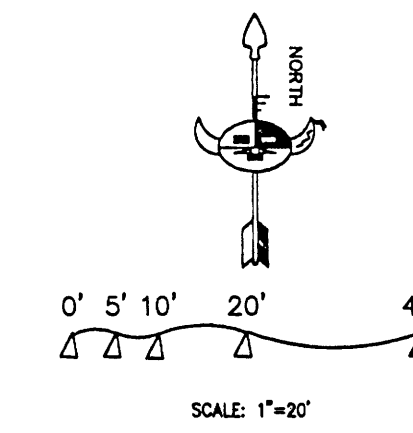
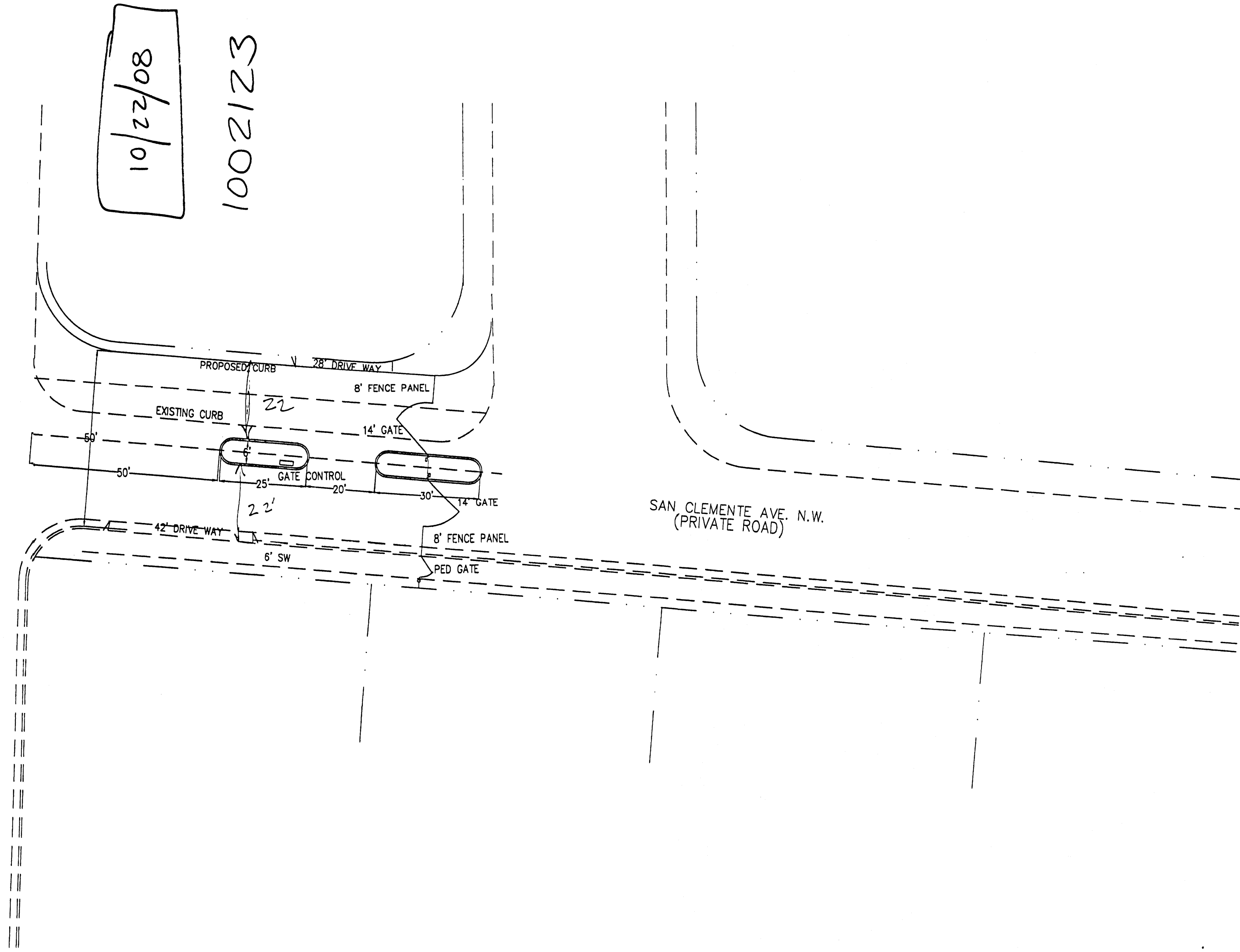


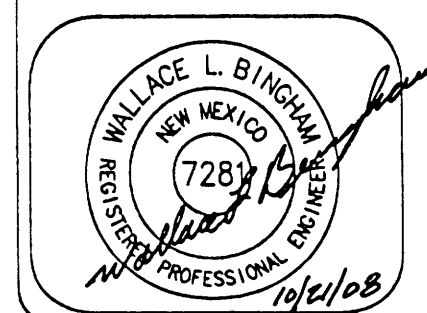
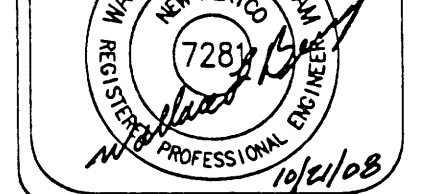
NORTH FOURTH STREET N.W.



DEL'S HIDE AWAY PARK SUBDIVI

PRIVACY GATE PLAN

Date

BINGHAM ENGINEERING
ALBUQUERQUE, NEW MEXICO
505 797 4699

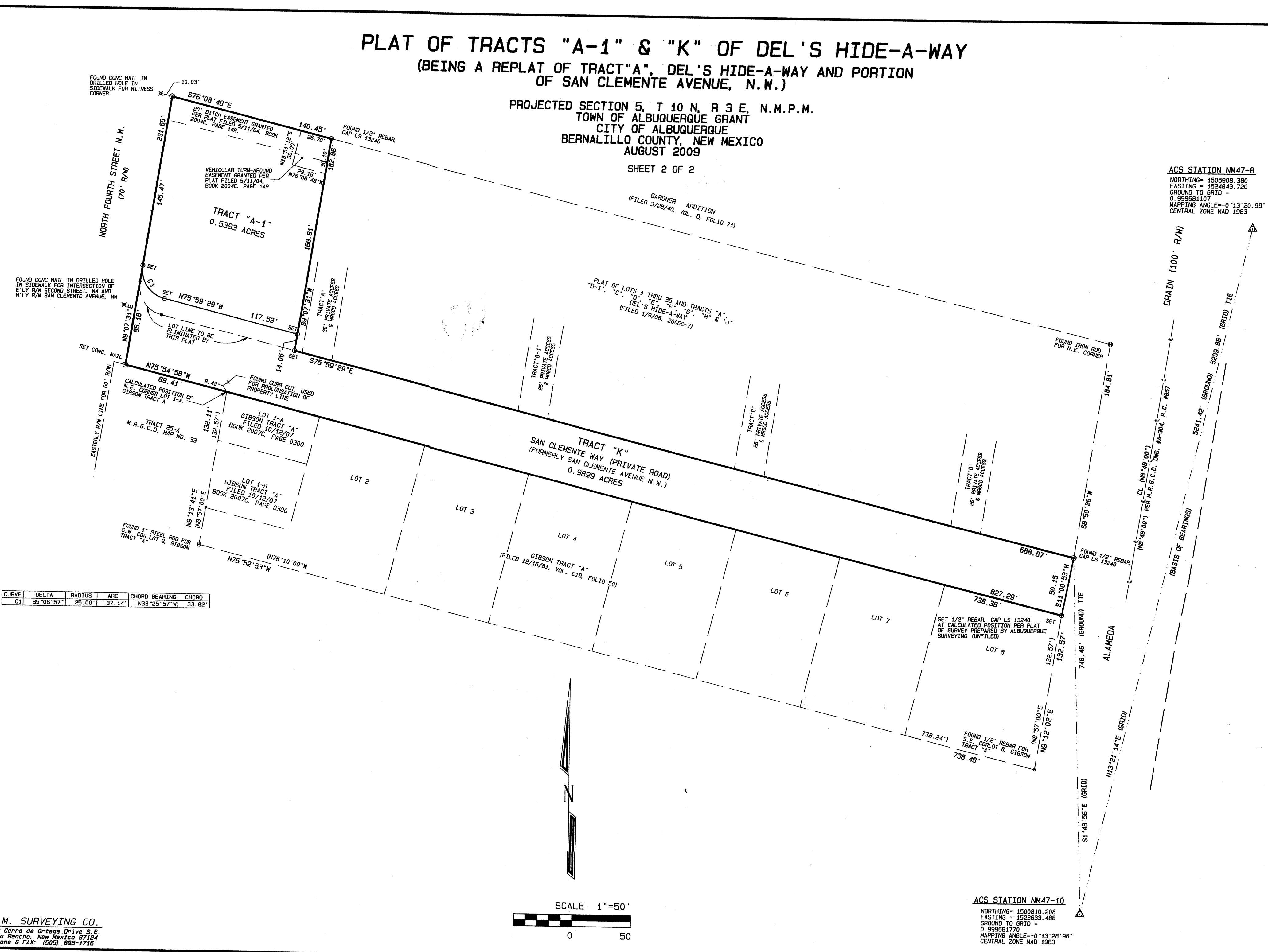
1

PLAT OF TRACTS "A-1" & "K" OF DEL'S HIDE-A-WAY (BEING A REPLAT OF TRACT "A", DEL'S HIDE-A-WAY AND PORTION OF SAN CLEMENTE AVENUE, N.W.)

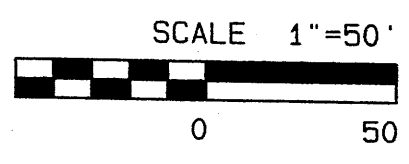
PROJECTED SECTION 5, T 10 N, R 3 E, N.M.P.M.
TOWN OF ALBUQUERQUE GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
AUGUST 2009

SHEET 2 OF 2

ACS STATION NM47-B
NORTHING= 1505908.380
EASTING = 1524843.720
GROUND TO GRID =
0.999681107
MAPPING ANGLE=-0°13'20.99"
CENTRAL ZONE NAD 1983



CURVE	DELTA	RADIUS	ARC	CHORD BEARING	CHORD
C1	85°06'57"	25.00'	37.14'	N33°29'57"W	33.82'



A.M. SURVEYING CO.
612 Cerro de Ortega Drive S.E.
Rio Rancho, New Mexico 87124
Phone & FAX: (505) 896-1716

ACS STATION NM47-10
NORTHING= 1500810.208
EASTING = 1523633.488
GROUND TO GRID
0.999681770
MAPPING ANGLE=-0°13'28'96"
CENTRAL ZONE NAD 1983

PLAT OF TRACTS "A-1" & "K" OF DEL'S HIDE-A-WAY
(BEING A REPLAT OF TRACT "A", DEL'S HIDE-A-WAY AND PORTION
OF SAN CLEMENTE AVENUE, N.M.)

PROJECTED SECTION 5, T 10 N, R 3 E, N.M.P.M.

CITY OF ALBUQUERQUE

BERNALILLO COUNTY, NEW MEXICO

AUGUST 2009

SHEET 1 OF 2

LEGAL DESCRIPTION

TRACT LETTERED "A", DEL'S HIDE-A-WAY, AS SHOWN AND DESIGNATED ON THAT CERTAIN PLAT ENTITLED, "PLAT OF TRACTS "A" & "B", DEL'S HIDE-A-WAY, (BEING A REPLAT OF TRACT 22-A-1 & 22-A-2, M.R.G.C.D. MAP NO. 33), SECTION 5, T. 10 N., R. 3 E., N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO JANUARY 2004, FILED IN BOOK 2004C, PAGE 149, TOGETHER WITH THAT PORTION OF SAN CLEMENTE AVENUE, N.M., RIGHT-OF-WAY BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE ALAMEDA DRAIN, ALSO BEING THE SOUTHEAST CORNER OF TRACT LETTERED "H" OF DEL'S HIDE-A-WAY, AS SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON JANUARY 9, 2006 IN BOOK 2006C, PAGE 7, HENCE ALBUQUERQUE CONTROL STATION NM 47-10, BEARS S17°48'56"E, 748.46 FEET DISTANCE; THENCE S14°00'53"W, ALONG SAID EASTERLY ALAMEDA DRAIN RIGHT-OF-WAY, 50.15 FEET DISTANT TO THE NORTHEAST CORNER OF LOT NUMBERED EIGHT (8), GIBSON TRACT "A", AS SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 19, 1981 IN VOLUME C-19, FOLIO 50; THENCE N75°54'58"W, ALONG THE NORTHERLY LINE OF SAID GIBSON TRACT "A", 739.98 FEET TO THE NORTHWEST CORNER OF LOT NUMBERED ONE (1) OF SAID GIBSON TRACT "A", SAID POINT ALSO BEING THE NORTHEAST CORNER OF TRACT TWENTY-FIVE-A (25-A), AS SAME IS SHOWN AND DESIGNATED ON THE MAPS OF THE MIDDLE RIO GRANDE CONSERVANCY, THENCE N75°54'58"W, ALONG THE NORTHERLY LINE SAID TRACT 25-A, 89.41 FEET DISTANT TO A POINT OF INTERSECTION WITH THE SOUTHERLY PROJECTION OF THE EASTERLY SECOND STREET, N.M., RIGHT-OF-WAY LINE; THENCE, 90°07'31"E, ALONG SAID EASTERLY SECOND STREET, N.M., RIGHT-OF-WAY LINE, 72.13 FEET DISTANT TO A POINT OF CURVATURE MAKING THE WESTERLY PROPERTY RETURN OF TRACT LETTERED "A", DEL'S HIDE-A-WAY, AS SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 11, 2004 IN BOOK 2004C, PAGE 149; THENCE, 37.14 FEET ALONG SAID CURVE CONCAVE TO THE NORTHEAST HAVING A RADIUS OF 25.00 FEET, THROUGH A CENTRAL ANGLE OF 85°06'57" (CHORD BEARS S33°25'57"E, 33.82 FEET), TO A POINT MARKING THE SOUTHERLY PROPERTY RETURN OF SAID TRACT LETTERED "A", DEL'S HIDE-A-WAY; THENCE, 575°59'29"E, 117.53 FEET DISTANT TO THE SOUTHWEST CORNER OF SAID TRACT LETTERED "A", 575°59'29"E, 688.87 FEET ALONG THE SOUTHERLY LINE OF SAID DEL'S HIDE-A-WAY TO THE POINT OF BEGINNING, CONTAINING 0.9447 ACRES, MORE OR LESS.

FREE CONSENT & DEDICATION

SURVEYED AND REPLATTED AS SHOWN HEREON, AND NOW TO BE DESIGNATED AS TRACTS "A-1" AND "K". DEL'S HIDE-A-WAY, WITH THE CONSENT OF AND IN ACCORDANCE WITH THE WISHES OF THE UNDERSIGNED OWNERS THEREOF. THE UNDERSIGNED OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFENSIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED, AND ACKNOWLEDGE THAT THIS PLAT IS WITHIN THE COVENANTS AND RESTRICTIONS ON THIS PROPERTY. THE UNDERSIGNED ALSO CONSENT TO THE GRANTING OF ALL EASEMENTS AND RESTRICTIONS AS SHOWN HEREON.

- SUBDIVISION DATA / NOTES**
1. PLAT WAS COMPILED FROM A FIELD SURVEY AND EXISTING RECORD INFORMATION, AND ARE BASED ON ACS CONTROL STATIONS NM47-B AND NM47-10, AS SHOWN HEREON.
 2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE MAP 1983.
 3. DISTANCES ARE GROUND DISTANCES.
 4. PLAT SHOWS ALL EASEMENTS OF RECORD.
 5. DATA WITHIN PARENTHESES () ARE RECORD PER THE FOLLOWING PLATS:
 - A. GARDNER ADDITION, FILED 9/28/40, VOL. D, FOLIO 71.
 - B. GIBSON TRACT "A", FILED 12/16/83, VOL. C19, FOLIO 50.
 - C. PLAT OF DEL'S HIDE-A-WAY, FILED 5/11/04, BOOK 2004C, PAGE 149.
 - D. PLAT OF DEL'S HIDE-A-WAY, FILED 1/9/06, BOOK 2006C, PAGE 7.
 - E. PLAT OF LOTS 1-A & 1-B GIBSON TRACT A, FILED 10/12/07, BOOK 2007C, PAGE 0300.
 6. GROSS ACREAGE = 1.5382 ACRES
 7. NUMBER OF EXISTING TRACTS = 1
 8. NUMBER OF TRACTS CREATED = 2
 9. PROPERTY SURVEYED JULY, 2009.
 10. EXISTING ZONING IS SU-1 FOR RT.
 11. TALOS LOG NO. 2009490344
 12. CITY WATER AND SEWER SERVICE IS AVAILABLE TO PROPERTY.
- NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS WITHIN THE AREA OF THE PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT OR SITE DEVELOPMENT PLAN FOR SUBDIVISION.

VICINITY MAP
 NOT TO SCALE
 ZONE PAGE G-14-Z

M.R.G.C.D. APPROVAL STATEMENT
 APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS, RIGHTS OF WAY, ASSESSMENTS AND LIENS, ARE FULLY RESERVED TO SAID DISTRICT, AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVISION, ADDITION, OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION MATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

APPROVED _____ DATE _____

NOTARY ACKNOWLEDGEMENT

STATE OF NEW MEXICO }
 COUNTY OF _____ }
 S.S. }
 BY: _____
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2009,

 NOTARY PUBLIC

PAMELA J. SHEETS

PHILIP D. SHEETS

APPROVALS

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____

UTILITIES DEVELOPMENT _____ DATE _____

PARKS AND RECREATION DEPARTMENT _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

CITY OF ALBUQUERQUE SURVEYOR _____ DATE _____

M.R.G.C.D. _____ DATE _____

A.M.A.F.C.A. _____ DATE _____

REAL PROPERTY DIVISION _____ DATE _____

ABQWA _____ DATE _____

UTILITY APPROVALS

NEW MEXICO GAS COMPANY _____ DATE _____

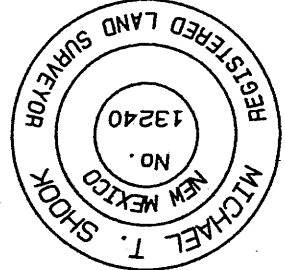
P.N.M. ELECTRIC SERVICES _____ DATE _____

BEST COMMUNICATIONS _____ DATE _____

COMCAST CABLE _____ DATE _____

SURVEYORS CERTIFICATION

I, MICHAEL T. SHOOK, A DULY QUALIFIED, REGISTERED PROFESSIONAL SURVEYOR UNDER THE MERE PREPARATION BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR THE PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST AND MEETS THE MINIMUM REQUIREMENTS FOR NONUMENTATION AND SURVEY OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO (EFFECTIVE NOVEMBER 1, 1989 AND REVISIONS, FEBRUARY 2, 1994 TO OCTOBER 1, 2000), AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.



MICHAEL T. SHOOK _____
 NMLS NO. 13240 _____
 DATE _____

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON UPC NO. _____

PROPERTY OWNER OF RECORD _____

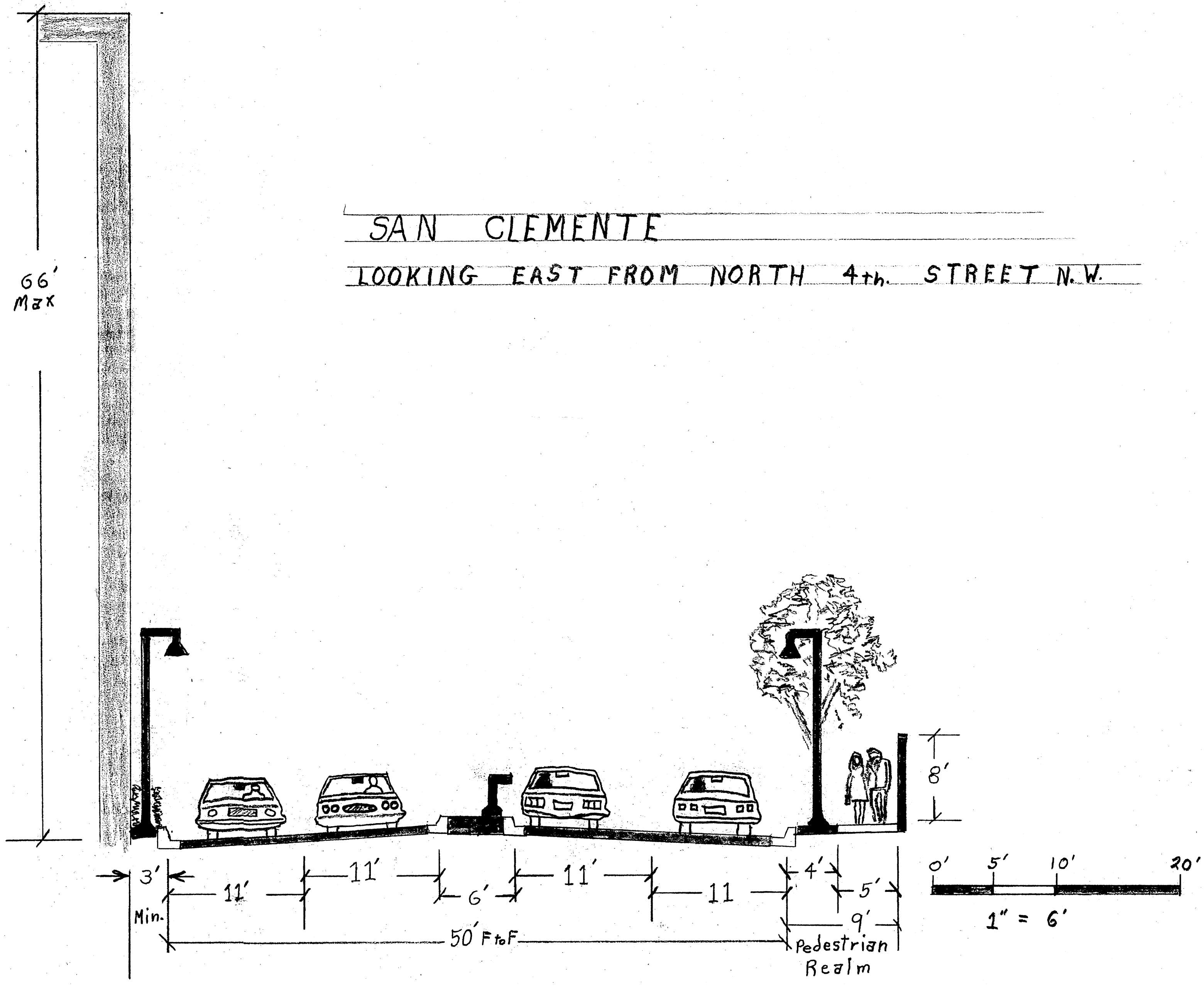
BERNALILLO COUNTY TREASURERS OFFICE _____

INDEXING INFORMATION FOR COUNTY CLERK

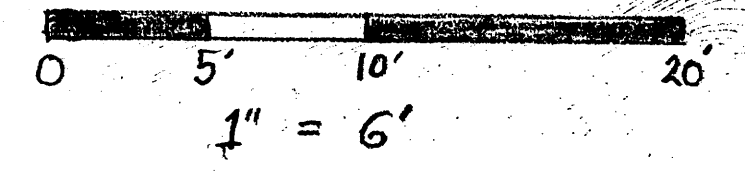
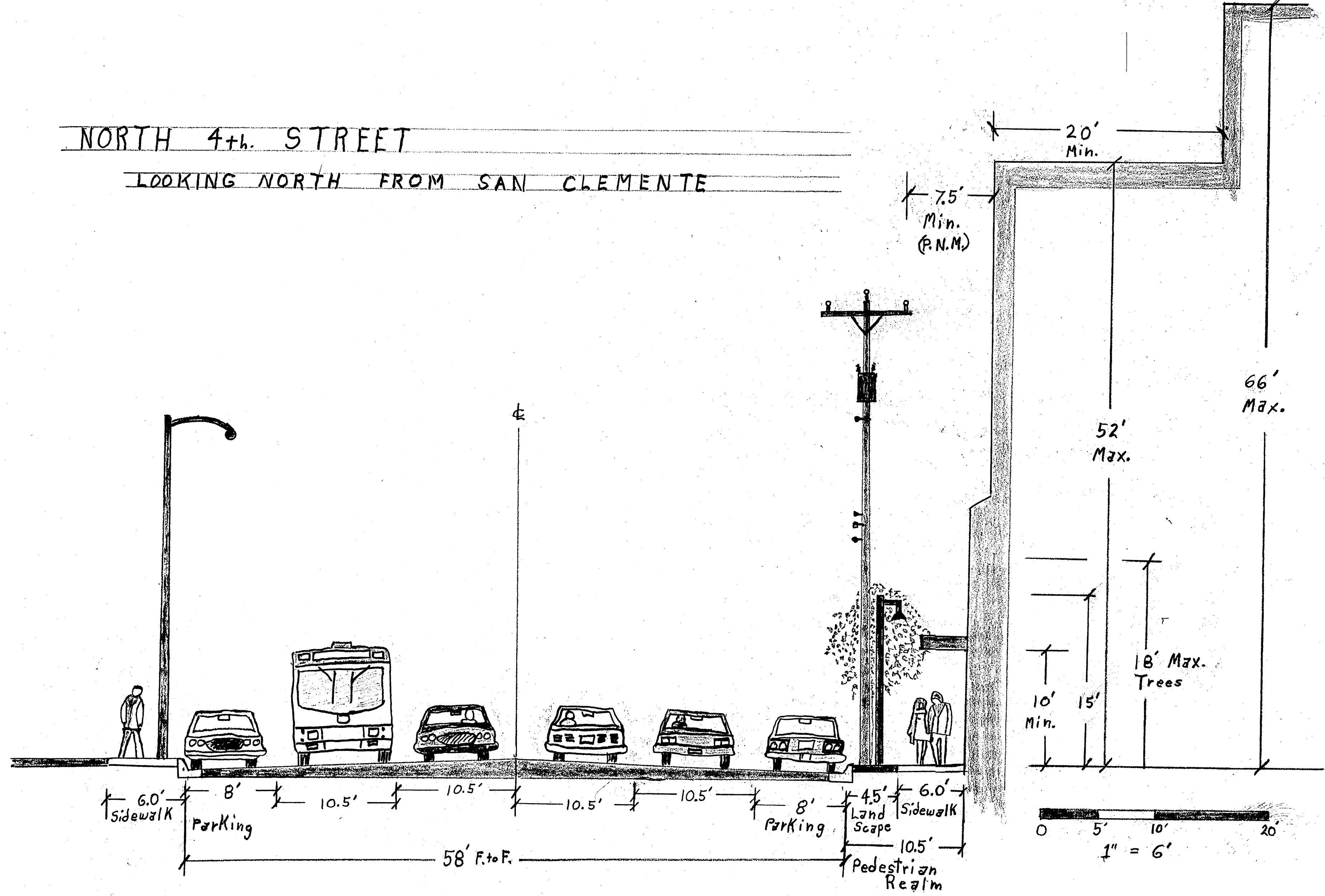
OWNERS: PAM & PHIL SHEETS
 LOCATION: SECTION 5, T 10 N, R 3 E, NMPM
 SUBDIVISION: DEL'S HIDE-A-WAY PARK

A.M. SURVEYING CO.
 612 Cerro de Ortega Drive S.E.
 Albuquerque, New Mexico 87124
 Phone & Fax: (505) 886-1716

SAN CLEMENTE
LOOKING EAST FROM NORTH 4th STREET N.W.



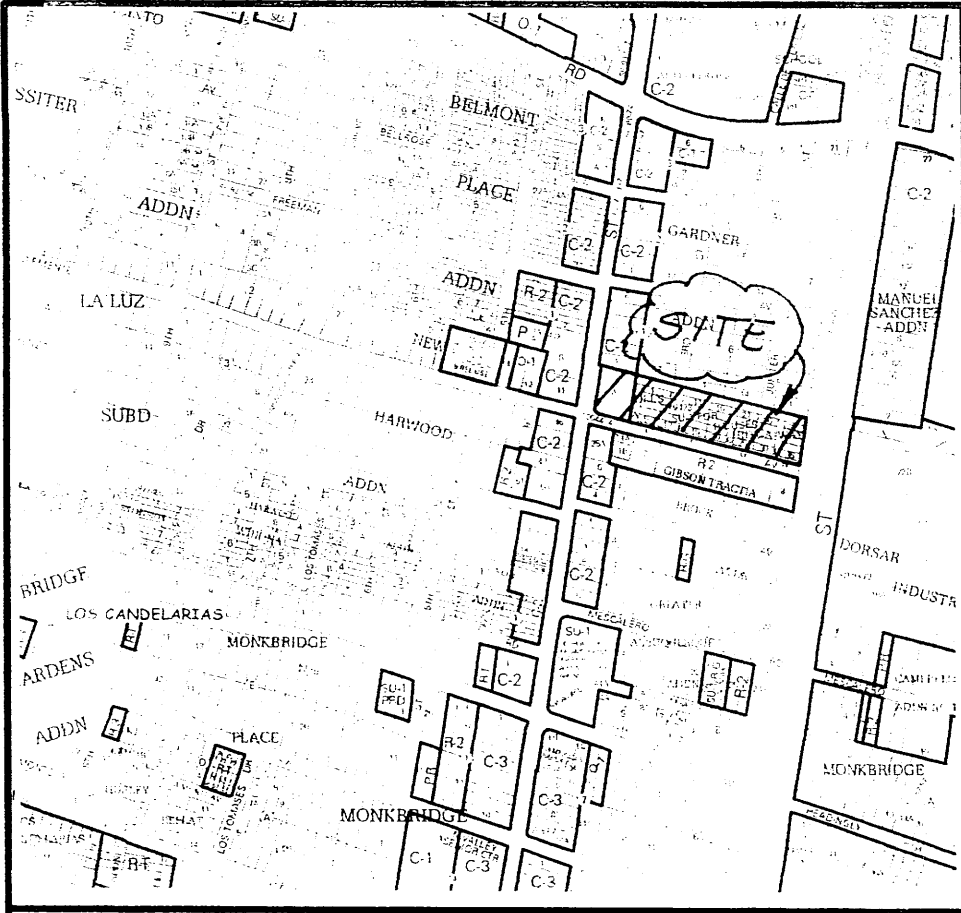
NORTH 4th STREET
 LOOKING NORTH FROM SAN CLEMENTE



PLAT OF DEL'S HIDE-A-WAY PARK

PROJECTED SECTION 5, T 10 N, R 3 E, N.M.P.M.
TOWN OF ALBUQUERQUE GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER 2009

SHEET 1 OF 2



VICINITY MAP
NOT TO SCALE
ZONE PAGE G-14-Z

SUBDIVISION DATA / NOTES

- PLAT WAS COMPILED FROM A FIELD SURVEY AND EXISTING RECORD INFORMATION.
- BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1983, AND ARE BASED ON ACS CONTROL STATIONS NM47-8 AND NM47-10, AS SHOWN HEREON.
- DISTANCES ARE GROUND DISTANCES.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- DATA WITHIN PARENTHESES () ARE RECORD PER THE FOLLOWING PLATS:
A. GARDNER ADDITION, FILED 3/28/40, VOL. D, FOLIO 71.
B. GIBSON TRACT "A", FILED 12/16/81, VOL. C19, FOLIO 50.
C. PLAT OF DEL'S HIDE-A-WAY PARK, FILED 5/11/04, BOOK 2004C, PAGE 149.
D. PLAT OF DEL'S HIDE-A-WAY, FILED 1/9/06, BOOK 2006C, PAGE 7.
E. PLAT OF LOTS 1-A & 1-B GIBSON TRACT A, FILED 10/12/07, BOOK 2007C, PAGE 0300.
- GROSS ACREAGE = 4.4233 ACRES
- NUMBER OF EXISTING TRACTS = 10
- NUMBER OF TRACTS CREATED = 7
- NUMBER OF EXISTING LOTS = 35
- NUMBER OF LOTS CREATED = 35
- PROPERTY SURVEYED JULY, 2009.
- TALOS LID# NO. 20090344
- CITY WATER AND SEWER SERVICE IS AVAILABLE TO PROPERTY.
- NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THE PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO CREATE 35 LOTS AND 7 TRACTS, TO VACATE TWO (2) EASEMENTS, TO ELIMINATE PORTIONS OF EXISTING TRACT LINES, TO VACATE PORTION OF SAN CLEMENTE AVENUE, N.W. RIGHT-OF-WAY AND TO GRANT PRIVATE ACCESS, PUBLIC UTILITY, PRIVATE DRAINAGE, PUBLIC WATERLINE AND SEWER EASEMENTS AS SHOWN HEREON.

M.R.G.C.D. APPROVAL STATEMENT

APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS, RIGHTS OF WAY, ASSESSMENTS AND LIENS, ARE FULLY RESERVED TO SAID DISTRICT, AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER FOR THE SUBDIVISION, ADDITION, OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

APPROVED _____ DATE _____

FREE CONSENT & DEDICATION

SURVEYED AND REPLATTED AS SHOWN HEREON, AND NOW TO BE DESIGNATED AS LOTS 1 THRU 35, TRACTS "A", "B", "C", "D", "E", "F" AND "G", DEL'S HIDE-A-WAY PARK, WITH THE FREE CONSENT OF AND IN ACCORDANCE WITH THE WISHES OF THE UNDERSIGNED OWNERS THEREOF. THE UNDERSIGNED OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED. THE UNDERSIGNED ALSO CONSENT TO THE GRANTING OF ALL EASEMENTS SHOWN HEREON.

Pamela J. Sheets
PAMELA J. SHEETS
Philip D. Sheets
PHILIP D. SHEETS

NOTARY ACKNOWLEDGEMENT

STATE OF NEW MEXICO }
COUNTY OF } s.s.

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 10th DAY OF December, 2009.

BY: *Pamela J. Sheets and Philip D. Sheets*

MY COMMISSION EXPIRES:
3-13-2011

Theresa Jacobson
NOTARY PUBLIC
My commission expires: 3-13-2011

LEGAL DESCRIPTION

TRACT LETTERED "A", DEL'S HIDE-A-WAY PARK, AS SAME IS SHOWN AND DESIGNATED ON THAT CERTAIN PLAT ENTITLED, "PLAT OF TRACTS "A" & "B" DEL'S HIDE-A-WAY PARK, (BEING A REPLAT OF TRACTS 22-A-1 & 22-A-2, M.R.G.C.D. MAP NO. 33), SECTION 5, T. 10 N., R. 3 E., N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO JANUARY 2004", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 11, 2004, IN BOOK 2004C, PAGE 149, AND LOTS 1 THRU 35 AND TRACTS "A", "B-1", "C", "D", "E", "F", "G", AND "H", AS SAME IS SHOWN AND DESIGNATED ON THAT CERTAIN PLAT ENTITLED, "PLAT OF LOTS 1 THRU 35 AND TRACTS "A", "B-1", "C", "D", "E", "F", "G", "H" & "J" DEL'S HIDE-A-WAY (BEING A REPLAT OF TRACT "B", DEL'S HIDE-A-WAY) SECTION 5, T 10 N, R 3 E, N.M.P.M., CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO NOVEMBER 2005", AS FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 9, 2006 IN BOOK 2006C, PAGE 7, AND THAT PORTION OF SAN CLEMENTE AVENUE, N.W., RIGHT-OF-WAY LYING BETWEEN THE EASTERLY RIGHT-OF-WAY LINE OF NORTH FOURTH STREET, N.W. AND THE WESTERLY RIGHT-OF-WAY LINE OF THE ALAMEDA DRAIN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE ALAMEDA DRAIN, BEING A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF SAID SAN CLEMENTE AVENUE, N.W. ALSO BEING THE SOUTHEAST CORNER OF SAID TRACT LETTERED LETTERED "H" OF DEL'S HIDE-A-WAY, WHENCE ALBUQUERQUE CONTROL STATION NM 47-10, BEARS S1°48'56"E. 748.46 FEET DISTANCE; THENCE,

S11°00'54"W. ALONG SAID WESTERLY ALAMEDA DRAIN RIGHT-OF-WAY, 50.15 FEET DISTANT TO THE NORTHEAST CORNER OF LOT NUMBERED EIGHT (8), GIBSON TRACT "A", AS SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 16, 1981 IN VOLUME C-19, FOLIO 50; THENCE,

N75°54'58"W. ALONG THE NORTHERLY LINE OF SAID GIBSON TRACT "A", 738.38 FEET TO THE NORTHWEST CORNER OF LOT NUMBERED ONE-A (1-A) OF GIBSON TRACT A, AS SAME IS SHOWN AND DESIGNATED ON THAT CERTAIN PLAT ENTITLED, "PLAT OF LOTS 1-A & 1-B GIBSON TRACT "A" PROJECTED SECTION 5, T. 10 N., R. 3 E., N.M.P.M., TOWN OF ALBUQUERQUE GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO SEPTEMBER 2007", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 12, 2007 IN BOOK 2007C, PAGE 0300 AND ALSO BEING THE NORTHEAST CORNER OF TRACT NUMBERED AND LETTERED TWENTY-FIVE-A (25-A), M.R.G.C.D. MAP NO. 33, AS SAME IS SHOWN AND DESIGNATED ON SAID MAPS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT; THENCE,

N75°54'58"W. ALONG THE NORTHERLY LINE OF SAID TRACT 25-A, 89.41 FEET DISTANT TO A POINT OF INTERSECTION WITH THE SOUTHERLY PROJECTION OF THE EASTERLY SECOND STREET, N.W., RIGHT-OF-WAY LINE; THENCE,

N9°07'31"E. ALONG SAID EASTERLY SECOND STREET, N.W., RIGHT-OF-WAY LINE, 231.65 FEET DISTANT TO THE NORTHWEST CORNER OF SAID TRACT "A", DEL'S HIDE-A-WAY PARK; THENCE,

LEAVING SAID RIGHT-OF-WAY LINE, S76°08'48"E, 828.24 FEET DISTANT TO THE NORTHEAST CORNER OF SAID TRACT "J"; THENCE,

S8°50'26"W. ALONG THE WEST LINE OF SAID ALAMEDA DRAIN, 184.81 FEET DISTANT TO THE POINT OF BEGINNING, CONTAINING 4.4233 ACRES, MORE OR LESS.

PUBLIC UTILITY EASEMENTS

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

- NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS.
- PUBLIC SERVICE COMPANY OF NEW MEXICO FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT, FIXTURES, STRUCTURES AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRIC SERVICE.
- QWEST FOR INSTALLATION, MAINTENANCE AND SERVICE OF ALL BURIED AND AERIAL COMMUNICATION LINES AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES, INCLUDING BUT NOT LIMITED TO ABOVE GROUND PEDESTALS AND CLOSURES.
- CABLE TV FOR INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICE.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM, AND OVER SAID RIGHT OF WAY AND EASEMENT, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, AND TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING SIGN, POOL (ABOVE GROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURES SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON.

DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMG) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMG DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

APPROVALS

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION _____ DATE _____

UTILITIES DEVELOPMENT _____ DATE _____

PARKS AND RECREATION DEPARTMENT _____ DATE _____

CITY ENGINEER _____ DATE _____

DRB CHAIRPERSON, PLANNING DEPARTMENT _____ DATE _____

Phil B. York
CITY OF ALBUQUERQUE SURVEYOR _____ DATE 12-10-09

M.R.G.C.D. _____ DATE _____

A.M.A.F.C.A. _____ DATE _____

REAL PROPERTY DIVISION _____ DATE _____

ABCWA _____ DATE _____

UTILITY APPROVALS

NEW MEXICO GAS COMPANY _____ DATE _____

P.N.M. ELECTRIC SERVICES _____ DATE _____

QWEST COMMUNICATIONS _____ DATE _____

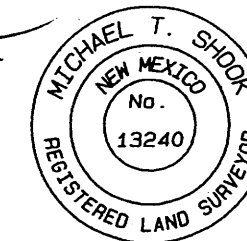
COMCAST CABLE _____ DATE _____

SURVEYORS CERTIFICATION

I, MICHAEL T. SHOOK, A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR THE PROPRIETORS OF THE SUBDIVISION SHOWN HEREON. UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO (EFFECTIVE DATE OF MAY 1, 2007) AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Michael T. Shook
MICHAEL T. SHOOK _____ NMLS NO. 13240 _____ DATE 12-10-09

A.M. SURVEYING CO.
612 Cerro de Ortega Drive S.E.
Rio Rancho, New Mexico 87124
Phone & FAX: (505) 896-1716



THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON UPC NO. _____

PROPERTY OWNER OF RECORD _____

BERNALILLO COUNTY TREASURERS OFFICE _____

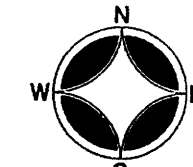
INDEXING INFORMATION FOR COUNTY CLERK

OWNERS: PAM & PHIL SHEETS
LOCATION: PROJECTED SECTION 5, T 10 N, R 3 E, NMPM
SUBDIVISION: DEL'S HIDE-A-WAY PARK

PLAT OF DEL'S HIDE-A-WAY PARK

PROJECTED SECTION 5, T 10 N, R 3 E, N.M.P.M.
TOWN OF ALBUQUERQUE GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER 2009

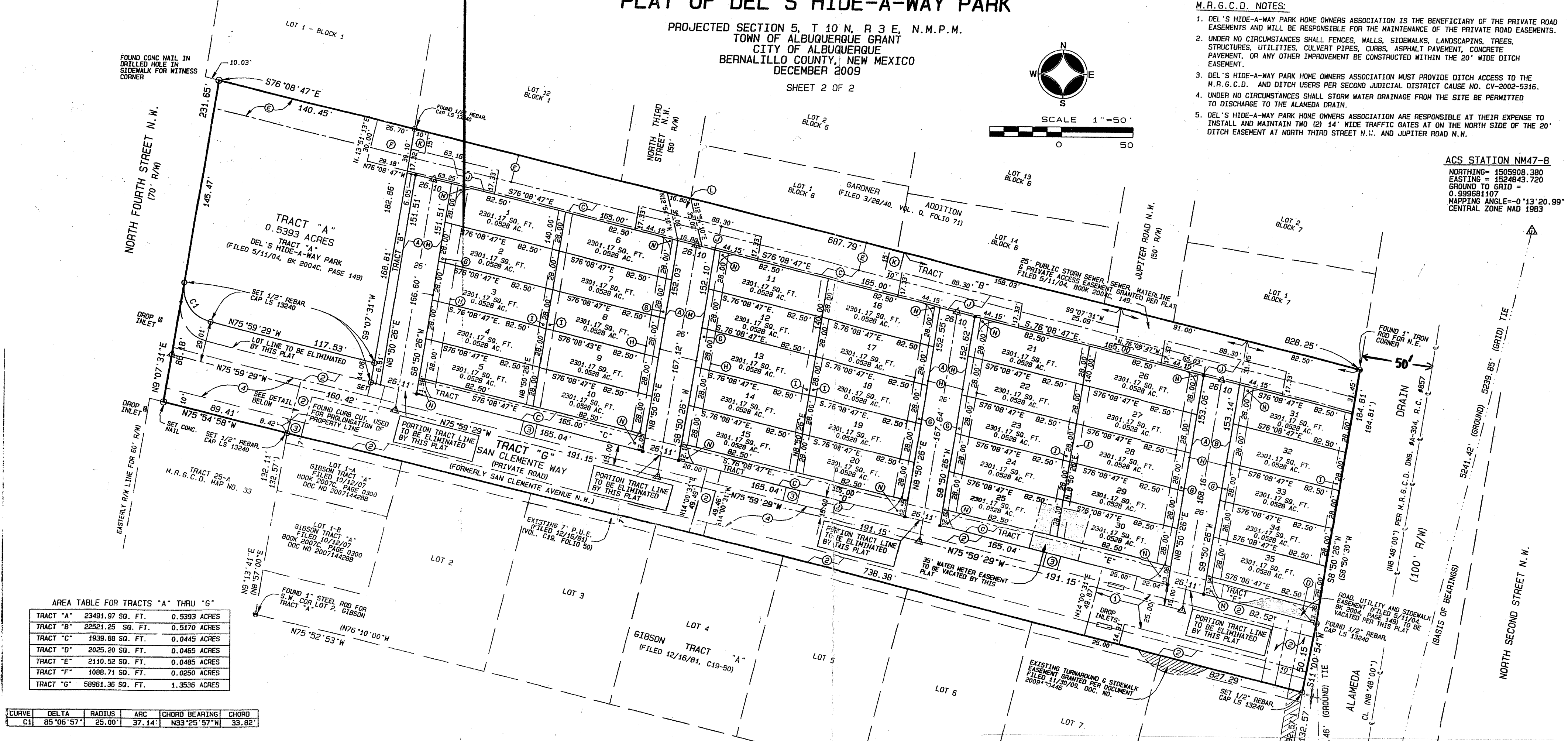
SHEET 2 OF 2



M.R.G.C.D. NOTES:

- DEL'S HIDE-A-WAY PARK HOME OWNERS ASSOCIATION IS THE BENEFICIARY OF THE PRIVATE ROAD EASEMENTS AND WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PRIVATE ROAD EASEMENTS.
- UNDER NO CIRCUMSTANCES SHALL FENCES, WALLS, SIDEWALKS, LANDSCAPING, TREES, STRUCTURES, UTILITIES, CULVERT PIPES, CURBS, ASPHALT PAVEMENT, CONCRETE PAVEMENT, OR ANY OTHER IMPROVEMENT BE CONSTRUCTED WITHIN THE 20' WIDE DITCH EASEMENT.
- DEL'S HIDE-A-WAY PARK HOME OWNERS ASSOCIATION MUST PROVIDE DITCH ACCESS TO THE M.R.G.C.D. AND DITCH USERS PER SECOND JUDICIAL DISTRICT CAUSE NO. CV-2002-5316.
- UNDER NO CIRCUMSTANCES SHALL STORM WATER DRAINAGE FROM THE SITE BE PERMITTED TO DISCHARGE TO THE ALAMEDA DRAIN.
- DEL'S HIDE-A-WAY PARK HOME OWNERS ASSOCIATION ARE RESPONSIBLE AT THEIR EXPENSE TO INSTALL AND MAINTAIN TWO (2) 14' WIDE TRAFFIC GATES AT ON THE NORTH SIDE OF THE 20' DITCH EASEMENT AT NORTH THIRD STREET N.W. AND JUPITER ROAD N.W.

ACS STATION NM47-8
NORTHING= 1505908.380
EASTING = 1524843.720
GROUND TO GRID =
0.899681107
MAPPING ANGLE=0°13'20.99"
CENTRAL ZONE NAD 1983



AREA TABLE FOR TRACTS "A" THRU "G"

TRACT "A"	23491.97 SQ. FT.	0.5393 ACRES
TRACT "B"	22521.25 SQ. FT.	0.5170 ACRES
TRACT "C"	1939.88 SQ. FT.	0.0445 ACRES
TRACT "D"	2025.20 SQ. FT.	0.0465 ACRES
TRACT "E"	2110.52 SQ. FT.	0.0485 ACRES
TRACT "F"	1088.71 SQ. FT.	0.0250 ACRES
TRACT "G"	59961.36 SQ. FT.	1.3536 ACRES

CURVE	DELTA	RADIUS	ARC	CHORD BEARING	CHORD
C1	85°06'57"	25.00'	37.14'	N33°25'57"W	33.82'

EASEMENTS GRANTED BY THIS PLAT

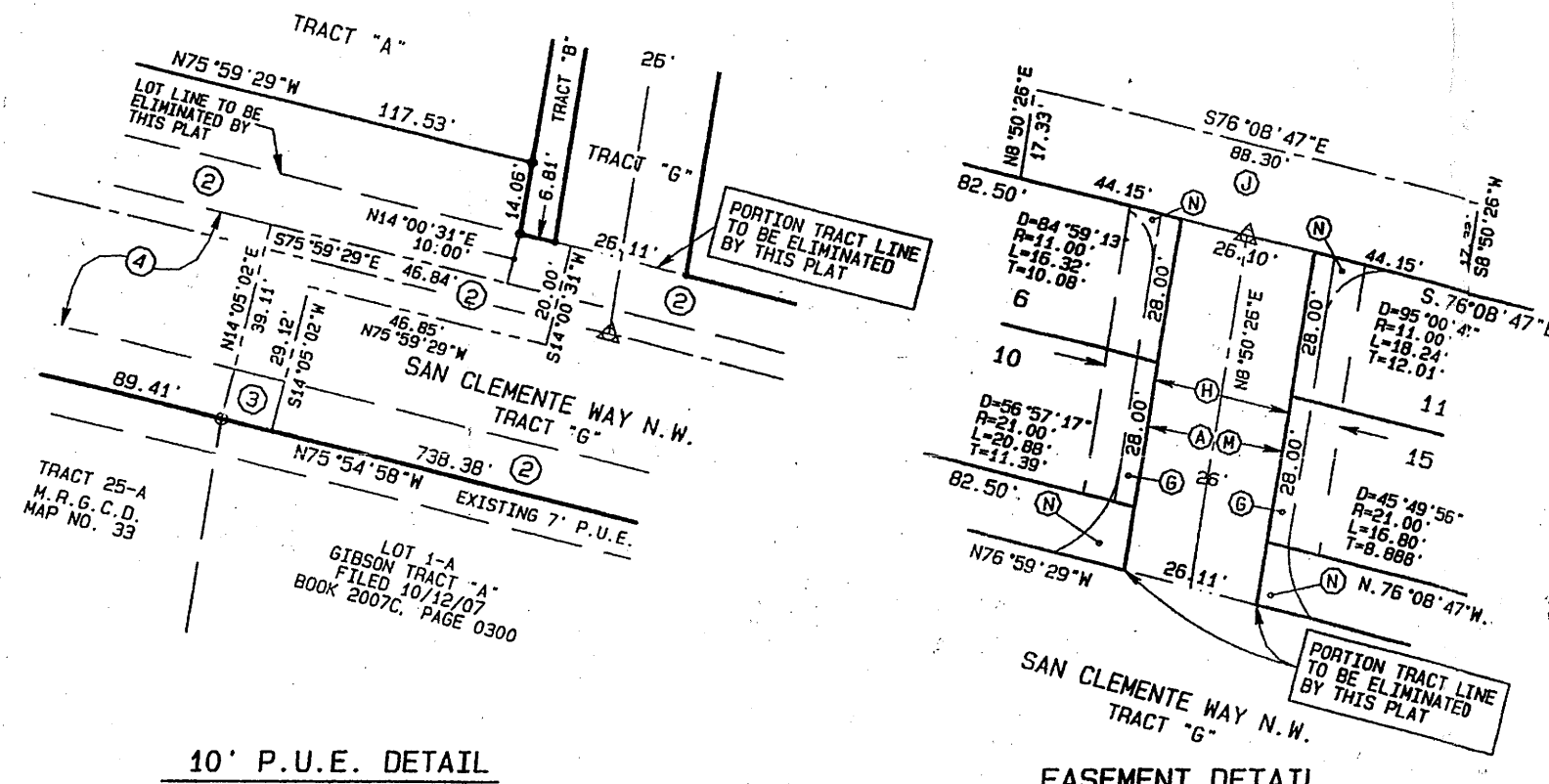
- 25' STORM DRAIN EASEMENT
- 10' PUBLIC UTILITY EASEMENT
- 10' x 10' PRIVATE DRAINAGE EASEMENT
- WATERLINE & SEWER EASEMENT GRANTED TO ABCMUA (VARIABLE WIDTH 29.1' TO 30')

EASEMENTS PREVIOUSLY GRANTED

- (PER PLAT FILED 5/11/04, BOOK 2004C, PAGE 149)
- 25' PRIVATE ACCESS & M.R.G.C.D. ACCESS EASEMENT
 - 25' WIDE PRIVATE ACCESS, 26' WIDE M.R.G.C.D. ACCESS AND 25' WIDE PUBLIC WATERLINE & STORM DRAIN EASEMENTS
 - 10' P.U.E.
 - 70' x 10' P.M. EASEMENT
 - 20' DITCH EASEMENT IN FAVOR OF THE M.R.G.C.D.
 - VEHICULAR TURNAROUND EASEMENT

EASEMENTS PREVIOUSLY GRANTED

- (PER PLAT FILED 1/09/06, BOOK 2006C, PAGE 7)
- 4' WIDE PRIVATE SIDEWALK ACCESS EASEMENT
 - 10' WIDE P.U.E.
 - 5' WIDE PRIVATE DRAINAGE EASEMENT
 - VEHICULAR TURNAROUND EASEMENT
 - 10' x 15' ANCHOR EASEMENT
 - 15' WATERLINE EASEMENT IN FAVOR OF ABCMUA
 - 25' WIDE PUBLIC SEWER & WATERLINE EASEMENTS GRANTED TO THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY (ABCMUA)
 - PRIVATE ACCESS AND SIDEWALK EASEMENT APPLICABLE FOR LOTS 1, 5, 6, 10, 11, 15, 16, 20, 21, 25, 30, 31, 35 & TRACTS C, D, E AND F



NOTES:

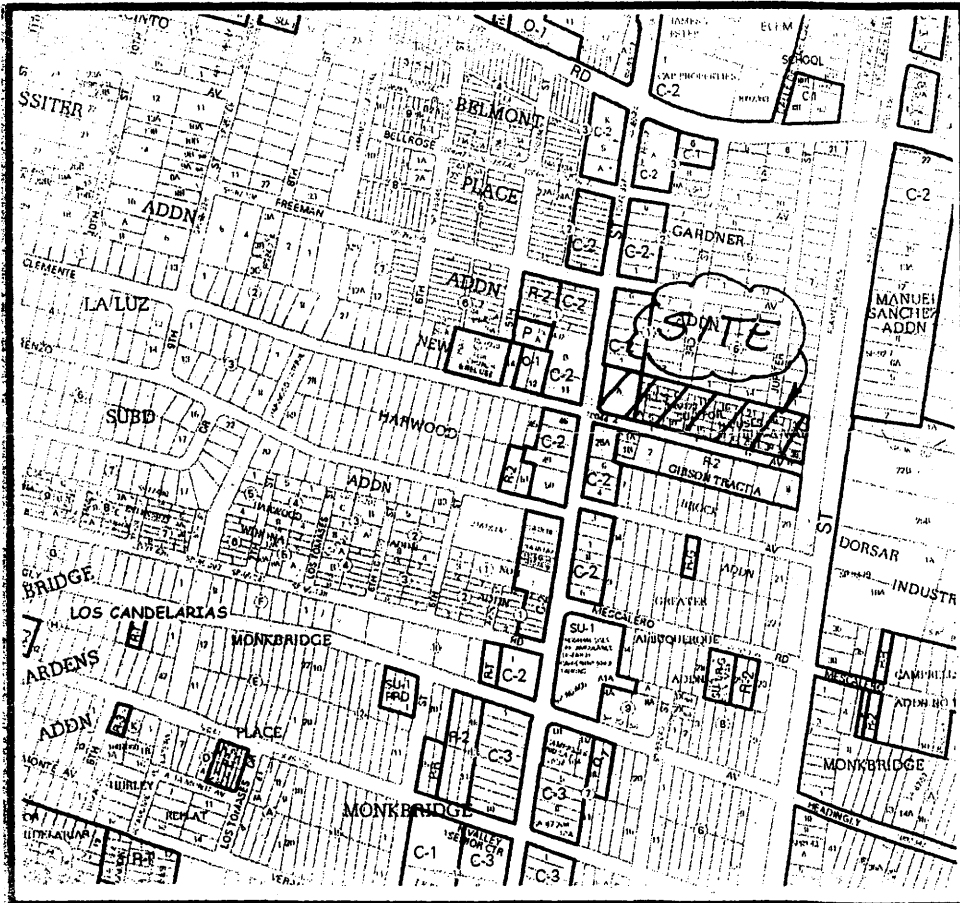
UPON THE FILING OF THIS PLAT, DEL'S HIDE-A-WAY PARK HOME OWNERS ASSOCIATION SHALL BE FORMED AND THE BY-LAWS OF SAID ASSOCIATION SHALL BE FILED WITH THE COUNTY CLERK'S OFFICE OF BERNALILLO COUNTY.

PROPOSED TRACTS B, C, D, E, F, & G OF DEL'S HIDE-A-WAY PARK ARE TO BE CONVEYED TO SAID ASSOCIATION AND WILL BE BURDENED BY PUBLIC UTILITY EASEMENTS, PRIVATE DRAINAGE EASEMENTS, M.R.G.C.D. ACCESS EASEMENTS AND PRIVATE ACCESS EASEMENTS AS SHOWN HEREON.

DEL'S HIDE-A-WAY PARK HOME OWNERS ASSOCIATION, TRACT 25-A, M.R.G.C.D. MAP NO. 33, LOTS 1-A, 1-B, 2, 3, 4, 5, 6, 7 & 8 OF GIBSON TRACT A, AND LOTS 1 THRU 35 AND TRACT A OF DEL'S HIDE-A-WAY PARK ARE JOINTLY THE BENEFICIARIES OF SAID EASEMENTS.

DEL'S HIDE-A-WAY HOME OWNERS ASSOCIATION AS WELL AS THE INDIVIDUAL LOT OWNERS OF LOTS 1 THRU 35, DEL'S HIDE-A-WAY PARK ARE JOINTLY AND INDIVIDUALLY RESPONSIBLE FOR THE MAINTENANCE, REPAIR OR REPLACEMENT OF THE FIXTURES AND/OR LANDSCAPING ON SAID EASEMENTS.

ACS STATION NM47-10
NORTHING= 1500810.208
EASTING = 1523633.488
GROUND TO GRID =
0.899681770
MAPPING ANGLE=0°13'28.96"
CENTRAL ZONE NAD 1983



VICINITY MAP
NOT TO SCALE
ZONE PAGE 6-14-Z

PLAT OF DEL'S HIDE-A-WAY PARK

PROJECTED SECTION 5, T 10 N, R 3 E, N.M.P.M.
TOWN OF ALBUQUERQUE GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER 2009

SHEET 1 OF 2

LEGAL DESCRIPTION

TRACT LETTERED "A", DEL'S HIDE-A-WAY PARK, AS SAME IS SHOWN AND DESIGNATED ON THAT CERTAIN PLAT ENTITLED, "PLAT OF TRACTS "A" & "B" DEL'S HIDE-A-WAY PARK, (BEING A REPEAT OF TRACTS 22-A-1 & 22-A-2, M.R.G.C.D. MAP NO. 33), SECTION 5, T. 10 N., R. 3 E., N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO JANUARY 2004", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 11, 2004, IN BOOK 2004C, PAGE 149, AND LOTS 1 THRU 35 AND TRACTS "A", "B-1", "C", "D", "E", "F", "G", AND "H", AS SAME IS SHOWN AND DESIGNATED ON THAT CERTAIN PLAT ENTITLED, "PLAT OF LOTS 1 THRU 35 AND TRACTS "A", "B-1", "C", "D", "E", "F", "G", "H" & "J" DEL'S HIDE-A-WAY (BEING A REPEAT OF TRACT "B", DEL'S HIDE-A-WAY) SECTION 5, T 10 N, R 3 E, N.M.P.M., CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO NOVEMBER 2005", AS FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON JANUARY 9, 2006 IN BOOK 2006C, PAGE 7, AND THAT PORTION OF SAN CLEMENTE AVENUE, N.W., RIGHT-OF-WAY LYING BETWEEN THE EASTERLY RIGHT-OF-WAY LINE OF NORTH FOURTH STREET, N.W. AND THE WESTERLY RIGHT-OF-WAY LINE OF THE ALAMEDA DRAIN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE ALAMEDA DRAIN, BEING A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF SAID SAN CLEMENTE AVENUE, N.W., ALSO BEING THE SOUTHEAST CORNER OF SAID TRACT LETTERED LETTERED "H" OF DEL'S HIDE-A-WAY, WHENCE ALBUQUERQUE CONTROL STATION NM 47-10, BEARS S1'48'56"E, 748.46 FEET DISTANCE; THENCE,

S11'00'54"W, ALONG SAID WESTERLY ALAMEDA DRAIN RIGHT-OF-WAY, 50.15 FEET DISTANT TO THE NORTHEAST CORNER OF LOT NUMBERED EIGHT (8), GIBSON TRACT "A", AS SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON DECEMBER 16, 1981 IN VOLUME C-19, FOLIO 50; THENCE,

N75'54'58"W, ALONG THE NORTHERLY LINE OF SAID GIBSON TRACT "A", 738.38 FEET TO THE NORTHWEST CORNER OF LOT NUMBERED AND LETTERED ONE-A (1-A) OF GIBSON TRACT A, AS SAME IS SHOWN AND DESIGNATED ON THAT CERTAIN PLAT ENTITLED, "PLAT OF LOTS 1-A & 1-B GIBSON TRACT "A" PROJECTED SECTION 5, T. 10 N., R. 3 E., N.M.P.M., TOWN OF ALBUQUERQUE GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO SEPTEMBER 2007", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 12, 2007 IN BOOK 2007C, PAGE 0300 AND ALSO BEING THE NORTHEAST CORNER OF TRACT NUMBERED AND LETTERED THIRTY-FIVE-A (25-A), M.R.G.C.D. MAP NO. 33, AS SAME IS SHOWN AND DESIGNATED ON SAID MAPS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT; THENCE,

N75'54'58"W, ALONG THE NORTHERLY LINE OF SAID TRACT 25-A, 89.4 FEET DISTANT TO A POINT OF INTERSECTION WITH THE SOUTHERLY PROJECTION OF THE EASTERLY SECOND STREET, N.W., RIGHT-OF-WAY LINE; THENCE,

S8'07'31"E, ALONG SAID EASTERLY SECOND STREET, N.W., RIGHT-OF-WAY LINE, 231.65 FEET DISTANT TO THE NORTHWEST CORNER OF SAID TRACT "A", DEL'S HIDE-A-WAY PARK; THENCE,

LEAVING SAID RIGHT-OF-WAY LINE, S76'08'48"E, 828.24 FEET DISTANT TO THE NORTHEAST CORNER OF SAID TRACT "J"; THENCE,

S8'50'26"W, ALONG THE WEST LINE OF SAID ALAMEDA DRAIN, 184.81 FEET DISTANT TO THE POINT OF BEGINNING, CONTAINING 4.4233 ACRES, MORE OR LESS.

APPROVALS

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
<i>N/A See 2009-01-01</i>	<i>ada</i>
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
<i>M. B. Hart</i>	<i>12-10-09</i>
CITY OF ALBUQUERQUE SURVEYOR	DATE
<i>A. Paul</i>	<i>1/4/2010</i>
M.R.G.C.D.	DATE

A.M.A.F.C.A.	DATE
REAL PROPERTY DIVISION	DATE
<i>Allan Katz</i>	<i>02/05/10</i>
ABCWA	DATE

UTILITY APPROVALS	DATE
<i>NEW MEXICO GAS COMPANY</i>	<i>12-21-2009</i>
<i>Servando Vigil</i>	<i>12-18-09</i>
<i>NEW MEXICO ELECTRIC SERVICES</i>	<i>12/18/09</i>
<i>QUEST COMMUNICATIONS</i>	<i>12-21-09</i>
COMCAST CABLE	DATE

SURVEYORS CERTIFICATION

I, MICHAEL T. SHOOK, A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR THE PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO (EFFECTIVE DATE OF MAY 1, 2007) AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Michael T. Shook
MICHAEL T. SHOOK NMLS NO. 13240
A.M. SURVEYING CO.
612 Cerro de Ortega Drive S.E.
Rio Rancho, New Mexico 87124
Phone & FAX: (505) 896-1716

12-10-09

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON UPC NO. _____

PROPERTY OWNER OF RECORD _____

BERNALILLO COUNTY TREASURERS OFFICE _____

INDEXING INFORMATION FOR COUNTY CLERK

OWNERS: PAM & PHIL SHEETS
LOCATION: PROJECTED SECTION 5, T 10 N, R 3 E, NMPM
SUBDIVISION: DEL'S HIDE-A-WAY PARK

SUBDIVISION DATA / NOTES

- PLAT WAS COMPILED FROM A FIELD SURVEY AND EXISTING RECORD INFORMATION.
- BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1983, AND ARE BASED ON ACS CONTROL STATIONS NM47-8 AND NM47-10, AS SHOWN HEREON.
- DISTANCES ARE GROUND DISTANCES.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- DATA WITHIN PARENTHESES () ARE RECORD PER THE FOLLOWING PLATS:
A. GARDNER ADDITION, FILED 3/28/40, VOL. D, FOLIO 71.
B. GIBSON TRACT "A", FILED 12/16/81, VOL. C19, FOLIO 50.
C. PLAT OF DEL'S HIDE-A-WAY PARK, FILED 5/11/04, BOOK 2004C, PAGE 149.
D. PLAT OF DEL'S HIDE-A-WAY, FILED 1/9/06, BOOK 2006C, PAGE 7.
E. PLAT OF LOTS 1-A & 1-B GIBSON TRACT A, FILED 10/12/07, BOOK 2007C, PAGE 0300.
- GROSS ACREAGE = 4.4233 ACRES
- NUMBER OF EXISTING TRACTS = 10
- NUMBER OF TRACTS CREATED = 7
- NUMBER OF EXISTING LOTS = 35
- NUMBER OF LOTS CREATED = 35
- PROPERTY SURVEYED JULY, 2009.
- TALOS LOG NO. 2009490344
- CITY WATER AND SEWER SERVICE IS AVAILABLE TO PROPERTY.
- NO PROPERTY WITHIN THE AREA OF THIS PLAT SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERRECTED ON THE LOTS OR PARCELS WITHIN THE AREA OF THE PROPOSED PLAT. THE FOREGOING REQUIREMENT SHALL BE A CONDITION TO APPROVAL OF THIS PLAT

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO CREATE 35 LOTS AND 7 TRACTS, TO VACATE TWO (2) EASEMENTS, TO ELIMINATE PORTIONS OF EXISTING TRACT LINES, TO VACATE PORTION OF SAN CLEMENTE AVENUE, N.W., RIGHT-OF-WAY AND TO GRANT PRIVATE ACCESS, PUBLIC UTILITY, PRIVATE DRAINAGE, PUBLIC WATERLINE AND SEWER EASEMENTS AS SHOWN HEREON.

M.R.G.C.D. APPROVAL STATEMENT

APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS, RIGHTS OF WAY, ASSESSMENTS AND LIENS, ARE FULLY RESERVED TO SAID DISTRICT, AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER FOR THE SUBDIVISION, ADDITION, OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

APPROVED *A. Paul* DATE *1/4/2010*

FREE CONSENT & DEDICATION

SURVEYED AND REPLATED AS SHOWN HEREON, AND NOW TO BE DESIGNATED AS LOTS 1 THRU 35, TRACTS "A", "B", "C", "D", "E", "F" AND "G", DEL'S HIDE-A-WAY PARK, WITH THE FREE CONSENT OF AND IN ACCORDANCE WITH THE WISHES OF THE UNDERSIGNED OWNERS THEREOF, THE UNDERSIGNED OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED, THE UNDERSIGNED ALSO CONSENT TO THE GRANTING OF ALL EASEMENTS SHOWN HEREON.

Pamela J. Sheets
PAMELA J. SHEETS
Philip D. Sheets
PHILIP D. SHEETS

NOTARY ACKNOWLEDGEMENT

STATE OF NEW MEXICO }
COUNTY OF } S.S.

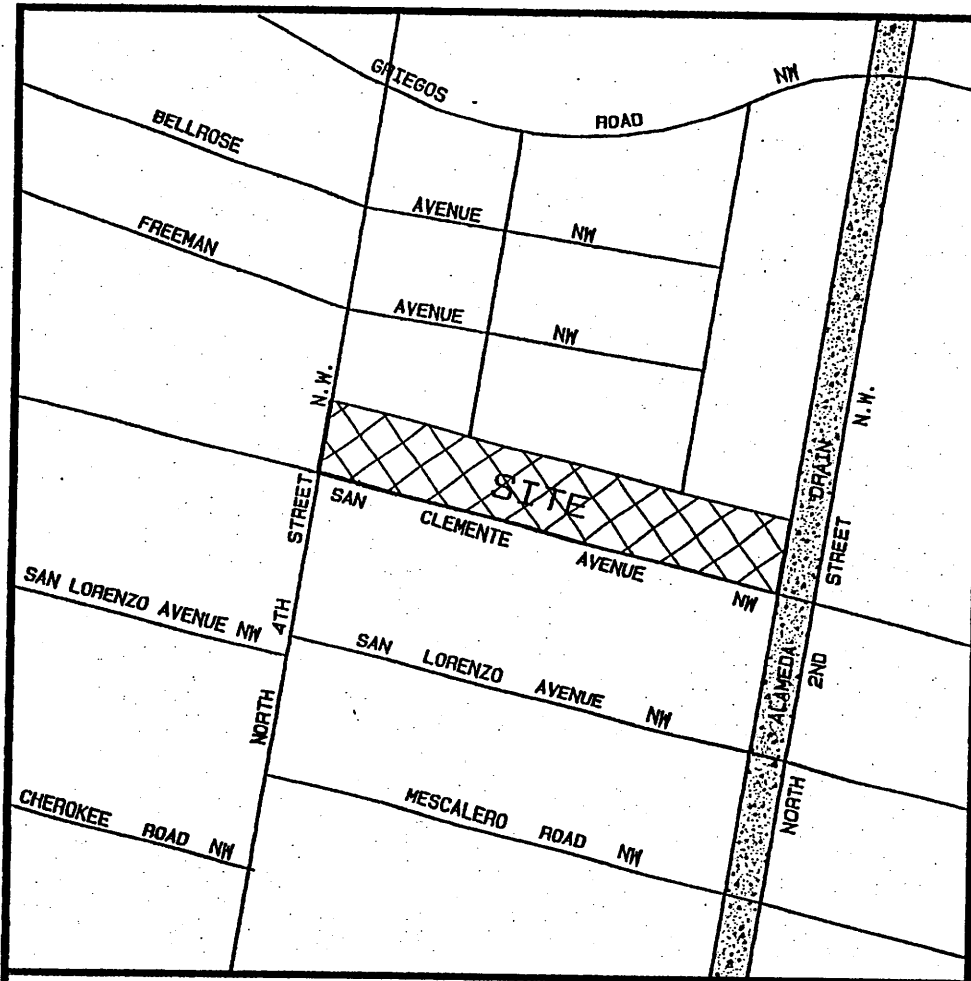
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 10th DAY OF December, 2009,
BY: Pamela J. Sheets and Philip D. Sheets

MY COMMISSION EXPIRES:
3-13-2011

Theresa Jacobson
NOTARY PUBLIC
My commission expires: 3-13-2011

DISCLAIMER

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE OR RELEASE AN EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.



VICINITY MAP
NOT TO SCALE

ZONE PAGE G-14-Z

PLAT OF TRACTS "A" & "B" DEL'S HIDE-A-WAY PARK
(BEING A REPLAT OF TRACT 22-A-1 & TRACT 22-A-2, M.R.G.C.D. MAP NO. 33)
SECTION 5, T 10 N, R 3 E, N.M.P.M.
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO

JANUARY 2004

PRELIMINARY PLAT
APPROVED BY DRB
ON 4/28/04

LEGAL DESCRIPTION

A CERTAIN TRACT OF LAND SITUATE WITHIN SECTION 5, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M., BERNALILLO COUNTY, NEW MEXICO, BEING AND COMPRISING TRACT NO. 22-A-1 AND TRACT NO. 22-A-2, AS SAME IS SHOWN AND DESIGNATED ON MIDDLE RIO GRANDE CONSERVANCY DISTRICT PROPERTY MAP NO. 23, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID TRACT, BEING A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE ALAMEDA DRAIN, SAID POINT ALSO BEING THE SOUTHEAST CORNER OF LOT 1, BLOCK 7, GARDNER ADDITION, AS SAME IS SHOWN ON THE PLAT OF SAID ADDITION, FILED MARCH 28, 1940, IN VOLUME D, FOLIO 71, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, WHENCE FOR A TIE TO CITY OF ALBUQUERQUE CONTROL STATION "NM47-10" HAVING NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE NAD 1927) OF X=383,387.65 AND Y=1,500,747.69, WHICH BEARS S.0°17'23"W.. A DISTANCE OF 930.71 FEET;

THENCE, S.8°50'30"W.. ALONG SAID ALAMEDA DRAIN RIGHT-OF-WAY LINE, A DISTANCE OF 184.81 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF SAN CLEMENTE AVENUE, N.M.;

THENCE, LEAVING SAID ALAMEDA DRAIN RIGHT-OF-WAY, N.76°59'25"W.. ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF SAN CLEMENTE AVENUE, N.M., A DISTANCE OF 839.39 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF NORTH FOURTH STREET, N.M.;

THENCE, N.9°07'35"E.. ALONG SAID NORTH FOURTH STREET, N.M. RIGHT-OF-WAY LINE, A DISTANCE OF 182.45 FEET TO A POINT;

THENCE, LEAVING SAID NORTH FOURTH STREET, N.M., RIGHT-OF-WAY LINE, S.76°08'43"E.. ALONG THE NORTHERLY LINE OF SAID TRACT, SAID NORTHERLY LINE ALSO BEING THE SOUTHERLY LINE OF SAID GARDNER ADDITION, A DISTANCE OF 838.28 FEET TO THE POINT OF BEGINNING, CONTAINING 3.6230 ACRES, MORE OR LESS.

M.R.G.C.D. APPROVAL STATEMENT

APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS, RIGHTS OF WAY, ASSESSMENTS AND LIENS, ARE FULLY RESERVED TO SAID DISTRICT, AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER FOR THE SUBDIVISION, ADDITION, OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION MATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

APPROVED: [Signature] DATE 3-26-04
FOR Subhas K. Shah, CE

FREE CONSENT & DEDICATION

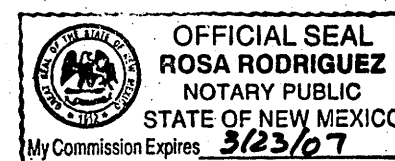
SURVEYED AND REPLATTED AS SHOWN HEREON, AND NOW TO BE DESIGNATED AS TRACT "A" & TRACT "B", DEL'S HIDE-A-WAY PARK, WITH THE CONSENT OF AND IN ACCORDANCE WITH THE DESIRES AND WISHES OF THE UNDERSIGNED OWNERS THEREOF. THE UNDERSIGNED HAVE REPRESENTED THEMSELVES TO HAVE TITLE AND ACKNOWLEDGE THAT THIS PLAT IS WITHIN THE COVENANTS AND RESTRICTIONS ON THIS PROPERTY. THE UNDERSIGNED ALSO CONSENT TO THE GRANTING OF ALL EASEMENTS SHOWN HEREON.

[Signature]
PAMELA J. SHEETS

[Signature]
PHILIP D. SHEETS

NOTARY ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
) s.s.
COUNTY OF _____)
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 25 DAY OF March, 2004,
BY: Pamela J. Sheets / Philip D. Sheets
MY COMMISSION EXPIRES: 3/23/07



[Signature]
ROSA RODRIGUEZ
NOTARY PUBLIC

APPROVALS

TRAFFIC ENGINEERING - TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
	DATE
	DATE
<u>[Signature]</u>	3-25-04
CITY OF ALBUQUERQUE SURVEYOR	DATE
<u>[Signature]</u>	3-26-04
M.R.G.C.D. FOR Subhas K. Shah, CE	DATE

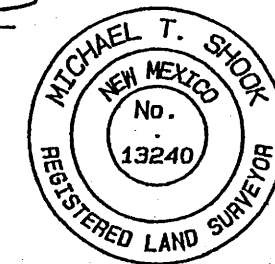
UTILITY APPROVALS

<u>[Signature]</u>	3-26-04
P.N.M. GAS SERVICES	DATE
<u>[Signature]</u>	3-26-04
P.N.M. ELECTRIC SERVICES	DATE
<u>[Signature]</u>	3-29-04
QUEST COMMUNICATIONS	DATE
<u>[Signature]</u>	3/26/04
COMCAST CABLE	DATE

SURVEYORS CERTIFICATION

I, MICHAEL T. SHOOK, A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR THE PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO (EFFECTIVE NOVEMBER 1, 1989 AND REVISIONS, FEBRUARY 2, 1994 TO OCTOBER 1, 2000), AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

[Signature] DATE 3-25-04
MICHAEL T. SHOOK NMLS NO. 13240



THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON UPC NO. _____
PROPERTY OWNER OF RECORD _____
BERNALILLO COUNTY TREASURERS OFFICE _____

INDEXING INFORMATION FOR COUNTY CLERK
OWNERS: PAM & PHIL SHEETS
LOCATION: SECTION 5, T 10 N, R 3 E, NMPH
SUBDIVISION: M.R.G.C.D. PROPERTY MAP NO. 33

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED FROM A FIELD SURVEY AND EXISTING RECORD INFORMATION.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL STATIONS NM47-8 AND NM47-10, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. DATA WITHIN PARENTHESES () ARE RECORD PER THE FOLLOWING PLATS:
A. GARDNER ADDITION, FILED 3/28/40, VOL. D, FOLIO 71.
B. GIBSON TRACT "A", FILED 12/16/81, VOL. C19, FOLIO 50.
6. GROSS ACREAGE = 3.6230 ACRES
7. NUMBER OF EXISTING TRACTS = 2
8. NUMBER OF TRACTS CREATED = 2
9. PROPERTY SURVEYED NOVEMBER, 2003.
10. EXISTING ZONING IS C-2 AND SU -1 FOR RT.
11. TALOS LOG NO. 2004113045
12. CITY WATER AND SEWER SERVICE IS AVAILABLE TO PROPERTY.

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO CREATE TWO (2) NEW TRACTS FROM TWO (2) EXISTING M.R.G.C.D. TRACTS AND GRANT PUBLIC AND PRIVATE EASEMENTS AS SHOWN HEREON.

A.M. SURVEYING CO.
612 Cerro de Ortega Drive S.E.
Rio Rancho, New Mexico 87124
Phone & FAX: (505) 896-1716

LEGAL DESCRIPTION

TRACT LETTERED "B", DEL'S HIDE-A-WAY PARK, AS SAME IS SHOWN AND DESIGNATED ON THAT CERTAIN PLAT ENTITLED, "PLAT OF TRACTS "A" & "B" DEL'S HIDE-A-WAY PARK (BEING A REPLAT OF TRACT 22-A-1 & 22-A-2, M.R.G.C.D. MAP NO. 33) SECTION 5, T 10 N, R 3 E, N.M.P.M. CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO JANUARY 2004", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MAY 11, 2004, IN BOOK 2004C, PAGE 149.

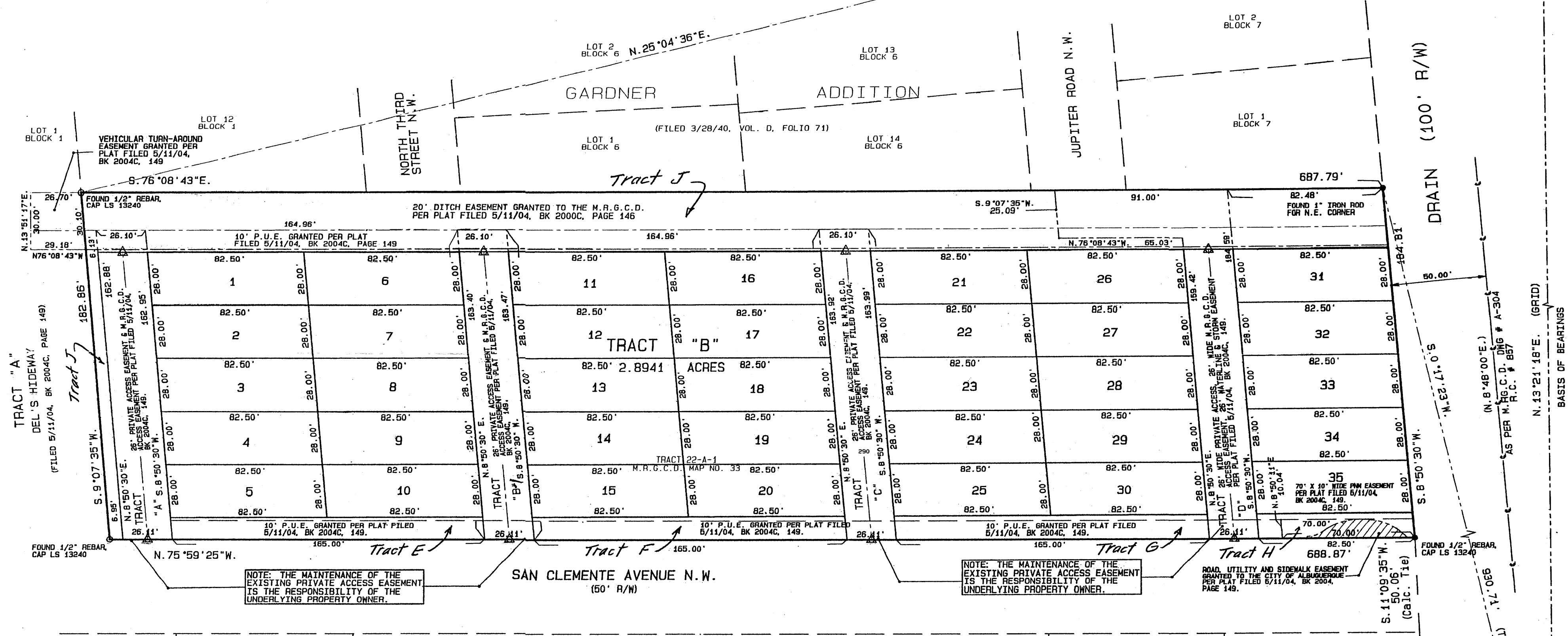
Chip D. Street
 OWNERS _____ DATE 06/15/05

**PRELIMINARY
 PLAT OF LOTS 1 THRU 35
 and TRACTS "A", "B", "C" & "D", "E", "F", "G", "H", "J" P.D.S.
 DEL'S HIDE-A-WAY
 (BEING A REPLAT OF TRACT "B", DEL'S HIDE-A-WAY)
 SECTION 5, T 10 N, R 3 E, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO**

JUNE 2005

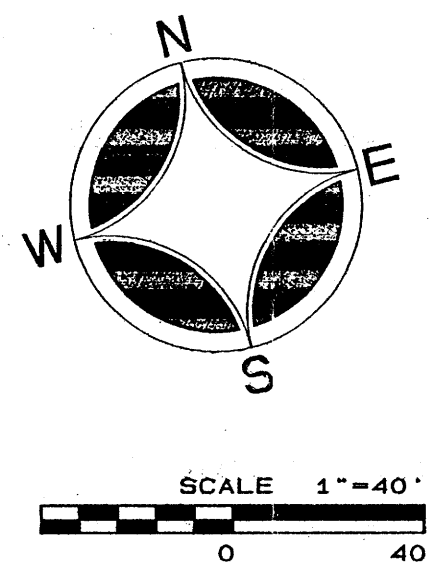
NOTE:
 PROPOSED TRACTS "A", "B", "C" & "D" TO BE CONVEYED TO HOME OWNER'S ASSOCIATION AND WILL BE BURDENED BY PUBLIC SANITARY SEWER, WATERLINE AND PRIVATE ACCESS EASEMENTS.

ACS STATION NM47-8
 Y=1,505,845.86
 X=384,597.97
 GROUND TO GRID=
 0.99967727
 DELTA=0°13'20"
 (CENTRAL ZONE
 NAD 1927)

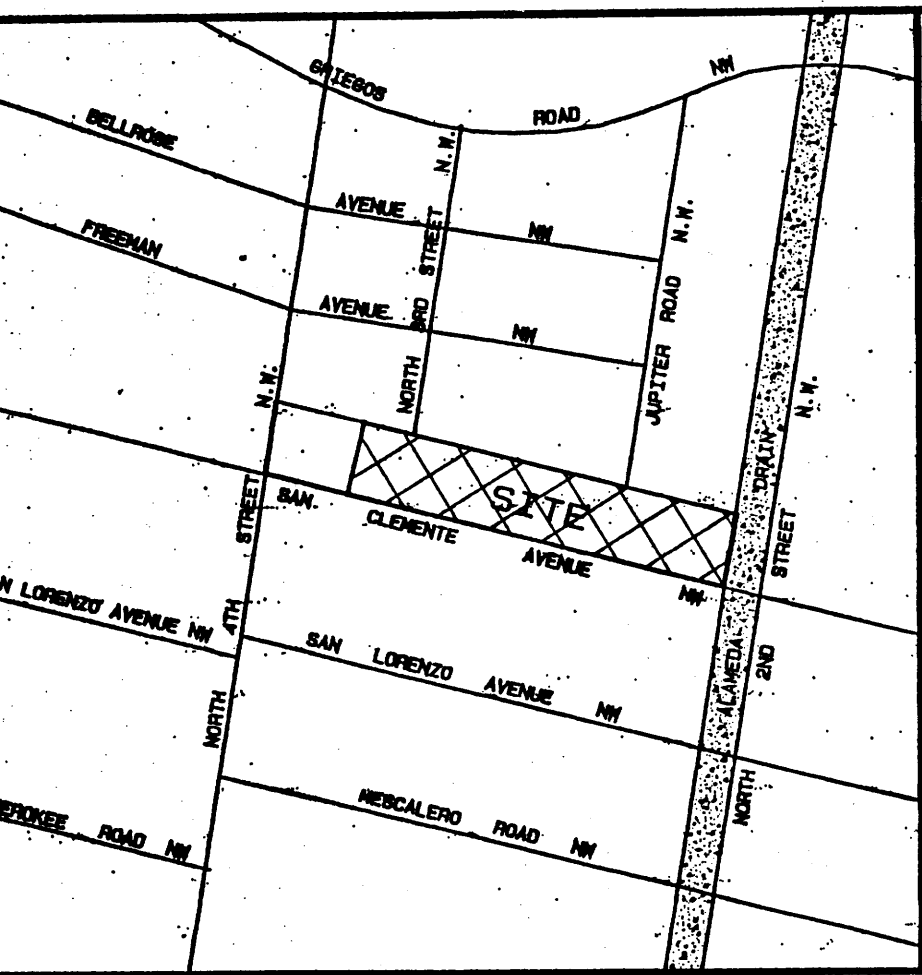


- NOTES**
- UNLESS OTHERWISE NOTED ALL BOUNDARY CORNERS SHOWN THUS \odot SHALL BE MARKED BY A 1/2" REBAR WITH CAP STAMPED NMLS 13240.
 - ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE PC'S, PT'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS Δ WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED DO NOT DISTURB, PS # 13240.
 - BOUNDARY SHALL BE TIED TO NEW MEXICO STATE PLANE GRID BEARINGS.
 - BASIS OF BEARING SHALL BE NEWMEXICO STATE PLANE GRID BEARINGS.
 - ALL DISTANCES SHALL BE GROUND DISTANCES.
 - MANHOLES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.

APPROVED *Chip D. Street* DATE 6-15-05
 CITY SURVEYOR _____



ACS STATION NM47-10
 Y=1,500,747.69
 X=383,387.65
 GROUND TO GRID=
 0.99967718
 DELTA=0°13'28"
 (CENTRAL ZONE
 NAD 1927)



VICINITY MAP
NOT TO SCALE
ZONE PAGE 6-14-Z

PLAT OF LOTS 1 THRU 35 AND
TRACTS "A", "B-1", "C", "D", "E", "F", "G", "H" & "J"
DEL'S HIDE-A-WAY

(BEING A REPLAT OF TRACT "B", DEL'S HIDE-A-WAY PARK)
PROJECTED SECTION 5, T 10 N, R 3 E, N.M.P.M.
TOWN OF ALBUQUERQUE GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER 2005

LEGAL DESCRIPTION

TRACT LETTERED "B", DEL'S HIDE-A-WAY, AS SAME IS SHOWN AND DESIGNATED ON THAT CERTAIN PLAT ENTITLED, "PLAT OF TRACTS "A" & "B" DEL'S HIDE-A-WAY, (BEING A REPLAT OF TRACT 22-A-1 & 22-A-2, M.R.G.C.D. MAP NO. 33), SECTION 5, T. 10 N., R. 3 E., N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO JANUARY 2004", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 11, 2004, IN BOOK 2004C, PAGE 149.

M.R.G.C.D. APPROVAL STATEMENT

APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS, RIGHTS OF WAY, ASSESSMENTS AND LIENS, ARE FULLY RESERVED TO SAID DISTRICT, AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER FOR THE SUBDIVISION, ADDITION, OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

APPROVED [Signature] DATE 1/3/06

FREE CONSENT & DEDICATION

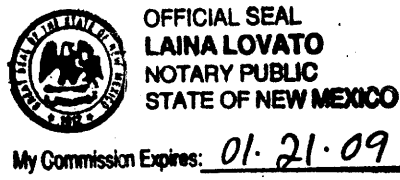
SURVEYED AND REPLATTED AS SHOWN HEREON, AND NOW TO BE DESIGNATED AS LOTS 1 THRU 35, TRACTS "A", "B-1", "C", "D", "E", "F", "G", "H" & "J", DEL'S HIDE-A-WAY, WITH THE CONSENT OF AND IN ACCORDANCE WITH THE WISHES OF THE UNDERSIGNED OWNERS THEREOF, THE UNDERSIGNED SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED, AND ACKNOWLEDGE THAT THIS PLAT IS WITHIN THE COVENANTS AND RESTRICTIONS ON THIS PROPERTY. THE UNDERSIGNED ALSO CONSENT TO THE GRANTING OF ALL EASEMENTS SHOWN HEREON.

Pamela J. Sheets
PAMELA J. SHEETS
Philip D. Sheets
PHILIP D. SHEETS

NOTARY ACKNOWLEDGEMENT

STATE OF NEW MEXICO } S.S.
COUNTY OF BERNALILLO }
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 22nd DAY OF December, 2005,
BY: Pamela J. Sheets and Philip D. Sheets

MY COMMISSION EXPIRES: 01-21-09
Laina Lovato
NOTARY PUBLIC



Project # 1002123
Application # 05 DRB-01917



APPROVALS

<u>[Signature]</u>	1-4-06
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
<u>William J. Walsh</u>	1/4/06
UTILITIES DEVELOPMENT	DATE
<u>Christina Sandoval</u>	1/4/06
PARKS AND RECREATION DEPARTMENT	DATE
<u>Bradley L. Bingham</u>	1-4-06
CITY ENGINEER	DATE
<u>Andrew Garcia</u>	1-9-06
DRB CHAIRPERSON/PLANNING DEPARTMENT	DATE
<u>[Signature]</u>	12-22-05
CITY OF ALBUQUERQUE SURVEYOR	DATE
<u>[Signature]</u>	1-3-06
M.R.G.C.D.	DATE
<u>Bradley L. Bingham</u>	1-4-05
A.M.A.F.C.A.	

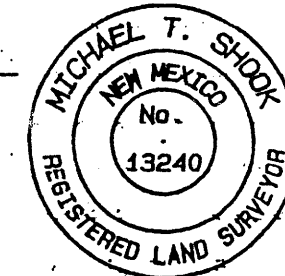
UTILITY APPROVALS

<u>[Signature]</u>	1-5-06
P.N.M. GAS SERVICES	DATE
<u>[Signature]</u>	1-5-06
P.N.M. ELECTRIC SERVICES	DATE
<u>[Signature]</u>	1-6-06
QWEST COMMUNICATIONS	DATE
<u>[Signature]</u>	1-5-06
COMCAST CABLE	DATE

SURVEYORS CERTIFICATION

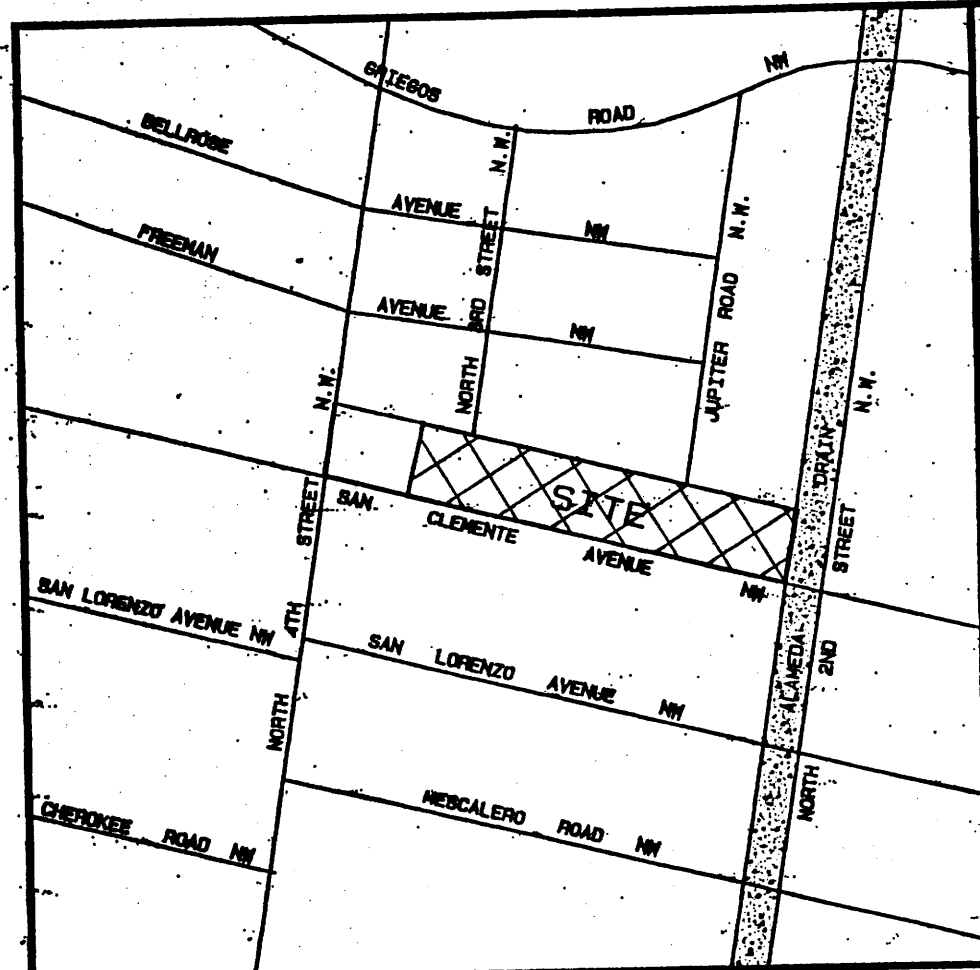
I, MICHAEL T. SHOOK, A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR THE PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO (EFFECTIVE NOVEMBER 4, 1999 AND REVISIONS, FEBRUARY 2, 1994 TO OCTOBER 1, 2000), AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Michael T. Shook
MICHAEL T. SHOOK
NMLS NO. 13240
12-20-05
DATE



THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON UPC NO. 101406046037612323
PROPERTY OWNER OF RECORD Del's Hide-a-Way Park LTD
BERNALILLO COUNTY TREASURERS OFFICE Roni Cuddeback 1-6-06

INDEXING INFORMATION FOR COUNTY CLERK
OWNERS: PAM & PHIL SHEETS
LOCATION: SECTION 5, T 10 N, R 3 E, NMPM
SUBDIVISION: DEL'S HIDE-A-WAY PARK



VICINITY MAP
NOT TO SCALE
ZONE PAGE 6-14-Z

PLAT OF LOTS 1 THRU 36 AND
TRACTS "A", "B-1", "C", "D", "E", "F", "G", "H" & "J"
DEL'S HIDE-A-WAY

(BEING A REPLAT OF TRACT "B", DEL'S HIDE-A-WAY PARK)
PROJECTED SECTION 5, T 10 N, R 3 E, N.M.P.M.
TOWN OF ALBUQUERQUE GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER 2005

Project # 1002123
Application # 05 DRB-01917



APPROVALS

<i>[Signature]</i>	1-4-06
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
<i>[Signature]</i>	1/4/06
UTILITIES DEVELOPMENT	DATE
<i>[Signature]</i>	1/4/06
PARKS AND RECREATION DEPARTMENT	DATE
<i>[Signature]</i>	1-4-06
CITY ENGINEER	DATE
<i>[Signature]</i>	1-9-06
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
<i>[Signature]</i>	12-22-05
CITY OF ALBUQUERQUE SURVEYOR	DATE
<i>[Signature]</i>	1-3-06
M.R.G.C.D.	DATE
<i>[Signature]</i>	1-4-05
A.N.A.F.C.A.	

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED FROM A FIELD SURVEY AND EXISTING RECORD INFORMATION.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE, NAD 1927, AND ARE BASED ON ACS CONTROL STATIONS NM47-8 AND NM47-10, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. DATA WITHIN PARENTHESES () ARE RECORD PER THE FOLLOWING PLATS:
A. GARDNER ADDITION, FILED 3/28/40, VOL. 0, FOLIO 74.
B. GIBSON TRACT "A", FILED 12/18/84, VOL. C19, FOLIO 50.
C. PLAT OF DEL'S HIDE-A-WAY, FILED 5/11/04, BOOK 2004C, PAGE 149.
6. GROSS ACREAGE = 2.8941 ACRES
7. NUMBER OF EXISTING TRACTS = 1
8. NUMBER OF LOTS CREATED = 36
9. NUMBER OF TRACTS CREATED = 9
10. PROPERTY SURVEYED APRIL, 2005.
11. EXISTING ZONING IS BU-1 FOR RT.
12. TALOS LOG NO. 2005490344
13. CITY WATER AND SEWER SERVICE IS AVAILABLE TO PROPERTY.

M.R.G.C.D. APPROVAL STATEMENT

APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS, RIGHTS OF WAY, ASSESSMENTS AND LIENS, ARE FULLY RESERVED TO SAID DISTRICT, AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER FOR THE SUBDIVISION, ADDITION, OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

APPROVED *[Signature]* DATE 1/31/06

UTILITY APPROVALS

<i>[Signature]</i>	1-5-06
P.N.N. GAS SERVICES	DATE
<i>[Signature]</i>	1-5-06
P.N.N. ELECTRIC SERVICES	DATE
<i>[Signature]</i>	1-6-06
QUEST COMMUNICATIONS	DATE
<i>[Signature]</i>	1-5-06
COMCAST CABLE	DATE

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO CREATE 36 LOTS AND 9 TRACTS, TO GRANT PUBLIC AND PRIVATE EASEMENTS AS SHOWN HEREON.

FREE CONSENT & DEDICATION

SURVEYED AND REPLATTED AS SHOWN HEREON, AND NOW TO BE DESIGNATED AS LOTS 1 THRU 36, TRACTS "A", "B-1", "C", "D", "E", "F", "G", "H" & "J", DEL'S HIDE-A-WAY, WITH THE CONSENT OF AND IN ACCORDANCE WITH THE WISHES OF THE UNDERSIGNED OWNERS THEREOF, THE UNDERSIGNED SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED, AND ACKNOWLEDGE THAT THIS PLAT IS WITHIN THE COVENANTS AND RESTRICTIONS ON THIS PROPERTY. THE UNDERSIGNED ALSO CONSENT TO THE GRANTING OF ALL EASEMENTS SHOWN HEREON.

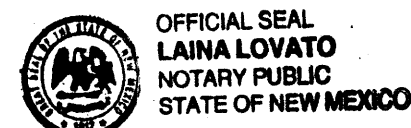
[Signature]
PAMELA J. SHEETS

[Signature]
PHILIP D. SHEETS

[Signature]
MICHAEL T. SHOOK
NMLS NO. 13240
12-20-05
DATE

NOTARY ACKNOWLEDGEMENT

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO) S.S.



My Commission Expires: 01-21-09

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 22nd DAY OF December, 2005,
BY: Pamela J. Sheets and Philip D. Sheets

MY COMMISSION EXPIRES:
01-21-09

[Signature]
Laina Lovato
NOTARY PUBLIC

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON UPC NO. 121406046037612323

PROPERTY OWNER OF RECORD *[Signature]* LTD
BERNALILLO COUNTY TREASURERS OFFICE *[Signature]* 1-6-06

INDEXING INFORMATION FOR COUNTY CLERK

OWNERS: PAM & PHIL SHEETS
LOCATION: SECTION 5, T 10 N, R 3 E, NMPM
SUBDIVISION: DEL'S HIDE-A-WAY PARK

M.R.G.C.D. NOTES:

- DEL'S HIDE-A-WAY HOME OWNERS ASSOCIATION IS THE BENEFICIARY OF THE PRIVATE ROAD EASEMENTS AND WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PRIVATE ROAD EASEMENTS.
- UNDER NO CIRCUMSTANCES SHALL FENCES, WALLS, SIDEWALKS, LANDSCAPING, TREES, STRUCTURES, UTILITIES, CULVERT PIPES, CURBS, ASPHALT PAVEMENT, CONCRETE PAVEMENT, OR ANY OTHER IMPROVEMENT BE CONSTRUCTED WITHIN THE 20' WIDE DITCH EASEMENT.
- DEL'S HIDE-A-WAY HOME OWNERS ASSOCIATION MUST PROVIDE DITCH ACCESS TO THE M.R.G.C.D. AND DITCH USERS PER SECOND JUDICIAL DISTRICT CAUSE NO. CV-2002-5316.
- UNDER NO CIRCUMSTANCES SHALL STORM WATER DRAINAGE FROM THE SITE BE PERMITTED TO DISCHARGE TO THE ALAMEDA DRAIN.
- DEL'S HIDE-A-WAY HOME OWNERS ASSOCIATION ARE RESPONSIBLE AT THEIR EXPENSE TO INSTALL AND MAINTAIN TWO (2) 14' WIDE TRAFFIC GATES AT ON THE NORTH SIDE OF THE 20' DITCH EASEMENT AT NORTH THIRD STREET N.W. AND JUPITER ROAD N.W.

NOTE:
UPON THE FILING OF THIS PLAT, DEL'S HIDE-A-WAY HOME OWNERS ASSOCIATION WILL BE FORMED UNDER THE LAWS OF THE STATE OF NEW MEXICO, AND THE ORDINANCES OF THE CITY OF ALBUQUERQUE, PROPOSED TRACT "A", "B-1", "C", "D", "E", "F", "G", "H" & "J" ARE TO BE CONVEYED TO SAID ASSOCIATION, AND WILL BE BURDENED BY PUBLIC AND PRIVATE EASEMENTS. ALL LOTS ARE BURDENED BY PRIVATE ACCESS AND DRAINAGE EASEMENTS SHOWN HEREON. DEL'S HIDE-A-WAY HOME OWNERS ASSOCIATION WILL BE THE BENEFICIARY OF ALL SAID TRACTS AND PRIVATE EASEMENTS AND THE MAINTENANCE THEREOF WILL BE THE RESPONSIBILITY OF DEL'S HIDE-A-WAY HOME OWNERS ASSOCIATION.

PLAT OF LOTS 1 THRU 35 and TRACTS "A", "B-1", "C", "D", "E", "F", "G", "H" & "J" DEL'S HIDE-A-WAY

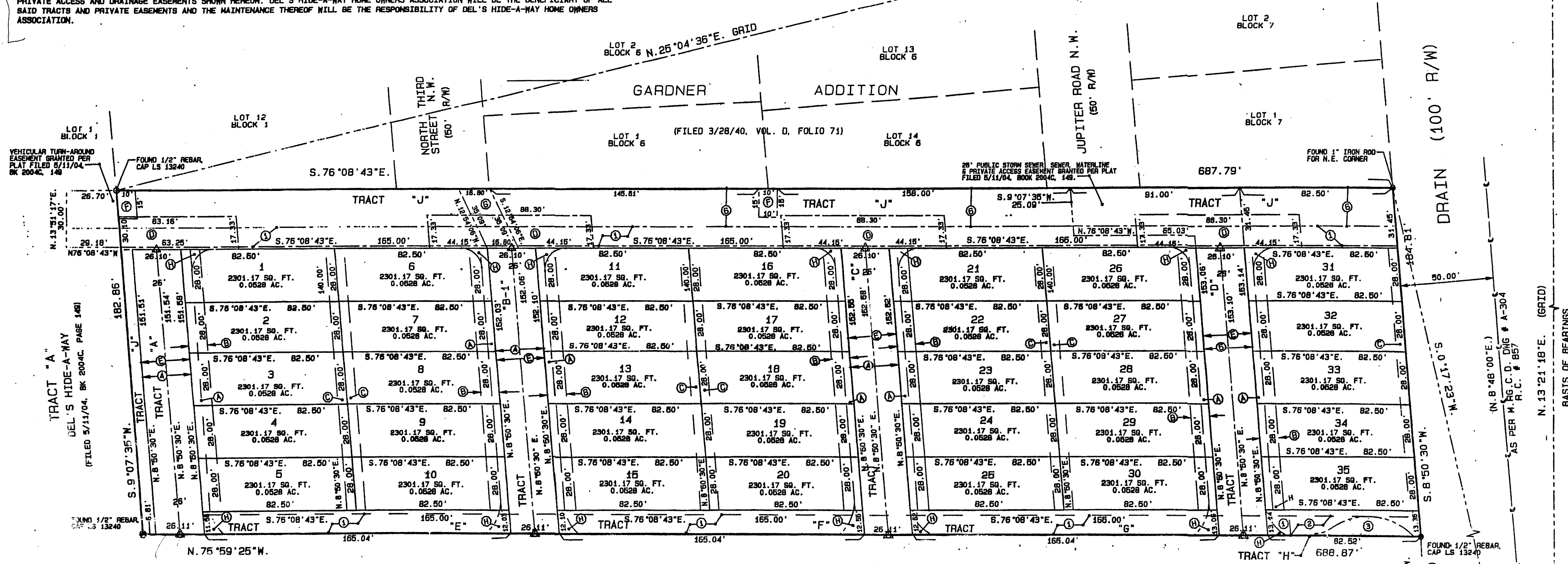
(BEING A REPLAT OF TRACT "B", DEL'S HIDE-A-WAY)

PROJECTED SECTION 5, T 10 N, R 3 E, N.M.P.M. TOWN OF ALBUQUERQUE GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

DECEMBER 2005



ACS STATION NM47-8
Y=1,505,845.86
X=384,597.97
GROUND TO GRID=0.99967727
DELTA ALPHA=-0'13'20"
(CENTRAL ZONE NAD 1927)
ELEVATION=4974.639
(NAVD 1929)

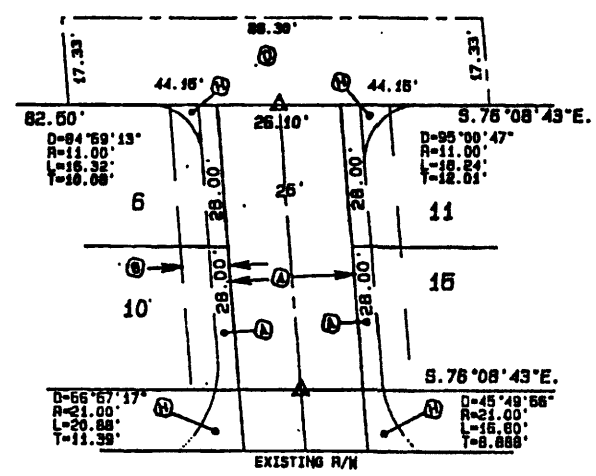


ADDITIONAL EASEMENTS GRANTED BY THIS PLAT

- (A) 4' WIDE PRIVATE SIDEWALK ACCESS EASEMENT
- (B) 10' WIDE PUBLIC UTILITY EASEMENT
- (C) 5' WIDE PRIVATE DRAINAGE EASEMENT
- (D) 88.30' X 17.33' WIDE VEHICULAR GRAVEL TURN-AROUND EASEMENT
- (E) 26' WIDE PUBLIC SEWER & WATERLINE EASEMENTS DEDICATED TO THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY (ABCWUA)
- (F) 10' X 15' ANCHOR EASEMENT
- (G) 15' PUBLIC WATERLINE EASEMENT (ABCWUA)
- (H) PRIVATE ACCESS AND SIDEWALK EASEMENT APPLICABLE FOR LOTS 1, 5, 6, 10, 11, 15, 16, 20, 21, 25, 26, 30, 31, 35 (SEE DETAIL AT RIGHT)

- EASEMENTS PREVIOUSLY GRANTED**
- (1) 10' P.U.E. GRANTED PER PLAT FILED 5/11/04, BK 2004C, 149.
 - (2) 70' X 10' WIDE P.M. EMT. PER PLAT FILED 5/11/04, BK 2004C, 149.
 - (3) ROAD, UTILITY AND SIDEWALK EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE PER PLAT FILED 5/11/04, BK 2004, PAGE 149. (SEE DETAIL BELOW)
 - (4) 26' PRIVATE ACCESS EASEMENT & M.R.G.C.D. ACCESS EASEMENT PER PLAT FILED 5/11/04, BK 2004C, 149.
 - (5) 26' WIDE PRIVATE ACCESS, 26' WIDE M.R.G.C.D. ACCESS EASEMENT, 26' WIDE PUBLIC WATERLINE & STORM EASEMENT PER PLAT FILED 5/11/04, BK 2004C, 149.
 - (6) 20' DITCH EASEMENT GRANTED TO THE M.R.G.C.D. PER PLAT FILED 5/11/04, BK 2004C, PAGE 149.

GIBSON TRACT "A" (FILED 12/16/81, C19-50)

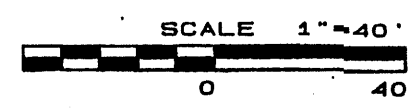
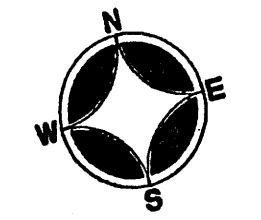


AREA TABLE FOR TRACTS

TRACT "A"	3940.10 SQ. FT.	0.0905 ACRES
TRACT "B-1"	3963.60 SQ. FT.	0.0908 ACRES
TRACT "C"	3967.10 SQ. FT.	0.0911 ACRES
TRACT "D"	3980.59 SQ. FT.	0.0914 ACRES
TRACT "E"	1939.88 SQ. FT.	0.0446 ACRES
TRACT "F"	2026.20 SQ. FT.	0.0465 ACRES
TRACT "G"	2110.52 SQ. FT.	0.0485 ACRES
TRACT "H"	1088.71 SQ. FT.	0.0250 ACRES
TRACT "J"	22621.25 SQ. FT.	0.5170 ACRES

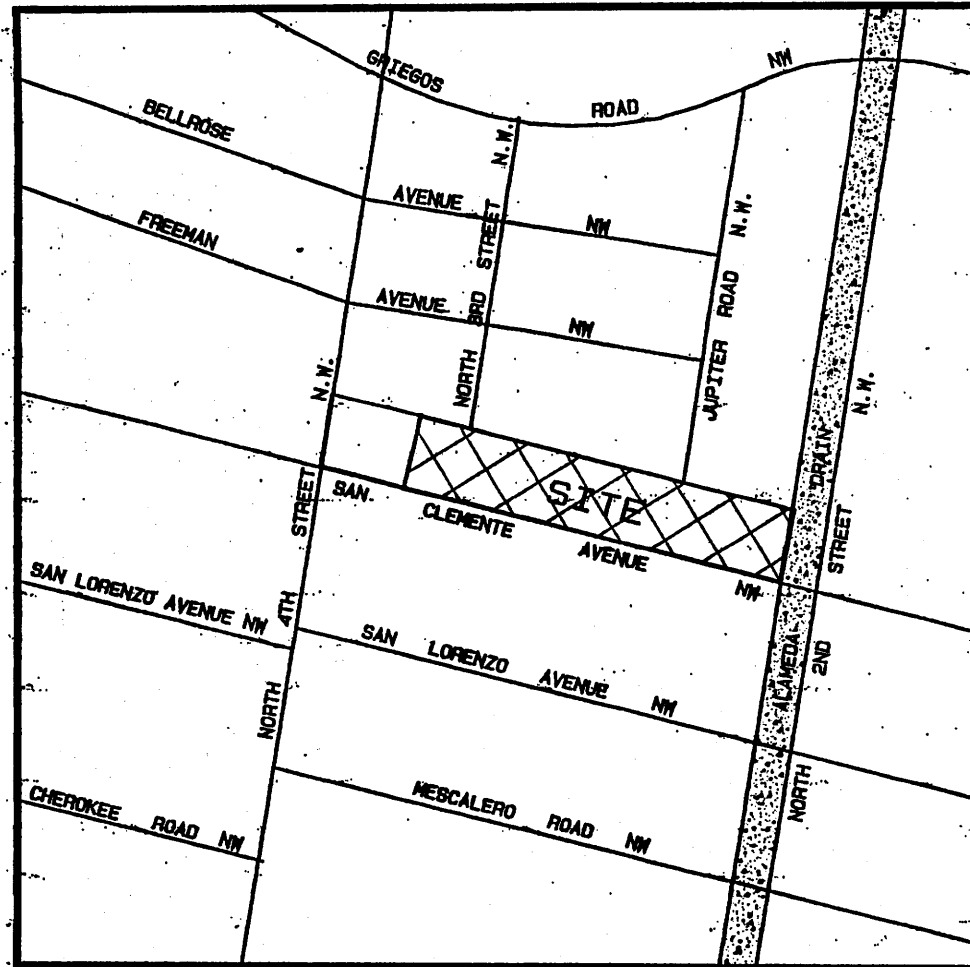
NOTES

- UNLESS OTHERWISE NOTED ALL BOUNDARY CORNERS SHOWN THUS (O) SHALL BE MARKED BY A 1/2" REBAR WITH CAP STAMPED N.H.S. 13240.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS (A) WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED DO NOT DISTURB, PS # 13240.



FOUND REBAR FOR S.E. CORNER LOT 1, GIBSON TRACT "A", FILED 12/16/81, C19-50

ACS STATION NM47-10
Y=1,500,747.69
X=385,367.65
GROUND TO GRID=0.99967781
DELTA ALPHA=-0'13'28"
(CENTRAL ZONE NAD 1927)
ELEVATION=4967.496
(NAVD 1929)



VICINITY MAP
NOT TO SCALE
ZONE PAGE G-14-Z

PLAT OF LOTS 1 THRU 35 AND
TRACTS "A", "B-1", "C", "D", "E", "F", "G", "H" & "J"
DEL'S HIDE-A-WAY

(BEING A REPLAT OF TRACT "B", DEL'S HIDE-A-WAY PARK)
PROJECTED SECTION 5, T 10 N, R 3 E, N.M.P.M.
TOWN OF ALBUQUERQUE GRANT
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
DECEMBER 2005

LEGAL DESCRIPTION

TRACT LETTERED "B", DEL'S HIDE-A-WAY, AS SAME IS SHOWN AND DESIGNATED ON THAT CERTAIN PLAT ENTITLED, "PLAT OF TRACTS "A" & "B" DEL'S HIDE-A-WAY, (BEING A REPLAT OF TRACT 22-A-1 & 22-A-2, M.R.G.C.D. MAP NO. 33), SECTION 5, T. 10 N., R. 3 E., N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO JANUARY 2004", FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON MAY 11, 2004, IN BOOK 2004C, PAGE 149.

M.R.G.C.D. APPROVAL STATEMENT

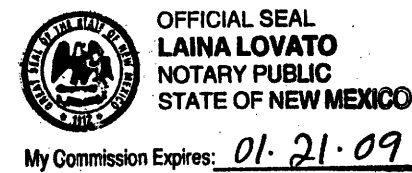
APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS, RIGHTS OF WAY, ASSESSMENTS AND LIENS, ARE FULLY RESERVED TO SAID DISTRICT, AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER FOR THE SUBDIVISION, ADDITION, OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

APPROVED _____ DATE _____

FREE CONSENT & DEDICATION

SURVEYED AND REPLATTED AS SHOWN HEREON, AND NOW TO BE DESIGNATED AS LOTS 1 THRU 35, TRACTS "A", "B-1", "C", "D", "E", "F", "G", "H" & "J", DEL'S HIDE-A-WAY, WITH THE CONSENT OF AND IN ACCORDANCE WITH THE WISHES OF THE UNDERSIGNED OWNERS THEREOF, THE UNDERSIGNED SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED, AND ACKNOWLEDGE THAT THIS PLAT IS WITHIN THE COVENANTS AND RESTRICTIONS ON THIS PROPERTY. THE UNDERSIGNED ALSO CONSENT TO THE GRANTING OF ALL EASEMENTS SHOWN HEREON.

Pamela J. Sheets
PAMELA J. SHEETS
Philip D. Sheets
PHILIP D. SHEETS



NOTARY ACKNOWLEDGEMENT

STATE OF NEW MEXICO }
COUNTY OF Bernalillo } s.s.

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 22nd DAY OF December, 2005,
BY: Pamela J Sheets and Philip D Sheets

MY COMMISSION EXPIRES:
01-21-09

Laina Lovato
LAINA LOVATO
NOTARY PUBLIC

PRELIMINARY PLAT
APPROVED BY DRB
ON 1/4/06

APPROVALS

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE
<i>Michael T. Shook</i>	<u>12-22-05</u>
CITY OF ALBUQUERQUE SURVEYOR	DATE
M.R.G.C.D.	DATE
A.M.A.F.C.A.	

UTILITY APPROVALS

P.N.M. G/S SERVICES	DATE
P.N.M. ELECTRIC SERVICES	DATE
QWEST COMMUNICATIONS	DATE
COMCAST CABLE	DATE

SURVEYORS CERTIFICATION

I, MICHAEL T. SHOOK, A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR THE PROPRIETORS OF THE SUBDIVISION SHOWN HEREON, UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO (EFFECTIVE NOVEMBER 1, 1989 AND REVISIONS, FEBRUARY 2, 1994 TO OCTOBER 1, 2000), AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Michael T. Shook
MICHAEL T. SHOOK NMLS NO. 13240
12-20-05
DATE



THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON UPC NO. _____
PROPERTY OWNER OF RECORD _____
BERNALILLO COUNTY TREASURERS OFFICE _____

INDEXING INFORMATION FOR COUNTY CLERK
OWNERS: PAM & PHIL SHEETS
LOCATION: SECTION 5, T 10 N, R 3 E, NMPM
SUBDIVISION: DEL'S HIDE-A-WAY PARK

A.M. SURVEYING CO.
612 Cerro de Ortega Drive S.E.
Rio Rancho, New Mexico 87124
Phone & FAX: (505) 896-1716

M.R.G.C.D. NOTES:

- DEL'S HIDE-A-WAY HOME OWNERS ASSOCIATION IS THE BENEFICIARY OF THE PRIVATE ROAD EASEMENTS AND WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PRIVATE ROAD EASEMENTS.
- UNDER NO CIRCUMSTANCES SHALL FENCES, WALLS, SIDEWALKS, LANDSCAPING, TREES, STRUCTURES, UTILITIES, CULVERT PIPES, CURBS, ASPHALT PAVEMENT, CONCRETE PAVEMENT, OR ANY OTHER IMPROVEMENT BE CONSTRUCTED WITHIN THE 20' WIDE DITCH EASEMENT.
- DEL'S HIDE-A-WAY HOME OWNERS ASSOCIATION MUST PROVIDE DITCH ACCESS TO THE M.R.G.C.D. AND DITCH USERS PER SECOND JUDICIAL DISTRICT CAUSE NO. CV-2002-5316.
- UNDER NO CIRCUMSTANCES SHALL STORM WATER DRAINAGE FROM THE SITE BE PERMITTED TO DISCHARGE TO THE ALAMEDA DRAIN.
- DEL'S HIDE-A-WAY HOME OWNERS ASSOCIATION ARE RESPONSIBLE AT THEIR EXPENSE TO INSTALL AND MAINTAIN TWO (2) 14' WIDE TRAFFIC GATES AT ON THE NORTH SIDE OF THE DITCH EASEMENT AT NORTH THIRD STREET N.W. AND JUPITER ROAD N.W.

NOTE:

UPON THE FILING OF THIS PLAT, DEL'S HIDE-A-WAY HOME OWNERS ASSOCIATION WILL BE FORMED UNDER THE LAWS OF THE STATE OF NEW MEXICO, AND THE ORDINANCES OF THE CITY OF ALBUQUERQUE. PROPOSED TRACT "A", "B-1", "C", "D", "E", "F", "G", "H" & "J" ARE TO BE CONVEYED TO SAID ASSOCIATION, AND WILL BE BURDENED BY PUBLIC AND PRIVATE EASEMENTS. ALL LOTS ARE BURDENED BY PRIVATE ACCESS AND DRAINAGE EASEMENTS SHOWN HEREON. DEL'S HIDE-A-WAY HOME OWNERS ASSOCIATION WILL BE THE BENEFICIARY OF ALL SAID TRACTS AND PRIVATE EASEMENTS AND THE MAINTENANCE THEREOF WILL BE THE RESPONSIBILITY OF DEL'S HIDE-A-WAY HOME OWNERS ASSOCIATION.

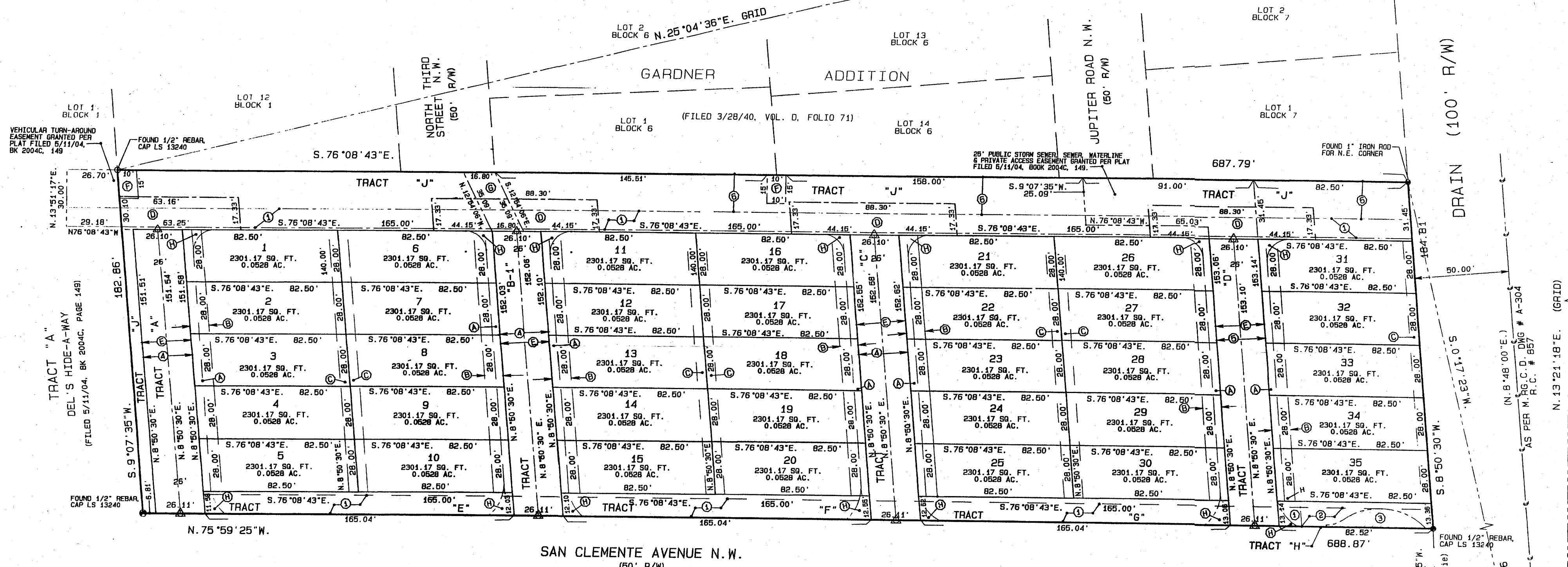
PLAT OF LOTS 1 THRU 35 and TRACTS "A", "B-1", "C", "D", "E", "F", "G", "H" & "J" DEL'S HIDE-A-WAY

(BEING A REPLAT OF TRACT "B", DEL'S HIDE-A-WAY)

PROJECTED SECTION 5, T 10 N, R 3 E, N.M.P.M. TOWN OF ALBUQUERQUE GRANT CITY OF ALBUQUERQUE BERNALILLO COUNTY, NEW MEXICO

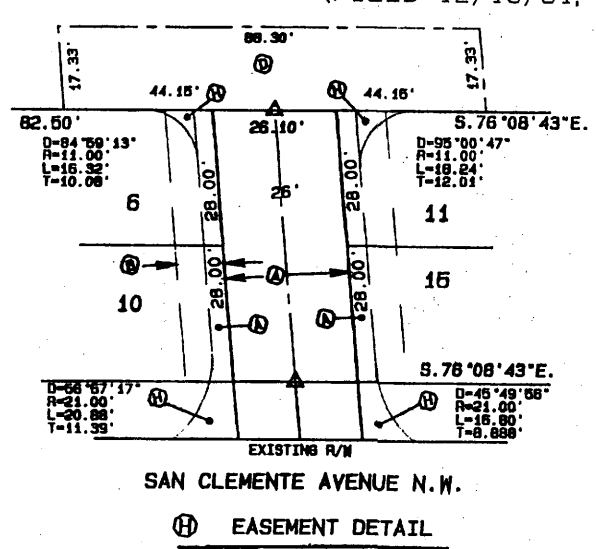
DECEMBER 2005

ACS STATION NM47-8
Y=1,505,845.86
X=384,597.97
GROUND TO GRID=0.99967727
DELTA ALPHA=-0°13'20"
(CENTRAL ZONE NAD 1927)
ELEVATION=4974.639
(NAVD 1929)



- ADDITIONAL EASEMENTS GRANTED BY THIS PLAT**
- (A) 4' WIDE PRIVATE SIDEWALK ACCESS EASEMENT
 - (B) 10' WIDE PUBLIC UTILITY EASEMENT
 - (C) 5' WIDE DRAINAGE EASEMENT (PRIVATE)
 - (D) 88.30' X 17.33' WIDE VEHICULAR GRAVEL TURN-AROUND EASEMENT
 - (E) 25' WIDE PUBLIC SEWER & WATERLINE EASEMENTS DEDICATED TO THE ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY (ABCWUA)
 - (F) 10' X 15' ANCHOR EASEMENT
 - (G) 15' PUBLIC WATERLINE EASEMENT (ABCWUA)
 - (H) PRIVATE ACCESS AND SIDEWALK EASEMENT APPLICABLE FOR LOTS 1, 5, 6, 10, 11, 15, 16, 20, 21, 25, 26, 30, 31, 35 (SEE DETAIL AT RIGHT)

- EASEMENTS PREVIOUSLY GRANTED**
- (1) 10' P.U.E. GRANTED PER PLAT FILED 5/11/04, BK 2004C, 149.
 - (2) 70' X 10' WIDE PNM ESNT. PER PLAT FILED 5/11/04, BK 2004C, 149.
 - (3) ROAD, UTILITY AND SIDEWALK EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE PER PLAT FILED 5/11/04, BK 2004, PAGE 149. (SEE DETAIL BELOW)
 - (4) 25' PRIVATE ACCESS EASEMENT & M.R.G.C.D. ACCESS EASEMENT PER PLAT FILED 5/11/04, BK 2004C, 149.
 - (5) 25' WIDE PRIVATE ACCESS, 25' WIDE M.R.G.C.D. ACCESS EASEMENT, 25' WIDE PUBLIC WATERLINE & STORM EASEMENT PER PLAT FILED 5/11/04, BK 2004C, 149.
 - (6) 20' DITCH EASEMENT GRANTED TO THE M.R.G.C.D. PER PLAT FILED 5/11/04, BK 2000C, PAGE 146

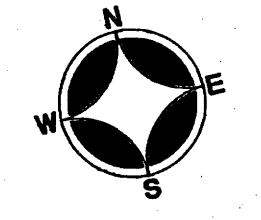


AREA TABLE FOR TRACTS

TRACT "A"	3940.10 SQ. FT.	0.0905 ACRES
TRACT "B-1"	3953.60 SQ. FT.	0.0908 ACRES
TRACT "C"	3967.10 SQ. FT.	0.0911 ACRES
TRACT "D"	3980.59 SQ. FT.	0.0914 ACRES
TRACT "E"	1939.88 SQ. FT.	0.0445 ACRES
TRACT "F"	2025.20 SQ. FT.	0.0465 ACRES
TRACT "G"	2110.52 SQ. FT.	0.0485 ACRES
TRACT "H"	1088.71 SQ. FT.	0.0250 ACRES
TRACT "J"	22521.25 SQ. FT.	0.5170 ACRES

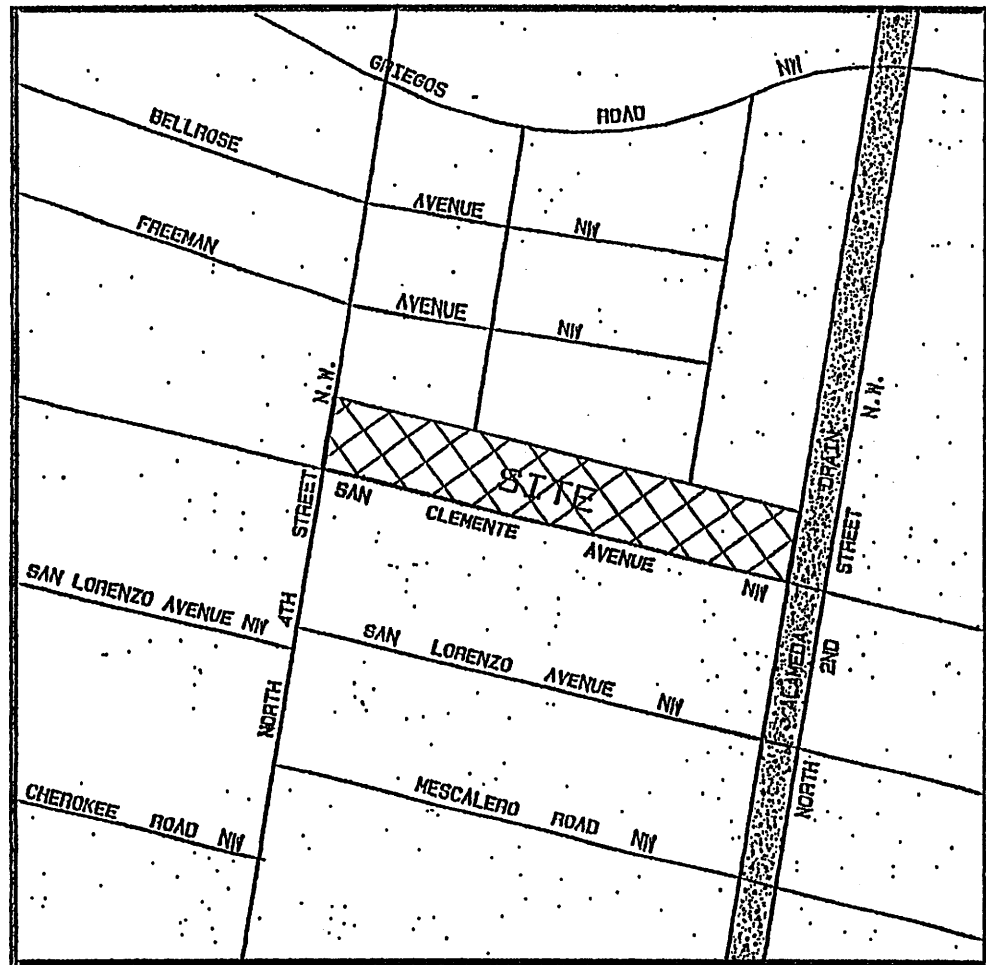
NOTES

- UNLESS OTHERWISE NOTED ALL BOUNDARY CORNERS SHOWN (H) SHALL BE MARKED BY A 1/2" REBAR WITH CAP STAMPED NMLS 13240.
- ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE P.C.'S, P.T.'S, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN (H) WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED DO NOT DISTURB, PS # 13240.



FOUND REBAR FOR S.E. CORNER LOT 8, GIBSON TRACT "A" FILED 12/16/81, C19-50

ACS STATION NM47-10
Y=1,500,747.69
X=383,387.65
GROUND TO GRID=0.99967781
DELTA ALPHA=-0°13'28"
(CENTRAL ZONE NAD 1927)
ELEVATION=4967.496
(NAVD 1929)



VICINITY MAP
NOT TO SCALE

PLAT OF TRACTS "A" & "B" DEL'S HIDE-A-WAY PARK
 (BEING A REPLAT OF TRACT 22-A-1 & TRACT 22-A-2, M.R.G.C.D. MAP NO. 33)
 SECTION 5, T 10 N R 3 E, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

JANUARY 2004



PROJECT # 1002123 APP# 04-00538

APPROVALS	
<i>[Signature]</i> TRAFFIC ENGINEERING & TRANSPORTATION DIVISION	4-28-04 DATE
<i>[Signature]</i> UTILITIES DEVELOPMENT	4-28-04 DATE
<i>[Signature]</i> PARKS AND RECREATION DEPARTMENT	4-28-04 DATE
<i>[Signature]</i> CITY ENGINEER	4/28/04 DATE
<i>[Signature]</i> DRB CHAIRPERSON, PLANNING DEPARTMENT	9/23/04 DATE
<i>[Signature]</i> AMAFCA	4/28/04 DATE
<i>[Signature]</i> CITY OF ALBUQUERQUE SURVEYOR	3-25-04 DATE
<i>[Signature]</i> M.R.G.C.D. FOR SUBHAS K. SHAH, CE.	3-26-04 DATE

UTILITY APPROVALS	
<i>[Signature]</i> P.N.M. GAS SERVICES	3-26-04 DATE
<i>[Signature]</i> P.N.M. ELECTRIC SERVICES	3-26-04 DATE
<i>[Signature]</i> QUEST COMMUNICATIONS	3-29-04 DATE
<i>[Signature]</i> COMCAST CABLE	3/26/04 DATE

SURVEYORS CERTIFICATION
 I, MICHAEL T. SHOOK, A DULY QUALIFIED REGISTERED PROFESSIONAL SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THIS PLAT AND DESCRIPTION WERE PREPARED BY ME OR UNDER MY SUPERVISION, SHOWS ALL EASEMENTS AS SHOWN ON THE PLAT OF RECORD OR MADE KNOWN TO ME BY THE OWNERS AND/OR THE PROPRIETORS OF THE SUBDIVISION SHOWN HEREON. UTILITY COMPANIES AND OTHER PARTIES EXPRESSING AN INTEREST AND MEETS THE MINIMUM REQUIREMENTS FOR MONUMENTATION AND SURVEYS OF THE ALBUQUERQUE SUBDIVISION ORDINANCE, AND FURTHER MEETS THE MINIMUM STANDARDS FOR LAND SURVEYING IN THE STATE OF NEW MEXICO (EFFECTIVE NOVEMBER 1, 1989 AND REVISIONS, FEBRUARY 2, 1994 TO OCTOBER 1, 2000), AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

[Signature]
MICHAEL T. SHOOK
NMLS NO. 13240
DATE 3-25-04

THIS IS TO CERTIFY THAT TAXES ARE CURRENT AND PAID ON UPC # _____
 PROPERTY OWNER OF RECORD _____
 BERNALILLO COUNTY TREASURER'S OFFICE



THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON UPC NO. 1019 060 916380-12323
 1019 060 453377 12323
 PROPERTY OWNER OF RECORD *[Signature]*
 BERNALILLO COUNTY TREASURER'S OFFICE *[Signature]*

INDEXING INFORMATION FOR COUNTY CLERK
 OWNERS: PAM & PHIL SHEETS
 LOCATION: SECTION 5, T 10 N, R 3 E, NMPM
 SUBDIVISION: M.R.G.C.D. PROPERTY MAP NO. 33

LEGAL DESCRIPTION

A CERTAIN TRACT OF LAND SITUATE WITHIN SECTION 5, TOWNSHIP 10 NORTH, RANGE 3 EAST, N.M.P.M., BERNALILLO COUNTY, NEW MEXICO, BEING AND COMPRISING TRACT NO. 22-A-1 AND TRACT NO. 22-A-2, AS SAME IS SHOWN AND DESIGNATED ON MIDDLE RIO GRANDE CONSERVANCY DISTRICT PROPERTY MAP NO. 23, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
 BEGINNING AT THE NORTHEAST CORNER OF SAID TRACT, BEING A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE ALAMEDA DRAIN, SAID POINT ALSO BEING THE SOUTHEAST CORNER OF LOT 1, BLOCK 7, GARDNER ADDITION, AS SAME IS SHOWN IN THE PLAT OF SAID ADDITION, FILED MARCH 28, 1940, IN VOLUME D, FOLIO 71, RECORDS OF BERNALILLO COUNTY, NEW MEXICO, HENCE FOR A TIE TO CITY OF ALBUQUERQUE CONTROL STATION NM47-10* HAVING NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE NAD 1927) OF X=383,187.68 AND Y=1,600,747.69, WHICH BEARS S. 0° 47' 23" N., A DISTANCE OF 930.71 FEET;
 THENCE S. 8° 50' 30" N., ALONG SAID ALAMEDA DRAIN RIGHT-OF-WAY LINE, A DISTANCE OF 184.81 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF SAN CLEMENTE AVENUE, N.M.;
 THENCE, LEAVING SAID ALAMEDA DRAIN RIGHT-OF-WAY, N. 76° 09' 28" W., ALONG THE NORTHERLY RIGHT-OF-WAY LINE OF SAN CLEMENTE AVENUE, N.M., A DISTANCE OF 839.39 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF NORTH FOURTH STREET, N.M.;
 THENCE, N. 9° 07' 36" E., ALONG SAID NORTH FOURTH STREET, N.M., RIGHT-OF-WAY LINE, A DISTANCE OF 162.46 FEET TO A POINT;
 THENCE, LEAVING SAID NORTH FOURTH STREET, N.M., RIGHT-OF-WAY LINE, S. 76° 09' 49" E., ALONG THE NORTHERLY LINE OF SAID TRACT, SAID NORTHERLY LINE ALSO BEING THE SOUTHERLY LINE OF SAID GARDNER ADDITION, A DISTANCE OF 838.28 FEET TO THE POINT OF BEGINNING, CONTAINING 3.6230 ACRES, MORE OR LESS.

M.R.G.C.D. APPROVAL STATEMENT

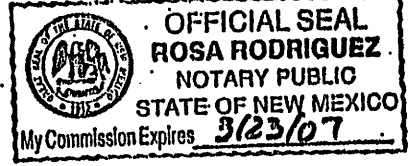
APPROVED ON THE CONDITION THAT ALL RIGHTS OF THE MIDDLE RIO GRANDE CONSERVANCY DISTRICT IN EASEMENTS, RIGHTS OF WAY, ASSESSMENTS AND LIENS, ARE FULLY RESERVED TO SAID DISTRICT, AND THAT IF PROVISION FOR IRRIGATION SOURCE AND EASEMENTS ARE NOT PROVIDED FOR BY THE SUBDIVIDER FOR THE SUBDIVISION, ADDITION, OR PLAT, SAID DISTRICT IS ABSOLVED OF ALL OBLIGATIONS TO FURNISH IRRIGATION WATERS AND SERVICES TO ANY PORTIONS THEREOF, OTHER THAN FROM EXISTING TURNOUTS.

APPROVED *[Signature]* DATE 3-26-04
 FOR SUBHAS K. SHAH, CE.

FREE CONSENT & DEDICATION

SURVEYED AND REPLATTED AS SHOWN HEREON, AND NOW TO BE DESIGNATED AS TRACT "A" & TRACT "B", DEL'S HIDE-A-WAY PARK, WITH THE CONSENT OF AND IN ACCORDANCE WITH THE DESIRES AND WISHES OF THE UNDERSIGNED OWNERS THEREOF. THE UNDERSIGNED HAVE REPRESENTED THEMSELVES TO HAVE TITLE AND ACKNOWLEDGE THAT THIS PLAT IS WITHIN THE COVENANTS AND RESTRICTIONS ON THIS PROPERTY. THE UNDERSIGNED ALSO CONSENT TO THE GRANTING OF ALL EASEMENTS SHOWN HEREON.

[Signature]
PAMELA J. SHEETS
[Signature]
PHILIP D. SHEETS



NOTARY ACKNOWLEDGEMENT

STATE OF NEW MEXICO } S.S.
 COUNTY OF }
 THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 25 DAY OF March, 2004,
 BY: Pamela J. Sheets / Philip D. Sheets

MY COMMISSION EXPIRES: 3/23/07
[Signature]
 ROSA RODRIGUEZ
 NOTARY PUBLIC

SUBDIVISION DATA / NOTES

1. PLAT WAS COMPILED FROM A FIELD SURVEY AND EXISTING RECORD INFORMATION.
2. BEARINGS ARE NEW MEXICO STATE PLANE GRID BEARINGS, CENTRAL ZONE NAD 1927, AND ARE BASED ON ACS CONTROL STATIONS NM47-8 AND NM47-10, AS SHOWN HEREON.
3. DISTANCES ARE GROUND DISTANCES.
4. PLAT SHOWS ALL EASEMENTS OF RECORD.
5. DATA WITHIN PARENTHESES () ARE RECORD PER THE FOLLOWING PLATS:
 A. GARDNER ADDITION, FILED 3/28/40, VOL. D, FOLIO 71.
 B. GIBSON TRACT "A", FILED 12/16/81, VOL. C19, FOLIO 60.
6. GROSS ACREAGE = 3.6230 ACRES
7. NUMBER OF EXISTING TRACTS = 2
8. NUMBER OF TRACTS CREATED = 2
9. PROPERTY SURVEYED NOVEMBER, 2003.
10. EXISTING ZONING IS C-2 AND SU -1 FOR RT.
11. TALOS LOG NO. 2004113045
12. CITY WATER AND SEWER SERVICE IS AVAILABLE TO PROPERTY.

DISCLOSURE STATEMENT

THE PURPOSE OF THIS PLAT IS TO CREATE TWO (2) NEW TRACTS FROM TWO (2) EXISTING M.R.G.C.D. TRACTS AND GRANT PUBLIC AND PRIVATE EASEMENTS AS SHOWN HEREON.

A.M. SURVEYING CO.
 612 Cerro de Ortega Drive S.E.
 Rio Rancho, New Mexico 87124
 Phone & FAX: (505) 896-1716

PLAT OF TRACTS "A" & "B" DEL'S HIDE-A-WAY
 (BEING A REPLAT OF TRACT 22-A-1 & TRACT 22-A-2, M.R.G.C.D. MAP NO. 33)

SECTION 5, T 10 N, R 3 E, N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

JANUARY 2004



M.R.G.C.D. NOTES:

- PRIVATE ROAD EASEMENTS TO BE MAINTAINED BY DEL'S HIDE-A-WAY PARK PROPERTY OWNERS.
- UNDER NO CIRCUMSTANCES SHALL FENCES, WALLS, SIDEWALKS, LANDSCAPING, TREES, STRUCTURES, UTILITIES, CULVERT PIPES, CURBS, ASPHALT PAVEMENT, CONCRETE PAVEMENT, OR ANY OTHER IMPROVEMENT BE CONSTRUCTED WITHIN THE 20' WIDE DITCH EASEMENT.
- DEL'S HIDE-A-WAY PARK PROPERTY OWNERS MUST PROVIDE DITCH ACCESS TO THE M.R.G.C.D. AND DITCH USERS PER SECOND JUDICIAL DISTRICT CAUSE NO. CV-2002-6316.
- UNDER NO CIRCUMSTANCES SHALL STORM WATER DRAINAGE FROM THE SITE BE PERMITTED TO DISCHARGE TO THE ALAMEDA DRAIN.
- DEL'S HIDE-A-WAY PARK PROPERTY OWNERS ARE RESPONSIBLE AT THEIR EXPENSE TO INSTALL AND MAINTAIN TWO (2) 14' WIDE TRAFFIC GATES AT ON THE NORTH SIDE OF THE 20' DITCH EASEMENT AT NORTH THIRD STREET N.W. AND JUPITER ROAD N.W.

GARDNER ADDITION

(FILED 3/28/40, VOL. D, FOLIO 71)

2694864913
 8977564
 Page: 2 of 2
 05/11/2004 02:02P
 DELTA=0'43'20"
 (CENTRAL ZONE
 NAD 1927)

ACS STATION NM47-8

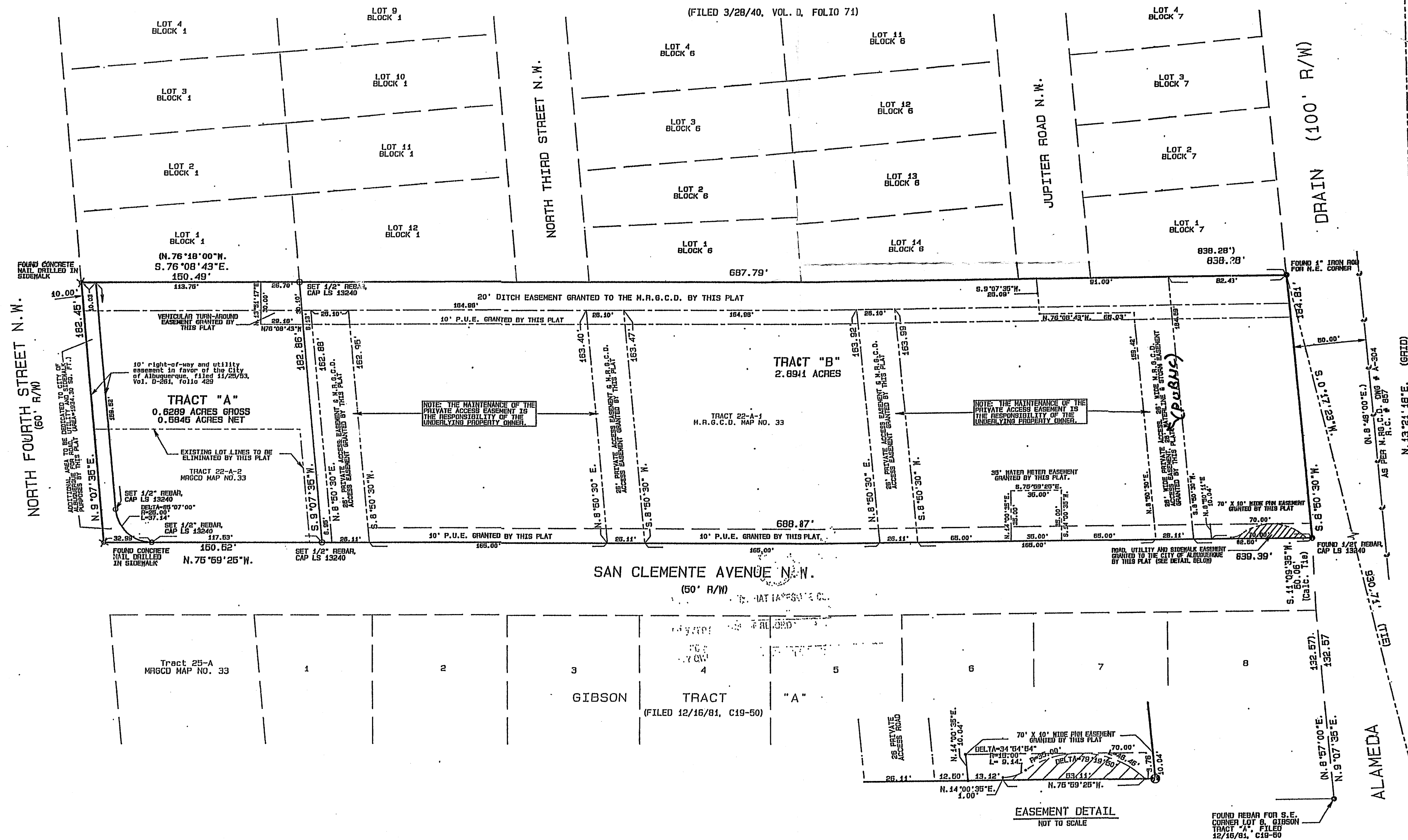
Y=1,505,845.86
 X= 384,597.97
 GROUND TO GRID=
 0.99967727
 DELTA=0'43'20"
 (CENTRAL ZONE
 NAD 1927)

N.13°21'48"E. (GRID)
 BASIS OF BEARINGS

ACS STATION NM47-10

FOUND REBAR FOR S.E. CORNER LOT B, GIBSON TRACT "A", FILED 12/16/81, C19-50

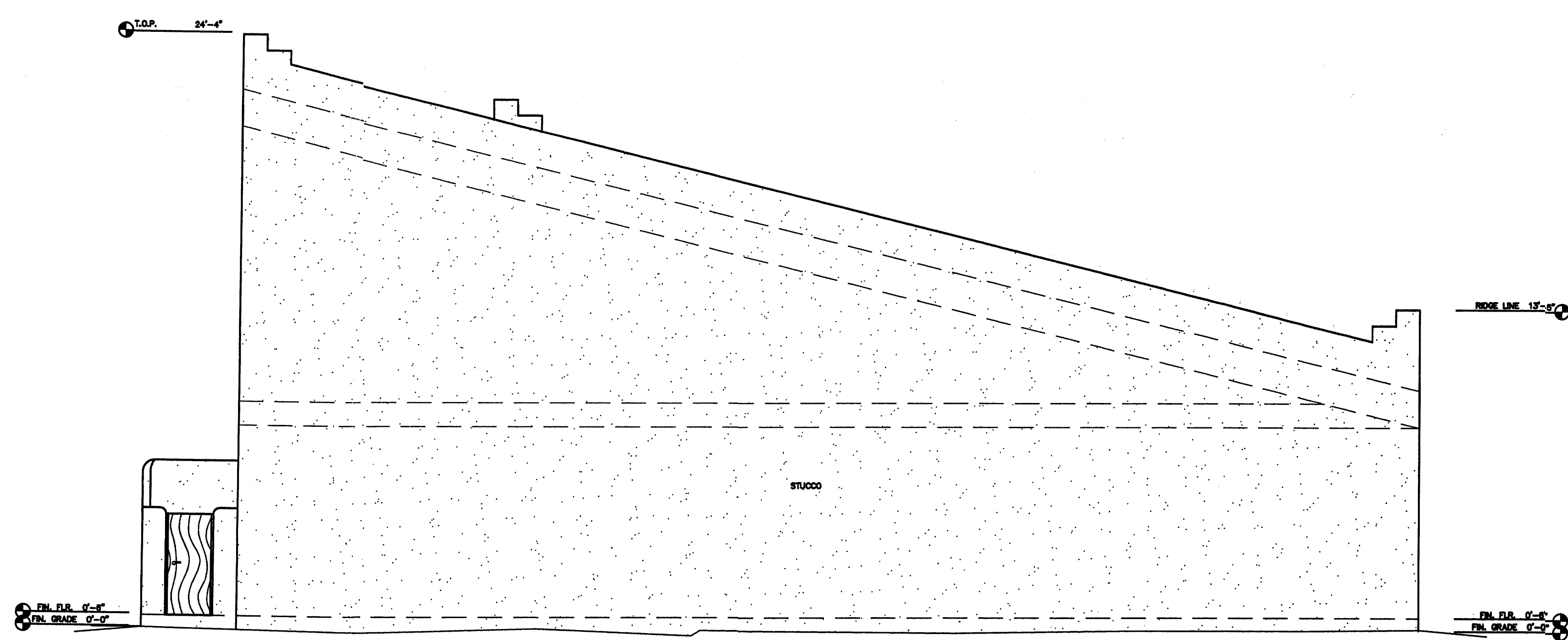
Y=1,500,747.69
 X= 383,387.68
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 DELTA=0'43'28"
 (CENTRAL ZONE
 NAD 1927)



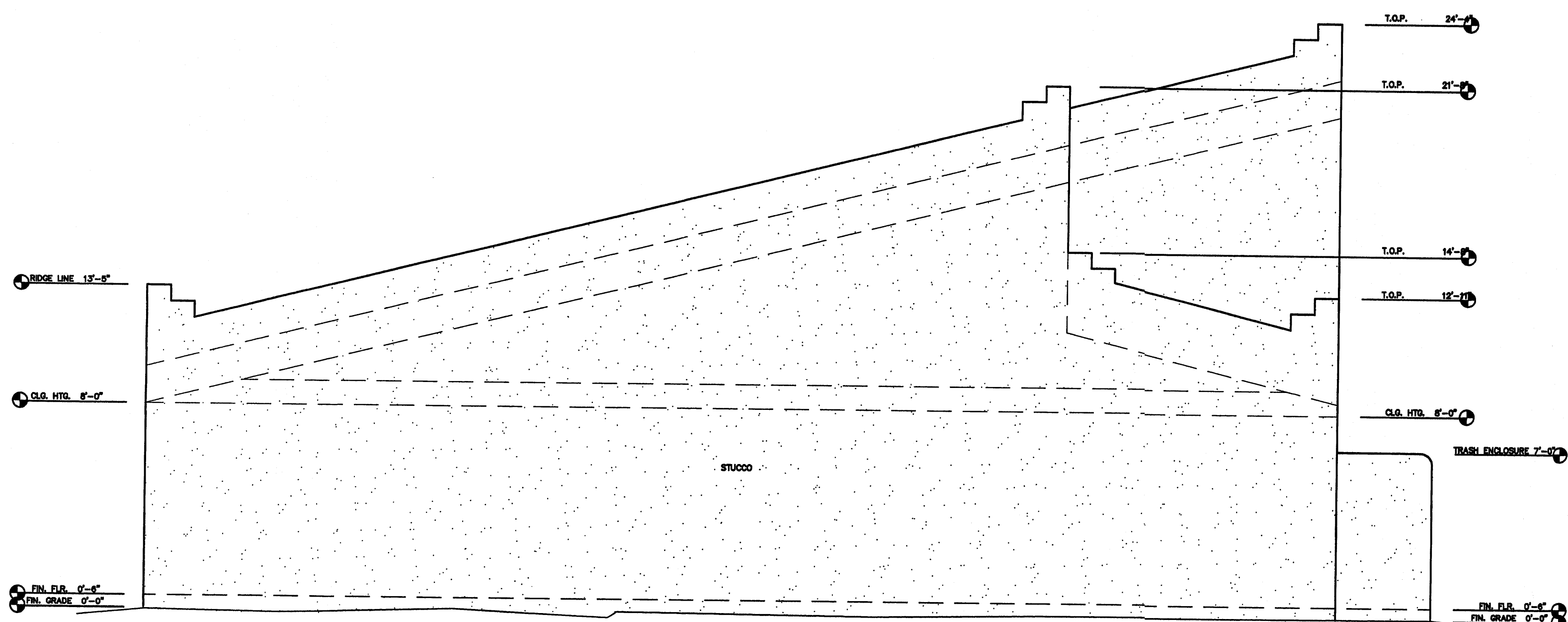
EASEMENT DETAIL
 NOT TO SCALE



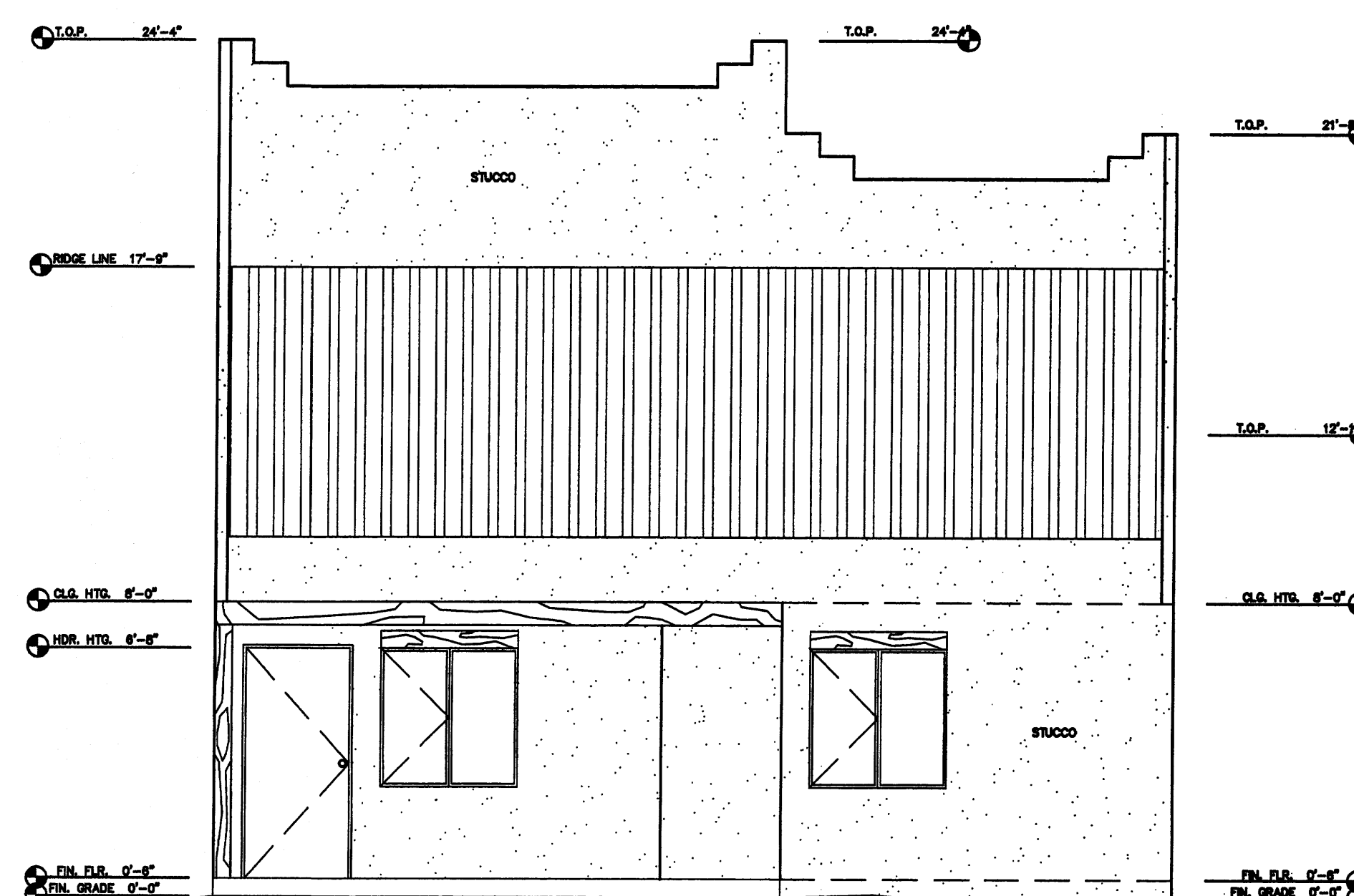
FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE
SCALE: 1/4" = 1'-0"



LEFT SIDE
SCALE: 1/4" = 1'-0"



BACK ELEVATION
SCALE: 1/4" = 1'-0"

- General Notes:
1. The intent of these drawings is to display labor and materials necessary for the completion of all work shown.
 2. In the event of an inconsistency, specifications shall take precedence over drawings.
 3. All work and materials shall be in accordance with the 1997 UBC, State and/or local codes, laws and ordinances.
 4. Verify Dimensions in the field, they will take precedence over drawings.

ARChETECH
DRAFTING SERVICES

12928 EASTRIDGE DR. N.E.
ALBUQUERQUE, N.M. 87112
(505)480-7423 (505)332-1748

DRB REVIEW ONLY

CONSULTANTS

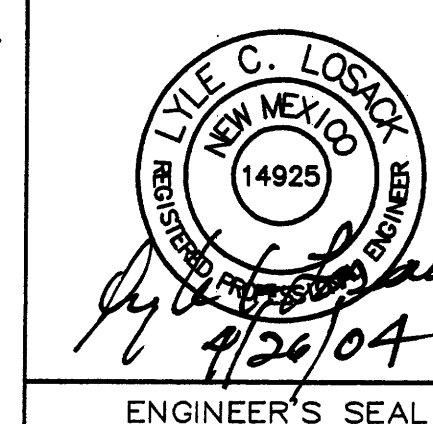
OWNER: DEL'S HIDE-A-WAY PARK - REVISE
4326 4th STREET ALBUQUERQUE, NEW MEXICO

ELEVATIONS

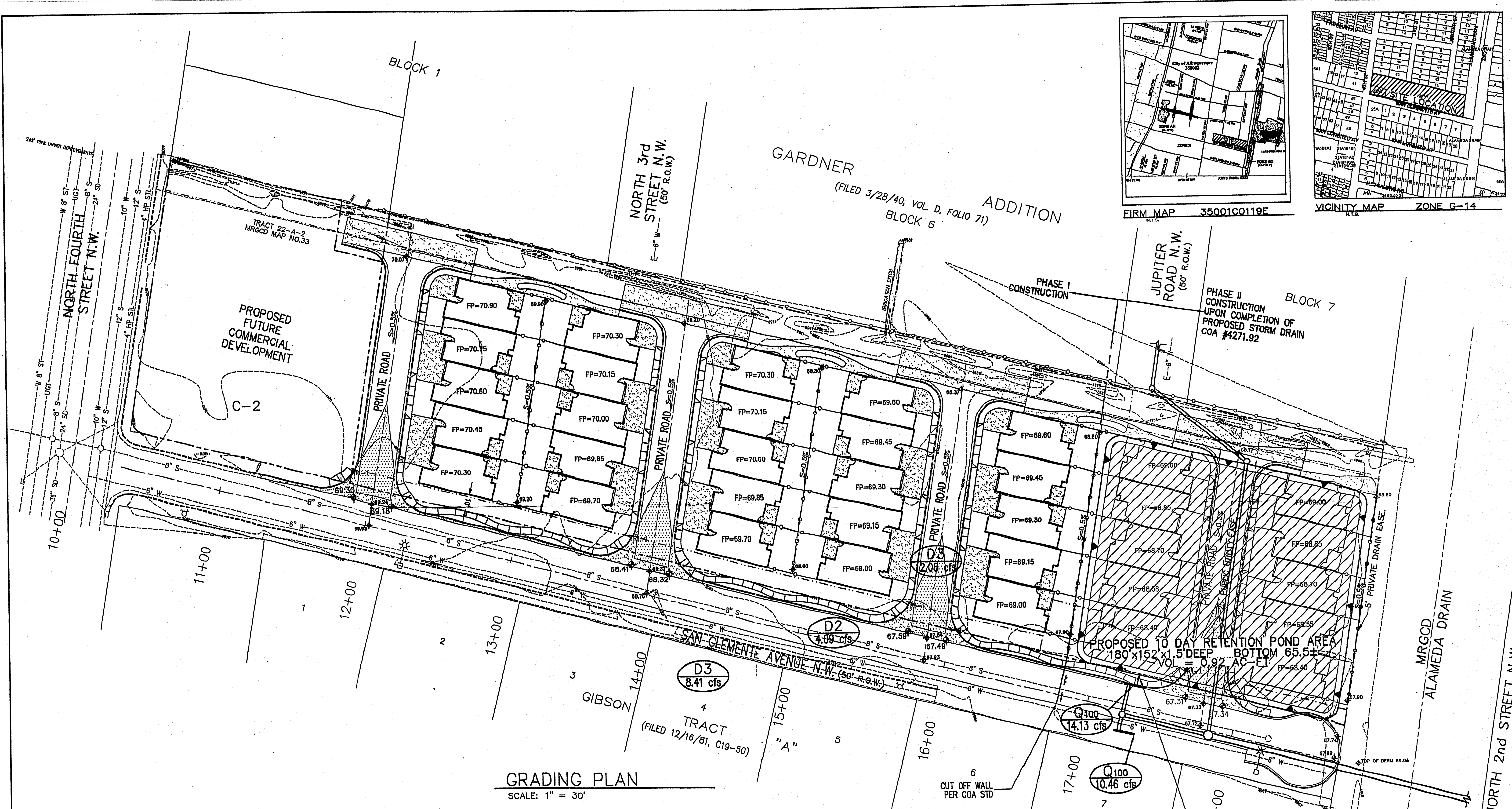
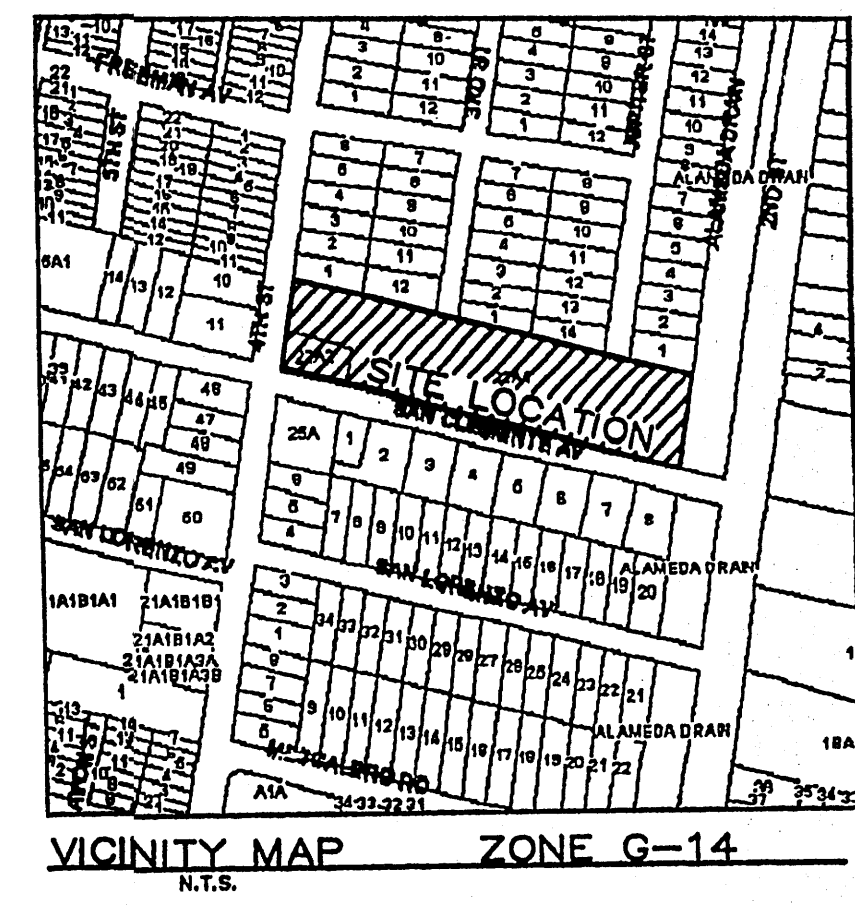
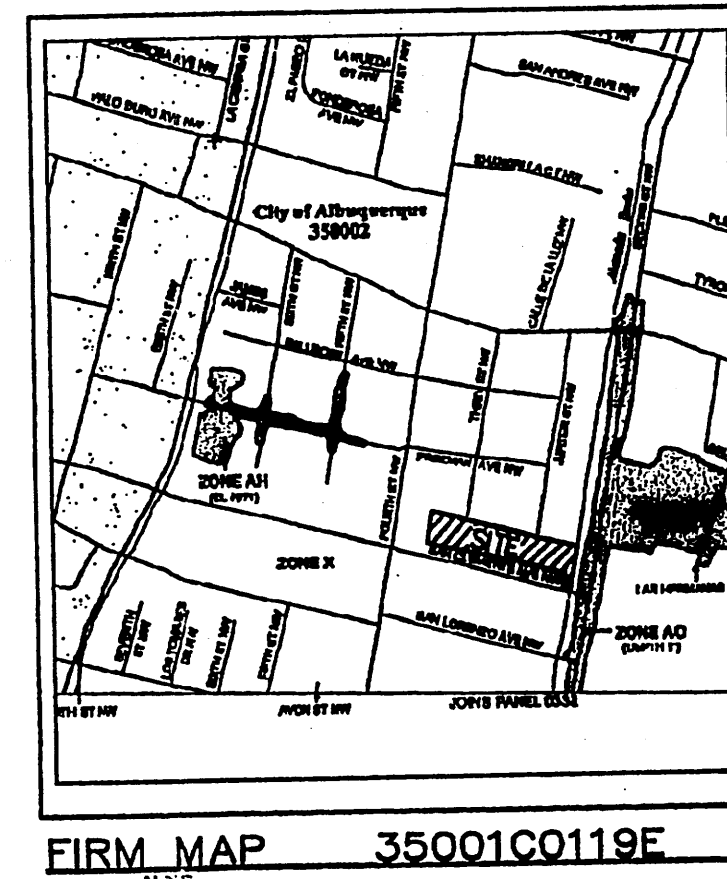
DATE: 4/04
SCALE: AS SHOWN
DESIGNED: RAR/LCL
DRAWN: RAR/PJM

QuikDraw
ENGINEERING, L.L.C.
P.O. Box 729
Corrales, NM, 87048
Office (505) 850-0300 Fax (505) 297-0369

SHEET
A2 /
OF
6



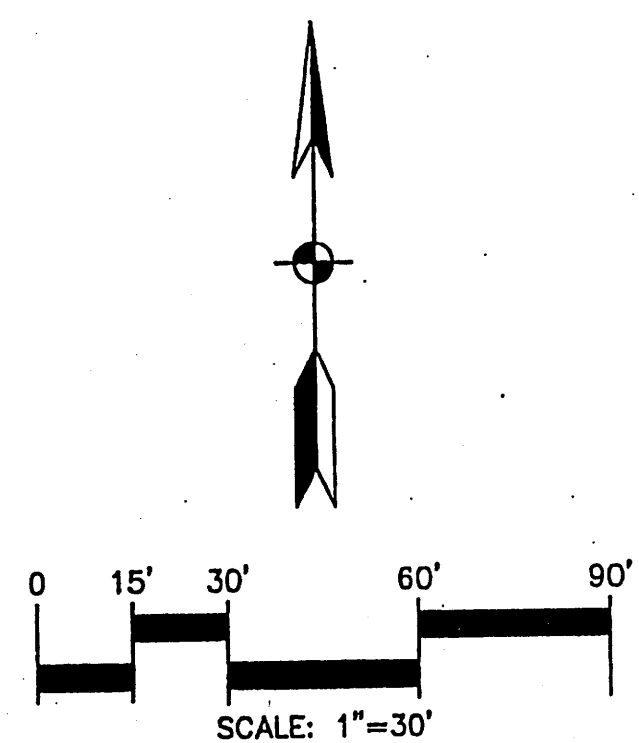
ENGINEER'S SEAL



GRADING PLAN
SCALE: 1" = 30'

GRADING LEGEND

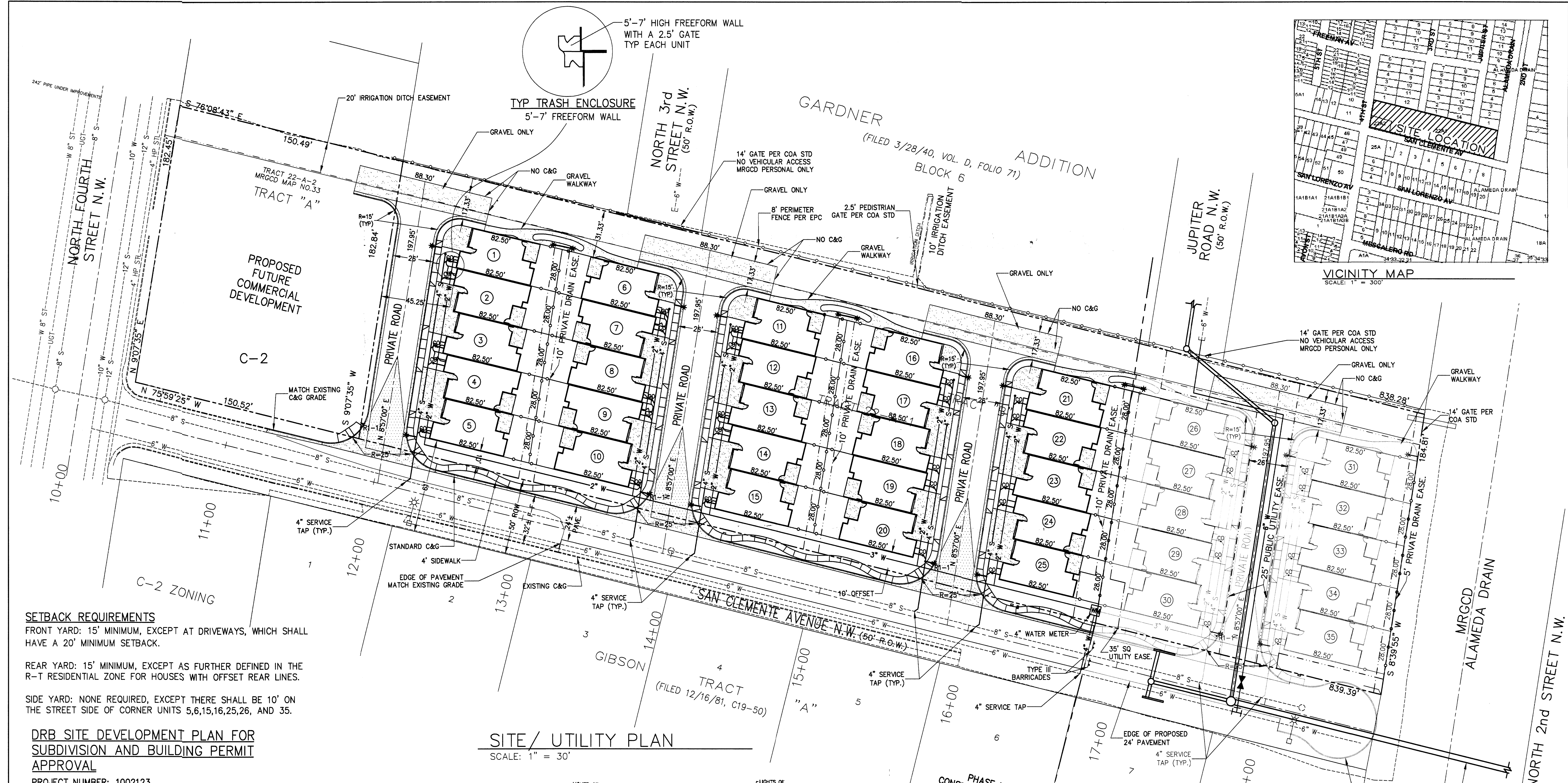
EXISTING	PROPOSED	DESCRIPTION
---	---	BASIN BOUNDARY
---	---	CONTOUR
---	---	FLOW LINE
---	---	SPOT ELEVATION
---	---	STORM DRAIN LINE
---	---	CURB & GUTTER
---	---	VALLEY GUTTER
---	---	WHEEL CHAIR RAMP
---	---	4' SIDEWALK
---	---	STRUCTURE
---	---	STORM DRAIN LINE
---	---	STREET LIGHT
---	---	FIRE HYDRANT
---	---	MANHOLE



DRB REVIEW ONLY

	OWNER: DEL'S HIDE-A-WAY PARK - REVISE 4326 4th STREET ALBUQUERQUE, NEW MEXICO
	TITLE: GRADING PLAN
DATE: 2/04	
SCALE: AS SHOWN	
DESIGNED: LCL	P.O. Box 723 Corralles, NM 87048 Office (505) 698-0399 Fax (505) 697-0369
DRAWN: PJM	

ENGINEER'S SEAL



VICINITY MAP
SCALE: 1" = 300'

SITE/UTILITY PLAN
SCALE: 1" = 30'

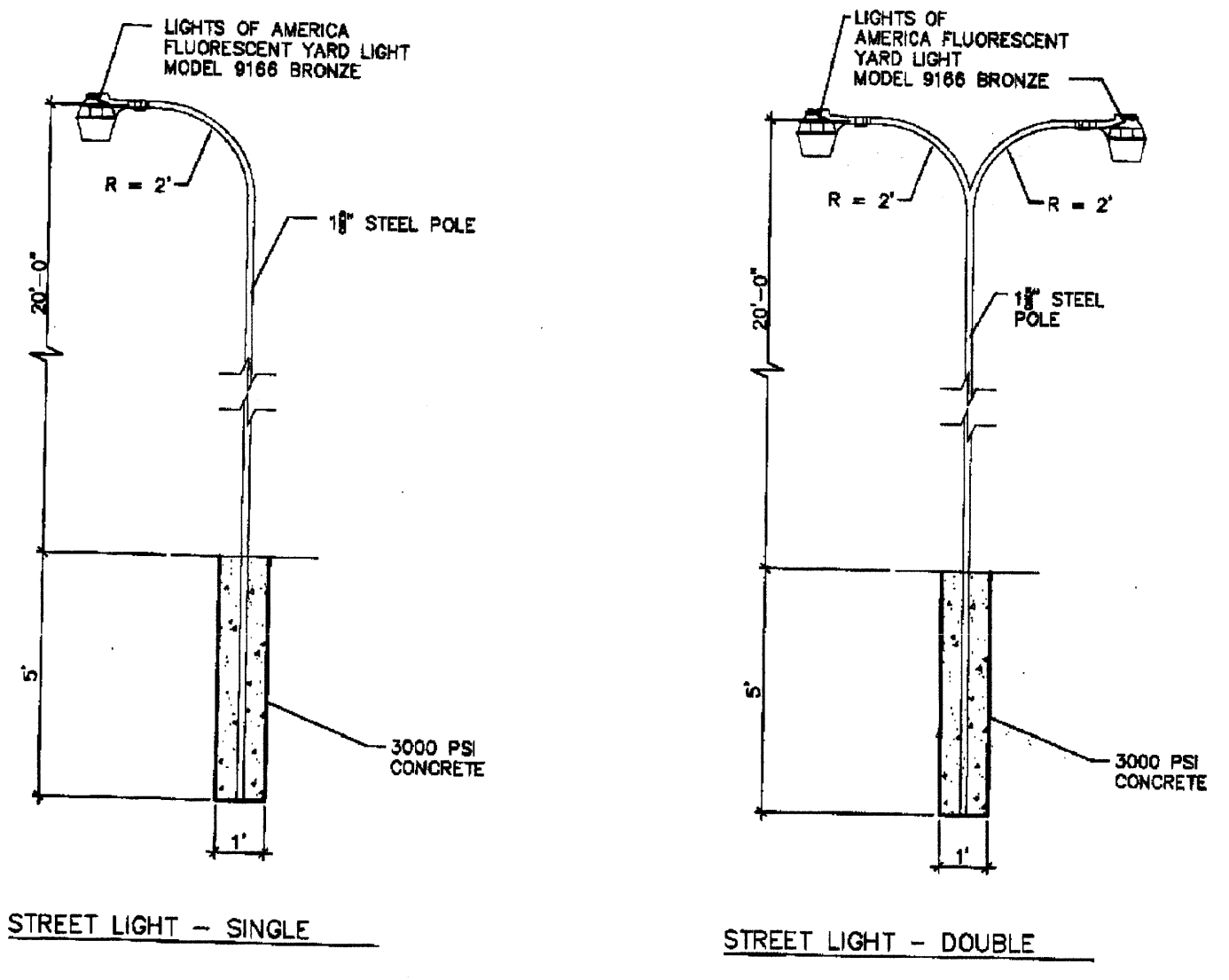
SETBACK REQUIREMENTS
 FRONT YARD: 15' MINIMUM, EXCEPT AT DRIVEWAYS, WHICH SHALL HAVE A 20' MINIMUM SETBACK.
 REAR YARD: 15' MINIMUM, EXCEPT AS FURTHER DEFINED IN THE R-T RESIDENTIAL ZONE FOR HOUSES WITH OFFSET REAR LINES.
 SIDE YARD: NONE REQUIRED, EXCEPT THERE SHALL BE 10' ON THE STREET SIDE OF CORNER UNITS 5,6,15,16,25,26, AND 35.

DRB SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT APPROVAL
 PROJECT NUMBER: 1002123

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
UTILITIES DEVELOPMENT	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
ENVIRONMENTAL HEALTH DEPARTMENT	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

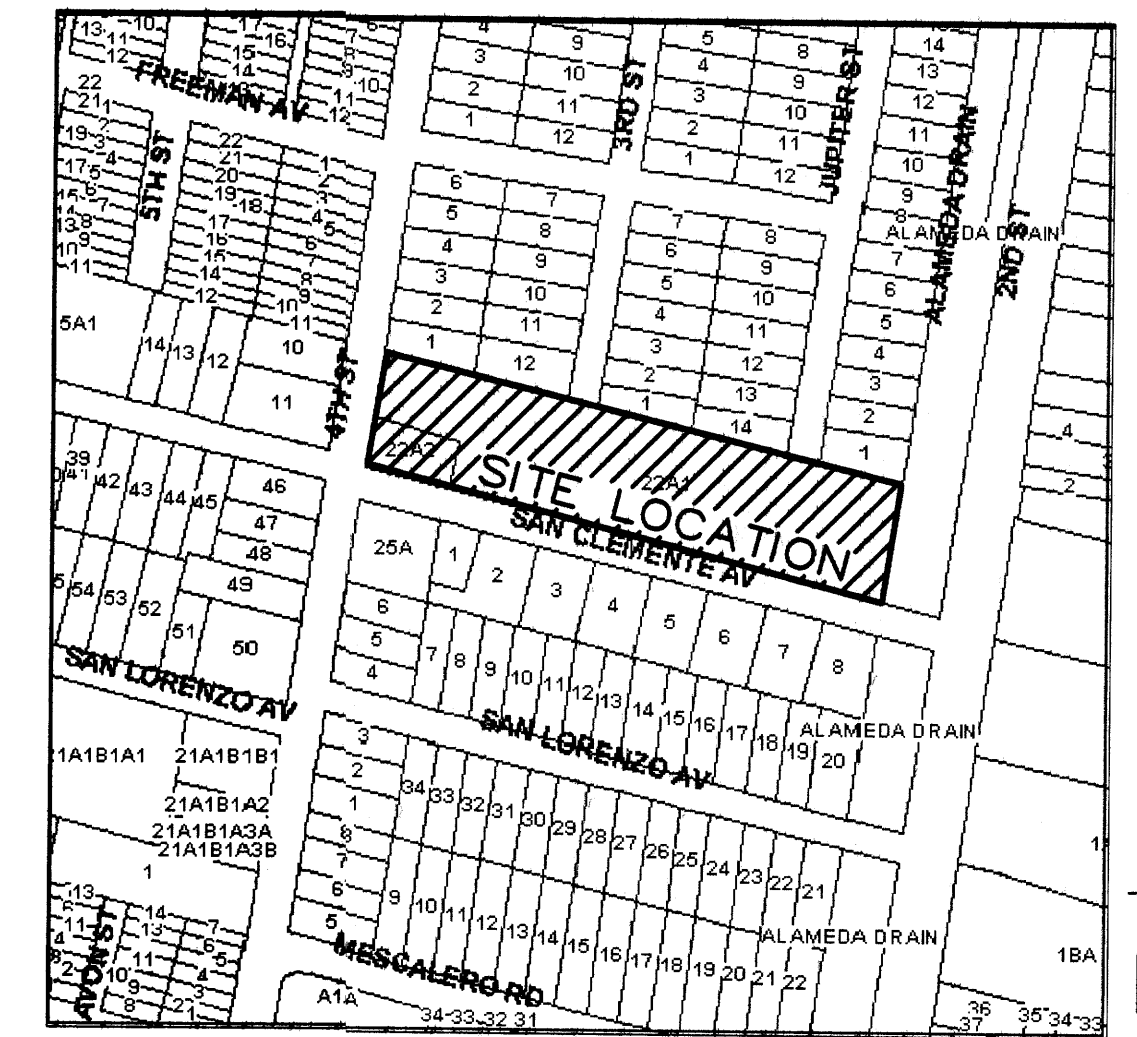
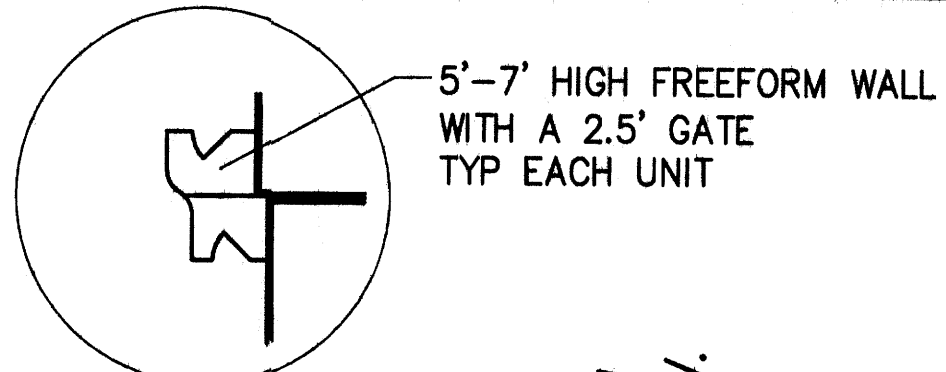
SITE LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	CENTER LINE
---	---	EASEMENT LINE
---	---	PROPERTY LINE
---	---	8' FENCE LINE
---	---	CURB & GUTTER
---	---	VALLEY GUTTER
---	---	WHEEL CHAIR RAMP
---	---	4' SIDEWALK
---	---	STRUCTURE
---	---	WATERLINE
---	---	SEWER LINE
---	---	STORM DRAIN LINE
---	---	STREET LIGHT
---	---	FIRE HYDRANT
---	---	MANHOLE

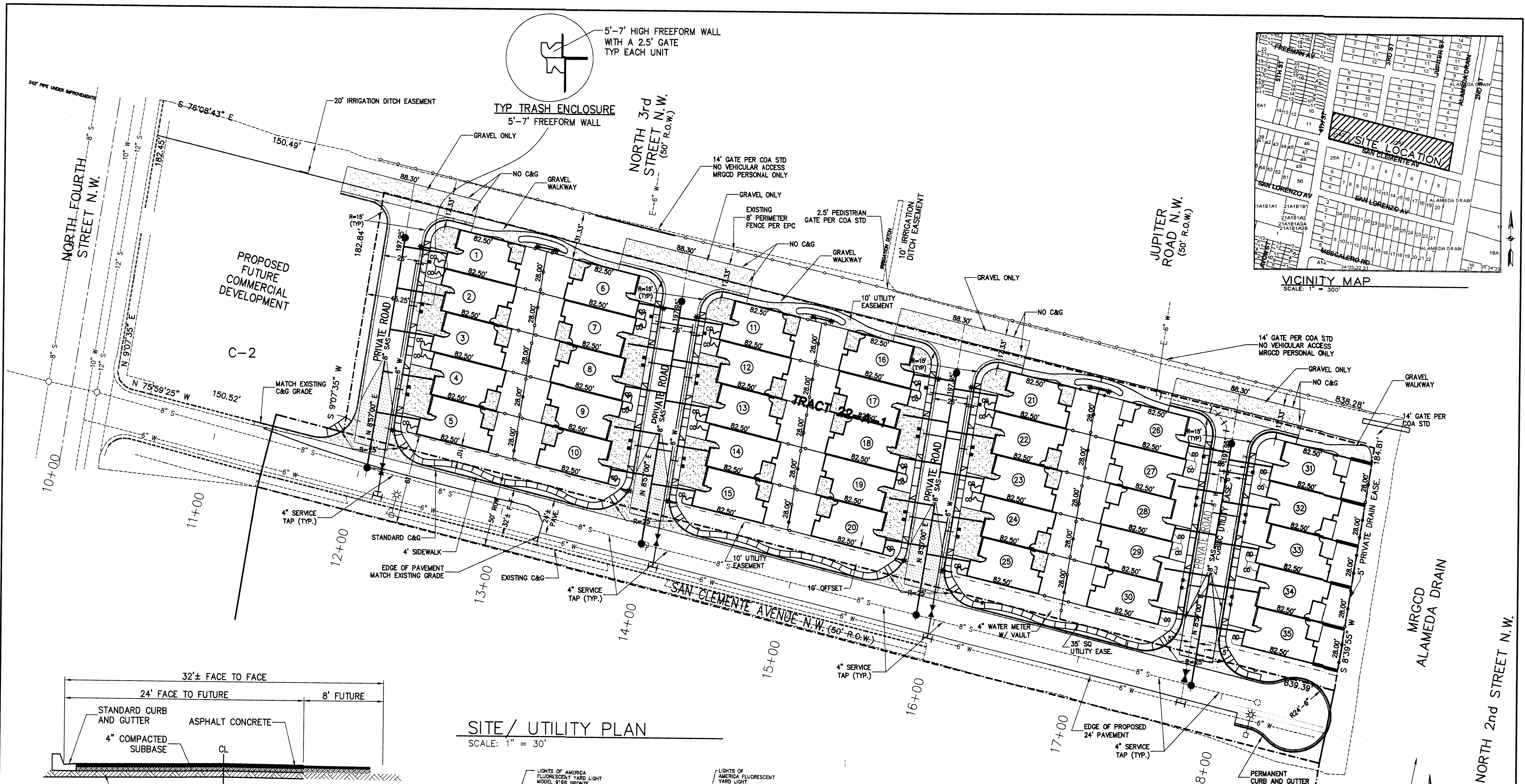


- NOTE:**
- OCCUPANCY GROUP R-3
 TYPE CONSTRUCTION V-N
 TYPICAL FLOOR AREA - GARAGE 247 SQ. FT.
 - HEATED FLOOR 919 SQ. FT.
 - TOT AREA 1193
 - REQ'D PARKING 2 SPACES PER DWELLING
 PROVIDED PARKING 2 SPACES PER DWELLING
 - NO IMPROVEMENT WILL BE CONSTRUCTED IN THE IRRIGATION EASEMENT. ONLY GRAVEL AND LANDSCAPING WILL BE PLACED IN THE EASEMENT. NO CHANGES WILL BE MADE TO THE CONFIGURATION OF THE DITCH, ITS BANKS OR ITS CHECKGATE. THERE SHALL BE A 10' SEPERATION BETWEEN THE RESIDENCES AND THE IRRIGATION DITCH EASEMENT.

	OWNER	DEL'S HIDE-A-WAY PARK - REVISE
	TITLE	4326 4th STREET ALBUQUERQUE, NEW MEXICO
	DATE	2/04
	SCALE	AS SHOWN
DESIGNED	LCL	QuikDraw ENGINEERING, L.L.C. P.O. Box 729 Corralitos, NM 87048 Office (505) 899-0369 Fax (505) 697-0369
DRAWN	PJM	
ENGINEER'S SEAL		SHEET 3 OF 5 PLANNING DEPT

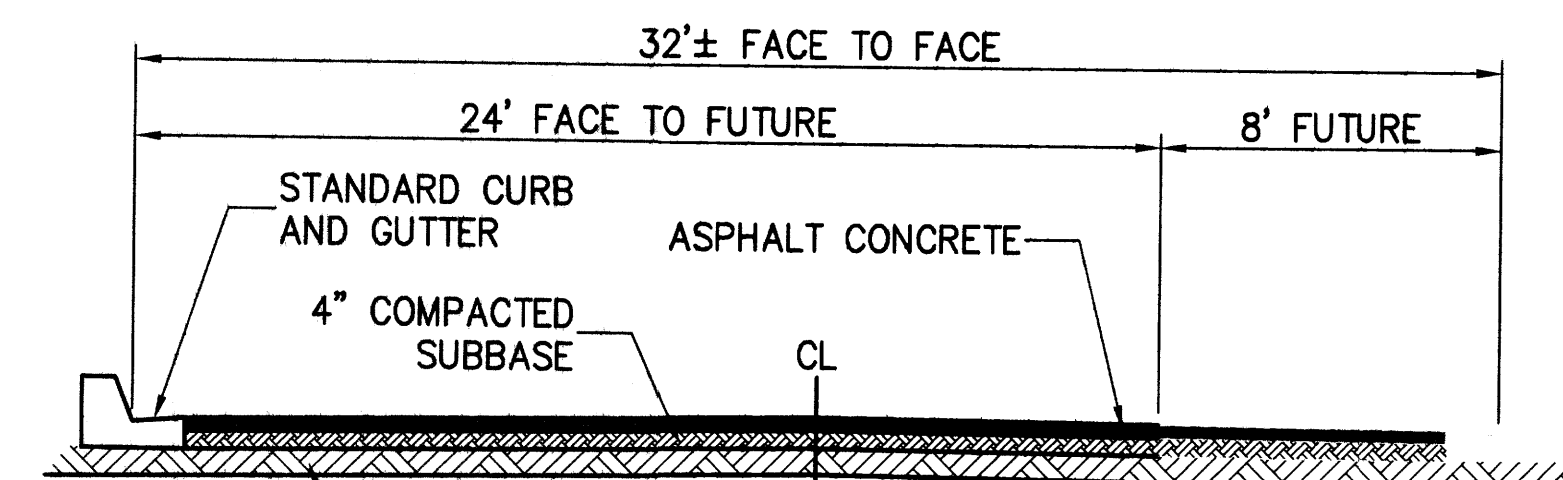


VICINITY MAP
SCALE: 1" = 300'

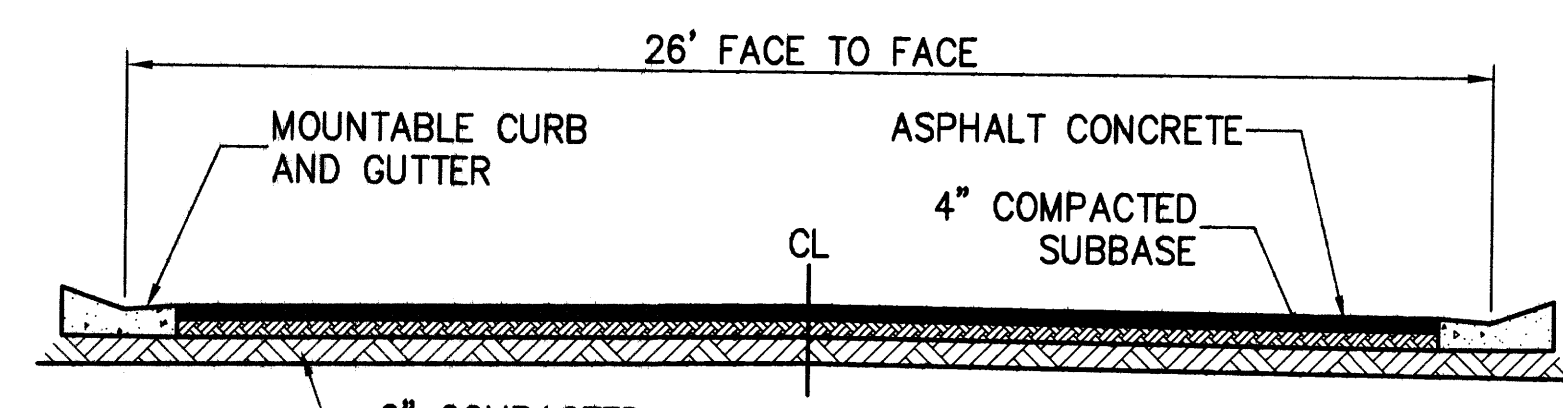


SITE / UTILITY PLAN

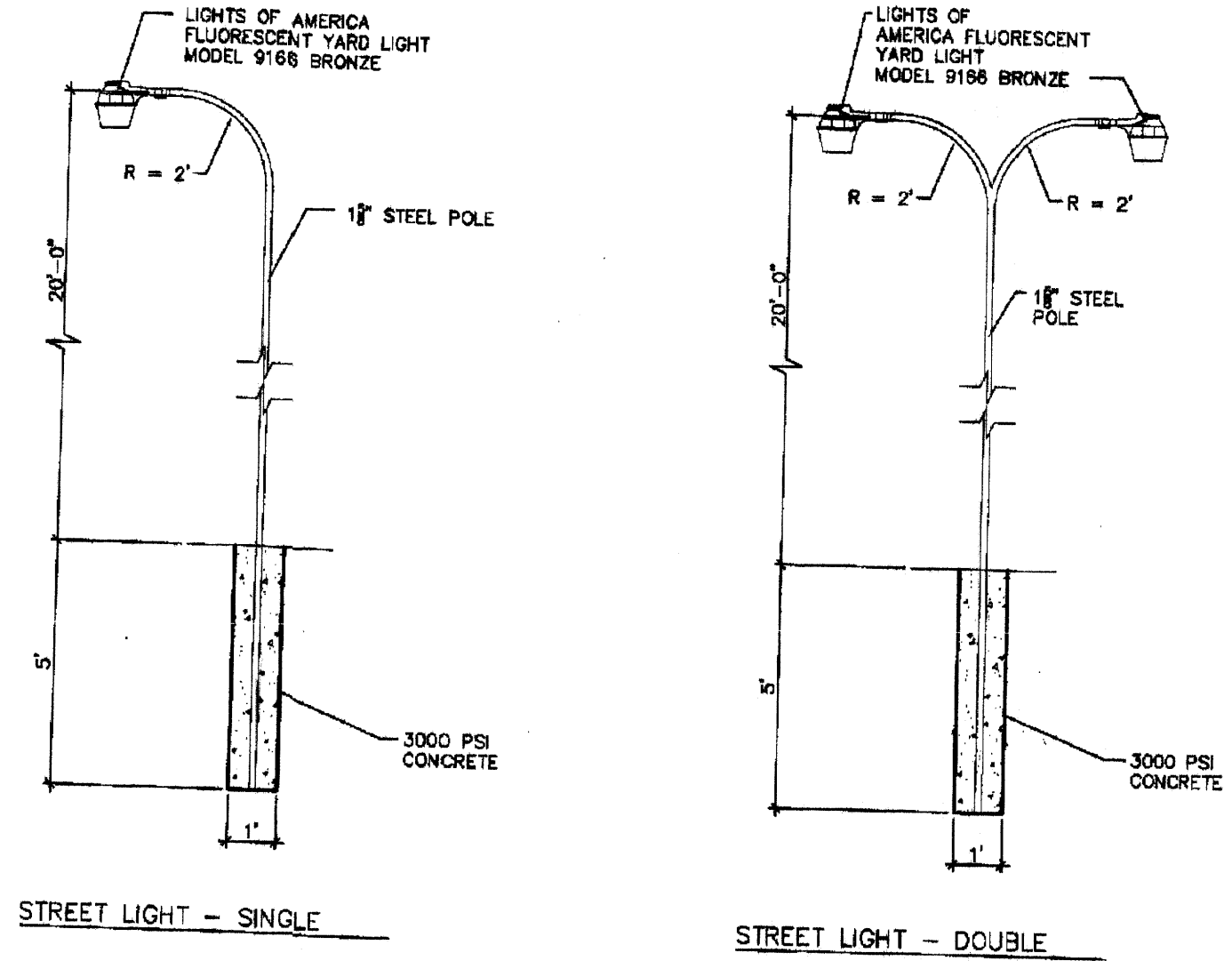
SCALE: 1" = 30'



SAN CLEMENTE AVE
SCALE: NTS



TYPICAL PRIVATE STREET
SCALE: NTS

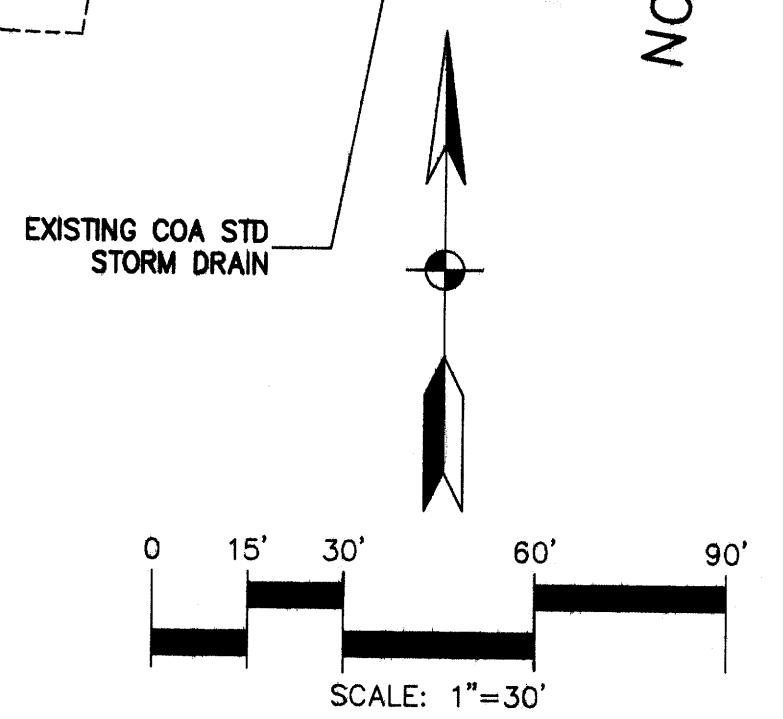


STREET LIGHT - SINGLE

STREET LIGHT - DOUBLE

SITE LEGEND

EXISTING	PROPOSED	
---	---	CENTER LINE
---	---	EASEMENT LINE
---	---	PROPERTY LINE
---	---	8' FENCE LINE
---	---	CURB & GUTTER
---	---	VALLEY GUTTER
---	---	WHEEL CHAIR RAMP
---	---	4' SIDEWALK
---	---	STRUCTURE
---	---	WATERLINE
---	---	SEWER LINE
---	---	STORM DRAIN LINE
---	---	STREET LIGHT
---	---	FIRE HYDRANT
---	---	MANHOLE



DRB REVIEW ONLY

ENGINEER'S SEAL

DEL'S HIDE-A-WAY PARK - REVISE
4326 4th STREET ALBUQUERQUE, NEW MEXICO

SITE / UTILITY PLAN

DATE: 6/04
SCALE: AS SHOWN
DESIGNED: LCL
DRAWN: PJM

QuikDraw ENGINEERING, L.L.C.
P.O. Box 729
Corralitos, NM 87046
Office (505) 696-0369 Fax (505) 697-0369

14925
6/2/05

SP
OF

PROJECT NUMBER: **1002123**
 Application Number: **05 DRB-00981**

PLAT APPROVAL

Utility Approvals:
 Electric Service: **6-28-05**
 Gas Service: **6-28-05**
 Water Service: **6-28-05**
 Sewer Service: **6-28-05**
 Telephone Service: **6-28-05**
 Cable Service: **6-28-05**
 New Mexico Utilities: **6-28-05**

City Approvals:

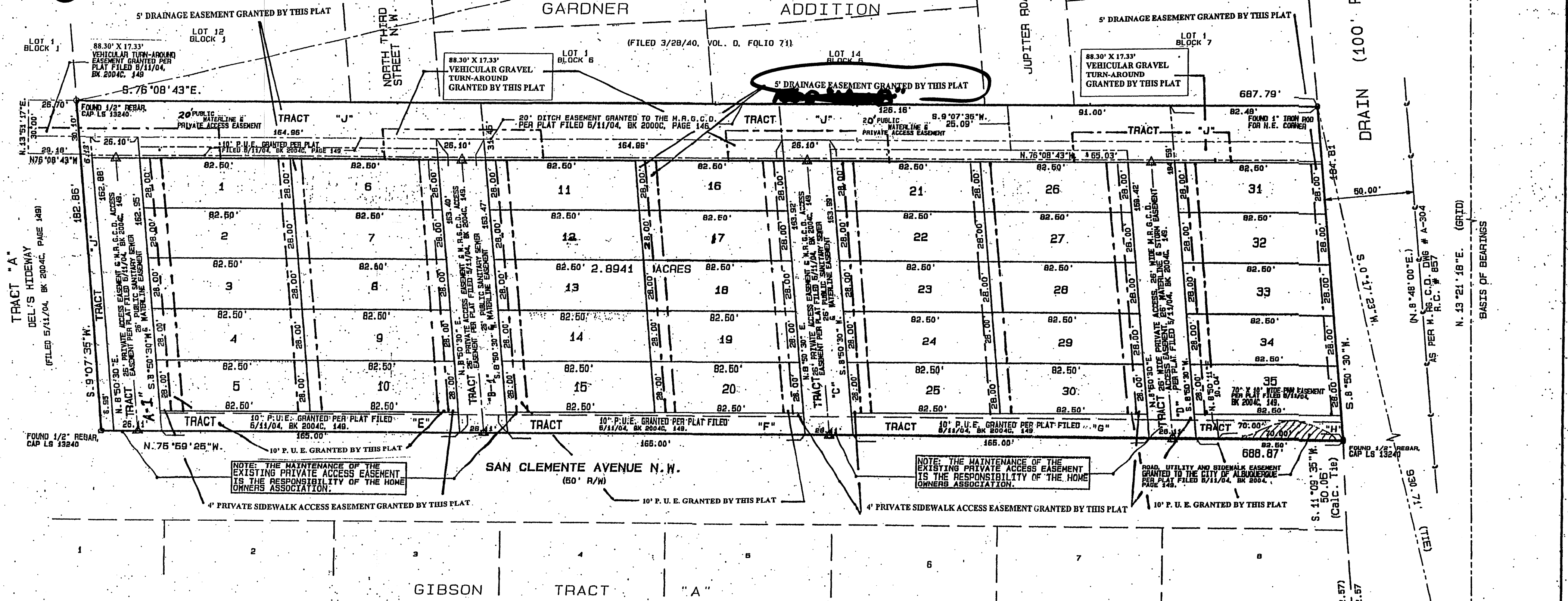
City Surveyor: _____ Date: _____
 Real Property Division (conditional): _____ Date: _____
 Environmental Health Department (conditional): _____ Date: _____
 Traffic Engineering, Transportation Division: _____ Date: _____
 Water Utility Department: _____ Date: _____
 Parks and Recreation Department: _____ Date: _____
 City Engineer: _____ Date: _____
 Public Works, Planning Department: _____ Date: _____

LEGAL DESCRIPTION
 TRACT LETTERED "B", DEL'S HIDE-A-WAY PARK, AS SAME IS SHOWN AND DESIGNATED ON THAT CERTAIN PLAT ENTITLED, "PLAT OF TRACTS 'A' & 'B' DEL'S HIDE-A-WAY PARK, BEING A REPLAT OF TRACT 22-A-1 & 22-A-2, N.M.P.M., MAP NO. 33, SECTION 5, T. 10 N., R. 3 E., N.M.P.M., CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, JANUARY 2004," FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO, ON MAY 11, 2004, IN BOOK 2004C, PAGE 142.

PRELIMINARY
PLAT OF LOTS 1 THRU 35 and
TRACTS "A-1", "B-1", "C", "D", "E", "F", "G", & "J"
DEL'S HIDE-A-WAY
 (BEING A REPLAT OF TRACT "B", DEL'S HIDE-A-WAY)
 SECTION 5, T. 10 N., R. 3 E., N.M.P.M.
 CITY OF ALBUQUERQUE
 BERNALILLO COUNTY, NEW MEXICO

FREE CONSENT AND DEDICATION
 THE SUBDIVISION HEREON DESCRIBED IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER(S) AND/OR PROPRIETOR(S) THEREOF AND SAID OWNER(S) AND/OR PROPRIETOR(S) DO HEREBY CONSENT TO ALL OF THE FOREGOING AND DO HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNER(S) WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND UNDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.
 OWNERS: **Delgado & Sheets** DATE: **06/28/05**

NOTES:
 PROPOSED TRACTS "A-1", "B-1", "C", "D", "E", "F", "G", & "J" TO BE CONVEYED TO DEL'S HIDE-A-WAY HOME OWNERS ASSOCIATION AND THE MAINTENANCE OF THE TRACTS WILL BE THE RESPONSIBILITY OF THE HOME OWNERS ASSOCIATION.



NOTES:
 1. UNLESS OTHERWISE NOTED ALL BOUNDARY CORNERS SHOWN THIS \odot SHALL BE MARKED BY A 1/2" REBAR WITH CAP STAMPED NMLS 43240.
 2. ALL STREET CENTERLINE MONUMENTATION SHALL BE INSTALLED AT ALL CENTERLINE POINTS, ANGLE POINTS, AND STREET INTERSECTIONS AND SHOWN THUS \odot WILL BE MARKED BY A FOUR INCH (4") ALUMINUM CAP STAMPED "CITY OF ALBUQUERQUE CENTERLINE MONUMENTATION MARKED DO NOT DISTURB, PS # 13240.
 3. BOUNDARY SHALL BE TIED TO NEW MEXICO STATE PLANE GRID BEARINGS. HAWKES WILL BE OFFSET AT ALL POINTS OF CURVATURE, POINTS OF TANGENCY, STREET INTERSECTIONS, AND ALL OTHER ANGLE POINTS TO ALLOW USE OF CENTERLINE MONUMENTATION.
 APPROVED: **Delgado & Sheets** DATE: **6-28-05**
 CITY SURVEYOR

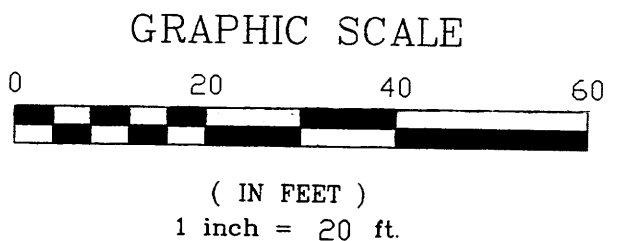
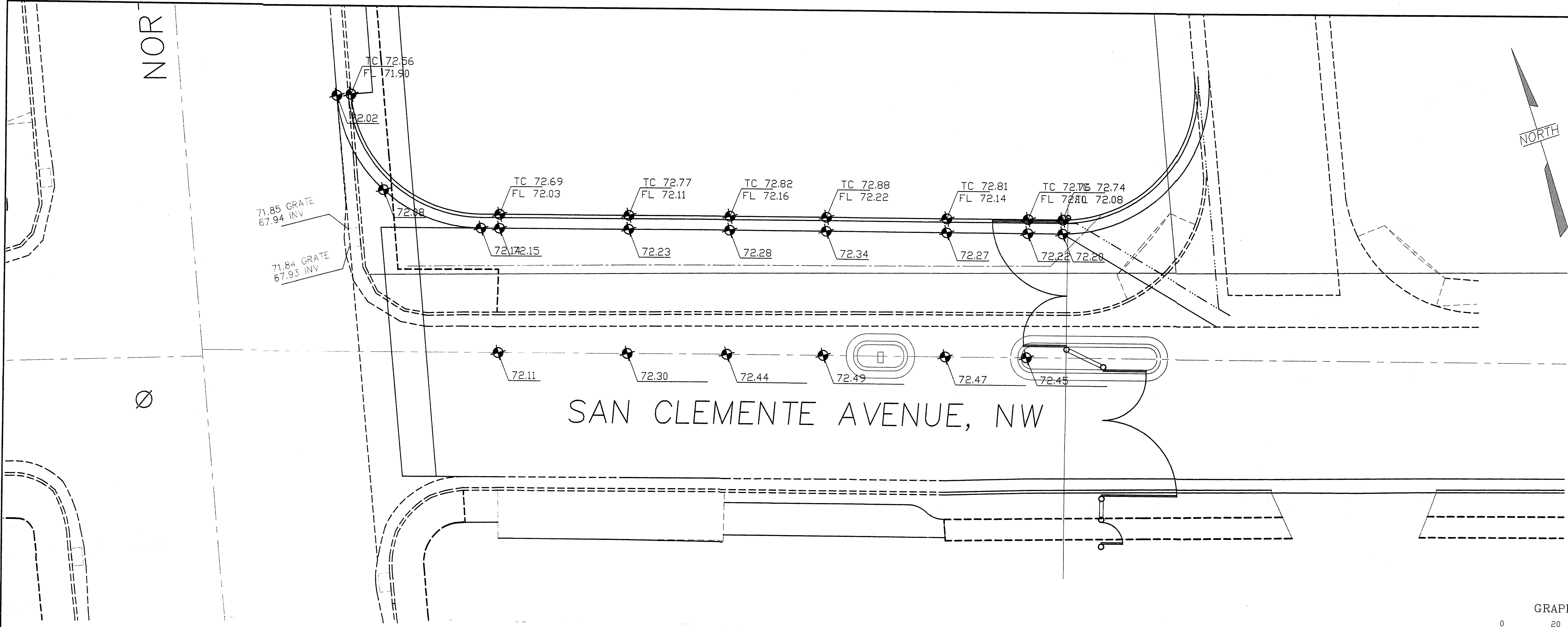
NOTES:
 1. PRIVATE ROAD TRACTS "A-1", "B-1", "C", "D", "E", "F", "G", & "J" TO BE MAINTAINED BY DEL'S HIDE-A-WAY HOME OWNERS ASSOCIATION.
 2. UNDER NO CIRCUMSTANCES SHALL FENCES, WALL, SIDEWALK, TREES, STRUCTURES, CURBENT PIPES, CURBS, ASPHALT PAVEMENT, AND/OR CONCRETE IMPROVEMENT BE CONSTRUCTED WITHIN THE 20' WIDE IRRIGATION DITCH EASEMENT THAT WOULD IMPAIR IN ANY WAY THE FLOW OF WATER THROUGH THE MAURINO WASTEWAY, OR THAT WOULD IMPAIR M.R.G.C.D. PERSONNEL FROM ACCESS FOR MAINTENANCE OF THE IRRIGATION DITCH EASEMENT.
 3. ONLY PUBLIC AND PRIVATE UTILITIES LICENSED BY M.R.G.C.D. WILL BE PERMITTED IN THE 20' WIDE IRRIGATION DITCH EASEMENT.
 4. M.R.G.C.D. WILL MAINTAIN THE IRRIGATION DITCH STRUCTURE AND BE RESPONSIBLE FOR DREDGING AND TRASH REMOVAL.
 5. DEL'S HIDE-A-WAY HOME OWNERS ASSOCIATION WILL ASSUME RESPONSIBILITY FOR WEED CONTROL AND LANDSCAPING OF TRACT "J" AND THE IRRIGATION DITCH EASEMENT.
 6. 4-88.30' BY 17.33' VEHICULAR GRAVEL TURN-AROUND WILL BE ALLOWED TO BE CONSTRUCTED ON THE SOUTH 7 FEET OF THE 20' WIDE IRRIGATION DITCH EASEMENT AT THE NORTH END OF TRACTS "A-1", "B-1", "C", "D", "E", "F", "G", AND DEL'S HIDE-A-WAY HOME OWNERS ASSOCIATION WILL ASSUME THE MAINTENANCE THERE OF.
 7. DEL'S HIDE-A-WAY HOME OWNERS ASSOCIATION WILL PROVIDE ACCESS TO THE M.R.G.C.D. AND REASONABLE ACCESS FOR M.R.G.C.D. IRRIGATORS ALONG THE MAURINO WASTEWAY, EAST OF 4TH STREET, FOR IRRIGATION AND MAINTENANCE PURPOSES, PER SECOND JUDICIAL DISTRICT CAUSE NO. CV-2002-5316.
 8. UNDER NO CIRCUMSTANCES SHALL STORM WATER DRAINAGE FROM THE SITE BE PERMITTED TO DISCHARGE TO ALAMEDA DRAIN.
 9. DEL'S HIDE-A-WAY HOME OWNERS ASSOCIATION WILL BE RESPONSIBLE FOR THE MAINTENANCE OF THREE (3) 14' WIDE TRAFFIC GATES AT THE NORTH SIDE OF THE 20' IRRIGATION DITCH EASEMENT AT NORTH THIRD STREET N.W. AND JUPITER ROAD N.W. AND THE EAST END OF THE 20' IRRIGATION DITCH EASEMENT AT ALAMEDA DRAIN.
 SUBDIVISION DATA
 GROSS ACRES: 2.8941
 ZONE ATLAS PAGE: 6-14-2
 NO. OF EXISTING TRACTS: 4
 NO. OF LOTS CREATED: 35
 NO. OF TRACTS CREATED: 9
 MILES OF FULL WIDTH STREETS CREATED: 0
 AREA DEDICATED TO THE CITY OF ALBUQUERQUE: 0.0000 ACRES
 DATE OF SURVEY: APRIL, 2005
 ZONING: SU-1 FOR RT
 UTILITY CONTROL LOCATION SYSTEM LOG NUMBER: 2004113045

CONVEYED
NOTES:
 1. **1. M+B for all easements**
 2. **1. M+B for all easements**

TRACTS "A-1", "B-1", & "C", WILL BE BURDENED BY A 25 FOOT PUBLIC SANITARY SEWER, WATERLINE, M.R.G.C.D. ACCESS AND PRIVATE ACCESS EASEMENT. TRACT "D" WILL BE BURDENED BY A 25-FOOT PUBLIC STORM SEWER, SANITARY SEWER, WATERLINE, M.R.G.C.D. ACCESS AND PRIVATE ACCESS EASEMENTS. TRACTS "E", "F", "G", "H", "I", "J" ARE BURDENED BY A 10-FOOT PUBLIC UTILITY EASEMENT AND A PRIVATE ACCESS EASEMENT. TRACT "J" IS BURDENED BY A 10-FOOT PUBLIC UTILITY EASEMENT, A PRIVATE ACCESS EASEMENT AND A PUBLIC ROAD, UTILITY AND SIDEWALK EASEMENT GRANTED TO THE CITY OF ALBUQUERQUE. TRACT "J" IS BURDENED BY A 20-FOOT M.R.G.C.D. IRRIGATION DITCH EASEMENT ON THE NORTH, A 20-FOOT PUBLIC WATERLINE EASEMENT, AND A 10-FOOT PRIVATE UTILITY EASEMENT ON THE SOUTH. TRACT "J" IS ALSO BURDENED BY A 20-FOOT PUBLIC WATERLINE EASEMENT TO NORTH THIRD STREET, 4-88.30' X 17.33' VEHICULAR GRAVEL TURN-AROUND EASEMENTS AT THE ENDS OF TRACTS "A-1", "B-1", "C", "D", "E", "F", "G", "H", "I", "J" ARE ALL BURDENED WITH A 10-FOOT PRIVATE UTILITY EASEMENT, A 4-FOOT PRIVATE SIDEWALK ACCESS EASEMENT ON THE FRONT OF THE LOTS AND A 5-FOOT DRAINAGE EASEMENT ON THE REAR OF THE LOTS.
 THE PUBLIC WATER AND SEWER EASEMENTS IN TRACTS "A-1", "B-1", "C", "D", "E", "F", "G", "H", "I", "J" ARE BURDENED BY BERNALILLO COUNTY WATER UTILITY AUTHORITY (WUUA).

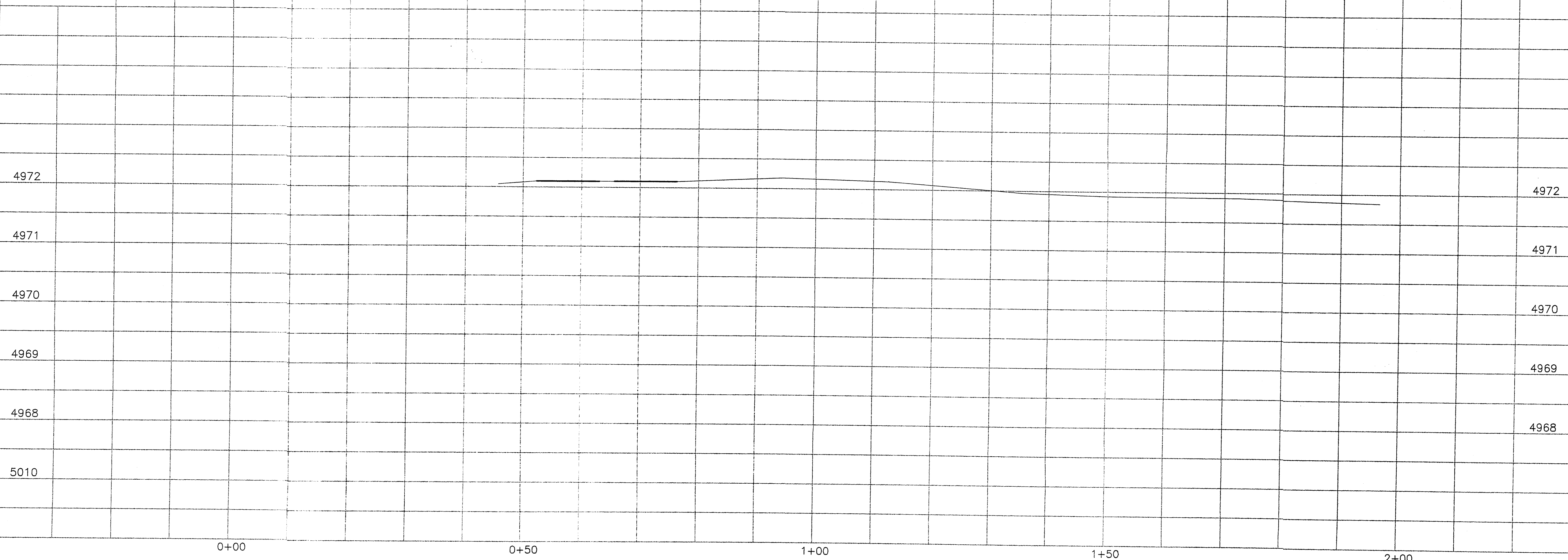
ACS STATION NM47-8
 X=594.845
 Y=354.697
 GROUND TO GRID
 DELTA=0.1320'
 CENTRAL ZONE
 NAD 1987)

ACS STATION NM47-10
 X=1,348.747
 Y=689.779
 GROUND TO GRID
 DELTA=0.1320'
 CENTRAL ZONE
 NAD 1987)



SCALE:
 HORZ: 1"=10'
 VERT: 1"=1'

NAVD 88



- KEYED NOTES**
- 1 INSTALL .
 - 2 INSTALL .
 - 3 INSTALL PER COA STD DWG 2XXX.
 - 4 INSTALL PER COA STD DWG 2XXX.
 - 5 INSTALL PER COA STD DWG 2XXX.
 - 6 UTILITY CUT PAVEMENT REPLACEMENT PER COA S STD DWG 2465 (FILL, SUBGRADE, BASE COURSE, & SURFACE COURSE COMPACTED TO 95% MINIMUM DENSITY PER ASTM D1557).
 - 7 INSTALL PER COA STD DWG 2XXX.
 - 8 INSTALL PER COA STD DWG 2XXX.
 - 9 INSTALL PER COA STD DWG 2XXX.
 - 10 INSTALL PER COA STD DWG 2XXX.

SURVEY INFORMATION		FIELD NOTES	
NO.	DATE	BY	DATE

ENGINEER'S SEAL	
NO.	REMARKS

DESIGNED BY	DATE
J. HEWITT	AUGUST 2009
DRAWN BY	DATE
R. RODRIGUEZ	AUGUST 2009
CHECKED BY	DATE
J. HEWITT	AUGUST 2009

CITY OF ALBUQUERQUE
 PUBLIC WORKS DEPARTMENT
 ENGINEERING DEVELOPMENT GROUP

TITLE TRACTS J & K, DEL'S HIDE-A-WAY
 PAVEMENT PLAN AND PROFILE - SAN CLEMENTE AVE., NE
 (4322 FOURTH STREET, NW)

Design Review Committee	City Engineer Approval

City Project No. 5500XX Zone Map No. G-14-Z Sheet 4 of 4

DEL'S HIDE-A-WAY PARK

4326 4th STREET ALBUQUERQUE, NEW MEXICO

APRIL 2004

SITE PLAN FOR SUBDIVISION AND BUILDING PERMIT

LEGAL DESCRIPTION:
TRACT 22-A-1, MRGCD MAP 33

INDEX TO DRAWINGS

SHEET NO.	DESCRIPTION
CS of 6	COVER SHEET, INDEX TO DRAWINGS, GENERAL NOTES
SP of 6	SITE PLAN
GP of 6	GRADING PLAN
LI of 6	LANDSCAPING PLAN
A1 of 6	FLOOR PLAN
A2 of 6	ELEVATIONS

GENERAL NOTES
1. ZONING, SU-1 FOR R-1 MAXIMUM 35 DWELLING UNITS PROPOSED DEVELOPMENT.
(SEE ARCHITECT PLANS)
2. APPROXIMATE AVERAGE - 2.89
NUMBER OF LOTS - 1 D.U.
PROPOSED DENSITY - 12.1 D.U./ACRE

3. MINIMUM UNIT DIMENSIONS - 28'x82.5'
TYPICAL AREA - 1193 SQ. FT.

4. ALL STREETS AND UTILITIES IMPROVEMENTS AREA TO BE PRIVATE
5. NO INDIVIDUAL LOTS SHALL BE ALLOWED DIRECT ACCESS TO SAN CLEMENTE,
ZONING CODE.
6. OFF-STREET PARKING SHALL BE PROVIDED ON EACH LOT, AS REQUIRED BY THE
7. NO IMPROVEMENT WILL BE CONSTRUCTED IN THE IRRIGATION EASEMENT. ONLY
GRAVEL AND LANDSCAPING WILL BE PLACED IN THE EASEMENT. NO CHANGES WILL
BE MADE TO THE CONFIGURATION OF THE DITCH, ITS BANKS OR ITS CHECKGATE.
THERE SHALL BE A 10' SEPARATION BETWEEN THE RESIDENCES AND THE IRRIGATION
DITCH EASEMENT.

PROJECT NUMBER: 1002123
APPLICATION NUMBER: 04DRB-00532,33,38

DRB SITE DEVELOPMENT PLAN FOR SUBDIVISION AND BUILDING PERMIT APPROVAL

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION

UTILITIES DEVELOPMENT

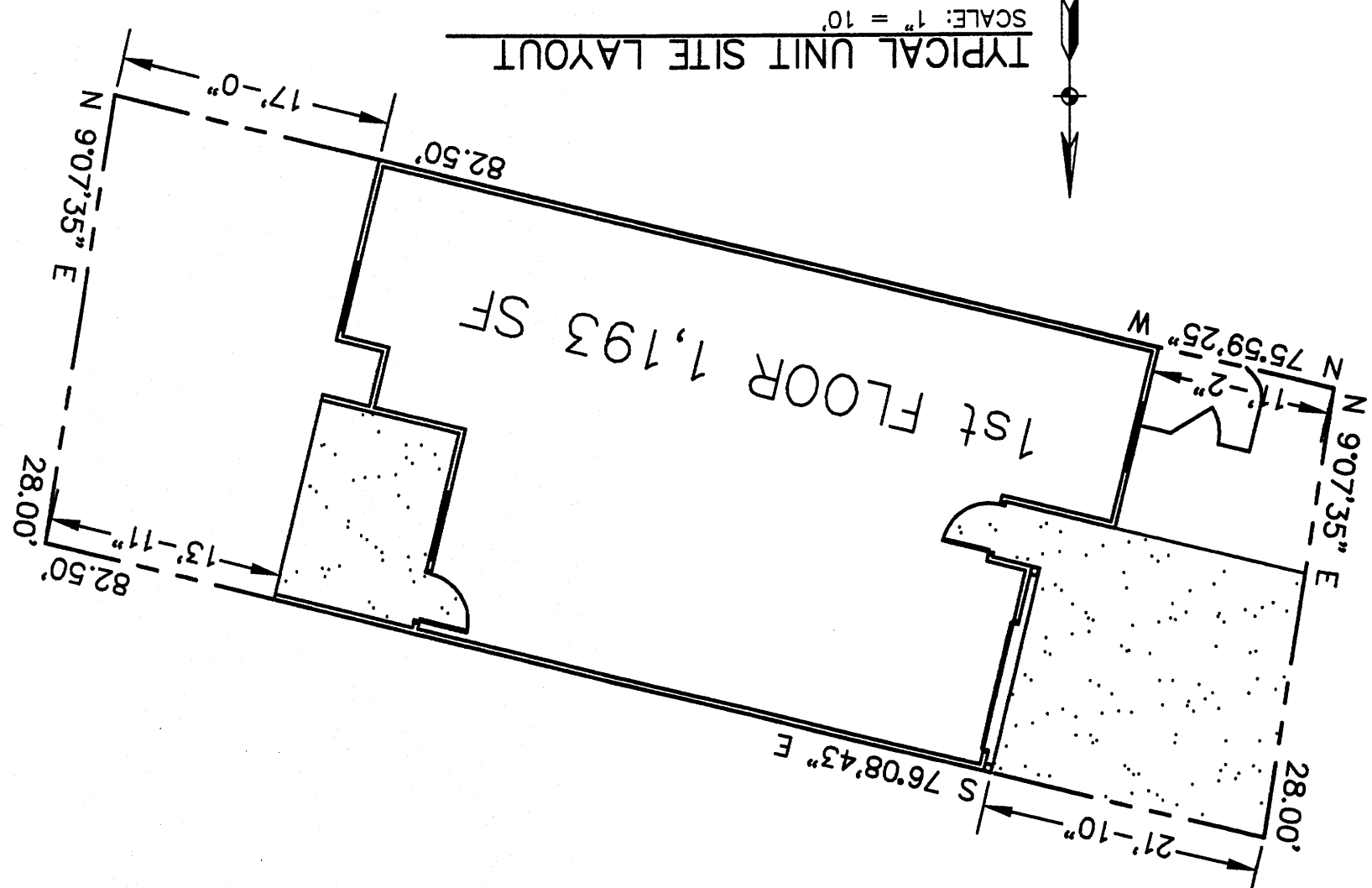
PARKS AND RECREATION DEPARTMENT

CITY ENGINEER

ENVIRONMENTAL HEALTH DEPARTMENT

SOLID WASTE MANAGEMENT

DRB CHAIRPERSON, PLANNING DEPARTMENT



APPROVALS
THIS PLAN IS CONSISTENT WITH THE ZONE MAP AMENDMENT APPROVAL BY THE ENVIRONMENT
PLANNING COMMISSION (EPC) ON JANUARY 17, 2003 AND THAT THE FINDINGS AND CONDITIONS
IN THE OFFICIAL NOTIFICATIONS OF DECISION HAVE BEEN COMPLIED WITH.

RESIDENTIAL BUILDING DESIGN STANDARDS

THE FOLLOWING GUIDELINES ARE TO BE UTILIZED FOR TOWNHOUSES DESIGNED AND
BUILT WITHIN THIS PROJECT.

- A. ARCHITECTURAL STYLE:
ALL HOMES SHALL BE PUEBLO STYLE DESIGN WITH SHEED ROOFS.
- B. SETBACK REQUIREMENTS:
FRONT YARD: 15' MIN, EXCEPT AT DRIVEWAYS.
WHICH SHALL HAVE 20' MIN SETBACK
REAR YARD: 15' MIN, EXCEPT AS FURTHER DEFINED IN THE R-1
RESIDENTIAL ZONE FOR HOUSES WITH OFFSET
REAR LOT LINES
SIDE YARD: NONE REQUIRED EXCEPT, THERE SHALL BE 10' ON THE
STREET SIDE OF CORNER UNITS 5,6,15,16,25,26 AND 35
- C. BUILDING HEIGHT RESTRICTIONS:
STRUCTURES SHALL NOT EXCEED 26' IN HEIGHT, AS DEFINED IN THE ZONING
CODE AND WITH EXCEPTION PROVIDED IN PARAGRAPH 14-16-3-3
- D. BUILDING COLOR SCHEMES:
THE FOLLOWING COLOR SCHEMES SHALL BE UTILIZED:
- E. LANDSCAPING INSTALL SHALL BE:
EACH LOT, FRONT YARD COMMON SOUTHWEST/ DESERT PACKAGE
49 - 15 GALLON TREE
100 - 5 GALLON SHRUBS
7 - 2 GALLON SHRUBS
128 - 1 GALLON SHRUBS
2'-4" - ACENT COBBLESTONE, AS PER LANDSCAPE PLAN
3/4" - GRAY CRUSHED STONE ON PLASTIC, AS PER LANDSCAPE PLAN
AS SHOWN
- F. PEDESTRIAN ACCESS SHALL BE PROVIDED BY SIDEWALKS CONSTRUCTED
AS SHOWN
- G. PRIVACY FENCING:
EACH LOT SHALL BE PROVIDED WITH A SOLID STEEL FENCE, LOCATED ON THE
COMMON PROPERTY LINE. THE HEIGHT OF THIS FENCE SHALL CONFORM TO
ZONING CODE.

DESIGN CRITERIA:

- A. ZONING DESIGN CRITERIA - TRACT 22-A-1
1. LEGAL DESCRIPTION - MRGCD, MAP NO. 33
2. ZONING CLASSIFICATION - SU-1 FOR R-1 USES
3. ACTUAL USE - ATTACHED RESIDENTIAL TOWNHOUSE
- B. ARCHITECTURAL DESIGN CRITERIA
1. OCCUPANCY GROUP R-3
2. TYPE CONSTRUCTION V-N
3. FLOOR AREA - GARAGE 247 SQ. FT.
- HEATED FLOOR 919 SQ. FT.
- TOTAL HEATED AREA 1193 SQ. FT.

PARKING ANALYSIS:

- REQUIRED PARKING SPACES: BASED ON R-1 ZONING
1 SPACE PER BATH BUT NOT LESS
THAN 1.5 SPACES PER DWELLING
2 SPACES PER DWELLING
35 DWELLINGS
70 PARKING SPACES REQUIRED
- PROVIDED PARKING SPACES: 2 SPACES PER DWELLING
35 DWELLINGS
70 PARKING SPACES PROVIDED

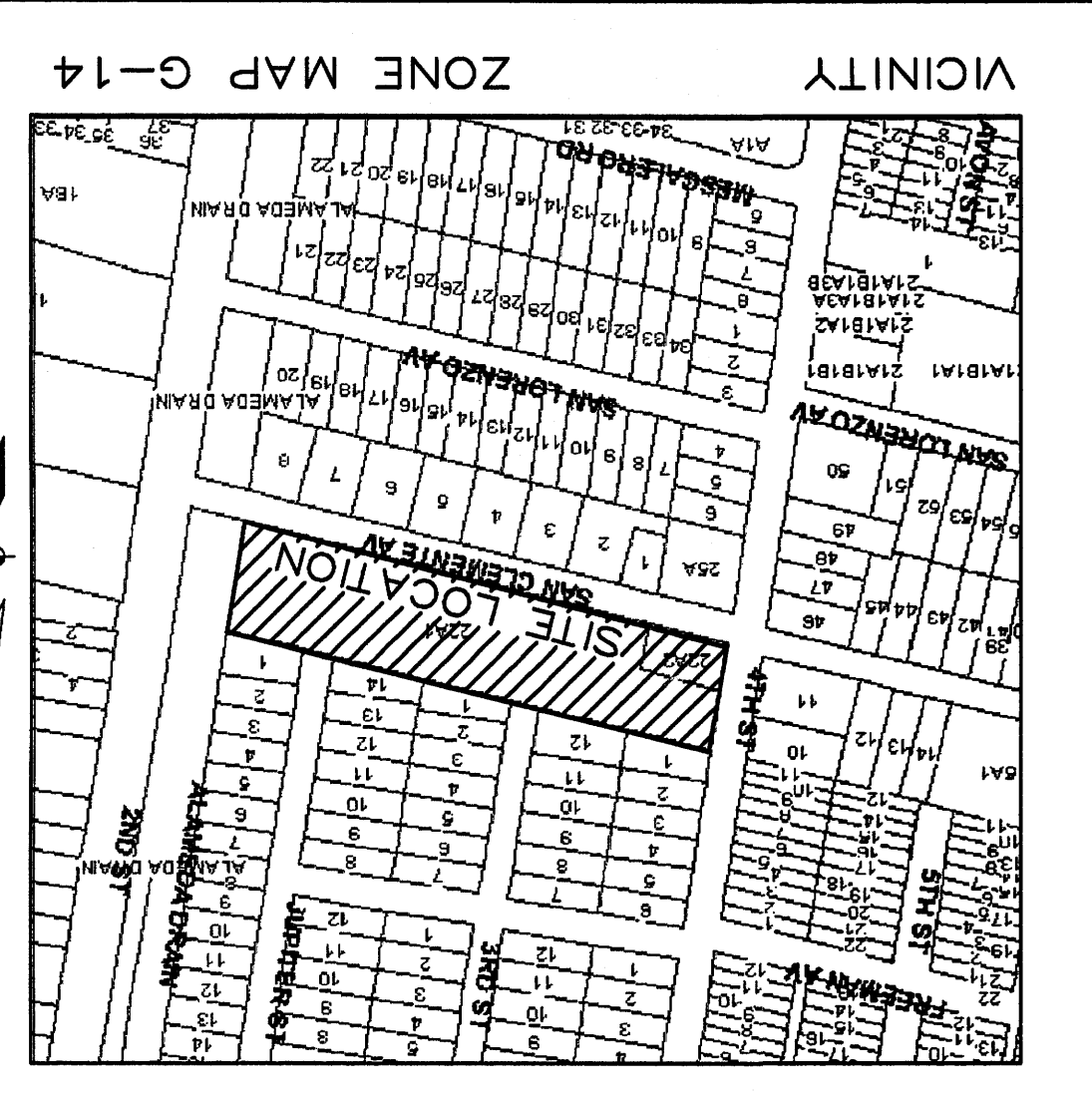
DRB REVIEW ONLY

ARCHTECH
DRAFTING SERVICES
12928 EASTRIDGE DR. N.E.
ALBUQUERQUE, N.M. 87112
(505)480-7423 (505)332-1748

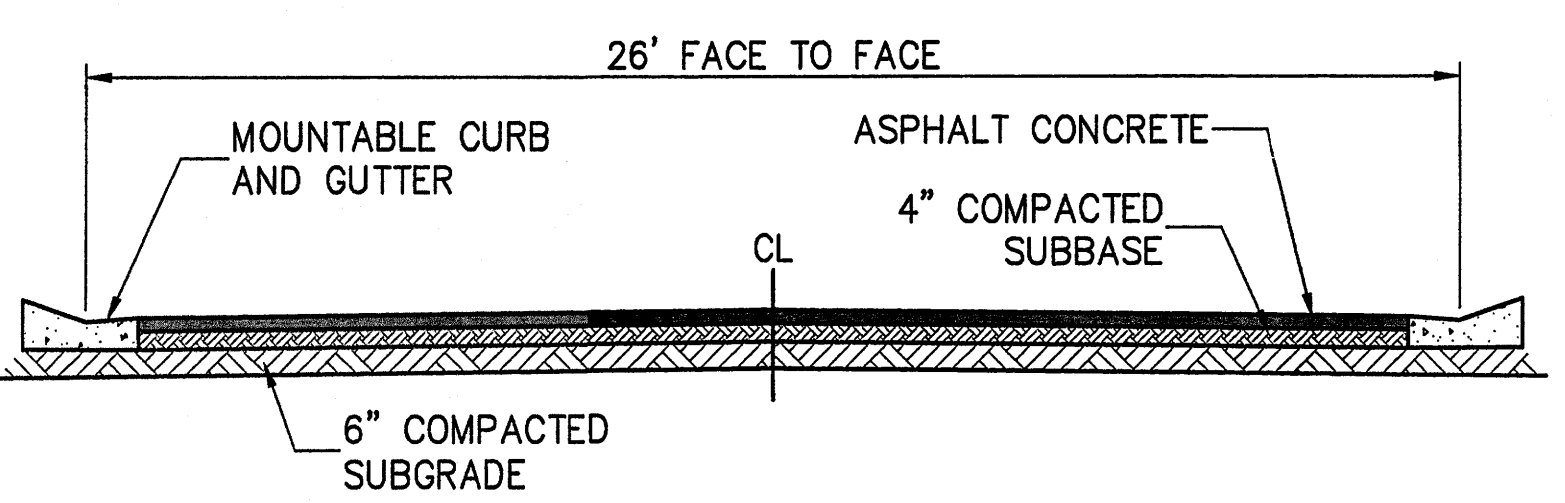
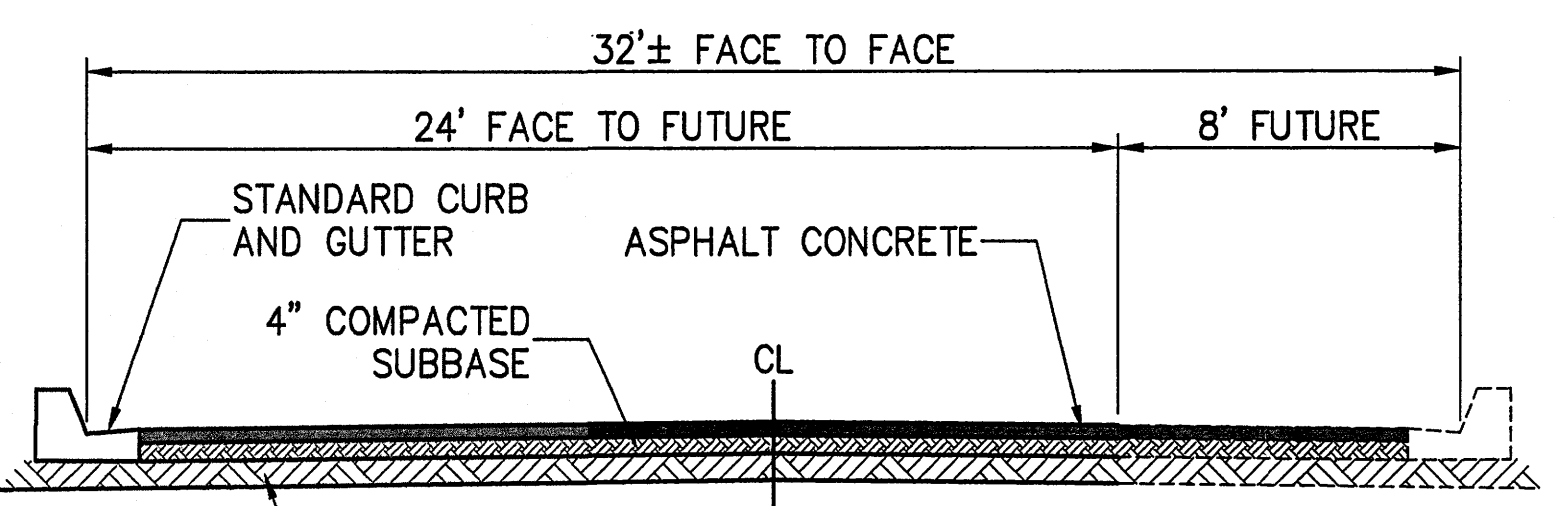
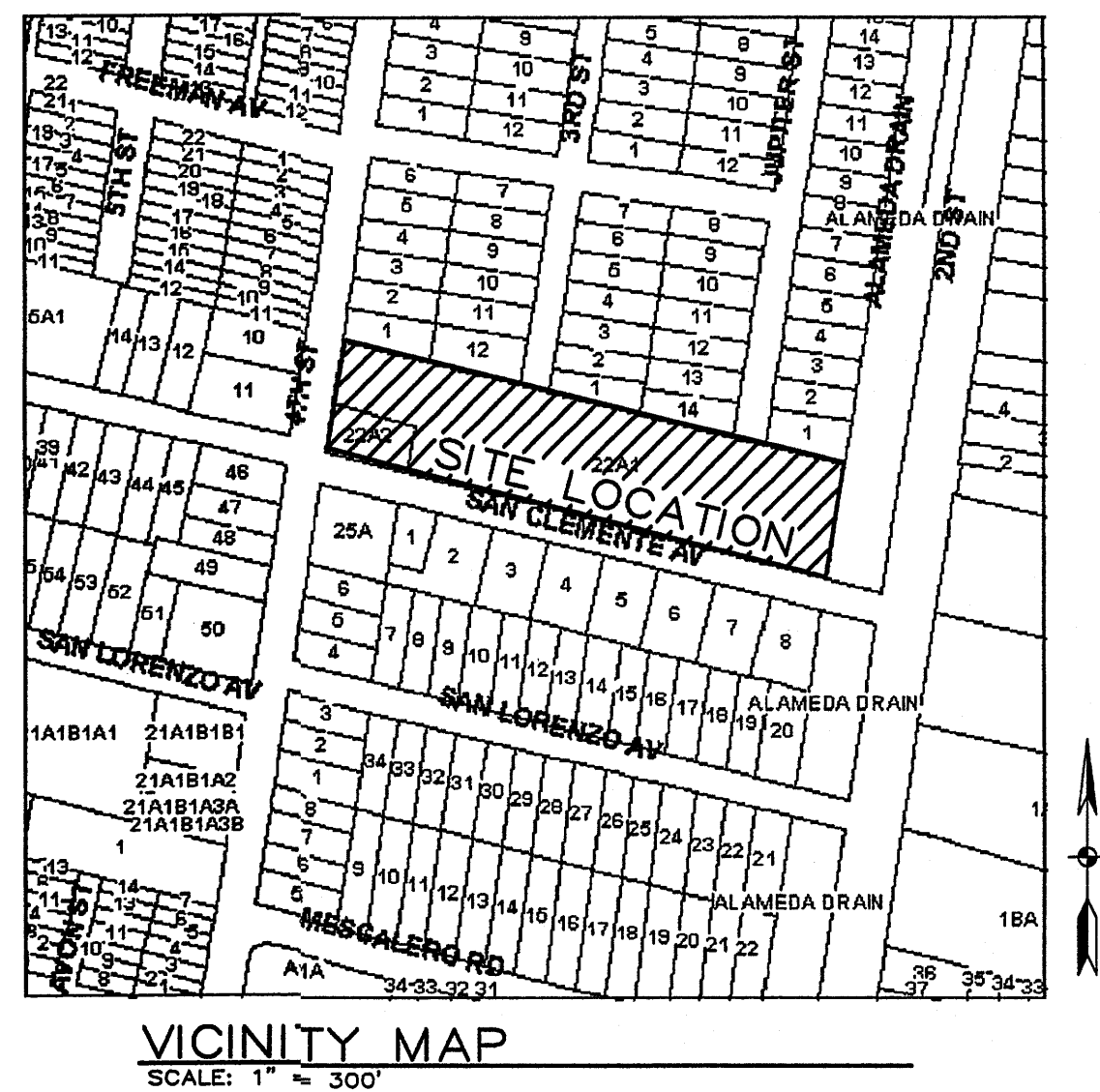
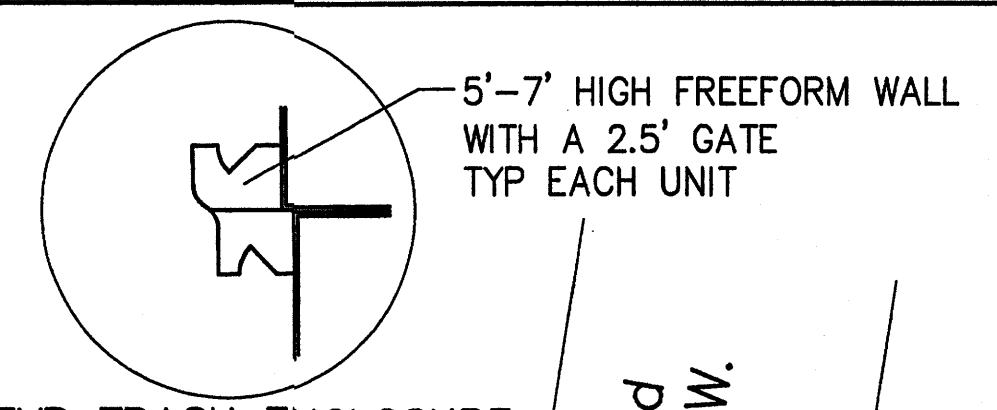
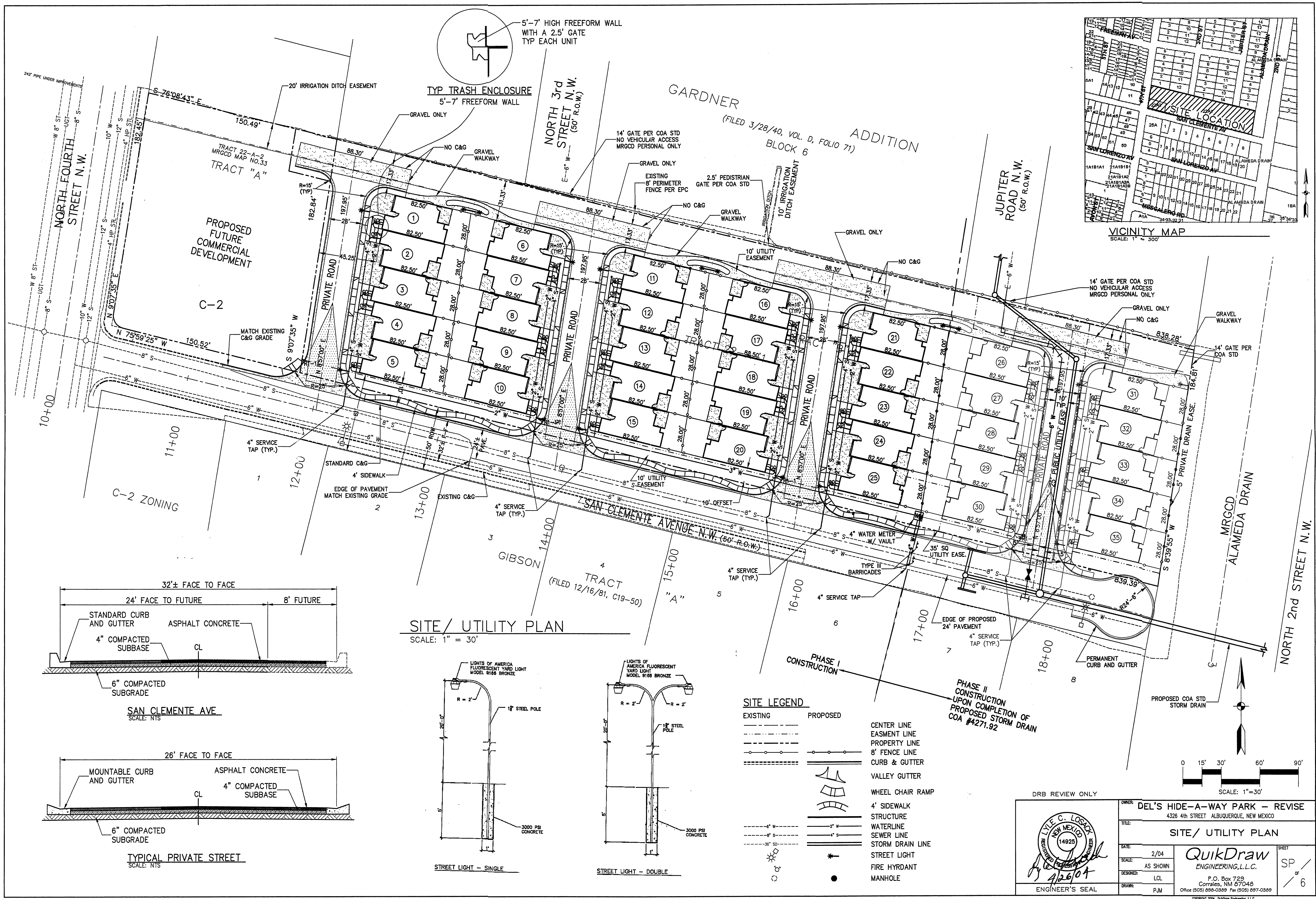
DEL'S HIDE-A-WAY PARK - REVISE

COVER SHEET

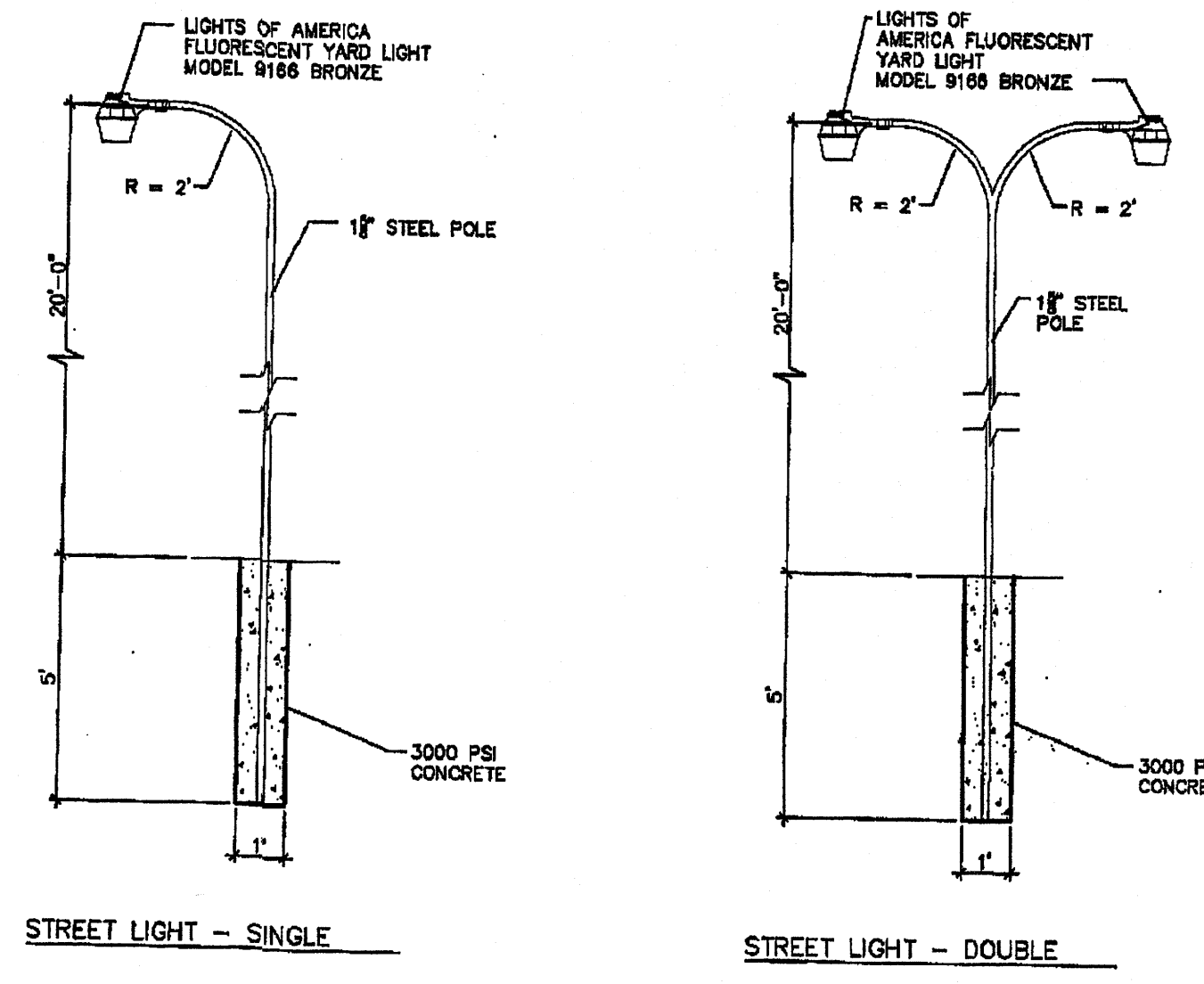
ENGINEER'S SEAL
DATE: 4/04
SCALE: AS SHOWN
DESIGNER: RAR/LOL
DRAWN: RAR/PJM
CORPORATE SEAL
QUICKDRAW ENGINEERING, L.L.C.
P.O. Box 729
Corralitos, NM 87048
Office (505) 898-0389 Fax (505) 897-0389



PRELIMINARY PLAN
APPROVED BY DRB
ON



SITE / UTILITY PLAN
SCALE: 1" = 30'



SITE LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	CENTER LINE
---	---	EASMENT LINE
---	---	PROPERTY LINE
---	---	8' FENCE LINE
---	---	CURB & GUTTER
---	---	VALLEY GUTTER
---	---	WHEEL CHAIR RAMP
---	---	4' SIDEWALK
---	---	STRUCTURE
---	---	WATERLINE
---	---	SEWER LINE
---	---	STORM DRAIN LINE
---	---	STREET LIGHT
---	---	FIRE HYDRANT
---	---	MANHOLE

DRB REVIEW ONLY

OWNER DEL'S HIDE-A-WAY PARK - REVISE
4326 4th STREET ALBUQUERQUE, NEW MEXICO

TITLE SITE / UTILITY PLAN

DATE 2/04

SCALE AS SHOWN

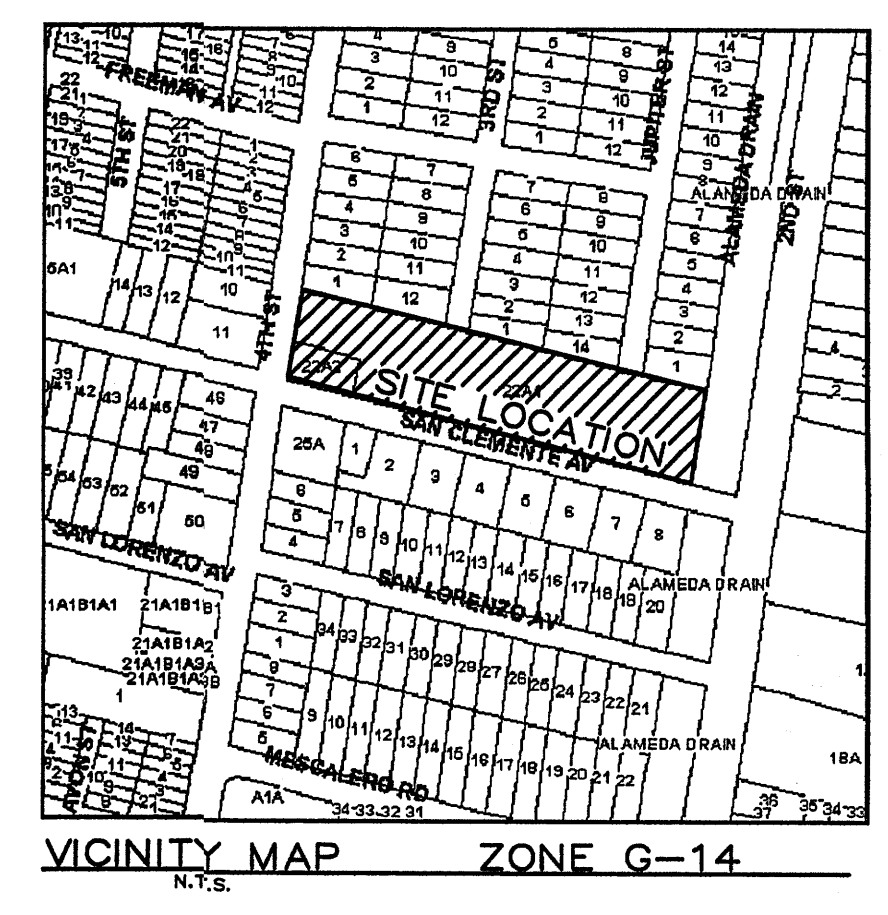
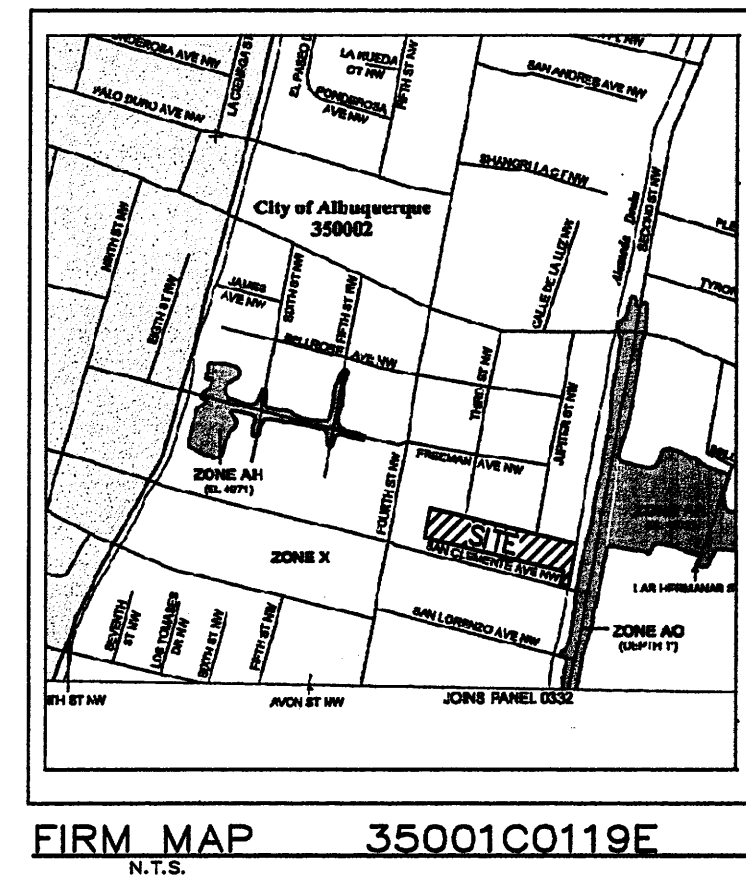
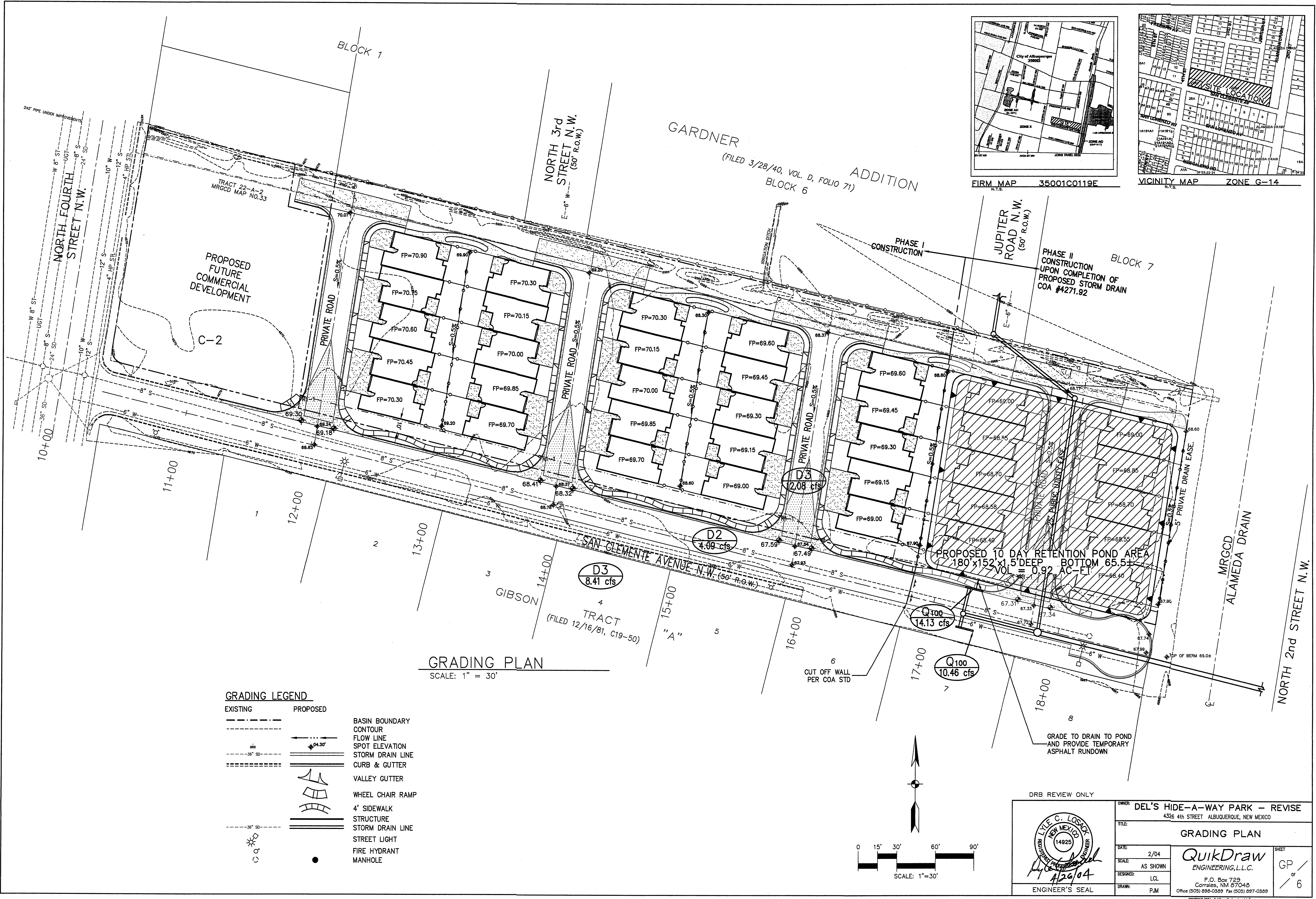
DESIGNED LCL

DRAWN PJM

ENGINEER'S SEAL

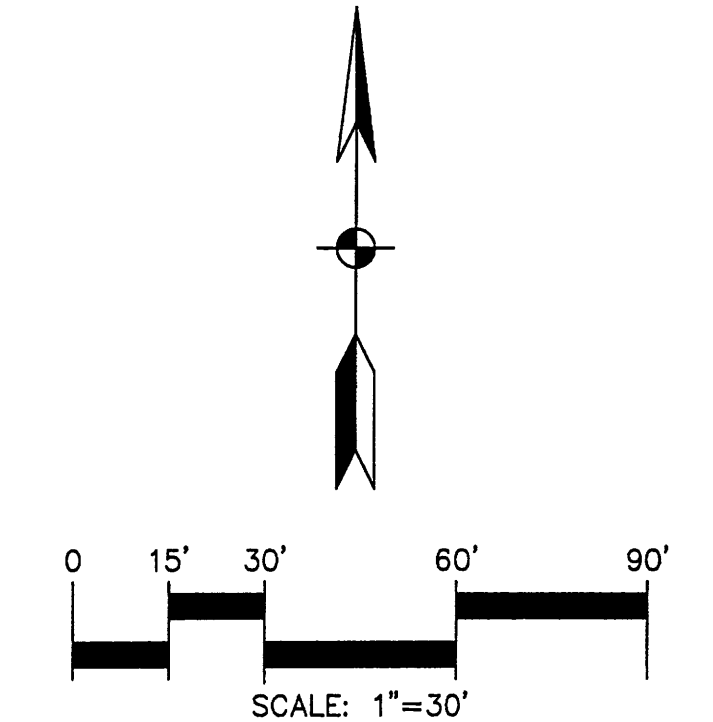
QUICKDRAW ENGINEERING, L.L.C.
P.O. Box 729
Corralles, NM 87048
Office (505) 899-0369 Fax (505) 897-0369

SHEET SP of 6



GRADING PLAN
SCALE: 1" = 30'

EXISTING	PROPOSED	
---	---	BASIN BOUNDARY
---	---	CONTOUR
---	---	FLOW LINE
---	---	SPOT ELEVATION
---	---	STORM DRAIN LINE
---	---	CURB & GUTTER
---	---	VALLEY GUTTER
---	---	WHEEL CHAIR RAMP
---	---	4' SIDEWALK
---	---	STRUCTURE
---	---	STORM DRAIN LINE
---	---	STREET LIGHT
---	---	FIRE HYDRANT
---	---	MANHOLE



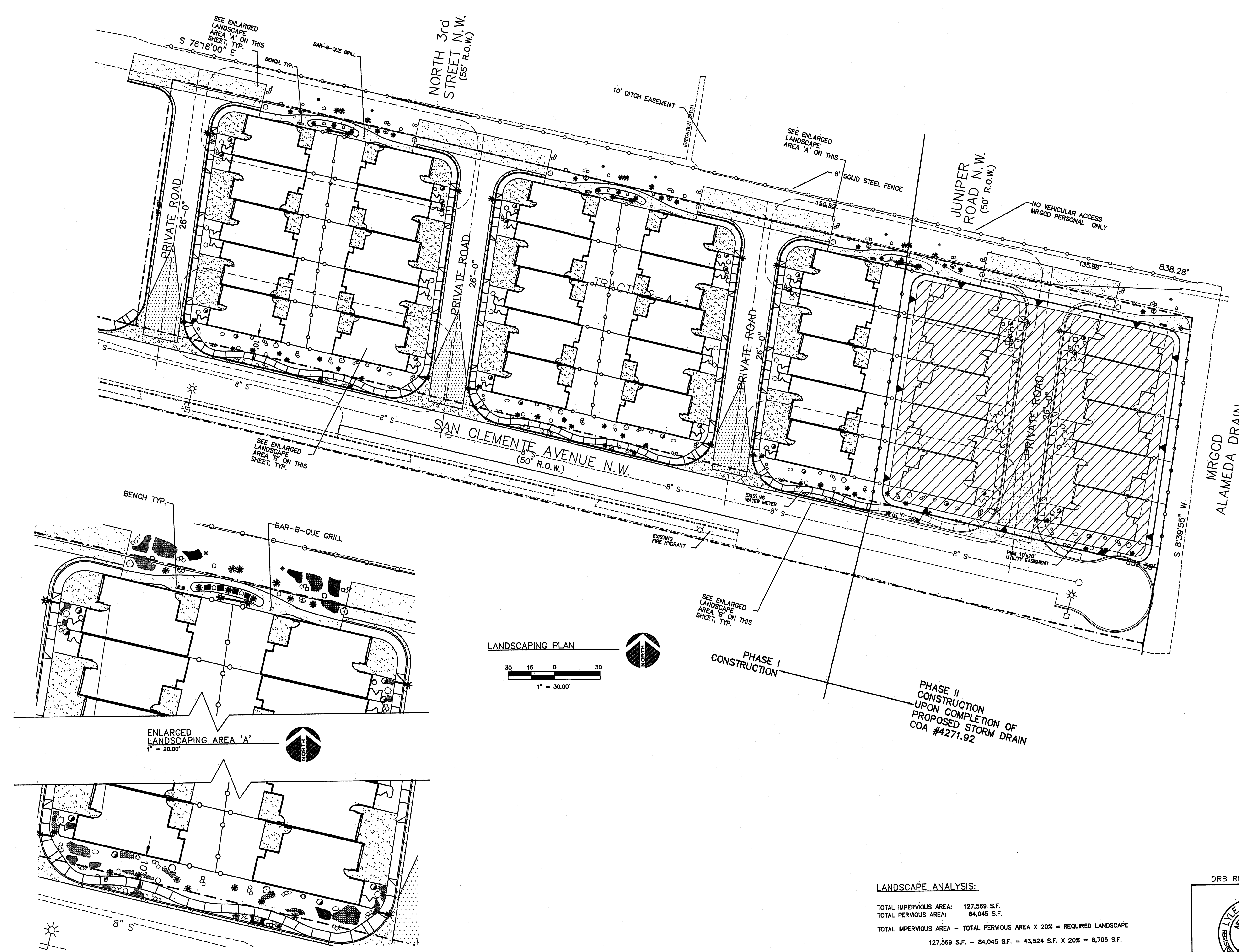
DRB REVIEW ONLY

	OWNER: DEL'S HIDE-A-WAY PARK - REVISE 4326 4th STREET ALBUQUERQUE, NEW MEXICO
	TITLE: GRADING PLAN
DATE: 2/04	SCALE: AS SHOWN
DESIGNED: LCL	DRAWN: PJM
ENGINEER'S SEAL	

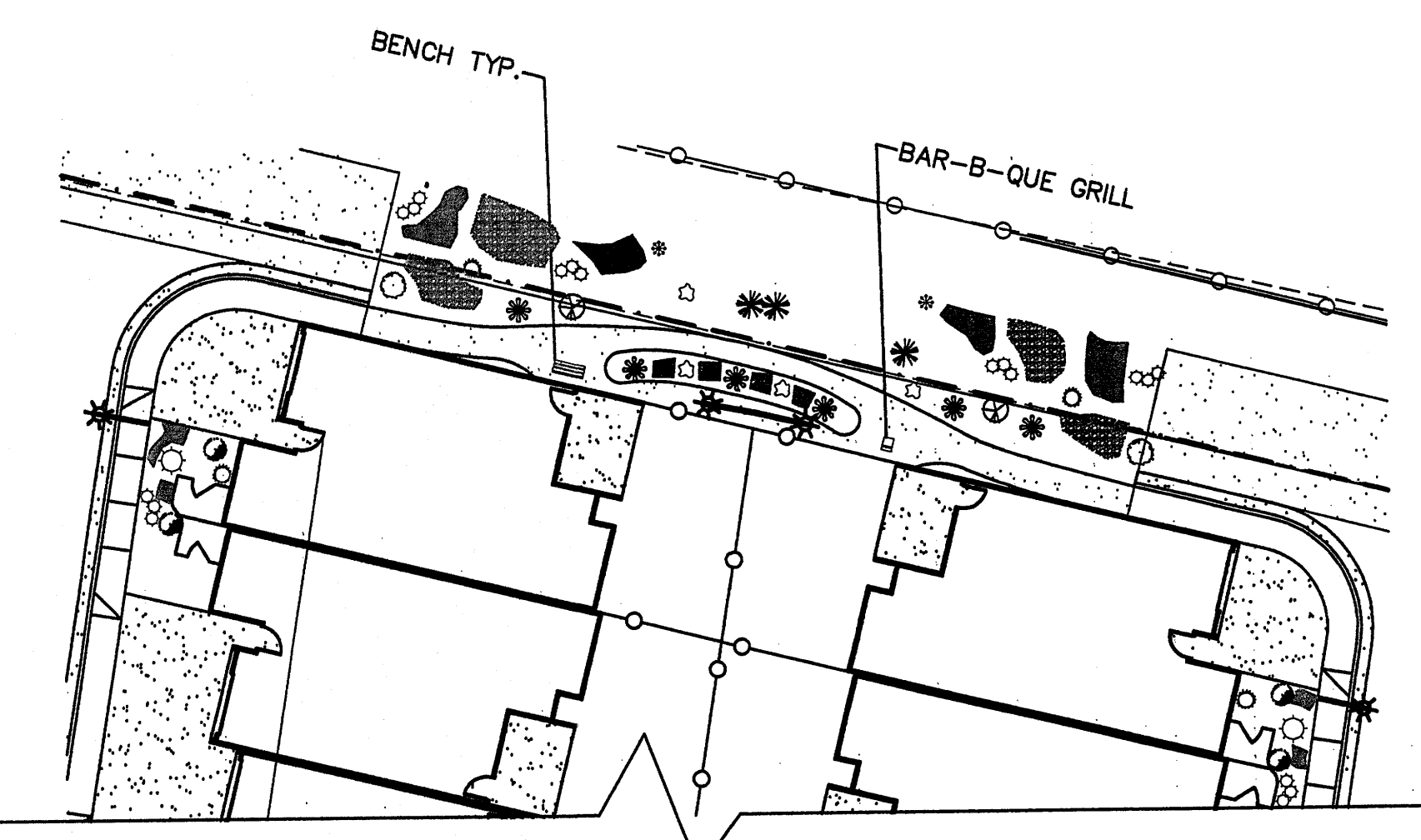
SHEET: GP / 6
 OF: 6
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Landscaping General Notes:

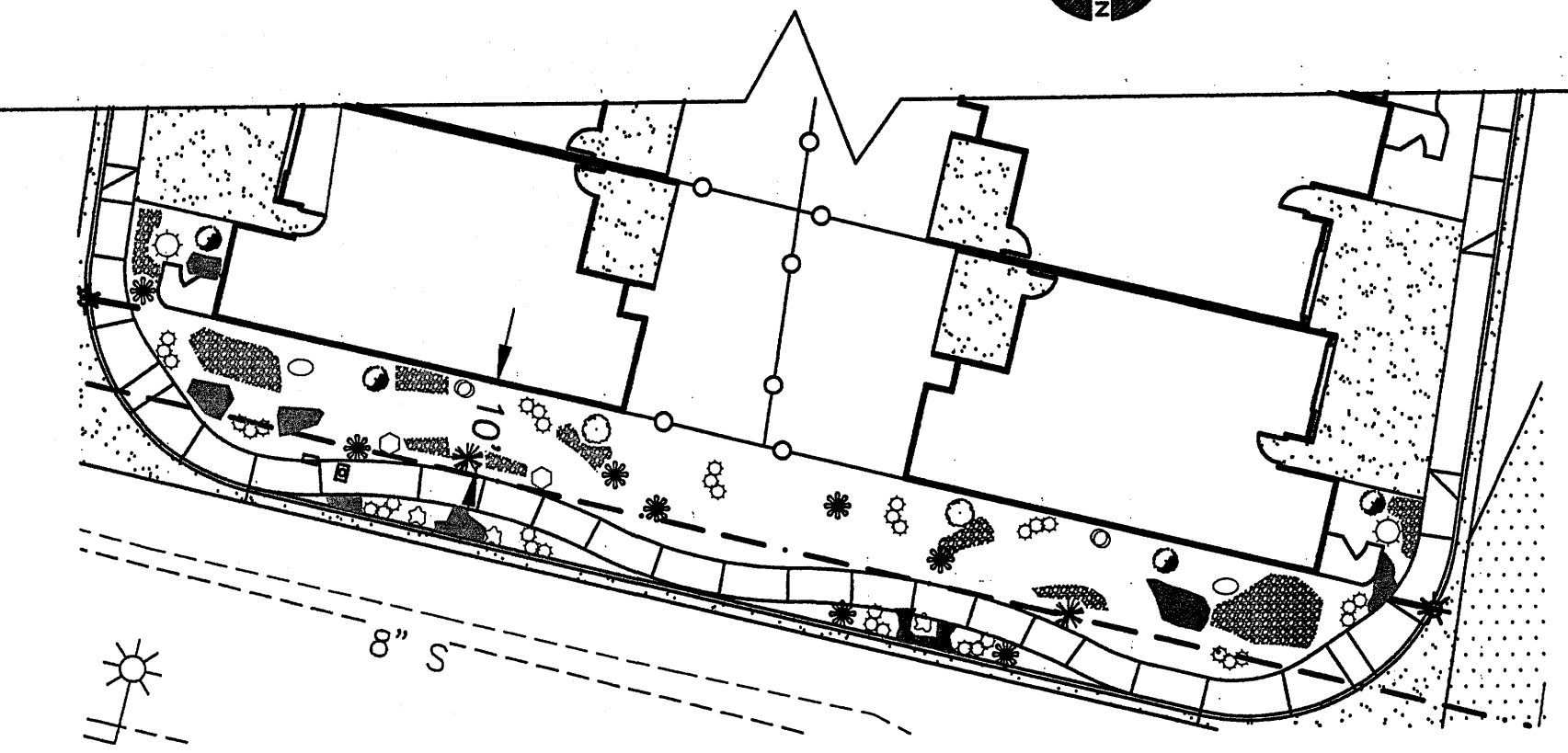
1. Drip Irrigation per City of Albuquerque Code.
2. Maintenance of landscaping and irrigation system to be the responsibility of the Property Owner.
3. The owner shall verify the exact location of all existing and proposed utilities, and all site conditions prior to beginning construction.
4. The finish grade of all planting areas shall be smooth, even and consistent, free of any humps, depressions or other grading irregularities.
5. The owner shall not impede drainage in any way. The owner shall always maintain positive drainage away from the building.
6. The owner shall not plant trees within 5 feet of gas lines.



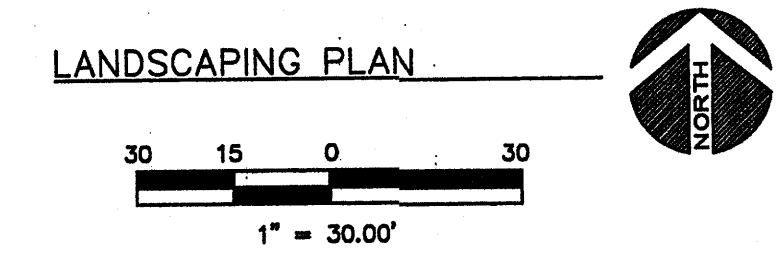
Common Name	Botanical Name	Size	Mature height and spread	Symbol
Purple Flowering Plum		Five gallon	25' tall x 25' spread	⊙
New Mexico Olive	Forsteria Neomexicana	Five gallon	15' tall x 15' spread	⊙
Cherry Sage	Salvia Greggii	One gallon	2' tall x 3' spread	⊙
Prickly Pear Cactus	Opuntia Spines	Five gallon	4'-8" tall x 8'-8" spread	⊙
Roman Sage	Perovskia Atropurpurea	One gallon	2' tall x 3' spread	⊙
Red Tip Yucca	Yucca Parviflora	One gallon	3' tall x 3' spread	⊙
Yucca	Yucca Elata	Five gallon	15' tall x 5' spread	⊙
Rosemary 'Jay'	Rosmarinus Officinalis 'Jay'	One gallon	3' tall x 3' spread	⊙
Shrub of Paradise	Ceanothus Glaberrimus	Five gallon	10' tall x 10' spread	⊙
White Purple Lavender	Delonix Regia	One gallon	6' tall x 1'-6" spread	⊙
Yucca	Yucca (filiforme-type)	One gallon	2' tall x 2' spread	⊙
Holly Hacks	Alcea Rosea	Two gallon	5' tall x 1'-6" spread	⊙
Shrub Willow	Chilopsis Linearis	Five gallon	20' tall x 25' spread	⊙
Cable Stones				⊙
3/4" gravel				⊙
Checker Floor				⊙



ENLARGED LANDSCAPING AREA 'A'
1" = 20.00'



ENLARGED LANDSCAPING AREA 'B'
1" = 20.00'



PHASE I CONSTRUCTION

PHASE II CONSTRUCTION UPON COMPLETION OF PROPOSED STORM DRAIN COA #4271.92

LANDSCAPE ANALYSIS:

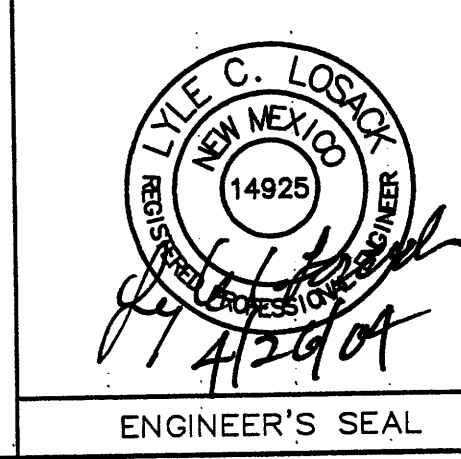
TOTAL IMPERVIOUS AREA: 127,569 S.F.
 TOTAL PERVIOUS AREA: 84,045 S.F.
 TOTAL IMPERVIOUS AREA - TOTAL PERVIOUS AREA X 20% = REQUIRED LANDSCAPE
 127,569 S.F. - 84,045 S.F. = 43,524 S.F. X 20% = 8,705 S.F.
 REQUIRED LANDSCAPING: 8,705 S.F. (20%)
 PROVIDED LANDSCAPING: 11,790 S.F. (27%)

General Notes:

1. The intent of these drawings is to display labor and materials necessary for the completion of all work shown.
2. In the event of an inconsistency, specifications shall take precedence over drawings.
3. All work and materials shall be in accordance with the 1997 UBC, State and/or local codes, laws and ordinances.
4. All dimensions are to face of wall, except windows and doors are dimensioned to center line.
5. Verify Dimensions in the field, they will take precedence over drawings.

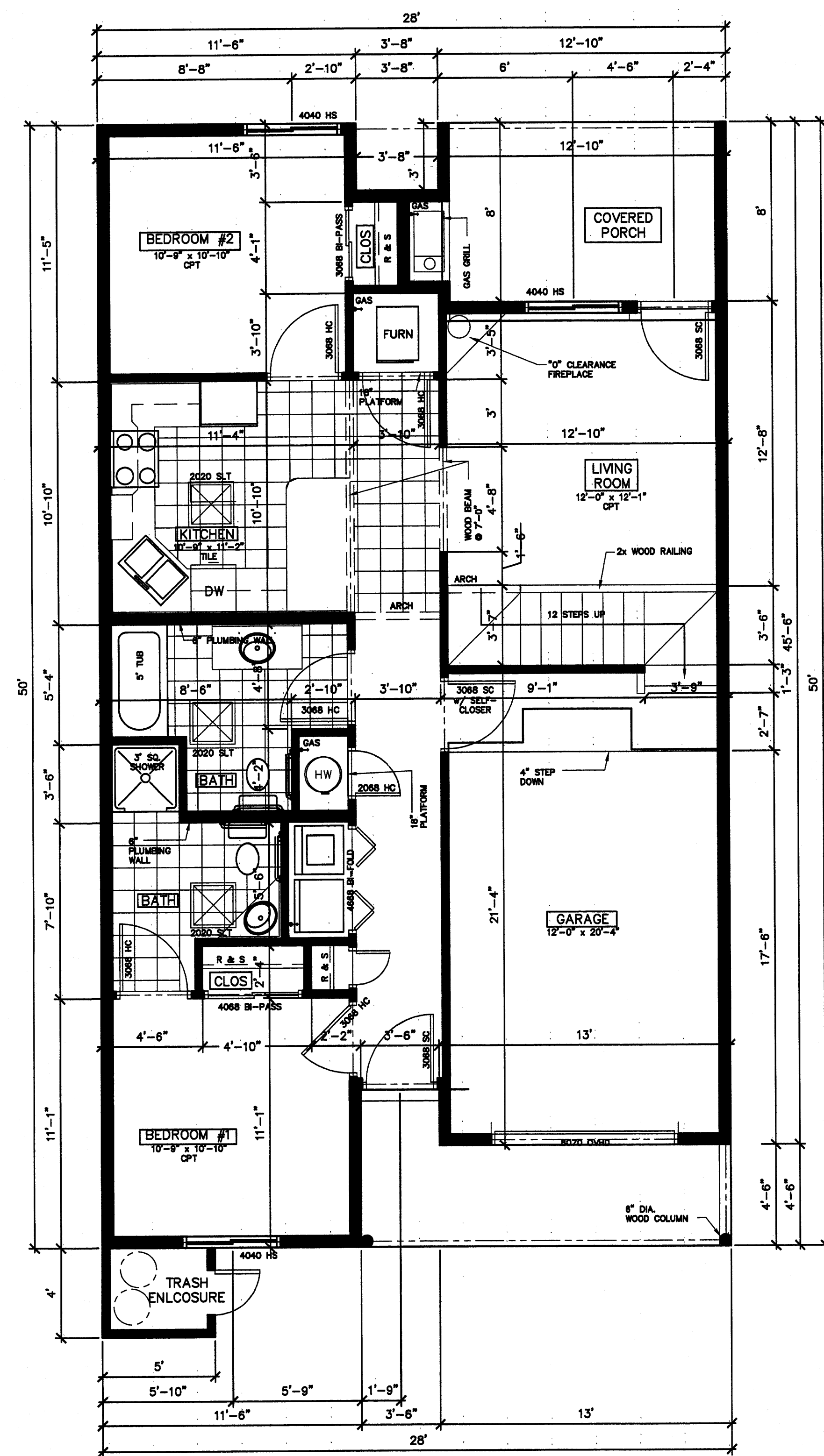
ARChE TECH
 DRAFTING SERVICES
 12928 EASTRIDGE DR. N.E.
 ALBUQUERQUE, N.M. 87112
 (505)480-7423 (505)332-1748

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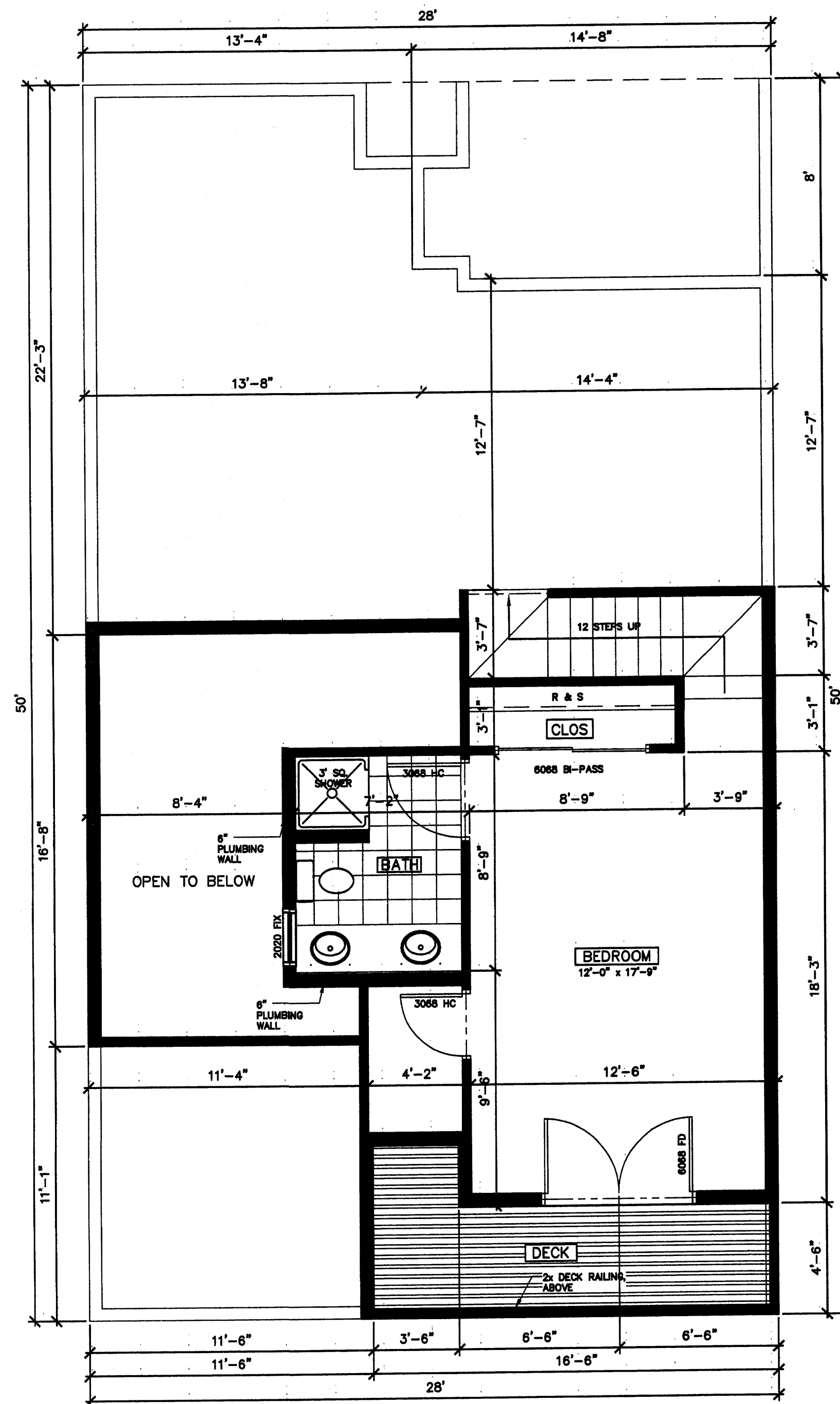


OWNER:	DEL'S HIDE-A-WAY PARK - REVISE		
TITLE:	4326 4th STREET ALBUQUERQUE, NEW MEXICO		
LANDSCAPING PLAN			
DATE:	4/04	SCALE:	AS SHOWN
DESIGNED:	RAR/LCL	DRAWN:	RAR/PJM
ENGINEER'S SEAL		QuikDraw ENGINEERING, L.L.C. P.O. Box 729 Corrales, NM 87048 Office (505) 898-0389 Fax (505) 897-0389 COPYRIGHT 2004 QuikDraw Engineering, L.L.C.	

SHEET
 L1 of 6



1st FLOOR PLAN
SCALE: 1/4" = 1'-0"



2nd FLOOR PLAN
SCALE: 1/4" = 1'-0"

- General Notes:**
1. The intent of these drawings is to display labor and materials necessary for the completion of all work shown.
 2. In the event of an inconsistency, specifications shall take precedence over drawings.
 3. All work and materials shall be in accordance with the 1997 UBC, State and/or local codes, laws and ordinances.
 4. Verify Dimensions in the field, they will take precedence over drawings.

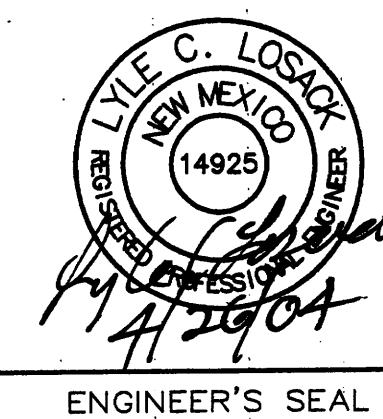
AREA CALCULATIONS

HEATED AREA		
1st FLOOR	1,193 SF	
2nd FLOOR	368 SF	
TOTAL HEATED AREA	1,561 SF	
GARAGE	231 SF	
COVERED PORCH	112 SF	
DECK	83 SF	
TOTAL BUILDING AREA	1,988 SF	

ARCHE TECH
DRAFTING SERVICES

12928 EASTRIDGE DR. N.E.
ALBUQUERQUE, N.M. 87112
(505)480-7423 (505)332-1748

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OWNER: DEL'S HIDE-A-WAY PARK -- REVISE
4326 4th STREET ALBUQUERQUE, NEW MEXICO

TITLE: FLOOR PLAN

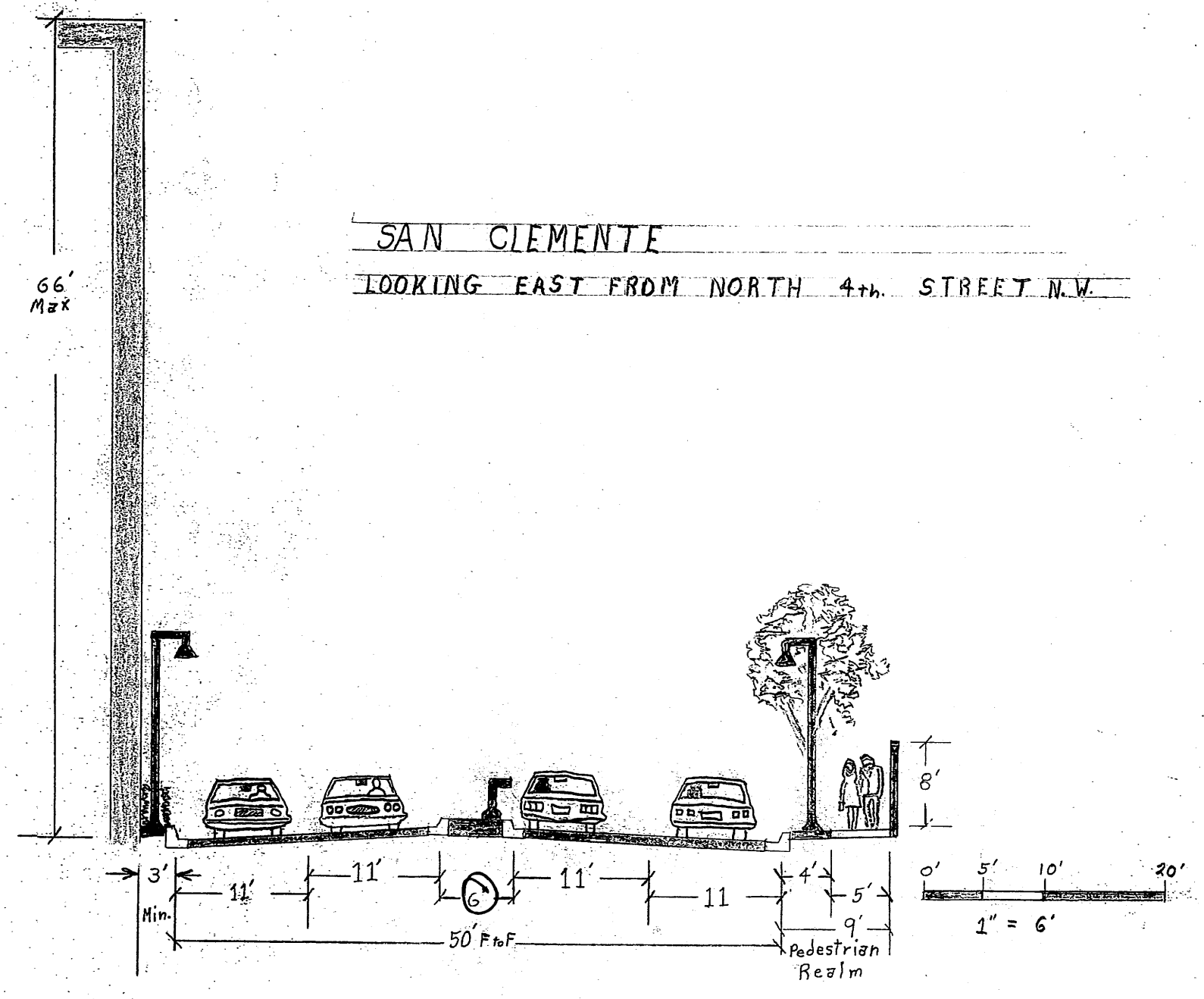
DATE: 4/04
SCALE: AS SHOWN
DESIGNED: RAR/LCL
DRAWN: RAR/PJM

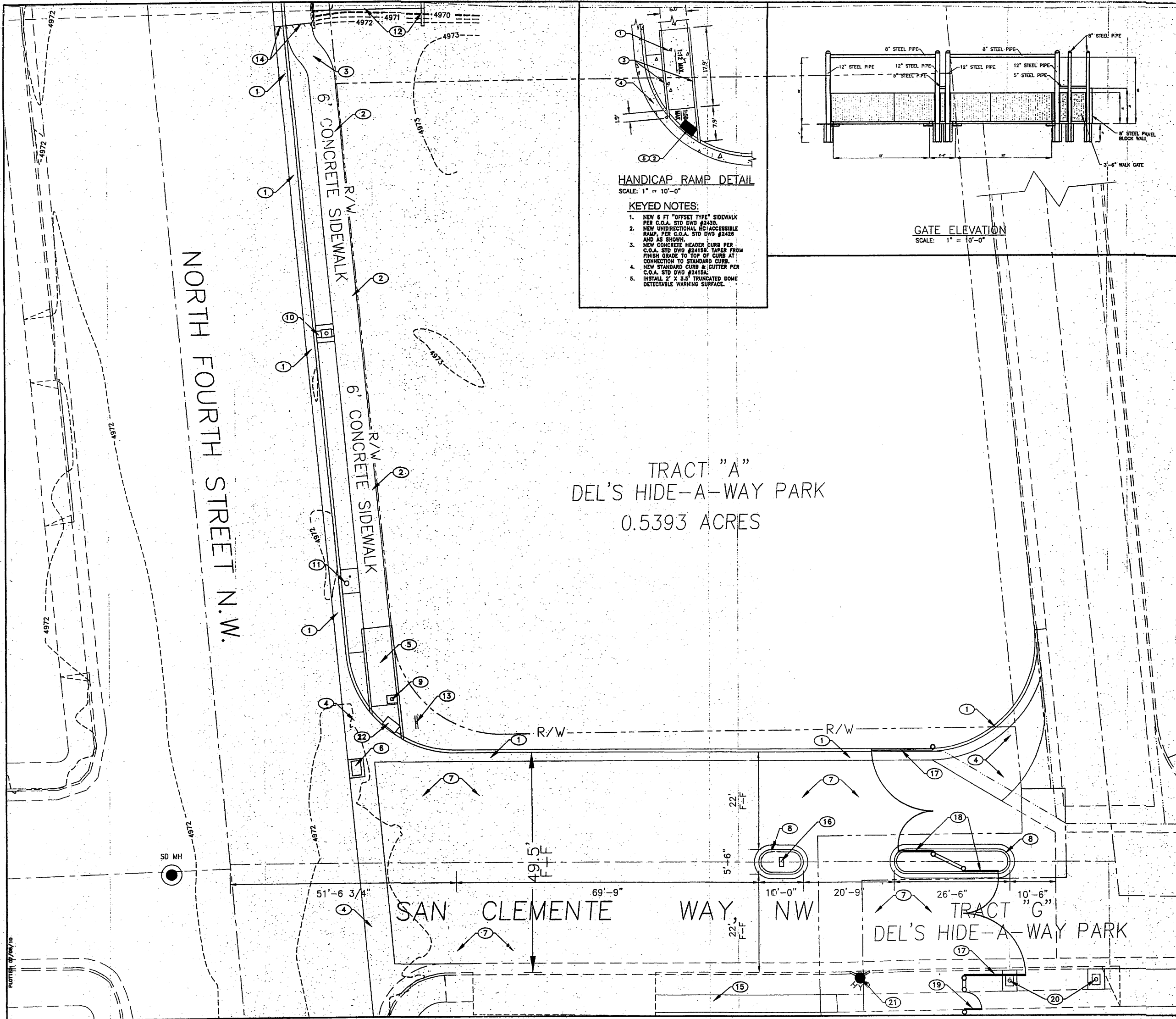
QuikDraw
ENGINEERING, L.L.C.

P.O. Box 729
Corralles, NM 87104-8
Office (505) 259-0365 Fax (505) 257-0369

SHEET
A1
OF
6

SAN CLEMENTE
LOOKING EAST FROM NORTH 4th STREET N.W.





AS BUILT INFORMATION

CONTRACTOR	DATE
WORK	DATE
INSPECTED BY	DATE
APPROVED BY	DATE
DRAWING	DATE
REVISIONS	DATE
NO.	DATE

BENCHMARK

CONTRACTOR	DATE
WORK	DATE
INSPECTED BY	DATE
APPROVED BY	DATE
DRAWING	DATE
REVISIONS	DATE
NO.	DATE

GRAPHIC SCALE
0 10 20 30
(IN FEET)
1 inch = 10 ft

KEYED NOTES

- CONSTRUCT STANDARD CURB & GUTTER PER COA STD DWG #2415A.
- CONSTRUCT 6" WIDE OFFSET TYPE SIDEWALK PER COA STD DWG #2430.
- CONSTRUCT 6" WIDE CURB TYPE TO OFFSET TYPE SIDEWALK TRANSITION PER COA STD DWG #2432.
- CONSTRUCT CONCRETE VALLEY GUTTER PER COA STD DWG #2420.
- CONSTRUCT NEW HANDICAP RAMP (SEE DETAIL THIS SHEET).
- CONSTRUCT NEW SINGLE "D" STORM INLET PER COA STD DWG #2205.
- CONSTRUCT FLEXIBLE RESIDENTIAL PAVEMENT PER COA STD DWG #2405A.
- CONSTRUCT MEDIAN CURB & GUTTER PER COA STD DWG #2415A.
- RECONSTRUCT RELOCATED WATER METER. INSTALL HEAVYWEIGHT METER BOX, COVER AND LID PER COA STD DWG 2369.
- EXISTING WATER METER & CONCRETE PAD TO REMAIN IN PLACE.
- EXISTING POWER POLE, UNDERGROUND SERVICE DROP, & CONCRETE PAD TO REMAIN IN PLACE.
- INSTALL 25 LF 36" ROP ARCH PIPE (MATCH EXISTING GRADE); CONSTRUCT 8" THICK CONCRETE HEADWALL AT OUTLET.
- RELOCATE EXISTING STREET & TRAFFIC SIGNS PER MUTCD.
- NEW SIDEWALK, CURB & GUTTER CONSTRUCTION LIMITS.
- CONSTRUCT 4' WIDE OFFSET TYPE SIDEWALK (MATCH EXISTING SIDEWALK) PER COA STD DWG #2430.
- INSTALL GATE CONTROL IN TRAFFIC ISLAND.
- INSTALL 14 FT VEHICLE GATE (SEE DETAIL ON THIS SHEET).
- INSTALL 8 FT VEHICLE GATES (SEE DETAIL ON THIS SHEET).
- INSTALL 3'-6" PEDESTRIAN GATE (SEE DETAIL ON THIS SHEET).
- EXISTING WATER METERS TO REMAIN IN PLACE.
- EXISTING FIRE HYDRANT TO REMAIN IN PLACE.
- INSTALL TRUNCATED DOME DETECTABLE WARNING SURFACE OVER 6" THICK CONCRETE SIDEWALK PER ADA GUIDELINES. SUBMIT SPECIFICATIONS TO COA CONSTRUCTION ENGINEER FOR EVALUATION PRIOR TO CONSTRUCTION.

ENGINEER'S SEAL

HEWITT ENGINEERING & ENVIRONMENTAL CONSULTANTS
DRB-1002123
5615 CREGGS STREET, NW
ALBUQUERQUE, NEW MEXICO 87120
PHONE: 505.899.3195 FAX: 505.899.3195

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP**

TITLE TRACTS A & G, DEL'S HIDE-A-WAY PARK
MASTER PAVEMENT PLAN
(4322 FOURTH STREET, NW)

Design Review Committee	Update
City Project No.	Zone Map No.
740484	G-14-Z
Sheet	Of
4	6