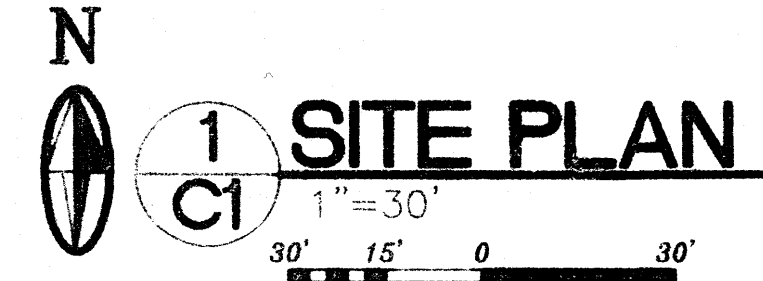
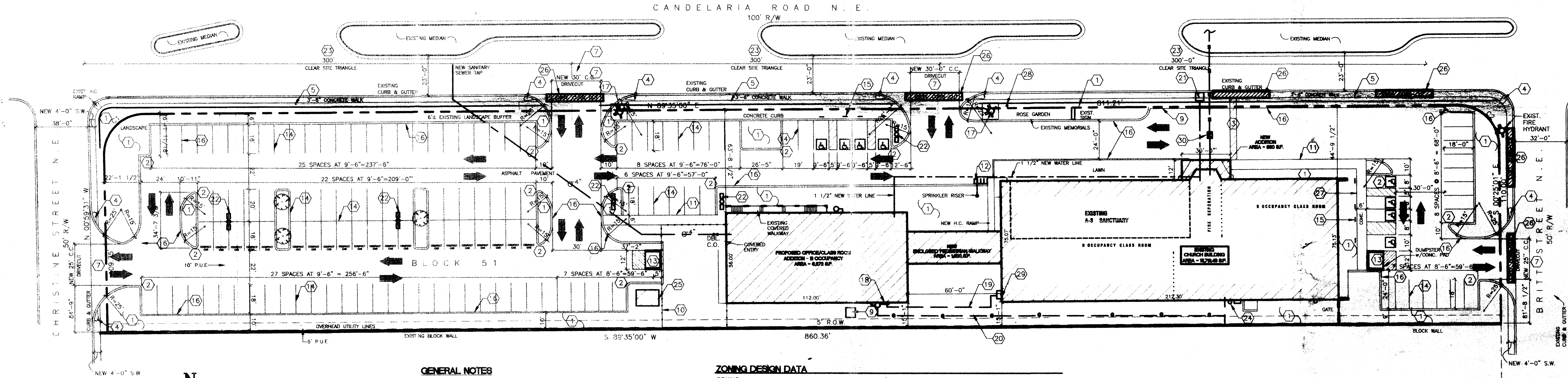


VICINITY MAP H-21-Z



**LEGAL DESCRIPTION:**  
 LOTS NUMBERED ONE (1) THROUGH FOURTEEN (14), INCLUSIVE, IN BLOCK NUMBERED FIFTY-ONE (51) OF SNOW HEIGHTS, AN ADDITION TO THE CITY OF ALBUQUERQUE, NEW MEXICO, AS THE SAME ARE SHOWN AND DESIGNATED ON THE PLAT OF SAID ADDITION, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON NOVEMBER 4, 1953, TOGETHER WITH THE SOUTHERLY 25 FEET OF VACATED CANDELARIA ROAD N.E., VACATED BY COMMISSION ORDINANCE NO. 1197, DATED FEBRUARY 12, 1957, AND CONVEYED TO ASBURY METHODIST CHURCH IN ALBUQUERQUE, A NON-PROFIT CORPORATION, BY QUITCLAIM DEED RECORDED IN BOOK D605, PAGE 507, RECORDS BERNALILLO COUNTY, NEW MEXICO.

**SITE PLAN**  
 OF  
**ASBURY UNITED METHODIST CHURCH**  
 BEING  
**TRACT "A"**  
 BLOCK 51  
 SNOW HEIGHTS ADDITION  
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO  
 NOVEMBER, 2001



BLOCK 51  
 SNOW HEIGHTS ADDITION  
 FILED NOVEMBER 4, 1953  
 VOLUME D1, FOLIO 104

**C1**  
 R = 25.00'  
 D = 91°09'50"  
 CB = S 44°34'36" W  
 CH = 35.71'  
 L = 39.78'

**C2**  
 R = 25.00'  
 D = 89°59'59"  
 CB = N 45°25'00" W  
 CH = 35.36'  
 L = 39.27'

**GENERAL NOTES**

- PAVING SHALL BE MAINTAINED LEVEL AND SERVICEABLE, SHALL BE BLACKTOP OR EQUAL, 2" INCHES OF ASPHALTIC CONCRETE ON A PRIME COAT OVER A FOUR INCH COMPACTED SUBGRADE.
- LIGHTING: LIGHTING SHALL NOT HAVE AN OFFSITE LUMINANCE GREATER THAN 1000 FOOT LAMBERTS MEASURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.
- ALL POLE LIGHTING SHALL BE A MAXIMUM OF 16 FT. HIGH. THE LIGHT FIXTURES SHALL BE FULLY SHIELDED HORIZONTAL LAMPS SO THAT NO FUGITIVE LIGHT SHALL ESCAPE BEYOND THE PROPERTY LINE. ALL LIGHT FIXTURES SHALL BE FULL-CUTOFF TYPE TO PREVENT FUGITIVE LIGHT. NO LIGHT SOURCE SHALL BE VISIBLE FROM THE SITE PERIMETER.
- IRRIGATION: SEE LANDSCAPE PLAN.
- PREMISE TO ADDRESS SHALL BE LEGIBLE AND VISIBLE FROM THE STREET FRONTING THE PROPERTY AND SHALL CONTRAST TO ITS BACKGROUND.
- PNM STANDARD DS-7-15.0 3-PHASE PAD MOUNTED TRANSFORMER STATION  
 PNM STANDARD DS-7-15.5 75-90 KVA 3-PHASE RADIAL FEED TRANSFORMER PAD

**NOTE:**

- CERTIFICATION BY THE DESIGNER OF RECORD, REQUIRED BY THE TRANSPORTATION SECTION, NEEDS TO STATE THAT THIS SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE TRAFFIC CIRCULATION LAYOUT (TCL) BEFORE C.O. IS RELEASED.
- INSPECTION OF CONSTRUCTION FOR C.O. BY TRANSPORTATION WILL BE DONE FROM THIS SHEET.
- PATCH AND REPAIR CURBS AND SIDEWALKS AS REQUIRED.

**CONTRACTORS NOTE:**

- ANY AGREEMENT WITH THE OWNER STATING THAT ANY PORTIONS OF PERMANENT CONSTRUCTION CHOSEN TO BE COMPLETED BY THE OWNER, OR HIS SELECTED REPRESENTATIVE, OTHER THAN THAT CONTRACTOR, WILL MOST LIKELY RESULT IN DELAY IN THIS CASE. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL ALL WORK IS FINISHED.

**ZONING DESIGN DATA**

ZONING	= SU-1
LOT AREA	= 115,968.34 S.F. = 2.66 AC. (GROSS LOT)
TOTAL BUILDING (FOOTPRINT) AREA	= 23,818 S.F. (EXIST. AND NEW)
LOT AREA	= 115,968 (LOT) - 23,818 (BLDG.) = 92,150 S.F.
LANDSCAPING REQUIRED	= 92,150 x 15% = 13,822.5 S.F.
LANDSCAPING PROVIDED	= SEE LANDSCAPE PLAN
<b>PARKING REQUIREMENTS</b>	
300 SEATS = 1 PARKING SPACE PER 4 SEATS	= 75 PARKING SPACES
PARKING PROVIDED	= 138 PARKING SPACES (8 H.C. SPACES)
TOTAL BIKE SPACES REQUIRED	= 1 SPACES PER 20 PARKING SPACES = 5 BIKE SPACES
TOTAL BIKE SPACES PROVIDED	= 5 BIKE SPACES

**NEW UBC CODE DESIGN DATA**

OCCUPANCY GROUP	= B-OFFICE & SUNDAY SCHOOL
TYPE OF CONSTRUCTION	= VRI
BUILDING CONNECTION	= PEDESTRIAN WALKWAY PER UBC 406
NEW FIRE HYDRANTS	= 2 NEW HYDRANTS AND 1 EXIST. HYDRANT

**NEW BUILDING AREA**

LOWER LEVEL	= 3,000 S.F.
MAIN FLOOR LEVEL	= 6,272 S.F.
2ND FLOOR	= 1,920 S.F.
TOTAL HEATED AREA	= 11,192 S.F.
NEW ENCLOSED WALKWAY (UNHEATED)	= 1,200 S.F.
BLDG. FOOTPRINT	= 7,472 S.F.
SEISMIC ZONE	= 2B
SOIL BEARING CAPACITY	= 1,500 PSI
CONCRETE STRENGTH	= 3,000 PSI
STRESS VALUES	= LL/MEMBER: Fb = 970 MIN = STEEL: 50,000 PSI

**WIND DESIGN DATA**

ROOF DESIGN LOAD	= 20 PSF LL, 15 PSF DL
FLOOR DESIGN LOAD	= SLAB ON GRADE
2ND FLOOR DESIGN LOAD	= 40 PSF LL, 10 PSF DL
ASSEMBLY FLOOR DESIGN	= 100 PSF UNIFORM

**EXISTING UBC CODE DESIGN DATA**

OCCUPANCY GROUP	= A-3 & B (MIXED)
TYPE OF CONSTRUCTION	= SB (FRAME/STUCCO)
SEATING CAPACITY	= SANCTUARY 300 SEATS

**EXISTING BUILDING**

MAIN FLOOR LEVEL	= 15,826 S.F.
2ND FLOOR LEVEL	= 1,920 S.F.
NEW ADDITION	= 360 S.F.
TOTAL HEATED AREA	= 17,906 S.F.
BLDG. FOOTPRINT	= 15,986 S.F.

**KEYED NOTES**

- NEW LANDSCAPE AREAS
- 2' RADIUS TOP
- NEW STRIPED PEDESTRIAN WALK WAY
- H.C. RAMP (8 PLCS.)
- WIDEN EXIST. CITY WALK BY POURING 2"-6" OF ADDITIONAL WIDTH
- (8) TOTAL HANDICAP SPACES W/1 VAN ACCESSIBLE
- NEW CURB CUTS AND CONC. DRIVE PAD PER CITY STANDARDS WITH H.C. ACCESSIBLE CURB RAMPS
- NOT USED
- NEW TRANSFORMER PAD PER PNM STANDARDS
- 6" HIGH CHAIN LINK FENCE, REBUILD AS REQUIRED
- 6" CONC. SIDEWALK
- 5-SPACE BIKE RACK
- STANDARD 12" TRASH ENCLOSURE TO SOLID & TRAFFIC STDS. (STUCCO)
- PAINTED PARKING STRIPES PER CITY STANDARDS
- H.C. SIGNAGE (4) FLOOR MOUNTED, (4) WALL MOUNTED
- 6" RAISED CONC. CURB SEE DET.
- NEW FIRE HYDRANT W/10"X10" CONC. PAD
- NEW 3-PHASE ELECTRICAL LOCATION
- NEW "W/ENL. GROUND" ELECTRICAL
- NEW GAS LINE
- EXISTING WATER METER LOCATION
- (5) NEW SITE LIGHTS, SEE GENERAL NOTES ON LIGHTS
- 300 FT. CLEAR SITE TRIANGLE, NO DESTRUCTIONS FROM 3' TO 8' ABOVE FLOW LINE
- EXIST. SINGLE PHASE ELECT. AND GAS SERVICE
- 10x14 BOYS/SCOUT STORAGE BUILDING
- EXISTING CURB CUT TO BE REMOVED
- CONC. SIDEWALK FLOSH WITH ASPHALT PAVING
- REMOVE EXISTING LIGHT POLE
- DISCONNECT FOR 3-PHASE HVAC EQUIPMENT ON ROOF ON EXIST. BLDG.
- NEW CLEANOUT AT EXISTING SEWER LINE

AFD PLANS CHECKING OFFICE  
 924-3611

APPROVED/DISAPPROVED  
 HYDRANT(S) ONLY  
 R.C. Jones 9-30-02  
 SIGNATURE & DATE

Application No. 02ERC-00981  
 GAGE NUMBER 7-02ERC-00981

This plan is consistent with the specific site development plan approved by the Environmental Planning Commission (EPC) on Aug 15, 2002 and that the findings and conditions in the Official Notice, Notification of Decision have been complied with:

**SITE DEVELOPMENT PLAN**

<i>Michael Dant</i>	10-09-02
Traffic Engineer, Transportation Division	Date
<i>Christine Sandoval</i>	10/9/02
Parks & General Services Department	Date
<i>Roop A. Khan</i>	10-9-02
Public Works, Water Utilities Division	Date
<i>Buddy L. Bigham</i>	10/9/02
City Engineer, Engineering Division / AM/AC	Date
<i>CO White</i>	9-30-02
Solid Waste	Date
<i>Sharon Matson</i>	11/13/02
City Planner, Albuquerque / Bernalillo County Planning Division	Date

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Development Process Manual

**ASBURY UNITED METHODIST CHURCH**  
 ALBUQUERQUE, NEW MEXICO  
 PROJECT #0221

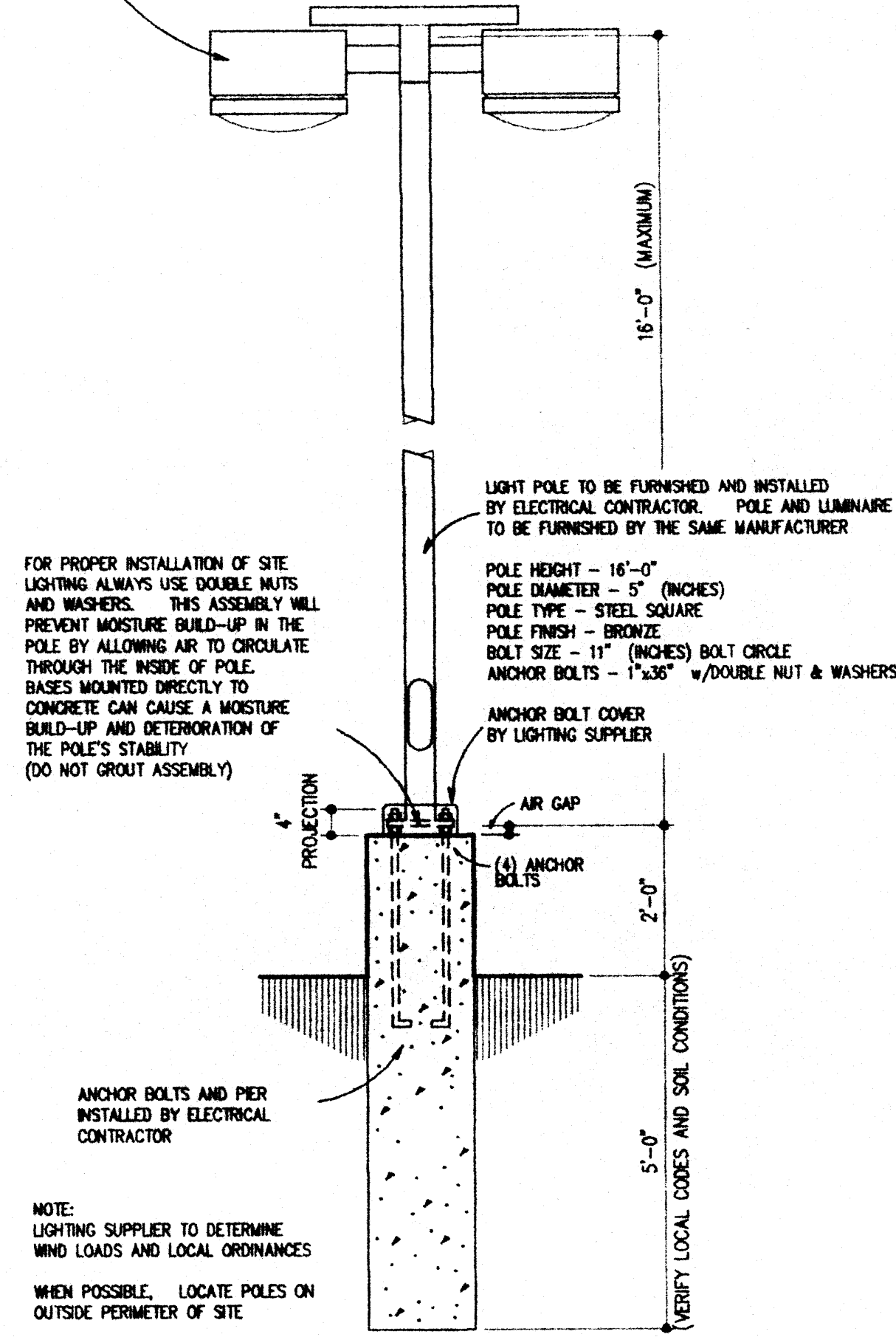
REVISION DATE	8-28-02
DATE	8-21-02
SHEET NUMBER	C-1

PROJ 1002061



**LIGHTING NOTES**

- 1. SITE LIGHTING TO BE A 1000 WATT METAL HALIDE VERTICAL BURN FIXTURE. MULTIPLE DISTRIBUTION SHAPES (TYPES 1, 2, 3, 4) WILL BE ALLOWED TO MEET FOOTCANDLE REQUIREMENTS USING SEGMENTED OPTICS.
- 2. LOT IS REQUIRED TO HAVE AN INITIAL AVERAGE OF 10 FOOTCANDLES AND THEN BE REQUIRED TO MAINTAIN A MINIMUM OF 2 FOOTCANDLES
- 3. LUMINAIRE FINISH TO BE BRONZE
- 4. BALLAST SHALL BE MULTITAP 120, 208, 240, OR 277 VOLT. 480 VOLT AVAILABLE UPON REQUEST WITH A TWO (2) YEAR WARRANTY
- 5. APPROVED DISTRIBUTORS:  
 RUEFF LIGHTING 1-800-678-1532  
 J. E. MARTIN ASSOC. 1-800-462-8235  
 DESIGNED LIGHTING CONCEPTS 1-800-248-5483



FOR PROPER INSTALLATION OF SITE LIGHTING ALWAYS USE DOUBLE NUTS AND WASHERS. THIS ASSEMBLY WILL PREVENT MOISTURE BUILD-UP IN THE POLE BY ALLOWING AIR TO CIRCULATE THROUGH THE INSIDE OF POLE. BASES MOUNTED DIRECTLY TO CONCRETE CAN CAUSE A MOISTURE BUILD-UP AND DETERIORATION OF THE POLE'S STABILITY (DO NOT GROUT ASSEMBLY)

ANCHOR BOLTS AND PIER INSTALLED BY ELECTRICAL CONTRACTOR

NOTE: LIGHTING SUPPLIER TO DETERMINE WIND LOADS AND LOCAL ORDINANCES. WHEN POSSIBLE, LOCATE POLES ON OUTSIDE PERIMETER OF SITE

VERIFY LOCAL CODES AND SOIL CONDITIONS

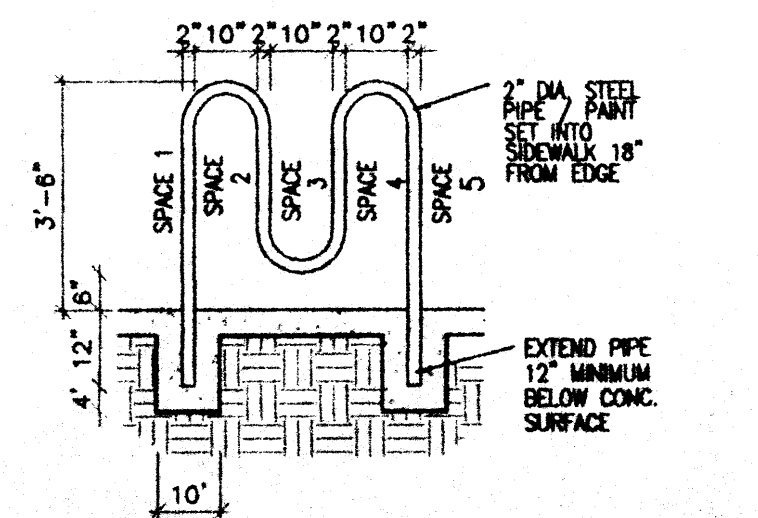
POLE HEIGHT - 16'-0"  
 POLE DIAMETER - 5" (INCHES)  
 POLE TYPE - STEEL SQUARE  
 POLE FINISH - BRONZE  
 BOLT SIZE - 1" (INCHES) BOLT CIRCLE  
 ANCHOR BOLTS - 1" x 3/8" W/DOUBLE NUT & WASHERS

ANCHOR BOLT COVER BY LIGHTING SUPPLIER

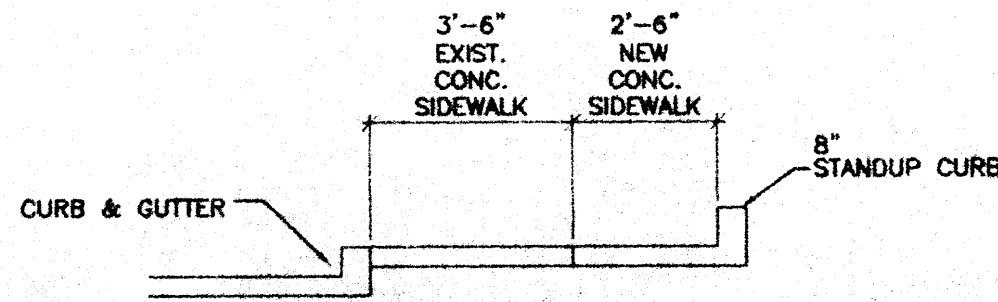
ANCHOR BOLT COVER BY LIGHTING SUPPLIER

LIGHT POLE TO BE FURNISHED AND INSTALLED BY ELECTRICAL CONTRACTOR. POLE AND LUMINAIRE TO BE FURNISHED BY THE SAME MANUFACTURER.

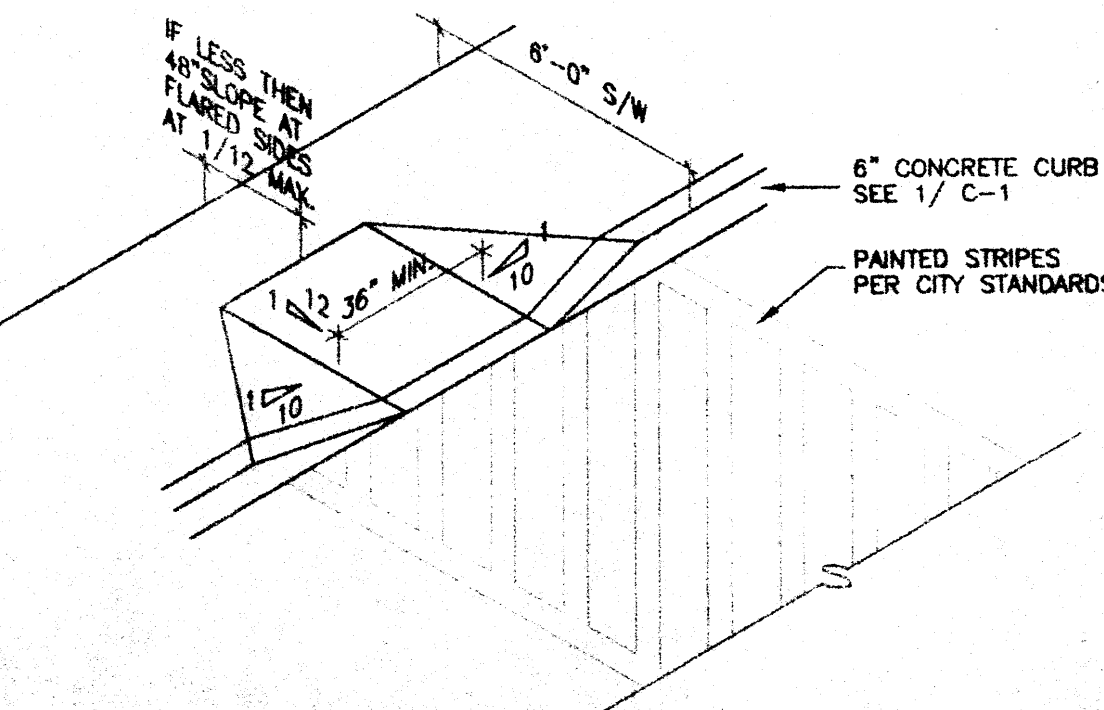
10 TYPICAL SITE LIGHT DETAIL  
C2 N.T.S.



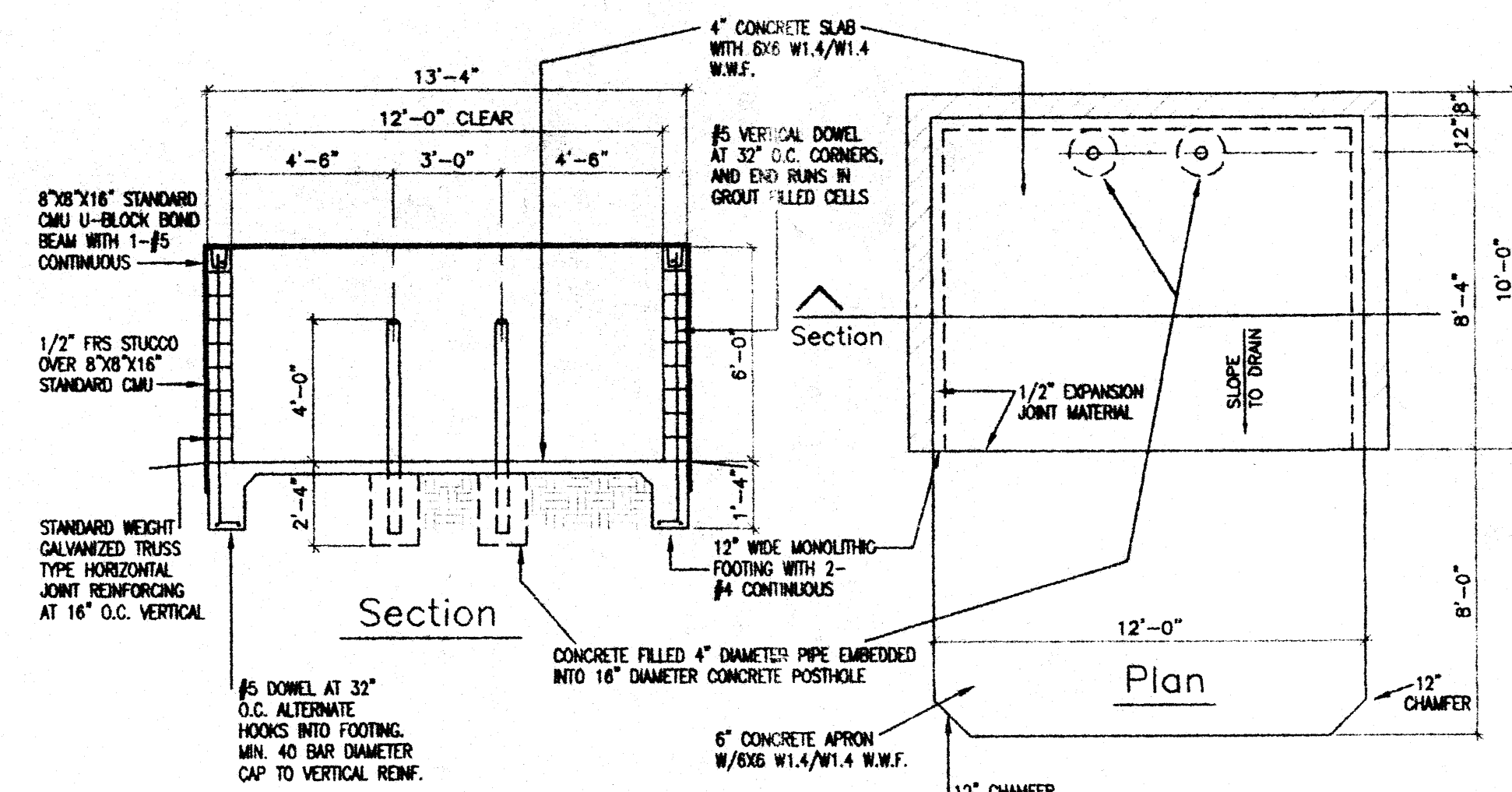
9 BIKE RACK DETAIL  
C2 N.T.S.



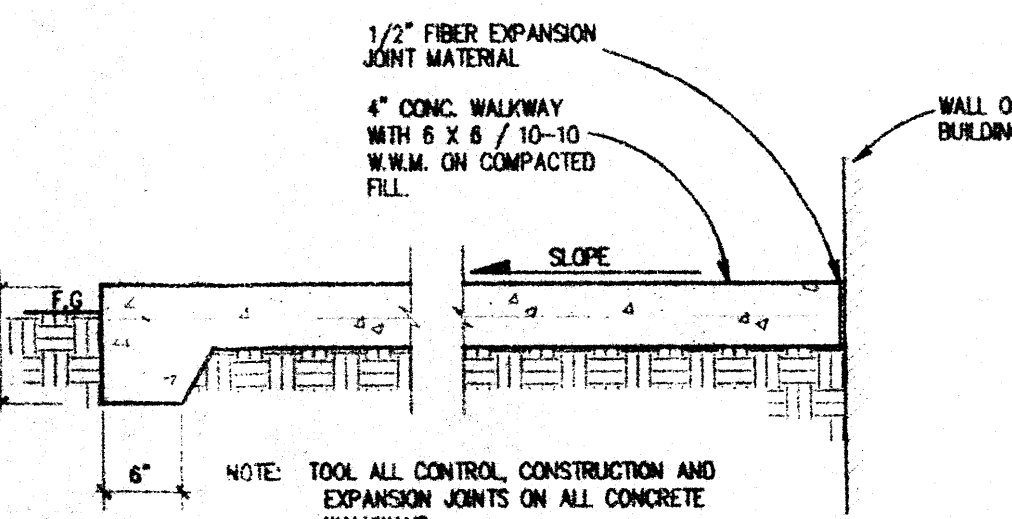
8 SIDEWALK DETAIL  
C2 N.T.S.



7 CURB RAMP  
C2 N.T.S.

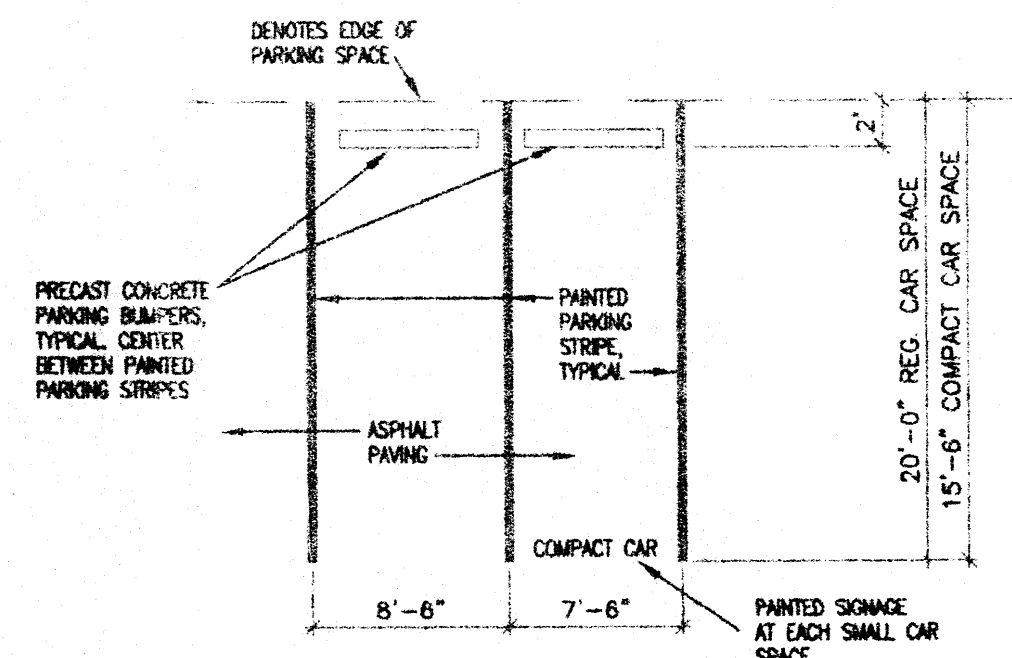


6 TYPICAL SLAB • DUMPSTER  
C2 1/4"=1'-0"

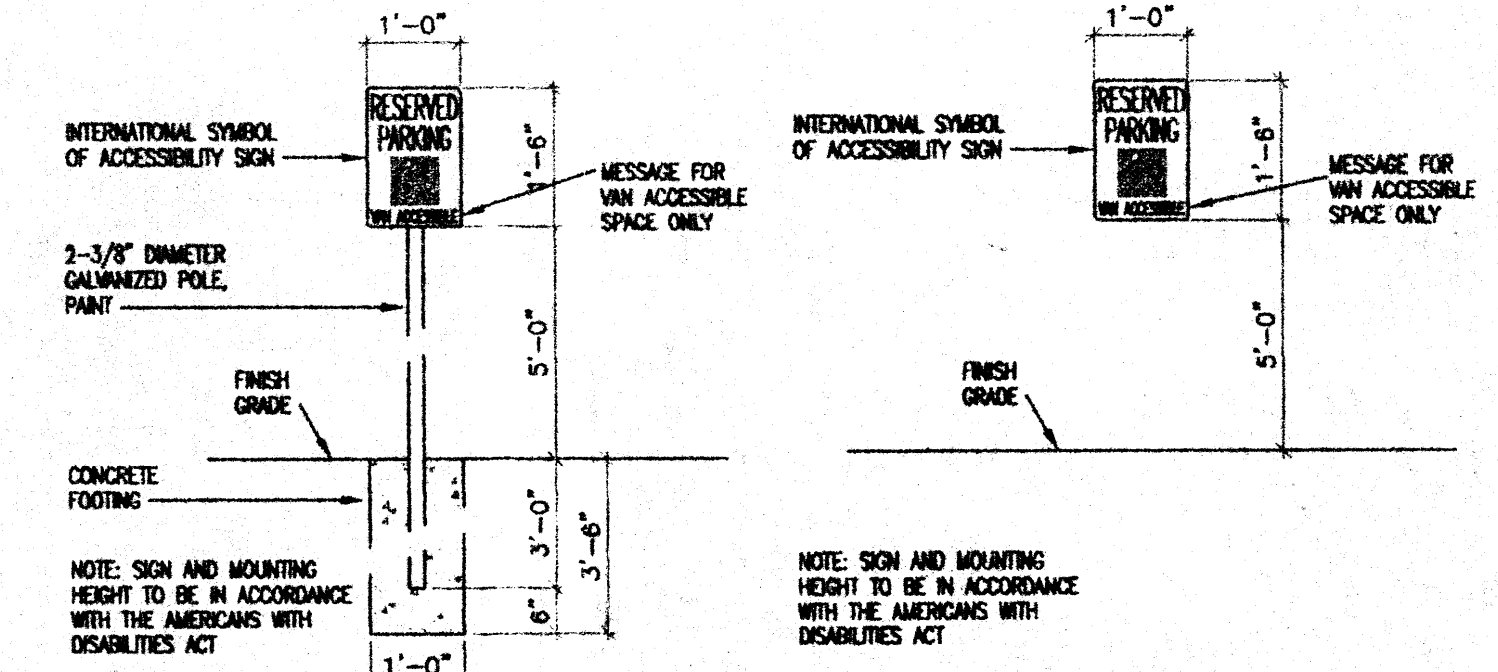
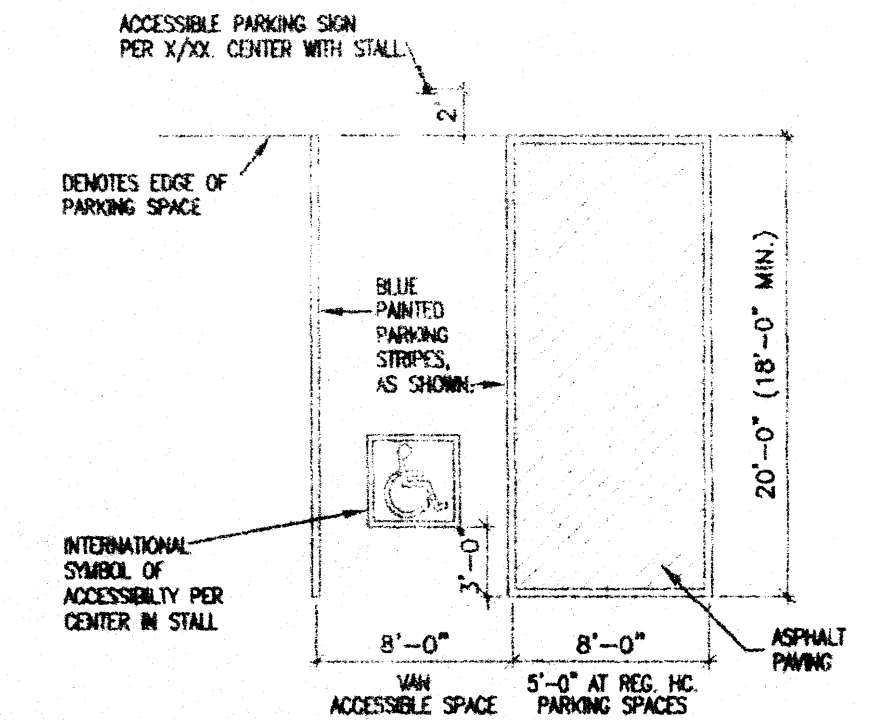


5 TYPICAL SLAB • DUMPSTER  
C2 1/4"=1'-0"

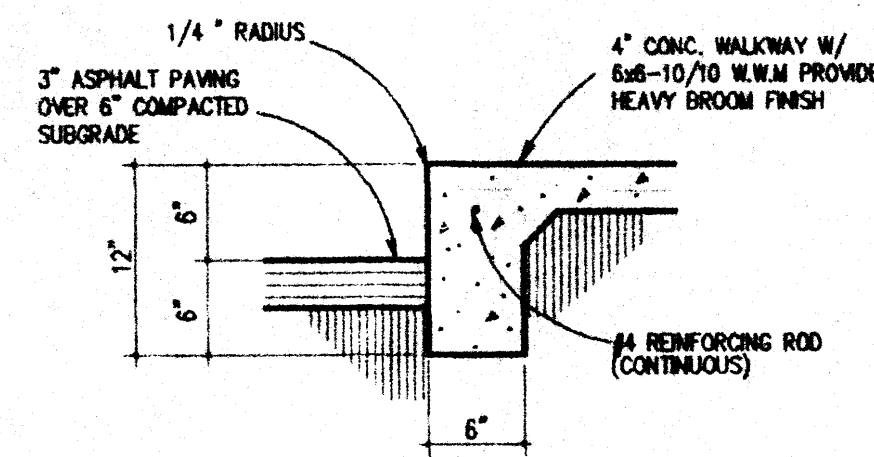
4 TYPICAL SINGLE LOADED PARKING SPACE  
C2 1/8"=1'-0"



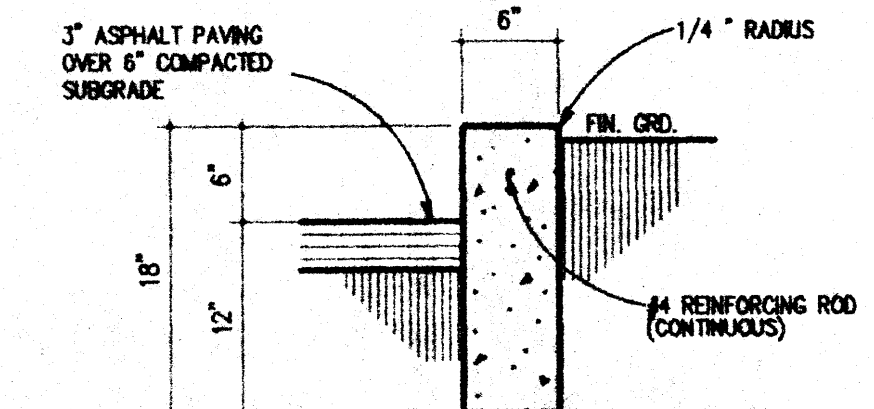
5 TYPICAL VAN ACCESSIBLE PARKING SPACE  
C2 1/8"=1'-0"



3 ACCESSIBLE PARKING SIGN  
C2 1/2"=1'-0"



2 TYPICAL CONC. CURB DETAIL  
C2 3/4"=1'-0"

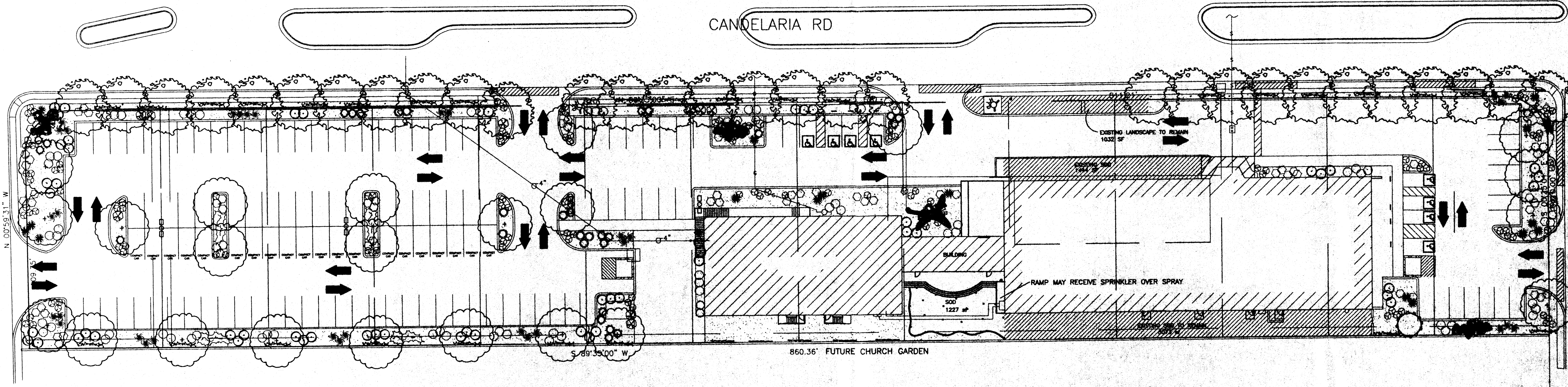


1 TYPICAL CONC. CURB DETAIL  
C2 3/4"=1'-0"

REVISION	DATE
DATE	6-26-02
SHEET NUMBER	C-2

1104 First Avenue SE - Albuquerque, New Mexico 87102  
(505) 243-0009 Fax (505) 243-0008 jckb@jckb.com





### LANDSCAPE PLAN

1"=30'

#### LANDSCAPE CALCULATIONS

NET LANDSCAPE AREA		
TOTAL LOT AREA	168,797	square feet
TOTAL BUILDINGS AREA	23,230	square feet
OFFSITE AREA	0	square feet
NET LOT AREA	145,567	square feet
LANDSCAPE REQUIREMENT	15%	
TOTAL LANDSCAPE REQUIREMENT	21,835	square feet
TOTAL LANDSCAPE		
TOTAL EXISTING LANDSCAPE	28,115	square feet
TOTAL NEW LANDSCAPE PROVIDED	5,549	square feet
TOTAL NEW LANDSCAPE PROVIDED	22,606	square feet
TOTAL NEW BED PROVIDED	21,379	square feet
TOTAL NEW SOD PROVIDED	1,227	square feet
TOTAL NATIVE SEED PROVIDED	0	square feet

#### STREET TREE REQUIREMENTS

Street trees required under the City Of Albuquerque Street Tree Ordinance are as follows:

Candelaria Rd	
Required 29	Provided 29

#### PARKING LOT TREE REQUIREMENTS

Parking lot trees required under the City Of Albuquerque Parking lot Tree Ordinance are as follows:

Required 13	Provided 17
-------------	-------------

FINAL LANDSCAPING LAYOUT AND DESIGN TO BE DETERMINED UPON RECEIPT OF FINAL GRADING AND SITE PLAN.

#### LANDSCAPE NOTES:

Landscape maintenance shall be the responsibility of the Property Owner.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.

Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.

All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Plant beds shall achieve 75% live ground cover at maturity.

Grey Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

#### IRRIGATION NOTES:

Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.

Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.

Point of connection for irrigation system is unknown at current time and will be coordinated in the field.

Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

#### PLANT LEGEND

- ASH (H) OR HONEY LOCUST (H) 30  
*Fraxinus oxycarpa*  
*Gleditsia triacanthos*  
2" Cal.
- BRADFORD PEAR 23  
*Pyrus calleryana*  
2" Cal.
- DESERT WILLOW (L) 1  
*Chilopsis linearis*  
15 Gal.
- PALM YUCCA (L) 8
- INDIAN HAWTHORN (M) 9  
*Raphiolepis indica*  
5 Gal.
- RUSSIAN SAGE (M) 54  
*Perovskia atriplicifolia*  
5 Gal.
- APACHE PLUME (L) 58  
*Fallugia paradoxa*  
5 Gal.
- LENAS BROOM (L) 21  
*Genista hispanica*  
5 Gal.
- CREEPING ROSEMARY (M) 9  
*Rosmarinus officinalis*  
2 Gal.
- RED YUCCA (L) 18  
*Hesperaloe parviflora*  
5 Gal.
- NANDINA (M) 2  
*Nandina domestica*  
5 Gal.
- MAIDEN GRASS (M) 33  
*Miscanthus sinensis*  
5 Gal.
- AUTUMN SAGE (M) 78  
*Salvia greggii*  
2 Gal.
- WILDFLOWER 127  
Indian Blanketflower,  
blue pincusion,  
and wallflower,  
1 Gal.
- TAM JUNIPER (M) 12  
*Juniperus sabina*  
5 Gal.
- HONEYSUCKLE (M) 28  
*Lonicera chinensis*  
1 Gal.
- IVY (M) 5  
SSP.  
5 Gal.
- 3/4" GRAY GRAVEL WITH FILTER FABRIC
- POP-UP SPRINKLER HEADS
- SOD
- STEEL EDGING

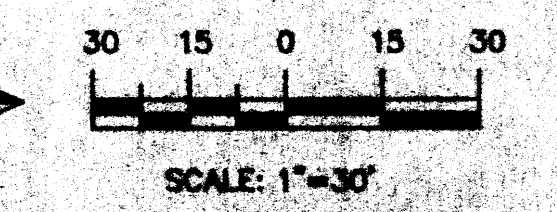
**The Hilltop**

LANDSCAPE ARCHITECTS & CONTRACTORS  
Cont. Lic. #26458  
7909 Edith N.E.  
Albuquerque, NM 87184  
Ph. (505) 898-9690  
Fax (505) 898-7737  
it@hilltoplandscaping.com

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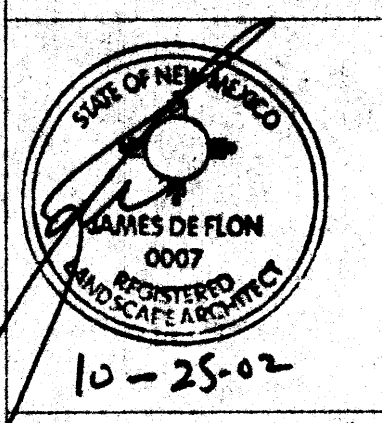


#### GRAPHIC SCALE



ASBURY UNITED METHODIST CHURCH  
 ALBUQUERQUE, NEW MEXICO  
 PROJECT #

REVISION DATE  
10-25-02  
DLB

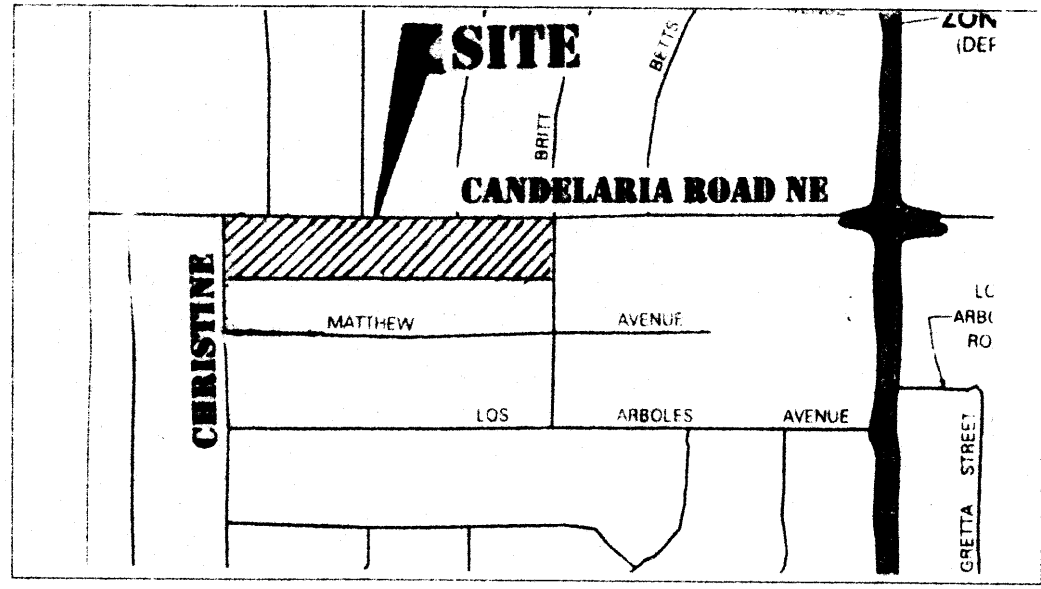


11th Flk Avenue SW - Albuquerque, New Mexico 87102  
(505) 262-1899 Fax (505) 262-4658  
jdeflon@hilltop.com

DATE  
6-20-02

SHEET NUMBER  
L-1



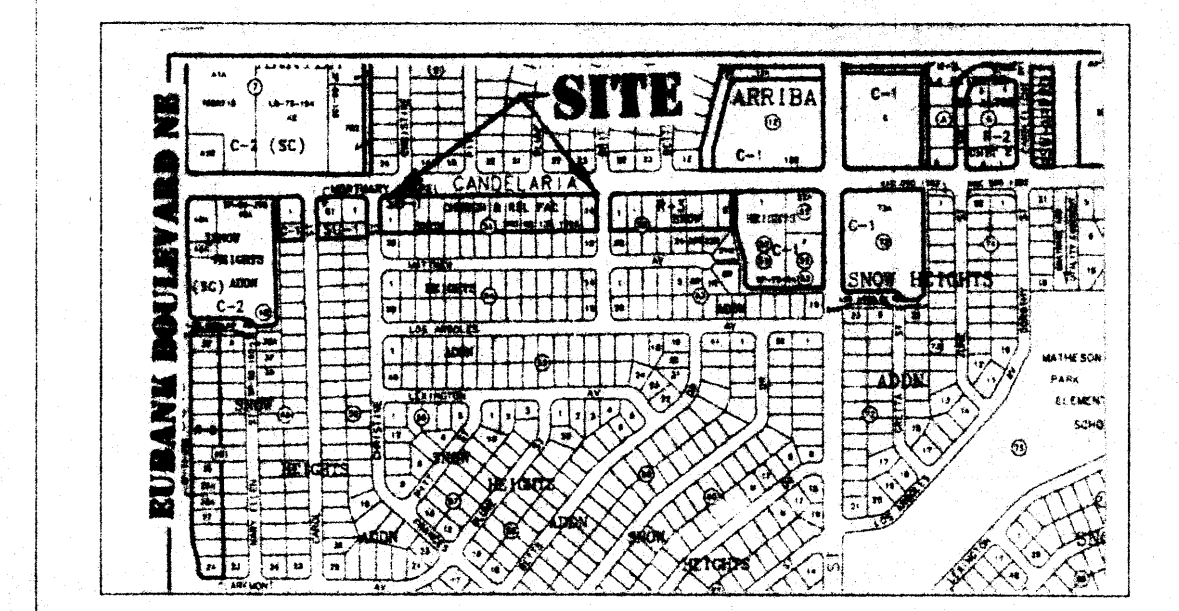
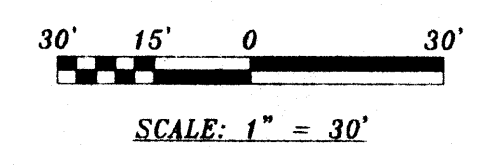


FLOOD INSURANCE RATE MAP MAP NO. 35001C0357 D

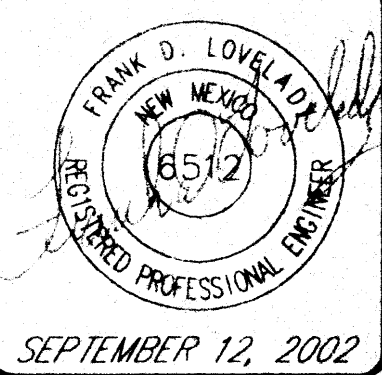
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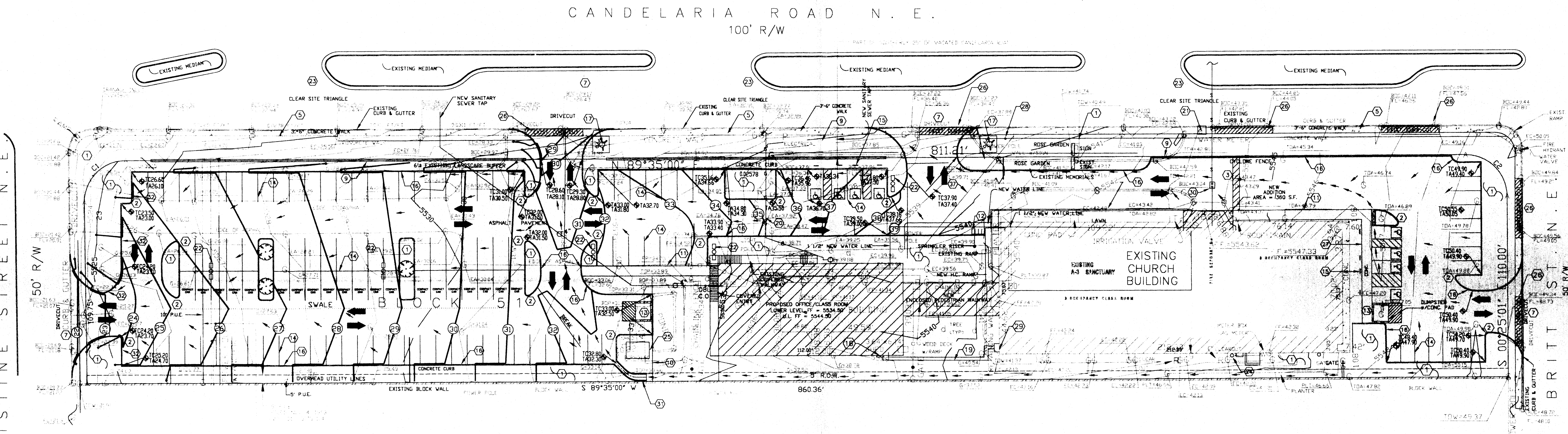
**CP**  
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VICINITY MAP ZONE ATLAS NO. H-21-Z



CONCEPTUAL GRADING AND DRAINAGE PLAN  
 ASBURY UNITED METHODIST CHURCH  
 1000 CANDELARIA ROAD NE  
 ALBUQUERQUE, NEW MEXICO



CHRISTINE STREET N.E.

BRITT ST N.E.

**GENERAL NOTES:**

- CONTOUR INTERVAL IS ONE (1) FOOT.
- ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE STATION No. "4-C21", HAVING AN ELEVATION OF 5557.464.
- UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
- THIS IS NOT A BOUNDARY SURVEY. BEARINGS AND DISTANCES SHOWN HEREON ARE FOR REFERENCE ONLY.

**KEYED NOTES**

- NEW LANDSCAPE AREAS
- 2' RADIUS TYP.
- NEW STRIPED PEDESTRIAN WALK WAY
- NOT USED
- WIDEN EXIST. CITY WALK BY POURING 2"-6" OF ADDITIONAL WIDTH
- (Ø) TOTAL HANDICAP SPACES W/ VAN ACCESSIBLE
- NEW 24" CURB CUTS AND CONC. DRIVE PAD PER CITY STANDARDS WITH H.C. ACCESSIBLE CURB RAMPS
- NOT USED
- 30" CHAIN LINK FENCE W/ SLATS
- 6" HIGH CHAIN LINK FENCE REBUILD AS REQUIRED
- 6" CONC. SIDEWALK
- 5-SPACE BIKE RACK
- STANDARD 12" TRASH ENCLOSURE TO SOLID & TRAFFIC STDS.
- PAINTED PARKING STRIPES PER CITY STANDARDS
- H.C. SIGNAGE (A) FLOOR MOUNTED, (A) WALL MOUNTED
- 6" RAISED CONC. CURB, SEE DET.
- NEW FIRE HYDRANT W/10"x10" CONC. PAD
- NEW 3 PHASE ELECTRICAL LOCATION
- NEW UNDER GROUND ELECTRICAL
- LOCATE AND REUSE EXISTING GAS LINE AND METER
- EXISTING WATER METER LOCATION
- (Ø) NEW SITE LIGHTS, SEE GENERAL NOTES ON LIGHTS
- 300 FT. CLEAR SITE TRIANGLE, NO DESTRUCTIONS FROM 3' TO 8' ABOVE FLOW LINE.
- EXIST. SINGLE PHASE ELECT. AND CDS SERVICE
- 10x14 BOYS/GIRL STORAGE BUILDING
- EXISTING CURB CUT TO BE REMOVED.
- CONC. SIDEWALK FLUSH WITH ASPHALT PAVING
- REMOVE EXISTING LIGHT POLE
- DISCONNECT FOR 3-PHASE HVAC EQUIPMENT ON ROOF ON EXIST. BLDG.
- NEW CLEANOUT AT EXISTING SEWER LINE
- FLARE CHANNEL FROM 4" WIDE TO 2" WIDE AROUND RADIUS.
- STANDARD CURB AND GUTTER WHERE FLOW IS AGAINST CURB.
- MATCH EXISTING GRADES AS MUCH AS POSSIBLE WHERE PAVEMENT EXISTS.
- ROOF SLOPE OF EXISTING AND NEW BUILDING IS SOUTH. USE DRIP EDGE.
- REMOVE EXISTING POND.
- FLARE INLET TO CHANNEL, MIN. 5' WIDE
- EXISTING OVERHEAD ELECTRIC LINES.

**LEGEND**

BOC = BACK OF CURB  
 BOP = BOTTOM OF POND  
 EA = EDGE OF ASPHALT  
 EC = EDGE OF CONCRETE  
 FF = FINISH FLOOR  
 FL = FLOW LINE  
 FP = FENCE POST  
 G = GROUND  
 P = POND  
 PLT = PLANTER  
 TDA = TOP OF ASPHALT  
 TDP = TOP OF POND  
 TDW = TOP OF WALL

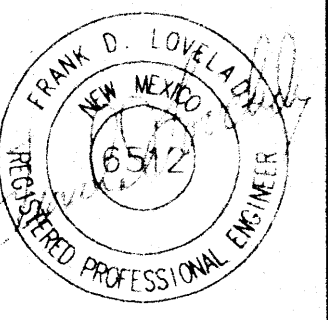
— — — — — PROPERTY LINES  
 - - - - - INDICATES 1' CONTOURS  
 - - - - - INDICATES 5' CONTOURS  
 - - - - - NEW CONTOUR  
 \* \* \* \* \* EXISTING SPOT ELEVATION  
 \* \* \* \* \* NEW SPOT ELEVATION  
 - - - - - SHEET FLOW DIRECTION.

C:\ALP\PROJ\0223\ASBURY-1.DWG (SEPTEMBER 12, 2002)

JOB NO: 623  
 DATE: SEPTEMBER 12, 2002  
 REVISIONS

SHEET NO.  
 1 OF 2





SEPTEMBER 12, 2002

CONCEPTUAL GRADING AND DRAINAGE CALCULATIONS  
 ASBURY UNITED METHODIST CHURCH  
 10000 CANDELARIA ROAD NE  
 ALBUQUERQUE, NEW MEXICO

FRANK D. LOVELADY, P.E.  
  
 (505) 345-2267 • Fax (505) 345-2115 • 300 ALAMOSA RD. NW • ALBUQUERQUE, NM • 87107

JOB NO: 623

DATE: SEPTEMBER 12, 2002

REVISIONS

SHEET NO.

2 OF 2

EXISTING CONDITIONS:

The site is located on the South side of Candelaria Drive NE, approximately 444 feet east of Eubank Boulevard, NE. The site is bounded on the West by Christine Street, on the North by Candelaria Road NW, on the East by Britt Street NE and on the South by Lots 15 through 28, Block 51. Snow Heights Addition, which are residential lots. The three adjacent streets are paved with asphalt and standard curb and gutter. The existing buildings and pavement drain either to the adjacent streets or to a small pond. There is no off-site flow associated with this site. An existing drainage plan exists under the file H-21/D-1, 1978.

PROPOSED CONDITIONS:

It is proposed to construct a 6,272 sf office and classroom addition on the site as well as added parking as shown on the plan. As much as possible, runoff will be directed into Candelaria Road. The westerly end of the site will be discharged into Christine Street.

DRAINAGE CRITERIA:

The calculations shown on this plan were prepared in accordance with Section 22.2, Hydrology, of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority, January, 1993.

PRECIPITATION ZONE:

The site is East of the Eubank Boulevard and is, therefore, in Precipitation Zone 4.

EXISTING PEAK DISCHARGE AND VOLUME CALCULATIONS:

EXISTING LAND TREATMENT "A":

The entire site has, at some time, been graded. Therefore, by definition, there is no part of the site which could be considered Land Treatment "A".

EXISTING LAND TREATMENT "B":

The site has some existing landscaping. The topographic survey did not pick up landscaping in sufficient detail to calculate areas. An estimate is 25% of the required landscaping for the developed condition:  $13,877 \times 0.25 = 3,469$  sf. Use 3,470 sf.

EXISTING LAND TREATMENT "C":

Existing Land Treatment "C" is total area less areas of Treatments "B" and "D".  
 Treatment "C" =  $115,968$  sf -  $(3,470$  sf +  $50,665$  sf) =  $61,833$  sf

EXISTING LAND TREATMENT "D":

EXISTING PAVEMENT	29,960 SF
EXISTING CHURCH BLDG.	16,730 SF
EXISTING EDUCATION BLDG.	2,523 SF
SMALL SHED	22 SF
LARGE SHED	145 SF
WEST CONCRETE WALK	823 SF
STOOP	14 SF
FRONT CONC. WALK	90 SF
EAST CONC. WALK	358 SF
TOTAL EXISTING LAND TREAT. "D"	50,665 SF

SUMMARY OF EXISTING LAND TREATMENT AREAS, EXCESS PRECIPITATION AND UNIT PEAK DISCHARGE:

The peak discharge per acre and excess precipitation are shown for the four land treatments in Zone 4 in the table below, and the values shown are from the City of Albuquerque D.P.M. Also shown are the existing and proposed land treatment areas.

LAND TREATMENT	q (cfs/acre)		E (in)		Existing Site Areas	
	100-yr	10-yr	100-yr	10-yr	%	Sq. Ft. Acres
A	2.20	0.87	0.80	0.28	100.0	0 0.0000
B	2.92	1.45	1.08	0.46	3.0	3,470 0.0796
C	3.73	2.26	1.46	0.73	53.3	61,833 1.4195
D	5.25	3.57	2.64	1.69	43.7	50,665 1.1631
Totals					100.0	115,968 2.6622

EXISTING PEAK DISCHARGE:

WEIGHTED UNIT PEAK DISCHARGE:

$Q_{w-100} = 0.03 \times 2.92 + 0.537 \times 3.73 + 0.437 \times 5.25 = 4.38$  cfs/acre

$Q_{w-10} = 0.03 \times 1.45 + 0.537 \times 2.26 + 0.437 \times 3.57 = 2.82$  cfs/acre

$Q_{100} = 2.6622 \times 4.38 = 11.66$  cfs

$Q_{10} = 2.6622 \times 2.82 = 7.51$  cfs

EXISTING VOLUME, 100-YEAR AND 10-YEAR, 6-HR.

WEIGHTED EXCESS PRECIPITATION:

$E_{w-100} = 0.03 \times 1.08 + 0.537 \times 1.46 + 0.437 \times 2.64 = 1.97$  cfs/acre

$E_{w-10} = 0.03 \times 0.46 + 0.537 \times 0.73 + 0.437 \times 1.69 = 1.14$  cfs/acre

$V_{100} = (115,968 \times 1.98) / 12 = 19,038$  cf

$V_{10} = (115,968 \times 1.14) / 12 = 11,017$  cf

DEVELOPED PEAK DISCHARGE & VOLUME CALCULATIONS:

EXISTING LAND TREATMENT "A":

The entire site has, at some time, been graded. Therefore, by definition, there is no part of the site which could be considered Land Treatment "A".

DEVELOPED LAND TREATMENT "B":

Existing Land Treatment "B" is 13,877 sf (See Site Plan, Sheet C-1)

DEVELOPED LAND TREATMENT "C":

Existing Land Treatment "C" is total area less areas of Treatments "B" and "D".  
 Treatment "C" =  $115,968$  sf -  $(13,877$  sf +  $86,987$  sf) =  $15,104$  sf

EXISTING LAND TREATMENT "D":

ASPHALT PAVEMENT	61,977 SF
EXISTING CHURCH BLDG.	16,730 SF
WEST CONCRETE WALK	491 SF
EAST CONC. WALK	358 SF
NEW BUILDING	6,272 SF
ENCLOSED WALKWAY	1,159 SF
TOTAL EXISTING LAND TREAT. "D"	86,987 SF

SUMMARY OF DEVELOPED LAND TREATMENT AREAS, EXCESS PRECIPITATION AND UNIT PEAK DISCHARGE:

The peak discharge per acre and excess precipitation are shown for the four land treatments in Zone 4 in the table below, and the values shown are from the City of Albuquerque D.P.M. Also shown are the existing and proposed land treatment areas.

LAND TREATMENT	q (cfs/acre)		E (in)		Developed Site Areas	
	100-yr	10-yr	100-yr	10-yr	%	Sq. Ft. Acres
A	2.20	0.87	0.80	0.28	0.0	0 0.0000
B	2.92	1.45	1.08	0.46	12.0	13,877 0.3186
C	3.73	2.26	1.46	0.73	13.0	15,104 0.3467
D	5.25	3.57	2.64	1.69	75.0	86,987 1.9969
Totals					100.0	115,968 2.6622

DEVELOPED PEAK DISCHARGE:

WEIGHTED UNIT PEAK DISCHARGE:

$Q_{w-100} = 0.12 \times 2.92 + 0.13 \times 3.73 + 0.75 \times 5.25 = 4.77$  cfs/acre

$Q_{w-10} = 0.12 \times 1.45 + 0.13 \times 2.26 + 0.75 \times 3.57 = 3.15$  cfs/acre

$Q_{100} = 2.6622 \times 4.77 = 12.70$  cfs

$Q_{10} = 2.6622 \times 3.15 = 8.39$  cfs

EXISTING VOLUME, 100-YEAR AND 10-YEAR, 6-HR.

WEIGHTED EXCESS PRECIPITATION:

$E_{w-100} = 0.12 \times 1.08 + 0.13 \times 1.46 + 0.75 \times 2.64 = 2.30$  cfs/acre

$E_{w-10} = 0.12 \times 0.46 + 0.13 \times 0.73 + 0.75 \times 1.69 = 1.42$  cfs/acre

$V_{100} = (115,968 \times 2.30) / 12 = 22,227$  cf

$V_{10} = (115,968 \times 1.42) / 12 = 13,723$  cf

SUMMARY OF VOLUMES AND PEAK DISCHARGE RATES:

	V100	V10	Q100	Q10
DEVELOPED	22,227	13,723	12.70	8.39
EXISTING	19,038	11,017	11.66	7.51
INCREASE	3,189	2,706	1.04	0.88



# ASBURY UMC-ADDITION CODE DATA

**NEW**  
 ADDRESS-10,000 Candelaria  
 ZONING-3-41 Map H-21-2  
 III APPLICABLE CODES  
 ITC 2001  
 ITC 2001 Child Care Licensing Regs  
 Current ADA  
 IV AREAS  
 E-3 Day Care 3070 SF  
 A-3 Assembly 3136 SF  
 B-Classrooms 5096 SF  
 F-1 Kitchen 576 SF  
 Total 12,408  
 V OCCUPANCY GROUPS Table 5B  
 (w/ 30% yard 100% increase of allowed)  
 E-3 TYPE I w/sprinkler in lieu - 18200  
 A-3 " " " " 16000  
 B " " " " 16000  
 F-1 " " " " 16000  
 VI EXTERIOR WALLS & OPENING (TABLE 5A)  
 E-3 1hr 1hr NR  
 A-3 1hr 1hr NR  
 B 1hr 1hr NR  
 F-1 1hr 1hr NR  
 VII MIXED OCCUPANCY RATIOS w/ 100% inc  
 $\frac{3070}{18200} + \frac{3136}{16000} + \frac{5096}{16000} + \frac{576}{16000} = .8221$  complies

**EXISTING REMODELED**  
 ADDRESS - same  
 ZONING - same  
 III APPLICABLE CODES  
 same  
 IV AREAS (w/ 30% yard 100% increase)\*  
 \*B-Office & Classrooms (ungraded) 7584  
 \*A-3 & B Mixed 10,784  
 \*separated by 1hr wall Total 18,368  
 V OCCUPANCY GROUPS TABLE 5B w/ 100% inc  
 \*B-Office & Class Type VI 18,200  
 \*A-3-Sanctuary & Meeting 16,000  
 VI EXTERIOR WALLS & OPENING (Table 5A)  
 B 1hr 1hr NR  
 A-3 1hr 1hr NR  
 VII MIXED OCCUPANCY RATIOS w/ 100% inc  
 Sanctuary & Meeting  $\frac{18200}{16000} + \frac{16000}{16000} = .7141$  complies

**EXITS-TABLE 10-A**  
 Exits req'd if → occup load factor

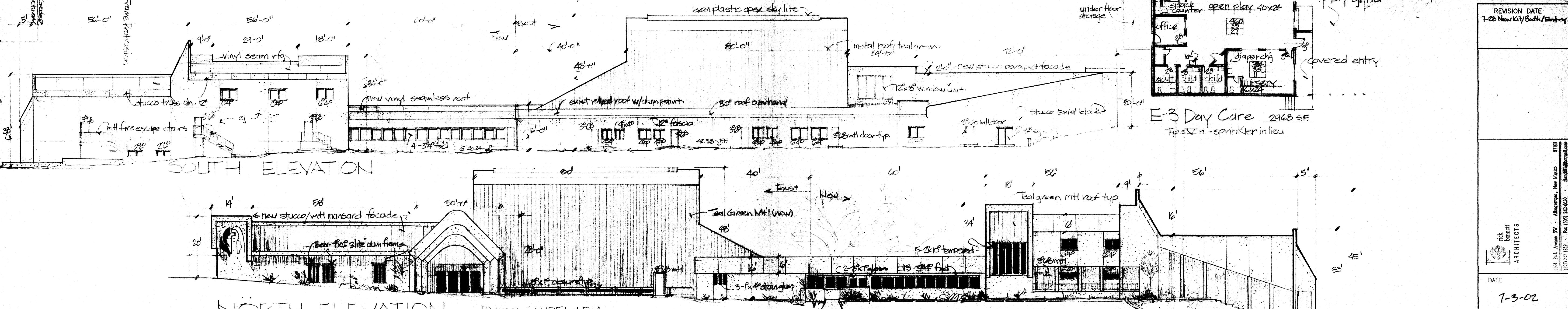
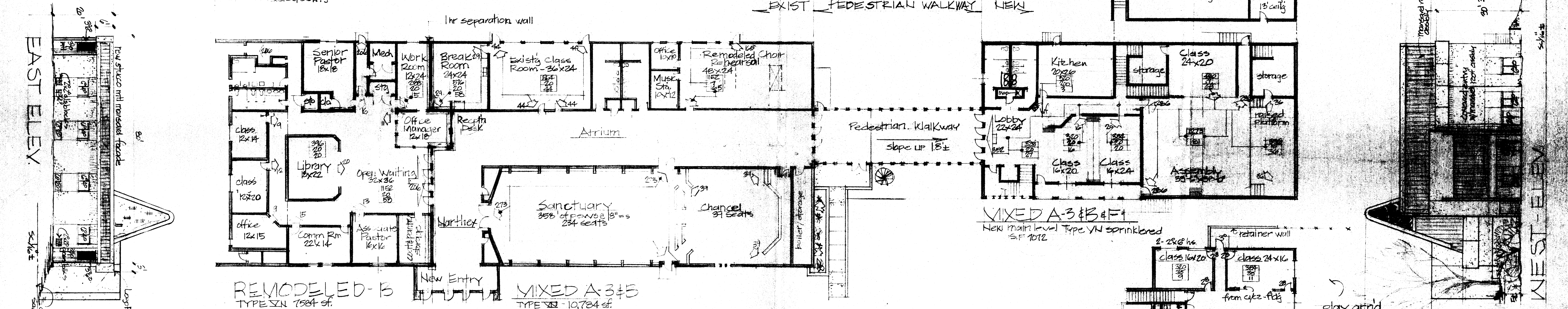
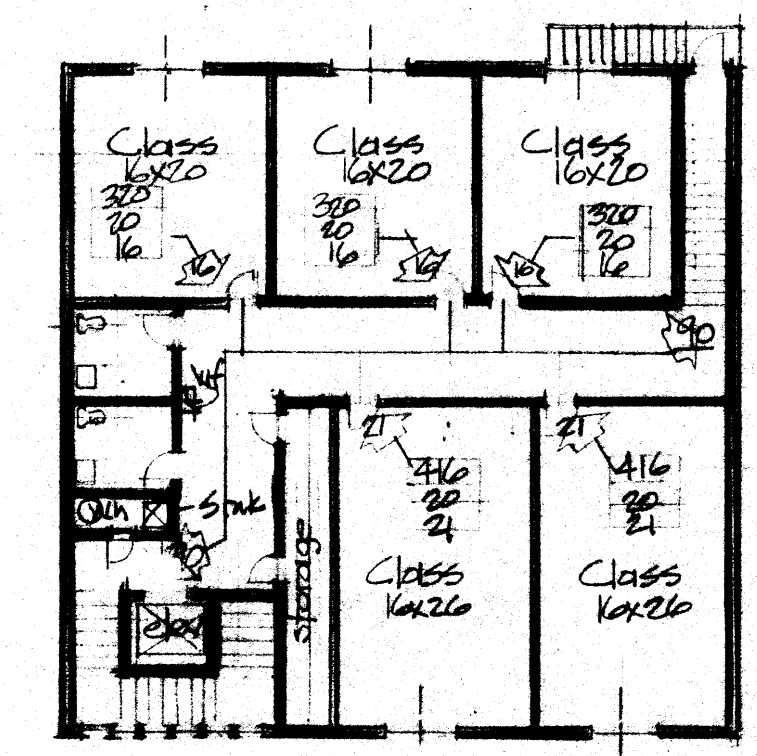
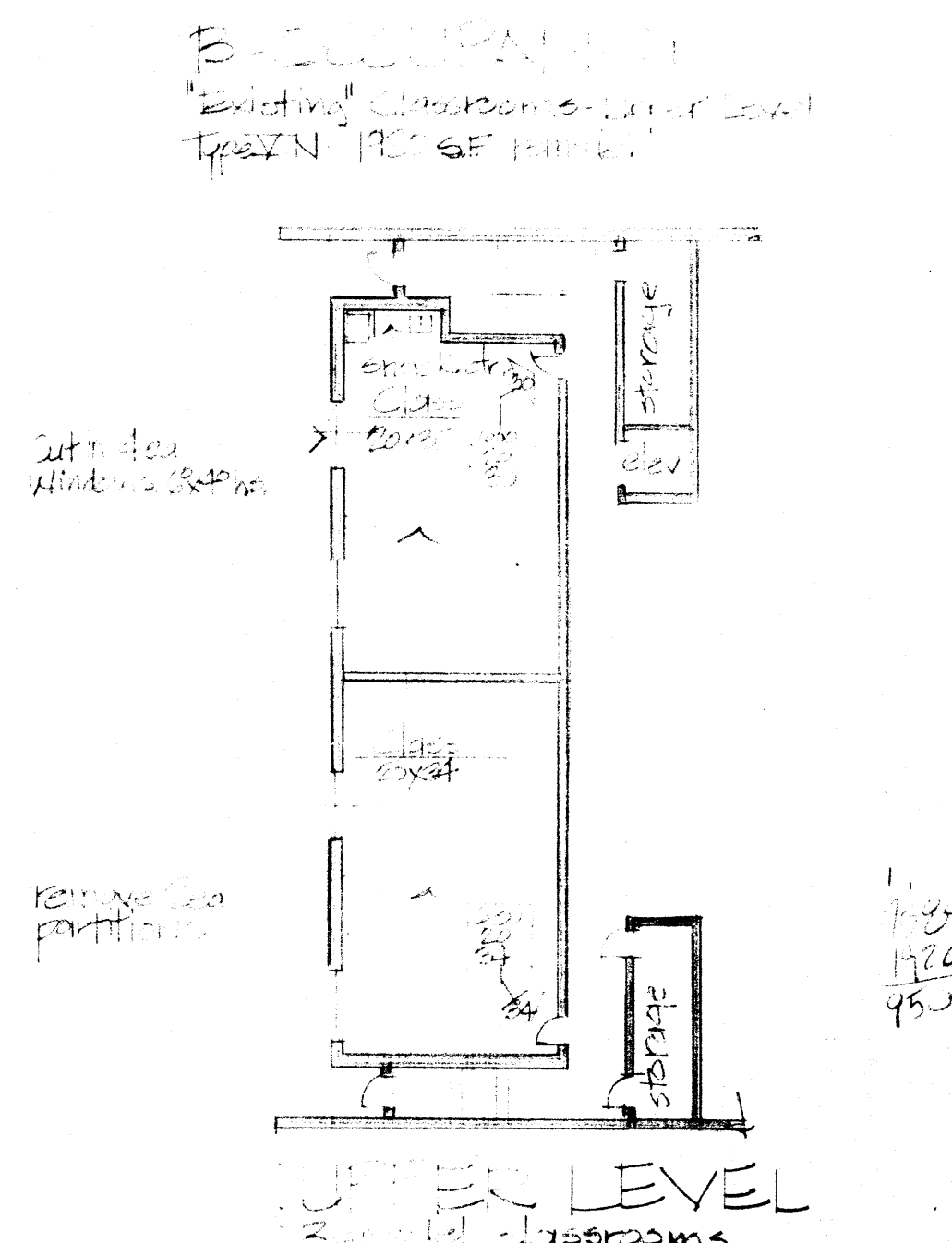
E3	1	35
A-3	50	7
B	50	20
F-1	30	200

**LEGEND**  
 ● Area of space  
 ● occupant load factor  
 ● occupant load  
 ● Exit w load factor posted

**REQUIRED PBLG FIXTURES**  
 TABLE A-27-A (Child Care Regs)

occupy	area	load factor	men	women	adult	child	Total
A-3	2244	30	2	2			4
B	2368	200	1	1			2
E-3	31	50			1	4	5
F-1	576	2000	1	1			2
							13 req'd - 13 prov'd
A-3	4452	30	4	4			8
B	6244	200	2	2			4
							12 req'd - 12 prov'd

\* 13 lavs req'd by code - 11 prov'd



REVISION DATE	7-28 New City/Both/Entry
DATE	7-3-02
SHEET NUMBER	A-1