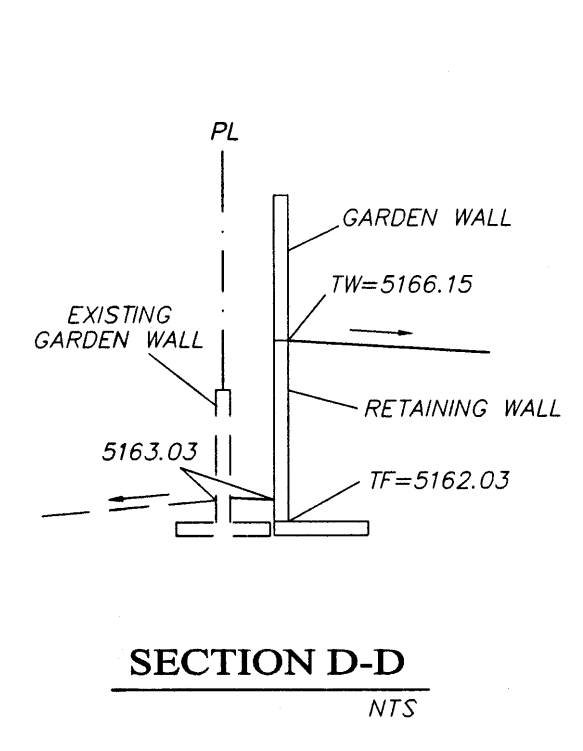
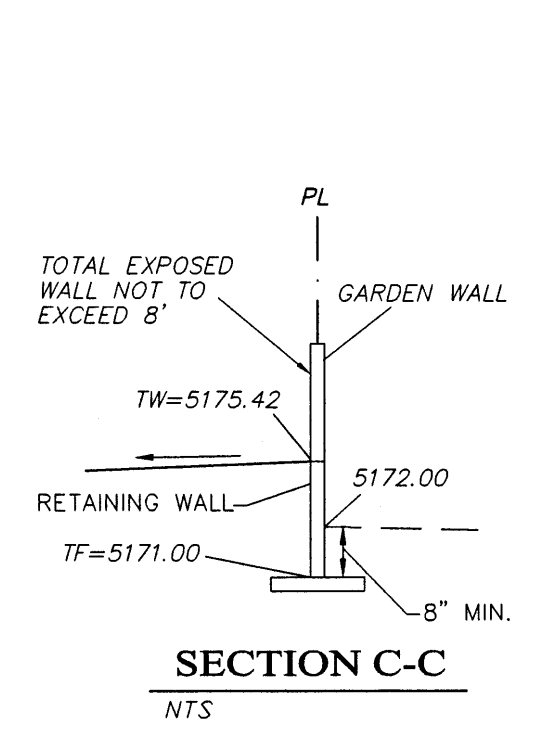
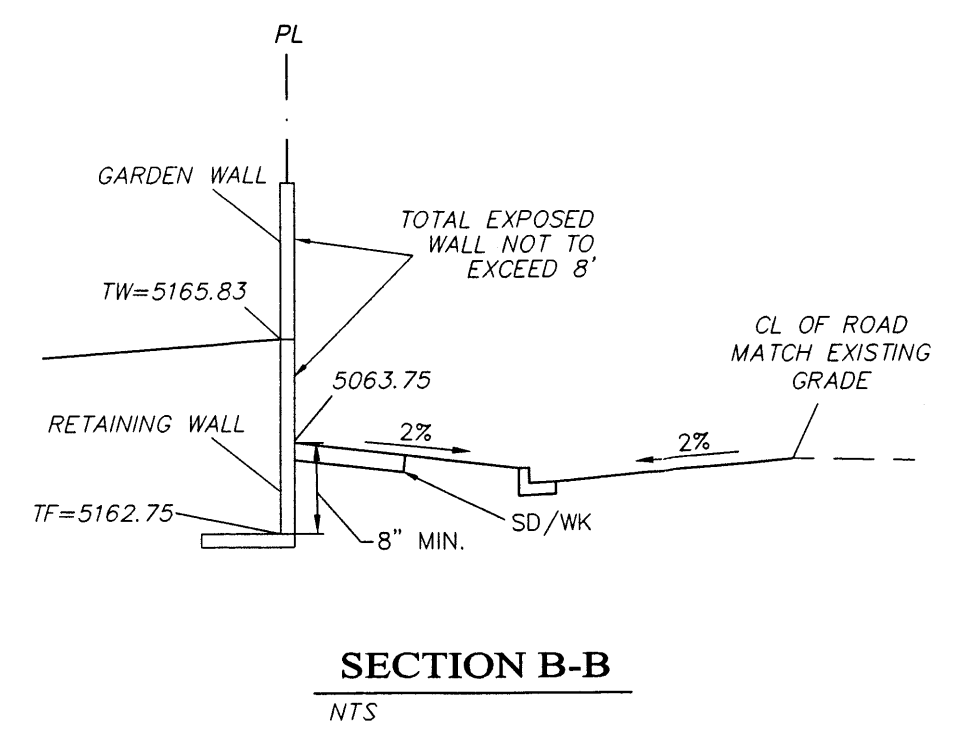
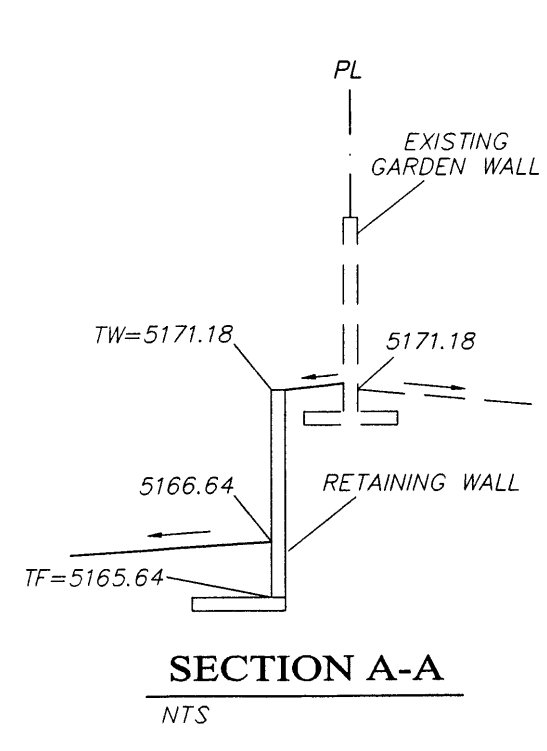
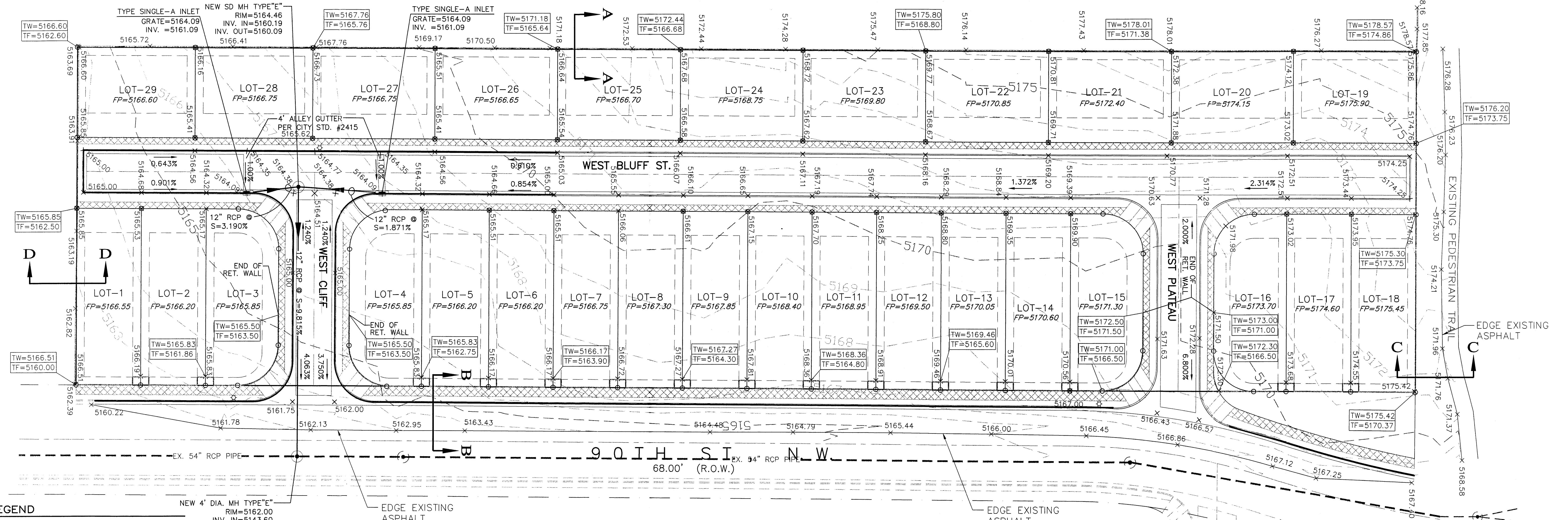


EXHIBIT B
Date 2/5/08



LEGAL DESCRIPTION:
TRACT 6, LANDS OF C.H. HALL
CONTAINING ± 4 ACRES MORE OR LESS.



- LEGEND**
- - - - - EXISTING CURB & GUTTER
 - - - - - EXISTING CONTOUR (MAJOR)
 - - - - - EXISTING CONTOUR (MINOR)
 - - - - - EXISTING SD PIPE
 - - - - - RETAINING WALL
 - - - - - NEW CURB & GUTTER
 - - - - - SET BACK
 - - - - - BOUNDARY LINE
 - - - - - PROPOSE LOT LINE
 - - - - - CENTER LINE
 - - - - - NEW SIDEWALK
 - - - - - STD. CURB & GUTTER
 - × 5088.23 PROPOSED SPOT ELEVATION
 - PROPOSED DROP INLET
 - EXISTING STORM SEWER MH
 - NEW STORM SEWER MH
 - ▬ TW=5167.76 TOP OF RETAINING WALL
 - ▬ TF=5165.76 TOP OF FOOTING

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

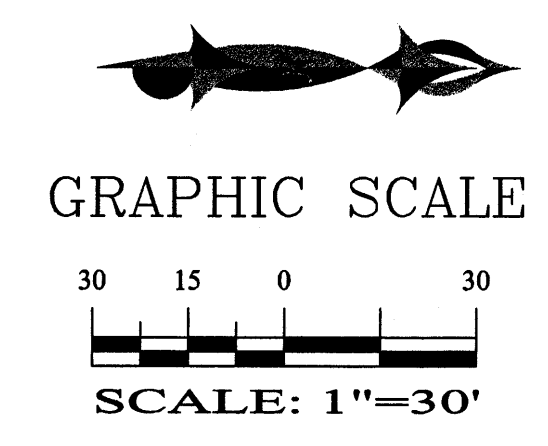
ROUGH GRADING APPROVAL _____ DATE _____

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

GENERAL NOTES:

1. CONTOUR INTERVAL IS ONE (1) FOOT.
2. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION HAVING AN ELEVATION OF 5085.00 FEET ABOVE SEA LEVEL.
3. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
4. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
5. SLOPES ARE AT 3:1 MAXIMUM.



ADVANCED ENGINEERING and CONSULTING, LLC

10205 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

**WEST PLATEAU MH SUBDIVISION
GRADING AND DRAINAGE PLAN**

DRAWING: 200226-GR.DWG DRAWN BY: SHH DATE: 10-09-02 SHEET # 3 OF 4

SITE DATA

PROPOSED USAGE: MOBILE HOME PARK
 EXISTING ZONING: SU-1 M.H.
 LOT AREA: 174,240.00 SF (4.00 ACRES)
 No. OF LOTS: TOTAL SINGLE WIDE = 18
 TOTAL DOUBLE WIDE = 11
 GRAND TOTAL OF LOTS = 29

GENERAL NOTES:

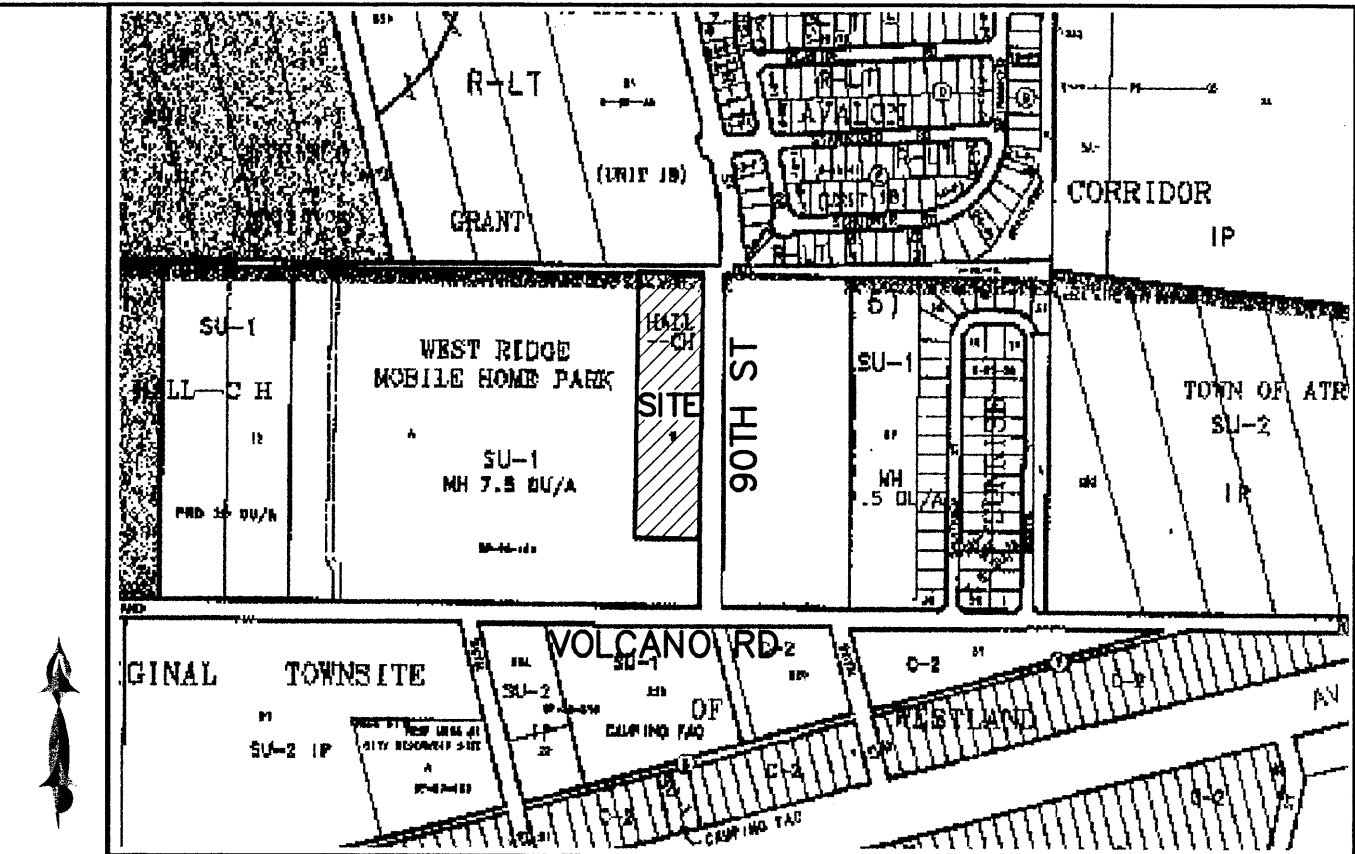
1. REFUSE COLLECTION WILL BE CURB SIDE PICK UP.
2. SITE LIGHTING WILL BE AT ALL INTERSECTIONS AND BE MAXIMUM OF 16' IN HEIGHT WITH FULL CUT-OFF FIXTURES.
3. ALL STREETS ARE PRIVATE WITH THE EXCEPTION OF 90TH. AND VOLCANO WHICH ARE PUBLIC RIGHT OF WAYS.
4. ALL STREETS WILL BE 46' PRIVATE INGRESS/EGRESS EASEMENT.
5. EACH MOBILE HOME SPACE WILL PROVIDE A MINIMUM OF 2 OFF-STREET PARKING SPACES PER UNIT.
6. ANY CHANGES FROM WHAT IS APPROVED ON THE SITE DEVELOPMENT PLAN FOR THE SUBDIVISION PURPOSES WILL REQUIRE AN AMENDMENT TO THE PLAN.
7. APPROVAL OF THIS PLAN DOES NOT CONSTITUTE OR IMPLY EXEMPTION FROM WATER WASTE PROVISIONS OF THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE WATER WASTE MANAGEMENT IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER.
8. LANDSCAPE MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
9. NO BARB WIRE, RAZOR WIRE OR CHAIN LINK FENCE SHALL BE PERMITTED.

CASE NUMBER:

This plan is consistent with the specific site development plan approval by the Environmental Planning Commission (EPC) on _____ and that the findings and conditions in the Official Notice; Notification of Decision have been complied with:

SITE DEVELOPMENT PLAN

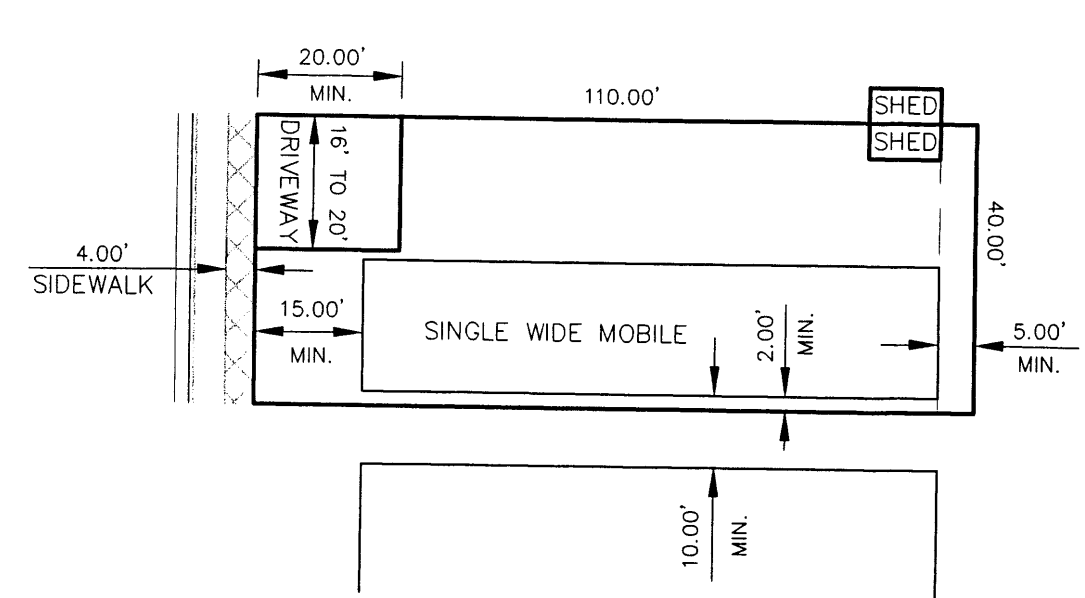
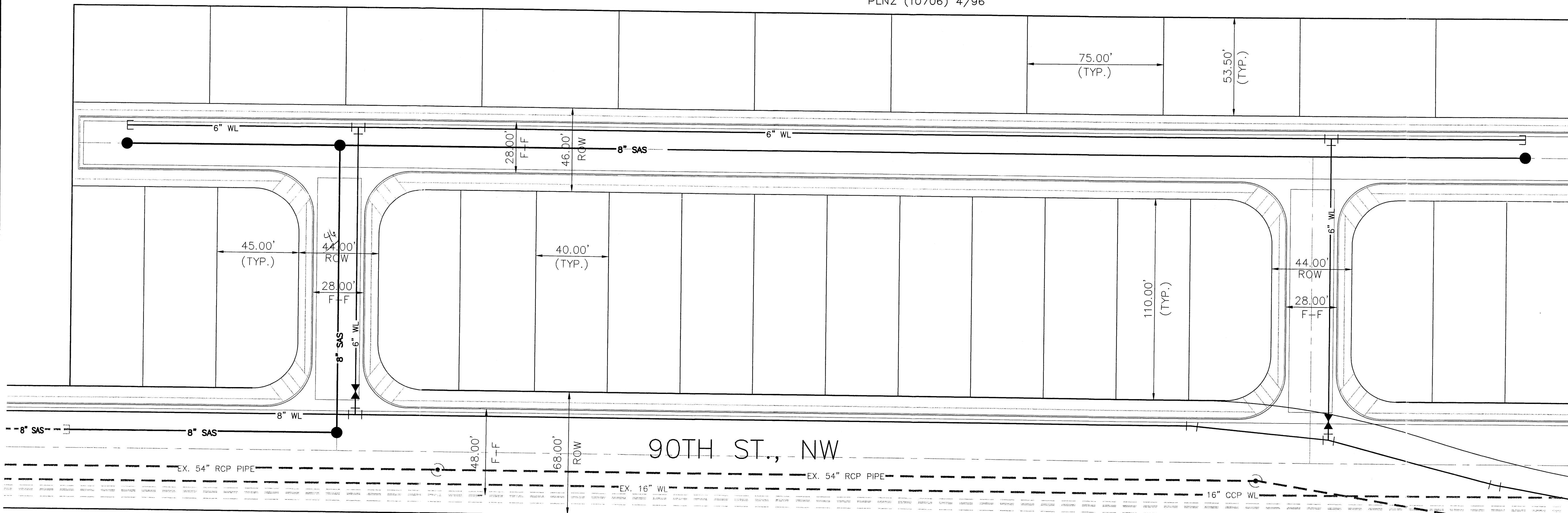
Traffic Engineer, Transportation Division _____ Date _____
 Parks & Recreation Department _____ Date _____
 Public Works, Water Utilities Division _____ Date _____
 City Engineer, Engineering Division / AMAFCA _____ Date _____
 APPROVAL AND CONDITIONAL ACCEPTANCE: as specified by the Development Process Manual.
 City Planner, Albuquerque / Bernalillo _____ Date _____
 County Planning Division
 Solid Waste _____ Date _____
 PLNZ (10706) 4/96



VICINITY MAP: K-9-Z

LEGAL DESCRIPTION:

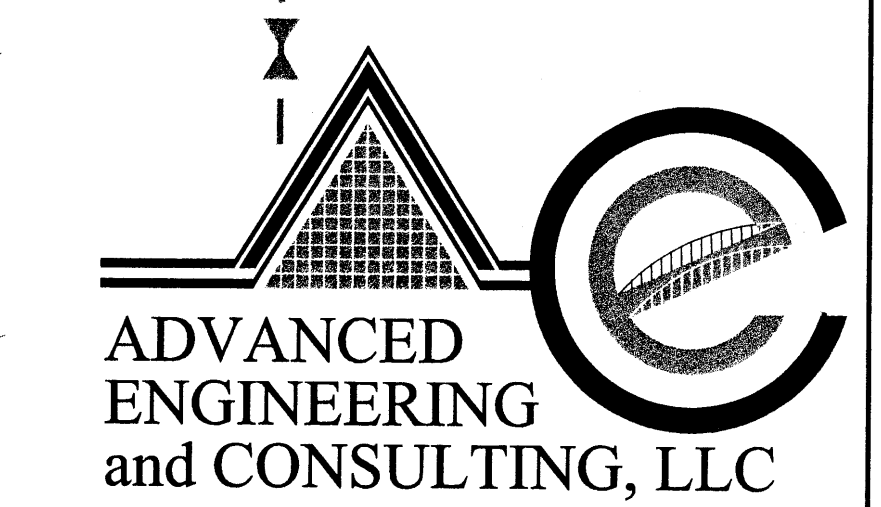
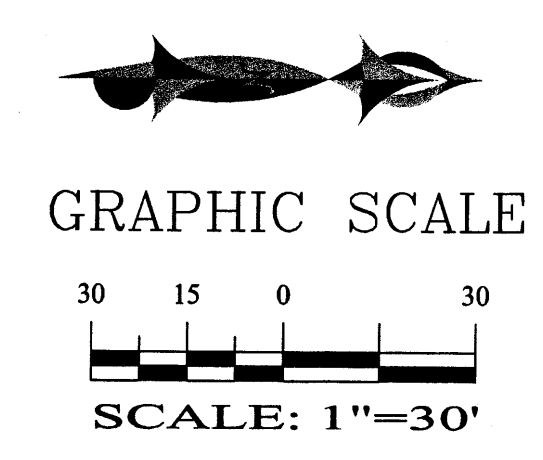
TRACT 6, LANDS OF C.H. HALL



TYPICAL SINGLE WIDE LOT

LEGEND

- BOUNDARY LINE
- - - EASEMENT
- LOT LINE
- ▨ PROPOSED SIDEWALK
- CURB & GUTTER
- - - EXISTING CURB & GUTTER
- ⊘ NEW GATE VALVE
- NEW SAS MH
- NEW TEE



SHAHAB BIAZAR
 P.E. #13479
 10205 SNOWFLAKE CT., NW
 ALBUQUERQUE, NEW MEXICO 87114
 (505)899-5570

MOBILE HOME PARK SITE PLAN

DRAWING: 200226-ST.DWG	DRAWN BY: SBB	DATE: 06-18-02	SHEET # 1 OF 4
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LAST REVISION: 06-18-02