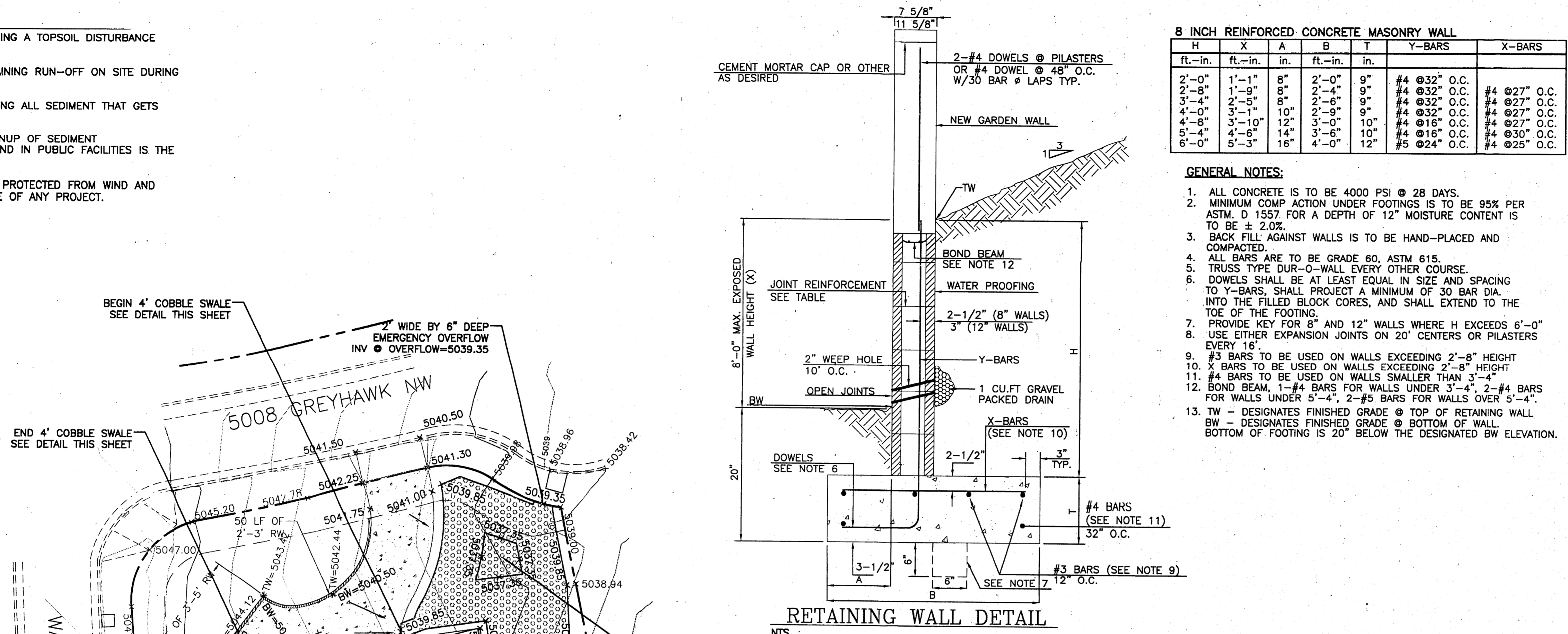


EROSION CONTROL NOTES:

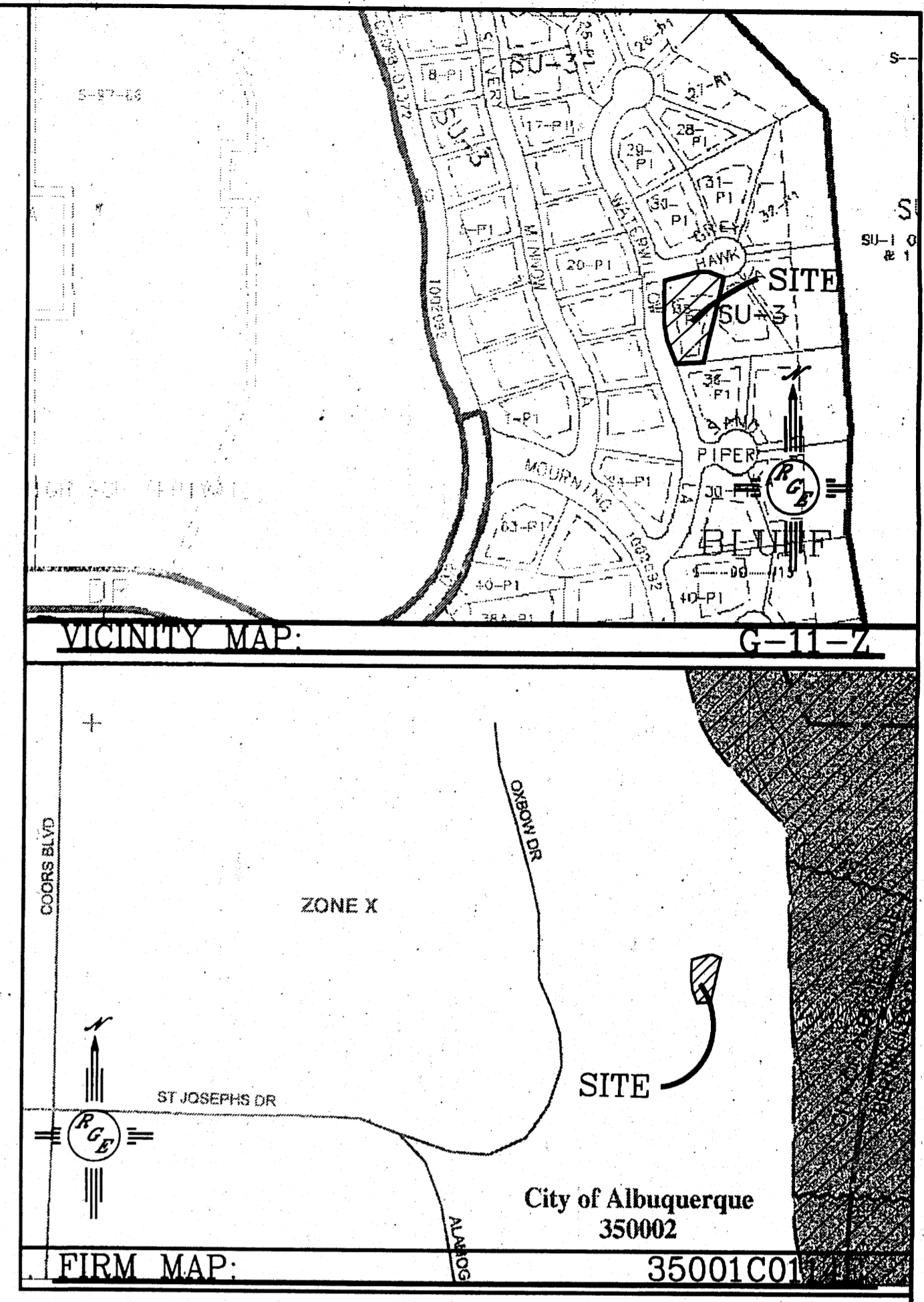
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.



8 INCH REINFORCED CONCRETE MASONRY WALL

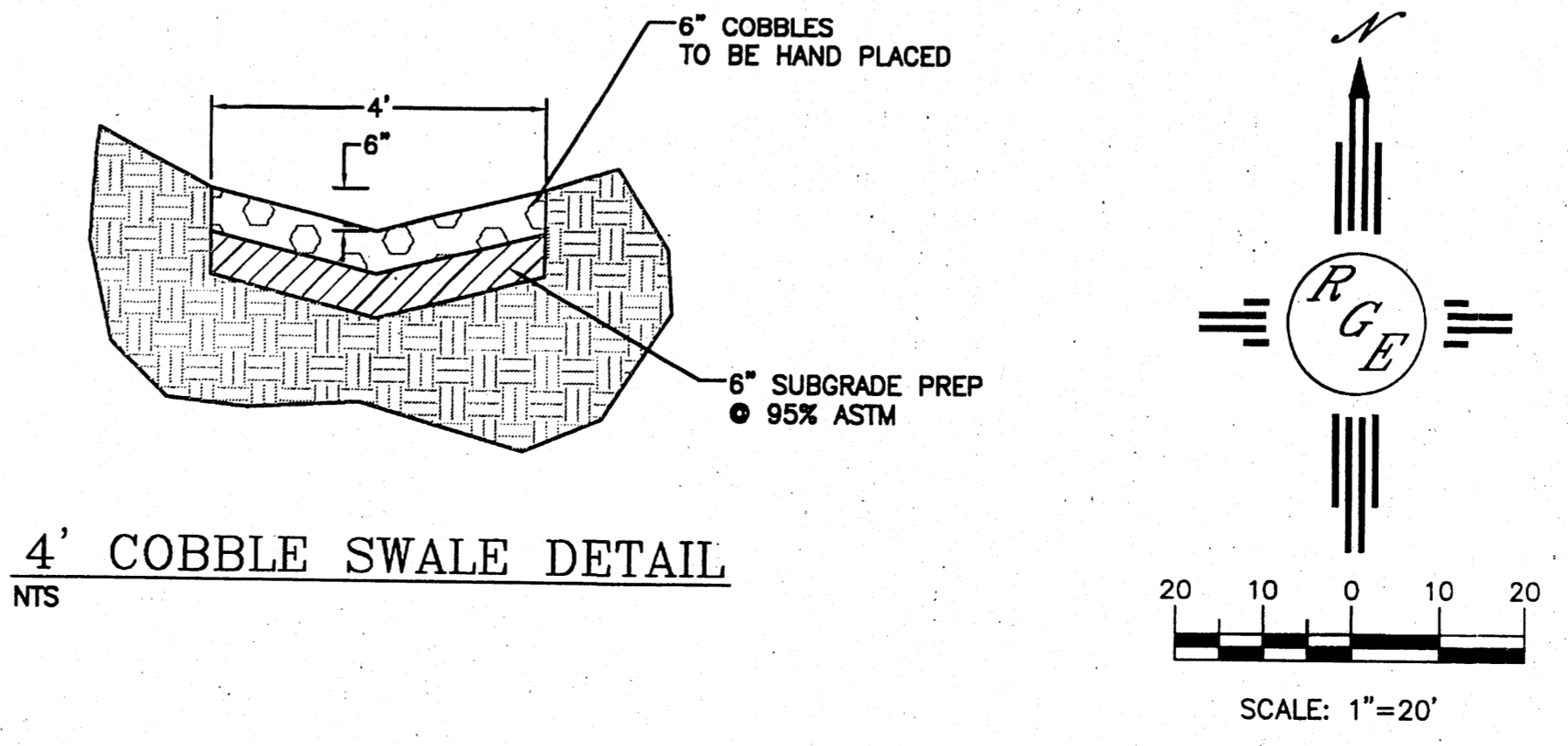
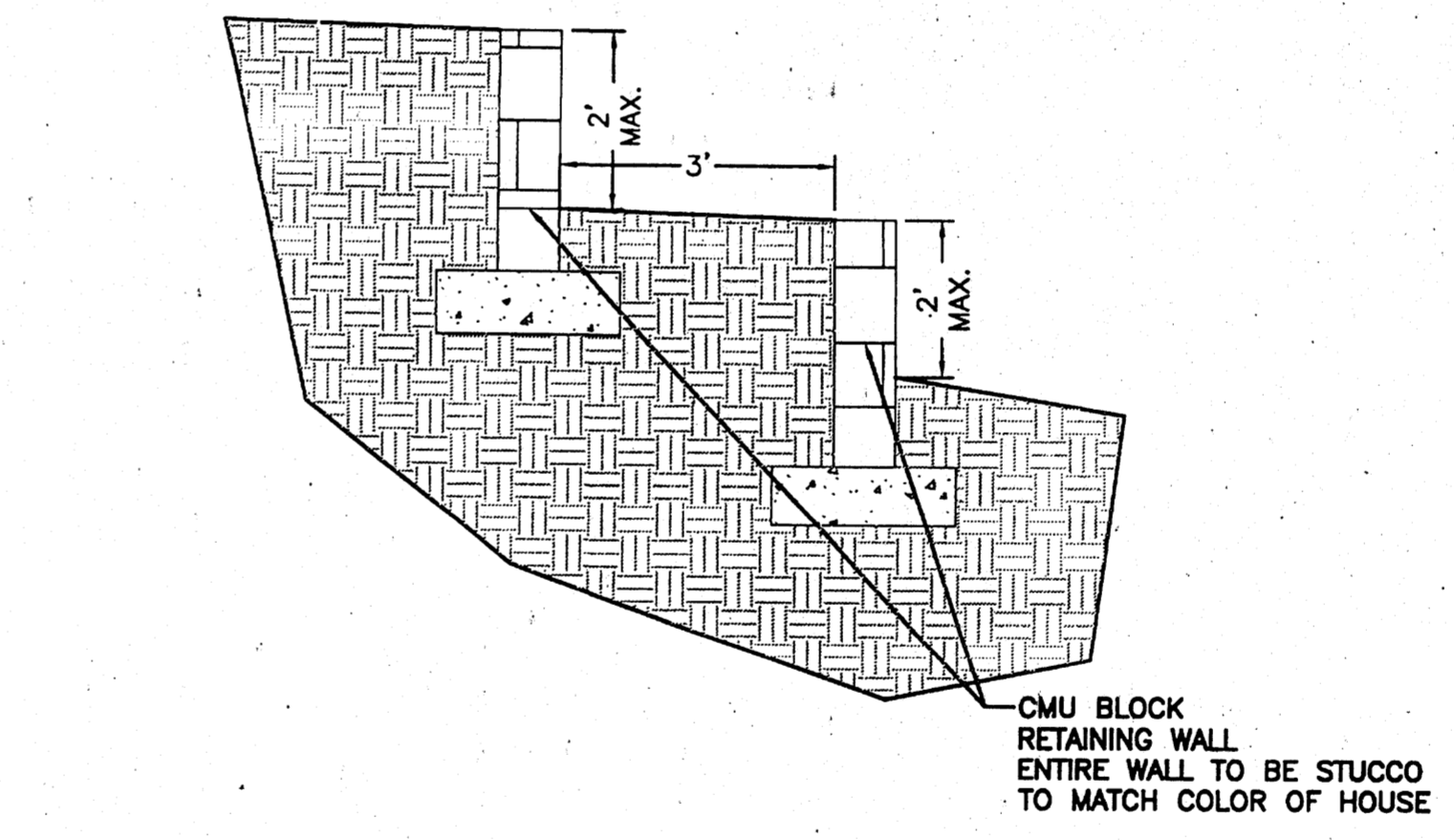
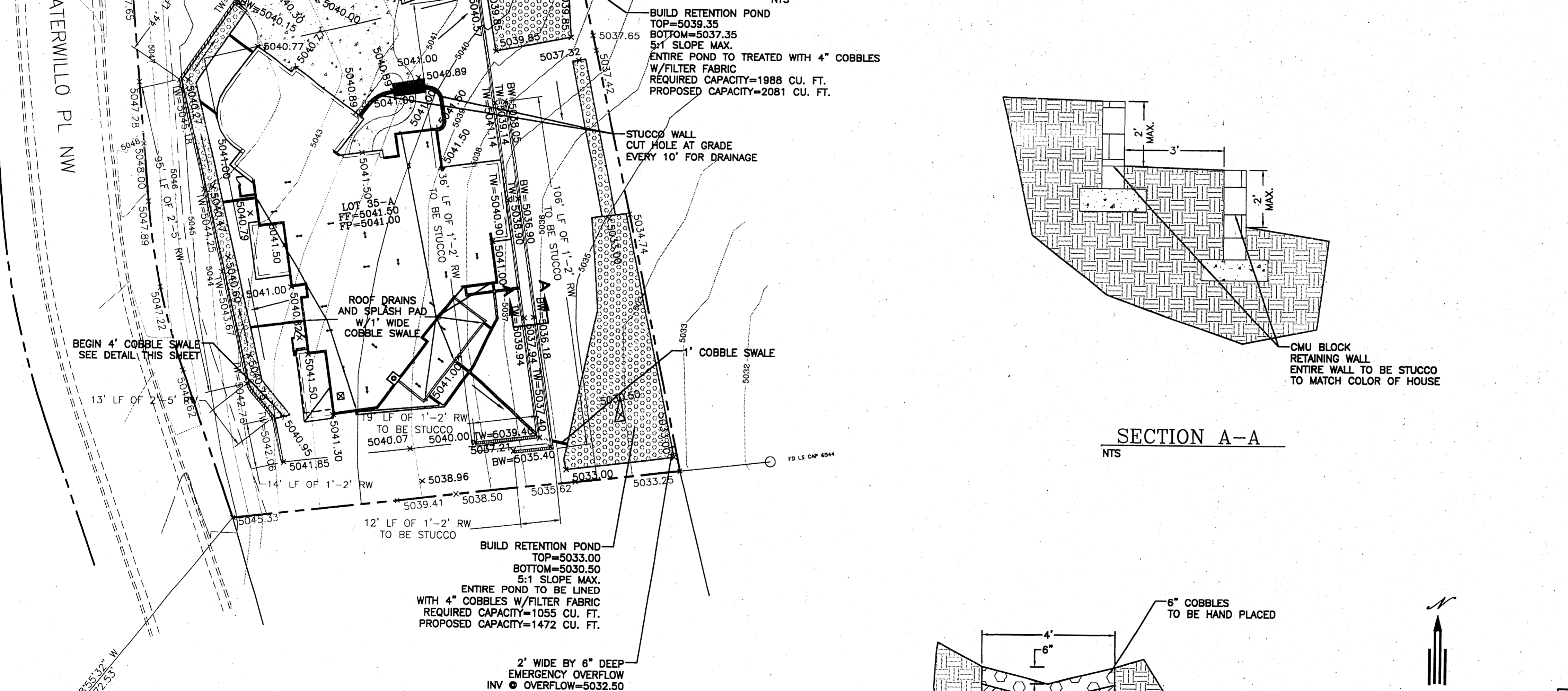
H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
2'-0"	1'-1"	8"	2'-0"	9"	#4 @32" O.C.	#4 @27" O.C.
2'-8"	1'-9"	8"	2'-4"	9"	#4 @32" O.C.	#4 @27" O.C.
3'-4"	2'-5"	8"	2'-6"	9"	#4 @32" O.C.	#4 @27" O.C.
4'-0"	3'-1"	10"	2'-9"	9"	#4 @32" O.C.	#4 @27" O.C.
4'-8"	3'-10"	12"	3'-0"	10"	#4 @18" O.C.	#4 @27" O.C.
5'-4"	4'-6"	14"	3'-6"	10"	#4 @18" O.C.	#4 @30" O.C.
6'-0"	5'-3"	16"	4'-0"	12"	#5 @24" O.C.	#4 @25" O.C.

- GENERAL NOTES:**
1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
 2. MINIMUM COMP ACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
 3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
 4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
 5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
 6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
 7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
 8. USE EITHER EXPANSION JOINTS ON 20" CENTERS OR PILASTERS EVERY 16'.
 9. #3 BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT
 10. X BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT
 11. #4 BARS TO BE USED ON WALLS SMALLER THAN 3'-4"
 12. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4" 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".
 13. TW - DESIGNATES FINISHED GRADE @ TOP OF RETAINING WALL
BW - DESIGNATES FINISHED GRADE @ BOTTOM OF WALL.
BOTTOM OF FOOTING IS 20" BELOW THE DESIGNATED BW ELEVATION.



LEGAL DESCRIPTION:
LOT 35 A, OXBOW BLUFF

NOTES:
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.



CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

NM 449-N4A ACS MINUMENT
N 1499797.854
E 1505371.09
EL=5107.17
NAD 1983
NAVD 1988
DELTA ALPHA= -00° 15' 35.36"
NEW MEXICO STATE PLANE, CENTRAL ZONE

DBA ADMINISTRATIVE
SITE PLAN AMENDMENT
PROJECT NO. 102092
APPLICATION NO. 10 AD-70004
Approved: [Signature]
PLANNING DIRECTOR DATE 2/12/10

LEGEND 5008 Greyhawk Ln NW

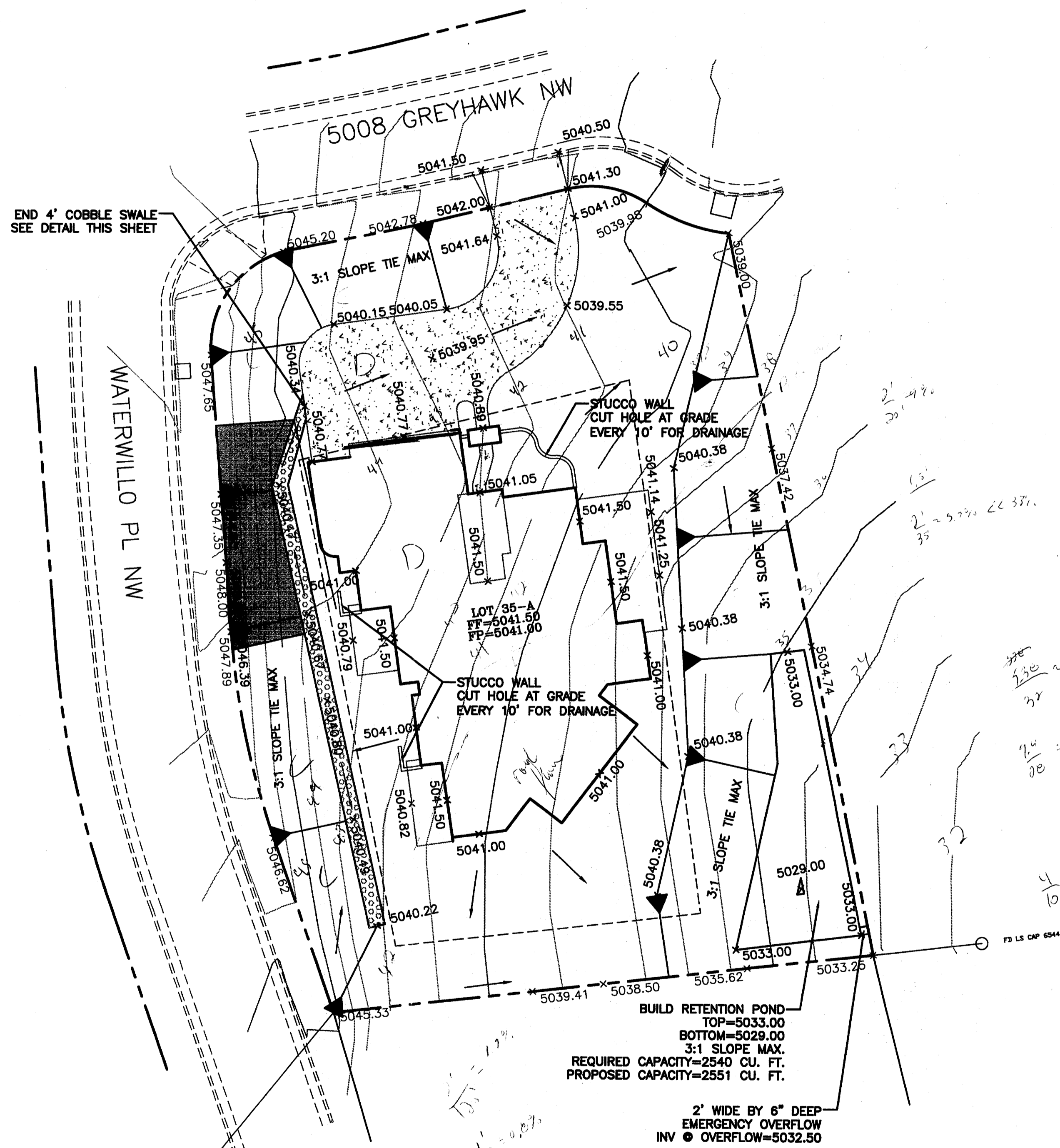
— 5110 —	EXISTING CONTOUR
— 5110 —	EXISTING INDEX CONTOUR
— 5110 —	PROPOSED CONTOUR
— 5110 —	PROPOSED INDEX CONTOUR
▲	SLOPE TIE
x 5048.25	EXISTING SPOT ELEVATION
x 5048.25	PROPOSED SPOT ELEVATION
---	BOUNDARY
---	CENTERLINE
---	RIGHT-OF-WAY
---	BUILDING ENVELOPE
---	BUILDING
	CMU BLOCK RETAINING WALL
xxxxxxx	RAILROAD TIE RETAINING WALL

RECEIVED
FEB 02 2010
HYDROLOGY SECTION

ENGINEER'S SEAL DAVID SOULE NEW MEXICO 14522 REGISTERED PROFESSIONAL ENGINEER	LOT 35A OXBOW GRADING AND DRAINAGE PLAN	DRAWN BY WCWJ
	Rio Grande Engineering 1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	1-27-10 2031-LAYOUT-B-18-08
		SHEET #
		JOB # 2931

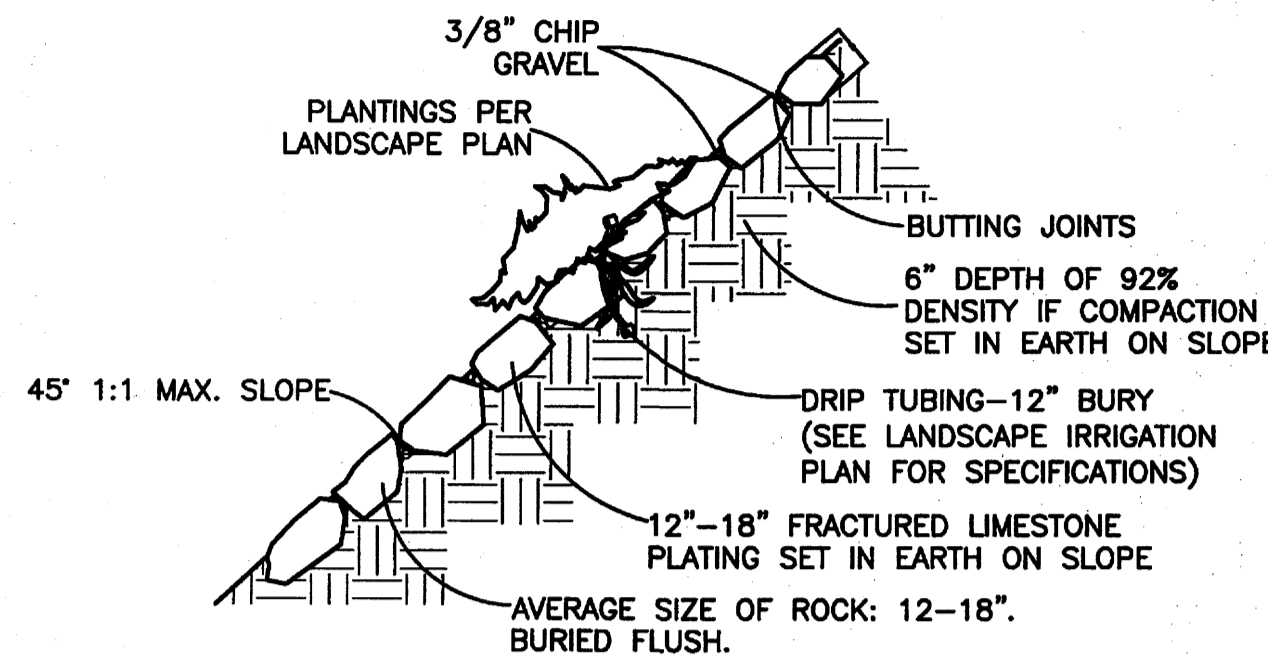
EROSION CONTROL NOTES:

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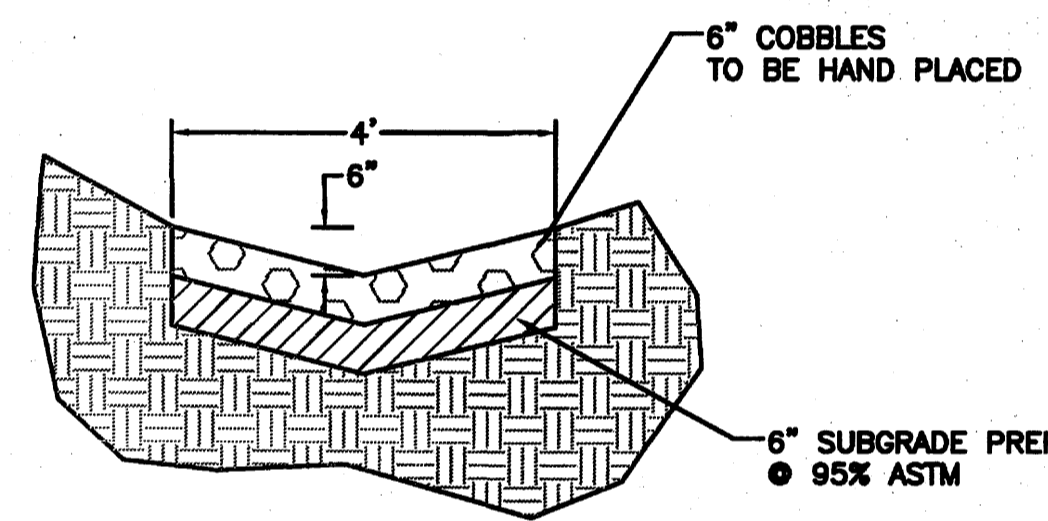
NM 448-N4A ACS MONUMENT
 N 1499797.854
 E 1505371.09
 EL=5107.17
 NAD 1983
 NAVD 1988
 DELTA ALPHA = -00° 15' 35.36"
 NEW MEXICO STATE PLANE, CENTRAL ZONE

CAUTION:
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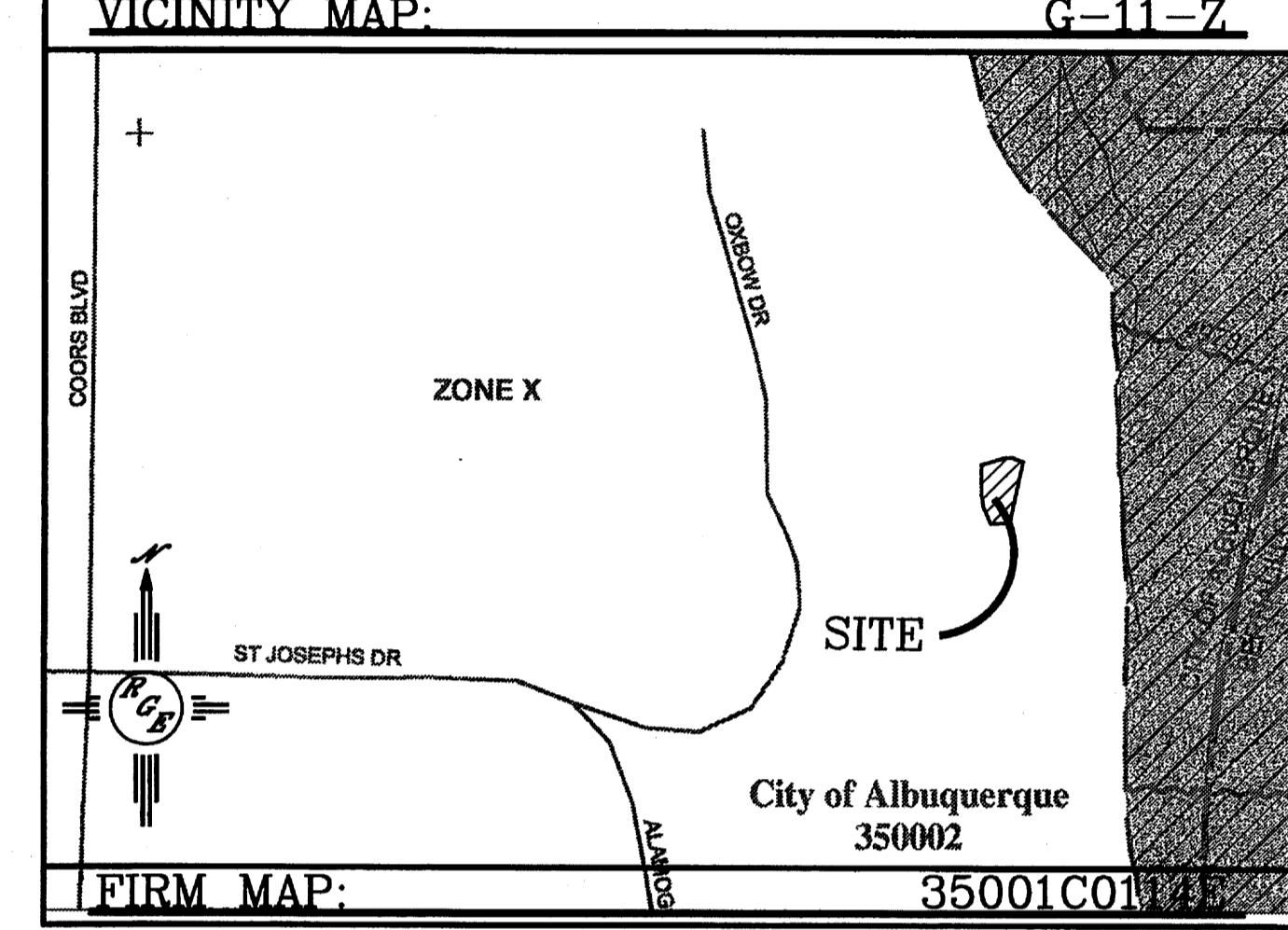
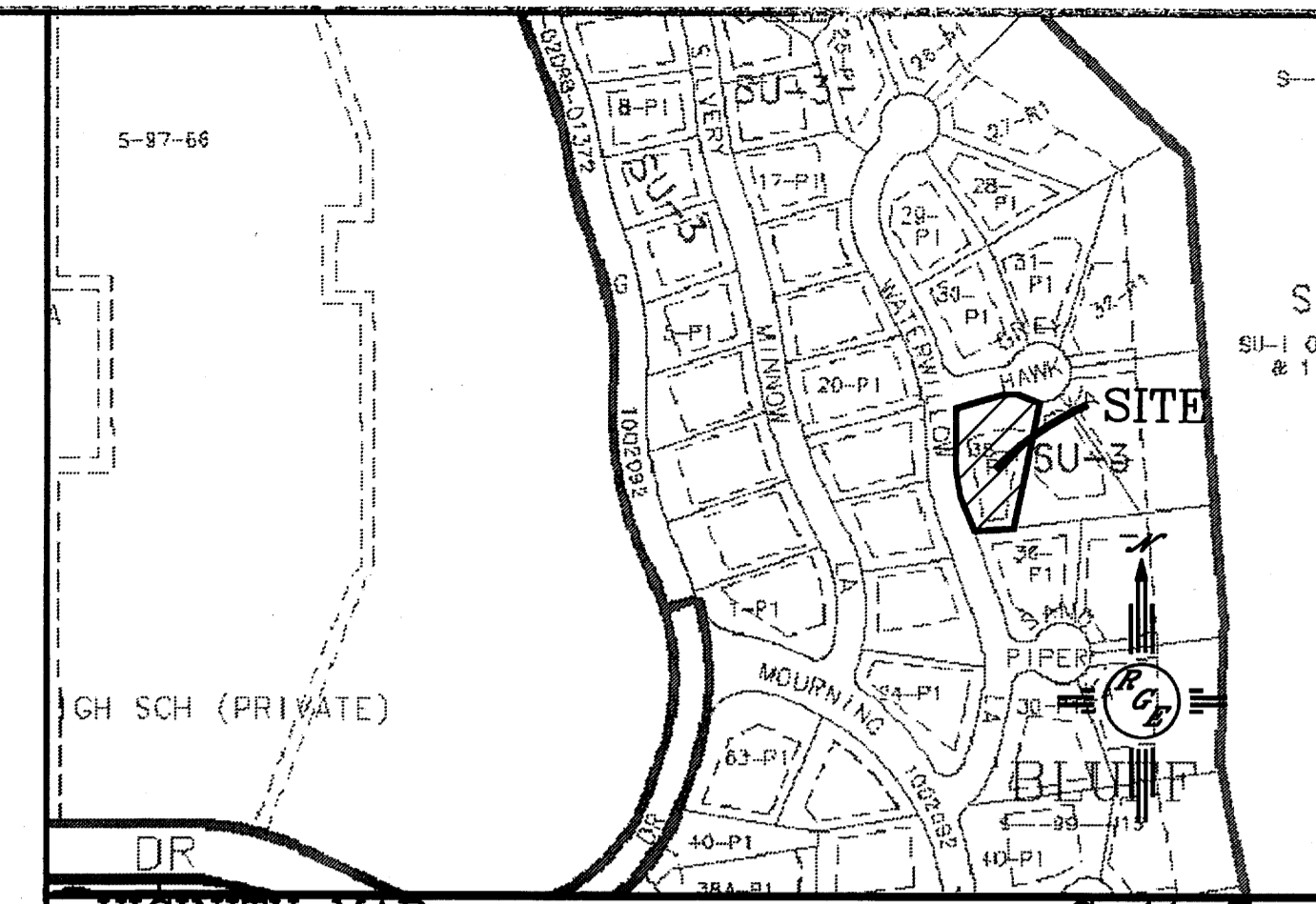


ROCK PLATING DETAIL
 NTS

Where is this?



4' COBBLE SWALE DETAIL
 NTS



LEGAL DESCRIPTION:
 LOT 35 A, OXBOW BLUFF

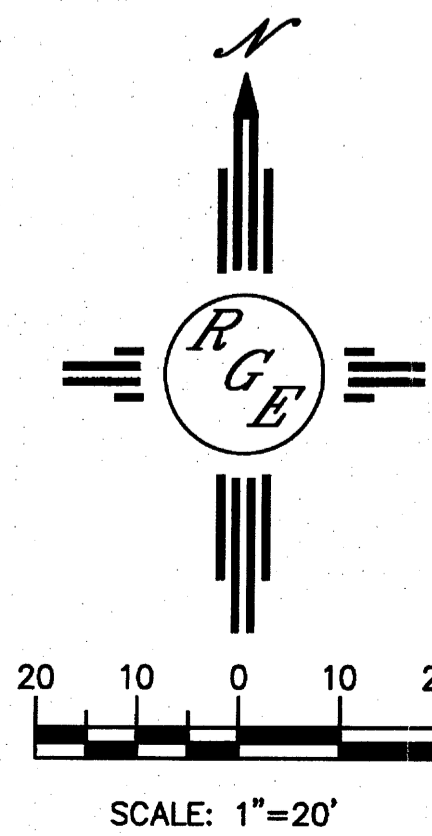
NOTES:

1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.

LEGEND

	EXISTING CONTOUR
	EXISTING INDEX CONTOUR
	PROPOSED CONTOUR
	PROPOSED INDEX CONTOUR
	SLOPE TIE
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	BOUNDARY
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING ENVELOPE
	BUILDING
	ROCK PLATING

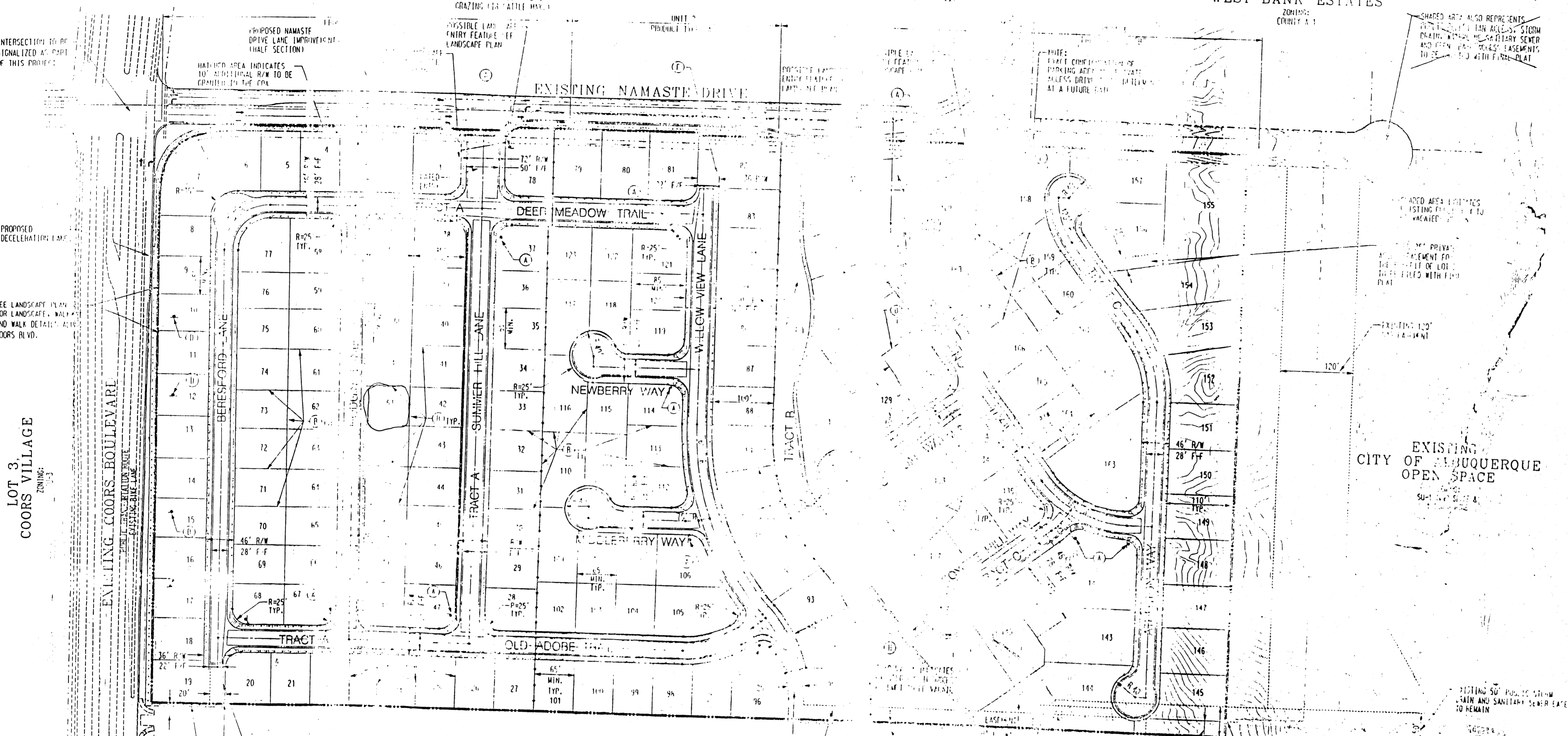
RECEIVED
 SEP 18 2009
 HYDROLOGY SECTION



	LOT 35A OXBOW GRADING AND DRAINAGE PLAN	DRAWN BY WCKJ DATE 9-16-09 2031-LAYOUT-9-16-09
	Rio Grande Engineering 1606 CENTRAL AVENUE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999	SHEET # JOB # 2931
DAVID SOULE P.E. #14522		

2/20/02
 PROJECT # 1062093
 02-01374 - 03-01375

LOT 3, COORS VILLAGE
 ZONING: SU-1-POA

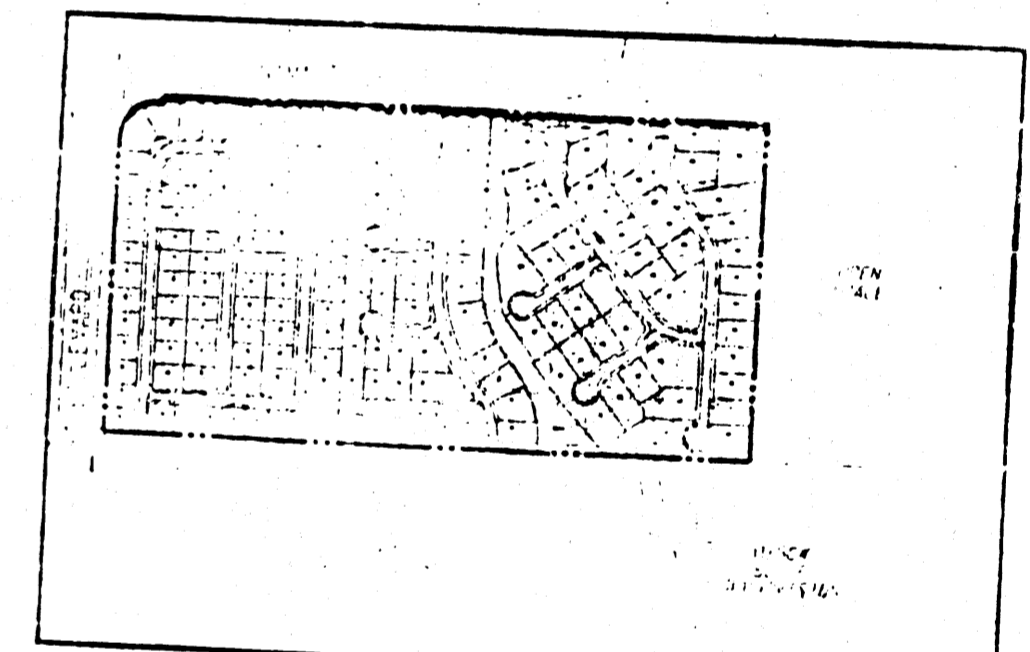


APPROVALS

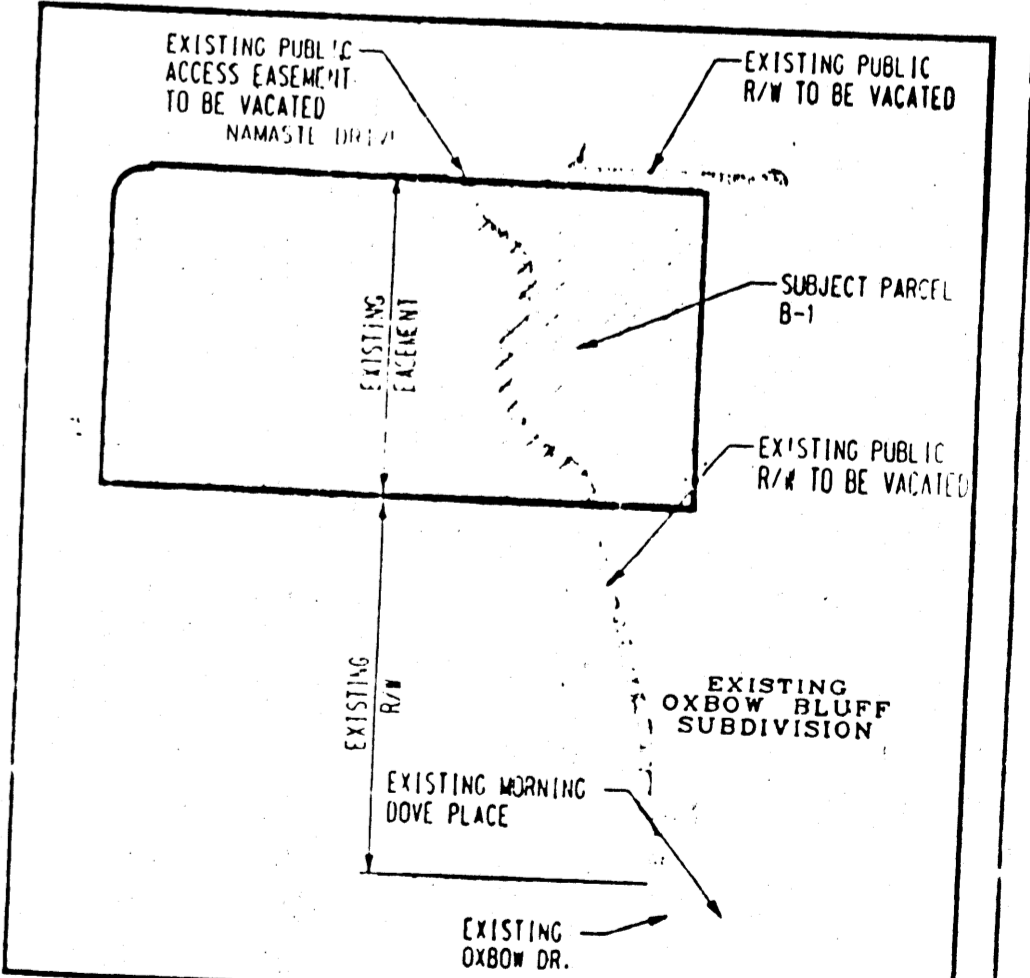
Dhruv Motson	4/19/02
PLANNING DIRECTOR	DATE
Dhruv Motson	11/19/02
PLANNING DEPARTMENT	DATE
Ronald Brown	10/12/02
UTILITY DEVELOPMENT	DATE
Bradley Bindon	10/2/02
CITY ENGINEER / SAFETY	DATE
Rachel Davis	10-02-02
TRANSPORTATION DEVELOPMENT	DATE
Christine Anderson	10/2/02
PARKS & RECREATION	DATE

Ox Bow North @ Ox Bow

EXISTING CITY OF ALBUQUERQUE OPEN SPACE



LOCATION MAP
 ZONE ATLAS MAP NO. F-11
 NOT TO SCALE

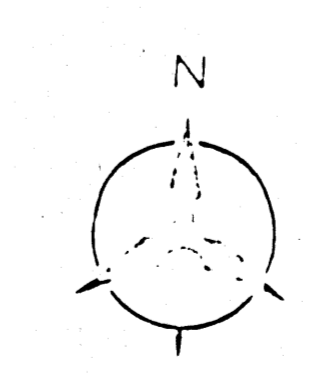


VACATION DETAIL "A"
 NOT TO SCALE

- Keyed Note Table
- A NEW STOP SIGN
 - B 4" HIGH (MIN.) PRIVATE WALL - SEE PLAN FOR LOCATIONS OF RETAINING WALL
 - C GATED PEDESTRIAN ACCESS
 - D APPROXIMATE LOCATION OF UTILITY SINKAGE, INCLUDING VULNERABILITY TO PROJECT DATA/NAME, REALTOR, ETC.
 - E A BLANKET SLOPE, AND LANDSCAPE ELEMENT TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION. SEE LANDSCAPE PLAN. TRACT B WILL CONSIST OF A 20' WIDE PEDESTRIAN AND PUBLIC WATER MAIN EASEMENT TO BE GRANTED WITH FINAL PLAT.
 - F PROPOSED 30' WIDE PUBLIC WATERLINE, SANITARY SEWER, AND STORM DRAIN EASEMENT TO BE GRANTED WITH FINAL PLAT.
 - G PROPOSED 20' PUBLIC ACCESS EASEMENT TO BE GRANTED WITH FINAL PLAT.
 - H PROPOSED 20' WIDE PUBLIC WATERLINE, SANITARY SEWER, AND STORM DRAIN EASEMENT TO BE GRANTED WITH FINAL PLAT.
 - J EXISTING 50' PUBLIC WATERLINE, SANITARY SEWER, AND STORM DRAIN EASEMENT TO BE MAINTAINED WITH FINAL PLAT.
 - K PROPOSED 25' PUBLIC WATERLINE, SANITARY SEWER, AND STORM DRAIN EASEMENT TO BE GRANTED WITH FINAL PLAT.
- GENERAL NOTES:
- PRODUCT TYPE A = 65'x85' MIN. LOT SIZE
 PRODUCT TYPE B = 65'x110' MIN. LOT SIZE
 - SEE GRADING PLAN FOR RETAINING WALL LOCATIONS
 - PROPOSED DEVELOPMENT TO CONSIST OF SINGLE FAMILY, DETACHED RESIDENTIAL UNITS
 - TEMPORARY STRUCTURES TO BE CONTAINED ON SITE INCLUDE A JOB SITE TRAILER AND LOT/HOME SALES OFFICE (UNTIL A MODEL HAS BEEN CONSTRUCTED). EXACT LOCATION TO BE DETERMINED BY CONTRACTOR AND MILLER.
 - SITE STREET LIGHTING LOCATIONS TO BE DETERMINED DURING CONSTRUCTION PLAN PREPARATION.
 - OFF STREET PARKING TO BE PROVIDED ON EACH LOT AS REQUIRED BY THE ZONING CODE.
 - ALL INTERNAL SUBDIVISION STREETS TO BE PRIVATE AND MAINTAINED BY A HOMEOWNERS ASSOCIATION.

SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT OXBOW NORTH AT OXBOW (A REPLAT OF TRACT B1 ARCHDIOCESE OF SANTA FE)

ALBUQUERQUE, NEW MEXICO
 AUGUST 2002



SCALE: 1" = 100'

LEGEND

PLAT BOUNDARY	---
4" HIGH PRIVATE WALL	=====
PROPOSED PROPERTY LINE	-----
PROPOSED RIGHT OF WAY LINE	-----
EXISTING ACCESS EASEMENT AND/OR PUBLIC R/W TO BE VACATED WITH PROJECT	-----
BLANKET SLOPE FEATURE - SEE LANDSCAPE PLAN TO BE MAINTAINED BY HOMEOWNERS ASSOCIATION	-----
PUBLIC RIGHT OF WAY TO BE MAINTAINED WITH PROJECT	-----
PROPOSED NEW WALK / TRAIL	-----
PROPOSED DECELERATION SIDEWALK	-----
1% 50' PUBLIC STORM DRAIN EASEMENT TO REMAIN	-----

Bohannon & Huston
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

DESIGN GUIDELINES FOR OXBOW NORTH

The following are guidelines for homes built in the Oxbow North Subdivision ("Oxbow North Guidelines"). The construction of homes in the Oxbow North will be subject to the review of the Oxbow North Architectural Control Committee (the "ACC") as described below. Builder will construct all homes within Oxbow North in compliance with these Guidelines.

A. Architecture Styles

All homes must be Pueblo Revival, Pitched Roof Pueblo, Territorial, Contemporary Pueblo, or Old World Style. Below are described characteristics of the different styles. While these characteristics are typical, it is not the intent of these guidelines to prohibit a certain amount of individual expression and creativity as long as the overall look of the house contains the characteristics of one of the styles listed below and adheres to the Guidelines. The ACC retains the right to approve or deny any aspects of the design on a case-by-case basis without limitation.

1. Pueblo Revival Style - Pueblo style is walled architecture recalling the low adobe, flat-roofed dwellings of the northern New Mexico Pueblo Indians. Characterized by the "Pueblo Revival" buildings of historic Santa Fe, Pueblo style incorporates recessed set doors and windows, dramatically recessed porches or patios, walled entry courtyards and/or porches, and red brick corners and edges. The Pueblo style traditionally uses flat roofs and relies extensively on post and beam or bearing wall construction. Interesting masonry and soft edged smooth stucco are distinctive features of this style.

2. Pitched Roof Pueblo Style - A more contemporary Pueblo style that incorporates a pitched roof is allowed. For use of the pitched roof style, however, the house must incorporate Pueblo style elements so that the house will blend with the southwestern theme of the subdivision. The pitch ratio for this combination will be no greater than 5:12.

3. Territorial Style - Territorial houses are characterized by simple, if not symmetrical, massing, low sloped roofs, brick parapet caps, stucco walls, square corners, and pedimented window and door hood trim. Porches and courtyards are used to complete plan geometries and to add classical touches to simple massing. The history of masonry dictates that the window and doors be deep set, but not as dramatically as the Pueblo style. The Territorial style, while closely related to the Pueblo style, is straighter, more formal, more finished and lends itself to modern construction techniques. Roofs must be flat. An entry porch is common and a hallmark of the style. Brick shall be used as parapet caps in chimney forms.

4. Contemporary Pueblo Style - Contemporary interpretations of the Pueblo style incorporating large areas of glass and innovative massing can be designed, with skill, to be in harmony with more traditional residences. Pitched roof forms will not be allowed in this style. Courtyard walls extending geometries of residence are part of this style. The percentage of glass area to wall area, without prior approval of the ACC, shall not exceed 30% in this style.

5. Old World Style - Features typically associated with Old World Style Architecture include rock or stone facades and/or Arcades, Arched and/or Vaulted elements, Courtyards, Barns vaulted tile (not flat), Roof pitches which do not exceed 5:12, and a combination of flat and pitched roof components. Some or all of these features may be incorporated into an Old World Style House.

6. Any pitched roof must be non-reflective concrete or slate tile or non-reflective metal and of a color that blends with or closely matches the color of the soffits, fascia and house. Additional colors may be approved by the ACC on an individual basis.

B. Building Massing

For all of the architectural styles listed above, building massing is critical, especially for the street elevations. Building masses should be offset from the adjacent masses by an appropriate dimension to the size of the building and approved by the ACC. The front and rear (if adjacent to a street) elevations must contain at least two building masses, of which two of the building masses must have at least a 1 foot vertical/horizontal offset. Deviations from the 1-foot minimum massing requirements in the Design Guidelines may be approved on an individual basis. A building mass is defined as a volume of space that usually appears as a rectangular form, consisting of a roof and at least three (3) walls.

C. Garages

- Each home must have a garage, the garage shall not more than three and not less than two cars and have a driveway sufficient to park two vehicles, so that a minimum of four parking spaces is provided.
- Garage doors shall be offset from the surface of the front facade by a minimum of eight inches (8").

D. Windows

All exterior windows and frames of windows must be a white or tan color.

E. Setbacks

An effort shall be made to have a variety of front yard setbacks and to develop a randomness to the different setbacks. The minimum setbacks are as follows:

- Front yard setback**
 - No house shall be constructed within two feet (2') from the front property line of a lot.
 - The garage shall be constructed to assure that a twenty-foot (20') minimum parking area exists in front of the garage.
- Side yard setback** - no house shall be constructed within five feet (5') from the side property line of a lot.
- Rear yard setback** - no house shall be constructed within fifteen feet (15') from the rear property line of a lot.

F. Minimum Square Footage

Each home must have at least 1,550 square feet of fully enclosed heating area, exclusive of porches and open porches and patios.

G. Materials and Pre-Approved Building Colors

All homes must be finished with synthetic stucco. Subject to ACC approval, the only colored stucco finishes that will be allowed on homes are the following:

- Sto Flex Adobe Brown (#1104)
- Sto Flex Sandia (#1616)
- Sto Flex Pueblo (#1005)
- Sto Flex Sueda (#1006)
- Sto Flex Santa Fe Alceda (#1003)
- Sto Flex Torreon for High Desert (#1501A)
- USO Oxbow Bluff (Building Specialties)

If a brand of synthetic stucco is used other than Sto or USO, the color must match one of the colors above. Additional colors may be approved by the ACC on an individual basis.

2. Stone and/or tile may be used as an accent feature.

H. Building Heights

The maximum height allowed for any homes constructed in Oxbow North is twenty-six feet (26'). This height limitation is as defined in the city of Albuquerque Comprehensive zoning code.

1. The maximum area of the second story of a house shall be no more than seventy-five percent (75%) of the area of the first floor. The first floor area is calculated inclusive of the garage area and porch area. The second story area is calculated exclusive of roof decks and porches. For example, if the first floor has an area of 2,000 s.f., the area of the second story is limited to a maximum of 1,500 s.f.

2. Floor Area Ratio is the ratio of the heated floor area (including multiple stories) of the structures to the lot. In order to ensure that houses are in appropriate proportion to their lot, a Floor Area Ratio of .75 shall not be exceeded.

I. Landscaping

- Approval Process: Plans for front yard landscaping must be submitted for approval prior to the start of construction of landscaping to the ACC and must be compatible with the overall subdivision streetscape and must conform to and meet or exceed the minimum standards as approved.
- Timing of Installation: All front yard landscaping, and all side yard landscaping (if the home is on a corner), must be completed by the builder no later than two months after completion of construction of the home, but in any event no later than the date of occupancy of the home.

J. Site Lighting

- Site lighting shall not have a total off-site luminance greater than 1000 foot lamberts; however, it shall not have an off-site luminance greater than 200 foot lamberts measured from the property line of any private property in a residential zone.
- The mounting height of luminaires in vehicular and/or storage areas shall be no higher than 20 feet.

K. Mechanical Equipment

- Air conditioning/heating equipment may be installed on flat-roofed structures but must be screened from view by 20' objects that form an integral part of the house. No air conditioning/heating equipment shall be installed on houses with a pitched roof profile. Equipment that is ground-mounted shall be located within the side or rear yard and screened from the front and sides.
- Any roof-mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color and design. Ground mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color, design, and/or landscaping. Top of screen walls are to be the same height or higher than the equipment being screened.

L. Fireplaces

Fireplaces and/or stoves shall be limited to gas logs and Environmental Protection Agency approved woodburning devices. No ordinary woodburning fireplaces shall be installed in any residential dwelling.

M. Walls

- Subdivision Walls: The perimeter subdivision wall shall be concrete masonry unit (CMU) with stucco finish and will be installed and paid for by the Developer. The wall height shall be no more than eight feet (8') and no less than four feet (4') as measured from the street side of the wall.
- Side Walls

- Each house must have a rear wall and two sidewalls. All rear walls shall extend the entire length of the lot's property line. All sidewalls shall extend from the rear of the lot to at least within 6' of the front of the garage.
- Interior residential lot line walls shall be CMU and no more than eight feet (8') in height. Wall planes facing out to streets shall have a stucco finish of a color to match the house to which it is adjacent. The inside of the wall shall be painted to match Sto Flex Pueblo (#1005).
- All walls that are located on the common property line between adjoining lots shall be party walls that may not be removed by either property owner of the adjoining lots. All walls must be constructed from the elevation specified by the subdivision engineer and indicated on the grading plan of the Oxbow North Subdivision. The cost of installation and maintenance of such party retaining walls shall be split equally between property owners of the adjoining lots.
- No wall or fence may be erected on a lot that is closer to the street than the front of the dwelling on the lot, except for courtyard walls.
- A house is located on a corner when such house abuts more than one public right-of-way. The corner house will be deemed to front on the right-of-way on which the house has a smaller dimension, subject to possible redesignation by the ACC upon the request of the owner of any such house.
- Courtyard walls: Courtyard walls are allowed within the front yard setback areas and shall be constructed of materials, finish, and color that are complementary to the house. Wall height shall be as approved by the ACC, and shall not infringe on the clear site triangle.

N. Mailboxes

"Curbside" mailboxes will be used, subject to the requirements of, and in coordination with, the United States Postal Service.

O. Review for Compliance

The compliance of any structure or improvement within the Oxbow North will be reviewed by the ACC.

In order for the ACC to perform such review, the following must be submitted (the completeness of which will be subject to the determination of the ACC):

- Complete set of plans, including but not limited to, foundations, floor plans, elevations, details, plot plan, ACC vertical sheet, landscaping plans and the finished grade of the structure or improvement on the lot.

Within 15 days of receipt of the plans, the ACC will communicate the results of its review in writing to the builder. The communication will specifically indicate whether or not the proposed structure complies with the Design Guidelines.

P. Vacant Lots: Destruction

- There shall be no trash, ashes, paper or refuse of any kind thrown or dumped onto vacant lots in the Oxbow North Subdivision.
- Owner of a lot within the Oxbow North Subdivision that is vacant shall be responsible to keep the lot cleared of weeds, trash and any other items that is visually or otherwise undesirable.
- Owner of a lot upon which a structure is destroyed by fire or other casualty shall within promptly rebuild, replace or reconstruct the structure or remove the debris (including foundations) from the lot.
- Two or more adjoining lots may be combined to form a single lot, subject to approval by the City of Albuquerque Subdivision ordinance and ACC.

Q. Recreational Activities

- The use of any trailer, motor home, boat, shack, tent, garage or any other outbuilding as a residence, either temporarily or permanently is prohibited. However, one motor home or boat may be kept in the driveway or in front of a house for no more than two (2) days per year.
- Placement of any kind of antenna (radio, shortwave, television or others), either temporarily or permanently, is prohibited without the prior approval of the ACC.
- Construction, erection, placement, assembly or maintenance of any outbuilding or storage building or other auxiliary building of any nature, permanent or temporary, detached from the permitted improvements on the house, must be approved in writing by the ACC and must be of similar architectural design as the house.

R. Pedestrian Circulation

Pedestrian circulation for residents for the Oxbow North is an important benefit. Accordingly, sidewalks and/or paved run/bicycle pathways are incorporated to, from, and throughout, the development. These pathways lead to the existing pedestrian/bicycle network and to/from the Oxbow North area.

THE OXBOW NORTH DESIGN GUIDELINES
ALBUQUERQUE, NEW MEXICO
AUGUST 2002

Bohannon & Huston

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ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

OXBOW NORTH SUBDIVISION
UNITS 1, 2 & 3

DESIGN GUIDELINES

ZONE MAP NO. F-11 & G-11 PAGE 6

2/20/03

PROJECT # 1062093
02-01374 - 02-01375

APPROVALS

Sharon Matson 11/19/02 DATE
PLANNING DIRECTOR

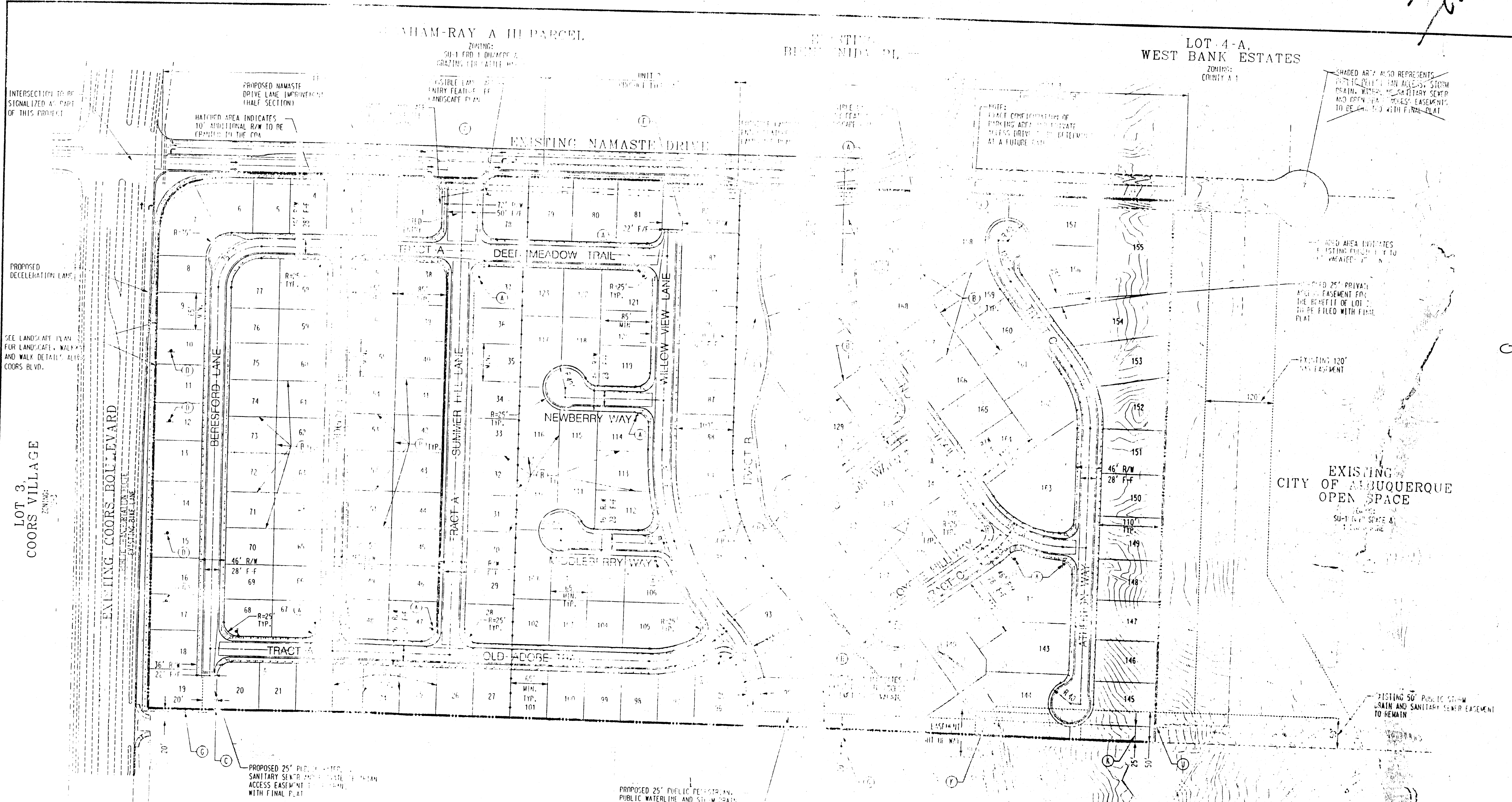
Sharon Matson 11/19/02 DATE
PLANNING DEPARTMENT

Ronald Johnson 10/1/02 DATE
UTILITY DEVELOPMENT

Bradley B. Binkley 10/1/02 DATE
CITY ENGINEER / OFFICE

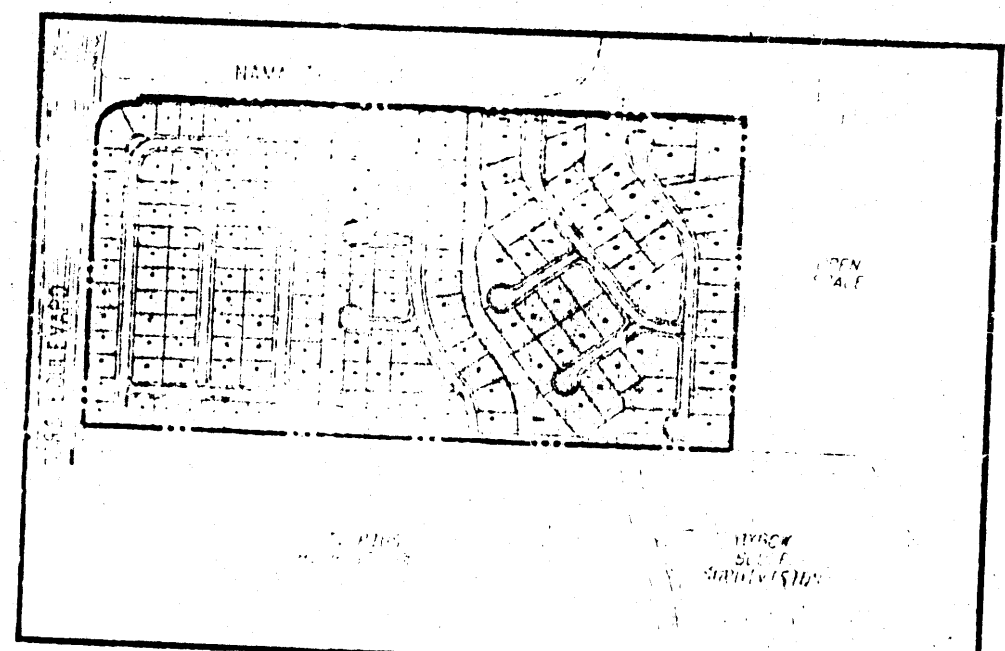
Richard D. Davis 10-01-02 DATE
TRANSPORTATION DEVELOPMENT

Christina S. Anderson 10/1/02 DATE
PARKS & RECREATION

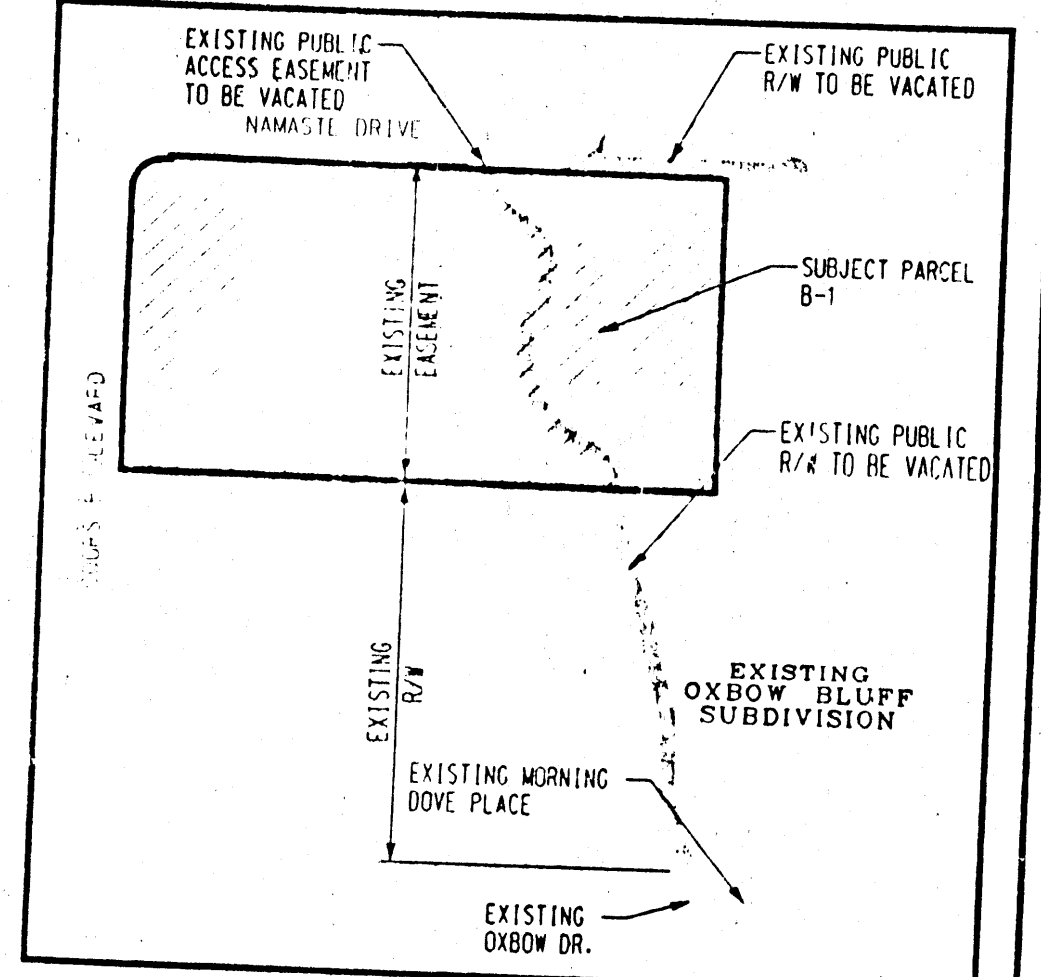


Ox Bow North @ Ox Bow

EXISTING CITY OF ABUQUERQUE OPEN SPACE



LOCATION MAP
2006 ATLAS MAP NO. F-11
NOT TO SCALE



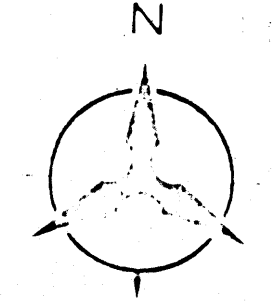
VACATION DETAIL "A"
NOT TO SCALE

SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT

OXBOW NORTH AT OXBOW

(A REPLAT OF TRACT B1 ARCHDIOCESE OF SANTA FE)

ALBUQUERQUE, NEW MEXICO
SUNBELT CORP.



SCALE 1" = 100'

LEGEND

PARCEL BOUNDARY	---
PHASE BOUNDARY LINE	----
PROPOSED PROPERTY LINE	=====
PROPOSED RIGHT OF WAY LINE	=====
EXISTING ACCESS EASEMENT AND/OR PUBLIC R/W TO BE VACATED WITH THIS PROJECT	-----
PROPOSED LANDSCAPE FEATURE - SEE LANDSCAPE PLAN TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION	▨
NEW PUBLIC RIGHT OF WAY TO BE GRANTED WITH THIS PROJECT	▨
PROPOSED NEW SIDEWALK / TRAIL	=====
PROPOSED DEFERRED SIDEWALK	-----
EXISTING 50' PUBLIC STORM DRAIN AND/OR EASEMENT TO REMAIN	-----

GENERAL NOTES

1. PROJECT TRACT A - 65'x85' MIN. LOT SIZE
PROJECT TRACT B - 65'x110' MIN. LOT SIZE
2. SEE GRADING PLAN FOR RETAINING WALL LOCATION
3. PROPOSED DEVELOPMENT TO CONSIST OF SINGLE-FAMILY, DETACHED RESIDENTIAL UNITS
4. TEMPORARY STRUCTURES TO BE CONTAINED ON SITE INCLUDE A MOB SITE TRAILER AND LOT/HOME SALES OFFICE (UNTIL A MODEL HAS BEEN CONSTRUCTED). EXACT LOCATION TO BE DETERMINED BY CONTRACTOR AND BUYER.
5. SITE (STREET) LIGHTING LOCATIONS TO BE DETERMINED DURING CONSTRUCTION PLAN PREPARATION.
6. OFF-STREET PARKING TO BE PROVIDED ON EACH LOT AS REQUIRED BY THE ZONING CODE.
7. ALL INTERIOR SUBDIVISION STREETS TO BE PRIVATE AND MAINTAINED BY A HOMEOWNERS ASSOCIATION.

Keyed Note

- A NEW STOP SIGN
- B 4" HIGH (MIN. 1/4" DIA.) CONCRETE GRADING PLAN FOR LOCATIONS TO BE MAINTAINED
- C GATED PEDESTRIAN SIGN
- D APPROXIMATE LOCATION OF PROJECT SINKAGE, INCLUDING EXISTING UTILITY, PROJECT DATA, ETC.
- E A BLANKET SLOPE AND EASEMENT TO BE OWNED AND MAINTAINED BY HOMEOWNERS ASSOCIATION. (SEE LANDSCAPE PLAN). ALSO TRACT B WILL CONSIST OF A 20' WIDE PUBLIC PEDESTRIAN AND BIWAY EASEMENT
- F PROPOSED 30' WIDE PUBLIC WATERLINE, SANITARY AND STORM DRAIN EASEMENT TO BE GRANTED WITH FINAL PLAT
- G PROPOSED 20' WIDE PUBLIC RIGHT OF WAY TO BE GRANTED BY SEPARATE PLAT
- H PROPOSED 20' WIDE PUBLIC EASEMENT TO BE GRANTED WITH FINAL PLAT
- J EXISTING 50' PUBLIC STORM DRAIN AND SANITARY SEWER EASEMENT TO REMAIN
- K PROPOSED 25' PUBLIC STORM DRAIN EASEMENT TO BE GRANTED WITH FINAL PLAT

Small text at bottom left corner, likely a reference or disclaimer.

Bohannon & Huston
 Courtyara 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

DESIGN GUIDELINES FOR OXBOW NORTH

The following are guidelines for homes built in the Oxbow North subdivision ("Oxbow North Guidelines"). The construction of homes in the Oxbow North will be subject to the review of the Oxbow North Architectural Control Committee (the "ACC") as described below. Builder will construct all homes within Oxbow North in compliance with these Guidelines.

A. Architecture Styles

All homes must be Pueblo Revival, Pitched Roof Pueblo, Territorial, Contemporary Pueblo, or Old World Style. Below are described characteristics of the different styles. While these characteristics are typical, it is not the intent of these guidelines to prohibit a certain amount of individual expression and creativity as long as the overall look of the house contains the characteristics of one of the styles listed below and adheres to the Guidelines. The ACC retains the right to approve or deny any aspects of the design on a case-by-case basis without limitation.

1. Pueblo Revival Style - Pueblo style is walled architecture recalling the low adobe, flat roofed dwellings of the northern New Mexico Pueblo Indians. Characterized by the "Pueblo Revival" buildings of historic Santa Fe, Pueblo style incorporates recessed arched doors and windows, diametrically recessed porches or patios, walled entry courtyards and/or porches, and adobe corners and edges. The Pueblo style traditionally uses flat roofs and relies extensively on post and beam or bearing wall construction. Intriguing massing and soft edged smooth stucco are distinctive features of this style.

2. Pitched Roof Pueblo Style - A more contemporary pueblo style that incorporates a pitched roof is allowed. For use of the pitched roof style, however, the house must incorporate pueblo style elements so that the house will blend with the southwestern theme of the subdivision. The pitch ratio for this combination will be no greater than 5:12.

3. Territorial Style - Territorial houses are characterized by simple, if not symmetrical, massing, low sloped roofs, brick parapet caps, stucco walls, square corners, and pedimented window and door head trim. Porches and courtyards are used to complete plan geometries and to add classical touches to simple massing. The history of masonry dictates that the window and doors be deep set, but not as dramatically as the Pueblo style. The Territorial style, while closely related to the Pueblo style, is straighter, more formal, more finished and lends itself to modern construction techniques. Roofs must be flat. An entry porch is common and a hallmark of the style. Brick shall be used as parapet caps in chimney forms.

4. Contemporary Pueblo Style - Contemporary interpretations of the Pueblo style incorporating large areas of glass and innovative massing can be designed, with skill, to be in harmony with more traditional residences. Pitched roof forms will not be allowed in this style. Courtyard walls extending geometries of residences are part of this style. The percentage of glass area to wall area, without prior approval of the ACC, shall not exceed 30% in this style.

5. Old World Style - Features typically associated with Old World Style Architecture include rock or stone facades and/or accents, arched and/or vaulted elements, courtyards, barrel vaulted tile (not flat), roof pitches which do not exceed 5:12, and a combination of flat and pitched roof components. Some or all of these features may be incorporated into an Old World Style House.

6. Any pitched roof must be non-reflective concrete or stone tile or non-reflective metal and of a color that blends with or closely matches the color of the soffits, fascia and house. Additional colors may be approved by the ACC on an individual basis.

B. Building Massing

For all of the architectural styles listed above, building massing is critical, especially for the street elevations. Building masses should be offset from the adjacent masses by an appropriate dimension to the size of the building and approved by the ACC. The front and rear (if adjacent to a street) elevations must contain at least two building masses, of which two of the building masses must have at least a 1 foot vertical/horizontal offset. Deviations from the 1-foot minimum massing requirements in the Design Guidelines may be approved on an individual basis. A building mass is defined as a volume of space that usually appears as a rectilinear form, consisting of a roof and at least three (3) walls.

C. Garages

1. Each home must have a garage for not more than three and not less than two cars and have a driveway sufficient to park two vehicles, so that a minimum of four parking spaces is provided.
2. Garage doors shall be offset from the surface of the front facade by a minimum of eight inches (8").

D. Windows

All exterior windows and frames of windows must be a white or tan color.

E. Setbacks

An effort shall be made to have a variety of front yard setbacks and to develop a randomness to the different setbacks. The minimum setbacks are as follows:

1. **Front yard setback** - a. No house shall be constructed within ten feet (10') from the front property line of a lot. b. The garage shall be constructed to ensure that a twenty-foot (20') minimum parking area exists in front of the garage.
2. **Side yard setback** - no house shall be constructed within five feet (5') from the side property line of a lot.
3. **Rear yard setback** - no house shall be constructed within fifteen feet (15') from the rear property line of a lot.

F. Minimum Square Footage

Each home must have at least 1,550 square feet of fully enclosed heating area, exclusive of garages and open porches and patios.

G. Materials and Pre-Approved Building Colors

1. All homes must be finished with synthetic stucco. Subject to ACC approval, the only colored stucco finishes that will be allowed on homes are the following:

- Sto Flex Adobe Brown (#1104)
- Sto Flex Sando (#1616)
- Sto Flex Pueblo (#1005)
- Sto Flex Suave (#1006)
- Sto Flex Santa Fe Mocha (#1003)
- Sto Flex Tarron for High Desert (#1501A)
- USG Oxbow Bluff (Building Specialties)

If a brand of synthetic stucco is used other than Sto or USG, the color must match one of the above colors. Additional colors may be approved by the ACC on an individual basis.

2. Stone and/or tile may be used as an accent feature.

H. Building Height

The maximum height allowed for any homes constructed in Oxbow North is twenty-six feet (26'). This height limitation is as defined in the city of Albuquerque Comprehensive zoning code.

1. The maximum area of the second story of a house shall be no more than seventy-five percent (75%) of the area of the first floor. The first floor area is calculated inclusive of the garage area and porch area. The second story area is calculated exclusive of roof decks and porches. For example, if the first floor has an area of 2,000 s.f., the area of the second story is limited to a maximum of 1,500 s.f.
2. Floor Area Ratio is the ratio of the heated floor area (including multiple stories) of the structures to the lot. In order to ensure that houses are in appropriate proportion to their lot, a Floor Area Ratio of .75 shall not be exceeded.

I. Landscaping

1. Approval Process: Plans for front yard landscaping must be submitted for approval prior to the start of construction of landscaping to the ACC and must be compatible with the overall subdivision streetscape and must conform to and meet or exceed the minimum standards as approved.
2. Timing of Installation: All front yard landscaping (if the home is on a corner), must be completed by the builder no later than two months after completion of construction of the home, but in any event no later than the date of occupancy of the home.

J. Site Lighting

1. Site lighting shall not have a rated off-site luminance greater than 1000 foot lamberts; however, it shall not have an off-site luminance greater than 200 foot lamberts measured from the property line of any private property in a residential zone.
2. The mounting height of luminaires in vehicular and/or storage areas shall be no higher than 20 feet.

K. Mechanical Equipment

1. Air conditioning/heating equipment may be installed on flat-roofed structures but must be screened from view by parapets that are an integral part of the house. No air conditioning/heating equipment shall be installed on houses with a pitched roof profile. Equipment that is ground-mounted shall be located within the side or rear yard and screened from the front and sides.
2. Any roof-mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color and design. Ground mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color, design, and/or landscaping. Top of screen walls are to be the same height or higher than the equipment being screened.

L. Fireplaces

Fireplaces and/or stoves shall be limited to gas logs and Environmental Protection Agency approved wood-burning devices. No ordinary wood-burning fireplaces shall be installed in any residential dwelling.

M. Walls

1. Subdivision Walls: The perimeter subdivision wall shall be concrete masonry unit (CMU) with stucco finish and will be installed and paid for by the Developer. The wall height shall be no more than eight feet (8') and no less than four feet (4') as measured from the street side of the wall.

2. Site Walls

- a. Each house must have a rear wall and two sidewalls. All rear walls shall extend the entire length of the rear property line. All sidewalls shall extend from the rear of the lot to at least within 6' of the front of the garage.
 - b. Interior residential lot line walls shall be CMU and no more than eight feet (8') in height. Wall planes facing out to streets shall have a stucco finish of a color to match the house to which it is adjacent. The inside of the wall shall be painted to match Sto Flex Pueblo (#1005).
 - c. All walls that are located on the common property line between adjoining lots shall be party walls that may not be removed by either property owner of the adjoining lots. All walls must be constructed from the elevation specified by the subdivision engineer and indicated on the grading plan of the Oxbow North Subdivision. The cost of installation and maintenance of such party retaining walls shall be split equally between property owners of the adjoining lots.
 - d. No wall or fence may be erected on a lot that is closer to the street than the front of the dwelling on the lot, except for courtyard walls.
 - e. A house is located on a corner when such house abuts more than one public right-of-way. The corner house will be deemed to front on the right-of-way on which the house has a smaller dimension, subject to possible redesignation by the ACC upon the request of the owner of any such house.
3. Courtyard walls: Courtyard walls are allowed within the front yard setback areas and shall be constructed of materials, finish, and color that are complementary to the house. Wall height shall be as approved by the ACC, and shall not infringe on the clear site triangle.

N. Mailboxes

"Lister-type" mailboxes will be used, subject to the requirements of, and in coordination with, the United States Postal Service.

O. Review for Compliance

The compliance of any structure or improvement within the Oxbow North will be reviewed by the ACC.

In order for the ACC to perform such review, the following must be submitted (the completeness of which will be subject to the determination of the ACC):

1. A complete set of plans, including but not limited to, foundations, floor plans, elevations, details, plot plan, ACC submittal sheet, landscaping plans and the finished grade of the structure or improvement on the lot.

Within 15 days of receipt of the plans, the ACC will communicate the results of its review in writing to the builder. The communication will specifically indicate whether or not the proposed structure complies with the Design Guidelines.

P. Vacant Lots; Destruction

1. Lots shall be no trash, ashes, paper or refuse of any kind thrown or dumped onto vacant lots in the Oxbow North Subdivision.
2. Owner of a lot within the Oxbow North Subdivision that is vacant shall be responsible to keep the lot cleared of weeds, trash and any other item that is visually or otherwise undesirable.
3. If a structure is destroyed by fire or other casualty shall either promptly rebuild, repair or replace the structure or remove the debris (including foundations) from the lot.
4. Two or more adjoining lots may be combined to form a single lot, subject to approval by the City of Albuquerque Subdivision ordinance and ACC.

Q. Restricted Activities

1. The use of any trailer, motor home, boat, shack, tent, garage or any other outbuilding as a residence, either temporarily or permanently is prohibited. However, one motor home or boat may be kept in the driveway or in front of a house for no more than ten (10) days per year.
2. The placement of any kind of antenna (radio, shortwave, television or others), either temporarily or permanently, is prohibited without the prior approval of the ACC.
3. The construction, erection, placement, assembly or maintenance of any outbuilding or storage building or other auxiliary building of any nature, permanent or temporary, detached from the permitted improvements on the house, must be approved in writing by the ACC and must be of similar architectural design as the house.

S. Pedestrian Circulation

Pedestrian circulation for residents for the Oxbow North is an important benefit. Accordingly, sidewalks and/or pedestrian/bicycle pathways are incorporated to, from, and throughout, the development. These pathways lead to the existing pedestrian/bicycle network and to/from the Oxbow marsh area.

THE OXBOW NORTH DESIGN GUIDELINES
ALBUQUERQUE, NEW MEXICO
AUGUST 2002

Bohannon & Huston
Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

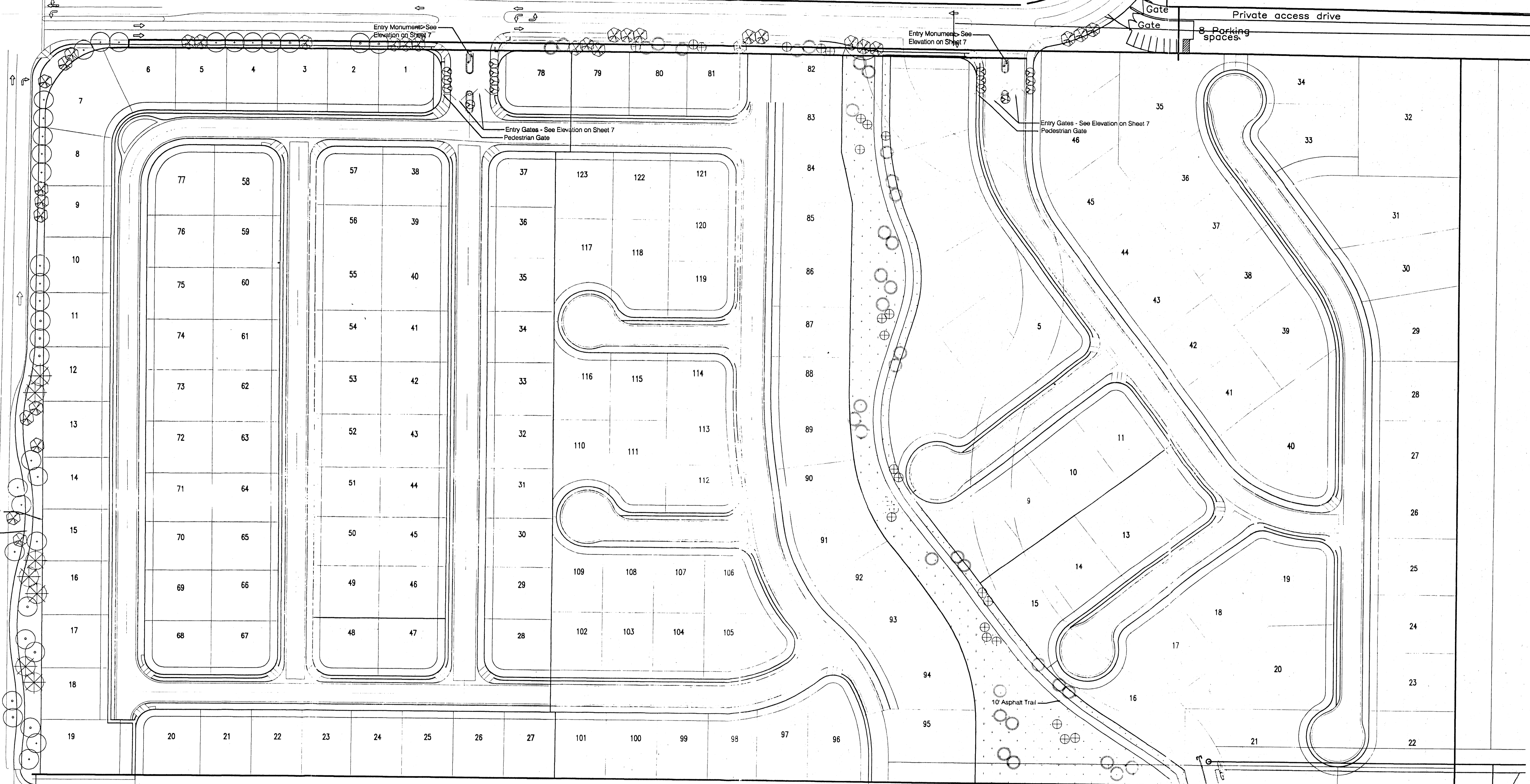
OXBOW NORTH SUBDIVISION
UNITS 1, 2 & 3
DESIGN GUIDELINES

NO.	DATE	REVISIONS	BY

01-SEP-2002
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09135
090216

NAMASTE ROAD

COORS BOULEVARD NW



GENERAL
 The design and provision of landscaping for Oxbow North shall be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in the design and installation.

GENERAL PLANT PALETTE
 This list is provided as a guide only. Additional plant materials included in the "Albuquerque Plant List" are acceptable subject to the Water Conservation Landscaping and Water Waste Ordinance.

- Evergreen Trees (6' min. height)***
Pinon Pine, Austrian Pine
- Large Canopy Trees (min. 2" caliper B&B)***
Modesto Ash, Raywood Ash, Honeylocust, Cottonwood
- Ornamental Trees (min. 1-1/2" caliper B&B)***
Desert Willow, Chitalpa, New Mexico Olive, Ornamental Pear, Golden Rain tree, Flowering Locust, Eastern Redbud, Chaste Tree

Shrubs, Groundcovers and Wildflowers (1 and 5 gallon)
 Juniper Species, Potentilla, Chamae, Artemisia Species, Red Yucca, Fourwing Saltbush, Apache Plume, Mountain Mahogany, Evening Primrose, Penstemon Species, Desert Spoon, Cliff Rose, Three-leaf Sumac, Baccharis, Yucca Species, Cherry Sage, Russian Sage, Blue Mist, Turpentine Bush, Rosemary, Dwarf Fountain Grass, Threadgrass, Beargrass, Boston Ivy, English Ivy, Virginia Creeper

Revegetative Seed Mix
 Oxbow Mix of Native Grasses and Wildflowers

Mulches
 Santa Fe Brown Crusher Fines, 3/4" Santa Fe Brown Rock Mulch, 2" - 4" Santa Ana Tan Cobble

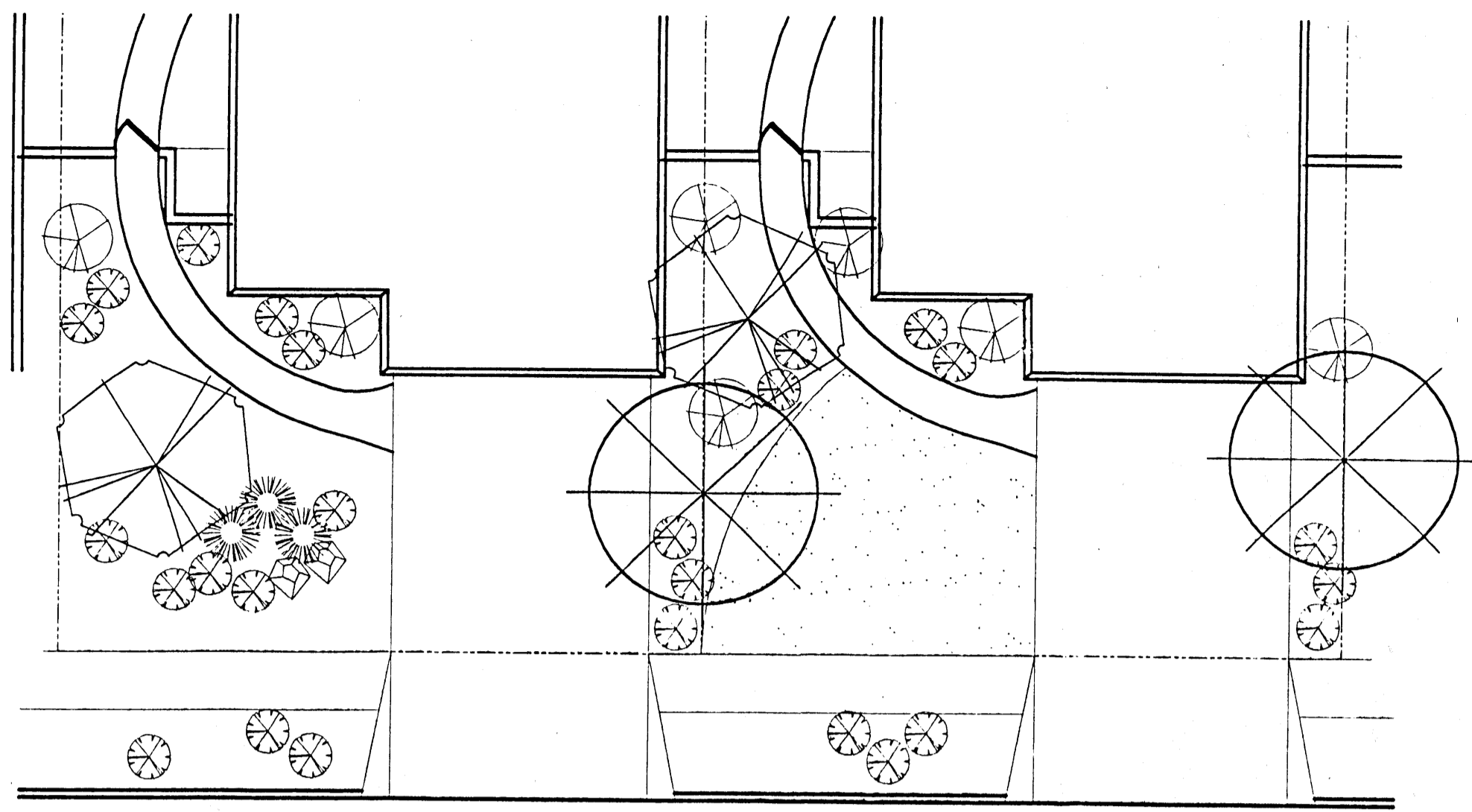
Landscape Boulders
 Moss Rock and/or Granite (3' min. dimension)

IRRIGATION SYSTEM
 The irrigation system shall consist of a fully automated sprinkler/drip system to irrigate turf, and tree, shrub, and groundcover plantings.

MAINTENANCE RESPONSIBILITY
 Maintenance of the landscaping and irrigation system, including areas within the City R.O.W., shall be the responsibility of the homeowners' association to be formed for Oxbow North.

CONSENSUS PLANNING, INC.
 Planning / Landscape Architecture
 924 Park Avenue SW
 Albuquerque, NM 87102
 (505) 764-9801 Fax 842-5495
 e-mail: cp@consensusplanning.com

OXBOW NORTH CONCEPTUAL LANDSCAPE PLAN



MINIMUM FRONT YARD LANDSCAPE STANDARDS

Southwest Package

- 1 Focal Tree (min. 15 gallon)
- 1 Tree (min. 7 gallon)
- 5 Shrubs (min. 5 gallon)
- 16 Wild Flowers/Groundcovers (min. 1 gallon)
- 2 Landscape Boulders (3x3 min.)

Combination Package

- 1 Focal Tree (min. 15 gallon)
- 1 Tree (min. 7 gallon)
- 5 Shrubs (min. 5 gallon)
- 10 Wild Flowers/Groundcovers (min. 1 gallon)
- Turf Sod w/Steel Edging

In addition, all front yard landscaping shall be required to have the following:

- 3/4" Santa Fe Brown Rock Mulch over filter fabric for all landscaped areas that are not covered with living vegetative groundcover

The following approved Accents can be used for front yard landscaping:

- 2"-4" Cobbles (max. 25% of Area), Bark Mulch (in tree wells only)

GENERAL PLANT PALETTE FOR FRONT YARD LANDSCAPES

This list is provided as a guide only. Additional plant materials included in the "Albuquerque Plant List" are acceptable subject to the Water Conservation Landscaping and Water Waste Ordinance.

Focal Trees*

- Pinon Pine, New Mexico Olive or Washington Hawthorn

Ornamental Trees*

- Desert Willow or Pine

*Palm Yucca and Ocotillo shall not be considered to fulfill the requirement for front yard trees.

Shrubs (5 gallon)

- Spanish Broom, Regal Mist, India Hawthorn, Rosemary, Cotoneaster, Autumn Sage

Groundcovers and Wildflowers (1 gallon)

- Blue Pincushion, Santolina, Wallflower, Gaillardia, Coreopsis, Red Hot Poker, Tam Juniper, Lavender or Penstemon

IRRIGATION SYSTEM

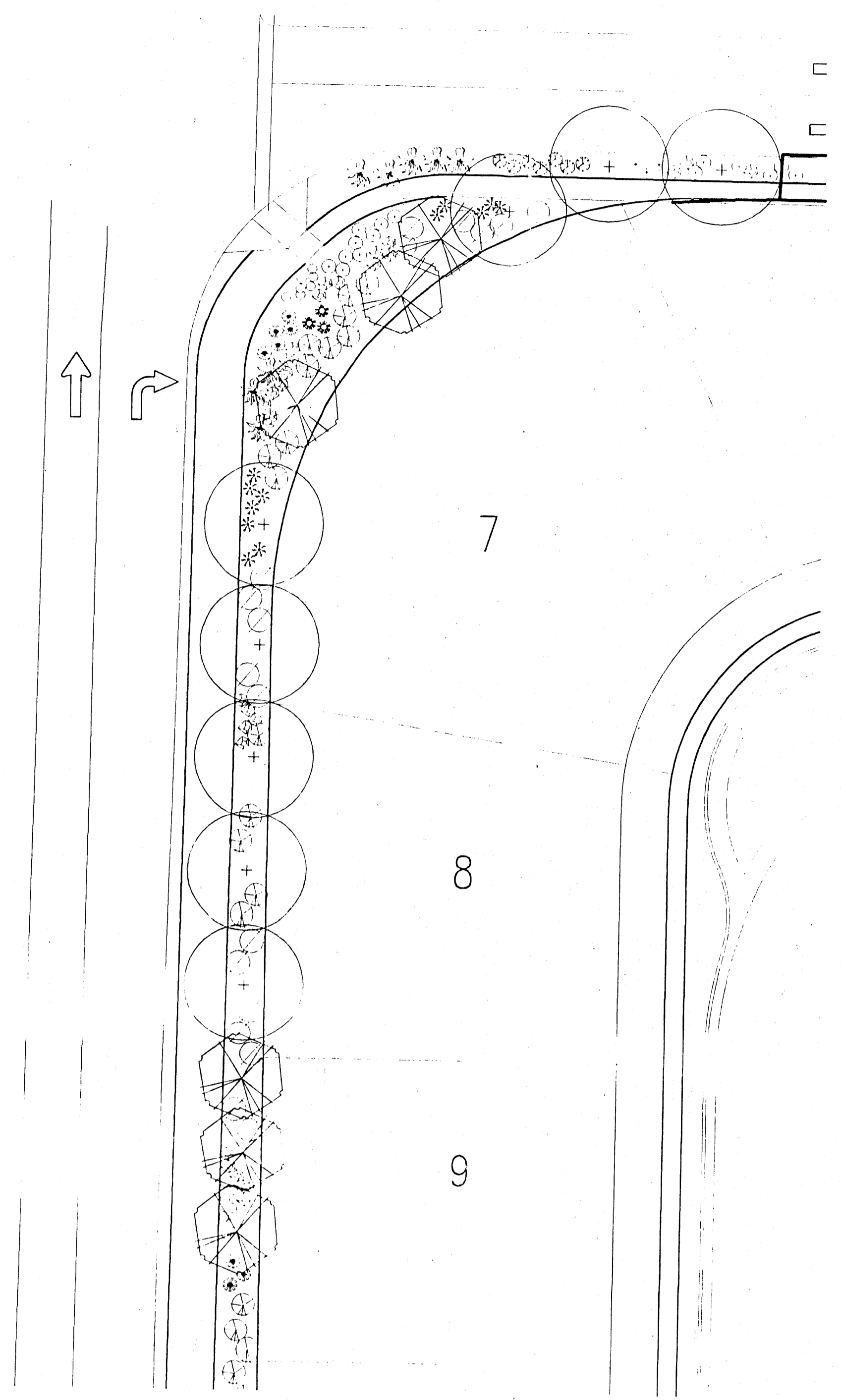
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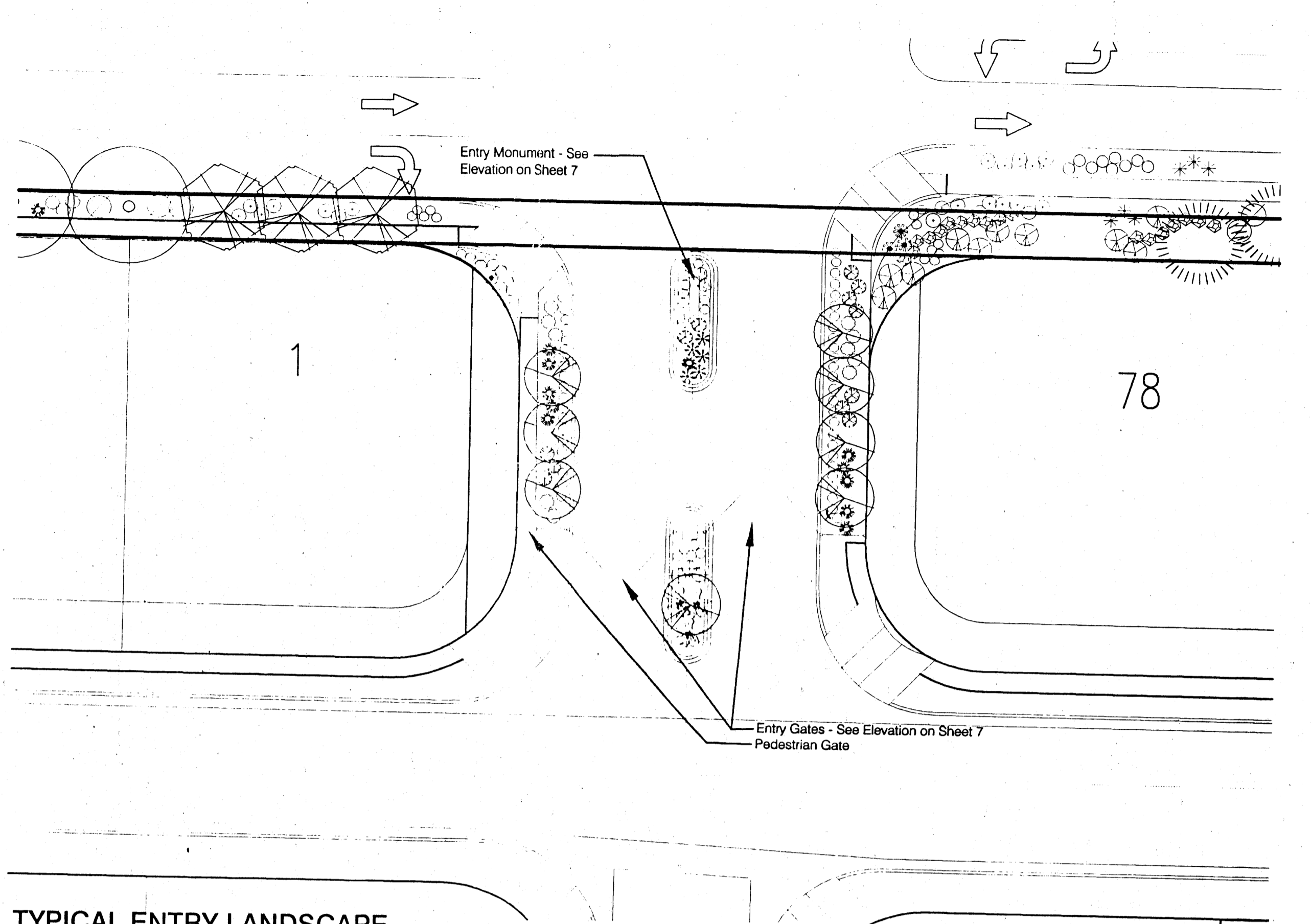
TYPICAL FRONT YARD LANDSCAPE PLAN

1" = 10'



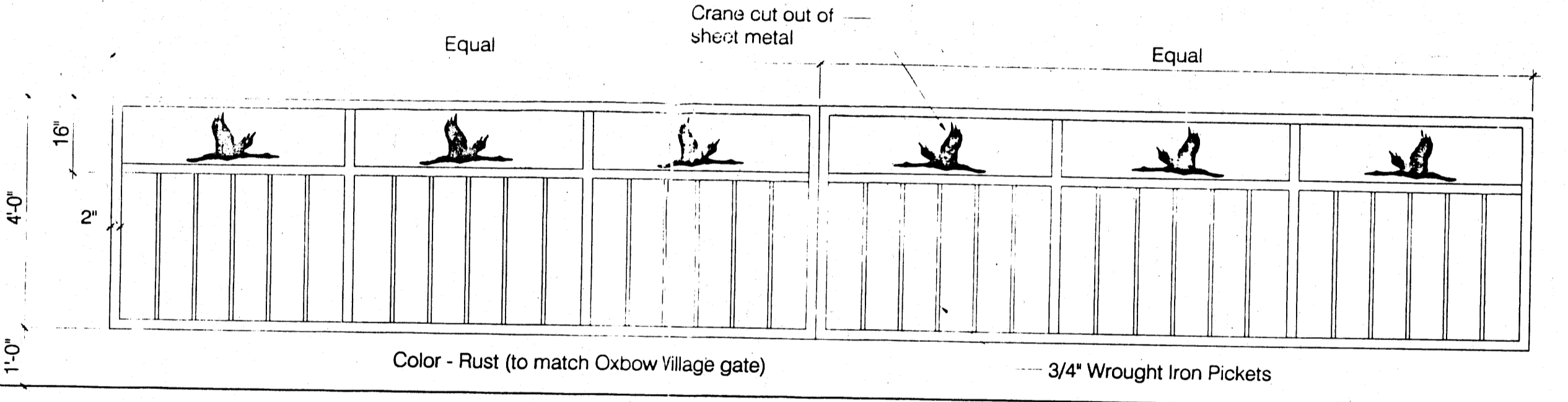
TYPICAL STREETSCAPE LANDSCAPE

1" = 20'



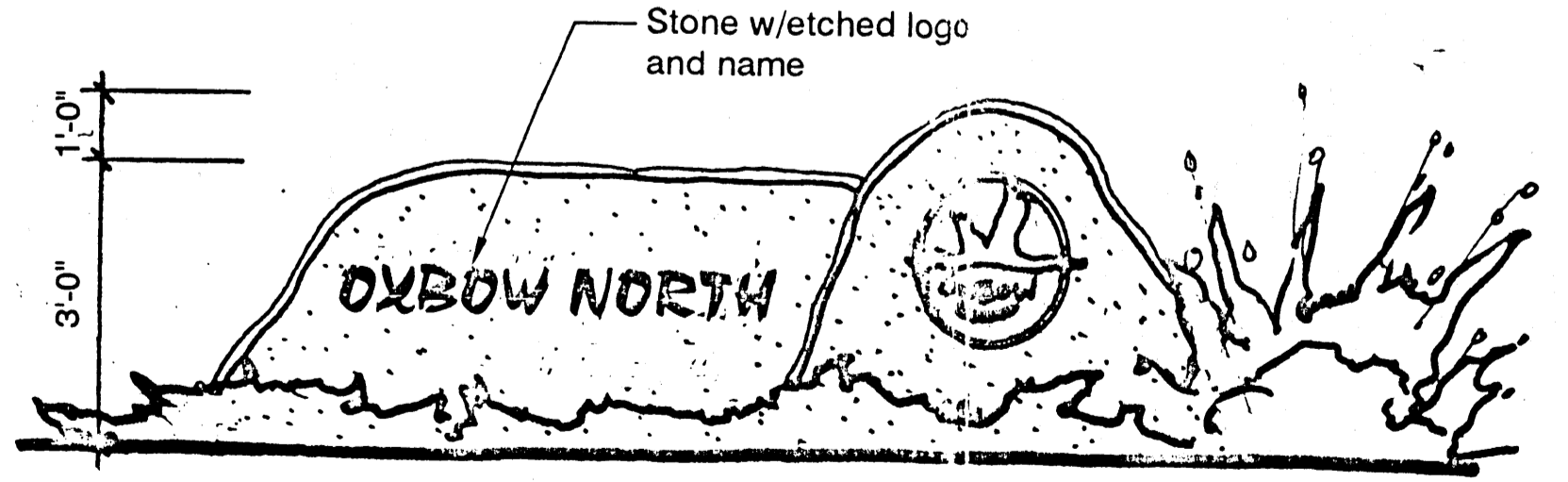
TYPICAL ENTRY LANDSCAPE

1" = 20'



ENTRY GATE ELEVATION

1/2" = 1'-0"



ENTRY MONUMENT ELEVATION

1/2" = 1'-0"

CONSENSUS PLANNING, INC.
 Planning / Landscape Architecture
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 (505) 764-9801 Fax 842-5495
 e-mail: cp@consensusplanning.com

OXBOW NORTH
CONCEPTUAL LANDSCAPE DETAILS