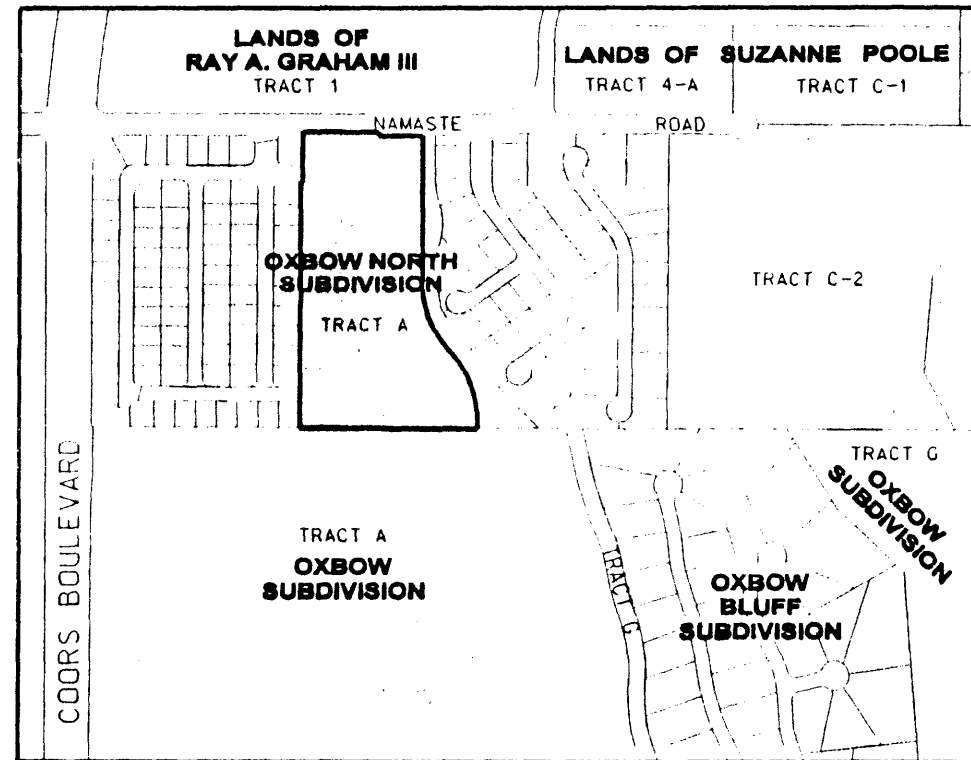


AGIS ✓

SP-2004200534



LOCATION MAP

ZONE ATLAS INDEX MAP No. F-11-Z
NOT TO SCALE

SUBDIVISION DATA

- 1. DRB Project No. 1002092
2. Zone Atlas Index No. F-11-Z
3. Gross Subdivision Acreage: 9.3699 Acres.
4. Total Number of Lots/Tracts created: Forty-five (45) Lots and One (1) Tract.
5. Total Mileage of full width Private Streets created: 0.3536 mile.
6. Date of Survey: January, 2003.
7. Plat is located within the Projected Section 35, T11N, R2E, NMPM and within the Town of Albuquerque Grant.

DISCLOSURE STATEMENT

The purpose of this Plat is to Subdivide all of Tract A of the PLAT OF OXBOW NORTH, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 13, 2003 in Volume 2003C, Page 31 as Document No. 2003024311, into Forty-five (45) Lots and One (1) Tract and to grant easements.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground & overhead electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
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D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgear, as installed shall extend ten feet(10') in front of transformers/switchgear door and five feet (5') on each side.

DESCRIPTION

A certain tract of land situate within the Town of Albuquerque Grant, within the south one-half (S1/2) of projected Section 35, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract A of the PLAT OF OXBOW NORTH, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 13, 2003 in Book 2003C, Page 31 as Document No. 2003024311, and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD 1927) and ground distances as follows:

Beginning at the southwest corner of said Tract A, whence the Albuquerque City Survey (ACS) Monument "JOSEPH 1969", a standard USC&GS brass tablet set in top of a concrete post, having New Mexico State Plane Coordinates, Central Zone (NAD 1927) of X=366,686.82 and Y=1502,246.75 bears S31°10'41"E, a distance of 1598.00 feet and from said point of beginning running thence along the westerly boundary line of said Tract A, N00°11'10"E, a distance of 805.00 feet to a point on the southerly right-of-way line of Deer Meadow Trail NW, thence running along said right-of-way line, S89°48'50"E, a distance of 6.00 feet to a point, thence leaving said right-of-way line and running thence along the westerly boundary line of said Tract A, N00°11'10"E, a distance of 160.88 feet to the northwest corner of said Tract A, a point on the southerly right-of-way line of Namaste Road NW, thence running along the northerly boundary line of said Tract A and also along said right-of-way line, S89°46'23"E, a distance of 237.00 feet to a point; thence, S00°11'10"W, a distance of 12.00 feet to a point; thence, S89°46'23"E, a distance of 136.00 feet to the northeast corner of said Tract A, thence leaving said right-of-way line and running thence along the easterly boundary line of said Tract A, S00°11'10"W, a distance of 467.50 feet to a point of curvature; thence, 253.13 feet along the arc of a curve to the left having a radius of 350.00 feet and a chord which bears S20°31'59"E, a distance of 247.65 feet to a point of reverse curvature; thence, 256.75 feet along the arc of a curve to the right having a radius of 355.00 feet and a chord which bears S20°31'59"E, a distance of 251.19 feet to a point of tangency; thence, S00°11'10"W, a distance of 19.54 feet to the southeast corner of said Tract A, thence running along the southerly boundary line of said Tract A, N89°48'50"W, a distance of 555.48 feet to the point and place of beginning.

Tract contains 9.3699 acres, more or less.

FREE CONSENT AND DEDICATION

The foregoing plat of that certain tract of land situate within projected Section 35, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico and within the Town of Albuquerque Grant Albuquerque, New Mexico, being and comprising all of Tract A of the PLAT OF OXBOW NORTH, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 13, 2003 in Volume 2003C, Page 31 as Document No. 2003024311, now comprising Lots 79 through 123 inclusive and Tract A, PLAT OF OXBOW NORTH, UNIT 2, Albuquerque, New Mexico, is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant all access, utility, and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities therein and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried and overhead distribution lines, conduits, pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantees Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("work") it deems appropriate without liability to the City. If work affects any Improvements or Encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of Improvements or Encroachments. If in the opinion of the City, the work to be performed by the City could endanger the structural integrity or otherwise damage the Improvements or Encroachments, the Grantee shall, at its own expense take whatever protective measures are required to safeguard the Improvements or Encroachments. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is with its free act and deed. Said owners warrant that they hold complete and indefeasible title in fee simple to the land subdivided.

BY: James W. Rogers, Managing Member
State of New Mexico)
County of Bernalillo)

This instrument was acknowledged before me on 11 day of May, 2004, by James W. Rogers, Managing Member of Oxbow North Ventures.
My Commission Expires: 0-24-07

OFFICIAL SEAL STEPHANIE L. STRATTON
NOTARY PUBLIC-STATE OF NEW MEXICO
My commission expires: 0-24-07

NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone NAD 1927) and are the same as shown on the PLAT OF OXBOW NORTH, Albuquerque, New Mexico, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 13, 2003 in Volume 2003C, Page 31 as Document No. 2003024311.
2. Distances are ground distances.
3. All easements of record are shown.
4. Centerline (in lieu of R/W monumentation) to be installed at all centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard four-inch (4") aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS #6544".
5. Tract A is to be reserved for and granted to the Oxbow North Homeowners Association and its assigns by separate document.
6. Tract A is subject to a Public Sanitary Sewer, Water, and Subsurface Storm Drain Easement to be granted to the City of Albuquerque with the filing of this plat. Tract A is also subject to a Private Access and Surface Drainage Easement to serve Lots 44 through 123 in the Oxbow North Subdivision Phase III.
7. All interior streets (Tract A) is private and to be maintained by the Oxbow North Homeowners Association.
8. Fireplaces and/or stoves shall be limited to Gas Logs and Environmental Protection Agency approved Wood-Burning Devices. No ordinary Wood-Burning Fireplaces shall be installed in any Residential Dwelling Unit.
9. This subdivision lies within the City of Albuquerque, water and sanitary sewer capabilities are based on the City of Albuquerque's facilities. Water and sanitary sewer infrastructure improvements must be approved by the City of Albuquerque.

SURVEYOR'S CERTIFICATION

I, A. Duain Weaver, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.
A. Duain Weaver
New Mexico Professional Surveyor 6544
Date: May 10, 2004



PLAT OF OXBOW NORTH UNIT 2 (A REPLAT OF TRACT A, OXBOW NORTH) ALBUQUERQUE, NEW MEXICO MAY, 2004

Table with columns for APPROVALS, PLAT NUMBER (1002092), APPLICATION # (04-C-159), and various signatures and dates for roles like Planning Director, City Engineer, City Surveyor, etc.

TAX CERTIFICATION
PROPERTY OWNER OF RECORD: Ramon Catholic Church
Bernalillo County Treasurer's Office

PNM STAMP
In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Barcode and registration information: 2004111322, 6124817, Page: 1 of 2, 09/06/2004 10:49A, Bk-2004C Pg-236

Bohannon - Huston

Courtyard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4375
ENGINEERING - SPATIAL DATA - ADVANCED TECHNOLOGIES

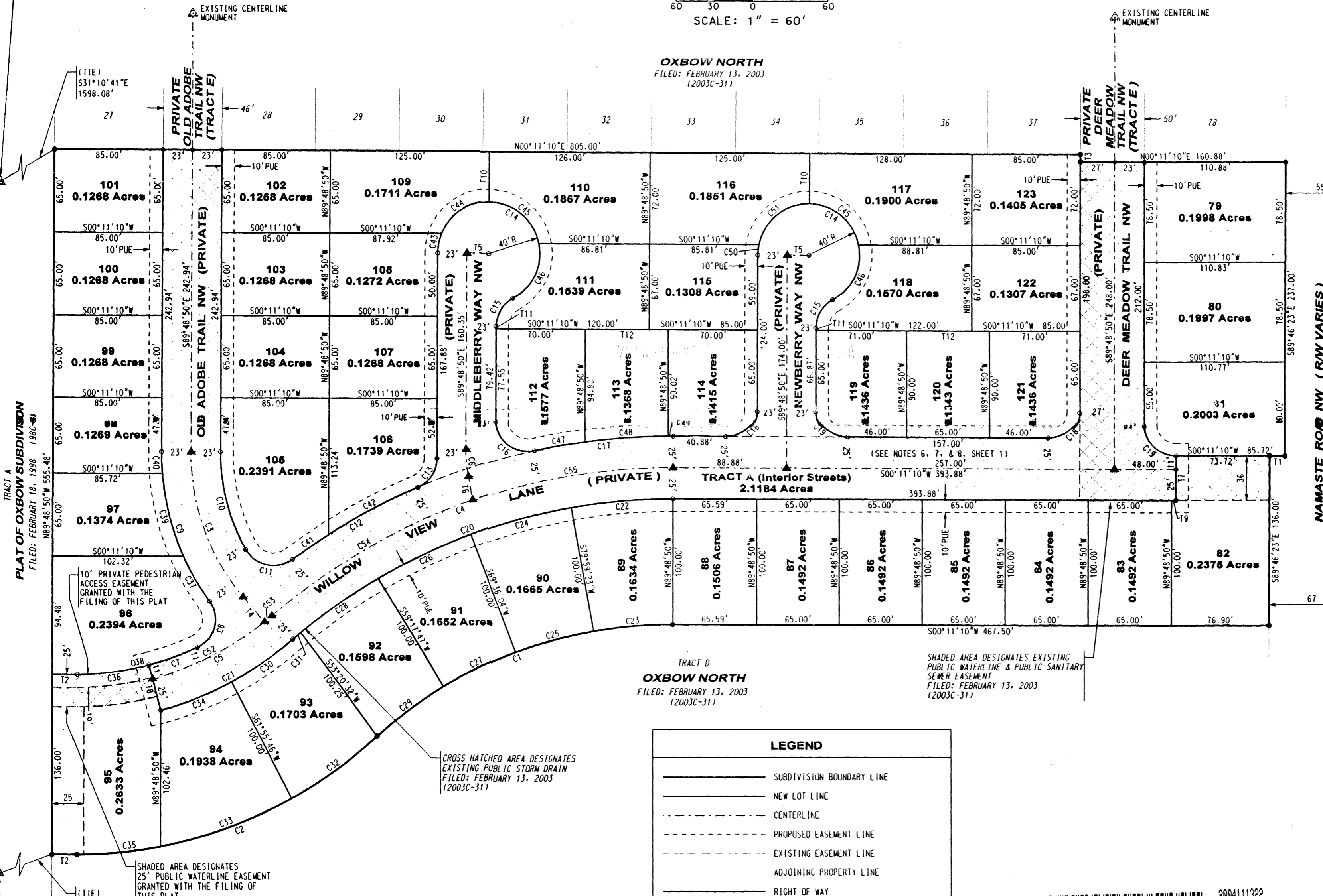
USC & GS BRASS TABLE STAMPED "JOSEPH 1969"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X = 366,686.82 Y = 1,502,246.75
 GROUND TO GRID FACTOR = 0.9996751
 DELTA ALPHA = -00°15'24"
 SLD 1929 ELEVATION = 5113.852



SCALE: 1" = 60'

**PLAT OF
 OXBOW NORTH
 UNIT 2**
 (A REPLAT OF TRACT A,
 OXBOW NORTH)
 ALBUQUERQUE, NEW MEXICO
 MAY, 2004

OXBOW NORTH
 FILED: FEBRUARY 13, 2003
 (2003C-31)



TANGENT DATA

ID	BEARING	DISTANCE
T1	S00°11'10"W	12.00'
T2	S00°11'10"W	19.54'
T3	S89°48'50"E	6.00'
T4	N50°38'45"E	26.35'
T5	S00°11'10"W	17.00'
T6	N79°48'58"E	18.97'
T7	S89°48'50"E	36.00'
T8	S15°18'41"W	36.00'
T9	S00°11'10"W	3.29'
T10	N89°48'50"W	40.00'
T11	N89°48'50"W	1.87'
T12	S00°11'10"W	65.00'

TRACT I
**PLAT OF TRACTS
 A, B, 1, 2, 3, 4, 5, & 6**
 LANDS OF
**RAY A. GRAHAM III,
 OWENWEST CORP. AND
 CITY OF ALBUQUERQUE**
 FILED: APRIL 1, 2002 (2002C-99)

CURVE DATA

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	41°26'19"	132.39'	253.13'	350.00'	247.65'	S20°31'59"E
C2	41°26'18"	134.28'	256.75'	355.00'	251.19'	S20°31'59"E
C3	39°32'25"	64.70'	124.22'	180.00'	121.77'	N70°24'58"E
C4	41°26'18"	134.28'	256.75'	355.00'	251.19'	S20°31'59"E
C5	41°26'19"	132.39'	253.13'	350.00'	247.65'	S20°31'59"E
C6	10°22'12"	10.89'	21.72'	120.00'	21.69'	N85°00'04"E
C7	10°30'08"	20.13'	40.14'	219.00'	40.09'	N19°56'23"W
C8	100°15'11"	29.93'	43.74'	25.00'	38.37'	N75°19'03"W
C9	35°37'48"	65.23'	126.24'	203.00'	124.21'	S72°22'16"W
C10	29°20'54"	41.11'	80.42'	157.00'	79.54'	N75°30'43"E
C11	97°16'24"	28.39'	42.44'	25.00'	31.53'	N12°11'04"E
C12	13°01'46"	57.10'	113.70'	500.00'	113.46'	N29°55'16"W
C13	66°24'27"	16.35'	28.98'	25.00'	27.38'	N66°36'36"W
C14	241°30'55"	168.61'	40.00'	68.75'	68.75'	N30°56'38"E
C15	61°30'55"	14.88'	26.84'	25.00'	25.57'	S59°03'22"E
C16	102°33'17"	31.18'	44.75'	25.00'	39.01'	N38°54'32"E
C17	12°33'17"	55.00'	109.56'	500.00'	109.34'	N06°05'28"W
C18	90°00'00"	25.00'	39.27'	25.00'	35.36'	N44°48'50"W
C19	90°00'00"	25.00'	39.27'	25.00'	35.36'	N45°11'10"E
C20	41°26'19"	132.39'	253.13'	350.00'	247.65'	S20°31'59"E
C21	26°33'49"	60.19'	118.22'	255.00'	117.17'	S27°14'14"E
C22	10°11'47"	40.15'	80.08'	450.00'	79.98'	N04°54'43"E
C23	10°11'47"	31.23'	62.29'	350.00'	62.20'	S04°54'43"E
C24	10°23'19"	40.91'	81.59'	450.00'	81.48'	N15°12'16"W
C25	10°23'19"	31.82'	63.46'	350.00'	63.37'	S15°12'16"E
C26	10°18'18"	40.58'	80.93'	450.00'	80.83'	N25°33'05"W
C27	10°18'18"	31.56'	62.95'	350.00'	62.86'	S25°33'05"E
C28	09°31'34"	37.50'	74.82'	450.00'	74.73'	N35°28'00"W
C29	10°32'55"	32.31'	64.44'	350.00'	64.35'	S35°45'41"E
C30	13°10'54"	29.46'	58.67'	255.00'	58.54'	N34°35'41"E
C31	01°01'21"	4.02'	8.03'	450.00'	8.03'	N40°44'28"W
C32	13°10'54"	41.02'	81.67'	355.00'	81.49'	S34°39'41"E
C33	17°37'51"	55.06'	109.24'	355.00'	108.81'	S19°15'19"E
C34	13°22'55"	29.92'	59.56'	255.00'	59.42'	N21°22'47"W
C35	10°37'33"	33.01'	65.84'	355.00'	65.74'	S05°07'37"E
C36	14°52'29"	28.59'	56.86'	219.00'	56.70'	N07°15'04"W
C37	11°47'17"	20.96'	41.77'	203.00'	41.69'	N60°27'00"E
C38	25°22'37"	49.31'	97.00'	219.00'	96.21'	S12°30'08"E
C39	19°01'21"	34.01'	67.40'	203.00'	67.09'	N75°51'19"E
C40	04°49'11"	8.54'	17.08'	203.00'	17.07'	N87°46'35"E
C41	03°55'19"	17.12'	34.22'	500.00'	34.22'	S34°28'29"E
C42	09°06'27"	39.82'	79.48'	500.00'	79.39'	S27°57'36"E
C43	22°01'28"	7.78'	15.38'	40.00'	15.28'	S78°48'06"E
C44	67°58'32"	26.97'	47.46'	40.00'	44.72'	S33°48'06"E
C45	78°27'44"	32.66'	54.78'	40.00'	50.60'	S33°25'03"E
C46	13°03'08"	29.63'	51.00'	40.00'	47.62'	N64°49'29"W
C47	04°36'31"	20.12'	40.22'	500.00'	40.21'	S10°03'51"E
C48	07°28'26"	32.66'	65.22'	500.00'	65.18'	S04°01'23"E
C49	00°28'20"	2.06'	4.12'	500.00'	4.12'	S00°03'00"E
C50	11°32'13"	4.04'	8.05'	40.00'	8.04'	S84°02'43"E
C51	78°27'47"	32.66'	54.78'	40.00'	50.60'	S33°48'06"E
C52	24°39'56"	50.29'	99.01'	230.00'	98.25'	N27°01'17"W
C53	01°53'54"	3.81'	7.62'	230.00'	7.62'	N40°18'12"W
C54	22°10'13"	93.06'	183.80'	475.00'	182.65'	N30°10'02"W
C55	19°16'05"	80.63'	159.74'	475.00'	158.99'	N09°26'53"W

LEGEND

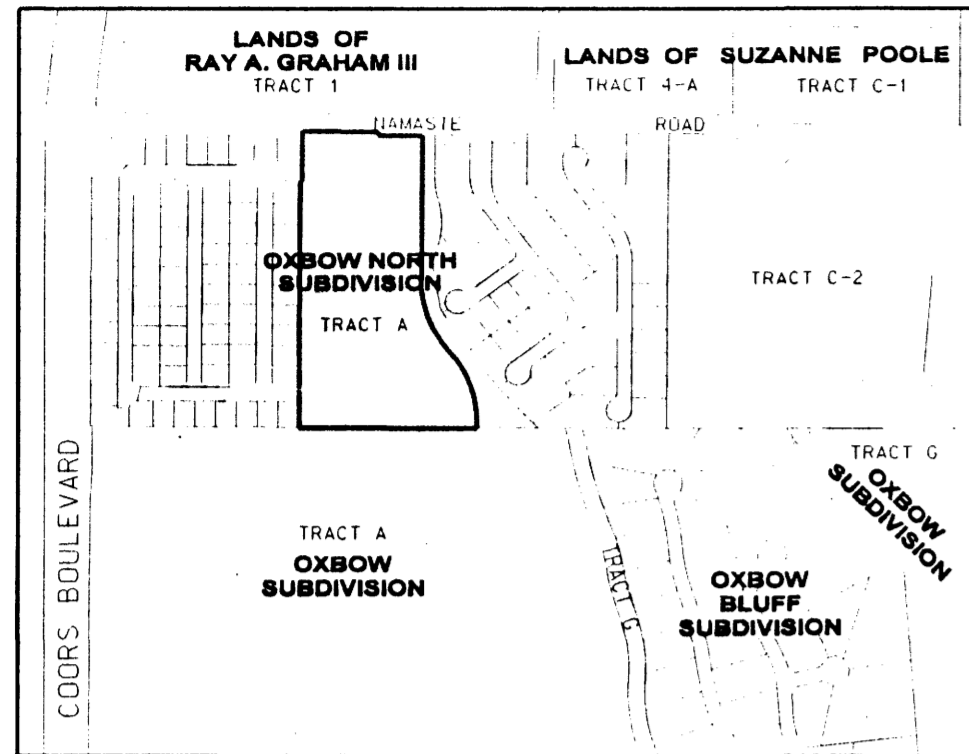
- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- - - CENTERLINE
- - - PROPOSED EASEMENT LINE
- - - EXISTING EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- RIGHT OF WAY
- 10' PUE: 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- 5/8" REBAR WITH 1 1/2" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"

288411322
 6124817
 Page: 2 of 2
 08/06/2004 10:49A
 Bk-2884C Pg-239

Mary Herrera Bern. Co. PLRT R 12.09 Bk-2884C Pg-239

USGS BRASS TABLE STAMPED "VABM 5108 NOSE RG 1950"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X = 367,317.96 Y = 1,501,006.81
 GROUND TO GRID FACTOR = 0.9996757
 DELTA ALPHA = -00°15'19"
 SLD 1929 ELEVATION = 5111.597

SP-2004200534



LOCATION MAP
ZONE ATLAS INDEX MAP No. F-11-Z
NOT TO SCALE

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Tract contains 9.3699 acres, more or less.

FREE CONSENT AND DEDICATION

The foregoing plat of that certain tract of land situate within projected Section 35, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico and within the Town of Albuquerque Grant Albuquerque, New Mexico, being and comprising all of Tract A of the PLAT OF OXBOW NORTH, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 13, 2003 in Volume 2003C, Page 31 as Document No. 2003024311, now comprising Lots 79 through 123 inclusive and Tract A, PLAT OF OXBOW NORTH, UNIT 2, Albuquerque, New Mexico is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant all access, Utility, and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried and overhead distribution lines, conduits, pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantees Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("work") it deems appropriate without liability to the City. If work affects any Improvements or Encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of Improvements or Encroachments. If in the opinion of the City, the work to be performed by the City could endanger the structural integrity or otherwise damage the Improvements or Encroachments, the Grantee shall, at its own expense take whatever protective measures are required to safeguard the Improvements or Encroachments. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is with its free act and deed.

OXBOW NORTH VENTURES
BY: James W. Rogers, Managing Member
State of New Mexico)
County of Bernalillo)

This instrument was acknowledged before me on 11 day of May, 2004, by James W. Rogers, Managing Member of Oxbow North Ventures.

My Commission Expires: 06-24-07 Stephanie L. Stratton, Notary Public

OFFICIAL SEAL
STEPHANIE L. STRATTON
NOTARY PUBLIC-STATE OF NEW MEXICO
My commission expires: 06-24-07

NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone NAD 1927) and are the same as shown on the PLAT OF OXBOW NORTH, Albuquerque, New Mexico, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 13, 2003 in Volume 2003C, Page 31 as Document No. 2003024311.
2. Distances are ground distances.
3. All easements of record are shown.
4. Centerline (in lieu of R/W monumentation) to be installed at all centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard four-inch (4") aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS #5544".
5. Tract A is to be reserved for and granted to the Oxbow North Homeowners Association and its assigns by separate document.
6. Tract A is subject to a Public Sanitary Sewer, Water, and Subsurface Storm Drain Easement to be granted to the City of Albuquerque with the filing of this plat. Tract A is also subject to a Private Access and Surface Drainage Easement to serve Lots 44 through 123 in the Oxbow North Subdivision Phase III.
7. All interior streets (Tract A) is private and to be maintained by the Oxbow North Homeowners Association.
8. Fireplaces and/or stoves shall be limited to Gas Logs and Environmental Protection Agency approved Wood-Burning Devices. No ordinary Wood-Burning Fireplaces shall be installed in any Residential Dwelling Unit.
9. This subdivision lies within the City of Albuquerque, water and sanitary sewer capabilities are based on the City of Albuquerque's facilities. Water and sanitary sewer infrastructure improvements must be approved by the City of Albuquerque.

SURVEYOR'S CERTIFICATION

I, A. Dwain Weaver, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.



A. Dwain Weaver
A. Dwain Weaver
New Mexico Professional Surveyor 6544
Date: May 10, 2004

Final
PRELIMINARY PLAT
APPROVED BY DRB
5/14/04

PLAT OF
OXBOW NORTH
UNIT 2
(A REPLAT OF TRACT A,
OXBOW NORTH)
ALBUQUERQUE, NEW MEXICO
MAY, 2004

APPROVALS

Table with columns for PLAT NUMBER, PLANNING DIRECTOR, CITY ENGINEER, A.M.A.F.C.A., TRAFFIC ENGINEER, CITY SURVEYOR, PROPERTY MANAGEMENT, UTILITY DEVELOPMENT DEPARTMENT, PARKS & RECREATION, QWEST, COMCAST CABLE, PNM ELECTRIC SERVICES, PNM GAS SERVICES, and DATE.

TAX CERTIFICATION

PROPERTY OWNER OF RECORD
BERNALILLO COUNTY TREASURER'S OFFICE

PNM STAMP

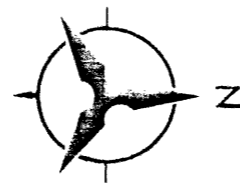
In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Behannan - Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

SHEET 1 OF 2 ENGINEERING SPATIAL DATA ADVANCED TECHNOLOGIES

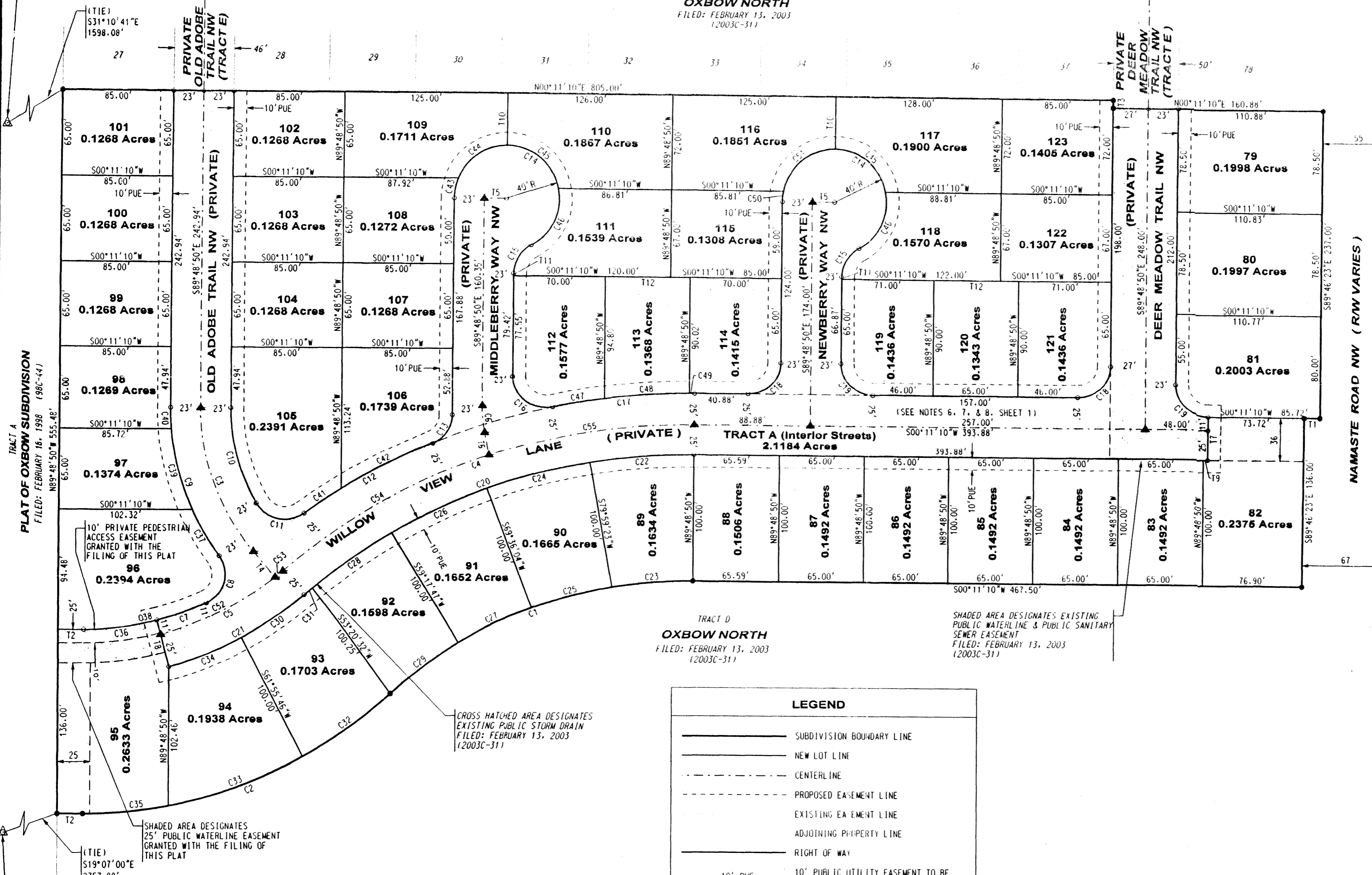
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 X = 366,686.82 Y = 1,502,246.75
 GROUND TO GRID FACTOR = 0.99967551
 DELTA ALPHA = -00°15'24"
 SLD 1929 ELEVATION = 5113.852



SCALE: 1" = 60'

OXBOW NORTH
 FILED: FEBRUARY 13, 2003
 (2003C-31)

PLAT OF
**OXBOW NORTH
 UNIT 2**
 (A REPLAT OF TRACT A,
 OXBOW NORTH)
 ALBUQUERQUE, NEW MEXICO
 MAY, 2004



TANGENT DATA

ID	BEARING	DISTANCE
T1	S00°11'10"W	11.00'
T2	S00°11'10"W	11.54'
T3	S89°48'50"E	11.00'
T4	N50°38'45"E	26.35'
T5	S00°11'10"W	17.00'
T6	N79°48'58"E	18.97'
T7	S89°48'50"E	36.00'
T8	S75°18'41"W	36.00'
T9	S00°11'10"W	31.29'
T10	N89°48'50"W	41.00'
T11	N89°48'50"W	41.00'
T12	S00°11'10"W	65.00'

TRACT I
**PLAT OF TRACTS
 A, B, 1, 2, 3, 4, 5, & 6**
LANDS OF
RAY A. GRAHAM III,
OVENWEST CORP. AND
CITY OF ALBUQUERQUE
 FILED: APRIL 1, 2002 (2002C-99)

CURVE DATA

ID	DELTA	TANGENT	ARI	RADIUS	CHORD	CHORD BRG
C1	41°26'19"	132.39'	253.11'	350.00'	247.65'	S20°55'56"E
C2	41°26'18"	134.28'	256.75'	355.00'	251.19'	S20°55'59"E
C3	39°32'25"	64.70'	124.23'	180.00'	121.77'	N70°24'58"E
C4	41°26'19"	179.67'	343.54'	475.00'	336.10'	S20°55'59"E
C5	26°33'49"	54.29'	106.61'	230.00'	105.68'	S27°36'14"E
C6	10°22'12"	10.89'	21.77'	120.00'	21.69'	N85°10'04"E
C7	10°30'08"	20.13'	40.14'	219.00'	40.09'	N19°23'23"W
C8	100°15'11"	29.93'	43.74'	25.00'	38.37'	N75°19'03"W
C9	35°37'48"	65.23'	126.24'	203.00'	124.21'	S72°16'16"W
C10	51°00'54"	41.11'	80.43'	151.00'	79.54'	N75°19'43"E
C11	97°16'24"	28.39'	42.44'	25.00'	37.53'	N12°21'04"E
C12	13°01'46"	57.10'	113.70'	500.00'	113.46'	N29°10'16"W
C13	66°24'27"	16.36'	28.98'	25.00'	27.38'	N56°30'36"W
C14	41°30'55"	168.6'	337.2'	400.00'	247.65'	S20°55'56"E
C15	61°30'55"	14.88'	26.81'	25.00'	25.57'	S59°18'22"E
C16	10°33'17"	31.18'	44.75'	25.00'	39.01'	N38°15'32"E
C17	12°33'17"	55.00'	109.50'	500.00'	109.34'	N06°05'28"W
C18	90°00'00"	25.00'	39.27'	25.00'	35.36'	N44°44'50"W
C19	90°00'00"	25.00'	39.27'	25.00'	35.36'	N45°11'10"E
C20	41°26'19"	170.21'	325.46'	450.00'	318.41'	S20°55'59"E
C21	26°33'49"	60.19'	118.22'	255.00'	117.17'	S27°58'14"E
C22	10°11'47"	40.15'	80.08'	450.00'	79.98'	N04°54'43"W
C23	10°11'47"	31.23'	62.29'	350.00'	62.20'	S04°54'43"E
C24	10°23'19"	40.91'	81.59'	450.00'	81.48'	N15°10'16"W
C25	10°23'19"	31.82'	63.46'	350.00'	63.37'	N15°10'16"E
C26	10°18'18"	40.58'	80.93'	450.00'	80.83'	N25°33'05"W
C27	10°18'18"	31.56'	62.95'	350.00'	62.86'	S25°33'05"E
C28	09°31'34"	37.50'	74.82'	450.00'	74.73'	N35°28'00"W
C29	10°32'55"	32.31'	64.44'	350.00'	64.35'	S35°58'41"E
C30	13°10'54"	29.46'	58.67'	255.00'	58.54'	N34°39'41"W
C31	01°01'21"	4.02'	8.03'	450.00'	8.03'	N40°44'28"W
C32	13°10'54"	41.02'	81.67'	355.00'	81.49'	S34°39'41"E
C33	13°10'54"	55.06'	109.24'	355.00'	108.81'	S19°15'19"E
C34	13°22'55"	29.92'	59.56'	255.00'	59.42'	N21°25'47"W
C35	10°37'33"	33.01'	65.84'	355.00'	65.74'	S05°07'37"E
C36	14°52'29"	28.59'	56.86'	219.00'	56.70'	N07°15'04"E
C37	11°47'17"	20.96'	41.77'	203.00'	41.69'	N60°27'00"E
C38	25°22'37"	49.31'	97.00'	219.00'	96.21'	S12°30'08"E
C39	19°01'21"	34.01'	67.40'	203.00'	67.09'	N75°51'19"E
C40	04°49'11"	8.54'	17.08'	203.00'	17.07'	N87°46'35"E
C41	03°55'19"	17.12'	34.22'	500.00'	34.22'	S34°28'29"E
C42	09°06'27"	39.82'	79.48'	500.00'	79.39'	S27°57'36"E
C43	22°01'28"	7.78'	15.38'	40.00'	15.28'	S78°48'06"E
C44	67°58'32"	26.97'	47.46'	40.00'	44.72'	S33°48'06"E
C45	78°27'47"	32.66'	54.78'	40.00'	50.60'	S39°25'03"W
C46	73°03'08"	29.63'	51.00'	40.00'	47.62'	N64°49'29"W
C47	04°36'31"	20.12'	40.22'	500.00'	40.21'	S10°03'51"E
C48	07°28'26"	32.66'	65.22'	500.00'	65.18'	S04°01'23"E
C49	00°28'20"	2.06'	4.12'	500.00'	4.12'	S00°03'00"E
C50	11°32'13"	4.04'	8.05'	40.00'	8.04'	S84°03'43"E
C51	78°27'47"	32.66'	54.78'	40.00'	50.60'	S39°25'03"E
C52	24°39'56"	50.29'	99.01'	230.00'	98.25'	N27°01'17"W
C53	01°53'54"	3.81'	7.62'	230.00'	7.62'	N40°18'12"W
C54	22°10'13"	93.06'	183.80'	475.00'	182.65'	N30°10'02"W
C55	19°16'05"	80.63'	159.74'	475.00'	158.99'	N09°26'53"W

LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- - - CENTERLINE
- - - PROPOSED EASEMENT LINE
- - - EXISTING EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- RIGHT OF WAY
- 10' PUE
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- 5/8" REBAR WITH 1/2" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"

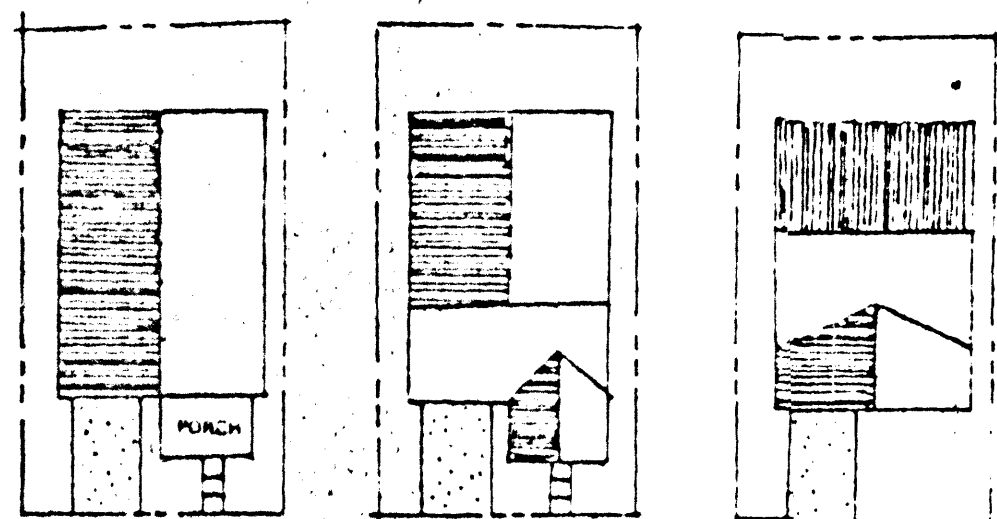
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 DELTA ALPHA = -00°15'19"
 SLD 1929 ELEVATION = 5111.597

Behanman Houston
 Engineering Spatial Data Advanced Technologies
 Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335

RESIDENTIAL GUIDELINES (OXBOW RIDGE)

Setbacks
The arrangement and placement of houses close to or back from the street creates different visual patterns and impressions of the street. The following setbacks are intended to provide some structure to ensure visual integrity within the Oxbow subdivision. The setbacks are as follows:

1. Front yard setback -
 - a. No house shall be constructed within ten feet (10') from the front property line of a lot.
 - b. No garage shall be constructed within twenty feet (20') from the front property line of a lot.
2. Side yard setback - no house shall be constructed within five feet (5') from the side property line of a lot.
3. Rear yard setback - no house shall be constructed within fifteen feet (15') from the rear property line of a lot.
4. A minimum of thirty percent (30%) of the 45' x 80' lots and 50' x 90' lots shall have a minimum front yard setback of ten feet (10') and a maximum front yard setback of fifteen feet (15') (including those with front porches).
5. A minimum of three (3) houses per lot (10) on any linear frontage shall be required to have a minimum front yard setback of ten feet (10') and a maximum front yard setback of fifteen feet (15').



SETBACK VARIES TO BREAK UP GARAGE DOORS

Site Lighting

1. Site lighting shall not have a total off-site luminance greater than 1000 foot lamberts; however, it shall not have an off-site luminance greater than 200 foot lamberts measured from the property line of any private property in a residential zone.
2. The mounting height of luminaires in vehicular and/or storage areas shall be no higher than 20 feet.

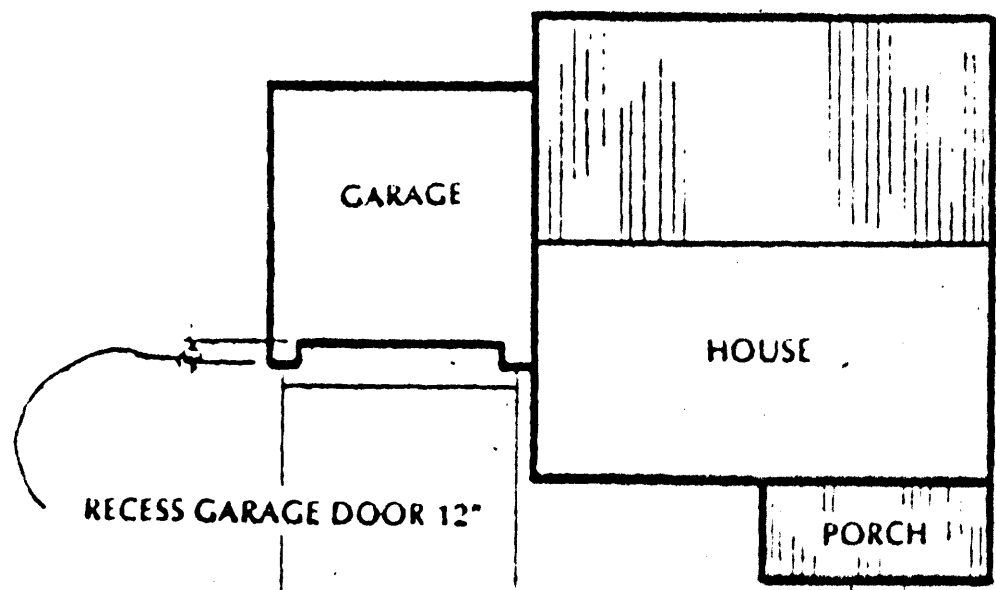
Front Porches

A porch is defined as a roofed open area, which may be screened, attached to or part of, and with direct access to or from the house. To provide visual interest to the street and encourage pedestrian activities, front porches shall be provided as follows:

1. Porches shall be a minimum of sixty (60) square feet in size, located at the front of the house, and architecturally integrated into the facade.
2. A minimum of fifteen percent (15%) of the 45' x 80' lots and the 50' x 90' lots shall have a front porch, as defined above, and shall have a minimum front yard setback of ten feet (10') and a maximum front yard setback of fifteen feet (15').

Garages

1. Garage doors shall be offset from the surface of the front facade by a minimum of twelve inches (12") as indicated in the sketch below.



Private Neighborhood Park

A small private neighborhood park is proposed internal to the subdivision. Elements to be provided include a small children's play area with benches, and a small open play turf area (see conceptual park plan that follows). Elements of the park shall be designed for complete handicap accessibility. The landscape treatment for the park will be comprised of large shade trees, flowering accent trees, and natural massings of native shrub material. Development of the park shall conform to the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance, and the City's standards for park construction.

Building Height

Houses or improvements on any lot shall not exceed two stories. The maximum height allowed is twenty-six feet (26'). The height is measured from the original pad elevation to the highest point of the parapet or to the average height between the plate and the ridge of a gable.

1. The maximum area of the second story of a house shall be no more than seventy-five percent (75%) of the area of the first floor. The first floor area is calculated inclusive of the garage area and porch area. The second story area is calculated exclusive of roof decks and porches. For example, if the first floor has an area of 2,000 s.f., the area of the second story is limited to a maximum of 1,500 s.f.
2. The front elevation of the second story portion of the house shall also be set back a minimum of two feet (2') to eliminate the appearance of a two story wall.

Roof Forms

These roof forms are allowed:

1. Flat roofs.
2. Pitched roofs with a maximum slope of 6° per foot.

Roof Materials

These roof materials are allowed:

1. Standing metal roofs, in non-reflective hues.
2. Earthtone colored roof tiles.

Building Materials

1. Stucco - shall be the primary building material finish and shall account for a minimum of seventy-five percent (75%) of the exterior construction.
2. Stone, brick, and tile - may be used as an accent feature.

Walls

1. The perimeter subdivision wall shall be concrete masonry unit with stucco finish. The wall height shall be six feet (6') as measured from the street side of the wall. To break up a long wall plane, the walls along Coors Boulevard and St. Joseph's shall meander a minimum of five feet (5') at a minimum of one hundred foot (100') increments. This guideline is illustrated in the sketches on the plan.
2. Interior residential lot line walls shall be CMU and no more than six feet (6') in height. Wall planes facing out to streets shall have a stucco finish of a color to match the house to which it is adjoined.
3. Exterior sound walls shall be CMU and no more than eight feet (8') in height.
4. Courtyard walls are allowed within the front yard setback line but shall not exceed thirty-six inches (36") in height and shall be constructed of materials, finish, and color that are complimentary to the house.

SEE REVISIONS 9-2-99

Oxbow Bluff

Windows

The following examples are window details to be incorporated into the design.

1. Windows should be set deep into the walls to create a feeling of masonry construction and massiveness, two-inch (2") offset minimum.
2. Plant- or stucco surrounds.
3. Windows with colored sashes and heavy profiles.
4. Unadorned aluminum frames or mullions shall not be allowed.

Colors

1. Primary - exterior stucco colors shall be limited to, or match the following: El Rey Stucco standard colors including Buckskin (106), Driftwood (111), Straw (122), Sandalwood (121), Suede (118), La Luz (125), Desert Rose (114), Sand (103), Fawn (117), Paloma (119), Adobe (116), and Cottonwood (115), and Sto Industries Colors for the Southwest (including Pecos (01001), Adiqui (01002), Santa Fe Mocha (01003), Adobe Brown (01994), Pueblo (01005), Suede (01006), Tumbleweed (01010), Paloma (01014), Cimarron (01015), and Mesa Del Sol (01016)). Colors from manufacturers other than El Rey or Sto need to match approved colors.
2. Accent - a variety of colors may be used to accent architectural features such as entries, window trim, facades, and other traditional southwestern architectural features. Colors allowed are typical southwestern colors of white, green, red, blue, and brown ranges.

Mechanical Equipment

Air conditioning/heating equipment may be installed on flat-roofed structures but must be screened from view by parapets which are an integral part of the house. No air conditioning/heating equipment shall be installed on houses with a pitched roof profile. Equipment that is ground mounted shall be located within the side or rear yard and screened from the front and sides.

Any roof mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color, and design. Ground mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color, and design, and/or landscaping. Top of screen walls to be same height or higher than equipment being screened.

Fireplaces

Fireplaces shall be gas-log fireplaces only. No wood-burning fireplaces shall be installed in any residential dwelling unit.

RESIDENTIAL GUIDELINES (OXBOW BLUFF and LOTS 1-9 @ OXBOW RIDGE)

BUILDING ENVELOPE

Lots at Oxbow Bluff have been configured to capitalize on the best features of the land. The lots are large so that each home can be located in a manner which allows the enjoyment of the scenic beauty, extraordinary views and natural environment. To ensure that these qualities are protected each of the lots has a designated area, within which building can occur, called the "Building Envelope." This boundary delineates the maximum area in which any proposed building or improvements and non-native landscape must fit. The Building Envelope is predetermined for each lot.

Development plans should give early consideration to planned future expansions such as guesthouses, pools, etc., so that they can be accommodated within the Building Envelope.

Definition of Natural Area:
Areas of natural vegetation outside of the Building Envelope. It is contemplated that during construction, the lot owner will endeavor to minimize disturbance to the Natural Area, and upon completion, the lot owner will revegetate the Natural Areas with native grasses, small trees, sage brush, and low-water usage plants indigenous to the area. Repair and maintenance of Natural Areas on the lot are the responsibility of the owner.

All plants which are visible from a street or public area or from an adjacent lot, must be from the approved plant palette.

Definition:
The Private Area: Enclosed spaces within the Building Envelope. Private Areas can include courtyards, atriums, or the area behind the wall where non-indigenous would be appropriate despite their increased watering needs. Although Private Areas have few restrictions in the plants, shrubs, and trees that can be planted therein, native plants are encouraged.

All trees and shrubs may rot, at mature height, grow above the routine of the residence. If planting non-native trees, select species which at maturity will not grow higher than the residence.

Architectural Control Committee:
The Architectural Control Committee ("Committee") will be formed by the Developer. The Committee will be responsible for approving and enforcing the Residential Guidelines set forth herein and any Residential Guidelines that may be created in the future.

NON-NATIVE SPECIES

Non-native plant materials will be limited in use to the Private Areas of a lot.

SITE LIGHTING

Site lighting shall not have a total off-site luminance greater than 1000 foot lamberts; however, it shall not have an off-site luminance greater than 200 foot lamberts measured from the property line of any private property in a residential zone.

The mounting height of luminaires in vehicular and/or storage areas shall be no higher than 20 feet.

FLOOR AREA RATIO

Definition:
Floor Area Ratio: The ratio of the heated floor area (including multiple stories) of the structures to the Lot. In order to insure houses are in appropriate proportion to their lot, a floor area ratio of .6 shall not be exceeded.

FENCES/WALLS

In order to maintain a sense of open space, fences and walls are not allowed on the property lines in Oxbow Bluff, with the exception of perimeter walls shown on the overall concept plan. Rather, walls must be located on or within the building envelope. These walls must be of materials similar to and complimentary of the architecture.

Residential Criteria (Tract F1 OXBOW BLUFF ONLY)

Tract F1 will be developed as hillside townhomes at a density not to exceed 7 dwelling units/acre or as single family detached home not to exceed 2 units/acre. The site plan for building or subdivision purposes for this tract shall be submitted to the Environmental Planning Commission for approval at a later time.

Fireplaces shall be gas-log fireplaces only. No wood-burning fireplaces shall be installed in any residential dwelling unit.

FIREPLACES AND/OR STOVES SHALL BE LIMITED TO GAS LOGS AND ENVIRONMENTAL PROTECTION AGENCY APPROVED WOOD-BURNING DEVICES. NO ORDINARY WOOD-BURNING FIREPLACES SHALL BE INSTALLED IN ANY RESIDENTIAL DWELLING UNIT.

BUILDING HEIGHTS

The topography and natural features of Oxbow contribute immeasurably to the splendid views. Low profile buildings will minimize intrusion and impact and preserve views and the visual beauty of Oxbow. Therefore buildings should be as low as possible in order to integrate with their surroundings. The following are the criteria determining building heights at Oxbow.

To achieve a lower profile residences are encouraged to be compatible with one another, while being in number and scale with the building.

Maximum allowed heights are described in the diagram below. 19'0" is the maximum height of any wall measured from (A) highest natural grade adjacent to each wall to (B) highest point on each wall (except chimneys).

The maximum overall building height shall not exceed 26' measured from the lowest natural grade adjacent to the living space to the highest point on the building (except chimneys).

Floor to floor heights, floor to roof assembly thickness or parapet heights may be increased by setting the ground floor below existing grade.

MATERIALS

Exterior surfaces must be materials that harmonize with the natural landscape as well as provide an outer skin to withstand the climate extremes. Heavy or ornate block and stucco are two such materials which meet the aesthetic criteria and are regularly used for construction in the Southwest. The use of these materials at Oxbow is strongly encouraged.

Exterior elements and materials should be limited in number and be compatible with one another, while being in scale with the building. Care should be taken so that materials do not detract from the building's overall appearance or become visually complicated.

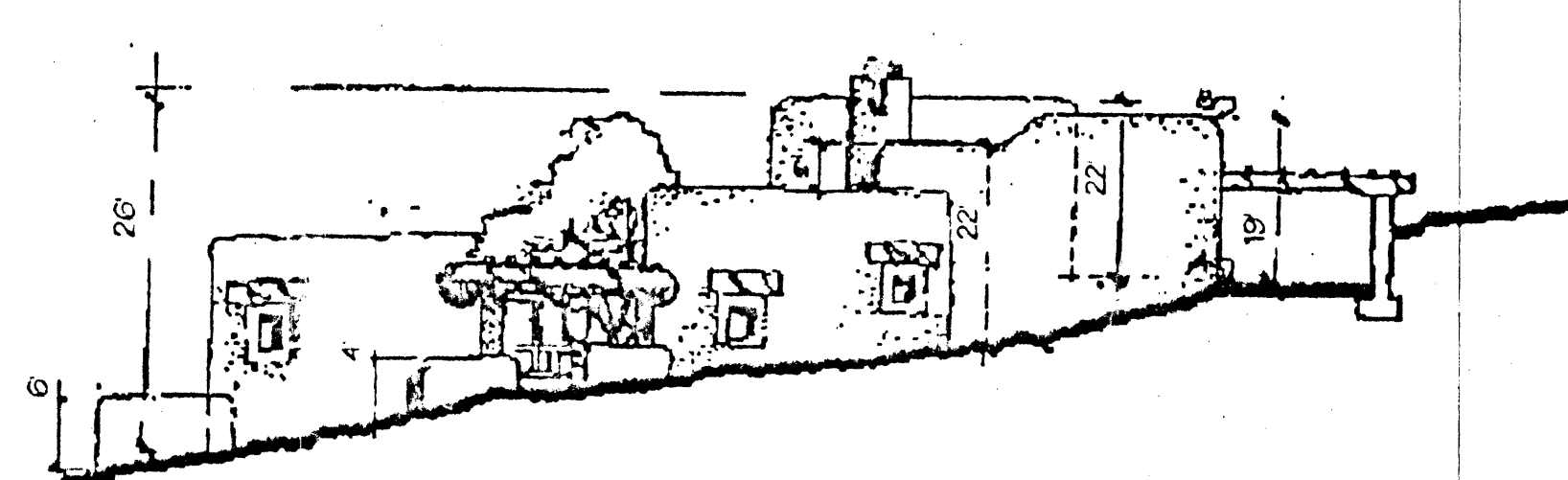
Materials are crucial to creating architectural continuity throughout Oxbow.

On any single building, the materials for exterior application shall be limited in number, compatible with one another and in scale with the building.

Take care that materials do not detract from the building's overall appearance or become visually complicated.

Siding materials shall extend down to finished grade to eliminate areas of exposed foundation.

The detailing of any elevations exposed to public view should be consistent with the front elevation.



BUILDING HEIGHT CRITERIA EXAMPLE

COLORS

Southwest colors are warm, rich, desert hues with accents of complementary blues, reflecting the landscape of the Southwest desert.

In general, colors for roofing shall be darker in color and hue than the building's exterior walls.

Color may be chosen from a set of 12 preapproved colors established by the Committee. These colors have been carefully chosen for their compatibility with the natural environment, as well as their harmony with the surrounding landscape.

Color for exterior artwork and sculpture should also be muted tones chosen to blend rather than contrast with the residence's surroundings.

Accent Colors

Accent Colors in front doors, window sashes and other architectural elements are allowed as long as, in the opinion of the Architectural Committee, the accent does not overwhelm the building's basic color or create a visual disturbance.

Pre-Approved Building Colors

Samples of the preapproved building colors may be obtained through the Residential Owners Association. All of the pre-approved colors have a "light reflective value" of 40 or less and may be used anywhere in Oxbow. Other colors may be submitted for use on a specific lot, but they must also have a light reflective value of 40 or less.

El Rey Stucco Co. Inc. 4100 1/2 Broadway S.E., Albuquerque, NM 87105
Distributed by L&F Building Supply, (505) 471-7474.

106 Buckskin	122 Straw	111 Driftwood
118 Suede	125 La Luz	117 Fawn
115 Cottonwood	116 Adobe	

Sto Stucco, P.O. Box 4409, Atlanta, GA 30336
Distributed by L&F Building Supply, (505) 471-7474

0101 Tumbleweed	01005 Pueblo	4180 Cimarron
0100 Pecos	01006 Suede	01002 Abiquiu
2207 Mesilla	1403 San Antonio	1616 Sandia
3003 Amanita	01004 Adobe Brown	

Oriental Exterior Stucco
Distributed by L&F Building Supply, (505) 471-7474.

Rancho Brown
Saddie Tan
Desert Adobe
Indian Beige
Mesa
Tierra Mocha

ROOFS

Desert architecture is most commonly a "walled" architecture rather than the "roofed" architecture that is more common to regions with tall trees or heavy rain and snow fall. It is the intent of Oxbow to maintain this desert tradition of walled architecture and discourage the use of pitched roofs and encourage the use of semi-flat roof styles or pitched roof designs with low slopes.

Since roofscapes form an important part of the visual environment, they must be carefully designed. In keeping with our goals of visual harmony and sensitivity of the region and Northern New Mexico style, the Committee strongly discourages pitched roofs, in favor of flat or parapet types. If pitched roofs are proposed they must comply with the following:

Maximum slope of 6 inches in 12 inches.

Tile roofs must be as follows:

2 part molded tile (no one-part or extruded)

Variegated dark colors

Mudded (grout) joints

Serpentine pattern

Special care should be taken in locating skylights on pitched roofs to avoid the impact of reflectivity.

Roof mounted appurtenances other than solar panels (air conditioning/heating units, etc.) (except for chimneys and structural elements of the building) shall be totally screened from view as part of the architectural style of the building and not visible from neighboring property of public right of ways.

Every attempt should be made to minimize the visual impact of solar panels. Roof mounted solar panels and equipment shall match the roof in color and appearance. Panels shall be an integrated part of the roof and building design and mounted directly to the roof plane.

Parapet copings shall be either integral stucco, precast concrete, stone, wood or natural copper.

Gutters, down spouts, scuppers, overflows, canals, and other water capture/control devices must be an integral component of the building's design.

Galvanized sheet metal, painted or otherwise fibreglass and plastic are considered inappropriate for copings or water control systems.

BLUFF SETBACK PROVISIONS

1. Heated portions of dwellings shall not be constructed within an additional set back line of 25 feet from the set back line shown on the Site Plan for Subdivision. However, the additional set back area will allow the construction of privacy walls, porches, patios, and similar improvements thereon. *ADDITIONAL 25' FROM SETBACK LINE AT EASTERN BOUNDARY OF SUBDIVISION.*
2. The 10' private trail, shown on Sheet 3, within the "private conservation easement" will be designed and located in such a way that foot traffic on the trail will not impair the condition of the bluff edge and will not have an adverse impact on the habitat below. This trail will also include interpretive signage stating that "access below the bluff is not allowed." OSD will also provide this signage along their fence line. The surface of the trail will be base course, crusher fines, or some similar earthen material so it will present a "natural" surface appearance.

9-2-99 SEE REVISIONS

"BLUFF" MEANS THE UNDESIRABLE EASTERN BOUNDARY OF THE SUBDIVISION.
8-10-1999

THE OXBOW SUBDIVISION LANDSCAPE CONCEPTS

PREPARED FOR:

Altura West
913 Virginia Northeast
Albuquerque, New Mexico 87108

PREPARED BY:

DESIGNWORKSHOP
9621 Fourth Street NW
Albuquerque, New Mexico 87114

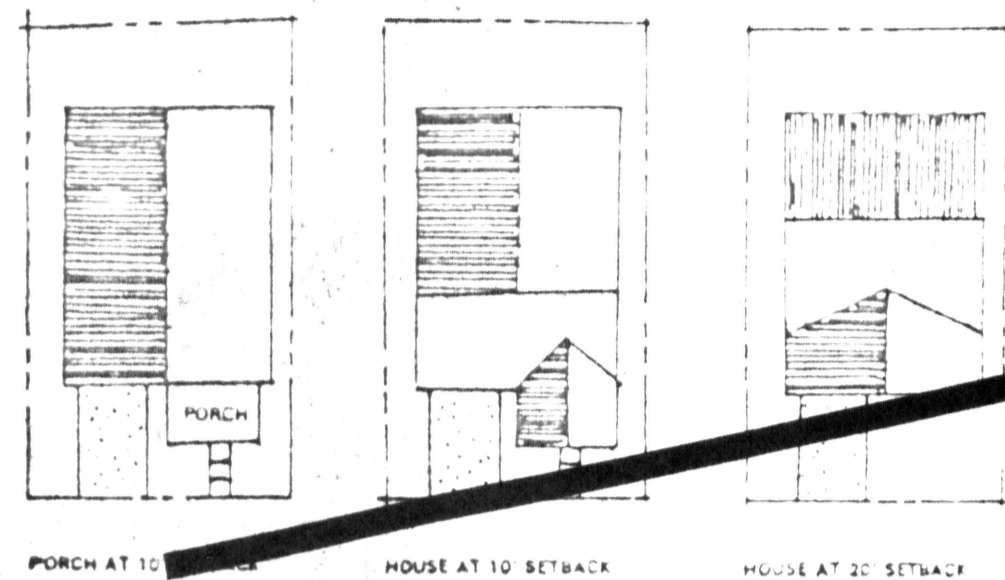
Botannan-Huston Inc.
7540 Jefferson Street, NE
Albuquerque, New Mexico 87109

Consensus Planning
718 Central Ave.
Albuquerque, New Mexico 87102

RESIDENTIAL GUIDELINES (OXBOW RIDGE)

Setbacks
The arrangement and placement of houses close to or back from the street creates different visual patterns and impressions of the street. The following setbacks are intended to provide some structure to ensure visual integrity within the Oxbow subdivision. The setbacks are as follows:

1. Front yard setback -
 - a. No house shall be constructed within ten feet (10') from the front property line of a lot.
 - b. No garage shall be constructed within twenty feet (20') from the front property line of a lot.
2. Side yard setback - no house shall be constructed within five feet (5') from the side property line of a lot.
3. Rear yard setback - no house shall be constructed within fifteen feet (15') from the rear property line of a lot.
4. A minimum of thirty percent (30%) of the 45' x 80' lots and 50' x 90' lots shall have a minimum front yard setback of ten feet (10') and a maximum front yard setback of fifteen feet (15') (including those with front porches).
5. A minimum of three (3) houses per ten (10) on any linear frontage shall be required to have a minimum front yard setback of ten feet (10') and a maximum front yard setback of fifteen feet (15').



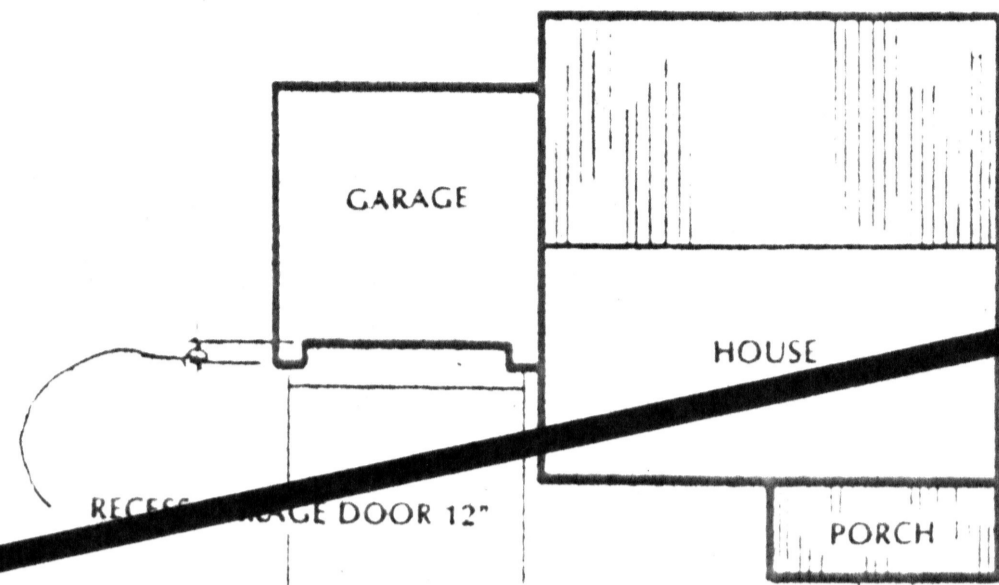
SETBACK VARIES TO BREAK UP GARAGE DOORS

Front Porches
A porch is defined as a roofed open area, which may be screened, attached to or part of, and with direct access to or from the house. To provide visual interest to the street and encourage pedestrian activities, front porches shall be provided as follows:

1. Porches shall be a minimum of sixty (60) square feet in size, located at the front of the house, and architecturally integrated into the facade.
2. A minimum of fifteen percent (15%) of the 45' x 80' lots and the 50' x 90' lots shall have a front porch, as defined above, and shall have a minimum front yard setback of ten feet (10') and a maximum front yard setback of fifteen feet (15').

Garages

1. Garage doors shall be offset from the surface of the front facade by a minimum of twelve inches (12") as indicated in the sketch below.



Private Neighborhood Park

A small private neighborhood park is proposed internal to the subdivision. Elements to be provided include a small children's play area with benches, and a small open play turf area (see conceptual park plan that follows). Elements of the park shall be designed for complete handicap accessibility. The landscape treatment for the park will be comprised of large shade trees, flowering accent trees, and natural massings of native shrub material. Development of the park shall conform to the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance, and the City's standards for park construction.

SEE AUGUST 19, 1999 EPC APPROVAL Z-97-103-1

Building Height
Houses or improvements on any Lot shall not exceed two stories. The maximum height allowed is twenty-six feet (26'). The height is measured from the original pad elevation to the highest point of the parapet or to the average height between the plate and the ridge of a gable.

1. The maximum area of the second story of a house shall be no more than seventy-five percent (75%) of the area of the first floor. The first floor area is calculated inclusive of the garage area and porch area. The second story area is calculated exclusive of roof decks and porches. For example, if the first floor has an area of 2,000 s.f., the area of the second story is limited to a maximum of 1,500 s.f.
2. The front elevation of the second story portion of the house shall also be set back a minimum of two feet (2') to eliminate the appearance of a two story wall.

Roof Forms

These roof forms are allowed:

1. Flat roofs.
2. Pitched roofs with a maximum slope of 6" per foot.

Roof Materials

These roof materials are allowed:

1. Standard roof tiles, in non-reflective hues.
2. Earthen colored roof tiles.

Building Materials

Stucco shall be the primary building material finish and shall account for a minimum of seventy-five percent (75%) of the exterior construction.

2. Stone, brick, and tile - may be used as an accent feature.

Walls

The perimeter subdivision wall shall be concrete masonry unit with stucco finish. The wall height shall be six feet (6') as measured from the street side of the wall. To break up a long wall plane, the walls along Coors Boulevard and St. Joseph's shall meander a minimum of five feet (5') at a minimum of one hundred foot (100') increments. This guideline is illustrated in the sketches on the plan.

2. Interior residential lot line walls shall be CMU and no more than six feet (6') in height. Wall planes facing out to streets shall have a stucco finish of a color to match the house to which it is adjoined.
3. Exterior sound walls shall be CMU and no more than eight feet (8') in height.
4. Courtyard walls are allowed within the front yard setback line but shall not exceed thirty-six inches (36") in height and shall be constructed of materials, finish, and color that are complimentary to the house.

Windows

The following examples are window details to be incorporated into the design.

1. Windows should be set deep into the walls to create a shadow box effect. Masonry construction and massiveness is required. Minimum window height is 4 feet.
2. Plant-ons or stucco treatments are allowed.
3. Windows with colored sashes and heavy profiles.
4. Unauthorized aluminum frames or mullions shall not be allowed.

Colors

Primary - exterior stucco colors shall be limited to, or match, the following: El Rey Stucco standard colors including Buckskin (106), Driftwood (111), Straw (122), Sandalwood (121), Suede (116), La Luz (123), Desert Rose (114), Sand (103), Fawn (117), Palomino (119), Adobe (116), Beige (109), and Cottonwood (115). and Sto Industries Colors for the Southwest including Pecos (01001), Abiqui (01002), Santa Fe Mocha (01003), Adobe Brown (01994), Pueblo (01005), Suede (01006), Tumbleweed (01010), Paloma (01014), Cimarron (01015), and Mesa Del Sol (01016). Colors from manufacturers other than El Rey or Sto need to match approved colors.

Accent - a variety of colors may be used to accent architectural features such as entries, window trim, fascias, and other traditional southwestern architectural features. Colors allowed are typical southwestern colors of white, green, red, blue, and brown ranges.

Mechanical Equipment

Air conditioning/heating equipment may be installed on flat-roofed structures but must be screened from view by parapets which are an integral part of the house. No air conditioning/heating equipment shall be installed on houses with a pitched roof profile. Equipment that is ground mounted shall be located within the side or rear yard and screened from the front and sides.

Any roof mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color, and design. Ground mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color, and design and/or landscaping. Top of screen walls to be same height or higher than equipment being screened.

Fireplaces

Fireplaces shall be gas-log fireplaces only. No wood-burning fireplaces shall be installed in any residential dwelling unit.

RESIDENTIAL GUIDELINES (OXBOW BLUFF) AND LOTS 1-9 @ OXBOW RIDGE

BUILDING ENVELOPE

Lots at Oxbow Bluff have been configured to capitalize on the best features of the land. The lots are large so that each home can be located in a manner which allows the enjoyment of the scenic beauty, extraordinary views and natural environment. To ensure that these qualities are protected each of the lots has a designated area within which building can occur, called the "Building Envelope." This boundary delineates the maximum area in which any proposed building or improvement and non-native landscape must fit. The Building Envelope is predetermined for each lot.

Development plans should give early consideration to planned future expansions such as guesthouses, pools, etc., so that they can be accommodated within the Building Envelope.

Definition of Natural Area: Areas of natural vegetation outside of the Building Envelope. It is contemplated that during construction, the lot owner will endeavor to minimize disturbance to the Natural Area, and upon completion, the lot owner will revegetate the Natural areas with native grasses, small trees, sage brush, and low-water usage plants indigenous to the area. Repair and maintenance of Natural Areas on the lot are the responsibility of the owner.

All plants which are visible from a street or public area or from an adjacent Lot, must be from the approved plant palette.

Definition: The Private Area: Enclosed spaces within the Building Envelope. Private Areas can include courtyards, atriums, or the area behind the wall where non-indigenous would be appropriate despite their increased watering needs. Although Private Areas have few restrictions in the plants, shrubs, and trees that can be planted therein, native plants are encouraged.

All trees and shrubs may not, at mature height, be taller than 30 feet. If planting non-native trees, select species which at maturity will not grow higher than the residence.

Architectural Control Committee: The Architectural Control Committee (ACC) will be formed by the Developer. The Committee will be responsible for approving and enforcing the Residential Guidelines set forth herein and any Residential Guidelines that may be created in the future.

NON-NATIVE SPECIES

Non-native plant materials will be limited in use to the Private areas of a Lot.

SITE LIGHTING

Site lighting shall not have a total off-site luminance greater than 1000 foot lamberts; however, it shall not have an off-site luminance greater than 200 foot lamberts measured from the property line of any private property in a residential zone.

The mounting height of luminaires in vehicular and/or storage areas shall be no higher than 20 feet.

FLOOR AREA RATIO

Definition: Floor Area Ratio: The ratio of the heated floor area (including multiple stories) of the structures to the Lot. In order to insure houses are in appropriate proportion to their lot, a floor area ratio of .8 shall not be exceeded.

FENCES/WALLS

In order to maintain a sense of open space, fences and walls are not allowed on the property lines in Oxbow Bluff, with the exception of perimeter walls shown on the overall concept plan. Rather, walls must be located on or within the building envelope. These walls must be of materials similar to and complimentary of the architecture.

Residential Criteria (Tract F1 OXBOW BLUFF ONLY)

Tract F1 will be developed as hillside townhomes at a density not to exceed 7 dwelling units/acre or as single family detached home not to exceed 2 unit/acre. The site plan for building or subdivision purposes for this tract shall be submitted to the Environmental Planning Commission for approval at a later time.

Fireplaces
Fireplaces shall be gas-log fireplaces only. No wood-burning fireplaces shall be installed in any residential dwelling unit.

FIREPLACES AND/OR STOVES SHALL BE LIMITED TO GAS LOGS AND ENVIRONMENTAL PROTECTION AGENCY APPROVED WOOD-BURNING DEVICES. NO ORDINARY WOOD-BURNING FIREPLACES SHALL BE INSTALLED IN ANY RESIDENTIAL DWELLING UNIT.

BUILDING HEIGHTS

The topography and natural features of Oxbow contribute immeasurably to the splendid views. Low profile buildings will minimize intrusion and impact and preserve views and the visual beauty of Oxbow. Therefore buildings should be as low as possible in order to integrate with their surroundings. The following are the criteria determining building heights at Oxbow.

To achieve a lower profile, residences are encouraged to be sited partially below grade.

Maximum allowed heights are described in the diagram below. 26' is the maximum height of any wall measured from - [A] highest natural grade adjacent to each wall to - [B] highest point on each wall (except chimneys).

The maximum overall building height shall not exceed 26' measured from the low at natural grade adjacent to the living space to the highest point on the building (except chimneys).

Floor to floor heights, floor to roof assembly thicknesses or parapet heights may be increased by setting the ground floor below existing grade.

MATERIALS

Exterior surfaces must be materials that harmonize with the natural landscape as well as provide an outer skin to withstand the climatic extremes. Stabilized adobe block and stucco are two such materials which meet the aesthetic criteria and are regularly used for construction in the Southwest. The use of these materials at Oxbow is strongly encouraged.

Exterior elements and materials should be limited in number and be complimentary with one another, while being in scale with the building. Care should be taken so that materials do not detract from the building's overall appearance or become visually complicated.

Materials are crucial to creating architectural continuity throughout Oxbow.

On any single building, the materials for exterior application shall be limited in number, compatible with one another and in scale with the building.

Take care that materials do not detract from the building's overall appearance or become visually complicated.

Siding materials shall extend down to finished grade to eliminate areas of exposed foundation.

The detailing of any elevations exposed to public view should be consistent with the front elevation.

COLORS

Southwest colors are warm, rich, desert hues with accents of complementary tones, reflecting the landscape of the Southwest desert.

Color may be chosen from any of the pre-approved colors set forth below. These colors have been carefully chosen for their compatibility with the natural environment, as well as their harmony with one another.

Color for exterior artwork and sculpture should also be muted tones chosen to blend rather than contrast with the residence's surroundings.

Accent Colors

Accent Colors of front doors, window sashes and other architectural elements are allowed as long as in the opinion of the Architectural Committee, the accent does not overwhelm the building's basic color or create a visual disturbance.

Pre-Approved Building Colors

Pre-approved building colors are listed below. Samples may be obtained from the Oxbow Bluff Architectural Control Committee (ACC). All of the pre-approved colors have a "light reflective value" of 40 or less and may be used anywhere in Oxbow. Other colors will be allowed for use on a specific Lot with prior written approval from the ACC.

El Rey Stucco Co., Inc., 4100 1/2 Broadway S.E., Albuquerque, NM 87105
Distributed by L&P Building Supply, (505) 471-7474

106 Buckskin	122 Straw	111 Driftwood
118 Suede	105 Bamboo	117 Fawn
125 La Luz	116 Adobe	121 Sandalwood
115 Cottonwood	103 Sand	119 Palomino
127 Hacienda	110 Ash	

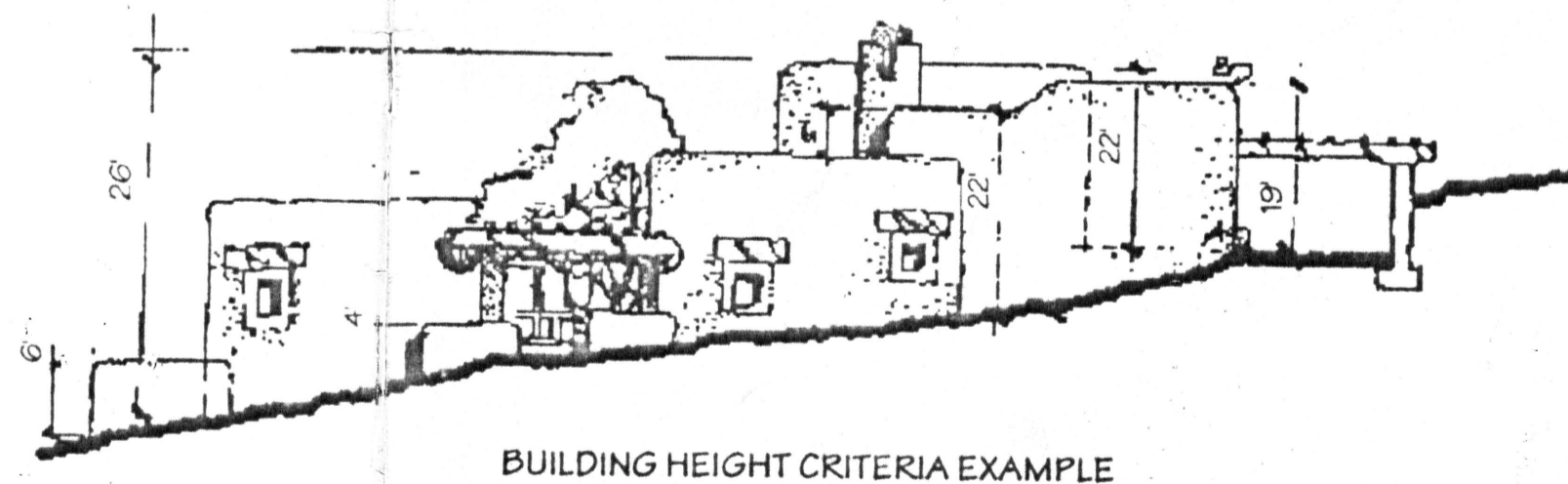
Sto Stucco, P.O. Box 44809, Atlanta, GA 30336
Distributed by L&P Building Supply, (505) 471-7474

0101 Tumbleweed	01005 Pueblo	4180 Cimarron
0100 Pecos	01006 Suede	01002 Abiqui
2207 Mesilla	1465 San Antonio	1616 Sandia
3003 Amarilla	01004 Adobe Brown	

Oriental Exterior Stucco
Distributed by L&P Building Supply, (505) 471-7474

Rancho Brown
Desert Adobe
Mesa

Saddle Tan
Indian Beige
Tierra Mocha



BUILDING HEIGHT CRITERIA EXAMPLE

ADMINISTRATIVE
DEVELOPMENT PLAN AMENDMENT
FILE NO. ZAA-99-98
New rules
P. Mansueti 9-2-99
PLANNING DIRECTOR DATE

ROOFS

Desert architecture is most commonly a "walled" architecture rather than the "roofed" architecture that is more common to regions with tall trees or heavy rain and snow fall. It is the intent of Oxbow to maintain this desert tradition of walled architecture and discourage the use of pitched roofs and encourages the use of semi-flat roof styles or pitched roof designs with low slopes.

Since roofscapes form an important part of the visual environment, they must be carefully designed. In keeping with our goals of visual harmony and sensitivity to the predominant Northern New Mexico styles, the Committee strongly discourages pitched roofs, in favor of flat or parapeted types. If pitched roofs are proposed they must comply with the following:

1. These materials are permitted:
 - a. Standing seam or corrugated metal roofs (non-reflective).
 - b. Clay or concrete tile

Maximum slope of 8 inches in 12 inches.

- Tile roofs must be as follows:
- 2 part molded tile (no one part or extruded)
 - Variegated dark colors
 - Mudded (grouted) joints
 - Serpentine pattern

Special care should be taken in locating skylights on pitched roofs to avoid the impact of reflectivity.

Roof mounted appurtenances other than solar panels (air conditioning/heating units, etc. except for chimneys and structural elements of the building) shall be totally screened from view as part of the architectural style of the building and not visible from neighboring property or public rights of way.

Every attempt should be made to minimize the visual impact of solar panels. Roof mounted solar panels and equipment shall match the roof in color and appearance. Panels shall be an integrated part of the roof and building design and mounted directly to the roof plane.

Parapet copings shall be either integral stucco, precast concrete, stone, wood or natural copper.

Gutters, down spouts, scuppers, overflows, canals, and other water capture/control devices must be an integral component of the building's design.

Galvanized sheet metal, painted or otherwise, fiberglass and plastic are considered inappropriate for copings or water control systems.

The "Bluff" refers to the eastern boundary of the Oxbow Bluff subdivision.

BLUFF SETBACK PROVISIONS

1. Heated portions of dwellings shall not be constructed within an additional set back line of 25 feet from the bluff line shown on the Site Plan for Subdivision. However, the additional set back area will allow the construction of privacy walls, porches, patios, and similar improvements therein. THE ADDITIONAL SETBACK SHALL BE 5 FEET FOR PORCHES AND 25 FEET FOR PATIOS. THE 5 FEET SETBACK SHALL BE 5 FEET FOR PATIOS AND 25 FEET FOR PORCHES. THE 10' PRIVATE TRAIL, SHOWN ON SHEET 3, WITHIN THE PRIVATE CONSERVATION EASEMENT WILL BE DESIGNED AND LOCATED IN SUCH A WAY THAT FOOT TRAFFIC ON THE TRAIL WILL NOT IMPAIR THE CONDITION OF THE BLUFF EDGE AND WILL NOT HAVE AN ADVERSE IMPACT ON THE HABITAT BELOW. THIS TRAIL WILL ALSO INCLUDE INTERPRETIVE SIGNAGE STATING THAT "ACCESS BELOW THE BLUFF IS NOT ALLOWED." OSD WILL ALSO PROVIDE THIS SIGNAGE ALONG THEIR FENCE LINE. THE SURFACE OF THE TRAIL WILL BE BASE COURSE, CRUSHER FINES, OR SOME SIMILAR EARTHEN MATERIAL SO IT WILL PRESENT A "NATURAL" SURFACE APPEARANCE.

AUGUST 23, 1999

THE OXBOW SUBDIVISION LANDSCAPE CONCEPTS

PREPARED FOR:

Altura West
913 Virginia Northeast
Albuquerque, New Mexico 87108

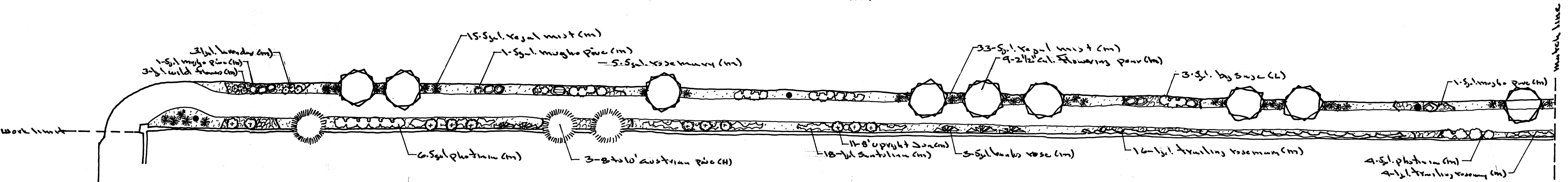
PREPARED BY:

DESIGNWORKSHOP
9621 Fourth Street NW
Albuquerque, New Mexico 87114

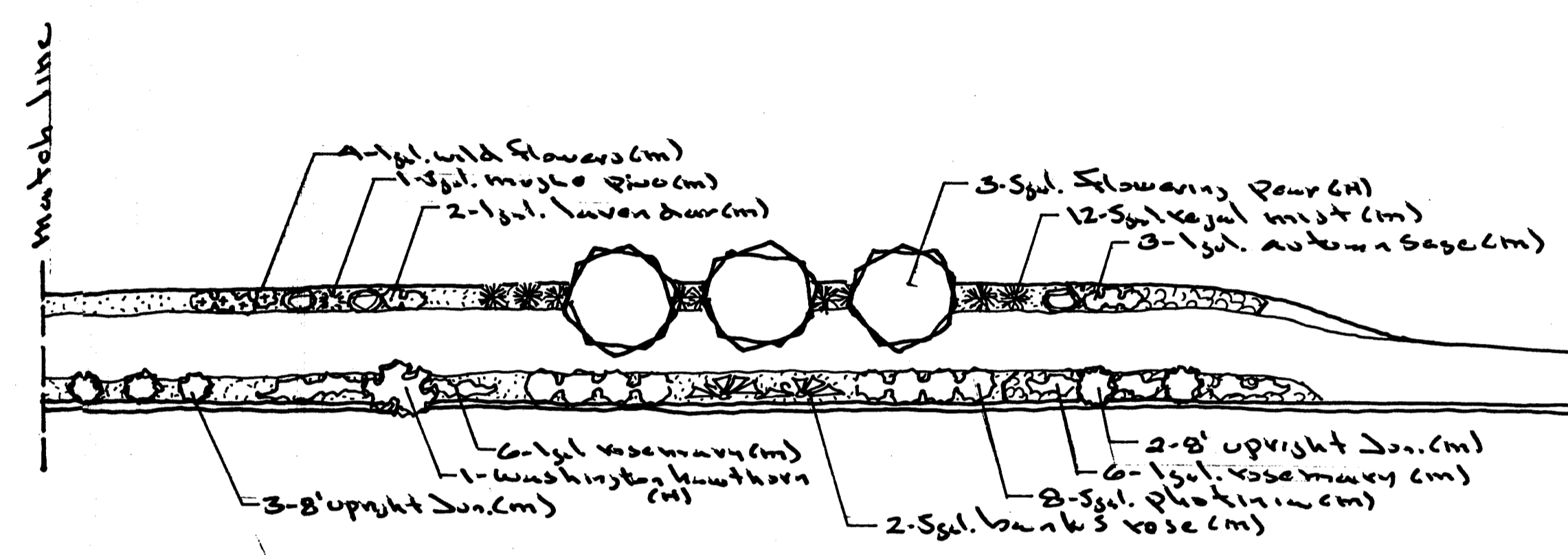
Bohannon-Huston Inc.
7500 Jefferson Street, NE
Albuquerque, New Mexico 87109

Consensus Planning
718 Central Ave.
Albuquerque, New Mexico 87102

Coors Blvd



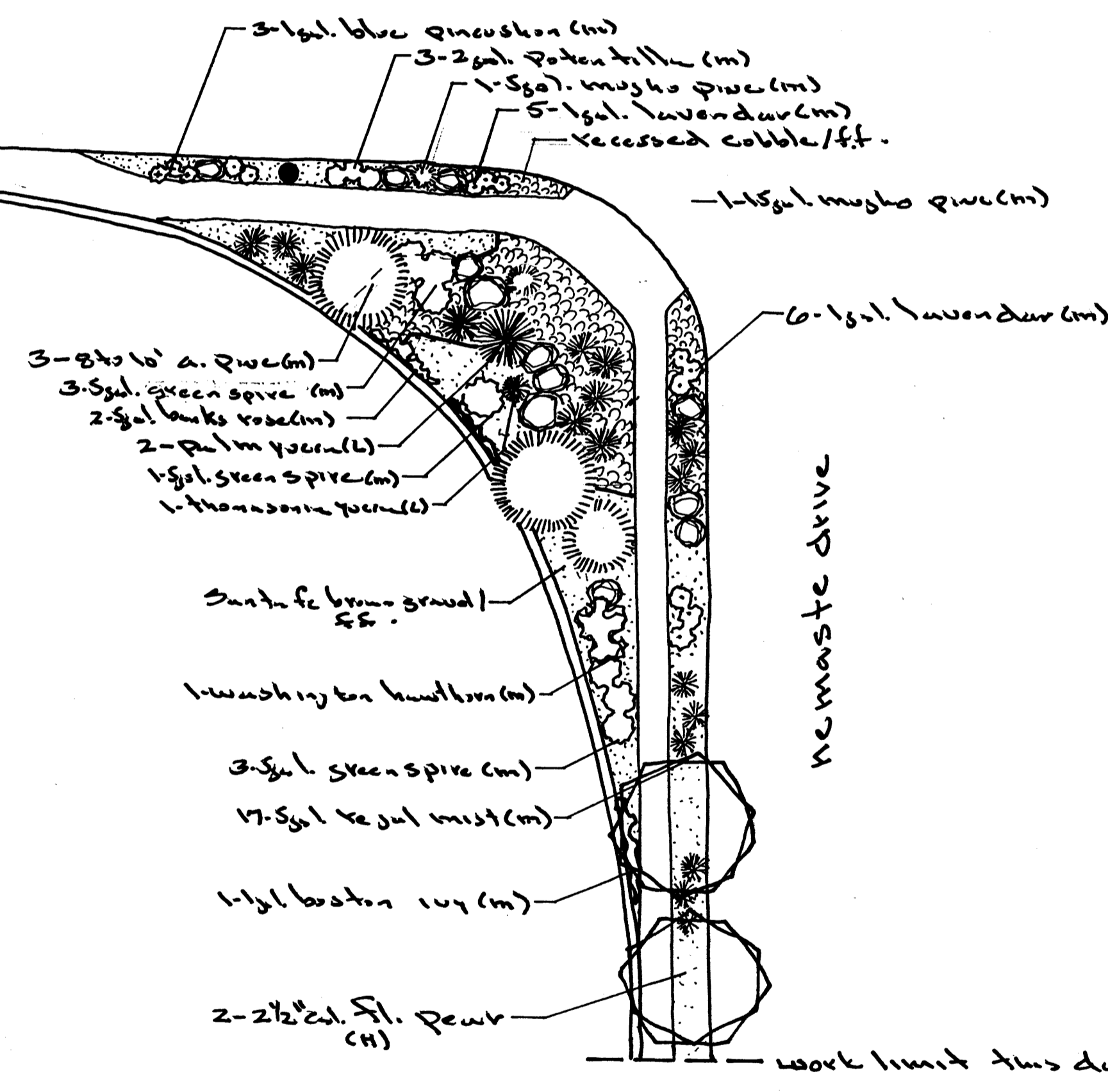
San Joaquin brown gravel / filter fabric



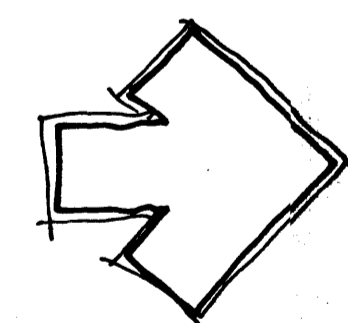
Coors Blvd. n.w.

LANDSCAPE NOTES:
Landscape maintenance shall be the responsibility of the Property Owner.
It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.
Approved of this plan does not constitute an implied exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance. Water management is the sole responsibility of the Property Owner.
All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Public Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.
Plant beds shall achieve 75% live ground cover at maturity.
Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
Irrigation shall be a complete underground system with Trees to receive (3) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubble systems to be tied to 1/2" poly pipe with flush caps at each end.
Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.
Point of connection for irrigation system is unknown at current time and will be coordinated in the field.
Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.
Irrigation maintenance shall be the responsibility of the Property Owner.



OXBOW NORTH AT OXBOW

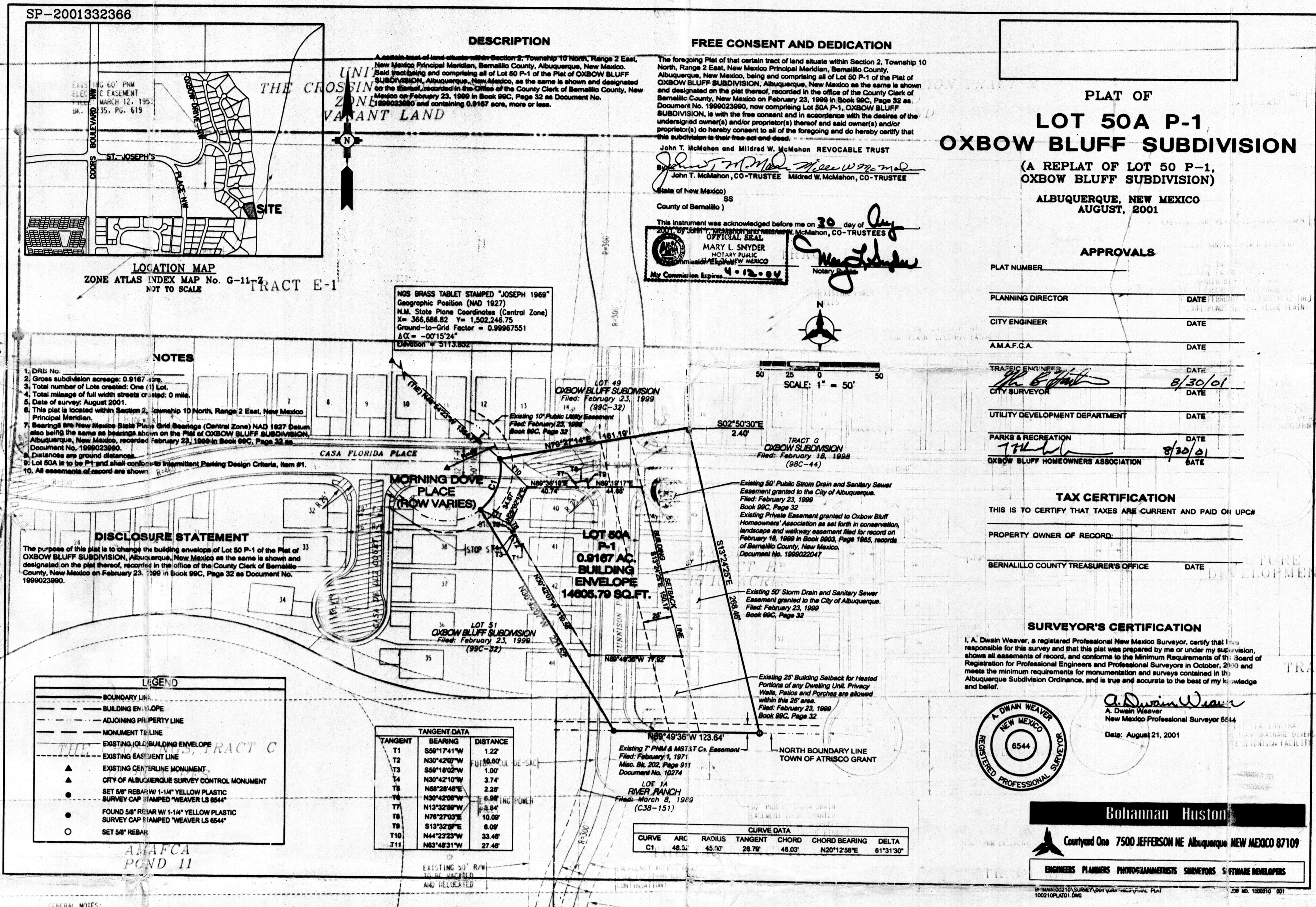


Scale: 1/16" = 1'-0"

The Hilltop



work limit this way.



SP-2001332366

DESCRIPTION

FREE CONSENT AND DEDICATION

PLAT OF LOT 50A P-1 OXBOW BLUFF SUBDIVISION
(A REPLAT OF LOT 50 P-1, OXBOW BLUFF SUBDIVISION)
ALBUQUERQUE, NEW MEXICO
AUGUST, 2001

APPROVALS

PLANNING DIRECTOR	DATE
CITY ENGINEER	DATE
AMAFCA	DATE
TRAFFIC ENGINEER	DATE
CITY SURVEYOR	DATE
UTILITY DEVELOPMENT DEPARTMENT	DATE
PARKS & RECREATION	DATE
OXBOW BLUFF HOMEOWNERS ASSOCIATION	DATE

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPM

PROPERTY OWNER OF RECORD: _____
BERNALILLO COUNTY TREASURER'S OFFICE DATE _____

SURVEYOR'S CERTIFICATION

I, A. Dwan Weaver, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, and conforms to the minimum requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.



A. Dwan Weaver
A. Dwan Weaver
New Mexico Professional Surveyor 6544
Date: August 21, 2001

Bohannon Huston
Court yard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

NOTES

- DRL No. _____
- Cross subdivision acreage: 0.9167 acre.
- Total number of Lots created: One (1) Lot.
- Total mileage of full width streets created: 0 miles.
- Date of survey: August 2001.
- This plat is located within Section 2, Township 10 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, recorded February 23, 1999 in Book 99C, Page 32 as Document No. 1999023990.
- Distances are ground distances.
- Lot 50A is to be P-1 and shall conform to Interim Parking Design Criteria, Item #1.
- All easements of record are shown.

DISCLOSURE STATEMENT

The purpose of this plat is to change the building envelope of Lot 50 P-1 of the Plat of OXBOW BLUFF SUBDIVISION, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 23, 1999 in Book 99C, Page 32 as Document No. 1999023990.

LEGEND

- BOUNDARY LINE
- BUILDING ENVELOPE
- ADJOINING PROPERTY LINE
- MONUMENT TELLINE
- EXISTING OLD BUILDING ENVELOPE
- EXISTING EASTMENT LINE
- EXISTING CENTERLINE MONUMENT
- CITY OF ALBUQUERQUE SURVEY CONTROL MONUMENT
- SET 5/8" REBAR W/ 1-1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVERS 6544"
- FOUND 5/8" REBAR W/ 1-1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVERS 6544"
- SET 5/8" REBAR

TANGENT DATA

TANGENT	BEARING	DISTANCE
T1	S59°17'41"W	1.22
T2	N30°42'07"W	1.00
T3	S58°10'02"W	1.00
T4	N30°42'10"W	3.74
T5	N88°28'46"E	2.29
T6	N30°42'09"W	6.98
T7	N13°32'59"W	8.94
T8	N78°27'03"E	10.09
T9	S13°32'59"E	6.99
T10	N44°23'23"W	33.48
T11	N63°48'31"W	27.48

CURVE DATA

CURVE	ARC	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	48.52'	45.92'	28.78'	48.03'	N20°12'58"E	81°31'30"

GENERAL NOTES:

- EXISTING ZONING OF TRACT E AND A: R-D
- TRACT E= 13.10 ACRES
- PORTION OF TRACT A BEING DEVELOPED= 1.20 ACRES
- PADS DEPICTED ON EACH LOT REPRESENT THE LARGEST UNIT PROPOSED FOR CONSTRUCTION. ACTUAL PAD/FOOTPRINT SIZE MAY VARY.
- PROPOSED USE OF DEVELOPMENT: SINCE FAMILY RESIDENTIAL.
- PRIVACY WALLS WILL BE CONSTRUCTED ALONG REAR AND SIDE PROPERTY LINES CONSISTING OF CMU BLOCK AND/OR WOOD PICKET/RAIL FENCING 6' HIGH MAXIMUM).
- ALL LOTS= 40'x100' MINIMUM
- SIDEWALKS TO BE CONSTRUCTED BY HOME BUILDER. A SIDEWALK VARIANCE WILL BE REQUESTED AS A PART OF THE PLANNING ACTIN

THE CROSSING SUBDIVISION TRACT D VACANT LAND (PROPOSED PUBLIC PARK) 5.11 ACRES

LAS LOMITAS (UNIT 2B) ZONED R-D DEVELOPED SINGLE FAMILY RESIDENTIAL

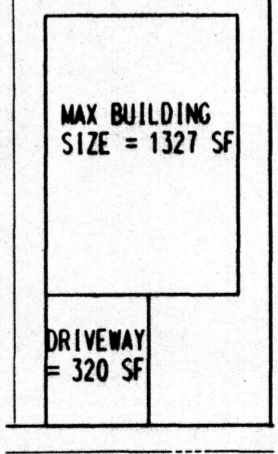
OPEN SPACE CALCULATION CHART

Lot Number	Lot Size (SF)	Building & Driveway Area (SF)	Provided Open Space (SF)	Remaining Open Space Requirement (SF)
1	5981.72	1647.00	4334.72	none
2	5349.55	1647.00	3702.55	none
3	5132.68	1647.00	3485.68	none
4	4711.71	1647.00	3064.71	none
5	4339.91	1647.00	2692.91	none
6	4107.40	1647.00	2460.40	none
7	4056.98	1647.00	2409.98	none
8	4048.04	1647.00	2401.04	none
9	4048.04	1647.00	2401.04	none
10	4048.05	1647.00	2401.05	none
11	4048.06	1647.00	2401.06	none
12	4048.06	1647.00	2401.06	none
13	4048.07	1647.00	2401.07	none
14	4622.31	1647.00	2975.31	none
15	4622.27	1647.00	2975.27	none
16	4048.09	1647.00	2401.09	none
17	4048.10	1647.00	2401.10	none
18	4048.40	1647.00	2401.40	none
19	4048.11	1647.00	2401.11	none
20	4048.11	1647.00	2401.11	none
21	4048.22	1647.00	2401.22	none
22	4048.19	1647.00	2401.19	none
23	4049.81	1647.00	2402.81	none
24	4050.09	1647.00	2403.09	none
25	4050.09	1647.00	2403.09	none
26	4050.09	1647.00	2403.09	none
27	6275.84	1647.00	4628.84	none
28	4803.95	1647.00	3156.95	none
29	4492.71	1647.00	2845.71	none
30	4602.04	1647.00	2955.04	none
31	5048.27	1647.00	3401.27	none
32	6519.72	1647.00	4872.72	none
33	5390.14	1647.00	3743.14	none
34	6937.17	1647.00	5290.17	none
35	6101.85	1647.00	4454.85	none
36	6105.48	1647.00	4458.48	none
37	4048.00	1647.00	2401.00	none
38	4048.00	1647.00	2401.00	none
39	4419.87	1647.00	2772.87	none
40	4401.87	1647.00	2754.87	none
41	4082.40	1647.00	2435.40	none
42	4082.40	1647.00	2435.40	none
43	4082.40	1647.00	2435.40	none
44	5139.68	1647.00	3492.68	none
45	5053.85	1647.00	3406.85	none
46	4172.01	1647.00	2525.01	none
47	4122.10	1647.00	2475.10	none
48	4072.18	1647.00	2425.18	none
49	4386.02	1647.00	2739.02	none
50	4404.52	1647.00	2757.52	none
51	4049.97	1647.00	2402.97	none
52	4049.97	1647.00	2402.97	none
53	4049.97	1647.00	2402.97	none
54	4514.37	1647.00	2867.37	none
55	4047.64	1647.00	2400.64	none
56	4048.00	1647.00	2401.00	none
57	4048.00	1647.00	2401.00	none
58	4048.00	1647.00	2401.00	none
59	4472.39	1647.00	2825.39	none
60	4419.89	1647.00	2772.89	none
61	4048.00	1647.00	2401.00	none
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63	4048.00	1647.00	2401.00	none
64	4047.23	1647.00	2400.23	none

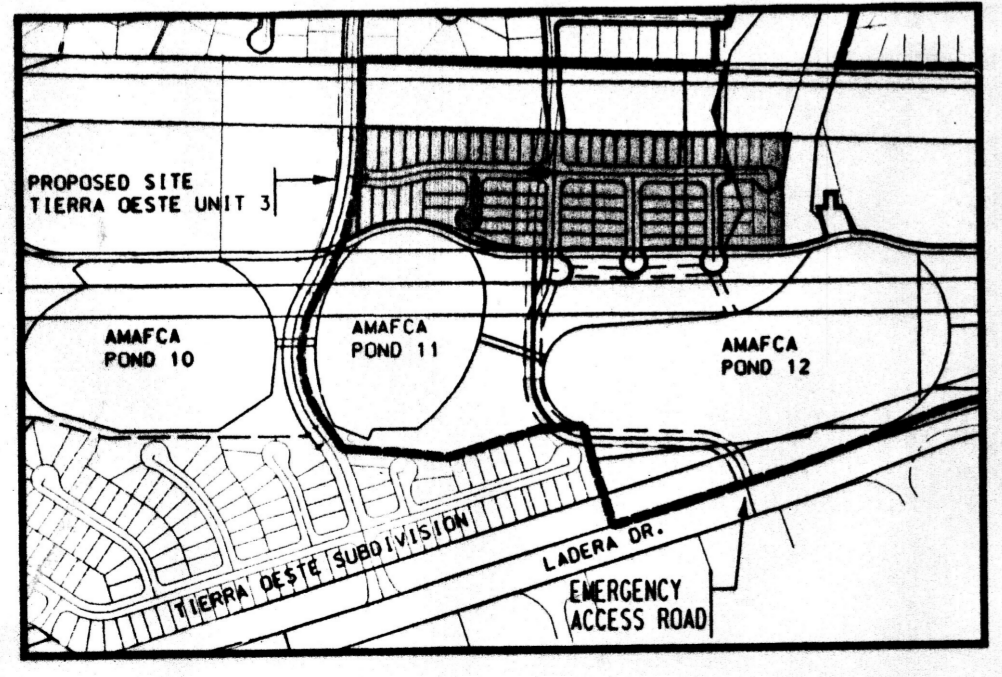
LANDSCAPE PLAN NOTES:

KERISCAPE ENTRY / STREETScape TO BE OWNED & MAINTAINED BY HOMEOWNERS ASSOCIATION. PLANT MATERIAL AND PER FUTURE PLAN

- ALL ON-SITE LANDSCAPING OTHER THAN THAT INDICATED ON THIS PLAN WILL BE PROVIDED AND MAINTAINED BY THE LOT OWNER
- SEE GRADING PLAN FOR AREAS TO BE PRE-SEEDED w/ NATURAL VEGETATION.



SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT TIERRA OESTE UNIT 3 TRACTS A, C, E & H OF THE CROSSINGS



LOCATION MAP ZONE ATLAS MAP NO. H-9-J-9 NOT TO SCALE

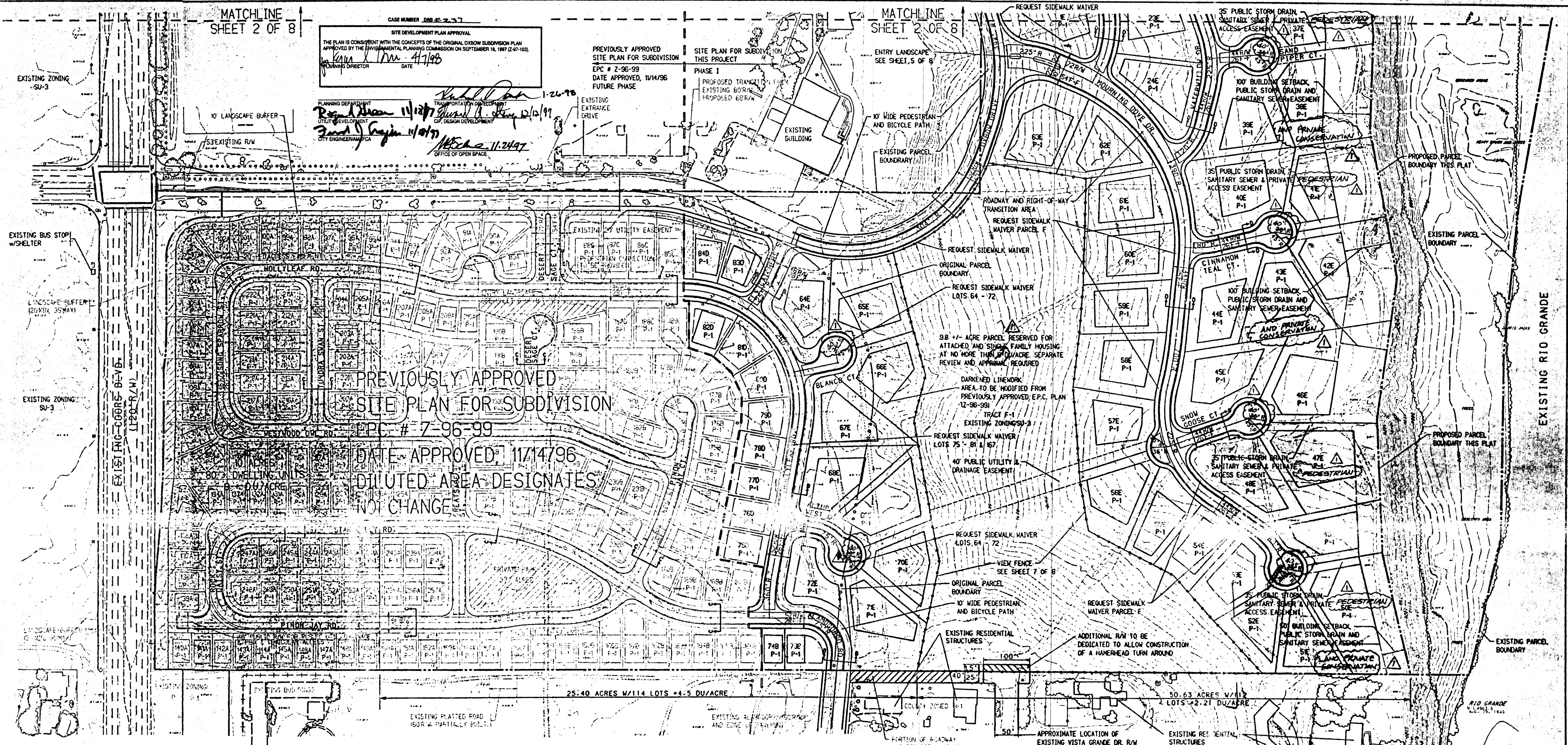
Bohannon Huston

Court yard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

SITE DEVELOPMENT PLAN APPROVAL
 THE PLAN IS CONSISTENT WITH THE CONCEPTS OF THE ORIGINAL OXBOW SUBDIVISION PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION ON SEPTEMBER 18, 1997 (EPC # 7-96-99).
 PLANNING DEPARTMENT
 UTILITY DEVELOPMENT
 CITY ENGINEER/PLANNING
 TRANSPORTATION DEPARTMENT
 OFFICE OF OPEN SPACE

PREVIOUSLY APPROVED SITE PLAN FOR SUBDIVISION
 EPC # 7-96-99
 DATE APPROVED, 11/14/96
 FUTURE PHASE

SITE PLAN FOR SUBDIVISION THIS PROJECT
 PHASE I
 PROPOSED TRANSITION EXISTING 80' R/W PROPOSED 68' R/W



PREVIOUSLY APPROVED SITE PLAN FOR SUBDIVISION
 EPC # 7-96-99
 DATE APPROVED, 11/14/96
 DILUTED AREA DESIGNATES NO CHANGE

REVISIONS

15-28-97	REVISIONS PER E.P.C. COMMENT OR OTHER PLAN CLARIFICATION
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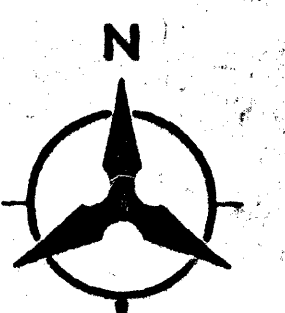
ON APRIL 7, 1997, THE ALBUQUERQUE CITY COUNCIL APPROVED OF BILL NO. R-175 (SD-80-3-4) AMENDING THE UNIVERSITY OF ALBUQUERQUE SECTOR DEVELOPMENT PLAN AS FOLLOWS:
 CONDITION 1 WAS REVISED TO REMOVE THE WORDS TOWN HOMES OR APARTMENTS AND NOW READS:

"THE LAND USE PLAN SHALL BE REVISED TO ADD THE FOLLOWING CATEGORY TO THIS SITE FOR PARCELS C, D, E, AND F: MIXED RESIDENTIAL; RESIDENTIAL DEVELOPMENT NOT TO EXCEED 25 DU/ACRE AND NEIGHBORHOOD COMMERCIAL/OFFICE (C-1 AND O-1 USES). THERE SHALL BE A MINIMUM OF 5 ACRES ADJACENT TO COORS BOULEVARD DEVELOPED AT NOT LESS THAN 8 DU/ACRE AND AN ADDITIONAL 3 TO 5 ACRES AT THE CORNER OF COORS BOULEVARD AND ST. JOSEPH'S DRIVE THAT SHALL BE DEVELOPED WITH EITHER NEIGHBORHOOD COMMERCIAL, OFFICE AND/OR RESIDENTIAL AT NOT LESS THAN 8 DU/ACRE. THE BALANCE OF PARCELS C, D, & E SHALL BE DEVELOPED AT AN AVERAGE OF 4 TO 8 DU/ACRE; PARCEL F SHALL BE DEVELOPED AT 1 TO 3 DU/ACRE."

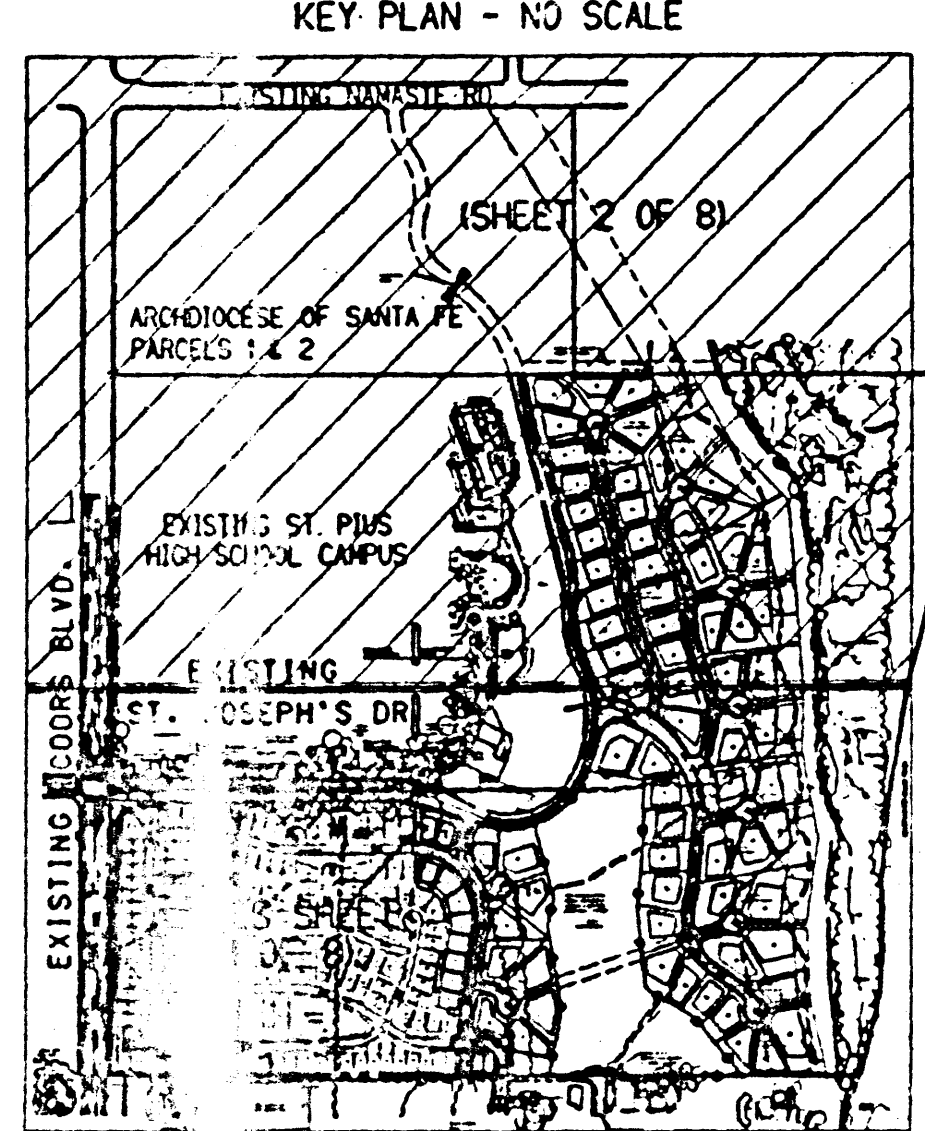
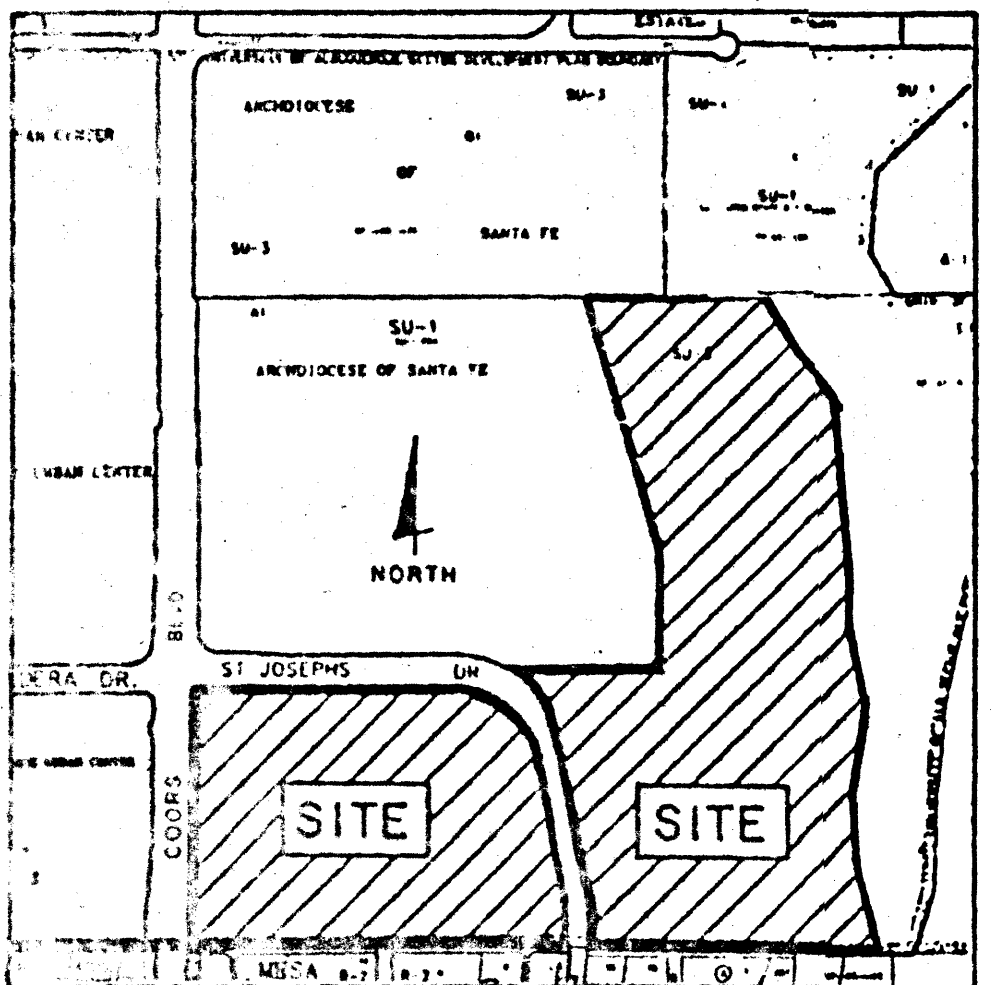
SITE PLAN FOR SUBDIVISION
 OXBOW SUBDIVISION
 ALBUQUERQUE, NEW MEXICO
 JULY 1997

GENERAL NOTES

- TOTAL ACREAGE: 89.00 AC
NET ACREAGE: 86.03 AC
- LOT QUANTITY:
A) 18 45' X 80' MIN. LOTS
B) 50 50' X 80' MIN. LOTS
C) 7 60' X 100' MIN. LOTS
D) 10 85' X 100' MIN. LOTS
E) 72 BUILDING ENVELOPE LOTS - SIZE VARIES
306 TOTAL LOTS (INCLUDING 49 LOTS IN PROPOSED TRACT F-1)
- ALL ROADWAY RIGHT-OF-WAY WIDTHS = 44'-0" (UNLESS NOTED OTHERWISE). ALL LOTS WILL BE DESIGNATED "P-1" ON THE PLAT, AS REQUIRED BY D.P.M. SECTION 232.1C. 1A-C
- EXISTING SITE ZONING = SU-3
- SEE SHEET 7 OF 8 FOR WALL AND SIGNAGE INFORMATION
- SEE SHEET 2 OF 8 FOR ROADWAY CROSS SECTIONS
- SEE SHEET 8 OF 8 FOR ADDITIONAL DESIGN GUIDELINES, INSET SETBACK DATA, LANDSCAPE REQUIREMENTS, ARCHITECTURAL DESIGN CRITERIA, BUILDING ENVELOPE DATA ETC.
- SEE PLAN AND ROADWAY SECTIONS FOR VARIOUS SIDEWALK, PEDESTRIAN AND BIKEWAY PATHS.
- A UTILITY PLAN CONFORMING TO REQUIREMENTS OF THE WATER AVAILABILITY STATEMENT WILL BE PROVIDED FOR DEB REVIEW AND APPROVAL OF THE SITE PLAN FOR SUBDIVISION
- BUILDING ENVELOPE SIZE AND CONFIGURATION MAY VARY SLIGHTLY DUE TO SITE TOPOGRAPHY CONSTRAINTS.
- THE SHADED AREA DESIGNATED ON THE PLAN REPRESENTS A 10 ACRE PARCEL INCLUDED 80% FOR A NET PER ACRE DENSITY OF 8+.
- SEE PLAN THIS SHEET FOR ADDITIONAL DENSITY INFORMATION, INDICATING CONFORMANCE TO THE UNIVERSITY OF ALBUQUERQUE SECTOR DEVELOPMENT PLAN
- THE SUBDIVISION PLAT SUBMITTED TO THE DEVELOPMENT REVIEW BOARD (DRB) WILL SUBSTANTIALLY CONFORM TO THE E.P.C. APPROVED SITE DEVELOPMENT PLAN
- THE DESIGN GUIDELINES WILL BE RECORDED WITH THE CITY ALONG WITH THE SUBDIVISION PLAT AND SHALL BE MAINTAINED AS PERMANENT DESIGN STANDARDS FOR THE SUBJECT PROPERTY.



SCALE: 1" = 100'



BOHANNAN-HUSTON INC.
 ENGINEERS • PLANNERS • PHOTOGRAMMETRISTS • SURVEYORS • LANDSCAPE ARCHITECTS
 ALBUQUERQUE LAS CRUCES SANTA FE

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP

OXBOW SUBDIVISION
 SITE PLAN FOR SUBDIVISION PARCELS C, D, & F
 UNIVERSITY OF ALBUQUERQUE URBAN CENTER

EPC CASE NO. XXXX.XX ZONE MAP NO. F-11&G-11 SHEET 1 OF 8

EXISTING WESTERN TRAIL

EXISTING NAMASTE RD.

EXISTING NON-SIGNALIZED INTERSECTION

ARCHDIOCESE OF SANTE FE PARCELS 1 & 2

52' PUBLIC ACCESS EASEMENT TO BE GRANTED OVER PARCELS 1 & 2 ARCHDIOCESE OF SANTA FE

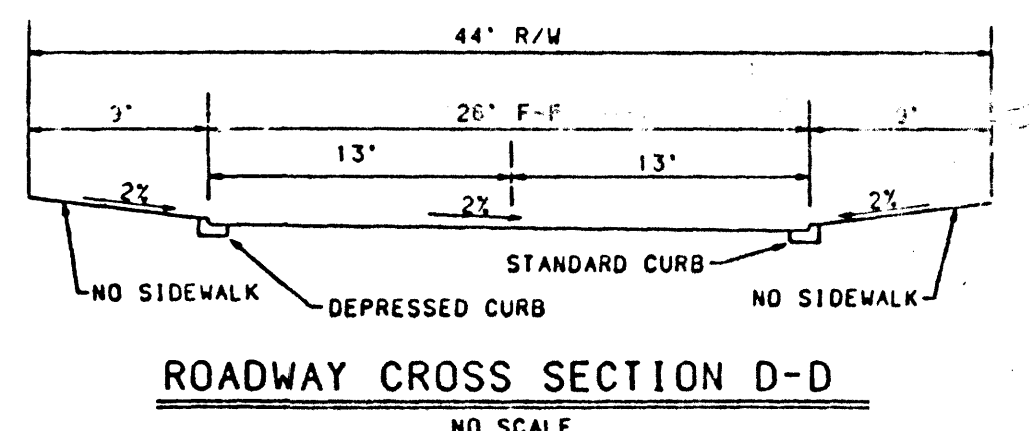
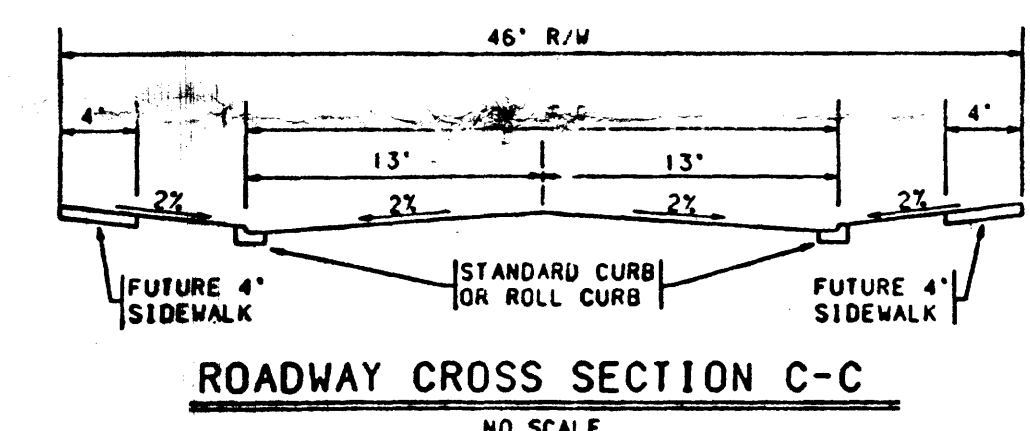
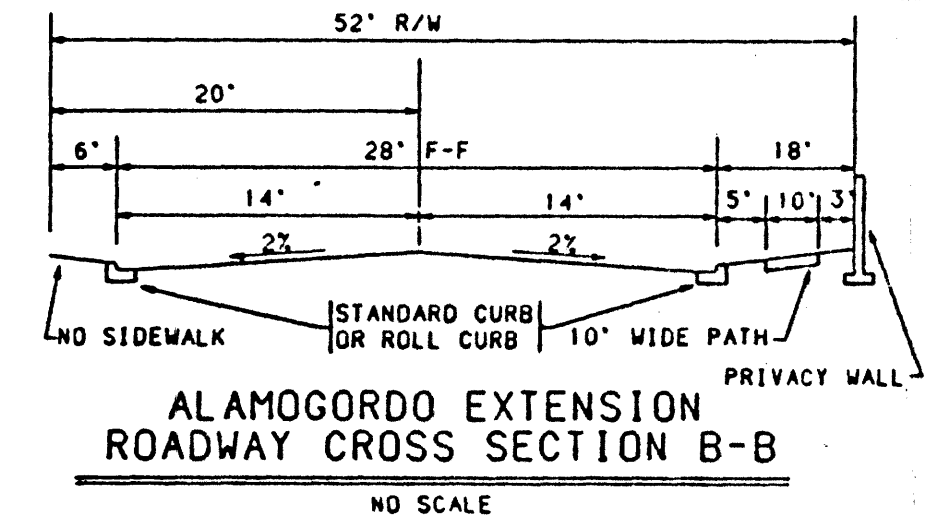
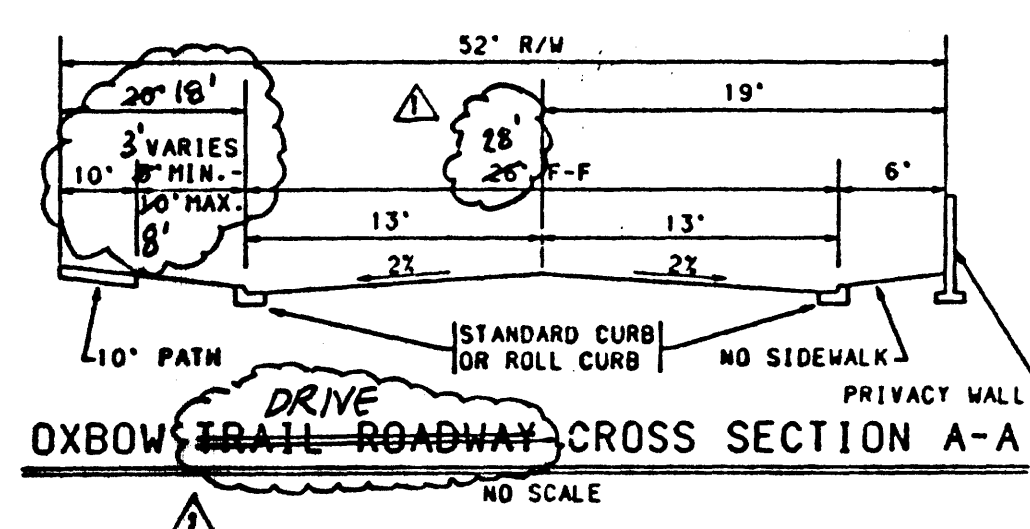
PROPOSED SAS EASEMENT DIMENSIONS TO BE DETERMINED AT A LATER DATE

GENERAL NOTES

- TOTAL AREA: 89.00 AC
NET AREA: 86.03 AC
- LOT QUANTITY:
A) 18 45' X 80' MIN LOTS
B) 50 50' X 90' MIN LOTS
C) 7 60' X 100' MIN LOTS
D) 10 65' X 100' MIN LOTS
E) 72 BUILDING ENVELOPE LOTS - SIZE VARIES
306 TOTAL LOTS (INCLUDING 49 LOTS IN PROPOSED TRACT F-1)
- ALL ROADWAY RIGHT-OF-WAY WIDTHS = 44'-0" (UNLESS NOTED OTHERWISE) ALL LOTS WILL BE DESIGNATED "P-1" ON THE PLAT, AS REQUIRED BY D.P.M. SECTION 2321C. 1A-C
- EXISTING SITE ZONING = SU-3
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- SEE SHEET 2 OF 8 FOR ROADWAY CROSS SECTIONS
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- A UTILITY PLAN CONFORMING TO REQUIREMENTS OF THE WATER AVAILABILITY STATEMENT WILL BE PROVIDED FOR DRB REVIEW FOLLOWING APPROVAL OF THE SITE PLAN FOR SUBDIVISION
- BUILDING ENVELOPE SIZE AND CONFIGURATION MAY VARY SLIGHTLY DUE TO SITE TOPOGRAPHY CONSTRAINTS.
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- SEE PLAN THIS SHEET FOR ADDITIONAL DENSITY INFORMATION, INDICATING CONFORMANCE TO THE UNIVERSITY OF ALBUQUERQUE SECTOR DEVELOPMENT PLAN
- THE SUBDIVISION PLAT SUBMITTED TO THE DEVELOPMENT REVIEW BOARD (DRB) WILL SUBSTANTIALLY CONFORM TO THE E.P.C. APPROVED SITE DEVELOPMENT PLAN.
- THE DESIGN GUIDELINES WILL BE RECORDED WITH THE CITY ALONG WITH THE SUBDIVISION PLAT AND SHALL BE MAINTAINED AS PERMANENT DESIGN STANDARDS FOR THE SUBJECT PROPERTY.

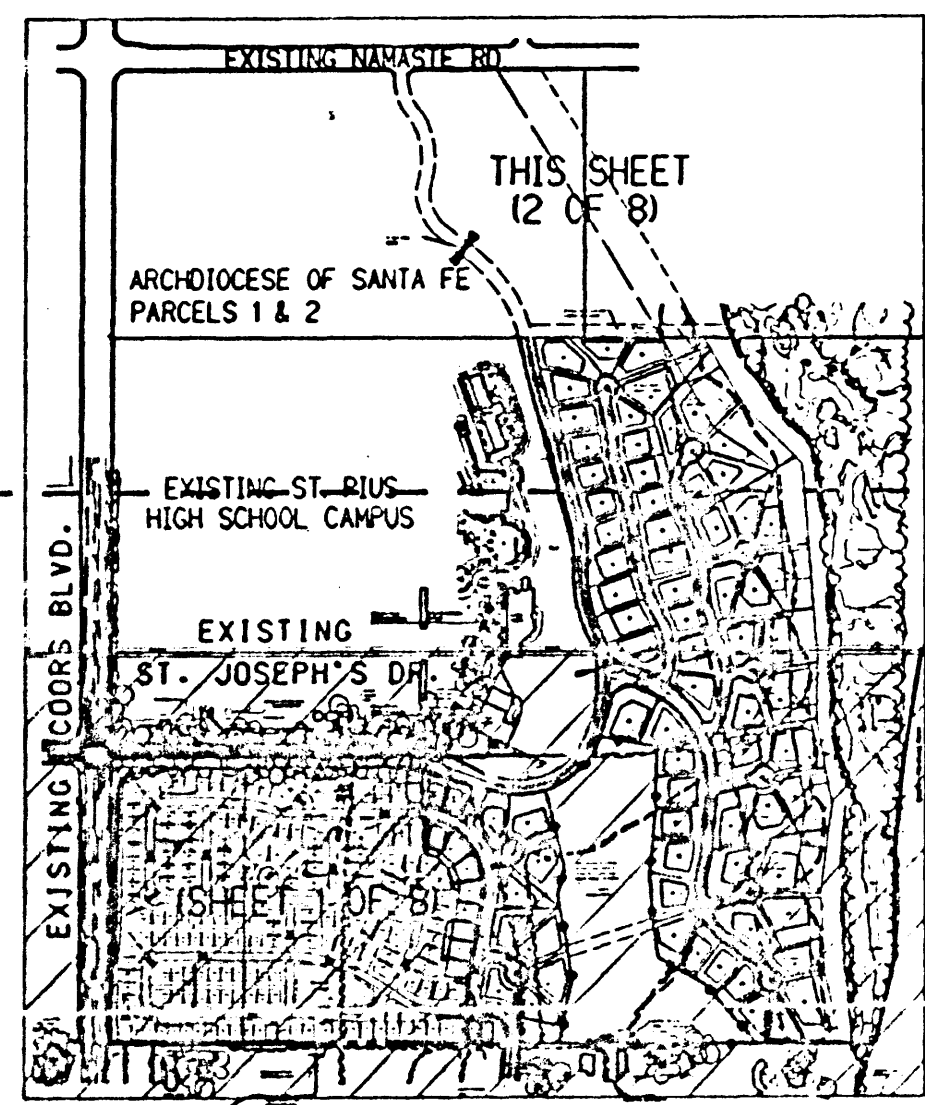
SU-1 OPEN SPACE AND 1 DU/2DA

EXISTING COORS BLVD. (120' R/W)



EXISTING ST. PIUS HIGH SCHOOL
EXISTING ZONING : SU-1

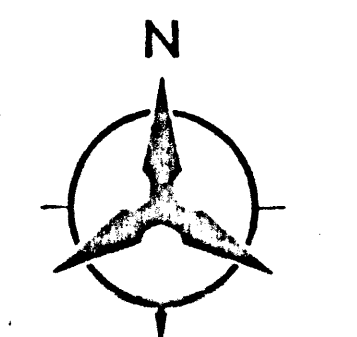
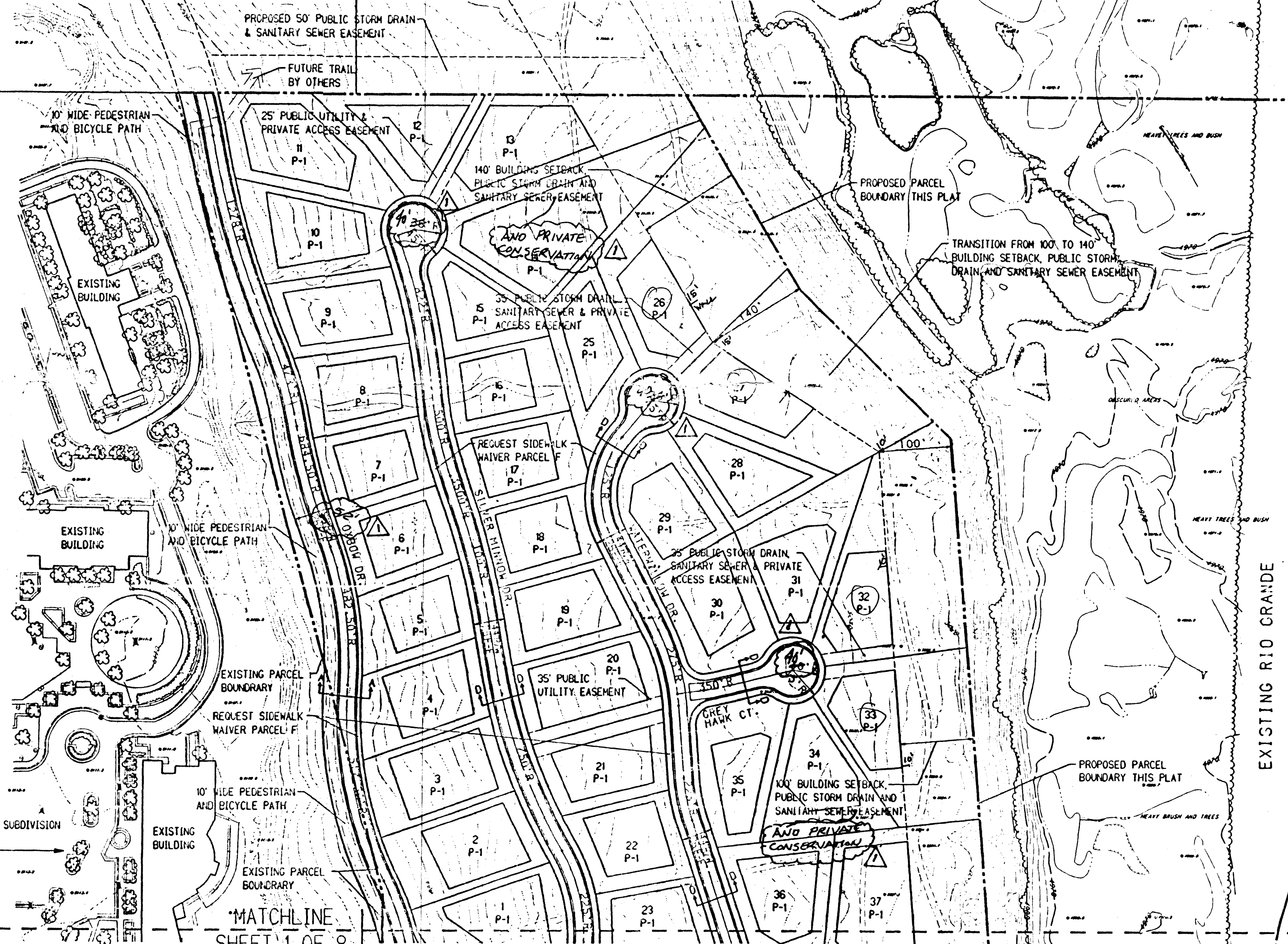
KEY PLAN - NO SCALE



PREVIOUSLY APPROVED SITE PLAN FOR SUBDIVISION THIS PROJECT
EPC # Z-96-99
DATE APPROVED, 11/14/96

SITE PLAN FOR SUBDIVISION OXBOW SUBDIVISION ALBUQUERQUE, NEW MEXICO

JULY 1997



SCALE: 1" = 100'

MATCHLINE SHEET 1 OF 8

MATCHLINE SHEET 1 OF 8

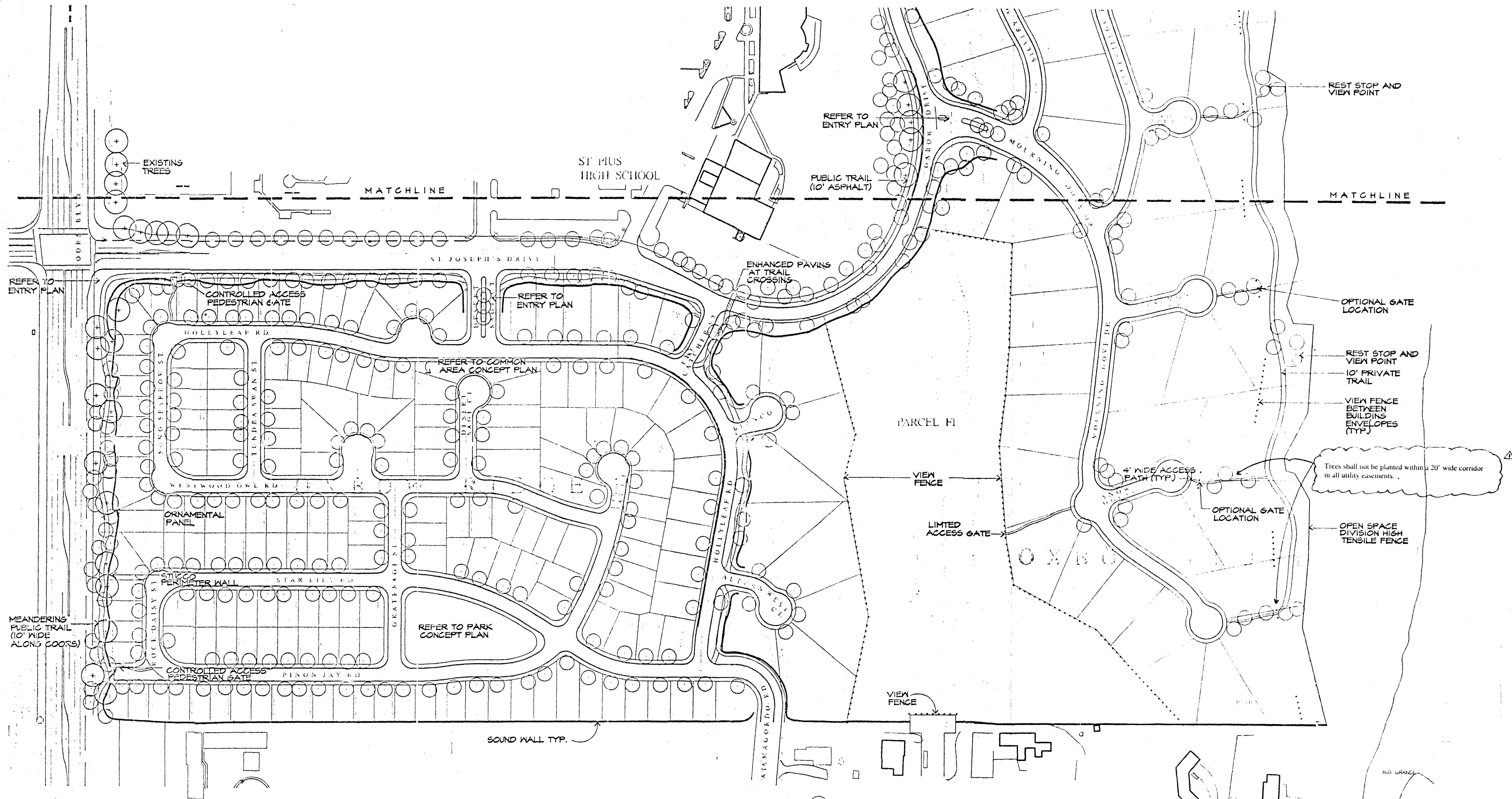
BOHANNAN-HUSTON INC.
ENGINEERS • PLANNERS • PHOTOGRAMMETRISTS • SURVEYORS • LANDSCAPE ARCHITECTS
ALBUQUERQUE LAS CRUCES SANTA FE

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

OXBOW SUBDIVISION
SITE PLAN FOR SUBDIVISION PARCELS C,D,E & F
UNIVERSITY OF ALBUQUERQUE URBAN CENTER


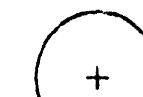
EPC CASE NO.	ZONE MAP NO.	SHEET	OF
XXXX.XX	F-10G-11	2	8

DATE: JULY 1997



THE OXBOW SUBDIVISION LANDSCAPE CONCEPT AND CIRCULATION PLAN

OXBOW MESA AND OXBOW BLUFF

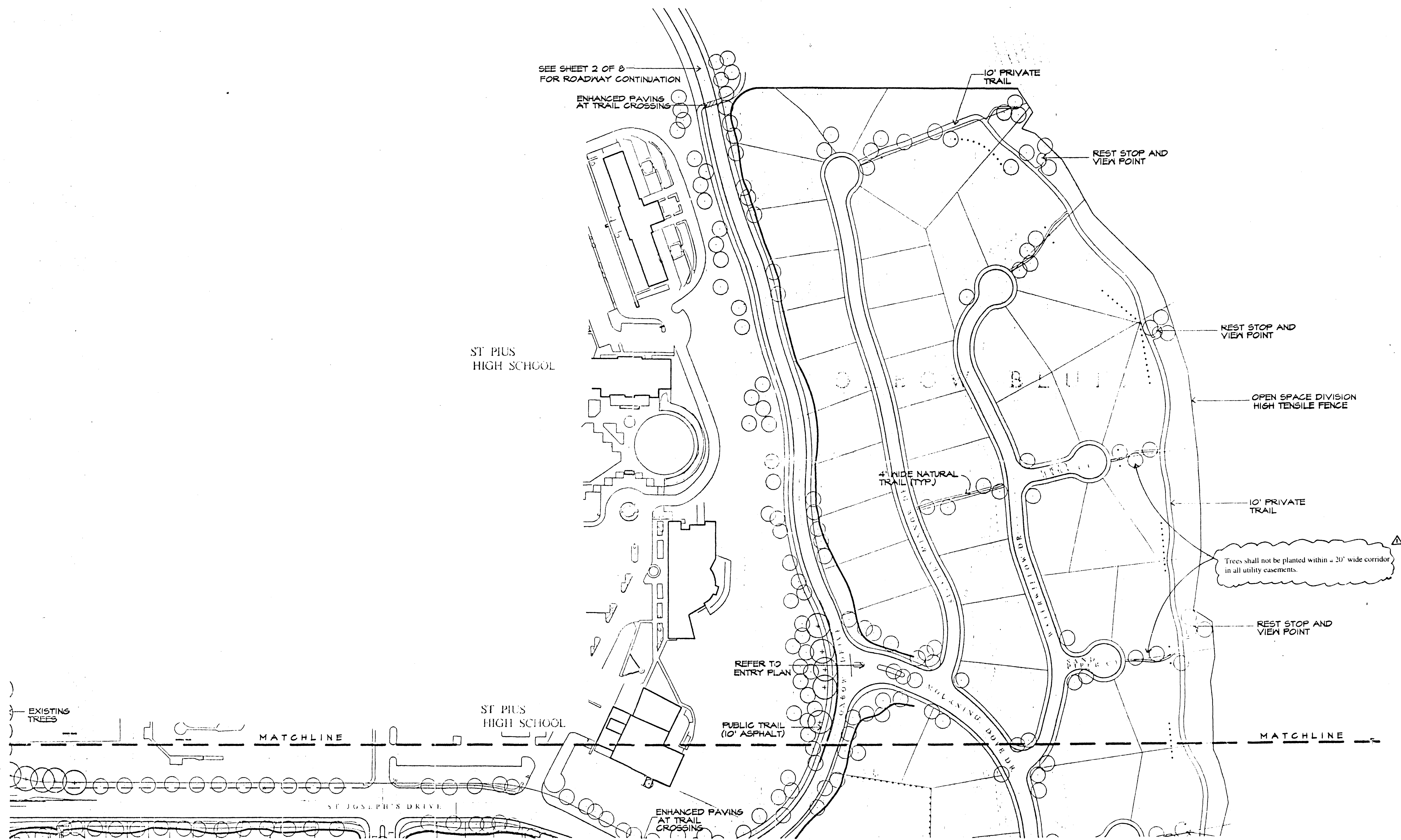
-  Small-mid scale tree
-  Large scale tree

PREPARED FOR:
 Altura West
 913 Virginia Northeast
 Albuquerque, New Mexico 87108

PREPARED BY:
DESIGNWORKSHOP
 9621 Fourth Street NW
 Albuquerque, New Mexico 87114

Bohannon-Huston Inc.
 7500 Jefferson Street, NE
 Albuquerque, New Mexico 87109

Scale: 1" = 100'
 July 1997
 Consensus Planning
 718 Central Ave.
 Albuquerque, New Mexico 87102



SEE SHEET 2 OF 8
FOR ROADWAY CONTINUATION

ENHANCED PAVING
AT TRAIL CROSSING

10' PRIVATE
TRAIL

REST STOP AND
VIEW POINT

ST PIUS
HIGH SCHOOL

REST STOP AND
VIEW POINT

OPEN SPACE DIVISION
HIGH TENSILE FENCE

4' WIDE NATURAL
TRAIL (TYP)

10' PRIVATE
TRAIL

Trees shall not be planted within a 20' wide corridor
in all utility easements.

REST STOP AND
VIEW POINT

REFER TO
ENTRY PLAN

PUBLIC TRAIL
(10' ASPHALT)

MATCHLINE

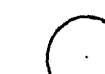
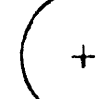
ENHANCED PAVING
AT TRAIL
CROSSING

EXISTING
TREES

MATCHLINE

ST PIUS
HIGH SCHOOL

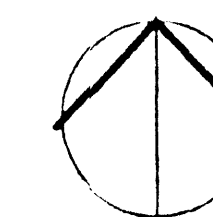
ST JOSEPH'S DRIVE

-  Small-irrid scale tree
-  Large scale tree

PREPARED FOR:
Altura West
913 Virginia Northeast
Albuquerque, New Mexico 87108

PREPARED BY:
DESIGNWORKSHOP
9621 Fourth Street NW
Albuquerque, New Mexico 87114

Bohannon-Huston Inc.
7500 Jefferson Street, NE
Albuquerque, New Mexico 87109

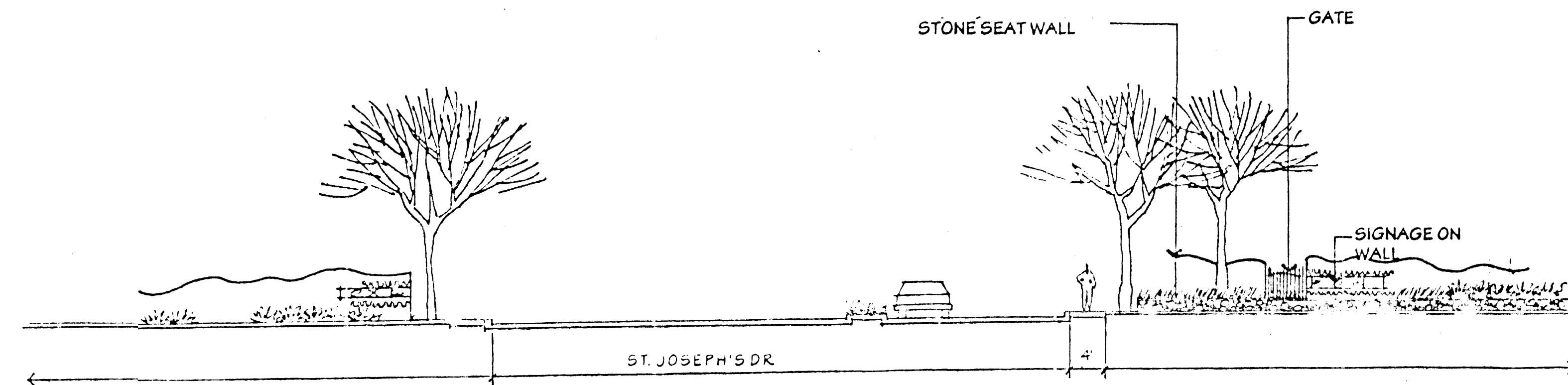
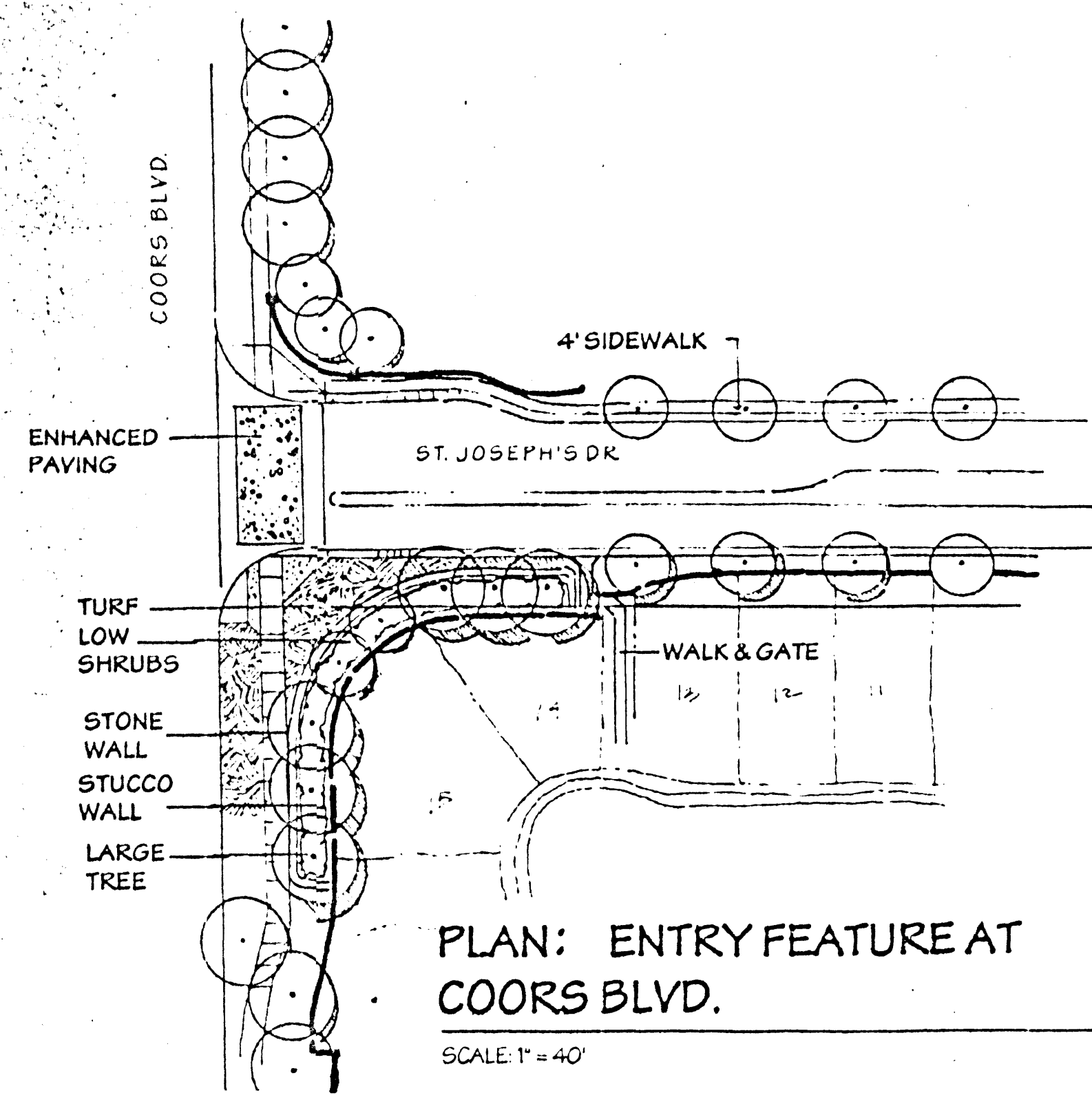


Scale: 1" = 100'
July 1997

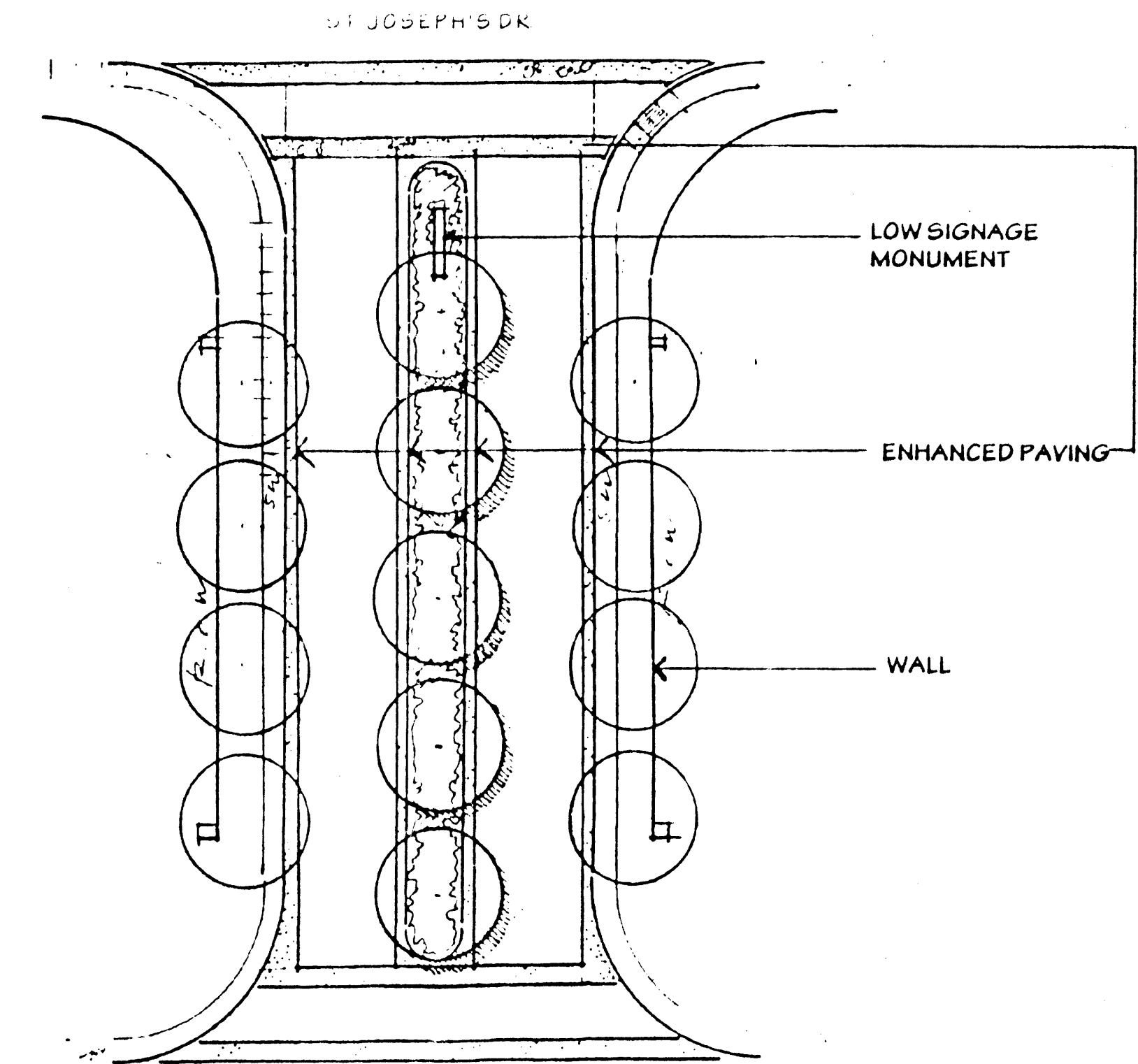
Consensus Planning
718 Central Ave.
Albuquerque, New Mexico 87102

THE OXBOW SUBDIVISION LANDSCAPE CONCEPT AND CIRCULATION PLAN

OXBOW BLUFF

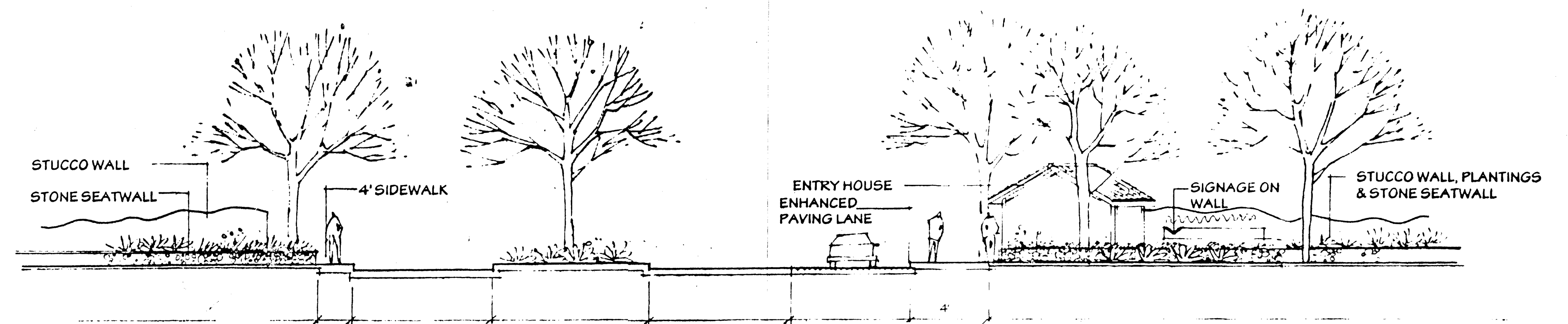
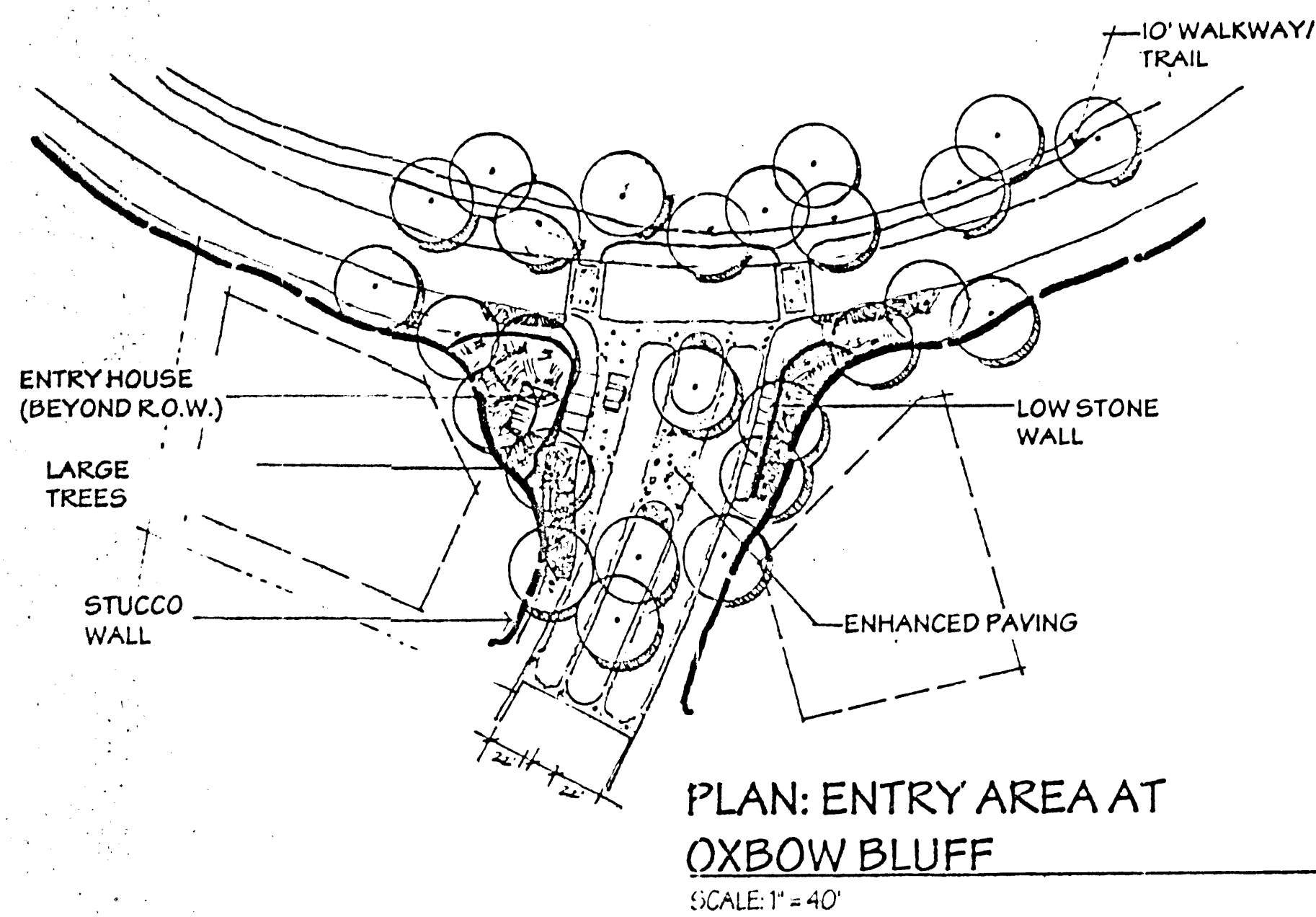


ELEVATION LOOKING EAST: ENTRY FEATURE AT COORS & ST. JOSEPH'S DR.



PLAN: ENTRY MEDIAN CONCEPT AT OXBOW RIDGE

SCALE: 1" = 40'



ELEVATION LOOKING EAST: ENTRY FEATURE AT OXBOW TRAIL.

THE OXBOW SUBDIVISION LANDSCAPE CONCEPTS

PREPARED FOR:

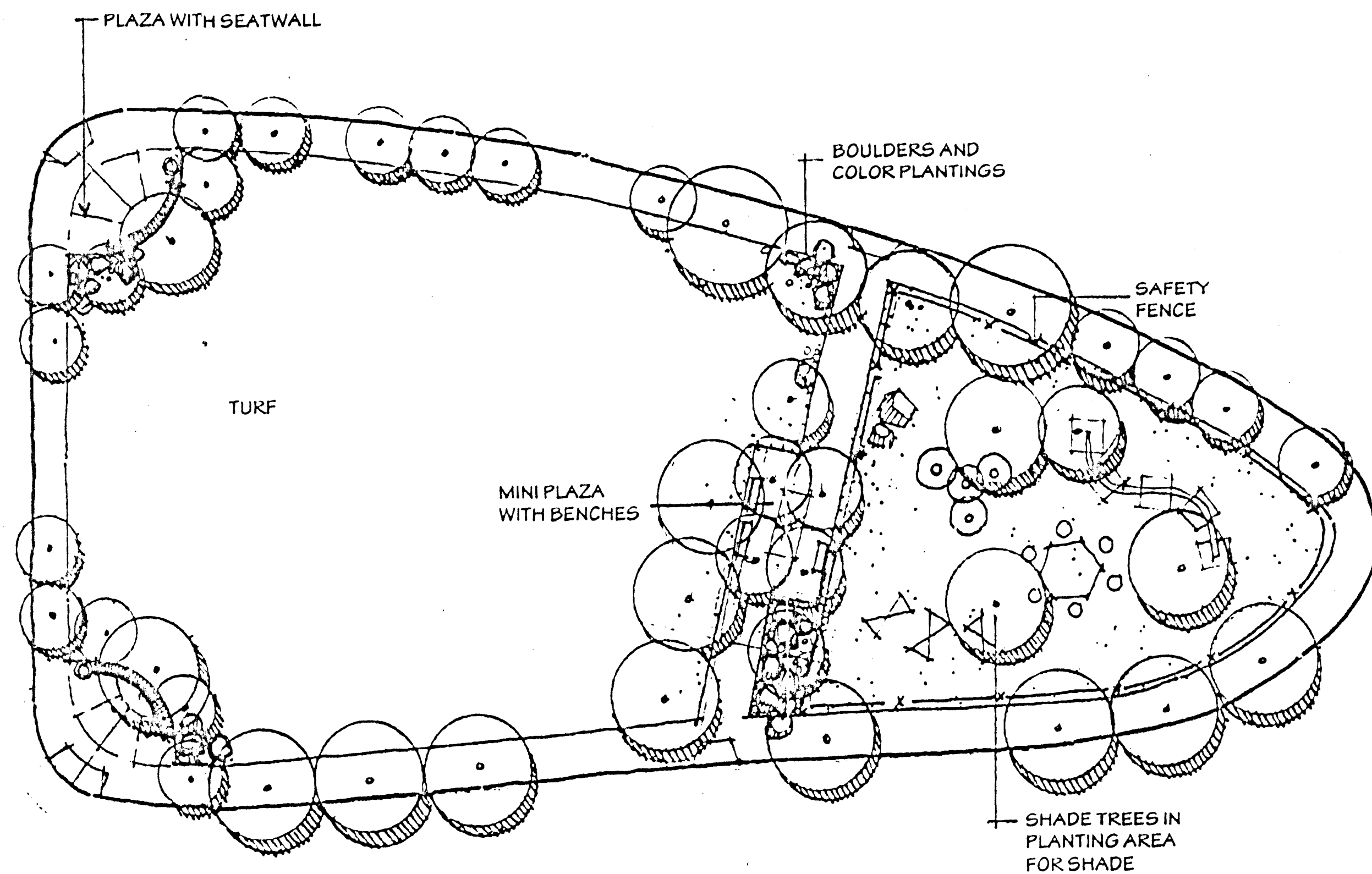
Altura West
913 Virginia Northeast
Albuquerque, New Mexico 87108

PREPARED BY:

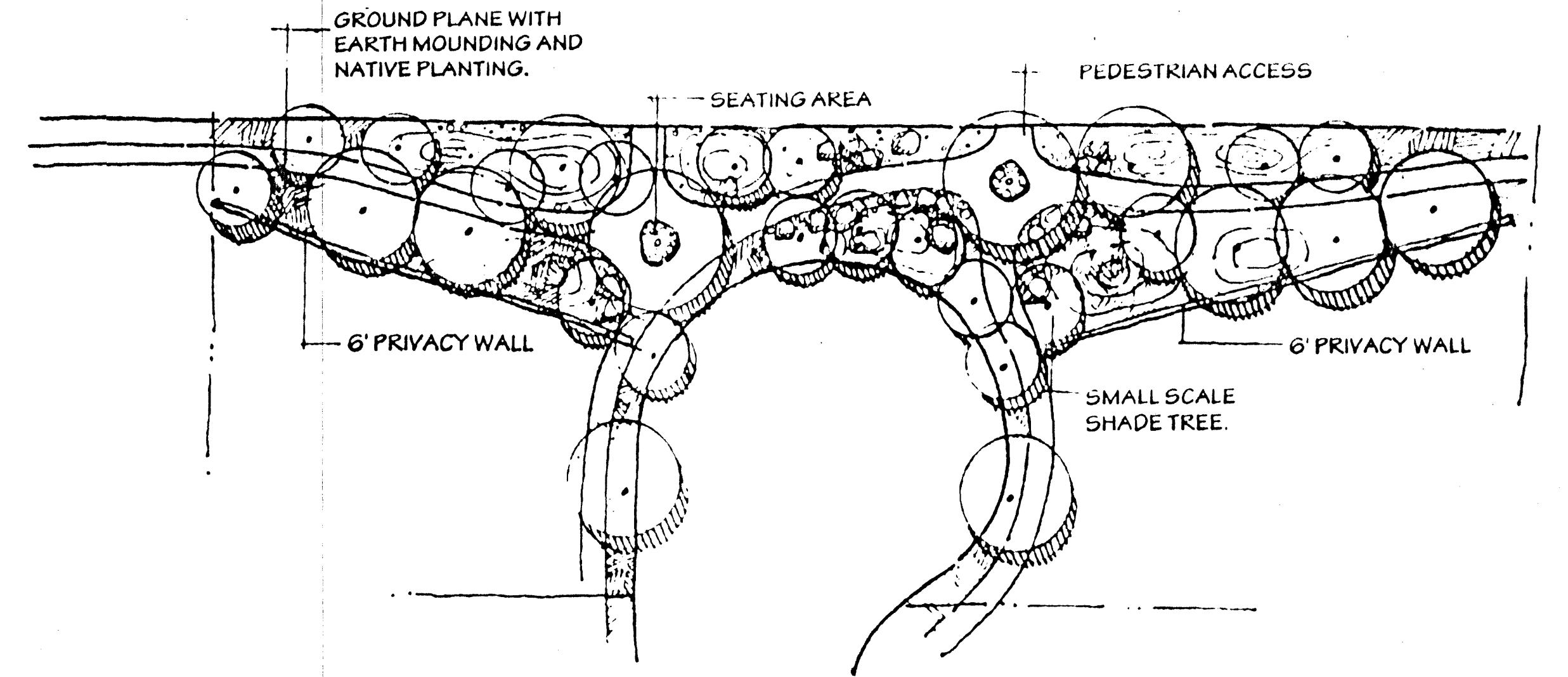
DESIGNWORKSHOP
9621 Fourth Street NW
Albuquerque, New Mexico 87114

Bohannon-Huston Inc.
7500 Jefferson Street, NE
Albuquerque, New Mexico 87109

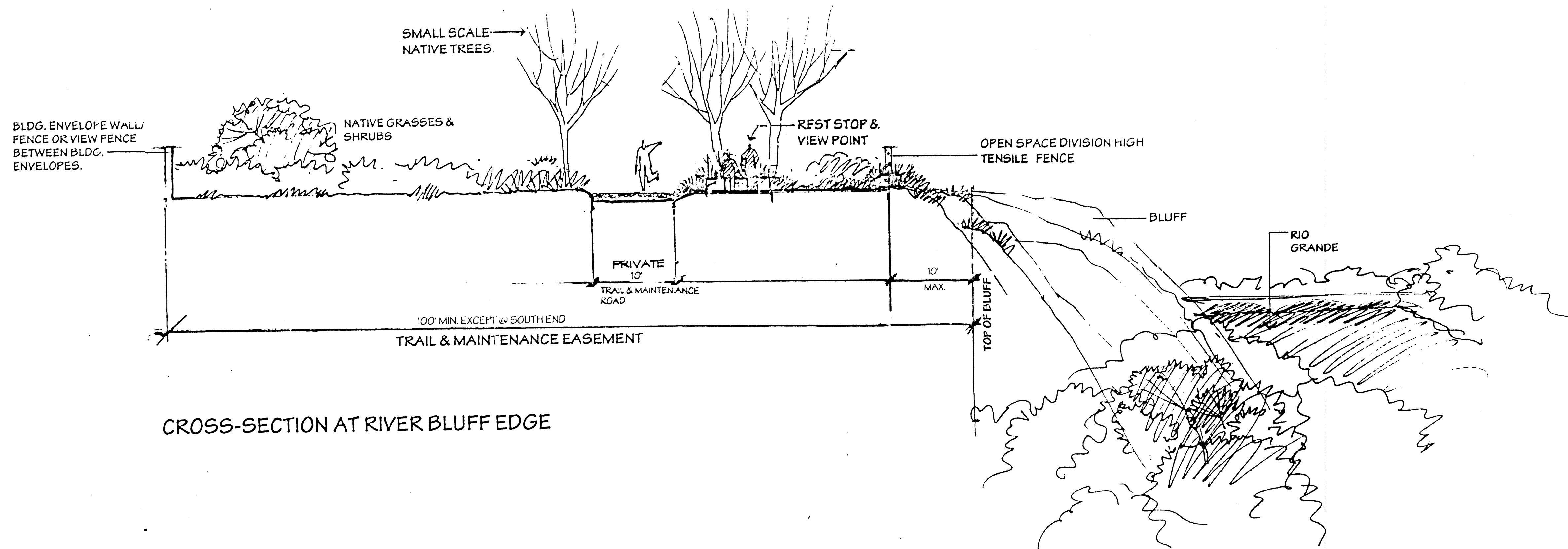
Consensus Planning
718 Central Ave.
Albuquerque, New Mexico 87102



PLAN AT PRIVATE PARK



PLAN AT PRIVATE COMMONS AREA



CROSS-SECTION AT RIVER BLUFF EDGE

THE OXBOW SUBDIVISION LANDSCAPE CONCEPTS

PREPARED FOR:

Altura West
913 Virginia Northeast
Albuquerque, New Mexico 87108

PREPARED BY:

DESIGNWORKSHOP
9621 Fourth Street NW
Albuquerque, New Mexico 87114

Bohannon-Huston Inc.
7500 Jefferson Street, NE
Albuquerque, New Mexico 87109

Consensus Planning
716 Central Ave.
Albuquerque, New Mexico 87102

Landscape Minimum Standards

The following are minimum standards for the development of specific site landscape plans:

1. All planting areas in the Oxbow Mesa area not covered with turf shall have a ground topping of crushed rock, river rock, shredded bark, or similar material which extends completely under the plant material.
2. Appropriate landscape headers shall be used to separate turf and groundcover areas.
3. Street trees are to be provided along Coors Boulevard and St. Joseph's in accordance with the Coors Corridor Plan and the City's Street Tree Ordinance.
4. Minimum plant sizes in the Oxbow Mesa area at time of installation shall be as follows: Trees shall have a 2" caliper, or be 10 to 12 feet in height; shrubs and groundcovers shall be a one gallon container; and turf grasses shall be capable of providing complete ground coverage within one growing season after installation.
5. An automatic underground irrigation system is required to support all required landscaping. Irrigation components should be checked periodically to ensure maximum efficiency. Drip irrigation will be used as much as possible.
6. All plant material, including trees, shrubs, groundcovers, turf, wildflowers, etc. shall be maintained in a living, attractive condition. All areas shall be maintained free of weeds through the use of chemical spray or previous filter material.
7. Maintenance for all common and perimeter landscaped areas shall be the responsibility of the Oxbow Subdivision Homeowner's Association (a mandatory association).
8. Trees shall not be planted within a 20' wide corridor in all utility easements.

PEDESTRIAN CIRCULATION

It is essential to the overall functioning of the area as a transit friendly neighborhood, that strong pedestrian connections from the subdivision to Coors Boulevard, St. Joseph's Drive, St. Joseph's Place, and the proposed recreational trail. The subdivision layout shall be required to comply with the pedestrian circulation diagram shown on the Concept Plan. Specific access points and trail locations shall be determined through coordination with the City of Albuquerque Development Review Board. Pedestrian access easements as illustrated on the Site Plan shall be a minimum of twenty feet (20') wide. These easements shall be dedicated for public use in perpetuity and shall be physically separated from the adjacent lots.

LANDSCAPE


Goals and Objectives

The intent of these guidelines is to establish a basic landscape palette and minimum standards for the common and private landscape areas within Oxbow. Generally, the areas on the flat mesa will feature higher water use and more manicured landscape materials with more native materials, in and along the bluff in natural groupings. Specific requirements of the City of Albuquerque's Water Conservation Landscaping and Water Use Ordinance shall be followed.

Plant Palette

Plants for usage in public areas and on private lots outside of the private areas shall be limited to the following:

Trees

- | | |
|---------------------------------|--|
| Catalpa chiopsis | Chitaipa |
| Cercis | Redbud |
| Chilopsis linearis | Desert willow |
| Cupressocyparis leylandii | Leyland cypress |
| Cupressus gabra | Arizona cypress |
| Elaeagnus angustifolia | Russian olive  |
| Fraxinus americana | White ash |
| Fraxinus oxycarpa | Ash |
| Fraxinus pennsylvanica | Green ash |
| Fraxinus velutina | Arizona ash |
| Gleditsia triacanthos | Honey locust |
| Koelerutera paniculata | Goldenrain tree |
| Picea pungens | Colorado spruce |
| Pinus edulis | Pinon |
| Pinus nigra | Austrian pine |
| Pistacia chinensis | Chinese pistache |
| Populus aluminata | Lanceleaf cottonwood |
| Populus fremontii | Fremont cottonwood |
| Quercus garibaldii | Gambel oak |
| Quercus turbinella | Shrubline oak |
| Robinia pseudoacacia | Purple robe locust |
| Robinia x anbigua 'purple robe' | Purple robe locust |
| Vitex agnus-castus | Chaste tree |

Shrubs

- | | |
|----------------------------|--------------------|
| Buddleia | Butterfly bush |
| Caesalpinia gilliesii | Bird of paradise |
| Caryopteris clandonensis | Blue mist |
| Chrysothamnus nauseosus | Rubber rabbitbrush |
| Fallugia paradoxa | Apache plume |
| Forestiera neomexicana | New Mexico olive |
| Hesperaloe parviflora | Red yucca |
| Paroskia utriplifolia | Russian sage |
| Potentilla fruticosa | Shrubby cinquefoil |
| Rhus trilobata | Three-leaf sumac |
| Rosmarinus officinalis | Rosemary |
| Salvia greggii | Cherry sage |
| Santolina chamaecyparissus | Lavender cotton |
| Yucca elatagnanica | Yucca |

Ground Covers

- | | |
|-----------------------|-------------------|
| Artemisia ludoviciana | Prairie sage |
| Artemisia portica | Roman wormwood |
| Delosperma cooperii | Iceplant |
| Juniperus spp. | Spreading juniper |
| Nepeta mussini | Catmint |
| Verbena bipinnatifida | Fern verbena |

Herbaceous

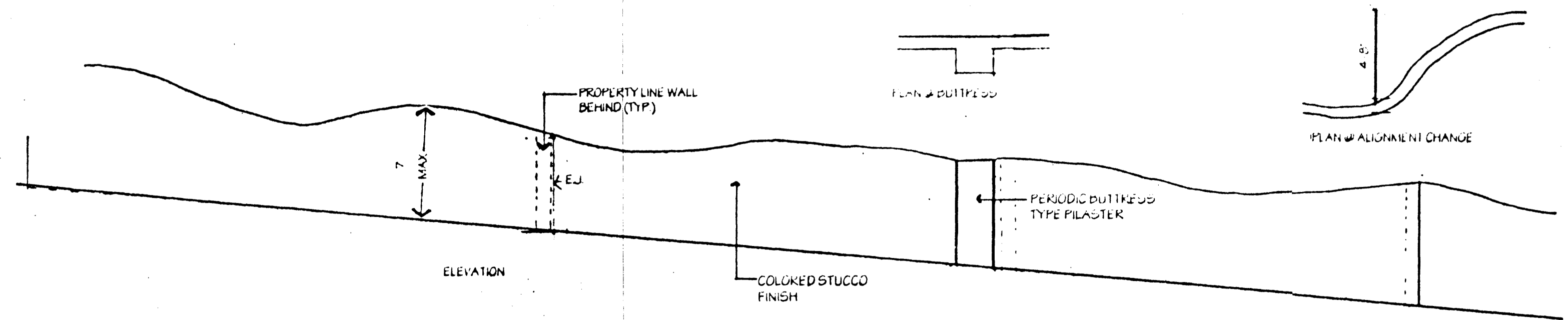
- | | |
|--------------------------|------------------|
| Achillea taygetea | Moonshine yarrow |
| Baileya multiradiata | Desert marigold |
| Cerastium tomentosum | Snow-in-summer |
| Chrysopsis villosa | Golden aster |
| Gaillardia sp. | Blanketflower |
| Lavandula angustifolia | English lavender |
| Kniphofia uvaria | Red hot poker |
| Liatris punctata | Gayfeather |
| Linum lewisii | Blue flax |
| Machaeranthera bigelovii | Purple aster |
| Melampodium leucanthum | Blackfoot daisy |
| Oenothera spp. | Primrose |
| Penstemon spp. | Penstemon |
| Psilostrophe tagetes | Paper flower |
| Ratibida columnaris | Mexican hat |
| Salvia officinalis | Garden sage |
| Thymus pseudolanuginosus | Wooly Thyme |
| Zinnia grandiflora | Desert zinnia |

Turf Grasses

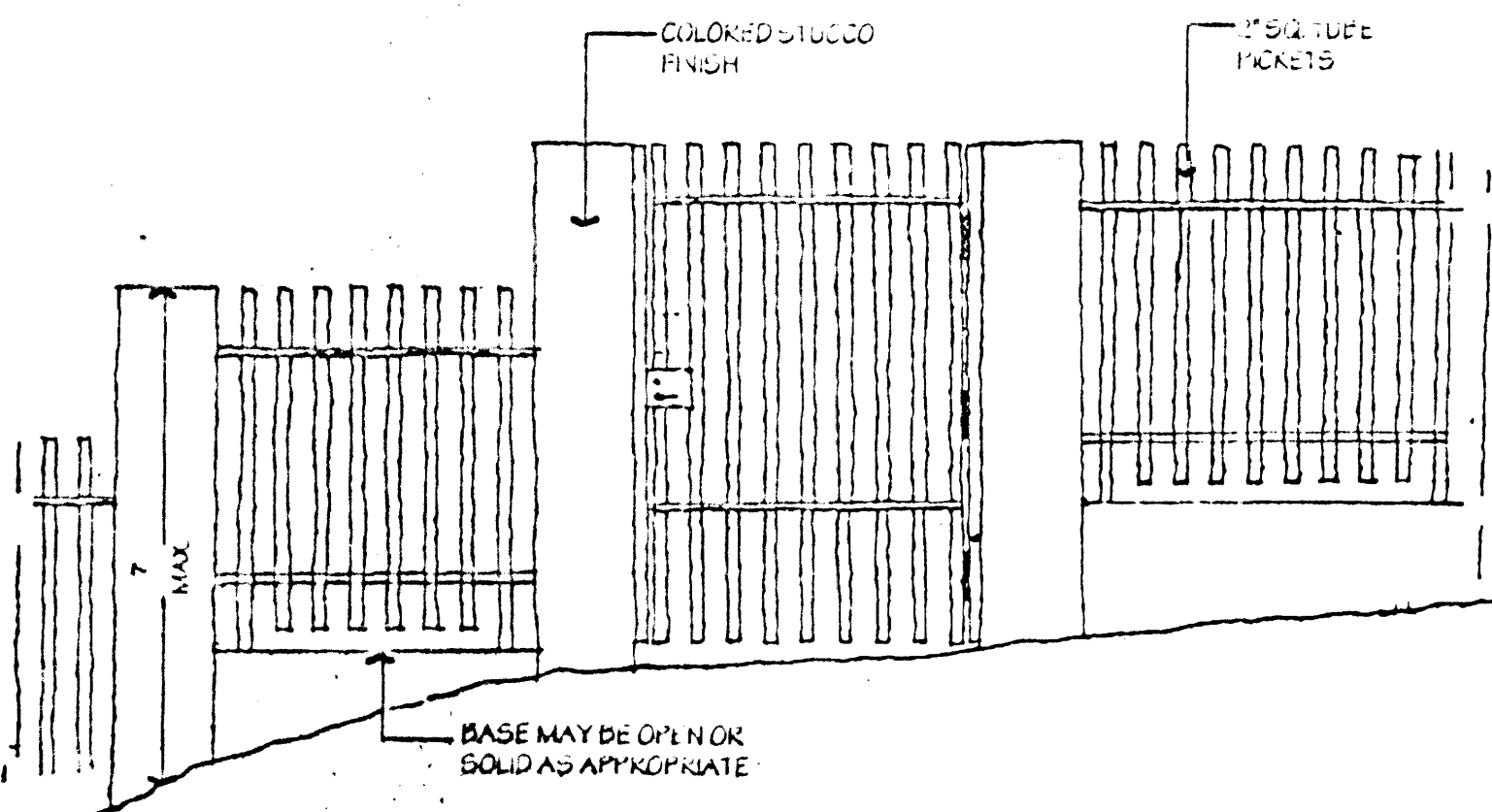
- | | |
|---------------------|--------------|
| Bouteloua gracilis | Blue grama |
| Buchloe dactyloides | Buffalograss |
| Festuca elatior | Tall fescue |

Native Grasses

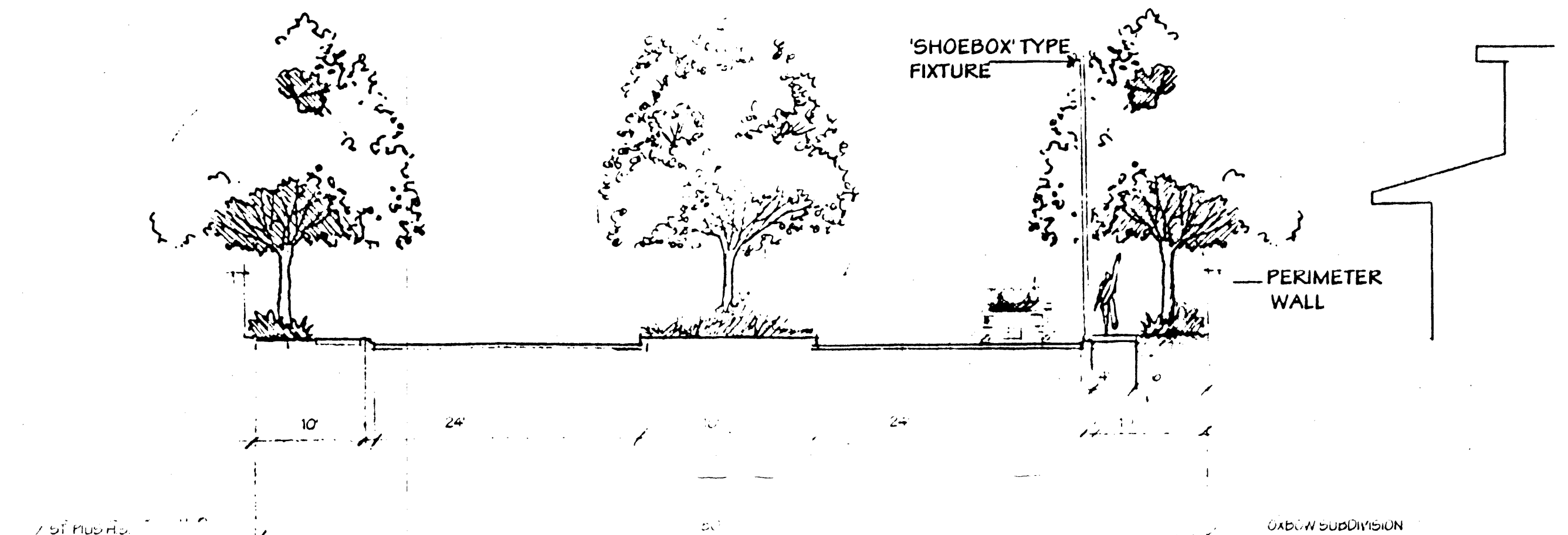
A wide variety of native grasses can be used to revegetate disturbed areas or to serve as plantings in yard spaces.



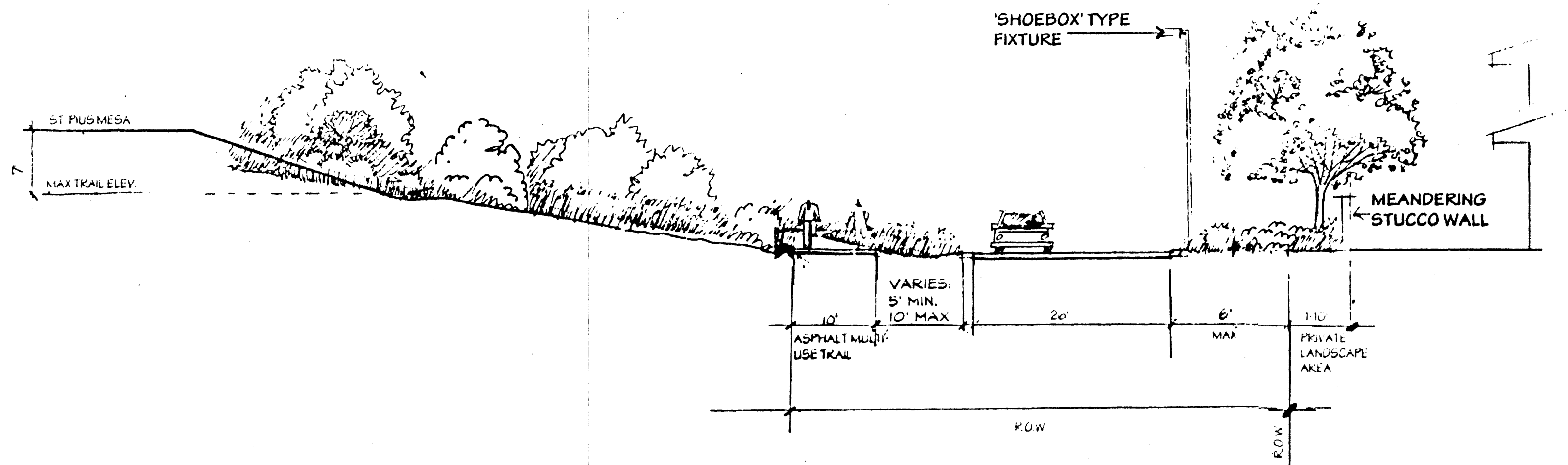
TYPICAL ELEVATION, PLAN & SECTION OF PERIMETER WALL AT ST. JOSEPH'S DRIVE AND OXBOW TRAIL



TYPICAL ELEVATION OF VIEW FENCE



TYPICAL CROSS-SECTION AT ST. JOSEPH'S DRIVE



TYPICAL CROSS-SECTION AT OXBOW DRIVE

THE OXBOW SUBDIVISION LANDSCAPE CONCEPTS

PREPARED FOR:

Altura West
913 Virginia Northeast
Albuquerque, New Mexico 87108

PREPARED BY:

DESIGNWORKSHOP
9621 Fourth Street NW
Albuquerque, New Mexico 87114

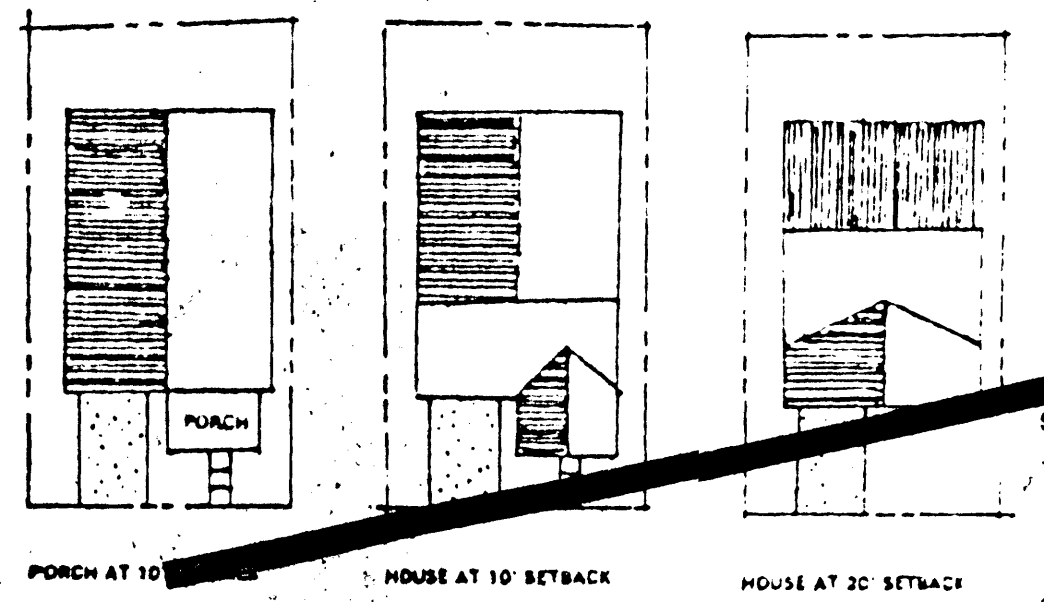
Bohannon-Huston Inc.
7500 Jefferson Street, NE
Albuquerque, New Mexico 87109

Consensus Planning
718 Central Ave.
Albuquerque, New Mexico 87102

RESIDENTIAL GUIDELINES (OXBOW RIDGE)

Setbacks
The arrangement and placement of houses close to or back from the street creates different visual patterns and impressions of the street. The following setbacks are intended to provide some structure to ensure visual integrity within the Oxbow subdivision. The setbacks are as follows:

1. Front yard setback -
 - a. No house shall be constructed within ten feet (10') from the front property line of a lot.
 - b. No garage shall be constructed within twenty feet (20') from the front property line of a lot.
2. Side yard setback - no house shall be constructed within five feet (5') from the side property line of a lot.
3. Rear yard setback - no house shall be constructed within fifteen feet (15') from the rear property line of a lot.
4. A minimum of thirty percent (30%) of the 45' x 80' lots and 50' x 90' lots shall have a minimum front yard setback of ten feet (10') and a maximum front yard setback of fifteen feet (15') (including those with front porches).
5. A minimum of three (3) houses per ten (10) on any linear frontage shall be required to have a minimum front yard setback of ten feet (10') and a maximum front yard setback of fifteen feet (15').



SETBACK VARIES TO BREAK UP GARAGE DOORS

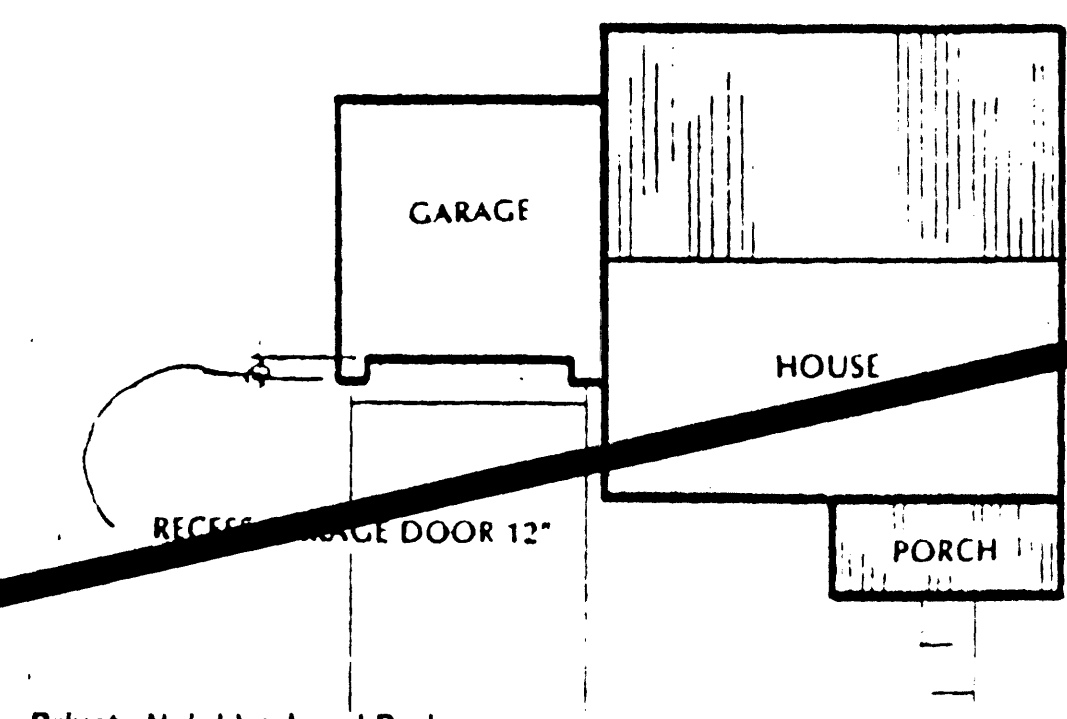
- Site Lighting**
1. Site lighting shall not have a total off-site luminance greater than 1000 foot lamberts; however, it shall not have an off-site luminance greater than 200 foot lamberts measured from the property line of any private property in a residential zone.
 2. The mounting height of luminaires in vehicular and/or storage areas shall be no higher than 20 feet.

Front Porches
A porch is defined as a roofed open area, which may be screened, attached to or part of, and with direct access to or from the house. To provide visual interest to the street and encourage pedestrian activities, front porches shall be provided as follows:

1. Porches shall be a minimum of sixty (60) square feet in size, located at the front of the house, and architecturally integrated into the facade.
2. A minimum of fifteen percent (15%) of the 45' x 80' lots and the 50' x 90' lots shall have a front porch, as defined above, and shall have a minimum front yard setback of ten feet (10') and a maximum front yard setback of fifteen feet (15').

Garages

1. Garage doors shall be offset from the surface of the front facade by a minimum of twelve inches (12") as indicated in the sketch below.



Private Neighborhood Park
A small private neighborhood park is proposed internal to the subdivision. Elements to be provided include a small children's play area with benches, and a small open play turf area (see conceptual park plan that follows). Elements of the park shall be designed for complete handicap accessibility. The landscape treatment for the park will be comprised of large shade trees, flowering accent trees, and natural massings of native shrub material. Development of the park shall conform to the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance, and the City's standards for park construction.

Building Height
Houses or improvements on any lot shall not exceed two stories. The maximum height allowed is twenty-six feet (26'). The height is measured from the original pad elevation to the highest point of the parapet or to the average height between the plate and the ridge of a gable.

1. The maximum area of the second story of a house shall be no more than seventy-five percent (75%) of the area of the first floor. The first floor area is calculated inclusive of the garage area and porch area. The second story area is calculated exclusive of roof decks and porches. For example, if the first floor has an area of 2,000 s.f., the area of the second story is limited to a maximum of 1,500 s.f.
2. The front elevation of the second story portion of the house shall also be set back a minimum of two feet (2') to eliminate the appearance of a two story wall.

Roof Forms
These roof forms are allowed:
1. Flat roofs.
2. Pitched roofs with a maximum slope of 6" per foot.

Roof Materials
These roof materials are allowed:
1. Standing seam roofs, in non-reflective hues.
2. Earthtone colored roof tiles.

Building Materials
1. Stucco shall be the primary building material finish and shall account for a minimum of seventy-five percent (75%) of the exterior construction.
2. Stone, brick, and tile - may be used as an accent feature.

- Walls**
1. The perimeter subdivision wall shall be concrete masonry unit with stucco finish. The wall height shall be six feet (6') as measured from the street side of the wall. To break up a long wall plane, the walls along Coors Boulevard and St. Joseph's shall meander a minimum of five feet (5') at a minimum of one hundred foot (100') increments. This guideline is illustrated in the sketches on the plan.
 2. Interior residential lot line walls shall be CMU and no more than six feet (6') in height. Wall planes facing out to streets shall have a stucco finish of a color to match the house to which it is adjoined.
 3. Exterior sound walls shall be CMU and no more than eight feet (8') in height.
 4. Courtyard walls are allowed within the front yard setback line but shall not exceed thirty-six inches (36") in height and shall be constructed of materials, finish, and color that are complimentary to the house.

- Windows**
The following examples are window details to be incorporated into the design:
1. Windows should be set deep into the walls to create a shadowed effect.
 2. Plant-one or stucco.
 3. Windows with colored sashes and heavy profiles.
 4. Unanodized aluminum frames or mullions shall not be allowed.
- Colors**
1. Primary - exterior stucco colors shall be limited to, or match, the following: El Rey Stucco standard colors including Buckskin (106), Driftwood (111), Straw (122), Sandalwood (121), Suede (118), La Luz (125), Desert Rose (114), Sand (103), Fawn (117), Palomino (119), Adobe (116), Beige (105), and Cottonwood (115), and Sto Industries Colors for the Southwest including Pecos (01001), Abiqui (01002), Santa Fe Mocha (01003), Adobe Brown (01944), Pueblo (01005), Suede (01006), Tumbleweed (01010), Paloma (01014), Cimarron (01015), and Mesa Del Sol (01016). Colors from manufacturers other than El Rey or Sto need not match approved colors.
 2. Accent - a variety of colors may be used to accent architectural features such as entree, window trim, fascias, and other traditional southwestern architectural features. Colors allowed are typical southwestern colors of white, green, red, blue, and brown ranges.

Mechanical Equipment
Air conditioning/heating equipment may be installed on flat-roofed structures but must be screened from view by parapets which are an integral part of the house. No air conditioning/heating equipment shall be installed on houses with a pitched roof profile. Equipment that is ground mounted shall be located within the side or rear yard and screened from the front and sides.

Any roof mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color, and design. Ground mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color, and design, and/or landscaping. Top of screen walls to be same height or higher than equipment being screened.

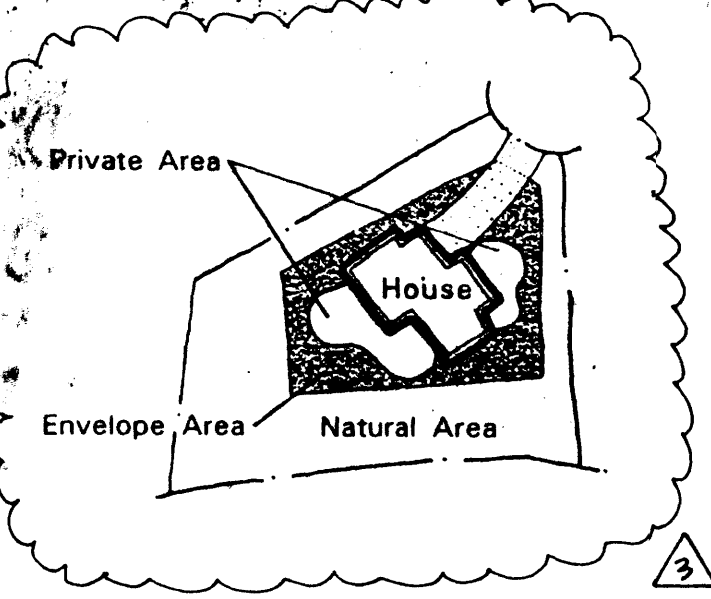
Fireplaces
Fireplaces shall be gas-log fireplaces only. No wood-burning fireplaces shall be installed in any residential dwelling unit.

RESIDENTIAL GUIDELINES (OXBOW BLUFF) AND LOTS 1-9 @ OXBOW RIDGE

BUILDING ENVELOPE

Lots at Oxbow Bluff have been configured to capitalize on the best features of the land. The lots are large so that each home can be located in a manner which allows the enjoyment of the scenic beauty, extraordinary views and natural environment. To ensure that these qualities are protected each of the lots has a designated area, within which building can occur, called the "Building Envelope." This boundary delineates the maximum area in which any proposed building or improvement and non-native landscape must fit. The Building Envelope is predetermined for each lot. *SEE PARAGRAPH INSERT BELOW*

Development plans should give early consideration to planned future expansions such as guesthouses, pools, etc., so that they can be accommodated within the Building Envelope.



Definition of Natural Area:
Areas of natural vegetation outside of the Building Envelope. It is contemplated that during construction, the lot owner will endeavor to minimize disturbance to the Natural Area, and upon completion, the lot owner will revegetate the Natural areas with native grasses, small trees, sage brush, and low-water usage plants indigenous to the area. Repair and maintenance of Natural Areas on the lot are the responsibility of the owner.

All plants which are visible from a street or public area or from an adjacent lot, must be from the approved plant palette.

Definition:
The Private Area: Enclosed spaces within the Building Envelope. Private Areas can include courtyards, atriums, or the area behind the wall where non-indigenous would be appropriate despite their increased watering needs. Although Private Areas have few restrictions in the plants, shrubs, and trees that can be planted therein, native plants are encouraged.

All trees and shrubs may not, at mature height, be taller than 30 feet. If planting non-native trees, select species which at maturity will not grow higher than the residence.

Architectural Control Committee:
The Architectural Control Committee (ACC) will be formed by the Developer. The Committee will be responsible for approving and enforcing the Residential Guidelines set forth herein and any Residential Guidelines that may be created in the future.

NON-NATIVE SPECIES
Non-native plant materials will be limited in use to the Private areas of a lot.

SITE LIGHTING
Site lighting shall not have a total off-site luminance greater than 1000 foot lamberts; however, it shall not have an off-site luminance greater than 200 foot lamberts measured from the property line of any private property in a residential zone.
The mounting height of luminaires in vehicular and/or storage areas shall be no higher than 20 feet.

The area of any lot outside of the Building Envelope may be used for retaining walls to the extent indicated on the Grading and Drainage Plan prepared by a registered civil engineer. Retaining walls should be designed in a manner to blend in with the Natural Area as much as possible.

FLOOR AREA RATIO

Definition:
Floor Area Ratio: The ratio of the heated floor area (including multiple stories) of the structures to the lot. In order to insure houses are in appropriate proportion to their lot, a floor area ratio of .8 shall not be exceeded.

FENCES/WALLS
In order to maintain a sense of open space, fences and walls are not allowed on the property lines in Oxbow Bluff, with the exception of perimeter walls shown on the overall concept plan. Rather, privacy and courtyard walls must be located on or within the building envelope. These walls must be of materials similar to and complimentary of the architecture.

Residential Criteria (Tract F1 OXBOW BLUFF ONLY)

Tract F1 will be developed as hillside townhomes at a density not to exceed 7 dwelling units/acre or as single family detached home not to exceed 2 units/acre. The site plan for building or subdivision purposes for this tract shall be submitted to the Environmental Planning Commission for approval at a later time.

Fireplaces
Fireplaces shall be gas-log fireplaces only. No wood-burning fireplaces shall be installed in any residential dwelling unit.

FIREPLACES AND/OR STOVES SHALL BE LIMITED TO GAS LOGS AND ENVIRONMENTAL PROTECTION AGENCY APPROVED WOOD-BURNING DEVICES. NO ORDINARY WOOD-BURNING FIREPLACES SHALL BE INSTALLED IN ANY RESIDENTIAL DWELLING UNIT.

BUILDING HEIGHTS

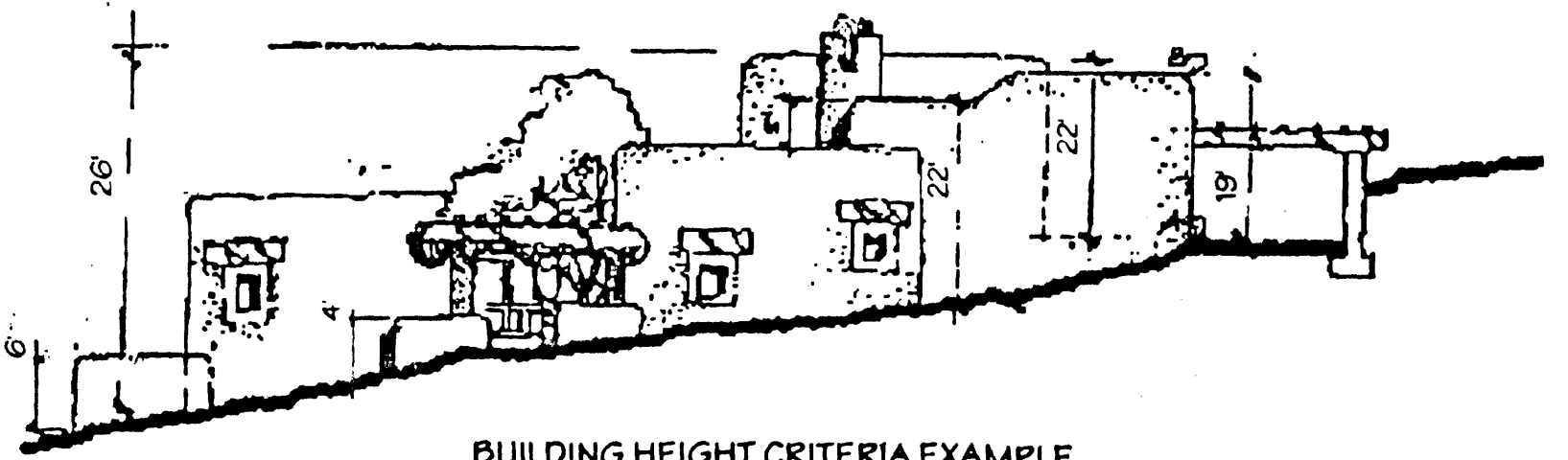
The topography and natural features of Oxbow contribute immeasurably to the splendid views. Low profile buildings will minimize intrusion and impact and preserve views and the visual beauty of Oxbow. Therefore buildings should be as low as possible in order to integrate with their surroundings. The following are the criteria determining building heights at Oxbow.

To achieve a lower profile, residences are encouraged to be sited partially below grade.

Maximum allowed heights are described in the diagram below. 19'0" is the maximum height of any wall measured from - (A) highest natural grade adjacent to each wall to - (B) highest point on each wall (except chimneys).

The maximum overall building height shall not exceed 26' measured from the lowest natural grade adjacent to the living space to the highest point on the building (except chimneys).

Floor to floor heights, floor to roof assembly thickness or parapet heights may be increased by setting the ground floor below existing grade.



BUILDING HEIGHT CRITERIA EXAMPLE

MATERIALS

Exterior surfaces must be materials that harmonize with the natural landscape as well as provide an outer skin to withstand the climate extremes. Stabilized adobe block and stucco are two such materials which meet the aesthetic criteria and are regularly used for construction in the Southwest. The use of these materials at Oxbow is strongly encouraged.

Exterior elements and materials should be limited in number and be compatible with one another, while being in scale with the building. Care should be taken so that materials do not detract from the building's overall appearance or become visually complicated.

Materials are crucial to creating architectural continuity throughout Oxbow.

On any single building, the materials for exterior application shall be limited in number, compatible with one another and in scale with the building.

Take care that materials do not detract from the building's overall appearance or become visually complicated.

Siding materials shall extend down to finished grade to eliminate areas of exposed foundation.

The detailing of any elevations exposed to public view should be consistent with the front elevation.

ROOFS

Southwest colors are warm, rich, desert hues with accents of complementary tones, reflecting the landscape of the Southwest desert.

Color may be chosen from any of the pre-approved colors set forth below. These colors have been carefully chosen for their compatibility with the natural environment, as well as their harmony with one another.

Color for exterior artwork and sculpture should also be muted tones chosen to blend rather than contrast with the residence's surroundings.

Accent Colors
Accent Colors on front doors, window sashes and other architectural elements are allowed as long as in the opinion of the Architectural Committee, the accent does not overwhelm the building's basic color or create a visual disturbance.

These materials are permitted:
1. Standing seam or corrugated metal roofs (non-reflective).
2. Clay or concrete tile.
Maximum slope of 8 inches in 12 inches.

The roofs must be as follows:
• 2 part molded tile (no one-part or extruded)
• Variegated dark colors
• Mudded (grouted) joints
• Serpentine pattern

Special care should be taken in locating skylights on pitched roofs to avoid the impact of reflectivity.

Roof mounted appearances other than solar panels (air conditioning/heating units, etc. except for chimneys and structural elements of the building) shall be totally screened from view as part of the architectural style of the building and not visible from neighboring property or public rights of way.

Every attempt should be made to minimize the visual impact of solar panels. Roof mounted solar panels and equipment shall match the roof in color and appearance. Panels shall be an integrated part of the roof and building design and mounted directly to the roof plane.

Parapet copings shall be either integral stucco, precast concrete, stone, wood or natural copper.

Gutters, down spouts, scuppers, overflows, canals, and other water capture/control devices must be an integral component of the building's design.

Galvanized sheet metal, painted or otherwise, fiberglass and plastic are considered inappropriate for copings or water control systems.

The "Bluff" refers to the eastern boundary of the Oxbow Bluff subdivision.

Pre-Approved Building Colors
Pre approved building colors are listed below. Samples may be obtained from the Oxbow Bluff Architectural Control Committee (ACC). All of the pre-approved colors have a "light reflective value" of 40 or less and may be used anywhere in Oxbow. Other colors will be allowed for use on a specific lot with prior written approval from the ACC.

106 Buckskin	122 Straw	111 Driftwood
118 Suede	105 Bamboo	117 Fawn
125 La Luz	116 Adobe	121 Sandalwood
115 Cottonwood	103 Sand	119 Palomino
127 Hacienda	110 Ash	

Sto Stucco, P.O. Box 44609, Atlanta, GA 30336
Distributed by L&P Building Supply, (505) 471-7474

0101 Tumbleweed	01005 Pueblo	4180 Cimarron
0100 Pecos	01006 Suede	01002 Abiqui
2207 Mesilla	1465 San Antonio	1616 Sandia
3003 Amarilla	10004 Adobe Brown	

Oriental Exterior Stucco
Distributed by L&P Building Supply, (505) 471-7474

Rancho Brown	Saddle Tan
Desert Adobe	Indian Beige
Mesa	Tierra Mocha

BLUFF SETBACK PROVISIONS

1. Heated portions of dwellings shall not be constructed within an additional set back line... (text partially obscured)

The 10' private trail, shown on Sheet 3, within the "private conservation easement" will be designed and located in such a way that foot traffic on the trail will not impair the condition of the bluff edge and will not have an adverse impact on the habitat below. This trail will also include interpretive signage stating that "access below the bluff is not allowed." OSD will also provide this signage along their fence line. The surface of the trail will be base course, crusher fines, or some similar earthen material so it will present a "natural" surface appearance.

AUGUST 23, 1999

JULY 19, 2000

THE OXBOW SUBDIVISION LANDSCAPE CONCEPTS

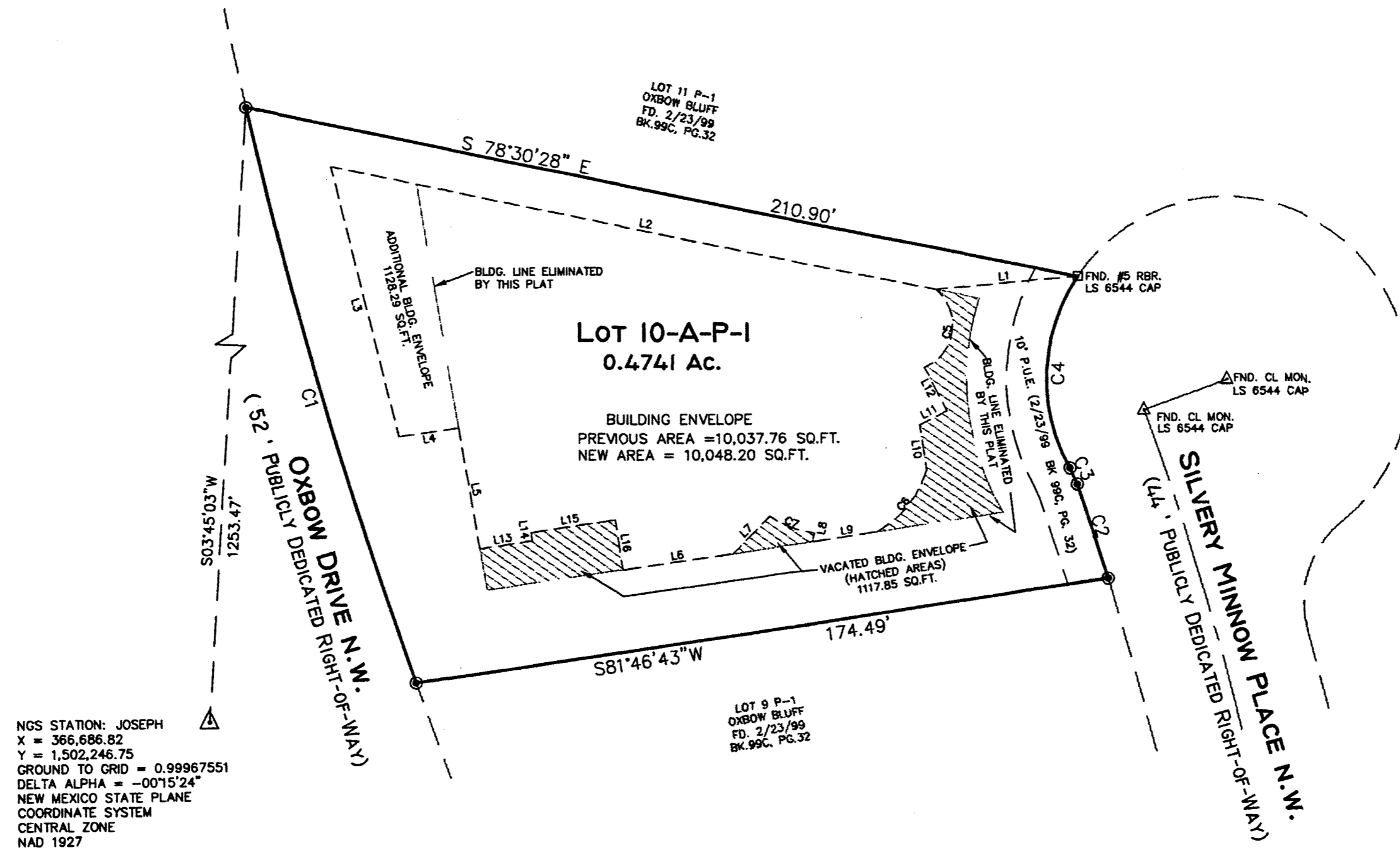
PREPARED FOR:
Altura West
913 Virginia Northeast
Albuquerque, New Mexico 87108

PREPARED BY:
DESIGNWORKSHOP
9621 Fourth Street NW
Albuquerque, New Mexico 87114

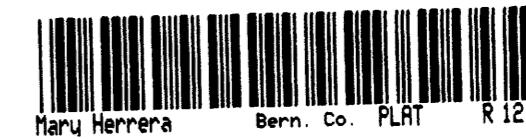
Bohannon-Huston Inc.
7500 Jefferson Street, NE
Albuquerque, New Mexico 87109

Consensus Planning
718 Central Ave.
Albuquerque, New Mexico 87102

PLAT OF LOT 10-A-P-1
 OXBOW BLUFF SUBDIVISION
 SECTION 35, T. 11 N., R. 2 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 AUGUST, 2003
 SHEET 2 OF 2



NGS STATION: JOSEPH
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 Y = 1,502,246.75
 GROUND TO GRID = 0.99967551
 DELTA ALPHA = -00'15.24"
 NEW MEXICO STATE PLANE
 COORDINATE SYSTEM
 CENTRAL ZONE
 NAD 1927



2003168224
 5851253
 Page: 2 of 2
 09/15/2003 12:14P
 Bk-2003C Pg-201

Haru Herrera Bern. Co. PLRT R 12.00



1" = 30'
 PROJECT NO. 0308GG06
 DRAWN BY : GG
 ZONE ATLAS: F-11-Z
 10-OXBOW.CR5
 15 10 5 0 10 20 30
 SCALE: 1" = 30'

MONUMENT LEGEND

- △ - FOUND CONTROL STATION AS NOTED
- - FOUND MONUMENT AS NOTED
- ⊙ - SET 1/2" REBAR W/YELLOW PLASTIC CAP STAMPED "GRITSKO LS8686" UNLESS OTHERWISE NOTED

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD BEARING	CHORD LENGTH
C1	1253.00'	147.68'	6'45"10"	S16'08'17"E	147.59'
C2	800.00'	24.55'	1'45"29"	N18'01'24"W	24.55'
C3	25.00'	4.42'	10'07"22"	N23'57'49"W	4.41'
C4	45.00'	50.03'	63'41"39"	S02'49'19"W	47.49'
C5	11.40'	23.34'	117'19"49"	N08'51'11"E	19.47'
C6	25.87'	20.18'	44'42"00"	N39'19'59"E	19.67'
C7	24.35'	11.98'	28'11"32"	S68'52'28"E	11.86'

LINE TABLE		
LINE	LENGTH	BEARING
L1	35.52	N85'08'29"E
L2	153.56	S78'30'28"E
L3	68.57	S13'55'27"E
L4	15.02	N81'29'32"E
L5	30.47	N09'34'14"W
L6	27.82	N81'46'43"E
L7	13.00	N44'28'45"E
L8	2.21	S12'28'17"W
L9	16.24	N81'46'43"E
L10	11.34	N08'13'14"W
L11	7.64	N62'53'56"E
L12	12.07	N27'06'04"W
L13	13.21	S81'29'32"W
L14	2.00	S08'30'28"E
L15	21.25	S81'29'32"W
L16	12.48	N08'22'09"W

SURVEYS SOUTHWEST LTD.

333 LOMAS BLVD., N.E.
 ALBUQUERQUE, NEW MEXICO
 87102

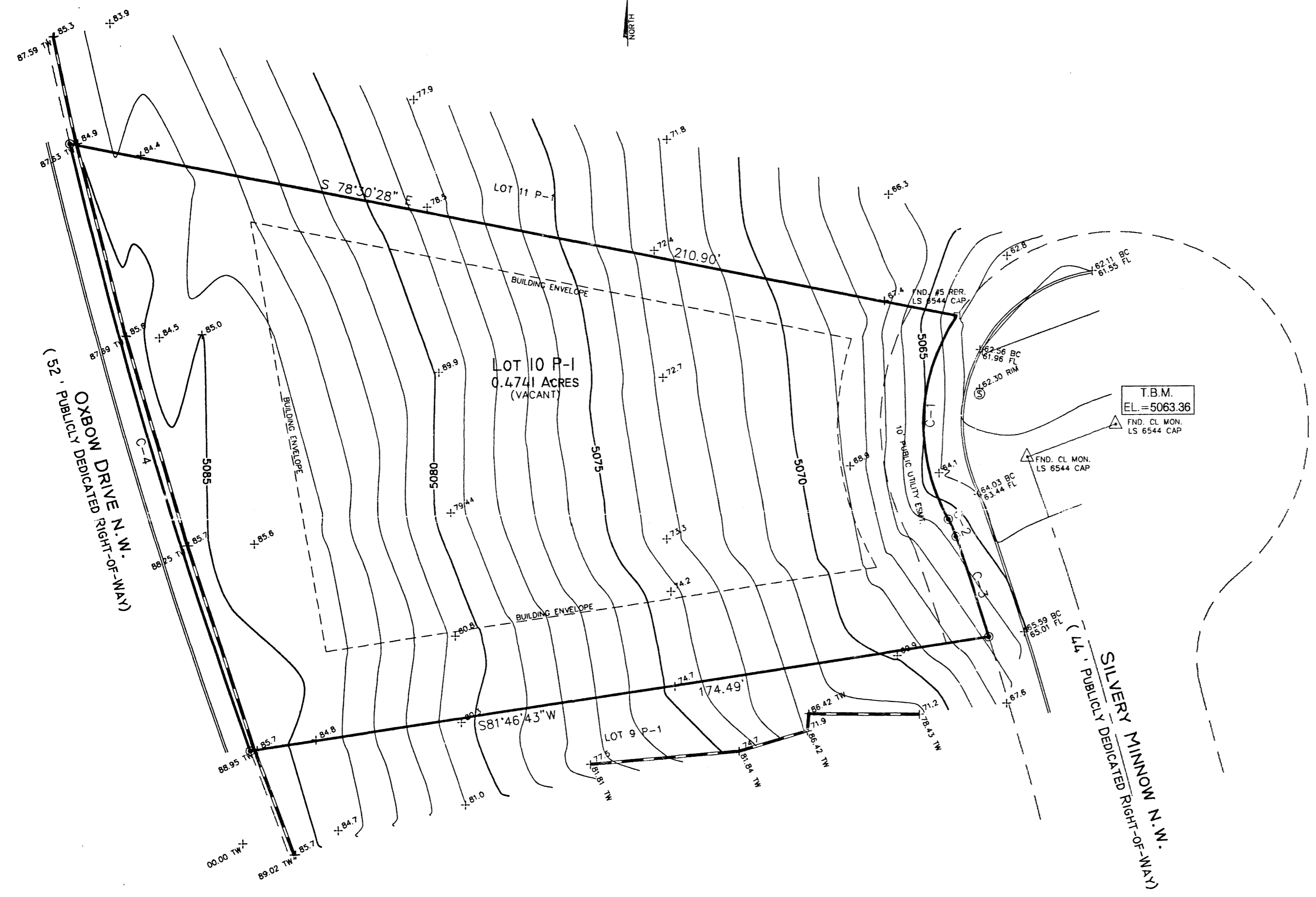
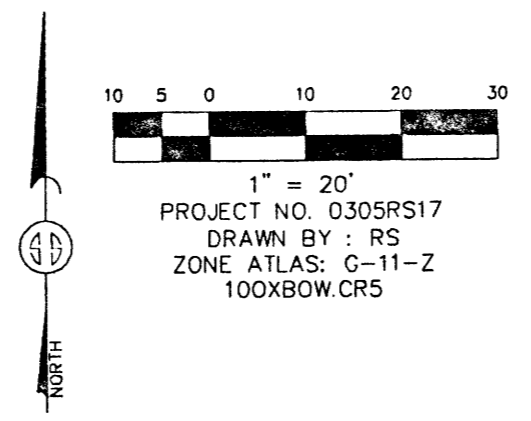
PHONE: (505) 998-0303
 FAX: (505) 998-0306

T11N R2E SEC. 35

APPROVED

TOPOGRAPHIC EXHIBIT

**LOT 10 P-1
 OXBOW BLUFF
 SECTION 2, T. 10 N., R. 2 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2003**



SPOT ELEVATION LEGEND

- +1.00.0 = ELEVATION AT GROUND
- +1.00.00 BC = ELEVATION AT BACK OF CURB
- +1.00.00 FL = ELEVATION AT FLOWLINE OF CURB
- +1.00.00 TW = ELEVATION AT TOP OF WALL
- +1.00.00 RM = ELEVATION AT RIM OF MANHOLE

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C-1	50.03	45.00	63°41'39"	47.49	S02°49'20"W
C-2	4.42	25.00	10°07'22"	4.41	S23°57'49"E
C-3	24.55	800.00	1°45'29"	24.55	S18°01'23"E
C-4	147.68	1253.00	6°45'10"	147.59	N16°08'23"W

SURVEYOR'S CERTIFICATE
 THIS IS NOT A BOUNDARY SURVEY. APPARENT PROPERTY CORNERS ARE FOR ORIENTATION ONLY. BOUNDARY DATA SHOWN IS FROM THE PLAT OF OXBOW BLUFF SUBDIVISION, FILED IN BERNALILLO COUNTY, NEW MEXICO ON FEBRUARY 23, 1999 IN BOOK 99C, PAGE 32.

THIS SURVEY WAS PREPARED FROM NOTES OF AN ACTUAL FIELD SURVEY AND MEETS THE MINIMUM STANDARDS FOR A TOPOGRAPHIC SURVEY IN NEW MEXICO.

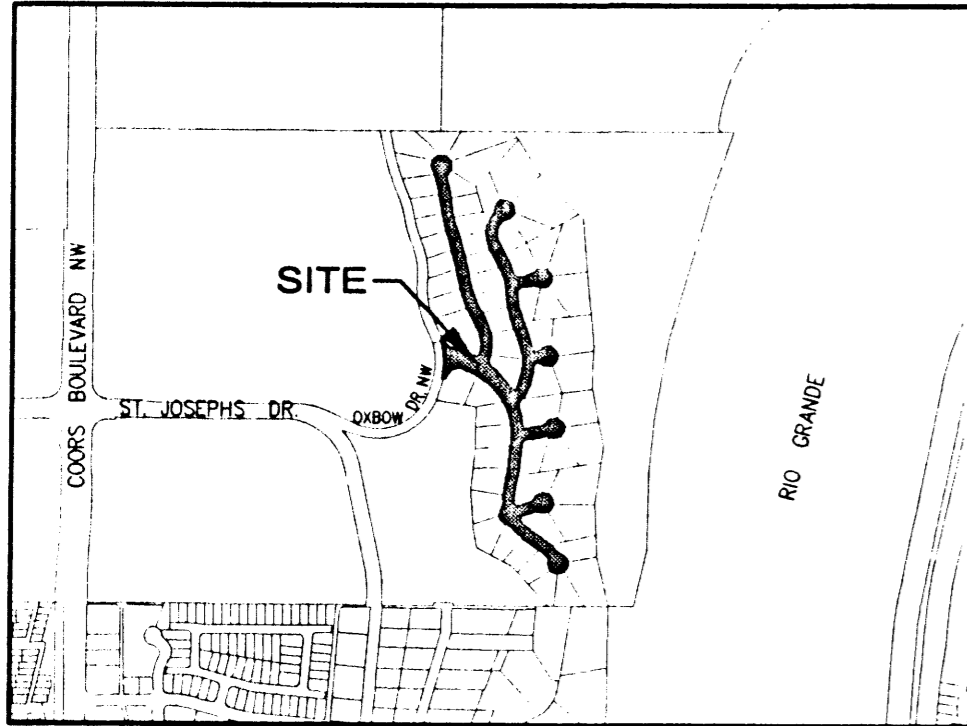
REVIEWED AND APPROVED THIS 4th DAY OF June, 2003.

Gary E. Grisko
 GARY E. GRISKO, LS8686



UTILITY COMPANY INFORMATION
 P.N.M. GAS & ELECTRIC SERVICES
 848-4944
 QWEST COMMUNICATIONS
 245-8706
 COMCAST CABLE
 761-6273

SURVEYS SOUTHWEST, LTD.
 333 LOMAS BLVD., N.E.
 ALBUQUERQUE, NEW MEXICO
 87102
 PHONE: (505) 998-0303
 FAX: (505) 998-0306
T10N R2E SEC. 2



LOCATION MAP

ZONE ATLAS MAP NO. F-11-Z & G-11-Z
NOT TO SCALE

SUBDIVISION DATA

1. DRB No.
2. Zone Atlas Index No. F-11-Z & G-11-Z.
3. Gross Subdivision Acreage: 5.2737 Acres.
4. Total Number of Lots/Tracts created: One (1) Tract.
5. Total Mileage of full width Streets created: 0 mile.
6. Date of Survey: February, 2003.
7. Plat is located within Section 2, T10N, R2E, NMPM and Section 35, T11N, R2E, NMPM.

DISCLOSURE STATEMENT

The purpose of this Plat is to vacate all and rename all of the public street right-of-ways of the PLAT OF OXBOW BLUFF SUBDIVISION, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 23, 1999 in Book 99C, Page 32 as Document No. 1999023990, to create One (1) Tract and to grant easements.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground/overhead electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
- B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
- C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
- D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet (10') in front of transformers/switchgear door and five feet (5') on each side.

FREE CONSENT AND DEDICATION

The foregoing plat of that certain tract of land situate within Section 2, Township 10 North, Range 2 East and Section 35, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of the Public Street right-of-ways (Mourning Dove Place NW, Silvery Minnow Place NW, Waterwillow Place NW, Grey Hawk Court NW, Sandpiper Court NW, Cinnamon Teal Court NW, and Snow Goose Court NW), of the PLAT OF OXBOW BLUFF SUBDIVISION, Albuquerque, New Mexico, as the same are shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 23, 1999 in Book 99C, Page 32 as Document No. 1999023990, now comprising Tract A, PLAT OF OXBOW BLUFF SUBDIVISION, Albuquerque, New Mexico is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby grant all access, Utility, and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried and overhead distribution lines, conduits, pipes for underground and/or overhead Utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantee Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If Work effects any improvements or Encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of Improvements or Encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the Improvements or Encroachments, the Grantee shall, at its own expense take whatever protective measures are required to safeguard the Improvements or Encroachments. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is with its free act and deed.

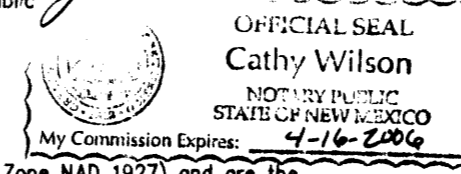
RECEIPT OF VACATED PUBLIC STREET RIGHT-OF-WAYS
OXBOW BLUFF HOMEOWNERS ASSOCIATION

BY: *James W. Rogers*
James W. Rogers, President

State of New Mexico)
County of Bernalillo) SS

This instrument was acknowledged before me on 12th day of May, 2003, by James W. Rogers, President of Oxbow Bluff Homeowners Association.

My Commission Expires: 4-16-2006 *Cathy Wilson*
Notary Public



NOTES

1. Bearings are New Mexico State Plane Grid Bearings (Central Zone NAD 1927) and are the same as shown on the PLAT OF OXBOW NORTH, Albuquerque, New Mexico, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 13, 2003 in Volume 2003C, Page 31 as Document No. 2003021311.
2. Distances are ground distances.
3. Tract A is to be dedicated to the Oxbow Bluff Homeowners Association and its assigns with the filing of this plat.
4. Tract A is subject to a Public Sanitary Sewer, Water, and Subsurface Storm Drain Easement to be granted to the City of Albuquerque with the filing of this plat. Tract A is also subject to a Private Access and Surface Drainage Easement to serve Lots 1 through 45 inclusive, Lot 46A, Lots 47 through 49 inclusive, Lot 50A P-1, and Lots 51 through 63 inclusive in the Oxbow Bluff Homeowners Association.
5. All interior streets (Tract A) is private and to be maintained by the Oxbow Bluff Homeowners Association, and constitute an access easement for the benefit of the owners of land within the Oxbow Bluff Subdivision.
6. This subdivision lies within the City of Albuquerque, water and sanitary sewer capabilities are based on the City of Albuquerque's facilities. Water and sanitary sewer infrastructure improvements must be approved by the City of Albuquerque.

SURVEYOR'S CERTIFICATION

I, A. Dwan Weaver, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.



A. Dwan Weaver
A. Dwan Weaver
New Mexico Professional Surveyor 6544
Date: May 12, 2003

PLAT OF
TRACT A
OXBOW BLUFF SUBDIVISION
(A REPLAT OF PUBLIC STREET RIGHT-OF-WAYS)
ALBUQUERQUE, NEW MEXICO
MAY, 2003

APPROVALS

PLAT NUMBER 1002092 03DRB-00772

PLANNING DIRECTOR	DATE
CITY ENGINEER	DATE
A.M.A.F.C.A.	DATE
TRAFFIC ENGINEER	DATE
CITY SURVEYOR	DATE
UTILITY DEVELOPMENT DEPARTMENT	DATE
PARKS & RECREATION	DATE
QWEST	DATE
COMCAST CABLE	DATE
PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE

TAX CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON
UPC # _____
PROPERTY OWNER OF RECORD _____
BERNALILLO COUNTY TREASURER'S OFFICE DATE _____

PNM STAMP

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

DESCRIPTION

A certain tract of land situate within Section 2, Township 10 North, Range 2 East, and Section 35, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of the Public Street right-of-ways (Mourning Dove Place NW, Silvery Minnow Place NW, Waterwillow Place NW, Grey Hawk Court NW, Sandpiper Court NW, Cinnamon Teal Court NW, and Snow Goose Court NW), of the PLAT OF OXBOW BLUFF SUBDIVISION, Albuquerque, New Mexico, as the same are shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 23, 1999 in Book 99C, Page 32 as Document No. 1999023990 and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD 1927) and ground distances as follows:

BEGINNING a point on a curve of the intersection of the easterly right-of-way line of Oxbow Drive NW and the southerly right-of-way line of Mourning Dove Place NW, whence the City of Albuquerque (ACS) Monument "JOSEPH 1969", a standard USC&GS brass tablet set in top of a concrete post, having New Mexico State Plane Coordinates, Central Zone (NAD 1927) of X=366,686.82 and Y=1,502,246.75 bears S81°58'20"W, a distance of 343.37 feet and from said point of beginning running thence along said easterly right-of-way line, 199.99 feet along the arc of a curve to the left having a radius of 413.00 feet and a chord which bears N02°48'35"W, a distance of 198.04 feet to a point of compound curvature of the intersection of the easterly right-of-way line of Oxbow Drive NW and the northerly right-of-way line of Mourning Dove Place NW, thence running along said northerly right-of-way line, 85.45 feet along the arc of a curve to the left having a radius of 75.00 feet and a chord which bears S49°19'14"E, a distance of 80.90 feet to a point of reverse curvature, thence, 68.99 feet along the arc of a curve to the right having a radius of 261.00 feet and a chord which bears S74°23'11"E 68.79 feet to a point of tangency, thence, S66°48'05"E, a distance of 37.39 feet to a point of curvature, thence, 6.43 feet along the arc of a curve to the right having a radius of 426.00 feet and a chord which bears S66°01'22"E, a distance of 6.43 feet to a point of reverse curvature, thence, 43.05 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears N65°04'47"E, a distance of 37.92 feet to a point of compound curvature on the westerly right-of-way line of Silvery Minnow Place NW, the running along said right-of-way line, 162.49 feet along the arc of a curve to the left having a radius of 203.00 feet and a chord which bears N07°10'54"W, a distance of 158.19 feet to a point of reverse curvature, thence, 273.56 feet along the arc of a curve to the right having a radius of 772.00 feet and a chord which bears N19°57'40"W, a distance of 272.14 feet to a point of tangency, thence, N09°48'35"W, a distance of 63.18 feet to a point of curvature, thence, 153.44 feet along the arc of a curve to the left having a radius of 978.00 feet and a chord which bears N14°18'15"W, a distance of 153.28 feet to a point of tangency, thence, N18°47'56"W, a distance of 53.76 feet to a point of curvature, thence, 124.76 feet along the arc of a curve to the right having a radius of 522.00 feet and a chord which bears N11°57'08"W, a distance of 124.46 feet to a point of reverse curvature, thence, 192.64 feet along the arc of a curve to the left having a radius of 800.00 feet and a chord which bears N12°00'13"W, a distance of 192.18 feet to a point of compound curvature, thence, 4.42 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears N23°57'49"W, a distance of 4.41 feet to a point of reverse curvature, thence, 204.65 feet along the arc of a curve to the right having a radius of 45.00 feet and a chord which bears S78°44'30"E, a distance of 68.66 feet to a point of reverse curvature on the easterly right-of-way line of Silvery Minnow Place NW, thence running along said right-of-way line, 29.19 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears S18°05'23"W, a distance of 27.58 feet to a point of reverse curvature, thence, 151.09 feet along the arc of a curve to the right having a radius of 844.00 feet and a chord which bears S10°14'01"E, a distance of 150.89 feet to a point of reverse curvature, thence, 114.24 feet along the arc of a curve to the left having a radius of 478.00 feet and a chord which bears S11°57'08"E, a distance of 113.97 feet to a point of tangency, thence, S18°47'56"E, a distance of 53.76 feet to a point of curvature, thence, 160.34 feet along the arc of a curve to the right having a radius of 1022.00 feet and a chord which bears S14°18'15"E, a distance of 160.18 feet to a point of tangency, thence, S09°48'35"E, a distance of 63.18 feet to a point of curvature, thence, 257.97 feet along the arc of a curve to the left having a radius of 728.00 feet and a chord which bears S19°57'40"E, a distance of 256.63 feet to a point of reverse curvature, thence, 219.99 feet along the arc of a curve to the right having a radius of 247.00 feet and a chord which bears S04°35'52"E, a distance of 212.79 feet to a point of reverse curvature, thence, 32.41 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears S16°13'21"E, a distance of 30.19 feet to a point on the northerly right-of-way line of Mourning Dove Place NW, thence running along said right-of-way line, 160.10 feet along the arc of a curve to the right having a radius of 426.00 feet and a chord which bears S42°35'45"E, a distance of 159.16 feet to a point of reverse curvature, thence, 52.05 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears N88°31'28"E, a distance of 43.15 feet to a point of compound curvature on the westerly right-of-way line of Waterwillow Place NW, thence running along said right-of-way line, 25.76 feet along the arc of a curve to the left having a radius of 98.00 feet and a chord which bears N21°20'48"E, a distance of 25.69 feet to a point of tangency, thence, N13°48'54"E, a distance of 73.36 feet to a point of curvature, thence, 117.20 feet along the arc of a curve to the left having a radius of 203.00 feet and a chord which bears N02°43'30"W, a distance of 115.58 feet to a point of tangency, thence, N19°15'55"W, a distance of 179.59 feet to a point of curvature, thence, 64.09 feet along the arc of a curve to the right having a radius of 247.00 feet and a chord which bears N11°49'55"W, a distance of 63.91 feet to a point of tangency, thence, N04°23'55"W, a distance of 98.69 feet to a point of curvature, thence, 98.90 feet along the arc of a curve to the left having a radius of 253.00 feet and a chord which bears N15°35'51"W, a distance of 98.27 feet to a point of tangency, thence, N26°47'46"W, a distance of 143.29 feet to a point of curvature, thence, 169.30 feet along the arc of a curve to the right having a radius of 147.00 feet and a chord which bears N06°11'55"E, a distance of 160.10 feet to a point of tangency, thence, N39°11'36"E, a distance of 11.71 feet to a point of curvature, thence, 20.87 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears N15°16'55"E, a distance of 20.27 feet to a point of reverse curvature, thence, 216.49 feet along the arc of a curve to the right having a radius of 45.00 feet and a chord which bears S50°48'24"E, a distance of 60.43 feet to a point of reverse curvature on the easterly right-of-way line of Waterwillow Place NW, thence running along said right-of-way line, 20.87 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears S63°06'16"W, a distance of 20.27 feet to a point of tangency, thence, S39°11'36"W, a distance of 11.71 feet to a point of curvature, thence, 118.63 feet along the arc of a curve to the left having a radius of 103.00 feet and a chord which bears S06°11'55"W, a distance of 112.18 feet to a point of tangency, thence,

S26°47'46"E, a distance of 143.29 feet to a point of curvature, thence, 55.91 feet along the arc of a curve to the right having a radius of 297.00 feet and a chord which bears S21°24'11"E, a distance of 55.83 feet to a point of reverse curvature, thence, 36.18 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears S57°28'12"E, a distance of 33.10 feet to a point of compound curvature on the northerly right-of-way line of Grey Hawk Court NW, thence running along said right-of-way line, 28.08 feet along the arc of a curve to the left having a radius of 328.00 feet and a chord which bears N78°37'04"E, a distance of 28.07 feet to a point of tangency, thence, N76°09'54"E, a distance of 37.04 feet to a point of curvature, thence, 20.87 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears N52°15'14"E, a distance of 20.27 feet to a point of reverse curvature, thence, 216.49 feet along the arc of a curve to the right having a radius of 45.00 feet and a chord which bears S13°50'06"E, a distance of 60.43 feet to a point of reverse curvature on the southerly right-of-way line of Grey Hawk Court NW, thence running along said right-of-way line, 20.87 feet along the arc of a curve to the left, having a radius of 25.00 feet and a chord which bears N79°55'24"W, a distance of 20.27 feet to a point of tangency, thence, S76°09'54"W, a distance of 37.04 feet to a point of curvature, thence, 32.63 feet along the arc of a curve to the right having a radius of 372.00 feet and a chord which bears S78°40'42"W, a distance of 32.62 feet to a point of reverse curvature, thence, 37.35 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears S38°23'47"W, a distance of 33.97 feet to a point of tangency on the easterly right-of-way line of Waterwillow Place NW, thence running along said right-of-way line, S04°23'55"E, a distance of 69.72 feet to a point of curvature, thence, 52.67 feet along the arc of a curve to the left having a radius of 203.00 feet and a chord which bears S11°49'55"E, a distance of 52.52 feet to a point of tangency, thence, S19°15'55"E, a distance of 179.59 feet to a point of curvature, thence, 19.81 feet along the arc of a curve to the right having a radius of 247.00 feet and a chord which bears S16°58'02"E, a distance of 19.81 feet to a point of reverse curvature, thence, 34.93 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears S54°41'38"E, a distance of 32.16 feet to a point of tangency on the northerly right-of-way line of Sandpiper Court NW, thence running along said right-of-way line, N85°16'53"E, a distance of 3.06 feet to a point of curvature, thence, 20.87 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears N61°22'12"E, a distance of 20.27 feet to a point of reverse curvature, thence, 216.49 feet along the arc of a curve to the right having a radius of 45.00 feet and a chord which bears S04°43'07"E, a distance of 60.43 feet to a point of reverse curvature on the southerly right-of-way line of Sandpiper Court NW, thence running along said right-of-way line, 20.87 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears N70°48'27"W, a distance of 20.27 feet to a point of tangency, thence, S85°16'53"W, a distance of 3.06 feet to a point of curvature, thence, 34.93 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears S45°15'23"W, a distance of 32.16 feet to a point of reverse curvature on the easterly right-of-way line of Waterwillow Place NW, thence running along said right-of-way line, 37.00 feet along the arc of a curve to the right having a radius of 247.00 feet and a chord which bears S09°31'24"W, a distance of 36.97 feet to a point of tangency, thence, S13°48'54"W, a distance of 73.36 feet to a point of curvature, thence, 89.34 feet along the arc of a curve to the right having a radius of 142.00 feet and a chord which bears S31°50'22"W, a distance of 87.88 feet to a point of reverse curvature, thence, 29.97 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears S15°31'32"W, a distance of 28.20 feet to a point of reverse curvature on the easterly right-of-way line of Mourning Dove Place NW, thence running along said right-of-way line, 111.30 feet along the arc of a curve to the right having a radius of 426.00 feet and a chord which bears S11°19'41"E, a distance of 110.98 feet to a point of reverse curvature, thence, 41.24 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears S51°06'15"E, a distance of 36.72 feet to a point of compound curvature on the northerly right-of-way line of Cinnamon Teal Court NW, thence running along said right-of-way line, 13.36 feet along the arc of a curve to the left having a radius of 158.00 feet and a chord which bears N79°12'46"E, a distance of 13.36 feet to a point of tangency, thence, N76°47'24"E, a distance of 75.33 feet to a point of curvature, thence, 20.87 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears N52°52'42"E, a distance of 20.27 feet to a point of reverse curvature, thence, 216.49 feet along the arc of a curve to the right having a radius of 45.00 feet and a chord which bears S13°12'36"E, a distance of 60.43 feet to a point of reverse curvature, thence, 20.87 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears N79°17'56"W, a distance of 20.27 feet to a point of tangency, thence, S76°47'24"W, a distance of 75.33 feet to a point of curvature, thence, 32.25 feet along the arc of a curve to the right having a radius of 202.00 feet and a chord which bears S81°21'48"W, a distance of 32.21 feet to a point of reverse curvature, thence, 34.92 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears S45°55'17"W, a distance of 32.15 feet to a point of tangency on the easterly right-of-way line of Mourning Dove Place NW, thence running along said right-of-way line, S05°54'22"W, a distance of 152.76 feet to a point of curvature, thence, 102.61 feet along the arc of a curve to the right having a radius of 722.00 feet and a chord which bears S09°58'40"W, a distance of 102.52 feet to a point of reverse curvature, thence, 65.86 feet along the arc of a curve to the left having a radius of 203.00 feet and a chord which bears S04°45'19"W, a distance of 65.57 feet to a point of compound curvature, thence, 45.69 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears S56°53'55"E, a distance of 39.59 feet to a point of tangency on the northerly right-of-way line of Snow Goose Court NW, thence running along said right-of-way line, N70°44'28"E, a distance of 75.34 feet to a point of curvature, thence, 20.87 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears N46°49'48"E, a distance of 20.27 feet to a point of reverse curvature, thence, 216.49 feet along the arc of a curve to the right having a radius of 45.00 feet and a chord which bears S19°15'32"E, a distance of 60.43 feet to a point of reverse curvature on the southerly right-of-way line of Snow Goose Court NW, thence running along said right-of-way line, 20.87 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears N85°20'51"W, a distance of 20.27 feet to a point of tangency, thence, S70°44'28"W, a distance of 74.37 feet to a point of curvature, thence, 46.21 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears S17°47'25"W, a distance of 39.91 feet to a point of compound curvature on the easterly right-of-way line of Mourning Dove Place NW, thence running along said right-of-way line, 74.78 feet along the arc of a curve to the left having a radius of 203.00 feet and a chord which bears S45°42'51"E, a distance of 74.36 feet to a point of tangency, thence, S56°16'03"E, a distance of 111.68 feet to a point of curvature, thence,

PLAT OF TRACT A OXBOW BLUFF SUBDIVISION (A REPLAT OF PUBLIC STREET RIGHT-OF-WAYS) ALBUQUERQUE, NEW MEXICO MAY, 2003

77.72 feet along the arc of a curve to the right having a radius of 202.00 feet and a chord which bears S45°14'41"E, a distance of 77.24 feet to a point of reverse curvature, thence, 17.84 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears S54°39'40"E, a distance of 17.46 feet to a point of reverse curvature, thence, 215.61 feet along the arc of a curve to the right having a radius of 45.00 feet and a chord which bears S62°09'45"W, a distance of 61.08 feet to a point of reverse curvature on the westerly right-of-way line of Mourning Dove Place NW, thence running along said right-of-way line, 25.40 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears N09°40'36"W, a distance of 24.32 feet to a point of compound curvature, thence, 48.23 feet along the arc of a curve to the left having a radius of 158.00 feet and a chord which bears N47°31'23"W, a distance of 48.04 feet to a point of tangency, thence, N56°16'03"W, a distance of 111.68 feet to a point of curvature, thence, 100.99 feet along the arc of a curve to the right having a radius of 247.00 feet and a chord which bears N44°33'18"W, a distance of 100.28 feet to a point of reverse curvature, thence, 21.36 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears N57°19'07"W, a distance of 20.72 feet to a point of reverse curvature, thence, 97.54 feet along the arc of a curve to the right having a radius of 45.00 feet and a chord which bears N19°41'45"W, a distance of 79.54 feet to a point of reverse curvature, thence, 21.36 feet along the arc of a curve to the left having a radius of 25.00 feet and a chord which bears N17°55'37"E, a distance of 20.72 feet to a point of reverse curvature, thence, 88.80 feet along the arc of a curve to the right having a radius of 247.00 feet and a chord which bears N03°44'59"E, a distance of 88.32 feet to a point of reverse curvature, thence, 96.36 feet along the arc of a curve to the left having a radius of 678.00 feet and a chord which bears N09°58'39"E, a distance of 96.28 feet to a point of tangency, thence, N05°54'22"E, a distance of 162.34 feet to a point of curvature, thence, 449.22 feet along the arc of a curve to the left having a radius of 354.00 feet and a chord which bears N30°26'51"W, a distance of 419.68 feet to a point of tangency, thence, N66°48'05"W, a distance of 49.32 feet to a point of curvature, thence, 133.70 feet along the arc of a curve to the left having a radius of 75.00 feet and a chord which bears S62°07'51"W, a distance of 116.68 feet to the point and place of beginning.

Tract contains 5.2737 acres, more or less.

Bohannon & Huston

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SHEET 2 OF 5

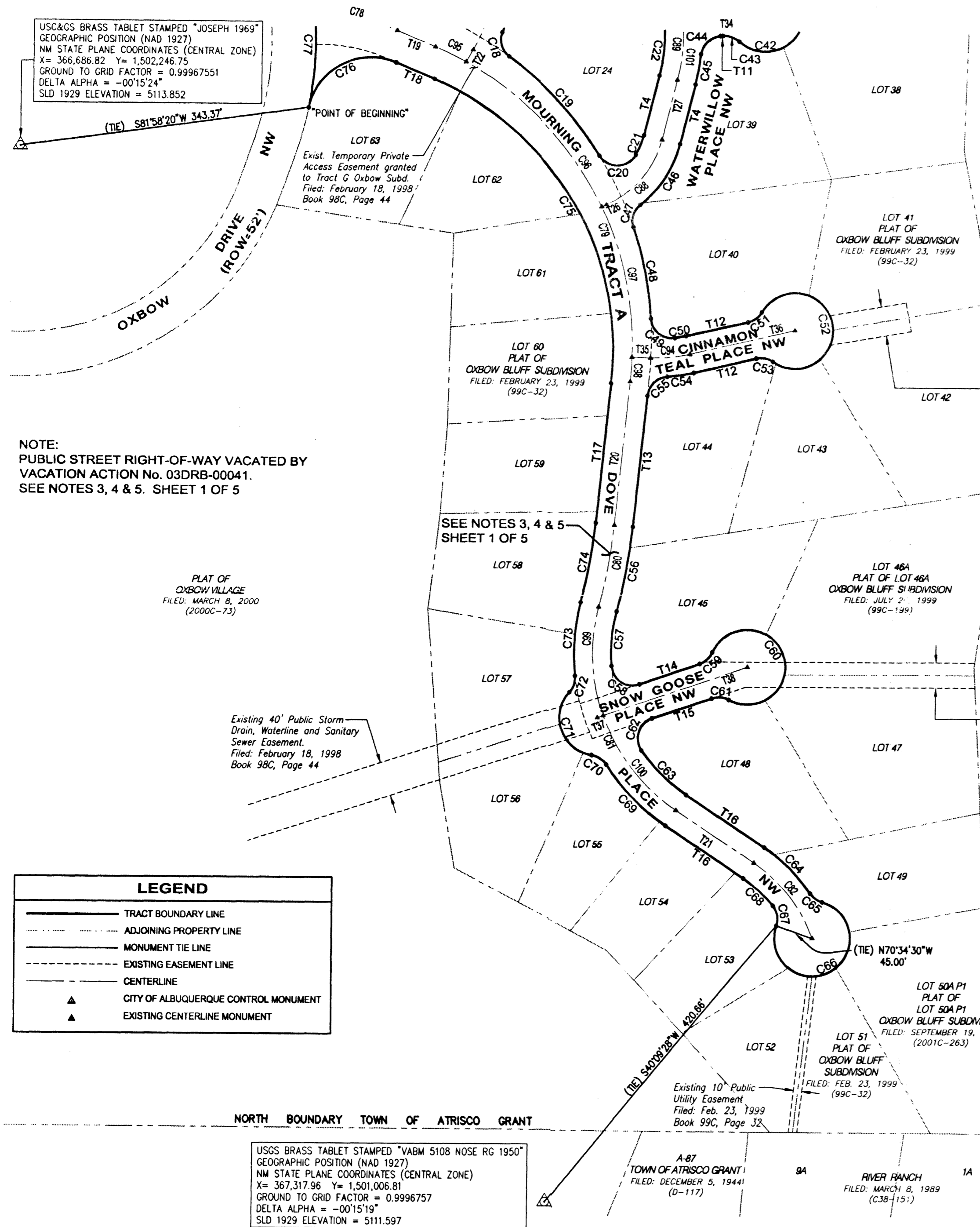
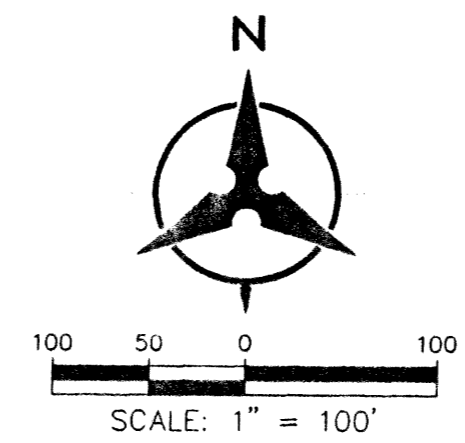
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

BHMAIN.030275\SURVEY\001\GRAPHICS\FINAL PLAT 030275001PLAT02.DWG

JOB NO. 030275 001 02

USC&GS BRASS TABLET STAMPED "JOSEPH 1969"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X= 366,686.82 Y= 1,502,246.75
 GROUND TO GRID FACTOR = 0.99967551
 DELTA ALPHA = -00'15"24"
 SLD 1929 ELEVATION = 5113.852

PLAT OF
TRACT A
OXBOW BLUFF SUBDIVISION
 (A REPLAT OF PUBLIC STREET RIGHT-OF-WAYS)
 ALBUQUERQUE, NEW MEXICO
 MAY, 2003



NOTE:
 PUBLIC STREET RIGHT-OF-WAY VACATED BY
 VACATION ACTION No. 03DRB-00041.
 SEE NOTES 3, 4 & 5. SHEET 1 OF 5

PLAT OF
 OXBOW VILLAGE
 FILED: MARCH 8, 2000
 (2000C-73)

SEE NOTES 3, 4 & 5
 SHEET 1 OF 5

Existing 35' Public Storm Drain
 and Sanitary Sewer Easement
 granted to the City of Albuquerque.
 Filed: February 23, 1999
 Book 99C, Page 32
 Existing 35' Private Access and
 Landscape Easement granted to
 Oxbow Bluff Homeowners' Assoc.
 as set forth in Access and
 Landscape Easement filed for
 record on February 18, 1999 in
 Book 9903, Page 1987, Records
 of Bernalillo County, New Mexico.
 Document No. 1999022049

NOTE:
 SEE SHEET 5 OF 5 FOR
 CURVE AND TARGET TABLES

TRACT G
 PLAT OF
 OXBOW SUBDIVISION
 FILED: FEBRUARY 18, 1998
 (98C-44)

Existing 35' Public Storm Drain
 and Sanitary Sewer Easement
 granted to the City of Albuquerque.
 Filed: February 18, 1998
 Book 98C, Page 44
 Existing 35' Private Access and
 Landscape Easement granted to
 Oxbow Bluff Homeowners' Assoc.
 as set forth in Access and
 Landscape Easement filed for
 record on February 18, 1999 in
 Book 9903, Page 1987, Records
 of Bernalillo County, New Mexico.
 Document No. 1999022049
 Existing 35' Temporary Private
 Access Easement granted to
 Tract G Oxbow Subdivision.
 Filed: February 18, 1998
 Book 98C, Page 44

LEGEND	
	TRACT BOUNDARY LINE
	ADJOINING PROPERTY LINE
	MONUMENT TIE LINE
	EXISTING EASEMENT LINE
	CENTERLINE
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	EXISTING CENTERLINE MONUMENT

NORTH BOUNDARY TOWN OF ATRISCO GRANT

USGS BRASS TABLET STAMPED "VABM 5108 NOSE RG 1950"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X= 367,317.96 Y= 1,501,006.81
 GROUND TO GRID FACTOR = 0.9996757
 DELTA ALPHA = -00'15"19"
 SLD 1929 ELEVATION = 5111.597

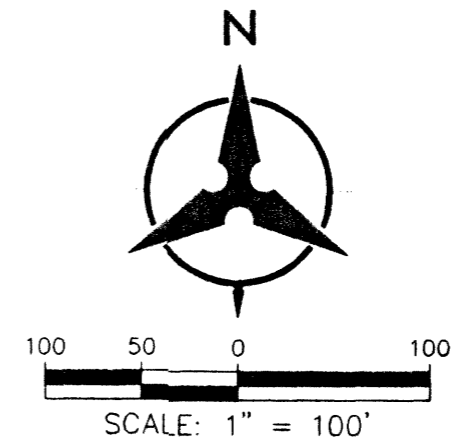
A-87
 TOWN OF ATRISCO GRANT
 FILED: DECEMBER 5, 1944
 (D-117)

RIVER RANCH
 FILED: MARCH 8, 1989
 (C38-151)

Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

PLAT OF
TRACT A
OXBOW BLUFF SUBDIVISION
 (A REPLAT OF PUBLIC STREET RIGHT-OF-WAYS)
 ALBUQUERQUE, NEW MEXICO
 MAY, 2003



NOTE:
 SEE SHEET 5 OF 5 FOR
 CURVE AND TANGENT TABLES

NOTE:
 PUBLIC STREET RIGHT-OF-WAY VACATED BY
 VACATION ACTION No. 03DRB-00041.
 SEE NOTES 3, 4 & 5. SHEET 1 OF 5

Existing 35' Public Storm Drain
 and Sanitary Sewer Easement
 granted to the City of Albuquerque.
 Filed: February 23, 1999
 Book 99C, Page 32
 Existing 35' Private Access and
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Existing 35' Public Storm Drain
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 Book 9903, Page 1987, Records
 of Bernalillo County, New Mexico.
 Document No. 1999022049

TRACT G-2
 LANDS OF SUZANNE H. POOLE
 FILED: MAY 24, 2001
 (2001C-148)

Existing 25' Public Storm Drain
 Easement granted to the City
 of Albuquerque.
 Filed: February 23, 1999
 Book 99C, Page 32

Existing 35' Public Storm Drain
 and Sanitary Sewer Easement
 granted to the City of Albuquerque.
 Filed: February 23, 1999
 Book 99C, Page 32
 Existing 35' Private Access and
 Landscape Easement granted to
 Oxbow Bluff Homeowners' Assoc.
 as set forth in Access and
 Landscape Easement filed for
 record on February 18, 1999 in
 Book 9903, Page 1987, Records
 of Bernalillo County, New Mexico.
 Document No. 1999022049

SEE NOTES 3, 4 & 5
 SHEET 1 OF 5

SEE NOTES 3, 4 & 5
 SHEET 1 OF 5

Exist. Temporary Private
 Access Easement granted to
 Tract G Oxbow Subd.
 Filed: February 18, 1998
 Book 98C, Page 44

LEGEND	
	TRACT BOUNDARY LINE
	ADJOINING PROPERTY LINE
	MONUMENT TIE LINE
	EXISTING EASEMENT LINE
	CENTERLINE
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	EXISTING CENTERLINE MONUMENT

TRACT G
 OXBOW NORTH
 FILED: FEBRUARY 13, 2003
 (2003C-31)

TRACT A
 PLAT OF
 OXBOW SUBDIVISION
 FILED: FEBRUARY 18, 1998
 (98C-44)

TRACT G
 PLAT OF
 OXBOW SUBDIVISION
 FILED: FEBRUARY 23, 1999
 (99C-32)

Existing 35' Public Sanitary
 Sewer Easement granted to
 the City of Albuquerque.
 Filed: February 23, 1999
 Book 99C, Page 32

LOT 20
 PLAT OF
 OXBOW BLUFF SUBDIVISION
 FILED: FEBRUARY 23, 1999
 (99C-32)

Existing 10' Public Drainage
 Easement granted to the
 City of Albuquerque.
 Filed: February 23, 1999
 Book 99C, Page 32

LOT 1
 PLAT OF
 OXBOW BLUFF SUBDIVISION
 FILED: FEBRUARY 23, 1999
 (99C-32)

Existing 35' Public Storm Drain
 and Sanitary Sewer Easement
 granted to the City of Albuquerque.
 Filed: February 23, 1999
 Book 99C, Page 32
 Existing 35' Private Access and
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 of Bernalillo County, New Mexico.
 Document No. 1999022049

NOTE:
 PUBLIC STREET RIGHT-OF-WAY VACATED BY
 VACATION ACTION No. 03DRB-00041.
 SEE NOTES 3, 4 & 5. SHEET 1 OF 5

Existing 35' Public Storm Drain
 and Sanitary Sewer Easement
 granted to the City of Albuquerque.
 Filed: February 23, 1999
 Book 99C, Page 32
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 of Bernalillo County, New Mexico.
 Document No. 1999022049

Bohannon & Huston

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

PLAT OF
TRACT A
OXBOW BLUFF SUBDIVISION
 (A REPLAT OF PUBLIC STREET RIGHT-OF-WAYS)
 ALBUQUERQUE, NEW MEXICO
 MAY, 2003

CURVE DATA

NO.	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BEARING
C1	65°16'35"	48.04'	85.45'	75.00'	80.90'	S49°19'14"E
C2	15°08'41"	34.70'	68.99'	261.00'	68.79'	S74°23'11"E
C3	00°51'54"	3.22'	6.43'	426.00'	6.43'	S66°01'22"E
C4	98°39'37"	29.10'	43.05'	25.00'	37.92'	N65°04'47"E
C5	45°51'44"	85.88'	162.49'	203.00'	158.19'	N07°10'54"W
C6	20°18'12"	138.23'	273.56'	772.00'	272.14'	N19°57'40"W
C7	08°59'21"	76.88'	153.44'	978.00'	153.28'	N14°18'15"W
C8	13°41'37"	62.68'	124.76'	522.00'	124.46'	N11°57'08"W
C9	13°47'49"	96.79'	192.64'	800.00'	192.18'	N12°00'13"W
C10	10°07'22"	2.21'	4.42'	25.00'	4.41'	N23°57'49"W
C11	260°33'59"	-----	204.65'	45.00'	68.66'	S78°44'30"E
C12	66°54'12"	16.52'	29.19'	25.00'	27.56'	S18°05'23"W
C13	10°15'25"	75.75'	151.09'	844.00'	150.89'	S10°14'01"E
C14	13°41'37"	57.39'	114.24'	478.00'	113.97'	S11°57'08"E
C15	08°59'21"	80.34'	160.34'	1022.00'	160.18'	S14°18'15"E
C16	20°18'12"	130.35'	257.97'	728.00'	256.63'	S19°57'40"E
C17	51°01'48"	117.89'	219.99'	247.00'	212.79'	S04°35'52"E
C18	74°16'45"	18.93'	32.41'	25.00'	30.19'	S16°13'21"E
C19	21°31'58"	81.00'	160.10'	426.00'	159.16'	S42°35'45"E
C20	119°17'32"	42.69'	52.05'	25.00'	43.15'	N88°31'28"E
C21	15°03'48"	12.96'	25.76'	98.00'	25.69'	N21°20'48"E
C22	33°04'49"	60.9'	117.20'	203.00'	115.58'	N02°43'30"W
C23	14°52'00"	32.23'	64.09'	247.00'	63.91'	N11°49'55"W
C24	22°23'51"	50.09'	98.90'	253.00'	98.27'	N15°35'51"W
C25	65°59'22"	95.44'	169.30'	147.00'	160.10'	N06°11'55"E
C26	47°49'21"	11.08'	20.87'	25.00'	20.27'	N15°16'55"E
C27	275°38'43"	-----	216.49'	45.00'	60.43'	S50°48'24"E
C28	47°49'21"	11.08'	20.87'	25.00'	20.27'	S63°06'16"W
C29	65°59'22"	66.88'	118.63'	103.00'	112.18'	S06°11'55"W
C30	10°47'09"	28.04'	55.91'	297.00'	55.83'	S21°24'11"E
C31	82°55'11"	22.09'	36.18'	25.00'	33.10'	S57°28'12"E
C32	04°54'18"	14.05'	28.08'	328.00'	28.07'	N78°37'04"E
C33	47°49'21"	11.08'	20.87'	25.00'	20.27'	N52°15'14"E
C34	275°38'43"	-----	216.49'	45.00'	60.43'	S13°50'06"E
C35	47°49'21"	11.08'	20.87'	25.00'	20.27'	N79°55'24"W
C36	05°01'34"	16.33'	32.63'	372.00'	32.62'	S78°40'42"W
C37	85°35'24"	23.15'	37.35'	25.00'	33.97'	S38°23'47"W
C38	14°52'00"	26.49'	52.67'	203.00'	52.52'	S11°49'55"E
C39	04°35'46"	9.91'	19.81'	247.00'	19.81'	S16°58'02"E
C40	80°02'59"	21.00'	34.93'	25.00'	32.16'	S54°41'38"E
C41	47°49'21"	11.08'	20.87'	25.00'	20.27'	N61°22'12"E
C42	275°38'43"	-----	216.49'	45.00'	60.43'	S04°43'07"E
C43	47°49'21"	11.08'	20.87'	25.00'	20.27'	N70°48'27"W
C44	80°02'59"	21.00'	34.93'	25.00'	32.16'	S45°15'23"W
C45	08°35'00"	18.54'	37.00'	247.00'	36.97'	S09°31'24"W
C46	36°02'55"	46.21'	89.34'	142.00'	87.88'	S31°50'22"W
C47	68°40'35"	17.08'	29.97'	25.00'	28.20'	S15°31'32"W
C48	14°58'08"	55.97'	111.30'	426.00'	110.98'	S11°19'41"E
C49	94°31'16"	27.05'	41.24'	25.00'	36.72'	S51°06'15"E
C50	04°50'44"	6.69'	13.36'	158.00'	13.36'	N79°12'46"E
C51	47°49'21"	11.08'	20.87'	25.00'	20.27'	N52°52'42"E
C52	275°38'43"	-----	216.49'	45.00'	60.43'	S13°12'36"E
C53	47°49'21"	11.08'	20.87'	25.00'	20.27'	N79°17'56"W
C54	09°08'49"	16.16'	32.25'	202.00'	32.21'	S81°21'48"W
C55	80°01'50"	20.99'	34.92'	25.00'	32.15'	S45°55'17"W
C56	08°08'35"	51.39'	102.61'	722.00'	102.52'	S09°58'40"W
C57	18°35'16"	33.22'	65.86'	203.00'	65.57'	S04°45'19"W
C58	104°43'13"	32.42'	45.69'	25.00'	39.59'	S56°53'55"E
C59	47°49'21"	11.08'	20.87'	25.00'	20.27'	N46°49'48"E
C60	275°38'43"	-----	216.49'	45.00'	60.43'	S19°15'32"E
C61	47°49'21"	11.08'	20.87'	25.00'	20.27'	N85°20'51"W
C62	105°54'07"	33.12'	46.21'	25.00'	39.91'	S17°47'25"W
C63	21°06'25"	37.82'	74.78'	203.00'	74.36'	S45°42'51"E
C64	22°02'44"	39.35'	77.72'	202.00'	77.24'	S45°14'41"E
C65	40°52'41"	9.32'	17.84'	25.00'	17.46'	S54°39'40"E
C66	274°31'30"	-----	215.61'	45.00'	61.08'	S62°09'45"W
C67	58°12'12"	13.92'	25.40'	25.00'	24.32'	N09°40'36"W
C68	17°29'22"	24.30'	48.23'	158.00'	48.04'	N47°31'23"W
C69	23°25'32"	51.21'	100.99'	247.00'	100.28'	N44°33'18"W
C70	48°57'10"	11.38'	21.36'	25.00'	20.72'	N57°19'07"W
C71	124°11'53"	84.99'	97.54'	45.00'	79.54'	N19°41'45"W
C72	48°57'10"	11.38'	21.36'	25.00'	20.72'	N17°55'37"E
C73	20°35'55"	44.88'	88.80'	247.00'	88.32'	N03°44'59"E
C74	08°08'35"	48.26'	96.36'	678.00'	96.28'	N09°58'39"E
C75	72°42'27"	260.55'	449.22'	354.00'	419.68'	N30°26'51"W
C76	102°08'09"	92.84'	133.70'	75.00'	116.68'	S62°07'51"W
C77	27°44'42"	102.00'	199.99'	413.00'	198.04'	N02°48'35"W

CURVE DATA

NO.	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BEARING
C78	25°25'09"	50.75'	99.82'	225.00'	99.00'	S79°30'40"E
C79	72°42'27"	287.05'	494.90'	390.00'	462.36'	S30°26'51"E
C80	08°08'35"	49.83'	99.48'	700.00'	99.40'	S09°58'39"W
C81	70°19'00"	158.48'	276.13'	225.00'	259.13'	S21°06'33"E
C82	36°47'24"	59.86'	115.58'	180.00'	113.60'	S37°52'21"E
C83	59°15'41"	127.98'	232.72'	225.00'	222.48'	N00°28'56"W
C84	20°18'12"	134.29'	265.77'	750.00'	264.38'	N19°57'40"W
C85	08°59'21"	78.61'	156.89'	1000.00'	156.73'	N14°18'15"W
C86	13°41'37"	60.04'	119.50'	500.00'	119.22'	N11°57'08"W
C87	14°37'56"	105.54'	209.92'	822.00'	209.35'	N12°25'17"W
C88	50°40'23"	56.82'	106.13'	120.00'	102.70'	N39°09'06"E
C89	33°04'49"	66.82'	129.91'	225.00'	128.11'	N02°43'30"W
C90	14°52'00"	29.36'	58.38'	225.00'	58.22'	N11°49'55"W
C91	22°23'51"	54.44'	107.50'	275.00'	106.82'	N15°35'51"W
C92	65°59'22"	81.16'	143.97'	125.00'	136.14'	N06°11'55"E
C93	06°13'57"	19.05'	38.07'	350.00'	38.05'	N79°16'53"E
C94	14°52'25"	23.58'	46.88'	180.00'	46.75'	N84°15'06"E
C95	05°56'59"	20.27'	40.50'	390.00'	40.48'	S63°49'35"E
C96	35°20'22"	124.24'	240.55'	390.00'	236.75'	S43°10'54"E
C97	27°13'32"	94.44'	185.32'	390.00'	185.58'	S11°53'57"E
C98	04°11'33"	14.28'	28.54'	390.00'	28.53'	S03°48'35"W
C99	33°45'31"	68.27'	132.57'	225.00'	130.66'	S02°49'49"E
C100	33°33'29"	74.32'	143.56'	225.00'	141.14'	S37°59'19"E
C101	18°32'01"	36.71'	72.78'	225.00'	72.46'	N04°32'53"E
C102	14°32'48"	28.72'	57.12'	225.00'	56.97'	N11°59'31"W
C103	03°12'13"	7.69'	15.38'	275.00'	15.37'	N06°00'01"W
C104	19°11'37"	46.50'	92.12'	275.00'	91.69'	N17°11'58"W

TANGENT DATA

NO.	BEARING	DISTANCE
T1	S66°48'05"E	37.39'
T2	N09°48'35"W	63.18'
T3	N18°47'56"W	53.76'
T4	N13°48'54"E	73.36'
T5	N19°15'55"W	179.59'
T6	N04°23'55"W	98.69'
T7	N26°47'46"W	143.29'
T8	N39°11'36"E	11.71'
T9	N76°09'54"E	37.04'
T10	S04°23'55"E	69.72'
T11	N85°16'53"E	3.06'
T12	N76°47'24"E	75.33'
T13	S05°54'22"W	152.76'
T14	N70°44'28"E	75.34'
T15	S70°44'28"W	74.37'
T16	S56°16'03"E	111.68'
T17	N05°54'22"E	162.34'
T18	N66°48'05"W	49.32'

TANGENT DATA

NO.	BEARING	DISTANCE
T19	N66°48'05"W	49.42'
T20	N05°54'22"E	166.69'
T21	N56°16'03"W	111.68'
T22	S29°08'54"W	16.70'
T23	S09°48'35"E	63.18'
T24	S18°47'56"E	53.76'
T25	S70°15'45"W	22.00'
T26	S64°29'17"W	6.09'
T27	S13°48'54"W	73.36'
T28	S19°15'55"E	179.59'
T29	S04°23'55"E	98.69'
T30	S26°47'46"E	143.29'
T31	S39°11'36"W	11.71'
T32	S76°09'54"W	37.04'
T33	S05°54'22"W	152.76'
T34	S70°44'28"W	75.34'
T35	S88°17'11"E	22.00'
T36	N76°47'24"E	127.21'
T37	N70°44'28"E	7.12'
T38	N70°44'28"E	180.05'

Bohannon & Huston

Court yard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335

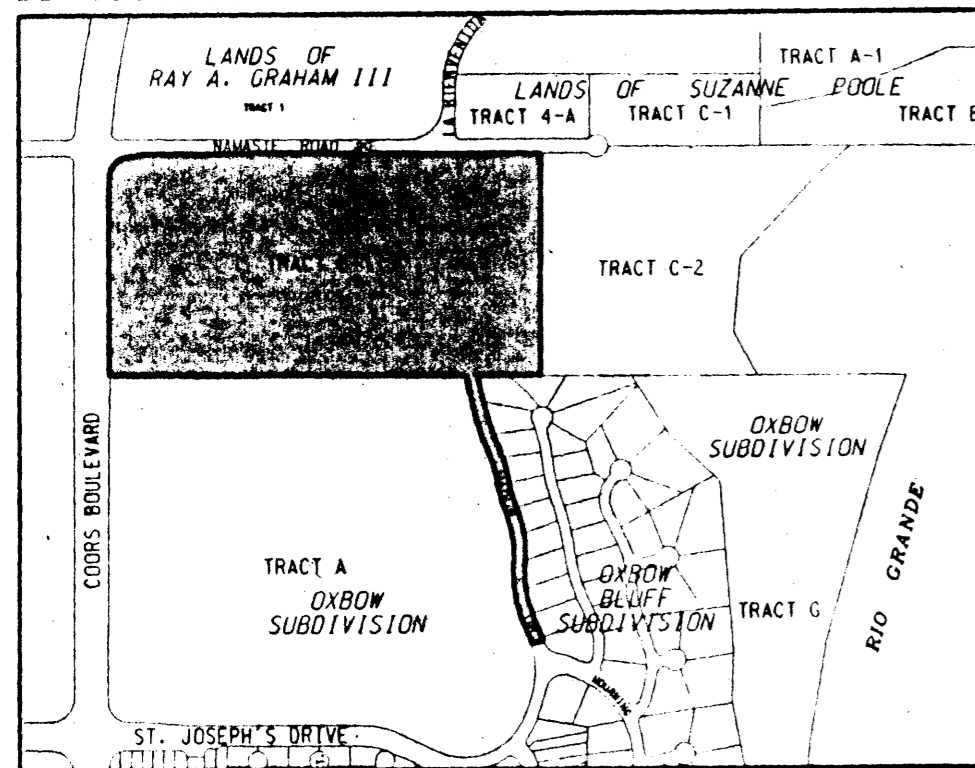
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

SHEET 5 OF 5

BHMAIN:030275\SURVEY\001\GRAPHICS\FINAL PLAT
030275001PLAT03.DWG

JOB NO. 030275 001 02

SP-2003042165



LOCATION MAP

ZONE ATLAS INDEX MAP No. F-11-Z & G-11-Z NOT TO SCALE

SUBDIVISION DATA

- 1. DRB Project No. 1002092.
2. Zone Atlas Index No. F-11-Z, & G-11-Z
3. Gross Subdivision Acreage: 41.0699 Acres.
4. Total Number of Lots/Tracts created: One hundred twenty four (124) Lots and Seven (7) Tracts.
5. Total Mileage of full width Private Streets created: 1.0660 miles.
6. Total Mileage of partial width Public R-O-W (Namaste Drive NW): 0.0717 mile.
7. Date of Survey: August, 2002
8. Plat is located within the Section 35, T11N, R2E, NMPM, and within the Town of Albuquerque Grant and within projected Section 2, T10N, R2E, and projected Section 35, T11N, R2E, NMPM.

DISCLOSURE STATEMENT

The purpose of this Plat is to subdivide all of Tract B-1 of the PLAT OF TRACTS B-1 & B-2 ARCHDIOCESE OF SANTA FE, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 15, 1995 in Volume 95C, Folio 171 as Document No. 95048595, together with a southerly portion of Namaste Road NW and a northerly portion of Oxbow Drive NW into one hundred twenty four (124) Lots and Seven (7) Tracts, to dedicate additional public right-of-way to the City of Albuquerque, to vacate easements, and to grant easements.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground & overhead electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. QWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool, decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgears, as installed shall extend ten feet(10') in front of transformers/switchgear door and five feet (5') on each side.

DESCRIPTION

A certain tract of land situate within the south one-half (S1/2) of Section 35, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, and within the Town of Albuquerque Grant within the northeast one-quarter (NE1/4) of projected Section 2, Township 10 North, Range 2 East, within the south one-half (S1/2) of projected Section 35, Township 10 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract B-1 of the PLAT OF TRACTS B-1 & B-2 ARCHDIOCESE OF SANTA FE, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 15, 1995 in Volume 95C, Folio 171 as Document No. 95048595, together with portions of street right-of-way of Namaste Road NW and Oxbow Drive NW and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD 1927) and ground distances as follows:

Beginning at the southwest corner of said Tract B-1, a point on the easterly right-of-way line of Coors Boulevard NW, whence the Albuquerque City Survey (ACS) Monument "JOSEPH 1969", a standard USC&GS brass tablet set in top of a concrete post, having New Mexico State Plane Coordinates, Central Zone (NAD 1927) of X=366,686.82 and Y=1,502,246.75 bears S47°12'35"E, a distance of 2015.81 feet and from said point of beginning running thence along the westerly boundary line of said Tract B-1 and also along said right-of-way line, N00°10'12"E, a distance of 756.66 feet to a point of curvature; thence, 95.31 feet along the arc of a curve to the right having a radius of 3741.72 feet and a chord which bears N00°53'59"E, a distance of 95.31 feet to a point of compound curvature; thence, 36.81 feet along the arc of a curve to the right having a radius of 150.00 feet and a chord which bears N08°39'35"E, a distance of 36.72 feet to a point of compound curvature; thence, 91.15 feet along the arc of a curve to the right having a radius of 82.00 feet and a chord which bears N47°32'00"E, a distance of 86.53 feet to a point of compound curvature; thence, 47.46 feet along the arc of a curve to the right having a radius of 250.00 feet and a chord which bears N33°44'04"E, a distance of 47.39 feet to a point of tangency; thence, N03°15'42"E, a distance of 9.06 feet to the northwest corner of said Tract B-1, a point on the southerly right-of-way line of Namaste Road NW, thence running along the northerly boundary line of said Tract B-1 and also along said right-of-way line, N00°10'12"E, a distance of 47.39 feet to a point of tangency; thence, 16.09 feet along the arc of a curve to the right having a radius of 25.00 feet and a chord which bears N71°47'31"E, a distance of 15.81 feet to a point of tangency; thence, S89°46'23"E, a distance of 291.98 feet to a point; thence, S00°11'10"W, a distance of 5.00 feet to a point on the northerly boundary line of said Tract B-1, and also being a point on the northerly right-of-way line of Namaste Road NW, thence running along the southerly boundary line of said Tract B-1 and along said right-of-way line, S89°46'23"E, a distance of 905.99 feet to the northeast corner of said Tract B-1, thence leaving said right-of-way line and running thence along the easterly boundary line of said Tract B-1, S00°13'37"W, a distance of 960.07 feet to the southeast corner of said Tract B-1 and also being a point on the northerly boundary line of OXBOW BLUFF SUBDIVISION, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 23, 1999 in Book 99C, Page 32 as Document No. 1999023990, thence running along the southerly boundary line of said Tract B-1 and also along said northerly boundary line, N89°48'50"W, a distance of 262.85 feet to the northwest corner of said OXBOW BLUFF SUBDIVISION and also being a point of curvature on the easterly right-of-way line of Oxbow Drive NW, thence running along the westerly boundary line of said OXBOW BLUFF SUBDIVISION and also along said right-of-way line, S55°33'26"E, a distance of 55.31 feet to a point of reverse curvature; thence, 287.58 feet along the arc of a curve to the left having a radius of 1253.00 feet and a chord which bears S16°33'33"E, a distance of 286.95 feet to a point of reverse curvature; thence, 119.35 feet along the arc of a curve to the right having a radius of 497.00 feet and a chord which bears S16°15'18"E, a distance of 119.06 feet to a point of reverse curvature; thence, 109.23 feet along the arc of a curve to the left having a radius of 665.50 feet and a chord which bears S14°04'39"E, a distance of 109.11 to a point of tangency; thence, S18°46'47"E, a distance of 57.74 feet to a point of curvature; thence, 199.70 feet along the arc of a curve to the right having a radius of 501.50 feet and a chord which bears S07°22'20"E, a distance of 198.38 feet to a point of reverse curvature; thence, 262.49 feet along the arc of a curve to the left having a radius of 498.50 feet and a chord which bears S11°02'58"E, a distance of 259.47 feet to a point of reverse curvature; thence, 68.13 feet along the arc of a curve to the right having a radius of 413.00 feet and a chord which bears S21°24'30"E, a distance of 68.05 feet to a point of tangency on the westerly boundary line of Lot 1 of said OXBOW BLUFF SUBDIVISION, thence crossing said right-of-way line, S73°19'04"W, a distance of 52.00 feet to a point of curvature (non-tangent) on the easterly boundary line of Tract A of PLAT OF OXBOW BLUFF SUBDIVISION as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 18, 1998 in Book 98C, Page 44 as Document No. 1998018015, and also being a point on the westerly right-of-way line of said Oxbow Drive NW, thence running along the easterly boundary line of said Tract A and also along said right-of-way line, S95°55'55"E, a distance of 361.00 feet and a chord which bears N21°24'30"W, a distance of 59.49 feet to a point of reverse curvature; thence, 289.87 feet along the arc of a curve to the right having a radius of 550.50 feet and a chord which bears N11°02'58"W, a distance of 286.53 feet to a point of reverse curvature; thence, 178.99 feet along the arc of a curve to the left having a radius of 445.50 feet and a chord which bears N07°22'20"W, a distance of 177.81 feet to a point of tangency; thence, N18°46'47"W, a distance of 57.74 feet to a point of curvature; thence, 117.77 feet along the arc of a curve to the right having a radius of 717.50 feet and a chord which bears N14°04'39"W, a distance of 117.64 feet to a point of reverse curvature; thence, 106.86 feet along the arc of a curve to the left having a radius of 445.00 feet and a chord which bears N16°15'18"W, a distance of 106.60 feet to a point of reverse curvature; thence, 299.52 feet along the arc of a curve to the right having a radius of 1305.00 feet and a chord which bears N16°33'33"W, a distance of 298.86 feet to a point of reverse curvature; thence, 64.93 feet along the arc of a curve to the left having a radius of 595.00 feet and a chord which bears N13°06'37"W, a distance of 64.90 feet to a point on the southerly boundary line of said Tract B-1, thence leaving said right-of-way line and running thence along the southerly boundary line of said Tract B-1, N89°48'50"W, a distance of 1483.40 feet to the point and place of beginning.

Tract contains 41.0699 acres, more or less.

FREE CONSENT AND DEDICATION

The foregoing plat of that certain tract of land situate within Section 35, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico and within the Town of Albuquerque Grant within Projected Section 2, Township 10 North, Range 2 East, and within projected Section 35, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract B-1 of the PLAT OF TRACTS B-1 & B-2 ARCHDIOCESE OF SANTA FE, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 15, 1995 in Volume 95C, Folio 171 as Document No. 95048595, together with a southerly portion of Namaste Road NW and Oxbow Drive NW, now comprising Lots 1 through 78 inclusive Lots 124 through 169 inclusive and Tracts A, B, C, D, E, F and G, PLAT OF OXBOW NORTH, Albuquerque, New Mexico is with the free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate public right-of-way to the City of Albuquerque in Fee Simple with warranty covenants and do hereby grant all access, utility, and drainage easements hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried and overhead distribution lines, conduits, pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantee's Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("Work") it deems appropriate without liability to the City. If Work affects any Improvements or Encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of Improvements or Encroachments. If in the opinion of the City, the Work to be performed by the City could endanger the structural integrity or otherwise damage the Improvements or Encroachments, the Grantee shall, at its own expense take whatever protective measures are required to safeguard the Improvements or Encroachments. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is with its free act and deed.

OXBOW NORTH VENTURES

By: James W. Rogers, Managing Member

State of New Mexico)
County of Bernalillo)

This instrument was acknowledged before me on _____ day of _____, 2003, by James W. Rogers, Managing Member of Oxbow North Ventures.

My Commission Expires: _____ Notary Public

NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone NAD 1927) and are the same as shown on the PLAT OF TRACTS B-1 & B-2, ARCHDIOCESE OF SANTA FE, Albuquerque, New Mexico, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 15, 1995 in Volume 95C, Folio 171 as Document No. 95048595.
2. Distances are ground distances.
3. Record bearings & distances are shown in parenthesis ().
4. All easements of record are shown.
5. Centerline (in lieu of R/W monumentation) to be installed at all centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard four-inch (4") aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS #5544".
6. Tracts B, C, D, E & F are to be reserved for and granted to the Oxbow North Homeowners Association and its assigns by separate document.
7. Tract D is subject to a blanket slope and landscape easement to be owned and maintained by the Oxbow North Homeowners Association. Tract D is also subject to a 20' Floating Public Pedestrian Easement to be granted to the City of Albuquerque with the filing of this plat.
8. Tract G is subject to a Public Waterline & Storm Drain Easement to be granted to the City of Albuquerque with the filing of this plat.
9. Tracts E & F are subject to a Public Sanitary Sewer, Water, and Subsurface Storm Drain Easement to be granted to the City of Albuquerque with the filing of this plat. Tracts E & F are also subject to a Private Access and Surface Drainage Easement to serve Lots 1 through 169 in the Oxbow North Subdivision.
10. All interior streets (Tracts E & F) are private and to be maintained by the Oxbow North Homeowners Association.
11. Fireplaces and/or stoves shall be limited to Gas Logs and Environmental Protection Agency approved Wood-Burning Devices. No ordinary Wood-Burning Fireplaces shall be installed in any Residential Dwelling Unit.
12. This subdivision lies within the City of Albuquerque, water and sanitary sewer capabilities are based on the City of Albuquerque's facilities. Water and sanitary sewer infrastructure improvements must be approved by the City of Albuquerque.
13. Tract G is to be reserved for & granted to the Oxbow Bluff Homeowners Association and its assigns by separate document.

PLAT OF OXBOW NORTH (A REPLAT OF TRACT B-1, ARCHDIOCESE OF SANTA FE) ALBUQUERQUE, NEW MEXICO JANUARY, 2003

APPROVALS

Table with columns for PLAT NUMBER, PLANNING DIRECTOR, CITY ENGINEER, A.M.A.F.C.A., TRAFFIC ENGINEER, CITY SURVEYOR, PROPERTY MANAGEMENT, UTILITY DEVELOPMENT DEPARTMENT, PARKS & RECREATION, QWEST, COMCAST CABLE, PNM ELECTRIC SERVICES, PNM GAS SERVICES, and DATE.

TAX CERTIFICATION

PROPERTY OWNER OF RECORD _____ DATE _____
BERNALILLO COUNTY TREASURER'S OFFICE _____ DATE _____

PNM STAMP

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

SURVEYOR'S CERTIFICATION

I, A. Dwain Weaver, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.



A. Dwain Weaver
A. Dwain Weaver
New Mexico Professional Surveyor 6544
Date: January 27, 2003

Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

TRACT 1
**PLAT OF TRACTS A, B, 1, 2, 3, 4, 5, & 6 OF
 LANDS OF RAY A. GRAHAM III, OVENWEST CORP.
 AND CITY OF ALBUQUERQUE**
 FILED: APRIL 1, 2002 (2002C-99)

**LANDS OF
 SUZANNE H. POOLE**
 FILED: MAY 24, 2001
 (2001C-148)

**PLAT OF
 OXBOW NORTH**
 (A REPLAT OF TRACT B-1,
 ARCHDIOCESE OF SANTA FE)
 ALBUQUERQUE, NEW MEXICO
 JANUARY, 2003

LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- - - CENTERLINE
- - - PROPOSED EASEMENT LINE
- - - EXISTING EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- - - EXISTING (OLD) LOT LINE
- RIGHT OF WAY
- 10' PUE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- 5/8" REBAR WITH 1/4" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
- FOUND 1/2" REBAR WITH 1" SURVEY CAP STAMPED "PS 10464"
- × FOUND CONCRETE NAIL WITH SURVEY WASHER STAMPED "PS 10464"

TANGENT DATA

ID	BEARING	DISTANCE
T1	N03°15'42"E	9.06'
T2	S00°11'10"W	5.00'
T3	S18°46'47"E	57.74'
T4	S73°19'04"W	52.00'
T5	N89°48'50"W	17.00'
T6	N37°10'35"W	17.00'
T7	N30°35'20"E	4.17'
T8	N89°48'50"W	41.48'
T9	N00°11'10"E	7.00'
T10	S00°10'12"W	11.38'
T11	S00°11'10"W	10.00'
T12	S00°11'10"W	10.58'
T13	N37°10'35"W	19.04'
T14	N37°10'35"W	17.21'
T15	S52°49'25"W	18.75'
T16	S52°49'25"W	15.00'
T17	S52°49'25"W	6.13'
T18	S52°49'25"W	36.87'
T19	S00°11'10"W	26.26'
T20	S52°49'25"W	12.71'
T21	S00°11'10"W	21.26'
T22	N37°10'35"W	22.93'
T23	S00°11'10"W	20.00'
T24	N42°51'44"W	23.22'
T25	S00°11'10"W	40.86'
T26	N37°10'35"W	29.48'
T27	N37°10'35"W	16.51'
T28	N37°10'35"W	18.90'
T29	N37°10'35"W	24.04'
T30	N37°10'35"W	49.48'
T31	S00°11'10"W	12.00'
T32	S00°11'10"W	19.54'
T33	N89°48'50"W	6.00'
T34	S00°11'10"W	7.02'
T35	S52°49'25"W	8.00'
T36	S89°46'23"E	36.00'
T37	S75°18'41"W	11.00'
T38	S89°48'50"E	54.02'

CURVE DATA

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	01°27'34"	47.66'	95.31'	3741.72'	95.31'	N00°53'59"E
C2	14°03'38"	18.50'	36.81'	150.00'	36.72'	N08°39'35"E
C3	63°41'12"	50.93'	91.15'	82.00'	86.53'	N47°32'00"E
C4	10°52'34"	23.80'	47.46'	250.00'	47.39'	N83°44'04"E
C5	36°52'12"	8.33'	16.09'	25.00'	15.81'	N71°47'31"E
C6	04°53'59"	27.68'	55.33'	647.00'	55.31'	S12°26'02"E
C7	13°09'01"	144.43'	287.58'	1253.00'	286.95'	S16°33'33"E
C8	13°45'32"	59.96'	119.35'	497.00'	119.06'	S16°15'18"E
C9	09°24'16"	54.74'	109.23'	665.50'	109.11'	S14°04'39"E
C10	22°48'54"	101.19'	199.70'	501.50'	198.38'	S01°22'59"E
C11	30°10'10"	134.36'	262.49'	498.50'	259.47'	S11°02'59"E
C12	09°27'07"	34.14'	68.13'	413.00'	68.05'	S11°24'30"E
C13	09°27'07"	29.84'	59.58'	361.00'	59.49'	N21°24'30"W
C14	30°10'10"	148.38'	296.77'	550.50'	286.53'	N11°02'58"W
C15	22°48'54"	90.70'	178.99'	449.50'	177.81'	N01°22'20"W
C16	09°24'16"	59.02'	117.71'	717.50'	117.64'	N14°04'39"W
C17	13°45'32"	53.69'	106.86'	445.00'	106.60'	N16°15'18"W
C18	13°09'01"	150.42'	299.52'	1305.00'	298.86'	N16°33'33"W
C19	06°15'09"	32.50'	64.93'	595.00'	64.90'	N13°06'37"W
C20	90°00'00"	75.00'	117.81'	75.00'	106.07'	N45°11'10"E
C21	37°21'45"	40.57'	78.25'	120.00'	76.87'	S18°29'43"E
C22	37°21'45"	60.86'	117.38'	180.00'	115.31'	S18°29'43"E
C23	22°14'05"	23.58'	46.57'	120.00'	46.28'	N41°42'22"E
C24	52°38'15"	89.03'	165.37'	180.00'	159.61'	N63°29'43"W
C25	89°57'33"	24.98'	39.25'	25.00'	35.34'	N44°47'36"W
C26	01°03'16"	2.30'	4.60'	250.00'	4.60'	S89°41'59"W
C27	53°10'15"	12.51'	23.20'	25.00'	22.38'	S26°46'18"W
C28	90°02'27"	25.02'	39.29'	25.00'	35.37'	S45°12'24"W
C29	90°00'00"	25.00'	39.27'	25.00'	35.36'	S45°11'10"W
C30	90°00'00"	45.00'	70.69'	45.00'	63.64'	N44°48'50"E
C31	90°00'00"	25.00'	39.27'	25.00'	35.36'	S44°48'50"E
C32	90°00'00"	29.80'	49.36'	32.00'	35.54'	S45°11'10"W
C33	37°21'45"	32.08'	60.38'	151.00'	100.58'	S18°29'43"E
C34	49°48'28"	72.89'	136.48'	157.00'	132.22'	S62°04'50"E
C35	92°49'46"	59.02'	117.71'	40.50'	36.22'	N46°36'03"E
C36	37°21'45"	48.35'	93.25'	143.00'	91.61'	N18°29'43"W
C37	22°54'27"	156.32'	312.64'	40.00'	74.20'	S03°51'37"E
C38	81°16'09"	21.45'	35.46'	25.00'	32.56'	S03°27'32"W
C39	37°21'45"	68.64'	132.38'	203.00'	130.04'	S18°29'43"E
C40	241°30'55"	168.61'	337.22'	40.00'	68.75'	N59°03'22"W
C41	61°30'55"	14.88'	26.84'	25.00'	25.57'	N30°56'38"E
C42	88°21'44"	24.30'	38.56'	25.00'	34.85'	N43°59'42"W
C43	17°49'55"	31.85'	63.18'	203.00'	62.92'	N79°15'37"W
C44	65°24'01"	16.05'	28.54'	25.00'	27.01'	S76°57'20"W
C45	08°34'05"	10.71'	21.38'	143.00'	21.36'	S48°32'22"W
C46	61°30'55"	14.88'	26.84'	25.00'	25.57'	S22°03'57"W
C47	241°30'55"	168.61'	337.22'	40.00'	68.75'	N61°56'03"E
C48	37°45'58"	28.62'	42.64'	25.00'	37.65'	N03°57'56"E
C49	203°45'38"	13.63'	27.34'	203.00'	27.32'	N41°02'04"W
C50	90°00'00"	25.00'	39.27'	25.00'	35.36'	N82°10'35"W
C51	241°30'55"	168.61'	337.22'	40.00'	68.75'	N06°25'08"W
C52	61°30'55"	14.88'	26.84'	25.00'	25.57'	N83°34'52"E
C53	90°00'00"	25.00'	39.27'	25.00'	35.36'	N07°49'25"E
C54	27°47'47"	11.13'	21.83'	45.00'	21.62'	N76°17'16"E
C55	11°55'51"	26.12'	52.06'	250.00'	51.96'	S84°15'42"W
C56	07°45'32"	5.56'	11.10'	82.00'	11.10'	S75°29'50"W
C57	62°12'13"	27.15'	48.85'	45.00'	46.49'	S31°17'16"W
C58	00°38'18"	20.84'	41.69'	3741.72'	41.69'	N01°18'37"E
C59	55°55'40"	43.53'	80.04'	82.00'	76.90'	N43°39'14"E
C60	00°49'16"	26.81'	53.62'	3741.72'	53.62'	N00°34'50"E
C61	06°27'04"	15.05'	30.06'	267.00'	30.05'	N03°02'22"W
C62	20°32'28"	28.45'	56.29'	157.00'	55.99'	S10°05'04"E
C63	03°36'31"	7.88'	15.75'	250.00'	15.74'	N15°11'04"W
C64	10°43'25"	25.06'	49.97'	267.00'	49.90'	N11°37'37"W
C65	16°48'17"	23.21'	46.09'	157.00'	45.82'	S28°45'57"E
C66	22°20'21"	49.36'	97.41'	250.00'	96.86'	N02°12'38"W
C67	15°30'55"	157.58'	315.16'	40.00'	77.54'	S38°12'52"W
C68	19°06'19"	16.83'	33.34'	100.00'	33.19'	N18°33'46"W
C69	31°10'47"	27.90'	54.42'	100.00'	53.75'	N06°34'47"E
C70	13°12'38"	28.95'	57.64'	250.00'	57.51'	N15°33'51"E
C71	09°03'40"	7.92'	15.81'	100.00'	15.80'	N32°38'45"W
C72	90°00'00"	40.00'	62.83'	40.00'	56.57'	S82°10'35"E
C73	90°34'09"	40.40'	63.23'	40.00'	56.85'	S07°32'20"W
C74	128°06'47"	82.22'	89.44'	40.00'	71.94'	N78°11'52"E
C75	22°49'59"	8.08'	15.94'	40.00'	15.84'	N02°43'29"E
C76	16°34'27"	3.64'	7.23'	25.00'	7.21'	S08°28'24"W
C77	44°56'28"	10.34'	19.61'	25.00'	19.11'	S39°13'51"W
C78	151°30'55"	157.59'	315.16'	40.00'	77.54'	S14°03'22"E
C79	90°00'00"	40.00'	62.83'	40.00'	56.57'	N45°11'10"E
C80	21°48'21"	39.10'	77.26'	203.00'	76.79'	N10°43'00"W
C81	15°33'25"	27.73'	55.12'	203.00'	54.95'	N29°23'53"W
C82	37°32'05"	13.59'	26.20'	40.00'	25.74'	N25°19'34"E
C83	96°22'22"	44.72'	67.28'	40.00'	59.63'	N41°37'39"W
C84	13°13'10"	16.57'	32.99'	143.00'	32.92'	S06°25'25"E
C85	24°08'36"	30.58'	60.26'	143.00'	59.81'	S25°06'17"E
C86	31°06'11"	43.69'	85.23'	157.00'	84.19'	S21°37'30"E
C87	06°15'34"	8.58'	17.15'	157.00'	17.14'	S02°56'37"E
C88	17°11'46"	23.74'	47.12'	157.00'	46.94'	N28°34'42"W
C89	20°09'59"	27.92'	55.26'	157.00'	54.91'	N09°33'49"W
C90	41°26'19"	132.39'	264.78'	350.00'	247.65'	S20°31'59"E
C91	41°26'18"	134.28'	268.56'	350.00'	251.19'	S20°31'59"E
C92	17°10'29"	40.32'	80.04'	267.00'	79.74'	S08°24'05"E
C93	39°09'30"	88.92'	170.86'	250.00'	167.55'	S02°35'26"W
C94	28°09'59"	25.09'	49.16'	100.00'	48.67'	S23°05'36"E
C95	25°22'37"	49.31'	97.00'	219.00'	96.21'	N12°30'08"W
C96	100°15'11"	29.93'	43.74'	25.00'	38.37'	N75°19'03"W
C97	35°37'48"	65.23'	126.24'	203.00'	124.21'	S72°22'16"W
C98	29°20'54"	41.11'	80.42'	157.00'	79.54'	N75°30'43"E
C99	97°16'24"	28.39'	42.44'	25.00'	37.53'	N12°12'04"E
C100	36°37'18"	165.46'	319.59'	500.00'	314.17'	N18°07'29"W
C101	41°26'19"	170.21'	320.46'	450.00'	318.41'	S20°31'59"E
C102	28°33'49"	50.18'	118.22'	255.00'	117.17'	S27°58'14"E
C103	13°35'33"	57.89'	115.78'	244.00'	57.75'	S07°53'33"E
C104	30°24'10"	48.91'	95.51'	180.00'	94.40'	N74°36'45"W
C105	22°14'05"	35.37'	69.85'	180.00'	69.41'	N48°17'38"W

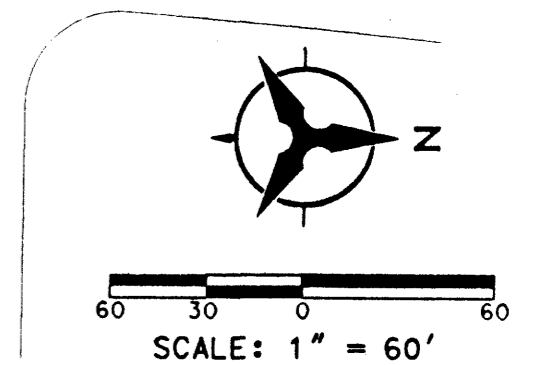
USC & GS BRASS TABLET STAMPED "JOSEPH 1969"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X = 366,686.82 Y = 1,502,246.75
 GROUND TO GRID FACTOR = 0.99967551
 DELTA ALPHA = -00°15'24"
 SLD 1929 ELEVATION = 5113.852

USGS BRASS TABLET STAMPED "VABN 5108 NOSE RG 1950"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X = 367,317.96 Y = 1,501,006.81
 GROUND TO GRID FACTOR = 0.9996757
 DELTA ALPHA = -00°15'19"
 SLD 1929 ELEVATION = 5111.597

Bohannon & Huston

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 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

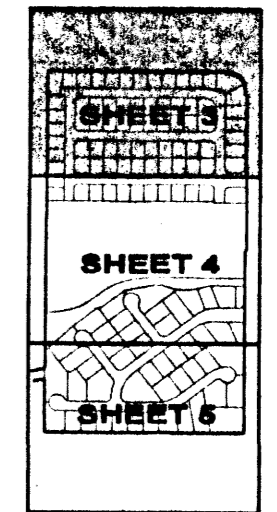
PLAT OF
OXBOW NORTH
 (A REPLAT OF TRACT B-1,
 ARCHDIOCESE OF SANTA FE)
 ALBUQUERQUE, NEW MEXICO
 JANUARY, 2003



LEGEND

	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) LOT LINE
	RIGHT OF WAY
	10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	5/8" REBAR WITH 1 1/2" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
	FOUND 1/2" REBAR WITH 1" SURVEY CAP STAMPED "PS 10464"
	FOUND CONCRETE NAIL WITH SURVEY WASHER STAMPED "PS 10464"

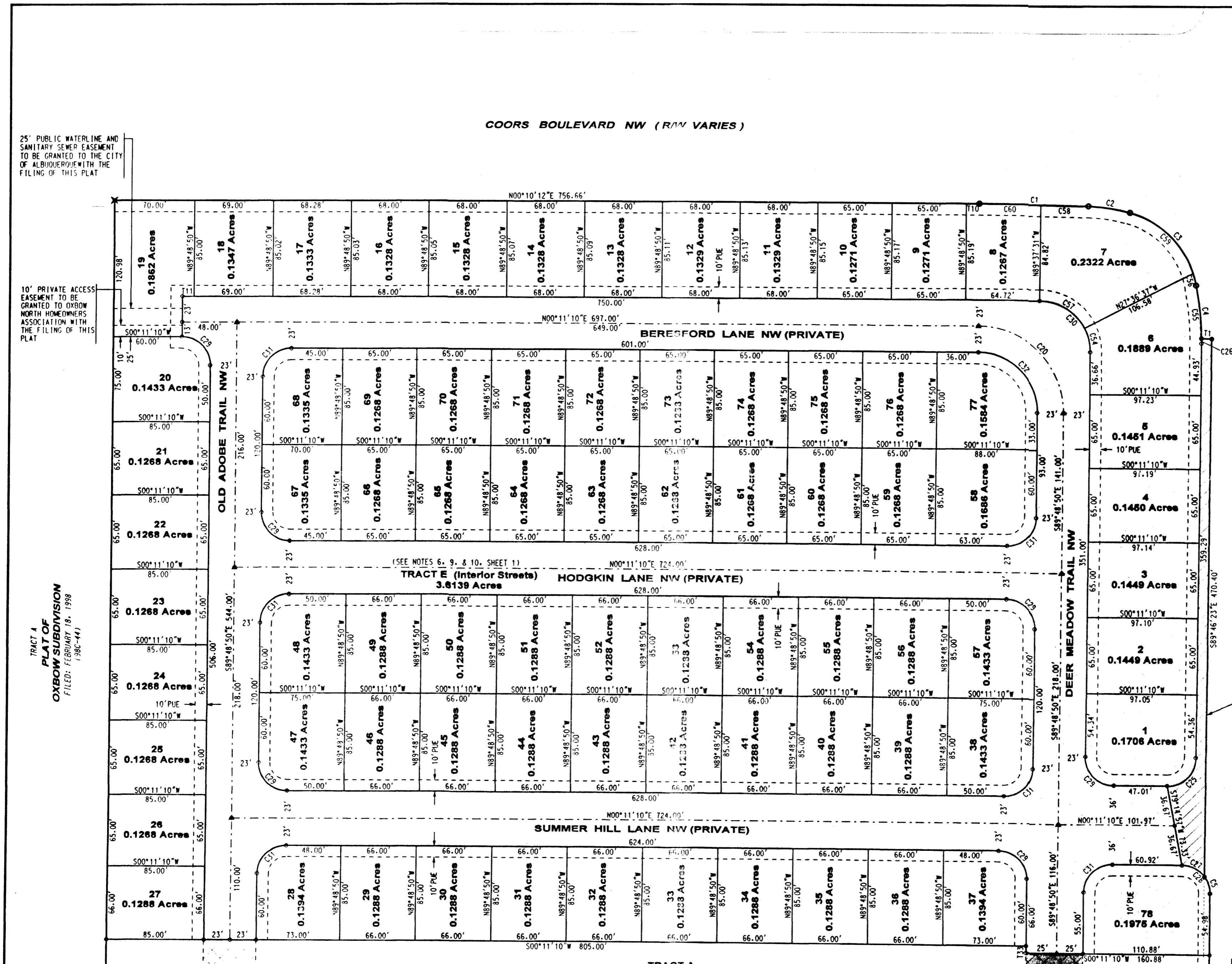
HATCHED AREA DESIGNATES PUBLIC STREET RIGHT-OF-WAY TO BE DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT



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 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

SHEET 3 OF 5



25' PUBLIC WATERLINE AND SANITARY SEWER EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

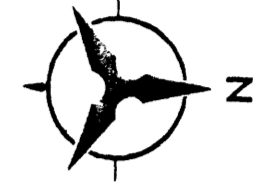
10' PRIVATE ACCESS EASEMENT TO BE GRANTED TO OXBOW NORTH HOMEOWNERS ASSOCIATION WITH THE FILING OF THIS PLAT

TRACT A
 PLAT OF
OXBOW SUBDIVISION
 FILED: FEBRUARY 18, 1998
 (386-44)

PUBLIC STORM DRAIN EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

PUBLIC WATER, SANITARY SEWER & STORM DRAIN EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

PLAT OF
OXBOW NORTH
 (A REPLAT OF TRACT B-1,
 ARCHDIOCESE OF SANTA FE)
 ALBUQUERQUE, NEW MEXICO
 JANUARY, 2003

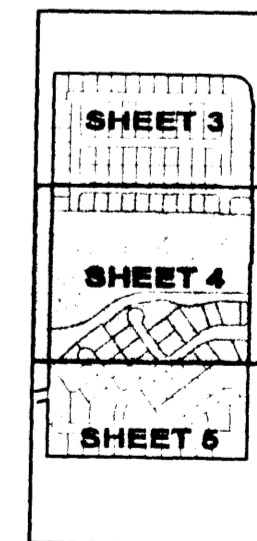


60 30 0 30 60
 SCALE: 1" = 60'

HATCHED AREAS DESIGNATE
 PUBLIC STREET RIGHT-OF-WAY
 TO BE DEDICATED TO THE CITY
 OF ALBUQUERQUE WITH THE
 FILING OF THIS PLAT

LEGEND

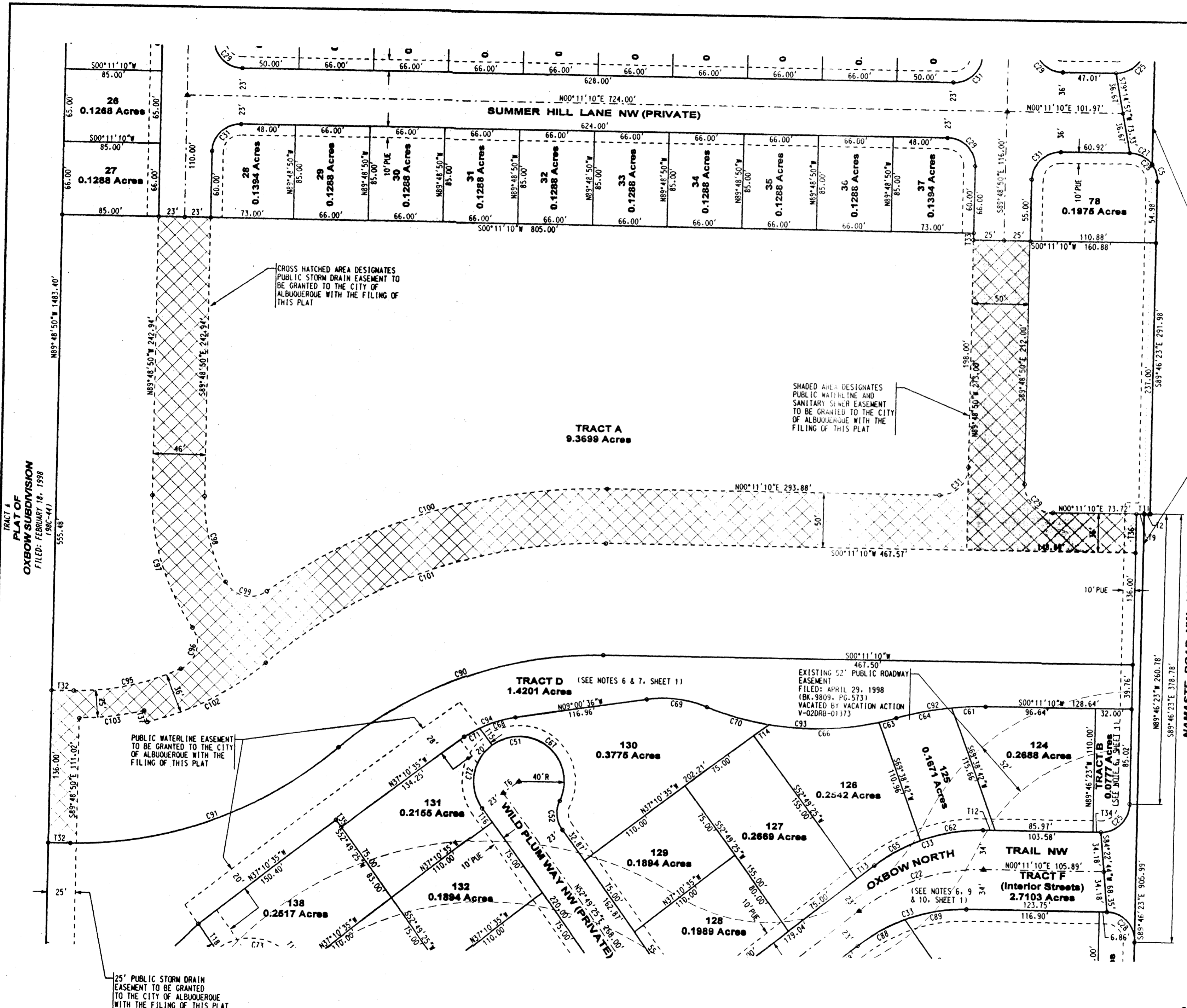
- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- - - CENTERLINE
- - - PROPOSED EASEMENT LINE
- - - EXISTING EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- - - EXISTING (OLD) LOT LINE
- RIGHT OF WAY
- 10' PUE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- 3/4" REBAR WITH 1 1/2" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
- FOUND 1/2" REBAR WITH 1" SURVEY CAP STAMPED "PS 10464"
- × FOUND CONCRETE NAIL WITH SURVEY WASHER STAMPED "PS 10464"



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 ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGIES

SHEET 4 OF 5



CROSS HATCHED AREA DESIGNATES
 PUBLIC STORM DRAIN EASEMENT TO
 BE GRANTED TO THE CITY OF
 ALBUQUERQUE WITH THE FILING OF
 THIS PLAT

SHADED AREA DESIGNATES
 PUBLIC WATERLINE AND
 SANITARY SEWER EASEMENT
 TO BE GRANTED TO THE CITY
 OF ALBUQUERQUE WITH THE
 FILING OF THIS PLAT

PUBLIC WATERLINE EASEMENT
 TO BE GRANTED TO THE CITY
 OF ALBUQUERQUE WITH THE
 FILING OF THIS PLAT

25' PUBLIC STORM DRAIN
 EASEMENT TO BE GRANTED
 TO THE CITY OF ALBUQUERQUE
 WITH THE FILING OF THIS PLAT

TRACT A
 PLAT OF
 OXBOW SUBDIVISION
 FILED: FEBRUARY 18, 1998
 (98C-41)

EXISTING 52' PUBLIC ROADWAY
 EASEMENT
 FILED: APRIL 29, 1998
 (BK. 9809, PG. 573)
 VACATED BY VACATION ACTION
 V-02DRB-01373

TRACT D (SEE NOTES 6 & 7, SHEET 1)
 1.4201 Acres

TRACT B
 0.0777 Acres
 (SEE NOTE 6, SHEET 1)

WILD PLUM WAY NW (PRIVATE)

OXBOW NORTH
 (SEE NOTES 6, 9
 & 10, SHEET 1)

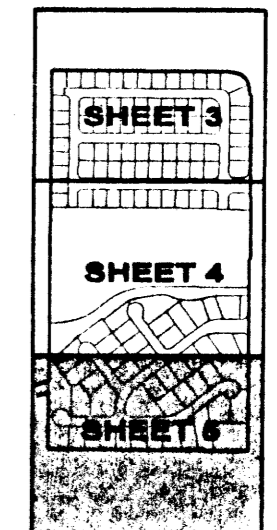
TRAIL NW
 (Interior Streets)
 TRACT F
 2.7103 Acres

**PLAT OF
OXBOW NORTH**
(A REPLAT OF TRACT B-1,
ARCHDIOCESE OF SANTA FE)
ALBUQUERQUE, NEW MEXICO
JANUARY, 2003

CROSS HATCHED AREA DESIGNATES
PUBLIC STREET RIGHT-OF-WAY
TO BE DEDICATED TO THE CITY
OF ALBUQUERQUE WITH THE
FILING OF THIS PLAT



SCALE: 1" = 60'



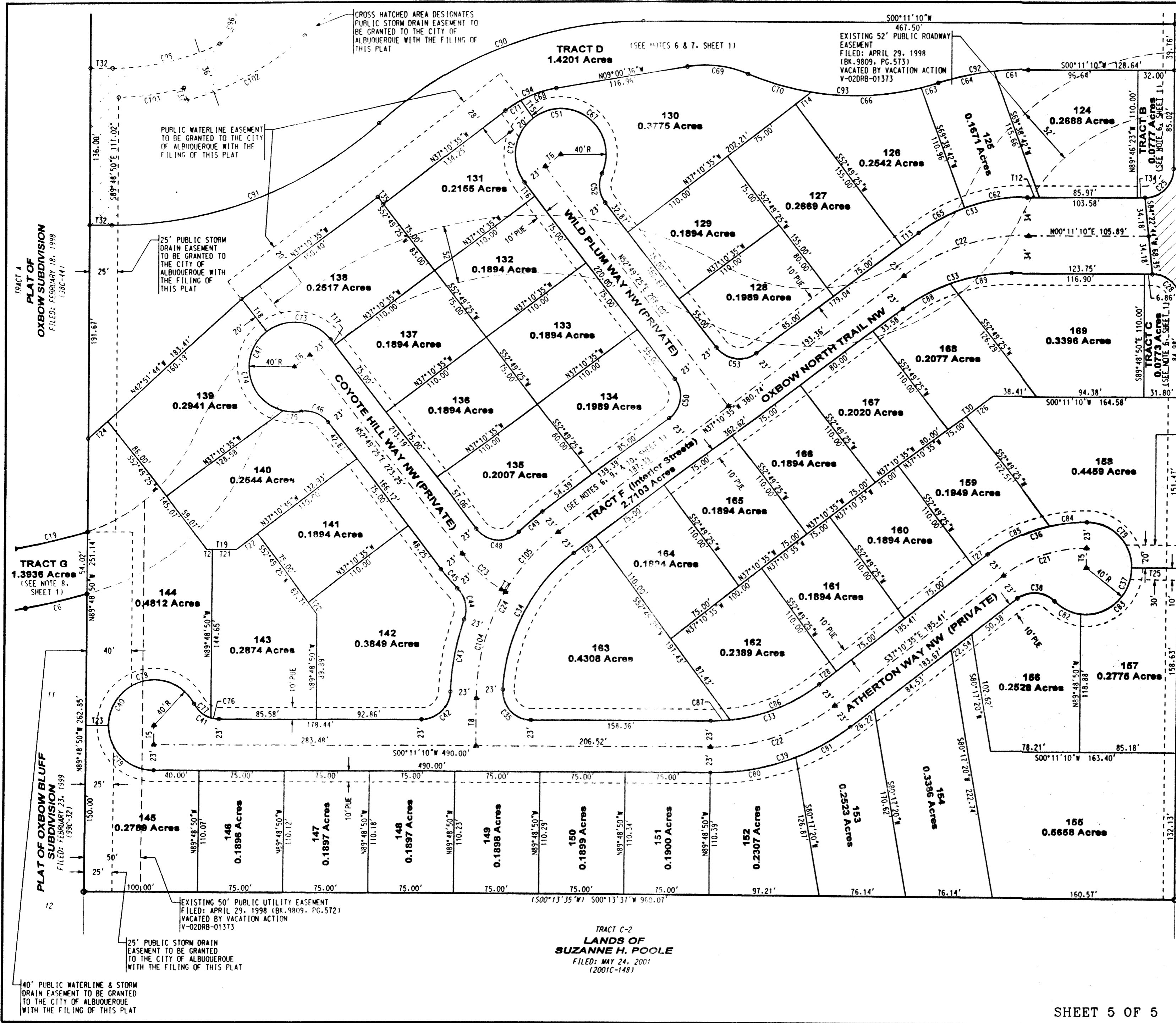
LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- - - CENTERLINE
- - - PROPOSED EASEMENT LINE
- - - EXISTING EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- - - EXISTING (OLD) LOT LINE
- - - RIGHT OF WAY
- 10' PUE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- 5/8" REBAR WITH 1 1/2" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
- FOUND 1/2" REBAR WITH 1" SURVEY CAP STAMPED "PS 10464"
- × FOUND CONCRETE NAIL WITH SURVEY WASHER STAMPED "PS 10464"

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ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGIES

SHEET 5 OF 5



TRACT C-2
**LANDS OF
SUZANNE H. POOLE**
FILED: MAY 24, 2001
(2001C-148)

TRACT A
OXBOW SUBDIVISION
FILED: FEBRUARY 18, 1998
(138C-44)

TRACT G
1.3936 Acres
(SEE NOTE 8,
SHEET 1)

PLAT OF OXBOW BLUFF
SUBDIVISION
FILED: FEBRUARY 23, 1999
(199C-32)

PUBLIC WATERLINE EASEMENT
TO BE GRANTED TO THE CITY
OF ALBUQUERQUE WITH THE
FILING OF THIS PLAT

25' PUBLIC STORM
DRAIN EASEMENT
TO BE GRANTED TO
THE CITY OF
ALBUQUERQUE WITH
THE FILING OF
THIS PLAT

EXISTING 50' PUBLIC UTILITY EASEMENT
FILED: APRIL 29, 1998 (BK. 9809, PG. 572)
VACATED BY VACATION ACTION
V-02DRB-01373

25' PUBLIC STORM DRAIN
EASEMENT TO BE GRANTED
TO THE CITY OF ALBUQUERQUE
WITH THE FILING OF THIS PLAT

40' PUBLIC WATERLINE & STORM
DRAIN EASEMENT TO BE GRANTED
TO THE CITY OF ALBUQUERQUE
WITH THE FILING OF THIS PLAT

CROSS HATCHED AREA DESIGNATES
PUBLIC STORM DRAIN EASEMENT TO
BE GRANTED TO THE CITY OF
ALBUQUERQUE WITH THE FILING OF
THIS PLAT

30' PUBLIC WATERLINE,
SANITARY SEWER, & STORM
DRAIN EASEMENT TO BE
GRANTED TO THE CITY OF
ALBUQUERQUE WITH THE
FILING OF THIS PLAT

NAMASTE ROAD NW (60' R/W)

EXISTING 52' PUBLIC ROADWAY
EASEMENT
FILED: APRIL 29, 1998
(BK. 9809, PG. 573)
VACATED BY VACATION ACTION
V-02DRB-01373

GRAHAM-RAY A. III PARCEL
 EXISTING LA BIENVENIDA PL.
 LOT 4-A, WEST BANK ESTATES

- SURVEY NOTES:**
- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THIS (●) SHALL BE MARKED BY A #5 REBAR STAMPED "WEAVER L.S. 6544".
 - ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THIS (▲) WILL BE MARKED BY A FOUR (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED. DO NOT DISTURB. P.L.S. 6544".
 - THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
 - BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE GRID BEARINGS.
 - DISTANCES SHALL BE GROUND DISTANCES.
 - MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE POINTS TO ALLOW THE USE OF CENTERLINE MONUMENTATION.
- GENERAL NOTES:**
- EXISTING ZONING: SU-3
 PROPOSED ZONING: SU-3
 - TOTAL AREA: 39.6411 ACRES
 NET ACRES: 29.0158 ACRES
 TRACT A (PRIVATE STREETS): 5.7781 ACRES
 TRACT B (PRIVATE STREETS): 1.8810 ACRES
 TRACT C (PRIVATE STREETS): 2.7560 ACRES
 TRACT D: 0.0339 ACRES
 TRACT E: 0.1763 ACRES
 - TOTAL NUMBER OF LOTS/TRACTS: 169 LOTS
 5 TRACTS
 PROPOSED DENSITY: 5.82 D.U./AC.
 - TRACT A, AND TRACT C IS SUBJECT TO A PUBLIC SANITARY SEWER, WATERLINE, SUBSURFACE STORM DRAIN EASEMENT TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT.
 - TRACT A, AND TRACT C IS ALSO SUBJECT TO A PRIVATE ACCESS AND SURFACE DRAINAGE EASEMENT TO SERVE LOTS 1 THRU 123 IN TRACT A (UNITS 1 AND 2) AND LOTS 1 THRU 46 IN TRACT C (UNIT 3) IN THE OXBOW NORTH SUBDIVISION. TRACT A, B, C, D & E IS TO BE RESERVED FOR AND GRANTED TO OXBOW NORTH HOMEOWNERS ASSOCIATION AND ITS ASSIGNS BY SEPARATE DOCUMENT.
 - ALL INTERIOR STREETS (TRACT A) AND (TRACT C) ARE PRIVATE AND TO BE MAINTAINED BY OXBOW NORTH HOMEOWNERS ASSOCIATION.
 - THIS SUBDIVISION LIES WITHIN THE CITY OF ALBUQUERQUE. WATER AND SANITARY SEWER CAPABILITIES ARE BASED ON THE CITY OF ALBUQUERQUE'S FACILITIES. WATER AND SANITARY SEWER INFRASTRUCTURE IMPROVEMENTS MUST BE APPROVED BY THE CITY OF ALBUQUERQUE.

APPROVED: *[Signature]* 8/29/02
 CITY SURVEYOR

OWNER: *[Signature]* 8-29-02
 JAMES HILBERS, MANAGING MEMBER, OXBOW NORTH VENTURES. DATE

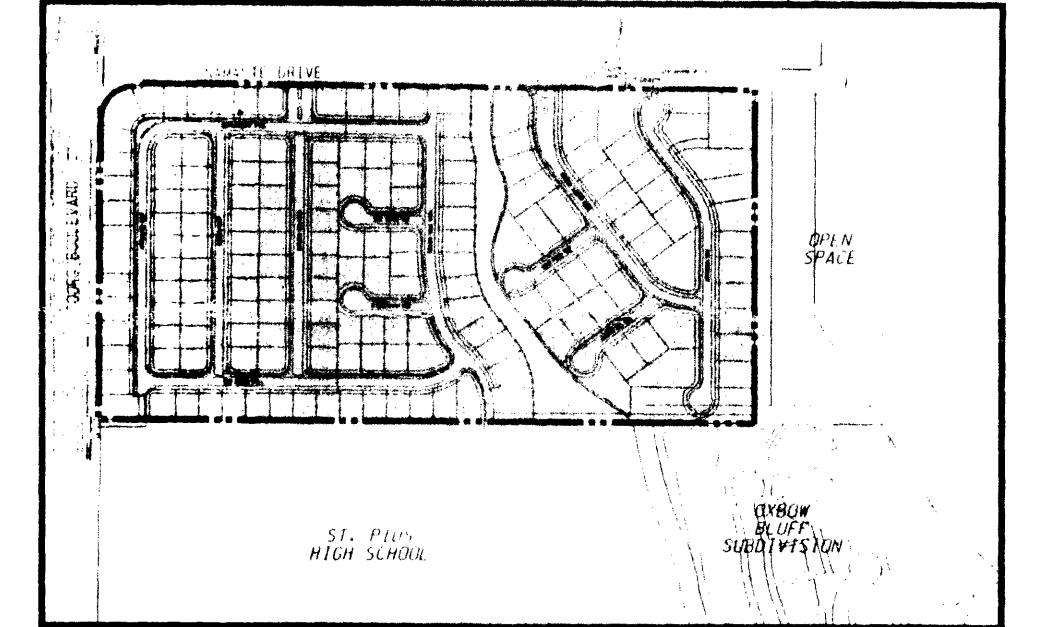
TRACT C
 TOWN OF ATRISCO GRANT
 FILED: 05-17-82
 (C-9-146)

TANGENT DATA

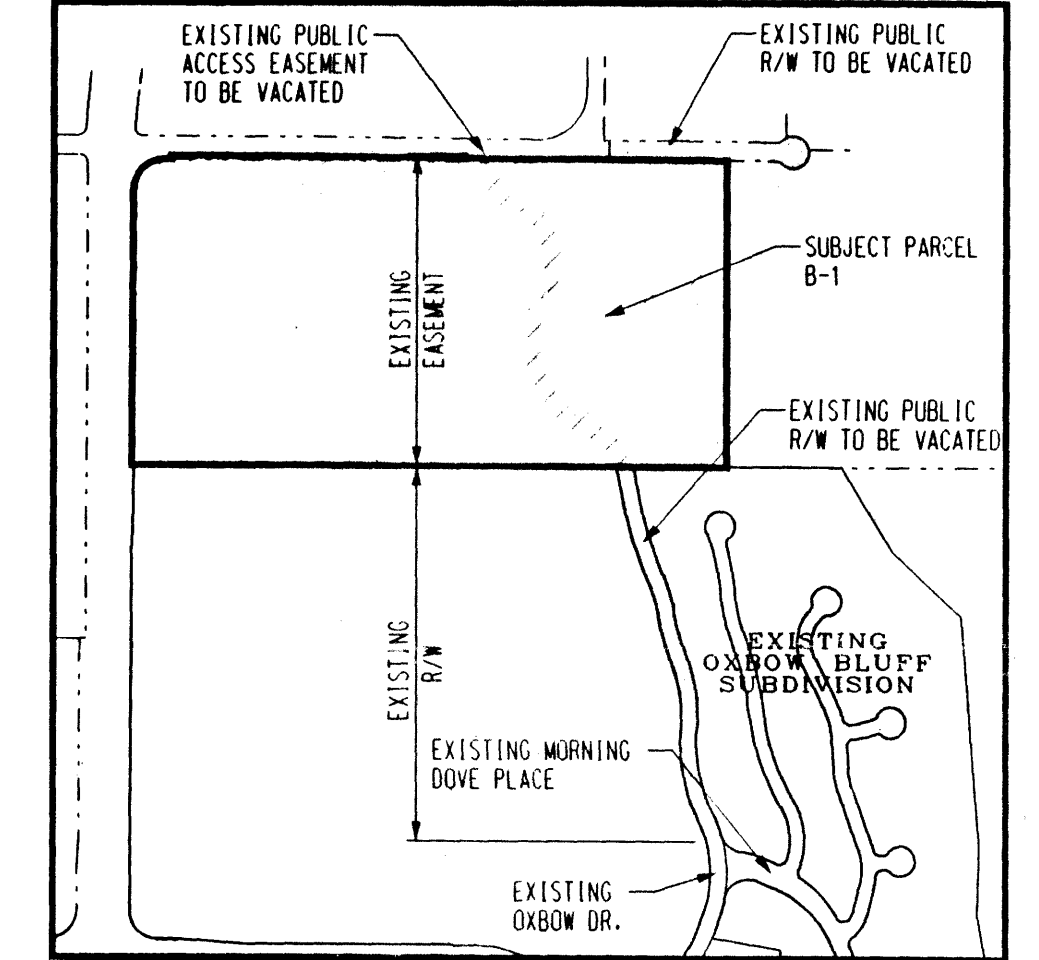
ID	BEARING	DISTANCE
T1	S03°15'42"E	9.34'

CURVE DATA

ID	DELTA	ARC	RADIUS	CHORD	CHORD BRG
C1	10°50'39"	47.32'	250.00'	47.25'	S84°47'56"W
C2	63°41'12"	91.15'	82.00'	86.53'	S47°32'00"W
C3	14°03'38"	36.81'	150.00'	36.72'	S08°39'35"W
C4	01°27'34"	59.15'	3741.72'	99.11'	S00°53'58"W

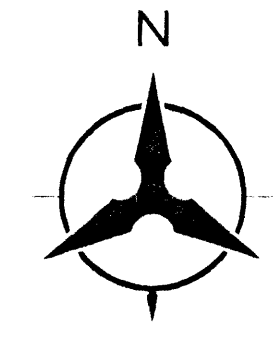


LOCATION MAP
 ZONE ATLAS MAP NO. F-11
 NOT TO SCALE



VACATION DETAIL "A"
 NOT TO SCALE

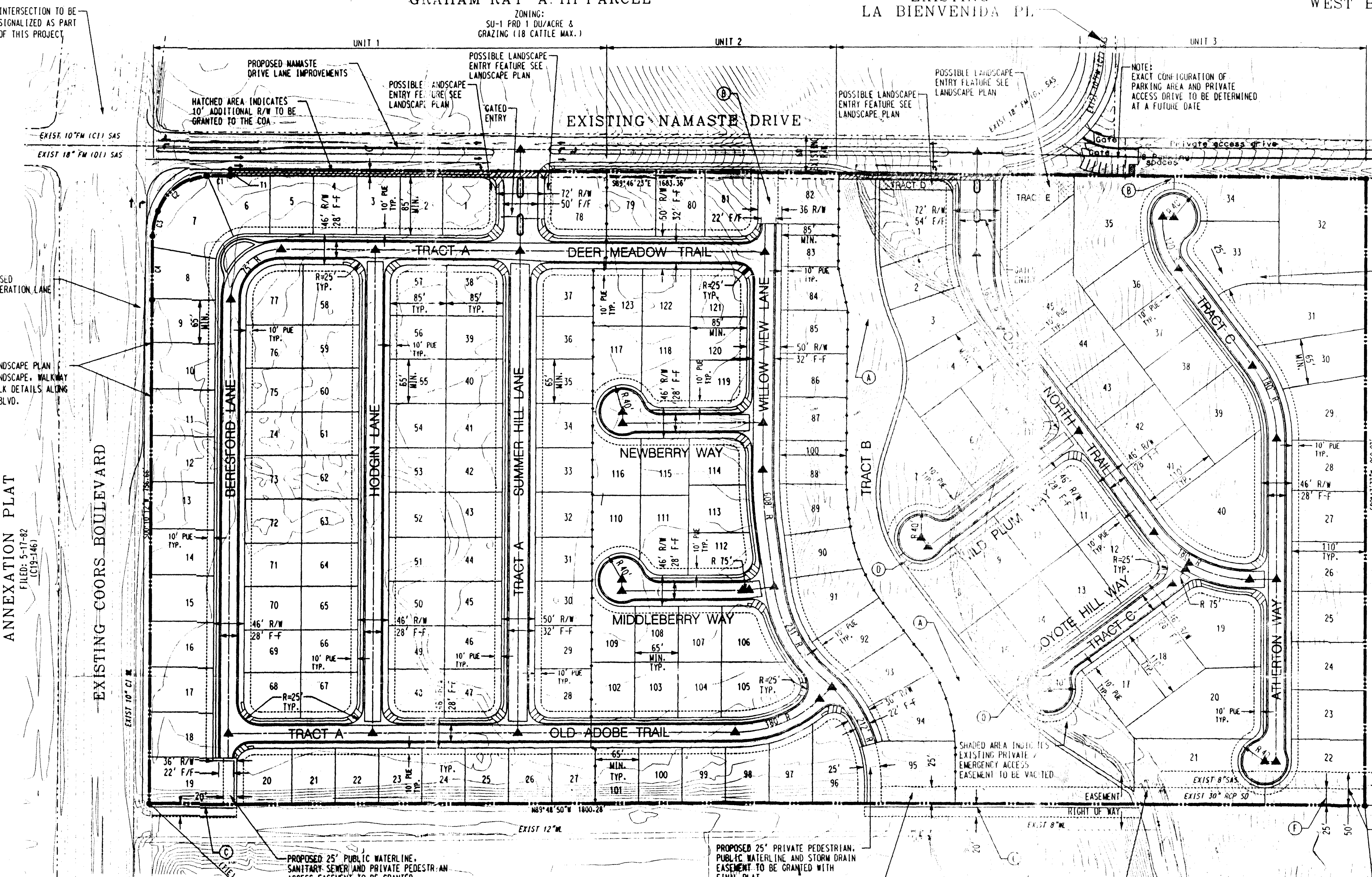
- LEGEND**
- PARCEL BOUNDARY: Dashed line
 - PHASE BOUNDARY LINE: Dotted line
 - PROPOSED PROPERTY LINE: Solid line
 - PROPOSED RIGHT OF WAY LINE: Solid line with arrows
 - EXISTING ACCESS EASEMENT AND/OR PUBLIC R/W TO BE VACATED WITH THIS PROJECT: Dashed line with arrows
 - PROPOSED LANDSCAPE FEATURE - SEE LANDSCAPE PLANS: TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION: Stippled pattern
 - NEW PUBLIC RIGHT OF WAY TO BE GRANTED WITH THIS PROJECT: Solid line with arrows
 - PROPOSED NEW SIDEWALK / TRAIL: Dashed line with arrows
 - PROPOSED DEFERRED SIDEWALK: Dotted line with arrows
 - EXISTING 50' PUBLIC STORM DRAIN AND SEWER EASEMENT TO REMAIN: Solid line with arrows



SCALE: 1"=100'
 (HORIZ.)

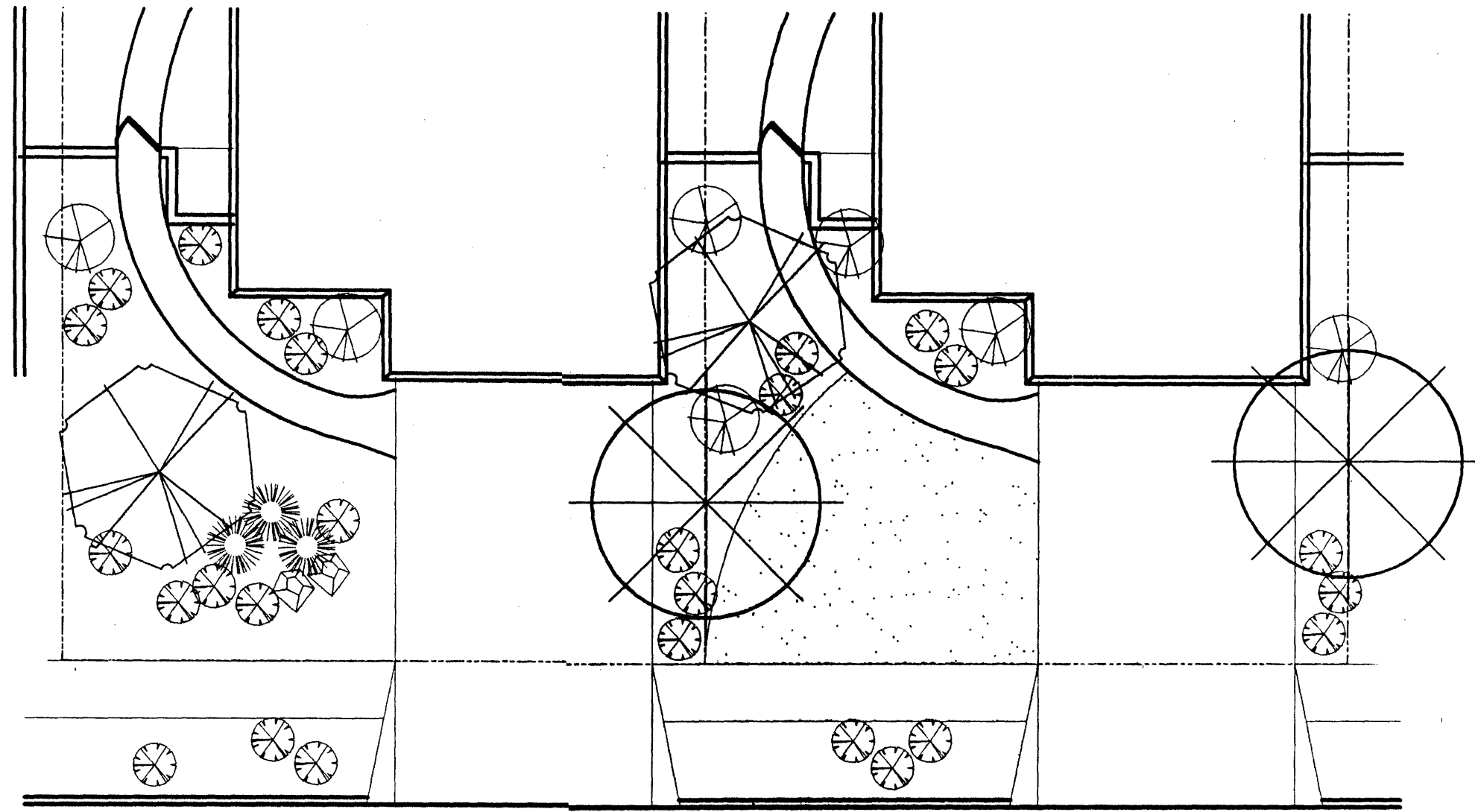
PRELIMINARY PLAT OXBOW NORTH AT OXBOW (A REPLAT OF TRACT B-1 ARCHDIOCESE OF SANTA FE)

ALBUQUERQUE, NEW MEXICO
 AUGUST, 2002



NGS BRASS TABLET STAMPED "JOSEPH 1969"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X = 366,686.82 Y = 1,502,246.75
 GROUND TO GRID FACTOR = 0.99967551
 DELTA ALPHA = -00°15'24"
 ELEVATION = 5113.852

- Keyed Note Table
- A BLANKET SLOPE AND LANDSCAPE EASEMENT TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION. SEE LANDSCAPE PLAN. ALSO TRACT B WILL CONSIST OF A 20' WIDE FLOATING PUBLIC PEDESTRIAN AND PUBLIC WATERLINE EASEMENT
 - PROPOSED 30' WIDE PUBLIC WATERLINE, SANITARY SEWER AND STORM DRAIN EASEMENT TO BE GRANTED WITH FINAL PLAT
 - PROPOSED 20' PUBLIC ACCESS EASEMENT TO BE GRANTED BY SEPARATE DOCUMENT
 - PROPOSED 20' WIDE PUBLIC WATERLINE EASEMENT TO BE GRANTED WITH FINAL PLAT
 - EXISTING 50' PUBLIC STORM DRAIN AND SANITARY SEWER EASEMENT TO BE VACATED
 - PROPOSED 25' PUBLIC WATERLINE AND STORM DRAIN EASEMENT TO BE GRANTED WITH FINAL PLAT



MINIMUM FRONT YARD LANDSCAPE STANDARDS

Southwest Package

- 1 Focal Tree (min. 15 gallon)
- 1 Tree (min. 7 gallon)
- 5 Shrubs (min. 5 gallon)
- 16 Wild Flowers/Groundcovers (min. 1 gallon)
- 2 Landscape Boulders (3x3 min.)

Combination Package

- 1 Focal Tree (min. 15 gallon)
- 1 Tree (min. 7 gallon)
- 5 Shrubs (min. 5 gallon)
- 10 Wild Flowers/Groundcovers (min. 1 gallon)
- Turf Sod w/Steel Edging

In addition, all front yard landscaping shall be required to have the following:

¾" Santa Fe Brown Rock Mulch over filter fabric for all landscaped areas that are not covered with living vegetative groundcover

The following approved Accents can be used for front yard landscaping:

2"-4" Cobbles (max. 25% of Area), Bark Mulch (in tree wells only)

GENERAL PLANT PALETTE FOR FRONT YARD LANDSCAPES

This list is provided as a guide only. Additional plant materials included in the 'Albuquerque Plant List' are acceptable subject to the Water Conservation Landscaping and Water Waste Ordinance.

Focal Trees*

Pinon Pine, New Mexico Olive or Washington Hawthorn

Ornamental Trees*

Desert Willow or Pine

*Palm Yucca and Ocotillo shall not be considered to fulfill the requirement for front yard trees.

Shrubs (5 gallon)

Spanish Broom, Regal Mist, India Hawthorn, Rosemary, Cotoneaster, Autumn Sage

Groundcovers and Wildflowers (1 gallon)

Blue Pincushion, Santolina, Wallflower, Gaillardia, Coreopsis, Red Hot Poker, Tam Juniper, Lavender or Penstemon

IRRIGATION SYSTEM

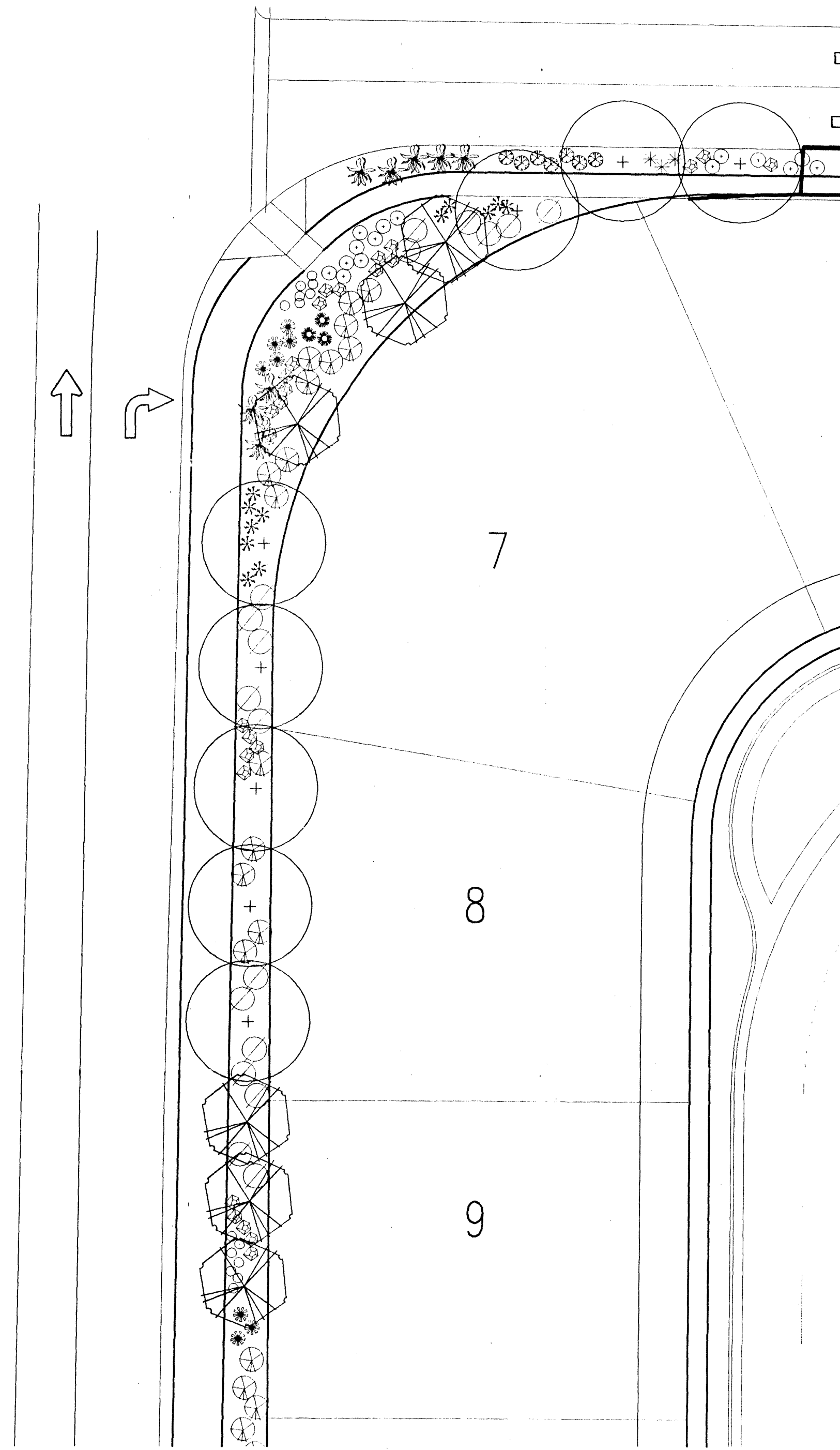
The irrigation system shall consist of a fully automated sprinkler/drip system to irrigate turf, trees, shrubs, and groundcovers.

MAINTENANCE RESPONSIBILITY

Maintenance of the landscaping and irrigation system, including areas within the City R.O.W., shall be the responsibility of the individual homeowners.

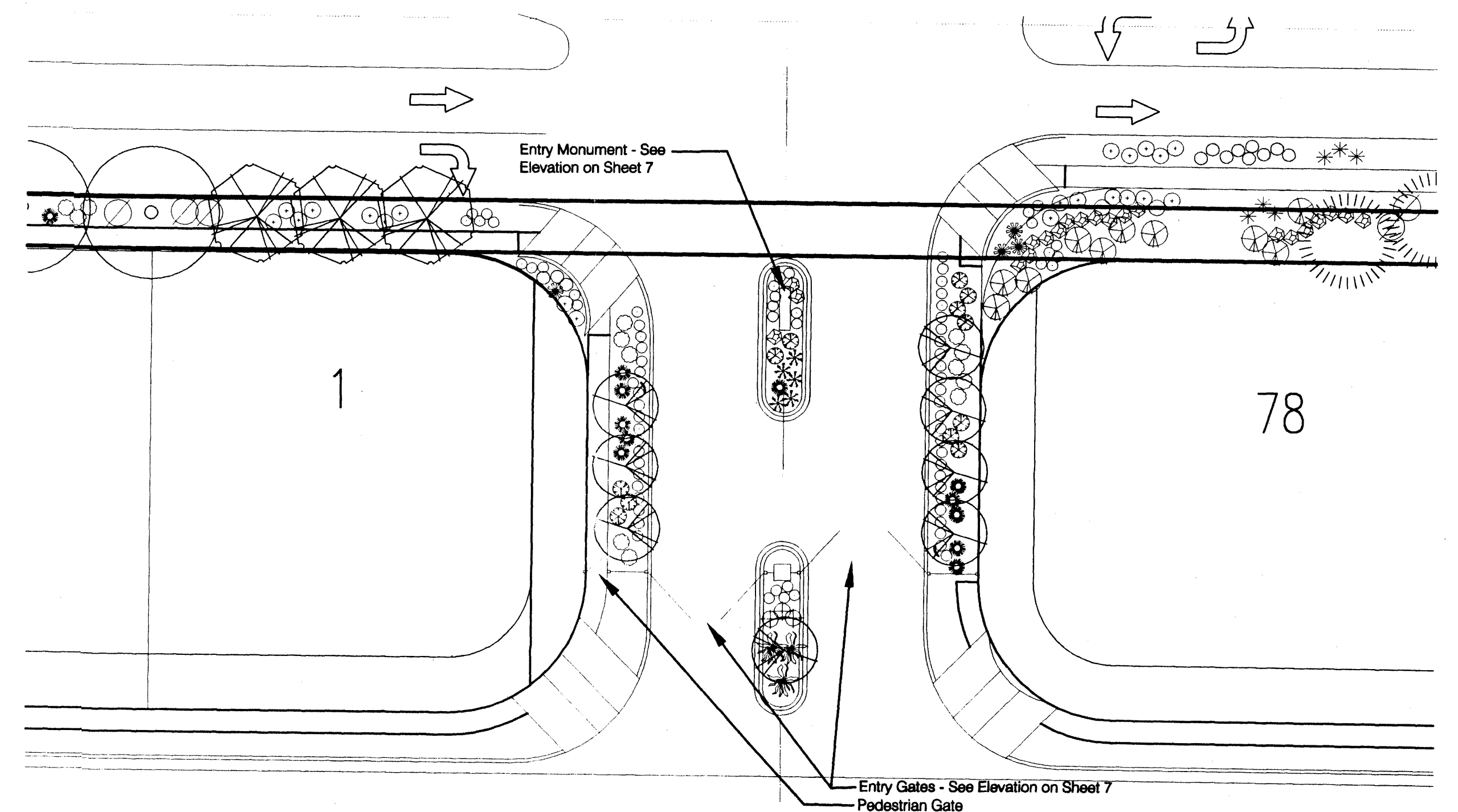
TYPICAL FRONT YARD LANDSCAPE PLAN

1" = 10'



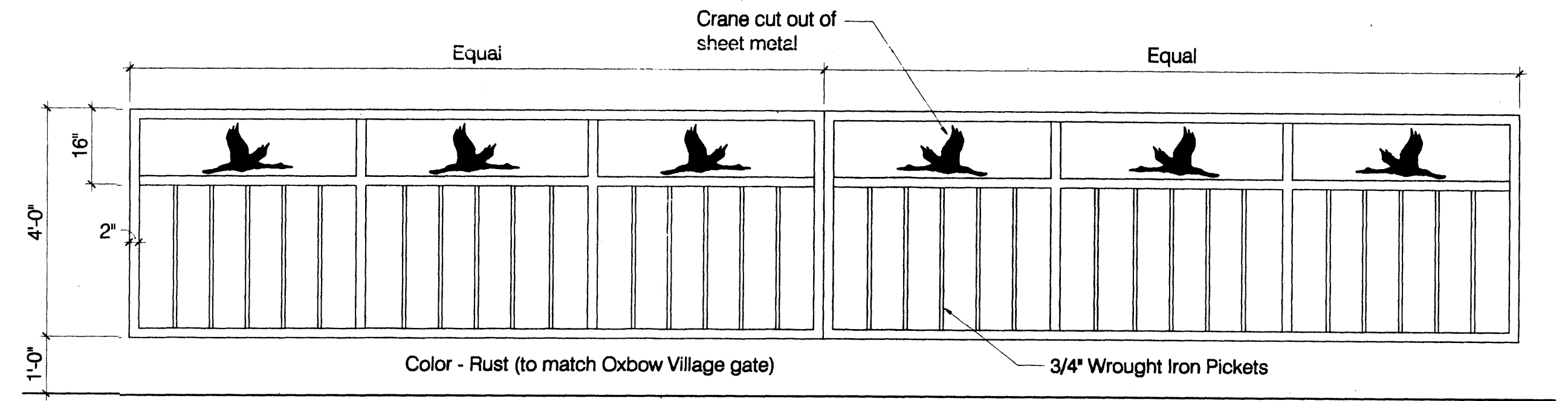
TYPICAL STREETSCAPE LANDSCAPE

1" = 20'



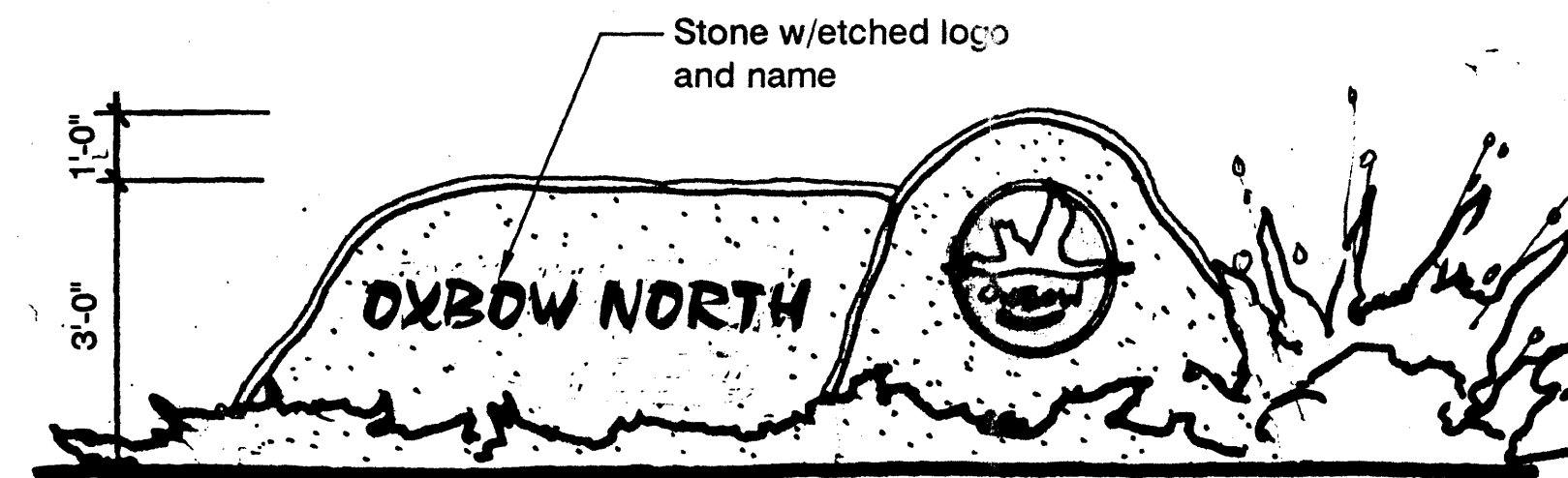
TYPICAL ENTRY LANDSCAPE

1" = 20'



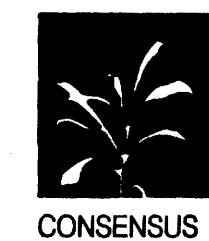
ENTRY GATE ELEVATION

1/2" = 1'-0"



ENTRY MONUMENT ELEVATION

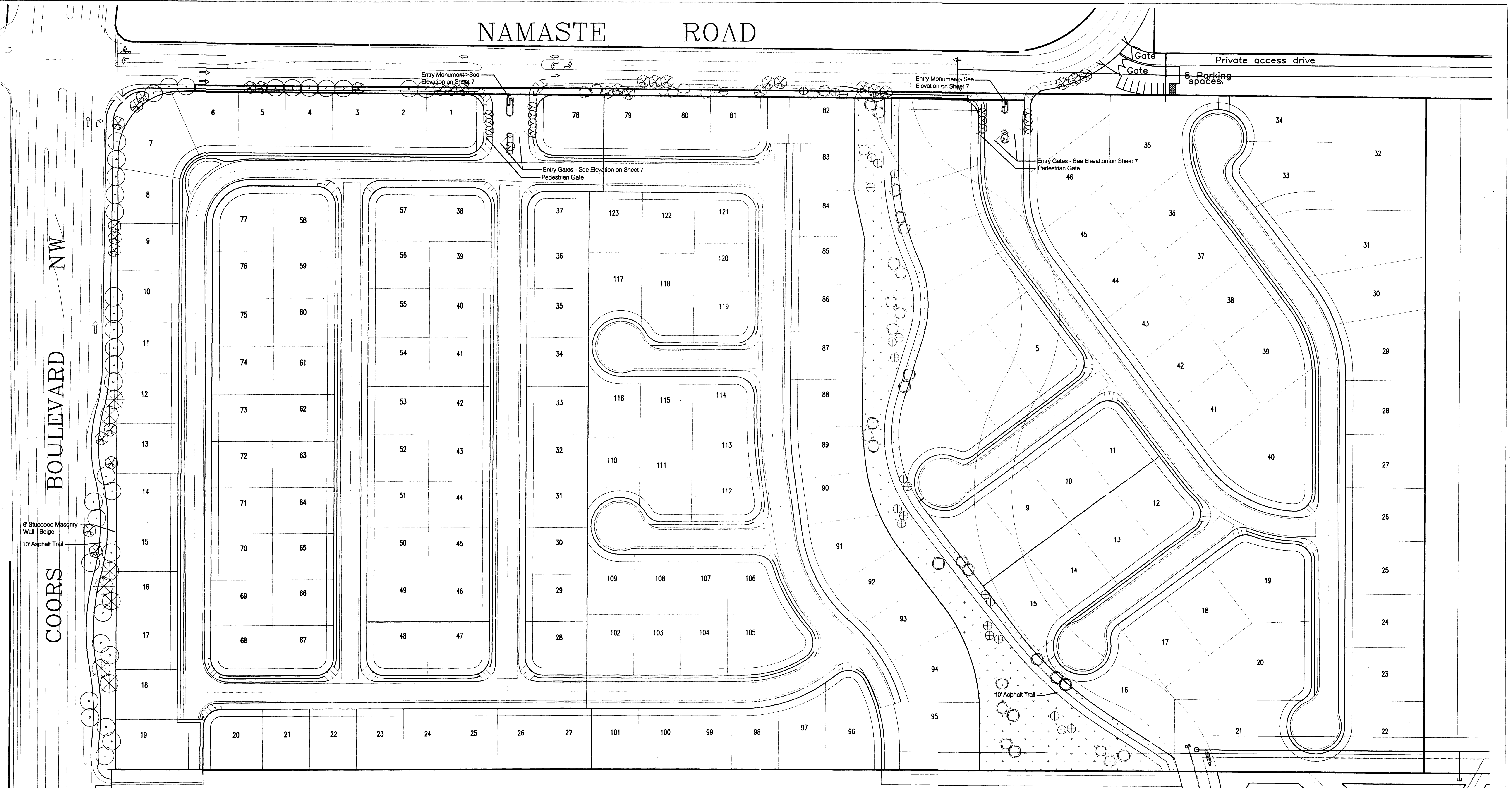
1/2" = 1'-0"



CONSENSUS PLANNING, INC.
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 924 Park Avenue SW
 Albuquerque, NM 87102
 (505) 764-9801 Fax 842-5495
 e-mail: cp@consensusplanning.com

OXBOW NORTH
CONCEPTUAL LANDSCAPE DETAILS

NAMASTE ROAD



GENERAL

The design and provision of landscaping for Oxbow North shall be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in the design and installation.

GENERAL PLANT PALETTE

This list is provided as a guide only. Additional plant materials included in the "Albuquerque Plant List" are acceptable subject to the Water Conservation Landscaping and Water Waste Ordinance.

Evergreen Trees (6" min. height)*
 Pinon Pine, Austrian Pine

Large Canopy Trees (min. 2" caliper B&B)*
 Modesto Ash, Raywood Ash, Honeylocust, Cottonwood

Ornamental Trees (min. 1-1/2" caliper B&B)*
 Desert Willow, Chitalpa, New Mexico Olive, Ornamental Pear, Golden Rain tree, Flowering Locust, Eastern Redbud, Chaste Tree

Shrubs, Groundcovers and Wildflowers (1 and 5 gallon)

Juniper Species, Potentilla, Chamisa, Artemisia Species, Red Yucca, Fourwing Saltbush, Apache Plume, Mountain Mahogany, Evening Primrose, Penstemon Species, Desert Spoon, Cliff Rose, Three-leaf Sumac, Baccharis, Yucca Species, Cherry Sage, Russian Sage, Blue Mist, Turpentine Bush, Rosemary, Dwarf Fountain Grass, Threadgrass, Beargrass, Boston Ivy, English Ivy, Virginia Creeper

Revegetative Seed Mix
 Oxbow Mix of Native Grasses and Wildflowers

Mulches
 Santa Fe Brown Crusher Fines, 3/4" Santa Fe Brown Rock Mulch, 2" - 4" Santa Ana Tan Cobble

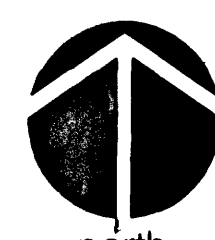
Landscape Boulders
 Moss Rock and/or Granite (3" min. dimension)

IRRIGATION SYSTEM

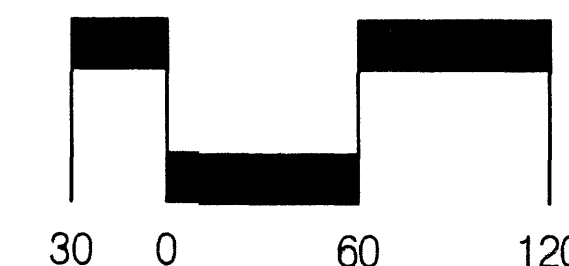
The irrigation system shall consist of a fully automated sprinkler/drip system to irrigate turf, and tree, shrub, and groundcover plantings.

MAINTENANCE RESPONSIBILITY

Maintenance of the landscaping and irrigation system, including areas within the City R.O.W., shall be the responsibility of the homeowner's association to be formed for Oxbow North.

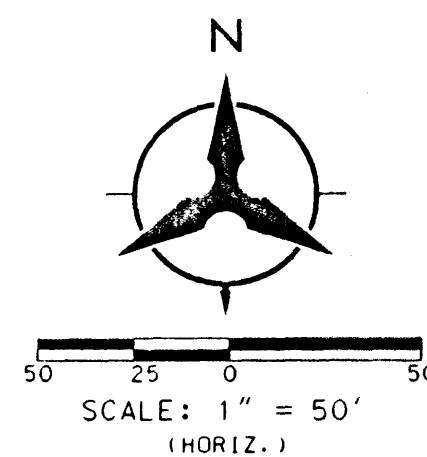
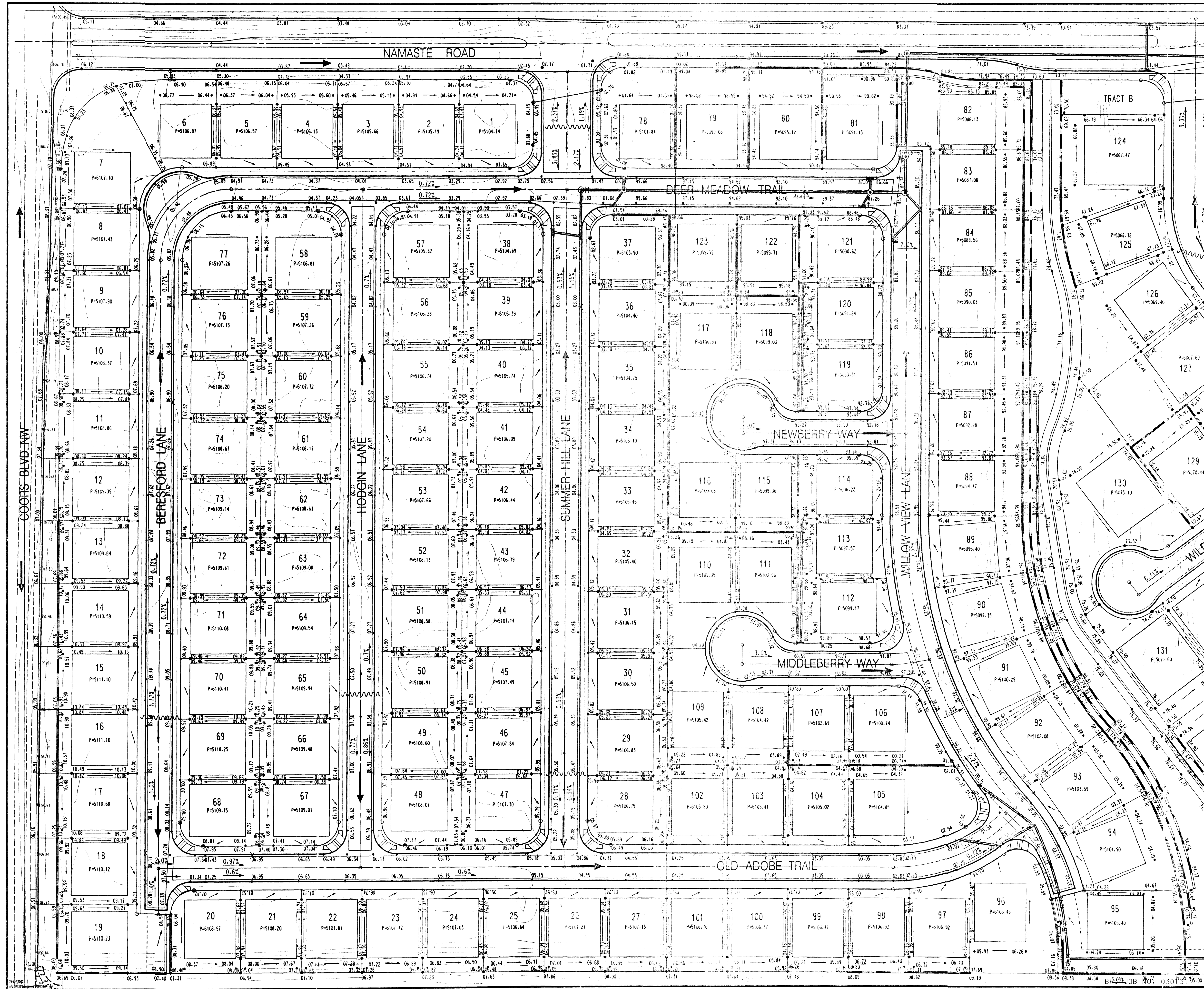


north



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 e-mail: cp@consensusplanning.com

OXBOW NORTH CONCEPTUAL LANDSCAPE PLAN



- LEGEND**
- PROPOSED SPOT ELEVATION • 5235.25
 - FL OF RAIL CURB ELEVATION • 5235.25
 - EXISTING SPOT ELEVATION 5235.25
 - EXISTING CONTOUR ———
 - DIRECTION OF FLOW →
 - EXISTING STORM DRAIN LINE ———
 - PROPOSED STORM DRAIN INLET [Symbol]
 - PROPOSED STORM DRAIN LINE [Symbol]
 - PROPOSED STORM DRAIN MANHOLE [Symbol]
 - PROPOSED WATER BLOCK [Symbol]
 - RETAINING WALL [Symbol]
 - GARDEN WALL [Symbol]
 - POND CONTOUR [Symbol]

RECEIVED
SEP 24 2002
PVD/DESIGN REVIEW

APPROVED FOR ROUGH GRADING _____ DATE _____

Bohannon & Huston
 Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP
OXBOW NORTH AT OXBOW
 GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			

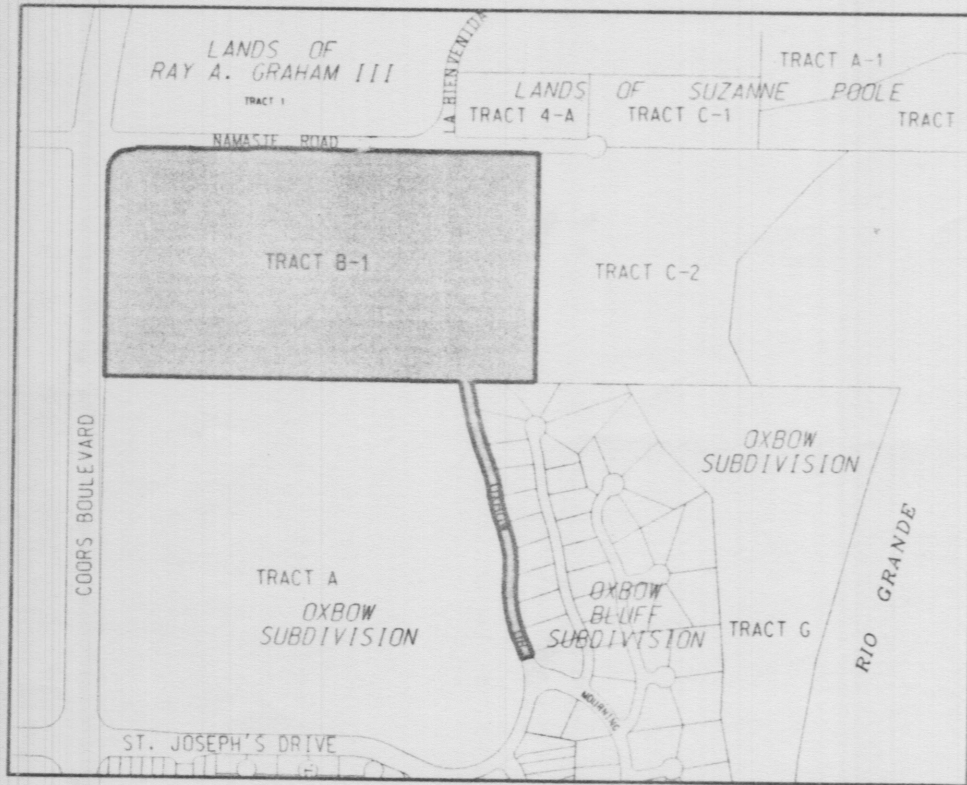
CITY PROJECT NO. _____ ZONE MAP NO. **G-11** SHEET **1** OF **2**

ENGINEER'S SEAL SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
NO.	DATE	AC'S BRASS TABLE STAMPED "JOSEPH"	CONTRACTOR	DATE	NO.
		GEOGRAPHIC POSITION (NAD 1927)	BY		
		N.M. STATE PLANE COORDINATES	INSPECTOR'S	DATE	
		(CENTRAL ZONE) X=5366.686.82	FLUPLANCE BY	DATE	
		Y=1502.246.75	VERIFICATION BY	DATE	
		GROUND-TO-GRID FACTOR = 0.999967551	CORRECTED BY	DATE	
		DELTA ALPHA=00°15'24"	MICRO-FILM INFORMATION		
		NGVD 1929 ELEVATION = 5113.852'	RECORDED BY	DATE	
			NO.		



NO.	DATE	REMARKS	BY
		DESIGN	
		REVISIONS	
		DATE 08/2002	
		DATE 08/2002	
		DATE 06/2002	

SP-2003042165



LOCATION MAP

ZONE ATLAS INDEX MAP No. F-11-Z & G-11-Z
NOT TO SCALE

SUBDIVISION DATA

- 1. DRB Project No. 1002092.
2. Zone Atlas Index No. F-11-Z & G-11-Z.
3. Gross Subdivision Acreage: 41.0699 Acres.
4. Total Number of Lots/Tracts created: One hundred twenty four (124) Lots and Seven (7) Tracts.
5. Total Mileage of full width Private Streets created: 1.0660 miles.
6. Total Mileage of partial width Public R-O-W (Namaste Drive NW): 0.0717 mile.
7. Date of Survey: August, 2002.
8. Plat is located within the Section 35, T11N, R2E, NMPM, and within the Town of Albuquerque Grant and within projected Section 2, T10N, R2E, and projected Section 35, T11N, R2E, NMPM.

DISCLOSURE STATEMENT

The purpose of this Plat is to Subdivide all of Tract B-1 of the PLAT OF TRACTS B-1 & B-2 ARCHDIOCESE OF SANTA FE, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 15, 1995 in Volume 95C, Folio 171 as Document No. 95048595, together with a southerly portion of Namaste Road NW and a northerly portion of Oxbow Drive NW into the hundred twenty four (124) Lots and Seven (7) Tracts, to dedicate additional public right-of-way to the City of Albuquerque, to vacate easements, and to grant easements.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS shown on this plat are for the common joint use of:

- A. PNM Electric Services for the installation, maintenance and service of underground & overhead electrical lines, transformers, and other equipment, fixtures, structures, and related facilities reasonably necessary to provide electrical service.
B. PNM Gas services for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas.
C. DWEST for the installation, maintenance, and service of all buried communication lines and other related equipment and facilities reasonably necessary to provide communication services, including but not limited to above ground pedestals and closures.
D. Comcast Cable for the installation, maintenance, and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide Cable TV service.

Included is the right to build, rebuild, construct, reconstruct, locate, relocate, change, remove, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from, and over said easements, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool, (above ground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements, nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electric Safety Code caused by construction of pools, decking, or any structures adjacent to or near easements shown on this plat.

Easements for electric transformers/switchgear, as installed shall extend ten feet (10') in front of transformers/switchgear door and five feet (5') on each side.

DESCRIPTION

A certain tract of land situated within the south one-half (S1/2) of Section 35, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico, and within the Town of Albuquerque Grant within the northeast one-quarter (NE1/4) of projected Section 2, Township 10 North, Range 2 East, within the south one-half (S1/2) of projected Section 35, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract B-1 of the PLAT OF TRACTS B-1 & B-2 ARCHDIOCESE OF SANTA FE, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 15, 1995 in Volume 95C, Folio 171 as Document No. 95048595, together with portions of street right-of-way of Namaste Road NW and Oxbow Drive NW and being more particularly described by New Mexico State Plane Grid Bearings (Central Zone NAD 1927) and ground distances as follows:

Beginning at the southwest corner of said Tract B-1, a point on the easterly right-of-way line of Coors Boulevard NW, whence the Albuquerque City Survey (ACS) Monument "JOSEPH 1969", a standard USCGS brass tablet set in top of a concrete monument having New Mexico State Plane Coordinates, Central Zone (NAD 1927) of X=366,686.82 and Y=1,502,246.75 bears S47°12'35"E, a distance of 2015.81 feet and from said point of beginning running thence along the westerly boundary line of said Tract B-1 and also along said right-of-way line, N00°10'12"E, a distance of 756.66 feet to a point of curvature; thence, 95.31 feet along the arc of a curve to the right having a radius of 3741.72 feet and a chord which bears N00°53'59"E, a distance of 95.31 feet to a point of compound curvature; thence, 36.81 feet along the arc of a curve to the right having a radius of 150.00 feet and a chord which bears N08°39'35"E, a distance of 36.72 feet to a point of compound curvature; thence, 91.15 feet along the arc of a curve to the right having a radius of 82.00 feet and a chord which bears N47°32'00"E, a distance of 86.53 feet to a point of compound curvature; thence, 47.46 feet along the arc of a curve to the right having a radius of 250.00 feet and a chord which bears N03°15'42"E, a distance of 47.39 feet to a point of non-tangency; thence, N03°15'42"E, a distance of 9.06 feet to the northwest corner of said Tract B-1, a point on the southerly right-of-way line of Namaste Road NW, thence running along the northerly boundary line of said Tract B-1 and also along said right-of-way line, S89°46'23"E, a distance of 470.40 feet to a point of curvature (non-tangent), thence leaving the northerly boundary line of said Tract B-1 and also said right-of-way line and running along the northerly boundary line of the tract herein described, 16.09 feet along the arc of a curve to the right having a radius of 25.00 feet and a chord which bears N71°47'31"E, a distance of 15.81 feet to a point of tangency; thence, S89°46'23"E, a distance of 291.98 feet to a point of tangency; thence, S00°11'10"W, a distance of 5.00 feet to a point on the northerly boundary line of said Tract B-1, and also being a point on the northerly right-of-way line of Namaste Road NW, thence running along the southerly boundary line of said Tract B-1 and along said right-of-way line, S89°46'23"E, a distance of 905.99 feet to the northeast corner of said Tract B-1, thence leaving said right-of-way line and running thence along the easterly boundary line of said Tract B-1, S00°13'37"W, a distance of 960.07 feet to the southeast corner of said Tract B-1 and also being a point on the northerly boundary line of OXBOW BLUFF SUBDIVISION, Albuquerque, New Mexico as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County New Mexico on February 23, 1999 in Book 99C, Page 32 as Document No. 1999023990, thence running along the southerly boundary line of said Tract B-1 and also along said northerly boundary line, N89°48'50"W, a distance of 262.85 feet to the northwest corner of said OXBOW BLUFF SUBDIVISION and also being a point of curvature on the easterly right-of-way line of Oxbow Drive NW, thence running along the westerly boundary line of said OXBOW BLUFF SUBDIVISION and also along said right-of-way line, 55.33 feet along the arc of a curve to the right having a radius of 647.00 feet and a chord which bears S12°26'02"E, a distance of 55.31 feet to a point of reverse curvature; thence, 287.58 feet along the arc of a curve to the left having a radius of 1253.00 feet and a chord which bears S16°33'33"E, a distance of 286.95 feet to a point of reverse curvature; thence, 119.35 feet along the arc of a curve to the right having a radius of 497.00 feet and a chord which bears S16°15'18"E, a distance of 119.06 feet to a point of reverse curvature; thence, 109.23 feet along the arc of a curve to the left having a radius of 665.50 feet and a chord which bears S14°04'39"E, a distance of 109.11 to a point of tangency; thence, S18°46'47"E, a distance of 57.74 feet to a point of curvature; thence, 199.70 feet along the arc of a curve to the right having a radius of 501.50 feet and a chord which bears S07°22'20"E, a distance of 198.30 feet to a point of reverse curvature; thence, 262.49 feet along the arc of a curve to the left having a radius of 498.50 feet and a chord which bears S11°02'58"E, a distance of 259.47 feet to a point of reverse curvature; thence, 68.13 feet along the arc of a curve to the right having a radius of 413.00 feet and a chord which bears S21°24'30"E, a distance of 68.05 feet to a point of tangency on the westerly boundary line of Lot 1 of said OXBOW BLUFF SUBDIVISION, thence crossing said right-of-way line, S73°19'04"W, a distance of 52.00 feet to a point of curvature (non-tangent) on the easterly boundary line of Tract A of PLAT OF OXBOW SUBDIVISION as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on February 18, 1998 in Book 98C, Page 44 as Document No. 1998018015, and also being a point on the westerly right-of-way line of said Oxbow Drive NW, thence running along the easterly boundary line of said Tract A and also along said right-of-way line, 59.55 feet along the arc of a curve to the left having a radius of 361.00 feet and a chord which bears N07°22'20"W, a distance of 177.81 feet to a point of tangency; thence, 289.87 feet along the arc of a curve to the right having a radius of 550.50 feet and a chord which bears N11°02'58"W, a distance of 286.53 feet to a point of reverse curvature; thence, 178.99 feet along the arc of a curve to the left having a radius of 449.50 feet and a chord which bears N07°22'20"W, a distance of 177.81 feet to a point of tangency; thence, N18°46'47"W, a distance of 57.74 feet to a point of curvature; thence, 117.77 feet along the arc of a curve to the right having a radius of 717.50 feet and a chord which bears N14°04'39"W, a distance of 117.64 feet to a point of reverse curvature; thence, 106.86 feet along the arc of a curve to the left having a radius of 445.00 feet and a chord which bears N16°15'18"W, a distance of 106.60 feet to a point of reverse curvature; thence, 299.52 feet along the arc of a curve to the right having a radius of 1305.00 feet and a chord which bears N16°33'33"W, a distance of 298.86 feet to a point of reverse curvature; thence, 64.93 feet along the arc of a curve to the left having a radius of 595.00 feet and a chord which bears N13°06'37"W, a distance of 64.90 feet to a point on the southerly boundary line of said Tract B-1, thence leaving said right-of-way line and running thence along the southerly boundary line of said Tract B-1, N89°48'50"W, a distance of 1483.40 feet to the point and place of beginning.

Tract contains 41.0699 acres, more or less.

FREE CONSENT AND DEDICATION

The foregoing plat of that certain tract of land situated within Section 35, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, New Mexico and within the Town of Albuquerque Grant within Projected Section 2, Township 10 North, Range 2 East, and within projected Section 35, Township 11 North, Range 2 East, New Mexico Principal Meridian, Bernalillo County, Albuquerque, New Mexico, being and comprising all of Tract B-1 of the PLAT OF TRACTS B-1 & B-2 ARCHDIOCESE OF SANTA FE, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 15, 1995 in Volume 95C, Folio 171 as Document No. 95048595, together with a southerly portion of Namaste Road NW and Oxbow Drive NW, now comprising Lots 1 through 78 inclusive, Lots 124 through 169 inclusive and free consent and in accordance with the desires of the undersigned owner(s) and/or proprietor(s) thereof and said owner(s) and/or proprietor(s) do hereby dedicate public right-of-way to the City of Albuquerque in Fee Simple with warranty covenants and do hereby grant all access, Utility, and Drainage Easements hereon including the right to construct, operate, inspect, and maintain facilities therein; and all Public Utility easements shown hereon for the common and joint use of Gas, Electrical Power and Communication Services for buried and overhead distribution lines, conduits, pipes for underground and/or overhead utilities where shown or indicated, and including the right of ingress and egress for construction and maintenance, and the right to trim interfering trees and shrubs. The City has the right to enter upon the Grantee's Property at any time and perform whatever inspection, installation, maintenance, repair, modification or removal ("work") it deems appropriate without liability to the City, if work affects any Improvements or Encroachments made by the Grantee, the City will not be financially or otherwise responsible for rebuilding or repairing of Improvements or Encroachments. If in the opinion of the City, the work to be performed by the City could endanger the structural integrity or otherwise damage the Improvements or Encroachments, the Grantee shall, at its own expense take whatever protective measures are required to safeguard the Improvements or Encroachments. Said owner(s) and/or proprietor(s) do hereby consent to all of the foregoing and do hereby certify that this subdivision is with its free act and deed.

OXBOW NORTH VENTURES

BY: James W. Rogers, Managing Member

State of New Mexico)

County of Bernalillo)

This instrument was acknowledged before me on the 28th day of January, 2003, by James W. Rogers, Managing Member of Oxbow North Ventures.

My Commission Expires: 11/1/2006



NOTES

- 1. Bearings are New Mexico State Plane Grid Bearings (Central Zone NAD 1927) and are the same as shown on the PLAT OF TRACTS B-1 & B-2, ARCHDIOCESE OF SANTA FE, Albuquerque, New Mexico, recorded in the office of the County Clerk of Bernalillo County, New Mexico on May 15, 1995 in Volume 95C, Folio 171 as Document No. 95048595.
2. Distances are ground distances.
3. Record bearings & distances are shown in parenthesis ().
4. All easements of record are shown.
5. Centerline (in lieu of R/W monumentation) to be installed at all centerline PC's, PT's, angle points and street intersections prior to acceptance of subdivision street improvements and will consist of a standard four-inch (4") aluminum alloy cap stamped "CITY OF ALBUQUERQUE", "CENTERLINE MONUMENTATION", "SURVEY MARKER", "DO NOT DISTURB", "PLS #6544".
6. Tracts B, C, D, E & F are to be reserved for and granted to the Oxbow North Homeowners Association and its assigns by separate document.
7. Tract D is subject to a blanket slope and landscape easement to be owned and maintained by the Oxbow North Homeowners Association. Tract D is also subject to a 20' floating Public Pedestrian Easement to be granted to the City of Albuquerque with the filing of this plat.
8. Tract G is subject to a Public Waterline & Storm Drain Easement to be granted to the City of Albuquerque with the filing of this plat.
9. Tracts E & F are subject to a Public Sanitary Sewer, Water, and Subsurface Storm Drain Easement to be granted to the City of Albuquerque with the filing of this plat. Tracts E & F are also subject to a Private Access and Surface Drainage Easement to serve Lots 1 through 169 in the Oxbow North Subdivision.
10. All interior streets (Tracts E & F) are private and to be maintained by the Oxbow North Homeowners Association.
11. Fireplaces and/or stoves shall be limited to Gas Logs and Environmental Protection Agency approved Wood-Burning Devices. No ordinary Wood-Burning Fireplaces shall be installed in any Residential Dwelling Unit.
12. This subdivision lies within the City of Albuquerque, water and sanitary sewer capabilities are based on the City of Albuquerque's facilities. Water and sanitary sewer infrastructure improvements must be approved by the City of Albuquerque.
13. Tract G is to be reserved for & granted to the Oxbow Bluff Homeowners Association and its assigns by separate document.



PLAT OF OXBOW NORTH (A REPLAT OF TRACT B-1, ARCHDIOCESE OF SANTA FE) ALBUQUERQUE, NEW MEXICO JANUARY, 2003

APPROVALS

Table with columns: PLAT NUMBER (1002092/03-00131), Name, Title, Date. Approvals include: Susan Matson (Planning Director, 2/13/03), Brenda L. Bigham (City Engineer, 2/15/03), Robert J. Daulton (A.M.A. R., 2-05-03), Richard Daulton (Traffic Engineer, 2-05-03), Bob Shambally (City Surveyor, 01-28-03), Bob Shambally (Property Management, 02-07-03), Roger A. Green (Utility Development Department, 2/5/03), Christina Sandoval (Parks & Recreation, 2/11/03), David R. Muller (DWEST, 2-10-03), Robert Martin (Comcast Cable, 2-4-03), Lemuel G. Matz (PNM Electric Services, 2-4-03), Lead P. Muntz (PNM Gas Services, 2-4-03).

1-011-061-356-095-40115 TAX CERTIFICATION

PROPERTY OWNER OF RECORD Roman Catholic Church. Notary: Flora B. Andrade, Bernalillo County Treasurer's Office, 2-13-03.

PNM STAMP

In approving this plat, PNM Electric Services and Gas Services (PNM) did not conduct a Title Search of the properties shown hereon. Consequently, PNM does not waive nor release any easement or easement rights to which it may be entitled.

SURVEYOR'S CERTIFICATION

I, A. Dwain Weaver, a registered Professional New Mexico Surveyor, certify that I am responsible for this survey and that this plat was prepared by me or under my supervision, shows all easements of record, and conforms to the Minimum Requirements of the Board of Registration for Professional Engineers and Professional Surveyors in October, 2000 and meets the minimum requirements for monumentation and surveys contained in the Albuquerque Subdivision Ordinance, and is true and accurate to the best of my knowledge and belief.



A. Dwain Weaver, New Mexico Professional Surveyor 6544, Date: January 27, 2003.

Bohannon & Huston

Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335. ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

TRACT 1
**PLAT OF TRACTS A, B, 1, 2, 3, 4, 5, & 6 OF
 LANDS OF RAY A. GRAHAM III, OVENWEST CORP.
 AND CITY OF ALBUQUERQUE**
 FILED: APRIL 1, 2002 (2002C-99)

LANDS OF
SUZANNE H. POOLE
 FILED: MAY 24, 2001
 (2001C-148) TRACT C-1

2683824311
 9867389
 Page: 2 of 5
 82/13/2883 82:53P
 Mary Herrera Bern. Co. PLRT R 27.89 Bk-2883C Pg-31

**PLAT OF
 OXBOW NORTH**
 (A REPLAT OF TRACT B-1,
 ARCHDIOCESE OF SANTA FE)
 ALBUQUERQUE, NEW MEXICO
 JANUARY, 2003

LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- - - CENTERLINE
- - - PROPOSED EASEMENT LINE
- - - EXISTING EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- - - EXISTING (OLD) LOT LINE
- RIGHT OF WAY
- 10' PUE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- 3/4" REBAR WITH 1 1/2" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
- FOUND 1/2" REBAR WITH 1" SURVEY CAP STAMPED "PS 10464"
- ✕ FOUND CONCRETE NAIL WITH SURVEY WASHER STAMPED "PS 10464"

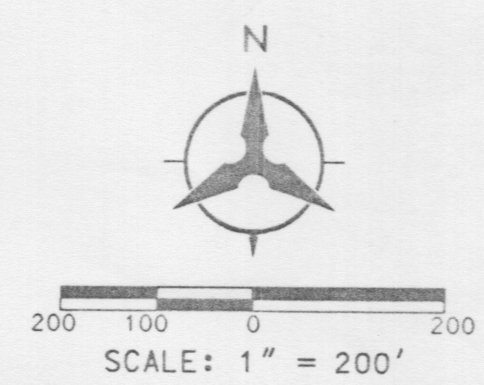
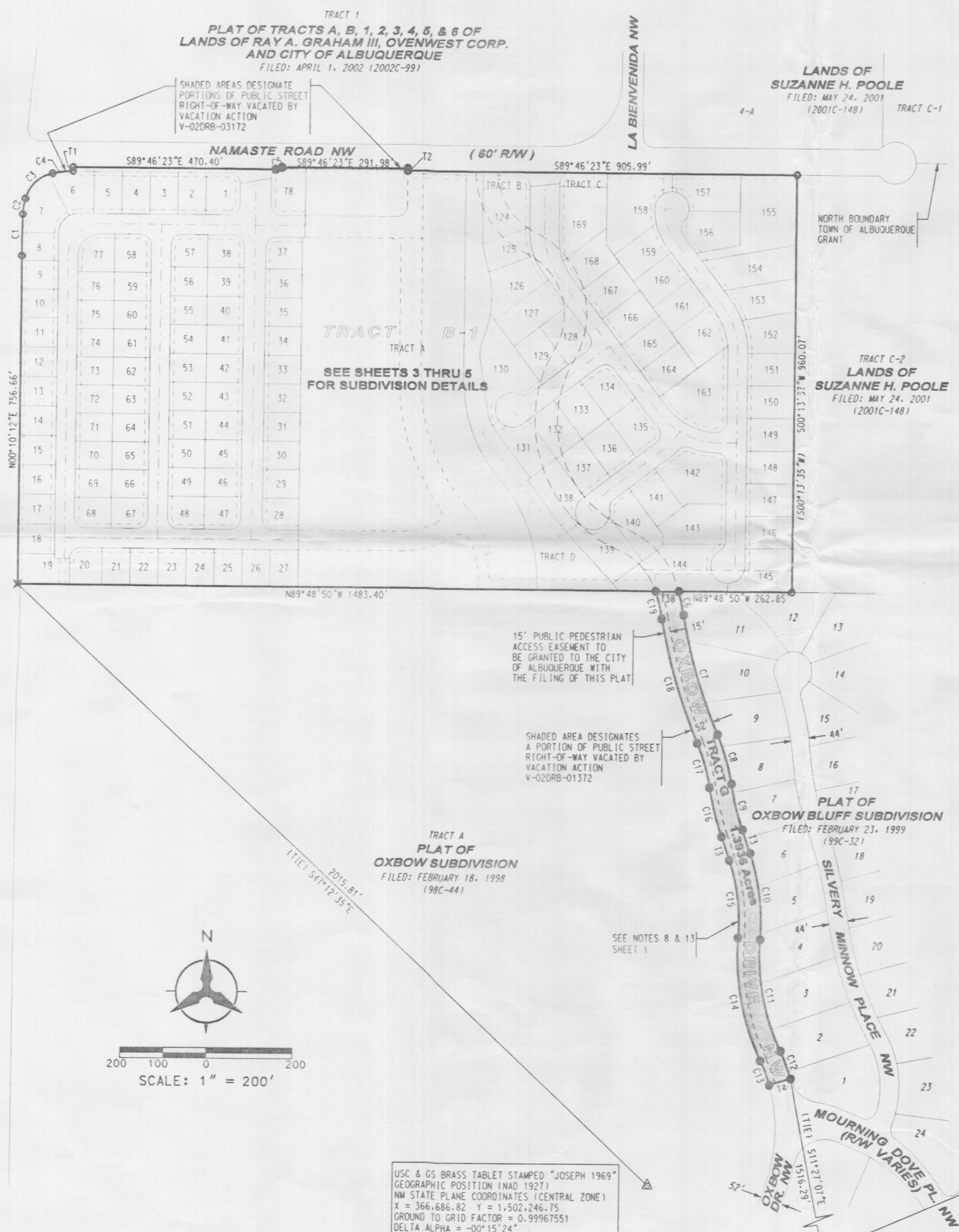
TANGENT DATA

ID	BEARING	DISTANCE
T1	N03°15'42"E	9.06'
T2	S00°11'10"W	5.00'
T3	S18°46'47"E	57.74'
T4	S73°19'04"W	52.00'
T5	N89°48'50"W	17.00'
T6	N37°10'35"W	17.00'
T7	N30°35'20"E	4.17'
T8	N89°48'50"W	41.48'
T9	N00°11'10"W	7.00'
T10	S00°10'12"W	11.39'
T11	S00°11'10"W	10.00'
T12	S00°11'10"W	10.58'
T13	N37°10'35"W	19.04'
T14	N37°10'35"W	17.21'
T15	S52°49'25"W	18.75'
T16	S52°49'25"W	15.00'
T17	S52°49'25"W	6.13'
T18	S52°49'25"W	36.87'
T19	S00°11'10"W	26.26'
T20	S52°49'25"W	12.71'
T21	S00°11'10"W	21.26'
T22	N37°10'35"W	22.93'
T23	S00°11'10"W	20.00'
T24	N42°51'44"W	23.22'
T25	S00°11'10"W	40.86'
T26	N37°10'35"W	29.48'
T27	N37°10'35"W	16.51'
T28	N37°10'35"W	18.90'
T29	N37°10'35"W	24.04'
T30	N37°10'35"W	49.48'
T31	S00°11'10"W	12.00'
T32	S00°11'10"W	19.54'
T33	N89°48'50"W	6.00'
T34	S00°11'10"W	7.02'
T35	S52°49'25"W	8.00'
T36	S89°46'23"E	36.00'
T37	S75°18'41"W	11.00'
T38	S89°48'50"E	54.02'

CURVE DATA

ID	DELTA	TANGENT	ARC	RADIUS	CHORD	CHORD BRG
C1	01°27'34"	47.66'	95.31'	3741.72'	95.31'	N00°53'59"E (95.32')
C2	14°03'38"	18.50'	36.81'	150.00'	36.72'	N08°39'35"E
C3	63°41'12"	50.93'	91.15'	82.00'	86.53'	N47°32'00"E
C4	10°52'34"	23.80'	47.46'	250.00'	47.39'	N83°44'04"E
C5	36°52'12"	8.33'	16.09'	25.00'	15.81'	N71°47'31"E
C6	04°53'59"	27.68'	55.33'	647.00'	55.31'	S12°26'02"E
C7	13°09'01"	144.43'	287.58'	1253.00'	286.95'	S16°33'33"E
C8	13°45'32"	59.96'	119.35'	497.00'	119.06'	S16°15'18"E
C9	09°24'16"	54.74'	109.23'	665.50'	109.11'	S14°04'39"E
C10	22°48'54"	101.19'	199.70'	501.50'	198.38'	S07°22'20"E
C11	30°10'10"	134.36'	262.49'	498.50'	259.47'	S11°02'59"E
C12	09°27'07"	34.14'	68.13'	413.00'	68.05'	S21°24'30"E
C13	09°27'07"	29.84'	59.55'	361.00'	59.49'	N21°24'30"W
C14	30°10'10"	148.38'	298.87'	550.50'	286.53'	N11°02'58"W
C15	22°48'54"	90.70'	178.99'	449.50'	177.81'	N07°22'20"W
C16	09°24'16"	59.02'	117.77'	717.50'	117.64'	N14°04'39"W
C17	13°45'32"	53.69'	106.86'	445.00'	106.60'	N16°15'18"W
C18	13°09'01"	150.42'	299.52'	1305.00'	298.86'	N16°33'33"W
C19	06°15'09"	32.50'	64.93'	595.00'	64.90'	N13°06'37"W
C20	90°00'00"	75.00'	117.81'	75.00'	106.07'	N45°11'10"E
C21	37°21'45"	40.57'	78.25'	120.00'	76.87'	S18°29'43"E
C22	37°21'45"	60.86'	117.38'	180.00'	115.31'	S18°29'43"E
C23	22°14'05"	23.58'	46.57'	120.00'	46.28'	N41°42'22"E
C24	52°38'05"	89.03'	165.37'	180.00'	159.61'	N63°29'43"W
C25	89°57'33"	14.98'	29.95'	25.00'	39.25'	N44°47'51"W
C26	01°03'16"	2.30'	4.60'	250.00'	4.60'	S89°41'59"W
C27	53°10'15"	12.51'	23.20'	25.00'	22.38'	S26°46'18"W
C28	90°02'27"	25.02'	39.29'	25.00'	35.37'	S45°12'24"W
C29	90°00'00"	25.00'	39.27'	25.00'	35.36'	S45°11'10"W
C30	90°00'00"	45.00'	70.69'	45.00'	63.64'	N45°11'10"E
C31	90°00'00"	25.00'	39.27'	25.00'	35.36'	S44°48'50"E
C32	90°00'00"	52.00'	81.68'	52.00'	73.54'	S45°11'10"W
C33	37°21'45"	53.08'	102.38'	157.00'	100.58'	S18°29'43"E
C34	49°48'28"	72.89'	136.48'	157.00'	132.22'	S62°04'50"E
C35	92°48'46"	26.27'	40.50'	25.00'	36.22'	N46°36'03"E
C36	37°21'45"	46.35'	86.35'	143.00'	131.61'	S22°03'57"W
C37	223°54'27"	-----	156.32'	40.00'	74.20'	S67°51'37"E
C38	81°16'09"	21.45'	35.46'	25.00'	32.56'	S03°27'32"W
C39	37°21'45"	68.64'	132.38'	203.00'	130.04'	S18°29'43"E
C40	241°30'55"	-----	168.61'	40.00'	68.75'	N59°03'22"W
C41	61°30'55"	14.88'	26.84'	25.00'	25.57'	N30°56'38"E
C42	88°21'44"	24.30'	38.56'	25.00'	34.85'	N43°59'42"W
C43	17°49'55"	31.85'	63.18'	203.00'	62.92'	N79°15'37"W
C44	65°24'01"	16.05'	28.54'	25.00'	27.01'	S76°57'20"W
C45	08°34'06"	10.71'	10.71'	143.00'	21.36'	S48°32'22"W
C46	61°30'55"	-----	26.84'	25.00'	25.57'	S22°03'57"W
C47	241°30'55"	-----	168.61'	40.00'	68.75'	N67°56'03"W
C48	97°42'58"	28.62'	42.64'	25.00'	37.65'	N03°57'56"E
C49	07°42'58"	13.69'	27.34'	203.00'	27.32'	N41°02'04"W
C50	90°00'00"	25.00'	39.27'	25.00'	35.36'	N82°10'35"W
C51	241°30'55"	-----	168.61'	40.00'	68.75'	N06°25'08"W
C52	61°30'55"	14.88'	26.84'	25.00'	25.57'	N83°34'52"E
C53	90°00'00"	25.00'	39.27'	25.00'	35.36'	N07°49'25"E
C54	27°47'47"	11.13'	21.83'	45.00'	21.62'	N76°17'16"E
C55	11°55'51"	26.12'	52.06'	250.00'	51.96'	S84°15'42"W
C56	07°45'32"	5.56'	11.10'	82.00'	11.10'	S71°29'50"W
C57	62°12'13"	27.15'	48.85'	45.00'	46.49'	S31°17'16"W
C58	00°38'18"	20.84'	41.69'	3741.72'	41.69'	N01°18'37"E
C59	55°55'40"	43.53'	80.04'	82.00'	76.90'	N43°39'14"E
C60	00°49'16"	26.81'	53.62'	3741.72'	53.62'	N00°34'50"E
C61	06°27'04"	15.05'	30.06'	267.00'	30.05'	N03°02'22"W
C62	20°32'28"	28.45'	56.29'	157.00'	55.99'	S10°05'04"E
C63	03°36'31"	7.88'	15.75'	250.00'	15.74'	N15°11'04"W
C64	10°43'25"	25.06'	49.97'	267.00'	49.90'	N11°37'37"W
C65	16°49'17"	23.21'	46.09'	157.00'	45.93'	S28°45'57"E
C66	22°20'21"	49.36'	71.47'	250.00'	96.86'	N02°12'38"W
C67	151°30'55"	157.59'	105.78'	40.00'	77.54'	S38°34'46"W
C68	19°06'19"	16.83'	33.34'	100.00'	33.19'	N18°33'46"W
C69	31°10'47"	27.90'	54.42'	100.00'	53.75'	N06°34'47"E
C70	13°12'38"	28.95'	57.64'	250.00'	57.51'	N15°33'51"E
C71	09°03'40"	7.92'	15.81'	100.00'	15.80'	N32°38'45"W
C72	90°00'00"	40.00'	62.83'	40.00'	56.57'	S82°10'35"E
C73	90°34'09"	40.40'	63.23'	40.00'	56.85'	S07°32'20"W
C74	128°06'47"	82.22'	89.44'	40.00'	71.94'	N78°11'52"E
C75	22°49'59"	8.08'	15.94'	40.00'	15.84'	N02°43'29"E
C76	16°34'27"	3.64'	7.23'	25.00'	7.21'	S08°28'24"W
C77	44°56'28"	10.34'	19.61'	25.00'	19.11'	S39°13'51"W
C78	151°30'55"	157.59'	105.78'	40.00'	77.54'	S14°03'22"E
C79	90°00'00"	40.00'	62.83'	40.00'	56.57'	N45°11'10"E
C80	21°48'21"	39.10'	77.26'	203.00'	76.79'	N10°43'00"W
C81	15°33'25"	27.73'	55.12'	203.00'	54.95'	N29°23'53"W
C82	37°32'05"	13.59'	26.20'	40.00'	25.74'	N25°19'34"E
C83	96°22'22"	44.72'	67.28'	40.00'	59.63'	N41°37'39"W
C84	13°13'10"	16.57'	32.99'	143.00'	32.92'	S06°25'25"E
C85	24°08'36"	30.58'	60.26'	143.00'	59.81'	S25°06'17"E
C86	31°06'11"	43.69'	85.23'	157.00'	84.19'	S21°37'30"E
C87	06°15'34"	8.58'	17.15'	157.00'	17.11'	S02°56'37"E
C88	17°11'46"	23.74'	47.47'	157.00'	46.94'	N28°34'42"W
C89	20°09'59"	27.92'	55.26'	157.00'	54.97'	N09°53'49"W
C90	41°26'19"	132.39'	253.13'	350.00'	247.65'	S20°31'59"E
C91	41°26'18"	134.28'	256.75'	355.00'	251.19'	S20°31'59"E
C92	17°10'29"	40.32'	80.04'	267.00'	79.74'	S08°24'05"E
C93	39°09'30"	88.92'	170.86'	250.00'	167.55'	S02°35'26"W
C94	28°09'59"	25.09'	49.16'	100.00'	48.67'	S23°05'36"E
C95	25°22'37"	49.31'	97.00'	219.00'	96.21'	N12°30'08"W
C96	100°15'11"	29.93'	43.74'	25.00'	38.37'	N75°19'03"W
C97	35°37'48"	65.23'	126.24'	203.00'	124.21'	S72°22'16"W
C98	29°20'54"	41.11'	80.42'	157.00'	79.54'	N75°30'43"E
C99	97°16'24"	28.39'	42.44'	25.00'	37.53'	N12°12'04"E
C100	36°37'18"	165.46'	319.59'	500.00'	314.17'	N18°07'29"W
C101	41°26'19"	170.21'	325.46'	450.00'	318.41'	S20°31'59"E
C102	26°33'49"	60.19'	118.22'	255.00'	117.17'	S27°58'14"E
C103	13°35'33"	29.08'	57.89'	244.00'	57.75'	S07°53'33"E
C104	30°24'10"	48.91'	95.51'	180.00'	94.40'	N74°36'45"W
C105	22°14'05"	35.37'	69.85'	180.00'	69.41'	N48°17'38"W

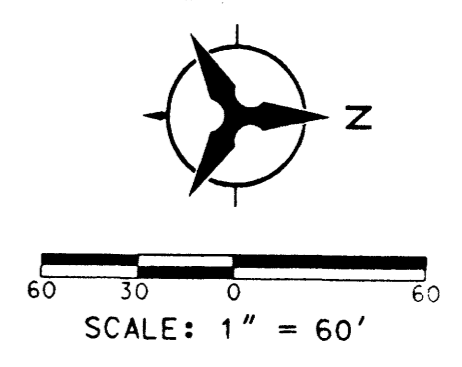
COORS BOULEVARD NW (R/W VARIES)



USC & GS BRASS TABLET STAMPED "JOSEPH 1969"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X = 366,686.82 Y = 1,502,246.75
 GROUND TO GRID FACTOR = 0.99967551
 DELTA ALPHA = -00°15'24"
 SLD 1929 ELEVATION = 5113.852

USGS BRASS TABLET STAMPED "VABM 5108 NOSE RC 1950"
 GEOGRAPHIC POSITION (NAD 1927)
 NM STATE PLANE COORDINATES (CENTRAL ZONE)
 X = 367,317.96 Y = 1,501,006.81
 GROUND TO GRID FACTOR = 0.9996757
 DELTA ALPHA = -00°15'19"
 SLD 1929 ELEVATION = 5111.597

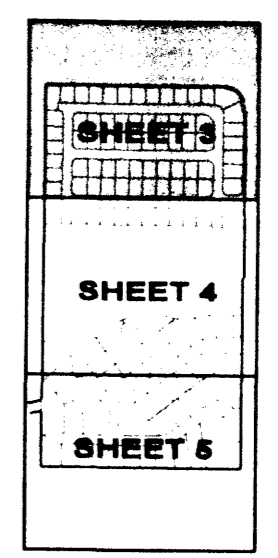
PLAT OF
OXBOW NORTH
 (A REPLAT OF TRACT B-1,
 ARCHDIOCESE OF SANTA FE)
 ALBUQUERQUE, NEW MEXICO
 JANUARY, 2003



LEGEND

	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) LOT LINE
	RIGHT OF WAY
	10' PUE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	3/4" REBAR WITH 1 1/2" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
	FOUND 1/2" REBAR WITH 1" SURVEY CAP STAMPED "PS 10464"
	FOUND CONCRETE NAIL WITH SURVEY WASHER STAMPED "PS 10464"

HATCHED AREA DESIGNATES PUBLIC STREET RIGHT-OF-WAY TO BE DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT



Bohannon & Huston

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 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

25' PUBLIC WATERLINE AND SANITARY SEWER EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

10' PRIVATE ACCESS EASEMENT TO BE GRANTED TO OXBOW NORTH HOMEOWNERS ASSOCIATION WITH THE FILING OF THIS PLAT

TRACT A
 PLAT OF
OXBOW SUBDIVISION
 FILED: FEBRUARY 18, 1998
 (198C-44)

COORS BOULEVARD NW (R/W VARIES)

BERESFORD LANE NW (PRIVATE)

TRACT E (Interior Streets)
 3.6139 Acres

HODGKIN LANE NW (PRIVATE)

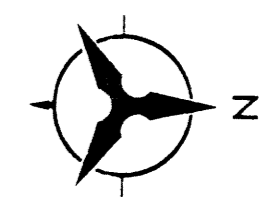
SUMMER HILL LANE NW (PRIVATE)

TRACT A
 9.3699 Acres

PUBLIC WATER, SANITARY SEWER & STORM DRAIN EASEMENT TO BE GRANTED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT

SHEET 3 OF 5

PLAT OF
OXBOW NORTH
(A REPLAT OF TRACT B-1,
ARCHDIOCESE OF SANTA FE)
ALBUQUERQUE, NEW MEXICO
JANUARY, 2003

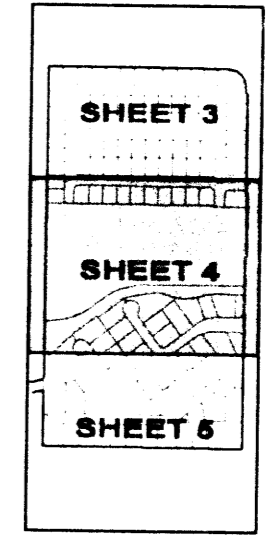


60 30 0 60
SCALE: 1" = 60'

HATCHED AREAS DESIGNATE
PUBLIC STREET RIGHT-OF-WAY
TO BE DEDICATED TO THE CITY
OF ALBUQUERQUE WITH THE
FILING OF THIS PLAT

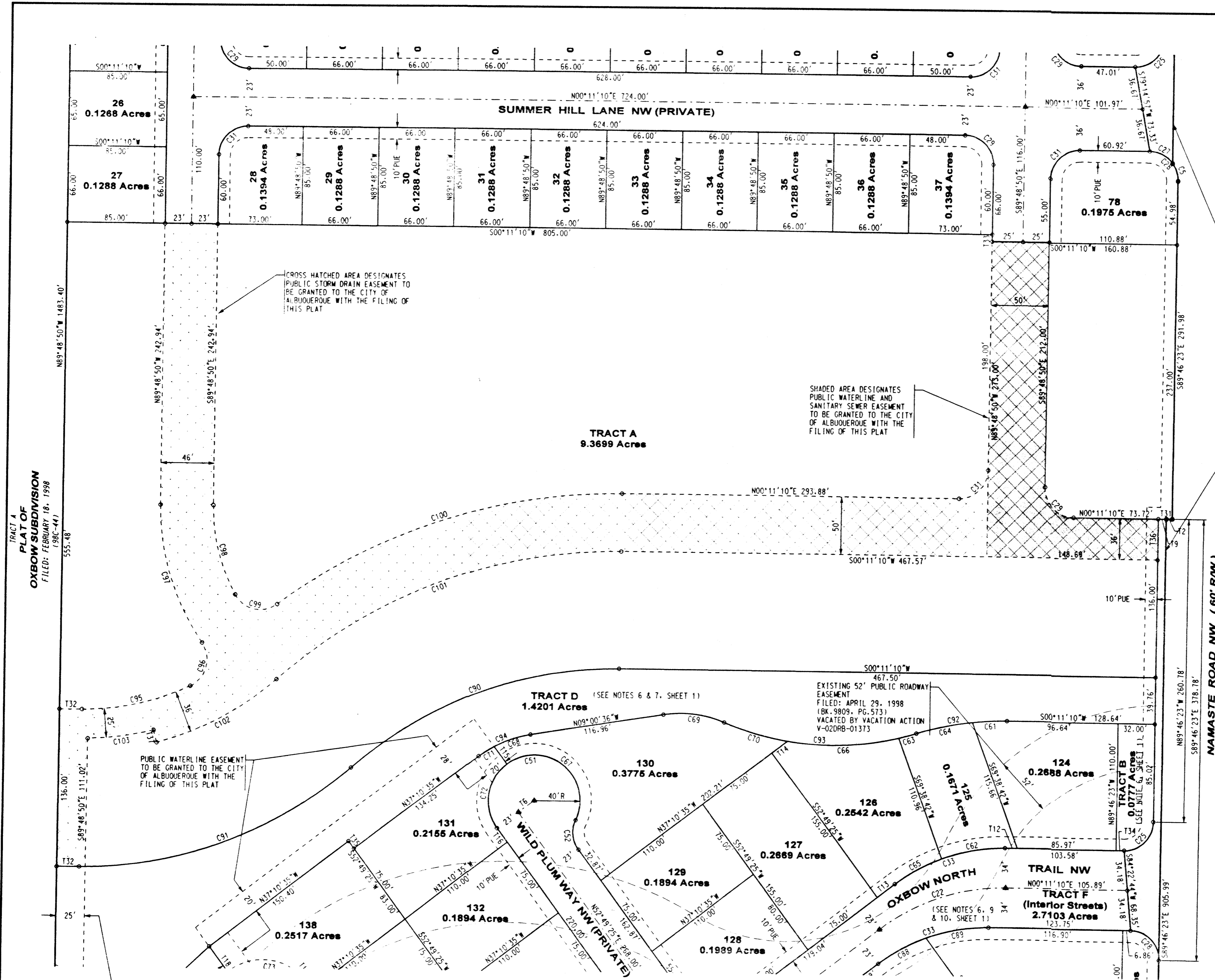
LEGEND

- SUBDIVISION BOUNDARY LINE
- NEW LOT LINE
- - - CENTERLINE
- - - PROPOSED EASEMENT LINE
- - - EXISTING EASEMENT LINE
- - - ADJOINING PROPERTY LINE
- - - EXISTING (OLD) LOT LINE
- - - RIGHT OF WAY
- 10' PUE 10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
- ▲ CITY OF ALBUQUERQUE CONTROL MONUMENT
- ▲ CENTERLINE MONUMENT TO BE INSTALLED
- 5/8" REBAR WITH 1 1/2" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
- FOUND 1/2" REBAR WITH 1" SURVEY CAP STAMPED "PS 10464"
- × FOUND CONCRETE NAIL WITH SURVEY WASHER STAMPED "PS 10464"



Bohannon & Huston

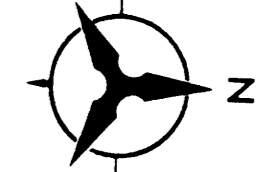
Courtyard I 7500 Jefferson St. NE Albuquerque, NM 87109-4335
ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES



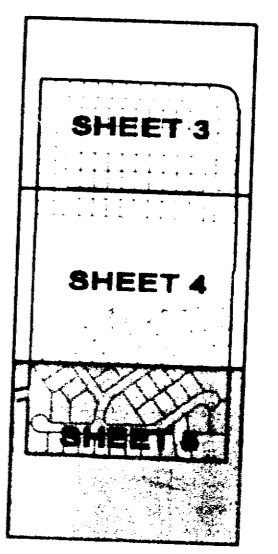
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 Bern. Co. PLRT R 27.00 Bk-2893C Pg-31

**PLAT OF
 OXBOW NORTH**
 (A REPLAT OF TRACT B-1,
 ARCHDIOCESE OF SANTA FE)
 ALBUQUERQUE, NEW MEXICO
 JANUARY, 2003

HATCHED AREA DESIGNATES
 PUBLIC STREET RIGHT-OF-WAY
 TO BE DEDICATED TO THE CITY
 OF ALBUQUERQUE WITH THE
 FILING OF THIS PLAT



60 30 0 30 60
 SCALE: 1" = 60'



30' PUBLIC WATERLINE,
 SANITARY SEWER, & STORM
 DRAIN EASEMENT TO BE
 GRANTED TO THE CITY OF
 ALBUQUERQUE WITH THE
 FILING OF THIS PLAT

NAMASTE ROAD NW (60' RW)

LEGEND	
	SUBDIVISION BOUNDARY LINE
	NEW LOT LINE
	CENTERLINE
	PROPOSED EASEMENT LINE
	EXISTING EASEMENT LINE
	ADJOINING PROPERTY LINE
	EXISTING (OLD) LOT LINE
	RIGHT OF WAY
	10' PUE
	10' PUBLIC UTILITY EASEMENT TO BE GRANTED WITH THE FILING OF THIS PLAT
	CITY OF ALBUQUERQUE CONTROL MONUMENT
	CENTERLINE MONUMENT TO BE INSTALLED
	5/8" REBAR WITH 1 1/2" YELLOW PLASTIC SURVEY CAP STAMPED "WEAVER LS 6544"
	FOUND 1/2" REBAR WITH 1" SURVEY CAP STAMPED "PS 10464"
	FOUND CONCRETE NAIL WITH SURVEY WASHER STAMPED "PS 10464"

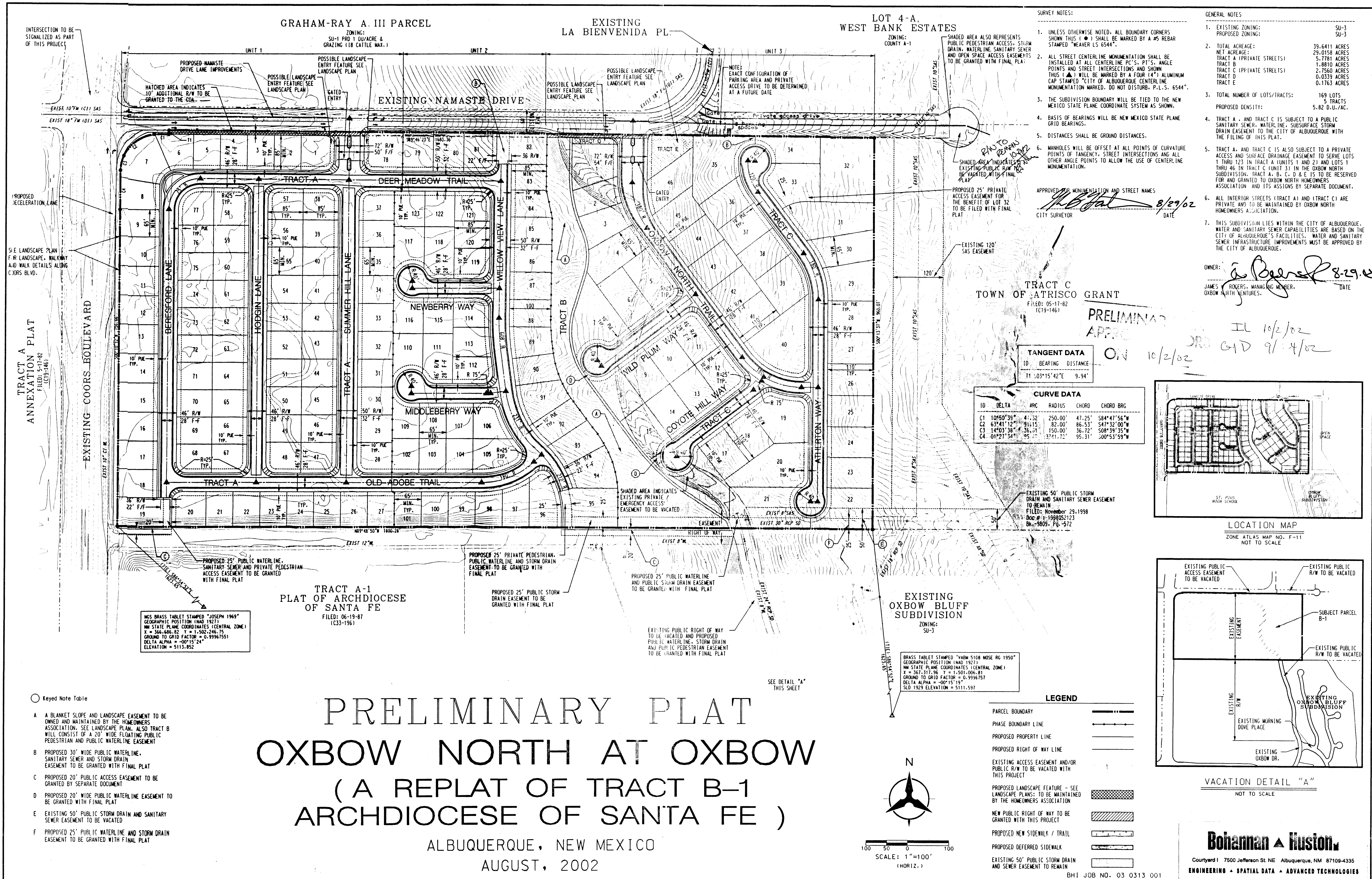
Bohannon & Huston

Courtyard | 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

SHEET 5 OF 5

6:25:11 Survey 019-Plot1-graphics-01013plot05.dgn 27 JAN 2003 14:15 mclm JOB NO: 050131 019





GRAHAM-RAY A. III PARCEL
 WEST BANK ESTATES
 EXISTING LA BIENVENIDA PL.

SURVEY NOTES:

- UNLESS OTHERWISE NOTED, ALL BOUNDARY CORNERS SHOWN THUS (●) SHALL BE MARKED BY A #5 REBAR STAMPED "WEAVER LS 6544".
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS AND STREET INTERSECTIONS AND SHOWN THUS (▲) WILL BE MARKED BY A FOUR (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED. DO NOT DISTURB. P.L.S. 6544".
- THE SUBDIVISION BOUNDARY WILL BE TIED TO THE NEW MEXICO STATE PLANE COORDINATE SYSTEM AS SHOWN.
- BASIS OF BEARINGS WILL BE NEW MEXICO STATE PLANE GRID BEARINGS.
- DISTANCES SHALL BE GROUND DISTANCES.
- MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE POINTS OF TANGENCY, STREET INTERSECTIONS AND ALL OTHER ANGLE INTERSECTIONS TO ALLOW THE USE OF CENTERLINE MONUMENTATION.

APPROVED FOR MONUMENTATION AND STREET NAMES
[Signature] 8/29/02
 CITY SURVEYOR DATE

GENERAL NOTES:

- EXISTING ZONING: SU-3
 PROPOSED ZONING: SU-3
- TOTAL ACREAGE: 39.6411 ACRES
 NET ACREAGE: 29.0158 ACRES
 TRACT A (PRIVATE STREETS): 1.8810 ACRES
 TRACT B (PRIVATE STREETS): 2.7560 ACRES
 TRACT C (PRIVATE STREETS): 0.0339 ACRES
 TRACT D: 0.1763 ACRES
- TOTAL NUMBER OF LOTS/TRACTS: 169 LOTS
 5 TRACTS
 PROPOSED DENSITY: 5.82 D.U./AC.
- TRACT A, B, AND TRACT C IS SUBJECT TO A PUBLIC SANITARY SEWER, WATERLINE, SUBSURFACE STORM DRAIN EASEMENT TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT.
- TRACT A, AND TRACT C IS ALSO SUBJECT TO A PRIVATE ACCESS AND SURFACE DRAINAGE EASEMENT TO SERVE LOTS 1, THRU 123 IN TRACT A (UNITS 1 AND 2) AND LOTS 1 THRU 46 IN TRACT C (UNIT 3) IN THE OXBOW NORTH SUBDIVISION. TRACT A, B, C, D & E IS TO BE RESERVED FOR AND GRANTED TO OXBOW NORTH HOMEOWNERS ASSOCIATION AND ITS ASSIGNS BY SEPARATE DOCUMENT.
- ALL INTERIOR STREETS (TRACT A) AND (TRACT C) ARE PRIVATE AND TO BE MAINTAINED BY OXBOW NORTH HOMEOWNERS ASSOCIATION.
- THIS SUBDIVISION LIES WITHIN THE CITY OF ALBUQUERQUE. WATER AND SANITARY SEWER CAPABILITIES ARE BASED ON THE CITY OF ALBUQUERQUE'S FACILITIES. WATER AND SANITARY SEWER INFRASTRUCTURE IMPROVEMENTS MUST BE APPROVED BY THE CITY OF ALBUQUERQUE.

OWNER: *[Signature]* 8-29-02
 JAMES ROGERS, MANAGING MEMBER, DATE
 OXBOW NORTH VENTURES.

TRACT C
 TOWN OF ATRISCO GRANT
 FILED: 05-17-82
 (119-146)

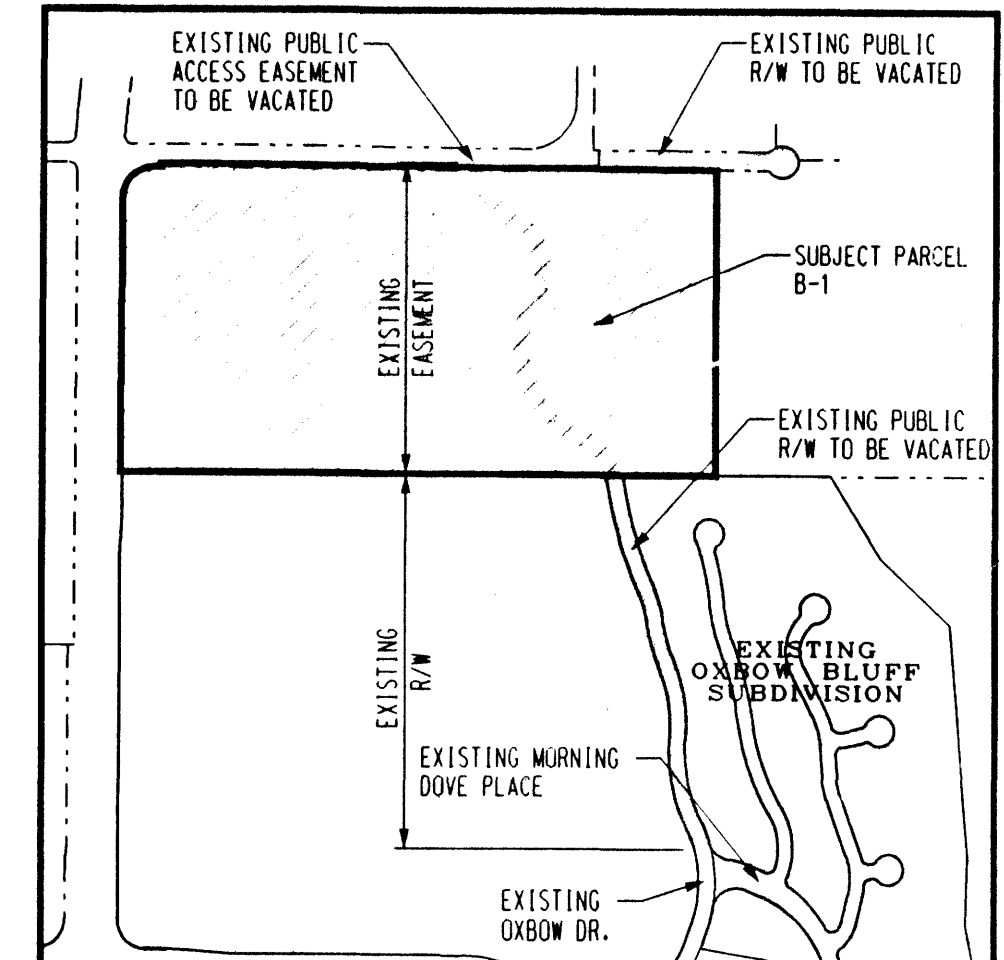
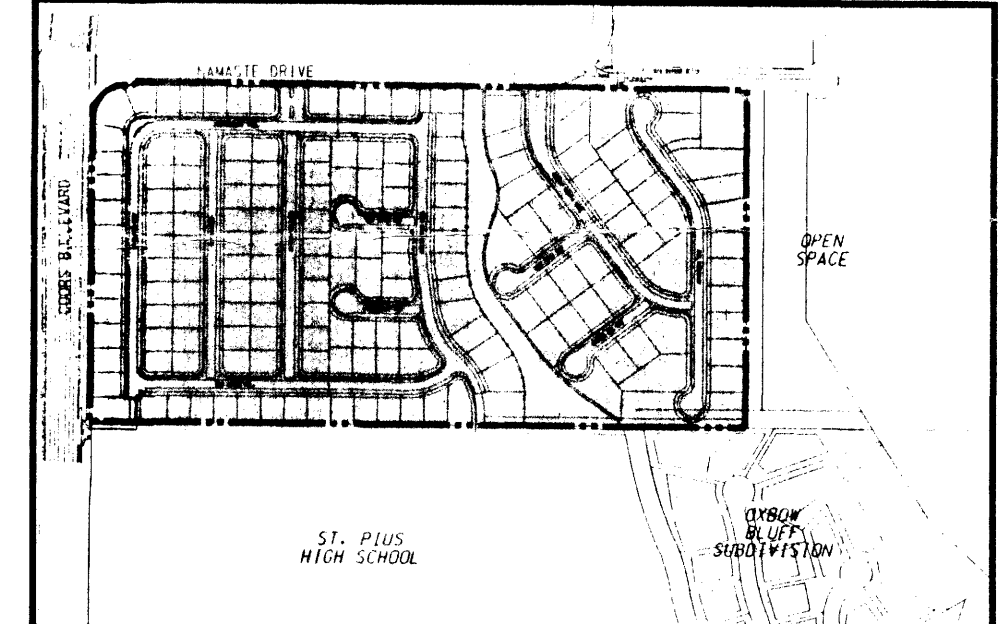
PRELIMINARY
 APPROVED
 ON 10/2/02

TANGENT DATA

ID	BEARING	DISTANCE
T1	S03°15'42"E	9.94'

CURVE DATA

ID	DELTA	ARC	RADIUS	CHORD	CHORD BRG
C1	10°50'39"	41.32'	250.00'	47.25'	S84°47'56"W
C2	63°41'12"	91.15'	82.00'	86.53'	S47°32'00"W
C3	14°03'38"	36.31'	150.00'	36.72'	S08°39'35"W
C4	01°27'34"	95.12'	3741.72'	95.31'	S00°53'59"W

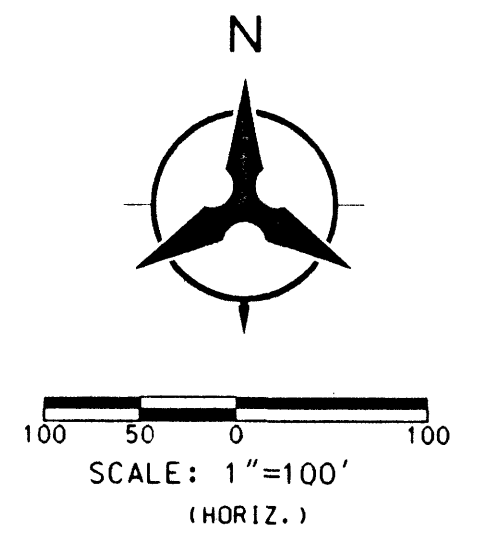


PRELIMINARY PLAT OXBOW NORTH AT OXBOW (A REPLAT OF TRACT B-1 ARCHDIOCESE OF SANTA FE)

ALBUQUERQUE, NEW MEXICO
 AUGUST, 2002

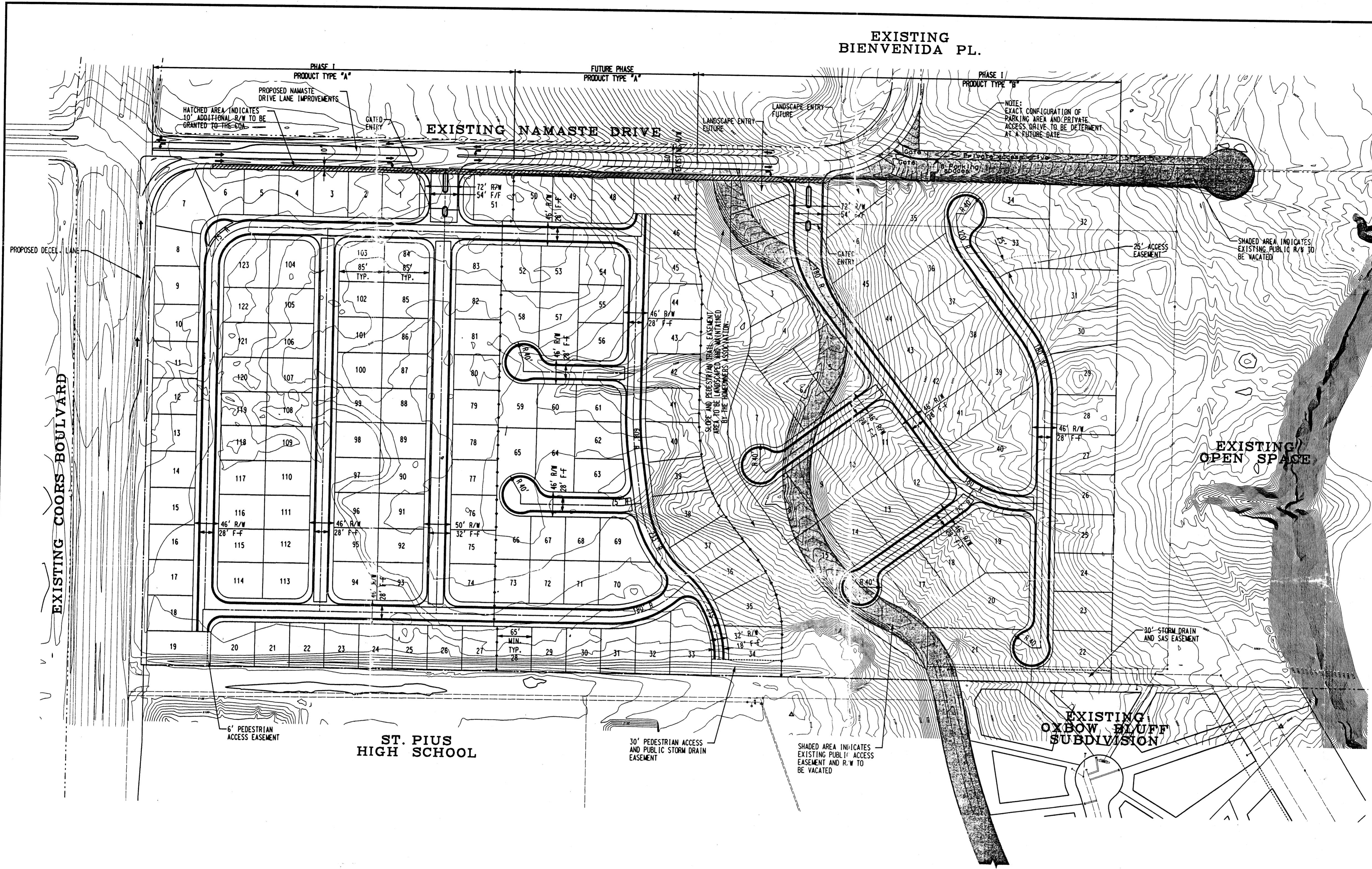
- Keyed Note Table
- A A BLANKET SLOPE AND LANDSCAPE EASEMENT TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION. SEE LANDSCAPE PLAN. ALSO TRACT B WILL CONSIST OF A 20' WIDE FLOWING PUBLIC PEDESTRIAN AND PUBLIC WATERLINE EASEMENT
 - B PROPOSED 30' WIDE PUBLIC WATERLINE, SANITARY SEWER AND STORM DRAIN EASEMENT TO BE GRANTED WITH FINAL PLAT
 - C PROPOSED 20' PUBLIC ACCESS EASEMENT TO BE GRANTED BY SEPARATE DOCUMENT
 - D PROPOSED 20' WIDE PUBLIC WATERLINE EASEMENT TO BE GRANTED WITH FINAL PLAT
 - E EXISTING 50' PUBLIC STORM DRAIN AND SANITARY SEWER EASEMENT TO BE VACATED
 - F PROPOSED 25' PUBLIC WATERLINE AND STORM DRAIN EASEMENT TO BE GRANTED WITH FINAL PLAT

- LEGEND**
- PARCEL BOUNDARY
 - PHASE BOUNDARY LINE
 - PROPOSED PROPERTY LINE
 - PROPOSED RIGHT OF WAY LINE
 - EXISTING ACCESS EASEMENT AND/OR PUBLIC R/W TO BE VACATED WITH THIS PROJECT
 - PROPOSED LANDSCAPE FEATURE - SEE LANDSCAPE PLANS: TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION
 - NEW PUBLIC RIGHT OF WAY TO BE GRANTED WITH THIS PROJECT
 - PROPOSED NEW SIDEWALK / TRAIL
 - PROPOSED DEFERRED SIDEWALK
 - EXISTING 50' PUBLIC STORM DRAIN AND SEWER EASEMENT TO REMAIN



1022092

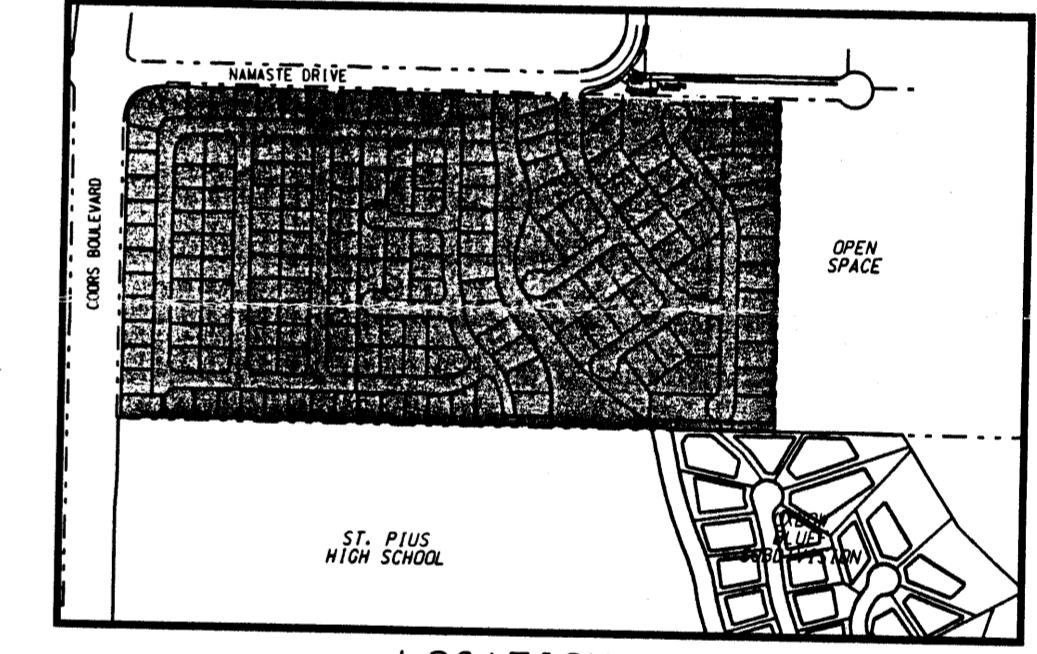
EXISTING BIENVENIDA PL.



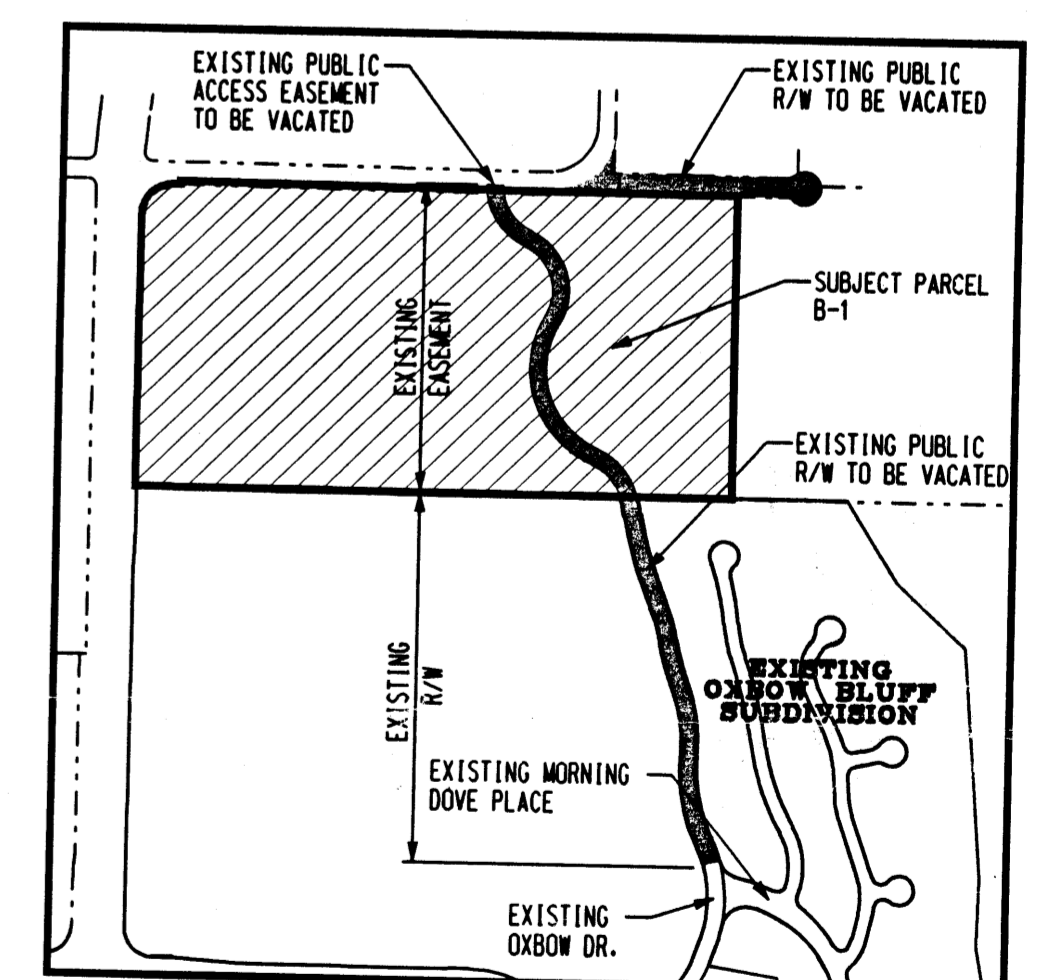
GENERAL NOTES:
 1. PRODUCT TYPE A = 65'x85' MIN. LOT SIZE
 PRODUCT TYPE B = 65'x110' MIN. LOT SIZE

SKETCH PLAT OXBOW NORTH AT OXBOW (A REPLAT OF ARCHDIOCESE TRACT B-1)

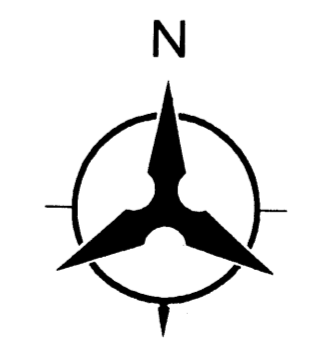
ALBUQUERQUE, NEW MEXICO
 JULY, 2002



LOCATION MAP
 ZONE ATLAS MAP NO. F-11
 NOT TO SCALE



VACATION DETAIL "A"
 NOT TO SCALE



SCALE: 1"=100'
 (HORIZ.)

Bohannon & Huston
 Courtyard One 7500 JEFFERSON NE Albuquerque NEW MEXICO 87109
 ENGINEERS PLANNERS PHOTOGRAMMETRISTS SURVEYORS SOFTWARE DEVELOPERS

BHI JOB NO. 02 0066 001

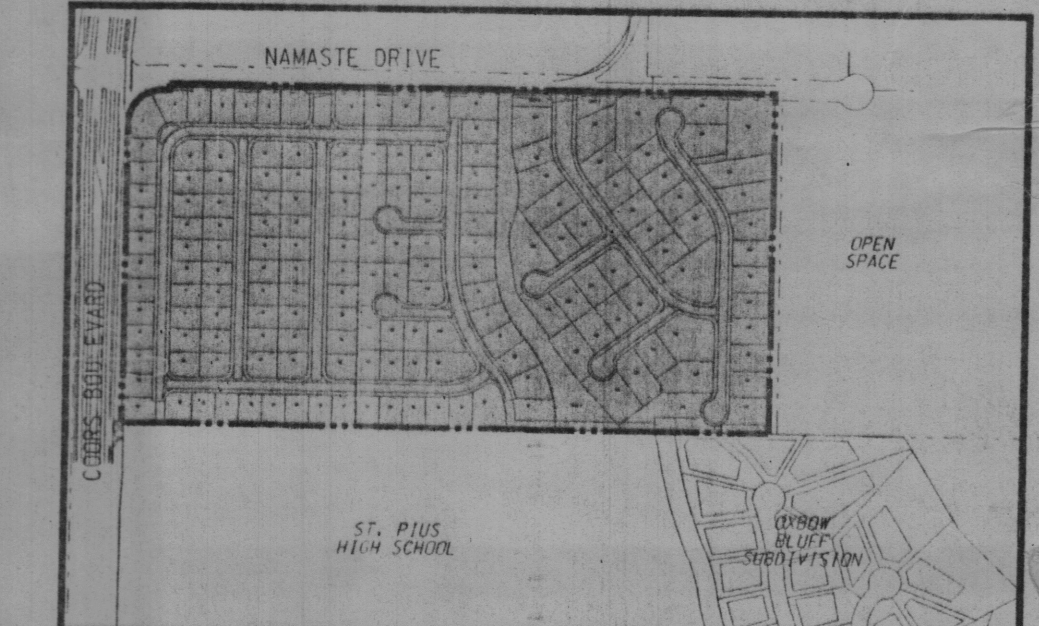
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 bwh/whc

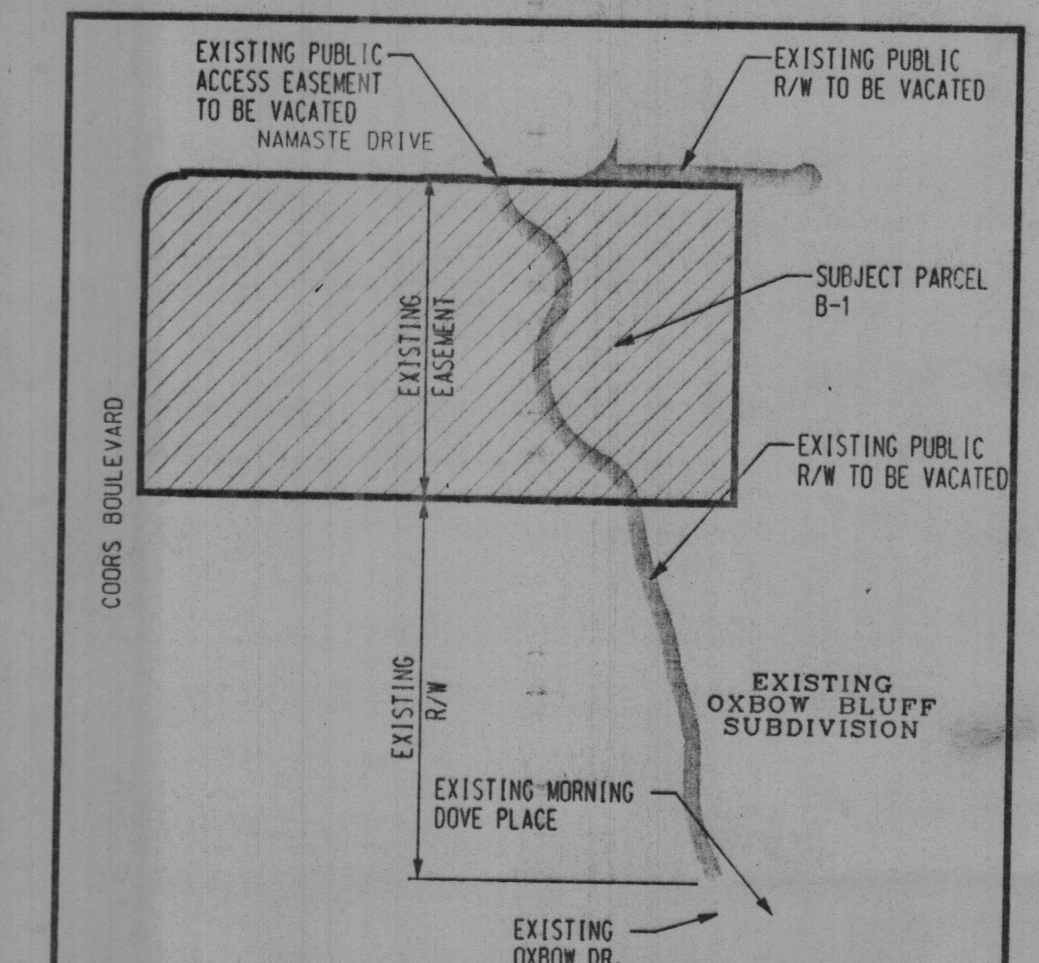
PROJECT 1002092
02-01374-02-01375



APPROVED 5
 Sherry Matson 11/19/02
 PLANNING DIRECTOR DATE
 Sherry Matson 11/19/02
 PLANNING DEPARTMENT DATE
 Roger A. Sherrin 10/2/02
 UTILITY DEVELOPMENT DATE
 Brady L. Brigham 10/2/02
 CITY ENGINEER / AMFCA DATE
 Richard Davis 10-07-02
 TRANSPORTATION DEVELOPMENT DATE
 Christina Sandoval 10/6/02
 PARKS & RECREATION DATE



LOCATION MAP
ZONE ATLAS MAP NO. F-11
NOT TO SCALE



VACATION DETAIL "A"
NOT TO SCALE

- GENERAL NOTES:
- PRODUCT TYPE A = 65' x 85' MIN. LOT SIZE
PRODUCT TYPE B = 65' x 110' MIN. LOT SIZE
 - SEE GRADING PLAN FOR RETAINING WALL LOCATIONS
 - PROPOSED DEVELOPMENT TO CONSIST OF SINGLE FAMILY, DETACHED RESIDENTIAL UNITS
 - TEMPORARY STRUCTURES TO BE CONTAINED ON SITE INCLUDE A JOB SITE TRAILER AND LOT/HOME SALES OFFICE (UNTIL A MODEL HAS BEEN CONSTRUCTED). EXACT LOCATION TO BE DETERMINED BY CONTRACTOR AND BUILDER.
 - SITE (STREET) LIGHTING LOCATIONS TO BE DETERMINED DURING CONSTRUCTION PLAN PREPARATION.
 - OFF STREET PARKING TO BE PROVIDED ON EACH LOT AS REQUIRED BY THE ZONING CODE.
 - ALL INTERNAL SUBDIVISION STREETS TO BE PRIVATE AND MAINTAINED BY A HOMEOWNERS ASSOCIATION.

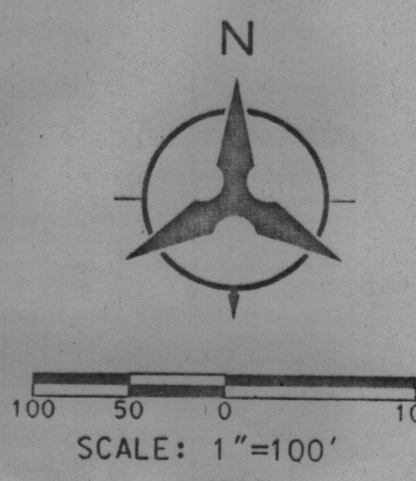
- Keyed Note Table
- A NEW STOP SIGN
 - B 4' HIGH (MIN.) PRIVACY WALL - SEE GRADING PLAN FOR LOCATIONS OF RETAINING WALLS.
 - C GATED PEDESTRIAN ACCESS
 - D APPROXIMATE LOCATION OF TEMPORARY PROJECT STORAGE, INCLUDING VENDOR/INSTITUTION PROJECT DATA, NAME, REAR, OTHER, ETC.
 - E A BLANKET SLOPE AND LANDSCAPE EASEMENT TO BE OWNED AND MAINTAINED BY HOMEOWNERS ASSOCIATION. SEE LANDSCAPE PLAN. ALSO TRACT B WILL CONSIST OF A 20' WIDE FLOATING PUBLIC PEDESTRIAN AND PUBLIC WATERLINE EASEMENT
 - F PROPOSED 30' WIDE PUBLIC WATERLINE, SANITARY SEW AND STORM DRAIN EASEMENT TO BE GRANTED IN FINAL PLAT
 - G PROPOSED 20' PUBLIC ACS EASEMENT TO BE GRANTED BY SEPARATE DEED
 - H PROPOSED 20' WIDE PUBLIC WATERLINE EASEMENT TO BE GRANTED WITH FINAL PLAT
 - J EXISTING 50' PUBLIC STORM DRAIN AND SANITARY SEWER EASEMENT TO BE VACATED
 - K PROPOSED 25' PUBLIC WATERLINE AND STORM DRAIN EASEMENT TO BE GRANTED WITH FINAL PLAT

SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT OXBOW NORTH AT OXBOW (A REPLAT OF TRACT B1 ARCHDIOCESE OF SANTA FE)

ALBUQUERQUE, NEW MEXICO
AUGUST, 2002

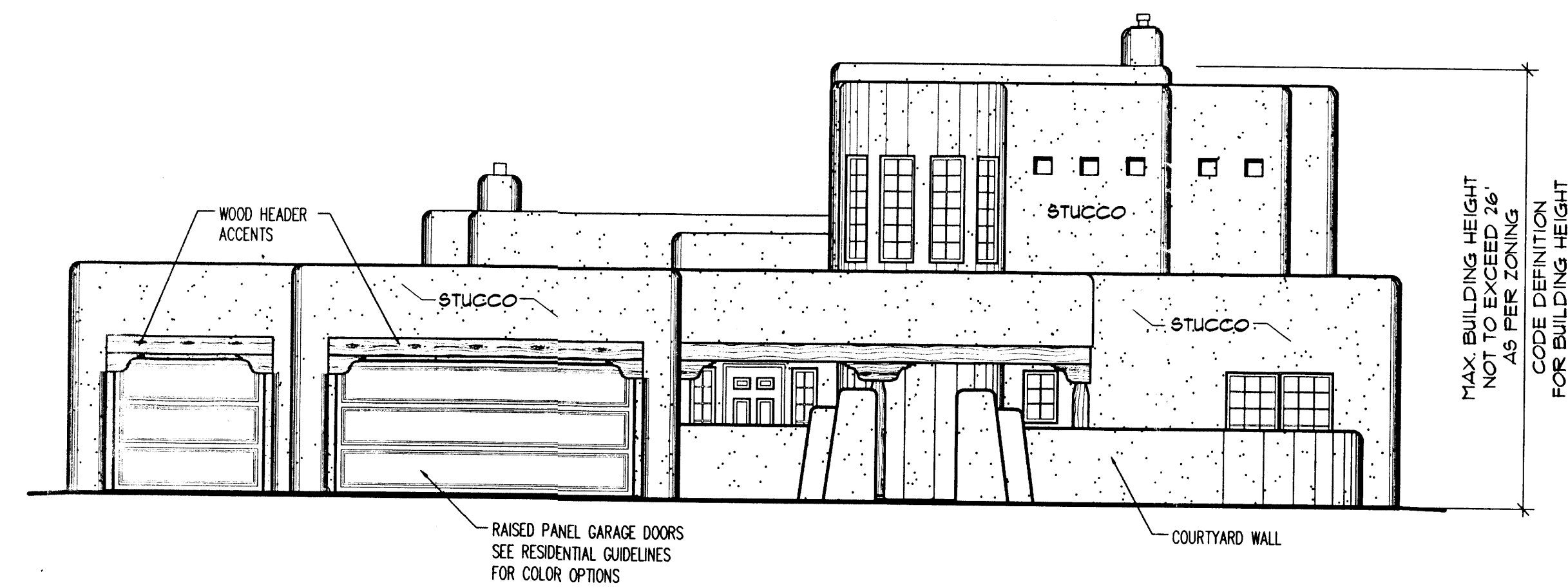
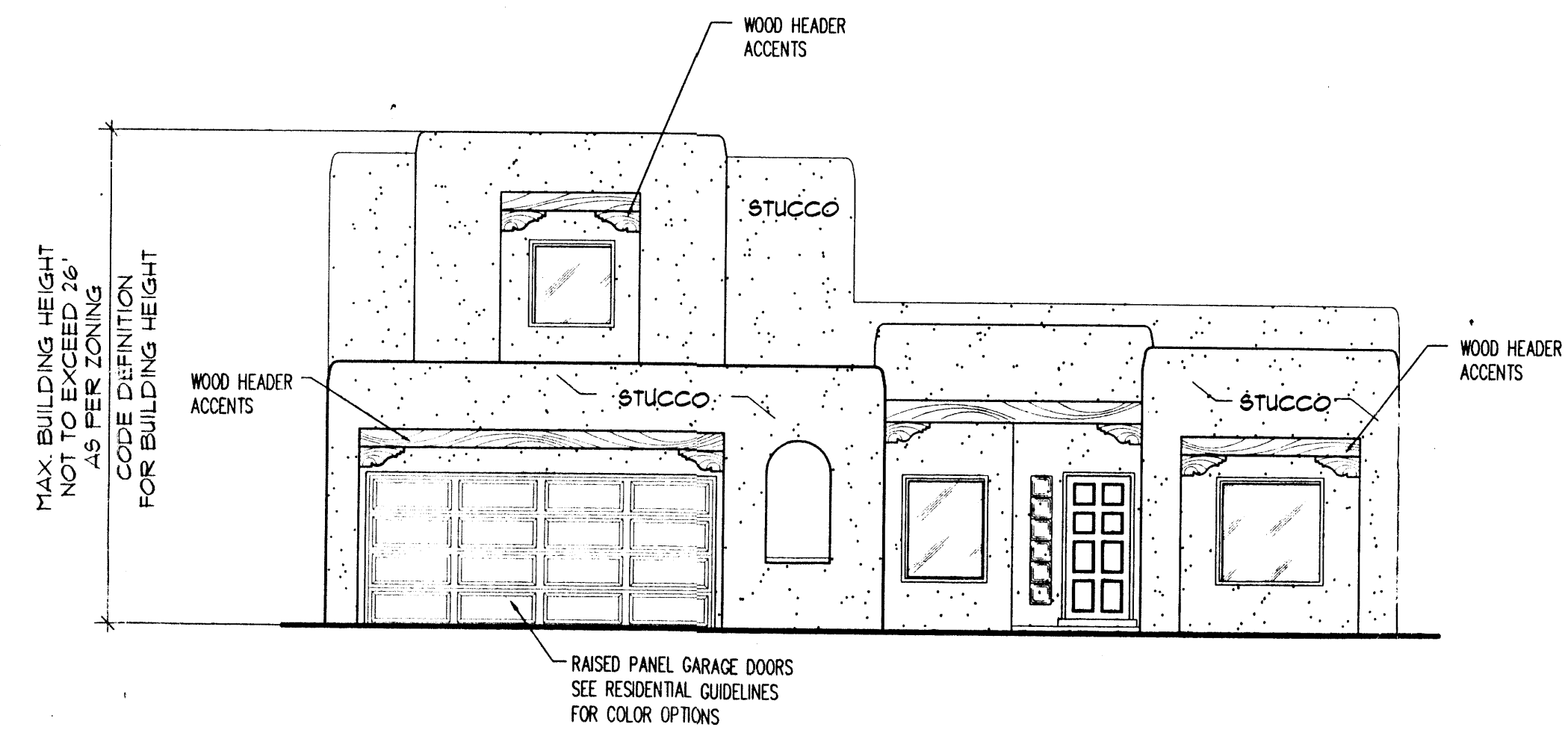
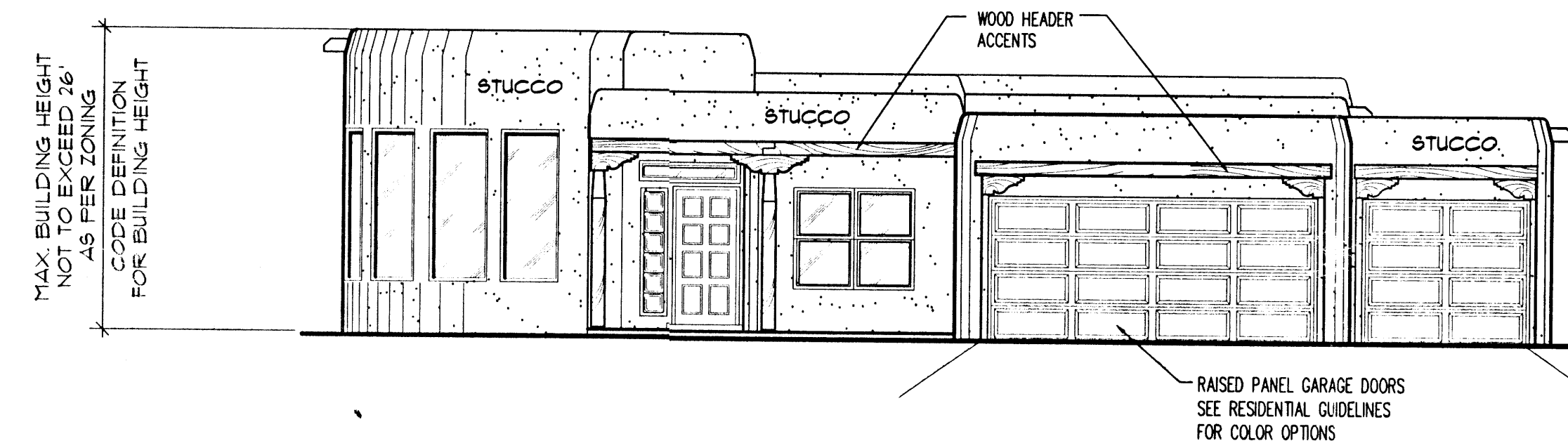
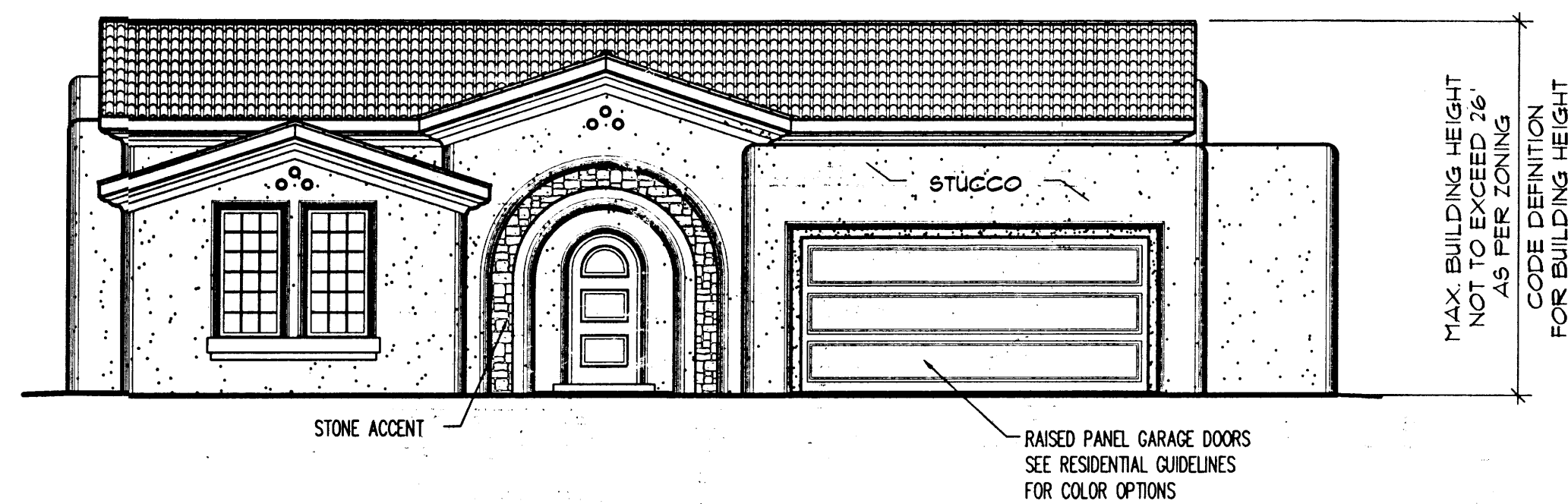
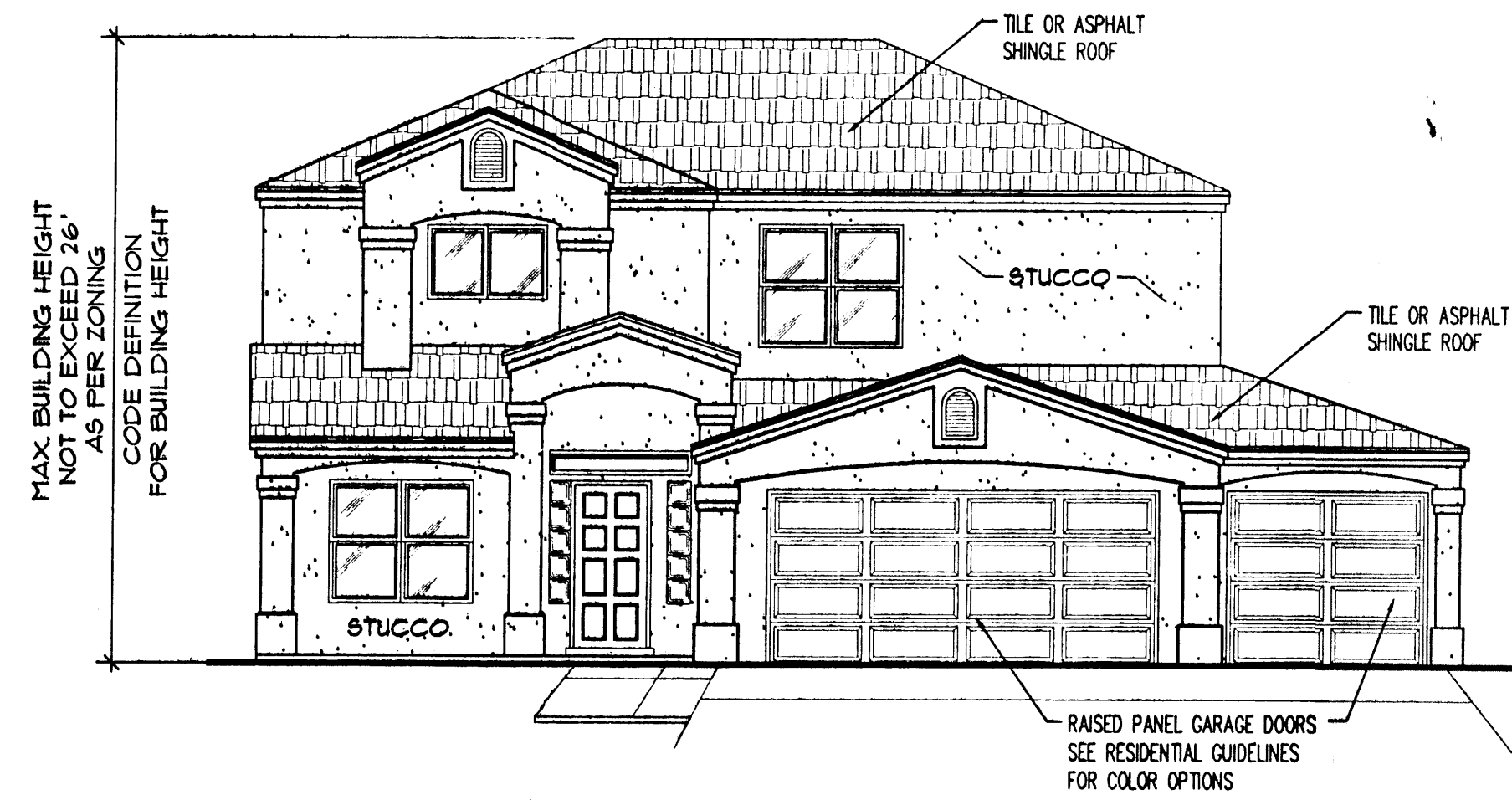
LEGEND

- PARCEL BOUNDARY
- PHAS BOUNDARY LINE
- PROPOSED PROPERTY LINE
- PROPOSED RIGHT OF WAY LINE
- EXISTING ACCESS EASEMENT AND/OR PUBLIC R/W TO BE VACATED WITH THIS PROJECT
- POSSIBLE LANDSCAPE FEATURE - SEE LANDSCAPE PLANS TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION
- NEW PUBLIC RIGHT OF WAY TO BE GRANTED WITH THIS PROJECT
- PROPOSED NEW SIDEWALK / TRAIL
- PROPOSED DEFERRED SIDEWALK
- EXISTING 50' PUBLIC STORM DRAIN AND SEWER EASEMENT TO REMAIN



Bohannon & Huston
 Courtyard 1 7500 Jefferson St. NE Albuquerque, NM 87109-4335
 ENGINEERING & SPATIAL DATA & ADVANCED TECHNOLOGIES

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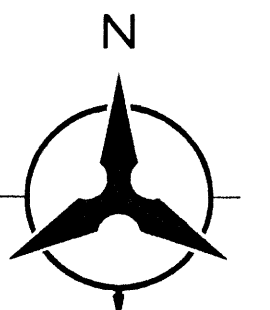


NOTE: 1. THESE DRAWINGS ARE EXAMPLES OF TYPES OF RESIDENTIAL UNITS THAT MAY OCCUR UNDER THE DESIGN GUIDELINES. THEY ARE NOT TYPICAL UNITS, NOR ARE THEY TO SET PRECEDENT FOR EVERY HOUSE AT OXBOW ENCLAVE.
2. SEE DESIGN GUIDELINES FOR STUCCO, COLOR OPTIONS

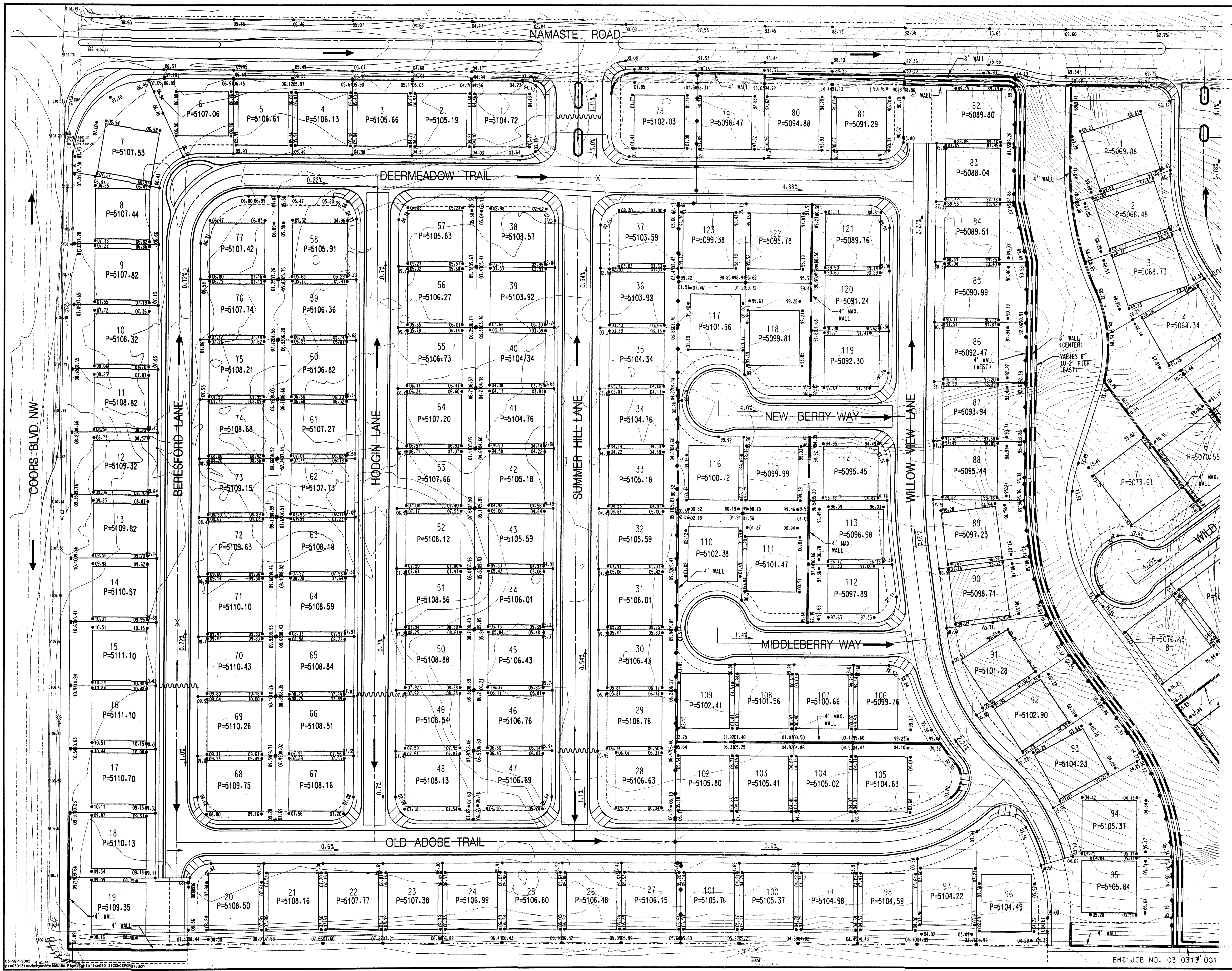
Bohannon ▲ Huston
425 S. Tolahor Blvd., Suite C-103B Las Cruces, NM 88002-1182-257
ENGINEERING ▲ SPATIAL DATA ▲ ADVANCED TECHNOLOGIES

OXBOW NORTH CONCEPTUAL EXTERIOR ELEVATIONS

CONCEPTUAL GRADING PLAN OXBOW NORTH AT OXBOW

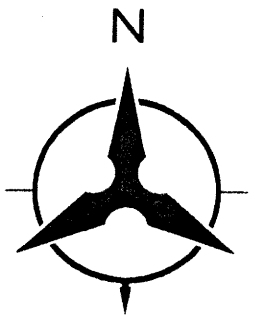


SCALE: 1" = 50'
(HORIZ.)

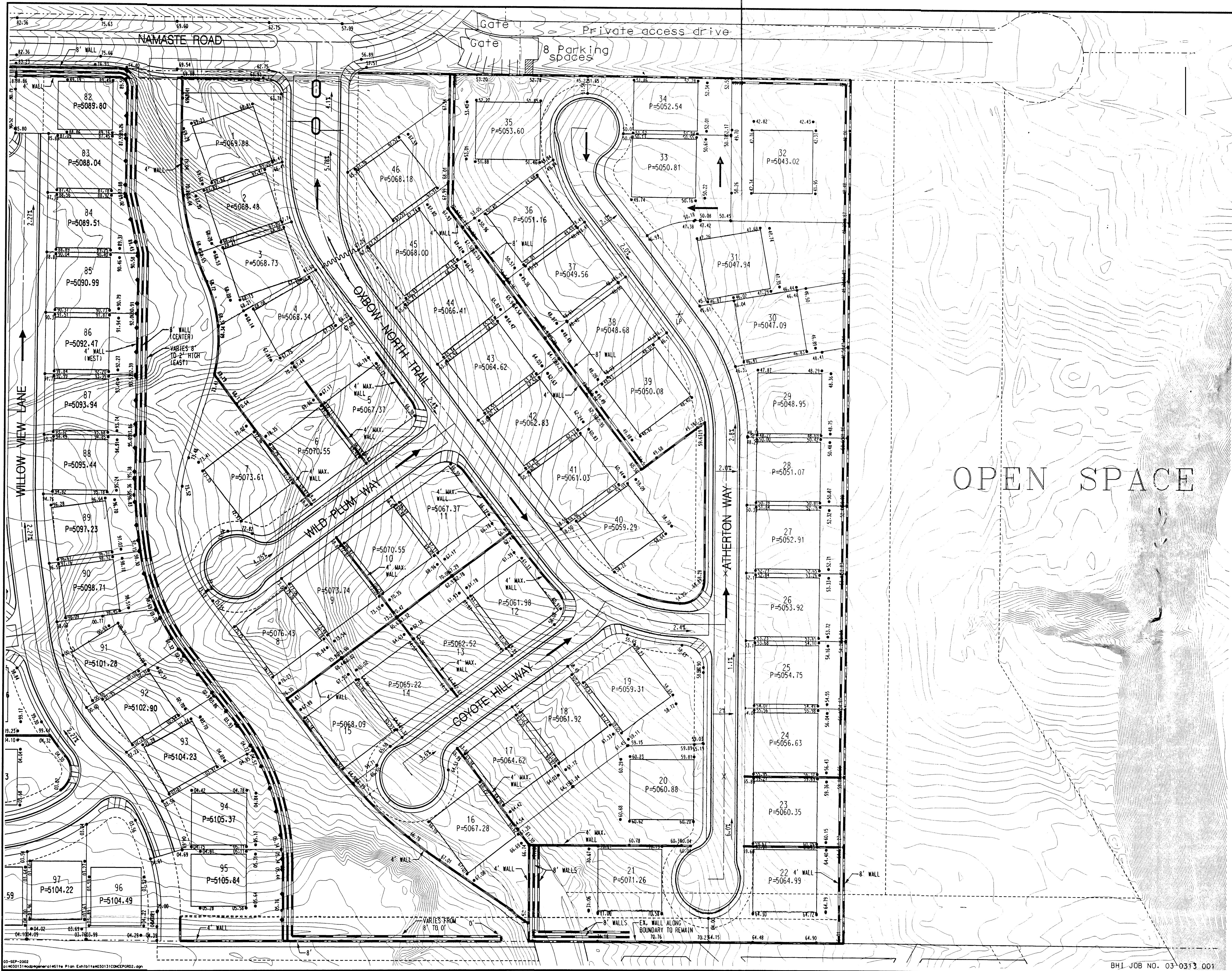


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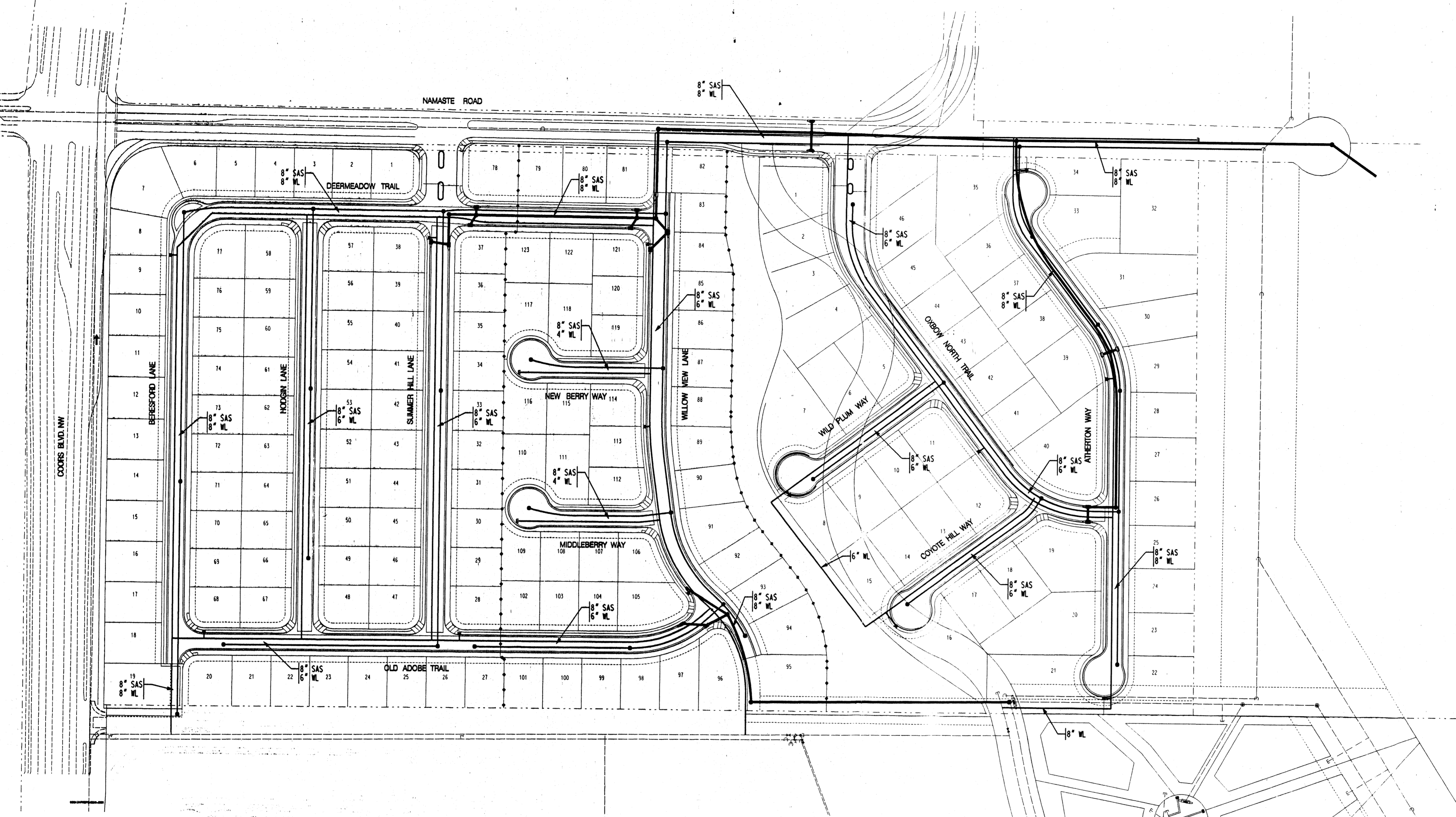
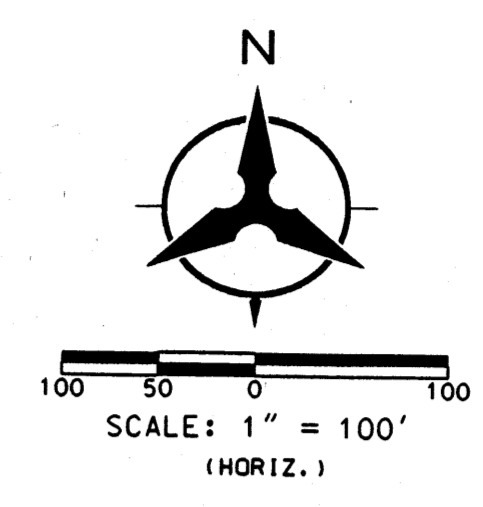
CONCEPTUAL GRADING PLAN OXBOW NORTH AT OXBOW



50 25 0 25 50
SCALE: 1" = 50'
(HORIZ.)



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LEGEND

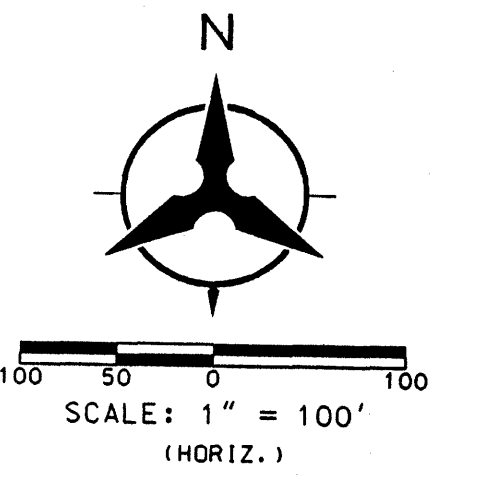
PROPOSED SANITARY SEWER MANHOLE	●
EXISTING SANITARY SEWER MANHOLE	○
EXISTING GATE VALVE	⊗
PROPOSED SANITARY SEWER LINE	— SAS —
EXISTING SANITARY SEWER LINE	- - - SAS - - -
PROPOSED WATER LINE	— W —
EXISTING WATER LINE	- - - W - - -
PROPOSED FIRE HYDRANT	⊙
EXISTING FIRE HYDRANT	○

CONCEPTUAL UTILITY PLAN OXBOW NORTH AT OXBOW

AFD PLANS CHECKING OFFICE
924-3611
APPROVED/DISAPPROVED
HYDRANT(S) ONLY
[Signature] 8-29-02
SIGNATURE & DATE

Bohannon & Huston
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29-AUG-2002
P:\030131\030131\030131\CONCEPTUAL.dgn
jdp\generat\0313e Plan Exhibit\030131\CONCEPTUAL.dgn



LEGEND

- PROPOSED SANITARY SEWER MANHOLE
- EXISTING SANITARY SEWER MANHOLE
- EXISTING GATE VALVE
- PROPOSED SANITARY SEWER LINE SAS
- EXISTING SANITARY SEWER LINE SAS
- PROPOSED WATER LINE W
- EXISTING WATER LINE W
- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT

CONCEPTUAL UTILITY PLAN OXBOW NORTH AT OXBOW

03-SEP-2002
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 214030131.dwg

BHI JOB NO. 03 0313 001

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DESIGN GUIDELINES FOR OXBOW NORTH

The following are guidelines for homes built in the Oxbow North subdivision ("Oxbow North Guidelines"). The construction of homes in the Oxbow North will be subject to the review of the Oxbow North Architectural Control Committee (the "ACC") as described below. Builder will construct all homes within Oxbow North in compliance with these Guidelines.

A. Architecture Styles

All homes must be Pueblo Revival, Pitched Roof Pueblo, Territorial, Contemporary Pueblo, or Old World Style. Below are described characteristics of the different styles. While these characteristics are typical, it is not the intent of these guidelines to prohibit a certain amount of individual expression and creativity as long as the overall look of the house contains the characteristics of one of the styles listed below and conforms to the Guidelines. The ACC retains the right to approve or deny any aspects of the design on a case-by-case basis without limitation.

1. Pueblo Revival Style - Pueblo style is walled architecture recalling the low adobe, flat roofed dwellings of the northern New Mexico Pueblo Indians. Characterized by the "Pueblo Revival" buildings of historic Santa Fe, Pueblo style incorporates recessed set doors and windows, dramatically recessed porches or patios, walled entry courtyards and/or porches, and, radius corners and edges. The Pueblo style traditionally uses flat roofs and relies extensively on post and beam or bearing wall construction. Interesting masonry and soft edged smooth stucco are distinctive features of this style.

2. Pitched Roof Pueblo Style - A more contemporary pueblo style that incorporates a pitched roof is allowed. For use of the pitched roof style, however, the house must incorporate pueblo style elements so that the house will blend with the southwestern theme of the subdivision. The pitch ratio for this combination will be no greater than 5:12.

3. Territorial Style - Territorial houses are characterized by simple, if not symmetrical, masonry, low sloped roofs, brick parapet caps, stucco walls, square corners, and prominent window and door lintels. Porches and courtyards are used to complete plan geometries and to add classical touches to simple masonry. The history of masonry dictates that the window and doors be deep set, but not as dramatically as the Pueblo style. The Territorial style, while closely related to the Pueblo style, is straighter, more formal, more finished and lends itself to modern construction techniques. Roofs must be flat. An entry porch is common and a hallmark of the style. Brick shall be used as parapet caps in chimney frames.

4. Contemporary Pueblo Style - Contemporary interpretations of the Pueblo style incorporating large areas of glass and innovative masonry can be designed, with still, to be in harmony with more traditional residences. Pitched roof forms will not be allowed in this style. Courtyard walls extending geometries of residences are part of this style. The percentage of glass area to wall area, without prior approval of the ACC, shall not exceed 30% in this style.

5. Old World Style - Features typically associated with Old World Style Architecture include rock or stone facades and/or accents, Arched and/or Vaulted elements, Courtyards, Bared vaulted tile (not flat), Roof pitches which do not exceed 5:12, and a combination of flat and pitched roof components. Some or all of these features may be incorporated into an Old World Style House.

6. Any pitched roof must be non-reflective concrete or slate tile or non-reflective metal and of a color that blends with or closely matches the color of the soffit, fascia and eaves. Additional colors may be approved by the ACC on an individual basis.

B. Building Massing

For all of the architectural styles listed above, building massing is critical, especially for the street elevations. Building masses should be offset from the adjacent masses by an appropriate dimension to the size of the building and approved by the ACC. The front and rear (if adjacent to a street) elevations must contain at least two building masses, of which two of the building masses must have at least a 1 foot vertical/horizontal offset. Deviations from the 1-foot minimum massing requirements in the Design Guidelines may be approved on an individual basis. A building mass is defined as a volume of space that usually appears as a wall/beam form, consisting of a roof and at least three (3) walls.

C. Garages

1. Each home must have a garage for not more than three and not less than two cars and have a driveway sufficient to park two vehicles, so that a minimum of four parking spaces is provided.
2. Garage doors shall be offset from the surface of the front facade by a minimum of eight inches (8").

D. Windows

All exterior windows and frames of windows must be a white or tan color.

E. Setbacks

An effort shall be made to have a variety of front yard setbacks and to develop a randomness to the different setbacks. The minimum setbacks are as follows:

1. Front yard setback
 - a. No house shall be constructed within ten feet (10') from the front property line of a lot.
 - b. The garage shall be constructed to assure that a twenty-foot (20') minimum parking area exists in front of the garage.
2. Side yard setback - no house shall be constructed within five feet (5') from the side property line of a lot.
3. Rear yard setback - no house shall be constructed within fifteen feet (15') from the rear property line of a lot.

F. Minimum Square Footage

Each home must have at least 1,550 square feet of fully enclosed heating area, exclusive of garages and open porches and patios.

G. Materials and Pre-Approved Building Colors

1. All homes must be finished with synthetic stucco. Subject to ACC approval, the only colored stucco finishes that will be allowed on homes are the following:

- Sto Flex Adobe Brown (#1104)
- Sto Flex Sandia (#1616)
- Sto Flex Pueblo (#1005)
- Sto Flex Suede (#1006)
- Sto Flex Santa Fe Noche (#1003)
- Sto Flex Tarron for High Desert (#1501A)
- USG Oxbow Bluff (Building Specialties)

If a brand of synthetic stucco is used other than Sto or USG, the color must match one of the above colors. Additional colors may be approved by the ACC on an individual basis.
2. Stone and/or tile may be used as an accent feature.

H. Building Height

The maximum height allowed for any homes constructed in Oxbow North is twenty-six feet (26'). This height limitation is as defined in the city of Albuquerque Comprehensive zoning code.

1. The maximum area of the second story of a house shall be no more than seventy-five percent (75%) of the area of the first floor. The first floor area is calculated inclusive of the garage area and porch area. The second story area is calculated exclusive of roof decks and porches. For example, if the first floor has an area of 2,000 s.f., the area of the second story is limited to a maximum of 1,500 s.f.
2. Floor Area Ratio is the ratio of the heated floor area (including multiple stories) of the structures to the lot. In order to assure that houses are in appropriate proportion to their lot, a Floor Area Ratio of .75 shall not be exceeded.

I. Landscaping

1. Approval Process. Plans for front yard landscaping must be submitted for approval prior to the start of construction of landscaping to the ACC and must be compatible with the overall subdivision streetscape and must conform to and meet or exceed the minimum standards as approved.
2. Timing of Installation. All front yard landscaping (if the home is on a corner), must be completed by the builder no later than two months after completion of construction of the home, but in any event no later than the date of occupancy of the home.

J. Site Lighting

1. Site lighting shall not have a total off-site luminance greater than 1000 foot lamberts; however, it shall not have an off-site luminance greater than 200 foot lamberts measured from the property line of any private property in a residential zone.
2. The mounting height of luminaires in vehicular and/or storage areas shall be no higher than 20 feet.

K. Mechanical Equipment

1. Air conditioning/heating equipment may be installed on flat-roofed structures but must be screened from view by parapets that are an integral part of the house. No air conditioning/heating equipment shall be installed on houses with a pitched roof profile. Equipment that is ground-mounted shall be located within the side or rear yard and screened from the front and sides.
2. Any roof-mounted equipment shall be screened with materials architecturally compatible to the house in terms of materials, color and design. Ground mounted equipment shall be screened with materials architecturally compatible to the house in terms of material, color, design, and/or landscaping. Top of screen walls are to be the same height or higher than the equipment being screened.

L. Fireplaces

Fireplaces and/or stoves shall be limited to gas logs and Environmental Protection Agency approved wood-burning devices. No ordinary wood-burning fireplaces shall be installed in any residential dwelling.

M. Walls

1. Subdivision Walls. The perimeter subdivision wall shall be concrete masonry unit (CMU) with stucco finish and will be installed and paid for by the Developer. The wall height shall be no more than eight feet (8') and no less than four feet (4') as measured from the street side of the wall.
2. Site Walls

- a. Each house must have a rear wall and two sidewalls. All rear walls shall extend the entire length of the rear property line. All sidewalls shall extend from the rear of the lot to at least within 6' of the front of the garage.
- b. Interior residential lot line walls shall be CMU and no more than eight feet (8') in height. Wall planes facing out to streets shall have a stucco finish of a color to match the house to which it is adjacent. The inside of the wall shall be painted to match Sto Flex Pueblo (#1005).
- c. All walls that are located on the common property line between adjoining lots shall be party walls that may not be removed by either property owner of the adjoining lots. All walls must be constructed from the elevation specified by the subdivision engineer and indicated on the grading plan of the Oxbow North Subdivision. The cost of installation and maintenance of such party retaining walls shall be split equally between property owners of the adjoining lots.
- d. No wall or fence may be erected on a lot that is closer to the street than the front of the dwelling on the lot, except for courtyard walls.
- e. A house is located on a corner when such house abuts more than one public right-of-way. The corner house will be deemed to front on the right-of-way on which the house has a smaller dimension, subject to possible redesignation by the ACC upon the request of the owner of any such house.
3. Courtyard walls. Courtyard walls are allowed within the front yard setback areas and shall be constructed of materials, finish, and color that are complementary to the house. Wall height shall be as approved by the ACC, and shall not intrude on the clear site triangle.

N. Mailboxes

"Cluster-type" mailboxes will be used, subject to the requirements of, and in coordination with, the United States Postal Service.

O. Review for Compliance

The compliance of any structure or improvement within the Oxbow North will be reviewed by the ACC.

In order for the ACC to perform such review, the following must be submitted (the completeness of which will be subject to the determination of the ACC):

1. One complete set of plans, including but not limited to, foundations, floor plans, elevations, details, plot plan, ACC submittal sheet, landscaping plans and the finished grade of the structure or improvement on the lot.

Within 15 days of receipt of the plans, the ACC will communicate the results of its review in writing to the builder. The communication will specifically indicate whether or not the proposed structure complies with the Design Guidelines.

P. Vacant Lots; Destruction

1. There shall be no trash, ashes, paper or refuse of any kind thrown or dumped onto vacant lots in the Oxbow North Subdivision.
2. The Owner of a lot within the Oxbow North Subdivision that is vacant shall be responsible to keep the lot cleared of all weeds, trash and any other matter that is visually or otherwise undesirable.
3. The Owner of a lot upon which a structure is destroyed by fire or other casualty shall within promptly rebuild, repair or replace the structure or remove the debris (including foundations) from the lot.
4. Two or more adjoining lots may be combined to form a single lot, subject to approval by the City of Albuquerque Subdivision ordinance and ACC.

Q. Restricted Activities

1. The use of any trailer, motor home, boat, shock, tent, garage or any other outbuilding as a residence, either temporarily or permanently is prohibited. However, one motor home or boat may be kept in the driveway or in front of a house for no more than ten (10) days per year.
2. The placement of any kind of antenna (radio, shortwave, television or others), either temporarily or permanently, is prohibited without the prior approval of the ACC.
3. The construction, erection, placement, assembly or maintenance of any outbuilding or storage building or other auxiliary building of any nature, permanent or temporary, detached from the permitted improvements on the house, must be approved in writing by the ACC and must be of similar architectural design as the house.

S. Pedestrian Circulation

Pedestrian circulation for residents for the Oxbow North is an important benefit. Accordingly, sidewalks and/or pedestrian/bicycle pathways are incorporated in, from, and throughout, the development. These pathways lead to the existing pedestrian/bicycle network and to/from the Oxbow marsh area.

Bohannon & Huston

Courtyard | 7500 Jefferson St. NE | Albuquerque, NM 87109-4338
ENGINEERING • SPATIAL DATA • ADVANCED TECHNOLOGIES

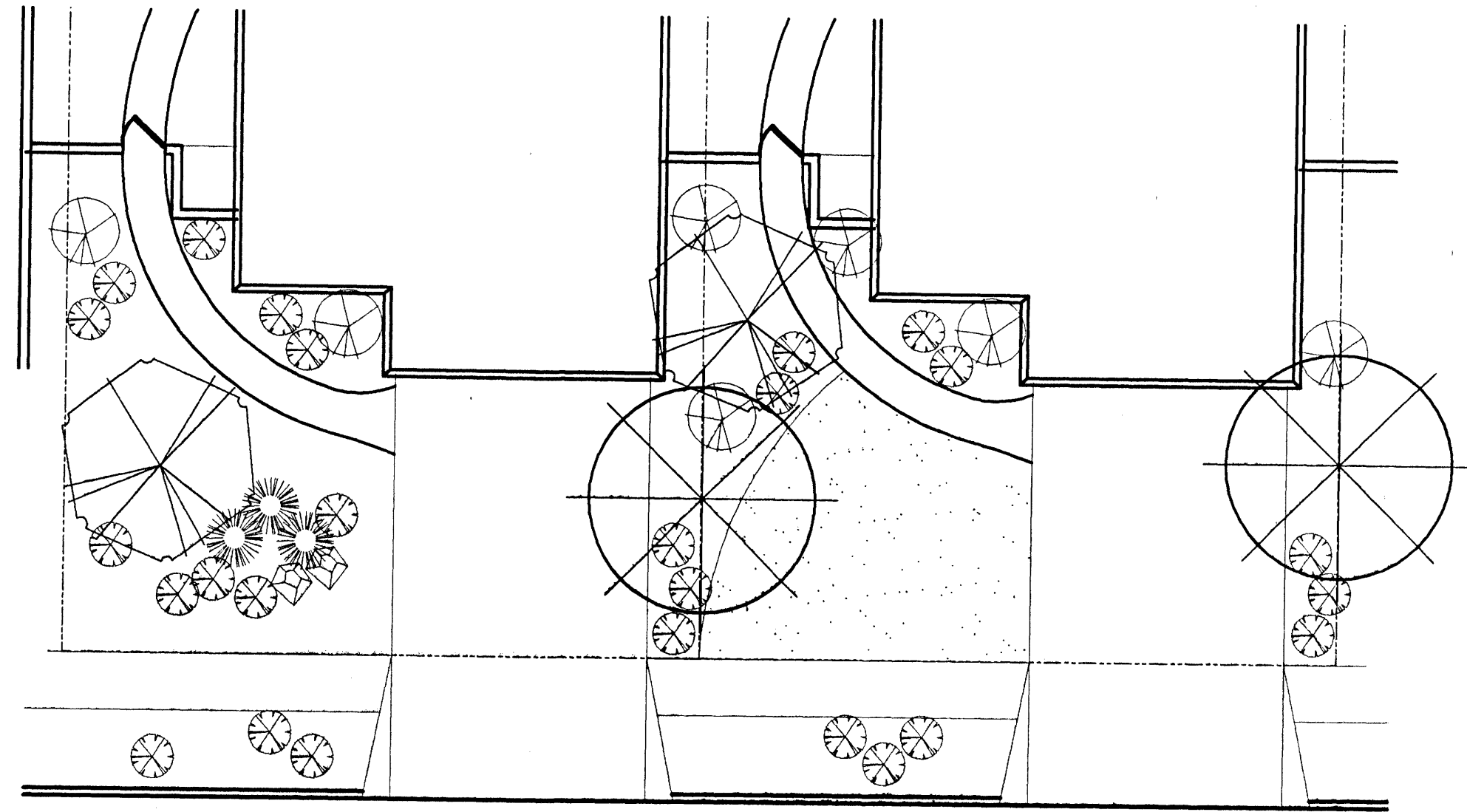
**OXBOW NORTH SUBDIVISION
UNITS 1, 2 & 3**

DESIGN GUIDELINES

THE OXBOW NORTH DESIGN GUIDELINES
ALBUQUERQUE, NEW MEXICO
AUGUST 2002

NO.	DATE	REVISIONS	BY

ZONE MAP NO.
F-11 & G-11 PAGE 6



MINIMUM FRONT YARD LANDSCAPE STANDARDS

Southwest Package

- 1 Focal Tree (min. 15 gallon)
- 1 Tree (min. 7 gallon)
- 5 Shrubs (min. 5 gallon)
- 16 Wild Flowers/Groundcovers (min. 1 gallon)
- 2 Landscape Boulders (3'x3' min.)

Combination Package

- 1 Focal Tree (min. 15 gallon)
- 1 Tree (min. 7 gallon)
- 5 Shrubs (min. 5 gallon)
- 10 Wild Flowers/Groundcovers (min. 1 gallon)
- Turf Sod w/Steel Edging

In addition, all front yard landscaping shall be required to have the following:

- ¾" Santa Fe Brown Rock Mulch over filter fabric for all landscaped areas that are not covered with living vegetative groundcover

The following approved Accents can be used for front yard landscaping:

- 2"-4" Cobbles (max. 25% of Area), Bark Mulch (in tree wells only)

GENERAL PLANT PALETTE FOR FRONT YARD LANDSCAPES

This list is provided as a guide only. Additional plant materials included in the "Albuquerque Plant List" are acceptable subject to the Water Conservation Landscaping and Water Waste Ordinance.

Focal Trees*

Pinon Pine, New Mexico Olive or Washington Hawthorn

Ornamental Trees*

Desert Willow or Pine

*Palm Yucca and Ocotillo shall not be considered to fulfill the requirement for front yard trees.

Shrubs (5 gallon)

Spanish Broom, Regal Mist, India Hawthorn, Rosemary, Cotoneaster, Autumn Sage

Groundcovers and Wildflowers (1 gallon)

Blue Pincushion, Santolina, Wallflower, Gaillardia, Coreopsis, Red Hot Poker, Tam Juniper, Lavender or Penstemon

IRRIGATION SYSTEM

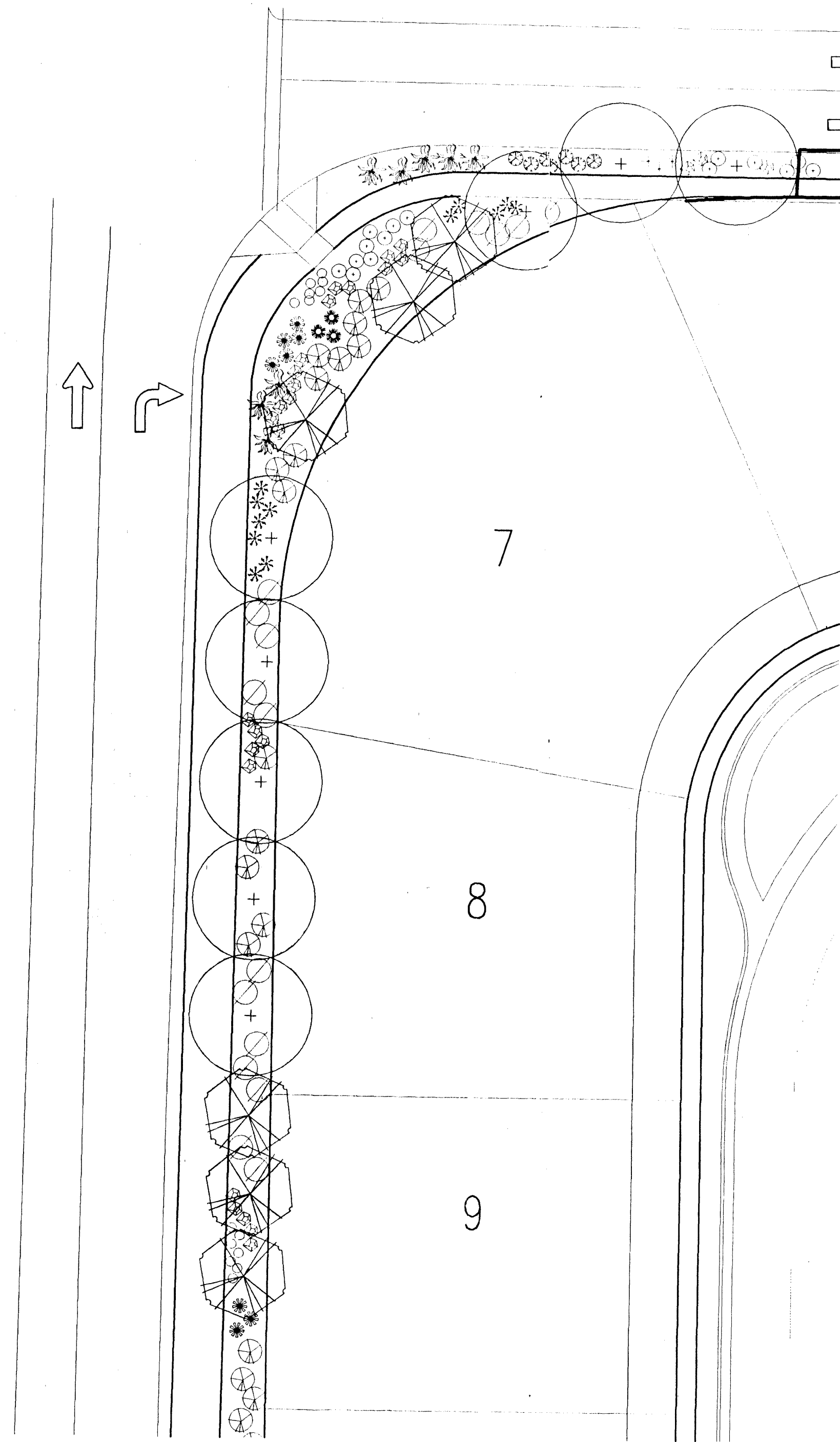
The irrigation system shall consist of a fully automated sprinkler/drip system to irrigate turf, trees, shrubs, and groundcovers.

MAINTENANCE RESPONSIBILITY

Maintenance of the landscaping and irrigation system, including areas within the City R.O.W., shall be the responsibility of the individual homeowners.

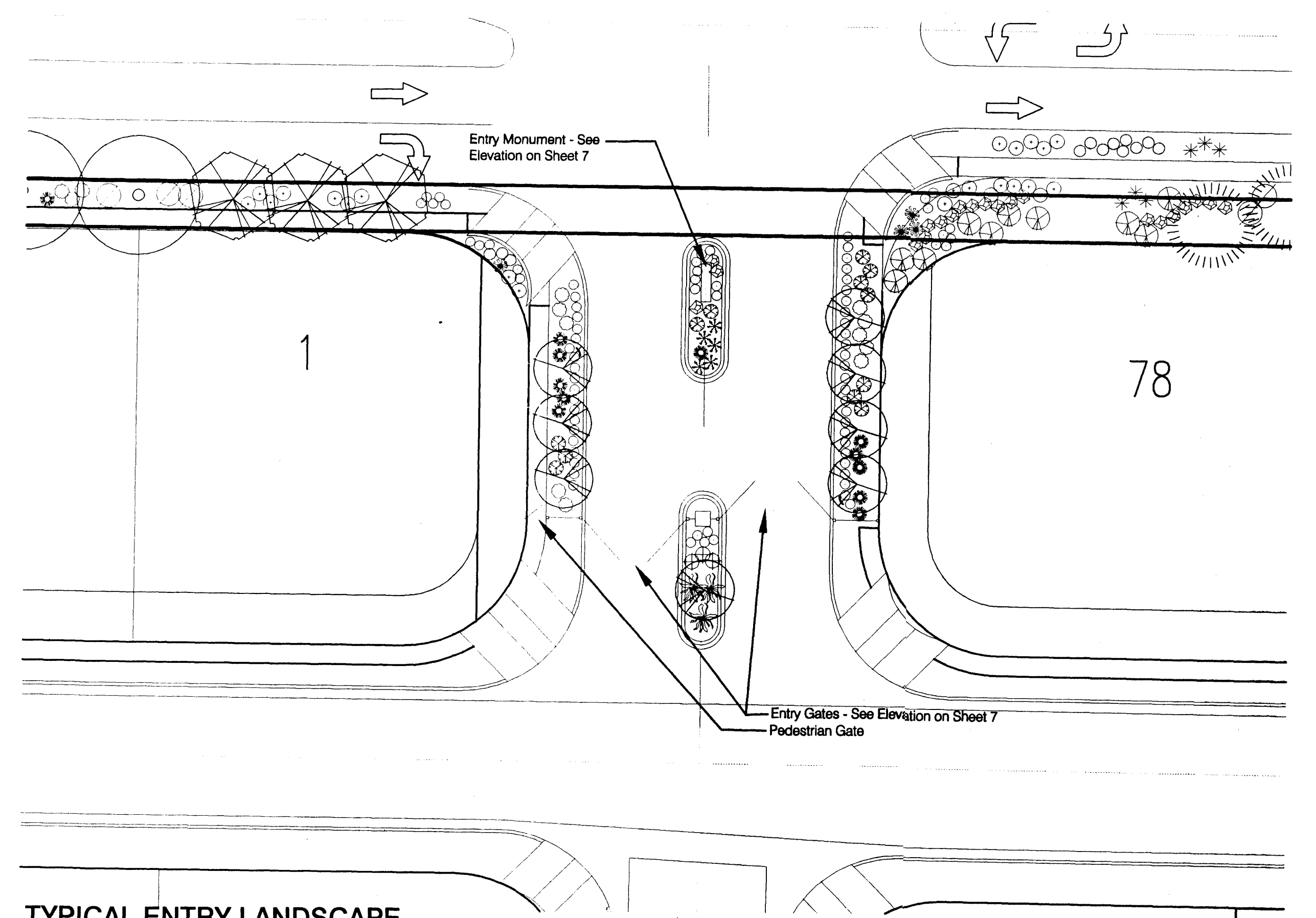
TYPICAL FRONT YARD LANDSCAPE PLAN

1" = 10'



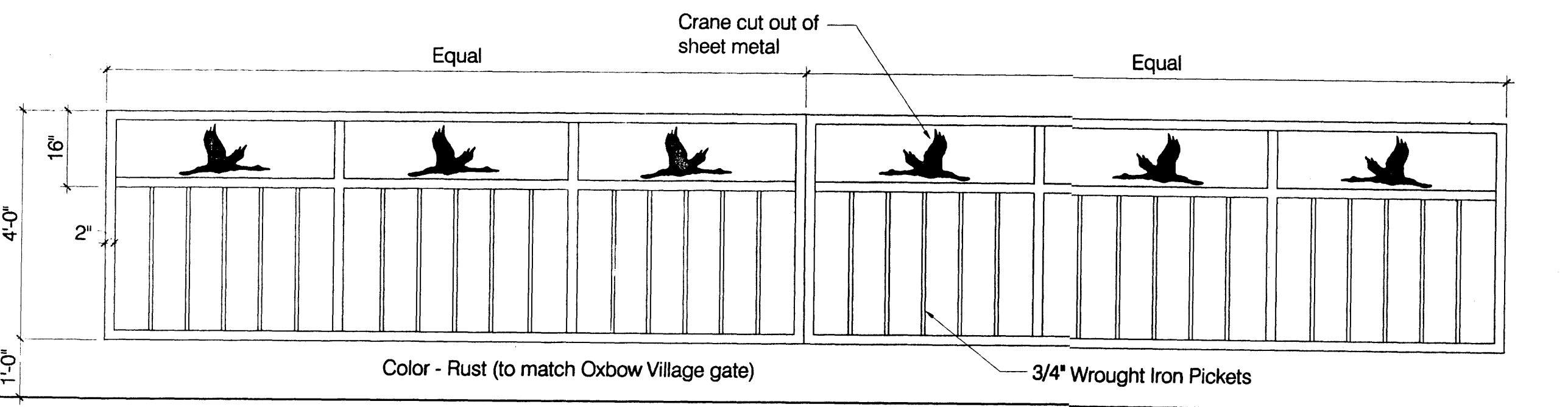
TYPICAL STREETScape LANDSCAPE

1" = 20'



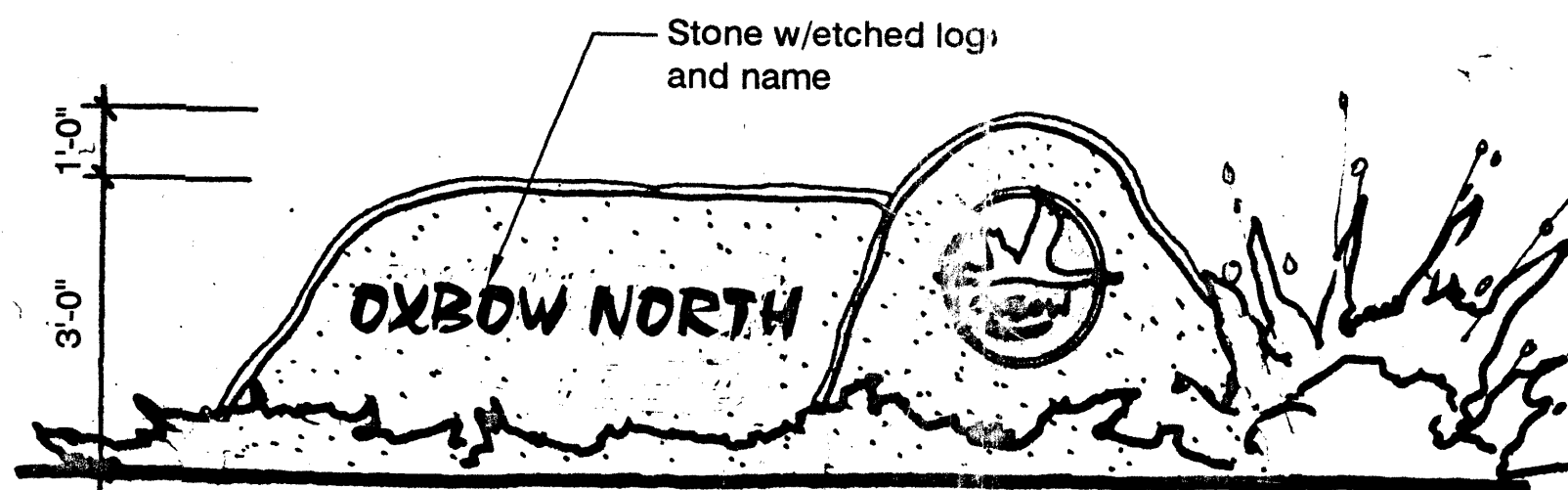
TYPICAL ENTRY LANDSCAPE

1" = 20'



ENTRY GATE ELEVATION

1/2" = 1'-0"



ENTRY MONUMENT ELEVATION

1/2" = 1'-0"

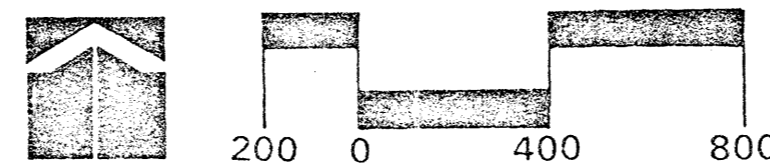
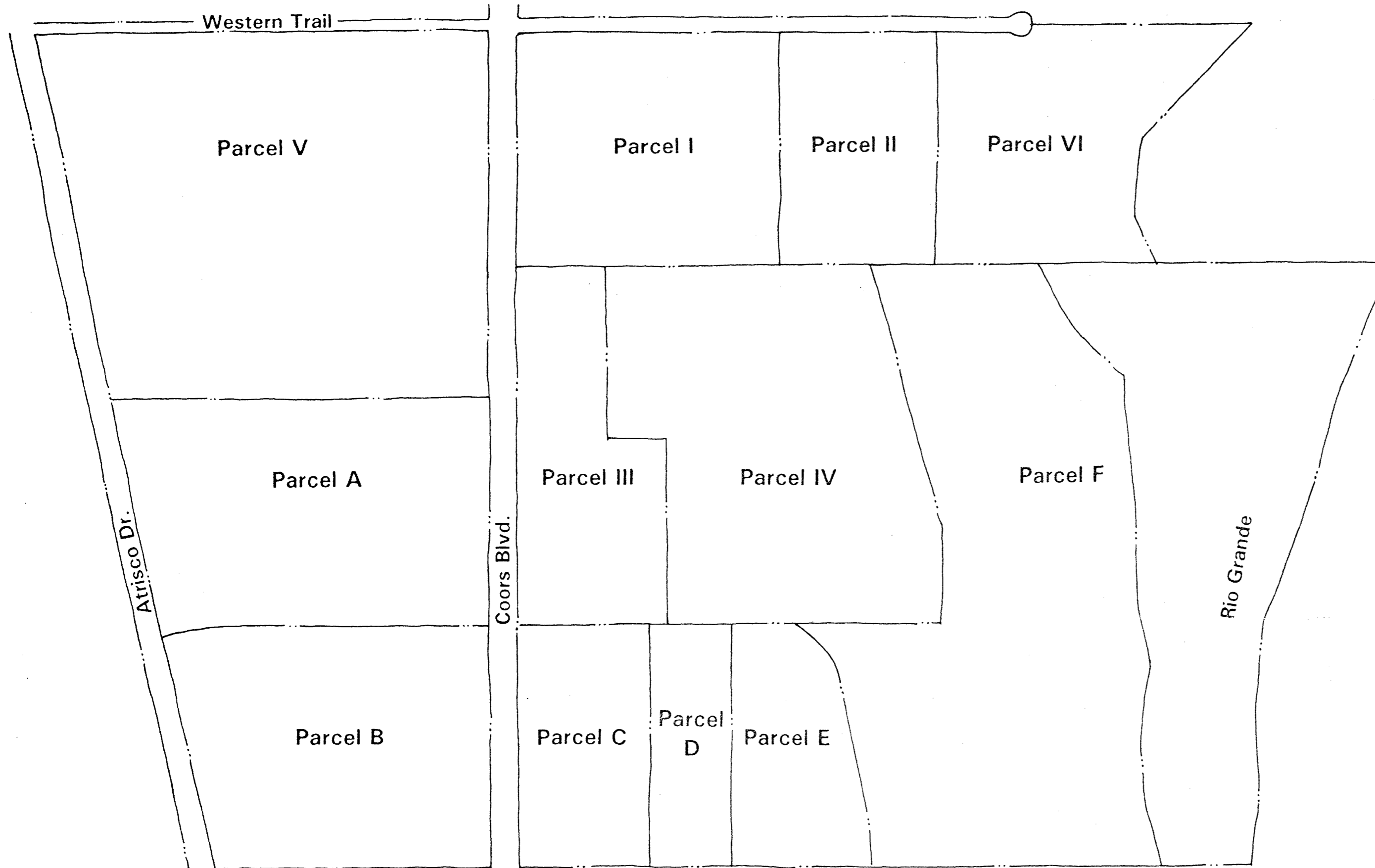
CONSENSUS PLANNING, INC.
 Planning / Landscape Architecture
 924 Park Avenue SW
 Albuquerque, NM 87102
 (505) 764-9801 Fax 842-5495
 e-mail: cp@consensusplanning.com

OXBOW NORTH
 CONCEPTUAL LANDSCAPE DETAILS

UNIVERSITY OF ALBUQUERQUE
SECTOR PLAN LAND USE/ZONING LEGEND

PARCELS

ZONING: SU-3	I	II	III	IV	V	VI	A, B	C, D, E, F
Employment Center, Technical Services Light Industrial and/or Office Park (Campus Type)	X							
Educational				X				
Mixed Use (Office, Commercial, Residential) (10-25 du/ac)		X	X					
Planned Development Area				X				
Open Space						X		
Mixed Use (Mixed uses on this parcel shall include single family residential (permissive R-1/T Uses) 6 to 10 dwelling units per acre (16.4 acres), Office (permissive O-1 Uses) (5.1 acres), Commercial (permissive C-1 Uses including grocery store with package liquor sales incidental to that use) (13.7 acres), multi-family residential (permissive R-2 Uses) 18 to 24 dwelling units per acre (17.0 acres), and neighborhood park (1.8 acres)						X		
Mixed Residential (Residential development not to exceed 25 du/ac and neighborhood commercial/office (C-1 and O-1 uses). There shall be a minimum of 5 acres (adjacent to Coors Blvd) developed with town homes or apartments at not less than 8 du/ac and an additional 3 to 5 acres (at the corner of Coors Blvd and St. Joseph's Dr.) that shall be developed with either neighborhood commercial office and/or town homes or apartments at not less than 8 du/ac. The balance of Parcels C, D, and E shall be developed at an average 4 to 8 du/ac. Parcel F shall be developed 1 to 3 du/ac.								X
Mixed Uses (A minimum of approximately 30 acres within Tracts A and B shall be developed as apartments (R-3) at 24-30 du/ac; the balance of the property is to be developed as (C-2) commercial or (O-1) office (approximately 19 acres) and church and related uses (residential uses (R-3) at 24 du/ac and/or joint use park and ride facility, ten acres or less).								X



SCALE: 1" = 400'

PH 1000032

99410-00000-00033

00440-00000-00371

1999 SECTOR DEVELOPMENT PLAN AMENDMENT APPROVED

Rudolf Dan 3-15-00
Traffic Engineer, Transportation Division Date

Mark Calogian 3-15-00
City Engineer AMAFCA BRADLEY 3-15-00 Date

Edward Stang 3-15-00
Utility Division EDWARD 3-15-00 Date
STANG

Just Sg 5/9/00
Parks & Recreation Department Date

Planning Department Date

1999 AMENDMENT

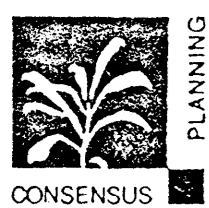
Prepared For:

Rio Puerco Partners, L.P.
17875 Von Karmen Suite 203
Irvine, CA 92714

Prepared By:

Consensus Planning, Inc.
924 Park Avenue SW
Albuquerque, NM 87102
DECEMBER 14, 1999

EXHIBIT "A"



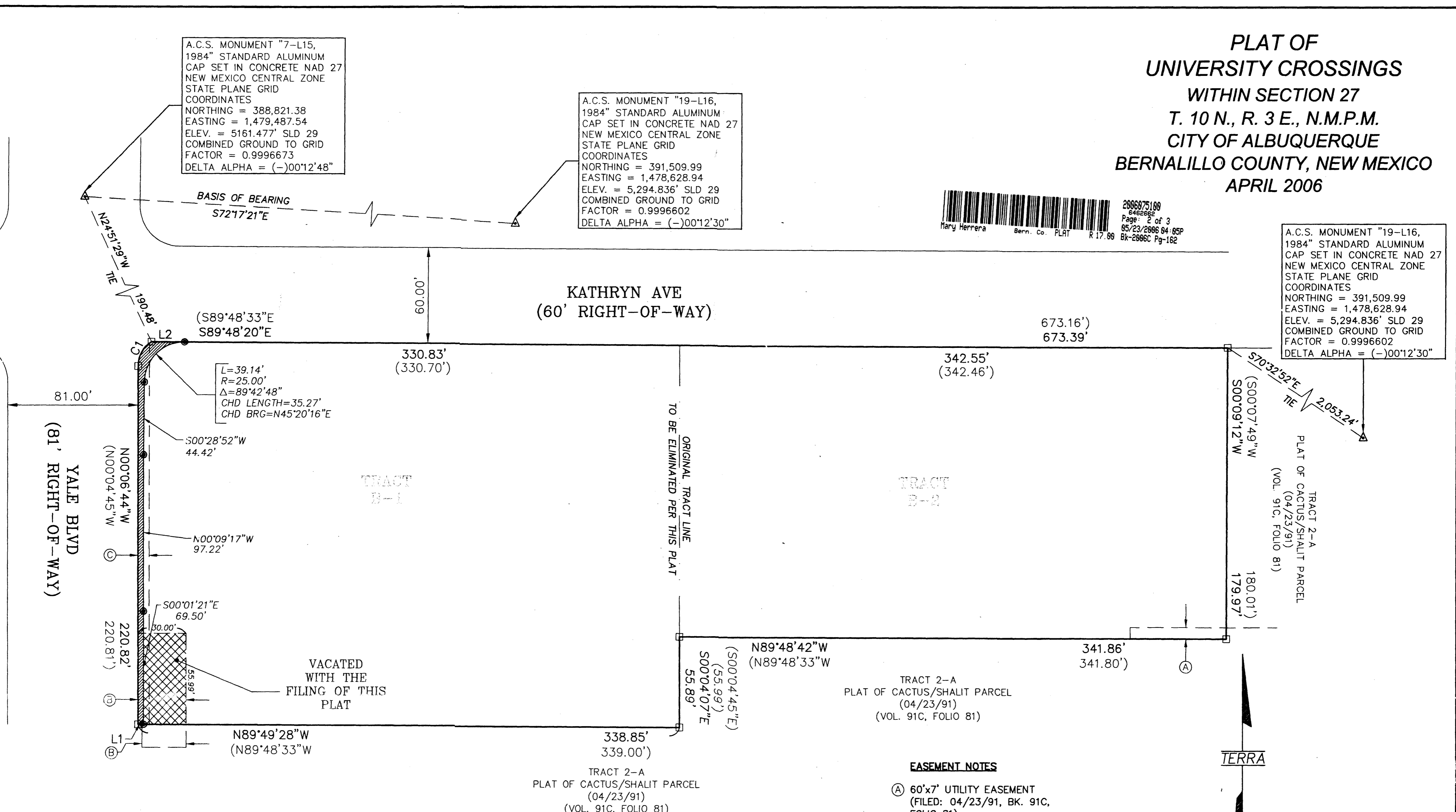
**PLAT OF
UNIVERSITY CROSSINGS
WITHIN SECTION 27
T. 10 N., R. 3 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL 2006**

A.C.S. MONUMENT "7-L15,
1984" STANDARD ALUMINUM
CAP SET IN CONCRETE NAD 27
NEW MEXICO CENTRAL ZONE
STATE PLANE GRID
COORDINATES
NORTHING = 388,821.38
EASTING = 1,479,487.54
ELEV. = 5161.477' SLD 29
COMBINED GROUND TO GRID
FACTOR = 0.9996673
DELTA ALPHA = (-)00'12'48"

A.C.S. MONUMENT "19-L16,
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NORTHING = 391,509.99
EASTING = 1,478,628.94
ELEV. = 5,294.836' SLD 29
COMBINED GROUND TO GRID
FACTOR = 0.9996602
DELTA ALPHA = (-)00'12'30"

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6468882
Page: 2 of 3
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Bk-2006C Pg-162
Mary Herrera Bern. Co. PLRT R 17.00

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FACTOR = 0.9996602
DELTA ALPHA = (-)00'12'30"



CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	57°13'51"	17.98'	17.96'	N28°17'55"E	17.22'
	(57°25'02")	(17.98')	(18.02')	(N28°37'49"E)	(17.27')

LINE	BEARING	DISTANCE
L1	S89°49'28"E	3.31'
L2	N89°48'20"W	20.75'

HATCH NOTE



30.00'x55.99' VACATION OF 30'x70'
DRAINAGE SILT RETENTION POND
EASEMENT.
APPLICATION NO. 06 DRB-00085



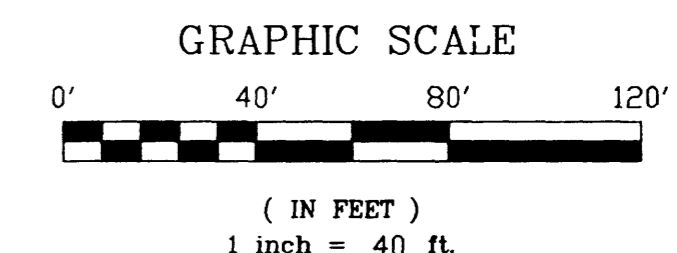
915.81 SQUARE FEET OF ADDITIONAL
STREET RIGHT-OF-WAY DEDICATED
BY THIS PLAT.

MONUMENT LEGEND

	ACS CONTROL STATION MONUMENT
	REBAR W/CAP "LS 4078"
	SET REBAR W/CAP "C.A. MEDINA P.S. 15702"

EASEMENT NOTES

- (A) 60'x7' UTILITY EASEMENT
(FILED: 04/23/91, BK. 91C,
FOLIO 81)
- (B) 30'x70' DRAINAGE SILT
RETENTION POND EASEMENT
(FILED: 04/23/91, BK. 91C,
FOLIO 81)
- (C) 7' UTILITY EASEMENT
(FILED: 04/23/91, BK. 91C,
FOLIO 81)



TERRA LAND SURVEYS, LLC
P.O. BOX 2532 • CORRALES, NM 87048 • (505) 792-0513

**PLAT OF
UNIVERSITY CROSSINGS
WITHIN SECTION 27
T. 10 N., R. 3 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL 2006**

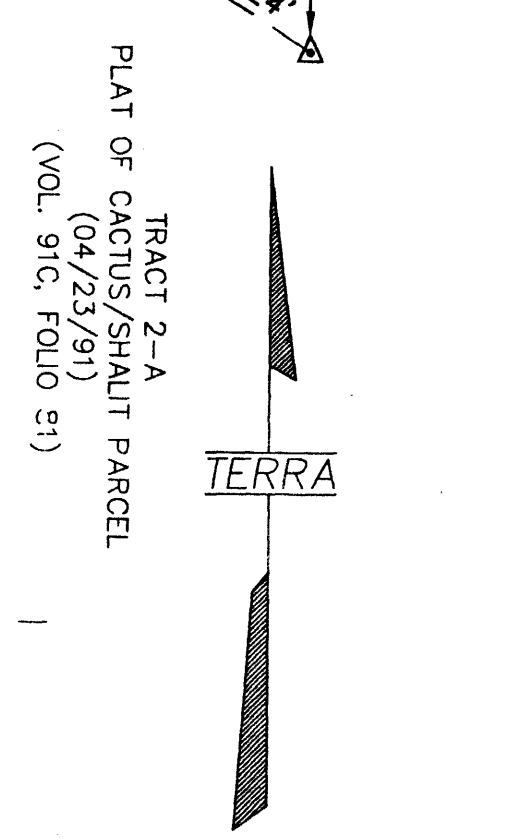
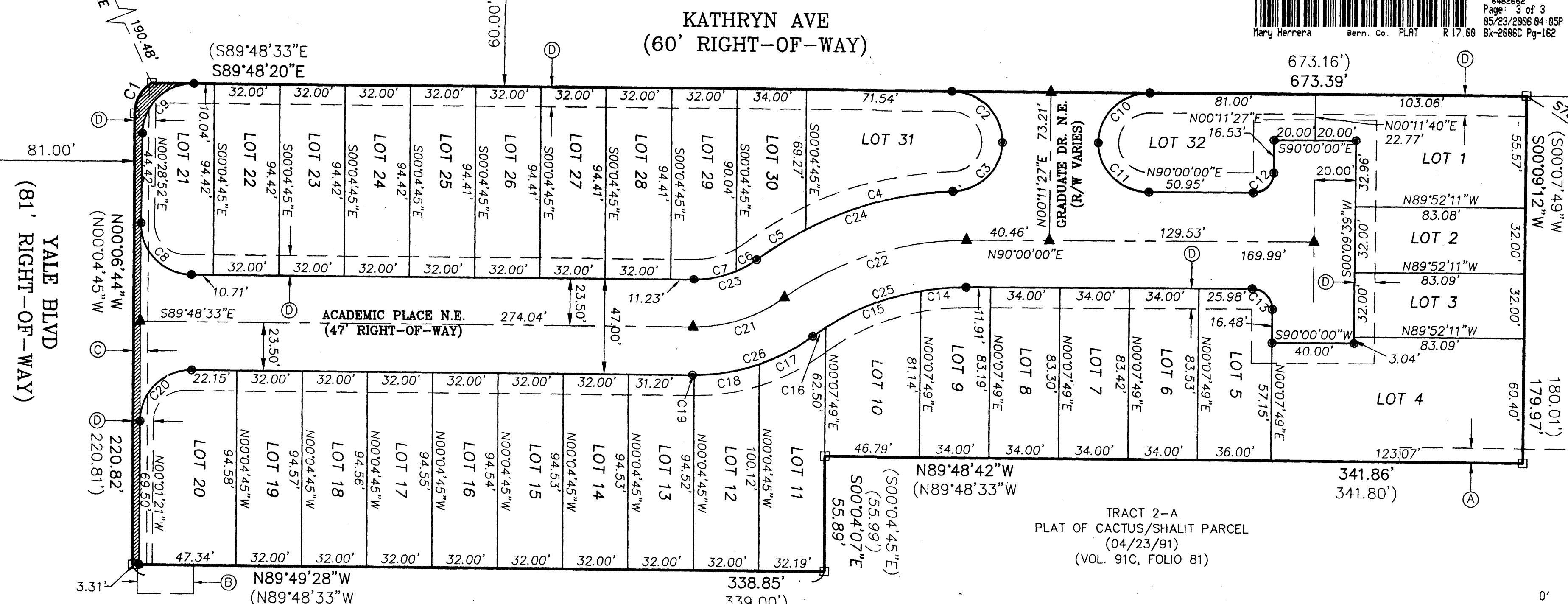
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FACTOR = 0.9996602
DELTA ALPHA = (-)00°12'30"

LEGEND	
▲	ACS CONTROL STATION (AS LABELED)
▲	ACS MONUMENT "PLS 15702"
□	REBAR W/CAP "LS 4078"
●	SET REBAR W/CAP "CA. MEDINA P.S. 15702"



A.C.S. MONUMENT "19-L16,
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CAP SET IN CONCRETE NAD 27
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COMBINED GROUND TO GRID
FACTOR = 0.9996602
DELTA ALPHA = (-)00°12'30"



CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	57°13'51"	17.98'	17.96'	17.22'	N28°17'55"E
C2	89°51'13"	25.00'	39.21'	35.31'	S44°52'44"E
C3	87°32'05"	25.00'	38.19'	34.59'	S43°57'29"W
C4	24°53'56"	173.50'	75.40'	74.81'	N75°16'34"E
C5	09°18'52"	173.50'	28.21'	28.17'	N58°10'10"E
C6	12°55'15"	51.50'	11.61'	11.59'	S59°58'21"W
C7	23°45'28"	51.50'	21.35'	21.20'	S78°18'43"W
C8	90°17'25"	25.00'	39.40'	35.44'	N44°39'51"W
C9	89°42'48"	25.00'	39.14'	35.27'	N45°20'16"E
C10	89°29'01"	25.00'	39.04'	35.20'	N45°27'10"E
C11	89°40'15"	25.00'	39.13'	35.25'	N45°09'53"W
C12	89°48'33"	10.00'	15.67'	14.12'	S45°05'43"W
C13	90°07'49"	10.00'	15.73'	14.16'	S44°56'05"E
C14	10°03'38"	126.50'	22.21'	22.18'	N84°58'11"E
C15	22°57'26"	126.50'	50.69'	50.35'	N68°27'39"E
C16	03°28'13"	126.50'	7.66'	7.66'	N55°14'50"E
C17	17°14'48"	98.50'	29.65'	29.54'	S62°08'07"W
C18	18°58'09"	98.50'	32.61'	32.46'	S80°14'36"W
C19	00°27'47"	98.50'	0.80'	0.80'	S89°57'34"W
C20	90°12'48"	25.00'	39.36'	35.42'	N45°05'03"E
C21	36°40'44"	75.00'	48.01'	47.20'	S71°51'05"W
C22	36°29'17"	150.00'	95.53'	93.92'	S71°45'22"W
C23	36°40'44"	51.50'	32.97'	32.41'	S71°51'05"W
C24	36°29'17"	173.50'	110.49'	108.63'	S71°45'22"W
C25	36°29'17"	126.50'	80.56'	79.21'	S71°45'22"W
C26	36°40'44"	98.50'	63.06'	61.99'	S71°51'05"W

TRACT 2-A
PLAT OF CACTUS/SHALIT PARCEL
(04/23/91)
(VOL. 91C, FOLIO 81)

LOT	SQUARE FEET	ACRES
1	5,075.46	0.1165
2	2,658.66	0.0610
3	2,658.79	0.0610
4	7,302.75	0.1676
5	2,987.64	0.0686
6	2,838.04	0.0652
7	2,834.24	0.0651
8	2,830.44	0.0650
9	2,812.36	0.0646
10	3,445.33	0.0791
11	3,488.03	0.0801
12	3,085.08	0.0708
13	3,024.70	0.0694
14	3,024.97	0.0694
15	3,025.24	0.0695
16	3,025.51	0.0695

LOT	SQUARE FEET	ACRES
17	3,025.78	0.0695
18	3,026.05	0.0695
19	3,026.33	0.0695
20	4,337.76	0.0996
21	3,072.09	0.0705
22	3,021.48	0.0694
23	3,021.42	0.0694
24	3,021.35	0.0694
25	3,021.29	0.0694
26	3,021.23	0.0694
27	3,021.16	0.0694
28	3,021.10	0.0694
29	2,991.34	0.0687
30	2,705.16	0.0621
31	5,047.02	0.1159
32	4,421.24	0.1015

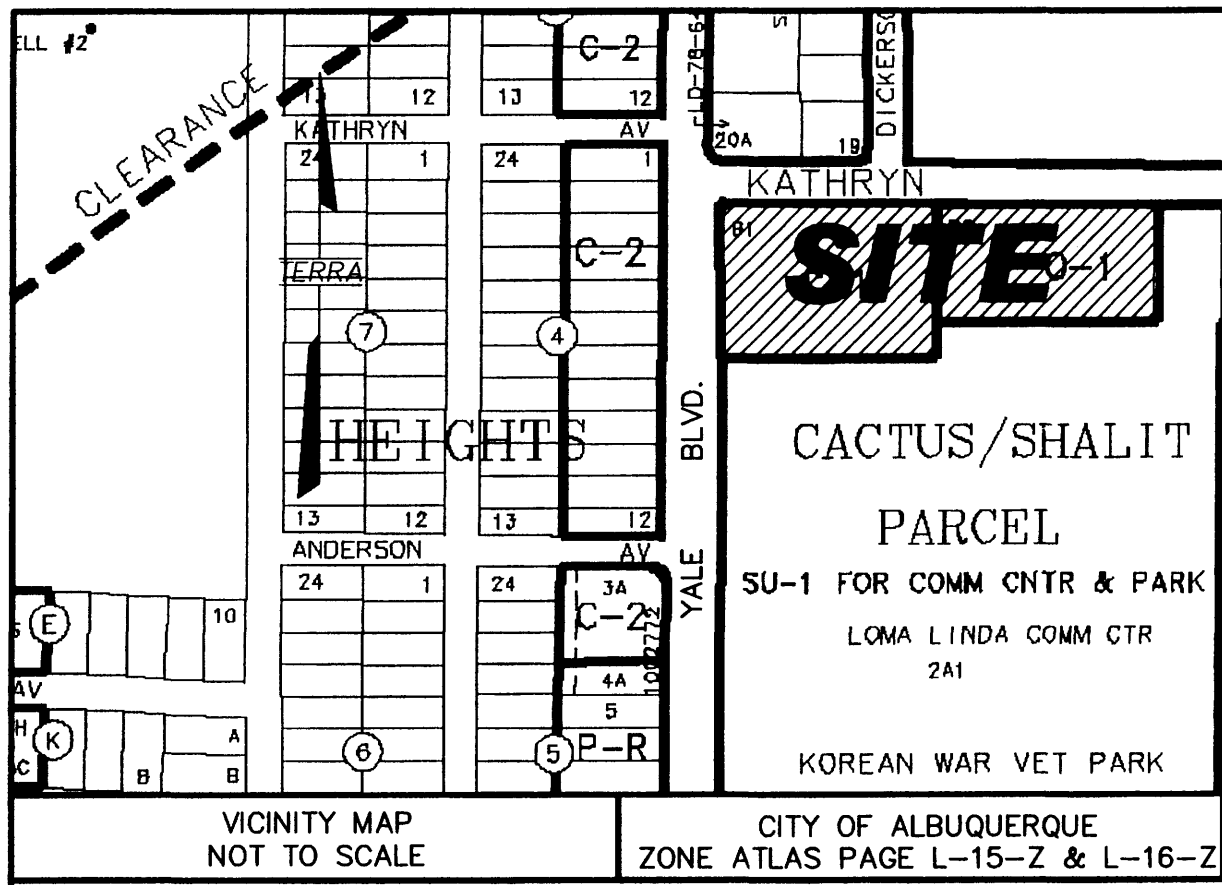
EASEMENT NOTES

- (A) 60'x7' UTILITY EASEMENT (FILED: 04/23/91, BK. 91C, FOLIO 81)
- (B) REMAINDER OF A VACATED 30'x70' DRAINAGE SILT RETENTION POND EASEMENT (FILED: 04/23/91, BK. 91C, FOLIO 81)
- (C) 7' UTILITY EASEMENT (FILED: 04/23/91, BK. 91C, FOLIO 81)
- (D) 10' PUBLIC UTILITY EASEMENT (GRANTED BY THIS PLAT)

HATCH NOTE

HATCHED AREA DESIGNATES (0.0210 ACRES, 915.81 SQUARE FEET) OF ADDITIONAL PUBLIC STREET RIGHT-OF-WAY TO BE DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT.

TERRA LAND SURVEYS, LLC
P.O. BOX 2532 • CORRALES, NM 87048 • (505) 792-0513



STATEMENT OF DECLARATION

THE PURPOSE OF THIS PLAT IS TO CREATE 32 LOTS, DEDICATE RIGHT-OF-WAY TO THE CITY OF ALBUQUERQUE, VACATE A PORTION OF THE DRAINAGE SILT RETENTION POND EASEMENT AND GRANT EASEMENTS AS SHOWN.

LEGAL DESCRIPTION:

TRACTS LETTERED "B-1" AND "B-2" OF THE PLAT OF CACTUS/SHALIT PARCEL, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY NEW MEXICO, ON APRIL 23, 1991, IN PLAT BOOK 91C, PAGE 81.

PUBLIC UTILITY EASEMENT NOTE:

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

1. PNM ELECTRIC SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, COMMUNICATION FACILITIES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICE.

2. PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.

3. QWEST CORPORATION FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.

4. COMCAST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLES, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OR POOLS, DECKING OR ANY STRUCTURES ADJACENT TO, WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN FEET (10;) IN FRONT OF TRANSFORMER/SWITCHGEAR DOOR AND FIVE FEET (5') ON EACH SIDE.

IN APPROVING THIS PLAT, PNM ELECTRIC SERVICES AND PNM GAS SERVICES DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES HEREON, CONSEQUENTLY, PNM DOES NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHT TO WHICH IT MAY BE ENTITLED.

FREE CONSENT AND DEDICATION:

THE SUBDIVISION SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S). AND SAID OWNER(S) AND/OR PROPRIETOR(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED. SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHT-OF-WAYS SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED.

OWNER(S) AND/OR PROPRIETOR(S)

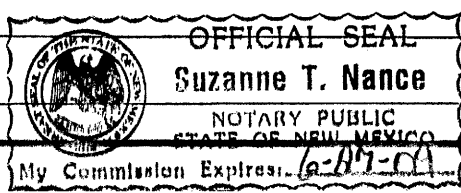
BEAZER HOME SALES, INC.

BY: [Signature] 4/17/06
 KURT STARK, DIVISION PRESIDENT
 NEW MEXICO DIVISION
 BEAZER HOMES SALES, INC.
 A DELAWARE CORPORATION

ACKNOWLEDGMENT

STATE OF New Mexico)
 COUNTY OF Bernalillo)) SS.
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS 17th or
 DAY OF April, 2006, BY Suzanne U. Nance

NOTARY PUBLIC: Suzanne U. Nance
 MY COMMISSION EXPIRES: 6-27-09



**PLAT OF
 UNIVERSITY CROSSINGS
 WITHIN SECTION 27
 T. 10 N., R. 3 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 APRIL 2006**

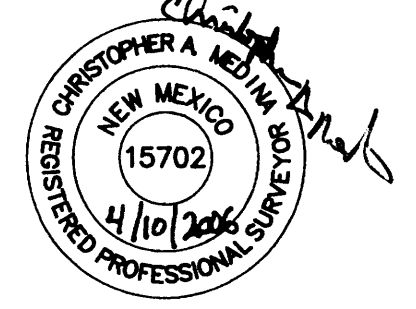
**PRELIMINARY PLAT
 APPROVED BY DRB
 ON 3-5-06**

PROJECT NUMBER: 1002110	
APPLICATION NUMBER:	
UTILITY APPROVALS:	
PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
QWEST TELECOMMUNICATIONS	DATE
COMCAST	DATE
N/A	N/A
NEW MEXICO UTILITIES	DATE
CITY APPROVALS:	
<u>[Signature]</u> CITY SURVEYOR	4-20-06 DATE
REAL PROPERTY DIVISION	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

SURVEYOR'S CERTIFICATION:

I, CHRISTOPHER A. MEDINA, A DULY REGISTERED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION; MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE; SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNER(S), UTILITY COMPANIES, OR OTHER PARTIES EXPRESSING AN INTEREST; IS CORRECT AND TRUE TO THE BEST OF MY BELIEF AND KNOWLEDGE AND THAT THIS SURVEY AND PLAT MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND SURVEYORS EFFECTIVE OCTOBER 1, 2000.

Christopher A. Medina
 CHRISTOPHER A. MEDINA, NMPLS NO. 15702
 April 10, 2006
 DATE



TERRA LAND SURVEYS, LLC
 P.O. BOX 2532 • CORRALES, NM 87048 • (505) 792-0513

SUBDIVISION DATA:

DATE OF SURVEY: DECEMBER 2005
 ZONE ATLAS PAGE: L-15-Z & L-16-Z
 ZONING: C-1 & O-1
 TOTAL SUBDIVISION AREA: 3.2491 ACRES
 SUBDIVISION CASE NO.: 1002110
 TALOS LOG NO.: 2006040853
 NUMBER OF EXISTING LOTS/TRACTS: TWO (2)
 NUMBER OF CREATED LOTS/TRACTS: THIRTY-TWO (32)
 TOTAL MILES OF FULL WIDTH STREETS CREATED: 0.1365 MILES
 TOTAL MILES OF HALF WIDTH STREETS CREATED: N/A

SURVEY NOTES:

- FIELD SURVEY PERFORMED DECEMBER 2005.
- ALL DISTANCES SHOWN ARE MEASURED GROUND DISTANCES.
- ACS CONTROL STATIONS UTILIZED:
 ACS MONUMENT STAMPED "7-15, 1984"
 NAD 27 NEW MEXICO CENTRAL ZONE STATE PLANE COORDINATES
 X: 388,821.38 FEET
 Y: 1,479,487.54 FEET
 ELEV: 5161.477 FEET SLD 29
 DELTA ALPHA = -0°12'48"
 COMBINED GROUND TO GRID FACTOR = 0.9996673

 ACS MONUMENT STAMPED "19-16, 1984"
 NAD 27 NEW MEXICO CENTRAL ZONE STATE PLANE COORDINATES
 X: 391,509.99 FEET
 Y: 1,478,628.94 FEET
 ELEV: 5,294.836 FEET SLD 19
 DELTA ALPHA = -0°12'30"
 COMBINED GROUND TO GRID FACTOR = 0.9996602
- BASIS OF BEARING FOR THIS SURVEY IS N.A.D. 27 NEW MEXICO CENTRAL ZONE GRID BEARINGS DERIVED UTILIZING ALBUQUERQUE CONTROL STATIONS "7-15" AND "19-16". BEARING = S72°17'21"E
- CORNERS IDENTIFIED AS "SET" OR DEPICTED BY, —○—, ARE 5/8" REBAR WITH CAP STAMPED "CA MEDINA PS 15702" UNLESS OTHERWISE NOTED.
- BEARINGS AND GROUND DISTANCES SHOWN IN PARENTHESIS () ARE PER THE RECORDED PLAT OF TRACTS "2-A", "B-1", AND "B-2" CACTUS/SHALIT PARCEL FILED ON 04/23/1991, IN VOLUME 91C, FOLIO 81.
- CENTERLINE (IN LIEU OF R/W MONUMENTATION) TO BE INSTALLED AT ALL P.C.'S, P.T.'S, ANGLE POINTS, AND STREET INTERSECTIONS AS SHOWN HEREON AND WILL CONSIST OF 3 1/4" ALUMINUM ALLOY CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENT, PLEASE DO NOT DISTURB, PLS 15702".

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON:

TRACTS B-1 & B-2, CACTUS/SHALIT PARCEL
 UNIFORM PROPERTY CODE: 1-016-056-024-246-30830
 OWNER OF RECORD: BEAZER HOME SALES, INC.
 COUNTY TREASURES OFFICE:

INDEXING INFORMATION FOR THE COUNTY CLERK

LEGAL DESCRIPTION: UNIVERSITY CROSSINGS
 LOCATION: SECTION 27, T10N, R3E, NMPM
 OWNER: BEAZER HOME SALES, INC.

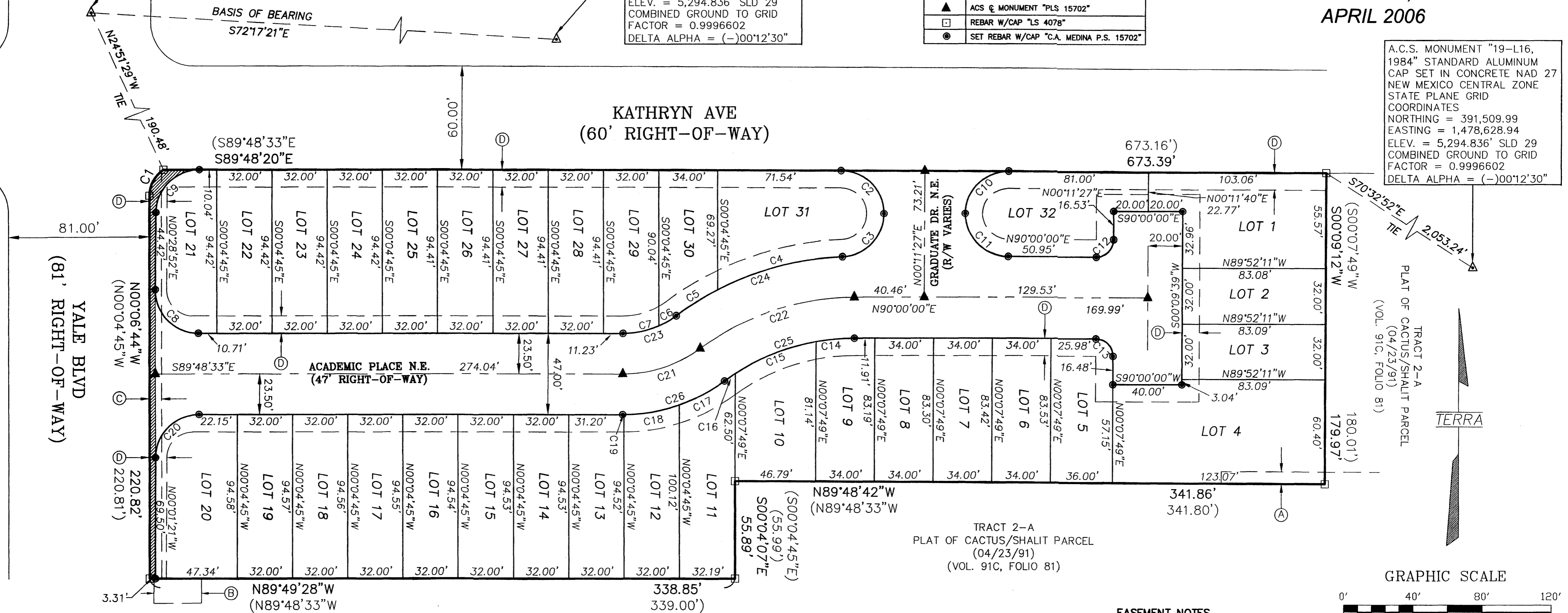
**PLAT OF
UNIVERSITY CROSSINGS
WITHIN SECTION 27
T. 10 N., R. 3 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL 2006**

A.C.S. MONUMENT "7-L15,
1984" STANDARD ALUMINUM
CAP SET IN CONCRETE NAD 27
NEW MEXICO CENTRAL ZONE
STATE PLANE GRID
COORDINATES
NORTHING = 388,821.38
EASTING = 1,479,487.54
ELEV. = 5161.477' SLD 29
COMBINED GROUND TO GRID
FACTOR = 0.9996673
DELTA ALPHA = (-)00°12'48"

A.C.S. MONUMENT "19-L16,
1984" STANDARD ALUMINUM
CAP SET IN CONCRETE NAD 27
NEW MEXICO CENTRAL ZONE
STATE PLANE GRID
COORDINATES
NORTHING = 391,509.99
EASTING = 1,478,628.94
ELEV. = 5,294.836' SLD 29
COMBINED GROUND TO GRID
FACTOR = 0.9996602
DELTA ALPHA = (-)00°12'30"

LEGEND	
△	ACS CONTROL STATION (AS LABELED)
▲	ACS & MONUMENT "PLS 15702"
□	REBAR W/CAP "LS 4078"
●	SET REBAR W/CAP "C.A. MEDINA P.S. 15702"

A.C.S. MONUMENT "19-L16,
1984" STANDARD ALUMINUM
CAP SET IN CONCRETE NAD 27
NEW MEXICO CENTRAL ZONE
STATE PLANE GRID
COORDINATES
NORTHING = 391,509.99
EASTING = 1,478,628.94
ELEV. = 5,294.836' SLD 29
COMBINED GROUND TO GRID
FACTOR = 0.9996602
DELTA ALPHA = (-)00°12'30"



CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	57°13'51"	17.98'	17.96'	17.22'	N28°17'55"E
C2	89°51'13"	25.00'	39.21'	35.31'	S44°52'44"E
C3	87°32'05"	25.00'	38.19'	34.59'	S43°57'29"W
C4	24°53'56"	173.50'	75.40'	74.81'	N75°16'34"E
C5	09°18'52"	173.50'	28.21'	28.17'	N58°10'10"E
C6	12°55'15"	51.50'	11.61'	11.59'	S59°58'21"W
C7	23°45'28"	51.50'	21.35'	21.20'	S78°18'43"W
C8	90°17'25"	25.00'	39.40'	35.44'	N44°39'51"W
C9	89°42'48"	25.00'	39.14'	35.27'	N45°20'16"E
C10	89°29'01"	25.00'	39.04'	35.20'	N45°27'10"E
C11	89°40'15"	25.00'	39.13'	35.25'	N45°09'53"W
C12	89°48'33"	10.00'	15.67'	14.12'	S45°05'43"W
C13	90°07'49"	10.00'	15.73'	14.16'	S44°56'05"E
C14	10°03'38"	126.50'	22.21'	22.18'	N84°58'11"W
C15	22°57'26"	126.50'	50.69'	50.35'	N68°27'39"E
C16	03°28'13"	126.50'	7.66'	7.66'	N55°14'50"E
C17	17°14'48"	98.50'	29.65'	29.54'	S62°08'07"W
C18	18°58'09"	98.50'	32.61'	32.46'	S80°14'36"W
C19	00°27'47"	98.50'	0.80'	0.80'	S89°57'34"W
C20	90°12'48"	25.00'	39.36'	35.42'	N45°05'03"E
C21	36°40'44"	75.00'	48.01'	47.20'	S71°51'05"W
C22	36°29'17"	150.00'	95.53'	93.92'	S71°45'22"W
C23	36°40'44"	51.50'	32.97'	32.41'	S71°51'05"W
C24	36°29'17"	173.50'	110.49'	108.63'	S71°45'22"W
C25	36°29'17"	126.50'	80.56'	79.21'	S71°45'22"W
C26	36°40'44"	98.50'	63.06'	61.99'	S71°51'05"W

**TRACT 2-A
PLAT OF CACTUS/SHALIT PARCEL
(04/23/91)
(VOL. 91C, FOLIO 81)**

LOT	SQUARE FEET	ACRES
1	5,075.46	0.1165
2	2,658.66	0.0610
3	2,658.79	0.0610
4	7,302.75	0.1676
5	2,987.64	0.0686
6	2,838.04	0.0652
7	2,834.24	0.0651
8	2,830.44	0.0650
9	2,812.36	0.0646
10	3,445.33	0.0791
11	3,488.03	0.0801
12	3,085.08	0.0708
13	3,024.70	0.0694
14	3,024.97	0.0694
15	3,025.24	0.0695
16	3,025.51	0.0695

LOT	SQUARE FEET	ACRES
17	3,025.78	0.0695
18	3,026.05	0.0695
19	3,026.33	0.0695
20	4,337.76	0.0996
21	3,072.09	0.0705
22	3,021.48	0.0694
23	3,021.42	0.0694
24	3,021.35	0.0694
25	3,021.29	0.0694
26	3,021.23	0.0694
27	3,021.16	0.0694
28	3,021.10	0.0694
29	2,991.34	0.0687
30	2,705.16	0.0621
31	5,047.02	0.1159
32	4,421.24	0.1015

EASEMENT NOTES

- (A) 60'x7' UTILITY EASEMENT (FILED: 04/23/91, BK. 91C, FOLIO 81)
- (B) REMAINDER OF A VACATED 30'x70' DRAINAGE SILT RETENTION POND EASEMENT (FILED: 04/23/91, BK. 91C, FOLIO 81)
- (C) 7' UTILITY EASEMENT (FILED: 04/23/91, BK. 91C, FOLIO 81)
- (D) 10' PUBLIC UTILITY EASEMENT (GRANTED BY THIS PLAT)

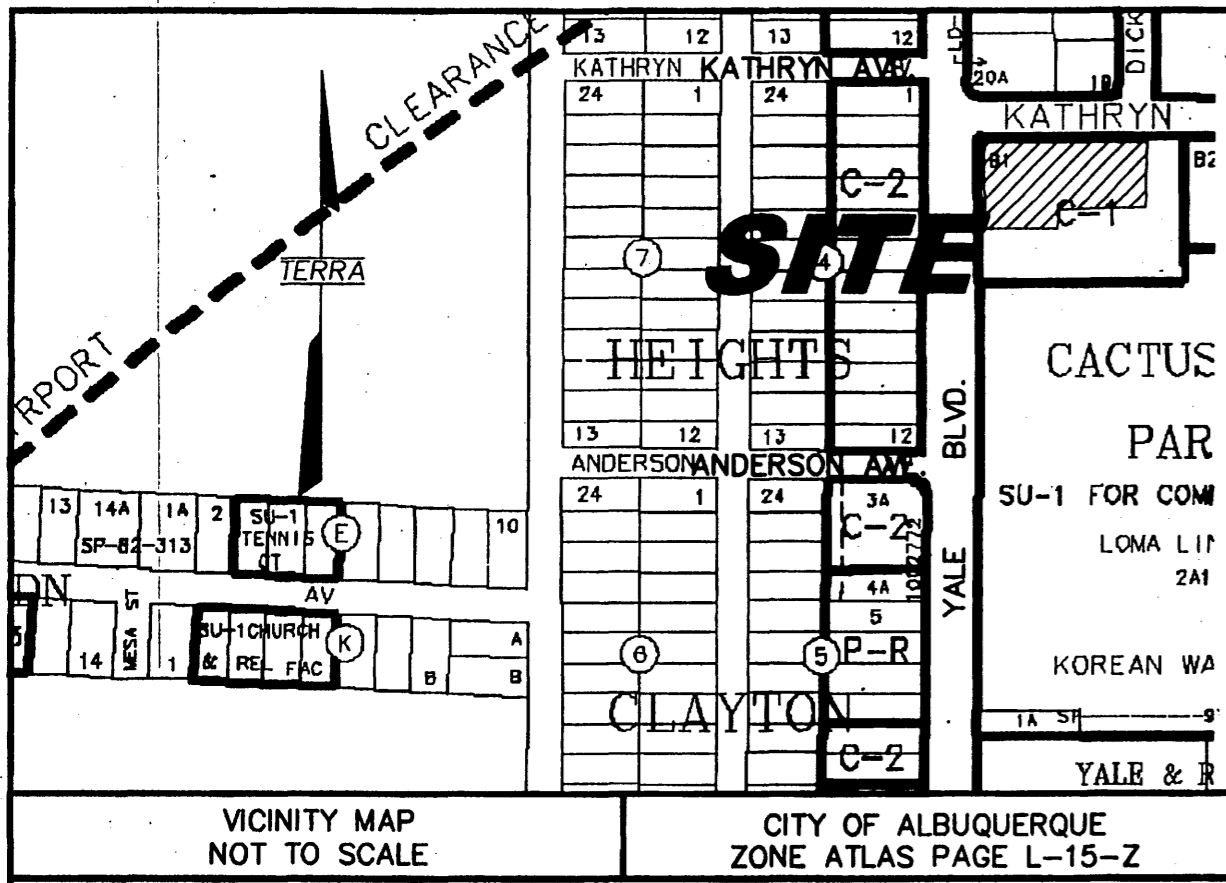
HATCH NOTE

HATCHED AREA DESIGNATES (0.0210 ACRES, 915.81 SQUARE FEET) OF ADDITIONAL PUBLIC STREET RIGHT-OF-WAY TO BE DEDICATED TO THE CITY OF ALBUQUERQUE WITH THE FILING OF THIS PLAT.



TERRA LAND SURVEYS, LLC

P.O. BOX 2532 • CORRALES, NM 87048 • (505) 792-0513



LEGAL DESCRIPTION:

TRACTS LETTERED "B-1" AND "B-2" OF THE PLAT OF CACTUS/SHALIT PARCEL, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY NEW MEXICO, ON APRIL 23, 1991, IN PLAT BOOK 91C, PAGE 81.

Chad C. Cater

January 17, 2006

CHAD CATER, DIRECTOR OF FINANCE
NEW MEXICO DIVISION
BEAZER HOME SALES, INC.
A DELAWARE CORPORATION

DATE

APPROVED BY:

[Signature]

1-18-06

CITY OF ALBUQUERQUE SURVEYOR

DATE

**PRELIMINARY PLAT OF
UNIVERSITY CROSSINGS**
WITHIN SECTION 27
T. 10 N., R. 3 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY 2006

PRELIMINARY PLAT
APP. DRB
2-15-06



SUBDIVISION DATA:

DATE OF SURVEY: DECEMBER 2005
ZONE ATLAS PAGE: L-15-Z
ZONING: C-1 & O-1
TOTAL SUBDIVISION AREA: 3.2491 ACRES
SUBDIVISION CASE NO.: N/A
TALOS LOG NO.: 2006040853
NUMBER OF EXISTING LOTS/TRACTS: TWO (2)
NUMBER OF CREATED LOTS/TRACTS: THIRTY-TWO (32)
TOTAL MILES OF FULL WIDTH STREETS CREATED: 0.1365 MILES
TOTAL MILES OF HALF WIDTH STREETS CREATED: N/A

SURVEY NOTES:

- FIELD SURVEY PERFORMED DECEMBER 2005.
- ALL DISTANCES SHOWN ARE MEASURED GROUND DISTANCES.
- ACS CONTROL STATIONS UTILIZED:

ACS MONUMENT STAMPED "7-L15, 1984"
NAD 27 NEW MEXICO CENTRAL ZONE STATE PLANE COORDINATES
X: 388,821.38 FEET
Y: 1,479,487.54 FEET
ELEV: 5161.48 FEET SLD 29
DELTA ALPHA = -0°12'48"
COMBINED GROUND TO GRID FACTOR = 0.9996673

ACS MONUMENT STAMPED "19-L16, 1984"
NAD 27 NEW MEXICO CENTRAL ZONE STATE PLANE COORDINATES
X: 391,509.99 FEET
Y: 1,478,628.94 FEET
ELEV: 5,294.84 FEET SLD 29
DELTA ALPHA = -0°12'30"
COMBINED GROUND TO GRID FACTOR = 0.9996602
- BASIS OF BEARING FOR THIS SURVEY IS N.A.D. 27 NEW MEXICO CENTRAL ZONE GRID BEARINGS DERIVED UTILIZING ALBUQUERQUE CONTROL STATIONS "7-1.15" AND "19-L16". BEARING = S72°17'21"E
- CORNERS IDENTIFIED AS "SET" OR DEPICTED BY, , ARE 5/8" REBAR WITH CAP STAMPED "CA MEDINA PS 15702" UNLESS OTHERWISE NOTED.
- BEARINGS AND GROUND DISTANCES SHOWN IN PARENTHESIS () ARE PER THE RECORDED PLAT OF TRACTS "2-A", "B-1", AND "B-2" CACTUS/SHALIT PARCEL FILED ON 04/23/1991, IN VOLUME 91C, FOLIO 81.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PTS, ANGLE POINTS AND STREET INTERSECTIONS AND SHOW THUS  AND WILL BE MARKED BY A 4 INCH ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED, DO NOT DISTURB PLS 15702".

TERRA LAND SURVEYS, LLC

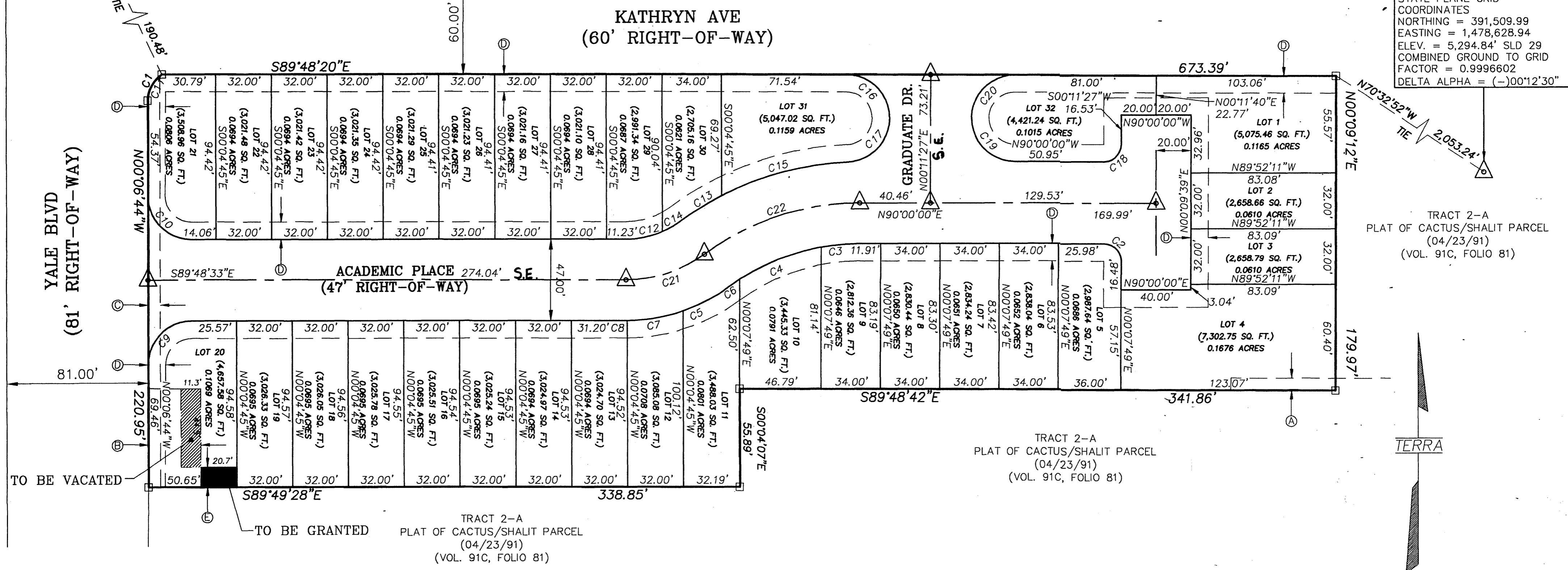
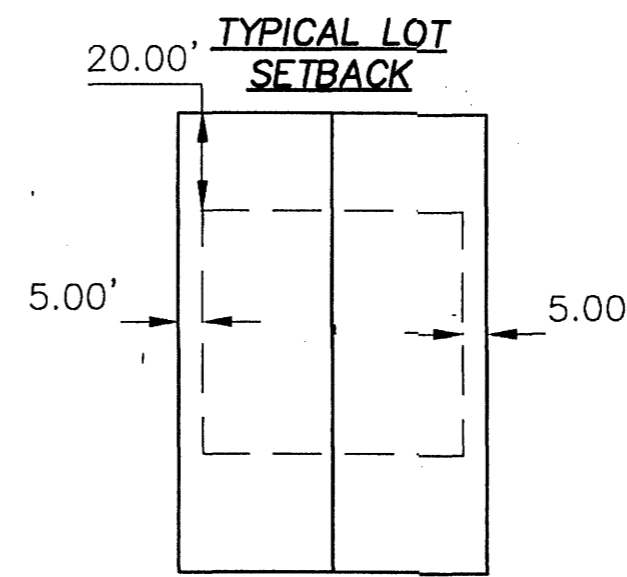
P.O. BOX 2532 • CORRALES, NM 87048 • (505) 792-0513

**PRELIMINARY PLAT OF
UNIVERSITY CROSSINGS
WITHIN SECTION 27
T. 10 N., R. 3 E., N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JANUARY 2006**

A.C.S. MONUMENT "7-L15,
1984" STANDARD ALUMINUM
CAP SET IN CONCRETE NAD 27
NEW MEXICO CENTRAL ZONE
STATE PLANE GRID
COORDINATES
NORTHING = 388,821.38
EASTING = 1,479,487.54
ELEV. = 5161.48' SLD 29
COMBINED GROUND TO GRID
FACTOR = 0.9996673
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A.C.S. MONUMENT "19-L16,
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CAP SET IN CONCRETE NAD 27
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NORTHING = 391,509.99
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ELEV. = 5,294.84' SLD 29
COMBINED GROUND TO GRID
FACTOR = 0.9996602
DELTA ALPHA = (-)00'12'30"

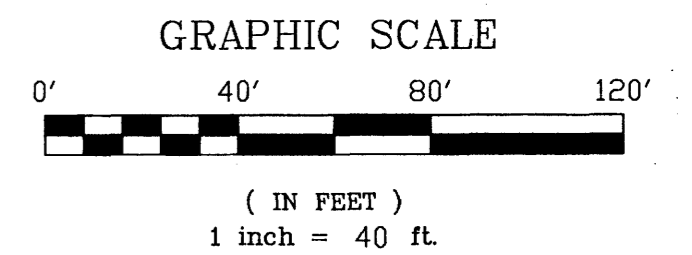


CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	57°13'51"	17.98'	17.96'	N28°17'55"E	17.22'
C2	90°07'49"	10.00'	15.73'	S44°56'06"E	14.16'
C3	10°03'37"	126.50'	22.21'	N84°58'11"E	22.18'
C4	22°57'26"	126.50'	50.69'	N68°27'39"E	50.35'
C5	17°14'48"	98.50'	29.65'	N62°08'07"E	29.54'
C6	03°28'13"	126.50'	7.66'	N55°14'50"E	7.66'
C7	18°58'09"	98.50'	32.61'	N80°14'36"E	32.46'
C8	00°27'47"	98.50'	0.80'	N89°57'34"E	0.80'
C9	90°18'11"	25.00'	39.40'	N45°02'22"E	35.45'
C10	89°41'49"	25.00'	39.14'	N44°57'38"W	35.26'
C11	57°13'51"	17.98'	17.96'	N28°17'55"E	17.22'
C12	23°45'28"	51.50'	21.35'	S78°18'43"W	21.20'
C13	09°18'52"	173.50'	28.21'	S58°10'10"W	28.17'
C14	12°55'15"	51.50'	11.61'	S59°58'21"W	11.59'
C15	24°53'56"	173.50'	75.40'	S75°16'34"W	74.81'
C16	90°01'58"	25.00'	39.28'	S44°47'21"E	35.37'
C17	87°34'15"	25.00'	38.21'	S43°56'24"W	34.60'
C18	89°48'33"	10.00'	15.67'	S45°05'44"W	14.12'
C19	89°40'15"	25.00'	39.13'	N45°09'53"W	35.25'
C20	89°29'01"	25.00'	39.04'	N45°27'10"E	35.20'
C21	36°40'44"	75.00'	48.01'	S71°51'05"W	47.20'
C22	36°29'17"	150.00'	95.53'	S71°45'22"W	93.92'

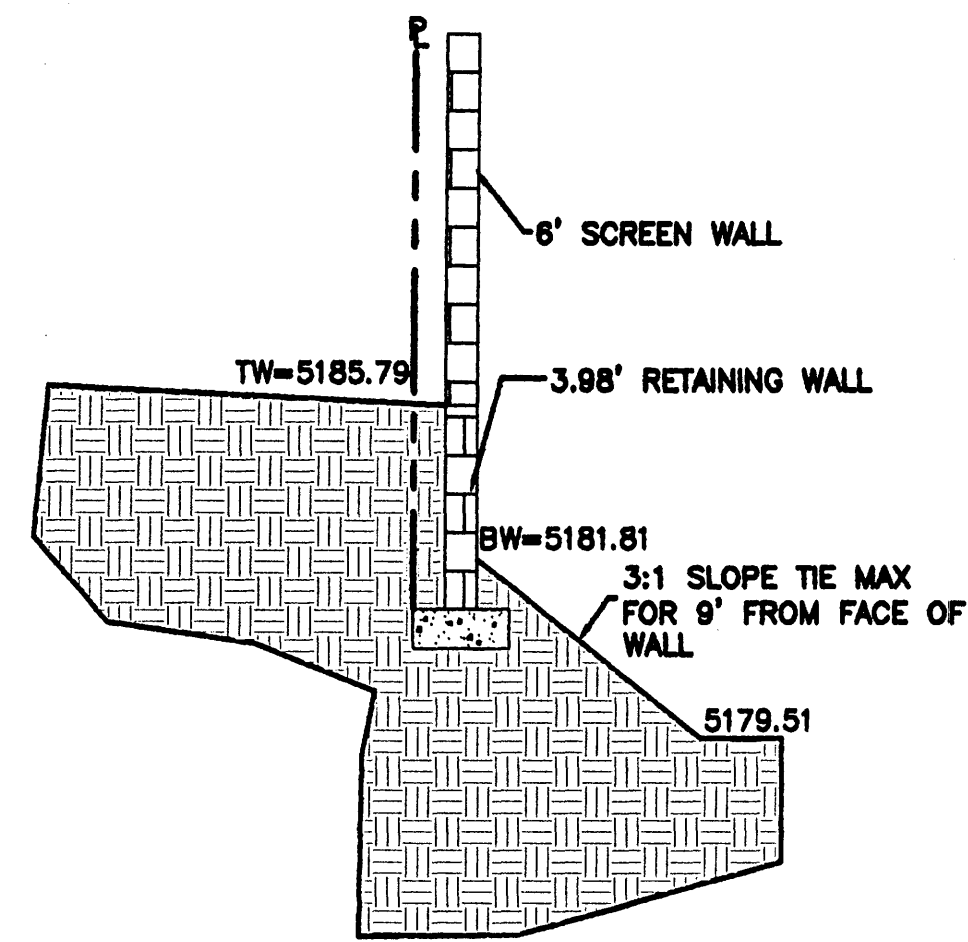
LEGEND

	ACS MONUMENT
	REBAR W/CAP "LS 4078"
	SET REBAR W/CAP "C.A. MEDINA P.S. 15702"

- EASEMENT LEGEND**
- Ⓐ 60'x7' UTILITY EASEMENT (FILED: 04/23/91, BK. 91C, FOLIO 81)
 - Ⓑ 30' DRAINAGE SILT RETENTION POND EASEMENT (FILED: 04/23/91, BK. 91C, FOLIO 81)
 - Ⓒ 7' UTILITY EASEMENT (FILED: 04/23/91, BK. 91C, FOLIO 81)
 - Ⓓ 10' PUBLIC UTILITY EASEMENT (TO BE GRANTED)
 - Ⓔ DRAINAGE SILT RETENTION POND EASEMENT (TO BE GRANTED)



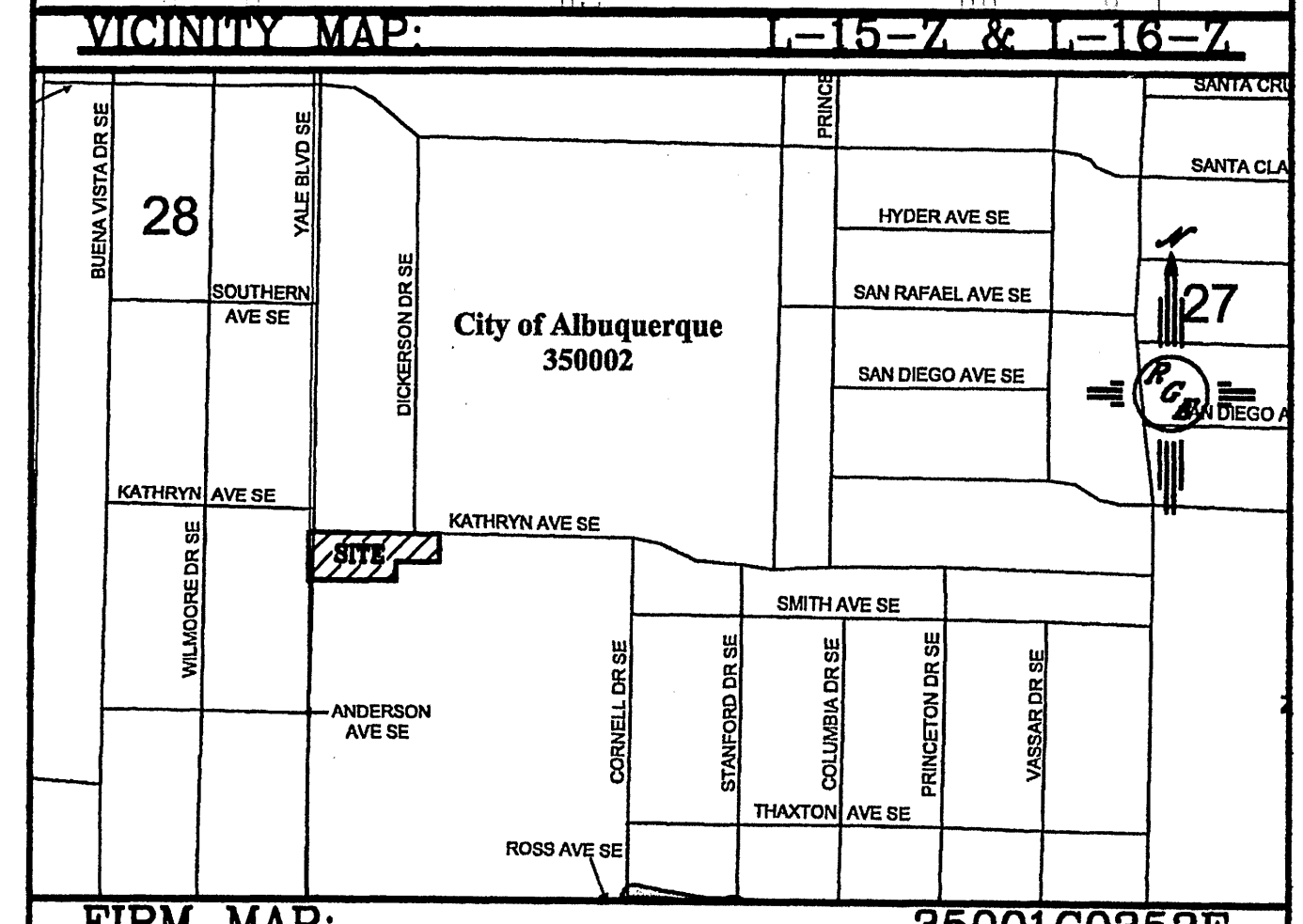
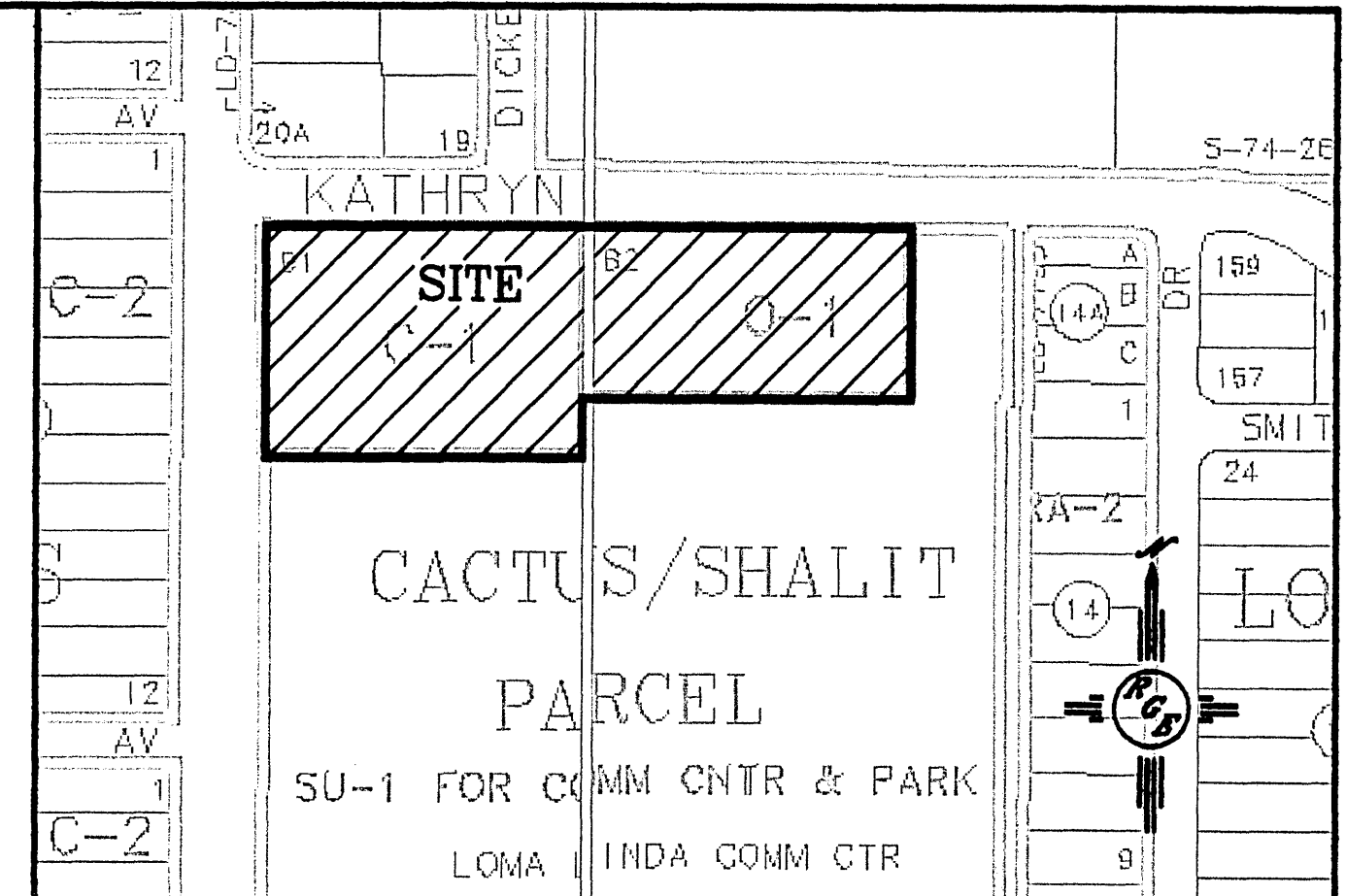
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SECTION A-A
NTS

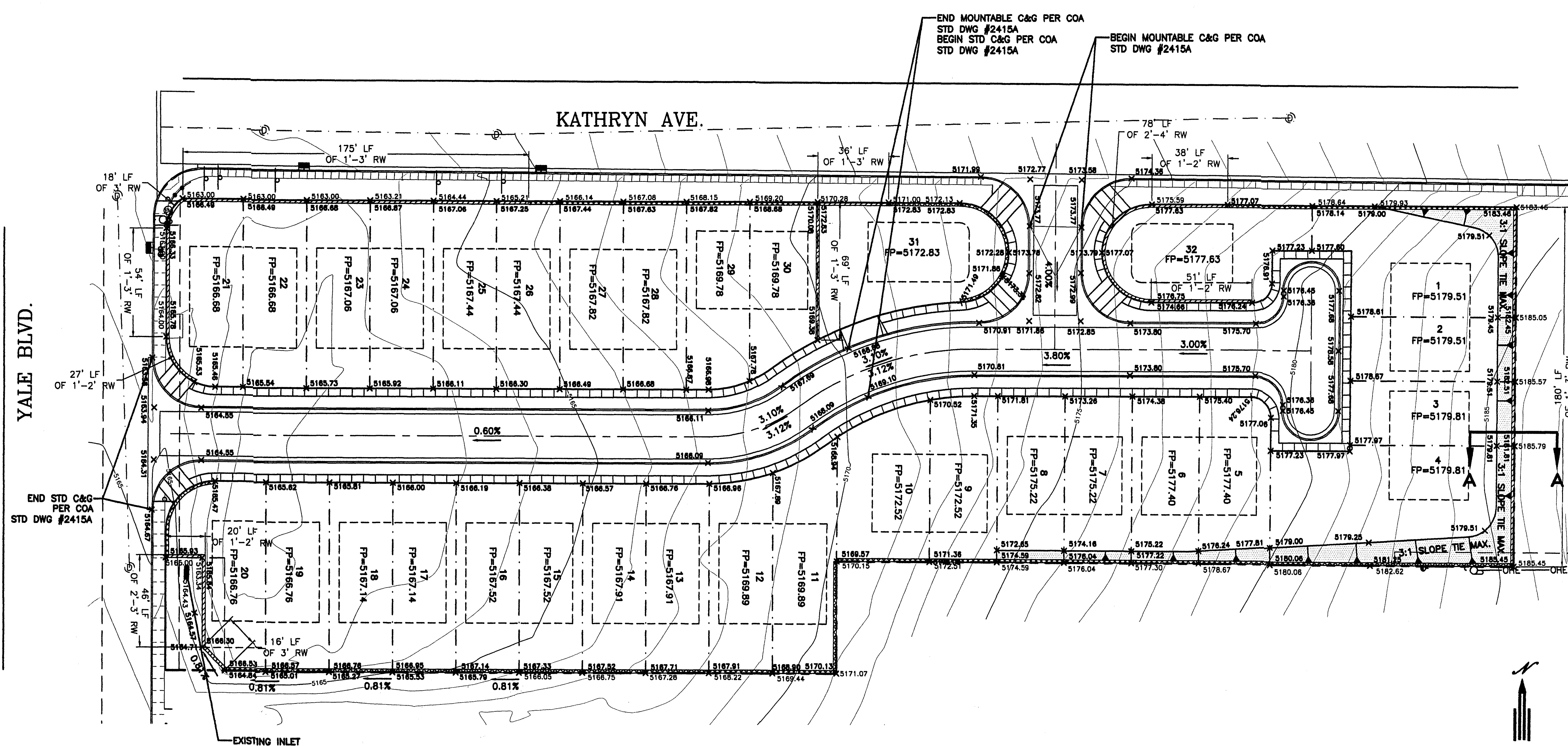
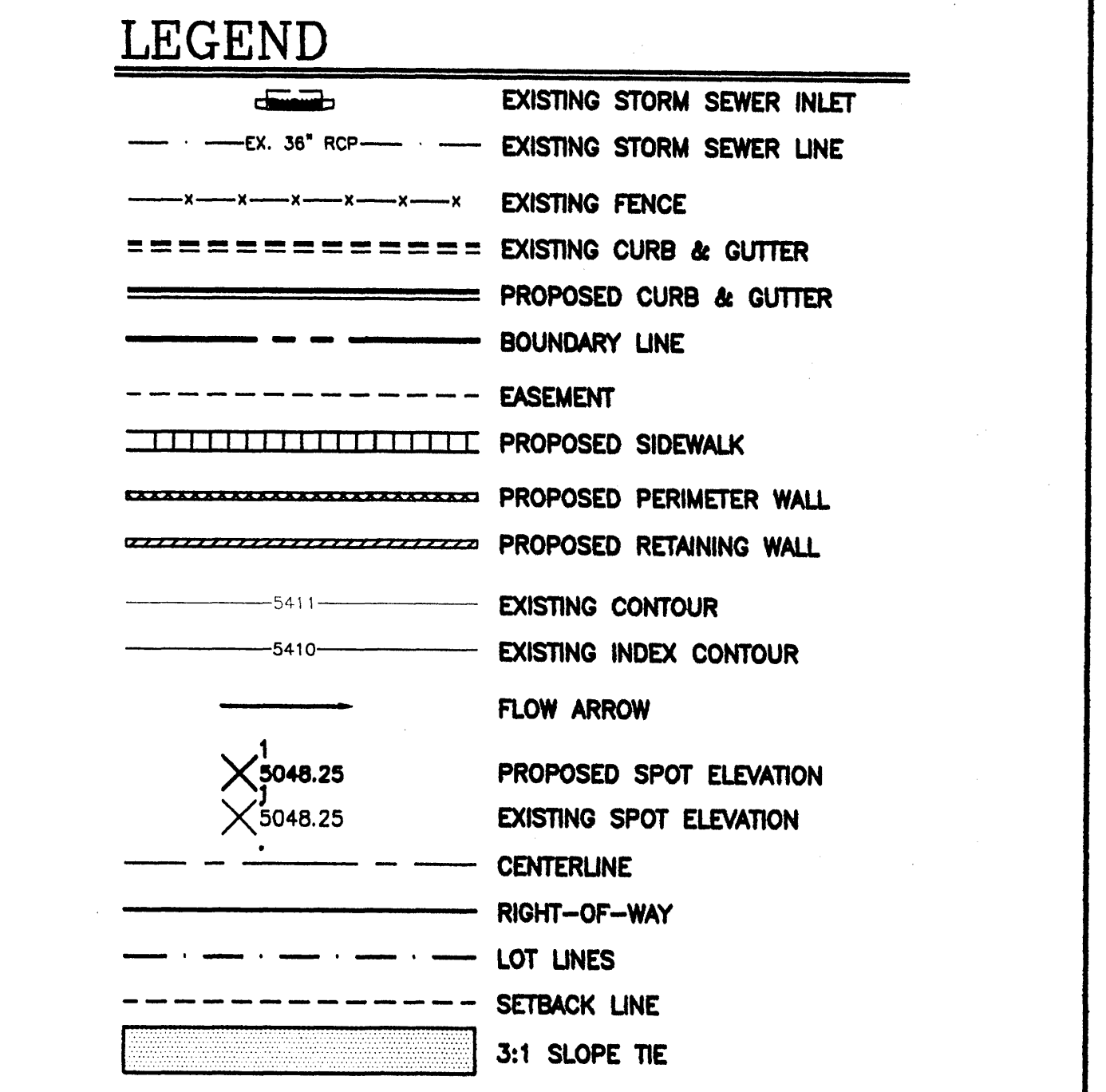
EROSION CONTROL NOTES:

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

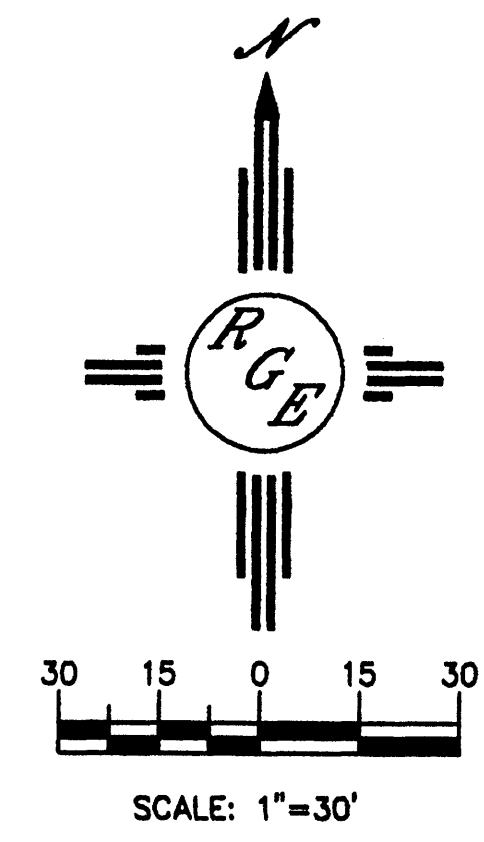


LEGAL DESCRIPTION:
TRACT B-1, CACTUS PARK

- NOTES:**
1. ALL SPOT ELEVATIONS REPRESENT FLOWLINE ELEVATION UNLESS OTHERWISE NOTED.
 2. ALL CURB AND GUTTER TO BE MOUNTABLE PER COA STD DWG #2415A UNLESS OTHERWISE NOTED.
 3. ALL DRIVEPADS SHALL BE BUILT WHERE SHOWN.



CAUTION:
EXISTING UTILITIES ARE NOT SHOWN. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO ANY EXCAVATION TO DETERMINE THE ACTUAL LOCATION OF UTILITIES & OTHER IMPROVEMENTS.

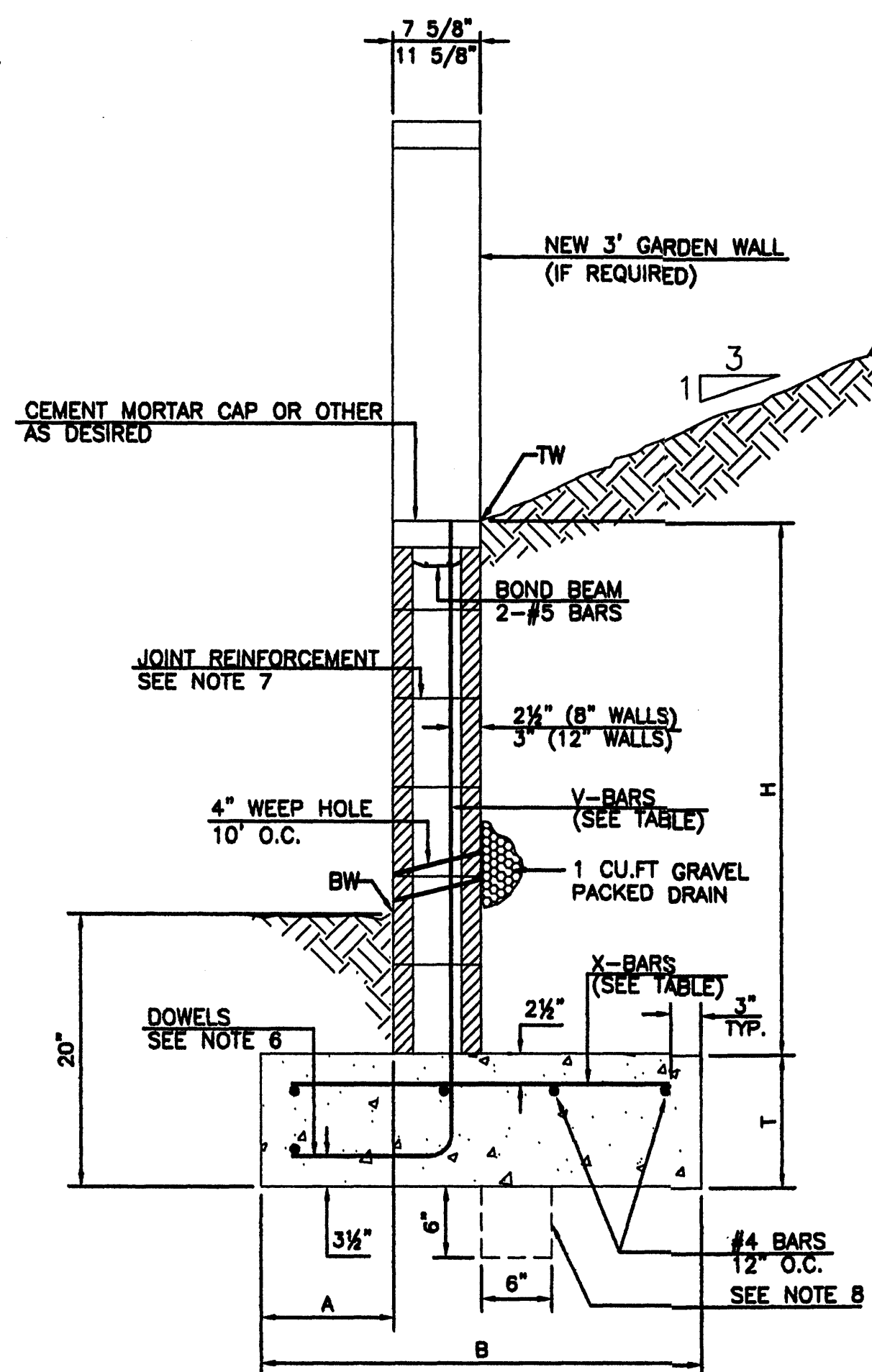


ROUGH GRADING APPROVAL DATE _____

	UNIVERSITY CROSSING GRADING AND DRAINAGE PLAN	DRAWN BY WCHU DATE 12-30-05 2537-090-11-18-051
		SHEET # 1 OF 2

DAVID SOULE
P.E. #14522

JOB #
2537



RETAINING WALL DETAIL
NTS

8 INCH REINFORCED CONCRETE MASONRY WALL

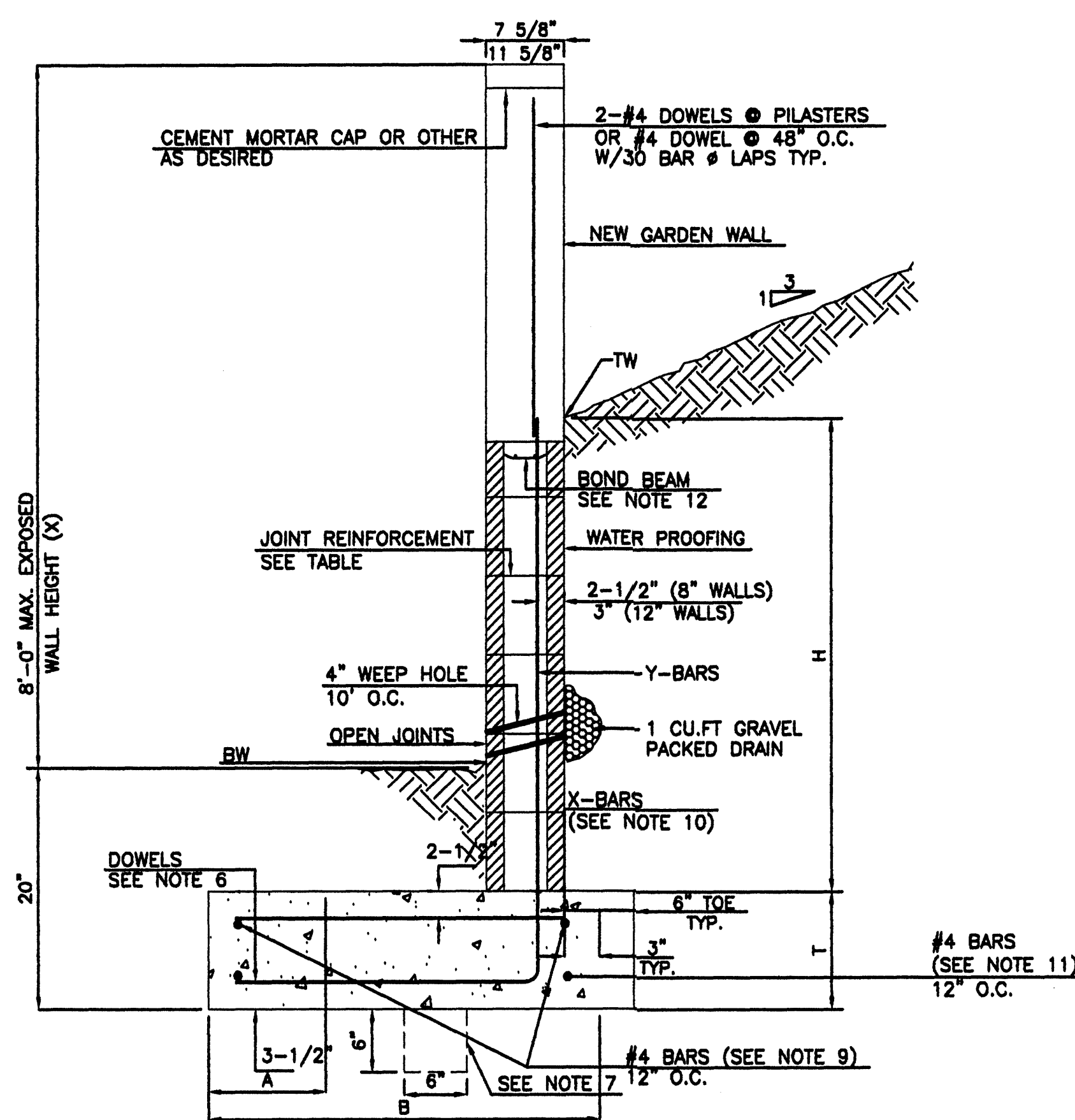
H	A	B	T	V-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
3'-4"	8"	2'-6"	10"	#4 @32" O.C.	#4 @32" O.C.
4'-0"	10"	2'-10"	10"	#4 @32" O.C.	#4 @32" O.C.
4'-8"	12"	3'-6"	12"	#4 @24" O.C.	#4 @24" O.C.
5'-4"	14"	3'-10"	12"	#4 @16" O.C.	#4 @16" O.C.
6'-0"	16"	4'-4"	12"	#4 @16" O.C.	#4 @16" O.C.
6'-8"	18"	4'-10"	14"	#5 @16" O.C.	#5 @16" O.C.

12 INCH REINFORCED CONCRETE MASONRY WALL

H	A	B	T	V-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#4 @24" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#4 @16" O.C.	#4 @16" O.C.
6'-8"	16"	4'-6"	12"	#5 @24" O.C.	#5 @24" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#6 @16" O.C.
8'-0"	20"	5'-4"	12"	#7 @24" O.C.	#7 @24" O.C.

GENERAL NOTES:

- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
- BACKFILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
- DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
- JOINT REINFORCEMENT CONSISTING OF 9GA. LONGITUDINAL WIRE AND 3/16" CROSS RODS SHALL BE PROVIDED AT 8" CENTERS VERTICALLY.
- PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
- USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.



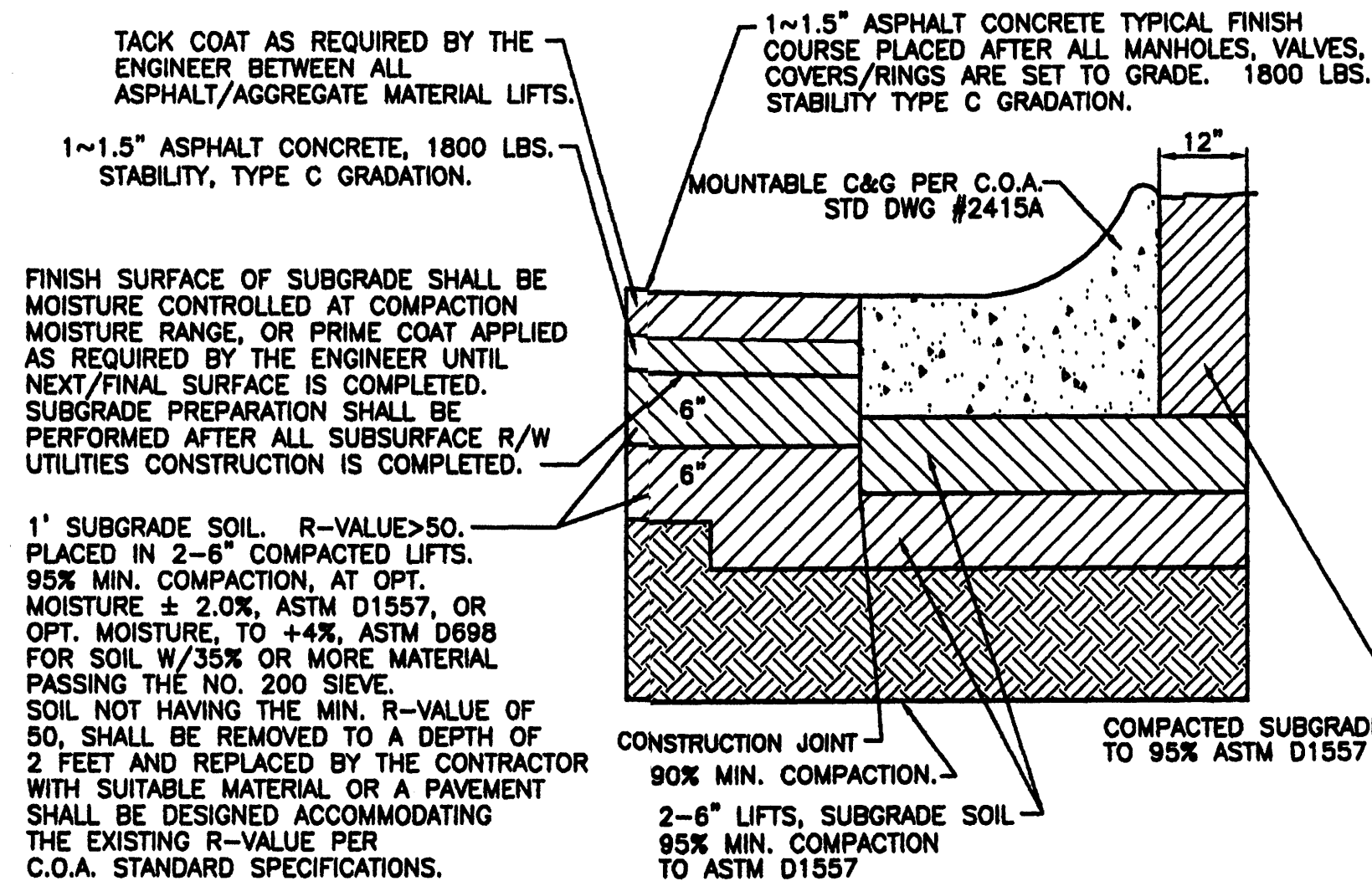
L-FOOTING RETAINING WALL DETAIL
NTS-FOR USE ADJACENT TO ALL ROW

8 INCH REINFORCED CONCRETE MASONRY WALL

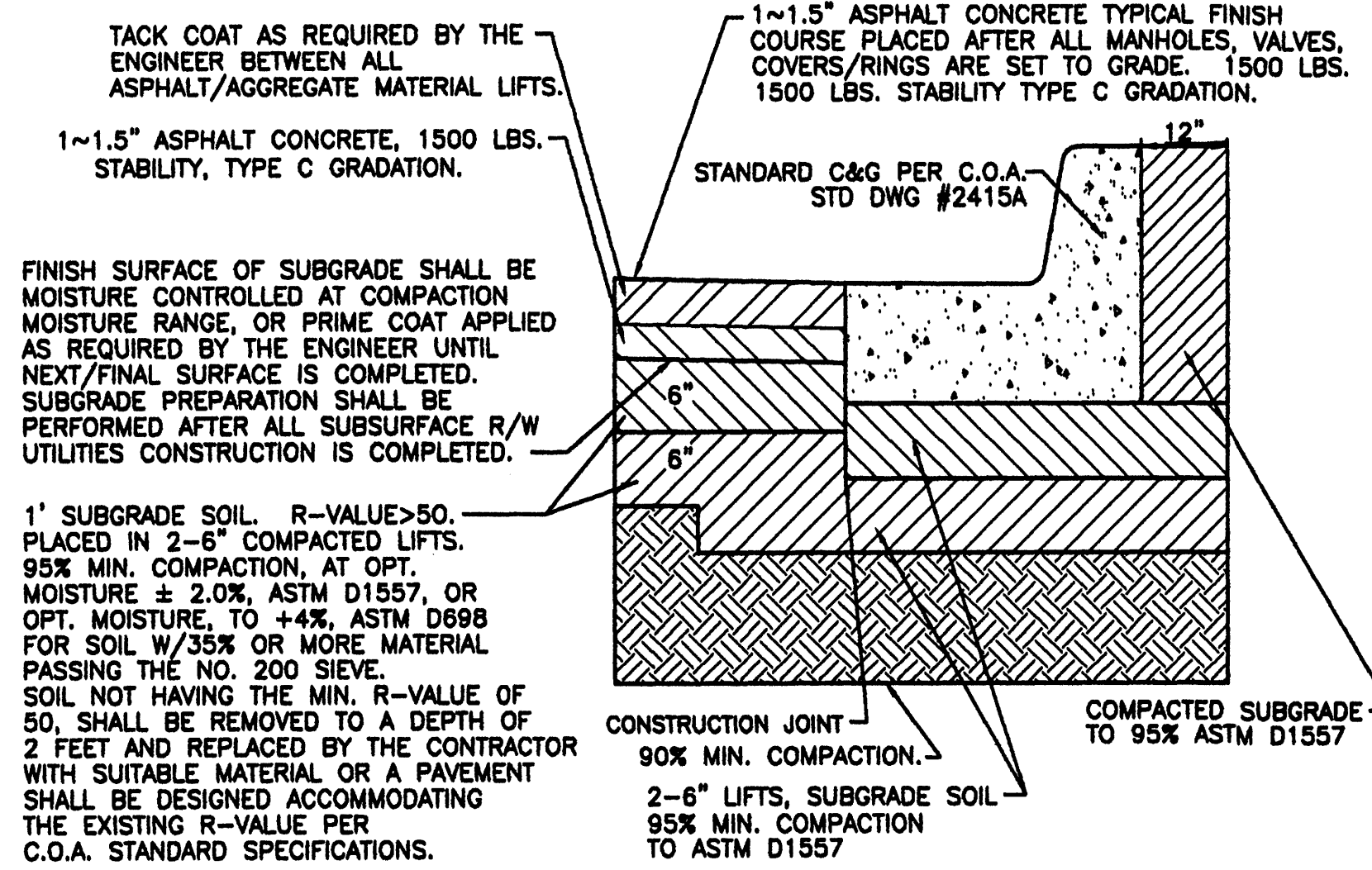
H	X	A	B	T	Y-BARS	X-BARS
ft.-in.	ft.-in.	in.	ft.-in.	in.		
2'-0"	1'-1"	8"	2'-4"	12"	#4 @32" O.C.	#4 @32" O.C.
2'-8"	1'-9"	8"	2'-4"	12"	#4 @32" O.C.	#4 @32" O.C.
3'-4"	2'-5"	8"	2'-4"	12"	#4 @32" O.C.	#4 @32" O.C.

GENERAL NOTES:

- ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
- MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE ± 2.0%.
- BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
- ALL BARS ARE TO BE GRADE 60, ASTM 615.
- TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
- DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO Y-BARS, SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILLED BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
- PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
- USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
- #4 BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT
- X BARS TO BE USED ON WALLS EXCEEDING 2'-8" HEIGHT
- #4 BARS TO BE USED ON WALLS SMALLER THAN 3'-4"
- BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".
- TW - DESIGNATES FINISHED GRADE @ TOP OF RETAINING WALL
BW - DESIGNATES FINISHED GRADE @ BOTTOM OF WALL
BOTTOM OF FOOTING IS 20" BELOW THE DESIGNATED BW ELEVATION.



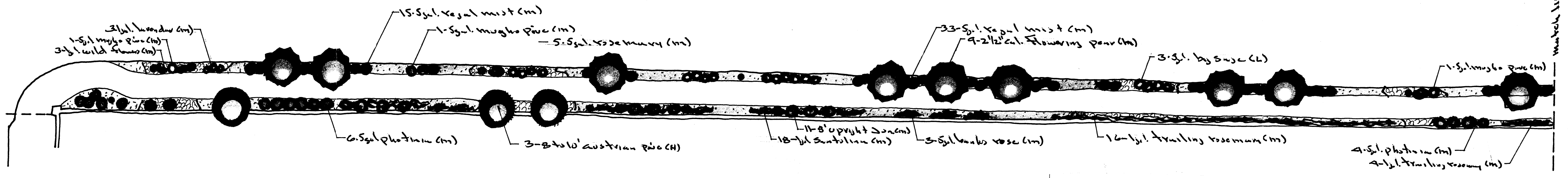
RESIDENTIAL PAVING SECTION (MOUNTABLE CURB)
NTS



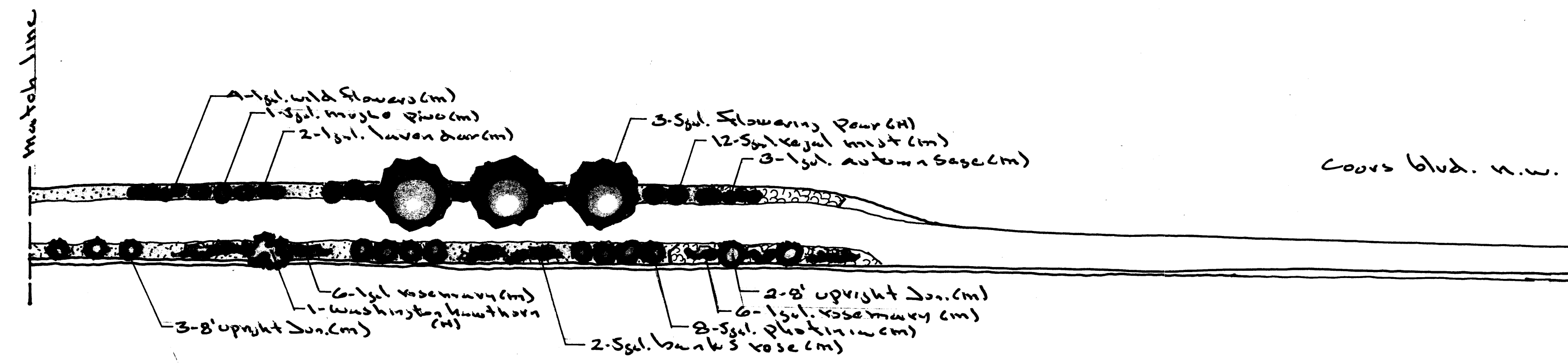
RESIDENTIAL PAVING SECTION (STANDARD CURB)
NTS

ENGINEER'S SEAL	UNIVERSITY CROSSING GRADING AND DRAINAGE DETAILS	BY WCWJ
		DATE 12-30-05
	DAVID SOULE P.E. #14522	 1606 CENTRAL AVENUE SE SUITE 201 ALBUQUERQUE, NM 87106 (505) 872-0999

Coors blud



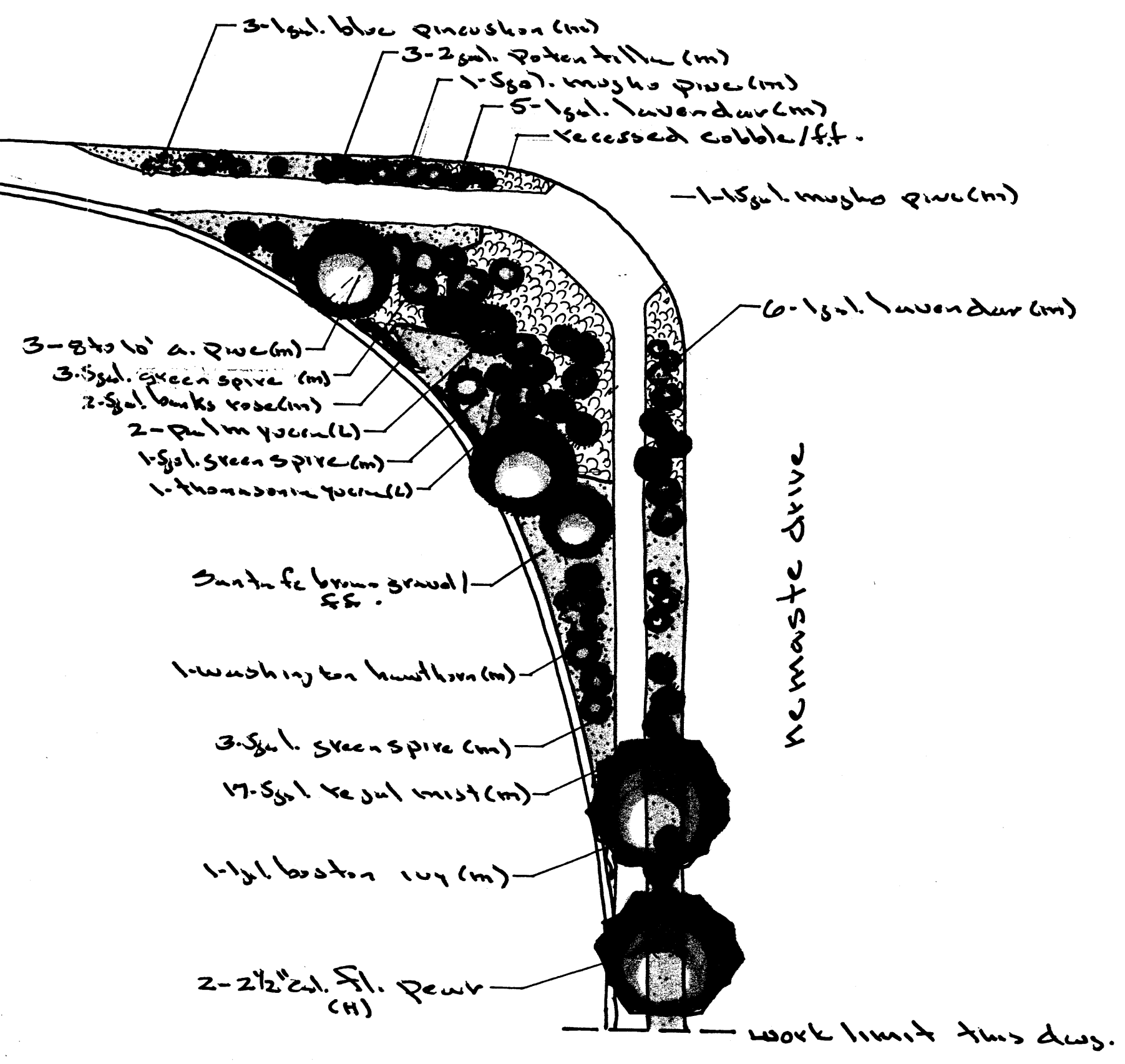
Santa fe brown gravel / filter fabric



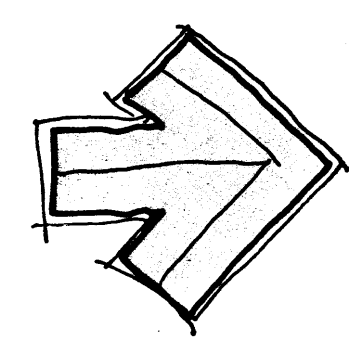
Coors blud. n.w.

LANDSCAPE NOTES:
 Landscape maintenance shall be the responsibility of the Property Owner.
 It is the intent of this plan to comply with the City of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planting restriction approach.
 Approval of this plan does not constitute an implied exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance, Water Management and is the sole responsibility of the Property Owner.
 All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Fallen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.
 Plant beds shall achieve 75% live ground cover at maturity.
 Gravel over Filter Fabric shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:
 Irrigation shall be a complete underground system with Trees to receive (5) 1.0 GPH Drip Emitters and Shrubs to receive (2) 1.0 GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" poly pipe with flush caps at each end.
 Run time per each drip valve will be approximately 15 minutes per day, to be adjusted according to the season.
 Point of connection for irrigation system is unknown at current time and will be coordinated in the field.
 Irrigation will be operated by automatic controller. Location of controller to be field determined and power source for controller to be provided by others.
 Irrigation maintenance shall be the responsibility of the Property Owner.

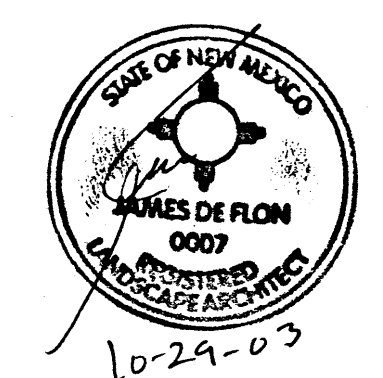


OXBOW NORTH AT OXBOW



Scale: 1/16" = 1'-0"

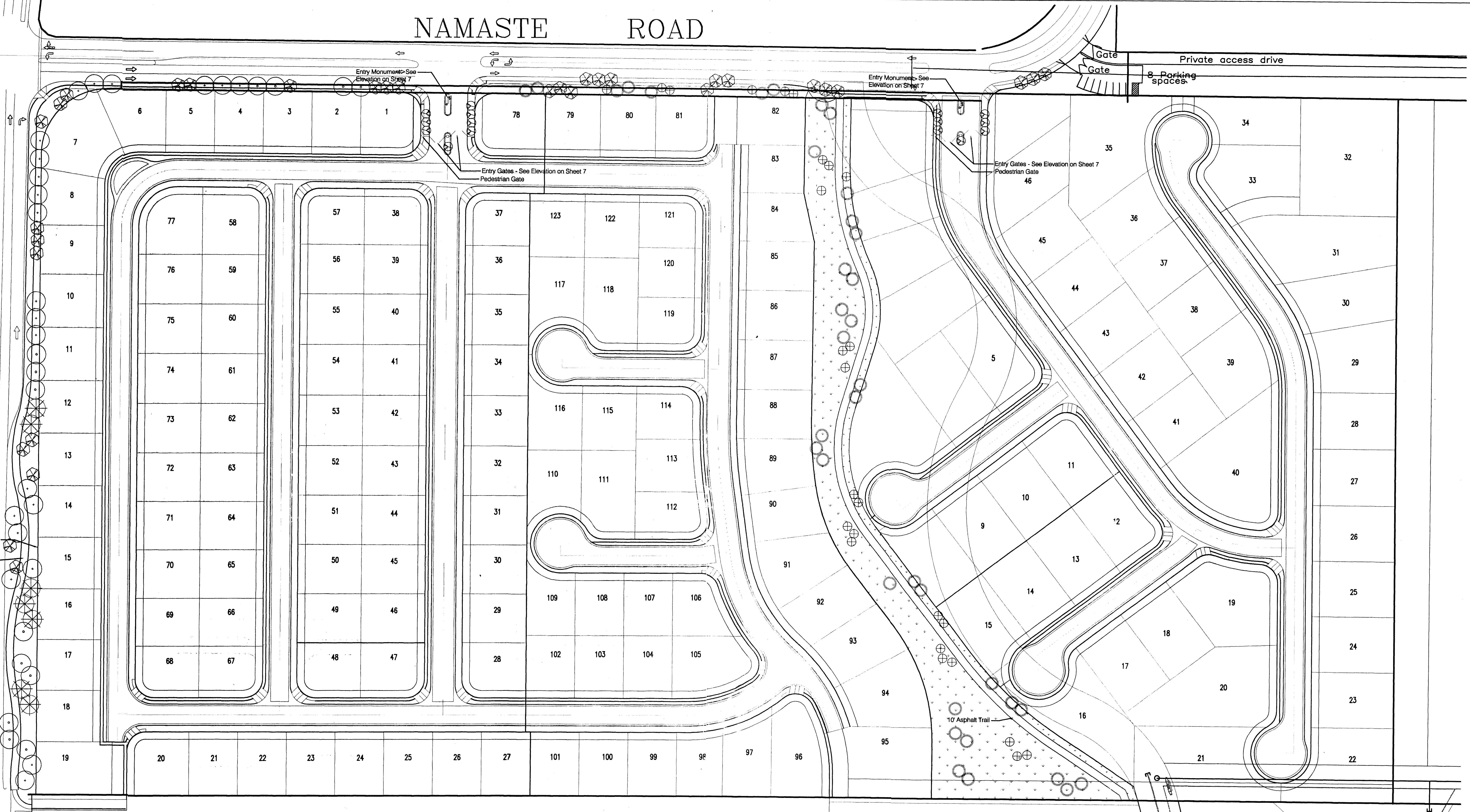
The Hilltop



1002092

NAMASTE ROAD

COORS BOULEVARD NW



GENERAL
 The design and provision of landscaping for Oxbow North shall be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in the design and installation.

GENERAL PLANT PALETTE
 This list is provided as a guide only. Additional plant materials included in the "Albuquerque Plant List" are acceptable subject to the Water Conservation Landscaping and Water Waste Ordinance.

Evergreen Trees (6' min. height)*
 Pinon Pine, Austrian Pine

Large Canopy Trees (min. 2" caliper B&B)*
 Modesto Ash, Raywood Ash, Honeylocust, Cottonwood

Ornamental Trees (min. 1-1/2" caliper B&B)*
 Desert Willow, Chitalpa, New Mexico Olive, Ornamental Pear, Golden Rain tree, Flowering Locust, Eastern Redbud, Chaste Tree

Shrubs, Groundcovers and Wildflowers (1 and 5 gallon)
 Juniper Species, Potentilla, Chamisa, Artemisia Species, Red Yucca, Fourwing Saltbush, Apache Plume, Mountain Mahogany, Evening Primrose, Penstemon Species, Desert Spoon, Cliff Rose, Three-leaf Sumac, Baccharis, Yucca Species, Cherry Sage, Russian Sage, Blue Mist, Turpentine Bush, Rosemary, Dwarf Fountain Grass, Threadgrass, Beargrass, Boston Ivy, English Ivy, Virginia Creeper

Revegetative Seed Mix
 Oxbow Mix of Native Grasses and Wildflowers

Mulches
 Santa Fe Brown Crusher Fines, 3/4" Santa Fe Brown Rock Mulch, 2" - 4" Santa Ana Tan Cobble

Landscape Boulders
 Moss Rock and/or Granite (3 min. dimension)

IRRIGATION SYSTEM
 The irrigation system shall consist of a fully automated sprinkler/drip system to irrigate turf, and tree, shrub, and groundcover plantings.

MAINTENANCE RESPONSIBILITY
 Maintenance of the landscaping and irrigation system, including areas within the City R.O.W., shall be the responsibility of the homeowner's association to be formed for Oxbow North.

north

 30 0 60 120

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 Planning / Landscape Architecture
 924 Park Avenue SW
 Albuquerque, NM 87102
 (505) 764-9801 Fax 842-5495
 e-mail: cp@consensusplanning.com

OXBOW NORTH CONCEPTUAL LANDSCAPE PLAN