

PARTIAL PLAN - NORTH CORNER
SCALE: 1" = 20'

SITE PLAN
SCALE: 1" = 60'

PROJECT DATA

OWNER: NETHERWOOD PARK CHURCH OF CHRIST
5101 INDIAN SCHOOL RD. NE
ALBUQUERQUE, NEW MEXICO
(505) 722-5673

LEGAL DESCRIPTION: TRACT F-1
NETHERWOOD PARK ADDITION

OCCUPANCY GROUP:
EXISTING: CLASSROOMS = E
SANCTUARY = A-2.1 (SEATING = 552)
FELLOWSHIP HALL = A-3
PROPOSED: GYMNASIUM = A-2.1

CONSTRUCTION TYPE: V-1 HOUR

OCCUPANT LOAD: GYMNASIUM = 381

SQUARE FOOTAGE: 7,728 S.F.

SEISMIC ZONE: 2-B

SOIL BEARING: 2,000 PSF (ASSUMED)

CONCRETE STRENGTH: 3,000 PSI

STRESS VALUES: LUMBER-NO. 2 PINE

ROOF DESIGN: 30 PSF

WIND DESIGN: 75 MPH, P=(1.2)(1.3)(1.5)(1.0)(23.4) PSF

PARKING: MAIN ASSEMBLY ROOM SEATING = 552
REQUIRED: 1 SPACE PER 4 SEATS = 138
PROVIDED: = 184
HANDICAPPED PARKING:
REQUIRED: = 8
PROVIDED: = 8

BIKE SPACES REQUIRED:
REQUIRED: 1 PER 20 = 6 RACKS
PROVIDED: = 6 RACKS

PREVIOUS ZONING CASES:
Z-68-59
Z-68-94
Z-93-81

LANDSCAPING:
REQUIRED: 91,216 SF X 15% = 13,682 SF
PROVIDE: 19,584 SF (21%)

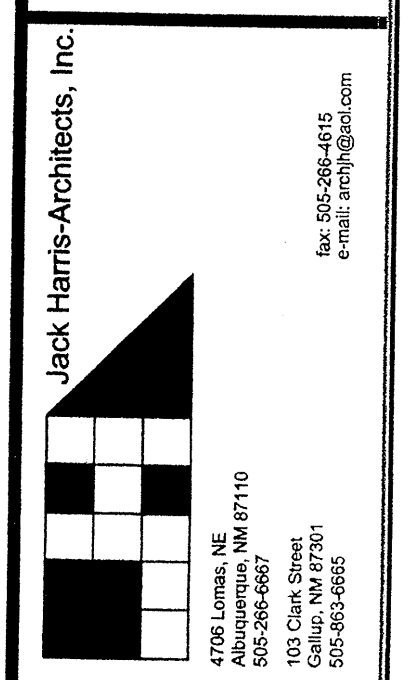
VICINITY MAP

INDEX TO DRAWINGS

- C1.1 SITE PLAN
- C-2 GRADING PLAN
- L1.1 LANDSCAPE PLAN
- A1.1 FLOOR PLAN
- A1.4 ELEVATIONS
- U-1 UTILITY PLAN

LEGEND

- (with circle) PARKING LOT LIGHTS (250W,H.P.S) 20' (EXISTING)
- (with circle) EXISTING CONC. PAVING
- ▨ NEW CONC. WALK



NETHERWOOD PARK CHURCH OF CHRIST
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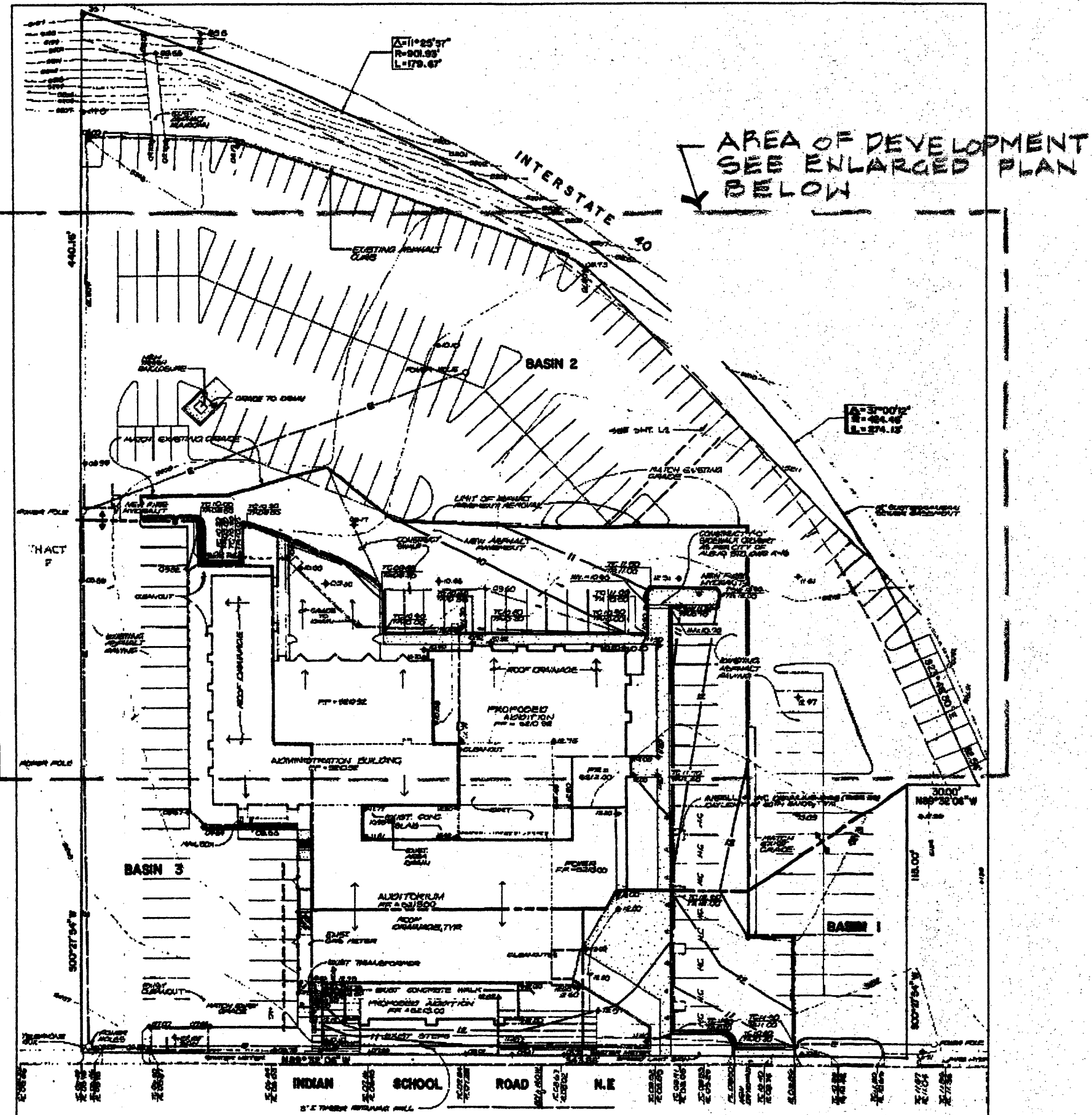
DATE:
6/25/02
7/2/02
5/30/03

SHEET NO.
CI.1

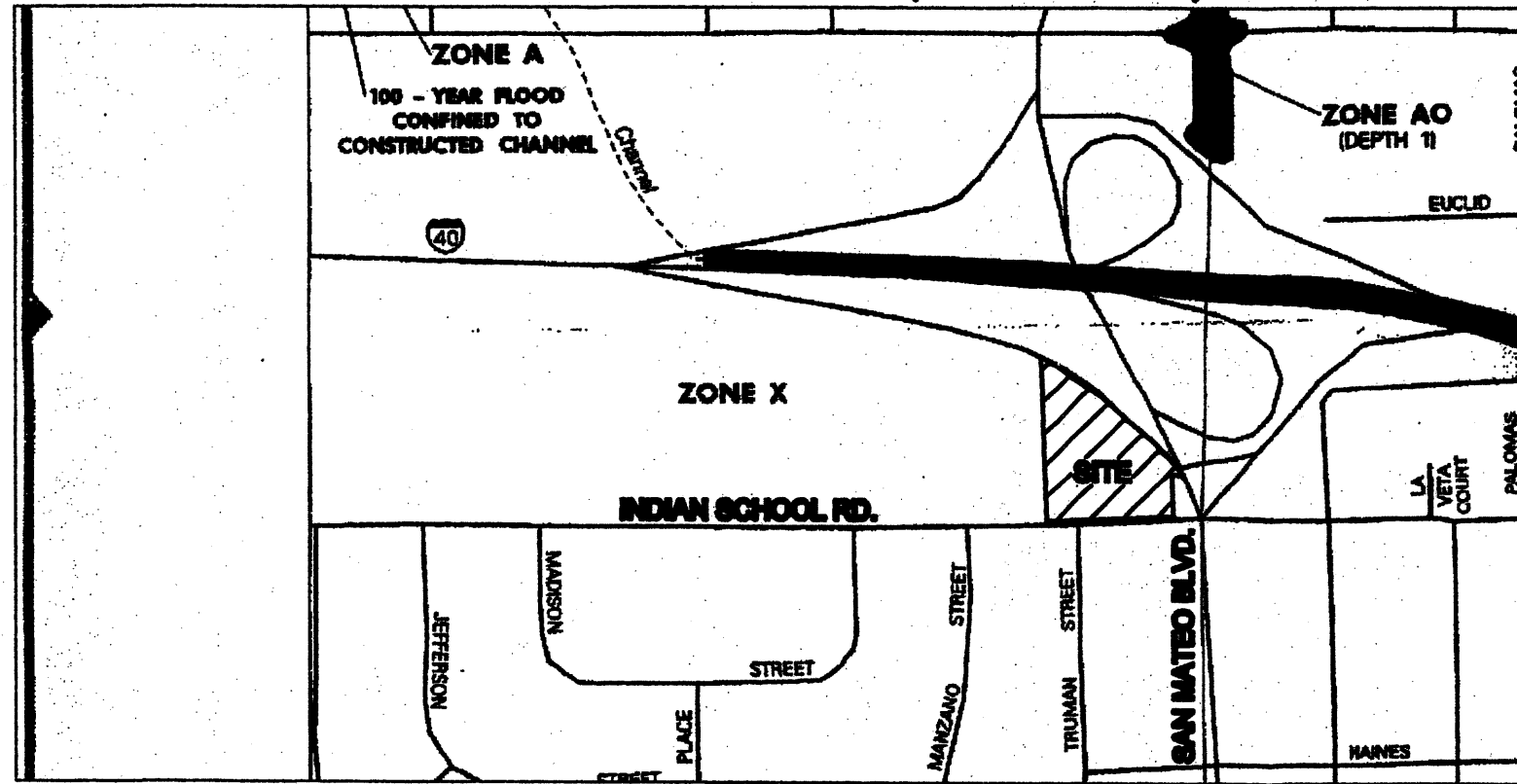
ASD PLANS CHECKING OFFICE
624-9511
APPROVED
5-30-03
6-2-03

Joe Gibson
5-30-03 3:00 P.M.

DRAINAGE BASIN MAP (1"=50')



FIRM PANEL 352 (1"=500')



100-YEAR HYDROLOGIC CALCULATIONS

BASIN #	AREA (acre)	LAND TREATMENT (%)				WEIGHTED E (in)	V (6-hr) (acre-ft)	V (6-hr) (cu-ft)	V (10 day) (acre-ft)	V (10 day) (cu-ft)	Q (cfs)
		A	B	C	D						
EXISTING CONDITIONS											
1	0.244	0.00	3.50	3.50	93.00	2.04	0.04	1,807	0.87	3,127	1.11
2	1.919	0.00	2.00	2.00	94.00	2.07	0.23	14,443	6.88	25,142	8.97
3	0.620	0.00	3.50	3.50	93.00	2.04	0.11	4,587	0.18	7,935	2.83
TOTAL	2.783					4.15	0.48	20,837	0.83	36,204	12.91
PROPOSED CONDITIONS											
1	0.244	0.50	3.50	3.50	93.00	2.04	0.04	1,807	0.87	3,127	1.11
2	1.919	0.00	3.00	3.00	94.00	2.06	0.33	14,291	0.87	24,757	8.79
3	0.620	0.00	3.50	3.50	93.00	2.04	0.11	4,587	0.18	7,935	2.83
TOTAL	2.783					4.14	0.47	20,675	0.82	35,819	12.73
EXCESS PRECIP.	0.53	0.78	1.13	2.12	E (in)						
PEAK DISCHARGE	1.88	2.28	3.14	4.7	Qn (cfs)						

$WEIGHTED E (in) = (E_A)(A) + (E_B)(B) + (E_C)(C) + (E_D)(D)$
 $V_{6hr} (acre-ft) = (WEIGHTED E)(AREA) \times 12$
 $V_{10day} (acre-ft) = V_{6hr} + (A_n)(P_{max} - P_{6hr}) \times 12$
 $Q (cfs) = (Q_n)(A) + (Q_n)(A) + (Q_n)(A) + (Q_n)(A)$

ZONE = 2
 $P_{max} (in.) = 2.35$
 $P_{6hr} (in.) = 2.75$
 $P_{max} (in.) = 3.95$

DRAINAGE REPORT

LOCATION & DESCRIPTION
 THE PROPOSED SITE IS 2.783 ACRES LOCATED AT THE SOUTHWEST CORNER OF SAN MATEO BOULEVARD AND I-40, AS SHOWN ON THIS SHEET. IT IS CURRENTLY DEVELOPED WITH A CHURCH FACILITY. THE PROPOSED DEVELOPMENT IS TO REMOVE A PORTION OF THE EXISTING ASPHALT PARKING LOT AND CONSTRUCT A 7,715 SQUARE FOOT GYMNASIUM, ADDITIONAL LANDSCAPING, AND MINOR REVISIONS TO THE PARKING LOT LAYOUT.

FLOODPLAIN STATUS
 THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0352 D, DATED SEPTEMBER 20, 1996 IS NOT WITHIN ANY DESIGNATED 100-YEAR FLOODPLAIN. AN EXHIBIT FROM THIS FIRM PANEL WITH THE SITE DESIGNATED ON IT IS SHOWN ON THIS SHEET.

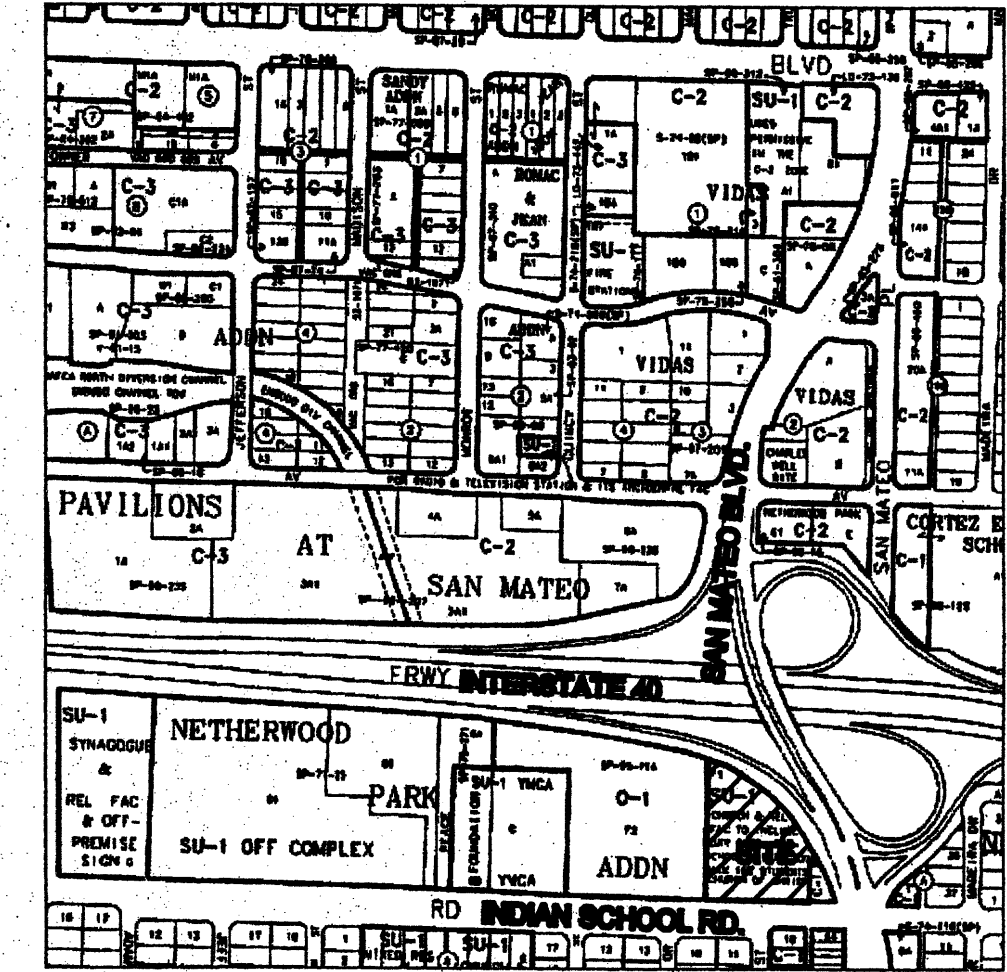
METHODOLOGY
 THE HYDROLOGY FOR THIS PROJECT WAS ANALYZED USING THE QUICK CALCULATIONS OF THE JUNE 1997 RELEASE OF THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2.

PRECIPITATION
 THE 100-YR 6-HR DURATION STORM WAS USED AS THE DESIGN STORM FOR THIS ANALYSIS. THIS SITE IS WITHIN ZONE 2 AS IDENTIFIED IN THE CITY OF ALBUQUERQUE DEVELOPMENT PROCESS MANUAL, SECTION 22.2. TABLES WITHIN THIS SECTION WAS USED TO ESTABLISH THE 6-HOUR PRECIPITATION, EXCESS PRECIPITATION, AND PEAK DISCHARGE.

EXISTING DRAINAGE
 THE SITE WAS DEVELOPED PRIOR TO 1986 WITH FREE DISCHARGE FROM THE SITE. IN DECEMBER 1986, "THE BURNS/PETERS GROUP" PREPARED A GRADING AND DRAINAGE PLAN FOR A CLASSROOM ADDITION ON THE NORTH SIDE OF THE EXISTING BUILDING. THE TOPOGRAPHIC AND BASIN MAP ON THIS SHEET WAS OBTAINED FROM THE 1986 DRAINAGE PLAN. BASINS 1 AND 3 HAVE FREE DISCHARGE TO INDIAN SCHOOL ROAD WHILE BASIN 2 DRAINS TO THE NORTHWEST CORNER OF THE SITE AND DISCHARGES INTO THE I-40 RIGHT-OF-WAY. BASINS 1 AND 3 WILL NOT BE AFFECTED BY THIS DEVELOPMENT. ALL OF THE CONSTRUCTION PROPOSED HEREIN WILL BE CONTAINED WITHIN BASIN 2.

DEVELOPED CONDITION
 THE PORTION OF THE SITE BEING DEVELOPED AT THIS TIME IS WITHIN THE EXISTING ASPHALT PARKING LOT. THIS DEVELOPMENT WILL INCLUDE A STRUCTURE DRAINING TO THE NORTH WHICH IS CONSISTENT WITH THE CURRENT PARKING LOT DRAINAGE. MINOR MODIFICATIONS TO A COUPLE OF THE EXISTING LANDSCAPE ISLANDS WITHIN THE PARKING LOT WILL BE MADE ALONG WITH SOME RESTRIPIING IN ORDER TO ACCOMMODATE THE REQUIRED TRAFFIC CIRCULATION AROUND THE BUILDINGS. THERE WILL ALSO BE AN INCREASE OF APPROXIMATELY 3500 SQUARE FEET OF LANDSCAPED AREA AROUND THE NEW GYMNASIUM. THEREFORE, THE ACTUAL IMPERVIOUS AREA WILL DECREASE WITH THIS DEVELOPMENT. THE 100-YEAR HYDROLOGIC CALCULATIONS, SHOWN ON THIS SHEET, REFLECT THIS MINOR CHANGE BETWEEN THE EXISTING AND PROPOSED DEVELOPMENT. SINCE THE DEVELOPMENT ACTUALLY IMPROVES THE DOWNSTREAM CONDITION AND THE SITE IS ALREADY DEVELOPED WITH FREE DISCHARGE, NO ONSITE PONDING IS PROPOSED AND THE SITE WILL CONTINUE TO DRAIN IN ITS HISTORIC PATTERN. AS A RESULT, THIS SITE CAN BE DEVELOPED WITH THE PROPOSED IMPROVEMENTS WITHOUT ADVERSELY AFFECTING DOWNSTREAM PROPERTY.

VICINITY MAP H-17



LEGAL DESCRIPTION

TRACT "T-1" OF THE NETHERWOOD PARK ADDITION, FILED OCTOBER 1, 1975; VOLUME AS; FOLIO 163.

ACS BENCHMARK

ACS MONUMENT "1-H17", BEING AN ACS MONUMENT, WITH AN ELEVATION OF 5219.342.

SURVEY NOTES

TOPOGRAPHIC SURVEY PREPARED BY OTHERS AND PROVIDED BY THE OWNER. LIMITED FIELD OBSERVATION WAS USED TO CONFIRM THE GENERAL FLOW OF THE LAND. ITS ADEQUACY IS HEREBY DISCLAIMED AS IT RELATES TO THIS DRAWING.

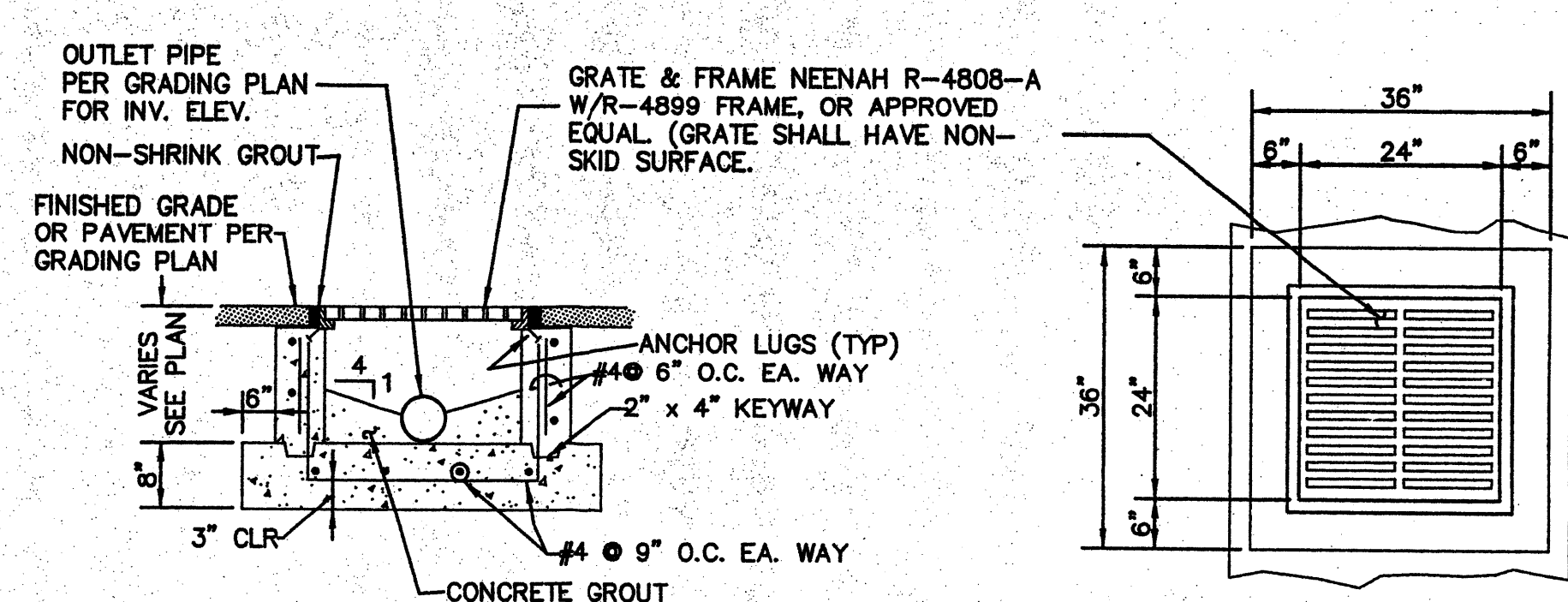
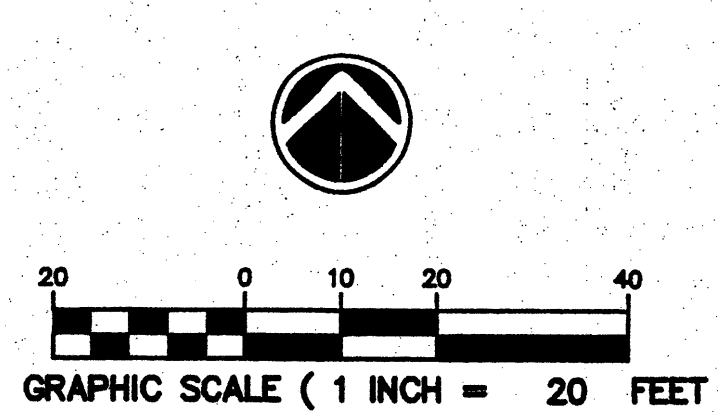
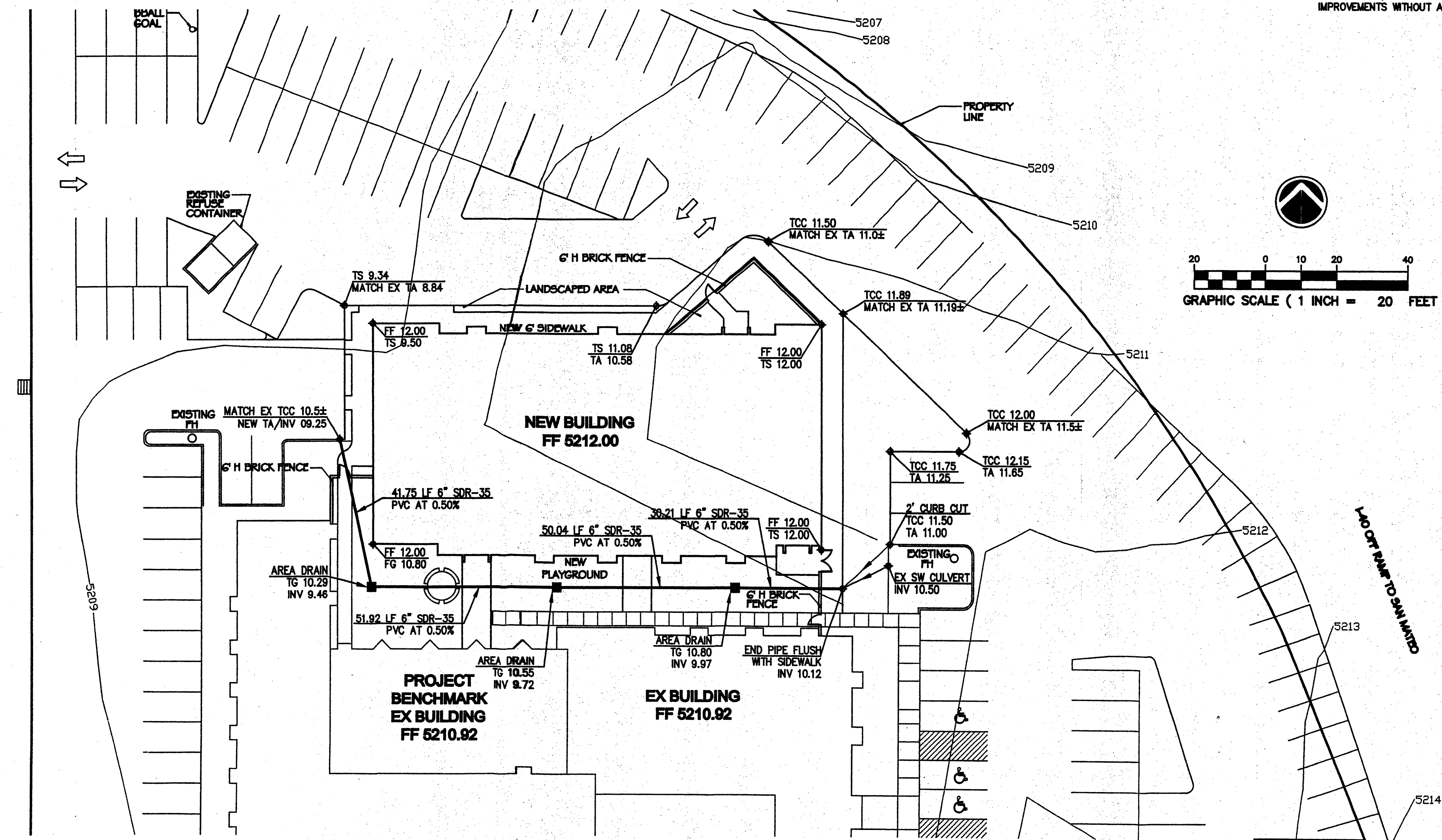
THIS IS NOT A BOUNDARY SURVEY AND SHOULD NOT BE USED BY THE OWNER AS SUCH.

LEGEND

- 5212 — EX CONTOUR
- — — — — PROPERTY LINE
- — — — — EX BUILDING
- — — — — EX SIDEWALK/CURB
- — — — — PROPOSED CURB/SIDEWALK
- — — — — PROPOSED BUILDING
- — — — — PROPOSED STORM DRAIN
- — — — — PROPOSED AREA DRAIN
- PROPOSED SPOT ELEVATION
- ↔ PROPOSED SWALE AND FLOW DIRECTION

ABBREVIATIONS

- FF FINISHED FLOOR
- TCC TOP OF CONCRETE CURB
- TA TOP OF ASPHALT
- TG TOP OF GRATE
- TS TOP OF SIDEWALK



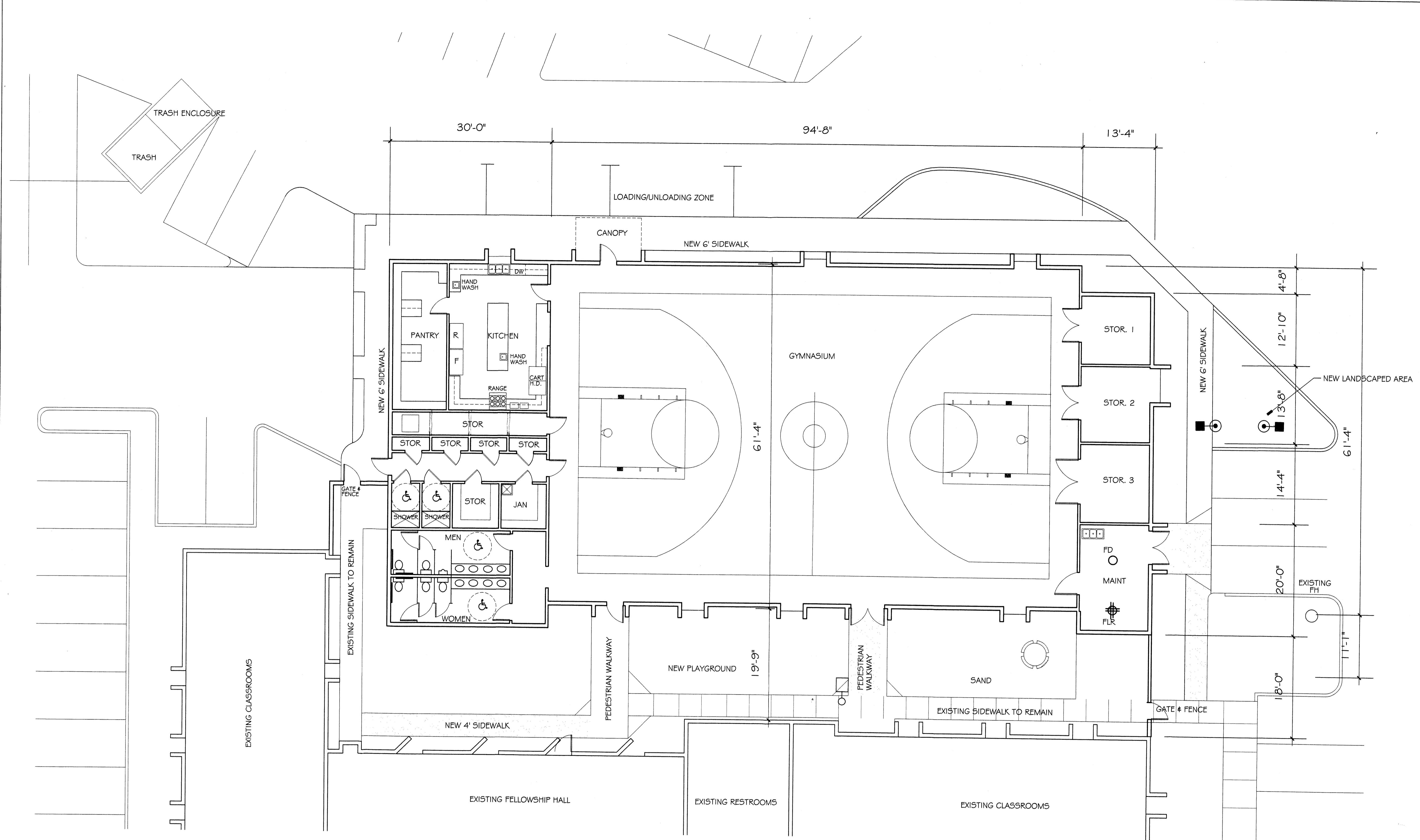
1 AREA DRAIN
 C2 N. T. S.

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SHEET NO.

C-2



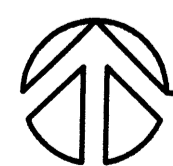
Jack Harris-Architects, Inc.
 4700 Lomas, NE
 Albuquerque, NM 87110
 505.263.9900
 100 Clark Street
 Gallup, NM 87301
 505.262.4615
 e-mail: jharris@jha.com

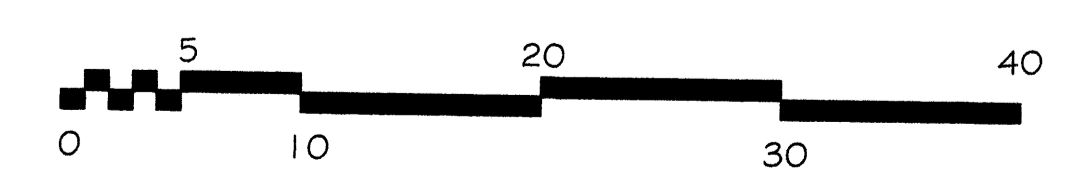
NETHERWOOD PARK CHURCH OF CHRIST
5101 INDIAN SCHOOL RD. NE
ALBUQUERQUE, NEW MEXICO

DATE:
 2/17/03
 4/1/03

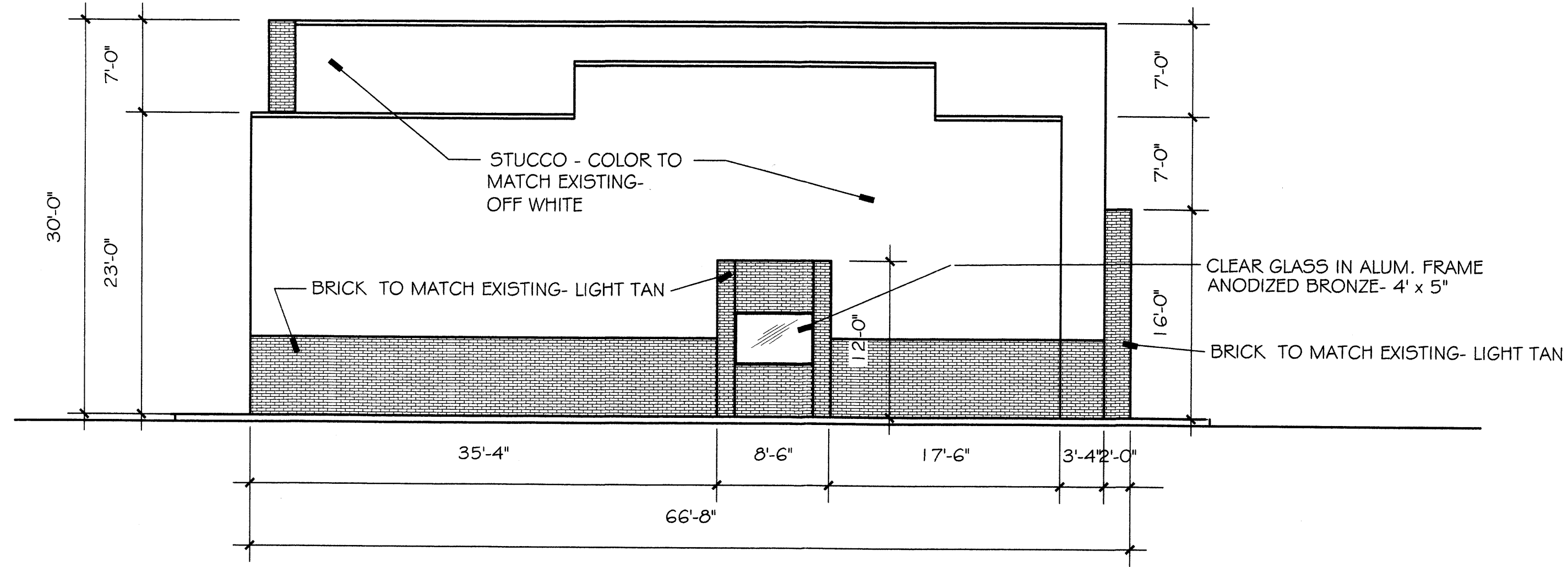
SHEET NO.

A-1

 **FLOOR PLAN**
 SCALE: 1/8" = 1'-0"

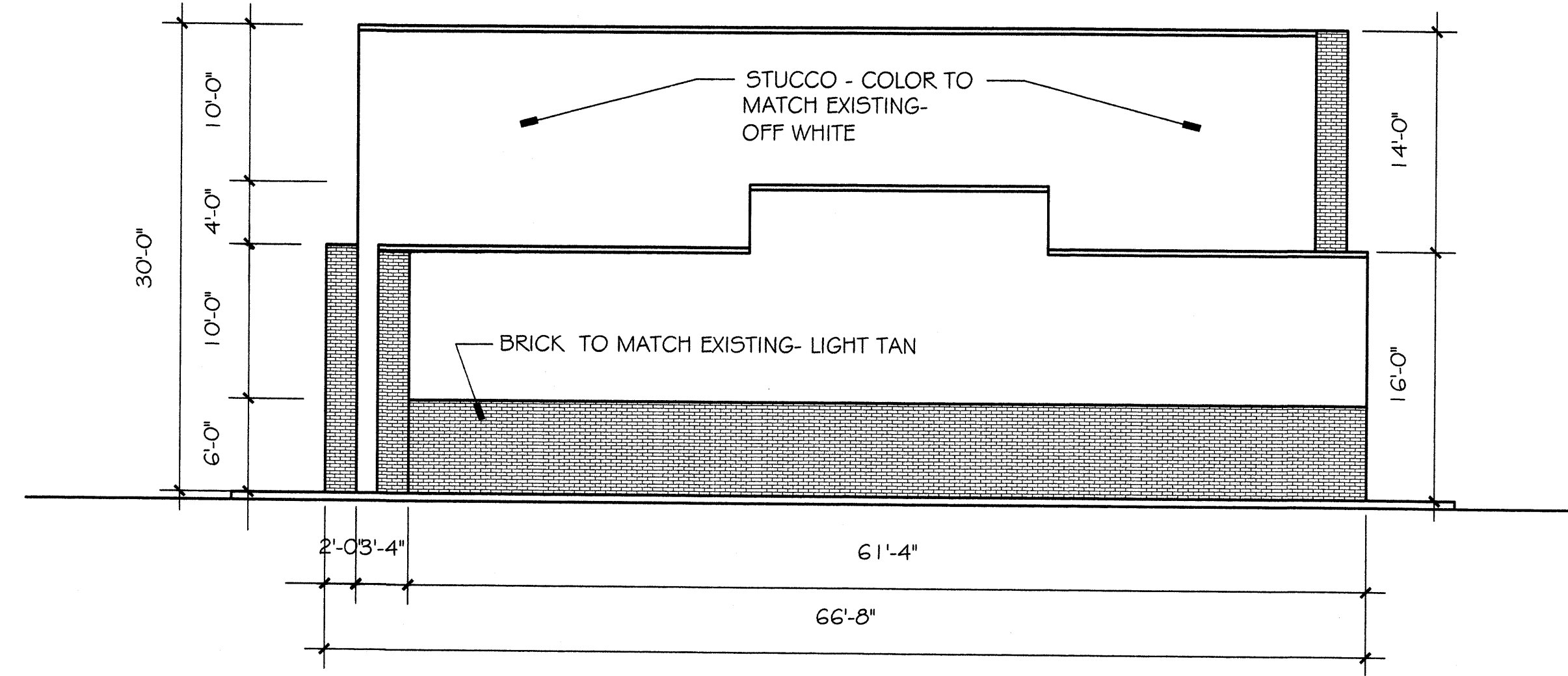


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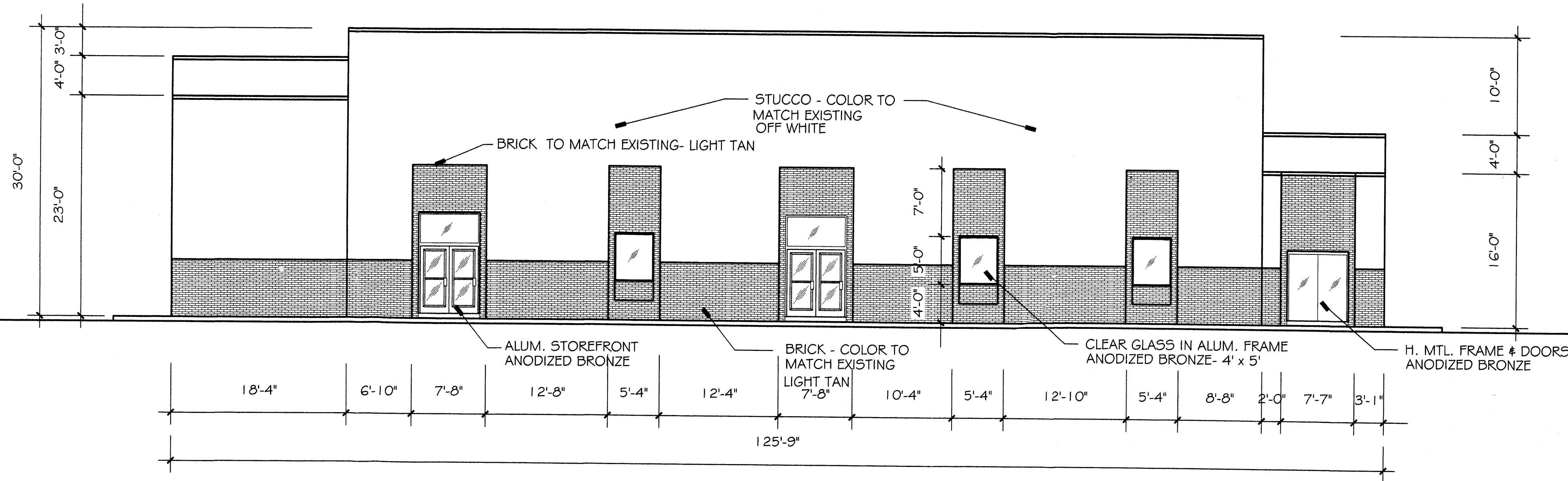
1 WEST ELEVATION

SCALE: 1/8" = 1'-0"



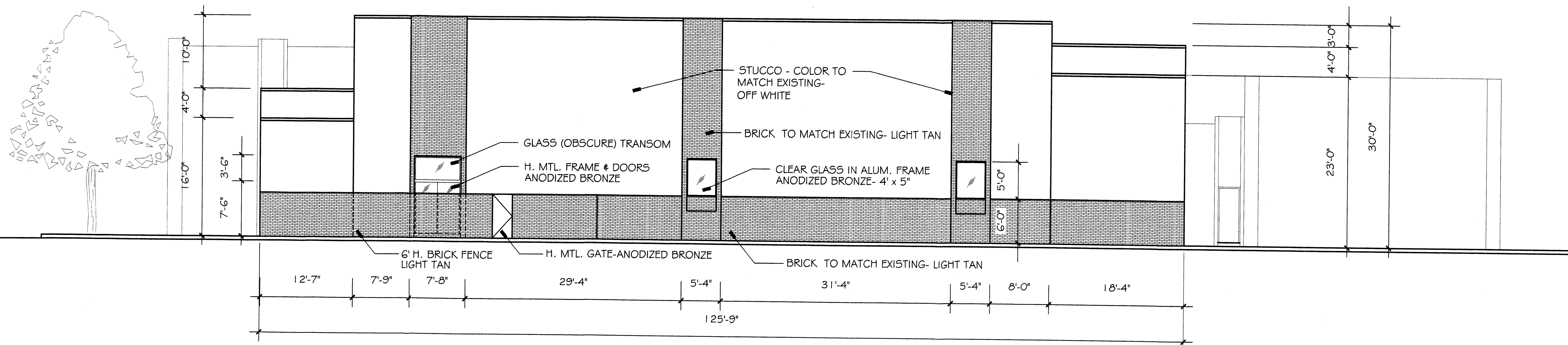
2 EAST ELEVATION

SCALE: 1/8" = 1'-0"



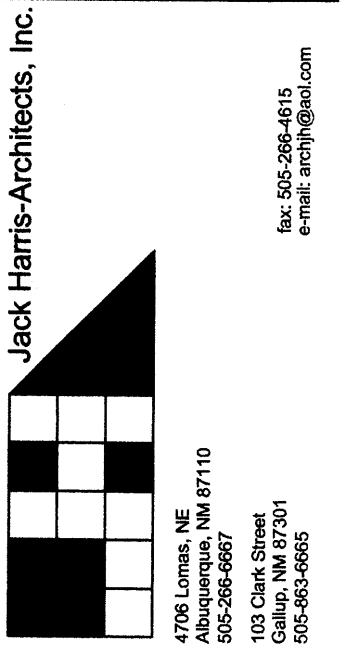
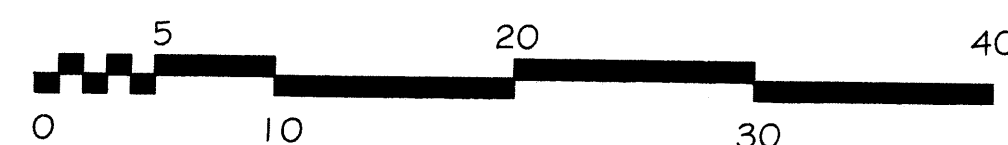
3 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



4 NORTH ELEVATION

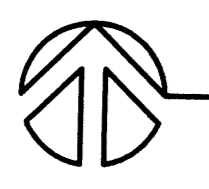
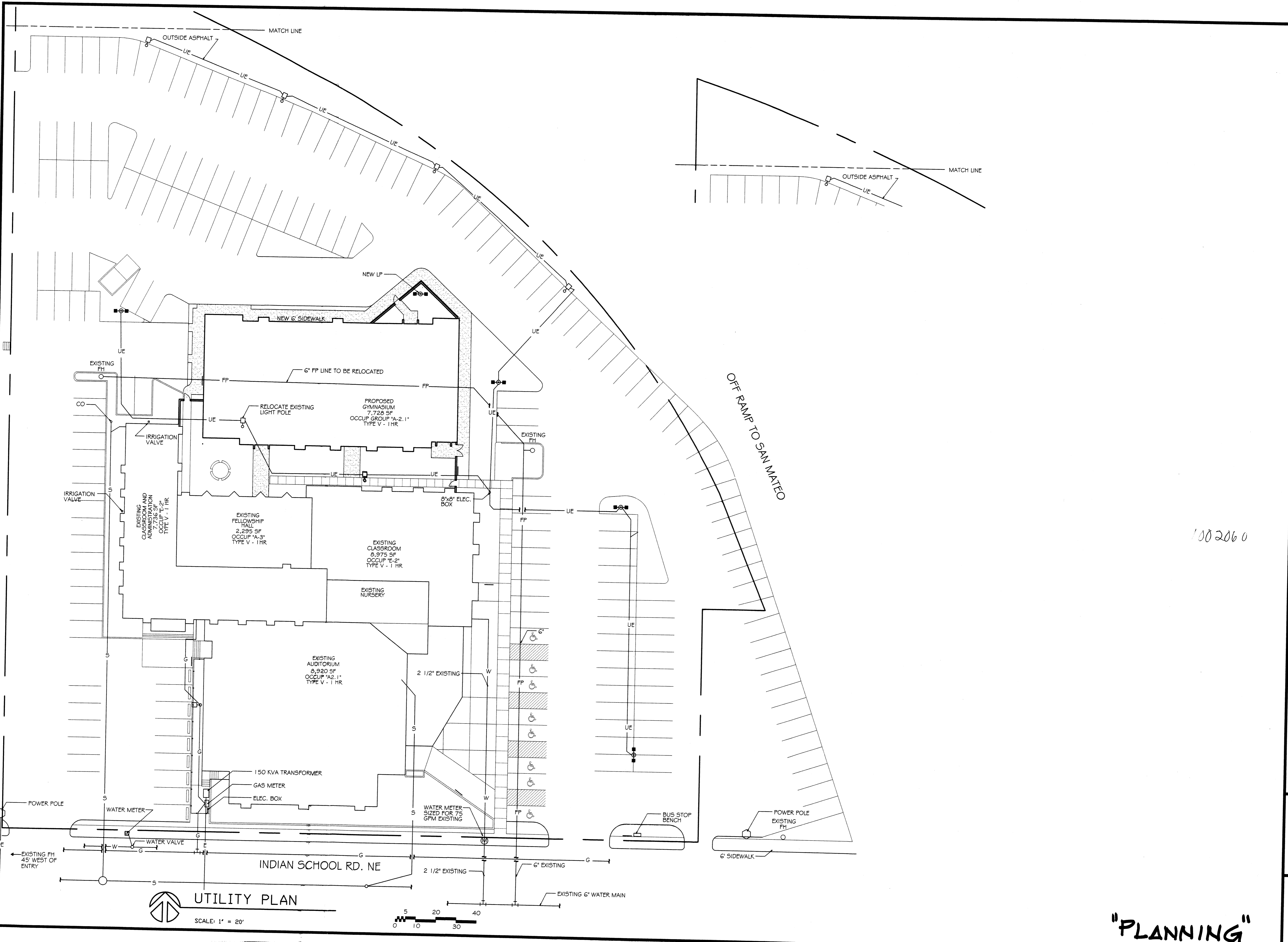
SCALE: 1/8" = 1'-0"



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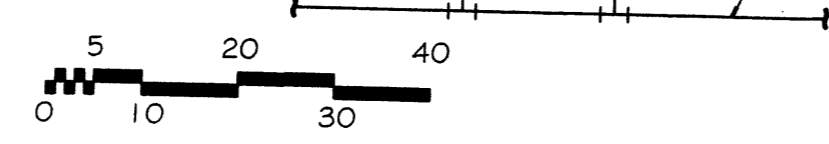
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5/29/2003

SHEET NO.
A-2



UTILITY PLAN

SCALE: 1" = 20'



1002060

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ALBUQUERQUE, NEW MEXICO

DATE:
 5/28/02
 6/17/02
 6/25/02

SHEET NO.
U-1

"PLANNING"

Jack Harris-Architects, Inc.
 4706 Lomas, NE Albuquerque, NM 87110
 505.266.8987
 103 Clark Street Albuquerque, NM 87102
 505.266.4515
 e-mail: jharris@jha.com