

**SIGNATURE BLOCK Z-86-8-1
DEVELOPMENT REVIEW BOARD**

I CERTIFY THAT THIS AREA IS ZONED SU-1 FOR AUTO SALES & SERVICE AND THAT THE PLAN IS CONSISTANT WITH THE SPECIFIC DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON APRIL 17, 1986.

CITY PLANNER *Rubank Drees* 9-9-86

CITY ENGINEER *Frank J. Quinn* 9-29-86

TRAFFIC ENGINEER *Robert J. Tamm* 1-27-86

WATER RESOURCES ENG. *Shonda S. Fought* 9-29-86

PARKS & RECREATION *James Adams* 9-29-86

SITE DATA

LEGAL DESCRIPTION:
LOTS 12 THROUGH 21, BLOCK 11,
TRACT A, UNIT 10, NORTH
ALBUQUERQUE ACRES SUB-
DIVISION, ALBUQUERQUE, N.M.
ZONE: MAP 1 C-1B-Z
SITE AREA: 0.2682 AC TOTAL
PARCEL A = 4.2473 AC
B = 0.2682 AC
BLOG. AREA:
1ST FLOOR = 21,555
2ND FLOOR = 13,000
TOTAL = 34,555

PARKING REQUIREMENTS:
1ST FLR. DETAIL: 10,000 + 2,000 + 200
2ND FLR. RETAIL: 10,000 + 2,000 + 200
WAREHOUSE: 10,000 + 2,000 + 200
TOTAL = 44,555
6 HANDICAP SPACES REQ'D.
LANDSCAPING MIN. REQ'D.
44,105 x 7% = 3,087.35 REQ'D.
@ 6.5% = 29,232.75 PROVIDED
OFF SITE LANDSCAPING = 47,734.75 PROVIDED
BICYCLE RACKS REQ'D @ 1/100 = 9 REQ'D. SPACES
= 10 SPACES PROV.

LANDSCAPING

SHADE TREES SELECTED FROM: SILVER MAPLE, STAMBOUR/LONDON PLANE OR HONEY LOCUST (1" - 2" CALIPER).
EVERGREEN TREES SELECTED FROM: LAUREL PRUNE, CYPRUS AUSTRALIAN PRUNE OR BLUE SPRUCE (1" TO 3").
SHRUBS FROM: JUNIPER PHOTINA, FRAZER.
BUFFALO GRASS
BARK CHIP GROUND COV.

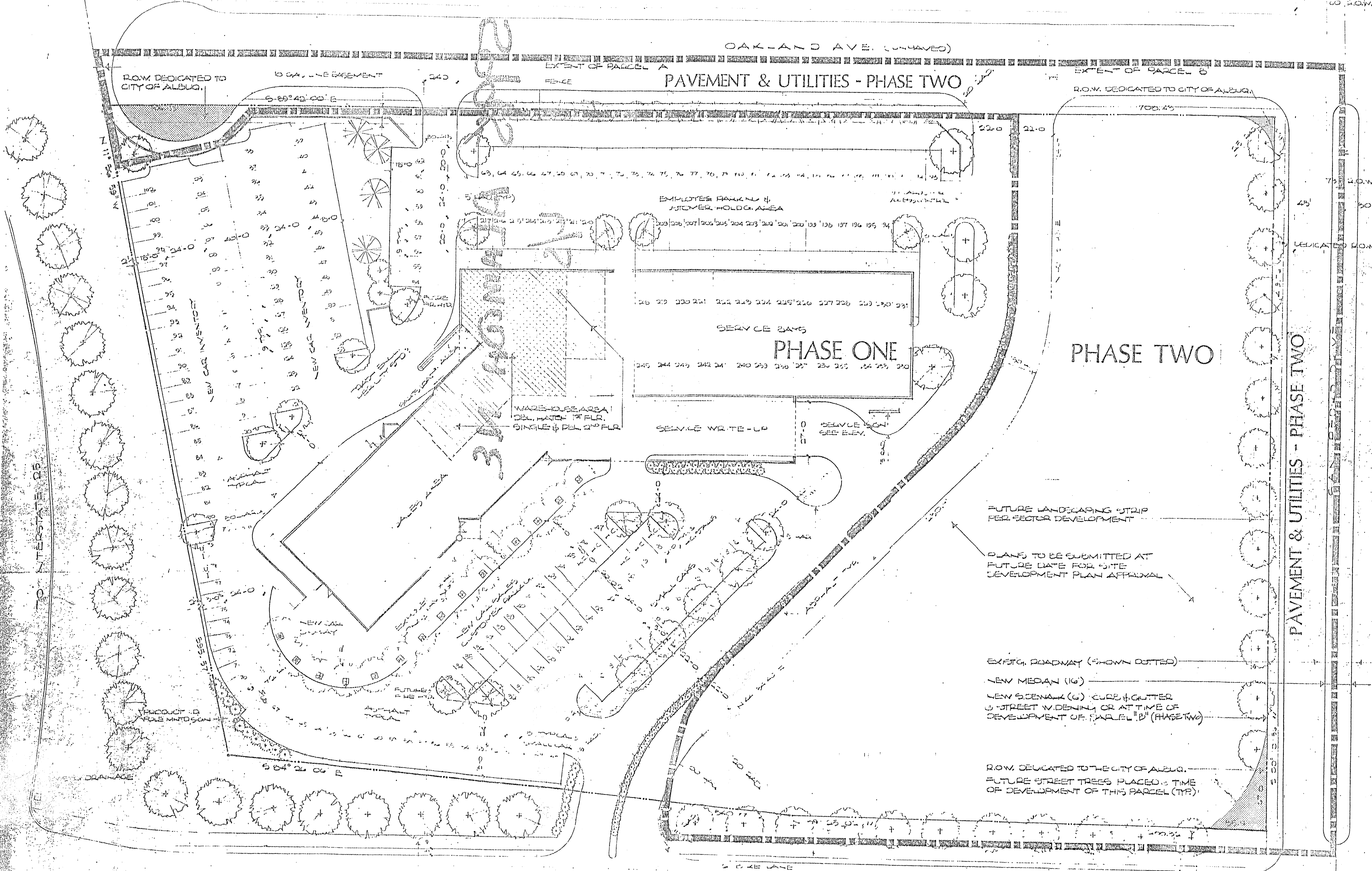
NOTES:
1. ALL PLANTINGS TO RECEIVE REG. IRRIGATION TO INSURE DESIRED GROWTH. MAINT. D BY OWNER.
2. SURROUNDING ROWS TO BE SEEDED W/ NATIVE GRASSES & GROUND COVER.

GENERAL NOTES:

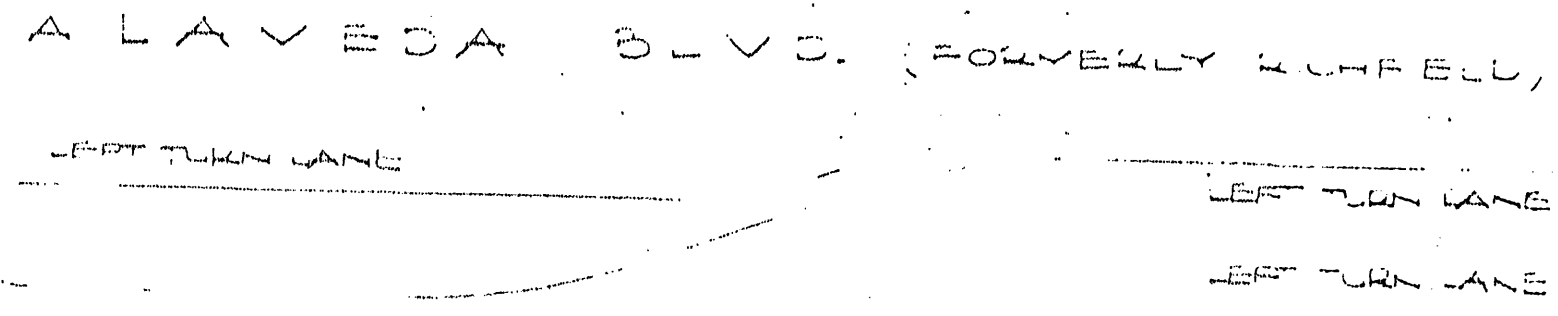
1. UTILITIES W/ EXCEPTION OF GAS & WATER ARE ALL PROPOSED AND NOT EXISTING AT PRESENT. SEE SHEET 2 FOR ALL UTILITY INFORMATION.

PHASING NOTED
7/2/86

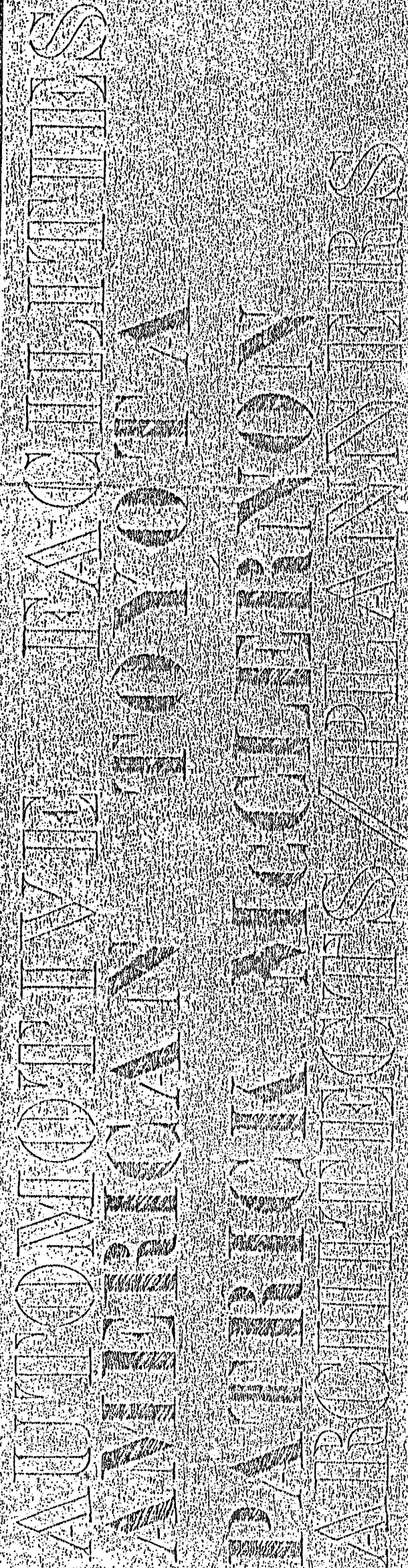
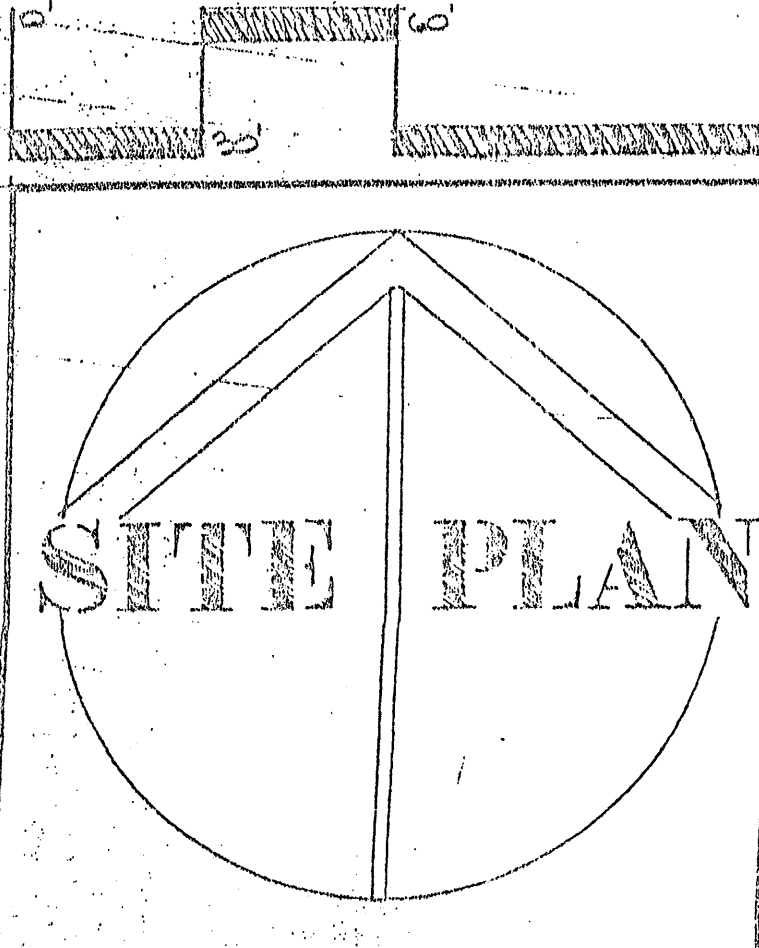
DATE 7-29-86
SHEET 1 of 5

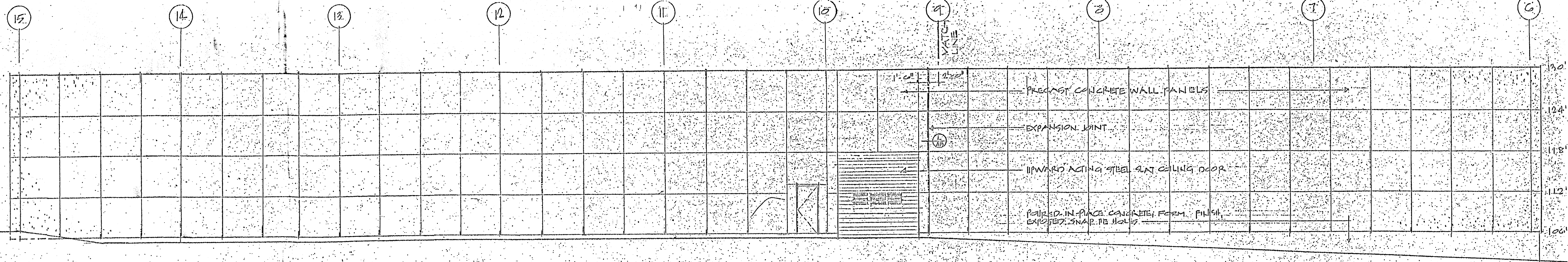


PAVING & UTILITIES - PHASE ONE

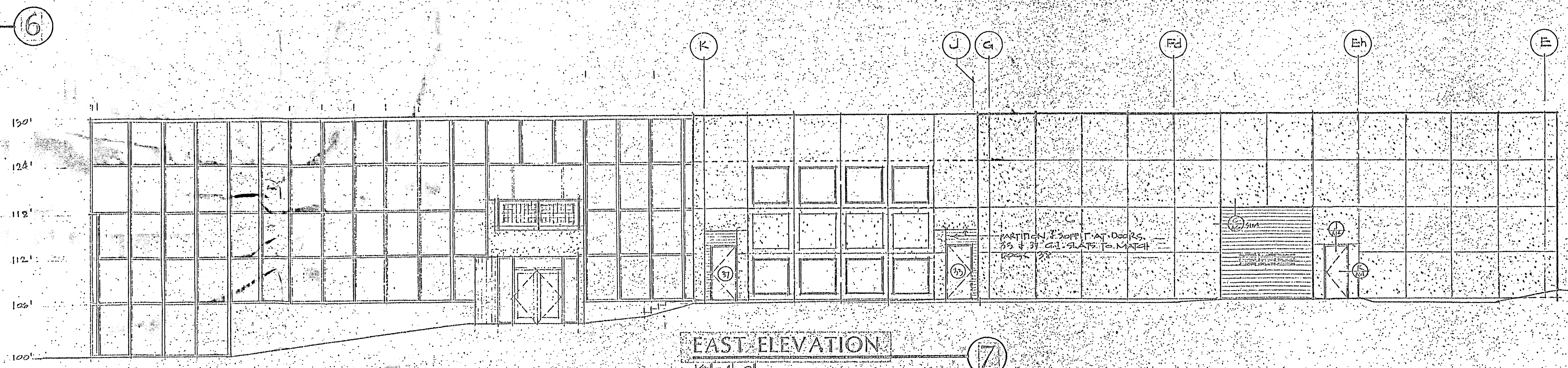


*This Landscaping plan has been amended
R. Drees
See Attached*

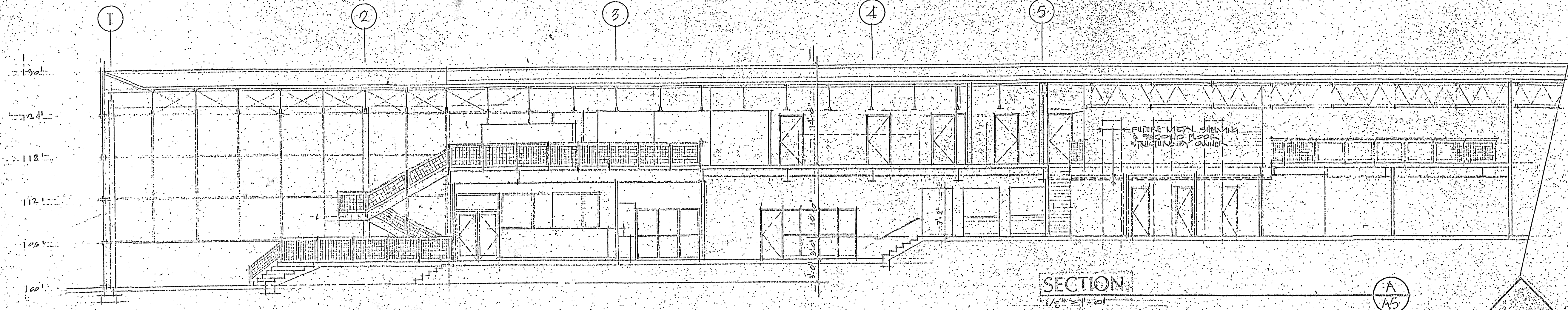




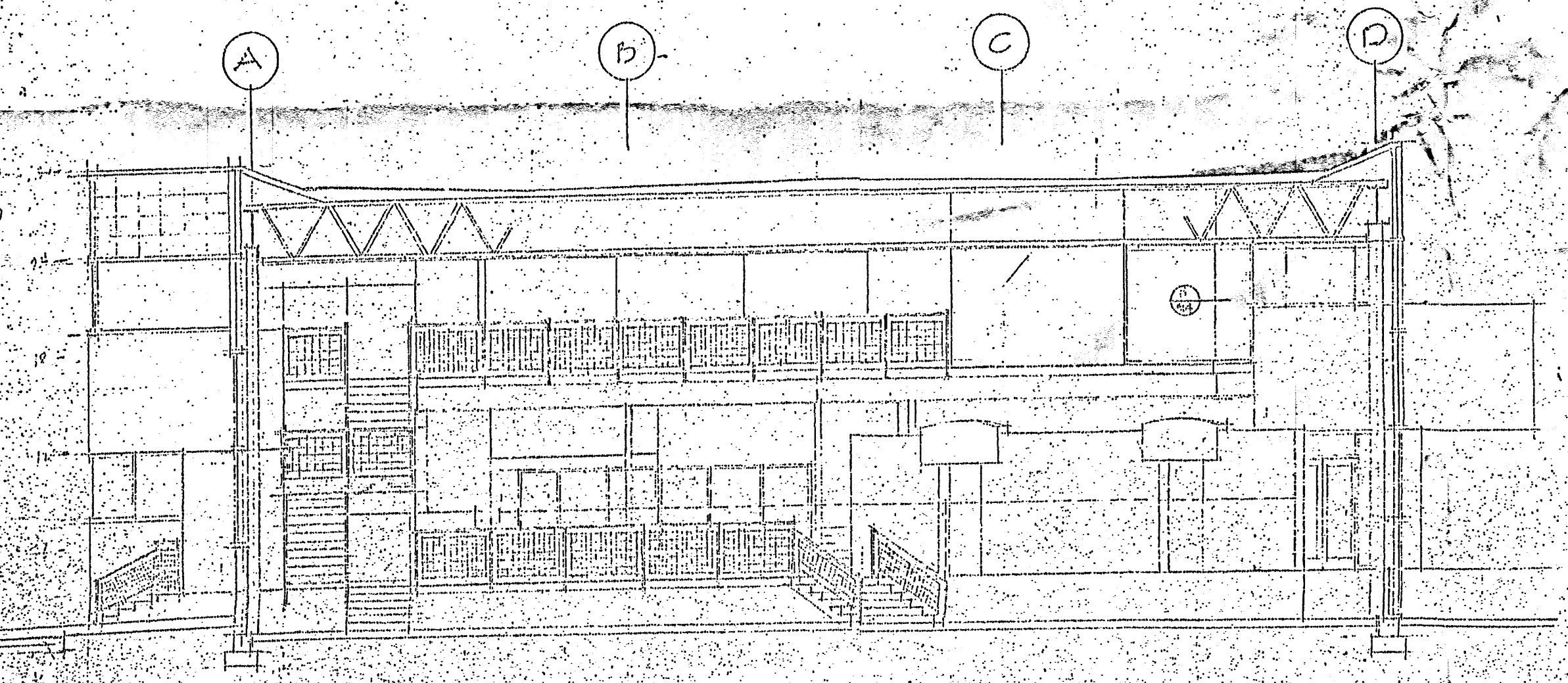
NORTH ELEVATION
 1/8" = 1'-0"



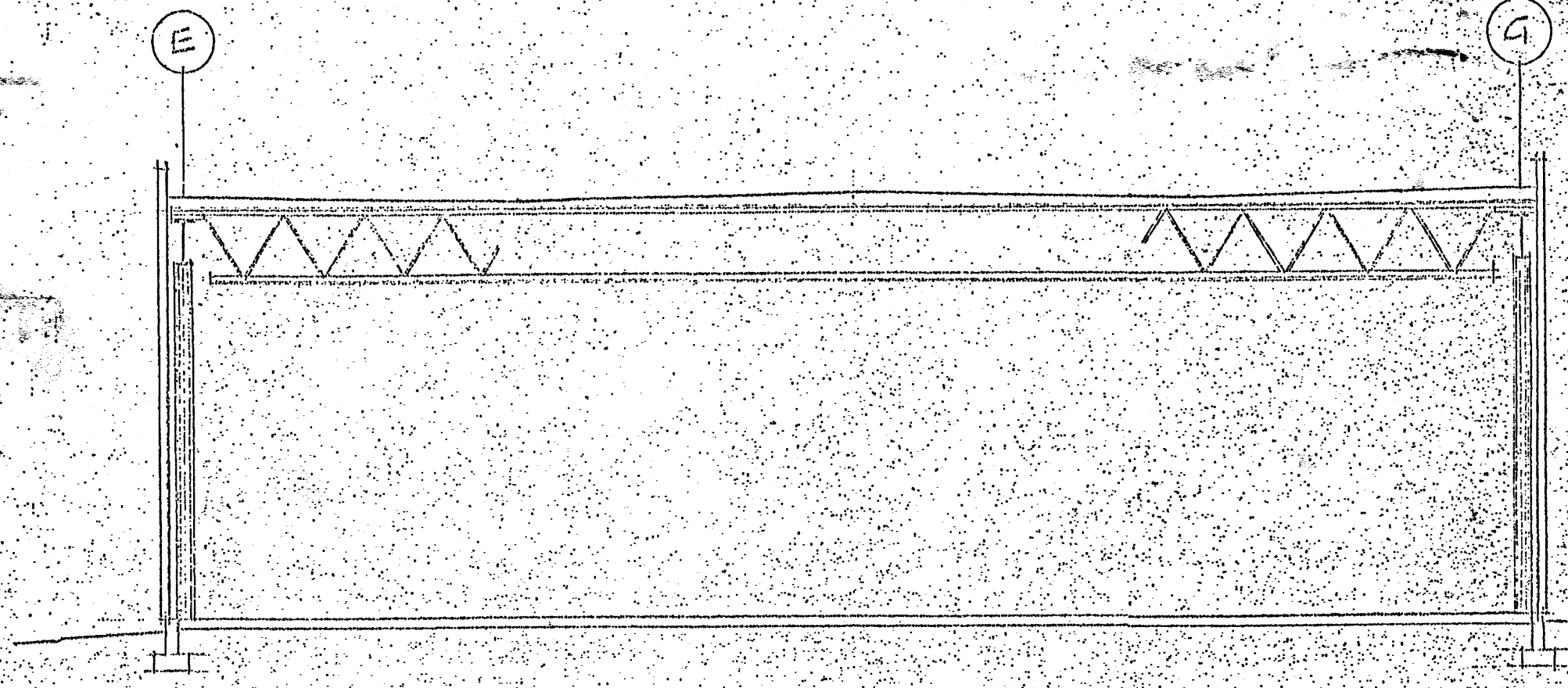
EAST ELEVATION
 1/8" = 1'-0"



SECTION
 1/8" = 1'-0"



1/8" = 1'-0"

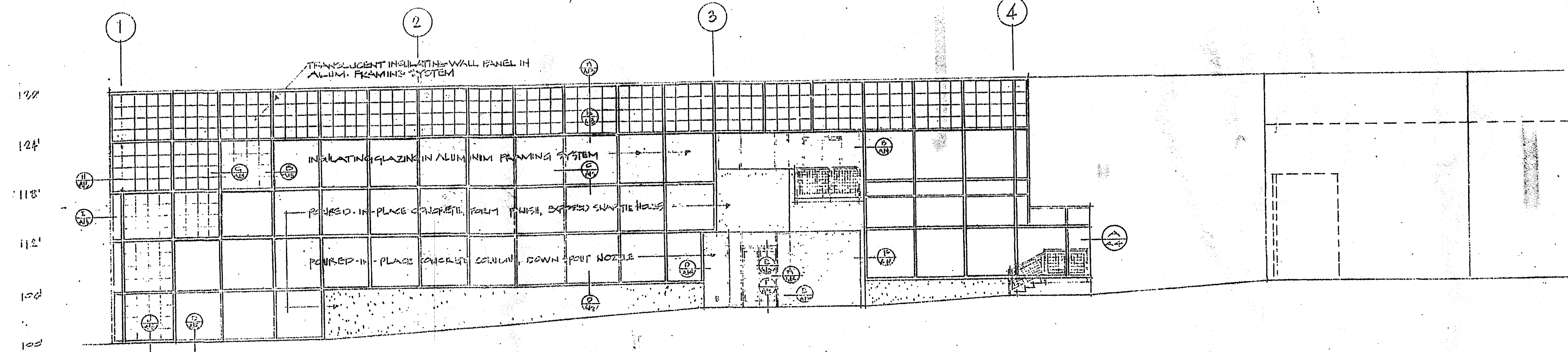


1/8" = 1'-0"

PATRICK McCLELLON ARCHITECTS/PLANNERS
 1401 5TH ST. NW ALBUQUERQUE, NEW MEXICO 87102 242-5219

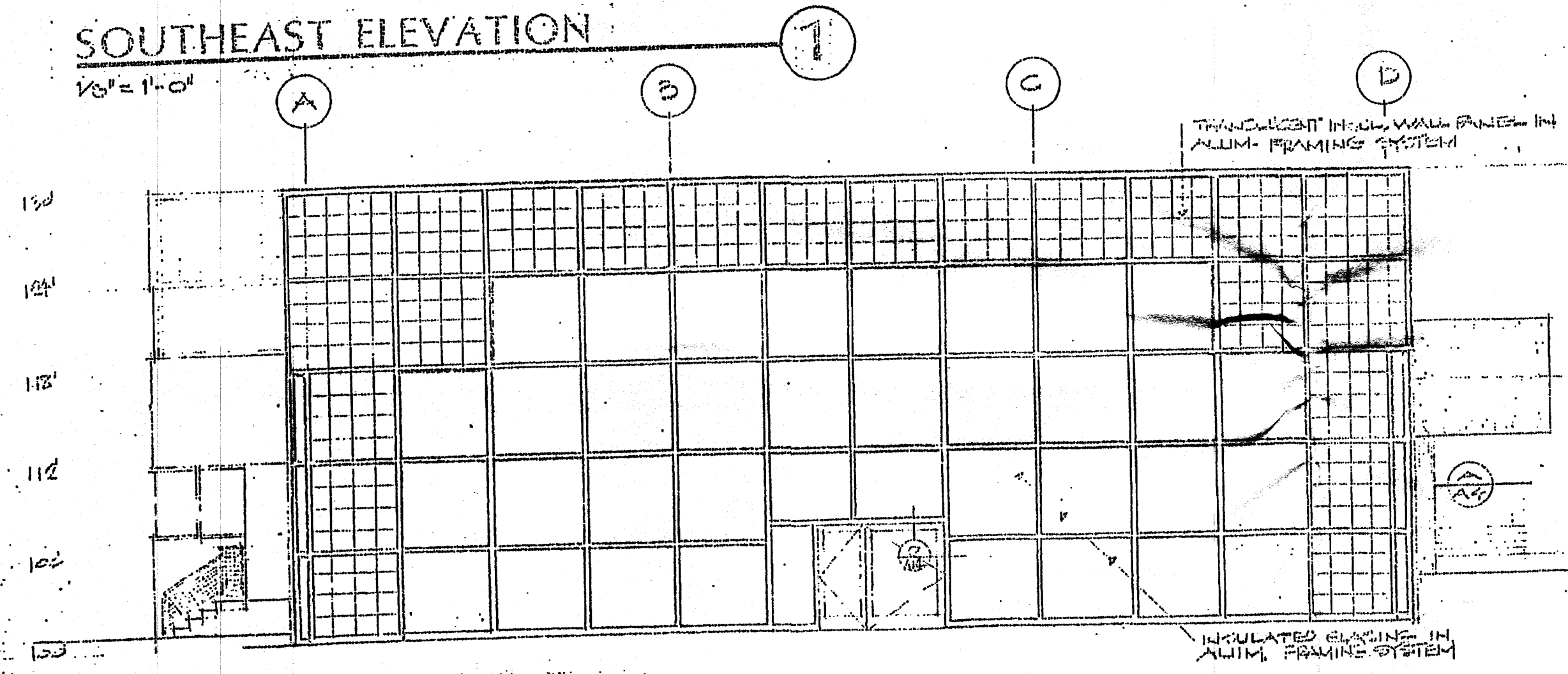
AMERICAN TOYOTA
 ALAMEDA @ I-25 ALBUQUERQUE

DATE: 11/2/80
 SHEET TITLE: BUILDING ELEVATIONS & SECTION
 SHEET NUMBER: 12



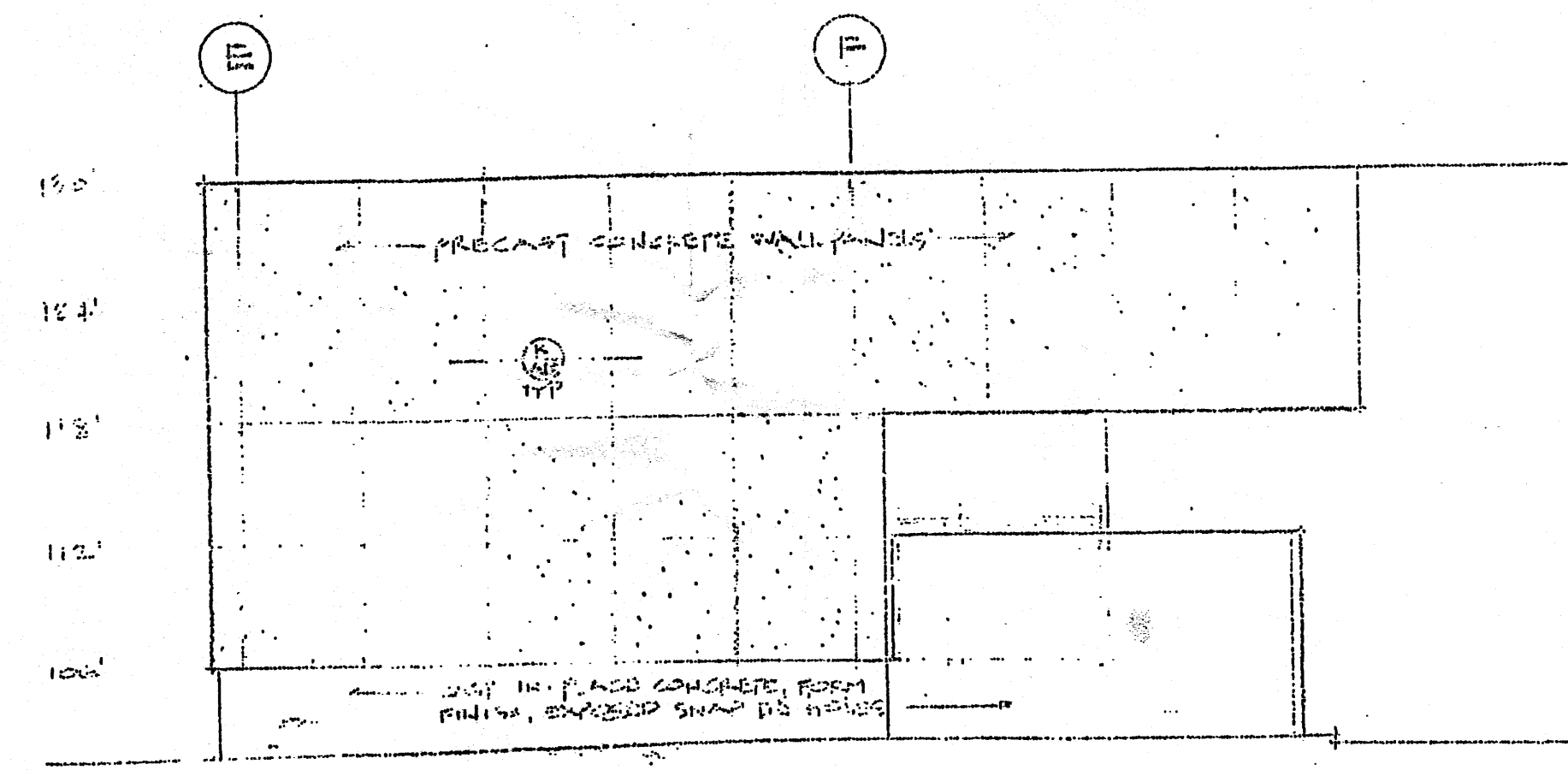
SOUTHEAST ELEVATION

1/8" = 1'-0"



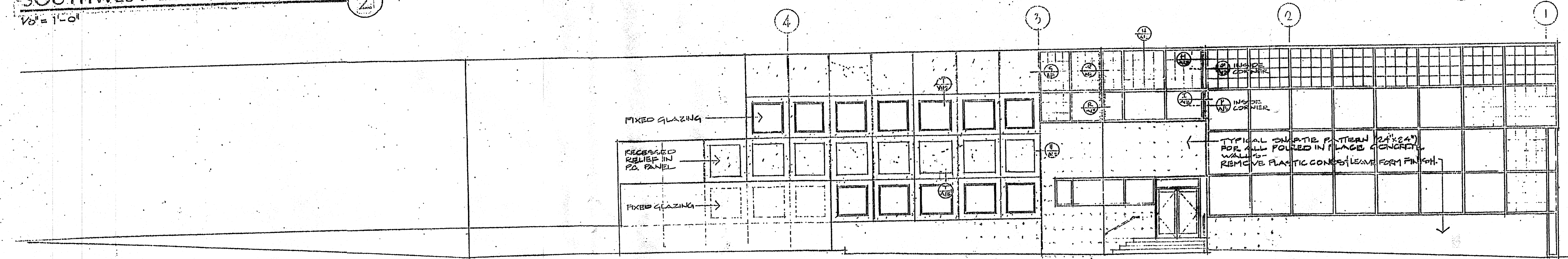
SOUTHWEST ELEVATION

1/8" = 1'-0"



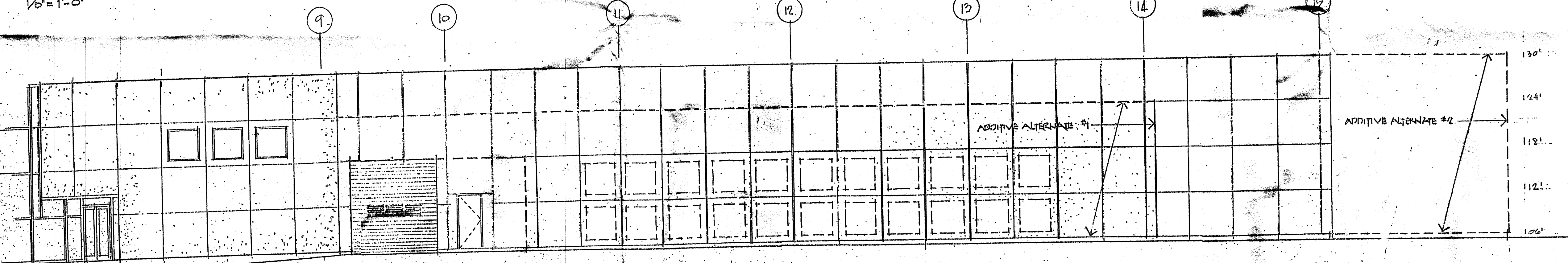
WEST ELEVATION

1/8" = 1'-0"



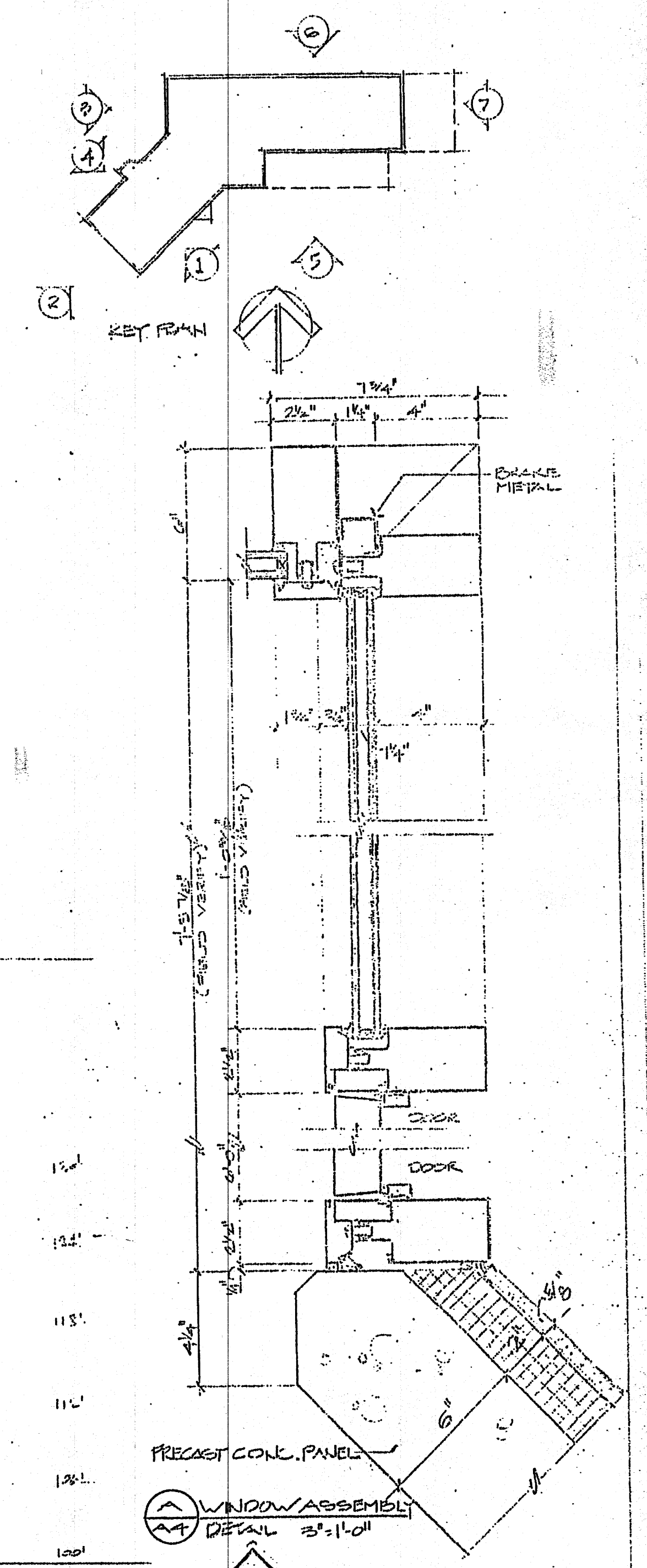
NORTHWEST ELEVATION

1/8" = 1'-0"



SOUTH ELEVATION

1/8" = 1'-0"



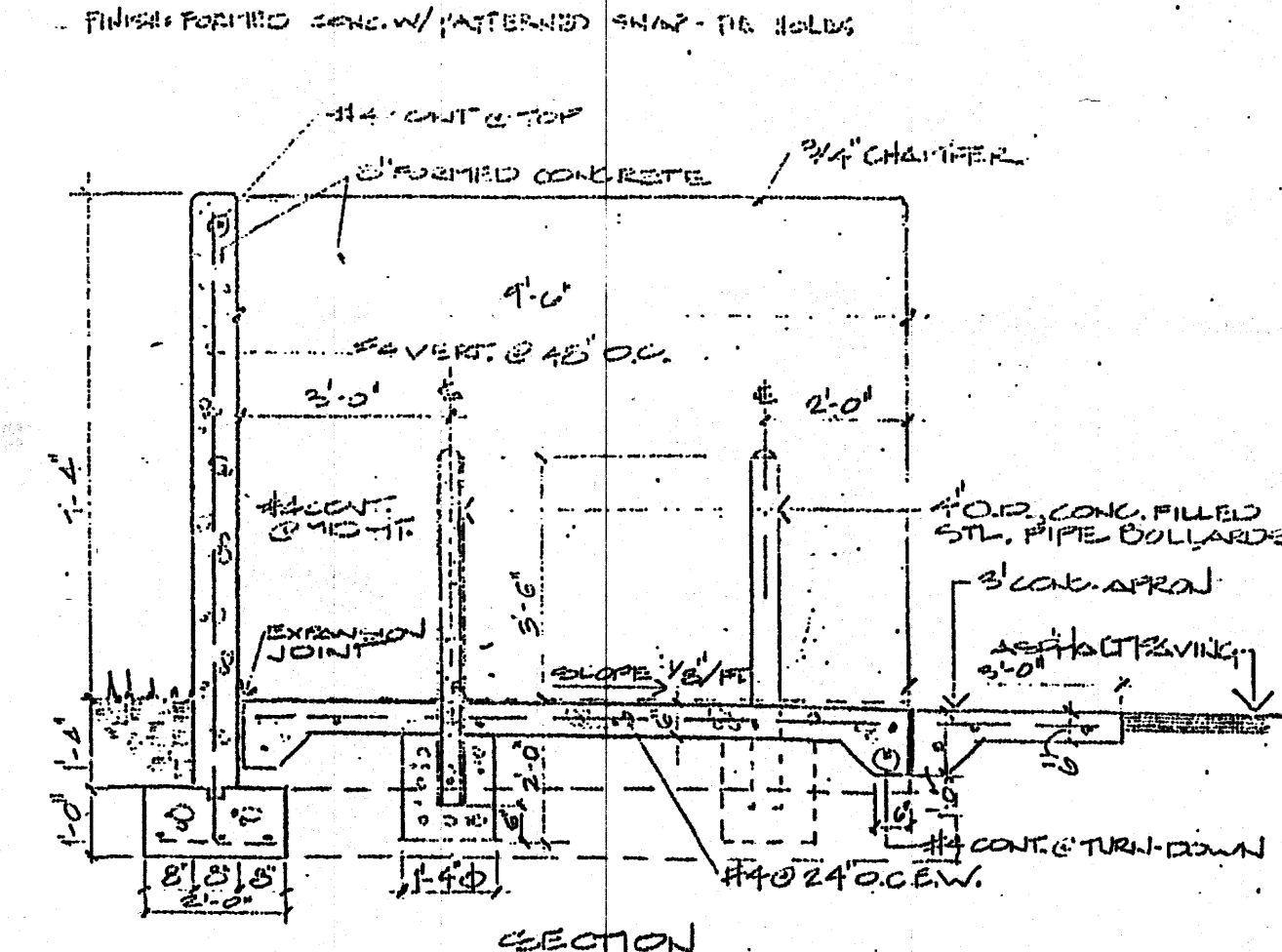
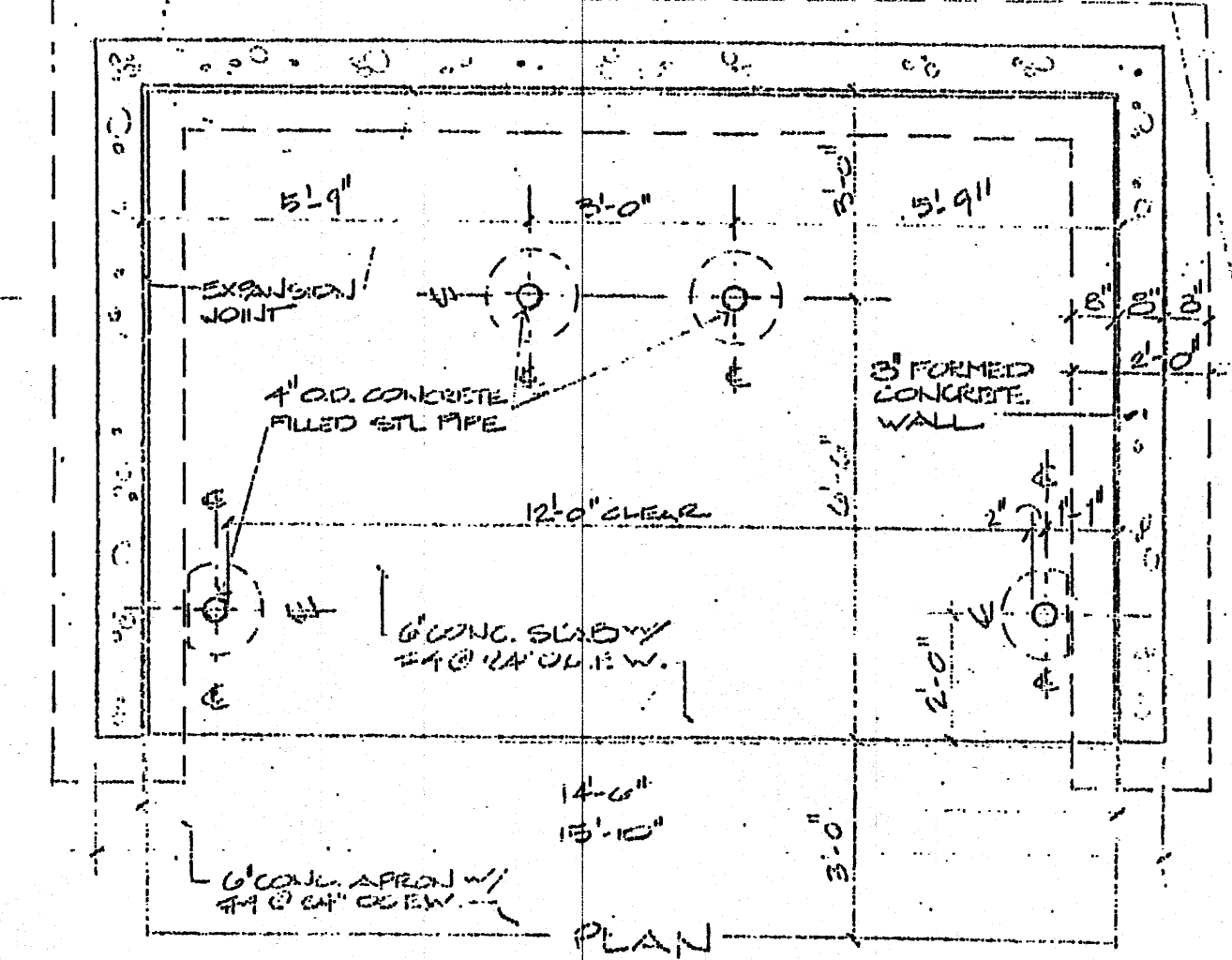
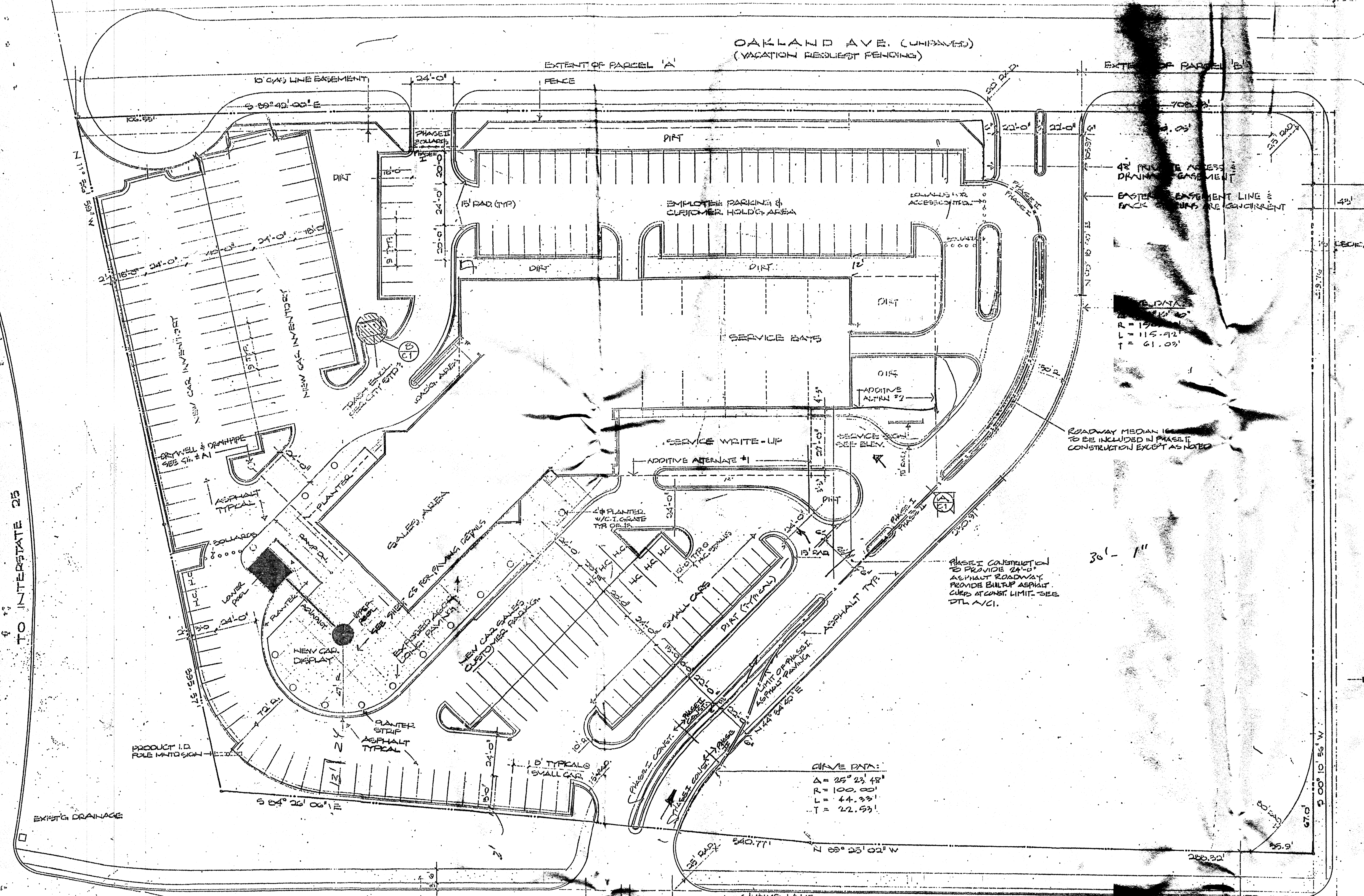
PATRICK McCLERNON ARCHITECTS/PLANNERS
 1401 5TH ST. NW ALBUQUERQUE, NEW MEXICO 87102 242-6219

AMERICAN TOYOTA
 ALAMEDA @ I-25 ALBUQUERQUE

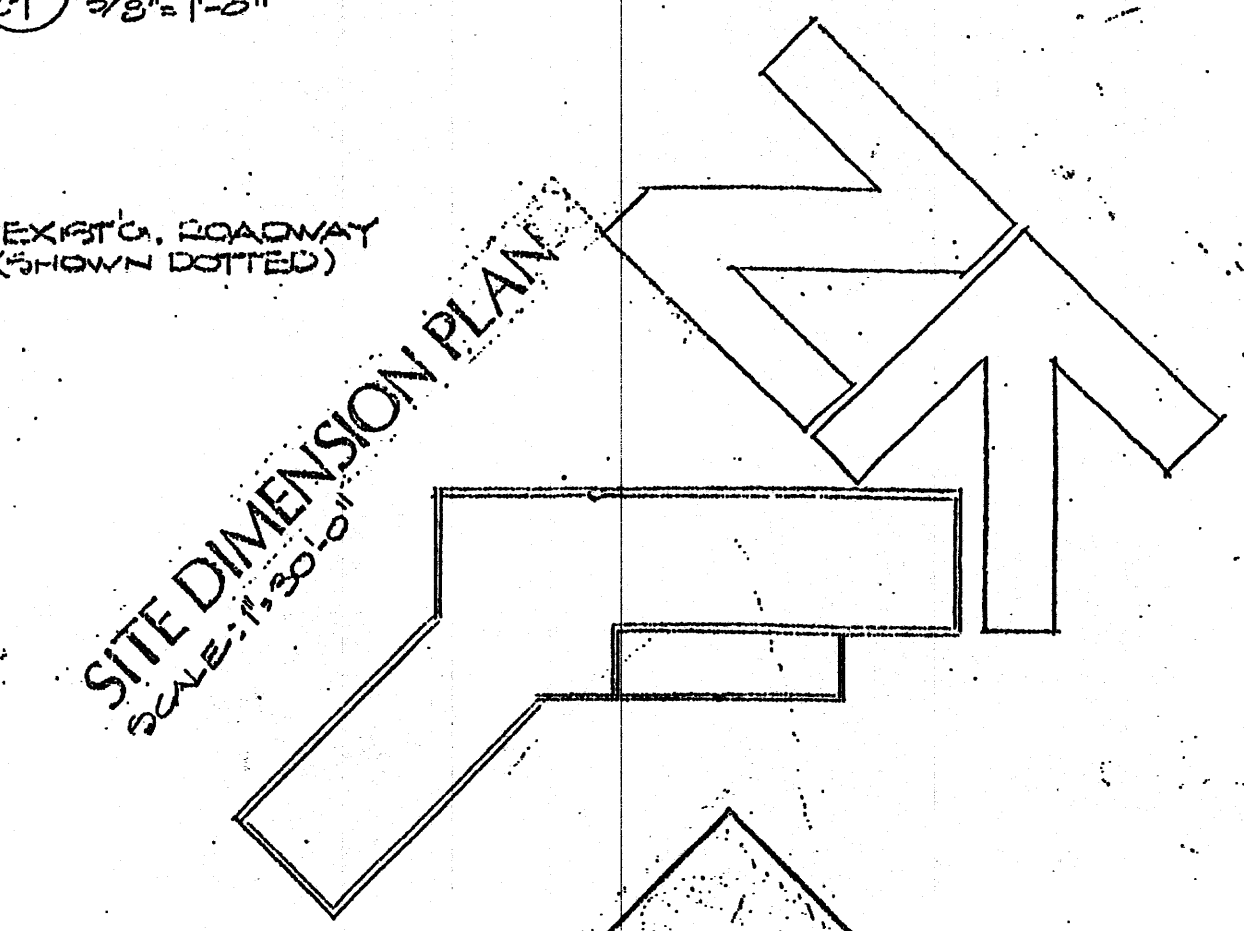
SHEET TITLE: BUILDING ELEVATIONS DATE: 1/28/68

SHEET NUMBER: 23/31

OAKLAND AVE. (UNIMPROVED)
(VACATION REQUEST PENDING)



(B) REFUSE ENCLOSURE DETAILS
(C1) 3/8" x 1'-0"



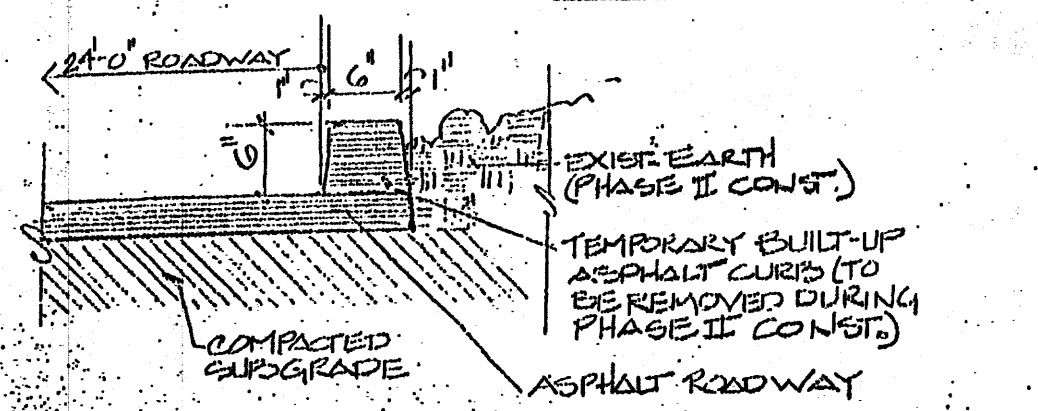
DRIVE DATA:
 $\Delta = 25^\circ 23' 45''$
 $R = 100.00'$
 $L = 44.33'$
 $T = 22.53'$

RECEIVED
 FEB 23 1987
 Summit Construction, Inc.

PATRICK MCCLERNON ARCHITECTS/PLANNERS
 1401 5TH ST. NW ALBUQUERQUE, NEW MEXICO 87102 242-6219

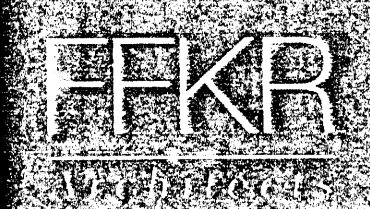
AMERICAN TOYOTA
 ALAMEDA @ I-25 ALBUQUERQUE

SHEET TITLE: SITE DIMENSION PLAN
 SHEET NUMBER: C1

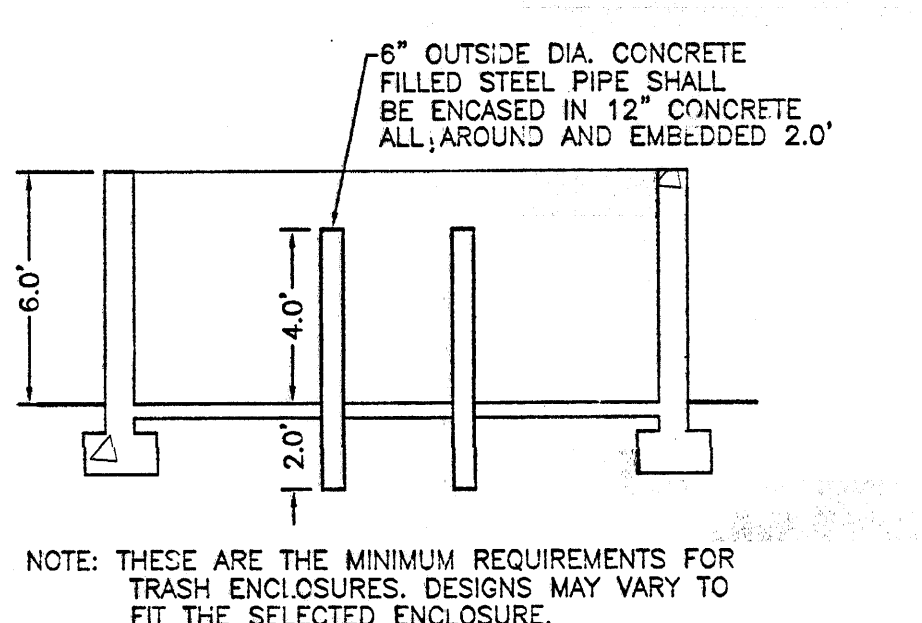
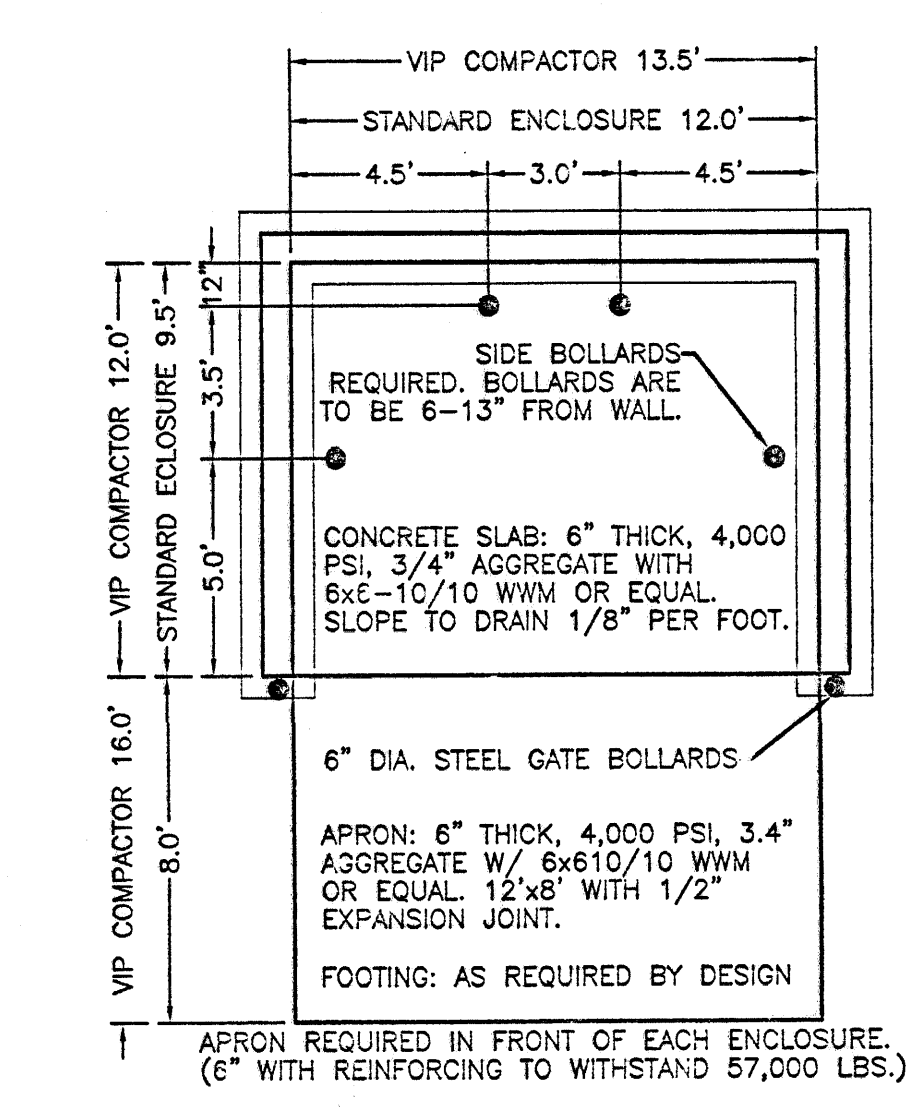


(A) TEMPORARY ASPHALT CURB DETAIL
 (APPLIES TO TOTAL LENGTH OF SEPARATION BETWEEN PHASE I & PHASE II CONSTRUCTION)

1002848



Bogue Building
730 Pacific Avenue
Salt Lake City
Utah 84104
801.521.6186 tel
801.539.1916 fax
www.ffkr.com



SITE DATA

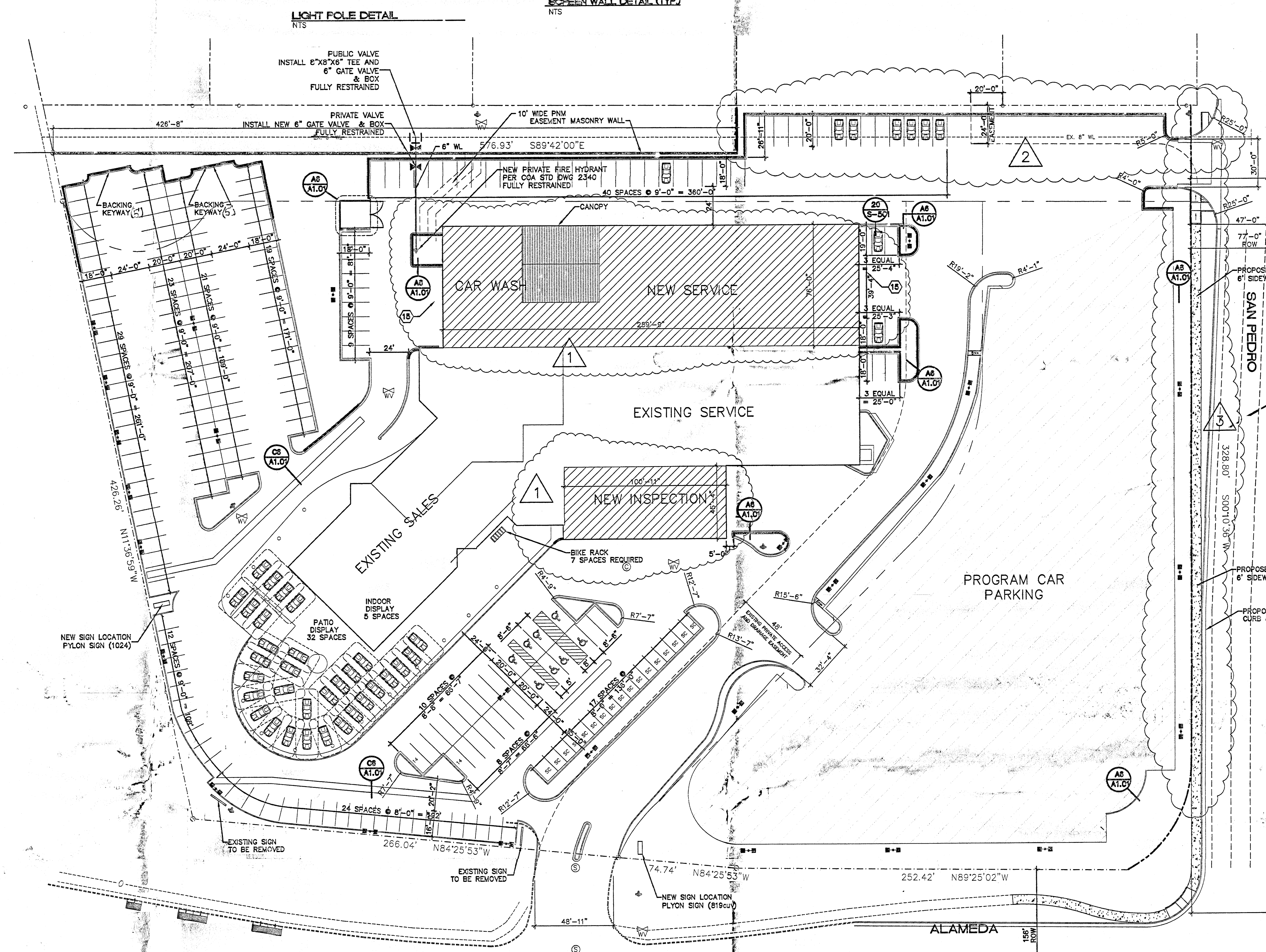
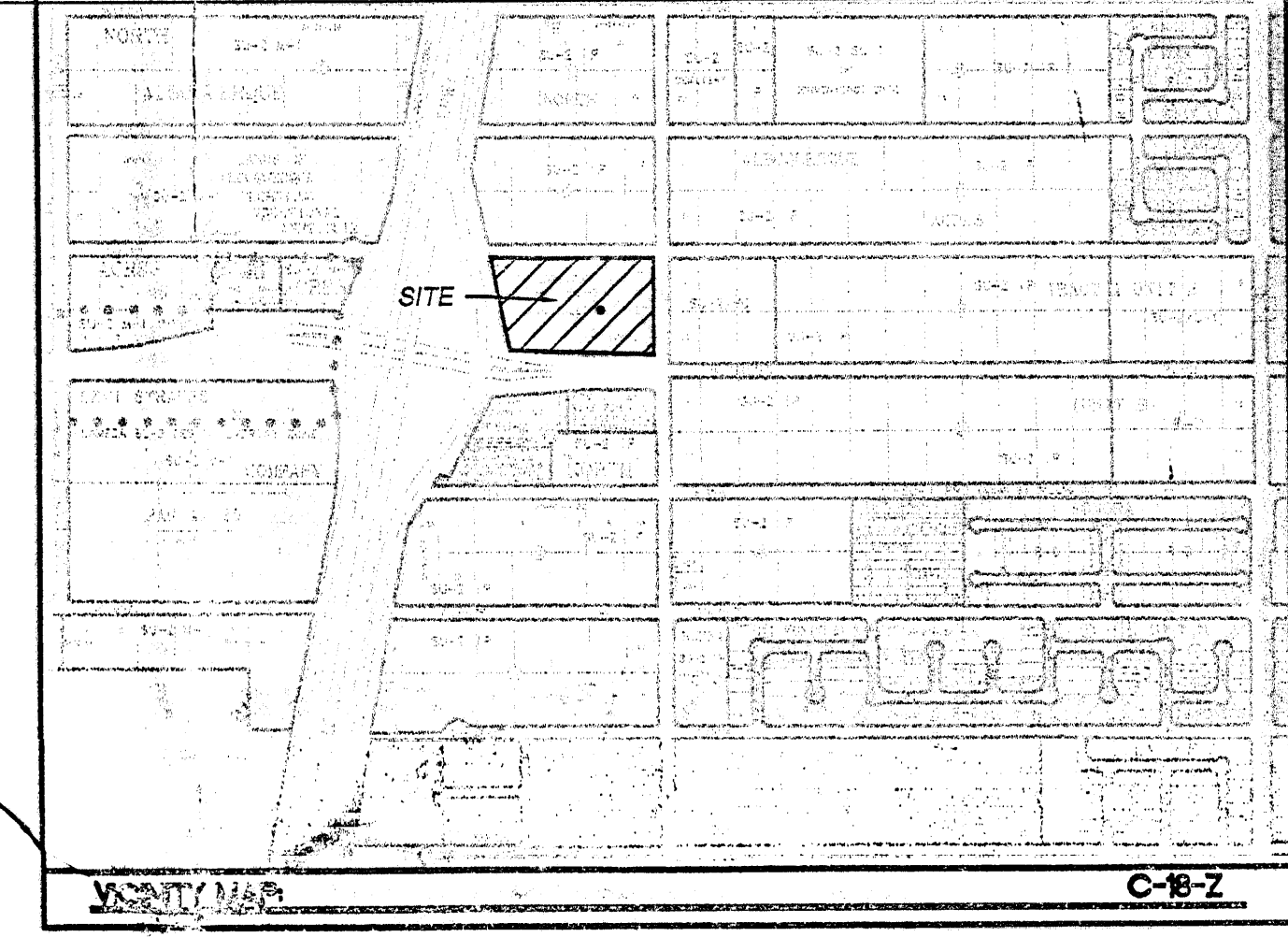
	GROSS AREA	BUILDING AREA	NET SITE	LANDSCAPED AREA	% TO NET LANDSCAPE
EXISTING	269,886 SF	42,430 SF	227,456 SF	46,328 SF	20%
PROPOSED	293,804 SF	64,483 SF	229,321 SF	36,801 SF	16%

REQUIRED PARKING DATA CALCULATION

SPACE	SIZE	FACTOR	REQUIRED STALLS
SHOWROOM / OFFICE	15,485 SF	1 SPACE PER 200 SF	78
PAVING WAREHOUSE	12,378 SF	1 SPACE PER 1000 SF	13
SERVICE INSPECTION	33,938 SF	1 SPACE PER 1000 SF	34
WASH BAYS	2,647 S.F.	1 SPACE PER 1000 SF	3
TOTAL REQUIRED			128
REQUIRED ACCESSIBLE			8

PROVIDED PARKING

SPACE	PROVIDED SPACES
CUSTOMER/EMPLOYEE	76
SERVICE BAYS	48
DETAIL BAYS	4
ACCESSIBLE	8
DISPLAY	355
TOTAL	491
* 355 DISPLAY PARKING = 432 PARKING SPACES (ON SITE)	
ACCESSIBLE SPACES	MINUS 8
CUSTOMER SPACES	MINUS 76
OTHER SPACES	
INDOOR DISPLAY	5
PATIO DISPLAY	32



- 1 EXISTING CURB AND GUTTER TO BE REMOVED
- 2 NEW CURB AND GUTTER
- 3 EXISTING LIGHT POLE TO REMAIN
- 4 NEW SIDEWALK
- 5 EXISTING RETAINING WALL
- 6 EXISTING LIGHT POLE TO BE RELOCATED
- 7 EXISTING WATER TANK
- 8 EXISTING ELECTRICAL
- 9 EXISTING SIGNAGE
- 10 EXISTING VEGETATION TO BE REMOVED
- 11 PARKING STRIPES TO BE REMOVED
- 12 EXISTING FIRE HYDRANT TO REMAIN
- 13 EXISTING LANDSCAPE TO REMAIN
- 14 NEW LANDSCAPE TO MATCH EXISTING
- 15 NEW CONCRETE APRON

PROJECT NUMBER: 1002848
APPLICATION NUMBER: 08EFO-02047-01-0028

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? (X) Yes () No. If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRG SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

Traffic Engineering/Transportation Division	Date: 4/7/04
Utilities/Development	Date: 4/7/04
Parks & Recreation Department	Date: 4/7/04
City Engineer	Date: 4/7/04
Environmental Health Department (conditional)	Date: N/A
Solid Waste Management	Date: 4/7/04
DRG Chairperson, Planning Department	Date: 4/7/04

* Environmental Health, if necessary
12/16/03

SHEET INDEX

A1.00	AMENDED SITE PLAN
A2.00	AMENDED LANDSCAPE PLAN
A3.00	AMENDED EXTERIOR ELEVATIONS
A3.01	AMENDED EXTERIOR ELEVATIONS
A4.00	AMENDED GRADING PLAN
A5.00	SIGN DETAILS

A1 APPROVED SITE DATA & LANDSCAPING PLAN
A2 APPROVED EXTERIOR ELEVATIONS
A3 APPROVED EXTERIOR ELEVATIONS
A4 APPROVED SITE DIMENSION PLAN

A5 SITE PLAN
SCALE: 1" = 30'-0"

REVISIONS

NO.	DATE	REVISIONS	BY
1	02/11/04	PROGRAM CAR PARKING, EXISTING/NEW SIGN, BIKE RACK SPACES	BLF
2	11/07/03	4' RIGHT OF WAY DEDICATION	BDG
3	11/07/03	EXPANDED PARKING AREA	BDG
4	11/05/03	ADDED EXPANSION BUILDING, SERVICE AND INSPECTION AREA	BDG

American Toyota
Alameda @ I-25
Albuquerque, New Mexico

DATE	STATUS

6.3.3 Review
PROJECT NUMBER: 220082
CAD DWG FILE: 2282SP-2-AAL
DRAWN BY: B.F.
CHECKED BY: SL
DATE: 4/5/04
SCALE: AS NOTED
AMENDED SITE PLAN
A1.00

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute an implied exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Grey Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

New Irrigation shall be tied into existing system.

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STREET TREE REQUIREMENTS

Street trees required under the City of Albuquerque Street Tree Ordinance are as follows:

1-25 Frontage Road
Required 12 Provided 12

LANDSCAPE CALCULATIONS

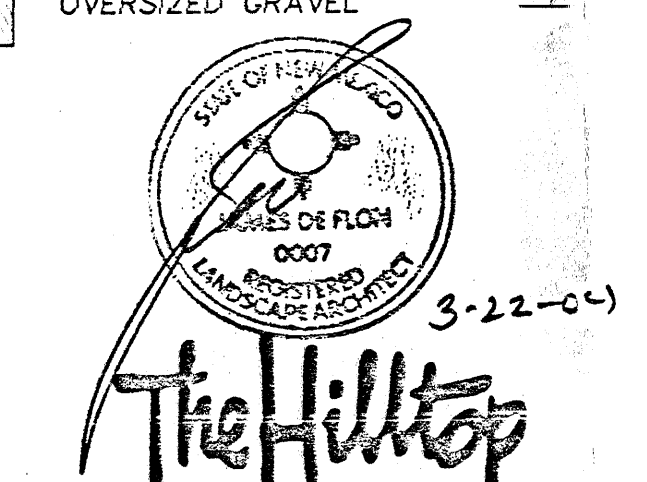
TOTAL LOT AREA	293504	square feet
TOTAL BUILDINGS AREA	48013	square feet
OFFSITE AREA	3095	square feet
NET LOT AREA	242396	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	36359	square feet
TOTAL LANDSCAPE PROVIDED	42270	square feet
TOTAL NEW BED PROVIDED	8764	square feet
GROUND COVER REQ.	75%	square feet
TOTAL GROUND COVER REQ.	5073	square feet
TOTAL GROUND COVER PROV.	8764	square feet
TOTAL EXISTING	35506	square feet
-INTERIOR BED, OFFSITE BED, AND INTERIOR SOD		

PLANT LEGEND

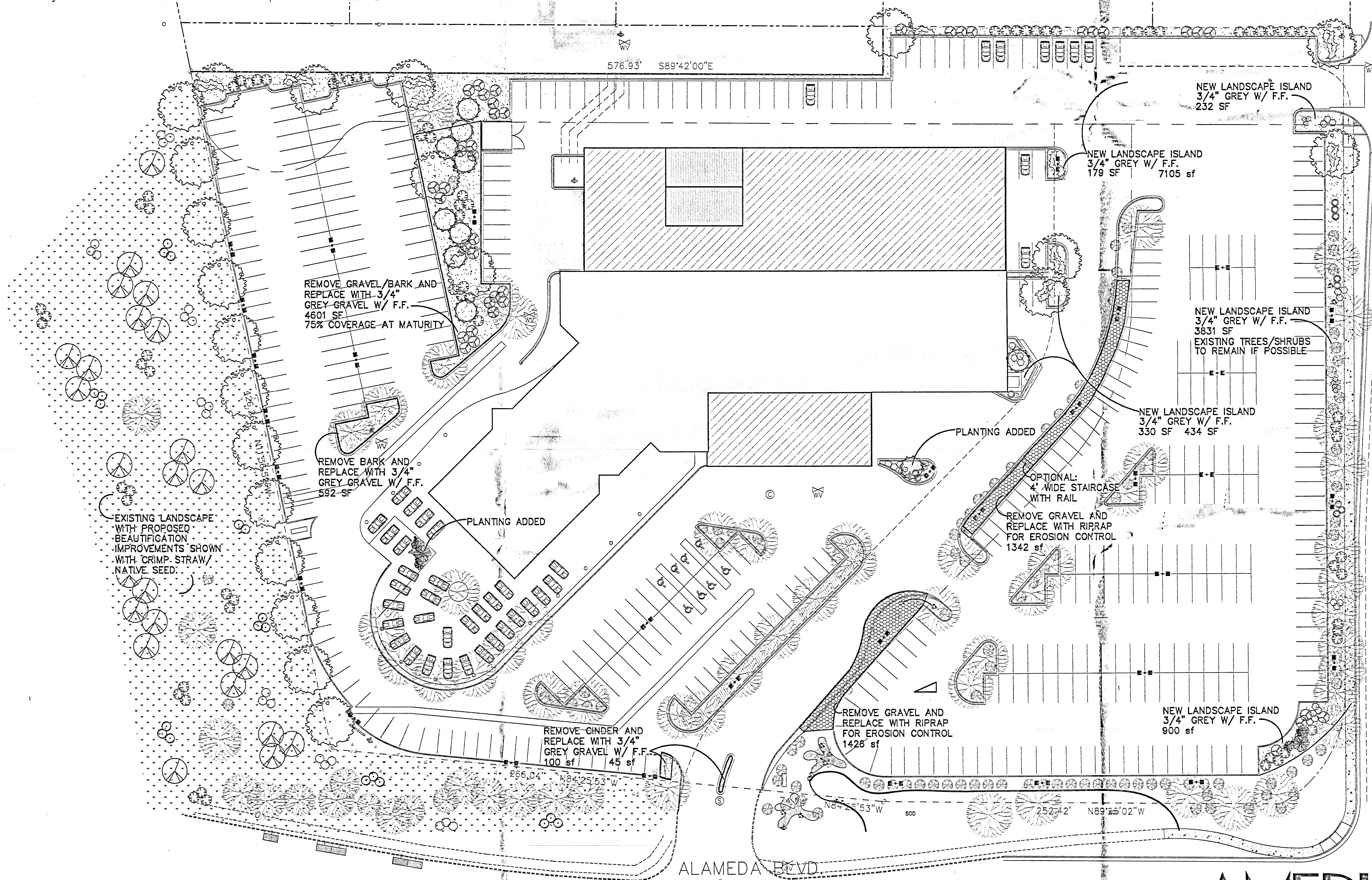
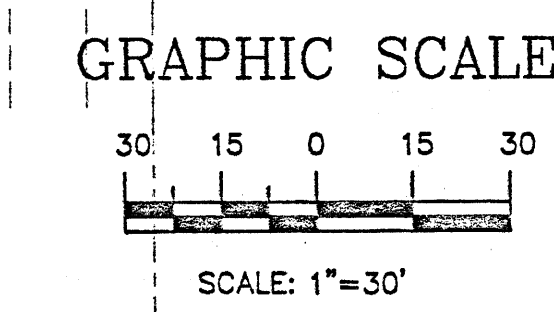
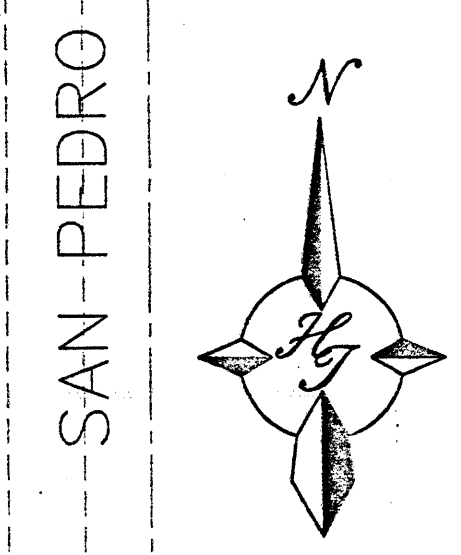
- SYCAMORE (M) -OR- ASH (H) -OR- HONEY LOCUST (H) 22
Platanus spp.
Fraxinus pennsylvanica
Gleditsia triacanthos
2" Gal.
- DESERT WILLOW (L) 10
Chilopsis linearis
15 Gal.
- DESERT WILLOW (L) 25
Chilopsis linearis
5 Gal.
- PALM YUCCA (L) 6
- RUSSIAN SAGE (M) 21
Perovskia atriplicifolia
5 Gal.
- APACHE PLUME (L) 21
Fallugia paradoxa
5 Gal.
- ROSEMARY (M) 16
Rosmarinus officinalis
2 Gal.
- POTENTILLA (M) 16
Potentilla fruticosa
2 Gal.
- AUTUMN SAGE (M) 22
Salvia greggii
2 Gal.
- HONEYSUCKLE (M) 39
Lonicera sempervirens
1 Gal. = 20Gal
Unstaked-Groundcover
- CHAMISA (L) 66
Chrysothamnus nauseosus
1 Gal. = 25sf
- TAM JUNIPER (M) 27
Juniperus spida
5 Gal. = 225sf
Symbol indicated 3 plants.
- OVERSIZED GRAVEL & 6 BOULDERS
- 3/4" GRAY GRAVEL WITH FILTER FABRIC
- CRUMP STRAW/ NATIVE SEED

EXISTING PLANT LEGEND

- EXISTING TREE/SHRUB
- EXISTING PALM YUCCA
- OVERSIZED GRAVEL
- STEEL EDGING
- 3/4" GRAY GRAVEL
- 1 1/2" GRAY GRAVEL
- SANTA FE BROWN C.F.
- RED CINDER GRAVEL
- BARK MULCH
- SOD
- OVERSIZED GRAVEL



LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
ema@hilltoplandscaping.com
All work is subject to the approval of the City of Albuquerque. The City of Albuquerque reserves the right to modify or delete any portion of this plan at any time without notice. The City of Albuquerque is not responsible for any errors or omissions on this plan. The City of Albuquerque is not responsible for any damage to property or injury to persons resulting from the use of this plan. The City of Albuquerque is not responsible for any damage to property or injury to persons resulting from the use of this plan.



AMERICAN TOYOTA

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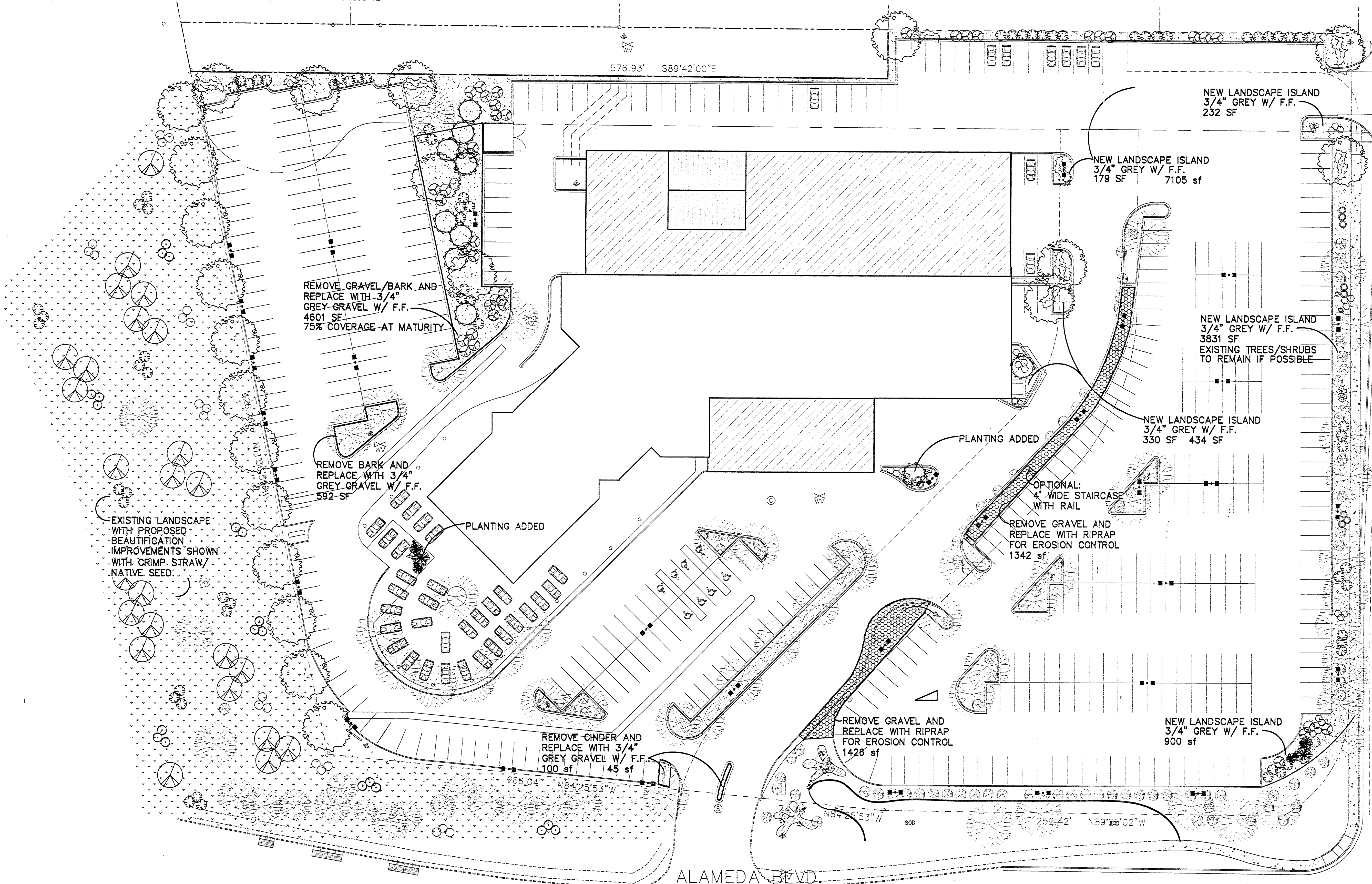
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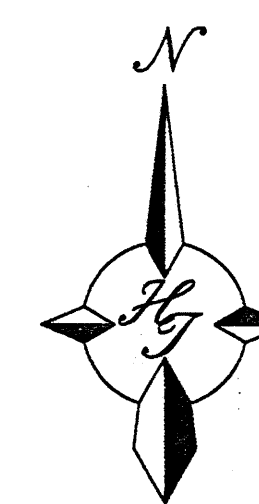
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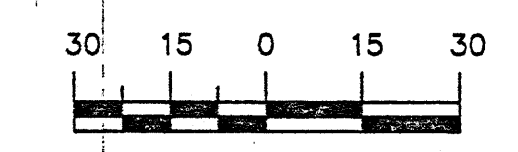
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- 1 1/2" GRAY GRAVEL
- SANTA FE BROWN C.F.
- RED CINDER GRAVEL
- BARK MULCH
- SOD
- OVERSIZED GRAVEL



SAN PEDRO RD.



GRAPHIC SCALE



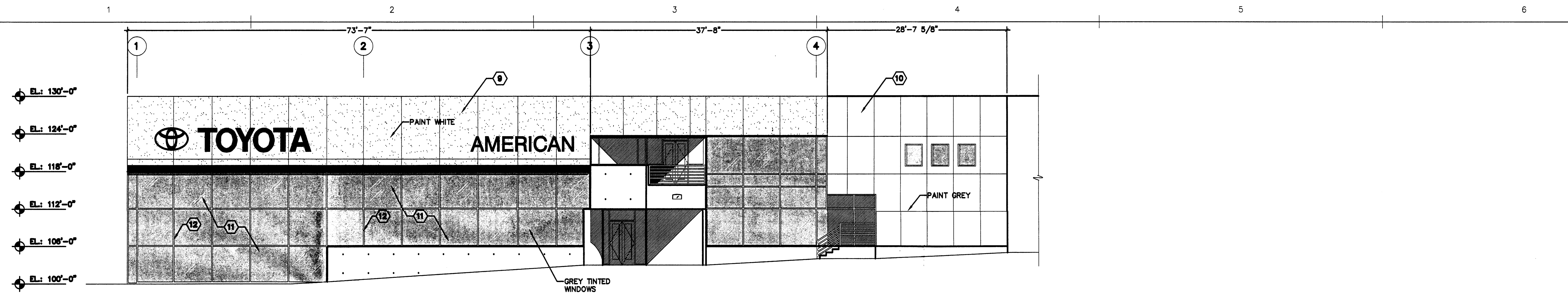
SCALE: 1"=30'



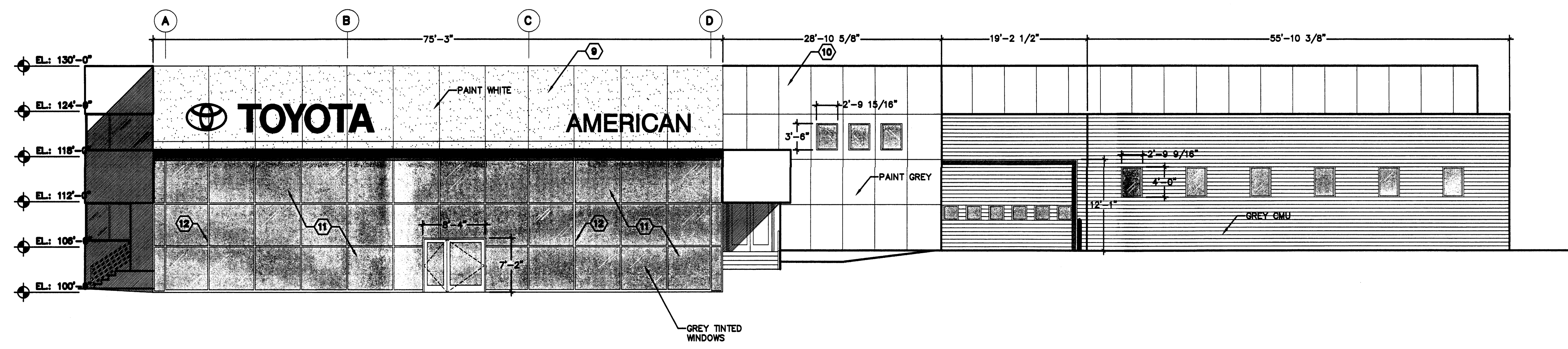
LANDSCAPE ARCHITECTS & CONTRACTORS
Cont. Lic. #26458
7909 Edith N.E.
Albuquerque, NM 87184
Ph. (505) 898-9690
Fax (505) 898-7737
cmd@hilltoplandscaping.com

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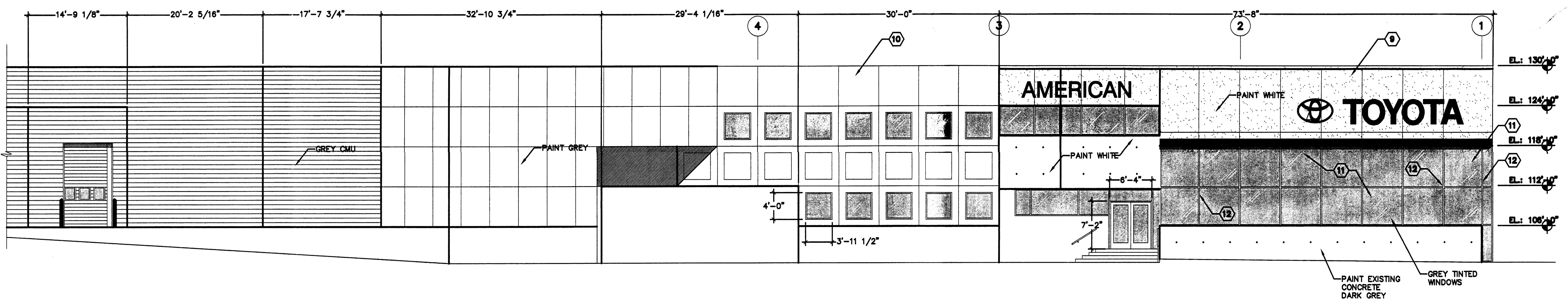
AMERICAN TOYOTA



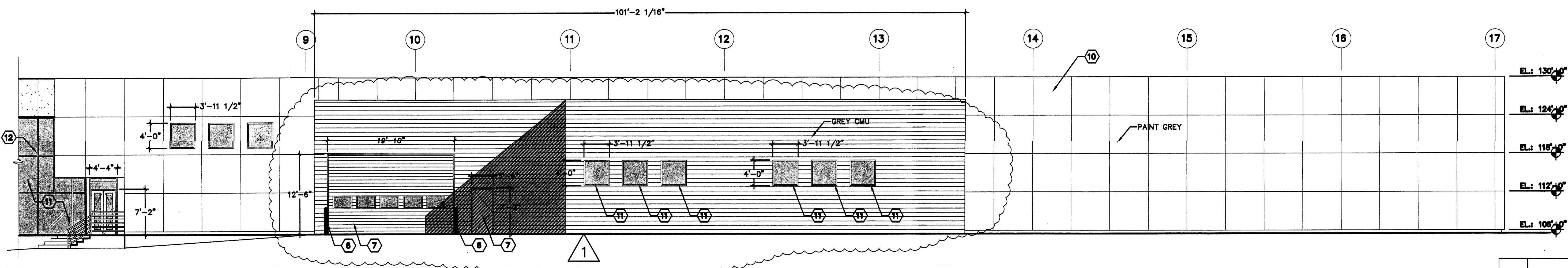
D2 SOUTHWEST ELEVATION
SCALE: 1/8" = 1'-0" 0 5' 10'



C2 SOUTHWEST ELEVATION
SCALE: 1/8" = 1'-0" 0 5' 10'



B2 NORTHWEST ELEVATION
SCALE: 1/8" = 1'-0" 0 5' 10'



A2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0" 0 5' 10'

REFERENCE NOTES

- 1 ROOF JOIST
- 2 RAIN GUTTER
- 3 DOWNSPOUT
- 4 STEEL BEAM
- 5 STANDING SEAM METAL ROOF
- 6 BOLLARD
- 7 SCHEDULED DOOR
- 8 EXISTING UTILITY
- 9 NEW EXTERNALLY INSULATED FINISH SYSTEM (EIFS)
- 10 EXISTING CONCRETE PANEL TO REMAIN
- 11 NEW WINDOW
- 12 NEW FINISH ON ALUMINUM MULLION

FFKR
Architects

Bogue Building
730 Pacific Avenue
Salt Lake City
Utah 84104
801.521.6186 tel
801.539.1916 fax
www.ffkr.com

American Toyota
Alameda @ I-25
Albuquerque, New Mexico

DATE	STATUS

SCALE: 1/8" = 1'-0"
AMENDED EXTERIOR ELEVATIONS

NO.	DATE	REVISIONS	BY
1	11/25/03	ADDED EXPANSION BUILDING, SERVICE AND INSPECTION AREA	BDD

A3.00

DRAINAGE NOTES

GRADING NOTES


- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 280-1990 FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION.
- ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

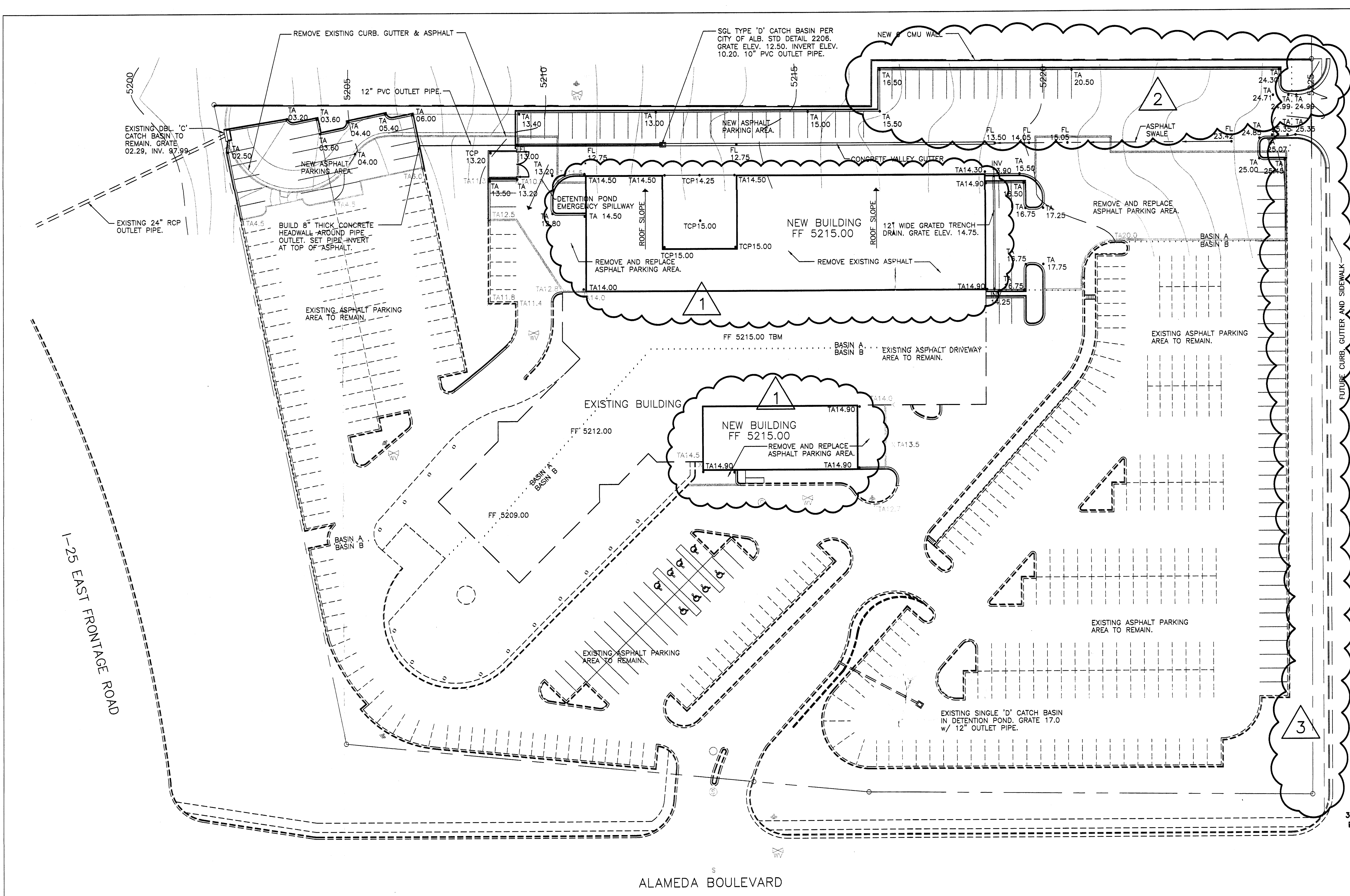
EROSION CONTROL NOTES

- THIS PROJECT IS SUBJECT TO CONDITIONS AND REQUIREMENTS OF THE NPDES. THE CONTRACTOR SHALL STRICTLY ADHERE TO REQUIREMENTS SHOWN ON THIS PLAN OR AN APPROVED REVISED PLAN REGARDING EROSION CONTROL FOR THIS SITE.
- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERMES OR SILT FENCES AT PROPERTY LINES AND BY SOIL TO PREVENT IT FROM BLOWING.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- THE CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.

no.	date	remarks	by

REVISIONS project title AMERICAN TOYOTA 5995 ALAMEDA NE ALBUQUERQUE, NM			
sheet	date	design by	project no.
0326	08/22/03	JUB	0326


BORDENAVE DESIGNS
 P.O. BOX 91194, ALBUQUERQUE, NM 87199
 (505)823-1344 FAX (505)821-9105



RADIUS = 20.00'
DELTA = 90°00'00"

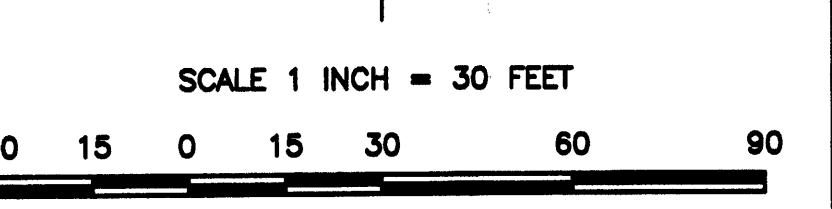
POINT	TC	TA
1	23.95	24.10
2	24.35	24.87
3	24.89	24.98
4	24.98	24.98

RADIUS = 20.00'
DELTA = 90°00'00"

POINT	TC	TA
1	25.08	25.48
2	25.99	26.29
3	26.80	26.80
4	26.80	26.80

NPDES - SWP3

- THIS CONSTRUCTION SITE REQUIRES A NPDES PERMIT. THE CONTRACTOR SHALL SUBMIT A NOI AND SWP3 PRIOR TO ANY CONSTRUCTION.
- THIS PLAN MAY BE USED AS THE SWP3.
- PRIOR TO SITE GRADING AND BUILDING CONSTRUCTION THE PONDS SHALL BE GRADED AND THE CATCH BASINS AND OUTLET PIPES SHALL BE INSTALLED PER THIS PLAN.
- SILT FENCE SHALL BE PLACED ON THE CONSTRUCTION PERIMETER AND AROUND EACH NEW CATCH BASIN AS WELL AS THE EXISTING CATCH BASIN LOCATED AT THE NORTHWEST CORNER OF THE PROPERTY. SILT FENCING AROUND CATCH BASINS SHALL REMAIN IN PLACE AND BE MAINTAINED IN WORKING ORDER UNTIL THE BUILDING SLAB IS IN PLACE AND FINISH IS BEING PLACED. CONSTRUCTION PERIMETER SILT FENCE SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION INCLUDING LANDSCAPING IS COMPLETE.



LEGEND

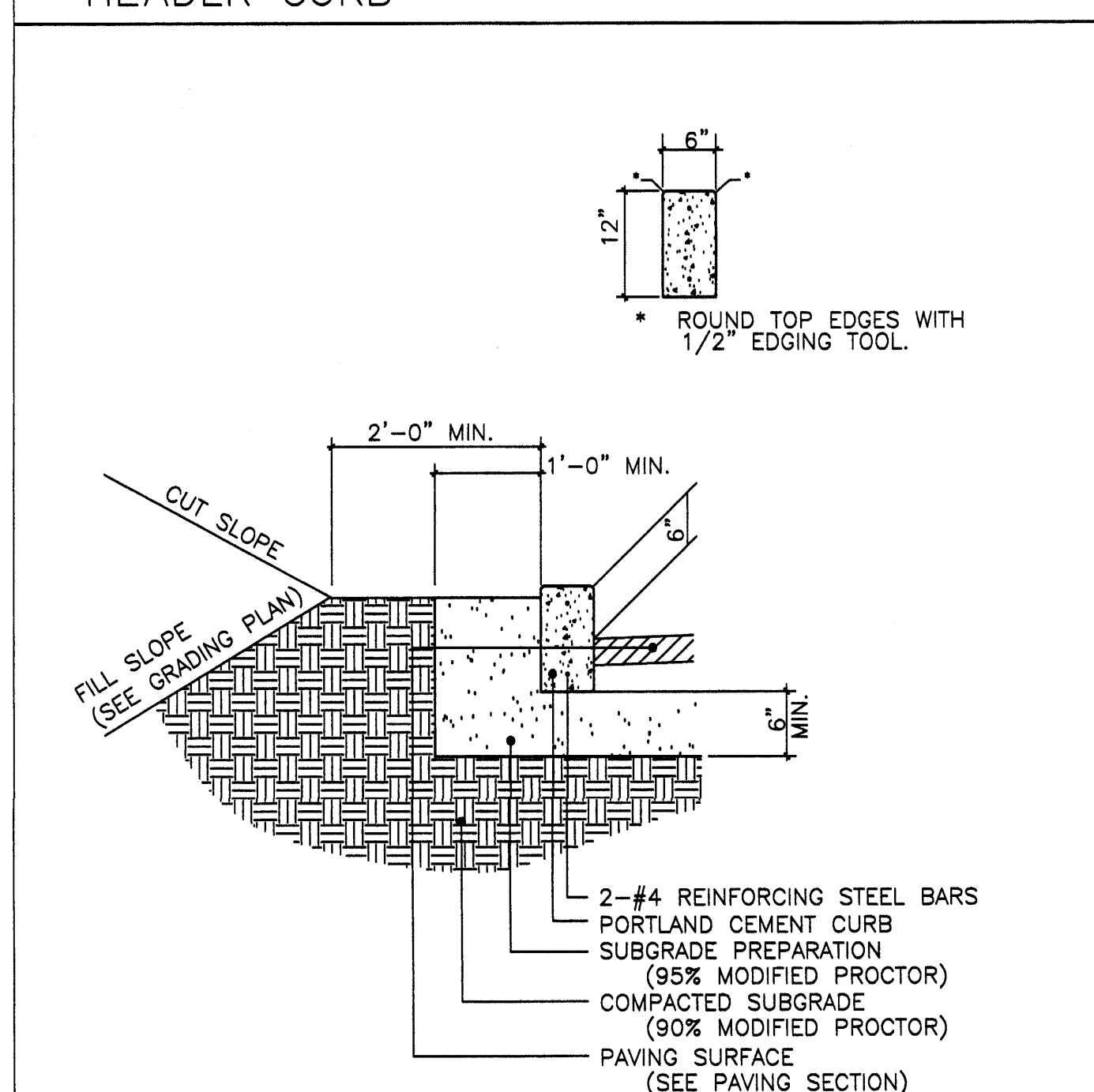
TBM	TEMPORARY BENCHMARK
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TCP	TOP OF CONCRETE
TC	TOP OF CURB
TP	TOP OF EARTH PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
MH	MANHOLE
CB	CATCH BASIN GRATE
GM	GAS METER
GV	GAS VALVE
LP	LIGHT POLE
PP	POWER POLE
GW	GUY WIRE
PED	ELEC. OR TEL. PEDESTAL
RD	ROOF DRAINAGE POINT

.....	DRAINAGE BASIN BOUNDARY
---	EXISTING CONTOUR
- - - -	PROPOSED CONTOUR
XX.XX	EXISTING SPOT ELEVATION
..XX.XX	PROPOSED SPOT ELEVATION
-XX.XX-	RECORD SPOT ELEVATION

LEGAL DESCRIPTION	
TRACTS A1 AND B1, AMERICAN TOYOTA	
PERMANENT BENCHMARK	
ACS 10-018	ELEVATION 5219.41 (NGVD 1928)
GRADING CERTIFICATION	
I, Jean J. Bordenave, New Mexico Professional Engineer and Land Surveyor No. 5110, hereby certify that I have personally inspected the property shown hereon and that it appears that no grading, filling or excavation has occurred thereon since the contour map shown hereon was prepared.	
Jean J. Bordenave, NM PE & PS No. 5110	

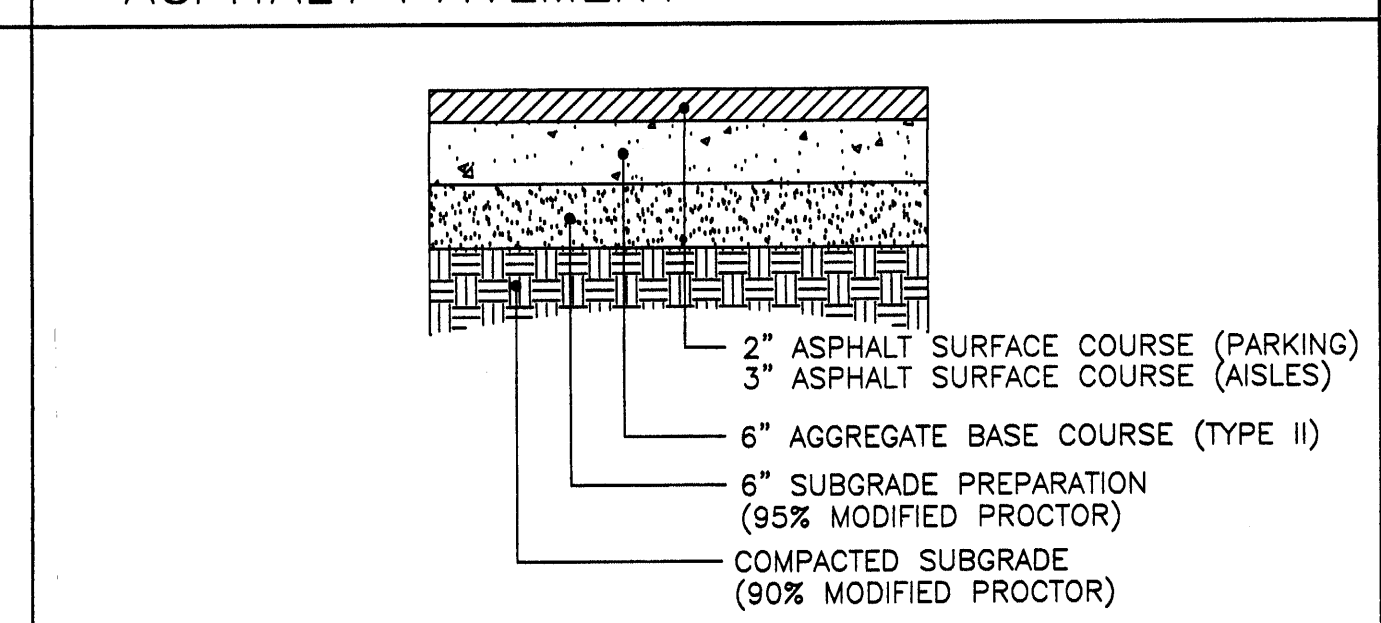
NO.	DATE	REVISIONS	BY
3	11/02/03	4' RIGHT OF WAY DEDICATION	BOG
2	11/02/03	EXPANDED PARKING AREA	BOG
1	11/02/03	ADDED EXPANSION BUILDING, SERVICE AND INSPECTION AREA	BOG

HEADER CURB



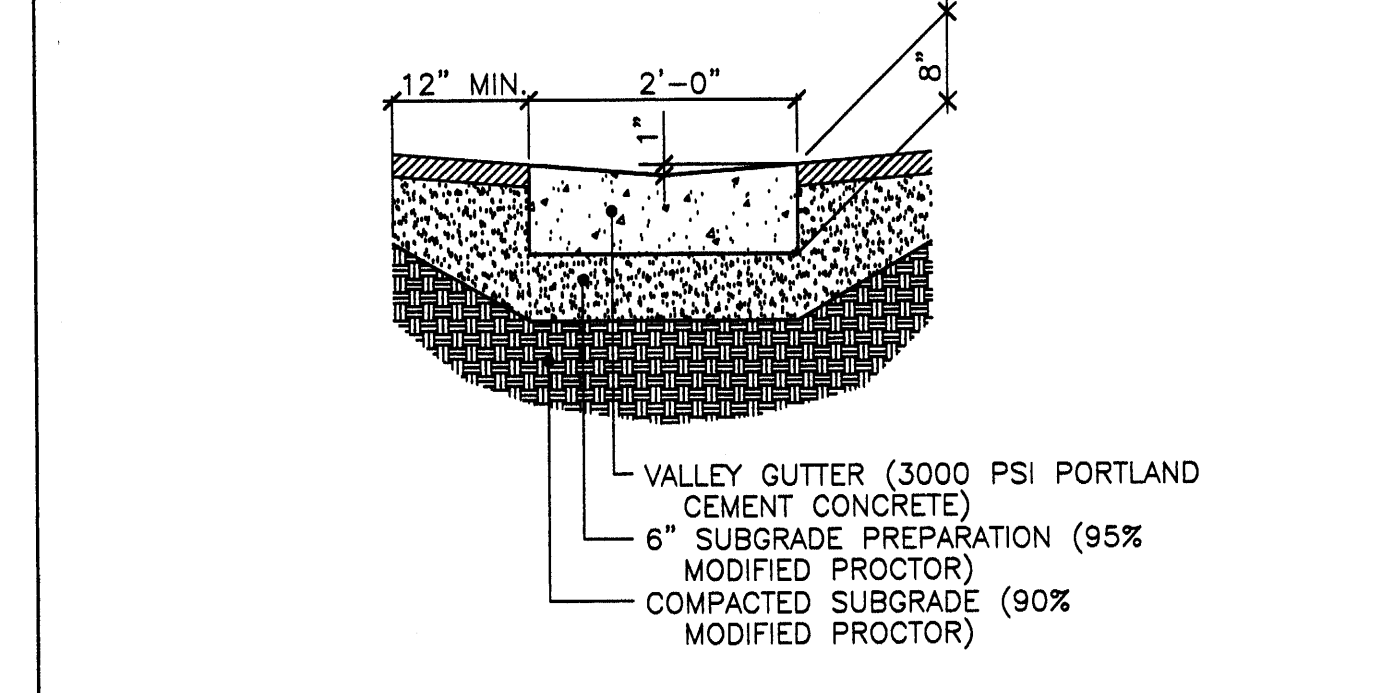
NOTES:
 1. PROVIDE CONTRACTION JOINTS AT 5 FEET ON CENTER AND EXPANSION JOINTS AT 50 FEET ON CENTER UNLESS OTHERWISE STATED ON SITE PLANS OR IF CURB ABUTS SIDEWALK, WHERE CURB JOINTS SHALL MATCH SIDEWALK JOINTS.

ASPHALT PAVEMENT



NOTES:
 1. ASPHALT MIX DESIGN TO USE CITY OF ALBUQUERQUE AGGREGATE CLASS 'B' AND HAVE A MARSHALL STABILITY GREATER THAN 1800 LBS.
 2. ASPHALT CONCRETE COURSES GREATER THAN 3" IN THICKNESS SHALL BE PLACED WITH MULTIPLE LIFTS. MINIMUM LIFT THICKNESS 1 1/2".

CONCRETE VALLEY GUTTER



DRAINAGE DATA

NO.	DATE	REVISIONS	BY
3	11/02/03	4' RIGHT OF WAY DEDICATION	BOG
2	11/02/03	EXPANDED PARKING AREA	BOG
1	11/02/03	ADDED EXPANSION BUILDING, SERVICE AND INSPECTION AREA	BOG

