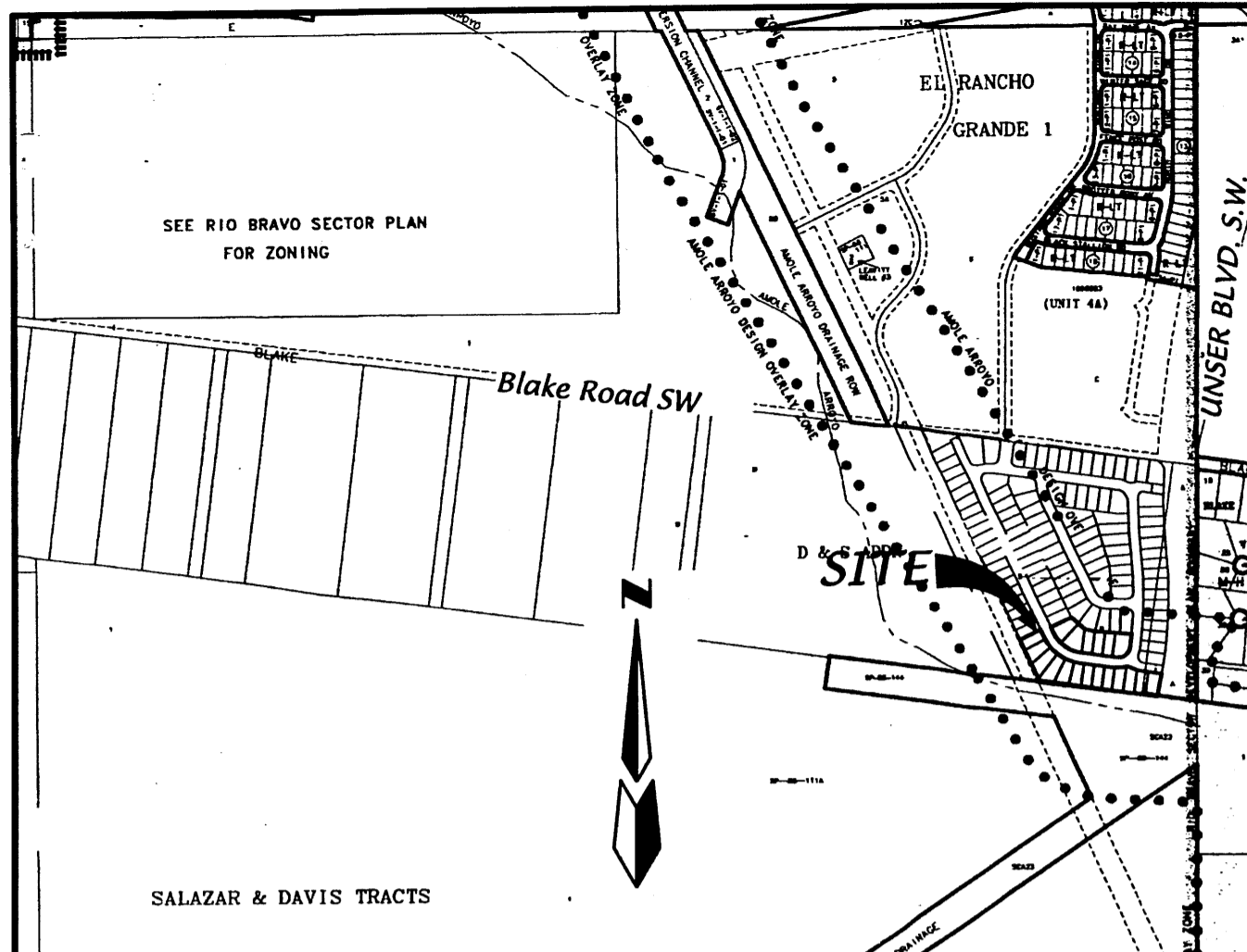


AGIS



LOCATION MAP ZONE ATLAS N-9-Z SCALE: NONE

SUBDIVISION DATA

Plat Case No's.	Project No. 1002077
Gross acreage	Case # 2.4217 AC
Zone Atlas No.	N-9-Z
No. of existing Tracts/Lots	2 TRACTS
No. of Tracts/Lots created	19 LOTS
No. of Tracts/Lots eliminated	2 TRACTS
Miles of full width streets created	0.00
Area dedicated to the City of Albuquerque	0.00 AC
Date of Survey	March, 2002
Utility Control Location System Log Number	2002142545

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

OWNER: Curb, Inc.
BY: Charles Haegelin, President

Charles A Haegelin 4-18-03
Charles Haegelin, President Date

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on APRIL 18th, 2003
By Charles Haegelin, President of Curb, Inc. A New Mexico Corporation on behalf of said corporation

[Signature]
NOTARY PUBLIC
9-17-2003
MY COMMISSION EXPIRES

LEGAL DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Section 4, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACTS B AND C, EL RANCHO GRANDE I, UNIT 9-A as the same is shown and designated on said bulk land plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on April 10, 2003 in Bk. 2003C Pg. 97 and containing 2.4217 acres, more or less.

NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances are field and record.
- Basis of boundary are the following plats (and documents) of record entitled:
 PLAT FOR "EL RANCHO GRANDE I, UNIT 9-A SUBDIVISION" (04-10-03, 2003C-97)
 BULK LAND PLAT FOR TRACTS 9-A AND 9-B (05-21-02, 2002C-184)
 PLAT OF "D AND S ADDITION", (08-01-74, C10-22)
 PLAT OF "SALAZAR - DAVIS TRACTS", (05-06-86, C30-91)
 CORRECTION PLAT NO. 2, BULK LAND PLAT "EL RANCHO GRANDE I" (01-16-01, 01C-20)
 PLAT OF "EL RANCHO GRANDE I, UNIT 4A SUBDIVISION" (09-28-01, 01C-271)
 PLAT OF "AMOLE-HUBBELL-BORREGA DRAINAGE RIGHTS-OF-WAY", (05-26-89, C39-59)
- Field Survey performed March, 2002.
- Unless otherwise noted all point are SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP).

PURPOSE OF PLAT

- Subdivide Tracts B AND C, EL RANCHO GRANDE I, UNIT 9-A Subdivison into 19 Residential Lots.



THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # 1009 054 851 461 10344 PROPERTY OWNER OF RECORD: Noo James Lee y BERNALILLO COUNTY TREASURER'S OFFICE: Denny Vijil 30 May 03

OFFICIAL SEAL
RICHARD J. SQUIRES
NOTARY PUBLIC-STATE OF NEW MEXICO
My commission expires: 9-17-2003

PLAT FOR
LOTS 1 THRU 13, BLOCK 3
LOTS 18 THRU 23, BLOCK 4
EL RANCHO GRANDE I, UNIT 9-A
SUBDIVISION
BEING A REPLAT OF TRACTS B AND C
EL RANCHO GRANDE I, UNIT 9-A
WITHIN THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
APRIL, 2003

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1002077

Application Number: 03DRB-0072

PLAT APPROVAL

Utility Approvals:

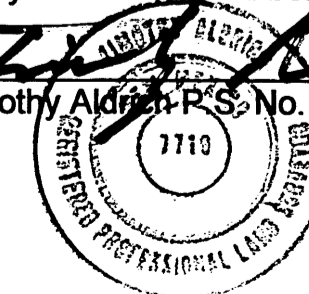
<u>N/A</u> PNM Electric Services	_____	Date
<u>N/A</u> PNM Gas Services	_____	Date
<u>N/A</u> Qwest Telecommunications	_____	Date
<u>N/A</u> Comcast	_____	Date

City Approvals:

<u>[Signature]</u> City Surveyor	_____	<u>5-14-03</u> Date
<u>[Signature]</u> Traffic Engineering, Transportation Division	_____	<u>5-28-03</u> Date
<u>[Signature]</u> Utilities Development	_____	<u>5/28/03</u> Date
<u>[Signature]</u> Parks and Recreation Department	_____	<u>5/28/03</u> Date
<u>[Signature]</u> AIR/FCA	_____	<u>5-27-03</u> Date
<u>[Signature]</u> City Engineer	_____	<u>5/28/03</u> Date
<u>[Signature]</u> DRB Chairperson, Planning Department	_____	<u>5/28/03</u> Date

"I, Timothy Alrich, a duly qualified registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

[Signature] 05-12-03
Timothy Alrich, P.S. No. 7719 Date



ALDRICH LAND SURVEYING
P.O. BOX 30701, ALBU., N.M. 87190
505-884-1990

Dwg: COVER.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 1 of 3
Scale: 1"=1"	Date: 04/17/03	Job: A02067	

PROPERTY CORNERS

- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- △ FOUND CENTERLINE MONUMENT "ALS LS 7719" (TYP)
- △ ACS MONUMENT

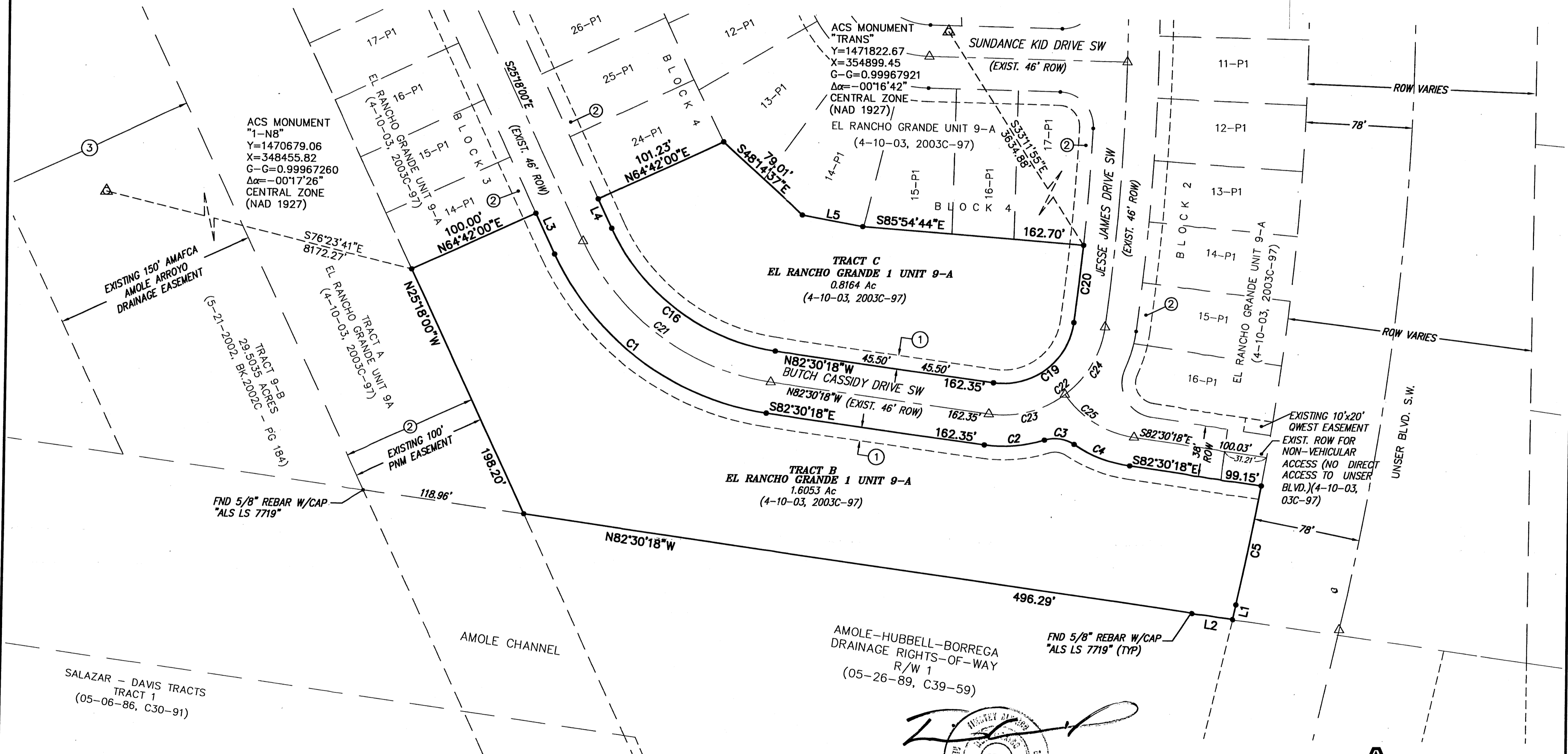
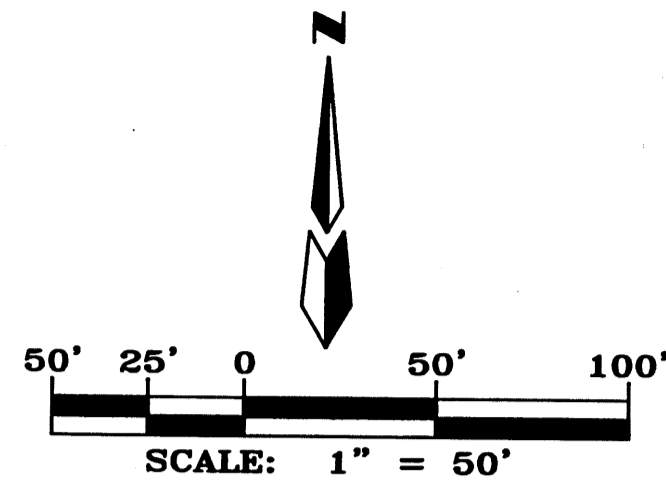
EXISTING EASEMENTS

- ① EXISTING 10' PUBLIC UTILITY EASEMENT (04-10-2003, 2003-97)
- ② EXISTING 100' PNM EASEMENT (04-12-56, BK. D348, PG. 43)
- ③ 150' AMAFCA AMOLE ARROYO DRAINAGE EASEMENT (05-21-2002, 2002C-184)

SITE BENCHMARK

ACS MONUMENT
"3-P10"
ELEVATION=4935.735
(SLD 1929)

PLAT FOR
LOTS 1 THRU 13, BLOCK 3
LOTS 18 THRU 23, BLOCK 4
EL RANCHO GRANDE I, UNIT 9-A
SUBDIVISION
BEING A REPLAT OF TRACTS B AND C
EL RANCHO GRANDE I, UNIT 9-A
WITHIN THE TOWN OF ATRISCO GRANT
PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
APRIL, 2003



SALAZAR - DAVIS TRACTS
TRACT 1
(05-06-86, C30-91)

FND 5/8" REBAR W/CAP
"ALS LS 7719"

TRACT B
EL RANCHO GRANDE I UNIT 9-A
1.6053 Ac
(4-10-03, 2003C-97)

TRACT C
EL RANCHO GRANDE I UNIT 9-A
0.8164 Ac
(4-10-03, 2003C-97)

EXISTING 10'x20'
QWEST EASEMENT
EXIST. ROW FOR
NON-VEHICULAR
ACCESS (NO DIRECT
ACCESS TO UNSER
BLVD.)(4-10-03,
03C-97)

AMOLE-HUBBELL-BORREGA
DRAINAGE RIGHTS-OF-WAY
R/W 1
(05-26-89, C39-59)

[Handwritten Signature]
05-12-03

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Page: 2 of 3
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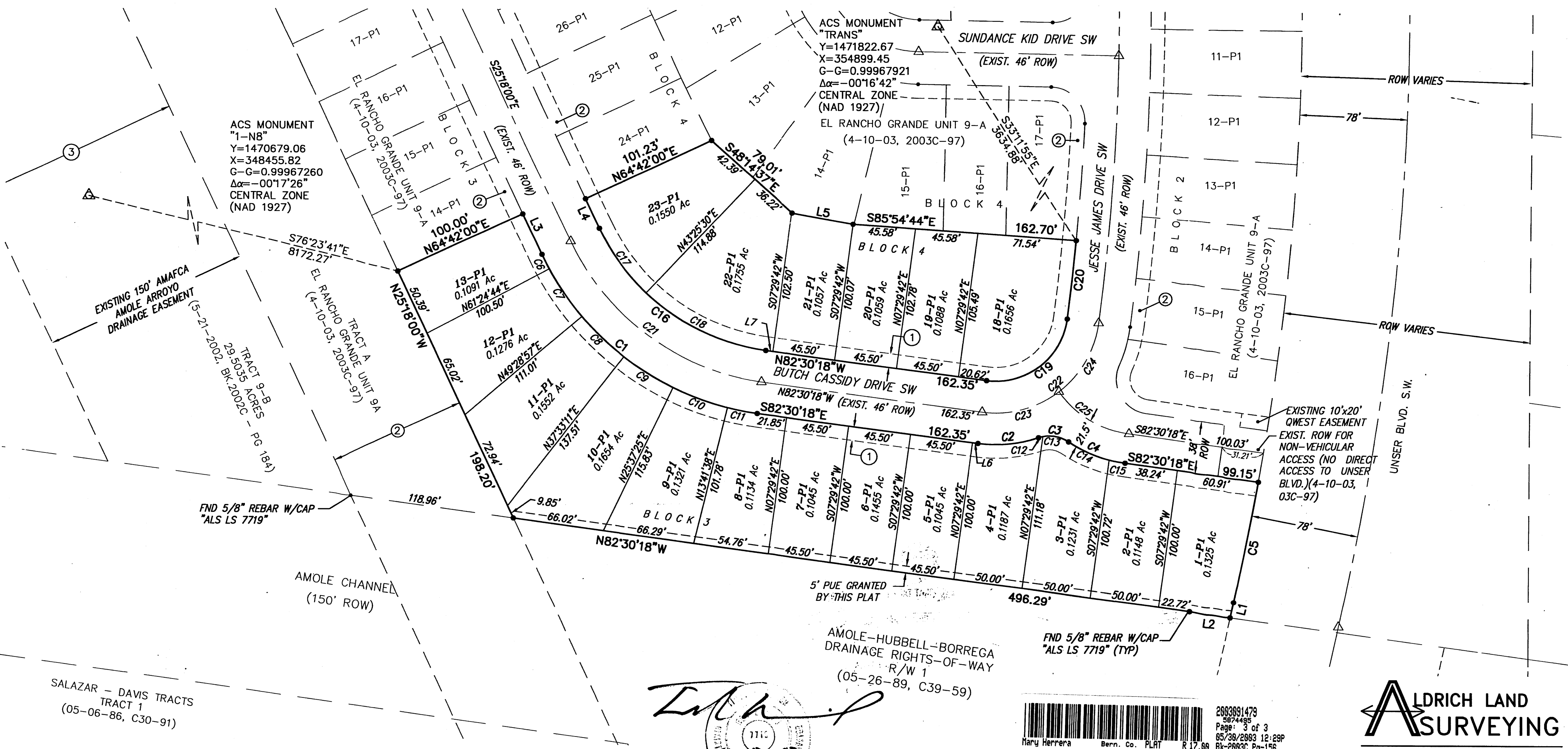
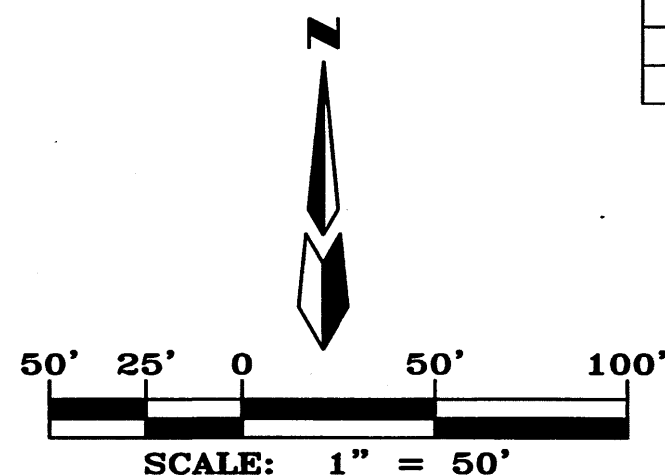
ALDRICH LAND SURVEYING
P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

Dwg: PLATBASE.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 2 of 3
Scale: 1"=50'	Date: 04/18/03	Job: A02067	

LINE TABLE		
LINE ID	LENGTH	BEARING
L1	11.26	N12°49'49"E
L2	30.92	N82°28'03"W
L3	32.98	S25°18'00"E
L4	23.75	N25°18'00"W
L5	45.23	S79°42'20"E
L6	3.99	S82°30'18"E
L7	5.23	S82°30'18"E

CURVE TABLE							CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD	CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C1	203.00	202.68	57°12'18"	110.69	S53°54'09"E	194.36	C14	96.50	32.39	19°14'01"	16.35	S65°53'12"E	32.24
C2	98.00	44.59	26°04'19"	22.69	N84°27'33"E	44.21	C15	96.50	11.79	7°00'06"	5.90	S79°00'15"E	11.79
C3	25.00	22.82	52°18'26"	12.28	N82°25'24"W	22.04	C16	157.00	156.75	57°12'18"	85.61	S53°54'09"E	150.32
C4	96.50	44.19	26°14'07"	22.49	S69°23'15"E	43.80	C17	157.00	58.30	21°16'34"	29.49	S35°56'17"E	57.97
C5	1922.00	89.03	2°39'15"	44.52	N11°30'11"E	89.02	C18	157.00	98.45	35°55'44"	50.90	S64°32'26"E	96.85
C6	203.00	11.65	3°17'20"	5.83	S26°56'40"E	11.65	C19	52.00	81.93	90°16'14"	52.25	N52°21'35"E	73.71
C7	203.00	42.27	11°55'46"	21.21	S34°33'13"E	42.19	C20	1765.00	57.51	1°52'00"	28.76	N06°17'27"E	57.50
C8	203.00	42.27	11°55'46"	21.21	S46°28'59"E	42.19	C21	180.00	179.71	57°12'18"	98.15	S53°54'09"E	172.34
C9	203.00	42.27	11°55'46"	21.21	S58°24'46"E	42.19	C22	75.00	118.16	90°16'15"	75.36	N52°21'35"E	106.32
C10	203.00	42.27	11°55'46"	21.21	S70°20'32"E	42.19	C23	75.00	59.08	45°08'07"	31.17	N74°55'38"E	57.57
C11	203.00	21.96	6°11'53"	10.99	S79°24'21"E	21.95	C24	75.00	59.08	45°08'07"	31.17	N29°47'31"E	57.57
C12	25.00	3.18	7°16'48"	1.59	S75°03'47"W	3.17	C25	75.00	61.17	46°43'49"	32.40	S59°08'24"E	59.49
C13	25.00	19.65	45°01'37"	10.36	N78°47'00"W	19.15							

PLAT FOR
LOTS 1 THRU 13, BLOCK 3
LOTS 18 THRU 23, BLOCK 4
EL RANCHO GRANDE I, UNIT 9-A
SUBDIVISION
 BEING A REPLAT OF TRACTS B AND C
 EL RANCHO GRANDE I, UNIT 9-A
 WITHIN THE TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 APRIL, 2003

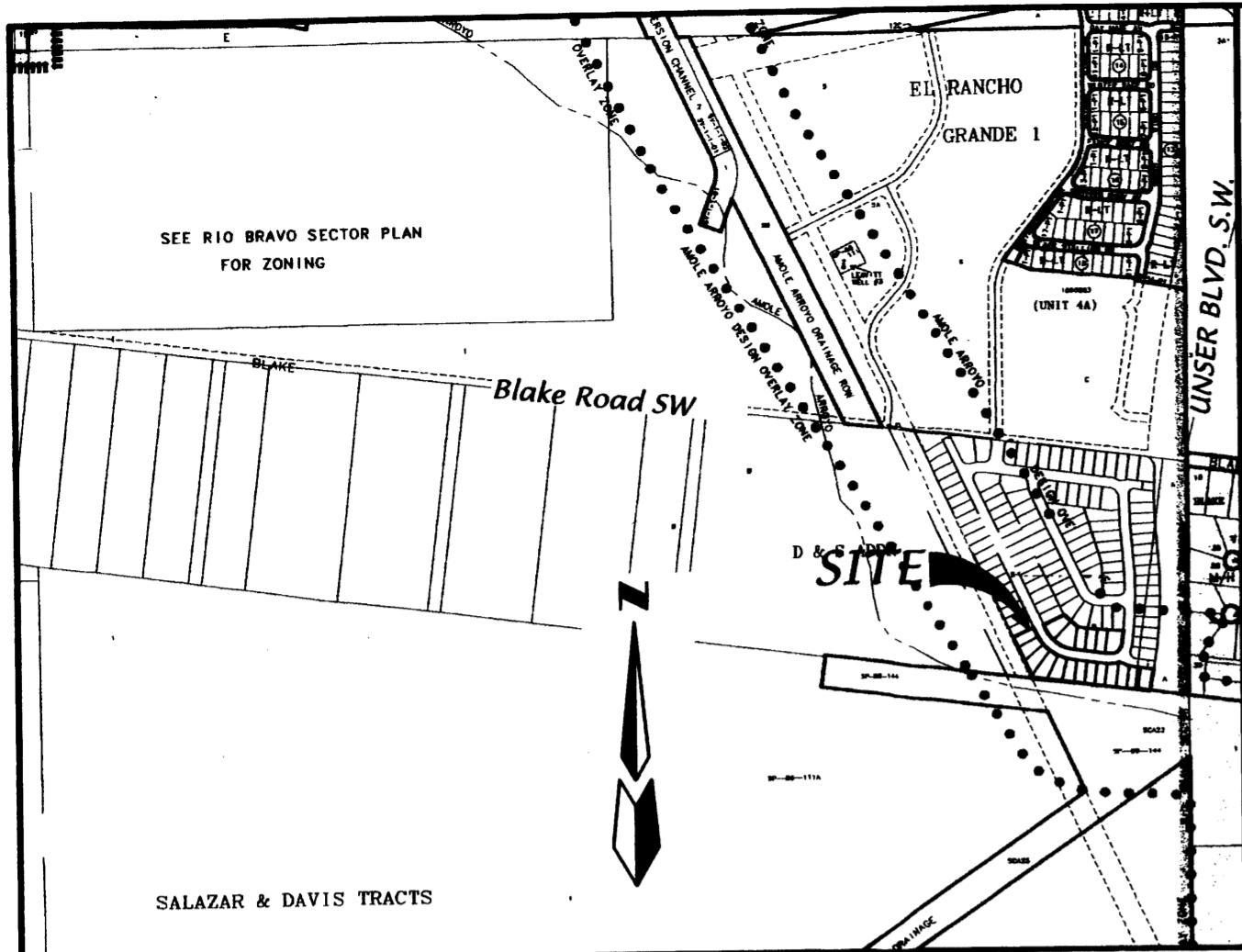


Stephen
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 Page: 3 of 3
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ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBU., N.M. 87190
 505-884-1990

Dwg: PLATBASE.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 3 of 3
Scale: 1"=50'	Date: 04/18/03	Job: A02067	3 3



LOCATION MAP **ZONE ATLAS N-9-Z**
SCALE: NONE

SUBDIVISION DATA

Plat Case No's.	Project No. 1002077
	Case #
Gross acreage	2.4217 AC
Zone Atlas No.	N-9-Z
No. of existing Tracts/Lots	2 TRACTS
No. of Tracts/Lots created	19 LOTS
No. of Tracts/Lots eliminated	2 TRACTS
Miles of full width streets created	0.00
Area dedicated to the City of Albuquerque	0.00 AC
Date of Survey	March, 2002
Utility Control Location System Log Number	2002142545

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

OWNER: Curb, Inc.
 BY: Charles Haegelin, President
Charles A Haegelin
 Charles Haegelin, President

4-18-03
 Date

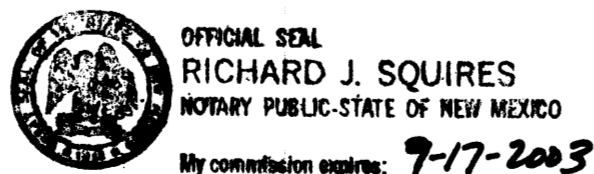
OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO

This instrument was acknowledged before me on APRIL 18th, 2003
 By Charles Haegelin, President of Curb, Inc. A New Mexico Corporation on behalf of said corporation

Richard J. Squires
 NOTARY PUBLIC

9-17-2003
 MY COMMISSION EXPIRES



LEGAL DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Section 4, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACTS B AND C, EL RANCHO GRANDE I, UNIT 9-A as the same is shown and designated on said bulk land plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on April 10, 2003 in Bk. 2003C Pg. 97 and containing 2.4217 acres, more or less.

NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances are field and record.
- Basis of boundary are the following plats (and documents) of record entitled:

 PLAT FOR "EL RANCHO GRANDE I, UNIT 9-A SUBDIVISION" (04-10-03, 2003C-97)

 BULK LAND PLAT FOR TRACTS 9-A AND 9-B (05-21-02, 2002C-184)

 PLAT OF "D AND S ADDITION", (08-01-74, C10-22)

 PLAT OF "SALAZAR - DAVIS TRACTS", (05-06-86, C30-91)

 CORRECTION PLAT NO. 2, BULK LAND PLAT "EL RANCHO GRANDE I" (01-16-01, 01C-20)

 PLAT OF "EL RANCHO GRANDE I, UNIT 4A SUBDIVISION" (09-28-01, 01C-271)

 PLAT OF "AMOLE-HUBBELL-BORREGA DRAINAGE RIGHTS-OF-WAY", (05-26-89, C39-59)
- Field Survey performed March, 2002.
- Unless otherwise noted all point are SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP).

PURPOSE OF PLAT

- Subdivide Tracts B AND C, EL RANCHO GRANDE I, UNIT 9-A Subdivision into 19 Residential Lots.

PLAT FOR
LOTS 1 THRU 13, BLOCK 3
LOTS 18 THRU 23, BLOCK 4
EL RANCHO GRANDE I, UNIT 9-A
SUBDIVISION

BEING A REPLAT OF TRACTS B AND C
 EL RANCHO GRANDE I, UNIT 9-A
 WITHIN THE TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 APRIL, 2003

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

Project Number: 1002077

Application Number: _____

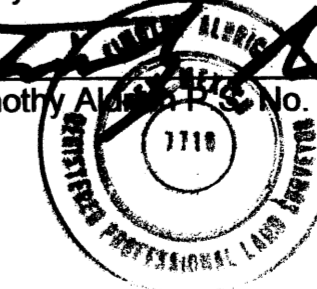
PLAT APPROVAL

Utility Approvals:

PNM Electric Services	_____	Date	_____
PNM Gas Services	_____	Date	_____
Qwest Telecommunications	_____	Date	_____
Comcast	_____	Date	_____
City Approvals:			
<i>John B. Hunt</i>	_____	Date	<u>5-14-03</u>
City Surveyor			
Traffic Engineering, Transportation Division	_____	Date	_____
Utilities Development	_____	Date	_____
Parks and Recreation Department	_____	Date	_____
AMAFCA	_____	Date	_____
City Engineer	_____	Date	_____
DRB Chairperson, Planning Department	_____	Date	_____

"I, Timothy Alarich, a duly qualified registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Alarich
 Timothy Alarich, P.L.S. No. 7719 05-12-03 Date



P.O. BOX 30701, ALBU., N.M. 87190
 505-884-1990

Dwg: COVER.dwg	Drawn: STEPHEN	Checked: ALS	Sheet	1 of 3
Scale: 1"=1"	Date: 04/17/03	Job: A02067		

PROPERTY CORNERS

- FOUND 5/8" REBAR WITH CAP "ALS LS 7719" (TYP)
- △ FOUND CENTERLINE MONUMENT "ALS LS 7719" (TYP)
- △ ACS MONUMENT

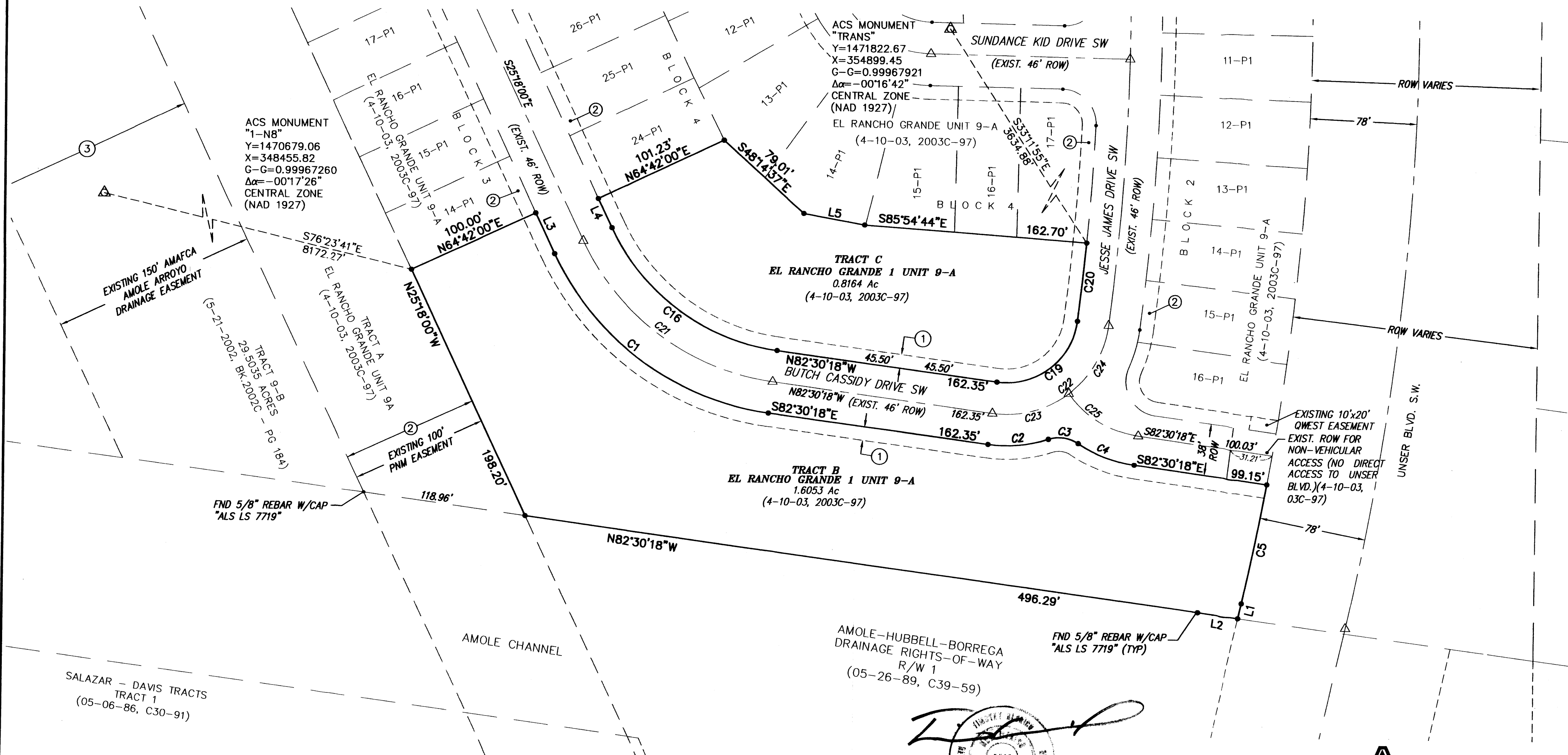
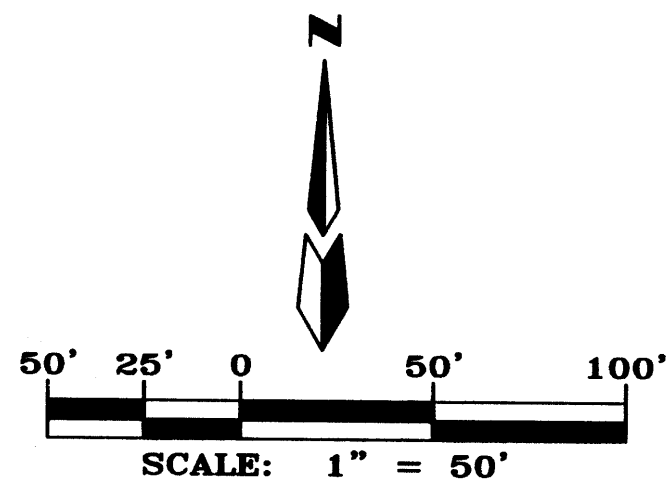
EXISTING EASEMENTS

- ① EXISTING 10' PUBLIC UTILITY EASEMENT (04-10-2003, 2003-97)
- ② EXISTING 100' PNM EASEMENT (04-12-56, BK. D348, PG. 43)
- ③ 150' AMAFCA AMOLE ARROYO DRAINAGE EASEMENT (05-21-2002, 2002C-184)

SITE BENCHMARK

ACS MONUMENT
"3-P10"
ELEVATION=4935.735
(SLD 1929)

PLAT FOR
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LOTS 18 THRU 23, BLOCK 4
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BEING A REPLAT OF TRACTS B AND C
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PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
APRIL, 2003



SALAZAR - DAVIS TRACTS
TRACT 1
(05-06-86, C30-91)

FND 5/8" REBAR W/CAP
"ALS LS 7719"

AMOLE-HUBBELL-BORREGA
DRAINAGE RIGHTS-OF-WAY
R/W 1
(05-26-89, C39-59)

FND 5/8" REBAR W/CAP
"ALS LS 7719" (TYP)

[Signature]
05-12-03

ALDRICH LAND SURVEYING

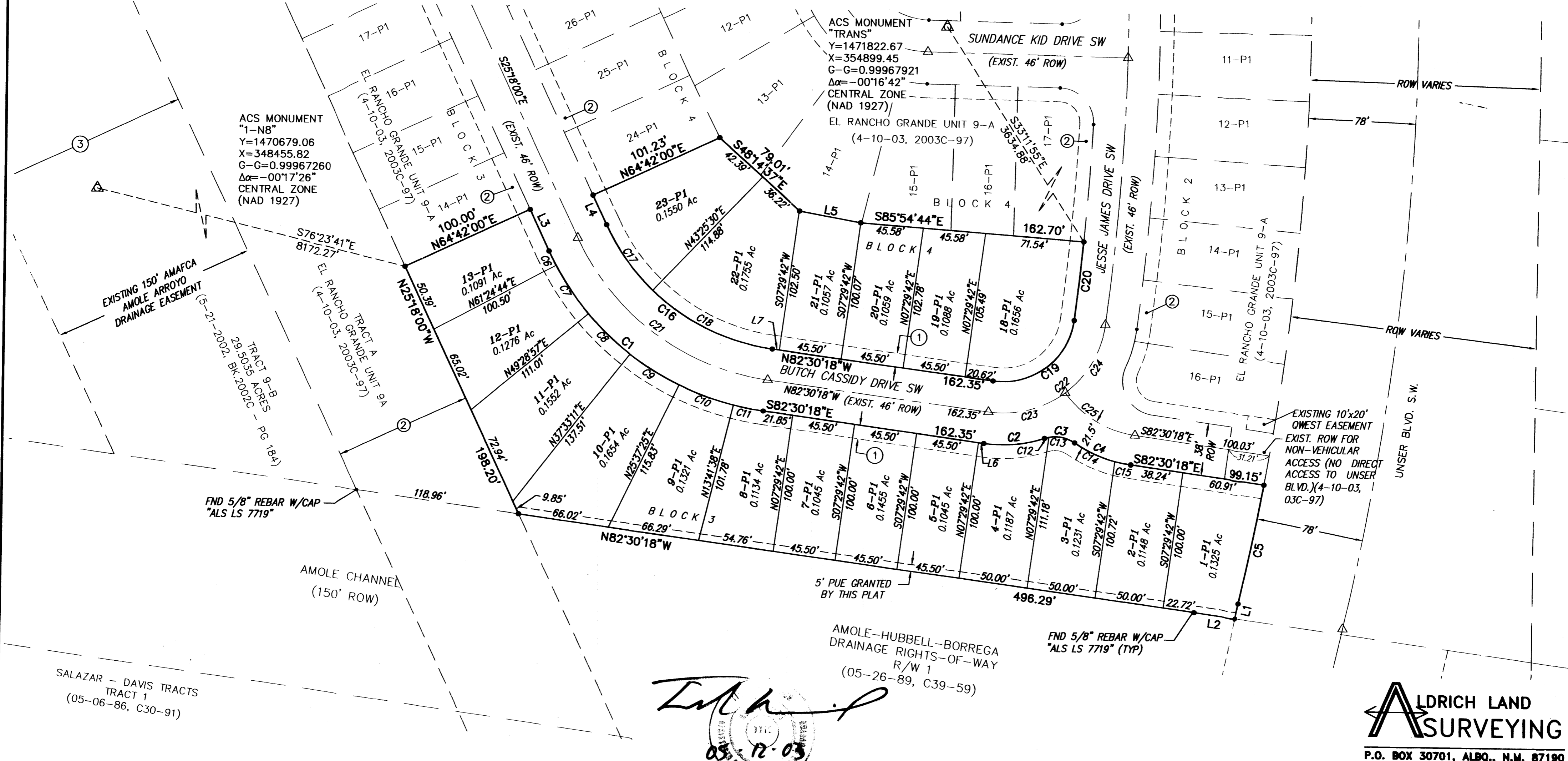
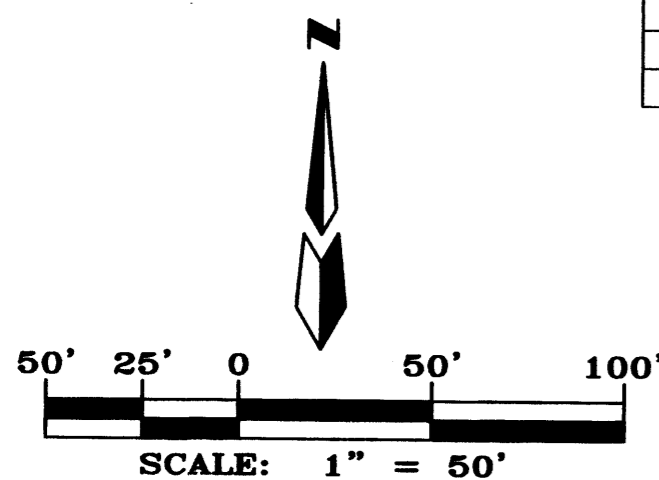
P.O. BOX 30701, ALBQ., N.M. 87190
505-884-1990

Dwg: PLATBASE.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 2 of 3
Scale: 1"=50'	Date: 04/18/03	Job: A02067	3

LINE TABLE		
LINE ID	LENGTH	BEARING
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L2	30.92	N82°28'03"W
L3	32.98	S25°18'00"E
L4	23.75	N25°18'00"W
L5	45.23	S79°42'20"E
L6	3.99	S82°30'18"E
L7	5.23	S82°30'18"E

CURVE TABLE						CURVE TABLE							
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD	CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BRG	CHORD
C1	203.00	202.68	57°12'18"	110.69	S53°54'09"E	194.36	C14	96.50	32.39	19°14'01"	16.35	S65°53'12"E	32.24
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C4	96.50	44.19	26°14'07"	22.49	S69°23'15"E	43.80	C17	157.00	58.30	21°16'34"	29.49	S35°56'17"E	57.97
C5	1922.00	89.03	2°39'15"	44.52	N11°30'11"E	89.02	C18	157.00	98.45	35°55'44"	50.90	S64°32'26"E	96.85
C6	203.00	11.65	3°17'20"	5.83	S26°56'40"E	11.65	C19	52.00	81.93	90°16'14"	52.25	N52°21'35"E	73.71
C7	203.00	42.27	11°55'46"	21.21	S34°33'13"E	42.19	C20	1765.00	57.51	1°52'00"	28.76	N06°17'27"E	57.50
C8	203.00	42.27	11°55'46"	21.21	S46°28'59"E	42.19	C21	180.00	179.71	57°12'18"	98.15	S53°54'09"E	172.34
C9	203.00	42.27	11°55'46"	21.21	S58°24'46"E	42.19	C22	75.00	118.16	90°16'15"	75.36	N52°21'35"E	106.32
C10	203.00	42.27	11°55'46"	21.21	S70°20'32"E	42.19	C23	75.00	59.08	45°08'07"	31.17	N74°55'38"E	57.57
C11	203.00	21.96	6°11'53"	10.99	S79°24'21"E	21.95	C24	75.00	59.08	45°08'07"	31.17	N29°47'31"E	57.57
C12	25.00	3.18	7°16'48"	1.59	S75°03'47"W	3.17	C25	75.00	61.17	46°43'49"	32.40	S59°08'24"E	59.49
C13	25.00	19.65	45°01'37"	10.36	N78°47'00"W	19.15							

PLAT FOR
LOTS 1 THRU 13, BLOCK 3
LOTS 18 THRU 23, BLOCK 4
EL RANCHO GRANDE I, UNIT 9-A
SUBDIVISION
 BEING A REPLAT OF TRACTS B AND C
 EL RANCHO GRANDE I, UNIT 9-A
 WITHIN THE TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 APRIL, 2003



Stephen
 APR 12 2003

ALDRICH LAND SURVEYING
 P.O. BOX 30701, ALBU., N.M. 87190
 505-884-1990

Dwg: PLATBASE.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 3 of 3
Scale: 1"=50'	Date: 04/18/03	Job: A02067	

AGIS ✓

PLAT FOR EL RANCHO GRANDE I UNIT 9-A SUBDIVISION

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2003

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

DRB Project No. 1002077

- Application No. 03DRB-00513
Susan Mahon
Planning Director, City of Albuquerque, N.M. 4/9/03 Date
- Brad D. Birkm*
City Engineer, City of Albuquerque, N.M. 4/9/03 Date
- John P. Kelly*
Albuquerque Metropolitan Arroyo Flood Control Authority 4-9-03 Date
- Rachel D. ...*
Transportation Development, City of Albuquerque, N.M. 4-09-03 Date
- Roger A. ...*
Utility Development Division, City of Albuquerque, N.M. 4/9/03 Date
- Christina Sandoval*
Parks and Recreation 4/9/03 Date
- ...*
City Surveyor, City of Albuquerque, N.M. 3-18-03 Date
- N/A*
Property Management, City of Albuquerque, N.M. _____ Date
- Leland G. Hunt*
PNM Gas 3-19-03 Date
- Leland G. Hunt*
PNM Electric 3-19-03 Date
- Greg Hunt*
Qwest Telecommunications 3-20-03 Date
- Rita Eicks*
Comcast Cable 3-19-03 Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich
Timothy Aldrich P.S. No. 7719 03-14-03 Date



LEGAL DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Section 4, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 9-A, EL RANCHO GRANDE I, as the same is shown and designated on said bulk land plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 21, 2002 in Bk. 2002C Pg. 184 and Tract A, D and S ADDITION as shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County on August 1, 1974 in Bk. C-10, Pg. 22 and containing 28.0477 acres, more or less.

NOTES

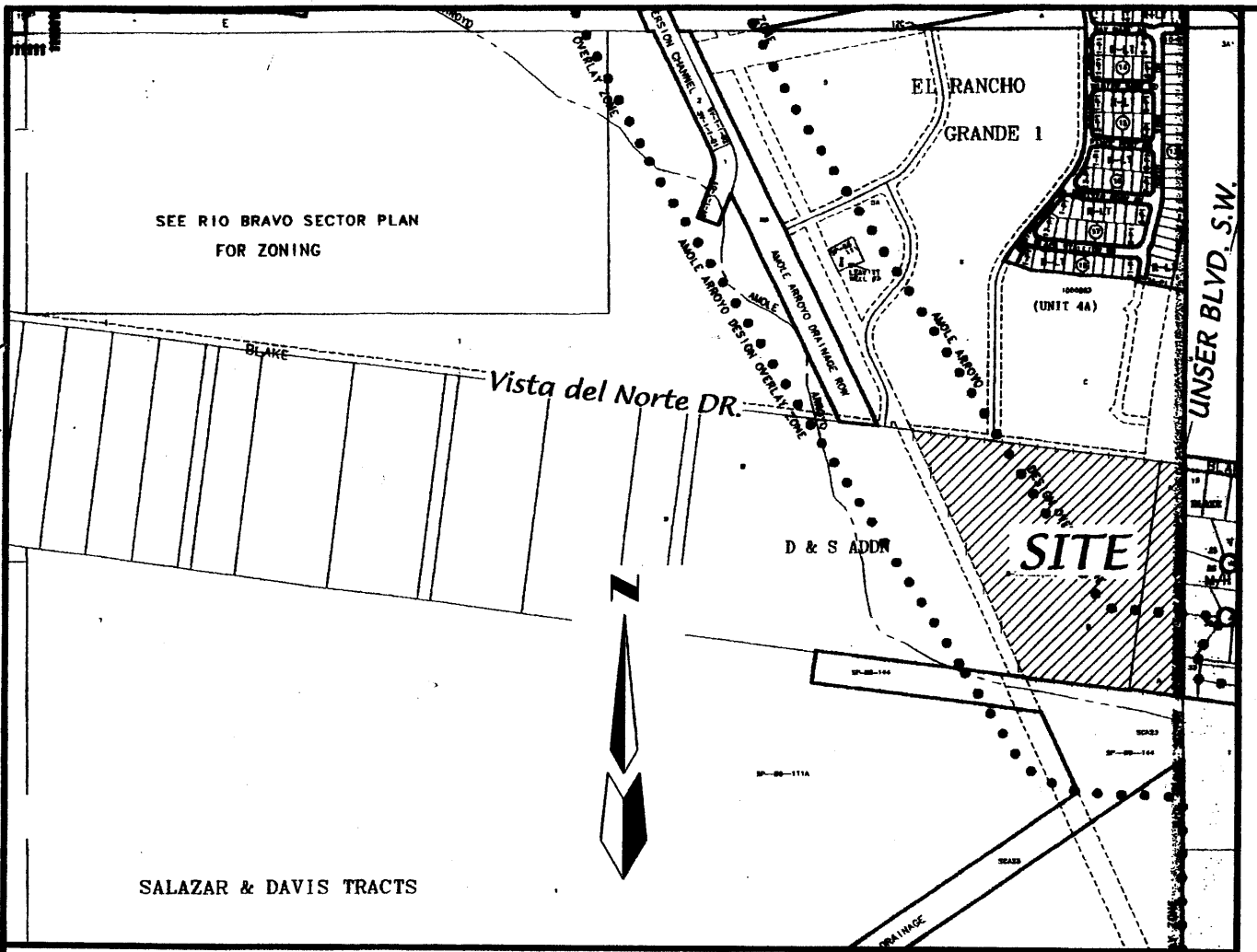
- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances are field and record.
- Basis of boundary are the following plats (and documents) of record entitled:
BULK LAND PLAT FOR TRACTS 9-A AND 9-B (05-21-02, 2002C-184)
PLAT OF "D AND S ADDITION", (08-01-74, C10-22)
PLAT OF "SALAZAR - DAVIS TRACTS", (05-06-86, C30-91)
CORRECTION PLAT NO. 2, BULK LAND PLAT "EL RANCHO GRANDE I" (01-16-01, 01C-20)
PLAT OF "EL RANCHO GRANDE I, UNIT 4A SUBDIVISION" (09-28-01, 01C-271)
PLAT OF "AMOLE-HUBBELL-BORREGA DRAINAGE RIGHTS-OF-WAY", (05-26-89, C39-59)
- Field Survey performed March, 2002.
- Unless otherwise noted all point are SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP).

PURPOSE OF PLAT

- Subdivide Tract 9-A, EL RANCHO GRANDE I and Tract A, D and S ADDITION, into 105 Residential Lots and 3 tracts.
- Grant easements as shown.
- Dedicate right-of-way as shown.

THIS IS TO CERTIFY THAT THESE ARE CORRECT AND PAID ON UIC # 1-001-054-351461-10344 PROPERTY OWNER OF RECORD
Yoo James J & Hee Y
Bernalillo County Treasurer's Office
Arthur Kavanaugh 4/10/03

OFFICIAL SEAL
RICHARD J. SQUIRES
NOTARY PUBLIC-STATE OF NEW MEXICO
My commission expires: 9-17-2003



LOCATION MAP ZONE ATLAS N-9-Z SCALE: NONE

SUBDIVISION DATA

Plat Case No's	Project 1002077
	Case #03DRB-00513
Gross acreage	28.0477 AC
Zone Atlas No.	N-9-Z
No. of existing Tracts/Lots	2 TRACTS
No. of Tracts/Lots created	3 TRACTS/105 LOTS
No. of Tracts/Lots eliminated	2 TRACTS
Miles of full width streets created	0.98
Area dedicated to the City of Albuquerque	9.6656 AC
Date of Survey	March, 2002
Utility Control Location System Log Number	2002142545

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets and public right-of-ways and shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

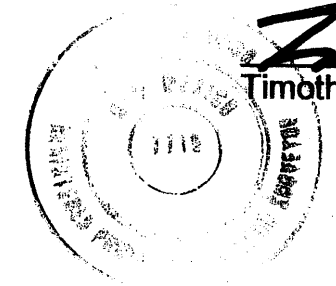
OWNER: Curb, Inc.
BY: Charles Haegelin, President
Charles A. Haegelin
Charles Haegelin, President 2-7-03 Date

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on FEBRUARY 7th, 2003
By Charles Haegelin, President of Curb, Inc. A New Mexico Corporation on behalf of said corporation

Richard J. Squires
NOTARY PUBLIC
SEPTEMBER 17th 2003
MY COMMISSION EXPIRES



Dwg:	COVER.dwg	Drawn:	STEPHEN	Checked:	ALS	Sheet	1 of 6
Scale:	1"=1"	Date:	02/05/03	Job:	A02067		

F:\A02\JOBS\A2067 EL RANCHO GRANDE I\final plat\COVER.dwg, 02/05/03 09:17:32 AM, stephen

PLAT FOR
**EL RANCHO GRANDE I
 UNIT 9-A
 SUBDIVISION**

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2003

ACS MONUMENT
 "TRANS"
 Y=1471822.67
 X=354899.45
 C-G=0.99967921
 Δα=-00°16'42"
 CENTRAL ZONE
 (NAD 1927)

(*)CORRECTION PLAT NO. 2
 EL RANCHO GRANDE I
 (01-16-01, 01C-20)

EL RANCHO GRANDE
 UNIT 4B
 SUBDIVISION
 (04-18-02, 02C-130)
 BLAKE ROAD S.W.
 (EXIST. 34' ROW)

TRACT 9-B
 29.5035 ACRES
 (5-21-2002, BK.2002C - PG 184)

TRACT 9-A
 23.6218 ACRES

D AND S ADDITION
 TRACT A
 (08-01-74, C10-22)
 4.4261 ACRES

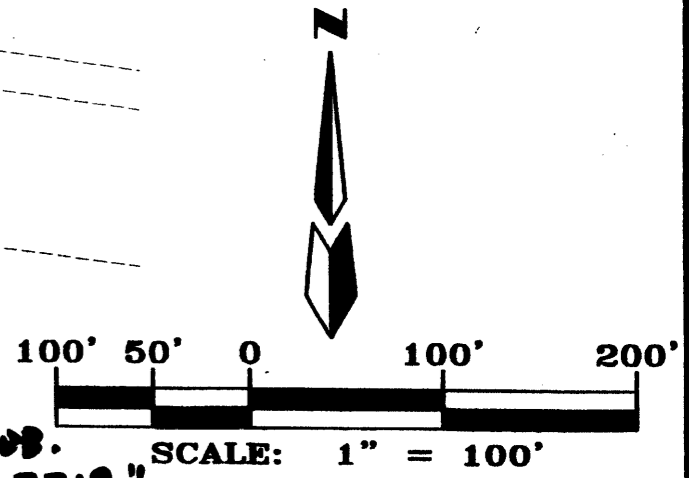
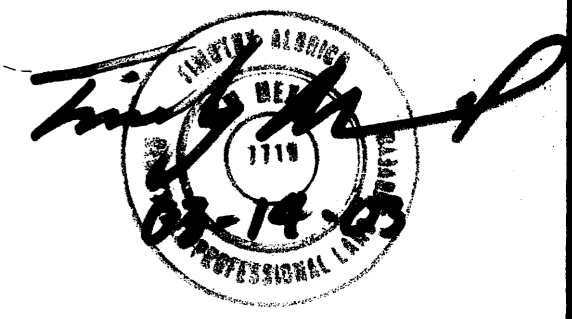
BLAKE VIEW MOBILE
 HOME VILLAGE UNIT 1
 (09-10-74, D6-82)

- EASEMENTS**
- ① 60' BLAKE ROAD S.W., NO DEDICATION DOCUMENT AVAILABLE
 - ② EXISTING 34' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (01-16-01, 2001C-20)
 - ③ 34' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (05-21-02, 2002C-184)
 - ④ 60' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (05-21-02, 2002C-184)
 - ⑤ EXISTING 100' PNM EASEMENT (04-12-56, BK. D348, PG. 43)
 - ⑪ EXISTING 156' PUBLIC INGRESS/EGRESS, WATER AND SANITARY SEWER EASEMENT (04-04-02, BK. A34, PG. 4283)
 - ⑫ EXISTING EASEMENTS TO ACCOMMODATE THE EXISTING 100 YEAR STORM FLOWS FOR AMAFCA DRAINAGE CONTROL. SUCH EASEMENTS ARE TO RUN WITH THE LAND BUT MAY BE MODIFIED, REMOVED, OR REPLACED AS NECESSARY AND MUTUALLY AGREED TO BY AMAFCA AND OWNER(S) PENDING FUTURE PLATTING SUBMITTALS WHICH CONFORM TO A MORE COMPLETE OR IMPROVED ROUTING OF THE DRAINAGE FACILITIES. (05-06-86, C30-91)
 - ⑬ EXISTING 30' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (01-16-01, 2001C-20)
 - ⑭ EXISTING 60' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (01-16-01, 2001C-20)
 - ⑮ 150' AMAFCA AMOLE ARROYO DRAINAGE EASEMENT (05-21-2002, 2002C-184)

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 X=348455.82
 C-G=0.99967260
 Δα=-00°17'26"
 CENTRAL ZONE
 (NAD 1927)

AMOLE CHANNEL (150' R/W)
 SALAZAR - DAVIS TRACTS
 TRACT 1
 (05-06-86, C30-91)

SITE BENCHMARK
 ACS MONUMENT
 "3-P10"
 ELEVATION=4935.735
 (SLD 1929)

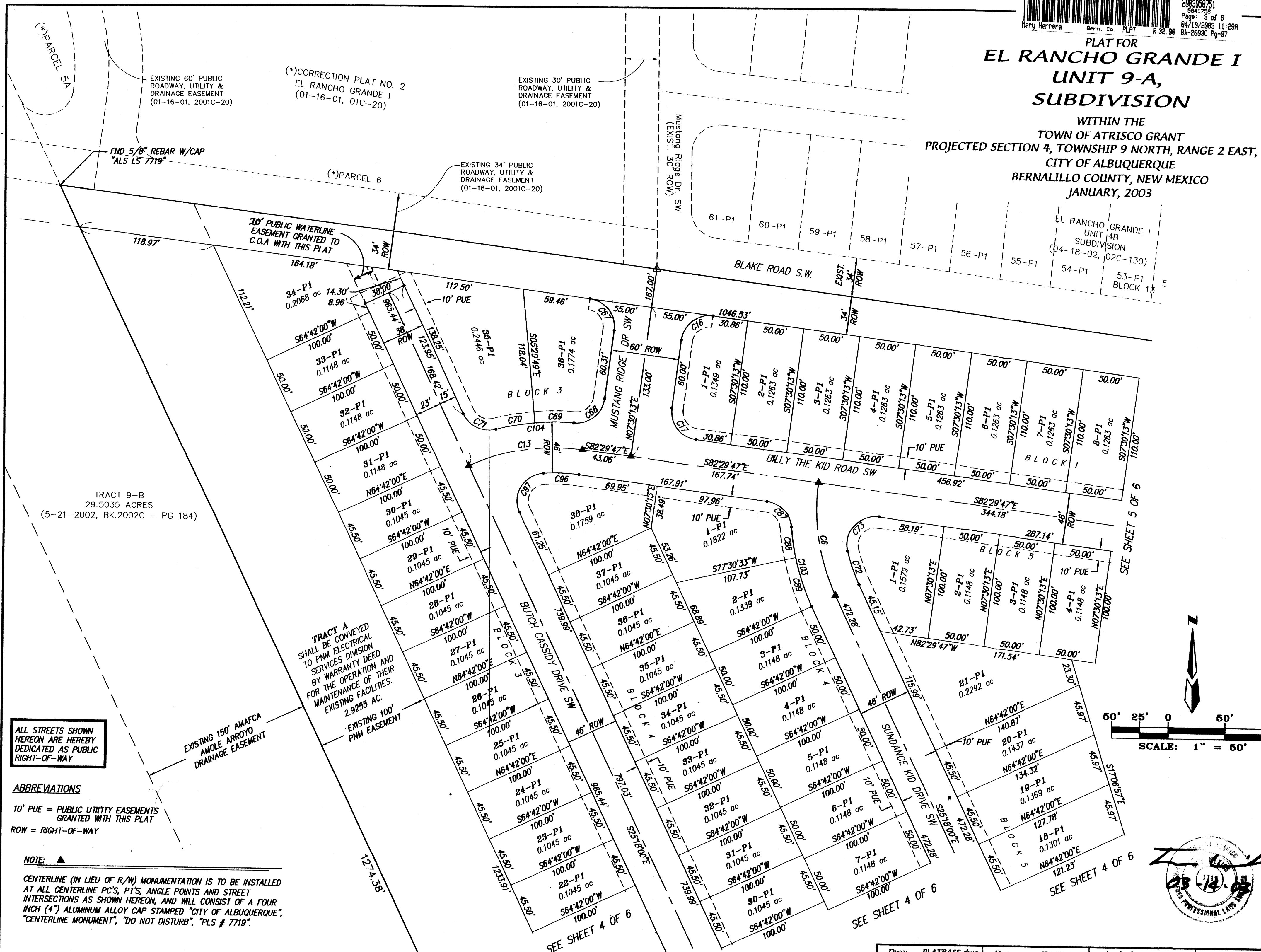


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**PLAT FOR
 EL RANCHO GRANDE I
 UNIT 9-A,
 SUBDIVISION**

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMMP
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2003

EL RANCHO GRANDE I
 UNIT 14B
 SUBDIVISION
 (04-18-02, 02C-130)
 54-P1 53-P1
 BLOCK 13



(*CORRECTION PLAT NO. 2
 EL RANCHO GRANDE I
 (01-16-01, 01C-20)

EXISTING 60' PUBLIC
 ROADWAY, UTILITY &
 DRAINAGE EASEMENT
 (01-16-01, 2001C-20)

EXISTING 30' PUBLIC
 ROADWAY, UTILITY &
 DRAINAGE EASEMENT
 (01-16-01, 2001C-20)

EXISTING 34' PUBLIC
 ROADWAY, UTILITY &
 DRAINAGE EASEMENT
 (01-16-01, 2001C-20)

FND 5/8" REBAR W/CAP
 "ALS LS 7719"

20' PUBLIC WATERLINE
 EASEMENT GRANTED TO
 C.O.A WITH THIS PLAT

TRACT 9-B
 29.5035 ACRES
 (5-21-2002, BK.2002C - PG 184)

TRACT A
 SHALL BE CONVEYED
 TO PNM ELECTRICAL
 SERVICES DIVISION
 BY WARRANTY DEED
 FOR THE OPERATION AND
 MAINTENANCE OF THEIR
 EXISTING FACILITIES.
 2.9255 AC.
 EXISTING 100'
 PNM EASEMENT

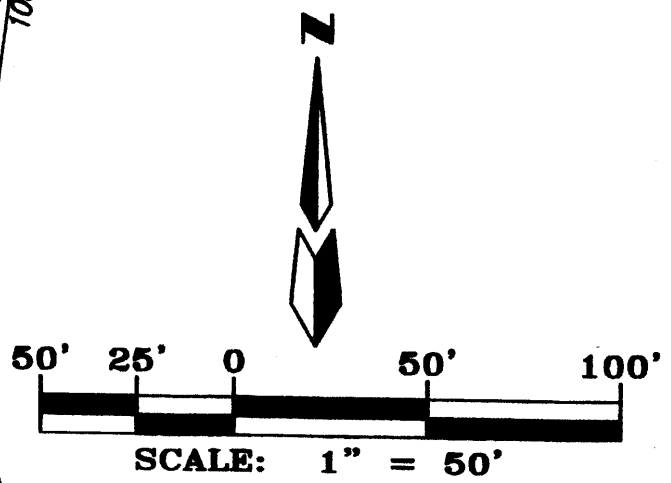
ALL STREETS SHOWN
 HEREON ARE HEREBY
 DEDICATED AS PUBLIC
 RIGHT-OF-WAY

ABBREVIATIONS

10' PUE = PUBLIC UTILITY EASEMENTS
 GRANTED WITH THIS PLAT
 ROW = RIGHT-OF-WAY

NOTE:

CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED
 AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET
 INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR
 INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE",
 "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".



NOTE: ▲
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

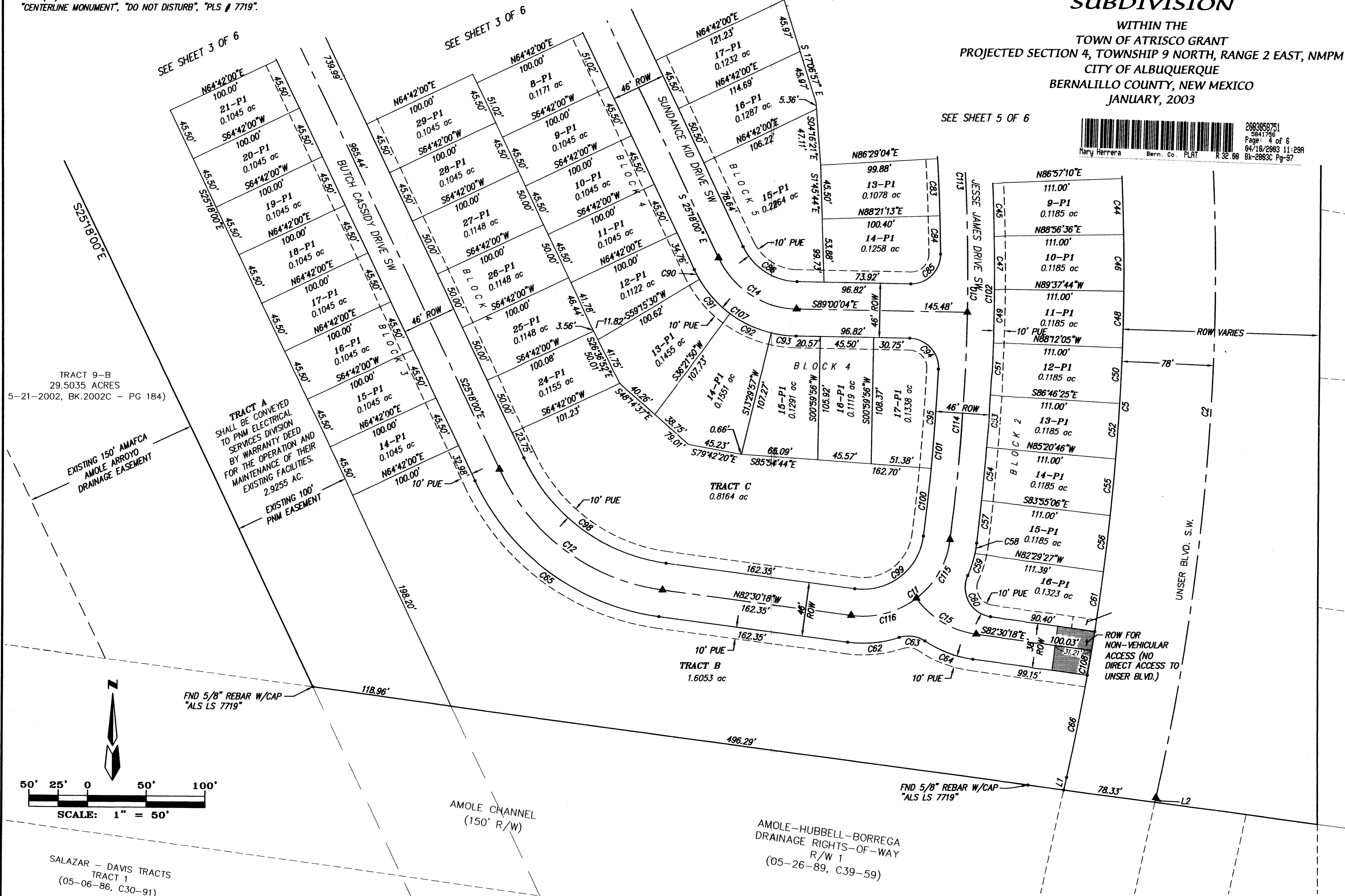
ALL STREETS SHOWN
 HEREON ARE HEREBY
 DEDICATED AS PUBLIC
 RIGHT-OF-WAY

ABBREVIATIONS
 10' PUE = PUBLIC UTILITY EASEMENTS
 GRANTED WITH THIS PLAT
 ROW = RIGHT-OF-WAY

PLAT FOR
EL RANCHO GRANDE I
UNITS 9-A
SUBDIVISION

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMMP
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2003

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 Page: 4 of 6
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 BK-2003C Pg-97



SEE SHEET 3 OF 6

SEE SHEET 3 OF 6

SEE SHEET 5 OF 6

TRACT 9-B
 29.5035 ACRES
 5-21-2002, BK.2002C - PG 184)

TRACT A
 SHALL BE CONVEYED
 TO PNM ELECTRICAL
 SERVICES DIVISION
 BY WARRANTY DEED
 FOR THE OPERATION AND
 MAINTENANCE OF THEIR
 EXISTING FACILITIES.
 2.9255 AC.
 EXISTING 100'
 PNM EASEMENT

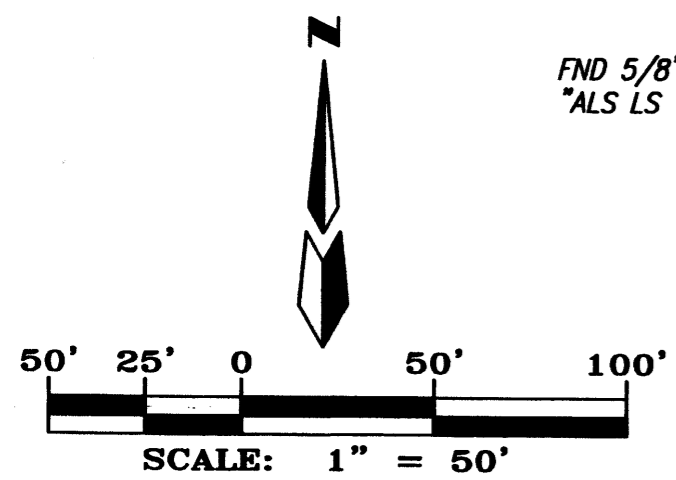
EXISTING 150' AMAFCA
 AMOLE ARROYO
 DRAINAGE EASEMENT

FND 5/8" REBAR W/CAP
 "ALS LS 7719"

FND 5/8" REBAR W/CAP
 "ALS LS 7719"

AMOLE CHANNEL
 (150' R/W)

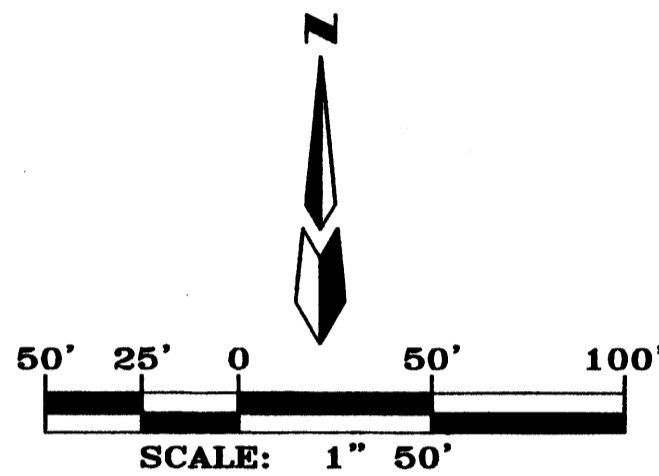
AMOLE-HUBBELL-BORREGA
 DRAINAGE RIGHTS-OF-WAY
 R/W 1
 (05-26-89, C39-59)



SALAZAR - DAVIS TRACTS
 TRACT 1
 (05-06-86, C30-91)

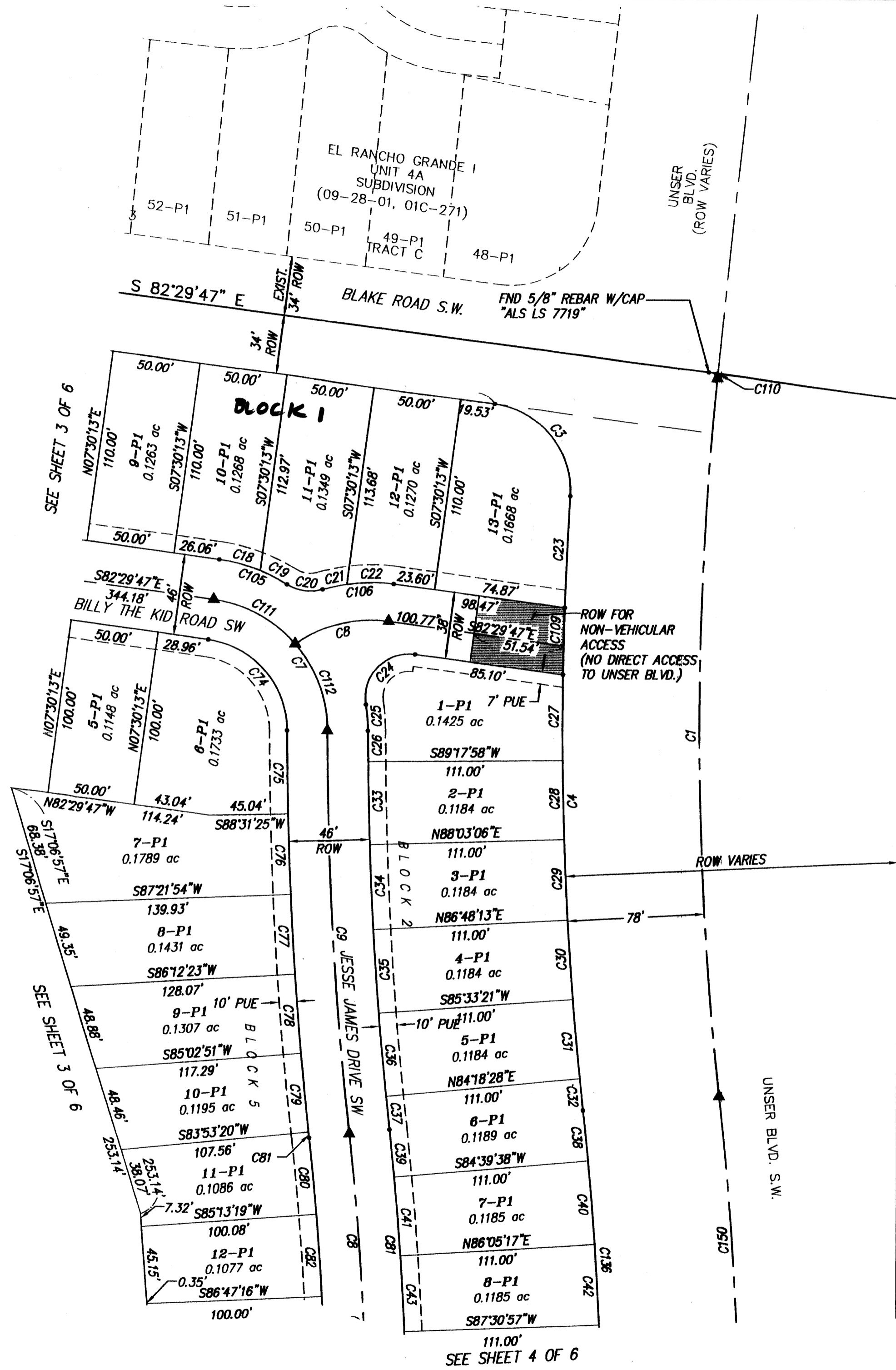
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NOTE: ▲
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".



PLAT FOR
EL RANCHO GRANDE I
UNITS 9-A
SUBDIVISION
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2003

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 Page: 5 of 6
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 Mary Herrera Bern. Co. PLAT R 32.00 BK-2003C Pg-97



ALL STREETS SHOWN
 HEREON ARE HEREBY
 DEDICATED AS PUBLIC
 RIGHT-OF-WAY

ABBREVIATIONS

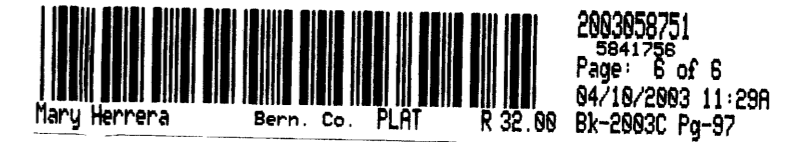
10' PUE = PUBLIC UTILITY EASEMENTS
 GRANTED WITH THIS PLAT
 ROW = RIGHT-OF-WAY

Handwritten signature
 13-14-03
 PROFESSIONAL LAND SURVEYOR

Dwg: PLATBASE.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 5 of 6
Scale: 1"=50'	Date: 03/13/03	Job: A02067	

PLAT FOR
EL RANCHO GRANDE I
UNITS 9-A
SUBDIVISION

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2003



CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING-CH-DIST=
C1	409.63	2000.00	11'44'07"	205.54	N00'19'43"W 408.92
C2	664.15	2000.00	19'01'35"	335.16	N03'19'01"E 661.10
C3	75.01	50.00	85'57'39"	46.59	N39'30'58"W 68.17
C4	350.37	2078.00	9'39'38"	175.60	S01'21'57"E 349.95
C5	638.24	1922.00	19'01'35"	322.09	N03'19'01"E 635.32
C6	103.06	180.00	32'48'13"	52.98	S08'53'54"E 101.65
C7	107.68	75.00	82'15'46"	65.50	N41'21'54"W 98.67
C8	56.08	75.00	42'50'40"	29.43	S76'04'53"W 54.79
C9	230.20	2212.00	5'57'46"	115.20	S03'12'53"E 230.09
C10	418.81	1788.00	13'25'14"	210.37	N00'30'51"E 417.85
C11	118.16	75.00	90'16'15"	75.36	N52'21'35"E 106.32
C12	179.71	180.00	57'12'18"	98.15	S53'54'09"E 172.34
C13	103.06	180.00	32'48'13"	52.98	S81'06'07"W 101.65
C14	83.38	75.00	63'42'04"	46.59	S57'09'02"E 79.16
C15	61.17	75.00	46'43'49"	32.40	S59'08'24"E 59.49
C16	36.42	25.00	83'28'00"	22.30	S55'46'13"W 33.28
C17	39.27	25.00	90'00'00"	25.00	S37'29'47"E 35.36
C18	24.18	98.00	14'08'18"	12.15	N75'25'38"W 24.12
C19	17.13	98.00	10'00'52"	8.59	N63'21'02"W 17.11
C20	21.14	25.00	48'27'25"	11.25	S82'34'19"E 20.52
C21	14.20	96.50	8'25'43"	7.11	S77'24'51"W 14.18
C22	26.74	96.50	15'52'31"	13.46	S89'33'58"W 26.65
C23	63.76	2078.00	1'45'29"	31.88	S02'35'07"W 63.76
C24	46.48	25.00	106'31'56"	33.50	S44'14'15"W 40.07
C25	15.04	98.00	8'47'42"	7.54	N04'37'52"W 15.03
C26	17.84	2189.00	0'28'01"	8.92	S00'28'01"E 17.84
C27	49.06	2078.00	1'21'10"	24.53	S00'01'27"E 49.06
C28	45.26	2078.00	1'14'53"	22.63	S01'19'28"E 45.26
C29	45.26	2078.00	1'14'53"	22.63	S02'34'21"E 45.26
C30	45.26	2078.00	1'14'53"	22.63	S03'49'13"E 45.26
C31	45.26	2078.00	1'14'53"	22.63	S05'04'06"E 45.26
C32	18.27	2078.00	0'30'14"	9.14	S05'56'39"E 18.27
C33	47.68	2189.00	1'14'53"	23.84	S01'19'28"E 47.68
C34	47.68	2189.00	1'14'53"	23.84	S02'34'21"E 47.68
C35	47.68	2189.00	1'14'53"	23.84	S03'49'13"E 47.68
C36	47.68	2189.00	1'14'53"	23.84	S05'04'06"E 47.68
C37	19.25	2189.00	0'30'14"	9.63	S05'56'39"E 19.25
C38	28.74	1922.00	0'51'24"	14.37	N05'46'04"W 28.74
C39	27.08	1811.00	0'51'24"	13.54	N05'46'04"W 27.08
C40	47.89	1922.00	1'25'39"	23.95	N04'37'32"W 47.89
C41	45.12	1811.00	1'25'39"	22.56	N04'37'32"W 45.12
C42	47.89	1922.00	1'25'39"	23.95	N03'11'53"W 47.89
C43	45.12	1811.00	1'25'39"	22.56	N03'11'53"W 45.12
C44	47.89	1922.00	1'25'39"	23.95	N01'46'13"W 47.89
C45	45.12	1811.00	1'25'39"	22.56	N01'46'13"W 45.12
C46	47.89	1922.00	1'25'39"	23.95	N00'20'34"W 47.89
C47	45.12	1811.00	1'25'39"	22.56	N00'20'34"W 45.12
C48	47.89	1922.00	1'25'39"	23.95	N01'05'06"E 47.89
C49	45.12	1811.00	1'25'39"	22.56	N01'05'06"E 45.12
C50	47.89	1922.00	1'25'39"	23.95	N02'30'45"E 47.89
C51	45.12	1811.00	1'25'39"	22.56	N02'30'45"E 45.12
C52	47.89	1922.00	1'25'39"	23.95	N03'56'25"E 47.89
C53	45.12	1811.00	1'25'39"	22.56	N03'56'25"E 45.12
C54	45.12	1811.00	1'25'39"	22.56	N05'22'04"E 45.12
C55	47.89	1922.00	1'25'39"	23.95	N05'22'04"E 47.89
C56	47.89	1922.00	1'25'39"	23.95	N06'47'44"E 47.89
C57	36.12	1811.00	1'08'33"	18.06	N06'39'11"E 36.12
C58	9.02	98.00	5'16'23"	4.51	N09'51'39"E 9.02
C59	19.72	98.00	11'31'47"	9.89	N18'15'44"E 19.69
C60	46.48	25.00	106'31'56"	33.50	S29'14'20"E 40.07
C61	51.43	1922.00	1'32'00"	25.72	N08'16'33"E 51.43
C62	44.59	98.00	26'04'19"	22.69	N84'27'33"E 44.21
C63	22.82	25.00	52'18'26"	12.28	N82'25'24"W 22.04
C64	44.19	96.50	26'14'07"	22.49	S69'23'15"E 43.80
C65	202.68	203.00	57'12'18"	110.69	S53'54'09"E 194.36
C66	89.03	1922.00	2'39'15"	44.52	N11'30'11"E 89.02
C67	39.27	25.00	90'00'01"	25.00	N37'29'47"W 35.36
C68	37.96	25.00	86'59'55"	23.72	N51'00'10"E 34.42
C69	34.89	203.00	9'50'55"	17.49	S89'34'40"W 34.85
C70	34.90	203.00	9'50'58"	17.49	S79'43'44"W 34.85
C71	34.86	25.00	79'53'45"	20.94	S65'14'52"E 32.10
C72	31.46	157.00	11'28'47"	15.78	S19'33'36"E 31.40
C73	48.57	25.00	111'19'25"	36.60	S41'50'30"W 41.29
C74	74.66	52.00	82'15'46"	45.41	N41'21'54"W 68.41
C75	48.49	2235.00	1'14'35"	24.25	S00'51'18"E 48.49
C76	45.20	2235.00	1'09'31"	22.60	S02'03'21"E 45.19
C77	45.20	2235.00	1'09'31"	22.60	S03'12'52"E 45.19
C78	45.20	2235.00	1'09'31"	22.60	S04'22'23"E 45.19
C79	45.20	2235.00	1'09'31"	22.60	S05'31'54"E 45.19

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING-CH-DIST=
C80	43.69	1765.00	1'25'06"	21.85	N05'29'13"W 43.69
C81	3.32	2235.00	0'05'06"	1.66	S06'09'13"E 3.32
C82	48.23	1765.00	1'33'57"	24.12	N03'59'42"W 48.23
C83	48.23	1765.00	1'33'57"	24.12	N02'25'45"W 48.23
C84	32.79	1765.00	1'03'52"	16.39	N01'06'51"W 32.79
C85	39.96	25.00	91'34'51"	25.70	N45'12'30"E 35.84
C86	57.81	52.00	63'42'04"	32.31	S57'09'02"E 54.88
C87	33.97	25.00	77'50'48"	20.19	N43'34'23"W 31.41
C88	27.78	203.00	7'50'31"	13.91	S08'34'14"E 27.76
C89	45.38	203.00	12'48'30"	22.79	S18'53'45"E 45.29
C90	9.31	98.00	5'26'36"	4.66	S28'01'18"E 9.31
C91	39.16	98.00	22'53'40"	19.84	S42'11'26"E 38.90
C92	39.11	98.00	22'51'52"	19.82	S65'04'12"E 38.85
C93	21.38	98.00	12'29'57"	10.73	S82'45'06"E 21.34
C94	39.96	25.00	91'34'51"	25.70	N43'12'39"W 35.84
C95	85.58	1765.00	2'46'41"	42.80	N03'58'07"E 85.57
C96	31.46	157.00	11'28'48"	15.78	N88'14'11"W 31.40
C97	48.57	25.00	111'19'24"	36.60	S30'21'42"W 41.29
C98	156.75	157.00	57'12'18"	85.61	S53'54'09"E 150.32
C99	81.93	52.00	90'16'15"	52.25	N52'21'35"E 73.71
C100	57.51	1765.00	1'52'00"	28.76	N06'17'27"E 57.50
C101	143.08	1765.00	4'38'41"	71.58	N04'54'07"E 143.04
C102	424.19	1811.00	13'25'14"	213.07	N00'30'51"E 423.22
C103	73.16	203.00	20'39'01"	36.98	S14'58'29"E 72.77
C104	69.79	203.00	19'41'53"	35.24	S84'39'11"W 69.45
C105	41.31	98.00	24'09'11"	20.97	N70'25'12"W 41.01
C106	40.93	96.50	24'18'14"	20.78	S85'21'06"W 40.63
C107	108.96	98.00	63'42'04"	60.88	S57'09'02"E 103.43
C108	38.03	1922.00	01'08'01"	19.01	N09'36'33"E 38.03
C109	38.23	2078.00	01'03'15"	19.12	N01'10'45"E 38.23
C110	2.67	7717.44	00'01'11"	1.33	N05'32'56"E 2.67
C111	53.84	75.00	41'07'53"	28.14	S61'55'50"E 52.69
C112	53.84	75.00	41'07'53"	28.14	N20'47'57"E 52.69
C113	224.53	1788.00	07'11'42"	112.41	N02'35'55"E 224.38
C114	194.28	1788.00	06'13'32"	97.23	N04'06'41"E 194.18
C115	59.08	75.00	45'08'07"	31.17	N29'47'31"E 57.57
C116	59.08	75.00	45'08'07"	31.17	N74'55'38"E 57.57

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S12'49'49"W	11.26
L2	S12'49'49"W	4.03

PUBLIC UTILITY EASEMENTS:

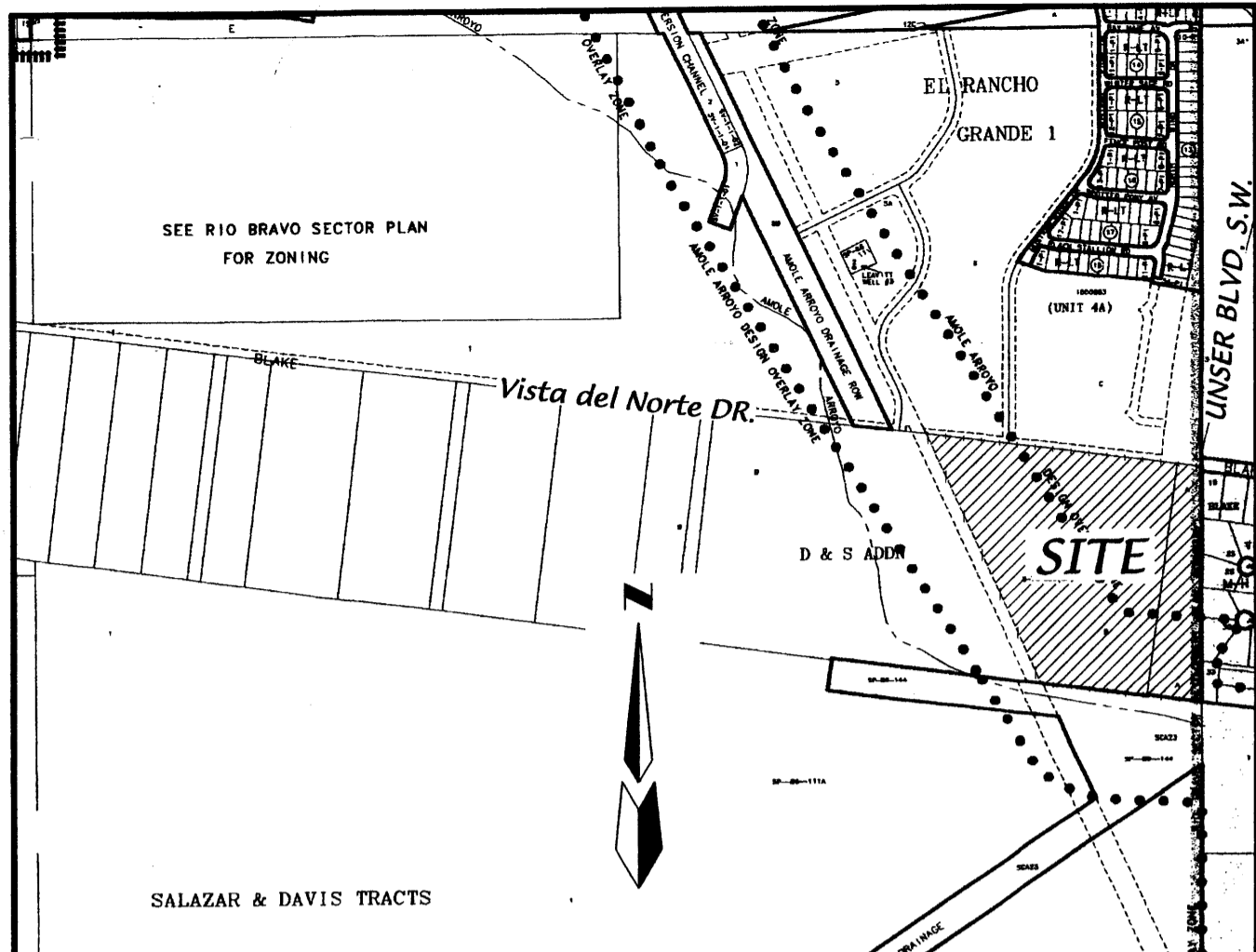
PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. The PNM Gas Services Division for installation, maintenance and services of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat. Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.





LOCATION MAP **ZONE ATLAS N-9-Z**
SCALE: NONE

SUBDIVISION DATA

Plat Case No's.....	Project 1002077
	Case #
Gross acreage.....	28.0477 AC
Zone Atlas No.....	N-9-Z
No. of existing Tracts/Lots.....	2 TRACTS
No. of Tracts/Lots created.....	3 TRACTS/105 LOTS
No. of Tracts/Lots eliminated.....	2 TRACTS
Miles of full width streets created.....	0.98
Area dedicated to the City of Albuquerque.....	9.6656 AC
Date of Survey.....	March, 2002
Utility Control Location System Log Number.....	2002142545

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets and public right-of-ways and shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

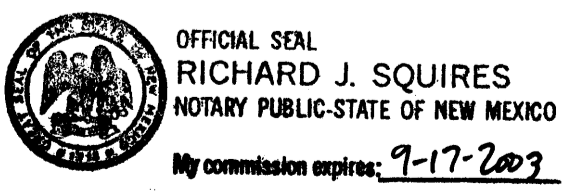
OWNER: Curb, Inc.
 BY: Charles Haegelin, President
Charles A. Haegelin 2-7-03
 Charles Haegelin, President Date

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO
 COUNTY OF BERNALILLO SS

This instrument was acknowledged before me on FEBRUARY 7th, 2003
 By Charles Haegelin, President of Curb, Inc. A New Mexico Corporation on behalf of said corporation

Richard J. Squires
 NOTARY PUBLIC SEPTEMBER 17th 2003
 MY COMMISSION EXPIRES



LEGAL DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Section 4, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 9-A, EL RANCHO GRANDE I, as the same is shown and designated on said bulk land plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 21, 2002 in Bk. 2002C Pg. 184 and Tract A, D and S ADDITION as shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County on August 1, 1974 in Bk. C-10, Pg. 22 and containing 28.0477 acres, more or less.

NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances are field and record.
- Basis of boundary are the following plats (and documents) of record entitled:
 BULK LAND PLAT FOR TRACTS 9-A AND 9-B (05-21-02, 2002C-184)
 PLAT OF "D AND S ADDITION", (08-01-74, C10-22)
 PLAT OF "SALAZAR - DAVIS TRACTS", (05-06-86, C30-91)
 CORRECTION PLAT NO. 2, BULK LAND PLAT "EL RANCHO GRANDE I" (01-16-01, 01C-20)
 PLAT OF "EL RANCHO GRANDE I, UNIT 4A SUBDIVISION" (09-28-01, 01C-271)
 PLAT OF "AMOLE-HUBBELL-BORREGA DRAINAGE RIGHTS-OF-WAY", (05-26-89, C39-59)
- Field Survey performed March, 2002.
- Unless otherwise noted all point are SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP).

PURPOSE OF PLAT

- Subdivide Tract 9-A, EL RANCHO GRANDE I and Tract A, D and S ADDITION, into 105 Residential Lots and 3 tracts.
- Grant easements as shown.
- Dedicate right-of-way as shown.

PLAT FOR
EL RANCHO GRANDE I
UNIT 9-A
SUBDIVISION

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2003

APPROVED AND ACCEPTED BY:

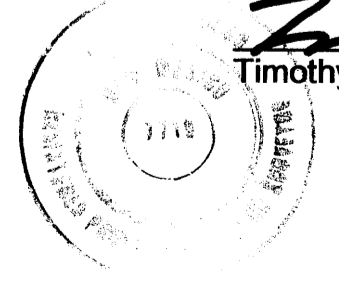
APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

DRB Project No. 1002077	
Application No. _____	
Planning Director, City of Albuquerque, N.M.	Date
City Engineer, City of Albuquerque, N.M.	Date
Albuquerque Metropolitan Arroyo Flood Control Authority	Date
Transportation Development, City of Albuquerque, N.M.	Date
Utility Development Division, City of Albuquerque, N.M.	Date
Parks and Recreation	Date
<i>[Signature]</i>	3-18-03
City Surveyor, City of Albuquerque, N.M.	Date
<i>N/A</i>	
Property Management, City of Albuquerque, N.M.	Date
<i>Leonel G. Mont</i>	3-17-03
PNM Gas	Date
<i>Leonel G. Mont</i>	3-19-03
PNM Electric	Date
<i>Greg Hunt</i>	3-20-03
Qwest Telecommunications	Date
<i>Rita Eubank</i>	3-19-03
Comcast Cable	Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich 03-14-03
 Timothy Aldrich P.S. No. 7719 Date

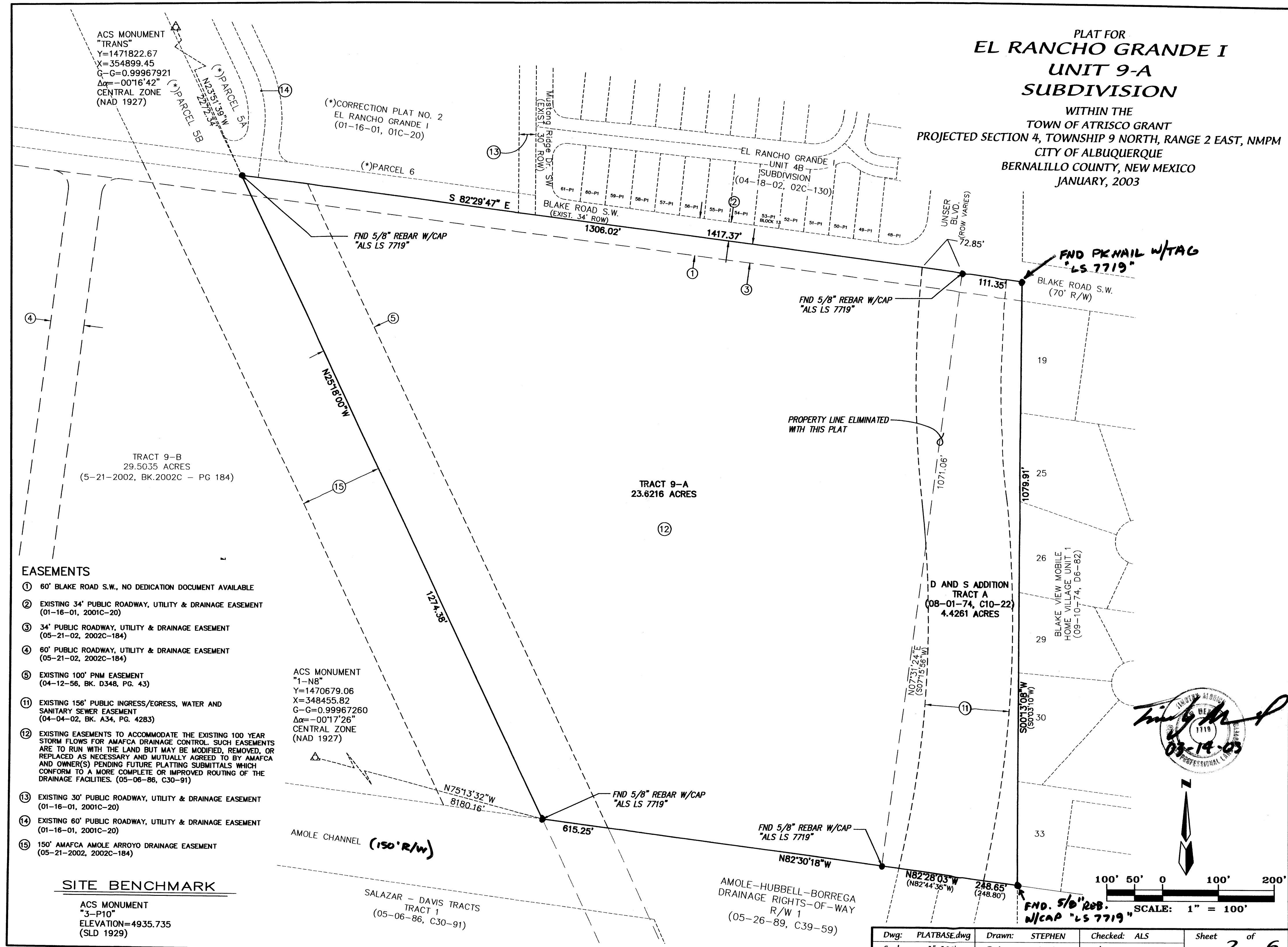


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Scale: 1"=1"	Date: 02/05/03	Job: A02067	

F:\A02\067\A2067 EL RANCHO GRANDE 9\final plat\COVER.dwg, 02/05/03 09:17:32 AM, stephen

PLAT FOR
**EL RANCHO GRANDE I
 UNIT 9-A
 SUBDIVISION**

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2003



- EASEMENTS**
- ① 60' BLAKE ROAD S.W., NO DEDICATION DOCUMENT AVAILABLE
 - ② EXISTING 34' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (01-16-01, 2001C-20)
 - ③ 34' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (05-21-02, 2002C-184)
 - ④ 60' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (05-21-02, 2002C-184)
 - ⑤ EXISTING 100' PNM EASEMENT (04-12-56, BK. D348, PG. 43)
 - ⑪ EXISTING 156' PUBLIC INGRESS/EGRESS, WATER AND SANITARY SEWER EASEMENT (04-04-02, BK. A34, PG. 4283)
 - ⑫ EXISTING EASEMENTS TO ACCOMMODATE THE EXISTING 100 YEAR STORM FLOWS FOR AMAFCA DRAINAGE CONTROL. SUCH EASEMENTS ARE TO RUN WITH THE LAND BUT MAY BE MODIFIED, REMOVED, OR REPLACED AS NECESSARY AND MUTUALLY AGREED TO BY AMAFCA AND OWNER(S) PENDING FUTURE PLATTING SUBMITTALS WHICH CONFORM TO A MORE COMPLETE OR IMPROVED ROUTING OF THE DRAINAGE FACILITIES. (05-06-86, C30-91)
 - ⑬ EXISTING 30' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (01-16-01, 2001C-20)
 - ⑭ EXISTING 60' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (01-16-01, 2001C-20)
 - ⑮ 150' AMAFCA AMOLE ARROYO DRAINAGE EASEMENT (05-21-2002, 2002C-184)

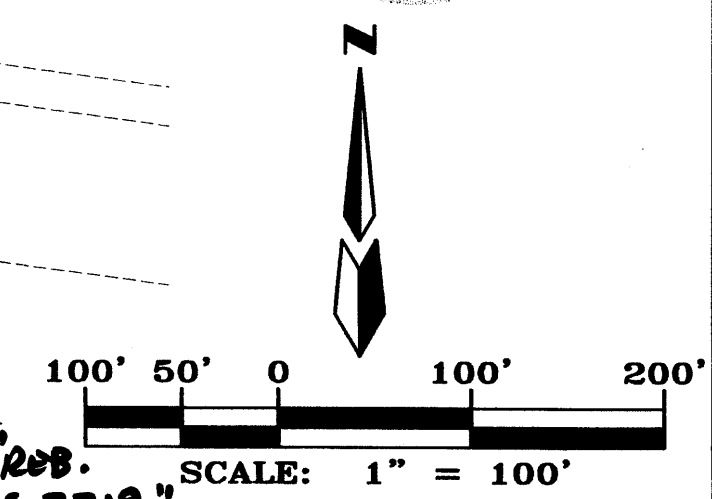
SITE BENCHMARK

ACS MONUMENT
 "3-P10"
 ELEVATION=4935.735
 (SLD 1929)

ACS MONUMENT
 "1-N8"
 Y=1470679.06
 X=348455.82
 G-G=0.99967260
 Δα=-00'17'26"
 CENTRAL ZONE
 (NAD 1927)

AMOLE CHANNEL (150' R/W)
 SALAZAR - DAVIS TRACTS
 TRACT 1
 (05-06-86, C30-91)

AMOLE-HUBBELL-BORREGA
 DRAINAGE RIGHTS-OF-WAY
 R/W 1
 (05-26-89, C39-59)

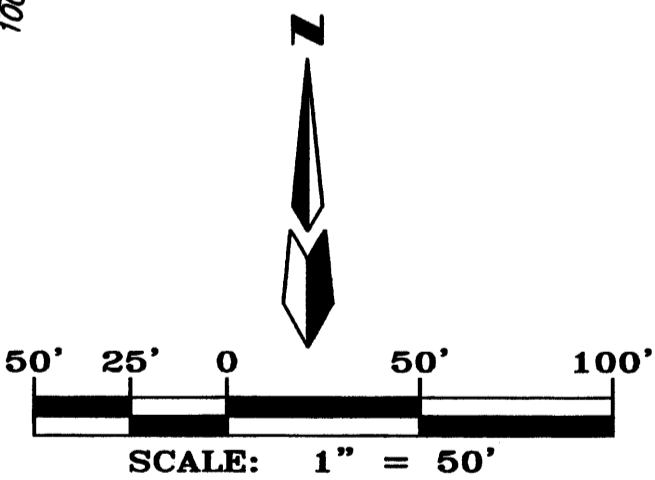
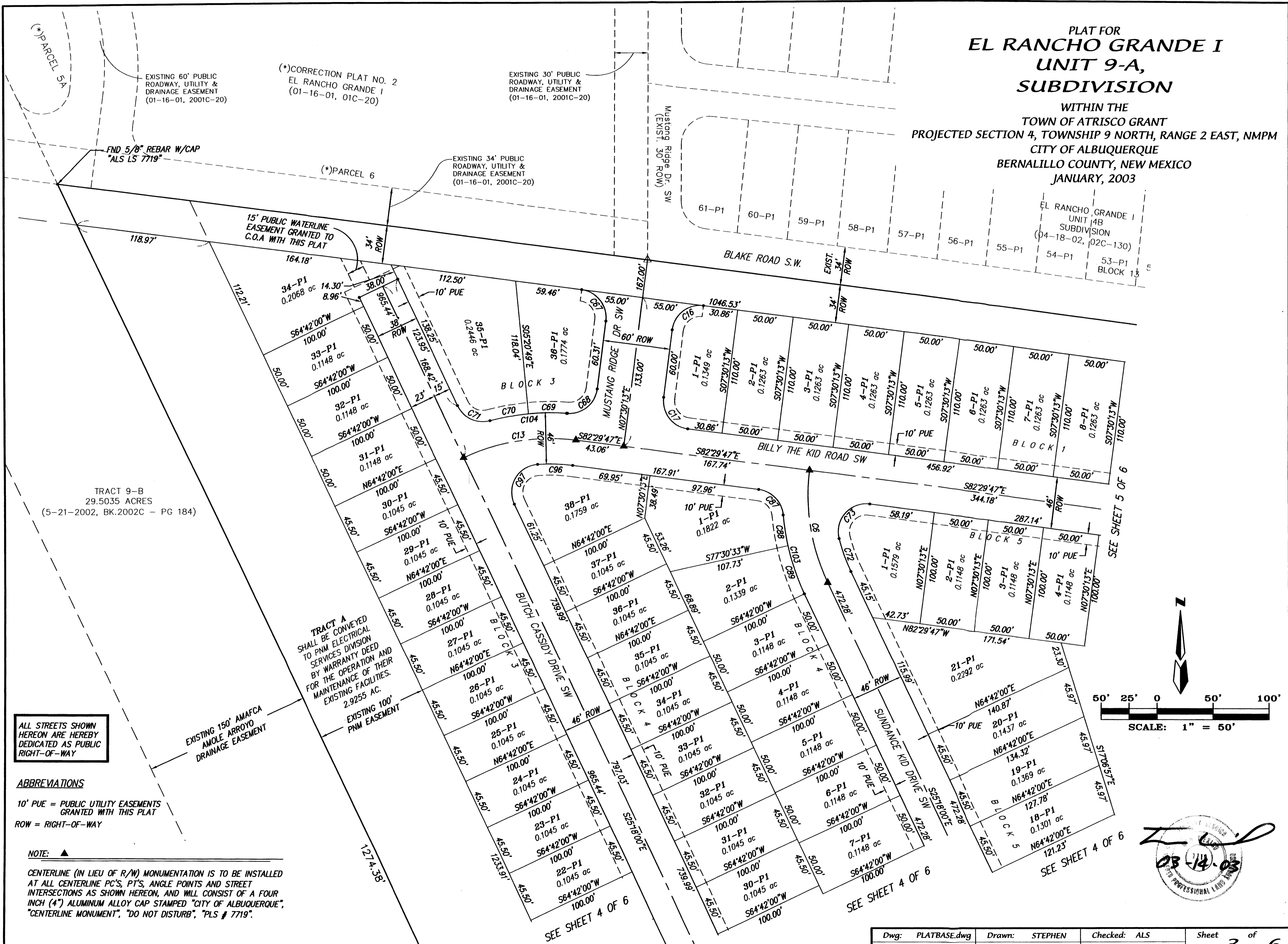


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PLAT FOR
**EL RANCHO GRANDE I
 UNIT 9-A,
 SUBDIVISION**

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2003

EL RANCHO GRANDE I
 UNIT 4B
 SUBDIVISION
 (04-18-02, 02C-130)
 53-P1
 BLOCK 13



ALL STREETS SHOWN
 HEREON ARE HEREBY
 DEDICATED AS PUBLIC
 RIGHT-OF-WAY

ABBREVIATIONS
 10' PUE = PUBLIC UTILITY EASEMENTS
 GRANTED WITH THIS PLAT
 ROW = RIGHT-OF-WAY

NOTE: ▲
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED
 AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET
 INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR
 INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE",
 "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

TRACT A
 SHALL BE CONVEYED
 TO PNM ELECTRICAL
 SERVICES DIVISION
 BY WARRANTY DEED
 FOR THE OPERATION AND
 MAINTENANCE OF THEIR
 EXISTING FACILITIES.
 2.9255 AC.
 EXISTING 100'
 PNM EASEMENT

EXISTING 150' AMAFCA
 AMOLE ARROYO
 DRAINAGE EASEMENT

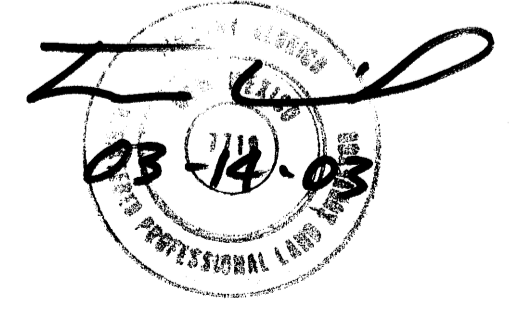
TRACT 9-B
 29.5035 ACRES
 (5-21-2002, BK.2002C - PG 184)

SEE SHEET 4 OF 6

SEE SHEET 4 OF 6

SEE SHEET 5 OF 6

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Scale: 1"=50'	Date: 03/13/03	Job: A02067	



NOTE: ▲
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

ABBREVIATIONS
 10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
 ROW = RIGHT-OF-WAY

PLAT FOR
EL RANCHO GRANDE I
UNITS 9-A
SUBDIVISION
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2003

SEE SHEET 3 OF 6

SEE SHEET 3 OF 6

SEE SHEET 5 OF 6

TRACT 9-B
 29.5035 ACRES
 5-21-2002, BK.2002C - PG 184)

EXISTING 150' AMAFCA AMOLE ARROYO DRAINAGE EASEMENT

TRACT A SHALL BE CONVEYED TO PNM ELECTRICAL SERVICES DIVISION BY WARRANTY DEED FOR THE OPERATION AND MAINTENANCE OF EXISTING FACILITIES. 2.9255 AC.

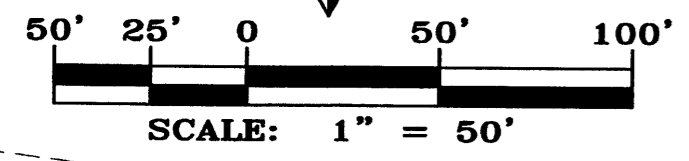
EXISTING 100' PNM EASEMENT

TRACT C
 0.8164 ac

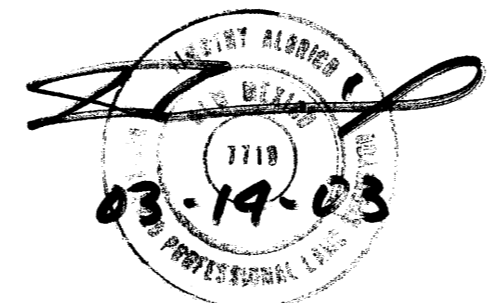
TRACT B
 1.6053 ac

AMOLE CHANNEL (150' R/W)

ROW FOR NON-VEHICULAR ACCESS (NO DIRECT ACCESS TO UNSER BLVD.)



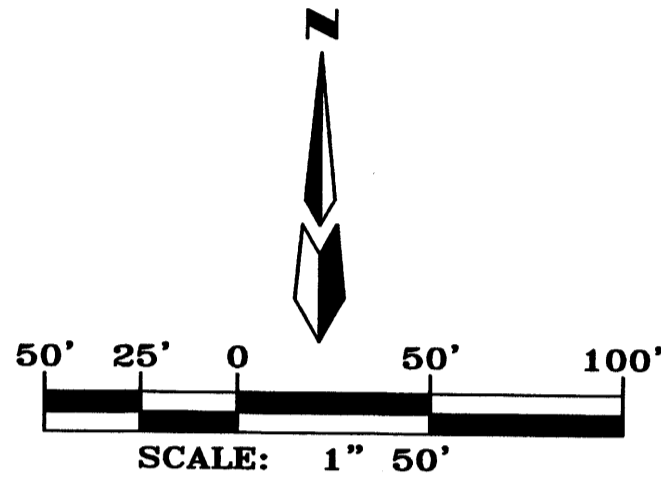
SALAZAR - DAVIS TRACTS
 TRACT 1
 (05-06-86, C30-91)



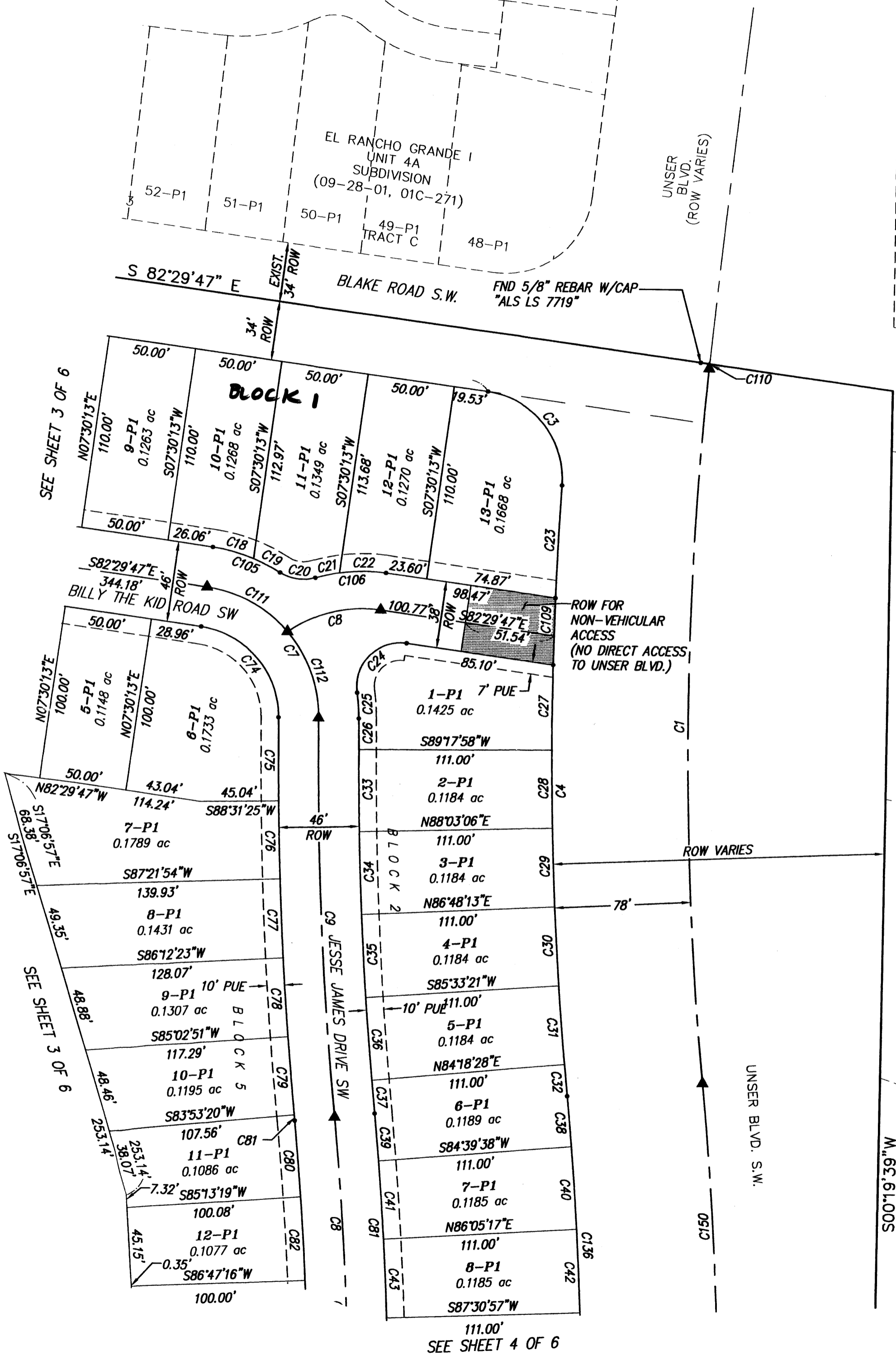
AMOLE-HUBBELL-BORREGA DRAINAGE RIGHTS-OF-WAY R/W 1 (05-26-89, C39-59)

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Scale: 1"=50'	Date: 03/13/03	Job: A02067	

NOTE: ▲
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".



PLAT FOR
EL RANCHO GRANDE I
UNITS 9-A
SUBDIVISION
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2003



ALL STREETS SHOWN
 HEREON ARE HEREBY
 DEDICATED AS PUBLIC
 RIGHT-OF-WAY

ABBREVIATIONS
 10' PUE = PUBLIC UTILITY EASEMENTS
 GRANTED WITH THIS PLAT
 ROW = RIGHT-OF-WAY

[Signature]
 03-14-03
 PROFESSIONAL ENGINEER

Dwg: PLATBASE.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 5 of 6
Scale: 1"=50'	Date: 03/13/03	Job: A02067	

PLAT FOR
EL RANCHO GRANDE I
UNITS 9-A
SUBDIVISION
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2003

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING	CH-DIST
C1	409.63'	2000.00	11'44'07"	205.54	N00'19'43"W	408.92
C2	664.15	2000.00	19'01'35"	335.16	N03'19'01"E	661.10
C3	75.01	50.00	85'57'39"	46.59	N39'30'58"W	68.17
C4	350.37	2078.00	9'39'38"	175.60	S01'21'57"E	349.95
C5	638.24	1922.00	19'01'35"	322.09	N03'19'01"E	635.32
C6	103.06	180.00	32'48'13"	52.98	S08'53'54"E	101.65
C7	107.68	75.00	82'15'46"	65.50	N41'21'54"W	98.67
C8	56.08	75.00	42'50'40"	29.43	S76'04'53"W	54.79
C9	230.20	2212.00	5'57'46"	115.20	S03'12'53"E	230.09
C10	418.81	1788.00	13'25'14"	210.37	N00'30'51"E	417.85
C11	118.16	75.00	90'16'15"	75.36	N52'21'35"E	106.32
C12	179.71	180.00	57'12'18"	98.15	S53'54'09"E	172.34
C13	103.06	180.00	32'48'13"	52.98	S81'06'07"W	101.65
C14	83.38	75.00	63'42'04"	46.59	S57'09'02"E	79.16
C15	61.17	75.00	46'43'49"	32.40	S59'08'24"E	59.49
C16	36.42	25.00	83'28'00"	22.30	S55'46'13"W	33.28
C17	39.27	25.00	90'00'00"	25.00	S37'29'47"E	35.36
C18	24.18	98.00	14'08'18"	12.15	N75'25'38"W	24.12
C19	17.13	98.00	10'00'52"	8.59	N63'21'02"W	17.11
C20	21.14	25.00	48'27'25"	11.25	S82'34'19"E	20.52
C21	14.20	96.50	8'25'43"	7.11	S77'24'51"W	14.18
C22	26.74	96.50	15'52'31"	13.46	S89'33'58"W	26.65
C23	63.76	2078.00	1'45'29"	31.88	S02'35'07"W	63.76
C24	46.48	25.00	106'31'56"	33.50	S44'14'15"W	40.07
C25	15.04	98.00	8'47'42"	7.54	N04'37'52"W	15.03
C26	17.84	2189.00	0'28'01"	8.92	S00'28'01"E	17.84
C27	49.06	2078.00	1'21'10"	24.53	S00'01'27"E	49.06
C28	45.26	2078.00	1'14'53"	22.63	S01'19'28"E	45.26
C29	45.26	2078.00	1'14'53"	22.63	S02'34'21"E	45.26
C30	45.26	2078.00	1'14'53"	22.63	S03'49'13"E	45.26
C31	45.26	2078.00	1'14'53"	22.63	S05'04'06"E	45.26
C32	18.27	2078.00	0'30'14"	9.14	S05'56'39"E	18.27
C33	47.68	2189.00	1'14'53"	23.84	S01'19'28"E	47.68
C34	47.68	2189.00	1'14'53"	23.84	S02'34'21"E	47.68
C35	47.68	2189.00	1'14'53"	23.84	S03'49'13"E	47.68
C36	47.68	2189.00	1'14'53"	23.84	S05'04'06"E	47.68
C37	19.25	2189.00	0'30'14"	9.63	S05'56'39"E	19.25
C38	28.74	1922.00	0'51'24"	14.37	N05'46'04"W	28.74
C39	27.08	1811.00	0'51'24"	13.54	N05'46'04"W	27.08
C40	47.89	1922.00	1'25'39"	23.95	N04'37'32"W	47.89
C41	45.12	1811.00	1'25'39"	22.56	N04'37'32"W	45.12
C42	47.89	1922.00	1'25'39"	23.95	N03'11'53"W	47.89
C43	45.12	1811.00	1'25'39"	22.56	N03'11'53"W	45.12
C44	47.89	1922.00	1'25'39"	23.95	N01'46'13"W	47.89
C45	45.12	1811.00	1'25'39"	22.56	N01'46'13"W	45.12
C46	47.89	1922.00	1'25'39"	23.95	N00'20'34"W	47.89
C47	45.12	1811.00	1'25'39"	22.56	N00'20'34"W	45.12
C48	47.89	1922.00	1'25'39"	23.95	N01'05'06"E	47.89
C49	45.12	1811.00	1'25'39"	22.56	N01'05'06"E	45.12
C50	47.89	1922.00	1'25'39"	23.95	N02'30'45"E	47.89
C51	45.12	1811.00	1'25'39"	22.56	N02'30'45"E	45.12
C52	47.89	1922.00	1'25'39"	23.95	N03'56'25"E	47.89
C53	45.12	1811.00	1'25'39"	22.56	N03'56'25"E	45.12
C54	45.12	1811.00	1'25'39"	22.56	N05'22'04"E	45.12
C55	47.89	1922.00	1'25'39"	23.95	N05'22'04"E	47.89
C56	47.89	1922.00	1'25'39"	23.95	N06'47'44"E	47.89
C57	36.12	1811.00	1'08'33"	18.06	N06'39'11"E	36.12
C58	9.02	98.00	5'16'23"	4.51	N09'51'39"E	9.02
C59	19.72	98.00	11'31'47"	9.89	N18'15'44"E	19.69
C60	46.48	25.00	106'31'56"	33.50	S29'14'20"E	40.07
C61	51.43	1922.00	1'32'00"	25.72	N08'16'33"E	51.43
C62	44.59	98.00	26'04'19"	22.69	N84'27'33"E	44.21
C63	22.82	25.00	52'18'26"	12.28	N82'25'24"W	22.04
C64	44.19	96.50	26'14'07"	22.49	S69'23'15"E	43.80
C65	202.68	203.00	57'12'18"	110.69	S53'54'09"E	194.36
C66	89.03	1922.00	2'39'15"	44.52	N11'30'11"E	89.02
C67	39.27	25.00	90'00'01"	25.00	N37'29'47"W	35.36
C68	37.96	25.00	86'59'55"	23.72	N51'00'10"E	34.42
C69	34.89	203.00	9'50'55"	17.49	S89'34'40"W	34.85
C70	34.90	203.00	9'50'58"	17.49	S79'43'44"W	34.85
C71	34.86	25.00	79'53'45"	20.94	S65'14'52"E	32.10
C72	31.46	157.00	11'28'47"	15.78	S19'33'36"E	31.40
C73	48.57	25.00	111'19'25"	36.60	S41'30'30"W	41.29
C74	74.66	52.00	82'15'46"	45.41	N41'21'54"W	68.41
C75	48.49	2235.00	1'14'35"	24.25	S00'51'18"E	48.49
C76	45.20	2235.00	1'09'31"	22.60	S02'03'21"E	45.19
C77	45.20	2235.00	1'09'31"	22.60	S03'12'52"E	45.19
C78	45.20	2235.00	1'09'31"	22.60	S04'22'23"E	45.19
C79	45.20	2235.00	1'09'31"	22.60	S05'31'54"E	45.19

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING	CH-DIST
C80	43.69	1765.00	1'25'06"	21.85	N05'29'13"W	43.69
C81	3.32	2235.00	0'05'06"	1.66	S06'09'13"E	3.32
C82	48.23	1765.00	1'33'57"	24.12	N03'59'42"W	48.23
C83	48.23	1765.00	1'33'57"	24.12	N02'25'45"W	48.23
C84	32.79	1765.00	1'03'52"	16.39	N01'06'51"W	32.79
C85	39.96	25.00	91'34'51"	25.70	N45'12'30"E	35.84
C86	57.81	52.00	63'42'04"	32.31	S57'09'02"E	54.88
C87	33.97	25.00	77'50'48"	20.19	N43'34'23"W	31.41
C88	27.78	203.00	7'50'31"	13.91	S08'34'14"E	27.76
C89	45.38	203.00	12'48'30"	22.79	S18'53'45"E	45.29
C90	9.31	98.00	5'26'36"	4.66	S28'01'18"E	9.31
C91	39.16	98.00	22'53'40"	19.84	S42'11'26"E	38.90
C92	39.11	98.00	22'51'52"	19.82	S65'04'12"E	38.85
C93	21.38	98.00	12'29'57"	10.73	S82'45'06"E	21.34
C94	39.96	25.00	91'34'51"	25.70	N43'12'39"W	35.84
C95	85.58	1765.00	2'46'41"	42.80	N03'58'07"E	85.57
C96	31.46	157.00	11'28'48"	15.78	N88'14'11"W	31.40
C97	48.57	25.00	111'19'24"	36.60	S30'21'42"W	41.29
C98	156.75	157.00	57'12'18"	85.61	S53'54'09"E	150.32
C99	81.93	52.00	90'16'15"	52.25	N52'21'35"E	73.71
C100	57.51	1765.00	1'52'00"	28.76	N06'17'27"E	57.50
C101	143.08	1765.00	4'38'41"	71.58	N04'54'07"E	143.04
C102	424.19	1811.00	13'25'14"	213.07	N00'30'51"E	423.22
C103	73.16	203.00	20'39'01"	36.98	S14'58'29"E	72.77
C104	69.79	203.00	19'41'53"	35.24	S84'39'11"W	69.45
C105	41.31	98.00	24'09'11"	20.97	N70'25'12"W	41.01
C106	40.93	96.50	24'18'14"	20.78	S85'21'06"W	40.63
C107	108.96	98.00	63'42'04"	60.88	S57'09'02"E	103.43
C108	38.03	1922.00	01'08'01"	19.01	N09'36'33"E	38.03
C109	38.23	2078.00	01'03'15"	19.12	N01'10'45"E	38.23
C110	2.67	7717.44	00'01'11"	1.33	N05'32'56"E	2.67
C111	53.84	75.00	41'07'53"	28.14	S61'55'50"E	52.69
C112	53.84	75.00	41'07'53"	28.14	N20'47'57"E	52.69
C113	224.53	1788.00	07'11'42"	112.41	N02'35'55"E	224.38
C114	194.28	1788.00	06'13'32"	97.23	N04'06'41"E	194.18
C115	59.08	75.00	45'08'07"	31.17	N29'47'31"E	57.57
C116	59.08	75.00	45'08'07"	31.17	N74'55'38"E	57.57

LINE TABLE

LINE	BEARING	DISTANCE
L1	S12'49'49"W	11.26
L2	S12'49'49"W	4.03

PUBLIC UTILITY EASEMENTS:

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. The PNM Gas Services Division for installation, maintenance and services of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat. Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.



ALTS

PLAT FOR
**EL RANCHO GRANDE I
UNIT 9-A
SUBDIVISION**

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMMP
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2003

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

DRB Project No. 1002077

Application No. 03DRB-00513

Susan Minton 4/9/03
Planning Director, City of Albuquerque, N.M. Date

Brad D. Birkm 4/9/03
City Engineer, City of Albuquerque, N.M. Date

John P. Kelly 4-9-03
Albuquerque Metropolitan Arroyo Flood Control Authority Date

Rodolfo D. ... 4-29-03
Transportation Development, City of Albuquerque, N.M. Date

Roger A. ... 4/9/03
Utility Development Division, City of Albuquerque, N.M. Date

Christina Sandoval 4/9/03
Parks and Recreation Date

M.B. ... 3-18-03
City Surveyor, City of Albuquerque, N.M. Date

N/A
Property Management, City of Albuquerque, N.M. Date

Larry G. Munt 3-19-03
PNM Gas Date

Larry G. Munt 3-19-03
PNM Electric Date

Greg ... 3-20-03
Qwest Telecommunications Date

Rita ... 3-19-03
Comcast Cable Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich 03-19-03
Timothy Aldrich P.S. No. 7719 Date



LEGAL DESCRIPTION

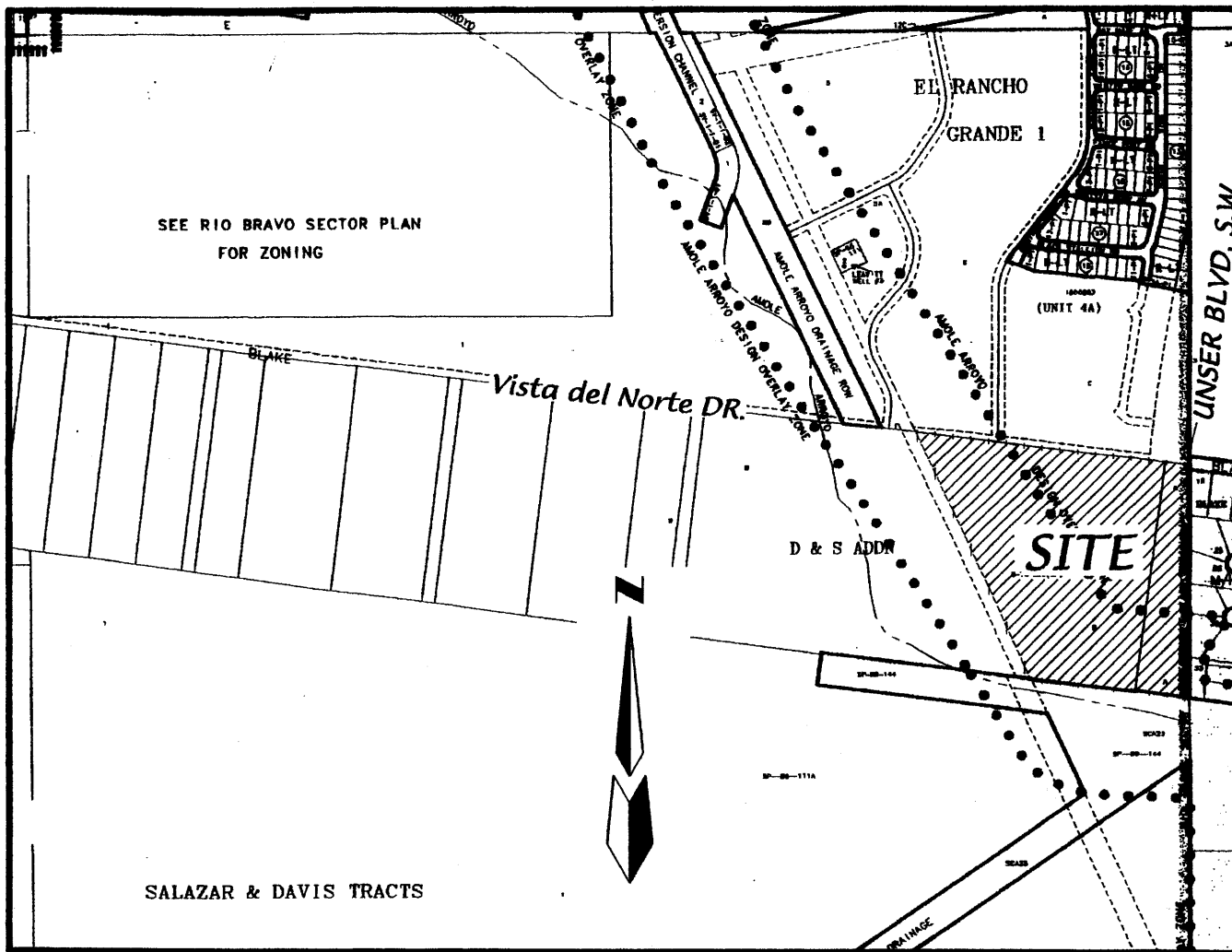
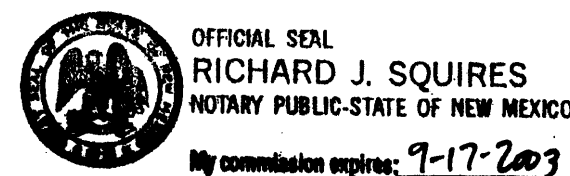
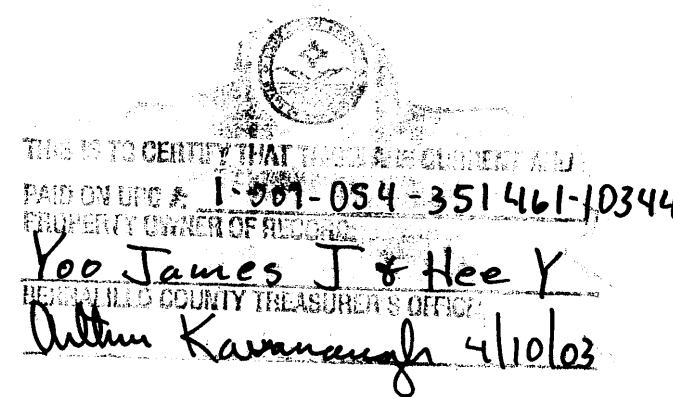
A tract of land situate within the Town of Atrisco Grant, projected Section 4, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 9-A, EL RANCHO GRANDE I, as the same is shown and designated on said bulk land plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 21, 2002 in Bk. 2002C Pg. 184 and Tract A, D and S ADDITION as shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County on August 1, 1974 in Bk. C-10, Pg. 22 and containing 28.0477 acres, more or less.

NOTES

- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances are field and record.
- Basis of boundary are the following plats (and documents) of record entitled:
BULK LAND PLAT FOR TRACTS 9-A AND 9-B (05-21-02, 2002C-184)
PLAT OF "D AND S ADDITION", (08-01-74, C10-22)
PLAT OF "SALAZAR - DAVIS TRACTS", (05-06-86, C30-91)
CORRECTION PLAT NO. 2, BULK LAND PLAT "EL RANCHO GRANDE I" (01-16-01, 01C-20)
PLAT OF "EL RANCHO GRANDE I, UNIT 4A SUBDIVISION" (09-28-01, 01C-271)
PLAT OF "AMOLE-HUBBELL-BORREGA DRAINAGE RIGHTS-OF-WAY", (05-26-89, C39-59)
- Field Survey performed March, 2002.
- Unless otherwise noted all point are SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP).

PURPOSE OF PLAT

- Subdivide Tract 9-A, EL RANCHO GRANDE I and Tract A, D and S ADDITION, into 105 Residential Lots and 3 tracts.
- Grant easements as shown.
- Dedicate right-of-way as shown.



LOCATION MAP

ZONE ATLAS N-9-Z
SCALE: NONE

SUBDIVISION DATA

Plat Case No's Project 1002077
Case # 03DRB-00513

Gross acreage 28.0477 AC
Zone Atlas No. N-9-Z
No. of existing Tracts/Lots 2 TRACTS
No. of Tracts/Lots created 3 TRACTS/105 LOTS
No. of Tracts/Lots eliminated 2 TRACTS
Miles of full width streets created 0.98
Area dedicated to the City of Albuquerque 9.6656 AC
Date of Survey March, 2002
Utility Control Location System Log Number 2002142545

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets and public right-of-ways and shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

OWNER: Curb, Inc.
BY: Charles Haegelin, President
Charles Haegelin 2-7-03
Charles Haegelin, President Date

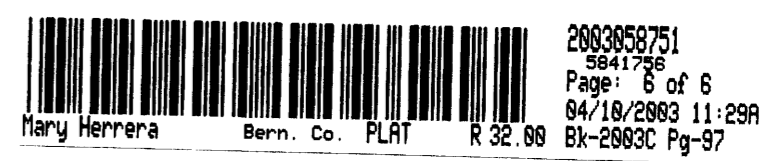
OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO
COUNTY OF BERNALILLO SS
This instrument was acknowledged before me on FEBRUARY 7th, 2003
By Charles Haegelin, President of Curb, Inc. A New Mexico Corporation on behalf of said corporation

Notary Public
NOTARY PUBLIC
SEPTEMBER 17th 2003
MY COMMISSION EXPIRES

Dwg: COVER.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 1 of 6
Scale: 1"=1"	Date: 02/05/03	Job: A02067	

PLAT FOR
EL RANCHO GRANDE I
UNITS 9-A
SUBDIVISION
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2003



CURVE TABLE						
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C9	230.20	2212.00	5'57'46"	115.20	S03'12'53"E	230.09
C10	418.81	1788.00	13'25'14"	210.37	N00'30'51"E	417.85
C11	118.16	75.00	90'16'15"	75.36	N52'21'35"E	106.32
C12	179.71	180.00	57'12'18"	98.15	S53'54'09"E	172.34
C13	103.06	180.00	32'48'13"	52.98	S81'06'07"W	101.65
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C15	61.17	75.00	46'43'49"	32.40	S59'08'24"E	59.49
C16	36.42	25.00	83'28'00"	22.30	S55'46'13"W	33.28
C17	39.27	25.00	90'00'00"	25.00	S37'29'47"E	35.36
C18	24.18	98.00	14'08'18"	12.15	N75'25'38"W	24.12
C19	17.13	98.00	10'00'52"	8.59	N63'21'02"W	17.11
C20	21.14	25.00	48'27'25"	11.25	S82'34'19"E	20.52
C21	14.20	96.50	8'25'43"	7.11	S77'24'51"W	14.18
C22	26.74	96.50	15'52'31"	13.46	S89'33'58"W	26.65
C23	63.76	2078.00	1'45'29"	31.88	S02'35'07"W	63.76
C24	46.48	25.00	106'31'56"	33.50	S44'74'15"W	40.07
C25	15.04	98.00	8'47'42"	7.54	N04'37'52"W	15.03
C26	17.84	2189.00	0'28'01"	8.92	S00'28'01"E	17.84
C27	49.06	2078.00	1'21'10"	24.53	S00'01'27"E	49.06
C28	45.26	2078.00	1'14'53"	22.63	S01'19'28"E	45.26
C29	45.26	2078.00	1'14'53"	22.63	S02'34'21"E	45.26
C30	45.26	2078.00	1'14'53"	22.63	S03'49'13"E	45.26
C31	45.26	2078.00	1'14'53"	22.63	S05'04'06"E	45.26
C32	18.27	2078.00	0'30'14"	9.14	S05'56'39"E	18.27
C33	47.68	2189.00	1'14'53"	23.84	S01'19'28"E	47.68
C34	47.68	2189.00	1'14'53"	23.84	S02'34'21"E	47.68
C35	47.68	2189.00	1'14'53"	23.84	S03'49'13"E	47.68
C36	47.68	2189.00	1'14'53"	23.84	S05'04'06"E	47.68
C37	19.25	2189.00	0'30'14"	9.63	S05'56'39"E	19.25
C38	28.74	1922.00	0'51'24"	14.37	N05'46'04"W	28.74
C39	27.08	1811.00	0'51'24"	13.54	N05'46'04"W	27.08
C40	47.89	1922.00	1'25'39"	23.95	N04'37'32"W	47.89
C41	45.12	1811.00	1'25'39"	22.56	N04'37'32"W	45.12
C42	47.89	1922.00	1'25'39"	23.95	N03'11'53"W	47.89
C43	45.12	1811.00	1'25'39"	22.56	N03'11'53"W	45.12
C44	47.89	1922.00	1'25'39"	23.95	N01'46'13"W	47.89
C45	45.12	1811.00	1'25'39"	22.56	N01'46'13"W	45.12
C46	47.89	1922.00	1'25'39"	23.95	N00'20'34"W	47.89
C47	45.12	1811.00	1'25'39"	22.56	N00'20'34"W	45.12
C48	47.89	1922.00	1'25'39"	23.95	N01'05'06"E	47.89
C49	45.12	1811.00	1'25'39"	22.56	N01'05'06"E	45.12
C50	47.89	1922.00	1'25'39"	23.95	N02'30'45"E	47.89
C51	45.12	1811.00	1'25'39"	22.56	N02'30'45"E	45.12
C52	47.89	1922.00	1'25'39"	23.95	N03'56'25"E	47.89
C53	45.12	1811.00	1'25'39"	22.56	N03'56'25"E	45.12
C54	45.12	1811.00	1'25'39"	22.56	N05'22'04"E	45.12
C55	47.89	1922.00	1'25'39"	23.95	N05'22'04"E	47.89
C56	47.89	1922.00	1'25'39"	23.95	N06'47'44"E	47.89
C57	36.12	1811.00	1'08'33"	18.06	N06'39'11"E	36.12
C58	9.02	98.00	5'16'23"	4.51	N09'51'39"E	9.02
C59	19.72	98.00	11'31'47"	9.89	N18'15'44"E	19.69
C60	46.48	25.00	106'31'56"	33.50	S29'14'20"E	40.07
C61	51.43	1922.00	1'32'00"	25.72	N08'16'33"E	51.43
C62	44.59	98.00	26'04'19"	22.69	N84'27'33"E	44.21
C63	22.82	25.00	52'18'26"	12.28	N82'25'24"W	22.04
C64	44.19	96.50	26'14'07"	22.49	S69'23'15"E	43.80
C65	202.68	203.00	57'12'18"	110.69	S53'54'09"E	194.36
C66	89.03	1922.00	2'39'15"	44.52	N11'30'11"E	89.02
C67	39.27	25.00	90'00'01"	25.00	N37'29'47"W	35.36
C68	37.96	25.00	86'59'55"	23.72	N51'00'10"E	34.42
C69	34.89	203.00	9'50'55"	17.49	S89'34'40"W	34.85
C70	34.90	203.00	9'50'58"	17.49	S79'43'44"W	34.85
C71	34.86	25.00	79'53'45"	20.94	S65'14'52"E	32.10
C72	31.46	157.00	11'28'47"	15.78	S19'33'36"E	31.40
C73	48.57	25.00	111'19'25"	36.60	S41'50'30"W	41.29
C74	74.66	52.00	82'15'46"	45.41	N41'21'54"W	68.41
C75	48.49	2235.00	1'14'35"	24.25	S00'51'18"E	48.49
C76	45.20	2235.00	1'09'31"	22.60	S02'03'21"E	45.19
C77	45.20	2235.00	1'09'31"	22.60	S03'12'52"E	45.19
C78	45.20	2235.00	1'09'31"	22.60	S04'22'23"E	45.19
C79	45.20	2235.00	1'09'31"	22.60	S05'31'54"E	45.19

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING	CH-DIST
C80	43.69	1765.00	1'25'06"	21.85	N05'29'13"W	43.69
C81	3.32	2235.00	0'05'06"	1.66	S06'09'13"E	3.32
C82	48.23	1765.00	1'33'57"	24.12	N03'59'42"W	48.23
C83	48.23	1765.00	1'33'57"	24.12	N02'25'45"W	48.23
C84	32.79	1765.00	1'03'52"	16.39	N01'06'51"W	32.79
C85	39.96	25.00	91'34'51"	25.70	N45'12'30"E	35.84
C86	57.81	52.00	63'42'04"	32.31	S57'09'02"E	54.88
C87	33.97	25.00	77'50'48"	20.19	N43'34'23"W	31.41
C88	27.78	203.00	7'50'31"	13.91	S08'34'14"E	27.76
C89	45.38	203.00	12'48'30"	22.79	S18'53'45"E	45.29
C90	9.31	98.00	5'26'36"	4.66	S28'01'18"E	9.31
C91	39.16	98.00	22'53'40"	19.84	S42'11'26"E	38.90
C92	39.11	98.00	22'51'52"	19.82	S65'04'12"E	38.85
C93	21.38	98.00	12'29'57"	10.73	S82'45'06"E	21.34
C94	39.96	25.00	91'34'51"	25.70	N43'12'39"W	35.84
C95	85.58	1765.00	2'46'41"	42.80	N03'58'07"E	85.57
C96	31.46	157.00	11'28'48"	15.78	N88'14'11"W	31.40
C97	48.57	25.00	111'19'24"	36.60	S30'21'42"W	41.29
C98	156.75	157.00	57'12'18"	85.61	S53'54'09"E	150.32
C99	81.93	52.00	90'16'15"	52.25	N52'21'35"E	73.71
C100	57.51	1765.00	1'52'00"	28.76	N06'17'27"E	57.50
C101	143.08	1765.00	4'38'41"	71.58	N04'54'07"E	143.04
C102	424.19	1811.00	13'25'14"	213.07	N00'30'51"E	423.22
C103	73.16	203.00	20'39'01"	36.98	S14'58'29"E	72.77
C104	69.79	203.00	19'41'53"	35.24	S84'39'11"W	69.45
C105	41.31	98.00	24'09'11"	20.97	N70'25'12"W	41.01
C106	40.93	96.50	24'18'14"	20.78	S85'21'06"W	40.63
C107	108.96	98.00	63'42'04"	60.88	S57'09'02"E	103.43
C108	38.03	1922.00	0'108'01"	19.01	N09'36'33"E	38.03
C109	38.23	2078.00	0'103'15"	19.12	N01'10'45"E	38.23
C110	2.67	7717.44	00'01'11"	1.33	N05'32'56"E	2.67
C111	53.84	75.00	41'07'53"	28.14	S61'55'50"E	52.69
C112	53.84	75.00	41'07'53"	28.14	N20'47'57"E	52.69
C113	224.53	1788.00	07'11'42"	112.41	N02'35'55"E	224.38
C114	194.28	1788.00	06'13'32"	97.23	N04'06'41"E	194.18
C115	59.08	75.00	45'08'07"	31.17	N29'47'31"E	57.57
C116	59.08	75.00	45'08'07"	31.17	N74'55'38"E	57.57

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S12'49'49"W	11.26
L2	S12'49'49"W	4.03

PUBLIC UTILITY EASEMENTS:

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. The PNM Gas Services Division for installation, maintenance and services of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.

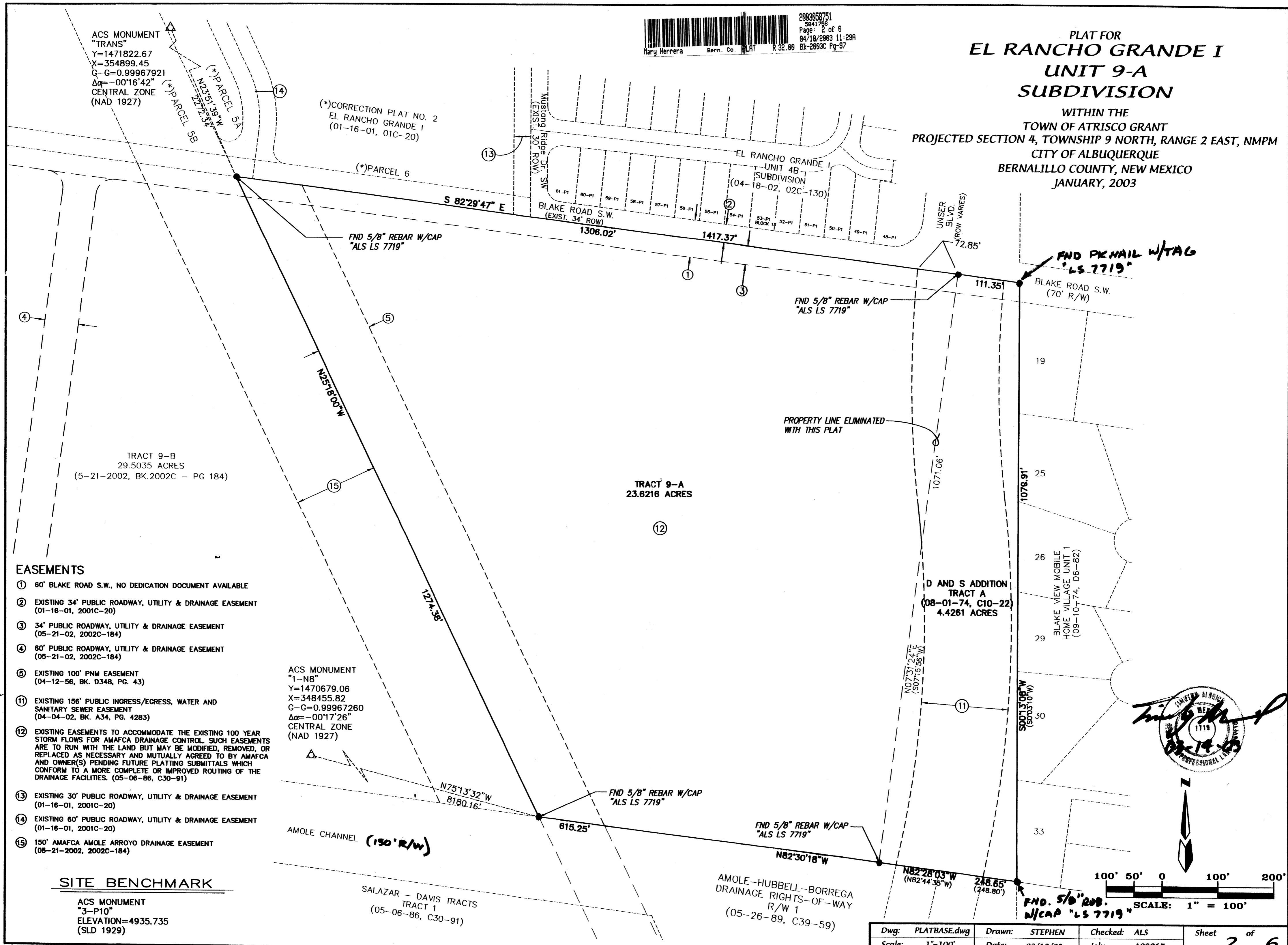
Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat. Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.



PLAT FOR
EL RANCHO GRANDE I
UNIT 9-A
SUBDIVISION

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2003



ACS MONUMENT
 "TRANS"
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 G-G=0.99967921
 Δα=-00°16'42"
 CENTRAL ZONE
 (NAD 1927)

(*)CORRECTION PLAT NO. 2
 EL RANCHO GRANDE I
 (01-16-01, 01C-20)

EL RANCHO GRANDE
 UNIT 4B
 SUBDIVISION
 (04-18-02, 02C-130)

TRACT 9-B
 29.5035 ACRES
 (5-21-2002, BK. 2002C - PG 184)

TRACT 9-A
 23.6216 ACRES

D AND S ADDITION
 TRACT A
 (08-01-74, C10-22)
 4.4261 ACRES

FND PK NAIL W/TAG
 "LS 7719"

EASEMENTS

- ① 60' BLAKE ROAD S.W., NO DEDICATION DOCUMENT AVAILABLE
- ② EXISTING 34' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (01-16-01, 2001C-20)
- ③ 34' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (05-21-02, 2002C-184)
- ④ 60' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (05-21-02, 2002C-184)
- ⑤ EXISTING 100' PNM EASEMENT (04-12-56, BK. D348, PG. 43)
- ⑥ EXISTING 156' PUBLIC INGRESS/EGRESS, WATER AND SANITARY SEWER EASEMENT (04-04-02, BK. A34, PG. 4283)
- ⑦ EXISTING EASEMENTS TO ACCOMMODATE THE EXISTING 100 YEAR STORM FLOWS FOR AMAFCA DRAINAGE CONTROL. SUCH EASEMENTS ARE TO RUN WITH THE LAND BUT MAY BE MODIFIED, REMOVED, OR REPLACED AS NECESSARY AND MUTUALLY AGREED TO BY AMAFCA AND OWNER(S) PENDING FUTURE PLATTING SUBMITTALS WHICH CONFORM TO A MORE COMPLETE OR IMPROVED ROUTING OF THE DRAINAGE FACILITIES. (05-08-86, C30-91)
- ⑧ EXISTING 30' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (01-16-01, 2001C-20)
- ⑨ EXISTING 60' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (01-16-01, 2001C-20)
- ⑩ 150' AMAFCA AMOLE ARROYO DRAINAGE EASEMENT (05-21-2002, 2002C-184)

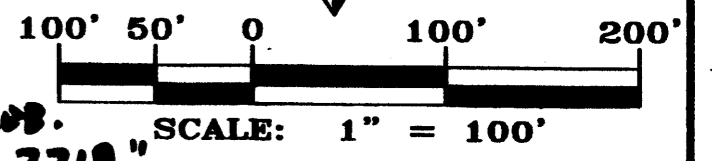
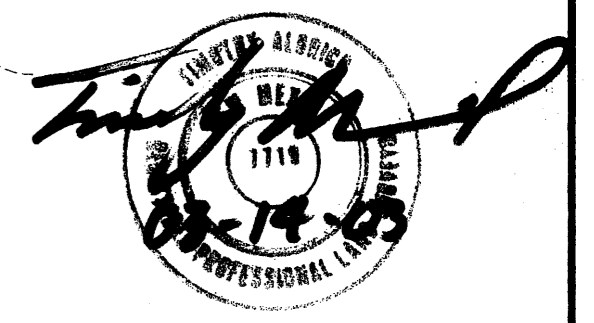
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 (NAD 1927)

SITE BENCHMARK

ACS MONUMENT
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 (SLD 1929)

SALAZAR - DAVIS TRACTS
 TRACT 1
 (05-06-86, C30-91)

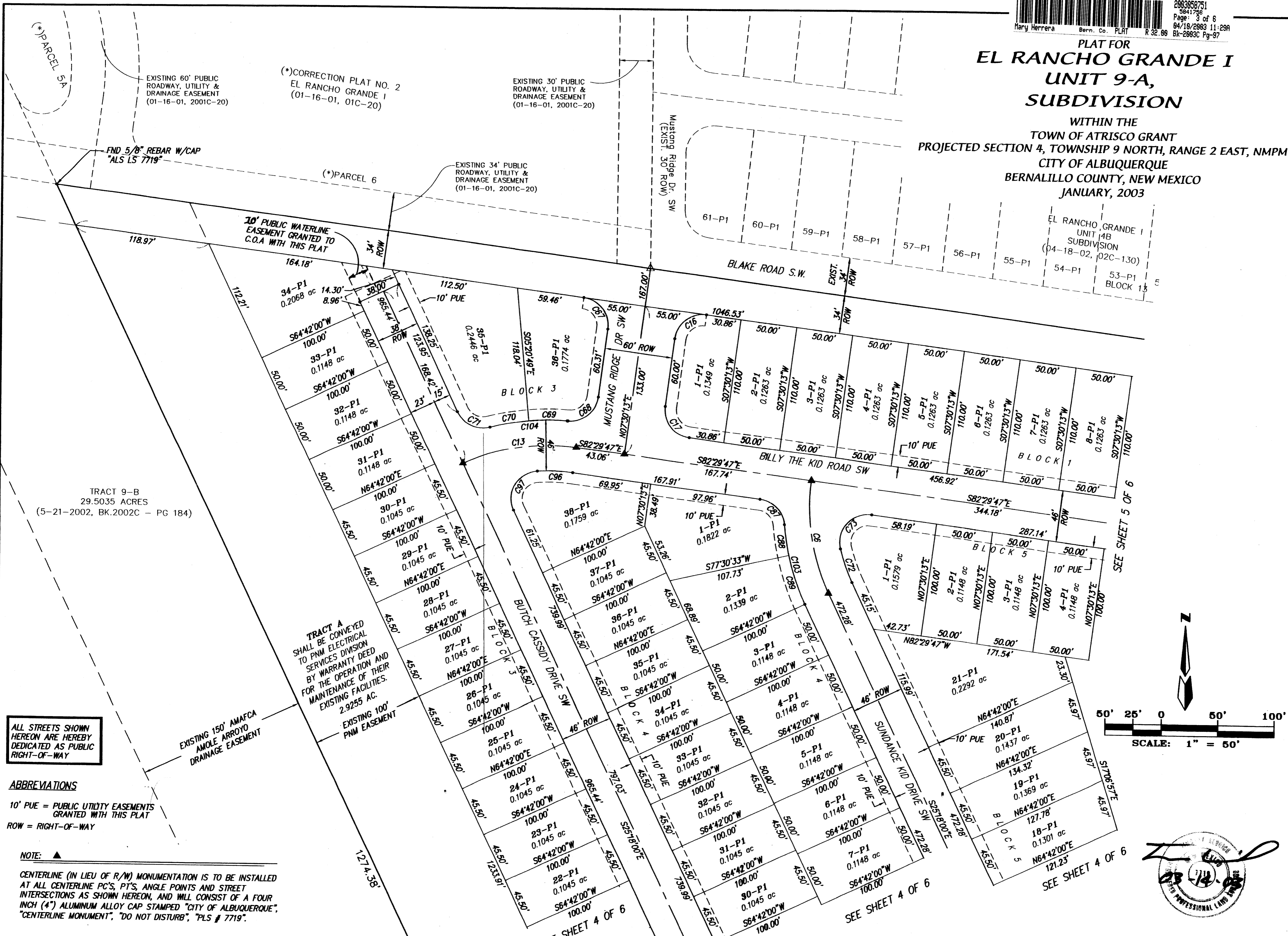
AMOLE-HUBBELL-BORREGA
 DRAINAGE RIGHTS-OF-WAY
 R/W 1
 (05-26-89, C39-59)



Dwg: PLATBASE.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 2 of 6
Scale: 1"=100'	Date: 03/13/03	Job: A02067	

PLAT FOR
**EL RANCHO GRANDE I
 UNIT 9-A,
 SUBDIVISION**

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2003



(*) PARCEL 5A

(*) CORRECTION PLAT NO. 2
 EL RANCHO GRANDE I
 (01-16-01, 01C-20)

EXISTING 30' PUBLIC
 ROADWAY, UTILITY &
 DRAINAGE EASEMENT
 (01-16-01, 2001C-20)

EXISTING 60' PUBLIC
 ROADWAY, UTILITY &
 DRAINAGE EASEMENT
 (01-16-01, 2001C-20)

(*) PARCEL 6

EXISTING 34' PUBLIC
 ROADWAY, UTILITY &
 DRAINAGE EASEMENT
 (01-16-01, 2001C-20)

FND 5/8" REBAR W/CAP
 ALS LS 7719

10' PUBLIC WATERLINE
 EASEMENT GRANTED TO
 C.O.A WITH THIS PLAT

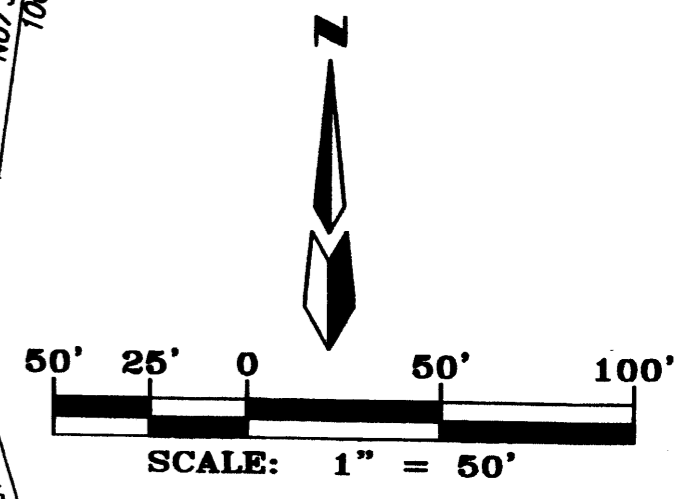
TRACT 9-B
 29.5035 ACRES
 (5-21-2002, BK.2002C - PG 184)

TRACT A
 SHALL BE CONVEYED
 TO PNM ELECTRICAL
 SERVICES DIVISION
 BY WARRANTY DEED
 FOR THE OPERATION AND
 MAINTENANCE OF THEIR
 EXISTING FACILITIES.
 2.9255 AC.
 EXISTING 100'
 PNM EASEMENT

ALL STREETS SHOWN
 HEREON ARE HEREBY
 DEDICATED AS PUBLIC
 RIGHT-OF-WAY

ABBREVIATIONS
 10' PUE = PUBLIC UTILITY EASEMENTS
 GRANTED WITH THIS PLAT
 ROW = RIGHT-OF-WAY

NOTE: ▲
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED
 AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET
 INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR
 INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE",
 "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".



NOTE: ▲
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

ABBREVIATIONS

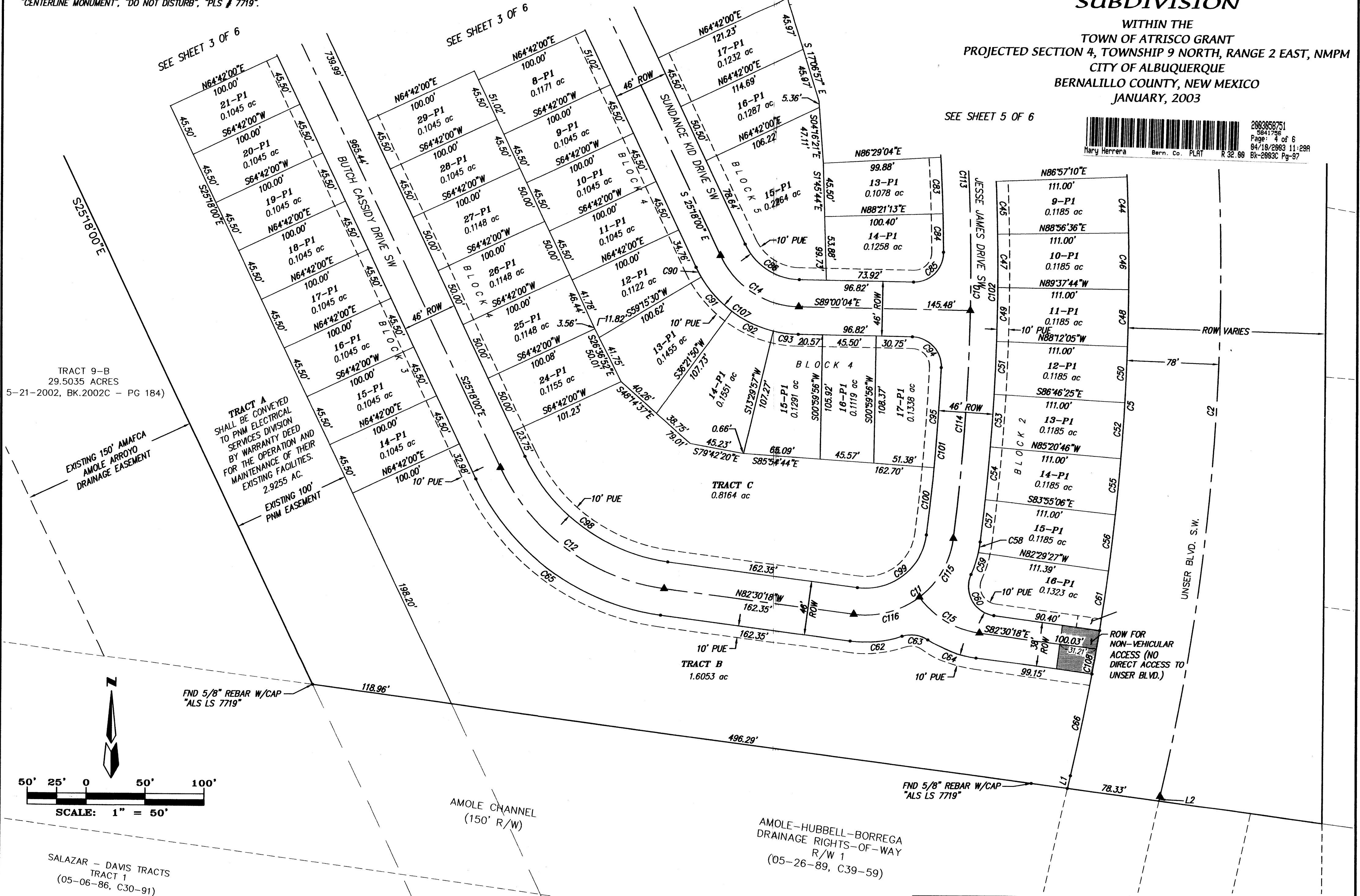
10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
 ROW = RIGHT-OF-WAY

PLAT FOR
**EL RANCHO GRANDE I
 UNITS 9-A
 SUBDIVISION**

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2003

SEE SHEET 5 OF 6

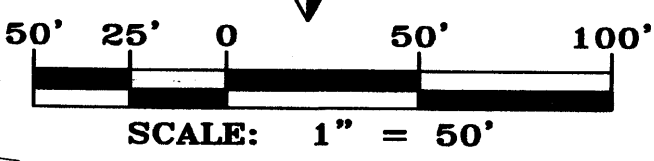
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 Page: 4 of 6
 84/18/2883 11:28A
 BK-2883C Pg-97
 Mary Herrera Bern. Co. PLAT R 32.88



TRACT A SHALL BE CONVEYED TO PNM ELECTRICAL SERVICES DIVISION BY WARRANTY DEED FOR THE OPERATION AND MAINTENANCE OF THEIR EXISTING FACILITIES. 2.9255 AC.
 EXISTING 100' PNM EASEMENT

TRACT 9-B
 29.5035 ACRES
 5-21-2002, BK.2002C - PG 184)

EXISTING 150' AMAFCA AMOLE ARROYO DRAINAGE EASEMENT



FND 5/8" REBAR W/CAP "ALS LS 7719"

FND 5/8" REBAR W/CAP "ALS LS 7719"

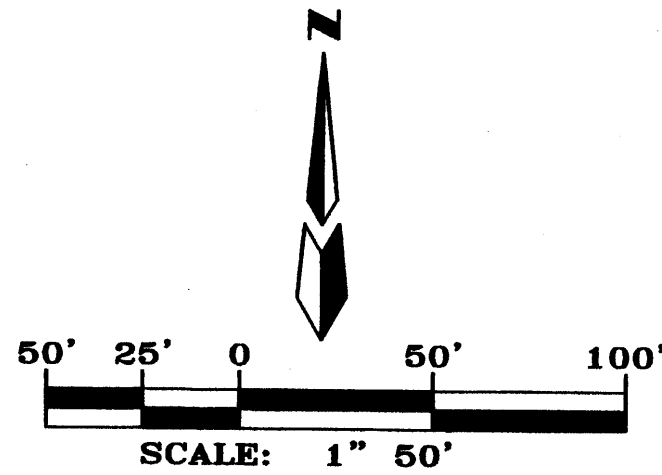
AMOLE CHANNEL (150' R/W)

AMOLE-HUBBELL-BORREGA DRAINAGE RIGHTS-OF-WAY R/W 1 (05-26-89, C39-59)

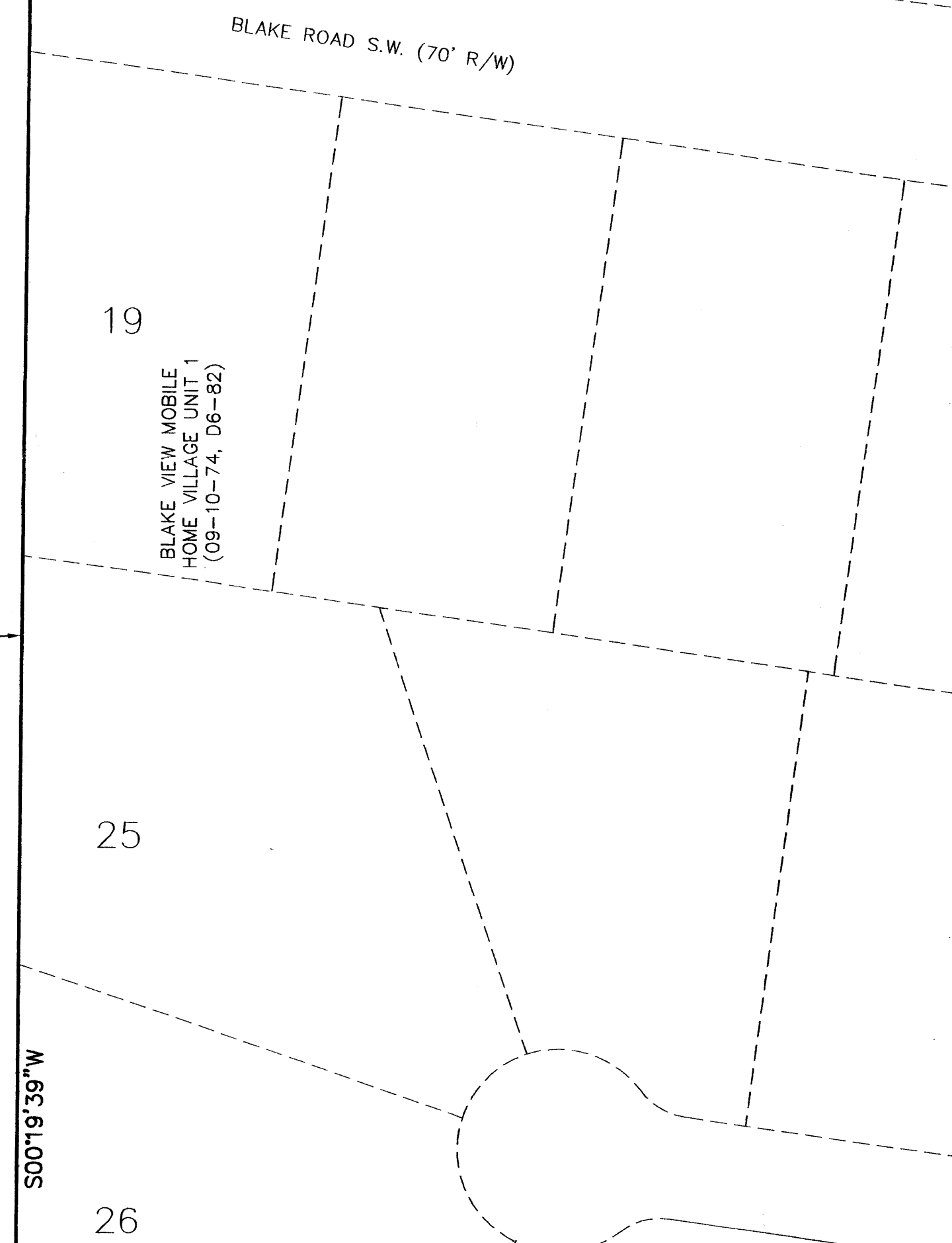
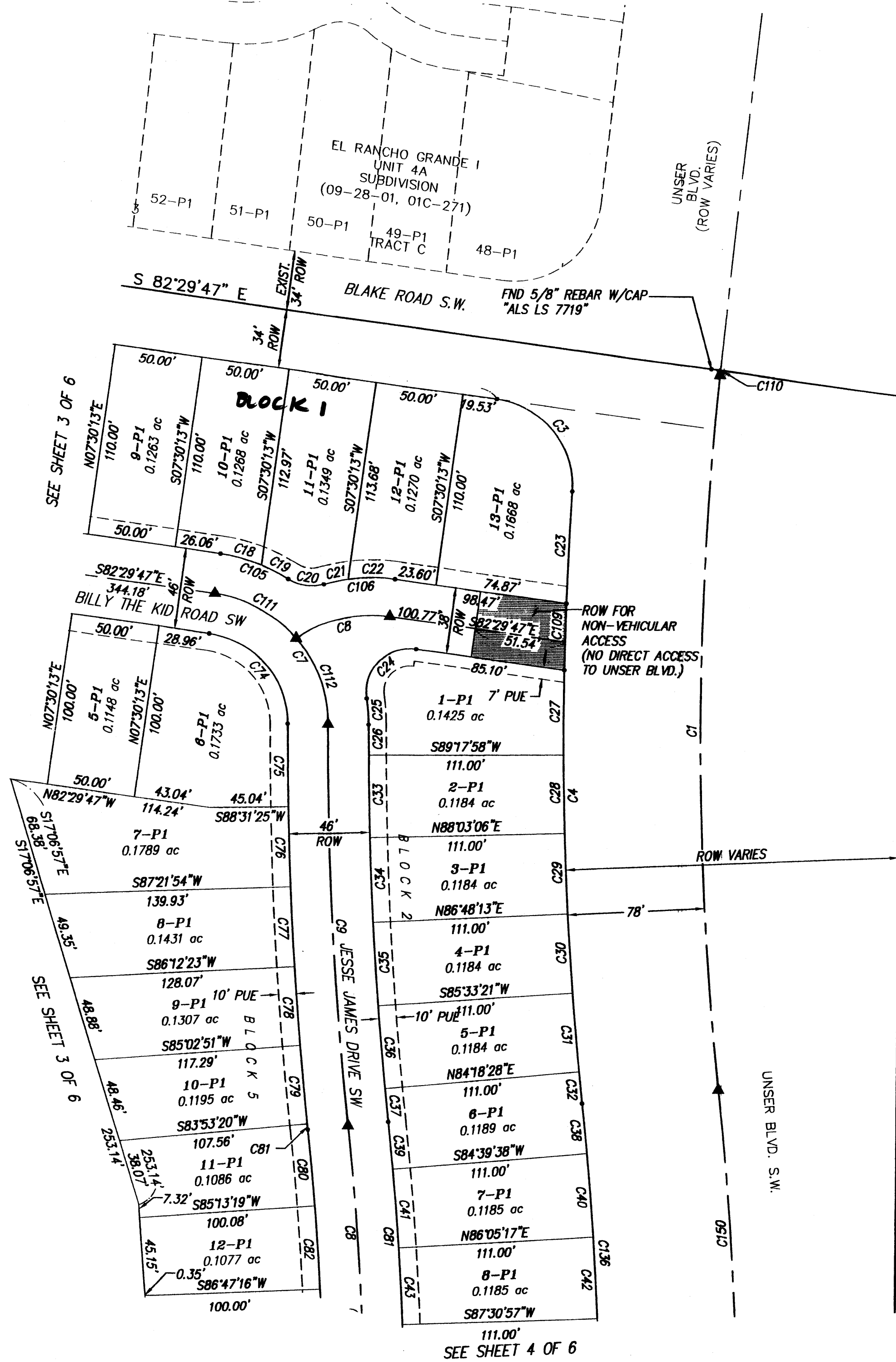
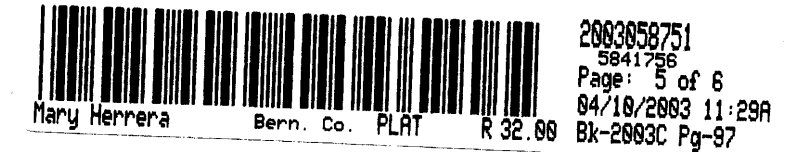
SALAZAR - DAVIS TRACTS TRACT 1 (05-06-86, C30-91)

Dwg: PLATBASE.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 4 of 6
Scale: 1"=50'	Date: 04/10/03	Job: A02067	

NOTE: ▲
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".



PLAT FOR
EL RANCHO GRANDE I
UNITS 9-A
SUBDIVISION
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2003



ALL STREETS SHOWN
 HEREON ARE HEREBY
 DEDICATED AS PUBLIC
 RIGHT-OF-WAY

ABBREVIATIONS
 10' PUE = PUBLIC UTILITY EASEMENTS
 GRANTED WITH THIS PLAT
 ROW = RIGHT-OF-WAY

Handwritten signature
 13-14-03
 PROFESSIONAL ENGINEER

Dwg: PLATBASE.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 5 of 6
Scale: 1"=50'	Date: 03/13/03	Job: A02067	6

AGIS

PLAT FOR
EL RANCHO GRANDE I
UNIT 9-A
SUBDIVISION

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY, 2003

APPROVED AND ACCEPTED BY:

APPROVAL AND CONDITIONAL ACCEPTANCE as specified by the Albuquerque subdivision Ordinance, Chapter 14 Article 14 of the Revised Ordinances of Albuquerque, New Mexico, 1994.

DRB Project No. 1002077

Application No. 03DRB-00513

Sharon Makon 4/9/03
Planning Director, City of Albuquerque, N.M. Date

Brad D. Birkm 4/9/03
City Engineer, City of Albuquerque, N.M. Date

John P. Kelly 4-9-03
Albuquerque Metropolitan Arroyo Flood Control Authority Date

Rachel D... 4-09-03
Transportation Development, City of Albuquerque, N.M. Date

Roger A. Green 4/9/03
Utility Development Division, City of Albuquerque, N.M. Date

Christina Sandoval 4/9/03
Parks and Recreation Date

[Signature] 3-18-03
City Surveyor, City of Albuquerque, N.M. Date

N/A
Property Management, City of Albuquerque, N.M. Date

Leand G. Munk 3-19-03
PNM Gas Date

Leand G. Munk 3-19-03
PNM Electric Date

[Signature] 3-20-03
Qwest Telecommunications Date

Rita Eicks 3-19-03
Comcast Cable Date

SURVEYOR'S CERTIFICATION

"I, Timothy Aldrich, a duly qualified Registered Professional Land Surveyor under the laws of the State of New Mexico, do hereby certify that this plat and description were prepared by me or under my supervision, shows all easements as shown on the plat of record or made known to me by the owners and/or proprietors of the subdivision shown hereon, utility companies and other parties expressing an interest and meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief."

Timothy Aldrich 03-14-03
Timothy Aldrich P.S. No. 7719 Date



LEGAL DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Section 4, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 9-A, EL RANCHO GRANDE I, as the same is shown and designated on said bulk land plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on May 21, 2002 in Bk. 2002C Pg. 184 and Tract A, D and S ADDITION as shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County on August 1, 1974 in Bk. C-10, Pg. 22 and containing 28.0477 acres, more or less.

NOTES

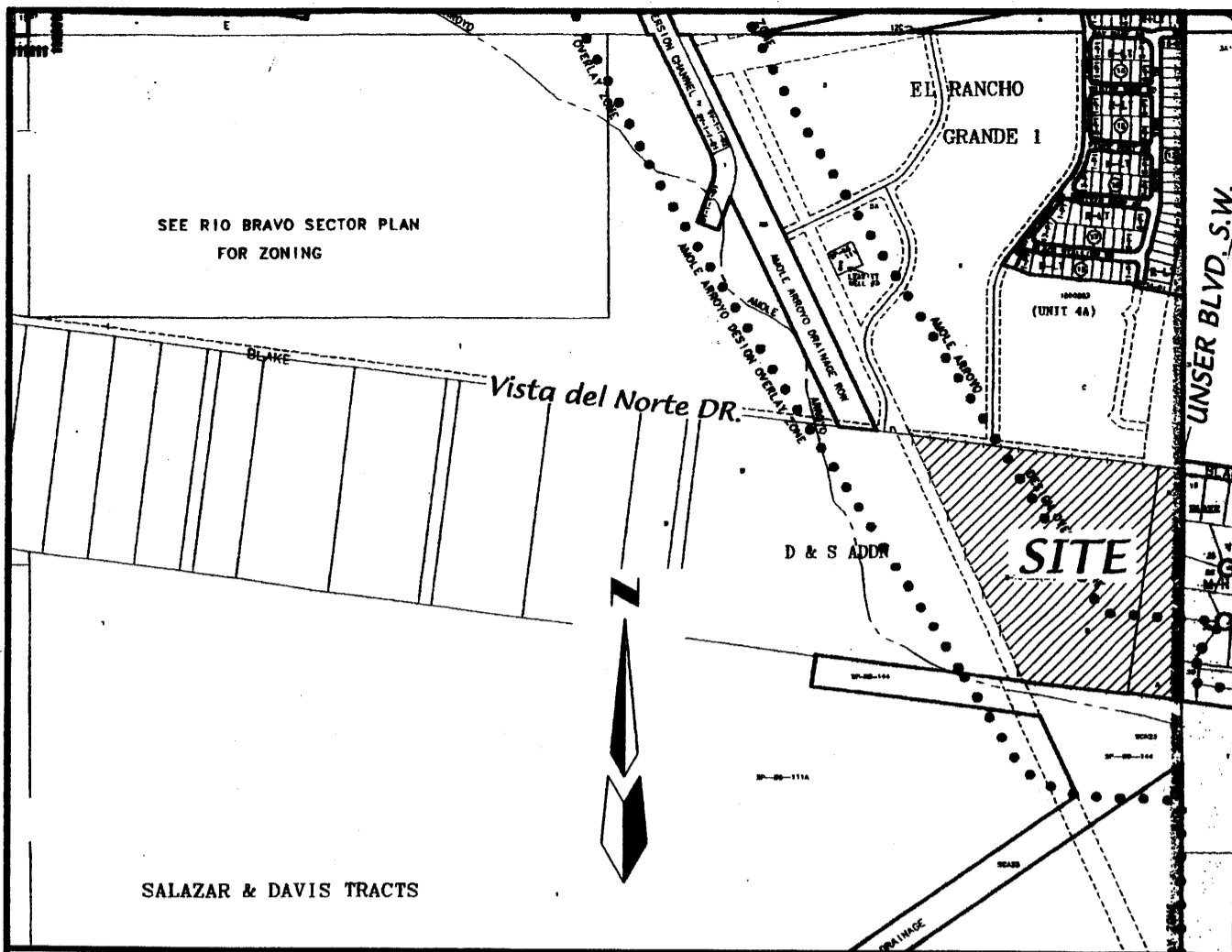
- Bearings are New Mexico State Plane Grid Bearings (Central Zone).
- Distances are ground distances.
- Bearings and distances are field and record.
- Basis of boundary are the following plats (and documents) of record entitled: BULK LAND PLAT FOR TRACTS 9-A AND 9-B (05-21-02, 2002C-184)
PLAT OF "D AND S ADDITION", (08-01-74, C10-22)
PLAT OF "SALAZAR - DAVIS TRACTS", (05-06-86, C30-91)
CORRECTION PLAT NO. 2, BULK LAND PLAT "EL RANCHO GRANDE I" (01-16-01, 01C-20)
PLAT OF "EL RANCHO GRANDE I, UNIT 4A SUBDIVISION" (09-28-01, 01C-271)
PLAT OF "AMOLE-HUBBELL-BORREGA DRAINAGE RIGHTS-OF-WAY", (05-26-89, C39-59)
- Field Survey performed March, 2002.
- Unless otherwise noted all point are SET 5/8" REBAR WITH CAP "ALS LS 7719" (TYP).

PURPOSE OF PLAT

- Subdivide Tract 9-A, EL RANCHO GRANDE I and Tract A, D and S ADDITION, into 105 Residential Lots and 3 tracts.
- Grant easements as shown.
- Dedicate right-of-way as shown.

THIS IS TO CERTIFY THAT THESE ARE CURRENT AND PAID ON UPG # 1-001-054-351461-10344 PROPERTY OWNER OF RECORD
Yoo James J & Hee Y
BERNALILLO COUNTY TREASURER'S OFFICE
William Kavanaugh 4/10/03

OFFICIAL SEAL
RICHARD J. SQUIRES
NOTARY PUBLIC-STATE OF NEW MEXICO
My commission expires: 9-17-2003



LOCATION MAP

ZONE ATLAS N-9-Z
SCALE: NONE

SUBDIVISION DATA

Plat Case No's. Project 1002077
Case # 03DRB-00513

Gross acreage 28.0477 AC
Zone Atlas No. N-9-Z
No. of existing Tracts/Lots 2 TRACTS
No. of Tracts/Lots created 3 TRACTS/105 LOTS
No. of Tracts/Lots eliminated 2 TRACTS
Miles of full width streets created 0.98
Area dedicated to the City of Albuquerque 9.6656 AC
Date of Survey March, 2002
Utility Control Location System Log Number 2002142545

FREE CONSENT AND DEDICATION:

The subdivision hereon described is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate all streets and public right-of-ways and shown hereon to the City of Albuquerque in fee simple with warranty covenants and do hereby grant: all access, utility and drainage easements shown hereon including the right to construct, operate, inspect, and maintain facilities therein; and all public utility easements shown hereon for the common and joint use of gas, electrical power and communication services for buried distribution lines, conduits, and pipes for underground utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is their free act and deed. Said owners(s) warrant that they hold among them complete and indefeasible title to the land subdivided.

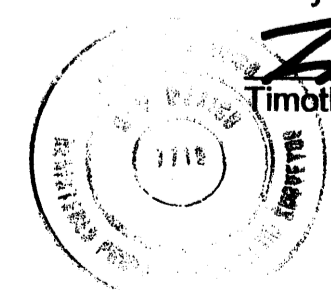
OWNER: Curb, Inc.
BY: Charles Haegelin, President
Charles Haegelin 2-7-03
Charles Haegelin, President Date

OWNER'S ACKNOWLEDGMENT

STATE OF NEW MEXICO SS
COUNTY OF BERNALILLO

This instrument was acknowledged before me on FEBRUARY 7th, 2003
By Charles Haegelin, President of Curb, Inc. A New Mexico Corporation on behalf of said corporation

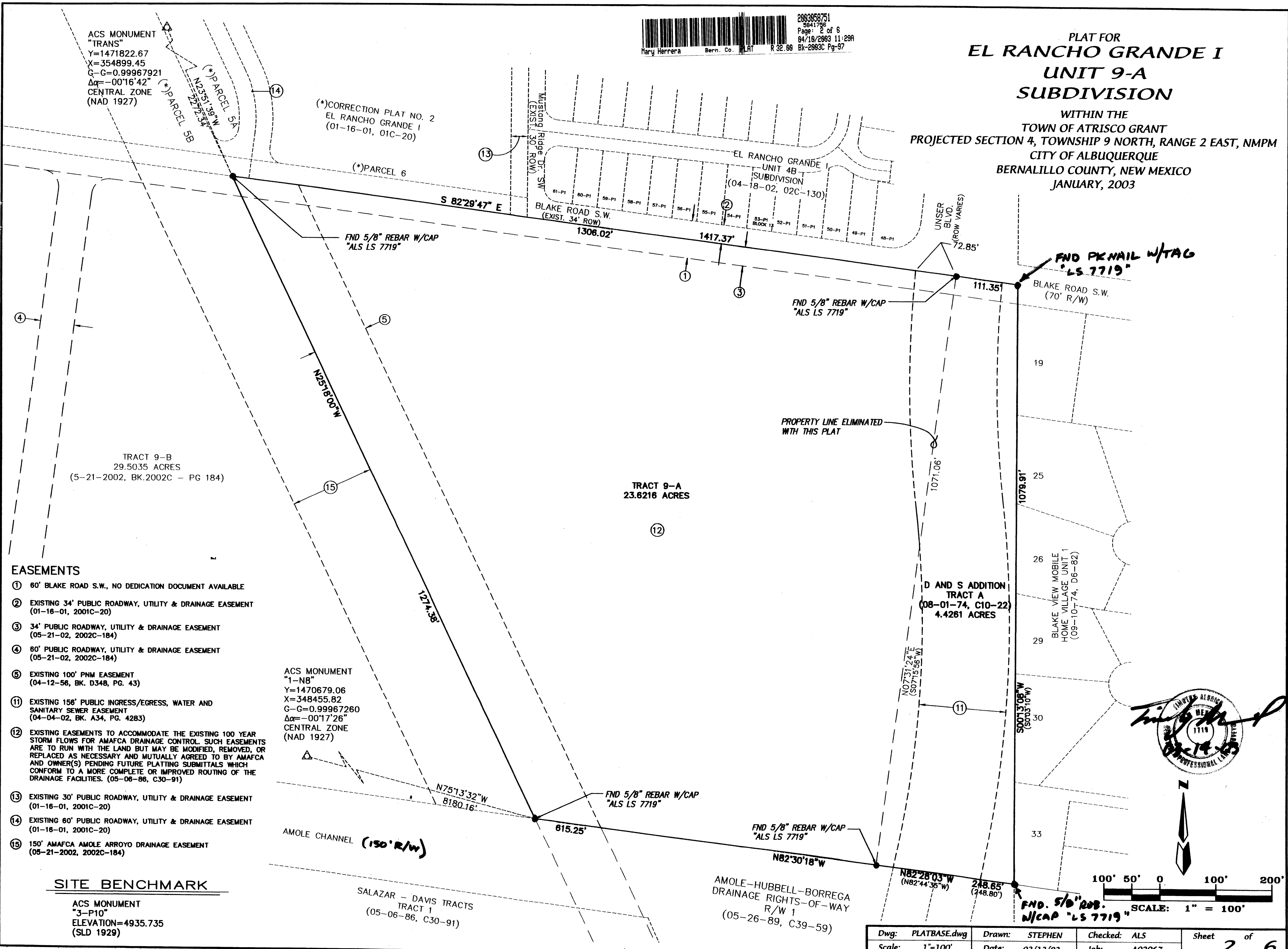
[Signature]
NOTARY PUBLIC
SEPTEMBER 17th 2003
MY COMMISSION EXPIRES



Dwg: COVER.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 1 of 6
Scale: 1"=1"	Date: 02/05/03	Job: A02067	

F:\A02\JOBS\A2067 EL RANCHO GRANDE 9\final plat\COVER.dwg: 02/05/03 09:17:32 AM: stephen

PLAT FOR
EL RANCHO GRANDE I
UNIT 9-A
SUBDIVISION
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2003



EASEMENTS

- ① 60' BLAKE ROAD S.W., NO DEDICATION DOCUMENT AVAILABLE
- ② EXISTING 34' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (01-16-01, 2001C-20)
- ③ 34' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (05-21-02, 2002C-184)
- ④ 60' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (05-21-02, 2002C-184)
- ⑤ EXISTING 100' PNM EASEMENT (04-12-56, BK. D348, PG. 43)
- ⑪ EXISTING 156' PUBLIC INGRESS/EGRESS, WATER AND SANITARY SEWER EASEMENT (04-04-02, BK. A34, PG. 4283)
- ⑫ EXISTING EASEMENTS TO ACCOMMODATE THE EXISTING 100 YEAR STORM FLOWS FOR AMAFCA DRAINAGE CONTROL. SUCH EASEMENTS ARE TO RUN WITH THE LAND BUT MAY BE MODIFIED, REMOVED, OR REPLACED AS NECESSARY AND MUTUALLY AGREED TO BY AMAFCA AND OWNER(S) PENDING FUTURE PLATTING SUBMITTALS WHICH CONFORM TO A MORE COMPLETE OR IMPROVED ROUTING OF THE DRAINAGE FACILITIES. (05-06-86, C30-91)
- ⑬ EXISTING 30' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (01-16-01, 2001C-20)
- ⑭ EXISTING 60' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (01-16-01, 2001C-20)
- ⑮ 150' AMAFCA AMOLE ARROYO DRAINAGE EASEMENT (05-21-2002, 2002C-184)

SITE BENCHMARK

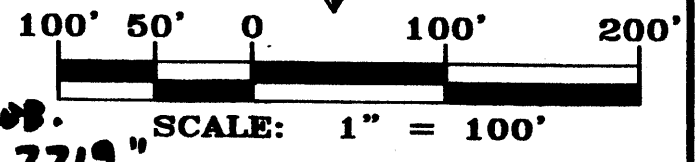
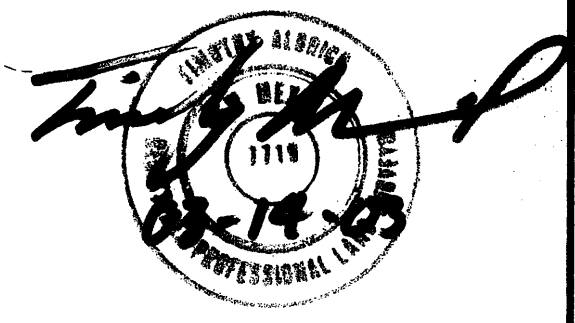
ACS MONUMENT
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 ELEVATION=4935.735
 (SLD 1929)

ACS MONUMENT
 "1-N8"
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 X=348455.82
 G-G=0.99967260
 Δα=-00'17'26"
 CENTRAL ZONE
 (NAD 1927)

SALAZAR - DAVIS TRACTS
 TRACT 1
 (05-06-86, C30-91)

AMOLE-HUBBELL-BORREGA
 DRAINAGE RIGHTS-OF-WAY
 R/W 1
 (05-26-89, C39-59)

D AND S ADDITION
 TRACT A
 (08-01-74, C10-22)
 4.4261 ACRES

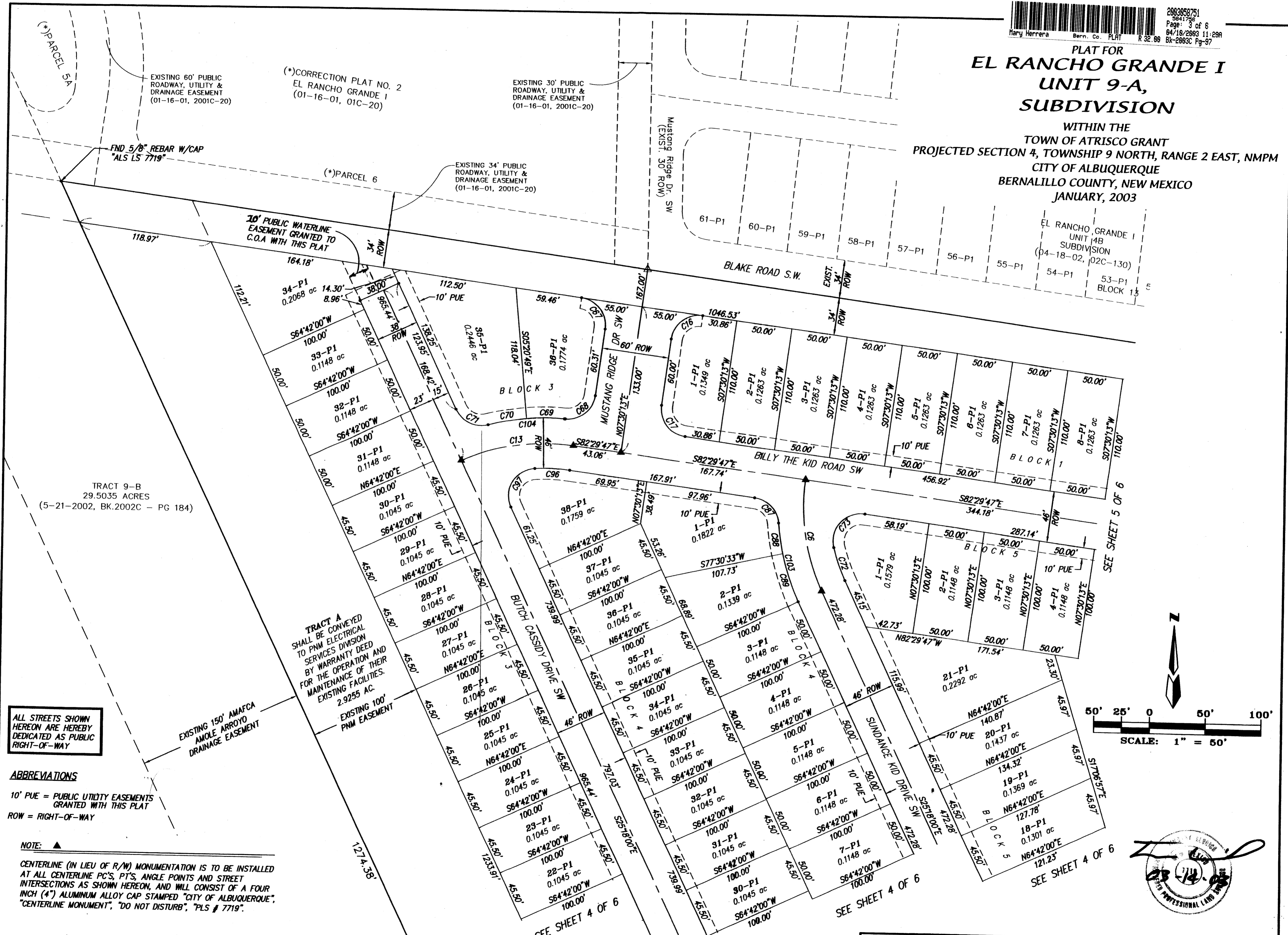


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Scale: 1"=100'	Date: 03/13/03	Job: A02067	

**PLAT FOR
 EL RANCHO GRANDE I
 UNIT 9-A,
 SUBDIVISION**

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2003

EL RANCHO GRANDE I
 UNIT 14B
 SUBDIVISION
 (04-18-02, 02C-130)
 53-P1
 BLOCK 13



EXISTING 60' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (01-16-01, 2001C-20)

(*)CORRECTION PLAT NO. 2 EL RANCHO GRANDE I (01-16-01, 01C-20)

EXISTING 30' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (01-16-01, 2001C-20)

EXISTING 34' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (01-16-01, 2001C-20)

FND 5/8" REBAR W/CAP "ALS LS 7719"

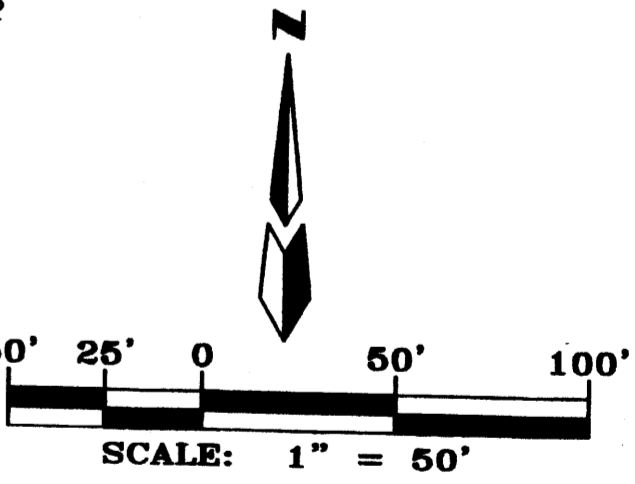
10' PUBLIC WATERLINE EASEMENT GRANTED TO C.O.A WITH THIS PLAT

TRACT A SHALL BE CONVEYED TO PNM ELECTRICAL SERVICES DIVISION BY WARRANTY DEED FOR THE OPERATION AND MAINTENANCE OF THEIR EXISTING FACILITIES. 2.9255 AC.

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

ABBREVIATIONS
 10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
 ROW = RIGHT-OF-WAY

NOTE: ▲
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".



NOTE: ▲
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

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 10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
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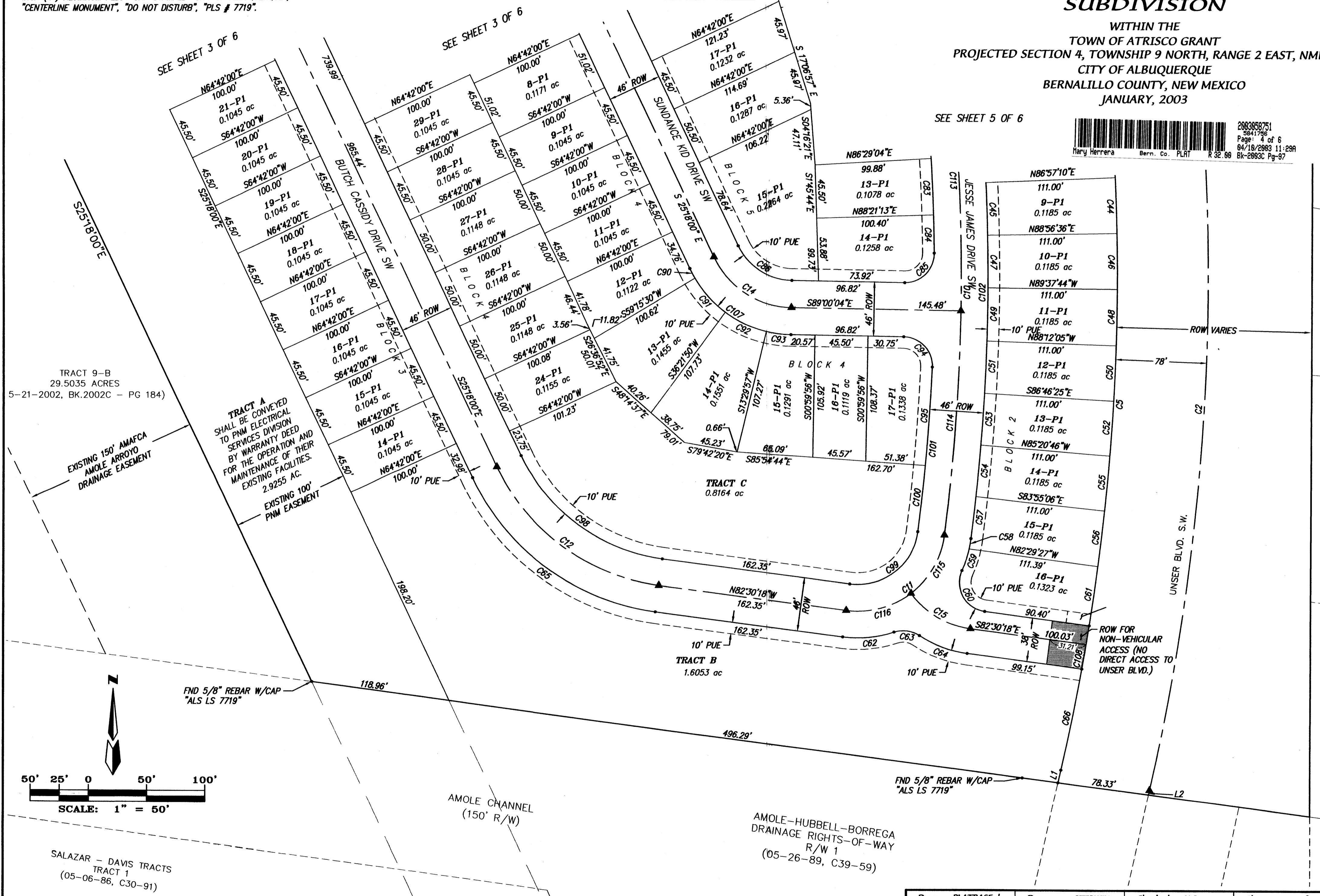
PLAT FOR
EL RANCHO GRANDE I
UNITS 9-A
SUBDIVISION
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMMP
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2003

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 Page: 4 of 6
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 Bk-2893C Pg-97

SEE SHEET 5 OF 6

SEE SHEET 3 OF 6

SEE SHEET 3 OF 6

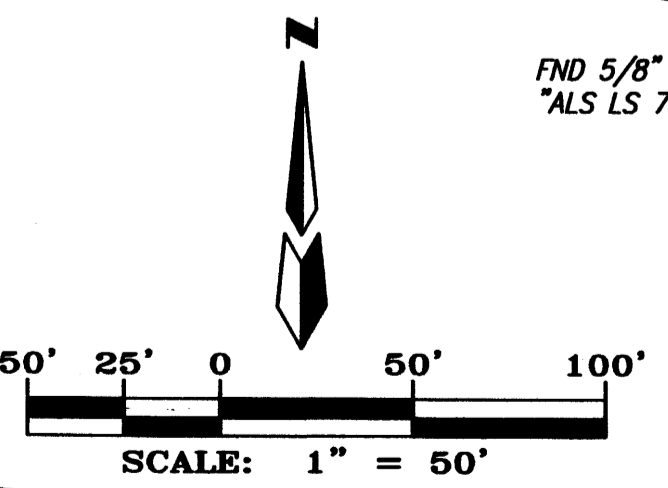


TRACT 9-B
 29.5035 ACRES
 5-21-2002, BK.2002C - PG 184)

TRACT A
 SHALL BE CONVEYED TO PNM ELECTRICAL SERVICES DIVISION BY WARRANTY DEED FOR THE OPERATION AND MAINTENANCE OF THEIR EXISTING FACILITIES. 2.9255 AC.
 EXISTING 100' PNM EASEMENT

TRACT C
 0.8164 ac

TRACT B
 1.6053 ac



FND 5/8" REBAR W/CAP "ALS LS 7719"

FND 5/8" REBAR W/CAP "ALS LS 7719"

AMOLE CHANNEL (150' R/W)

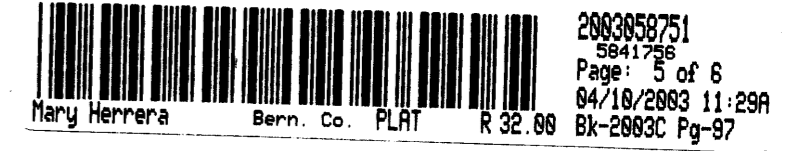
AMOLE-HUBBELL-BORREGA DRAINAGE RIGHTS-OF-WAY R/W 1 (05-26-89, C39-59)

ROW FOR NON-VEHICULAR ACCESS (NO DIRECT ACCESS TO UNSER BLVD.)

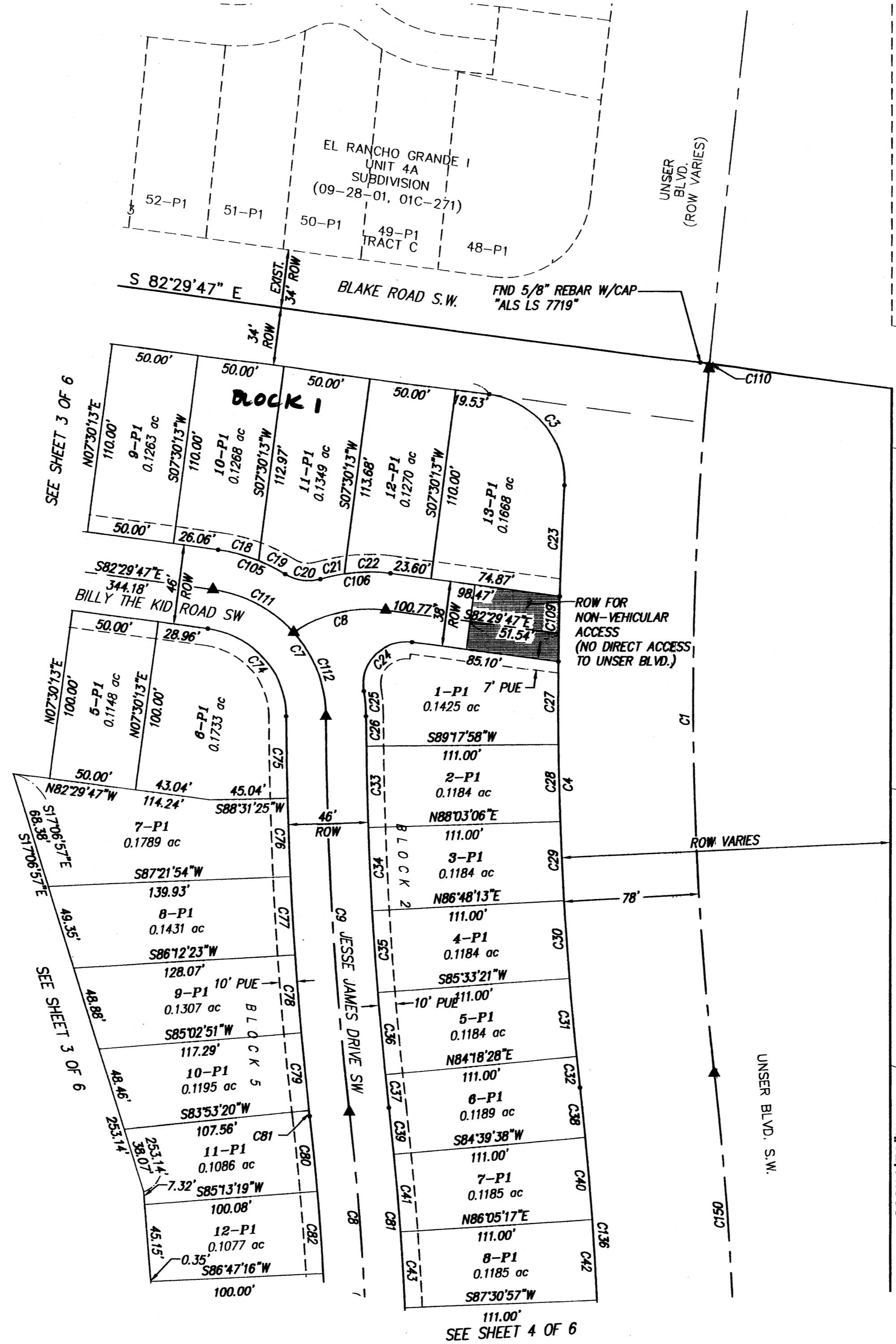
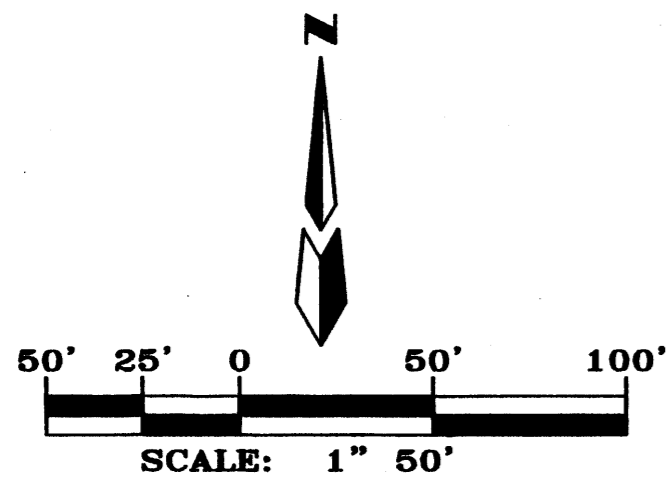
SALAZAR - DAVIS TRACTS TRACT 1 (05-06-86, C30-91)

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Scale: 1"=50'	Date: 04/10/03	Job: A02067	

PLAT FOR
EL RANCHO GRANDE I
UNITS 9-A
SUBDIVISION
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2003



NOTE: ▲
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".



ALL STREETS SHOWN
 HEREON ARE HEREBY
 DEDICATED AS PUBLIC
 RIGHT-OF-WAY

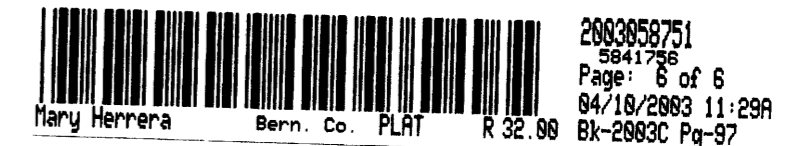
ABBREVIATIONS
 10' PUE = PUBLIC UTILITY EASEMENTS
 GRANTED WITH THIS PLAT
 ROW = RIGHT-OF-WAY



Dwg: PLATBASE.dwg	Drawn: STEPHEN	Checked: ALS	Sheet 5 of 6
Scale: 1"=50'	Date: 03/13/03	Job: A02067	5 6

PLAT FOR
EL RANCHO GRANDE I
UNITS 9-A
SUBDIVISION

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2003



PUBLIC UTILITY EASEMENTS:

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

1. The PNM Electric Services Division for the installation, maintenance and service of overhead and underground electrical lines, transformers, poles and any other equipment, fixtures, structures and related facilities reasonably necessary to provide electrical services.
2. The PNM Gas Services Division for installation, maintenance and services of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
3. Qwest for installation, maintenance and service of all buried and aerial communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
4. Comcast cable for installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included, is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate and maintain facilities for the purposes described above, together with free access to, from and over said easement, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code caused by construction of pools, decking or any structures adjacent to within or near easements shown on this plat.

In approving this plat, the utility companies did not conduct a Title Search of the properties shown hereon. Consequently, the utility companies do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat. Easements for electric transformers/switchgears, as installed, shall extend ten feet (10') in front of transformer/switchgear doors and five feet (5') on each side.



CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING	CH-DIST
C1	409.63	2000.00	11'44'07"	205.54	N00'19'43"W	408.92
C2	664.15	2000.00	19'01'35"	335.16	N03'19'01"E	661.10
C3	75.01	50.00	85'57'39"	46.59	N39'30'58"W	68.17
C4	350.37	2078.00	9'39'38"	175.60	S01'21'57"E	349.95
C5	638.24	1922.00	19'01'35"	322.09	N03'19'01"E	635.32
C6	103.06	180.00	32'48'13"	52.98	S08'53'54"E	101.65
C7	107.68	75.00	82'15'46"	65.50	N41'21'54"W	98.67
C8	56.08	75.00	42'50'40"	29.43	S76'04'53"W	54.79
C9	230.20	2212.00	5'57'46"	115.20	S03'12'53"E	230.09
C10	418.81	1788.00	13'25'14"	210.37	N00'30'51"E	417.85
C11	118.16	75.00	90'16'15"	75.36	N52'21'35"E	106.32
C12	179.71	180.00	57'12'18"	98.15	S53'54'09"E	172.34
C13	103.06	180.00	32'48'13"	52.98	S81'06'07"W	101.65
C14	83.38	75.00	63'42'04"	46.59	S57'09'02"E	79.16
C15	61.17	75.00	46'43'49"	32.40	S59'08'24"E	59.49
C16	36.42	25.00	83'28'00"	22.30	S55'46'13"W	33.28
C17	39.27	25.00	90'00'00"	25.00	S37'29'47"E	35.36
C18	24.18	98.00	14'08'18"	12.15	N75'25'38"W	24.12
C19	17.13	98.00	10'00'52"	8.59	N63'21'02"W	17.11
C20	21.14	25.00	48'27'25"	11.25	S82'34'19"E	20.52
C21	14.20	96.50	8'25'43"	7.11	S77'24'51"W	14.18
C22	26.74	96.50	15'52'31"	13.46	S89'33'58"W	26.65
C23	63.76	2078.00	1'45'29"	31.88	S02'35'07"W	63.76
C24	46.48	25.00	106'31'56"	33.50	S44'14'15"W	40.07
C25	15.04	98.00	8'47'42"	7.54	N04'37'52"W	15.03
C26	17.84	2189.00	0'28'01"	8.92	S00'28'01"E	17.84
C27	49.06	2078.00	1'21'10"	24.53	S00'01'27"E	49.06
C28	45.26	2078.00	1'14'53"	22.63	S01'19'28"E	45.26
C29	45.26	2078.00	1'14'53"	22.63	S02'34'21"E	45.26
C30	45.26	2078.00	1'14'53"	22.63	S03'49'13"E	45.26
C31	45.26	2078.00	1'14'53"	22.63	S05'04'06"E	45.26
C32	18.27	2078.00	0'30'14"	9.14	S05'56'39"E	18.27
C33	47.68	2189.00	1'14'53"	23.84	S01'19'28"E	47.68
C34	47.68	2189.00	1'14'53"	23.84	S02'34'21"E	47.68
C35	47.68	2189.00	1'14'53"	23.84	S03'49'13"E	47.68
C36	47.68	2189.00	1'14'53"	23.84	S05'04'06"E	47.68
C37	19.25	2189.00	0'30'14"	9.63	S05'56'39"E	19.25
C38	28.74	1922.00	0'51'24"	14.37	N05'46'04"W	28.74
C39	27.08	1811.00	0'51'24"	13.54	N05'46'04"W	27.08
C40	47.89	1922.00	1'25'39"	23.95	N04'37'32"W	47.89
C41	45.12	1811.00	1'25'39"	22.56	N04'37'32"W	45.12
C42	47.89	1922.00	1'25'39"	23.95	N03'11'53"W	47.89
C43	45.12	1811.00	1'25'39"	22.56	N03'11'53"W	45.12
C44	47.89	1922.00	1'25'39"	23.95	N01'46'13"W	47.89
C45	45.12	1811.00	1'25'39"	22.56	N01'46'13"W	45.12
C46	47.89	1922.00	1'25'39"	23.95	N00'20'34"W	47.89
C47	45.12	1811.00	1'25'39"	22.56	N00'20'34"W	45.12
C48	47.89	1922.00	1'25'39"	23.95	N01'05'06"E	47.89
C49	45.12	1811.00	1'25'39"	22.56	N01'05'06"E	45.12
C50	47.89	1922.00	1'25'39"	23.95	N02'30'45"E	47.89
C51	45.12	1811.00	1'25'39"	22.56	N02'30'45"E	45.12
C52	47.89	1922.00	1'25'39"	23.95	N03'56'25"E	47.89
C53	45.12	1811.00	1'25'39"	22.56	N03'56'25"E	45.12
C54	45.12	1811.00	1'25'39"	22.56	N05'22'04"E	45.12
C55	47.89	1922.00	1'25'39"	23.95	N05'22'04"E	47.89
C56	47.89	1922.00	1'25'39"	23.95	N06'47'44"E	47.89
C57	36.12	1811.00	1'08'33"	18.06	N06'39'11"E	36.12
C58	9.02	98.00	5'16'23"	4.51	N09'51'39"E	9.02
C59	19.72	98.00	11'31'47"	9.89	N18'15'44"E	19.69
C60	46.48	25.00	106'31'56"	33.50	S29'14'20"E	40.07
C61	51.43	1922.00	1'32'00"	25.72	N08'16'33"E	51.43
C62	44.59	98.00	26'04'19"	22.69	N84'27'33"E	44.21
C63	22.82	25.00	52'18'26"	12.28	N82'25'24"W	22.04
C64	44.19	96.50	26'14'07"	22.49	S69'23'15"E	43.80
C65	202.68	203.00	57'12'18"	110.69	S53'54'09"E	194.36
C66	89.03	1922.00	2'39'15"	44.52	N11'30'11"E	89.02
C67	39.27	25.00	90'00'01"	25.00	N37'29'47"W	35.36
C68	37.96	25.00	86'59'55"	23.72	N51'00'10"E	34.42
C69	34.89	203.00	9'50'55"	17.49	S89'34'40"W	34.85
C70	34.90	203.00	9'50'58"	17.49	S79'43'44"W	34.85
C71	34.86	25.00	79'53'45"	20.94	S65'14'52"E	32.10
C72	31.46	157.00	11'28'47"	15.78	S19'33'36"E	31.40
C73	48.57	25.00	111'19'25"	36.60	S41'50'30"W	41.29
C74	74.66	52.00	82'15'46"	45.41	N41'21'54"W	68.41
C75	48.49	2235.00	1'14'35"	24.25	S00'51'18"E	48.49
C76	45.20	2235.00	1'09'31"	22.60	S02'03'21"E	45.19
C77	45.20	2235.00	1'09'31"	22.60	S03'12'52"E	45.19
C78	45.20	2235.00	1'09'31"	22.60	S04'22'23"E	45.19
C79	45.20	2235.00	1'09'31"	22.60	S05'31'54"E	45.19

CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CH-BEARING	CH-DIST
C80	43.69	1765.00	1'25'06"	21.85	N05'29'13"W	43.69
C81	3.32	2235.00	0'05'06"	1.66	S06'09'13"E	3.32
C82	48.23	1765.00	1'33'57"	24.12	N03'59'42"W	48.23
C83	48.23	1765.00	1'33'57"	24.12	N02'25'45"W	48.23
C84	32.79	1765.00	1'03'52"	16.39	N01'06'51"W	32.79
C85	39.96	25.00	91'34'51"	25.70	N45'12'30"E	35.84
C86	57.81	52.00	63'42'04"	32.31	S57'09'02"E	54.88
C87	33.97	25.00	77'50'48"	20.19	N43'34'23"W	31.41
C88	27.78	203.00	7'50'31"	13.91	S08'34'14"E	27.76
C89	45.38	203.00	12'48'30"	22.79	S18'53'45"E	45.29
C90	9.31	98.00	5'26'36"	4.66	S28'01'18"E	9.31
C91	39.16	98.00	22'53'40"	19.84	S42'11'26"E	38.90
C92	39.11	98.00	22'51'52"	19.82	S65'04'12"E	38.85
C93	21.38	98.00	12'29'57"	10.73	S82'45'06"E	21.34
C94	39.96	25.00	91'34'51"	25.70	N43'12'39"W	35.84
C95	85.58	1765.00	2'46'41"	42.80	N03'58'07"E	85.57
C96	31.46	157.00	11'28'48"	15.78	N88'14'11"W	31.40
C97	48.57	25.00	111'19'24"	36.60	S30'21'42"W	41.29
C98	156.75	157.00	57'12'18"	85.61	S53'54'09"E	150.32
C99	81.93	52.00	90'16'15"	52.25	N52'21'35"E	73.71
C100	57.51	1765.00	1'52'00"	28.76	N06'17'27"E	57.50
C101	143.08	1765.00	4'38'41"	71.58	N04'54'07"E	143.04
C102	424.19	1811.00	13'25'14"	213.07	N00'30'51"E	423.22
C103	73.16	203.00	20'39'01"	36.98	S14'58'29"E	72.77
C104	69.79	203.00	19'41'53"	35.24	S84'39'11"W	69.45
C105	41.31	98.00	24'09'11"	20.97	N70'25'12"W	41.01
C106	40.93	96.50	24'18'14"	20.78	S85'21'06"W	40.63
C107	108.96	98.00	63'42'04"	60.88	S57'09'02"E	103.43
C108	38.03	1922.00	01'08'01"	19.01	N09'36'33"E	38.03
C109	38.23	2078.00	01'03'15"	19.12	N01'10'45"E	38.23
C110	2.67	7717.44	00'01'11"	1.33	N05'32'56"E	2.67
C111	53.84	75.00	41'07'53"	28.14	S61'55'50"E	52.69
C112	53.84	75.00	41'07'53"	28.14	N20'47'57"E	52.69
C113	224.53	1788.00	07'11'42"	112.41	N02'35'55"E	224.38
C114	194.28	1788.00	06'13'32"	97.23	N04'06'41"E	194.18
C115	59.08	75.00	45'08'07"	31.17	N29'47'31"E	57.57
C116	59.08	75.00	45'08'07"	31.17	N74'55'38"E	57.57

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S12'49'49"W	11.26
L2	S12'49'49"W	4.03

PRELIMINARY PLAT

EL RANCHO GRANDE I

UNITS 9-A, 9-A-1, & 9-A-2 SUBDIVISION

WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST, 2002

PRELIMINARY PLAT
APPROVED BY DRB

ON 9/4/02

IL 9/4/02
GID 8/8/02

SUBDIVISION DATA

GROSS ACREAGE **28.0477 AC.**
 ZONE/ATLAS NO. N-9
 NO. OF EXISTING TRACTS 2 TRACT
 NO. OF TRACTS/LOTS CREATED 1 TRACT/123 LOTS
 NO. OF TRACTS ELIMINATED 2 TRACT
 AREA DEDICATED TO CITY OF ALBUQUERQUE 9.6656 AC
 DATE OF SURVEY APRIL, 2002

OWNERS

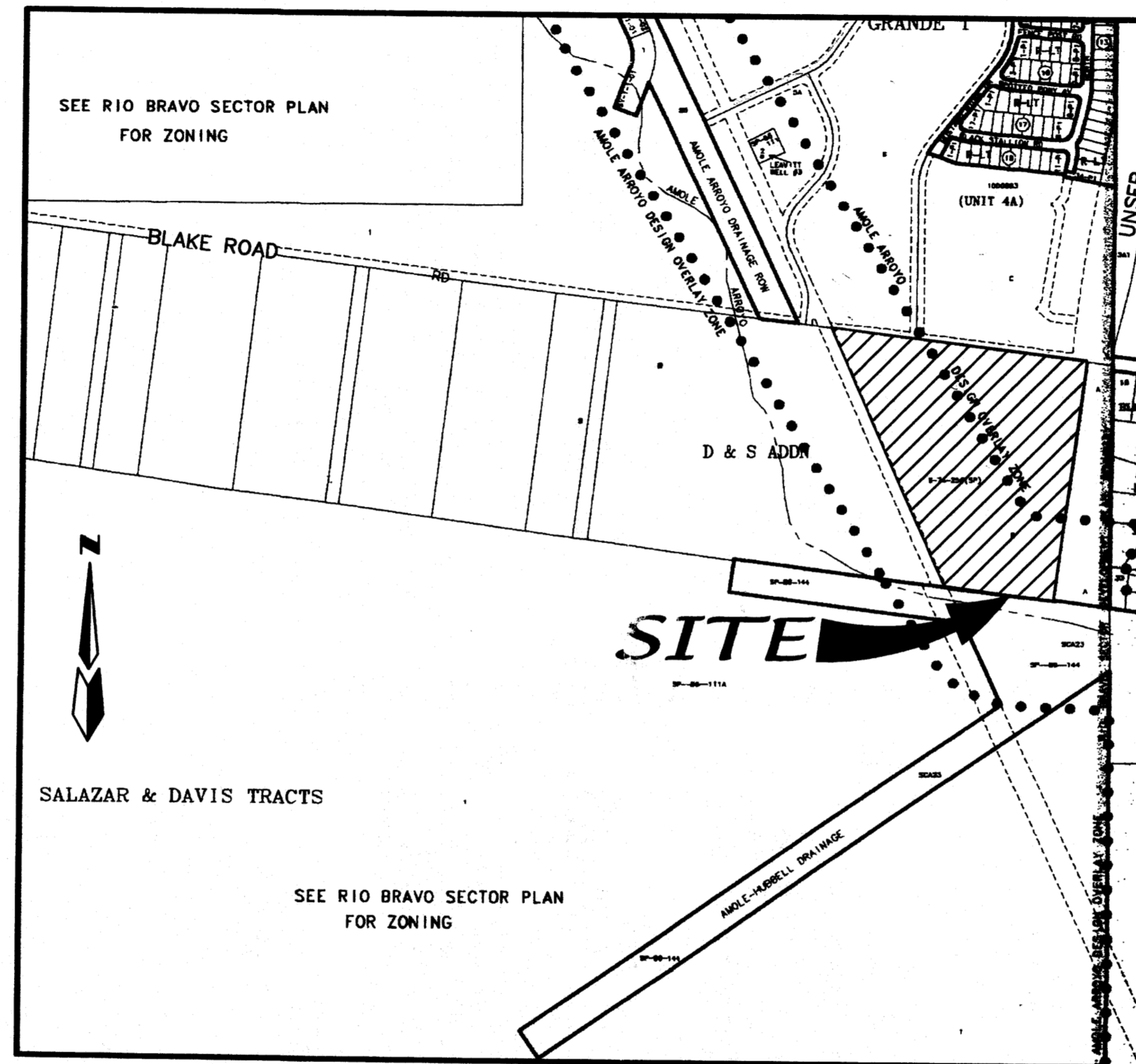
CURB INC.
6301 INDIAN SCHOOL RD. NE
ALBUQUERQUE, N.M. 87110
(505) 881-9190

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

SURVEYOR

ALDRICH LAND SURVEY
P.O. BOX 30701
ALBUQUERQUE, N.M. 87190-0701
(505) 884-1990



LOCATION MAP
NOT TO SCALE

PURPOSE OF PLAT

1. Subdivide Tract 9-A, EL RANCHO GRANDE I and Tract A, D + S ADDITION, into 124 Residential Lots and 1 tract.
2. DEDICATED RIGHT-OF-WAY AS SHOWN HEREON
3. GRANT NEW EASEMENTS AS SHOWN HEREON

LEGAL DESCRIPTION

A tract of land situate within the Town of Atrisco Grant, projected Section 4, Township 9 North, Range 2 East, New Mexico Principal Meridian, City of Albuquerque, Bernalillo County, New Mexico being all of TRACT 9-A, EL RANCHO GRANDE I, as the same is shown and designated on said bulk land plat filed for record in the office of the County Clerk of Bernalillo County, New Mexico on ~~05-21-02, 02-01-02~~ and Tract A, D + S ADDITION as shown and designated on said plat filed for record in the office of the County Clerk of Bernalillo County on August 1, 1974 in Bk. C-10, Pg. 22 and containing **28.0477 ACRES** more or less.

NOTES

1. UNLESS OTHERWISE NOTED ALL POINTS ARE "SET 5/8" REBAR WITH CAP "ALS LS 7719".
2. ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS ▲, WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED:
"CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION"
"DO NOT DISTURB"
"PLS # 7719".
3. BOUNDARY SHALL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
4. BASIS OF BEARING SHALL BE NEW MEXICO STATE PLANE GRID BEARINGS.
5. ALL DISTANCES SHALL BE GROUND DISTANCES.
6. MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

OWNERS:

Charles Haegelin 7/31/02
CHARLES HAEGELIN, PRESIDENT
CURB, INC. DATE

Bernadette Yoo 7/30/02
BERNADETTE YOO DATE

James J. Yoo 7/30/02
KYUNG KENNY YOO, Attorney-in-fact for
JAMES J. YOO, Co-Trustee for the Yoo Living
Trust Dated June 24, 1996. DATE

Kyung Kenny Yoo 7/30/02
KYUNG KENNY YOO DATE

Hee Yoel Yoo 7/30/02
KYUNG KENNY YOO, Attorney-in-fact for
HEE YOEL YOO, Co-Trustee for the Yoo Living
Trust Dated June 24, 1996. DATE

APPROVED FOR MONUMENTATION AND STREET NAMES

Alan B. Hart 8/8/02
City Surveyor, City of Albuquerque, N.M. Date

PRELIMINARY PLAT FOR
EL RANCHO GRANDE I
UNITS 9-A, 9-A-1 & 9-A-2
SUBDIVISION

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST, 2002

ACS MONUMENT
 "TRANS"
 Y=1471822.67
 X=354899.45
 G-G=0.99967921
 Δα=-00°16'42"
 CENTRAL ZONE
 (NAD 1927)

(*)CORRECTION PLAT NO. 2
 EL RANCHO GRANDE I
 (01-16-01, 01C-20)

Mustang Ridge Dr. SW
 (EXIST. 30' ROW)

EL RANCHO GRANDE
 UNIT 4B
 SUBDIVISION
 (04-18-02, 02C-130)

UNSER
 BLVD.
 (ROW VARIES)
 72.85'

TRACT 9-B
 29.5035 ACRES
 (5-21-2002, BK.2002C - PG 184)

TRACT 9-A
 23.6216 ACRES

D AND S ADDITION
 TRACT A
 (08-01-74, C10-22)
 4.4261 ACRES

BLAKE VIEW MOBILE
 HOME VILLAGE UNIT 1
 (09-10-74, D6-82)

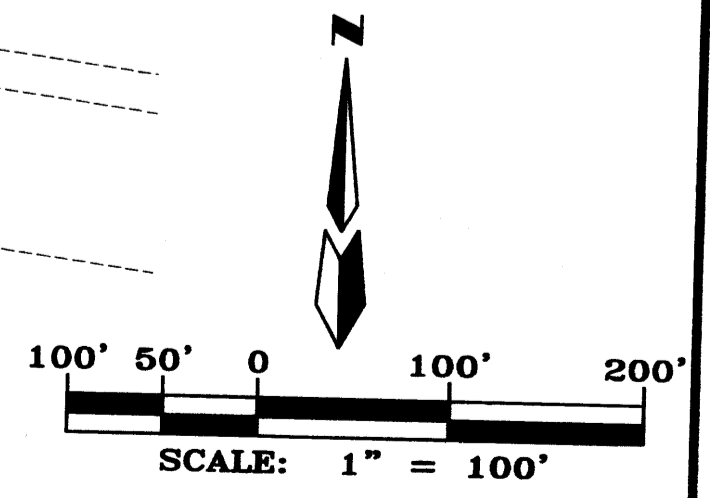
- EASEMENTS**
- ① 60' BLAKE ROAD S.W., NO DEDICATION DOCUMENT AVAILABLE
 - ② EXISTING 34' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (01-16-01, 2001C-20)
 - ③ 34' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (05-21-02, 2002C-184)
 - ④ 60' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (05-21-02, 2002C-184)
 - ⑤ EXISTING 100' PNM EASEMENT (04-12-56, BK. D348, PG. 43)
 - ⑪ EXISTING 156' PUBLIC INGRESS/EGRESS, WATER AND SANITARY SEWER EASEMENT (04-04-02, BK. A34, PG. 4283)
 - ⑫ EXISTING EASEMENTS TO ACCOMMODATE THE EXISTING 100 YEAR STORM FLOWS FOR AMAFCA DRAINAGE CONTROL. SUCH EASEMENTS ARE TO RUN WITH THE LAND BUT MAY BE MODIFIED, REMOVED, OR REPLACED AS NECESSARY AND MUTUALLY AGREED TO BY AMAFCA AND OWNER(S) PENDING FUTURE PLATTING SUBMITTALS WHICH CONFORM TO A MORE COMPLETE OR IMPROVED ROUTING OF THE DRAINAGE FACILITIES. (05-06-86, C30-91)
 - ⑬ EXISTING 30' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (01-16-01, 2001C-20)
 - ⑭ EXISTING 60' PUBLIC ROADWAY, UTILITY & DRAINAGE EASEMENT (01-16-01, 2001C-20)
 - ⑮ 150' AMAFCA AMOLE ARROYO DRAINAGE EASEMENT (05-21-2002, 2002C-184)

ACS MONUMENT
 "1-N8"
 Y=1470679.06
 X=348455.82
 G-G=0.99967260
 Δα=-00°17'26"
 CENTRAL ZONE
 (NAD 1927)

AMOLE CHANNEL
 SALAZAR - DAVIS TRACTS
 TRACT 1
 (05-06-86, C30-91)

PROPERTY LINE ELIMINATED
 WITH THIS PLAT

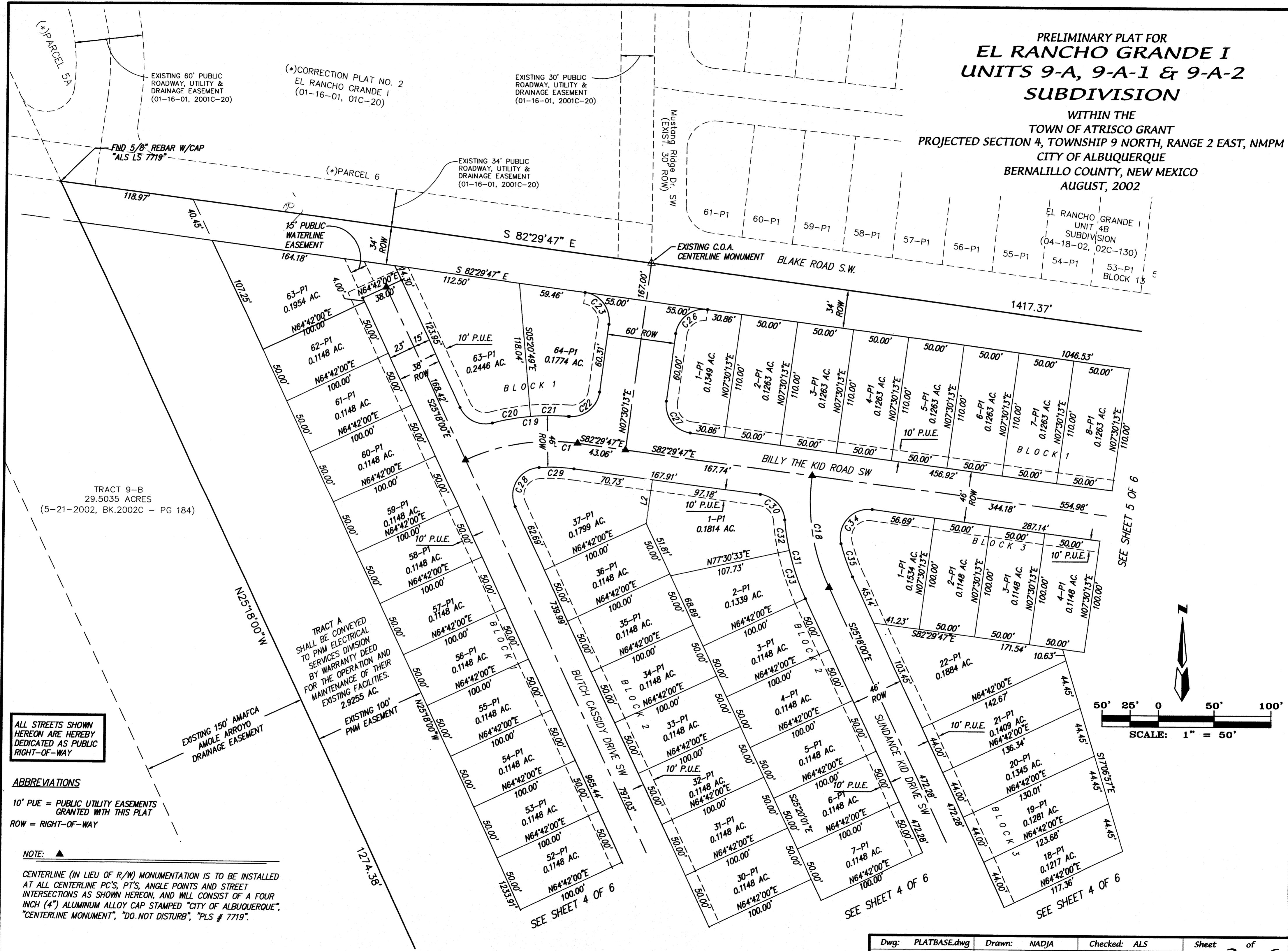
SITE BENCHMARK
 A.C.S. MONUMENT "1-M9"
 ELEVATION = 5147.87 (SLD) 1929



Dwg: PLATBASE.dwg	Drawn: NADJA	Checked: ALS	Sheet 2 of 6
Scale: 1"=100'	Date: 08/12/02	Job: A02067	

PRELIMINARY PLAT FOR
EL RANCHO GRANDE I
UNITS 9-A, 9-A-1 & 9-A-2
SUBDIVISION

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST, 2002



ALL STREETS SHOWN
 HEREON ARE HEREBY
 DEDICATED AS PUBLIC
 RIGHT-OF-WAY

ABBREVIATIONS

10' PUE = PUBLIC UTILITY EASEMENTS
 GRANTED WITH THIS PLAT
 ROW = RIGHT-OF-WAY

NOTE: ▲
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED
 AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET
 INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR
 INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE",
 "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

Dwg: PLATBASE.dwg	Drawn: NADJA	Checked: ALS	Sheet 3 of 6
Scale: 1"=50'	Date: 09/03/02	Job: A02067	

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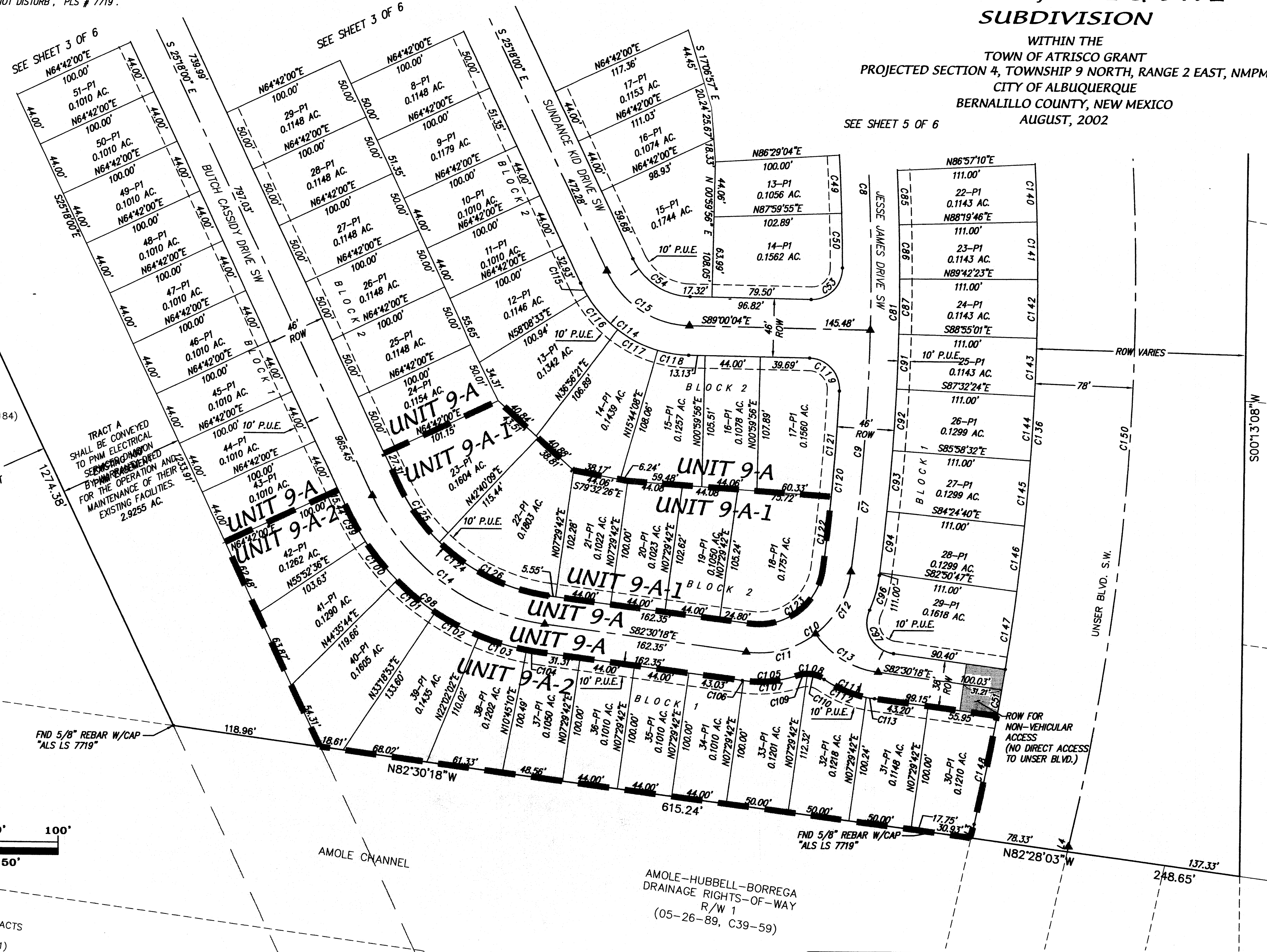
NOTE: ▲
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".

ALL STREETS SHOWN HEREON ARE HEREBY DEDICATED AS PUBLIC RIGHT-OF-WAY

ABBREVIATIONS
 10' PUE = PUBLIC UTILITY EASEMENTS GRANTED WITH THIS PLAT
 ROW = RIGHT-OF-WAY

PRELIMINARY PLAT FOR
EL RANCHO GRANDE I
UNITS 9-A, 9-A-1 & 9-A-2
SUBDIVISION

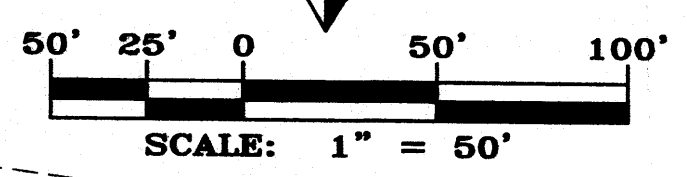
WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST, 2002



TRACT 9-B
 29.5035 ACRES
 (5-21-2002, BK.2002C - PG 184)

TRACT A
 SHALL BE CONVEYED TO PNM ELECTRICAL SERVICES CORPORATION BY PNM FOR THE OPERATION AND MAINTENANCE OF THEIR EXISTING FACILITIES.
 2.9255 AC.

EXISTING 150' AMAFCA AMOLE ARROYO DRAINAGE EASEMENT



SALAZAR - DAVIS TRACTS
 TRACT 1
 (05-06-86, C30-91)

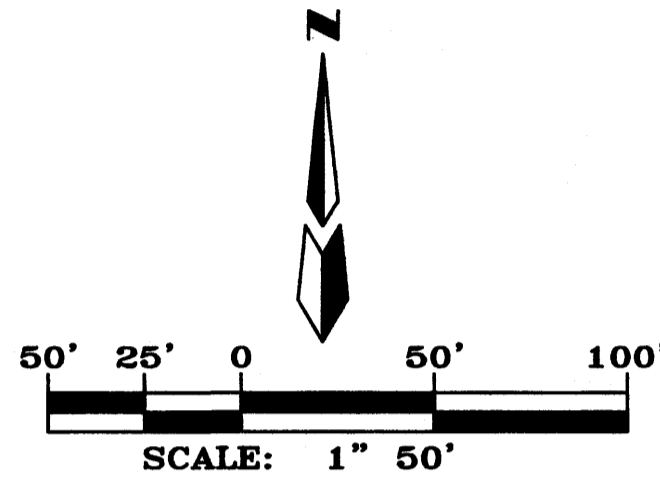
ROW FOR NON-VEHICULAR ACCESS (NO DIRECT ACCESS TO UNSER BLVD.)

AMOLE-HUBBELL-BORREGA DRAINAGE RIGHTS-OF-WAY R/W 1 (05-26-89, C39-59)

Dwg: PLATBASE.dwg	Drawn: NADJA	Checked: ALS	Sheet 4 of 6
Scale: 1"=50'	Date: 09/03/02	Job: A02067	

F:\A02\JOBS\A2067 EL RANCHO GRANDE I\PREL\PLAT\PLATBASE.dwg, sheet 5, 09/03/02 01:25:04 PM, Mark Collins, Associate

NOTE: ▲
 CENTERLINE (IN LIEU OF R/W) MONUMENTATION IS TO BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS AND STREET INTERSECTIONS AS SHOWN HEREON, AND WILL CONSIST OF A FOUR INCH (4") ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENT", "DO NOT DISTURB", "PLS # 7719".



LINE TABLE		
LINE	BEARING	LENGTH
L1	N64°27'41"E	1.50
L2	N07°30'13"E	39.70
L3	S82°30'18"E	17.75
L4	N12°49'49"E	4.03

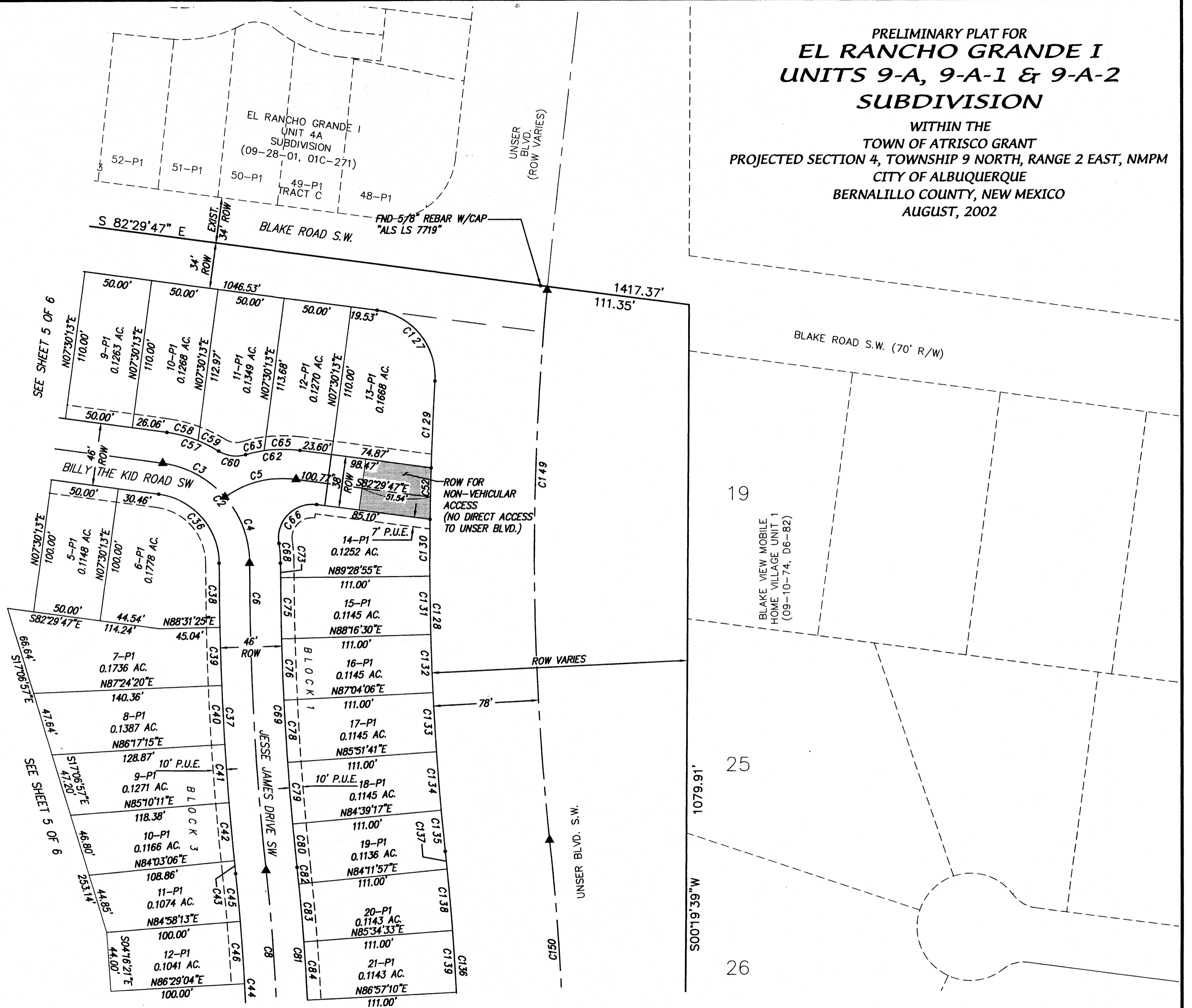
ALL STREETS SHOWN
 HEREON ARE HEREBY
 DEDICATED AS PUBLIC
 RIGHT-OF-WAY

ABBREVIATIONS

10' PUE = PUBLIC UTILITY EASEMENTS
 GRANTED WITH THIS PLAT
 ROW = RIGHT-OF-WAY

PRELIMINARY PLAT FOR
EL RANCHO GRANDE I
UNITS 9-A, 9-A-1 & 9-A-2
SUBDIVISION

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMMP
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST, 2002



SEE SHEET 4 OF 6

SEE SHEET 5 OF 6

SEE SHEET 5 OF 6

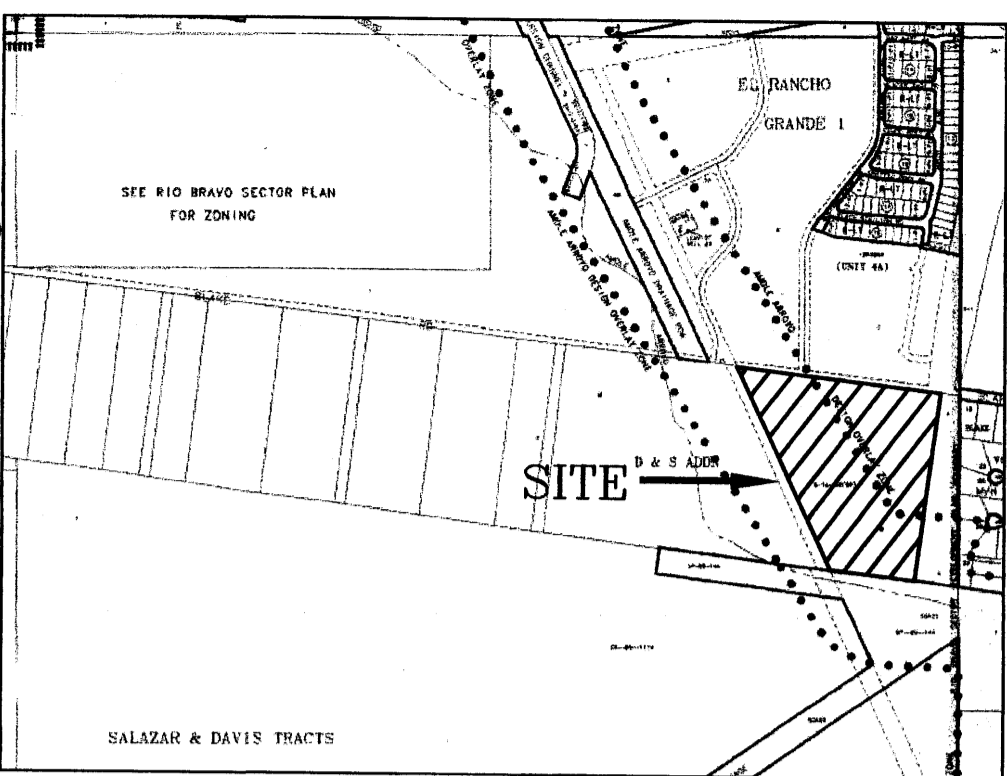
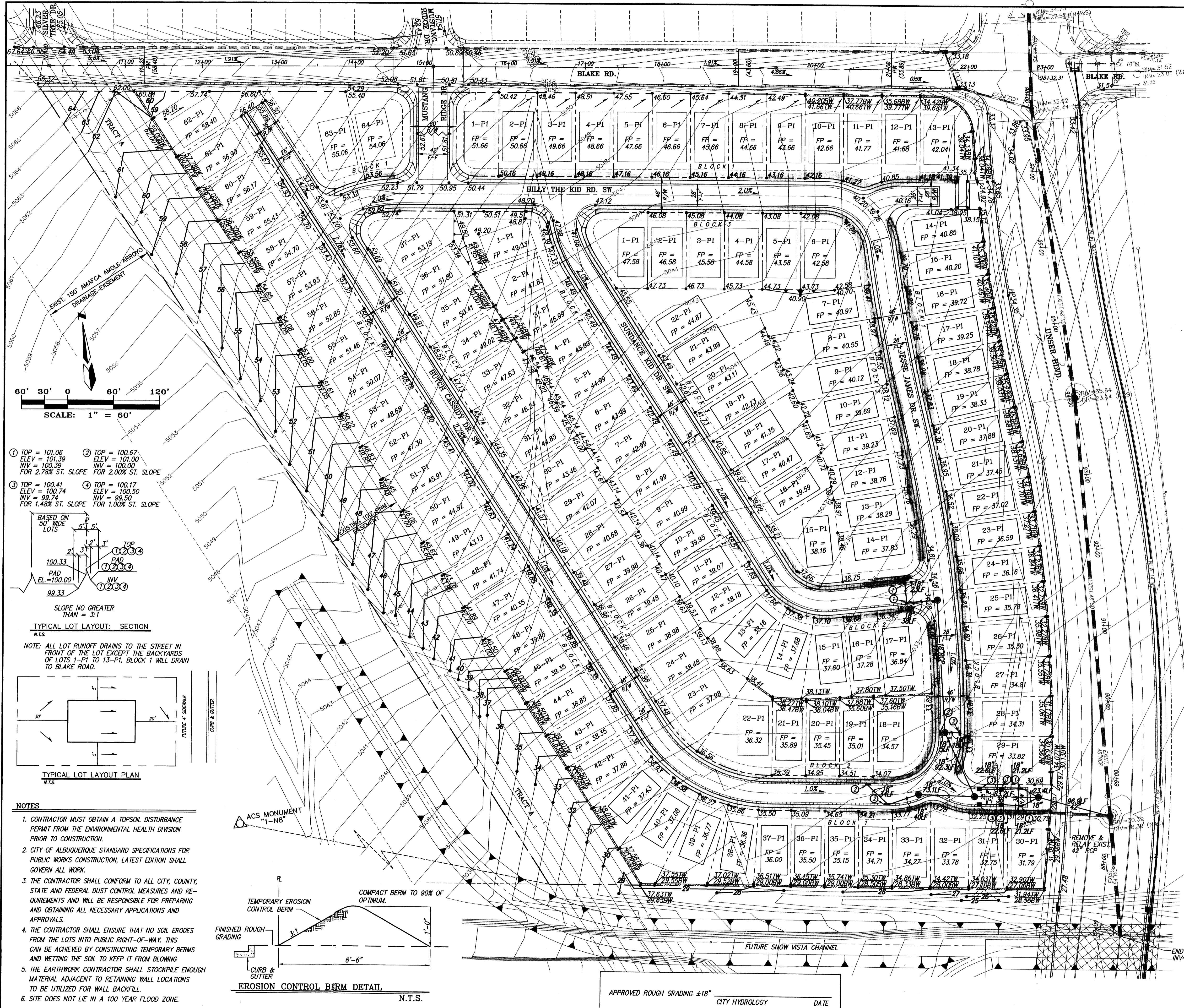
PRELIMINARY PLAT FOR
EL RANCHO GRANDE I
UNITS 9-A, 9-A-1 & 9-A-2
SUBDIVISION

WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4, TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST, 2002

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BEARING	CHORD
C1	180.00'	103.06'	32°48'13"	52.98'	S81°06'07"W	101.65'
C2	75.00'	107.68'	82°15'46"	65.50'	N41°21'54"W	98.67'
C3	75.00'	53.84'	41°07'53"	28.14'	N61°55'50"W	52.69'
C4	75.00'	53.84'	41°07'53"	28.14'	N20°47'57"W	52.69'
C5	75.00'	56.08'	42°50'40"	29.43'	S76°04'53"W	54.79'
C6	2212.00'	230.20'	5°57'46"	115.20'	S03°12'53"E	230.09'
C7	1788.00'	418.81'	13°25'14"	210.37'	N00°30'51"E	417.85'
C8	1788.00'	224.53'	7°11'42"	112.41'	N02°35'55"W	224.38'
C9	1788.00'	194.28'	6°13'32"	97.23'	N04°06'41"E	194.18'
C10	75.00'	118.16'	90°16'15"	75.36'	N52°21'35"E	106.32'
C11	75.00'	59.08'	45°08'07"	31.17'	N74°55'38"E	57.57'
C12	75.00'	59.08'	45°08'07"	31.17'	N29°47'31"E	57.57'
C13	75.00'	61.17'	46°43'49"	32.40'	S59°08'24"E	59.49'
C14	180.00'	179.71'	57°12'18"	98.15'	S53°54'09"E	172.34'
C15	75.00'	83.38'	63°42'04"	46.59'	S57°09'02"E	79.16'
C18	180.00'	103.06'	32°48'13"	52.98'	S08°53'54"E	101.65'
C19	203.00'	69.79'	19°41'53"	35.24'	S84°39'11"W	69.45'
C20	203.00'	34.90'	9°50'56"	17.49'	S79°43'43"W	34.85'
C21	203.00'	34.90'	9°50'56"	17.49'	S89°34'40"W	34.85'
C22	25.00'	37.96'	86°59'55"	23.72'	N51°00'10"E	34.42'
C23	25.00'	39.27'	90°00'00"	25.00'	N37°29'47"W	35.36'
C26	25.00'	39.27'	90°00'00"	25.00'	S52°30'13"W	35.36'
C27	25.00'	39.27'	90°00'00"	25.00'	S37°29'47"E	35.36'
C28	25.00'	48.57'	111°19'25"	36.60'	S30°21'43"W	41.29'
C29	157.00'	31.46'	11°28'48"	15.78'	N88°14'11"W	31.40'
C30	25.00'	33.97'	77°50'48"	20.19'	N43°34'23"W	31.41'
C31	203.00'	73.16'	20°39'01"	36.98'	S14°58'29"E	72.77'
C32	203.00'	27.78'	7°50'29"	13.91'	S08°34'13"E	27.76'
C33	203.00'	45.38'	12°48'33"	22.79'	S18°53'44"E	45.29'
C34	25.00'	48.57'	111°19'25"	36.60'	S41°50'30"W	41.29'
C35	157.00'	31.46'	11°28'48"	15.78'	S19°33'36"E	31.40'
C36	52.00'	74.66'	82°15'46"	45.41'	N41°21'54"W	68.41'
C37	2235.00'	232.59'	5°57'46"	116.40'	S03°12'53"E	232.49'
C38	2235.00'	48.49'	1°14'35"	24.24'	S00°51'18"E	48.48'
C39	2235.00'	43.61'	1°07'05"	21.81'	S02°02'08"E	43.61'
C40	2235.00'	43.61'	1°07'05"	21.81'	S03°09'12"E	43.61'
C41	2235.00'	43.61'	1°07'05"	21.81'	S04°16'17"E	43.61'
C42	2235.00'	43.61'	1°07'05"	21.81'	S05°23'21"E	43.61'
C43	2235.00'	9.67'	0°14'52"	4.84'	S06°04'20"E	9.67'
C44	1765.00'	172.94'	5°36'51"	86.54'	N03°23'21"W	172.88'
C45	1765.00'	35.93'	1°09'59"	17.97'	N05°36'47"W	35.93'
C46	1765.00'	46.64'	1°30'51"	23.32'	N04°16'21"W	46.64'
C49	1765.00'	46.64'	1°30'51"	23.32'	N02°45'31"W	46.64'
C50	1765.00'	43.73'	1°25'10"	21.86'	N01°17'30"W	43.72'
C51	1922.00'	38.03'	0°10'01"	19.01'	N09°36'34"E	38.03'
C52	2078.00'	38.23'	0°10'31"	19.12'	N01°10'45"E	38.23'
C53	25.00'	39.96'	91°34'51"	25.70'	N45°12'30"E	35.84'
C54	52.00'	57.81'	63°42'04"	32.31'	S57°09'02"E	54.88'
C57	98.00'	41.31'	24°09'11"	20.97'	N70°25'12"W	41.01'
C58	98.00'	24.18'	14°08'14"	12.15'	N75°25'40"W	24.12'
C59	98.00'	17.13'	10°00'57"	8.59'	N63°21'05"W	17.11'
C60	25.00'	21.14'	48°27'25"	11.25'	S82°34'19"E	20.52'
C62	96.50'	40.93'	24°18'14"	20.78'	S85°21'06"W	40.63'
C63	96.50'	14.19'	8°25'39"	7.11'	S77°24'48"W	14.18'
C65	96.50'	26.74'	15°52'35"	13.46'	S89°33'55"W	26.65'
C66	25.00'	46.48'	106°31'56"	33.50'	S44°14'15"W	40.07'
C68	98.00'	15.04'	8°47'42"	7.54'	N04°37'52"W	15.03'
C69	2189.00'	227.80'	5°57'46"	114.01'	S03°12'53"E	227.70'
C73	2189.00'	10.87'	0°17'04"	5.44'	S00°22'33"E	10.87'
C75	2189.00'	46.11'	1°12'25"	23.05'	S01°07'17"E	46.11'
C76	2189.00'	46.11'	1°12'25"	23.05'	S02°19'42"E	46.11'
C78	2189.00'	46.11'	1°12'25"	23.05'	S03°32'06"E	46.11'
C79	2189.00'	46.11'	1°12'25"	23.05'	S04°44'31"E	46.11'
C80	2189.00'	32.51'	0°51'03"	16.25'	S05°46'15"E	32.51'
C81	1811.00'	424.19'	13°25'14"	213.07'	N00°30'51"E	423.22'
C82	1811.00'	12.49'	0°23'43"	6.25'	N05°59'55"W	12.49'
C83	1811.00'	43.52'	1°22'37"	21.76'	N05°06'45"W	43.52'

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD BEARING	CHORD
C84	1811.00'	43.52'	1°22'37"	21.76'	N03°44'08"W	43.52'
C85	1811.00'	43.52'	1°22'37"	21.76'	N02°21'32"W	43.52'
C86	1811.00'	43.52'	1°22'37"	21.76'	N00°58'55"W	43.52'
C87	1811.00'	43.52'	1°22'37"	21.76'	N00°23'41"E	43.52'
C91	1811.00'	43.52'	1°22'37"	21.76'	N01°46'18"E	43.52'
C92	1811.00'	49.45'	1°33'52"	24.73'	N03°14'32"E	49.45'
C93	1811.00'	49.45'	1°33'52"	24.73'	N04°48'24"E	49.45'
C94	1811.00'	49.45'	1°33'52"	24.73'	N06°22'17"E	49.45'
C95	1811.00'	2.24'	0°04'15"	1.12'	N07°11'20"E	2.24'
C96	98.00'	28.74'	16°48'10"	14.47'	N15°37'33"E	28.64'
C97	25.00'	46.48'	106°31'56"	33.50'	S29°14'20"E	40.07'
C98	203.00'	202.68'	57°12'18"	110.69'	S53°54'09"E	194.36'
C99	203.00'	31.26'	8°49'24"	15.66'	S29°42'42"E	31.23'
C100	203.00'	39.97'	11°16'51"	20.05'	S39°45'50"E	39.90'
C101	203.00'	39.97'	11°16'51"	20.05'	S51°02'41"E	39.90'
C102	203.00'	39.97'	11°16'51"	20.05'	S62°19'33"E	39.90'
C103	203.00'	39.97'	11°16'51"	20.05'	S73°36'24"E	39.90'
C104	203.00'	11.54'	3°15'28"	5.77'	S80°52'34"E	11.54'
C105	98.00'	44.59'	26°04'19"	22.69'	N84°27'33"E	44.21'
C106	98.00'	0.97'	0°33'52"	0.48'	S82°47'14"E	0.97'
C107	98.00'	43.63'	25°30'26"	22.18'	N84°10'36"E	43.27'
C108	25.00'	22.82'	52°18'26"	12.28'	N82°25'24"W	22.04'
C109	25.00'	8.28'	18°57'57"	4.18'	S80°54'22"W	8.24'
C110	25.00'	14.55'	33°20'29"	7.49'	N72°56'26"W	14.34'
C111	96.50'	44.19'	26°14'07"	22.49'	S69°23'15"E	43.80'
C112	96.50'	37.38'	22°11'34"	18.93'	S67°21'58"E	37.14'
C113	96.50'	6.81'	4°02'32"	3.41'	S80°29'02"E	6.81'
C114	98.00'	108.96'	63°42'04"	60.88'	S57°09'02"E	103.43'
C115	98.00'	11.22'	6°33'27"	5.61'	S28°34'43"E	11.21'
C116	98.00'	36.27'	21°12'13"	18.34'	S42°27'33"E	36.06'
C117	98.00'	36.27'	21°12'13"	18.34'	S63°39'46"E	36.06'
C118	98.00'	25.21'	14°44'12"	12.67'	S81°37'58"E	25.14'
C119	25.00'	39.96'	91°34'51"	25.70'	N43°12'39"W	35.84'
C120	1765.00'	143.08'	4°38'41"	71.58'	N04°54'07"E	143.04'
C121	1765.00'	85.57'	2°46'40"	42.79'	N03°58'07"E	85.56'
C122	1765.00'	57.51'	1°52'01"	28.76'	N06°17'27"E	57.51'
C123	52.00'	81.93'	90°16'15"	52.25'	N52°21'35"E	73.71'
C124	157.00'	156.75'	57°12'18"	85.61'	S53°54'09"E	150.32'
C125	157.00'	57.62'	21°01'35"	29.14'	S35°48'48"E	57.29'
C126	157.00'	99.14'	36°10'43"	51.28'	S64°24'57"E	97.50'
C127	50.00'	75.01'	85°57'39"	46.59'	N39°30'58"W	68.17'
C128	2078.00'	350.37'	9°39'38"	175.60'	S01°21'57"E	349.95'
C129	2078.00'	63.76'	1°45'29"	31.88'	S02°35'07"W	63.76'
C130	2078.00'	42.44'	1°10'13"	21.22'	S00°04'01"W	42.44'
C131	2078.00'	43.77'	1°12'25"	21.89'	S01°07'17"E	43.77'
C132	2078.00'	43.77'	1°12'25"	21.89'	S02°19'42"E	43.77'
C133	2078.00'	43.77'	1°12'25"	21.89'	S03°32'06"E	43.77'
C134	2078.00'	43.77'	1°12'25"	21.89'	S04°44'31"E	43.77'
C135	2078.00'	30.86'	0°51'03"	15.43'	S05°46'15"E	30.86'
C136	1922.00'	638.24'	19°01'35"	322.09'	N03°19'01"E	635.32'
C137	1922.00'	13.26'	0°23'43"	6.63'	N05°59'55"W	13.26'
C138	1922.00'	46.19'	1°22'37"	23.09'	N05°06'45"W	46.18'
C139	1922.00'	46.19'	1°22'37"	23.09'	N03°44'08"W	46.18'
C140	1922.00'	46.19'	1°22'37"	23.09'	N02°21'32"W	46.18'
C141	1922.00'	46.19'	1°22'37"	23.09'	N00°58'55"W	46.18'
C142	1922.00'	46.19'	1°22'37"	23.09'	N00°23'41"E	46.18'
C143	1922.00'	46.19'	1°22'37"	23.09'	N01°46'18"E	46.18'
C144	1922.00'	52.48'	1°33'52"	26.24'	N03°14'32"E	52.48'
C145	1922.00'	52.48'	1°33'52"	26.24'	N04°48'24"E	52.48'
C146	1922.00'	52.48'	1°33'52"	26.24'	N06°22'17"E	52.48'
C147	1922.00'	63.37'	1°53'20"	31.69'	N08°05'53"E	63.36'
C148	1922.00'	89.03'	3°47'16"	63.55'	N11°29'37"E	88.37'
C149	2000.00'	409.63'	11°44'07"	205.54'	S00°19'43"E	408.92'
C150	2000.00'	664.15'	19°01'35"	335.16'	N03°19'01"E	661.10'

LINE TABLE		
LINE	BEARING	LENGTH
L1	N64°27'41"E	1.50'
L2	N07°30'13"E	39.70'
L3	N12°49'49"E	11.26'
L4	N12°49'49"E	4.03'



NOTES ZONE MAP: N-9

LEGEND

- 5615 — EXISTING CONTOUR (MAJOR)
- 5616 — EXISTING CONTOUR (MINOR)
- x 00.0 — EXISTING SPOT ELEVATION
- — — — — EXISTING CONCRETE CURB
- — — — — EXISTING WALL OR HEAD WALL
- — — — — EXISTING SIGN
- x — x — x — EXISTING WOOD FENCE
- o — o — o — EXISTING CHAIN LINK FENCE
- o — EXISTING TREE
- o — EXISTING SANITARY SEWER MANHOLE
- o — EXISTING FIRE HYDRANT
- o — EXISTING ELECTRIC TRANSFORMER
- o — EXISTING OVERHEAD ELECTRIC LINE
- o — EXISTING POWER POLE
- o — EXISTING DROP INLET
- o — EXISTING STORM DRAIN MH
- o — EXISTING TELEPHONE BOX
- o — EXISTING WATER VALVE
- — — — — NEW MOUNTABLE CURB & GUTTER
- — — — — NEW STANDARD CURB & GUTTER
- — — — — NEW SIDEWALK
- — — — — NEW RIGHT-OF-WAY
- — — — — NEW CENTERLINE
- — — — — NEW LOT LINES
- — — — — NEW EASEMENTS
- — — — — NEW CONTOURS
- — — — — NEW RETAINING WALL
- — — — — NEW SPOT ELEVATIONS
- — — — — NEW FLOW
- — — — — NEW SLOPE
- — — — — NEW WATERBLOCK
- — — — — NEW STORM DRAIN MANHOLE

EXHIBIT C
DATE 9/4/02
DATE 07/02
DATE 07/02
DATE 07/02

- ① NEW DBL TYPE "A" INLET
TG= 00.00
INV= 00.00
- ② NEW DBL TYPE "AA" INLET
TG= 00.00
INV= 00.00
- ③ NEW DBL TYPE "AA" INLET
TG= 00.00
INV= 00.00

dmg MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
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ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200, FAX (505) 797-9539

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

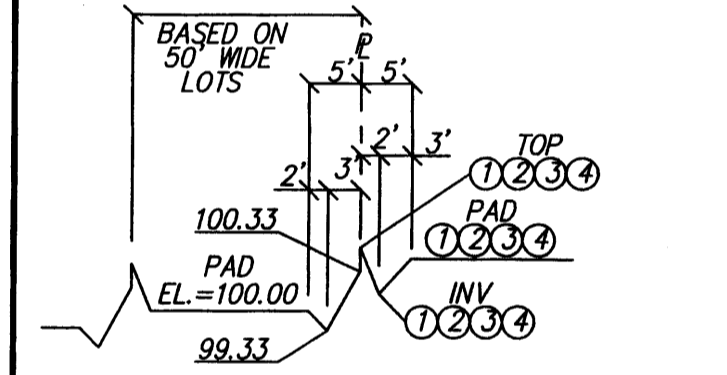
TITLE: **EL RANCHO GRANDE I - UNIT 9A**
GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE CITY ENGINEER APPROVAL

SIDEWALK DEFERRAL

CITY PROJECT NO. ZONE MAP NO. SHEET OF

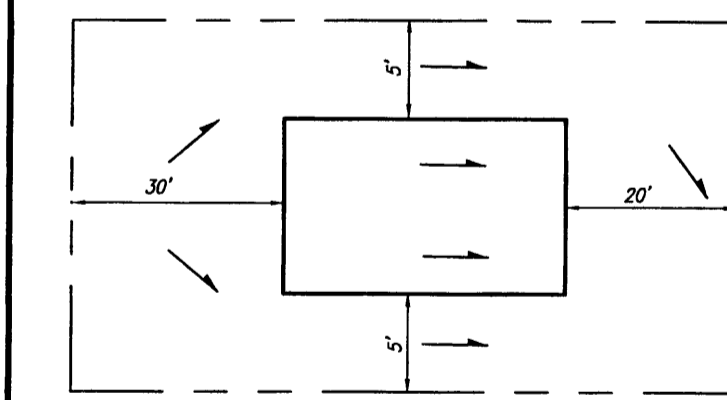
- ① TOP = 101.06
ELEV = 101.39
INV = 100.39
FOR 2.78% ST. SLOPE FOR 2.00% ST. SLOPE
- ② TOP = 100.67
ELEV = 101.00
INV = 100.00
- ③ TOP = 100.41
ELEV = 100.74
INV = 99.74
FOR 1.48% ST. SLOPE FOR 1.00% ST. SLOPE
- ④ TOP = 100.17
ELEV = 100.50
INV = 99.50



SLOPE NO GREATER THAN = 3:1

TYPICAL LOT LAYOUT: SECTION
N.T.S.

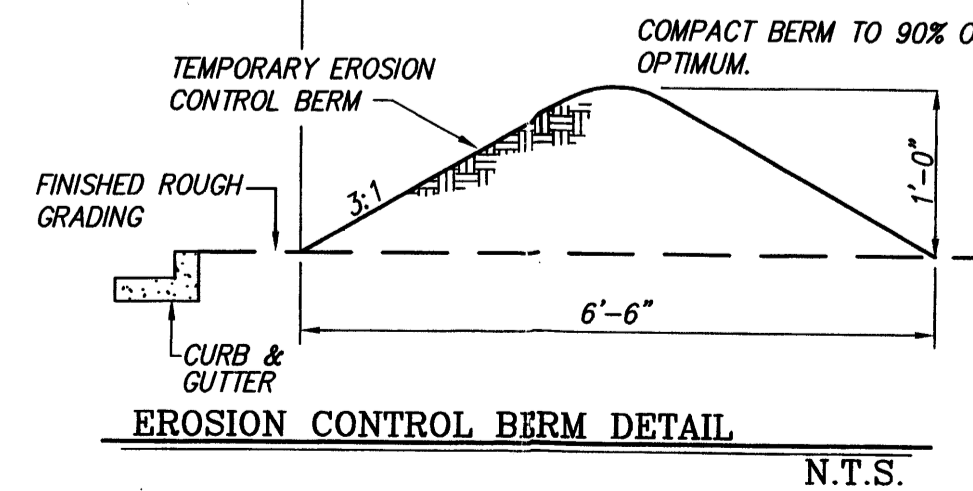
NOTE: ALL LOT RUNOFF DRAINS TO THE STREET IN FRONT OF THE LOT EXCEPT THE BACKYARDS OF LOTS 1-P1 TO 13-P1, BLOCK 1 WILL DRAIN TO BLAKE ROAD.



TYPICAL LOT LAYOUT PLAN
N.T.S.

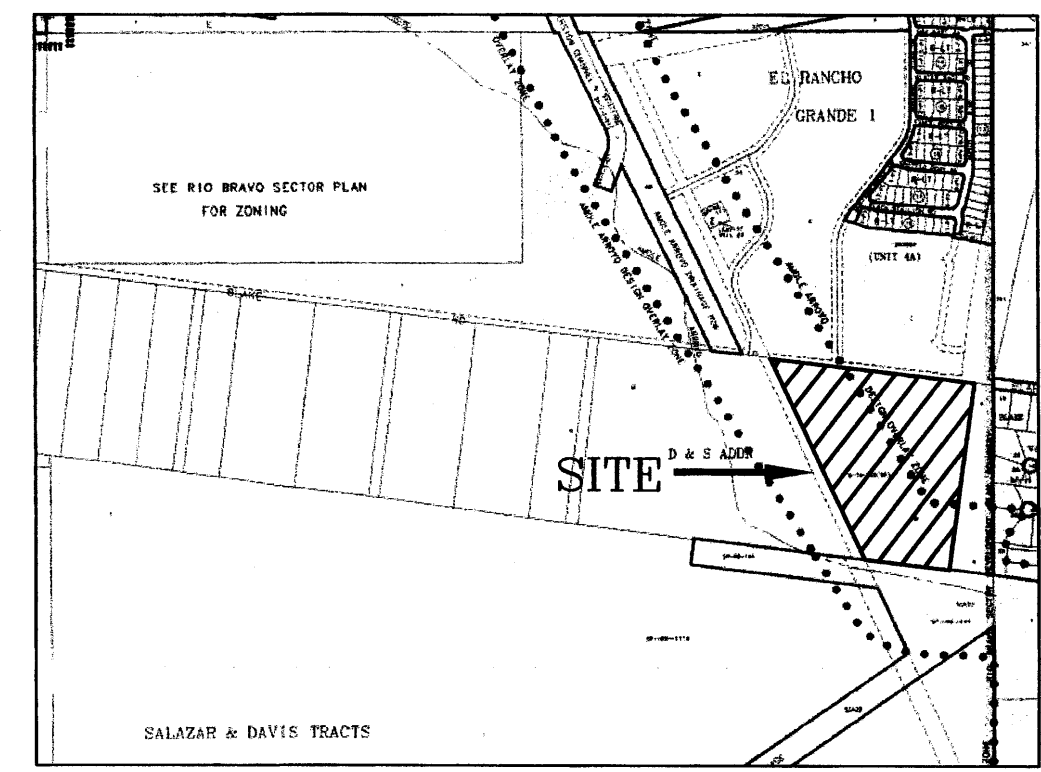
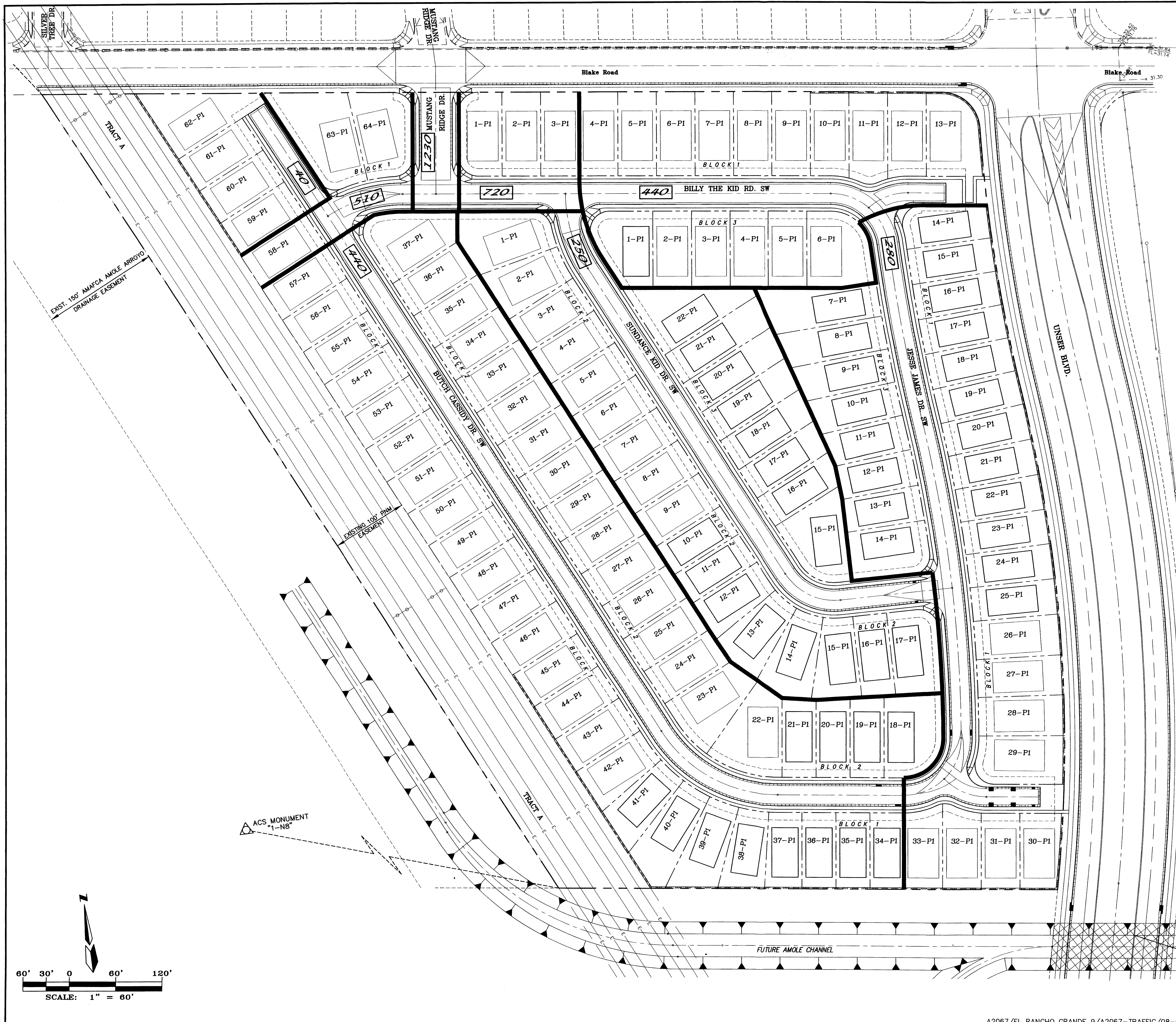
NOTES

1. CONTRACTOR MUST OBTAIN A TOPSOIL DISTURBANCE PERMIT FROM THE ENVIRONMENTAL HEALTH DIVISION PRIOR TO CONSTRUCTION.
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5. THE EARTHWORK CONTRACTOR SHALL STOCKPILE ENOUGH MATERIAL ADJACENT TO RETAINING WALL LOCATIONS TO BE UTILIZED FOR WALL BACKFILL.
6. SITE DOES NOT LIE IN A 100 YEAR FLOOD ZONE.



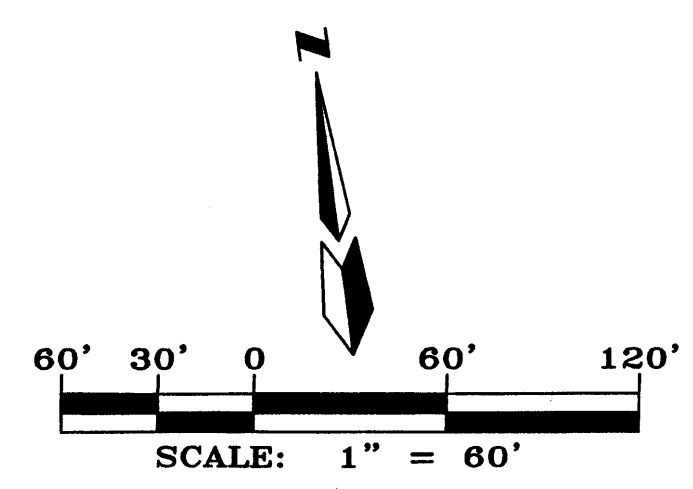
APPROVED ROUGH GRADING ±18"
CITY HYDROLOGY DATE

AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	NO.	DATE	BY	NO.	DATE	REVISIONS	DESIGN
WORK STAGED BY		DATE					
ACCEPTANCE BY		DATE					
FIELD CONTROL BY		DATE					
DRAWINGS CORRECTED BY		DATE					
MICRO-FIT INFORMATION							
RECORDED BY		DATE					
NO.							
DESIGNED BY	GJK	DATE	07/02				
DRAWN BY	ACH	DATE	07/02				
CHECKED BY	DMG	DATE	07/02				





NOTES ZONE MAP: N-9

LEGEND
440 NUMBER OF TRIPS AT INTERSECTION



AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	NO.	DATE	BY	NO.	BY	NO.	BY
WORK STAMPED BY		DATE		NO.		NO.	
ACCEPTANCE BY		DATE		REVISIONS		DESIGN	
FIELD LOCATION BY		DATE		DESIGN		DATE	
DRAWINGS CORRECTED BY		DATE		DESIGNED BY		DATE	
MICRO-FILM INFORMATION		RECORDED BY		DRAWN BY		DATE	
		NO.		CHECKED BY		DATE	

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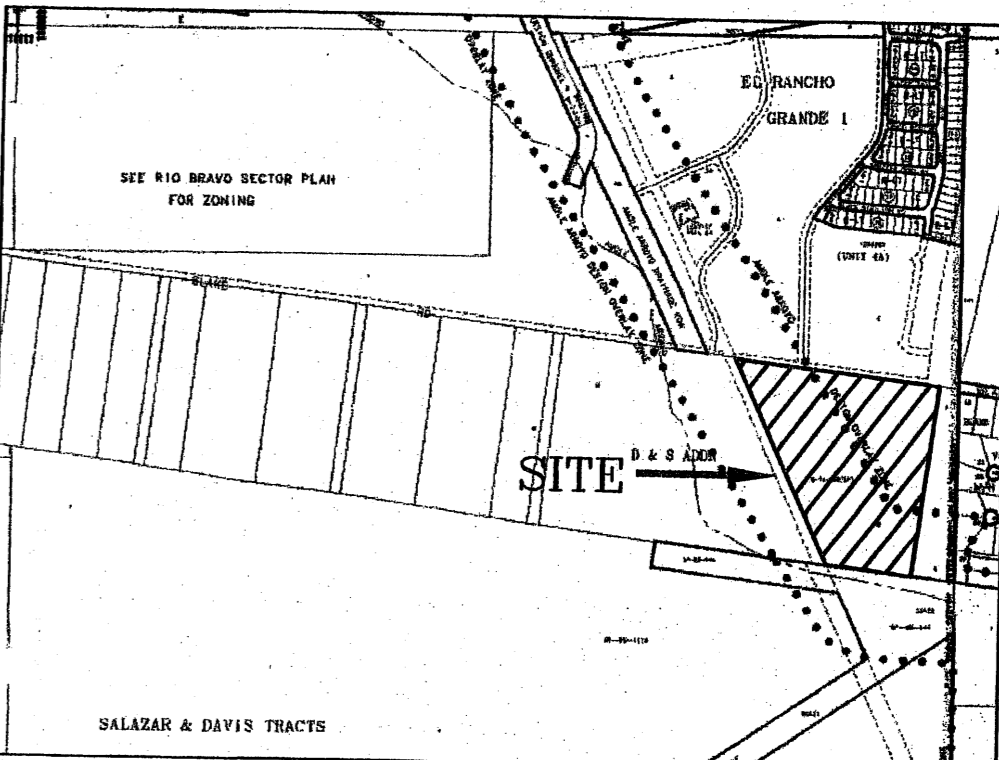
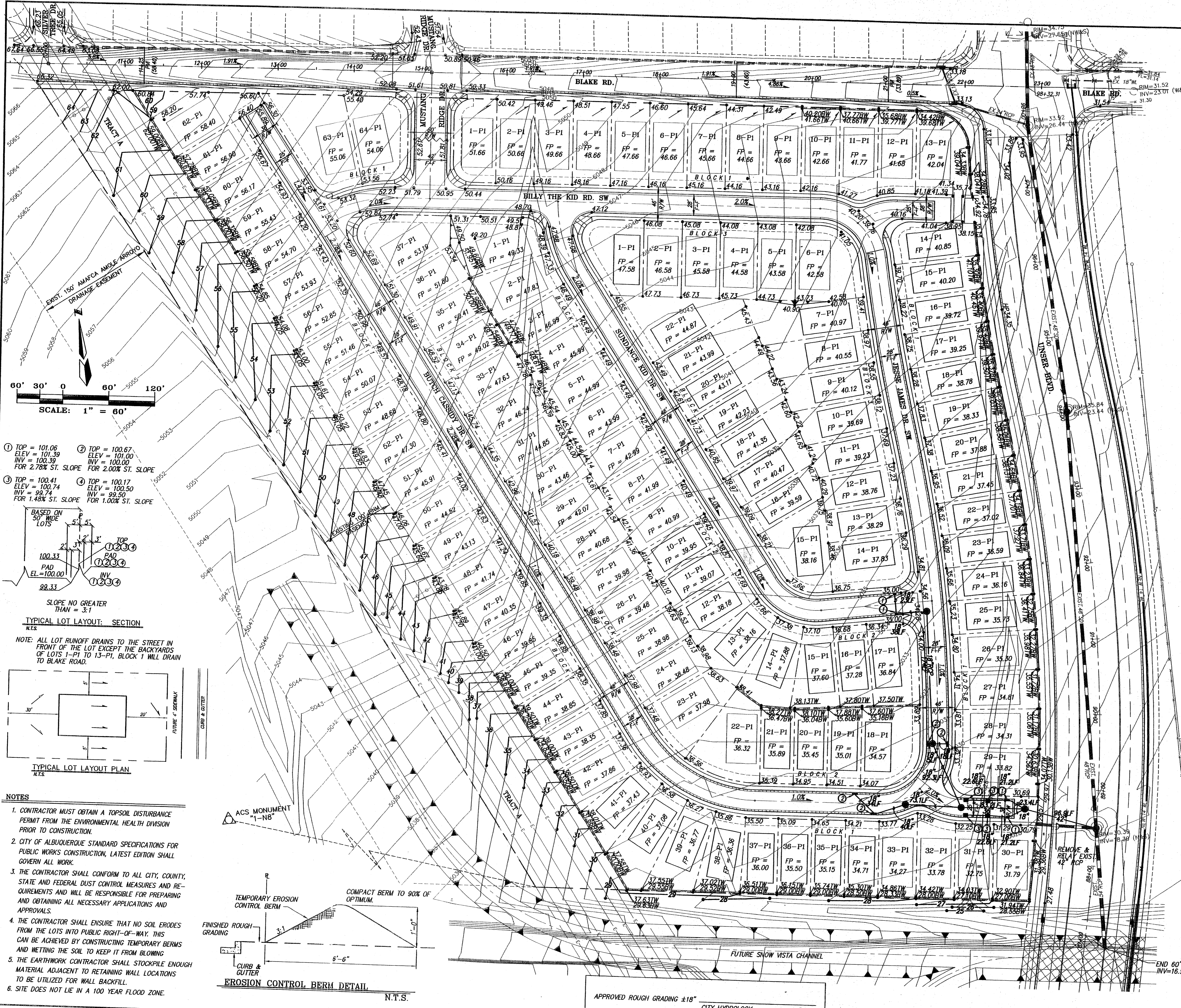
 CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT

TITLE: **EL RANCHO GRANDE I - UNIT 9A TRAFFIC DISTRIBUTION LAYOUT**

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. _____ ZONE MAP NO. **N-9** SHEET **1** OF **1**

F:\A2067\EL RANCHO GRANDE 9\A2067-TRAFFIC.dwg Thu Aug 08 09:18:36 2002 ACH



NOTES ZONE MAP: N-9

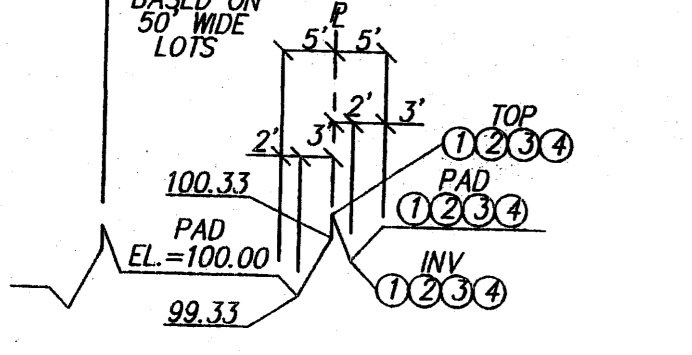
LEGEND

- 5615 EXISTING CONTOUR (MAJOR)
- 5616 EXISTING CONTOUR (MINOR)
- TC = x 00.0 EXISTING SPOT ELEVATION
- EXISTING CONCRETE CURB
- EXISTING WALL OR HEAD WALL
- EXISTING SIGN
- EXISTING WOOD FENCE
- EXISTING CHAIN LINK FENCE
- EXISTING TREE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING ELECTRIC TRANSFORMER
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING POWER POLE
- EXISTING POWER POLE
- EXISTING DROP INLET
- EXISTING STORM DRAIN MH
- EXISTING TELEPHONE BOX
- EXISTING WATER VALVE
- NEW MOUNTABLE CURB & GUTTER
- NEW STANDARD CURB & GUTTER
- NEW SIDEWALK
- NEW RIGHT-OF-WAY
- NEW CENTERLINE
- NEW LOT LINES
- NEW EASEMENTS
- 56 NEW CONTOURS
- 20.00 NEW RETAINING WALL
- ▲ NEW SPOT ELEVATIONS
- ▲ NEW FLOW
- ▲ NEW SLOPE
- ▲ NEW WATERBLOCK
- NEW STORM DRAIN MANHOLE

KEYED NOTES

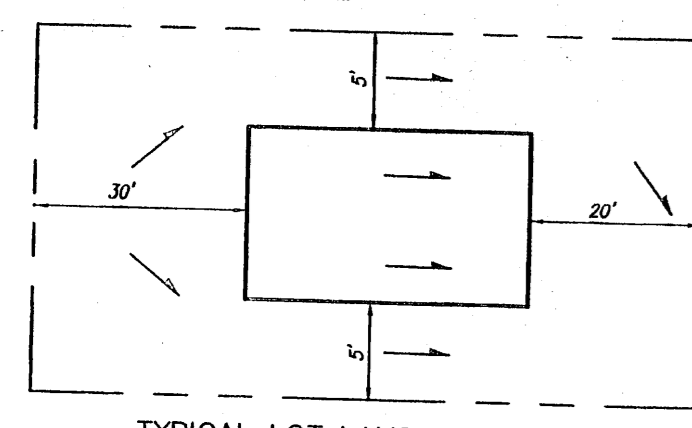
- ① NEW DBL TYPE "A" INLET
TG= 00.00
INV.= 00.00
- ② NEW DBL TYPE "AA" INLET
TG= 00.00
INV.= 00.00
- ③ NEW DBL TYPE "AA" INLET
TG= 00.00
INV.= 00.00

- ① TOP = 101.06
ELEV = 101.39
INV = 100.39
FOR 2.78% ST. SLOPE
- ② TOP = 100.67
ELEV = 101.00
INV = 100.00
FOR 2.00% ST. SLOPE
- ③ TOP = 100.41
ELEV = 100.74
INV = 99.74
FOR 1.48% ST. SLOPE
- ④ TOP = 100.17
ELEV = 100.50
INV = 99.50
FOR 1.00% ST. SLOPE



TYPICAL LOT LAYOUT: SECTION
N.T.S.

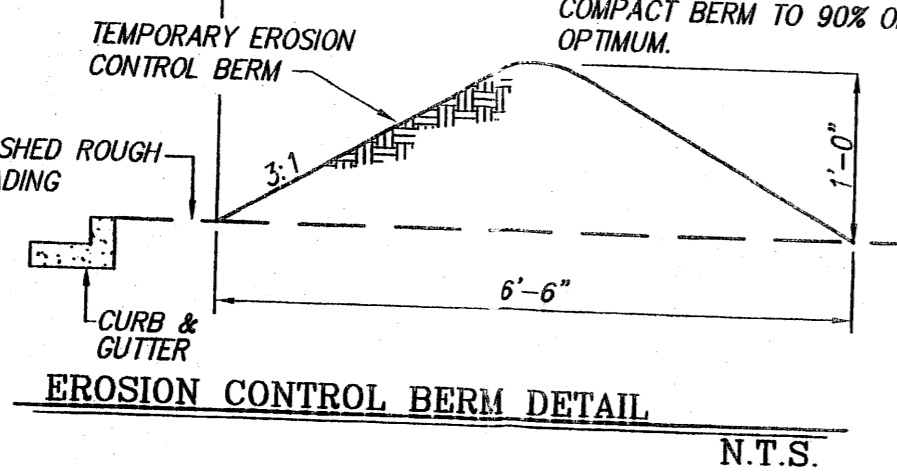
NOTE: ALL LOT RUNOFF DRAINS TO THE STREET IN FRONT OF THE LOT EXCEPT THE BACKYARDS OF LOTS 1-P1 TO 13-P1, BLOCK 1 WILL DRAIN TO BLAKE ROAD.



TYPICAL LOT LAYOUT PLAN
N.T.S.

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EROSION CONTROL BERM DETAIL
N.T.S.

APPROVED ROUGH GRADING ±18"
CITY HYDROLOGY DATE

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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT

TITLE: **EL RANCHO GRANDE I - UNIT 9A**
GRADING & DRAINAGE PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.

CITY PROJECT NO. ZONE MAP NO. SHEET OF

CONTRACTOR		DATE	
WORKED BY		DATE	
INSPECTOR'S		DATE	
FIELD CHANGE BY		DATE	
VERIFICATION BY		DATE	
CORRECTED BY		DATE	
MICRO-FILM INFORMATION		DATE	
RECORDED BY		DATE	
NO.		NO.	

AS BUILT INFORMATION	
CONTRACTOR	DATE
WORKED BY	DATE
INSPECTOR'S	DATE
FIELD CHANGE BY	DATE
VERIFICATION BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	DATE
RECORDED BY	DATE
NO.	NO.

BENCH MARKS	
CONTRACTOR	DATE
WORKED BY	DATE
INSPECTOR'S	DATE
FIELD CHANGE BY	DATE
VERIFICATION BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	DATE
RECORDED BY	DATE
NO.	NO.

SURVEY INFORMATION	
CONTRACTOR	DATE
WORKED BY	DATE
INSPECTOR'S	DATE
FIELD CHANGE BY	DATE
VERIFICATION BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	DATE
RECORDED BY	DATE
NO.	NO.

ENGINEER'S SEAL	
CONTRACTOR	DATE
WORKED BY	DATE
INSPECTOR'S	DATE
FIELD CHANGE BY	DATE
VERIFICATION BY	DATE
CORRECTED BY	DATE
MICRO-FILM INFORMATION	DATE
RECORDED BY	DATE
NO.	NO.

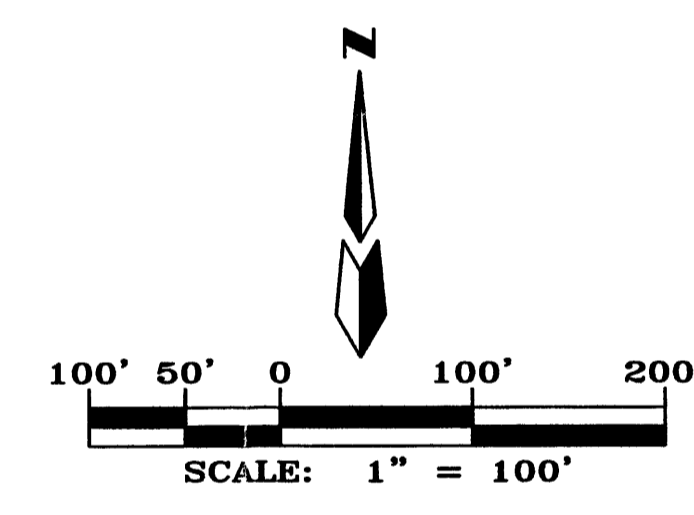
1502077
 EL RANCHO GRANDE I
 UNIT 9A
 WITHIN THE
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 4
 TOWNSHIP 9 NORTH, RANGE 2 EAST, NMPM
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JULY, 2002

SUBDIVISION DATA

NO. OF EXISTING TRACTS	1 TRACT
NO. OF LOTS CREATED	123 LOTS
NO. OF TRACTS CREATED	1 TRACT
AREA	23.6216 AC

ACS MONUMENT
"TRANS"

EXISTING 150' AMAFCA
AMOLE ARROYO DRAINAGE
EASEMENT

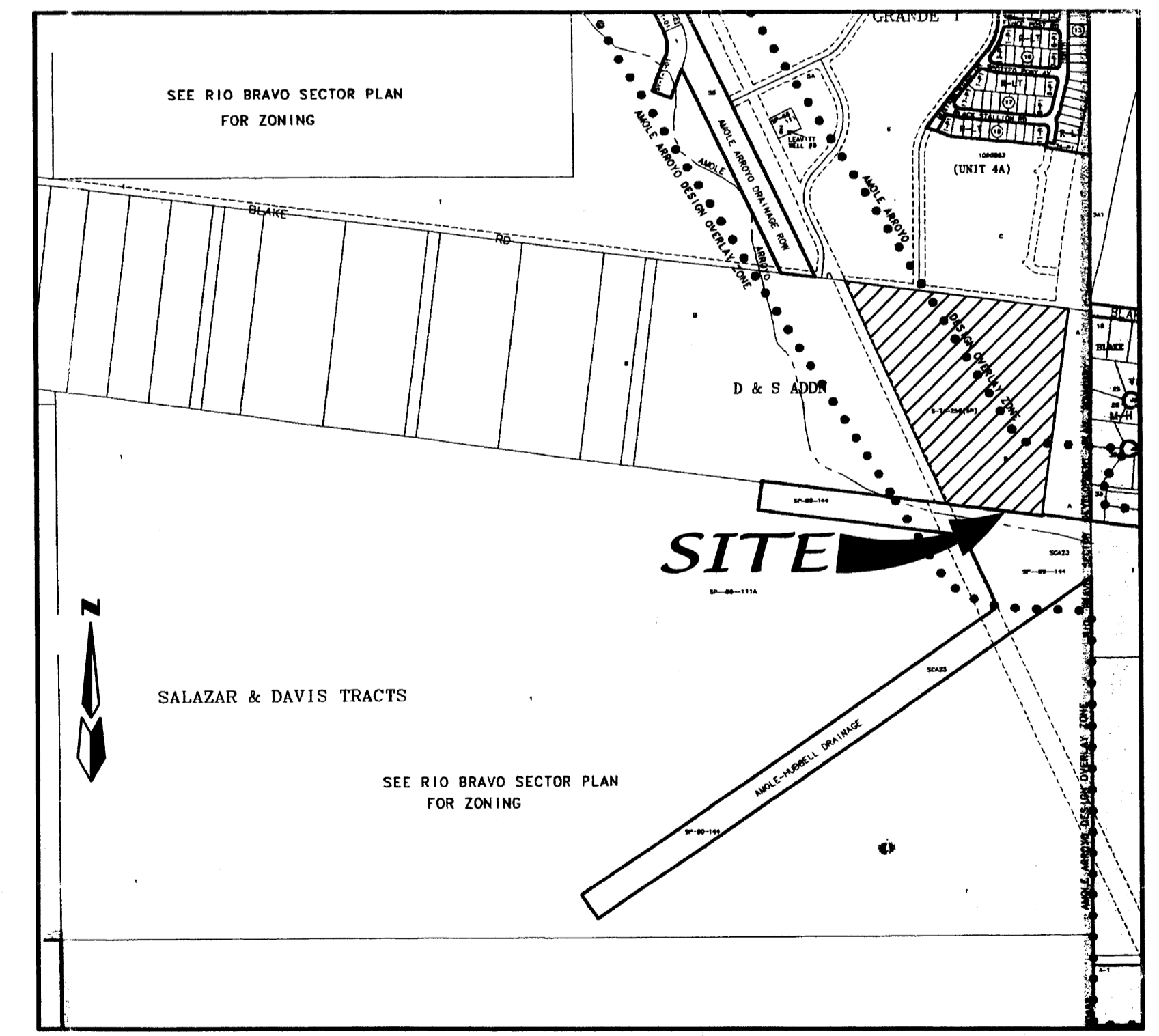


EXISTING 100'
PNM
EASEMENT

ACS MONUMENT
"1-N8"

BLAKE ROAD S.W.

UNSER BLVD. S.W.



NOT TO SCALE LOCATION MAP N-9

DEVELOPER

CURB, INC.
 6301 INDIAN SCHOOL RD. NE
 ALBUQUERQUE, NEW MEXICO 87110
 (505) 881-9190

SURVEYOR

ALDRICH LAND SURVEYING
 P.O. BOX 30701
 ALBUQUERQUE, N.M. 87190
 (505) 884-1990

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505) 828-2200

SKETCH PLAT

dmg MARK GOODWIN & ASSOCIATES, P.A.
 CONSULTING ENGINEERS
 P.O. BOX 90606
 ALBUQUERQUE, NEW MEXICO 87199
 (505)828-2200, FAX (505)797-9539

Dwg: SPSBASE4.dwg	Drawn: STEPHEN	Checked: DMG	Sheet 1 of 1
Scale: 1" = 100'	Date: 07/08/02	Job: A02067	

F:\A02067\A02067 EL RANCHO GRANDE 9\SPSBASE4.dwg, 07/08/02 STEPHEN