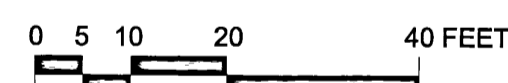


SITE PLAN- EXISTING CONDITIONS PLUS NEW BUILDING ADDITION

SCALE: 1" = 20' - 0"

NOTE: SEE SITE DETAIL SHEET C2 FOR ADDITIONAL INFORMATION



LEGEND - EXISTING FEATURES U.N.O. (UNLESS NOTED OTHERWISE)

- FIRE HYDRANT
- SINGLE POLE LIGHT
- DOUBLE POLE LIGHT
- BUILDING EXITS
- PROPERTY LINE
- WHEELSTOPS - PROVIDE ALL NEW UNITS AS PER PLAN.

LEGAL DESCRIPTION

A parcel of land being all of Tracts A-1A of the Val-Andio Addition within Section 2, Township 10 North, Range 3 East, New Mexico Principal Meridian, recorded on January 2, 1960 in volume C16, Folio 35, City of Albuquerque, Bernalillo County, New Mexico. Parcel contains 1.3577, more or less.

ZONING DATA

APPLICABLE ZONE CODE DATA - CITY OF ALBUQUERQUE
 ZONE ATLAS PAGE: G-17-Z
 ZONE CLASSIFICATION: SU-1

LOT AREA = 1.3577 AC OR 69,140 SQ. FT.
 BUILDING FLOOR AREA = 14,683 SQ. FT.
 GROSS ROOF AREA = 14,978 SQ. FT.

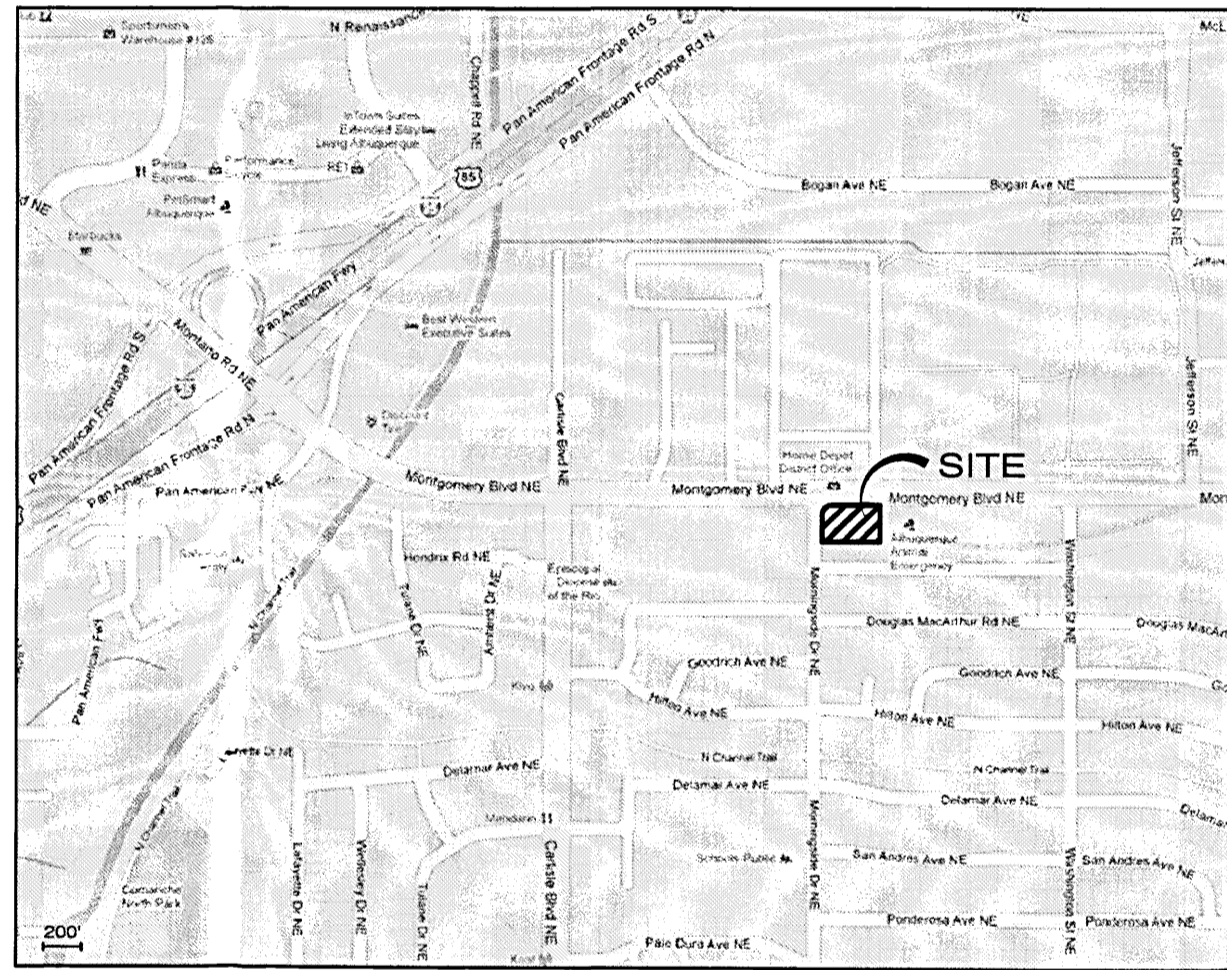
REQUIRED LANDSCAPE AREA = 15% OF NET LOT AREA.
 REQUIRED LANDSCAPE AREA = 6,669 S.F. OR 15%
 PROVIDED LANDSCAPE AREA = 15,226 S.F. OR 34%

REQUIRED OFF STREET PARKING SPACES:
 DOCTORS ON DUTY CONCURRENTLY = 10
 OFF STREET PARKING SPACES REQUIRED @ 5 PER DOCTOR = 50 SPACES.
 OFF STREET PARKING SPACES PROVIDED = 61 SPACES
 H.C. SPACES REQUIRED = 3
 H.C. SPACES PROVIDED = 4
 MOTORCYCLE SPACES REQUIRED = 2
 MOTORCYCLE SPACES PROVIDED = 2
 BICYCLE SPACES REQUIRED = 3
 BICYCLE SPACES PROVIDED = 5

REQUIRED SETBACKS: 15' FRONT SETBACK, 5' SIDE SETBACK AND 10' SIDE SETBACK AT STREETS FOR CORNER LOTS, 15' REAR SETBACK

MAXIMUM BUILDING HEIGHT = 26 FEET OR AS MODIFIED BY THE ZONING CODE OR THE ENVIRONMENTAL PLANNING COMMISSION (EPC).

VICINITY MAP



PROJECT NO. 1002119

APPLICATION NO.

IS AN APPROVED INFRASTRUCTURE LIST REQUIRED?
 [] YES [] NO. IF YES, THEN A SET OF APPROVED DRG PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:

TRAFFIC ENGINEERING TRANSPORTATION DIVISION DATE:

WATER UTILITY DEPARTMENT DATE:

PARKS & RECREATION DEPARTMENT DATE:

CITY ENGINEER DATE:

ENVIRONMENTAL HEALTH (CONDITIONAL) DATE:

SOLID WASTE MANAGEMENT DATE:

DRB CHAIRPERSON, PLANNING DEPT. DATE:

Amended Site Development Plan for Building Permit

© DORMAN AND BREEN ARCHITECTS 2011
DORMAN and BREEN
 LAURENCE BREEN A.I.A.
 Albuquerque Westside 505-792-8160
 RICHARD DORMAN F.A.I.A.
 ALBUQUERQUE, NM 505-299-5940

Building Addition to
 Veterinary Emergency and Specialty Center
 4000 Montgomery Blvd. NE
 Albuquerque, New Mexico 87109

NOT FOR CONSTRUCTION

SHEET TITLE:
 SITE PLAN

JOB NUMBER:
 1026

DATE:
 3/28/11

REVISIONS	DATE
ELEVATION REVISIONS	4/6/11
E.P.C. PRE-REVIEW UPDATES	4/6/11
E.P.C. CONDITIONS	8/24/11

SHEET:
C1
 1 OF 6

MONTGOMERY BOULEVARD NE



3-25-11

AMMENDED LANDSCAPE SITE DATA:

LOT AREA	= 59,140 S.F.
TOTAL BUILDING AND YARDWALL AREA	= 14,683 S.F.
NET LOT AREA	= 44,457 S.F.
LANDSCAPE AREA REQUIRED (15% OF NET LOT AREA)	= 6,669 S.F.
LANDSCAPE AREA PROVIDED = 15,226 S.F. OR 34% (INCLUDING 2,285 S.F. OF LANDSCAPED RIGHT-OF-WAY)	
STREET TREES REQUIRED (1 PER 30')	= 480/30 = 16 TREES
STREET TREES PROVIDED	= 12 TREES (EXISTING) = 4 TREES (NEW) = 16 TREES TOTAL

ORIGINAL LANDSCAPE SITE DATA

LOT AREA	58,806 SF
MINUS BUILDING AREA	11,396 SF
NET LOT AREA	47,411 SF
LANDSCAPE AREA REQUIRED (15% OF NET LOT AREA)	7,111.65 SF
LANDSCAPE AREA PROVIDED (including approximately 2,455 SF of right-of-way)	17,577 SF

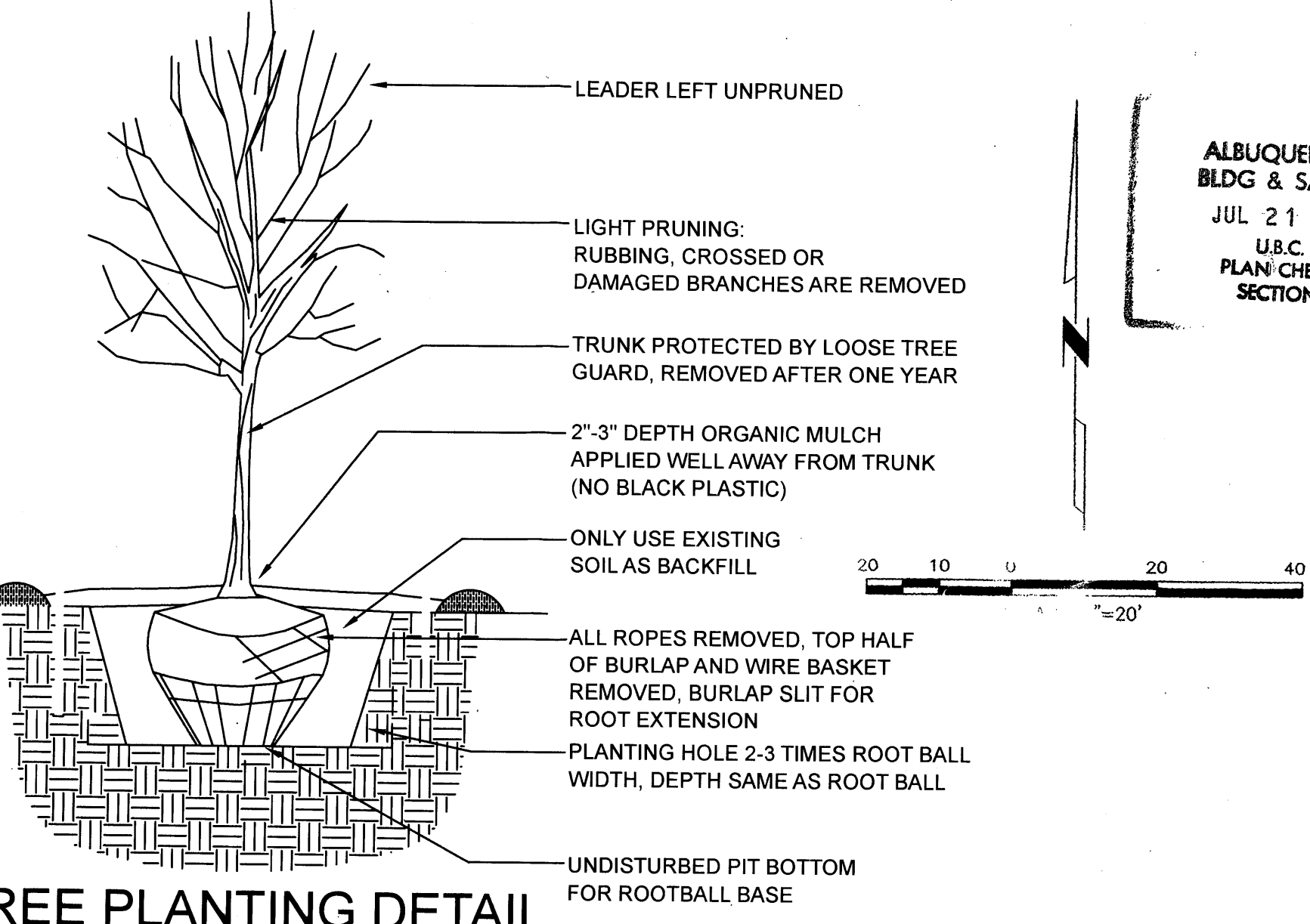
PLANTS INDICATED ON PLAN AT 75%-100% AT MATURITY

LANDSCAPE NOTES

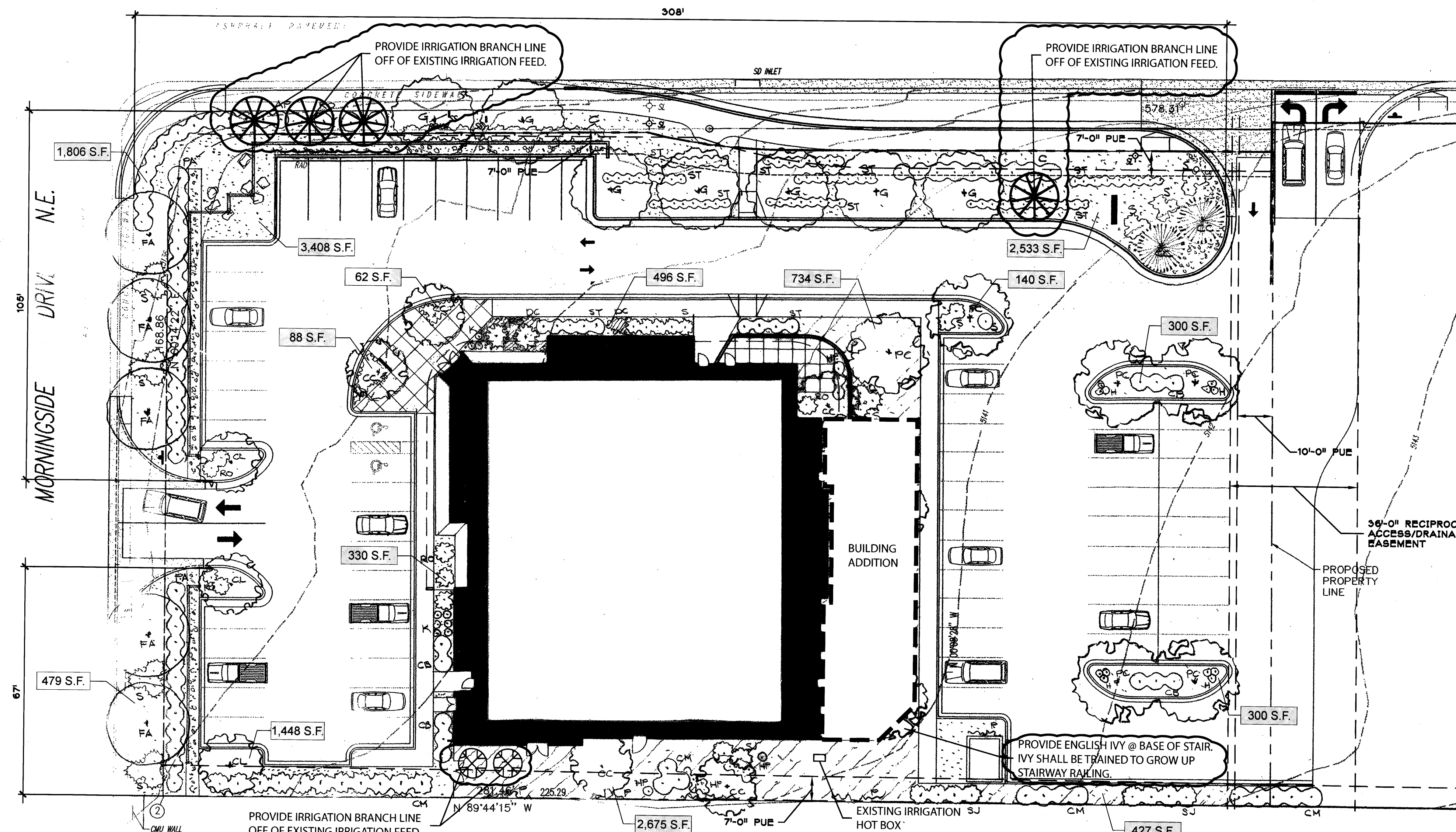
- GENERAL NOTES:
- PLANS ARE DIAGRAMMATIC AND APPROXIMATE DUE TO SCALE OF DRAWINGS, AND NOT ALL INDIVIDUAL SHRUBS OR GROUNDCOVERS ARE SHOWN. ACTUAL TREE LOCATIONS MAY VARY TO ACCOMMODATE SIGNAGE, LIGHTING LOCATIONS, OR OTHER SITE CONSTRAINTS.
 - INTENT OF PLAN IS TO CONFORM TO ALL CITY ORDINANCES AND CODES RELATED TO LANDSCAPE REQUIREMENTS, INCLUDING THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE (C-ORD 18-1995).
 - PLANTING INSTALLATION SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS AND DETAILS UNLESS OTHERWISE NOTED.
 - LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING PLANTING OPERATIONS.
 - ALL PLANT SPECIMENS OF THE SAME SPECIES SHALL BE MATCHING IN PROPER AND APPROPRIATE SIZE AND CHARACTER AS PER THE AMERICAN NURSERYMEN'S ASSOCIATION STANDARDS.
 - THERE SHALL BE A 2"-3" DEPTH OF MULCH AT ALL PLANTING AREAS. ADJUST SETTING HEIGHT/LEVEL OF NEW TREE, SHRUB OR GROUNDCOVERS SO THAT TOP OF ROOTBALL WILL BE COVERED BY 1" DEPTH OF MULCH.
- IRRIGATION:
- AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE DESIGNED AND INSTALLED TO SERVE ALL NEW PLANT MATERIALS, TREES, SHRUBS AND GROUNDCOVERS WILL BE IRRIGATED WITH A LOW-FLOW BUBBLER AND/OR A DRIP EMITTER SYSTEM.
- MAINTENANCE:
- ALL RESPONSIBILITIES FOR LANDSCAPE MAINTENANCE ON THE SITE SHALL BE BY THE OWNER.

PLANTS:

PLANT LIST CONSTITUTES A RANGE OF PLANT MATERIALS WHICH MAY BE USED ON THIS PROJECT. IT IS POSSIBLE THAT NOT ALL LISTED PLANTS WILL BE USED, AND ADDITIONAL APPROPRIATE PLANTS MAY BE INCLUDED ON THE FINAL PLAN.

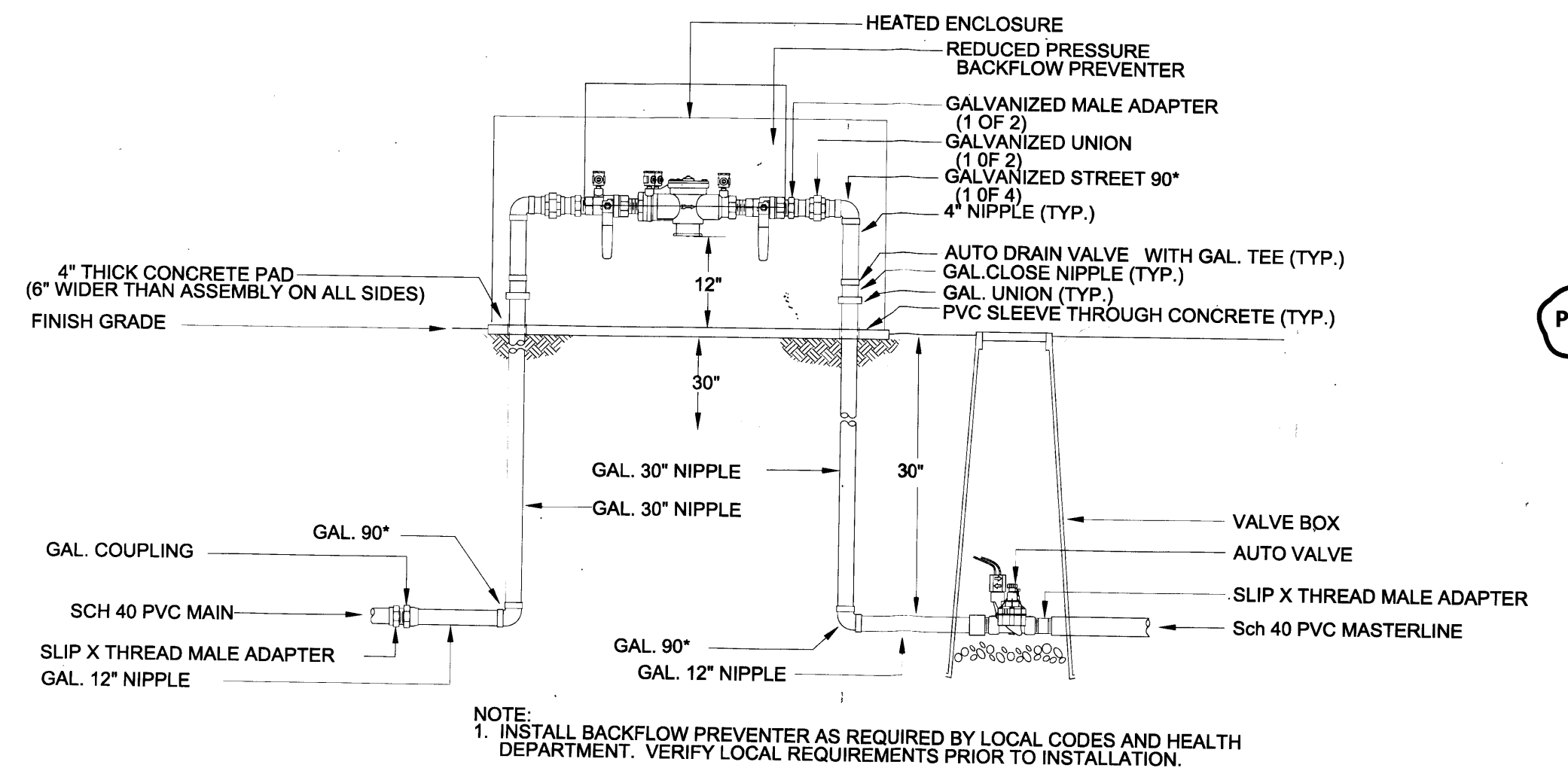


TREE PLANTING DETAIL



CARL PLANT LIST

Botanical Name	Common Name	Installed Size	Mature Size	Water Use
TREES				
<i>Glodisia triacanthos</i>	Shademaster Honey Locust	2 1/2" cal.	45' x 50'	M+
<i>Fraxinus americana</i>	Autumn Purple Ash	2 1/2" cal.	45' x 45'	M+
<i>Pistachia chinensis</i>	Chinese Pistache	2 1/2" cal.	40' x 30'	M
<i>Chilopsis x catalpa</i>	Chitalpa	1 1/2" - 2" cal.	30' x 30'	M
<i>Chilopsis linearis</i>	Desert Willow	15 gal.	30' x 30'	L
<i>Chilopsis linearis</i>	Desert Willow	15 gal.	30' x 30'	L
<i>Crataegus phaenopyrum</i>	Washington Hawthorn	15 gal.	30' x 30'	L
<i>Crataegus phaenopyrum</i>	Washington Hawthorn	15 gal.	25' x 25'	L
SHRUBS				
<i>Caryopteris x clandonensis</i>	Blue Mist Spirea	5 gal.	3' x 3'	M
<i>Chamaebatiaria millefolium</i>	Fernbush	5 gal.	4' x 5'	L
<i>Spartium junceum</i>	Spanish Broom	5 gal.	5' x 5'	M
<i>Kniphofia uvaria</i>	Red Hot Poker	5 gal.	3' x 3'	L
<i>Perovskia atriplicifolia</i>	Russian Sage	5 gal.	5' x 5'	M
<i>Rosmarinus officinalis 'ARP'</i>	Rosemary	5 gal.	5' x 5'	L
<i>Salvia greggii</i>	Autumn Sage	5 gal.	2' x 3'	M
<i>Hesperaloe parviflora</i>	Red Yucca	5 gal.	3' x 3'	M
<i>Stipa tenuifolia</i>	Threadgrass	1 gal.	2' x 2'	L
<i>Helictotrichon sempervirens</i>	Blue Avena	1 gal.	2' x 2'	M
<i>Artemisia x powis castie</i>	Powis Castle Sage	1 gal.	2' x 5'	L+
<i>Cotoneaster buxifolius</i>	Greyleaf Cotoneaster	5 gal.	2' x 6'	M
GROUNDCOVERS & VINES				
<i>Delosperma cooperi</i>	Purple Iceplant	Pots	6" x 18"	L
<i>Parthenocissus tricuspidata</i>	Boston Ivy	1 gal.		M
MULCHES				
	Cobbles, Crusher Fines, Gravel & Bark			



NOTE: 1. INSTALL BACKFLOW PREVENTER AS REQUIRED BY LOCAL CODES AND HEALTH DEPARTMENT. VERIFY LOCAL REQUIREMENTS PRIOR TO INSTALLATION.

RP BACKFLOW/MASTER VALVE DETAIL

NO.	REVISION	DATE

ALBUQUERQUE
 LANDSCAPE ARCHITECTS
 6307 Valencia Parkway NE, Suite 200
 Albuquerque, New Mexico 87113
 Phone (505) 885-5000

LANDSCAPE PLAN

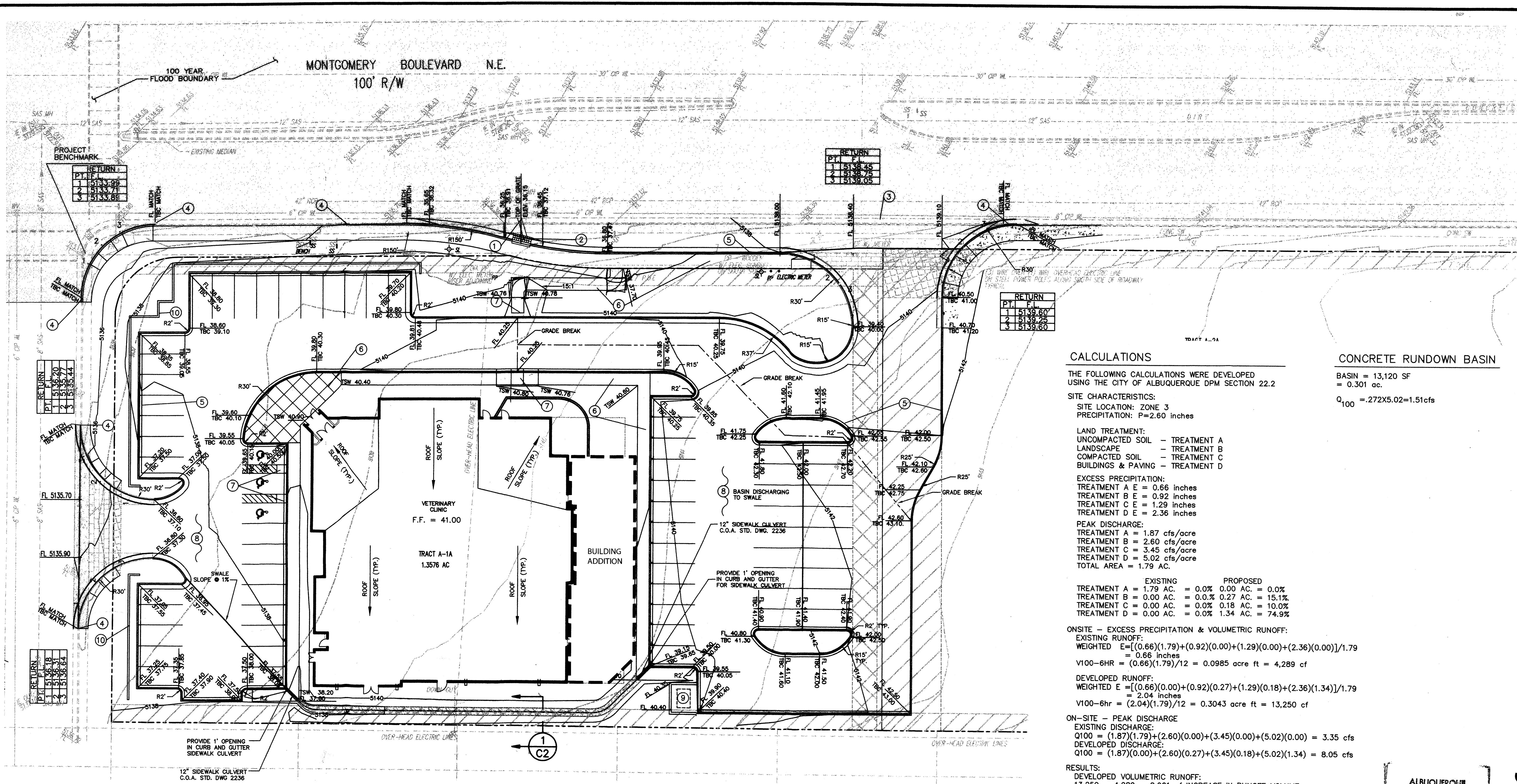
Veterinary Surgical Specialists
 of New Mexico
 Albuquerque, New Mexico

ALBUQUERQUE BLDG & SAFETY
 JUL 21 2003
 U.B.C. PLAN CHECK SECTION

DATE: 10/9/02
 DRAWN: GRJ
 DESIGNED: GRJ
 CHECKED: WC
 PROJ. NO.: 14-0204-01

SHEET: **LS**
 3 OF 6

G:\PROJ\14020401\ACAD\DWG\landscape.dwg



GENERAL NOTES

- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THEREON, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF AND DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- THE CONTRACTOR SHALL INSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.

5. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY OF ALB. FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

KEYED NOTES

- REMOVE TYPE "C" INLET
- CONSTRUCT TYPE "C" INLET
- CONSTRUCT DRIVEPADS PER COA STD DWG 2420
- CONSTRUCT CURB & GUTTER TO MATCH EXISTING CURB
- CONSTRUCT CURB AND GUTTER PER SITE PLAN
- CONSTRUCT SIDEWALK PER SITE PLAN
- CONSTRUCT HANDICAP RAMP PER SITE PLAN
- INSTALL ASPHALT PAVING
- NEW DUMPSTER
- CONSTRUCT CMU VISUAL SCREEN WALL PER SITE PLAN

BENCHMARK
CHISELED "□" IN TOP BACK OF CURB BEHIND FOUND DRILL HOLE
ELEV. = 34.57

LEGAL DESCRIPTION

A PARCEL OF LAND BEING ALL OF TRACTS A-1 AND A-2 OF THE VOL-ADDITION WITHIN SECTION 2, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, RECORDED ON JANUARY 2, 1980 IN VOLUME C16, FOLIO 35), CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. PARCEL CONTAINS 2.7085 ACRES, MORE OR LESS.

S.O. 19 REQUIREMENTS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK IN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE SAME TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

CALCULATIONS

THE FOLLOWING CALCULATIONS WERE DEVELOPED USING THE CITY OF ALBUQUERQUE DPM SECTION 22.2

SITE CHARACTERISTICS:
SITE LOCATION: ZONE 3
PRECIPITATION: P=2.60 inches

LAND TREATMENT:
UNCOMPACTED SOIL - TREATMENT A
LANDSCAPE - TREATMENT B
COMPACTED SOIL - TREATMENT C
BUILDINGS & PAVING - TREATMENT D

EXCESS PRECIPITATION:
TREATMENT A E = 0.66 inches
TREATMENT B E = 0.92 inches
TREATMENT C E = 1.29 inches
TREATMENT D E = 2.36 inches

PEAK DISCHARGE:
TREATMENT A = 1.87 cfs/acre
TREATMENT B = 2.60 cfs/acre
TREATMENT C = 3.45 cfs/acre
TREATMENT D = 5.02 cfs/acre
TOTAL AREA = 1.79 AC.

TREATMENT A = 1.79 AC. = 0.0% 0.00 AC. = 0.0%
TREATMENT B = 0.00 AC. = 0.0% 0.27 AC. = 15.1%
TREATMENT C = 0.00 AC. = 0.0% 0.18 AC. = 10.0%
TREATMENT D = 0.00 AC. = 0.0% 1.34 AC. = 74.9%

ONSITE - EXCESS PRECIPITATION & VOLUMETRIC RUNOFF:
EXISTING RUNOFF:
WEIGHTED E = [(0.66)(1.79) + (0.92)(0.00) + (1.29)(0.00) + (2.36)(0.00)]/1.79 = 0.66 inches

DEVELOPED RUNOFF:
WEIGHTED E = [(0.66)(0.00) + (0.92)(0.27) + (1.29)(0.18) + (2.36)(1.34)]/1.79 = 2.04 inches

ON-SITE - PEAK DISCHARGE
EXISTING DISCHARGE:
Q100 = (1.87)(1.79) + (2.60)(0.00) + (3.45)(0.00) + (5.02)(0.00) = 3.35 cfs

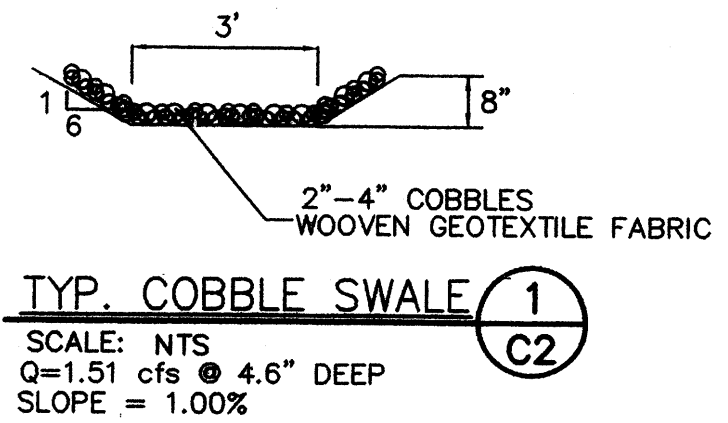
DEVELOPED DISCHARGE:
Q100 = (1.87)(0.00) + (2.60)(0.27) + (3.45)(0.18) + (5.02)(1.34) = 8.05 cfs

RESULTS:
DEVELOPED VOLUMETRIC RUNOFF:
13,250 - 4,289 = 8,961 cf INCREASE IN RUNOFF VOLUME

DEVELOPED PEAK DISCHARGE:
8.05 - 3.35 = 4.70 cfs INCREASE IN PEAK DISCHARGE

CONCRETE RUNDOWN BASIN

BASIN = 13,120 SF
= 0.301 ac.
Q₁₀₀ = .272X5.02=1.51cfs



TYP. COBBLE SWALE
SCALE: NTS
Q=1.51 cfs @ 4.6" DEEP
SLOPE = 1.00%

FLOOD ZONE

PER THE FEMA MAP NUMBER 350002 0023 DATED OCTOBER 14, 1983 THE SITE IS NOT LOCATED WITHIN FLOOD HAZARD ZONE AREA. HOWEVER, MONTGOMERY BOULEVARD WHICH BOUNDS THE SITE TO THE NORTH IS DESIGNATED AS BEING IN THE 100-YR FLOOD ZONE.

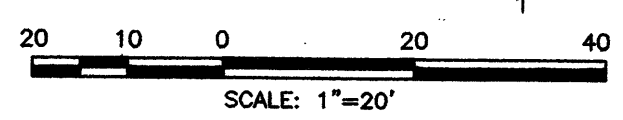
ENGINEER'S CERTIFICATION

I PERSONALLY INSPECTED THIS SITE AND NO GRADING, FILLING, OR EXCAVATION HAS OCCURRED SINCE THE PREPARATION OF THE TOPOGRAPHY SHOWN ON THIS PLAN.

APPROVALS	NAME	DATE
A.C.E. DESIGN		
INSPECTOR		
A.C.E. FIELD		

GENERAL LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- ADD 5100 TO SPOT ELEVATIONS
- TOP OF ASPHALT (TA)
- TOP BACK OF CURB (TBC)
- FLOWLINE ELEVATION (FL)
- TOP OF SIDEWALK (TSW)



NO.	REVISION	DATE

HUIT-ZOLLARS
Professional Engineer
6607 Montgomery Parkway NE, Albuquerque, NM 87110-5072
Phone (505) 885-5000

PETER D. SCHWARTZ, DVM
VETERINARY SURGICAL SPECIALISTS

EXISTING GRADING AND DRAINAGE PLAN

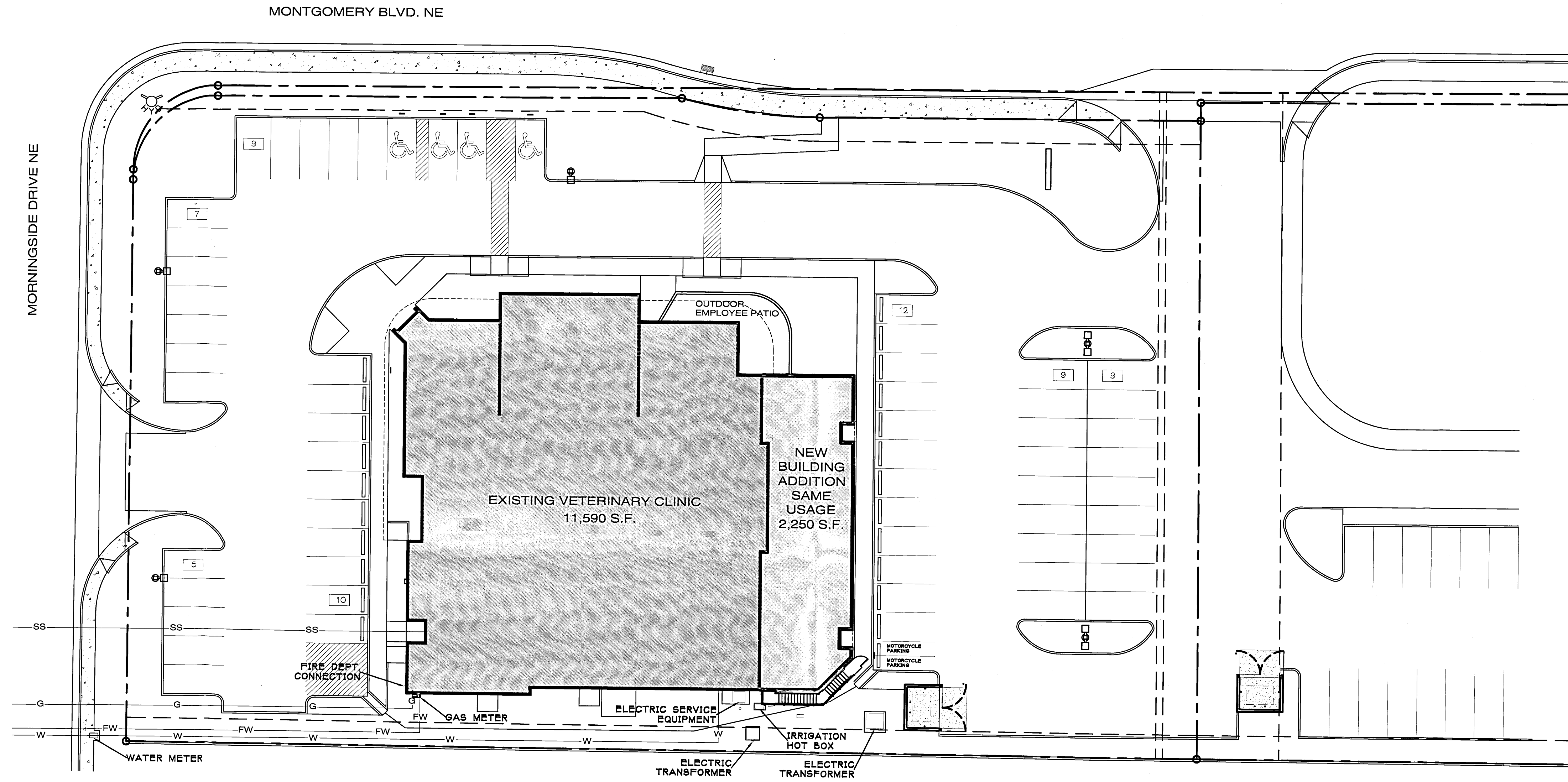
Veterinary Surgical Specialists of New Mexico
Albuquerque, New Mexico

HUIT-ZOLLARS, INC.
Consulting Engineers

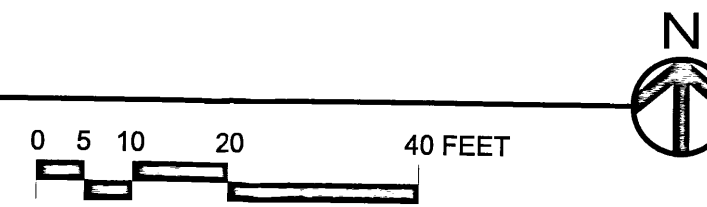
DATE: 08/29/02
DRAWN: LH
DESIGNED: SE
CHECKED: KK
PROJ. NO.: 14-0204-01

SHEET: **GD**
4 OF 6

G:\PROJ\140204\01\VD\dwg\Grading.dwg



UTILITY PLAN- EXISTING CONDITIONS
 SCALE: 1" = 20' - 0"



LEGEND - EXISTING FEATURES U.N.O.
 (UNLESS NOTED OTHERWISE)

- FIRE HYDRANT
- SINGLE POLE LIGHT
- DOUBLE POLE LIGHT
- SANITARY SEWER
- GAS
- FIRE WATER
- WATER
- PROPERTY LINE

Amended Site Development Plan for Building Permit

Building Addition to
 Veterinary Emergency and Specialty Center
 4000 Montgomery Blvd. NE
 Albuquerque, New Mexico 87109

NOT FOR CONSTRUCTION

SHEET TITLE:
 UTILITY PLAN

JOB NUMBER:
 1026

DATE:
 3/28/11

REVISIONS:	DATE:
ELEVATION REVISIONS	4/6/11
S.P.C. PRE-REVIEW UPDATES	4/6/11
S.P.C. CONDITIONS	5/24/11

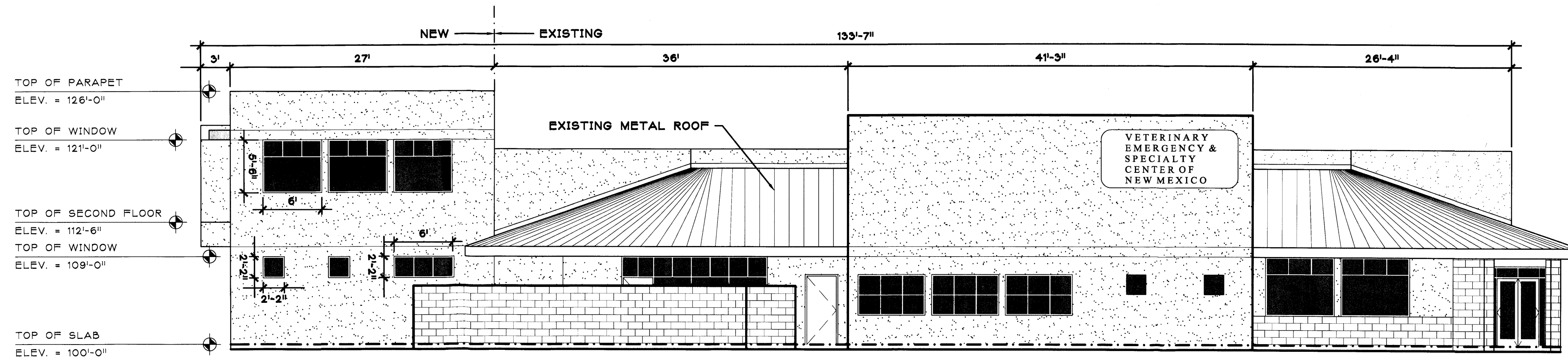
SHEET:
UT
 5 OF 6

BLDG ELEVATION NOTES

TYPICAL WALL FINISH:
SYSTEM TO MATCH EXISTING TEXTURE AND COLOR. SEE BUILDING ELEVATIONS FOR LAYOUT OF REVEAL JOINTS.

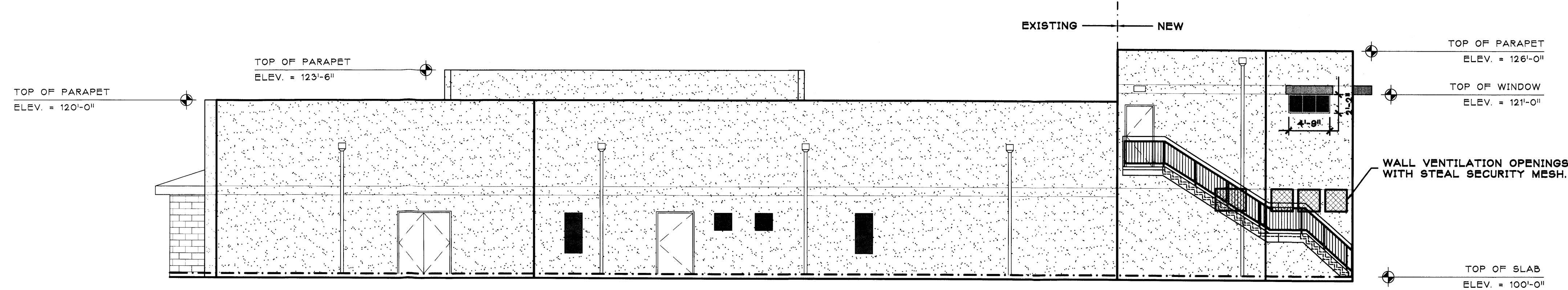
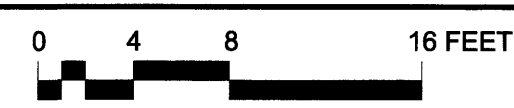
TYPICAL WINDOWS
PROVIDE ALUMINUM STOREFRONT FRAMES, BROWN COLOR W/ LOW-E INSULATED GLASS.

TYPICAL EXTERIOR DOORS
PROVIDE BROWN ALUMINUM STOREFRONT FRAMES WITH TRANSOM WINDOWS & PANIC HARDWARE, HOLLOW METAL DOORS, PAINT DOORS TO MATCH STUCCO COLOR.



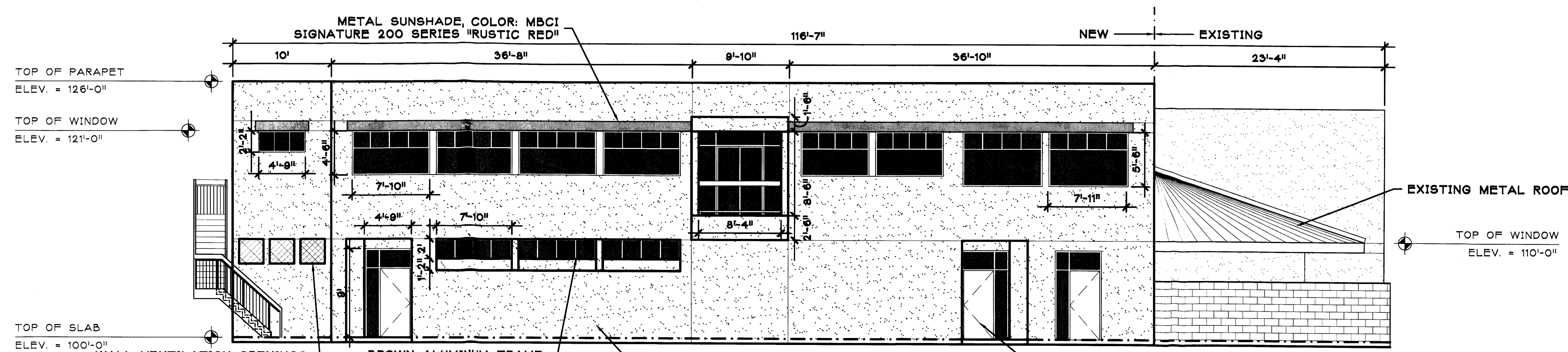
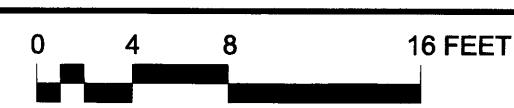
NORTH ELEVATION

SCALE: 1/8" = 1' - 0"



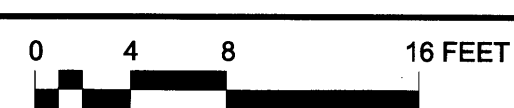
SOUTH ELEVATION

SCALE: 1/8" = 1' - 0"



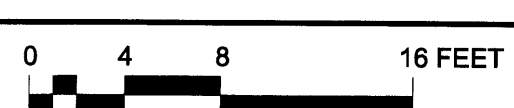
EAST ELEVATION

SCALE: 1/8" = 1' - 0"



WEST ELEVATION - EXISTING

SCALE: 1/8" = 1' - 0"



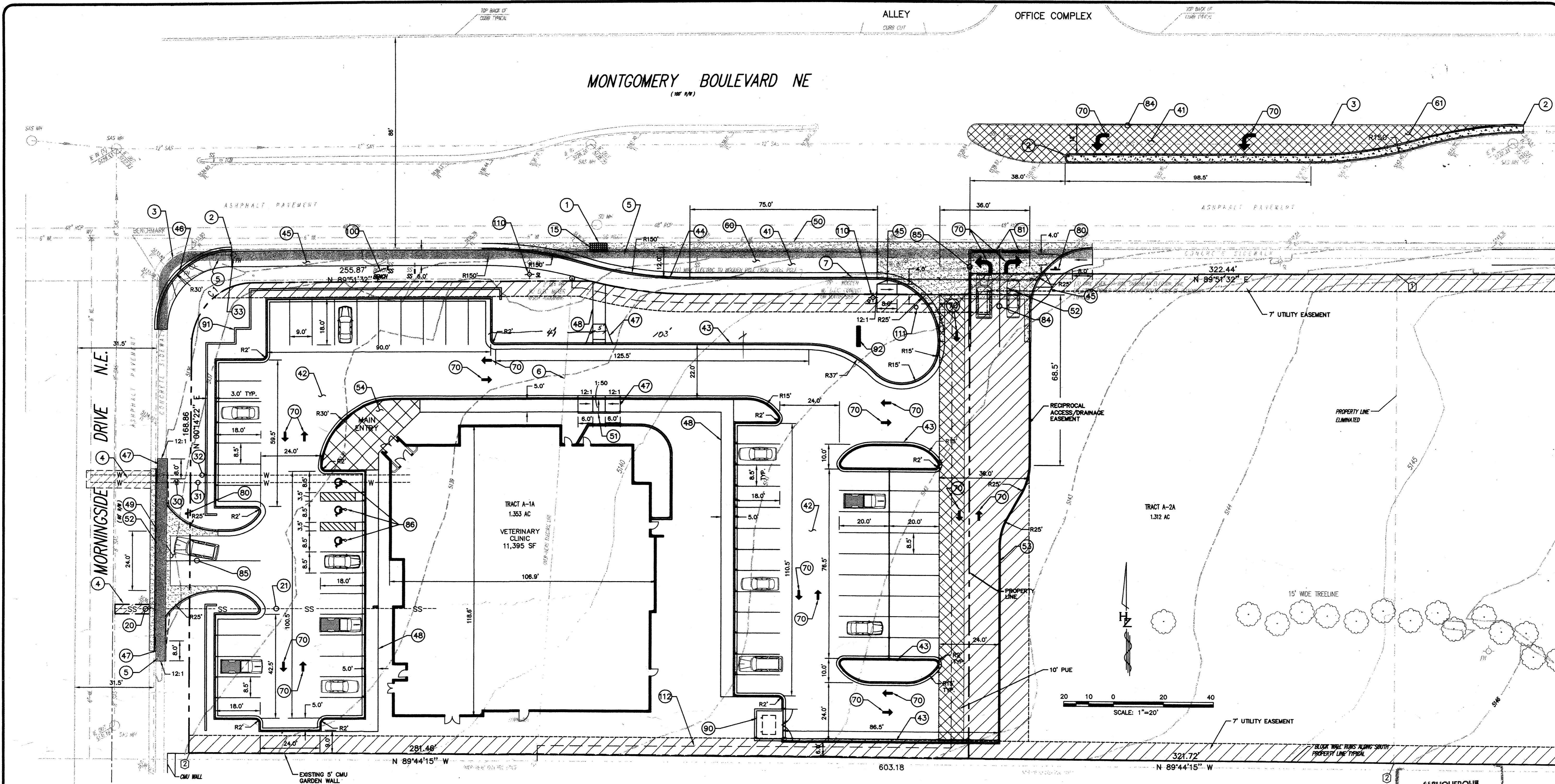
Amended Site Development Plan for Building Permit

© DORMAN AND BREEN ARCHITECTS 2011
DORMAN and BREEN
 LAURENCE BREEN A.I.A.
 Albuquerque Westside 505-792-8160
 RICHARD DORMAN F.A.I.A.
 ALBUQUERQUE, NM 505-298-5940

Building Addition to
Veterinary Emergency and Specialty Center
 4000 Montgomery Blvd. NE
 Albuquerque, New Mexico 87109

NOT FOR CONSTRUCTION

SHEET TITLE: ELEVATIONS	
JOB NUMBER: 1026	
DATE: 3/28/11	
REVISIONS:	DATE:
ELEVATION REVISIONS	4/8/11
E.P.C. PRE-REVIEW UPDATED	4/8/11
E.P.C. CONDITIONS	8/24/11
SHEET: A	
6 OF 6	



LEGAL DESCRIPTION

A parcel of land being all of Tracts A-1 and A-2 of the Vol-Andro Addition within Section 2, Township 10 North, Range 3 East, New Mexico Principal Meridian, recorded on January 2, 1980 in Volume C16, Folio 35, City of Albuquerque, Bernalillo County, New Mexico. Parcel contains 2.7085, more or less.

PROJECT BENCHMARK

CHISELED "C" IN TOP BACK OF CURB BEHIND FOUND DRILL HOLE ELEV. = 5134.57 ELEVATION TRANSFERRED FROM COA BRASS CAP "M-5A" HAVING ELEVATION 5154.46

BOUNDARY EVIDENCE: UNLESS OTHERWISE INDICATED:

- 1) Found No. 5 rebar w/ yellow plastic cap stamped PLS 10042
 - 2) Found no. 4 rebar no cap w/ aluminum strip tag stamped PLS 10042
- All property corners are set with a 5/8" x 24" rebar with yellow plastic cap stamped LS 9243. Items 1 and 2 on boundary had a brass tag stamped LS 9243 attached with tie wire.

KEY NOTES

- DEMOLITION:**
1. REMOVE TOP OF EXISTING STORM DRAIN INLET.
 2. NEATLINE CUT. REMOVE SIDEWALK TO NEAREST JOINT.
 3. REMOVE EXISTING CURB AND GUTTER.
 4. NEATLINE CUT EXISTING PAVEMENTS AND CURB AND GUTTER FOR ACCESS TO UNDERGROUND UTILITIES.
 5. EXISTING SIDEWALK TO BE REMOVED.
 6. REMOVE EXISTING POWER LINE.

KEY NOTES (CONT.)

DRAINAGE:

15. NEW TOP ON EXISTING STORM INLET DOUBLE "D" COA STANDARD DRAWING 2206 WITH MODIFIED "V" GRATE.

SEWER:

20. NEW SEWER SERVICE LINE. COA STANDARD DRAWING 2125.
21. 4" PVC SEWER PIPE.

WATER:

30. NEW WATER METERED SERVICE LINE INSTALLATION COA STANDARD DRAWING 2362.
31. 1" SCHEDULE 80 PVC APPROX. 130 LF.
32. 6" C900 PVC APPROX. 130 LF.

63. RELOCATE EXISTING FIRE HYDRANT. COA STANDARD DRAWING 2340. ALSO SEE ATTACHED SURVEY OF ADDITIONAL FIRE HYDRANTS.

PAVING:

41. ARTERIAL ASPHALT CONCRETE 4". COA STANDARD DRAWING 2408.
42. RESIDENTIAL ASPHALT CONCRETE TYPE A 2". COA STANDARD DRAWING 2415.
43. MEDIAN CURB AND GUTTER. COA STANDARD DRAWING 2415.
44. STANDARD CURB & GUTTER. COA STANDARD DRAWING 2415.
45. SIDEWALK PAVING DETAILS COA STANDARD DRAWING 2430.
46. WHEEL CHAIR ACCESSIBLE RAMP TYPE I COA STANDARD DRAWING 2441.
47. WHEEL CHAIR ACCESSIBLE RAMP.
48. 5' SIDEWALK COA STANDARD DRAWING 2430.
49. 6' SIDEWALK COA STANDARD DRAWING 2430.

KEY NOTES (CONT.)

PAVING: (CONT.)

50. VALLEY GUTTER. COA STANDARD DETAIL 2420.
51. HEADER CURB. COA STANDARD DETAIL 2415.
52. 6' PATTERNED CONCRETE CROSSING.
53. ASPHALT CURB COA STANDARD DRAWING 2415.
54. CONCRETE PAVING.

TRAFFIC:

60. DECELERATION LANE 75' LENGTH.
61. RECONSTRUCT CENTER MEDIAN FOR LEFT TURN BAY.

TRAFFIC CIRCULATION:

70. DIRECTIONAL ARROWS.

TRAFFIC SIGNS/STRIPING:

80. STOP SIGN; R1-1-30.
81. 12" SOLID WHITE STOP BAR.
82. NOT USED.
83. NOT USED.
84. 4" SOLID WHITE PAVEMENT MARKING.
85. 2-4" SOLID YELLOW PAVEMENT MARKING.
86. INTERNATIONAL SYMBOL OF ACCESSIBILITY PAINTED SAFETY WHITE.

MISCELLANEOUS:

90. REFUSE CONTAINER WITH ENCLOSURE, PER COA STD.
91. SPLIT FACE CMU WALL: HEIGHT = 3.0'
92. MONUMENT SIGN

BUS STOP:

100. RELOCATE BENCH AND SIGNS.

ELECTRICAL:

110. RELOCATE EXISTING STREET LIGHT.
111. RELOCATE ELECTRIC RISER WITH METER.
112. NEW UNDERGROUND ELECTRIC CONDUIT

GENERAL INFORMATION

- | | |
|---|----|
| 1. NUMBER OF SPACES REQUIRED: | 57 |
| 2. NUMBER OF SPACES PROVIDED: | 59 |
| 3. HANDICAPPED PARKING SPACES REQUIRED: | 3 |
| 4. HANDICAPPED PARKING SPACES PROVIDED: | 3 |
| 5. BICYCLE RACKS SPACES REQUIRED: | 0 |
| 6. BICYCLE RACKS SPACES PROVIDED: | 0 |
| 7. REFUSE CONTAINER AND ENCLOSURE: | 1 |

EPC CONDITIONS

1. APPROVAL AUTHORITY FOR THE SITE DEVELOPMENT PLAN IS DELEGATED TO THE DRB FOR APPROVAL WITHIN SIX (6) MONTHS, AT AN ADVERTISED PUBLIC HEARING.
2. THE SITE SHALL BE REPLATTED TO REFLECT THE NEW ZONE BOUNDARY LINE.
3. ROOF AND/OR GROUND-MOUNTED EQUIPMENT SHALL BE SHIELDED FROM VIEW BY A PARAPET OR SCREEN WALL THAT IS, AT MINIMUM, AS HIGH AS THE EQUIPMENT.
4. ANY PARKING SPACES ADJACENT TO AND FACING A STREET SHALL BE SCREENED BY A 2 1/2' - 3' HIGH GARDEN WALL AND/OR LANDSCAPING BERM. PEDESTRIAN PATHWAYS AND PUBLIC SIDEWALKS THAT CROSS DRIVE AISLES OR VEHICULAR ACCESS POINTS SHALL BE OF A PATTERNED MATERIAL OTHER THAN ASPHALT, AT LEAST SIX FEET WIDE. SITE PLAN AND ACCESS POINTS ARE SUBJECT TO APPROVAL BY THE TRAFFIC ENGINEER.
7. THE SITE PLAN SHALL MEET THE TYPICAL REQUIREMENTS THAT ARE NORMALLY IMPOSED BY THE EPC.

CASE NUMBER: Z-1002119/02EPC-01144

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON SEPTEMBER 20, 2002. AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE: NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

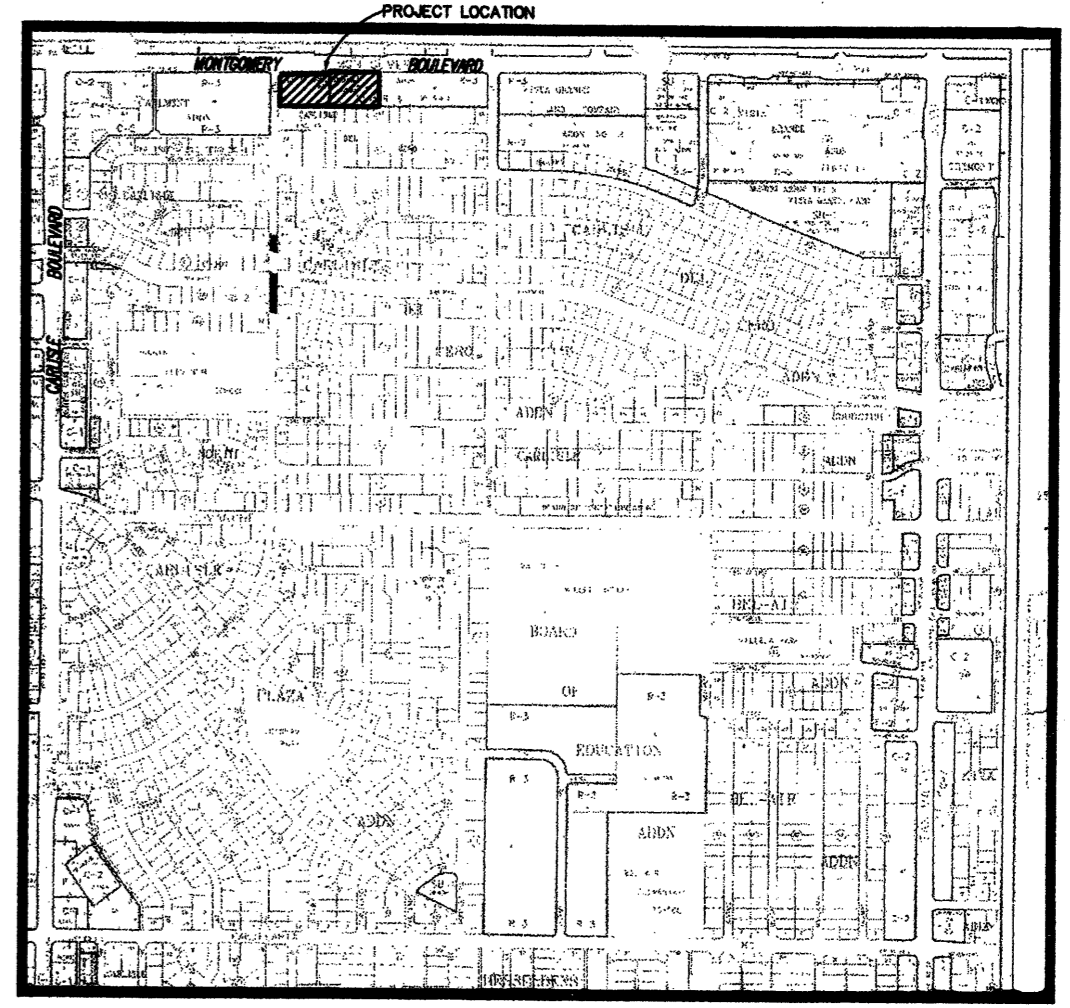
SITE DEVELOPMENT PLAN

Rudolf Dante 1/29/03
 TRAFFIC ENGINEER, TRANSPORTATION DIVISION
 DATE 05/17/03
Christina Sandoval 1/29/03
 PUBLIC WORKS, WATER UTILITIES DIVISION
 DATE 3/6/03
Roger A. Nee 3/6/03
 PUBLIC WORKS, WATER UTILITIES DIVISION
 DATE 3/6/03

Don C. Nelson 3-06-03
 CITY ENGINEER, ENGINEERING DIVISION/MAMFCA
 DATE 3-06-03
 SOLID WASTE
 DATE

APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL
Sharon Motson 3/17/03
 CITY PLANNER, ALBUQUERQUE / BERNALILLO
 DATE 3/17/03
 PLN2 (1076) 496

VICINITY MAP



ALBUQUERQUE
 BLDG & SAFETY
 JUL 21 2003
 UJC
 PLAN CHECK
 SECTION

ZONE ATLAS: G-17-Z

NO.	REVISION	DATE

HUIT-ZOLIARS
 Huit-Zoliars, Inc.
 6801 American Parkway NE, Suite 800
 Albuquerque, New Mexico 87110-8072
 Phone (505) 888-9114 Fax (505) 888-9022

PETER D. SCHWARZ, DVM
 VETERINARY SURGICAL
 SPECIALISTS

SITE DEVELOPMENT PLAN

Veterinary Surgical Specialists
 of New Mexico
 Albuquerque, New Mexico



DATE: 08/29/02
 DRAWN: LH
 DESIGNED: SE
 CHECKED: KK
 PROJ. NO.: 14-0204-01

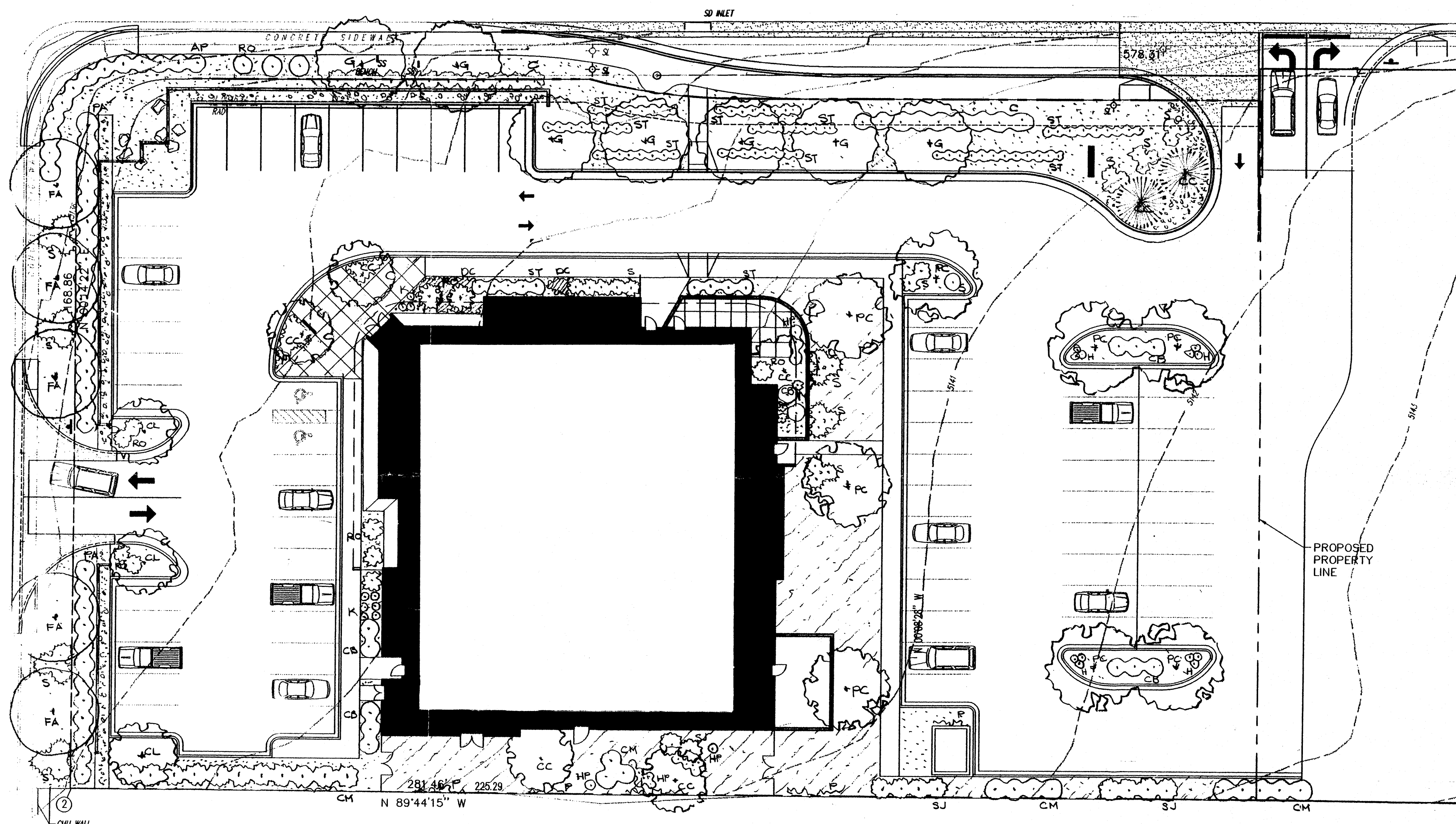
SHEET: **C1**

G:\PROJ\140204-01\dwg\SitePlan.dwg

MONTGOMERY BOULEVARD NE

(100' R/W)

MORNINGSIDE DRIVE N.E.



LANDSCAPE SITE DATA

LOT AREA	58,806 SF
MINUS BUILDING AREA	11,395 SF
NET LOT AREA	47,411 SF
LANDSCAPE AREA REQUIRED (15% OF NET LOT AREA)	7,111.65 SF
LANDSCAPE AREA PROVIDED (including approximately 2,455 SF of right-of-way)	17,577 SF

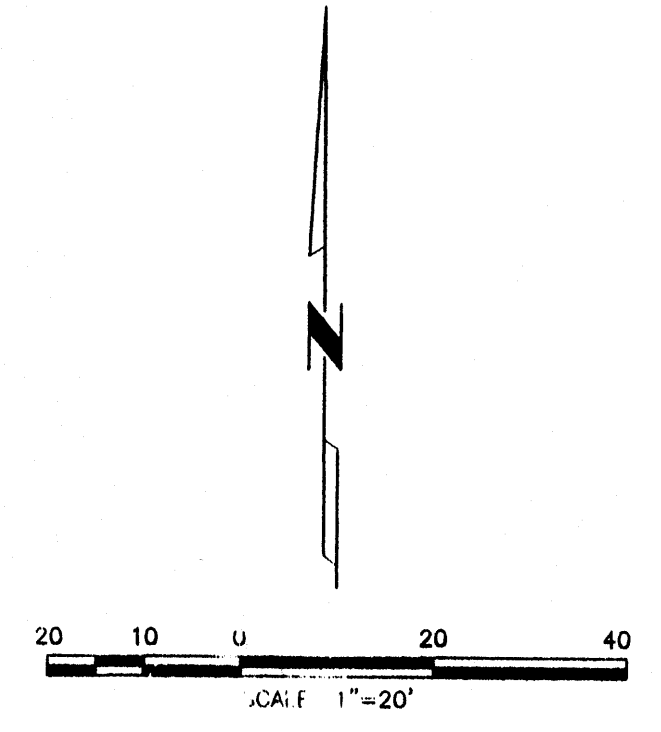
PLANTS INDICATED ON PLAN AT 75%-100% AT MATURITY

LANDSCAPE NOTES

- GENERAL NOTES:**
- PLANS ARE DIAGRAMMATIC AND APPROXIMATE DUE TO SCALE OF DRAWINGS, AND NOT ALL INDIVIDUAL SHRUBS OR GROUNDCOVERS ARE SHOWN. ACTUAL TREE LOCATIONS MAY VARY TO ACCOMMODATE SIGNAGE, LIGHTING LOCATIONS, OR OTHER SITE CONSTRAINTS.
 - INTENT OF PLAN IS TO CONFORM TO ALL CITY ORDINANCES AND CODES RELATED TO LANDSCAPE REQUIREMENTS, INCLUDING THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE (C-ORD 18-1995).
 - PLANTING INSTALLATION SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS AND DETAILS UNLESS OTHERWISE NOTED.
 - LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING PLANTING OPERATIONS.
 - ALL PLANT SPECIMENS OF THE SAME SPECIES SHALL BE MATCHING IN PROPER AND APPROPRIATE SIZE AND CHARACTER AS PER THE AMERICAN NURSERYMEN'S ASSOCIATION STANDARDS.
 - THERE SHALL BE A 2"-3" DEPTH OF MULCH AT ALL PLANTING AREAS. ADJUST SETTING HEIGHT/LEVEL OF NEW TREE, SHRUB OR GROUNDCOVERS SO THAT TOP OF ROOTBALL WILL BE COVERED BY 1" DEPTH OF MULCH.
- IRRIGATION:**
- AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE DESIGNED AND INSTALLED TO SERVE ALL NEW PLANT MATERIALS. TREES, SHRUBS AND GROUNDCOVERS WILL BE IRRIGATED WITH A LOW-FLOW BUBBLER AND/OR A DRIP EMITTER SYSTEM.
- MAINTENANCE:**
- ALL RESPONSIBILITIES FOR LANDSCAPE MAINTENANCE ON THE SITE SHALL BE BY THE OWNER.
- PLANTS:**
- PLANT LIST CONSTITUTES A RANGE OF PLANT MATERIALS WHICH MAY BE USED ON THIS PROJECT. IT IS POSSIBLE THAT NOT ALL LISTED PLANTS WILL BE USED, AND ADDITIONAL APPROPRIATE PLANTS MAY BE INCLUDED ON THE FINAL PLAN.

CARL PLANT LIST

Botanical Name	Common Name	Installed Size	Mature Size	Water Use
TREES				
Gleditsia triacanthos	Shademaster Honey Locust	2 1/2" cal.	45' x 50'	M+
Fraxinus americana	Autumn Purple Ash	2 1/2" cal.	45' x 45'	M+
Pistachia chinensis	Chinese Pistache	2 1/2" cal.	40' x 30'	M
Chilopsis x catalpa	Chitalpa	1 1/2" - 2" cal.	30' x 30'	M
Chilopsis linearis	Desert Willow	15 gal.	30' x 30'	L
SHRUBS				
Caryopteris x clandonensis	Blue Mist Spirea	5 gal.	3' x 3'	M
Chamaebatilaria millefolium	Fernbush	5 gal.	4' x 5'	L
Spartium junceum	Spanish Broom	5 gal.	5' x 5'	M
Kniphofia uvaria	Red Hot Poker	5 gal.	3' x 3'	L
Perovskia atriplicifolia	Russian Sage	5 gal.	5' x 5'	M
Rosmarinus officinalis 'ARP'	Rosemary	5 gal.	5' x 5'	L
Salvia greggii	Autumn Sage	5 gal.	2' x 3'	M
Hesperaloe parviflora	Red Yucca	5 gal.	3' x 3'	M
Stipa tenuifolia	Threadgrass	1 gal.	2' x 2'	L
Helictotrichon sempervirens	Blue Avena	1 gal.	2' x 2'	M
Artemisia x powis castile	Powis Castle Sage	1 gal.	2' x 5'	L+
Cotoneaster buxifolius	Greyleaf Cotoneaster	5 gal.	2' x 6'	M
GROUNDCOVERS & VINES				
Delosperma cooperi	Purple Iceplant	Pots	6" x 18"	L
Parthenocissus tricuspidata	Boston Ivy	1 gal.	----	M
MULCHES				
	Cobbles, Crusher Fines, Gravel & Bark			



NO.	REVISION	DATE

HUIT-ZOLARS
 Huit-Zolars, Inc.
 620 American Parkway NE, Suite 270
 Albuquerque, New Mexico 87102
 Phone (505) 882-9114 Fax (505) 882-5022

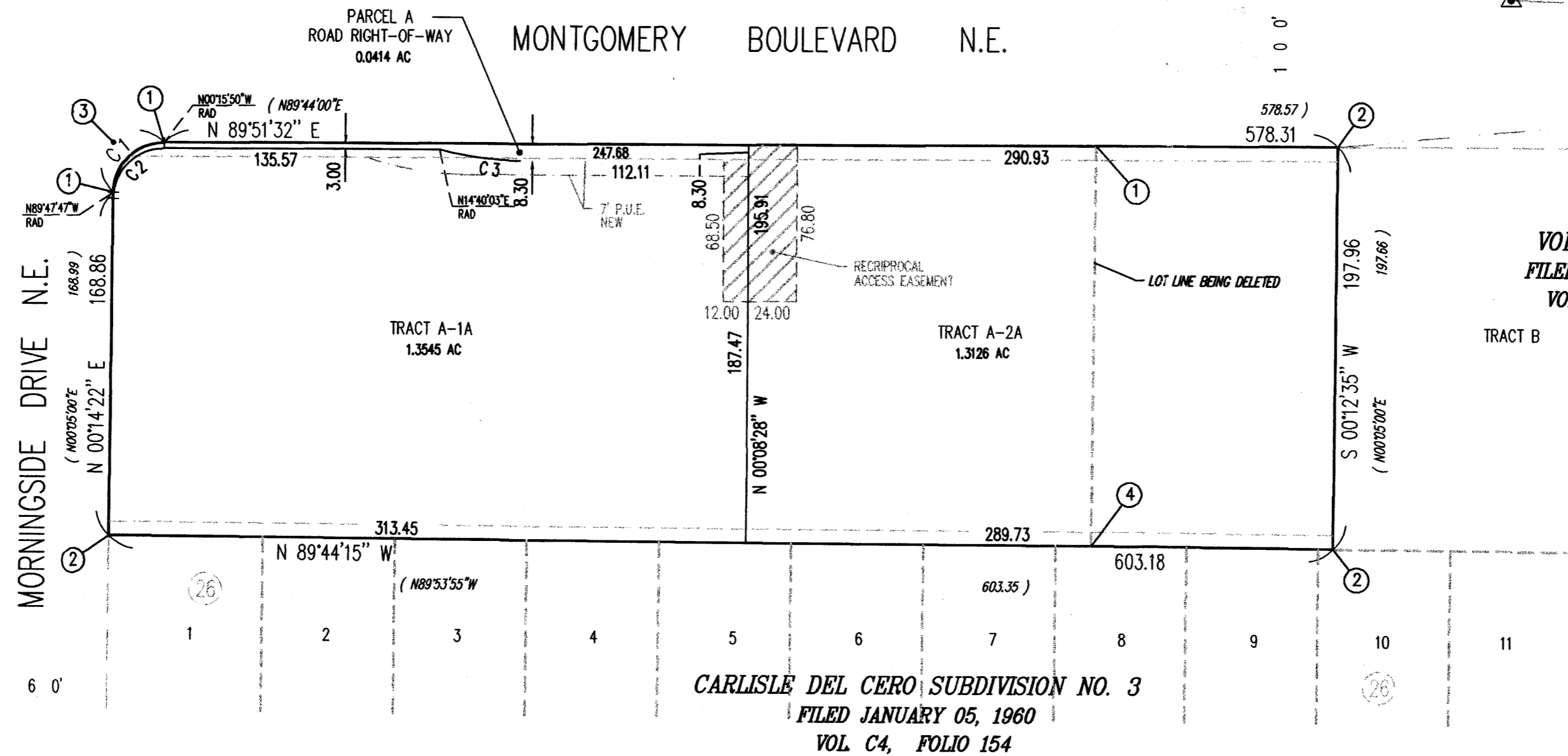
LANDSCAPE PLAN
 Veterinary Surgical Specialists
 of New Mexico
 Albuquerque, New Mexico

DATE: 10/8/02
 DRAWN: GRJ
 DESIGNED: GRJ
 CHECKED: WC
 PROJ. NO: 14-0204-01
 SHEET: **LS**

TRACTS A-1A AND A-2A
A REPLAT OF TRACTS A-1 AND A-2
VOL-ANDIA ADDITION

WITHIN NE 1/4, NW 1/4 OF SECTION 2
T. 10 N., R. 3 E., N. M. P. M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 2002

60 30 0 60 120
SCALE: 1" = 60'



FOUND ACS MONUMENT "M-6"
N.M. STATE PLANE COORDINATES
X=393,499.33 Y=1,503,152.62
CENTRAL ZONE NAD 1927
DELTA ALPHA = -00'12"18"
GRID TO GROUND = .99966855

FOUND ACS MONUMENT "M-5A"
N.M. STATE PLANE COORDINATES
X=396,805.92 Y=1,503,065.00
CENTRAL ZONE NAD 1927
DELTA ALPHA = -00'11"55"
GRID TO GROUND = .9996656

VOL-ANDIA ADDITION
FILED NOVEMBER 18, 1977
VOL. B13, FOLIO 176

CARLISLE DEL CERO SUBDIVISION NO. 3
FILED JANUARY 05, 1960
VOL. C4, FOLIO 154

BOUNDARY EVIDENCE: UNLESS OTHERWISE INDICATED:

- ① Found No. 5 rebar w/ yellow plastic cap - PLS 10042
- ② Found No. 4 rebar (no cap) w/ aluminum strip tag marked PLS 10042 attached
- ③ Found No. 4 rebar (no cap) at PI of curve
- ④ Found concrete nail w/ yellow plastic tag - PLS 10042 in face of cinder block wall

All property corners are set with a 5/8" x 24" rebar with red or yellow plastic cap LS 9243. Attached brass tag stamped LS 9243 to found points in Items 1 and 2 with tie wire.

CURVE TABLE

NO	DELTA	RADIUS	ARC LGTH	TANGENT	CHORD
C1	89°31'58"	25.00	39.07	24.80	35.21
	(89°39'00"		(39.12)	(24.79)	(35.25)
C2	89°37'10"	25.00	39.10	24.83	35.24
C3	14°40'03"	156.62	40.10	20.16	39.99

NOTES: UNLESS OTHERWISE INDICATED

- AC - ACRES
- P.U.E. - PUBLIC UTILITY EASEMENT
- RAD - RADIAL

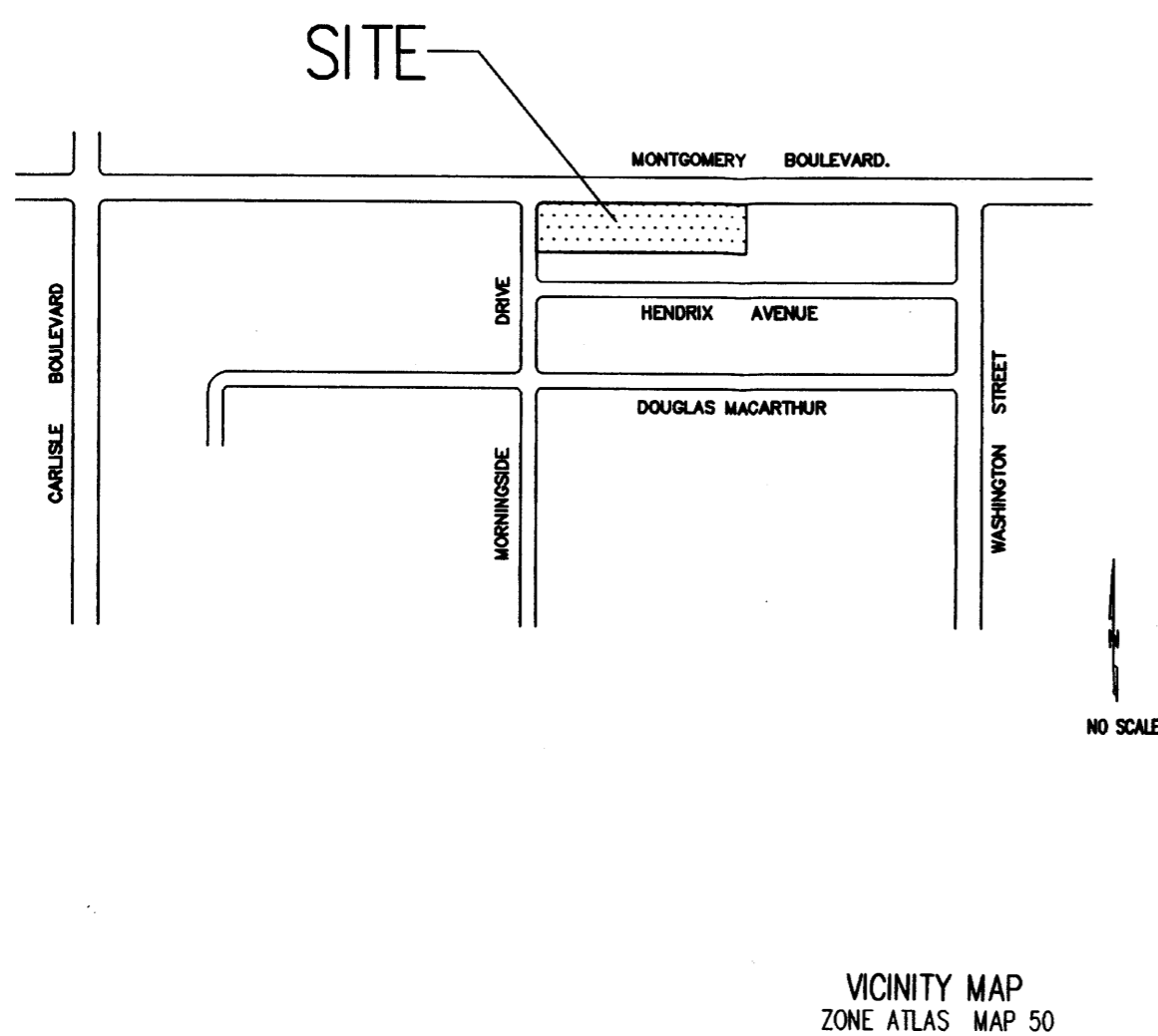
SURVEYOR'S CERTIFICATION

I, DAN B. HOLMES, NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR NO. 9243, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST. THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND THE "MINIMUM STANDARDS FOR LAND SURVEYS" AS ESTABLISHED BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DAN B. HOLMES, P.S. NO. 9243 _____ DATE _____

HUITT-ZOLLARS
333 RIO RANCHO DR. N.E., STE. 209
RIO RANCHO, N.M., 87124
(505) 892-5141

TRACTS A-1A AND A-2A
 A REPLAT OF TRACTS A-1 AND A-2
VOL-ANDIA ADDITION
 WITHIN NE 1/4, NW 1/4 OF SECTION 2
 T. 10 N., R. 3 E., N. M. P. M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2002



DESCRIPTION

A PARCEL OF LAND BEING ALL OF TRACTS A-1 AND A-2 IN THE VOL-ANDIA ADDITION WITHIN SECTION 2, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, RECORDED ON JANUARY 2, 1980 IN VOL. C16, FOLIO 35, SAID PROPERTY BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEASTERLY CORNER OF SAID TRACT A-2, FROM WHICH THE CITY OF ALBUQUERQUE SURVEY CONTROL STATION 7M-5A BEARS N.84°29'00"E. 621.34 FEET; THENCE S.001°2'35"W. 197.96 FEET ON THE EASTERLY BOUNDARY LINE OF SAID TRACT A-2; THENCE N.89°44'15"W. 603.18 FEET ON THE SOUTHERLY BOUNDARY LINE OF SAID TRACTS A-1 AND A-2; THENCE N.001°4'22"E. 168.86 FEET ON THE WESTERLY BOUNDARY LINE OF SAID TRACT A-1 TO A POINT ON A CURVE FROM WHICH A RADIAL LINE BEARS S.89°47'47"E.; THENCE 39.07 FEET NORTHEASTERLY ON THE ARC OF A CURVE HAVING A CENTRAL ANGLE OF 89°31'57", A RADIUS OF 25.00 FEET AND A CHORD OF 35.21 FEET, A RADIAL LINE FROM THE END OF SAID CURVE BEARS N.001°5'50"W.; THENCE N.89°51'32"E. 578.31 FEET ON THE NORTHERLY BOUNDARY LINE OF SAID TRACTS A-1 AND A-2 TO THE POINT OF BEGINNING.

PARCEL CONTAINS 1.7085 ACRES, MORE OR LESS, TRACTS A-1A AND A-2A.

SUBDIVISION DATA

ZONE ATLAS NO. [H-9-Z and J-9-Z]	PLAT ACRES	2.7085
CASE NO. DRB-94-443	LOT ACRES	2.6871
NO. OF LOTS	2	
NO. OF PARCELS	1	
NO. OF TRACTS	0	
STREET MILES (FULL)	0	
S.P. TALOS LOG NO. 96-03-12-0729-0015	TRACT ACRES	0
	STREET ACRES	3.3984

APPROVALS

SUBDIVISION CASE NO. _____
 FILED _____ DOC. NO. _____
 VOLUME _____ PAGE _____

PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
USWEST COMMUNICATIONS, INC.	DATE
JONES INTERCABLE	DATE
CITY SURVEYOR, ENGINEERING DIVISION	DATE
TRAFFIC ENGINEERING, TRANS. DEV. DIV., P.W.D.	DATE
PARKS AND GENERAL SERVICES	DATE
UTILITY DEVELOPMENT DIVISION	DATE
PROPERTY MANAGEMENT	DATE
ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY	DATE
CITY ENGINEER, ENGINEERING DIVISION	DATE
CITY PLANNER, ALBUQUERQUE PLANNING DIVISION	DATE

NOTES

- THE PURPOSE OF THIS PLAT IS TO RELOCATE THE LOT LINE BETWEEN TRACTS A-1 AND A-2 AND DEDICATE ADDITIONAL RIGHT-OF-WAY ALONG MONTGOMERY BOULEVARD TO THE CITY OF ALBUQUERQUE. TRACTS A-1A AND A-2A ARE CREATED.
- ALL BEARINGS SHOWN HEREON ARE GRID BEARINGS BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, DELTA ALPHA -0011'55". BASIS OF BEARINGS IS THE PUBLISHED BEARING BETWEEN ACS "M-5A" AND ACS "M-6" BEING N. 88°31'20" W. BASIS OF COORDINATES ARE THOSE PUBLISHED FOR ACS "M-5A". DISTANCES ARE HORIZONTAL GROUND DISTANCES IN FEET.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESES ARE FROM RECORD PLATS.
- ALL LOT LINES ARE PERPENDICULAR OR RADIAL TO STREET LINES UNLESS OTHERWISE INDICATED.
- BENCHMARK FOR THIS PLAT IS THE CITY OF ALBUQUERQUE ACS MONUMENT "M-5A" ELEVATION = 5154.46 LOCATED APPROXIMATELY 620' EAST OF THE NORTHEAST CORNER OF THE PROPERTY IN THE MEDIAN ON MONTGOMERY BLVD AT WASHINGTON STREET.
- ALL PROPERTY CORNERS ARE SET WITH A 5/8" X 24" REBAR WITH RED OR YELLOW PLASTIC CAP STAMPED LS 9243 SET FLUSH WITH THE GROUND, UNLESS OTHERWISE NOTED.
- CITY OF ALBUQUERQUE WATER AND SEWER SERVICE TO THESE LOTS MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.

EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- THE PUBLIC SERVICE COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLE NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- THE GAS COMPANY OF NEW MEXICO FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLE NECESSARY TO PROVIDE NATURAL GAS.
- USWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLE NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO, ABOVE GROUND PEDESTALS AND CLOSURES.
- JONES INTERCABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLE NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSE DESCRIBED ABOVE. TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS. WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN, NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON, PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

PNM AND USWEST COMMUNICATIONS DO NOT RELEASE ANY PREVIOUS EASEMENT RIGHT WHICH WAS GRANTED BY PRIOR PLATTING OR RECORD DOCUMENT UNLESS SPECIFICALLY NOTED HEREON.

THIS PLAT GRANTS A NEW SEVEN (7) FOOT WIDE PUBLIC UTILITY EASEMENT WITHIN TRACT A-1A ADJACENT TO THE NEW RIGHT-OF-WAY LINE.

DEDICATION AND FREE CONSENT

THE PROPERTY SHOWN HEREON IS SUBDIVIDED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS-OF-WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT: ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. THE OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY ACKNOWLEDGE SAID INSTRUMENT TO BE THEIR FREE ACT AND DEED.

PDS PROPERTIES, LLC

PETER D. SCHWARZ, DVM

(STATE OF NEW MEXICO) SS
 (COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON _____, 20____
 BY PETER D. SCHWARZ, DVM, OWNER OF PDS PROPERTIES, LLC, A LIMITED LIABILITY COMPANY ON BEHALF OF SAID COMPANY.

BY: _____
 NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #:

UPC # _____

BERNALILLO COUNTY TREASURERS OFFICE:

BY: _____ DATE: _____

SURVEYOR'S CERTIFICATION

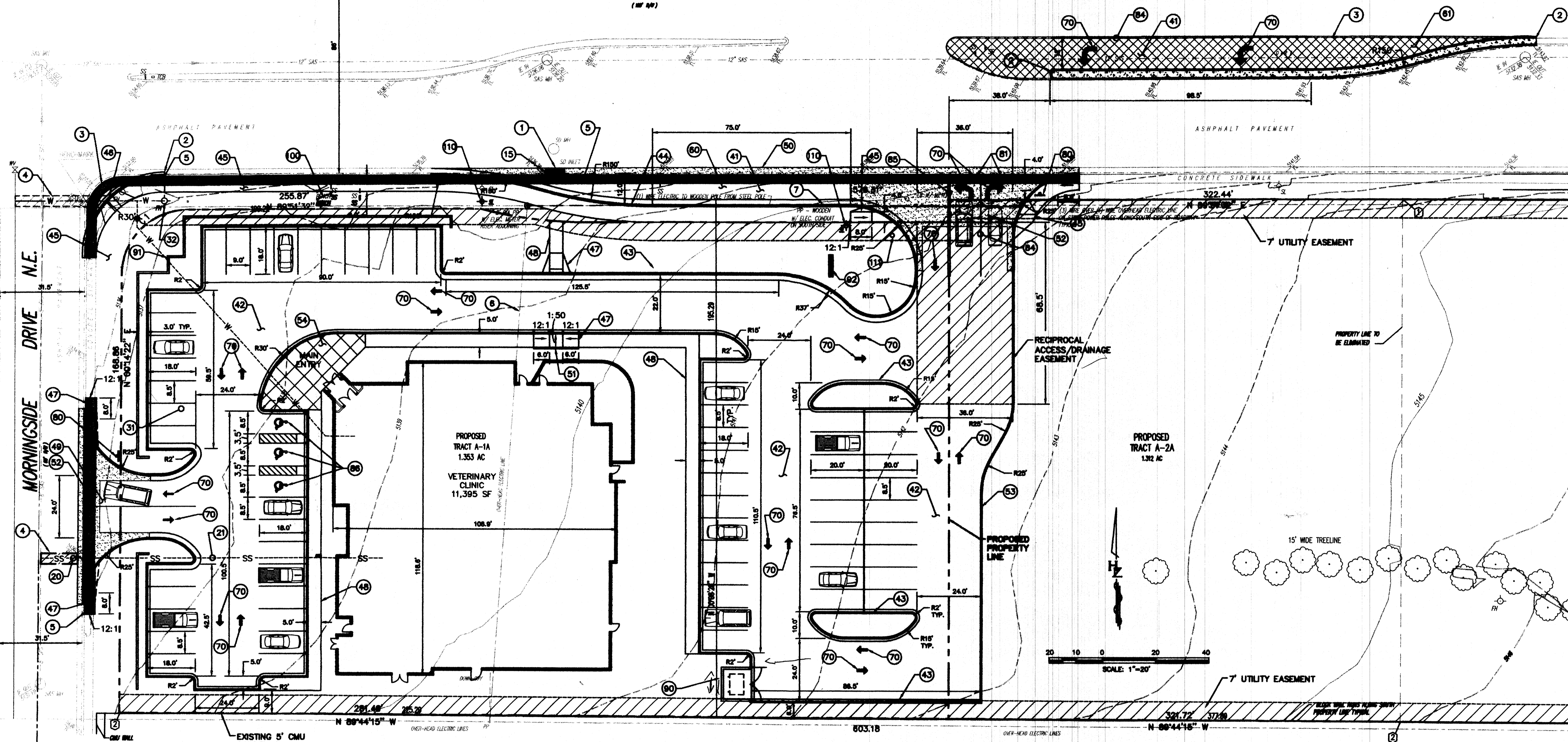
I, DAN B. HOLMES, NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR NO. 9243, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST. THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND THE "MINIMUM STANDARDS FOR LAND SURVEYS" AS ESTABLISHED BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DAN B. HOLMES, P.S. No. 9243 DATE _____

HUITT-ZOLLARS

333 RIO RANCHO DR. N.E., STE. 10
 RIO RANCHO, N.M., 87124
 (505) 892-5141

MONTGOMERY BOULEVARD NE
(1/4 SECTION)



NO.	REVISION	DATE

HUITZOLARS
 1000 University Blvd NE, Suite 100
 Albuquerque, New Mexico 87102
 Phone (505) 885-8888 Fax (505) 885-8885

PETER D. SCHWARZ, DVM
 VETERINARY SURGICAL
 SPECIALISTS

SITE DEVELOPMENT PLAN

Veterinary Surgical Specialists
 of New Mexico
 Albuquerque, New Mexico

LEGAL DESCRIPTION

A parcel of land being all of Tracts A-1 and A-2 of the Vol-Andia Addition within Section 2, Township 10 North, Range 3 East, New Mexico Principal Meridian, recorded on January 2, 1980 in Volume C16, Folio 35), City of Albuquerque, Bernalillo County, New Mexico. Parcel contains 2.7085, more or less.

PROJECT BENCHMARK

CHISELED "□" IN TOP BACK OF CURB BEHIND FOUND DRILL HOLE ELEV. = 5134.57 ELEVATION TRANSFERRED FROM COA BRASS CAP "M-5A" HAVING ELEVATION 5154.46
 FOUND NO. 5 REBAR W/ YELLOW PLASTIC CAP STAMPED PLS 10042
 FOUND NO. 4 REBAR NO CAP W/ ALUMINUM STRIP TAG STAMPED PLS 10042

All property corners are set with a 5/8" x 24" rebar with yellow plastic cap stamped LS 9243. Items 1 and 2 on boundary had a brass tag stamped LS 9243 attached with the wire.

KEY NOTES

- DEMOLITION:**
- REMOVE TOP OF EXISTING STORM DRAIN INLET.
 - NEATLINE CUT. REMOVE SIDEWALK TO NEAREST JOINT.
 - REMOVE EXISTING CURB AND GUTTER.
 - NEATLINE CUT EXISTING PAVEMENTS AND CURB AND GUTTER FOR ACCESS TO UNDERGROUND UTILITIES.
 - EXISTING SIDEWALK TO BE REMOVED.
 - REMOVE EXISTING POWER LINE.

KEY NOTES (CONT.)

- DRAINAGE:**
- NEW TOP ON EXISTING STORM INLET DOUBLE "D" COA STANDARD DRAWING 2206 WITH MODIFIED "V" GRATE.
- SEWER:**
- NEW SEWER SERVICE LINE. COA STANDARD DRAWING 2125.
 - 4" PVC SEWER PIPE.
- WATER:**
- NEW WATER METERED SERVICE LINE INSTALLATION COA STANDARD DRAWING 2362.
 - 1" SCHEDULE 80 PVC APPROX. 95 LF.
 - RELOCATE EXISTING FIRE HYDRANT. COA STANDARD DRAWING 2340.
- PAVING:**
- ARTERIAL ASPHALT CONCRETE 4". COA STANDARD DRAWING 2408.
 - RESIDENTIAL ASPHALT CONCRETE TYPE A 2".
 - MEDIAN CURB AND GUTTER. COA STANDARD DRAWING 2415.
 - STANDARD CURB & GUTTER. COA STANDARD DRAWING 2415.
 - SIDEWALK PAVING DETAILS COA STANDARD DRAWING 2430.
 - WHEEL CHAIR ACCESSIBLE RAMP TYPE I COA STANDARD DRAWING 2441.
 - WHEEL CHAIR ACCESSIBLE RAMP.
 - 5" SIDEWALK COA STANDARD DRAWING 2430.
 - 6" SIDEWALK COA STANDARD DRAWING 2430.

KEY NOTES (CONT.)

- PAVING: (CONT.)**
- VALLEY GUTTER. COA STANDARD DETAIL 2420.
 - HEADER CURB. COA STANDARD DETAIL 2415.
 - 6" PATTERNED CONCRETE CROSSING.
 - ASPHALT CURB COA STANDARD DRAWING 2415.
 - CONCRETE PAVING.
- TRAFFIC:**
- DECELERATION LANE 150' LENGTH.
 - RECONSTRUCT CENTER MEDIAN FOR LEFT TURN BAY.
- TRAFFIC CIRCULATION:**
- DIRECTIONAL ARROWS.
- TRAFFIC SIGNS/STRIPING:**
- STOP SIGN; R1-1-30.
 - 12" SOLID WHITE STOP BAR.
 - NOT USED.
 - NOT USED.
 - 4" SOLID WHITE PAVEMENT MARKING.
 - 2-4" SOLID YELLOW PAVEMENT MARKING.
 - INTERNATIONAL SYMBOL OF ACCESSIBILITY PAINTED SAFETY WHITE.
- MISCELLANEOUS:**
- REFUSE CONTAINER WITH ENCLOSURE.
 - SPLIT FACE CMU WALL: HEIGHT = 3.0'
 - MONUMENT SIGN.
- BUS STOP:**
- RELOCATE BENCH AND SIGNS.
- ELECTRICAL:**
- RELOCATE EXISTING STREET LIGHT.
 - RELOCATE ELECTRIC RISER WITH METER.

GENERAL INFORMATION

- | | |
|---|----|
| 1. NUMBER OF SPACES REQUIRED: | 57 |
| 2. NUMBER OF SPACES PROVIDED: | 59 |
| 3. HANDICAPPED PARKING SPACES REQUIRED: | 3 |
| 4. HANDICAPPED PARKING SPACES PROVIDED: | 3 |
| 5. BICYCLE RACKS SPACES REQUIRED: | 0 |
| 6. BICYCLE RACKS SPACES PROVIDED: | 0 |
| 7. REFUSE CONTAINER AND ENCLOSURE: | 1 |

EPC CONDITIONS

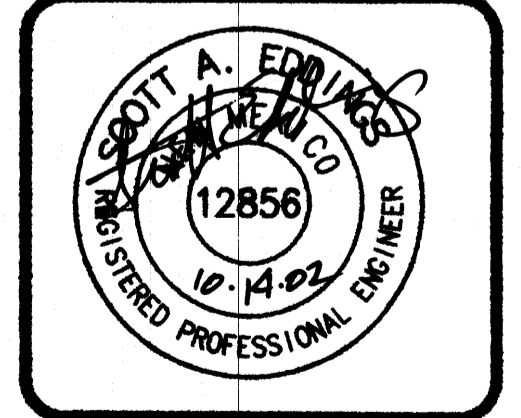
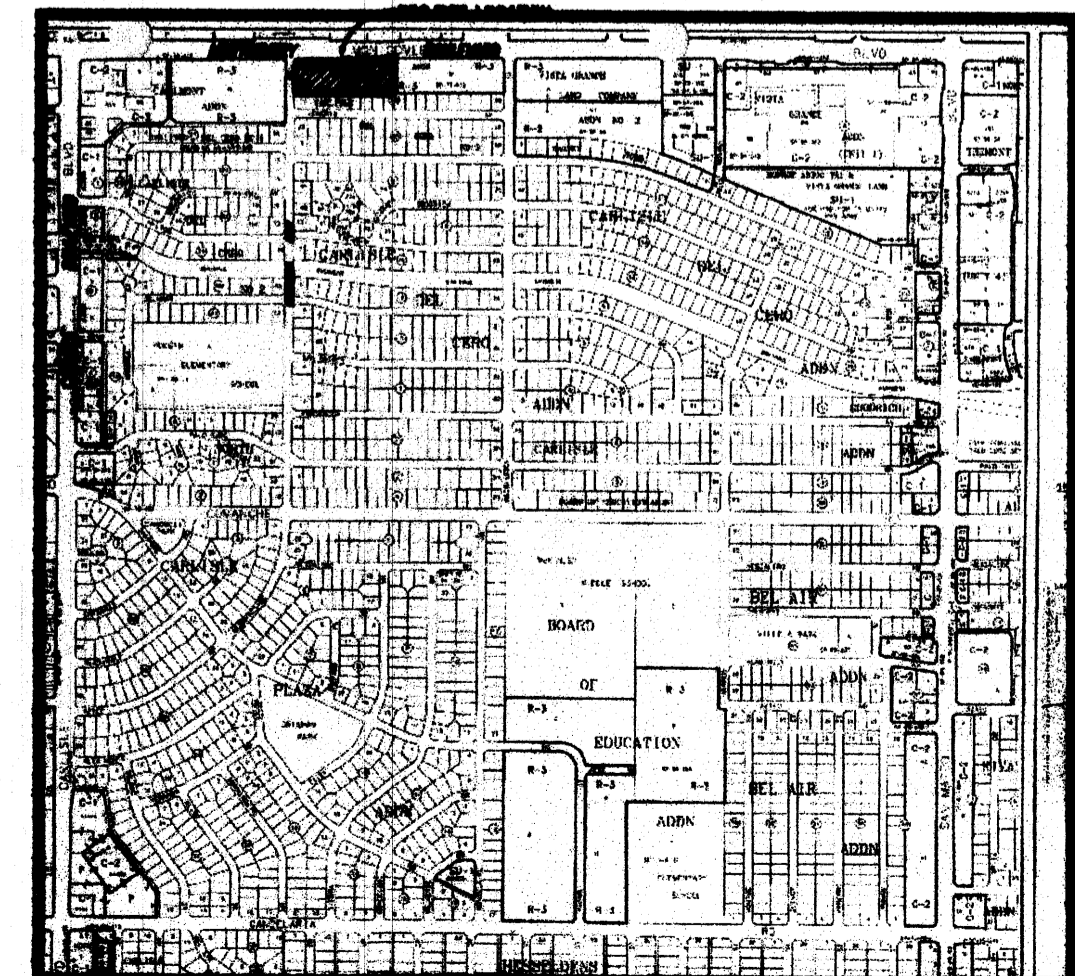
- APPROVAL AUTHORITY FOR THE SITE DEVELOPMENT PLAN IS DELEGATED TO THE DRB FOR APPROVAL WITHIN SIX (6) MONTHS, AT AN ADVERTISED PUBLIC HEARING.
- THE SITE SHALL BE REPLATTED TO REFLECT THE NEW ZONE BOUNDARY LINE.
- ROOF AND/OR GROUND-MOUNTED EQUIPMENT SHALL BE SHIELDED FROM VIEW BY A PARAPET OR SCREEN WALL THAT IS, AT MINIMUM, AS HIGH AS THE EQUIPMENT.
- ANY PARKING SPACES ADJACENT TO AND FACING A STREET SHALL BE SCREENED BY A 2 1/2" - 3" HIGH GARDEN WALL AND/OR LANDSCAPING BERM.
- PEDESTRIAN PATHWAYS AND PUBLIC SIDEWALKS THAT CROSS DRIVE AISLES OR VEHICULAR ACCESS POINTS SHALL BE OF A PATTERNED MATERIAL OTHER THAN ASPHALT, AT LEAST SIX FEET WIDE.
- SITE PLAN AND ACCESS POINTS ARE SUBJECT TO APPROVAL BY THE TRAFFIC ENGINEER.
- THE SITE PLAN SHALL MEET THE TYPICAL REQUIREMENTS THAT ARE NORMALLY IMPOSED BY THE EPC.

CASE NUMBER: Z-1002119/02EPC-01144

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON SEPTEMBER 20, 2002, AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE OF NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
PARKS & GENERAL SERVICES DEPARTMENT	DATE
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE
CITY ENGINEER, ENGINEERING DIVISION/MARCELA	DATE
SOLID WASTE	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.	
CITY PLANNER, ALBUQUERQUE / BERNALILLO COUNTY PLANNING DIVISION	DATE
PLAZ (10708) 488	

VICINITY MAP



DATE: 08/28/02
 DRAWN: LH
 DESIGNED: BE
 CHECKED: KK
 PROJ. NO.: 14-0804-01

SHEET: **C1**

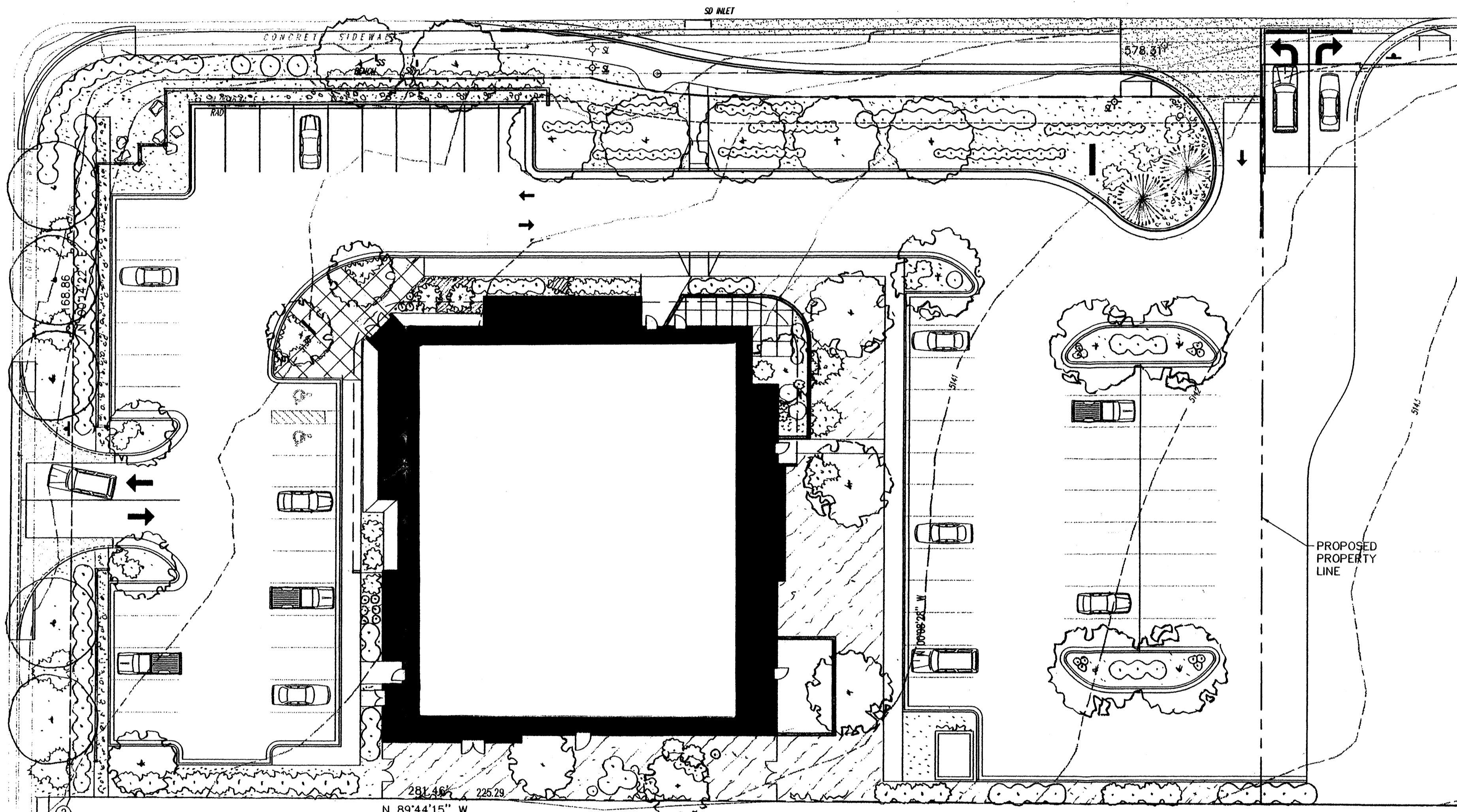
ZONE ATLAS: G-17-Z

© PROJ. 140804-01.dwg / 8/28/02

MONTGOMERY BOULEVARD NE

(100' R/W)

MORNINGSIDE DRIVE N.E.



LANDSCAPE SITE DATA

LOT AREA	58,806 SF
MINUS BUILDING AREA	11,395 SF
NET LOT AREA	47,411 SF
LANDSCAPE AREA REQUIRED (15% OF NET LOT AREA)	7,111.65 SF
LANDSCAPE AREA PROVIDED (including approximately 2,455 SF of right-of-way)	17,577 SF

LANDSCAPE NOTES

GENERAL NOTES:

- PLANS ARE DIAGRAMMATIC AND APPROXIMATE DUE TO SCALE OF DRAWINGS, AND NOT ALL INDIVIDUAL SHRUBS OR GROUNDCOVERS ARE SHOWN. ACTUAL TREE LOCATIONS MAY VARY TO ACCOMMODATE SIGNAGE, LIGHTING LOCATIONS, OR OTHER SITE CONSTRAINTS.
- INTENT OF PLAN IS TO CONFORM TO ALL CITY ORDINANCES AND CODES RELATED TO LANDSCAPE REQUIREMENTS, INCLUDING THE WATER CONSERVATION LANDSCAPING AND WATER WASTE ORDINANCE (C-ORD 18-1995).
- PLANTING INSTALLATION SHALL BE IN ACCORDANCE WITH STANDARD SPECIFICATIONS AND DETAILS UNLESS OTHERWISE NOTED.
- LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO BEGINNING PLANTING OPERATIONS.
- ALL PLANT SPECIMENS OF THE SAME SPECIES SHALL BE MATCHING IN PROPER AND APPROPRIATE SIZE AND CHARACTER AS PER THE AMERICAN NURSERYMEN'S ASSOCIATION STANDARDS.
- THERE SHALL BE A 2"-3" DEPTH OF MULCH AT ALL PLANTING AREAS. ADJUST SETTING HEIGHT/LEVEL OF NEW TREE, SHRUB OR GROUNDCOVERS SO THAT TOP OF ROOTBALL WILL BE COVERED BY 1" DEPTH OF MULCH.

IRRIGATION:

AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WILL BE DESIGNED AND INSTALLED TO SERVE ALL NEW PLANT MATERIALS, TREES, SHRUBS AND GROUNDCOVERS WILL BE IRRIGATED WITH A LOW-FLOW BUBBLER AND/OR A DRIP EMITTER SYSTEM.

MAINTENANCE:

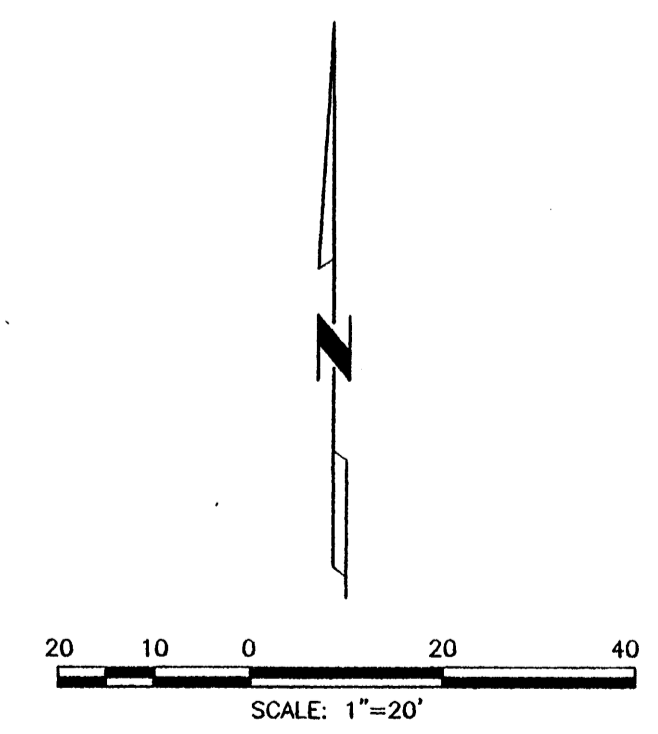
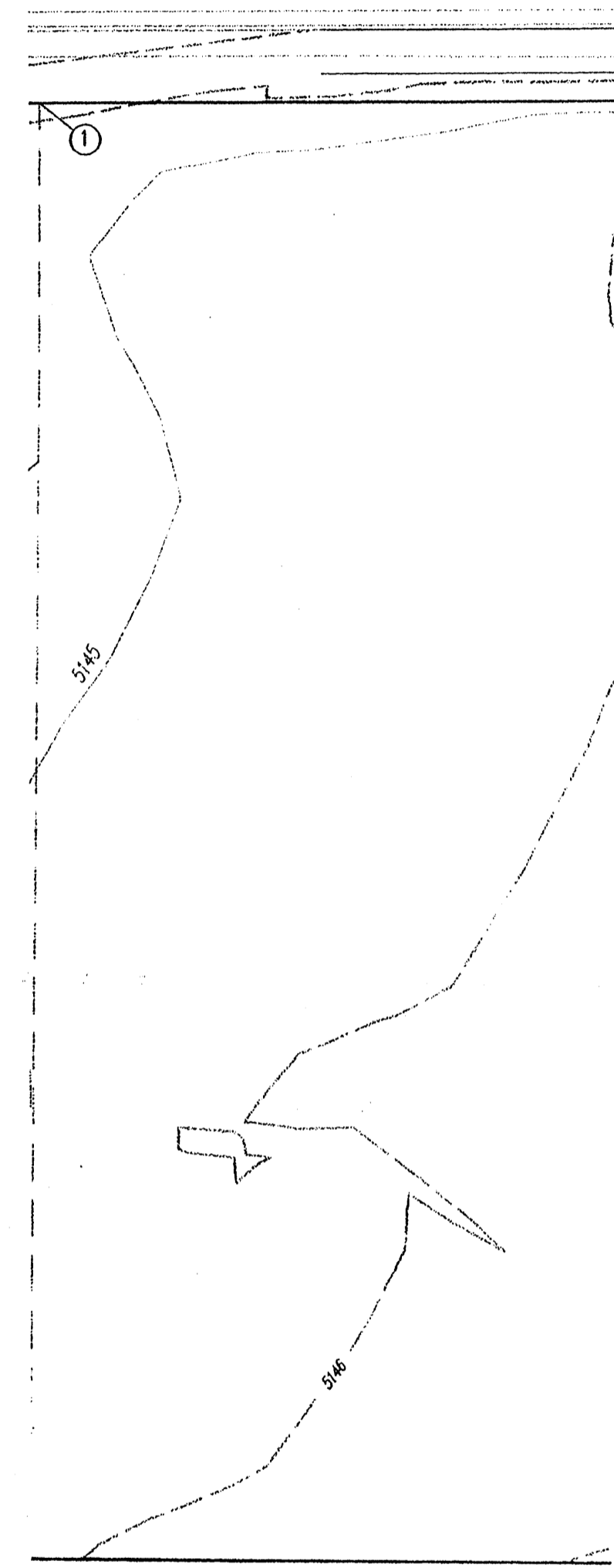
ALL RESPONSIBILITIES FOR LANDSCAPE MAINTENANCE ON THE SITE SHALL BE BY THE OWNER.

PLANTS:

PLANT LIST CONSTITUTES A RANGE OF PLANT MATERIALS WHICH MAY BE USED ON THIS PROJECT. IT IS POSSIBLE THAT NOT ALL LISTED PLANTS WILL BE USED, AND ADDITIONAL APPROPRIATE PLANTS MAY BE INCLUDED ON THE FINAL PLAN.

C A R L PLANT LIST

Botanical Name	Common Name	Installed Size	Mature Size	Water Use
TREES				
Gleditsia triacanthos	Shademaker Honey Locust	2 1/2" cal.	45' x 50'	M+
Fraxinus americana	Autumn Purple Ash	2 1/2" cal.	45' x 45'	M+
Pistachia chinensis	Chinese Pistache	2 1/2" cal.	40' x 30'	M
Chilopsis x catalpa	Chilapa	1 1/2" - 2" cal.	30' x 30'	M
Chilopsis linearis	Desert Willow	15 gal.	30' x 30'	L
Pinus nigra	Austrian Pine	4' - 6' tall	35' x 25'	M, H
Pinus sylvestris	Scotch Pine	4' - 6' tall	45' x 25'	M, H
SHRUBS				
Caryopteris x clandonensis	Blue Mist Spirea	5 gal.	3' x 3'	M
Chamaebatiaria millefolium	Fernbush	5 gal.	4' x 5'	L
Spartium junceum	Spanish Broom	5 gal.	5' x 5'	M
Kniphofia uvaria	Red Hot Poker	5 gal.	3' x 3'	L
Perovskia atriplicifolia	Russian Sage	5 gal.	5' x 5'	M
Rosmarinus officinalis 'ARP'	Rosemary	5 gal.	5' x 5'	L
Salvia greggii	Autumn Sage	5 gal.	2' x 3'	M
Hesperaloe parviflora	Red Yucca	5 gal.	3' x 3'	M
Stipa tenuifolia	Threadgrass	1 gal.	2' x 2'	L
Helictotrichon sempervirens	Blue Avena	1 gal.	2' x 2'	M
Artemisa x powis castle	Powis Castle Sage	1 gal.	2' x 5'	L+
Cotoneaster buxifolius	Greyleaf Cotoneaster	5 gal.	2' x 6'	M
GROUNDCOVERS & VINES				
Delosperma cooperi	Purple Iceplant	Pots	6' x 18"	L
Parthenocissus tricuspidata	Boston Ivy	1 gal.	----	M
MULCHES				
	Cobbles, Crusher Fines, Gravel & Bark			



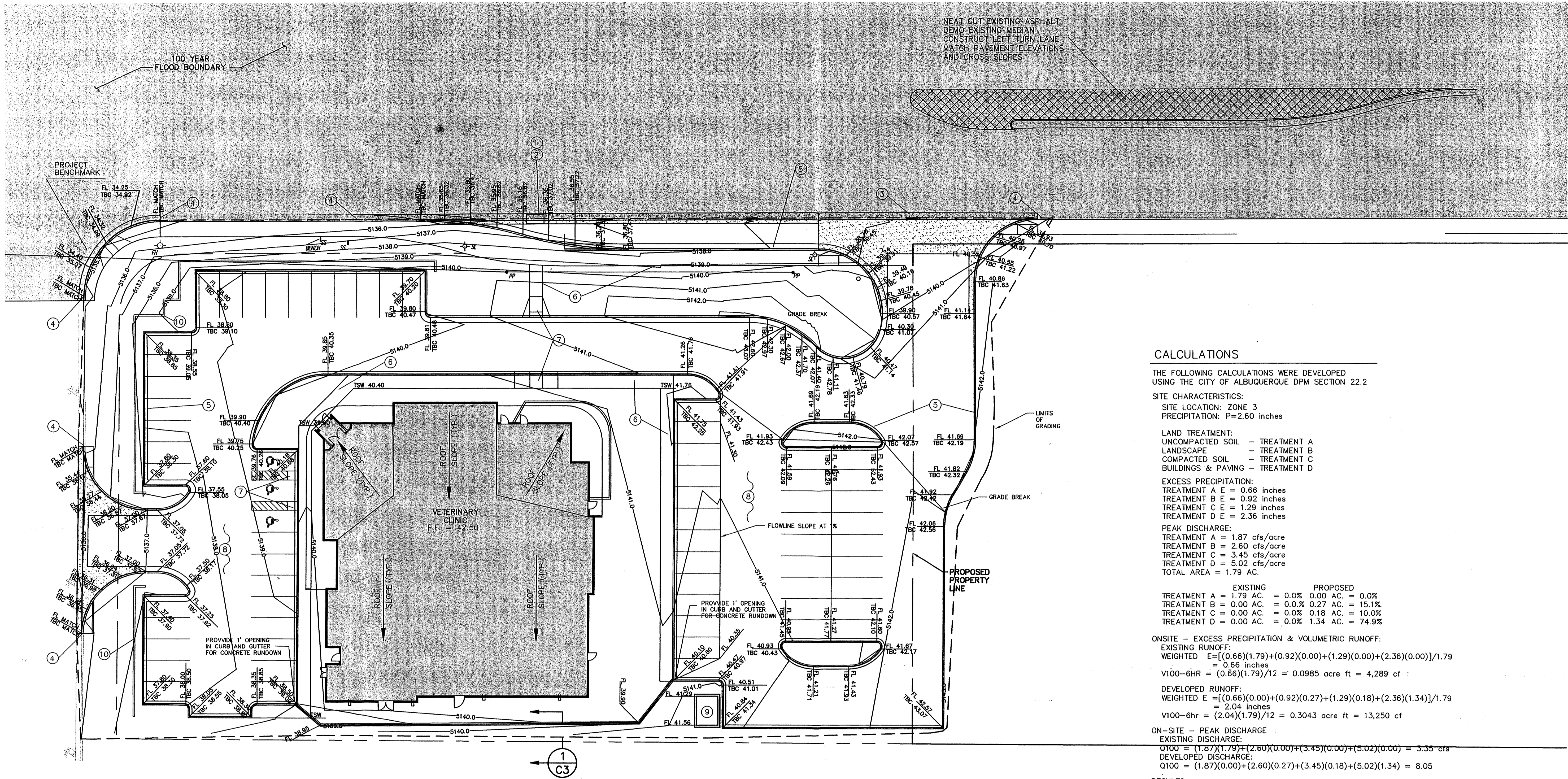
NO.	REVISION	DATE

HUIT-ZOLLARS
 Huit-Zollars, Inc. - Parkway NE
 Albuquerque, New Mexico 87105-5370
 Phone (505) 885-8114 Fax (505) 885-5022

LANDSCAPE PLAN
Veterinary Surgical Specialists
of New Mexico
 Albuquerque, New Mexico

DATE: 10/9/02
 DRAWN: GRJ
 DESIGNED: GRJ
 CHECKED: WC
 PROJ. NO.: 14-0204-01

SHEET: **LS**



CALCULATIONS

THE FOLLOWING CALCULATIONS WERE DEVELOPED USING THE CITY OF ALBUQUERQUE DPM SECTION 22.2

SITE CHARACTERISTICS:
 SITE LOCATION: ZONE 3
 PRECIPITATION: P=2.60 inches

LAND TREATMENT:
 UNCOMPACTED SOIL - TREATMENT A
 LANDSCAPE - TREATMENT B
 COMPACTED SOIL - TREATMENT C
 BUILDINGS & PAVING - TREATMENT D

EXCESS PRECIPITATION:
 TREATMENT A E = 0.66 inches
 TREATMENT B E = 0.92 inches
 TREATMENT C E = 1.29 inches
 TREATMENT D E = 2.36 inches

PEAK DISCHARGE:
 TREATMENT A = 1.87 cfs/acre
 TREATMENT B = 2.60 cfs/acre
 TREATMENT C = 3.45 cfs/acre
 TREATMENT D = 5.02 cfs/acre
 TOTAL AREA = 1.79 AC.

EXISTING PROPOSED
 TREATMENT A = 1.79 AC. = 0.0% 0.00 AC. = 0.0%
 TREATMENT B = 0.00 AC. = 0.0% 0.27 AC. = 15.1%
 TREATMENT C = 0.00 AC. = 0.0% 0.18 AC. = 10.0%
 TREATMENT D = 0.00 AC. = 0.0% 1.34 AC. = 74.9%

ONSITE - EXCESS PRECIPITATION & VOLUMETRIC RUNOFF:
 EXISTING RUNOFF:
 WEIGHTED E = [(0.66)(1.79) + (0.92)(0.00) + (1.29)(0.00) + (2.36)(0.00)] / 1.79
 = 0.66 inches
 V100-6HR = (0.66)(1.79) / 12 = 0.0985 acre ft = 4,289 cf

DEVELOPED RUNOFF:
 WEIGHTED E = [(0.66)(0.00) + (0.92)(0.27) + (1.29)(0.18) + (2.36)(1.34)] / 1.79
 = 2.04 inches
 V100-6hr = (2.04)(1.79) / 12 = 0.3043 acre ft = 13,250 cf

ON-SITE - PEAK DISCHARGE
 EXISTING DISCHARGE:
 Q100 = (1.87)(1.79) + (2.60)(0.00) + (3.45)(0.00) + (5.02)(0.00) = 3.35 cfs
 DEVELOPED DISCHARGE:
 Q100 = (1.87)(0.00) + (2.60)(0.27) + (3.45)(0.18) + (5.02)(1.34) = 8.05

RESULTS:
 DEVELOPED VOLUMETRIC RUNOFF:
 13,250 - 4,289 = 8,961 cf INCREASE IN RUNOFF VOLUME
 DEVELOPED PEAK DISCHARGE:
 8.05 - 3.35 = 4.70 cfs INCREASE IN PEAK DISCHARGE

GENERAL NOTES

- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATION OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AS SOON AS POSSIBLE TO RESOLVE THE CONFLICT WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PLAN SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY, AND LINES MAY EXIST WHERE NONE ARE SHOWN. THE LOCATION IS BASED UPON INFORMATION PROVIDED BY THE UTILITY OWNER OR FROM EXISTING PLANS, AND THIS INFORMATION MAY BE INCOMPLETE, OR OBSOLETE AT THE TIME OF CONSTRUCTION. THE ENGINEER HAS NOT UNDERTAKEN ANY FIELD VERIFICATION OF THESE LOCATIONS, LINE SIZES OR MATERIAL TYPE, MAKES NO REPRESENTATION THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE OR UNDERGROUND INSTALLATION IN OR NEAR THE AREA IN ADVANCE OF AND DURING ANY EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES AND UNDERGROUND FACILITIES. IN PLANNING AND CONDUCTING EXCAVATIONS, THE CONTRACTOR SHALL COMPLY WITH ALL STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.
- THE CONTRACTOR SHALL INSURE THAT NO SOIL ERODES FROM THE SITE INTO PUBLIC RIGHT-OF-WAY OR ONTO PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AND BY WETTING THE SOIL TO KEEP IT FROM BLOWING.

- THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE CITY OF ALB. FOR THE COMPLETION OF THE WORK PRIOR TO BEGINNING CONSTRUCTION.

KEYED NOTES

- REMOVE TYPE "C" INLET GRATE
- CONSTRUCT TYPE "D" INLET GRATE
- CONSTRUCT VALLEY GUTTER PER COA STD DWG 2420
- CONSTRUCT CURB & GUTTER TO MATCH EXISTING CURB
- CONSTRUCT CURB AND GUTTER PER SITE PLAN
- CONSTRUCT SIDEWALK PER SITE PLAN
- CONSTRUCT HANDICAP RAMP PER SITE PLAN
- INSTALL ASPHALT PAVING
- NEW DUMPSTER
- CONSTRUCT CMU VISUAL SCREEN WALL PER SITE PLAN

BENCHMARK

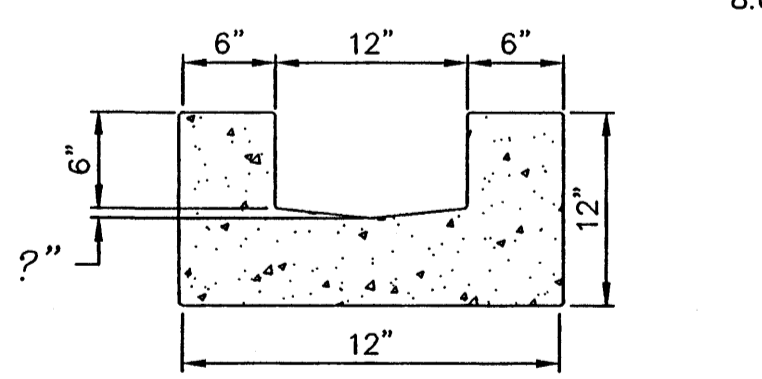
CHISELED "C" IN TOP BACK OF CURB BEHIND FOUND DRILL HOLE ELEV. = 34.57

LEGAL DESCRIPTION

A PARCEL OF LAND BEING ALL OF TRACTS A-1 AND A-2 OF THE VOL-ADDITION WITHIN SECTION 2, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, RECORDED ON JANUARY 2, 1980 IN VOLUME C16, FOLIO 35), CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO. PARCEL CONTAINS 2.7085 ACRES, MORE OR LESS.

S.O. 19 REQUIREMENTS

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK IN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE SAME TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HERON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
- TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.



CONCRETE RUNDOWN 01
SCALE: NTS

FLOOD ZONE

PER THE FEMA MAP NUMBER 350002 0023 DATED OCTOBER 14, 1983 THE SITE IS NOT LOCATED WITHIN FLOOD HAZARD ZONE AREA. HOWEVER, MONTGOMERY BOULEVARD WHICH BOUNDS THE SITE TO THE NORTH IS DESIGNATED AS BEING IN THE 100-YR FLOOD ZONE.

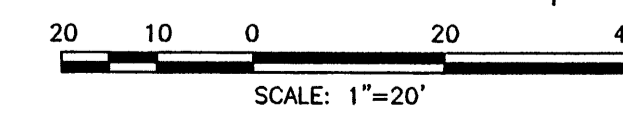
ENGINEER'S CERTIFICATION

I PERSONALLY INSPECTED THIS SITE AND NO GRADING, FILLING, OR EXCAVATION HAS OCCURRED SINCE THE PREPARATION OF THE TOPOGRAPHY SHOWN ON THIS PLAN.

APPROVALS	NAME	DATE
A.C.E. DESIGN		
INSPECTOR		
A.C.E. FIELD		

GENERAL LEGEND

- EXISTING CONTOUR - 5040
- PROPOSED CONTOUR - 5040
- PROPOSED SPOT ELEVATION ADD 5100 TO SPOT ELEVATIONS
- TOP OF ASPHALT TA
- TOP BACK OF CURB TBC
- FLOWLINE ELEVATION FL
- TOP OF SIDEWALK TSW



NO.	REVISION	DATE

HUITZOLARS
 Huitzolars, Inc.
 Albuquerque, New Mexico 87105-5072
 Phone (505) 865-6114 Fax (505) 865-5022

PETER D. SCHWARZ, DVM
 VETERINARY SURGICAL SPECIALISTS

GRADING AND DRAINAGE PLAN

Veterinary Surgical Specialists
 of New Mexico
 Albuquerque, New Mexico



DATE: 08/29/02
 DRAWN: LH
 DESIGNED: SE
 CHECKED: KK
 PROJ. NO.: 14-0204-01

SHEET: **C2**

G:\PROJ\140204\01\LD\Ver\dwg\Grading.dwg

KEYED NOTES

GENERAL NOTES

A. AA



**ELECTRICAL SITE PLAN
AND ELECTRICAL SYMBOL LEGEND
VETERINARY SURGICAL SPECIALISTS
OF NEW MEXICO - ALBUQUERQUE, NM
PETER D. SCHWARZ, DVM**

REVISION #	REVISION DATE:	PROJECT NUMBER:	02056
		DRAWN BY:	TRG
		CHECK BY:	DDR
		SCALE:	1/8"=1'-0"
		DATE:	09/13/02

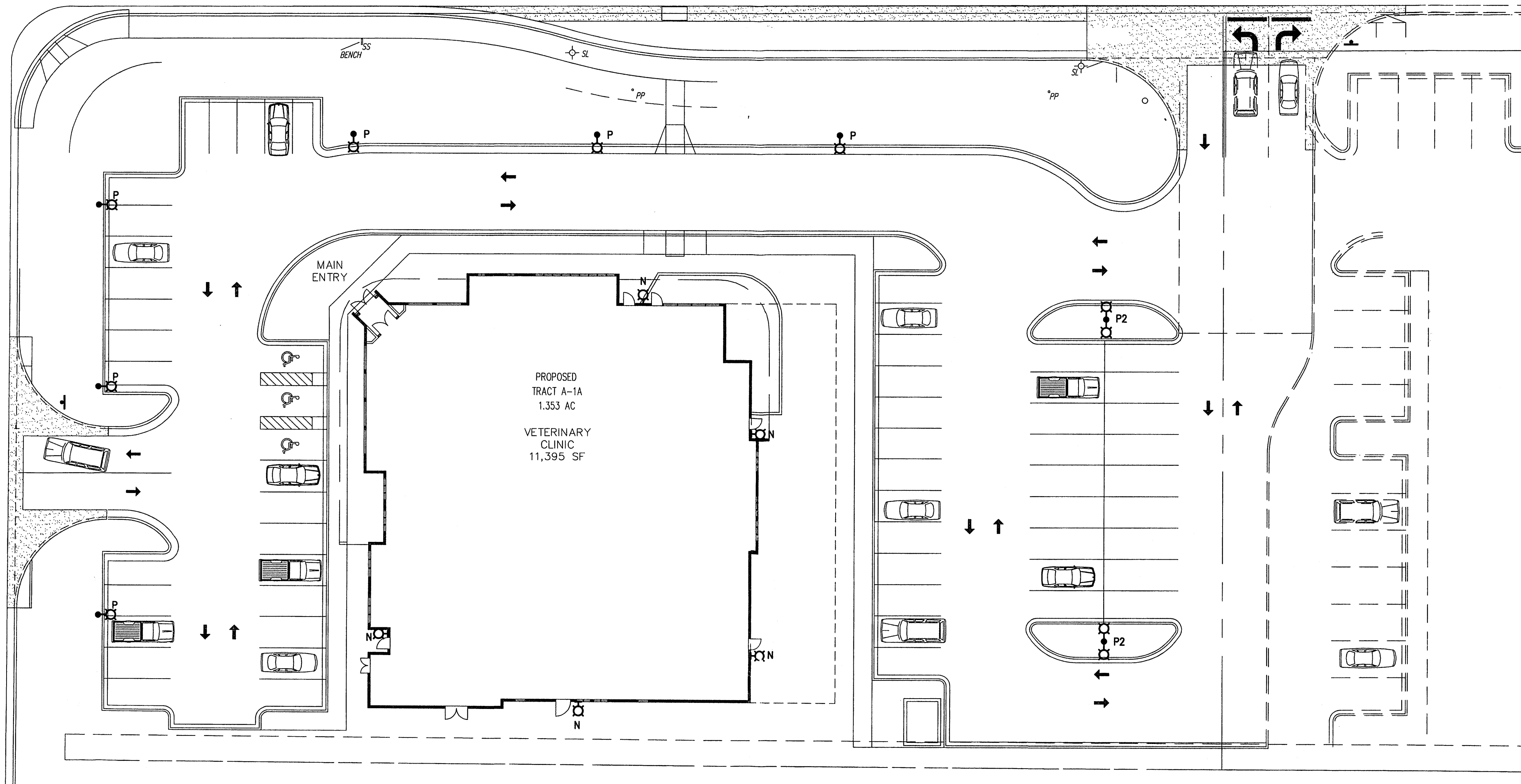
E001
or

02056

ELECTRICAL SYMBOL LEGEND	
SYMBOL	DESCRIPTION
○	CEILING OUTLET AND FIXTURE
□	FLUORESCENT OUTLET AND FIXTURE
■	FLUORESCENT OUTLET AND FIXTURE WITH EMERGENCY BATTERY BACK-UP.
⊕	CEILING MOUNTED EXIT FIXTURE AND OUTLET WITH DIRECTIONAL ARROWS AS INDICATED
⊕	WALL BRACKET OR RECESSED EXIT FIXTURE AND WITH DIRECTIONAL ARROWS AS INDICATED
⊕	SINGLE POLE SWITCH, FLUSH MOUNTED UP 48" A.F.F. UNLESS INDICATED OTHERWISE
⊕	THREE-WAY SWITCH, FLUSH MOUNTED UP 48" A.F.F. UNLESS INDICATED OTHERWISE
⊕	FOUR-WAY SWITCH, FLUSH MOUNTED UP 48" A.F.F. UNLESS INDICATED OTHERWISE
⊕	THERMAL SWITCH, WEATHERPROOF IF INSTALLED OUTDOORS.
⊕	TIMER SWITCH, FLUSH MOUNTED UP 48" A.F.F. UNLESS OTHERWISE INDICATED.
⊕	OCCUPANCY SENSOR SWITCH, FLUSH MOUNTED UP 48" A.F.F. UNLESS OTHERWISE INDICATED.
⊕	OCCUPANCY SENSOR, CEILING MOUNTED.
⊕	DUPLEX CONVENIENCE OUTLET, UP 18" A.F.F. UNLESS INDICATED OTHERWISE
⊕	DUPLEX CONVENIENCE OUTLET, GROUND FAULT CIRCUIT INTERRUPTER, UP 18" A.F.F. UNLESS INDICATED OTHERWISE.
⊕	WEATHERPROOF DUPLEX CONVENIENCE OUTLET, UP 18" A.F.F. OR AS INDICATED. BOX AND DEVICE SHALL BE SIMILAR AND EQUAL TO PASS & SEYMOUR #1591-F46 (DEVICE) AND #4600 (FLUSH MOUNTED LOCKING BOX)
⊕	TAMPER RESISTANT, SAFETY-TYPE DUPLEX CONVENIENCE OUTLET, UP 18" A.F.F. UNLESS INDICATED OTHERWISE.
⊕	QUADPLEX CONVENIENCE OUTLET, UP 18" A.F.F. UNLESS INDICATED OTHERWISE
⊕	SPECIAL RECEPTACLE AS NOTED ON DRAWINGS, MOUNTED AT 18" A.F.F. UNLESS INDICATED OTHERWISE.
⊕	JUNCTION BOX INSTALLED ABOVE THE CEILING WITH FLEXIBLE CONDUIT CONNECTION TO LAT-IN FIXTURES. MAXIMUM 4'-0" LENGTH OF CONDUIT WITH REQUIRED CONDUCTORS ALONG WITH GREEN GROUND CONDUCTOR.
⊕	JUNCTION BOX FLUSH IN WALL, HEIGHT AS INDICATED ON DRAWINGS, WITH CONNECTION TO EQUIPMENT.
⊕	THERMOSTAT, UP 48" A.F.F. UNLESS INDICATED OTHERWISE.
⊕	BRANCH CIRCUIT PANELBOARD, REFER TO PANEL SCHEDULE FOR CHARACTERISTICS
⊕	DISCONNECT SWITCH HAVING POLES AND RATING REQUIRED; TO BE NEMA 3R IF INSTALLED OUTSIDE.
⊕	MOTOR CONNECTION FOR FRACTIONAL MOTOR (1/3 HP OR LESS), PROVIDE THERMAL OVERLOAD SWITCH ADJACENT TO ALL MOTORS UNLESS SHOWN ELSEWHERE ON PLANS.
⊕	MOTOR CONNECTION FOR MOTOR WITH HP AS INDICATED.
⊕	TELEPHONE TERMINAL BOARD, 4' x 4' x 3/4" PLYWOOD, OR AS INDICATED. ONE QUADPLEX AT LOWER RIGHT. #6 BARE COPPER GROUND TO GROUND SYSTEM.
⊕	JUNCTION BOX FOR VOICE / DATA OUTLET, UP 18" A.F.F. UNLESS INDICATED OTHERWISE. 3/4" CONDUIT MINIMUM WITH PULLWIRE AND BUSHED ENDS STUBBED INTO NEAREST ACCESSIBLE CEILING SPACE.
⊕	CONCEALED BRANCH CIRCUIT WITH CONDUCTORS AS INDICATED. NEUTRAL, HOT, SWITCH LEG AND GROUND RESPECTIVELY.
⊕	BRANCH CIRCUIT CONCEALED UNDERFLOOR OR UNDERCARPET WITH CONDUCTORS AS INDICATED. NEUTRAL, HOT, SWITCH LEG AND GROUND RESPECTIVELY.
⊕	HOME RUN TO PANELBOARD WITH BRANCH CIRCUIT NUMBERS INDICATED.
⊕	ELECTRICAL UNDERGROUND FEEDER. COORDINATE EXACT REQUIREMENTS WITH LOCAL ELECTRICAL UTILITY COMPANY AND WITH EXISTING UTILITIES. MINIMUM 36" BELOW GRADE UNLESS INDICATED ELSEWHERE.
⊕	ELECTRICAL UNDERGROUND FEEDER. COORDINATE EXACT REQUIREMENTS WITH LOCAL ELECTRICAL UTILITY COMPANY AND WITH EXISTING UTILITIES. MINIMUM 36" BELOW GRADE UNLESS INDICATED ELSEWHERE.
WP	WEATHERPROOF (NEMA 3R)
EX	EXISTING
(M)	MECHANICAL (FURNISHED UNDER DIVISION 15)
A.F.F.	ABOVE FINISHED FLOOR
A.F.G.	ABOVE FINISHED GRADE
UG	UNDERGROUND
U.N.O.	UNLESS NOTED OTHERWISE

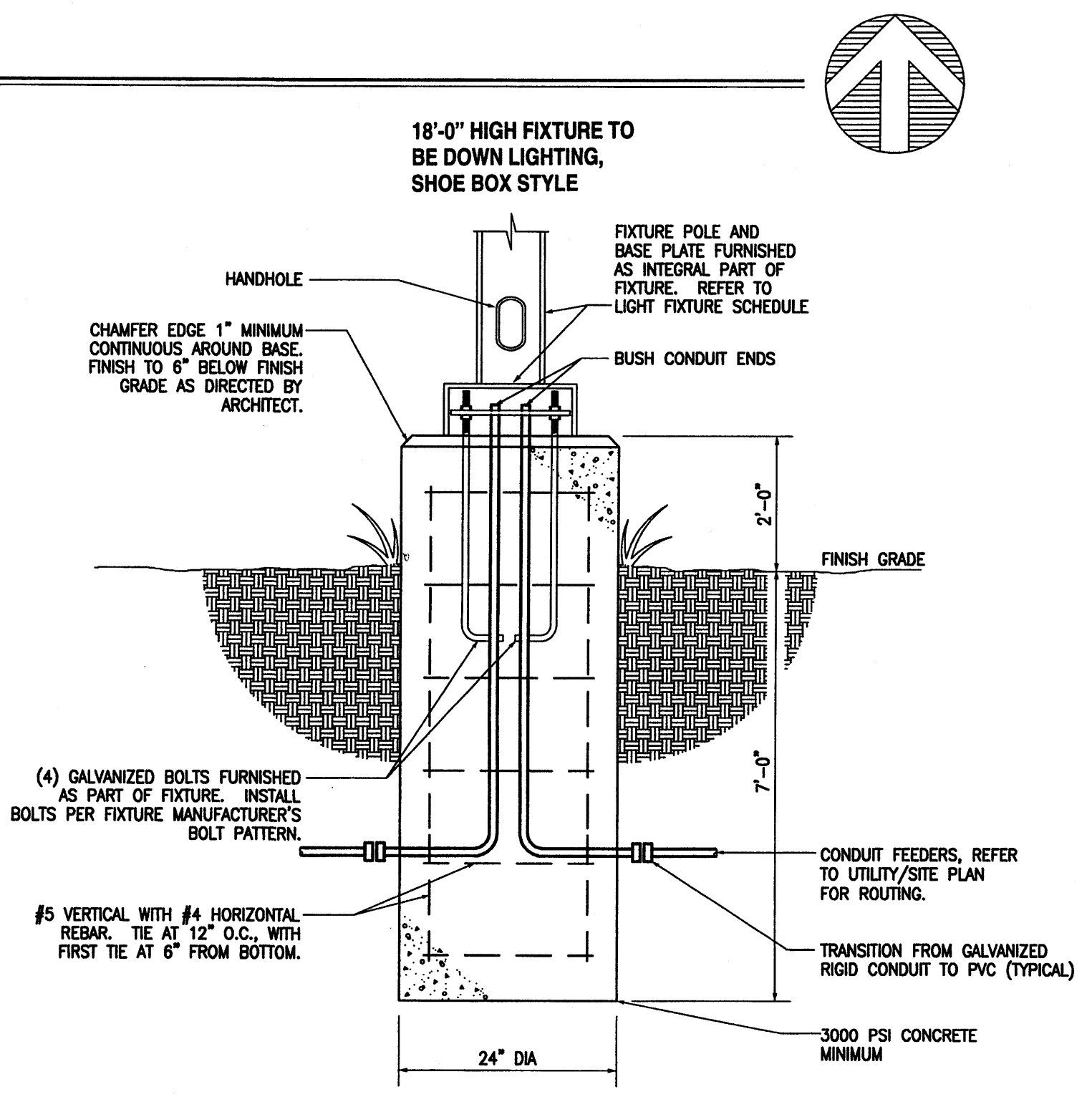
NOTES:

- LIGHTING FIXTURES ARE OF TYPE AS INDICATED ON LIGHT FIXTURE SCHEDULE U.N.O.
- ALL MOUNTING HEIGHTS ARE TO CENTERLINE OF DEVICE U.N.O.
- ANY SPECIFIC DETAILS ABOVE (MOUNTING HEIGHTS, PART NUMBERS, CONNECTION METHODS, ETC) MAY BE MODIFIED OR REPLACED BY INFORMATION ON PLANS, SCHEDULES, DETAILS, RISERS, ETC. DETAILS NOT SPECIFICALLY MODIFIED REMAIN AS GIVEN ABOVE.



ELECTRICAL SITE PLAN

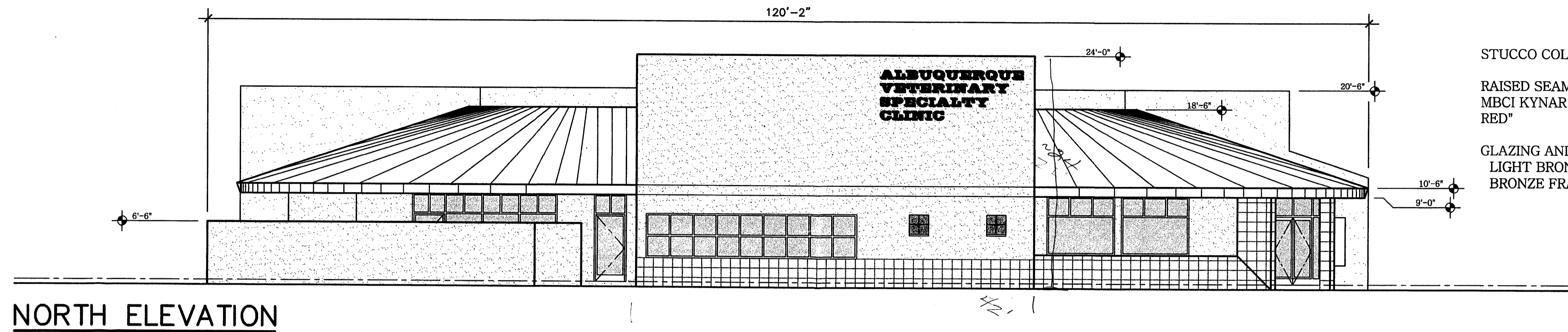
SCALE: 1/8"=0'



FIXTURE TYPE "xx" MOUNTING DETAIL

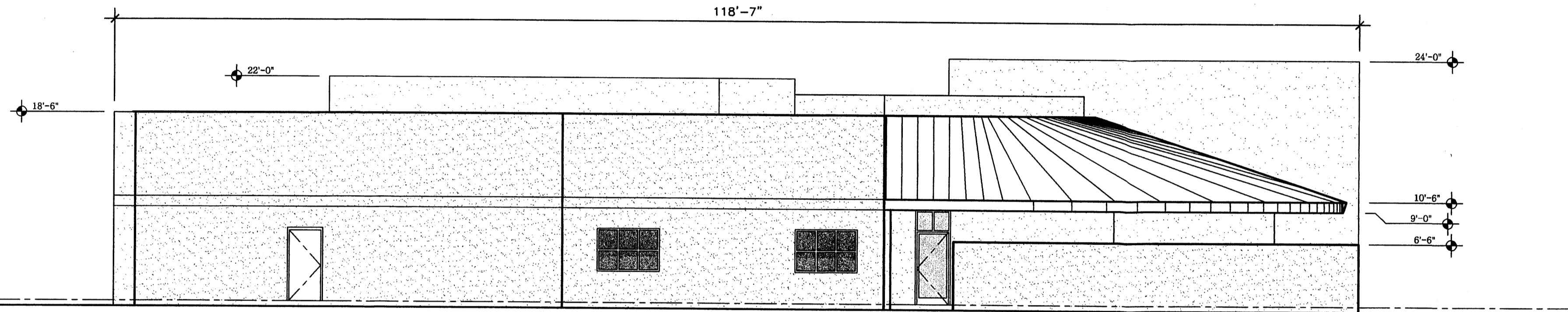
NOT TO SCALE

File: \\V:\Projects\02056_Vet\Site Plan.dwg Date: 10/14/02 9:48 am Scale: 240
 Plotted by: Peter Schwarz, The Response Group, Inc.

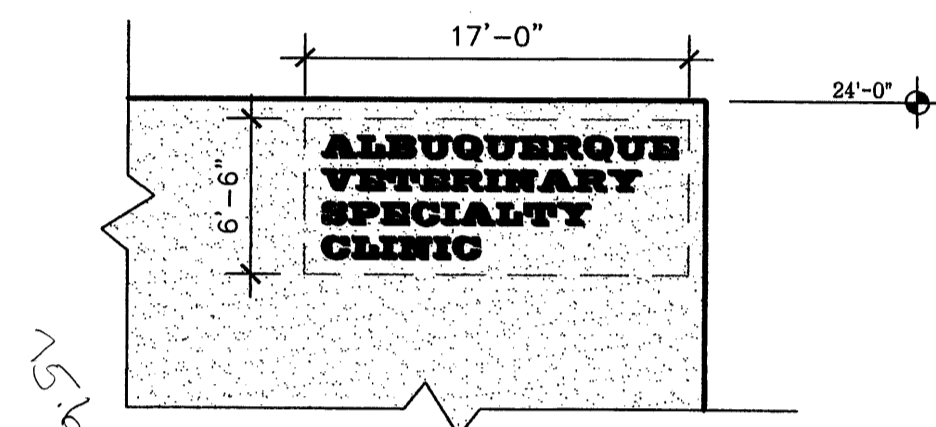


NORTH ELEVATION

STUCCO COLOR: STO "ALAMO" #2501
 RAISED SEAM METAL ROOF COLOR: MCCI KYNAR SIGNATURE 200 "RUSTIC RED"
 GLAZING AND FRAME: LIGHT BRONZE TINT GLASS BRONZE FRAME

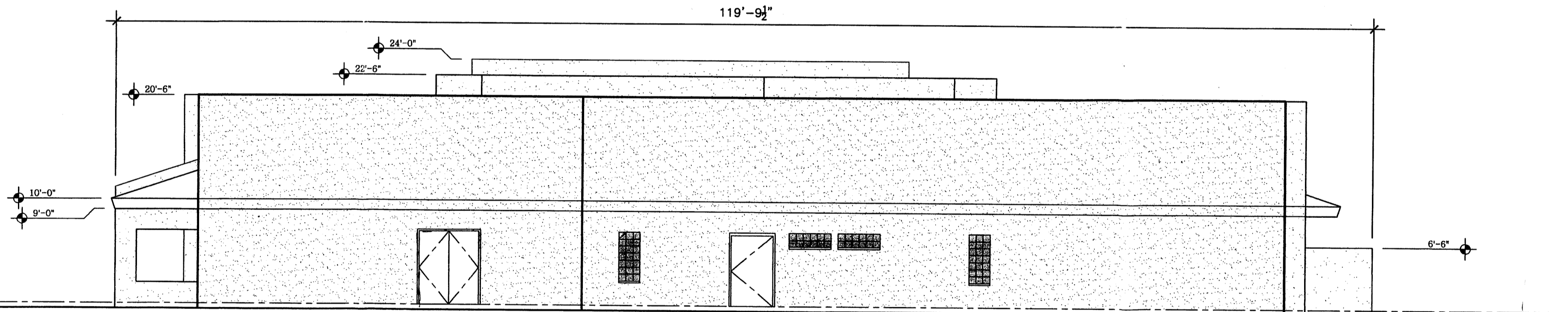


EAST ELEVATION



1'-0" HIGH LETTERS, BACK LITE MIL FINISH ALUMINUM (MATERIAL)
 SIGN AREA: 110.5 SQ. FT.

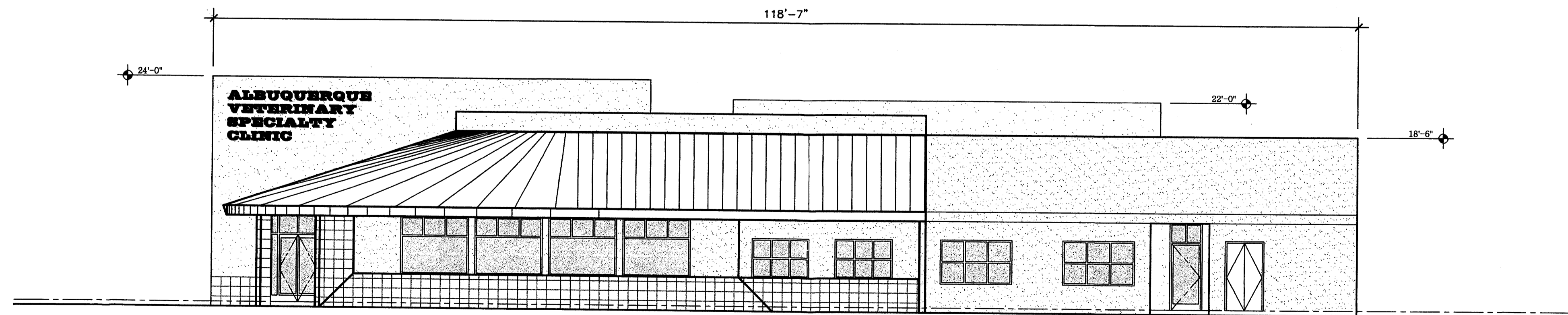
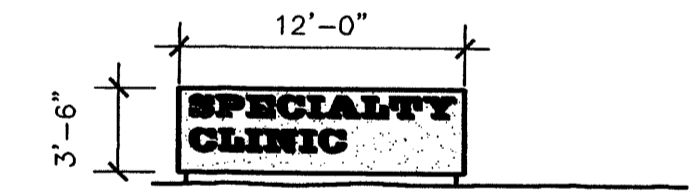
1- FRONT ELEVATION (NORTH)
 1- SIDE ELEVATION (WEST)



SOUTH ELEVATION

1'-0" HIGH LETTERS, BACK LITE MIL FINISH ALUMINUM (MATERIAL)
 SIGN AREA: 36 SQ. FT. (EACH SIDE)

1- MONUMENT SIGN



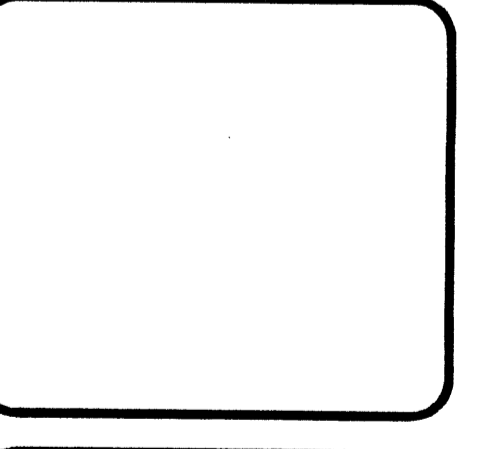
WEST ELEVATION

NO.	REVISION	DATE

HUIT-ZOLARS
 Huit-Zolars, Inc.
 6501 Americas Parkway NE, Suite 550
 Albuquerque, New Mexico 87110-5372
 Phone (505) 885-8114 Fax (505) 885-5022

ELEVATIONS

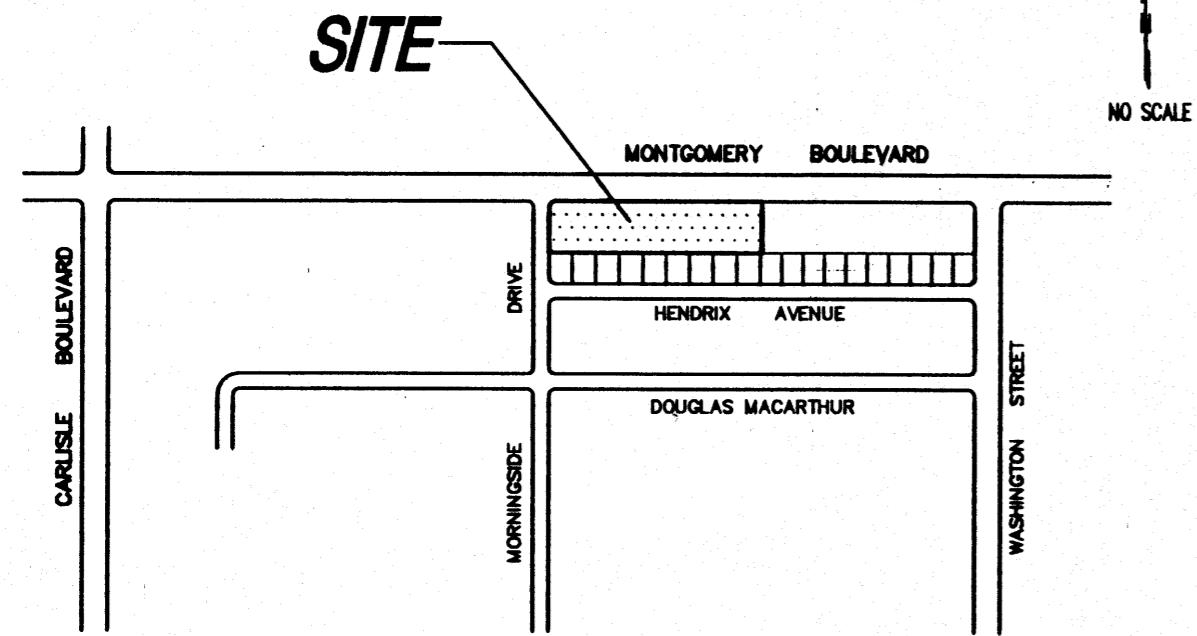
Veterinary Surgical Specialists
of New Mexico
 Albuquerque, New Mexico



DATE: 10/9/02
 DRAWN: tro
 DESIGNED: WAC/tro
 CHECKED: WAC
 PROJ. NO.: 14020401

SHEET: **A2**

TRACTS A-1A, A-2A AND PARCEL A
 A REPLAT OF TRACTS A-1 AND A-2
VOL-ANDIA ADDITION
 WITHIN NE 1/4, NW 1/4 OF SECTION 2
 T. 10 N., R. 3 E., N. M. P. M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2003



VICINITY MAP
 ZONE ATLAS G-17

SUBDIVISION DATA

NO. OF LOTS	2	PARCEL ACRES	2.7085
NO. OF PARCELS	1	LOT ACRES	2.6501
NO. OF TRACTS	0	PARCEL ACRES	0.0584
STREET MILES (FULL)	0	TRACT ACRES	0
		STREET ACRES	0

NOTES

- THE PURPOSE OF THIS PLAT IS TO RELOCATE THE LOT LINE BETWEEN TRACTS A-1 AND A-2 AND DEDICATE ADDITIONAL RIGHT-OF-WAY ALONG MONTGOMERY BOULEVARD TO THE CITY OF ALBUQUERQUE. TRACTS A-1A, A-2A AND PARCEL A ARE CREATED.
- ALL BEARINGS SHOWN HEREON ARE GRID BEARINGS BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, DELTA ALPHA -00°11'55". BASIS OF BEARINGS IS THE PUBLISHED BEARING BETWEEN ACS "M-5A" AND ACS "M-6" BEING N. 88°30'33" W. BASIS OF COORDINATES ARE THOSE PUBLISHED FOR ACS "M-5A". DISTANCES ARE HORIZONTAL GROUND DISTANCES IN FEET.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESES ARE FROM RECORD PLATS.
- ALL LOT LINES ARE PERPENDICULAR OR RADIAL TO STREET LINES UNLESS OTHERWISE INDICATED.
- BENCHMARK FOR THIS PLAT IS THE CITY OF ALBUQUERQUE ACS MONUMENT "M-5A" ELEVATION = 5154.46 LOCATED APPROXIMATELY 620' EAST OF THE NORTHEAST CORNER OF THE PROPERTY IN THE MEDIAN ON MONTGOMERY BLVD AT WASHINGTON STREET.
- ALL PROPERTY CORNERS ARE SET WITH A 5/8" X 24" REBAR WITH RED OR YELLOW PLASTIC CAP STAMPED LS 9243 SET FLUSH WITH THE GROUND, UNLESS OTHERWISE NOTED.
- CITY OF ALBUQUERQUE WATER AND SEWER SERVICE TO THESE LOTS MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.
- S.P. TALOS LOG NO. 2002442520

EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- PNM ELECTRIC SERVICES FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLE NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- PNM GAS SERVICES FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLE NECESSARY TO PROVIDE NATURAL GAS.
- QWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLE NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO, ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLE NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSE DESCRIBED ABOVE. TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS. WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN, NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

PNM AND USWEST COMMUNICATIONS DO NOT RELEASE ANY PREVIOUS EASEMENT RIGHT WHICH WAS GRANTED BY PRIOR PLATTING OR RECORD DOCUMENT UNLESS SPECIFICALLY NOTED HEREON.

THIS PLAT GRANTS A NEW SEVEN (7) FOOT WIDE PUBLIC UTILITY EASEMENT WITHIN TRACT A-1A ADJACENT TO THE NEW RIGHT-OF-WAY LINE AND ADJACENT TO THE NEW SIDE LOT LINE.

DESCRIPTION

A PARCEL OF LAND BEING ALL OF TRACTS A-1 AND A-2 IN THE VOL-ANDIA ADDITION WITHIN SECTION 2, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, RECORDED ON JANUARY 2, 1980 IN VOL. C16, FOLIO 35, SAID PROPERTY BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEASTERLY CORNER OF SAID TRACT A-2, FROM WHICH THE CITY OF ALBUQUERQUE SURVEY CONTROL STATION M-5A BEARS N.84°2'47"E. 621.34 FEET;
 THENCE S.00°13'22"W. 197.96 FEET ON THE EASTERLY BOUNDARY LINE OF SAID TRACT A-2;
 THENCE N.89°43'28"W. 603.18 FEET ON THE SOUTHERLY BOUNDARY LINE OF SAID TRACTS A-1 AND A-2;
 THENCE N.00°15'09"E. 168.86 FEET ON THE WESTERLY BOUNDARY LINE OF SAID TRACT A-1 TO A POINT ON A CURVE FROM WHICH A RADIAL LINE BEARS S.89°47'00"E.;
 THENCE 39.07 FEET NORTHEASTERLY ON THE ARC OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 89°31'57", A RADIUS OF 25.00 FEET AND A CHORD OF 35.21 FEET, A RADIAL LINE FROM THE END OF SAID CURVE BEARS N00°15'03"W.;
 THENCE N.89°52'19"E. 578.31 FEET ON THE NORTHERLY BOUNDARY LINE OF SAID TRACTS A-1 AND A-2 TO THE POINT OF BEGINNING.

PARCEL CONTAINS 2.7085 ACRES, MORE OR LESS, TRACTS A-1A, A-2A AND PARCEL A.

DEDICATION AND FREE CONSENT

THE PROPERTY SHOWN HEREON IS REPLATTED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE PARCEL "A" AS PUBLIC RIGHT-OF-WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT: ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES-FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED; AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. THE OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY ACKNOWLEDGE SAID INSTRUMENT TO BE THEIR FREE ACT AND DEED. THOSE SIGNING WARRANT THAT THEY HOLD LEGAL TITLE TO PROPERTY BEING REPLATTED HEREON.

PDS PROPERTIES, LLC

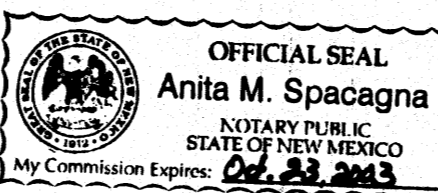
Peter D. Schwarz
 PETER D. SCHWARTZ, DVM

(STATE OF NEW MEXICO) SS
 (COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON January 17, 2003
 BY PETER D. SCHWARTZ, DVM, OWNER OF PDS PROPERTIES, LLC, A LIMITED LIABILITY COMPANY ON BEHALF OF SAID COMPANY.

BY: *Angela M. Spacagna*
 NOTARY PUBLIC

MY COMMISSION EXPIRES: October 23, 2003



TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #:

UPC # 101706015951021521

UPC # 101706018951021522

BERNALILLO COUNTY TREASURERS OFFICE:

BY: _____ DATE: _____

PRELIMINARY PLAT
 APPROVED BY DRB
 ON 1/29/03

PROJECT NO. 1002119
 APPLICATION NO. 1002119

PLAT APPROVALS

UTILITY APPROVALS

Leonard B. Matus 1-16-03
 PNM ELECTRIC SERVICES DATE
Leonard B. Matus 1-16-03
 PNM GAS SERVICES DATE
Mary Aragon 1/16/03
 QWEST TELECOMMUNICATIONS DATE
Rita S. Nichols 1-15-03
 COMCAST DATE

CITY APPROVALS

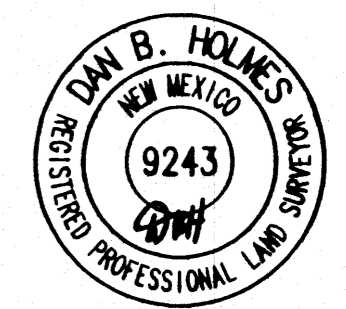
CITY SURVEYOR, ENGINEERING DIVISION _____ DATE _____
 REAL PROPERTY DIVISION _____ DATE _____
 TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____
 UTILITIES DEVELOPMENT _____ DATE _____
 PARKS AND RECREATION DEPARTMENT _____ DATE _____
 A.M.A.F.C.A. _____ DATE _____
 CITY ENGINEER _____ DATE _____

SURVEYOR'S CERTIFICATION

I, DAN B. HOLMES, NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR NO. 9243, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST. THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND THE "MINIMUM STANDARDS FOR LAND SURVEYS" AS ESTABLISHED BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Dan B. Holmes
 DAN B. HOLMES, P.S. NO. 9243

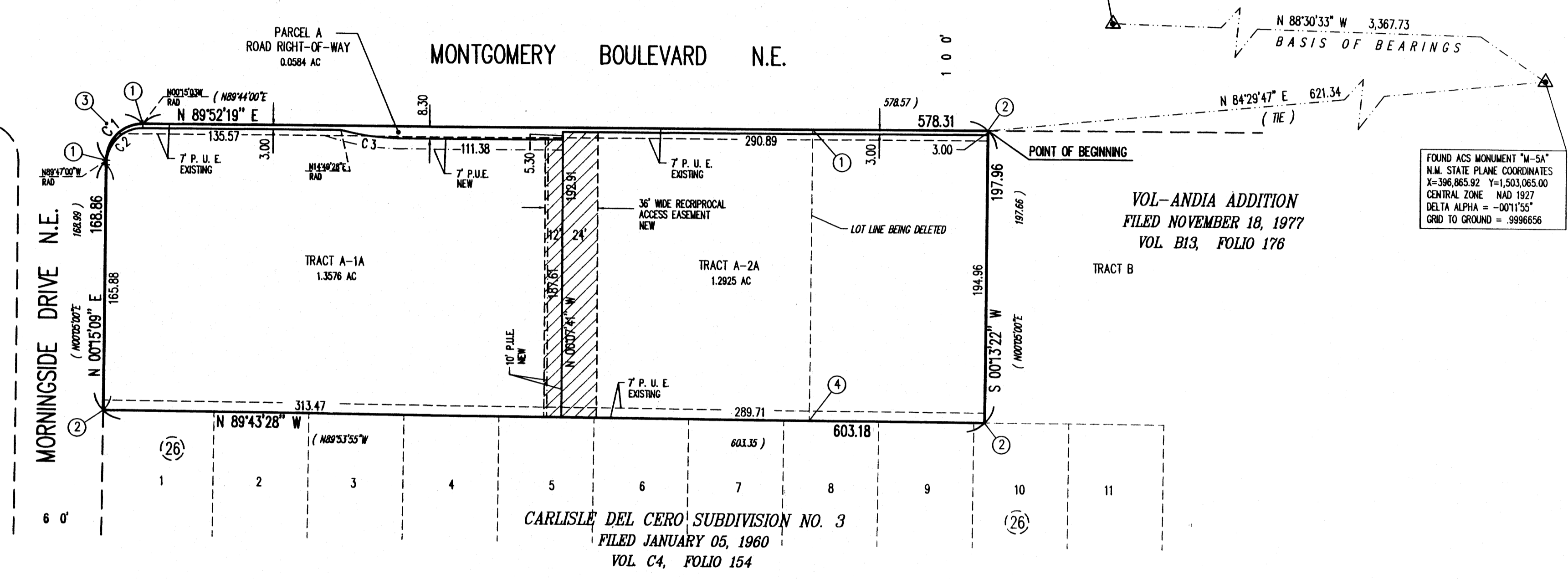
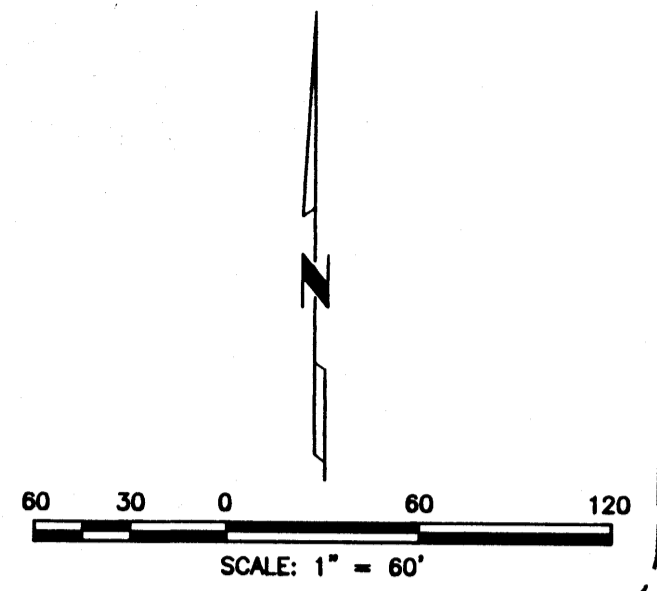
01-14-03
 DATE



HUITT-ZOLLARS

333 RIO RANCHO DR. N.E., STE. 101
 RIO RANCHO, N.M., 87124
 (505) 892-5141

TRACTS A-1A, A-2A AND PARCEL A
 A REPLAT OF TRACTS A-1 AND A-2
VOL-ANDIA ADDITION
 WITHIN NE 1/4, NW 1/4 OF SECTION 2
 T. 10 N., R. 3 E., N. M. P. M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JANUARY, 2003



FOUND ACS MONUMENT "M-6"
 N.M. STATE PLANE COORDINATES
 X=393,499.33 Y=1,503,152.62
 CENTRAL ZONE NAD 1927
 DELTA ALPHA = -00°12'18"
 GRID TO GROUND = .99966855

FOUND ACS MONUMENT "M-5A"
 N.M. STATE PLANE COORDINATES
 X=396,865.92 Y=1,503,065.00
 CENTRAL ZONE NAD 1927
 DELTA ALPHA = -00°11'55"
 GRID TO GROUND = .9996656

VOL-ANDIA ADDITION
 FILED NOVEMBER 18, 1977
 VOL B13, FOLIO 176

BOUNDARY EVIDENCE: UNLESS OTHERWISE INDICATED:

- ① Found No. 5 rebar w/ yellow plastic cap - PLS 10042
- ② Found No. 4 rebar (no cap) w/ aluminum strip tag marked PLS 10042 attached
- ③ Found No. 4 rebar (no cap) at PI of curve
- ④ Found concrete nail w/ yellow plastic tag - PLS 10042 in face of cinder block wall

All property corners are set with a 5/8" x 24" rebar with red or yellow plastic cap LS 9243. Attached brass tag stamped LS 9243 to found points in Items 1 and 2 with tie wire.

CURVE TABLE

NO	DELTA	RADIUS	ARC LGTH	TANGENT	CHORD
C1	89°31'57"	25.00	39.07	24.80	35.21
	(89°39'00"		(38.12)	(24.79)	(35.25)
C2	89°37'10"	25.00	39.10	24.83	35.24
C3	14°57'09"	156.62	40.87	20.55	40.76

NOTES: UNLESS OTHERWISE INDICATED

- AC - ACRES
- P.U.E. - PUBLIC UTILITY EASEMENT
- RAD - RADIAL

SURVEYOR'S CERTIFICATION

I, DAN B. HOLMES, NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR NO. 9243, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST. THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND THE "MINIMUM STANDARDS FOR LAND SURVEYS" AS ESTABLISHED BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

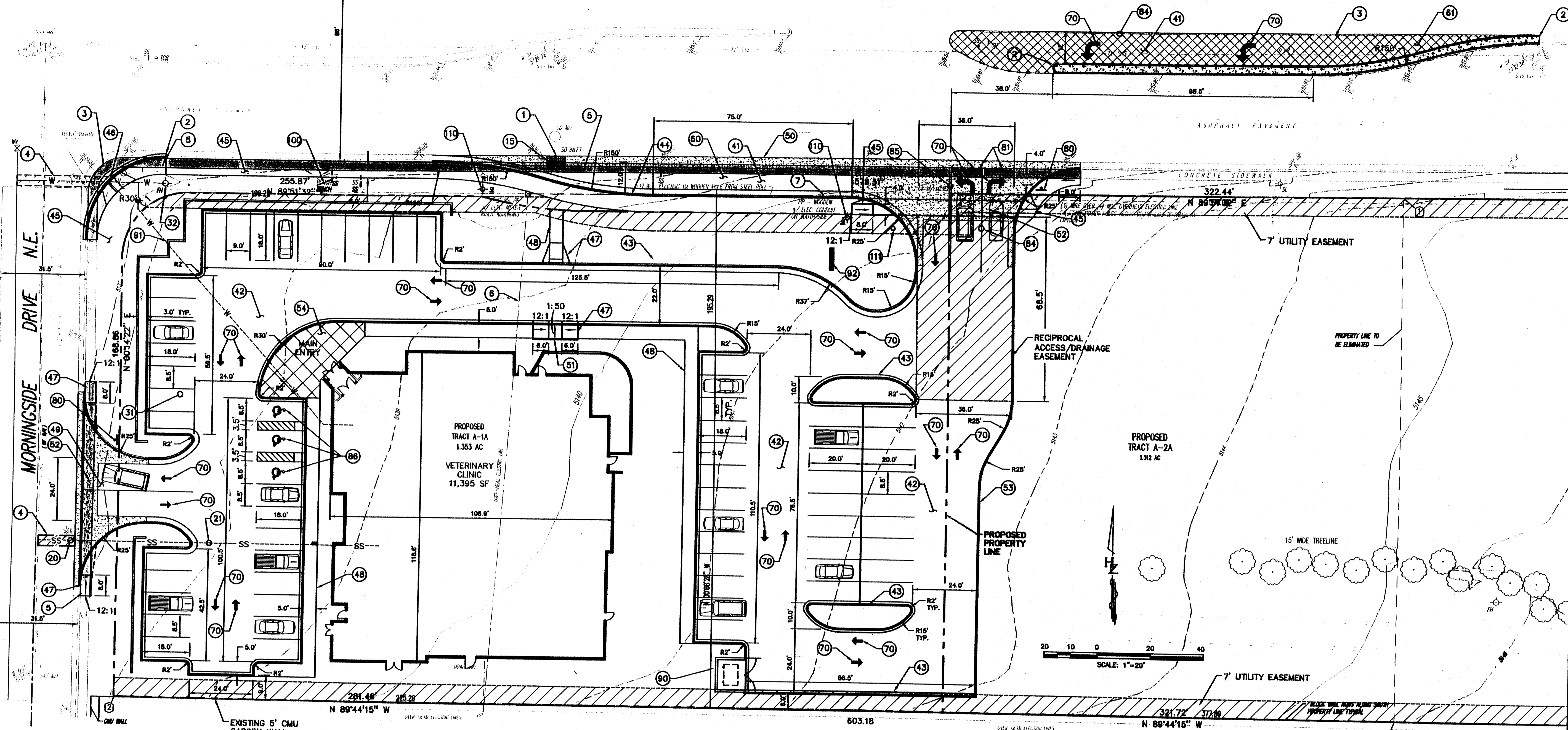
Dan B. Holmes
 DAN B. HOLMES, P.S. NO. 9243

01-14-03
 DATE



HUITT-ZOLLARS
 333 RIO RANCHO DR. N.E., STE. 101
 RIO RANCHO, N.M., 87124
 (505) 892-5141

MONTGOMERY BOULEVARD NE
(10' W)



LEGAL DESCRIPTION

A parcel of land being all of Tracts A-1 and A-2 of the Vol-Andra Addition within Section 2, Township 10 North, Range 3 East, New Mexico Principal Meridian, recorded on January 2, 1980 in Volume C18, Folio 35), City of Albuquerque, Bernalillo County, New Mexico. Parcel contains 2.7085, more or less.

PROJECT BENCHMARK

CHISELED "X" IN TOP BACK OF CURB BEHIND FOUND DRILL HOLE ELEV. = 5134.57 ELEVATION TRANSFERRED FROM COA BRASS CAP "M-5A" HAVING ELEVATION 5154.46

BOUNDARY EVIDENCE: UNLESS OTHERWISE INDICATED:

- 1) Found No. 5 rebar w/ yellow plastic cap stamped PLS 10042
- 2) Found no. 4 rebar no cap w/ aluminum strip tag stamped PLS 10042

All property corners are set with a 5/8" x 24" rebar with yellow plastic cap stamped LS 9243. Items 1 and 2 on boundary had a brass tag stamped LS 9243 attached with the wire.

KEY NOTES

- DEMOLITION:**
1. REMOVE TOP OF EXISTING STORM DRAIN INLET.
 2. NEATLINE CUT. REMOVE SIDEWALK TO NEAREST JOINT.
 3. REMOVE EXISTING CURB AND GUTTER.
 4. NEATLINE CUT EXISTING PAVEMENTS AND CURB AND GUTTER FOR ACCESS TO UNDERGROUND UTILITIES.
 5. EXISTING SIDEWALK TO BE REMOVED.
 6. REMOVE EXISTING POWER LINE.

KEY NOTES (CONT.)

- DRAINAGE:**
15. NEW TOP ON EXISTING STORM INLET DOUBLE "D" COA STANDARD DRAWING 2206 WITH MODIFIED "V" GRATE.

- SEWER:**
20. NEW SEWER SERVICE LINE. COA STANDARD DRAWING 2125.
 21. 4" PVC SEWER PIPE.

- WATER:**
30. NEW WATER METERED SERVICE LINE INSTALLATION COA STANDARD DRAWING 2362.
 31. 1" SCHEDULE 80 PVC APPROX. 95 LF.
 32. RELOCATE EXISTING FIRE HYDRANT. COA STANDARD DRAWING 2340.

- PAVING:**
41. ARTERIAL ASPHALT CONCRETE 4". COA STANDARD DRAWING 2408.
 42. RESIDENTIAL ASPHALT CONCRETE TYPE A 2".
 43. MEDIAN CURB AND GUTTER. COA STANDARD DRAWING 2415.
 44. STANDARD CURB & GUTTER. COA STANDARD DRAWING 2415.
 45. SIDEWALK PAVING DETAILS COA STANDARD DRAWING 2430.
 46. WHEEL CHAIR ACCESSIBLE RAMP TYPE I COA STANDARD DRAWING 2441.
 47. WHEEL CHAIR ACCESSIBLE RAMP.
 48. 5' SIDEWALK COA STANDARD DRAWING 2430.
 49. 6' SIDEWALK COA STANDARD DRAWING 2430.

KEY NOTES (CONT.)

- PAVING: (CONT.)**
50. VALLEY GUTTER. COA STANDARD DETAIL 2420.
 51. HEADER CURB. COA STANDARD DETAIL 2415.
 52. 6" PATTERNERED CONCRETE CROSSING.
 53. ASPHALT CURB COA STANDARD DRAWING 2415.
 54. CONCRETE PAVING.

- TRAFFIC:**
60. DECELERATION LANE 150' LENGTH.
 61. RECONSTRUCT CENTER MEDIAN FOR LEFT TURN BAY.

- TRAFFIC CIRCULATION:**
70. DIRECTIONAL ARROWS.

- TRAFFIC SIGNS/STRIPING:**
80. STOP SIGN: R1-1-30.
 81. 12" SOLID WHITE STOP BAR.
 82. NOT USED.
 83. NOT USED.
 84. 4" SOLID WHITE PAVEMENT MARKING.
 85. 2-4" SOLID YELLOW PAVEMENT MARKING.
 86. INTERNATIONAL SYMBOL OF ACCESSIBILITY PAINTED SAFETY WHITE.

- MISCELLANEOUS:**
90. REFUSE CONTAINER WITH ENCLOSURE.
 91. SPLIT FACE CMU WALL: HEIGHT = 3.0'
 92. MONUMENT SIGN

- BUS STOP:**
100. RELOCATE BENCH AND SIGNS.

- ELECTRICAL:**
110. RELOCATE EXISTING STREET LIGHT.
 111. RELOCATE ELECTRIC RISER WITH METER.

GENERAL INFORMATION

1. NUMBER OF SPACES REQUIRED:	57
2. NUMBER OF SPACES PROVIDED:	59
3. HANDICAPPED PARKING SPACES REQUIRED:	3
4. HANDICAPPED PARKING SPACES PROVIDED:	3
5. BICYCLE RACKS SPACES REQUIRED:	0
6. BICYCLE RACKS SPACES PROVIDED:	0
7. REFUSE CONTAINER AND ENCLOSURE:	1

EPC CONDITIONS

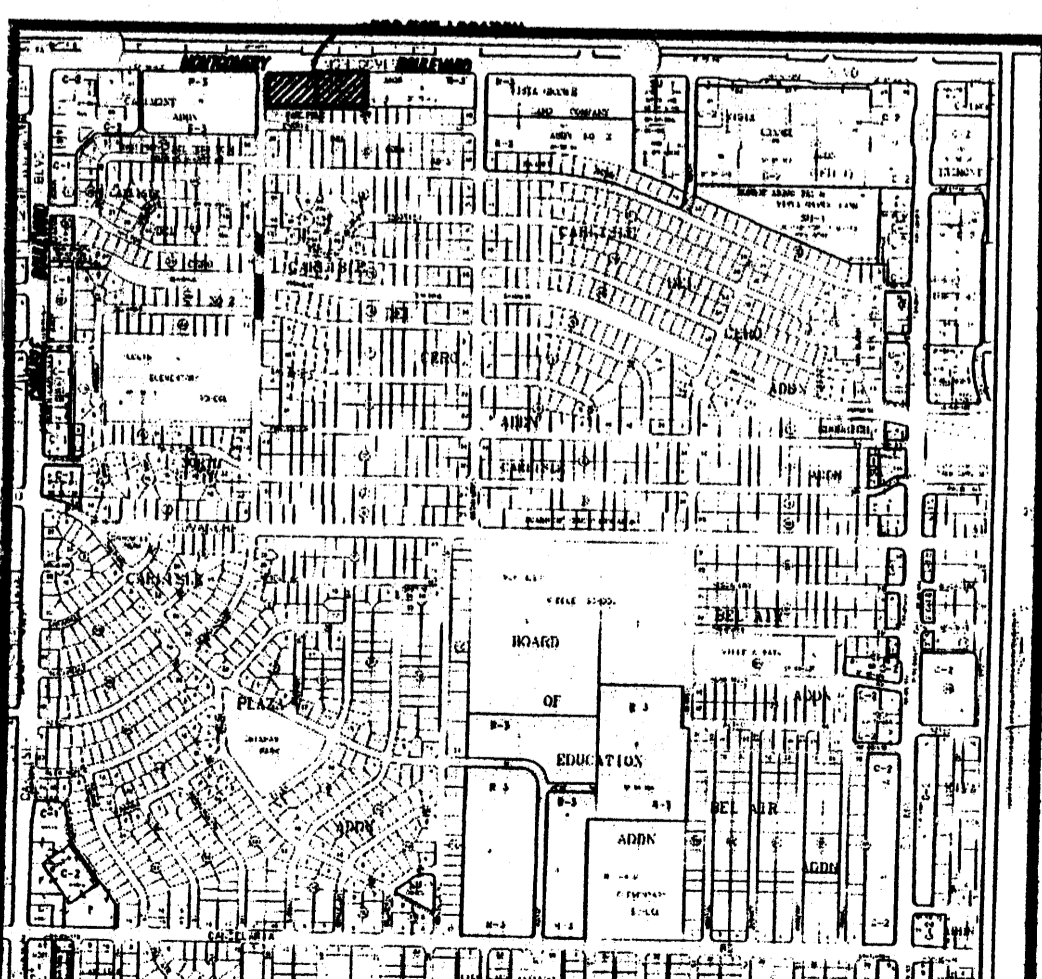
1. APPROVAL AUTHORITY FOR THE SITE DEVELOPMENT PLAN IS DELEGATED TO THE DRB FOR APPROVAL WITHIN SIX (6) MONTHS, AT AN ADVERTISED PUBLIC HEARING.
2. THE SITE SHALL BE REPLATTED TO REFLECT THE NEW ZONE BOUNDARY LINE.
3. ROOF AND/OR GROUND-MOUNTED EQUIPMENT SHALL BE SHIELDED FROM VIEW BY A PARAPET OR SCREEN WALL THAT IS, AT MINIMUM, AS HIGH AS THE EQUIPMENT.
4. ANY PARKING SPACES ADJACENT TO AND FACING A STREET SHALL BE SCREENED BY A 2 1/2' - 3' HIGH GARDEN WALL AND/OR LANDSCAPING BERM.
5. PEDESTRIAN PATHWAYS AND PUBLIC SIDEWALKS THAT CROSS DRIVE AISLES OR VEHICULAR ACCESS POINTS SHALL BE OF A PATTERNERED MATERIAL OTHER THAN ASPHALT, AT LEAST SIX FEET WIDE.
6. SITE PLAN AND ACCESS POINTS ARE SUBJECT TO APPROVAL BY THE TRAFFIC ENGINEER.
7. THE SITE PLAN SHALL MEET THE TYPICAL REQUIREMENTS THAT ARE NORMALLY IMPOSED BY THE EPC.

CASE NUMBER: Z- 1002119 / 02EPC-01144

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC) ON SEPTEMBER 20, 2005, AND THAT THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTICE OF NOTIFICATION OF DECISION HAVE BEEN COMPLIED WITH:

SITE DEVELOPMENT PLAN	
TRAFFIC ENGINEER, TRANSPORTATION DIVISION	DATE
PARKS & GENERAL SERVICES DEPARTMENT	DATE
PUBLIC WORKS, WATER UTILITIES DIVISION	DATE
CITY ENGINEER, ENGINEERING DIVISION/AMECA	DATE
SOLID WASTE	DATE
APPROVAL AND CONDITIONAL ACCEPTANCE: AS SPECIFIED BY THE DEVELOPMENT PROCESS MANUAL.	
CITY PLANNER, ALBUQUERQUE / BERNALILLO COUNTY PLANNING DIVISION	DATE
PLN2 (10/26) 406	

VICINITY MAP



ZONE ATLAS: G-17-Z

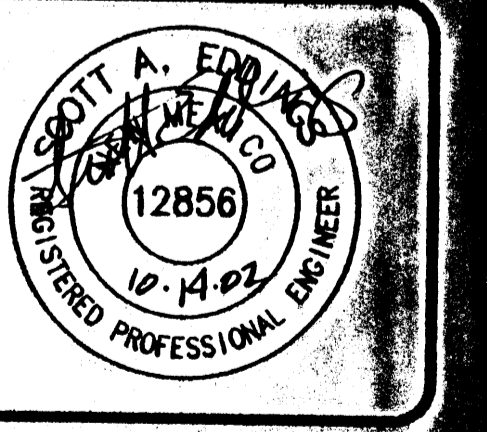
NO.	REVISION	DATE

HUIT-ZOLARS
1400 American Parkway NE, Suite 200
Albuquerque, New Mexico 87110-5872
Phone: (505) 888-8844 Fax: (505) 888-8822

PETER D. SCHWARZ, DVM
VETERINARY SURGICAL SPECIALISTS

SITE DEVELOPMENT PLAN

Veterinary Surgical Specialists of New Mexico
Albuquerque, New Mexico

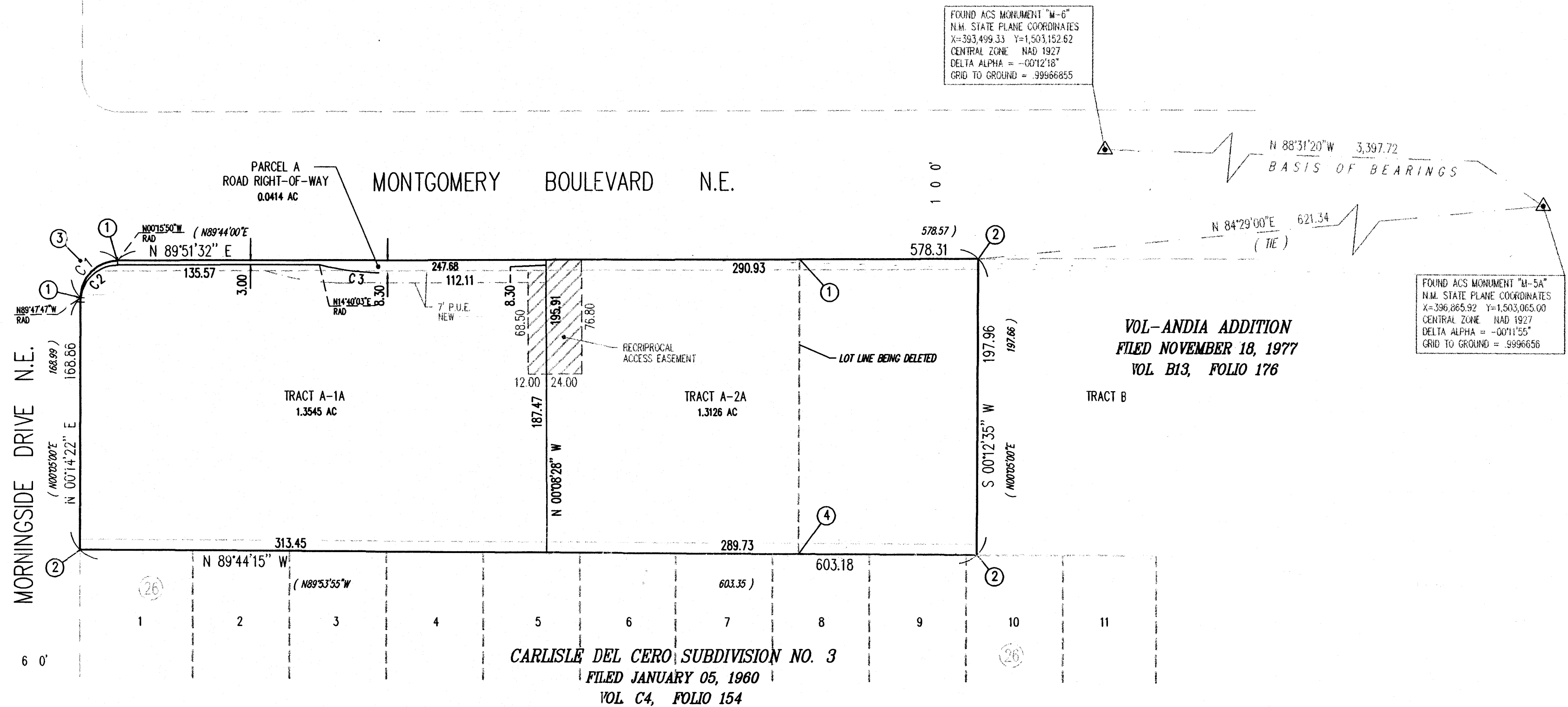
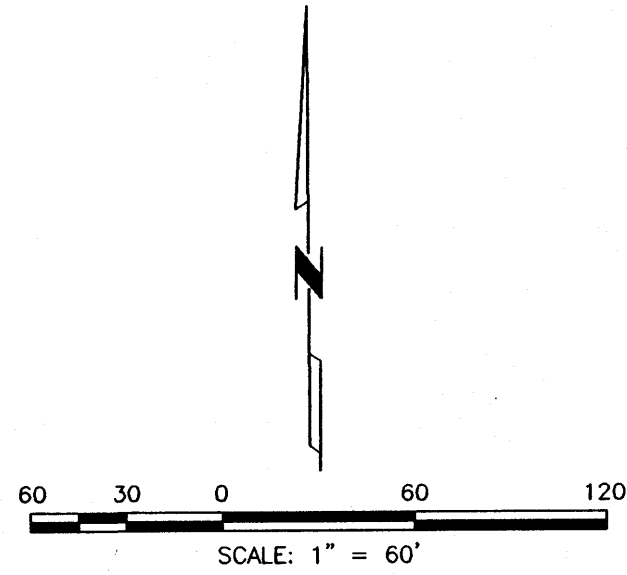


DATE: 06/28/02
DRAWN: LH
DESIGNED: BE
CHECKED: KK
PROJ. NO.: 14-0204-01

SHEET: C1

C:\PROJ\14020-01\dwg\SitePlan.dwg

TRACTS A-1A AND A-2A
 A REPLAT OF TRACTS A-1 AND A-2
VOL-ANDIA ADDITION
 WITHIN NE 1/4, NW 1/4 OF SECTION 2
 T. 10 N., R. 3 E., N. M. P. M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 JUNE, 2002



BOUNDARY EVIDENCE: UNLESS OTHERWISE INDICATED:

- ① Found No. 5 rebar w/ yellow plastic cap - PLS 10042
- ② Found No. 4 rebar (no cap) w/ aluminum strip tag marked PLS 10042 attached
- ③ Found No. 4 rebar (no cap) at PI of curve
- ④ Found concrete nail w/ yellow plastic tag - PLS 10042 in face of cinder block wall

All property corners are set with a 5/8" x 24" rebar with red or yellow plastic cap LS 9243. Attached brass tag stamped LS 9243 to found points in Items 1 and 2 with tie wire.

CURVE TABLE

NO	DELTA	RADIUS	ARC LGTH	TANGENT	CHORD
C1	89°31'58"	25.00	39.07	24.80	35.21
	(89°39'00")		(39.12)	(24.79)	(35.25)
C2	89°37'10"	25.00	39.10	24.83	35.24
C3	14°40'03"	156.62	40.10	20.16	39.99

NOTES: UNLESS OTHERWISE INDICATED

AC - ACRES
 P.U.E. - PUBLIC UTILITY EASEMENT
 RAD - RADIAL

SURVEYOR'S CERTIFICATION

I, DAN B. HOLMES, NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR NO. 9243, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST. THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND THE "MINIMUM STANDARDS FOR LAND SURVEYS" AS ESTABLISHED BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

DAN B. HOLMES, P.S. NO. 9243

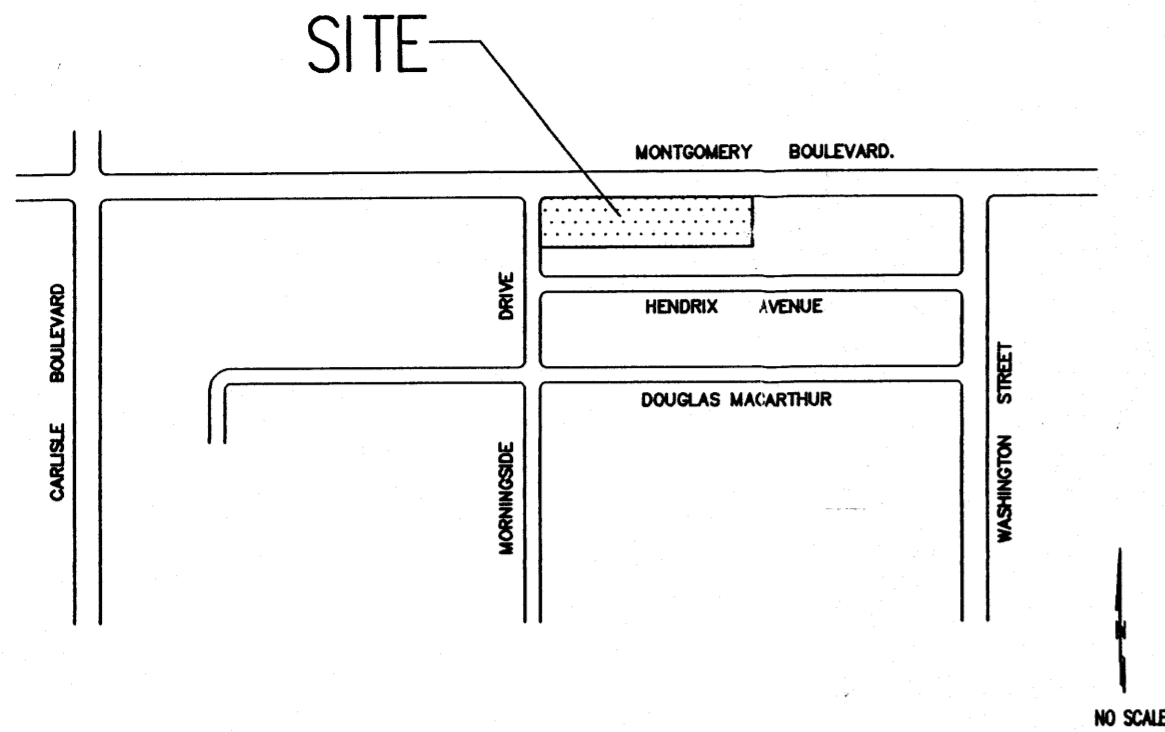
DATE _____

HUITT-ZOLLARS

333 RIO RANCHO DR. N.E., STE. 101
 RIO RANCHO, N.M., 87124
 (505) 892-5141

TRACTS A-1A AND A-2A
A REPLAT OF TRACTS A-1 AND A-2
VOL-ANDIA ADDITION

WITHIN NE 1/4, NW 1/4 OF SECTION 2
T. 10 N., R. 3 E., N. M. P. M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 2002



VICINITY MAP
ZONE ATLAS MAP 50

DESCRIPTION

A PARCEL OF LAND BEING ALL OF TRACTS A-1 AND A-2 IN THE VOL-ANDIA ADDITION WITHIN SECTION 2, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, RECORDED ON JANUARY 2, 1980 IN VOL. C16, FOLIO 35, SAID PROPERTY BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEASTERLY CORNER OF SAID TRACT A-2, FROM WHICH THE CITY OF ALBUQUERQUE SURVEY CONTROL STATION TM-5A BEARS N.84°29'00"E. 621.34 FEET;
THENCE S.00°12'35"W. 197.96 FEET ON THE EASTERLY BOUNDARY LINE OF SAID TRACT A-2;
THENCE N.89°44'15"W. 603.18 FEET ON THE SOUTHERLY BOUNDARY LINE OF SAID TRACTS A-1 AND A-2;
THENCE N.00°14'22"E. 168.86 FEET ON THE WESTERLY BOUNDARY LINE OF SAID TRACT A-1 TO A POINT ON A CURVE FROM WHICH A RADIAL LINE BEARS S.69°47'47"E.;
THENCE 39.07 FEET NORTHEASTERLY ON THE ARC OF A CURVE HAVING A CENTRAL ANGLE OF 89°31'57", A RADIUS OF 25.00 FEET AND A CHORD OF 35.21 FEET, A RADIAL LINE FROM THE END OF SAID CURVE BEARS N.00°15'50"W.;
THENCE N.89°51'32"E. 578.31 FEET ON THE NORTHERLY BOUNDARY LINE OF SAID TRACTS A-1 AND A-2 TO THE POINT OF BEGINNING.

PARCEL CONTAINS 1.7085 ACRES, MORE OR LESS, TRACTS A-1A AND A-2A.

SUBDIVISION DATA

ZONE ATLAS NO. [H-9-Z and J-9-Z]	PLAT ACRES	2.7085
[CASE NO. DRB-94-443]	LOT ACRES	2.6671
NO. OF LOTS	PARCEL ACRES	0.0414
NO. OF PARCELS	TRACT ACRES	0
NO. OF TRACTS	STREET ACRES	3.3984
STREET MILES (FULL)		
S.P. TALOS LOG NO. 98-03-12-0729-0015		

APPROVALS

SUBDIVISION CASE NO. _____
FILED _____ DOC. NO. _____
VOLUME _____ PAGE _____

PNM ELECTRIC SERVICES	DATE
PNM GAS SERVICES	DATE
USWEST COMMUNICATIONS, INC.	DATE
JONES INTERCABLE	DATE
CITY SURVEYOR, ENGINEERING DIVISION	DATE
TRAFFIC ENGINEERING, TRANS. DEV. DIV., P.W.D.	DATE
PARKS AND GENERAL SERVICES	DATE
UTILITY DEVELOPMENT DIVISION	DATE
PROPERTY MANAGEMENT	DATE
ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY	DATE
CITY ENGINEER, ENGINEERING DIVISION	DATE
CITY PLANNER, ALBUQUERQUE PLANNING DIVISION	DATE

NOTES

- THE PURPOSE OF THIS PLAT IS TO RELOCATE THE LOT LINE BETWEEN TRACTS A-1 AND A-2 AND DEDICATE ADDITIONAL RIGHT-OF-WAY ALONG MONTGOMERY BOULEVARD TO THE CITY OF ALBUQUERQUE. TRACTS A-1A AND A-2A ARE CREATED.
- ALL BEARINGS SHOWN HEREON ARE GRID BEARINGS BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, DELTA ALPHA -00°11'55". BASIS OF BEARINGS IS THE PUBLISHED BEARING BETWEEN ACS "M-5A" AND ACS "M-6" BEING N. 88°31'20" W. BASIS OF COORDINATES ARE THOSE PUBLISHED FOR ACS "M-5A". DISTANCES ARE HORIZONTAL GROUND DISTANCES IN FEET.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESES ARE FROM RECORD PLATS.
- ALL LOT LINES ARE PERPENDICULAR OR RADIAL TO STREET LINES UNLESS OTHERWISE INDICATED.
- BENCHMARK FOR THIS PLAT IS THE CITY OF ALBUQUERQUE ACS MONUMENT "M-5A" ELEVATION = 5154.46 LOCATED APPROXIMATELY 620' EAST OF THE NORTHEAST CORNER OF THE PROPERTY IN THE MEDIAN ON MONTGOMERY BLVD AT WASHINGTON STREET.
- ALL PROPERTY CORNERS ARE SET WITH A 5/8" X 24" REBAR WITH RED OR YELLOW PLASTIC CAP STAMPED LS 9243 SET FLUSH WITH THE GROUND, UNLESS OTHERWISE NOTED.
- CITY OF ALBUQUERQUE WATER AND SEWER SERVICE TO THESE LOTS MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.

EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- THE PUBLIC SERVICE COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLE NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- THE GAS COMPANY OF NEW MEXICO FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLE NECESSARY TO PROVIDE NATURAL GAS.
- USWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLE NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO, ABOVE GROUND PEDESTALS AND CLOSURES.
- JONES INTERCABLE FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLE NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSE DESCRIBED ABOVE. TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS. WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN, NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON, PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

PNM AND USWEST COMMUNICATIONS DO NOT RELEASE ANY PREVIOUS EASEMENT RIGHT WHICH WAS GRANTED BY PRIOR PLATTING OR RECORD DOCUMENT UNLESS SPECIFICALLY NOTED HEREON.

THIS PLAT GRANTS A NEW SEVEN (7) FOOT WIDE PUBLIC UTILITY EASEMENT WITHIN TRACT A-1A ADJACENT TO THE NEW RIGHT-OF-WAY LINE.

DEDICATION AND FREE CONSENT

THE PROPERTY SHOWN HEREON IS SUBDIVIDED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS-OF-WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT: ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. THE OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY ACKNOWLEDGE SAID INSTRUMENT TO BE THEIR FREE ACT AND DEED.

PDS PROPERTIES, LLC

PETER D. SCHWARTZ, DVM

(STATE OF NEW MEXICO)
(COUNTY OF BERNALILLO) SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON _____, 20____
BY PETER D. SCHWARTZ, DVM, OWNER OF PDS PROPERTIES, LLC, A LIMITED LIABILITY COMPANY ON BEHALF OF SAID COMPANY.

BY: _____
NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #:

UPC # _____

BERNALILLO COUNTY TREASURERS OFFICE:

BY: _____ DATE: _____

SURVEYOR'S CERTIFICATION

I, DAN B. HOLMES, NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR NO. 9243, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNER(S) AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST. THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND THE "MINIMUM STANDARDS FOR LAND SURVEYS" AS ESTABLISHED BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

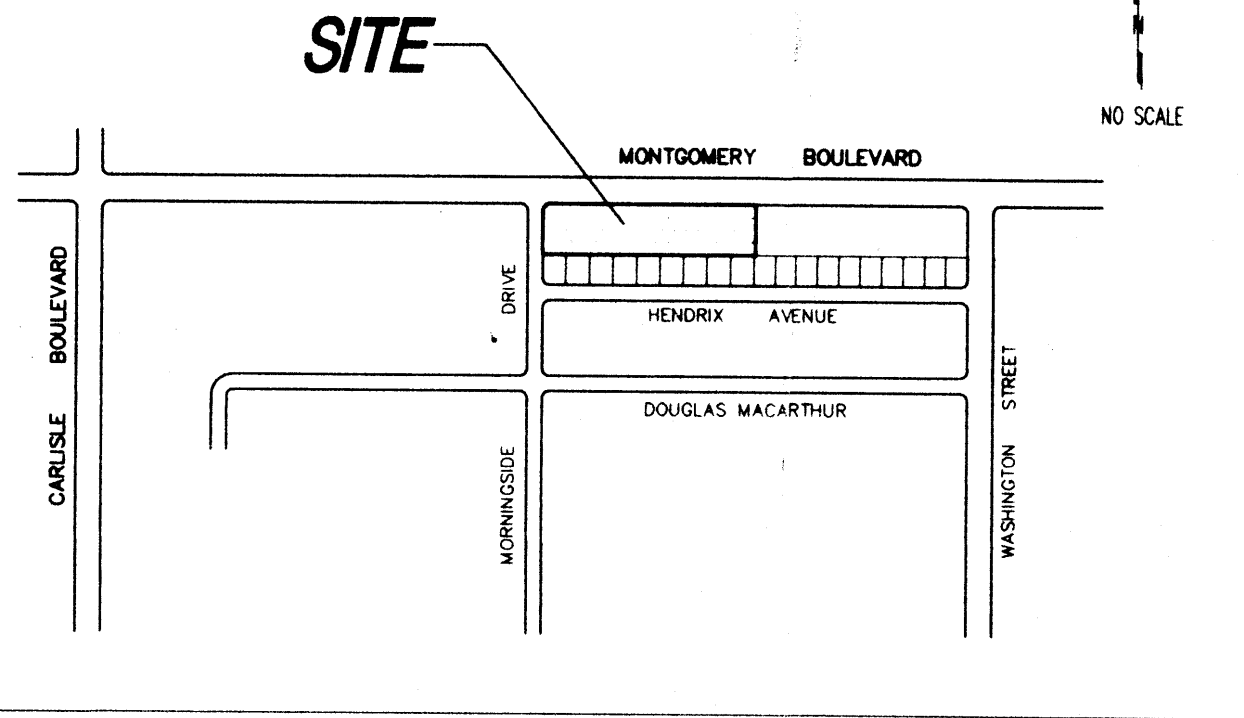
DAN B. HOLMES, P.S. NO. 9243 DATE _____

HUITT-ZOLLARS

333 RIO RANCHO DR. N.E., STE. 101
RIO RANCHO, N.M., 87124
(505) 892-5141

TRACTS A-1A, A-2A AND PARCEL A
A REPLAT OF TRACTS A-1 AND A-2
VOL-ANDIA ADDITION

WITHIN NE 1/4, NW 1/4 OF SECTION 2
T. 10 N., R. 3 E., N. M. P. M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
NOVEMBER, 2002



VICINITY MAP
ZONE ATLAS G-17

DESCRIPTION

A PARCEL OF LAND BEING ALL OF TRACTS A-1 AND A-2 IN THE VOL-ANDIA ADDITION WITHIN SECTION 2, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, RECORDED ON JANUARY 2, 1980 IN VOL. C16, FOLIO 35, SAID PROPERTY BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEASTERLY CORNER OF SAID TRACT A-2, FROM WHICH THE CITY OF ALBUQUERQUE SURVEY CONTROL STATION M-5A BEARS N.84°29'47"E. 621.34 FEET;
THENCE S.00°13'22"W. 197.96 FEET ON THE EASTERLY BOUNDARY LINE OF SAID TRACT A-2;
THENCE N.89°43'28"W. 603.18 FEET ON THE SOUTHERLY BOUNDARY LINE OF SAID TRACTS A-1 AND A-2;
THENCE N.00°15'09"E. 168.86 FEET ON THE WESTERLY BOUNDARY LINE OF SAID TRACT A-1 TO A POINT ON A CURVE FROM WHICH A RADIAL LINE BEARS S.89°47'00"E.;
THENCE 39.07 FEET NORTHEASTERLY ON THE ARC OF A CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 89°31'57", A RADIUS OF 25.00 FEET AND A CHORD OF 35.21 FEET, A RADIAL LINE FROM THE END OF SAID CURVE BEARS N.00°15'03"W.;
THENCE N.89°52'19"E. 578.31 FEET ON THE NORTHERLY BOUNDARY LINE OF SAID TRACTS A-1 AND A-2 TO THE POINT OF BEGINNING.

PARCEL CONTAINS 2.7085 ACRES, MORE OR LESS, TRACTS A-1A, A-2A AND PARCEL A.

PROJECT NO. 1002119
APPLICATION NO. 1002119

PLAT APPROVALS

UTILITY APPROVALS

PNM ELECTRIC SERVICES _____ DATE _____
PNM GAS SERVICES _____ DATE _____
QWEST TELECOMMUNICATIONS _____ DATE _____
COMCAST _____ DATE _____

CITY APPROVALS

CITY SURVEYOR, ENGINEERING DIVISION _____ DATE _____
REAL PROPERTY DIVISION _____ DATE _____
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____
UTILITIES DEVELOPMENT _____ DATE _____
PARKS AND RECREATION DEPARTMENT _____ DATE _____
A.M.A.F.C.A. _____ DATE _____
CITY ENGINEER _____ DATE _____

SUBDIVISION DATA

NO. OF LOTS	2	PLAT ACRES	2.7085
NO. OF PARCELS	1	LOT ACRES	2.6501
NO. OF TRACTS	0	PARCEL ACRES	0.0584
STREET MILES (FULL)	0	TRACT ACRES	0
		STREET ACRES	0

NOTES

- THE PURPOSE OF THIS PLAT IS TO RELOCATE THE LOT LINE BETWEEN TRACTS A-1 AND A-2 AND DEDICATE ADDITIONAL RIGHT-OF-WAY ALONG MONTGOMERY BOULEVARD TO THE CITY OF ALBUQUERQUE. TRACTS A-1A, A-2A AND PARCEL A ARE CREATED.
- ALL BEARINGS SHOWN HEREON ARE GRID BEARINGS BASED ON THE NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, DELTA ALPHA -00°11'55". BASIS OF BEARINGS IS THE PUBLISHED BEARING BETWEEN ACS "M-5A" AND ACS "M-6" BEING N. 88°30'33" W. BASIS OF COORDINATES ARE THOSE PUBLISHED FOR ACS "M-5A". DISTANCES ARE HORIZONTAL GROUND DISTANCES IN FEET.
- BEARINGS AND DISTANCES SHOWN IN PARENTHESES ARE FROM RECORD PLATS.
- ALL LOT LINES ARE PERPENDICULAR OR RADIAL TO STREET LINES UNLESS OTHERWISE INDICATED.
- BENCHMARK FOR THIS PLAT IS THE CITY OF ALBUQUERQUE ACS MONUMENT "M-5A" ELEVATION = 5154.46 LOCATED APPROXIMATELY 620' EAST OF THE NORTHEAST CORNER OF THE PROPERTY IN THE MEDIAN ON MONTGOMERY BLVD AT WASHINGTON STREET.
- ALL PROPERTY CORNERS ARE SET WITH A 5/8" X 24" REBAR WITH RED OR YELLOW PLASTIC CAP STAMPED LS 9243 SET FLUSH WITH THE GROUND, UNLESS OTHERWISE NOTED.
- CITY OF ALBUQUERQUE WATER AND SEWER SERVICE TO THESE LOTS MUST BE VERIFIED AND COORDINATED WITH THE PUBLIC WORKS DEPARTMENT, CITY OF ALBUQUERQUE.
- S.P. TALOS LOG NO. 2002442520

EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- THE PUBLIC SERVICE COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, POLES AND ANY OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLE NECESSARY TO PROVIDE ELECTRICAL SERVICE.
- THE GAS COMPANY OF NEW MEXICO FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLE NECESSARY TO PROVIDE NATURAL GAS.
- USWEST FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLE NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO, ABOVE GROUND PEDESTALS AND CLOSURES.
- COMCAST FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLE NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSE DESCRIBED ABOVE. TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID EASEMENTS, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS. WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE CAUSED BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO WITHIN OR NEAR EASEMENTS SHOWN ON THIS PLAT.

PNM AND USWEST COMMUNICATIONS DO NOT RELEASE ANY PREVIOUS EASEMENT RIGHT WHICH WAS GRANTED BY PRIOR PLATTING OR RECORD DOCUMENT UNLESS SPECIFICALLY NOTED HEREON.

THIS PLAT GRANTS A NEW SEVEN (7) FOOT WIDE PUBLIC UTILITY EASEMENT WITHIN TRACT A-1A ADJACENT TO THE NEW RIGHT-OF-WAY LINE.

DEDICATION AND FREE CONSENT

THE PROPERTY SHOWN HEREON IS REPLATTED WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY DEDICATE PARCEL "A" AS PUBLIC RIGHT-OF-WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS AND DO HEREBY GRANT: ALL ACCESS, UTILITY AND DRAINAGE EASEMENTS SHOWN HEREON INCLUDING THE RIGHT TO CONSTRUCT, OPERATE, INSPECT, AND MAINTAIN FACILITIES THEREIN; AND ALL PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE; AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. THE OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY ACKNOWLEDGE SAID INSTRUMENT TO BE THEIR FREE ACT AND DEED. THOSE SIGNING WARRANT THAT THEY HOLD LEGAL TITLE TO PROPERTY BEING REPLATTED HEREON.

PDS PROPERTIES, LLC

PETER D. SCHWARZ, DVM

(STATE OF NEW MEXICO) SS
(COUNTY OF BERNALILLO)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON _____, 20____
BY PETER D. SCHWARZ, DVM, OWNER OF PDS PROPERTIES, LLC, A LIMITED LIABILITY COMPANY ON BEHALF OF SAID COMPANY.

BY: _____
NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

TREASURER'S CERTIFICATION

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC #:

UPC # 101706015951021521

UPC # 101706018951021522

BERNALILLO COUNTY TREASURERS OFFICE:

BY: _____ DATE: _____

SURVEYOR'S CERTIFICATION

I, DAN B. HOLMES, NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR NO. 9243, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST. THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND THE "MINIMUM STANDARDS FOR LAND SURVEYS" AS ESTABLISHED BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Dan B. Holmes
DAN B. HOLMES, P.S. NO. 9243

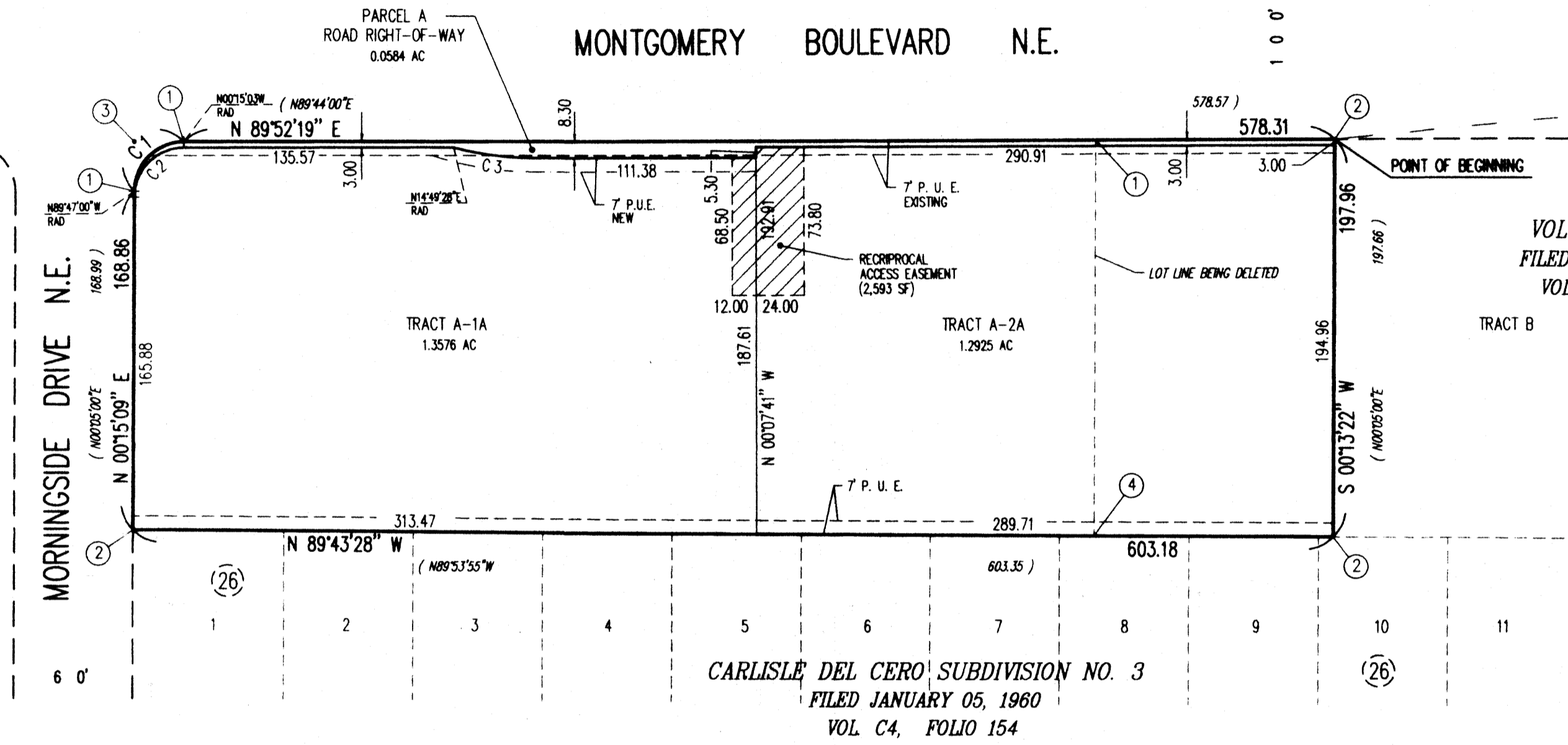
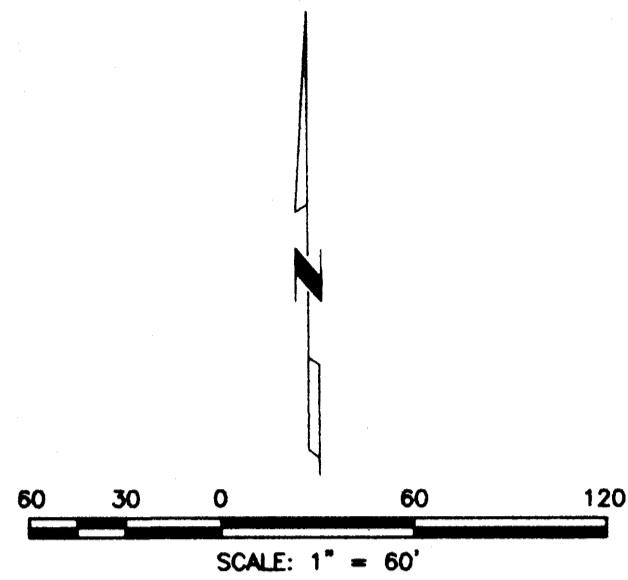
11-01-02
DATE



HUITT-ZOLLARS

333 RIO RANCHO DR. N.E., STE. 101
RIO RANCHO, N.M., 87124
(505) 892-5141

TRACTS A-1A, A-2A AND PARCEL A
 A REPLAT OF TRACTS A-1 AND A-2
VOL-ANDIA ADDITION
 WITHIN NE 1/4, NW 1/4 OF SECTION 2
 T. 10 N., R. 3 E., N. M. P. M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO
 NOVEMBER, 2002



FOUND ACS MONUMENT "M-6"
 N.M. STATE PLANE COORDINATES
 X=393,499.33 Y=1,503,152.62
 CENTRAL ZONE NAD 1927
 DELTA ALPHA = -0071218"
 GRID TO GROUND = .99966855

FOUND ACS MONUMENT "M-5A"
 N.M. STATE PLANE COORDINATES
 X=396,865.92 Y=1,503,065.00
 CENTRAL ZONE NAD 1927
 DELTA ALPHA = -0071155"
 GRID TO GROUND = .9996656

VOL-ANDIA ADDITION
 FILED NOVEMBER 18, 1977
 VOL B13, FOLIO 176

CARLISLE DEL CERRO SUBDIVISION NO. 3
 FILED JANUARY 05, 1960
 VOL C4, FOLIO 154

BOUNDARY EVIDENCE: UNLESS OTHERWISE INDICATED:

- ① Found No. 5 rebar w/ yellow plastic cap - PLS 10042
- ② Found No. 4 rebar (no cap) w/ aluminum strip tag marked PLS 10042 attached
- ③ Found No. 4 rebar (no cap) at PI of curve
- ④ Found concrete nail w/ yellow plastic tag - PLS 10042 in face of cinder block wall

All property corners are set with a 5/8" x 24" rebar with red or yellow plastic cap LS 9243. Attached brass tag stamped LS 9243 to found points in Items 1 and 2 with tie wire.

CURVE TABLE

NO	DELTA	RADIUS	ARC LGTH	TANGENT	CHORD
C1	89°31'57"	25.00	39.07	24.80	35.21
	(89°39'00")		(38.12)	(24.79)	(35.25)
C2	89°37'10"	25.00	39.10	24.83	35.24
C3	14°57'09"	156.62	40.87	20.55	40.76

NOTES: UNLESS OTHERWISE INDICATED

- AC - ACRES
- P.U.E. - PUBLIC UTILITY EASEMENT
- RAD - RADIAL

SURVEYOR'S CERTIFICATION

I, DAN B. HOLMES, NEW MEXICO REGISTERED PROFESSIONAL LAND SURVEYOR NO. 9243, DO HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS PREPARED UNDER MY DIRECT SUPERVISION, SHOWS ALL EASEMENTS MADE KNOWN TO ME BY THE OWNERS AND/OR PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST. THIS PLAT MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND THE "MINIMUM STANDARDS FOR LAND SURVEYS" AS ESTABLISHED BY THE STATE OF NEW MEXICO AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Dan B. Holmes
 DAN B. HOLMES, P.S. NO. 9243

11-01-02
 DATE



HUITT-ZOLLARS

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