

ADDITION ST. VINCENT DE PAUL SOCIETY

1313 IRON AVENUE SW

ALBUQUERQUE, NEW MEXICO

DRB PLANS

Project Team

CONTRACTOR: SOCIETY OF ST. VINCENT DE PAUL
114 FOURTH STREET SW
ALBUQUERQUE, NEW MEXICO 81102
(505) 242-3434
CONTACT: GEORGIA CHAVEZ

PROJECT ARCHITECT: KEVIN GEORGES & ASSOCIATES, PA
121 JEFFERSON STREET NE - SUITE A
ALBUQUERQUE, NEW MEXICO 81108-1216
(505) 255-4975
CONTACT: WILLIAM SANTIANA

CIVIL ENGINEER: JC ENGINEERING
1924 ROANOKE DRIVE NE
RIO RANCHO, NEW MEXICO 8124-5532
(505) 269-1936

STRUCTURAL ENGINEER: MACCORNACK ENGINEERING
2920 CARLISLE NE
ALBUQUERQUE, NEW MEXICO 81102
(505) 881-0570
CONTACT: DON MACCORNACK

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CIVIL

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C3 CONCEPTUAL PAVING AND DRAINAGE


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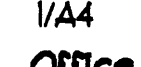
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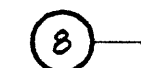
Drafting Legend

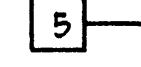
SECTION 


ROOM NAME AND NUMBER  Office
100

NEW DOOR OPENING 

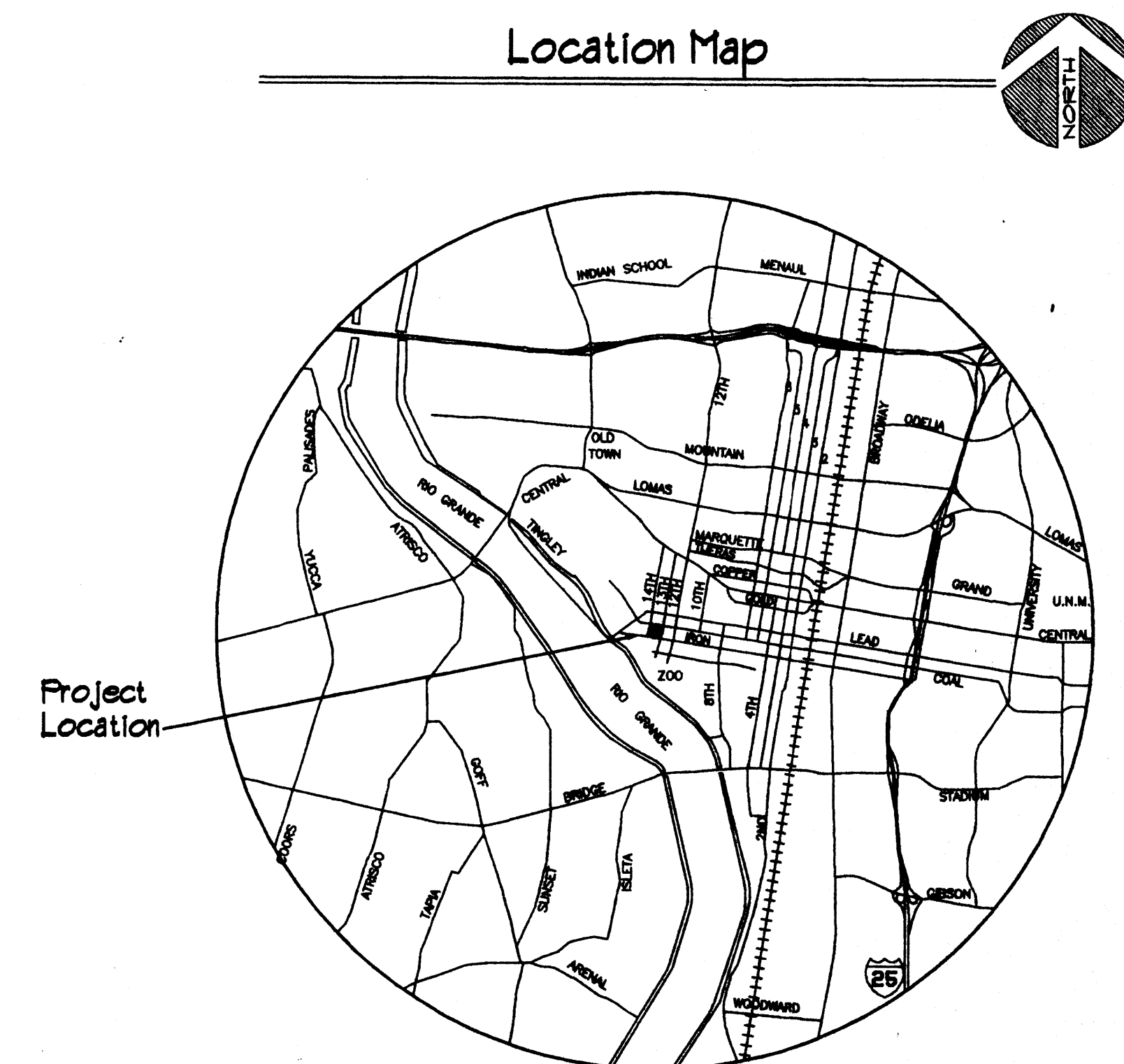
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KEYED NOTES 

WALL TYPES 

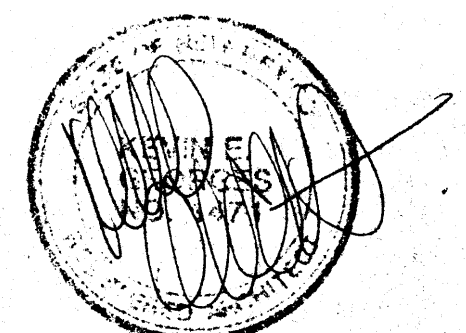
DETAIL REFERENCE 

Location Map



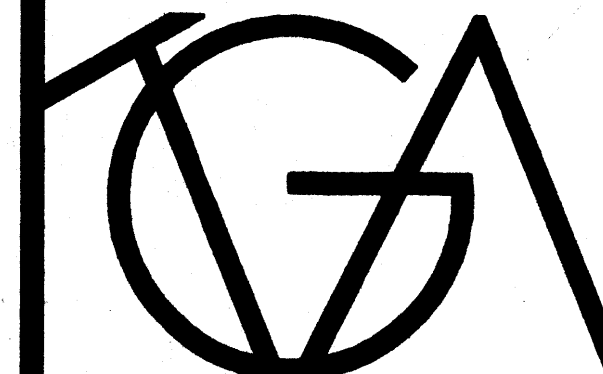
Proj. No. 2002.12 Date: 10/22/02

Revisions



Set No.

10-21-02



TOPOGRAPHIC AND BOUNDARY SURVEY
 LOTS 15-20, BLOCK 44
 RAYNOLDS ADDITION
 ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 JUNE 2002

LEGAL DESCRIPTION

BEING THAT CERTAIN PARCEL OF LAND SITUATED WITHIN THE TOWN OF ALBUQUERQUE GRANT, WITHIN PROJECTED SECTION 19, TOWNSHIP 10 NORTH, RANGE 3 EAST, NEW MEXICO PRINCIPAL MERIDIAN, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, BEING IDENTIFIED AS LOTS 15-20, BLOCK 44, RAYNOLDS ADDITION, AS SAID LOTS 15-20 IN BLOCK 44 ARE SHOWN AND DESIGNATED ON THE PLAT OF RAYNOLDS ADDITION FILED IN THE OFFICE OF THE COUNTY CLERK, BERNALILLO COUNTY, NEW MEXICO, ON NOVEMBER 24, 1924, IN VOLUME C5, FOLIO 91, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF THE PARCEL OF LAND HEREIN DESCRIBED BEING A POINT AT THE INTERSECTION OF THE NORTHERLY RIGHT-OF-WAY LINE OF IRON AVENUE SW AND THE 14TH STREET SW, WHENCE THE ACS CONTROL STATION '6-K13' BEARS S 86° 24' 11" W, 1373.40 FEET DISTANCE; THENCE,

N 09° 01' 09" E, 142.00 FEET DISTANCE TO THE NORTHEAST CORNER OF THE PARCEL OF LAND HEREIN DESCRIBED BEING A POINT AT THE INTERSECTION OF THE EASTERLY RIGHT-OF-WAY LINE OF 14TH STREET SW AND THE SOUTHERLY LINE OF 16 FOOT WIDE PUBLIC ALLEY; THENCE,

S 80° 52' 51" E, 150.00 FEET DISTANCE TO THE NORTHEAST CORNER OF THE PARCEL OF LAND HEREIN DESCRIBED; THENCE,

S 09° 01' 09" W, 142.00 FEET DISTANCE TO THE SOUTHWEST CORNER OF THE PARCEL OF LAND HEREIN DESCRIBED BEING A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE OF IRON AVENUE SW; THENCE,

N 80° 52' 51" W, 150.00 FEET DISTANCE TO THE SOUTHWEST CORNER AND POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED AND CONTAINING 21300 SQUARE FEET (0.4890 ACRE), MORE OR LESS.

NOTES:

1. BEARINGS SHOWN ARE GRID BASED ON NEW MEXICO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 21 DATUM. DISTANCES ARE GROUND.
2. UNLESS OTHERWISE INDICATED ALL PROPERTY CORNERS ARE MARKED WITH PK. NAIL AND SHINER, CHISELED 'X' IN CONCRETE, OR 1/2" REBAR AND CAP MARKED 'P9 10464'.
3. COORDINATES ARE PROJECT/GROUND VALUES BASED ON NM STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NAD 21 DATUM. USE GROUND-TO-GRID FACTOR = 0.99968 TO OBTAIN GRID COORDINATES.
4. ELEVATIONS ARE SLD23 DATUM VALUES BASED ON ACS BENCHMARK '3-K13', ELEVATION = 4945.01.
5. LOCATION OF UNDERGROUND UTILITIES IS APPROXIMATE ONLY AND IS BASED ON UTILITY MAPS AVAILABLE TO THE SURVEYOR AT THE TIME OF THE SURVEY AND ON LOCATION OF SURFACE ACCESSIBLE AFFURTENANCES OF UNDERGROUND UTILITIES AND MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION. OTHER UTILITIES MAY EXIST THAT ARE NOT SHOWN IN THIS SURVEY.

CONTROL POINT TABLE

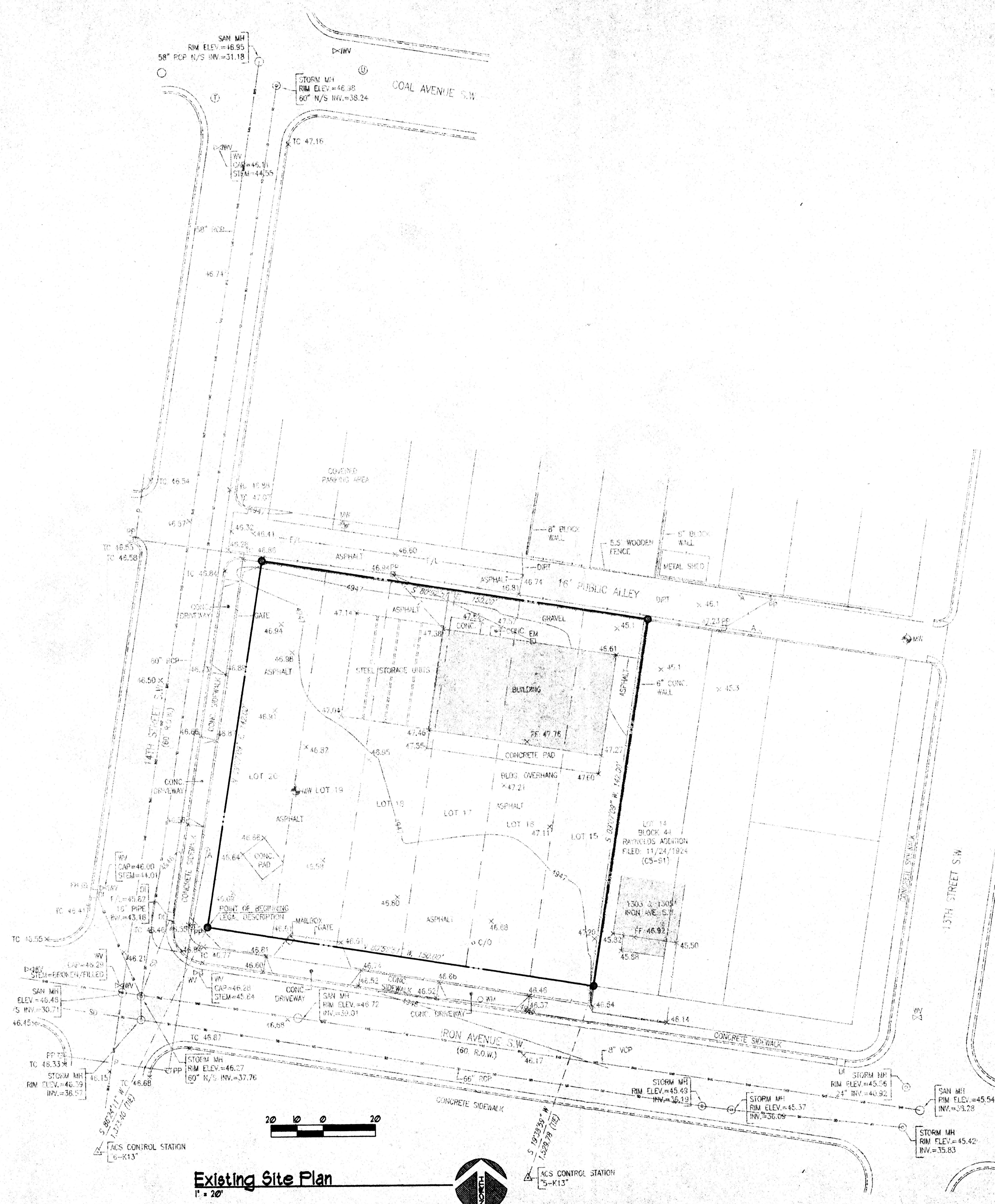
POINT NO.	DESCRIPTOR	NORTHING	EASTING	ELEVATION
1	ACS '5-K13'	1484258.16	376021.02	
2	ACS '6-K13'	1485436.46	375016.64	
3	CP	1484641.93	375692.65	
4	CP	1485460.16	376366.83	4946.11
5	CP	1485691.14	376356.50	4946.10
6	CP	1485490.12	376525.15	4946.49
7	CP	1485460.32	376685.18	4945.81

SURVEYOR'S CERTIFICATION

V. VLADIMIR JIRIK, NEW MEXICO PROFESSIONAL SURVEYOR, HEREBY CERTIFY THAT THIS BOUNDARY SURVEY PLAT WAS PREPARED FROM AN ACTUAL GROUND SURVEY PERFORMED BY ME OR UNDER MY SUPERVISION, THAT I AM RESPONSIBLE FOR THIS SURVEY, THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THIS BOUNDARY SURVEY PLAT AND THE FIELD SURVEY UPON WHICH IT IS BASED MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO, AND THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT. THIS IS A BOUNDARY SURVEY PLAT OF AN EXISTING TRACT OR TRACTS.

VLADIMIR JIRIK, N.M.P.S. NO. 10464

DATE



Existing Site Plan
 1" = 20'

Keyed Notes Cl:

General Notes:

1. PLAT AND SURVEY BY: ALBUQUERQUE SURVEYING CO. INC., 219 MENAUL BLVD. NE, ALBUQUERQUE, NEW MEXICO 87107 PH. (505) 884-2036.

Legend:

- ⊕ MW MONITORING WELL
- ⊖ TPP POWER POLE
- ⊙ ANCHOR
- △ CP-1 CONTROL POINTS
- ⊙ FH FIRE HYDRANT
- ⊕ WV WATER VALVE
- ⊖ DI DROP INLET
- ⊖ EM ELECTRIC METER
- C/O CLEAN OUT
- ⊙ MH (STORM)
- MH (SANITARY)
- ⊙ MH (TELEPHONE)
- ⊙ MH (UNDETERMINED)
- T — TELEPHONE CABLE
- — — OVERHEAD POWER LINE
- SD — STORM DRAIN
- SAS — SANITARY SEWER
- — — CHAIN LINK FENCE
- — — WOODEN FENCE
- × 25.0 ELEVATION AT NATURAL GROUND
- × 25.00 ELEVATION ON HARD SURFACE
- 25.00 ELEVATION ON TOP OF CURB
- × 25.00 ELEVATION AT FLOW LINE

DRB Plans

Addition
 St. Vincent de Paul Society
 1313 Iron Avenue SW
 Albuquerque, New Mexico

Project Title

Drawn By EB Checked By KEG
 Prepped 200212 Date 10/21/02
 © 2002 KEVIN GEORGES & ASSOCIATES, P.A.



Revisions Architect Engineer

EXISTING SITE PLAN

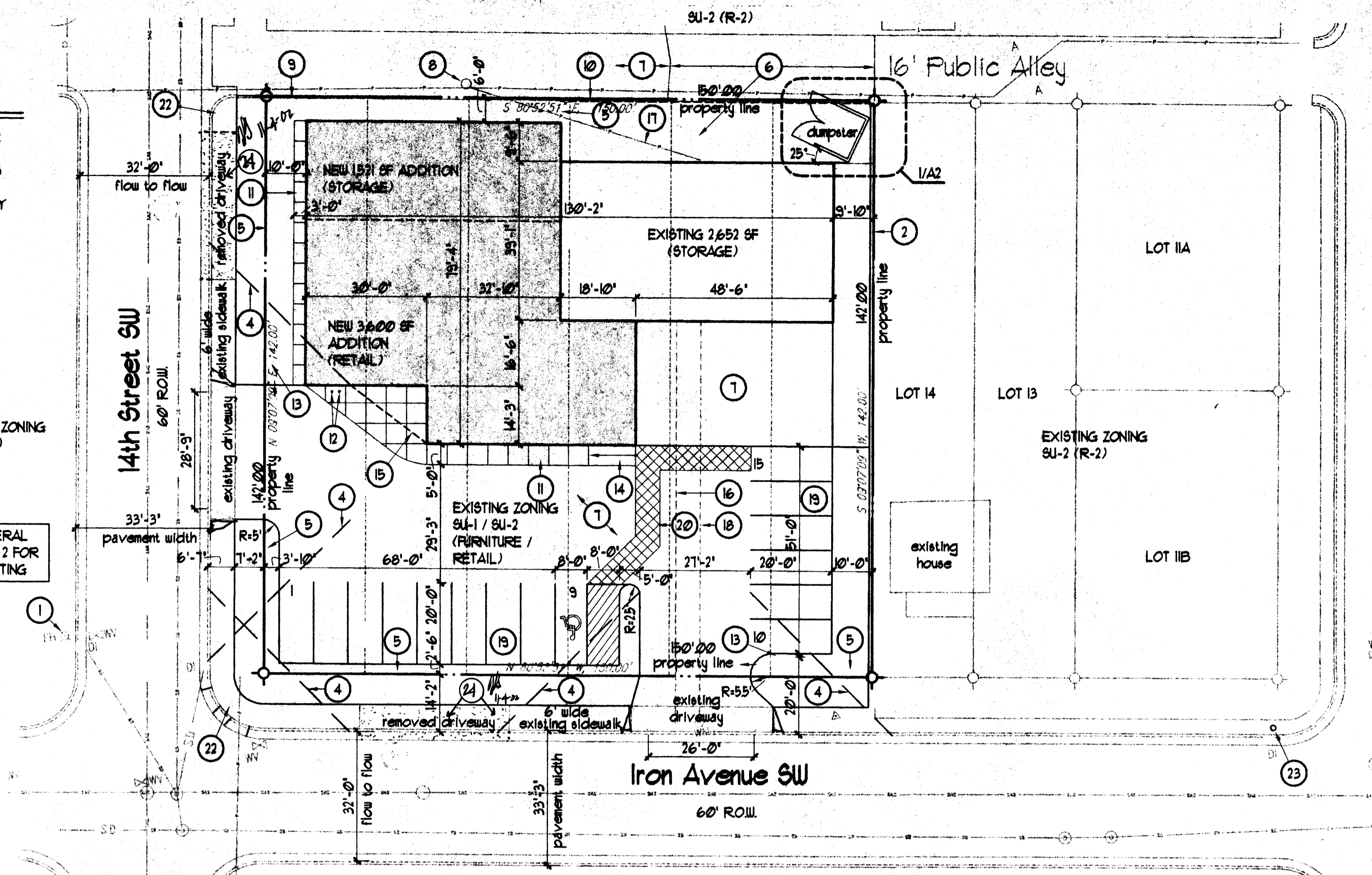
Sheet Title Sheet 12 of 17

Site Lighting Notes:

1. ALL SITE LIGHTING TO BE BUILDING MOUNTED AND PER 14-16-3-9 OF ALBUQUERQUE ZONING ORDINANCE. THE LOCATION OF THE LIGHTING FIXTURE TOGETHER WITH ITS CUT OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT OF WAY OR ANY OTHER RESIDENTIAL PREMISES. LIGHTING SHALL NOT HAVE OFF-SITE LUMINANCE GREATER THAN 200 FOOTLAMBERTS REASSURED FROM ANY PRIVATE PROPERTY IN A RESIDENTIAL ZONE.

EXISTING ZONING SU-2 (O-1)

SEE GENERAL NOTE NO. 2 FOR SITE LIGHTING



Site Plan - Phase I
1"=20'

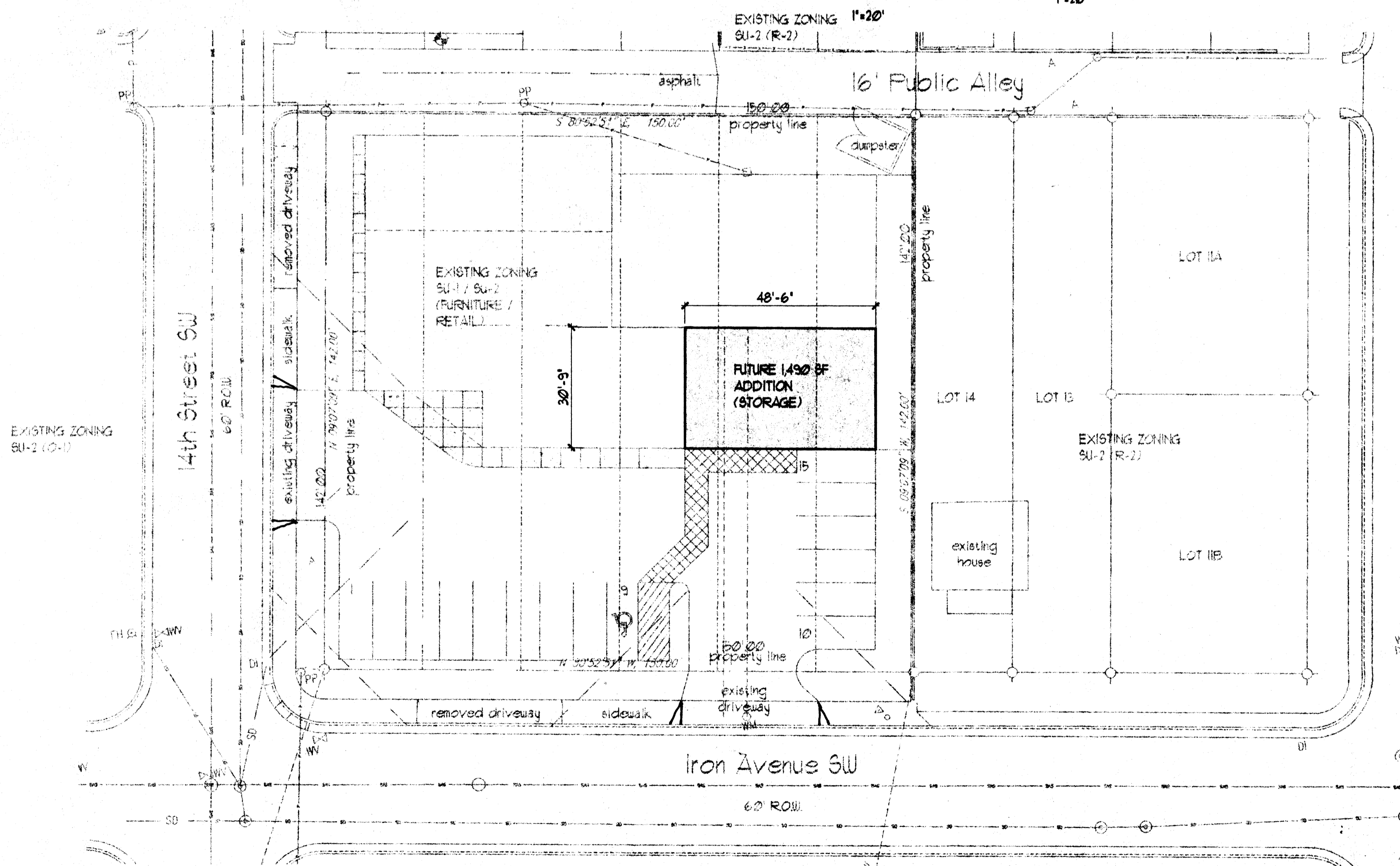
AFD PLANS CHECKING OFFICE
924-3811
APPROVED/DISAPPROVED
10/21/02
SIGNATURE & DATE

02ER-01157
Project Number: 1002125
Application Number: 02-01611

This Plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated 9/13/02 and that the findings and conditions in the Official Notice; Notification of Decision have been compiled with.

SITE DEVELOPMENT PLAN APPROVAL:

<i>[Signature]</i>	11/05/02	Date
Traffic Engineering, Transportation Division		
<i>[Signature]</i>	10/29/02	Date
Utilities Development		
<i>[Signature]</i>	10/29/02	Date
Parks and Recreation Department		
NA		
Environmental Health Department - existing landfill issues		
<i>[Signature]</i>	10/29/02	Date
City Engineer / AMAFCA		
NA		
Fire Marshall		
<i>[Signature]</i>	10/29/02	Date
Solid Waste Management - Roll Out Year		



Site Plan - Phase 2
1"=20'

Keyed Notes C2:

- EXISTING FIRE HYDRANT.
- NEW 6" CONCRETE BLOCK WALL. SEE 4/A2.
- DUMPSTER ENCLOSURE. SEE 1/A2.
- 38' VISIBILITY TRIANGLE.
- NOT USED.
- NEW ASPHALT PAVING AT ALLEY.
- EXISTING ASPHALT PAVING.
- EXISTING POWER POLE.
- EXISTING CHAIN LINK FENCE TO REMAIN.
- REMOVE EXISTING CHAIN LINK FENCE.
- NEW CONCRETE WALKWAY.
- BIKE STANDS FOR 5 BICYCLES.
- NOT USED.
- ACCESSIBILITY RAMP 1:20 MAXIMUM.
- ENTRANCE CANOPY OVERHANG.
- CONCEPTUAL UTILITY LAYOUT - TIE INTO EXISTING SANITARY LINE.
- CONCEPTUAL UTILITY LAYOUT - TIE INTO EXISTING ELECTRICAL SERVICE.
- CONCEPTUAL UTILITY LAYOUT - TIE INTO EXISTING WATER SERVICE.
- TYPICAL PARKING SPACE (EXCEPT AT ACCESSIBLE SPACES) 15' 8"-6" X 20'-0".
- 6" WIDE CONCRETE WALKWAY WITH 24" X 24" JOINT PATTERN SET TOP OF CONCRETE 1/4" ABOVE ASPHALT.
- EXISTING CONCRETE SWALED SIDEWALK TO REMAIN.
- RECONSTRUCT SIDEWALK TO ACCESSIBLE STANDARDS. SEE CIVIL.
- NEW FIRE HYDRANT.
- NEW 6" CONCRETE SIDEWALK W/ CURB & GUTTER AT REMOVED DRIVEWAY.

General Notes:

- THE EXISTING PROPERTY CONSISTS OF SIX (6) LOTS (LOTS 15-20). IT WILL BE REPLATTED INTO ONE (1) LOT.
- CONCEPTUAL UTILITY PLAN: TIE INTO EXISTING BUILDING ELECTRICAL FEED (AT ALLEY) AND EXISTING BUILDING WATER AND SEWER TIE INS.

Design Criteria

A. ZONING DESIGN CRITERIA

- LEGAL DESCRIPTION: LOTS 15-20, BLOCK 44, RAYNOLDS ADDITION, BERNALILLO COUNTY, NEW MEXICO
- LOT SIZE: 21300 SF (0.4890 ACRES)
- ZONING CLASSIFICATION: SU-1 / SU-2 (FURNITURE / RETAIL)
- PERMITTED AND ACTUAL USE: WAREHOUSE / RETAIL
- SETBACKS:
 - A. PROVIDED
 - 1. FRONT: 56.66 FEET
 - 2. SIDE: 9.83 FEET
 - 3. REAR: 5 FEET
- HEIGHT: 19 FEET MAXIMUM
- PARKING REQUIREMENTS:
 - STORAGE = 5,663 SF / 2,000 = 3
 - RETAIL = 3,600 SF / 300 = 12
 - TOTAL SPACES REQUIRED: 15
 - TOTAL PARKING PROVIDED:
 - 1. VAN ACCESSIBLE SPACES: 1
 - 2. STANDARD ACCESSIBLE SPACES: 0
 - 3. STANDARD PARKING SPACES: 14
 - TOTAL: 15
 - BICYCLE SPACES:
 - A. REQUIRED: 15 / 20 = 1 NO LESS THAN 2
 - B. PROVIDED: 5
- ZONE ATLAS PAGE NO.: K-19-Z

DRB Plans

Addition
St. Vincent de Paul Society
1313 Iron Avenue SW
Albuquerque, New Mexico

Project Title

Drawn By	EB	Checked By	US
Proj. No.	200212	Date	10/22/02

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Revisions

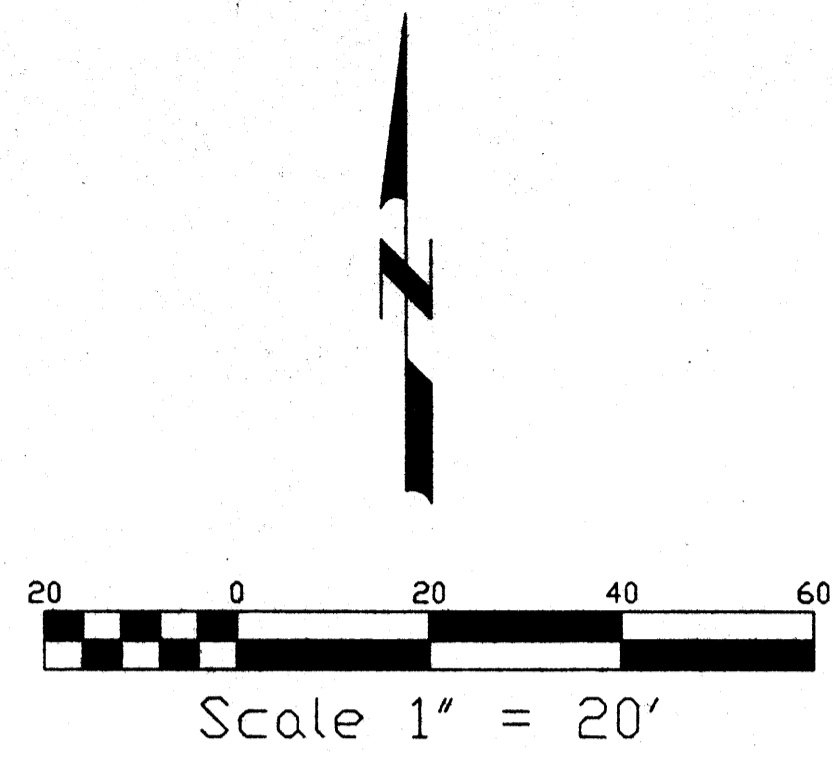
Architect	10/21/02
Engineer	

PLAN

PROJECT BENCH MARK
 ACS BENCHMARK 3-K13
 ELEV 4945.01

SURVEY INFORMATION
 SURVEY PERFORMED BY ALBUQUERQUE
 SURVEYING JULY, 2002

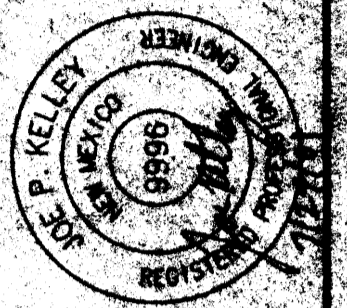
LEGAL DESCRIPTION
 LOTS 15-20, BLOCK 44, RAYNOLDS
 ADDITION, CONTAINING 0.489 ACRES.



- LEGEND**
- FLOW DIRECTION
 - × 45.3 EXIST. SPOT ELEVATION
 - ⊕ TC65.94 NEW SPOT ELEVATION
 - - - EXIST. BLDG
 - NEW BLDG
 - · - · - FUTURE BLDG
 - · - · - EXIST. PAVEMENT/CURB
 - NEW PAVEMENT/CURB
 - ⊕ EXIST. SANITARY SEWER
 - PARKING LOT STRIPING
 - RIGHT-OF-WAY LINE
 - LOT LINE

LOCATION MAP K-13

JC-Engineering
 1924 Reenoke Dr., NE, P.O. Reenoke, NE 68144-5532
 (505) 288-1888 Fax: (505) 287-9300 www.jceng.com



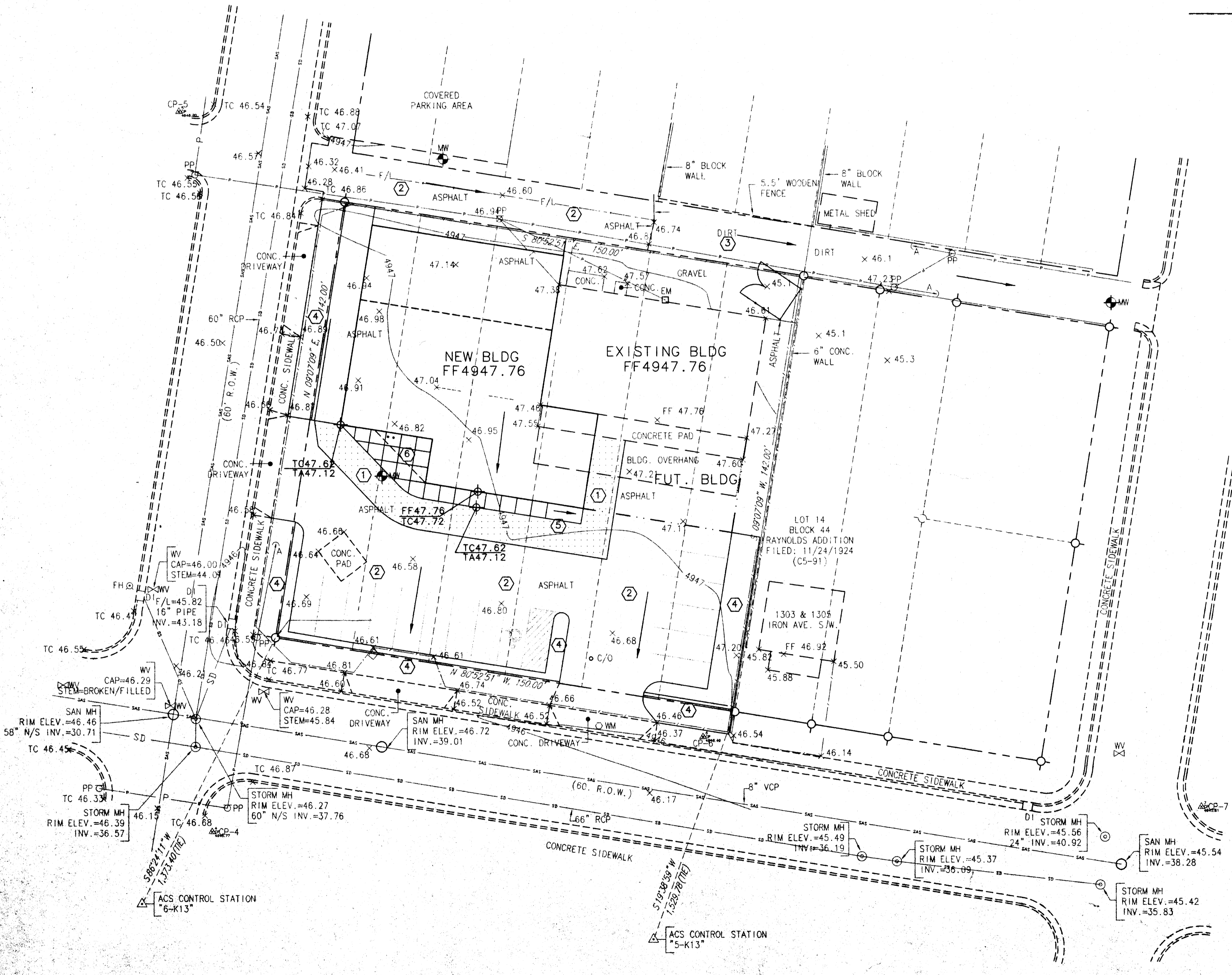
KEYED NOTES

- ① NEATLY CUT, REMOVE, AND REPLACE EXISTING ASPHALT PAVEMENT.
- ② EXISTING ASPHALT PAVEMENT TO REMAIN.
- ③ INSTALL NEW ALLEY ASPHALT PAVEMENT PER COA STD DWG. 2411.
- ④ REMOVE EXISTING ASPHALT PAVEMENT FROM LANDSCAPED AREAS. RUNOFF FROM PAVEMENT TO FLOW FREELY INTO PLANTER AREAS (NO CURB ON PERIMETER OF PAVEMENT).
- ⑤ INSTALL HANDICAP RAMP WITH 12:1 MAXIMUM SLOPE.
- ⑥ INSTALL SIDEWALK WITH TURNED-DOWN EDGE CREATING CURB FACE.

REVISIONS	DATE	BY	DESCRIPTION

PROJECT: ST. VINCENT DEPAUL
 1313 IRON AVE. SW
 CLIENT: KGA ARCHITECTURE

THIS SHEET WAS
 APPROVED FOR SITE
 DEVELOPMENT PLAN
 PURPOSES BY CITY
 HYDROLOGY ON
 SEPT. 6, 2002.



SHEET TITLE: **CONCEPTUAL GRADING PLAN**
 SHEET NO: **C3**

SURVEY INFORMATION
 SURVEY PERFORMED BY ALBUQUERQUE
 SURVEYING JULY, 2002

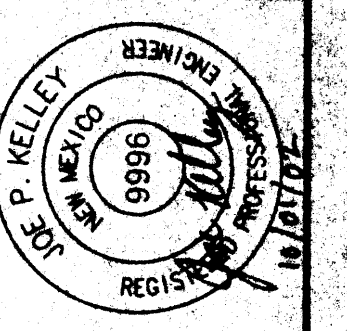
PROJECT BENCH MARK
 ACS BENCHMARK 3-K13
 ELEV 4945.01 (SLD29 DATUM)

LEGAL DESCRIPTION
 LOTS 15-20, BLOCK 44, RAYNOLDS
 ADDITION, CONTAINING 0.489 ACRES.



LOCATION MAP K-13

JC-Engineering
 1924 Ronoke Dr. NE, Bldg. 800, Raleigh, NC 27614-5532
 (919) 867-1936 Fax (919) 867-8304 jcw@jc-engineering.com



- LEGEND**
- FLOW DIRECTION
 - x 45.3 EXIST. SPOT ELEVATION
 - ⊕ TC65.94 NEW SPOT ELEVATION
 - - - EXIST. BLDG
 - NEW BLDG
 - - - FUTURE BLDG
 - - - EXIST. PAVEMENT/CURB
 - NEW PAVEMENT/CURB
 - - - EXIST. SANITARY SEWER
 - PARKING LOT STRIPING
 - RIGHT-OF-WAY LINE
 - LOT LINE
 - ⊕ MW MONITORING WELL
 - ▭ ZONE AO FLOODPLAIN PER FIRM 35001C0328 (SEPT. 1996)

KEYED NOTES

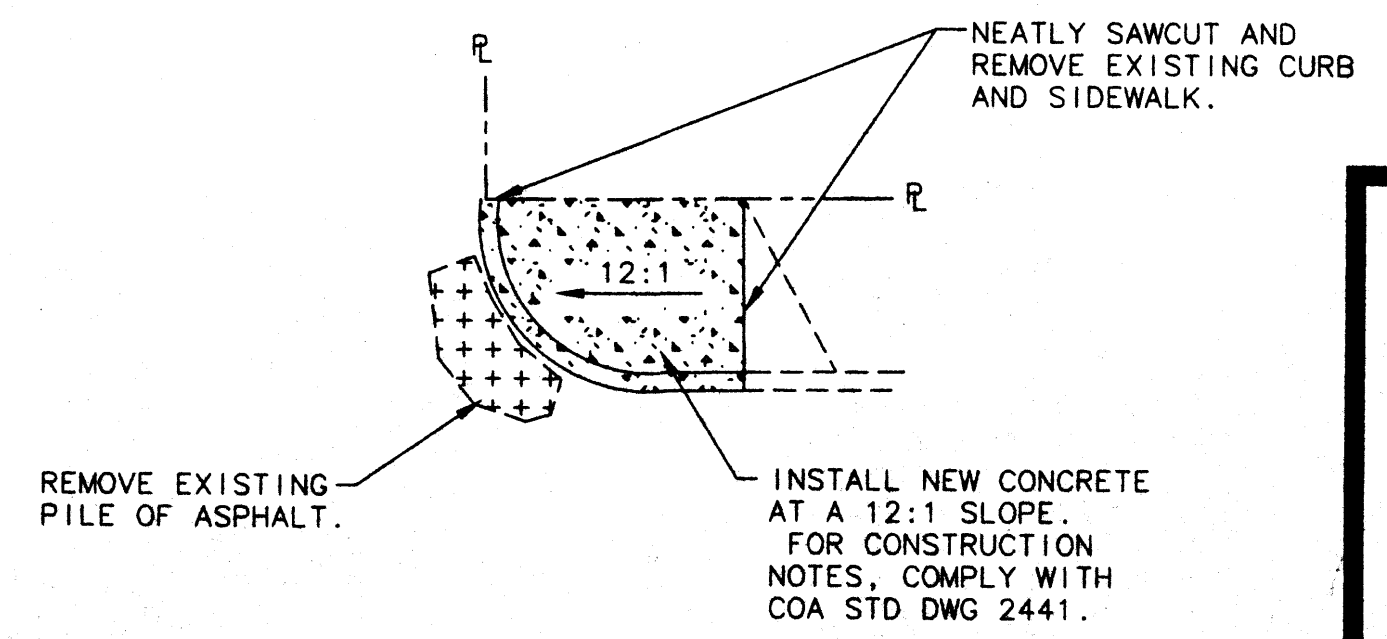
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- ② EXISTING ASPHALT PAVEMENT TO REMAIN.
- ③ INSTALL NEW ALLEY ASPHALT PAVEMENT PER COA STD DWG. 2411.
- ④ REMOVE EXISTING ASPHALT PAVEMENT FROM LANDSCAPED AREAS. RUNOFF FROM PAVEMENT TO FLOW FREELY INTO PLANTER AREAS (NO CURB ON PERIMETER OF PAVEMENT).
- ⑤ INSTALL HANDICAP RAMP WITH 12:1 MAXIMUM SLOPE.
- ⑥ INSTALL SIDEWALK WITH TURNED-DOWN EDGE CREATING CURB FACE.
- ⑦ INSTALL DUMPSTER ENCLOSURE AS DETAILED ON ARCHITECTURAL PLANS, WITH 1% SLOPE AS INDICATED.
- ⑧ INSTALL NEW HANDICAP RAMP AS DETAILED ON THIS SHEET.
- ⑨ NEATLY SAWCUT AND REMOVE SIDEWALK AND CURB, AND INSTALL HANDICAP RAMP PER COA STD DWG 2441, CASE 1.
- ⑩ INSTALL DECORATIVE CONCRETE AS INDICATED ON ARCHITECTURAL PLAN.
- ⑪ NEATLY CUT AND REMOVE EXISTING ASPHALT PAVEMENT. GRADE SUBGRADE IN ACCORDANCE WITH NEW ELEVATIONS, AND COMPACT TO 95% ASTM D-1557. INSTALL NEW PAVEMENT, 2" THICK (1500 LB), FLUSH WITH EXISTING PAVEMENT. APPLY TACK COAT TO CUT EDGE PRIOR TO NEW PAVEMENT INSTALLATION.
- ⑫ INSTALL NEW ASPHALT PAVEMENT 6" BELOW TOP OF NEW CONCRETE.
- ⑬ INSTALL NEW ASPHALT PAVEMENT FLUSH WITH CONCRETE.
- ⑭ NEW CONCRETE SIDEWALK, CURB & GUTTER AT REMOVED DRIVEWAY 11-4-02

WORK WITHIN C.O.A. RIGHT-OF-WAY

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN THE CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, AS CURRENTLY UPDATED.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE (260-1990) FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL PERTINENT EXISTING UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. THREE WORKING DAYS PRIOR TO BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT TO THE CONSTRUCTION COORDINATION DIVISION A DETAILED CONSTRUCTION SCHEDULE. TWO WORKING DAYS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A BARRICADING PERMIT FROM THE CONSTRUCTION COORDINATION DIVISION. CONTRACTOR SHALL NOTIFY BARRICADE ENGINEER (765-2551) PRIOR TO OCCUPYING RIGHT-OF-WAY. SEE SECTION 19 OF THE SPECIFICATIONS. ALL STREET STRIPING ALTERED OR DESTROYED SHALL BE REPLACED IN KIND BY CONTRACTOR TO LOCATION AND IN KIND AS EXISTING OR AS INDICATED BY THIS PLAN SET.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

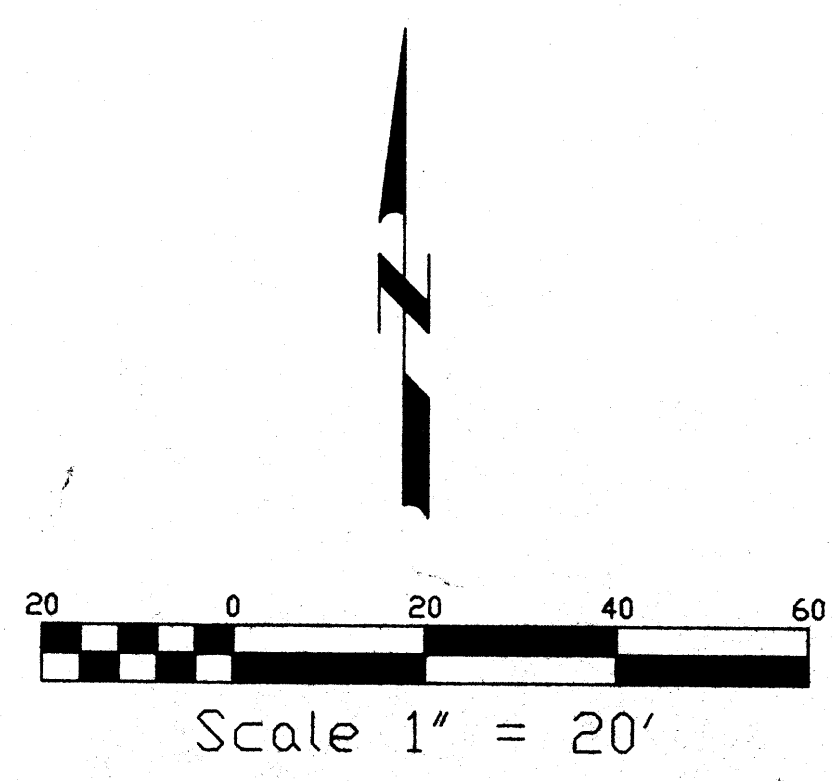
THE FOLLOWING NOTES ALSO APPLY WHEN CHECKED

- ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED PRIOR TO PAVING.
- SIDEWALKS AND WHEELCHAIR RAMPS WITHIN THE CURB RETURNS SHALL BE CONSTRUCTED WHEREVER A NEW CURB RETURN IS CONSTRUCTED.
- BACKFILL COMPACTION SHALL BE ACCORDING TO CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, AS CURRENTLY UPDATED.
- IF CURB IS DEPRESSED FOR A DRIVEPAD OR A HANDICAP RAMP, THE DRIVEPAD OR RAMP SHALL BE CONSTRUCTED PRIOR TO ACCEPTANCE OF THE CURB AND GUTTER.
- TACK COAT REQUIREMENTS SHALL BE DETERMINED BY THE CITY ENGINEER.
- ALL STORM DRAINAGE FACILITIES SHALL BE COMPLETED PRIOR TO FINAL ACCEPTANCE.



A HANDICAP RAMP
 NTS

THIS SHEET WAS SUBMITTED TO CITY HYDROLOGY ON OCT. 1, 2002, AND IS STILL IN REVIEW.



APPROVALS	REVISIONS		
SIGNATURE	NO.	DATE	DESCRIPTION

PROJECT: ST. VINCENT DEPAUL
 1313 IRON AVE. SW
 CLIENT: KGA ARCHITECTURE

SHEET TITLE: GRADING PLAN
 SHEET NO. C3

PLANTING LEGEND

KEY	COMMON NAME	BOTANICAL NAME	HEIGHT	SPREAD	WATER USAGE	SIZE	SYMBOL
A	RUSSIAN OLIVE	ELAEAGNUS ANGUSTIFOLIA	40' TALL	40' WIDE	MED.	15 GALLON	
B	DESERT WILLOW	CHILOPSIS LINEARIS	25' TALL	25' WIDE	LOW	15 GALLON	
C	NEW MEXICO OLIVE	FORESTIERA NEOMEXICANA	15' TALL	15' WIDE	MED.	15 GALLON	
D	WESTERN REDBUD	CERCIS OCCIDENTALIS	20' TALL	20' WIDE	MED.	15 GALLON	
E	RUBBER RABBITBRUSH	CHRYSOETHAMNUS NAUSEOSUS	5' TALL	4' WIDE	LOW	5 GALLON	
F	FOURWING SALTBUSH	ATRIPLEX CANESCENS	6' TALL	5' WIDE	LOW	5 GALLON	
G	PAMPAS GRASS	CORTADERIA SELLOANA	6' TALL	8' WIDE	MED.	5 GALLON	
H	SPANISH BROOM	GENISTA HISPANICA	4' TALL	4' WIDE	MED.	5 GALLON	
I	ENGLISH LAVENDER	LAVANDULA ANGUSTIFOLIA	3' TALL	3' WIDE	MED.	1 GALLON	I ○
J	FOUR O'CLOCKS	MIRABILIS MULTIFLORA	2' TALL	5' WIDE	MED.	5 GALLONS	J ○
K	PURPLE ICE PLANT	DELOSPERNIA COOPERI	6' TALL	18' WIDE	LOW	1 GALLON	K ○
L	DRAGONBLOOD SEDUM	SEDUM 'DRAGONBLOOD'	18' TALL	18' WIDE	LOW	1 GALLON	L ○
M	YELLOW YARROW	ACHILLEA MILLEFOLIUM	24' TALL	24' WIDE	MED.	1 GALLON	M ○
2" LAYER - 1/4" CRUSHED GREAT GRAVEL							

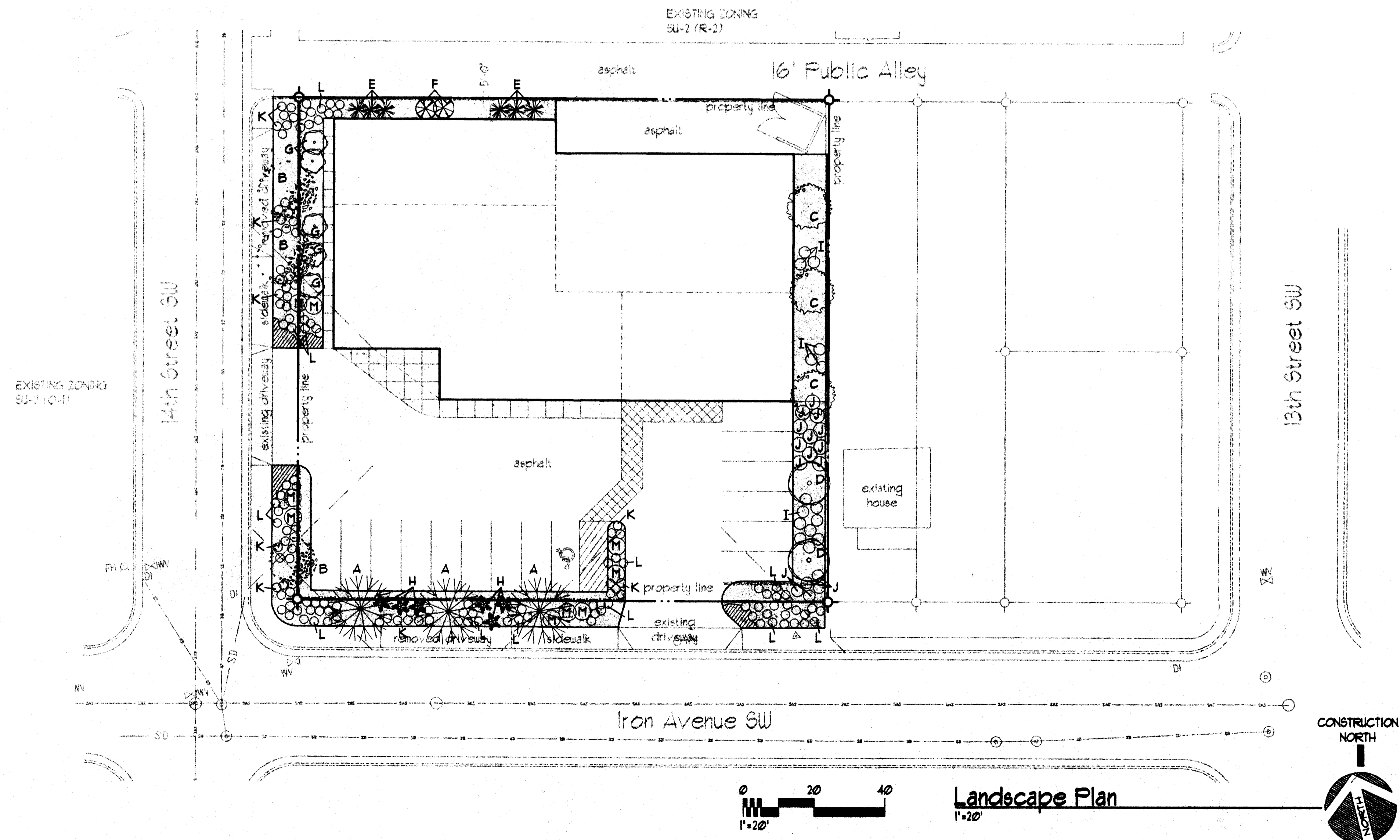
Keyed Notes LI:

Landscape General Notes:

1. LANDSCAPING PLAN SHALL MEET THE REQUIREMENTS OF WATER CONSERVATION AND WATER WASTE ORDINANCE, ORDINANCE 18-1995.
2. IT IS THE RESPONSIBILITY OF THE OWNER TO MAINTAIN THE LANDSCAPE ONCE INSTALLED.
3. THE LANDSCAPE CONTRACTOR SHALL DESIGN AND CONSTRUCT AN IRRIGATION SYSTEM WHICH SHALL INCLUDE SPRINKLERS, PIPING, CONTROL, EQUIPMENT AND LABOR NECESSARY FOR A COMPLETE SYSTEM. PROVIDE YARD SPRAYS AT SOD, DRIP ELSEWHERE.
4. ROCK GROUND COVER SHALL BE 3" DEEP, LAID OVER WEED CONTROL FABRIC.
5. WEED CONTROL FABRICS SHALL BE DEWITT PRO5 OR TYFAR 3301.
6. EDGING SHALL BE RYERSON OR PROSTEEL 1/8" X 4' GREEN.

Landscape Design Criteria

LANDSCAPING REQUIRED = 15% (AREA OF LOT - AREA COVERED BY BUILDINGS - ROW LANDSCAPING)
 = 15% (21,300 - 9,263 - ROW LANDSCAPING)
 = 15% (10,420) = 1,563 SF.
 LANDSCAPING PROVIDED = 4,321 SF.



DRB Plans

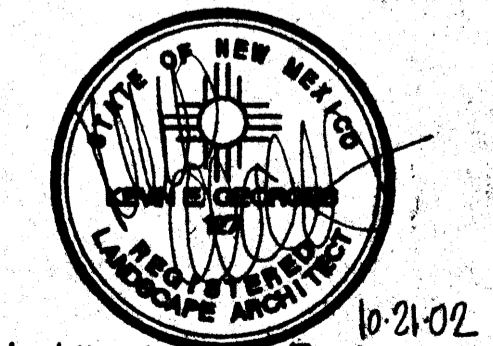
Addition
St. Vincent de Paul Society
 1313 Iron Avenue SW
 Albuquerque, New Mexico

Project Title

Drawn By: EB Checked By: KEG

Proj. No.: 2002.12 Date: 10-22-02

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Revisions

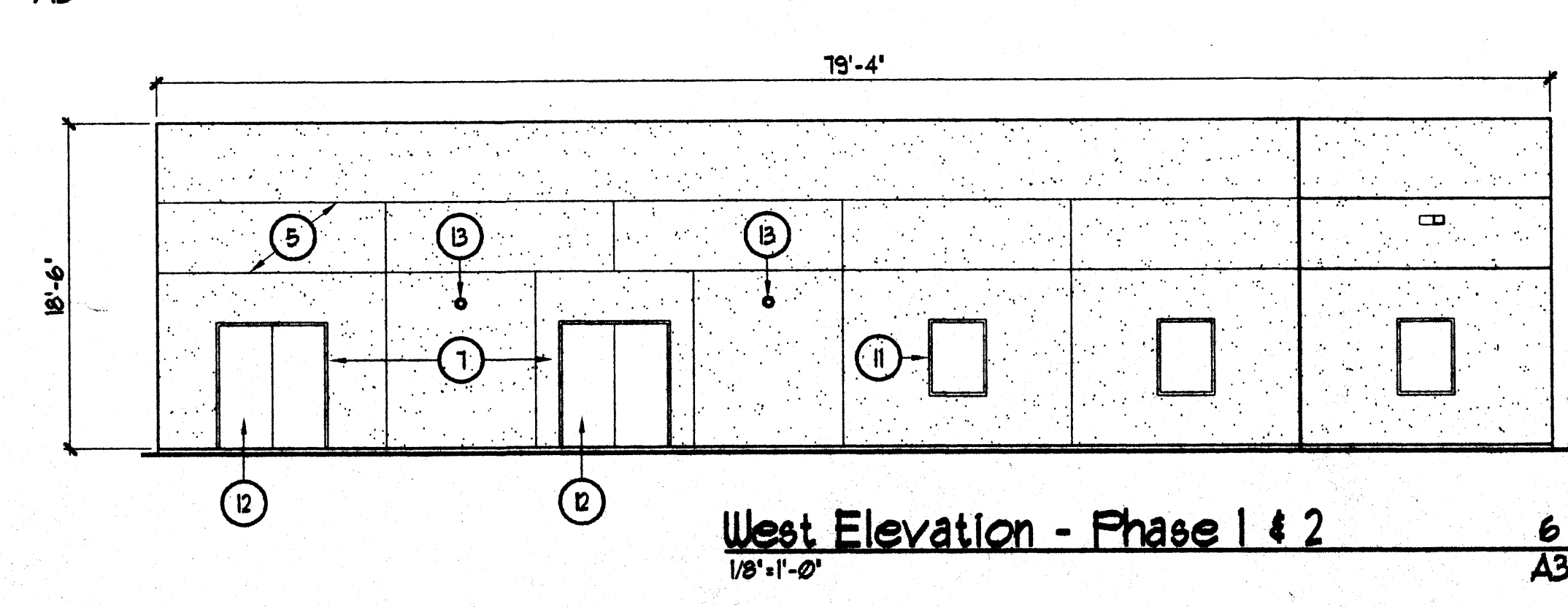
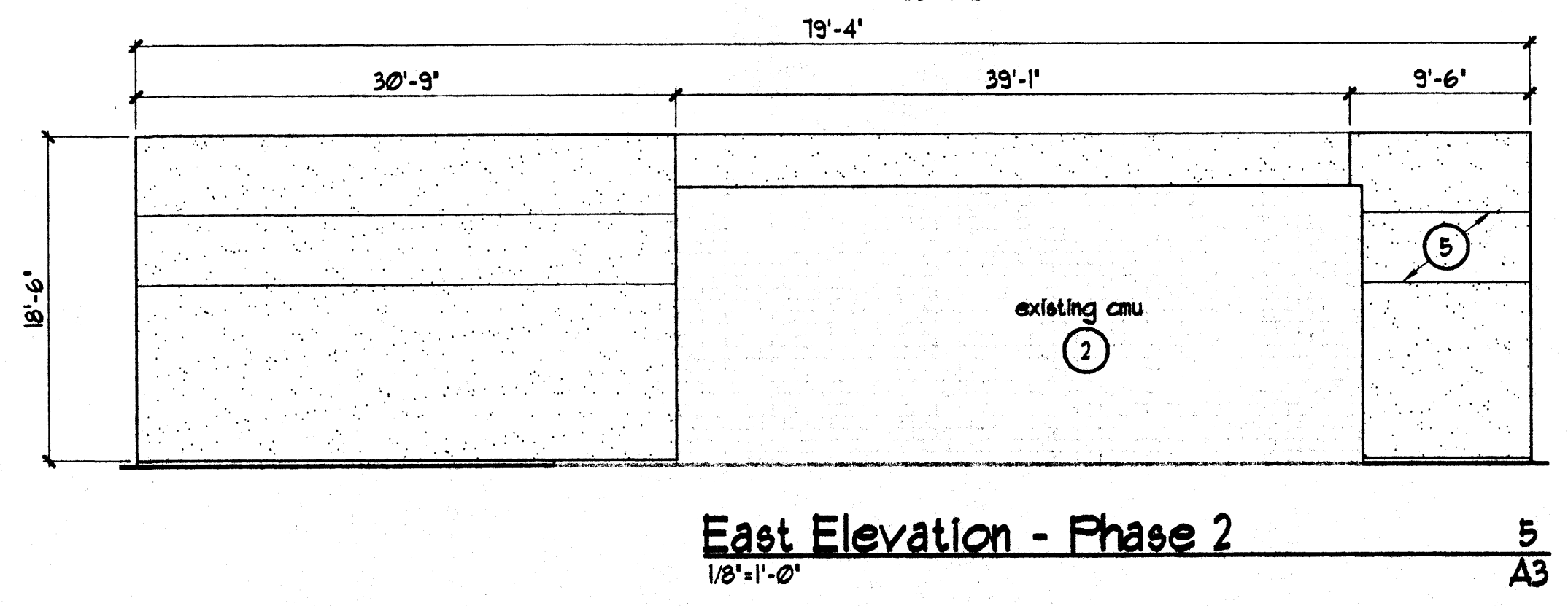
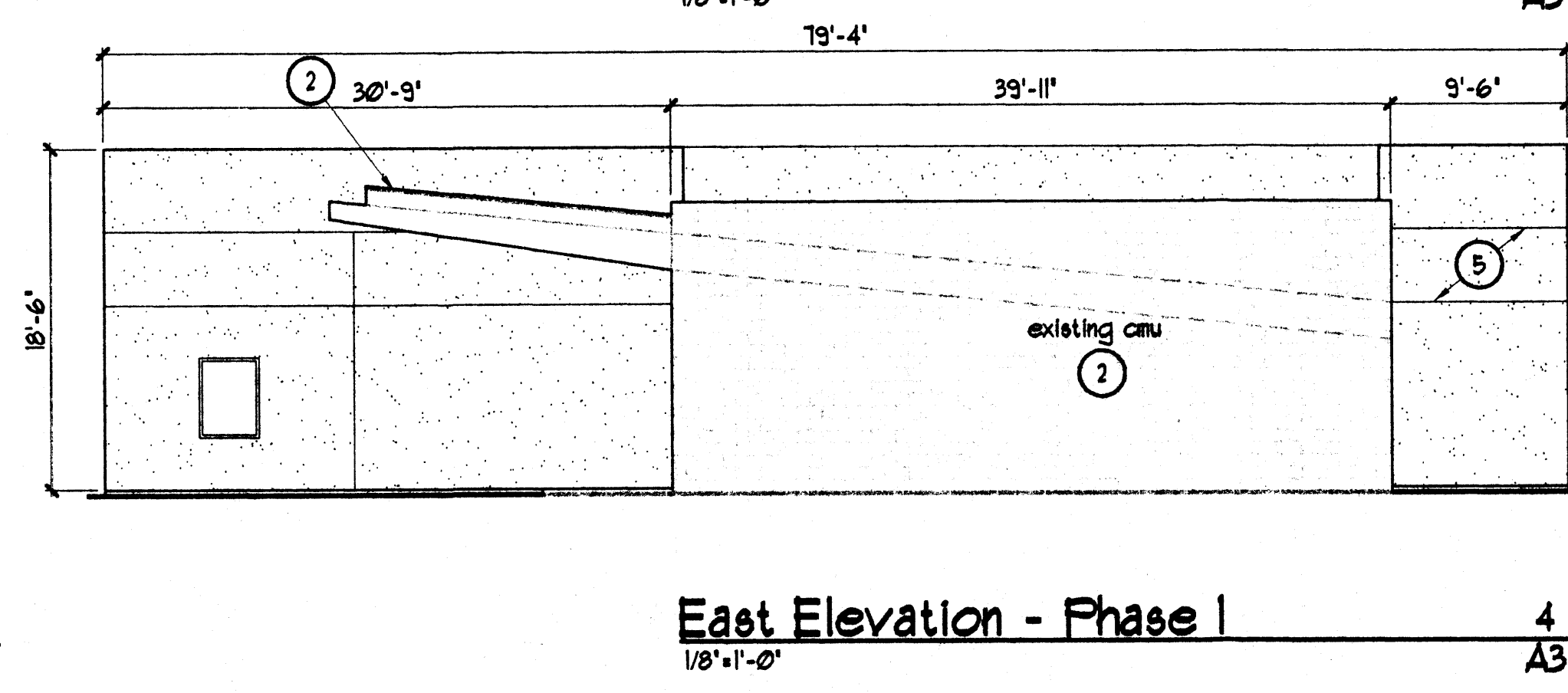
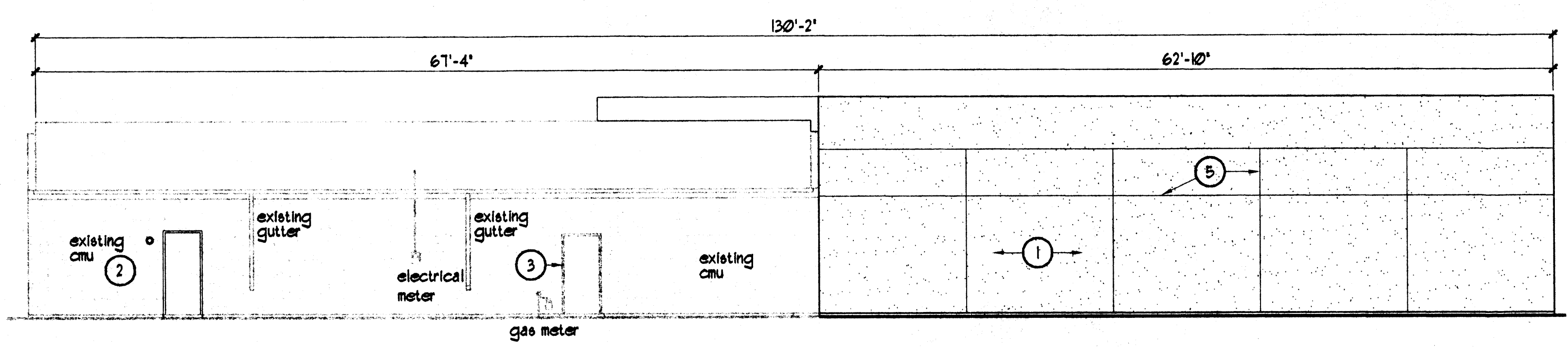
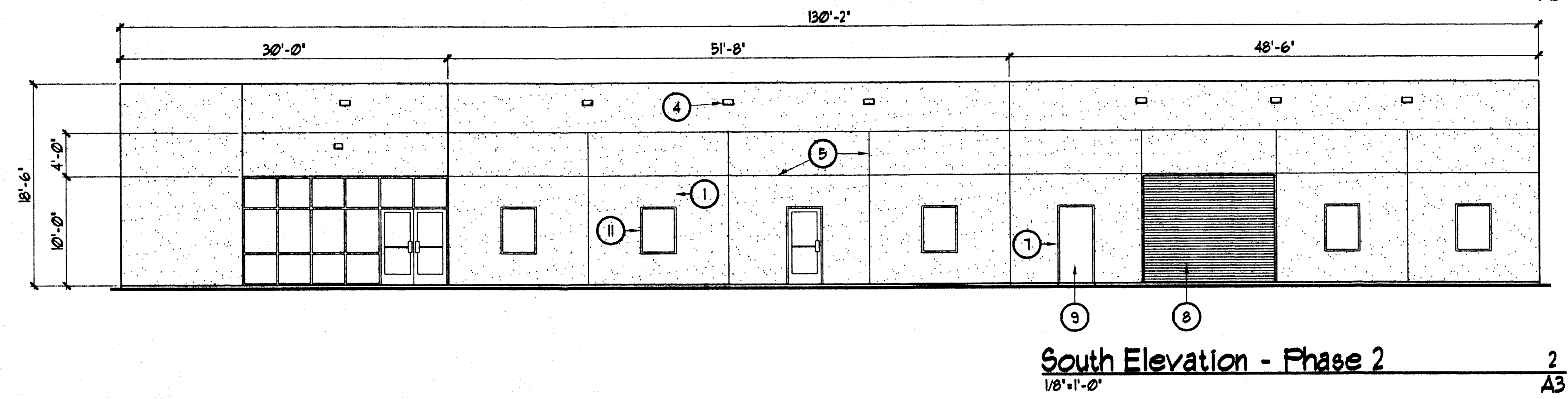
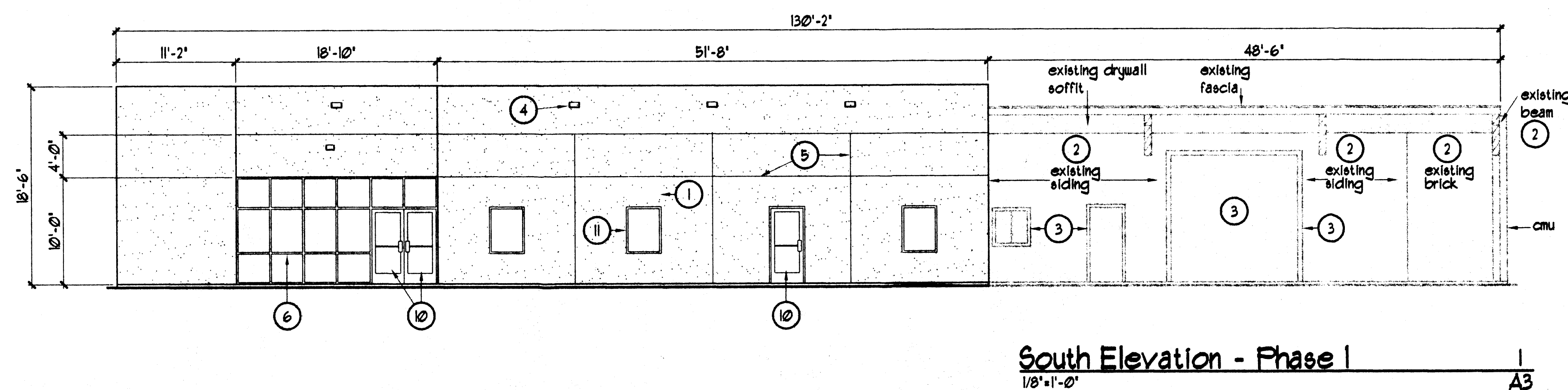
Architect: _____ Engineer: _____

LANDSCAPE PLAN

Sheet Title: _____ Sheet 5 of 7

Keyed Notes A1:

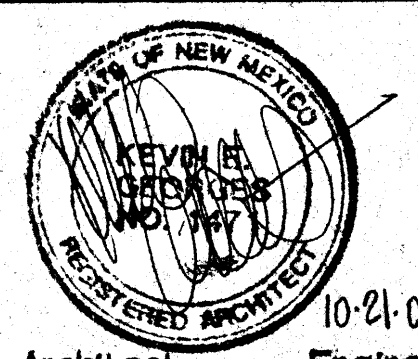
1. STUCCO, TYPICAL. COLOR: (PINKISH GREY) OR EQUIVALENT.
2. PAINT TO MATCH EIFS.
3. PAINT TO MATCH WINDOW TRIMS.
4. OVERFLOW SCUPPERS, TYPICAL. PAINT TO MATCH WINDOW TRIMS.
5. STUCCO JOINT, TYPICAL.
6. FIXED GLASS IN ALUMINUM FRAMES, TYPICAL. FRAME COLOR: BLUE GREY.
7. METAL FRAME, COLOR: BLUE GREY.
8. NEW 12'-0" WIDE X 10'-0" HIGH ROLL UP METAL GARAGE DOOR. PAINT TO MATCH METAL FRAMES. (BLUE GREY).
9. 3'-0" X 1'-0" HOLLOW METAL DOOR TO MATCH COLOR OF FRAMES. (BLUE GREY).
10. 3'-0" X 1'-0" STOREFRONT DOORS WITH BLUE GREY ALUMINUM FRAMES.
11. 3'-4" WIDE X 4'-4" HIGH FIXED GLASS IN METAL FRAMES, TYPICAL. FRAME COLOR: BLUE GREY.
12. (2) 3'-0" X 1'-0" HOLLOW METAL DOORS, TO MATCH COLOR OF FRAMES. (BLUE GREY).
13. LIGHT FIXTURE.



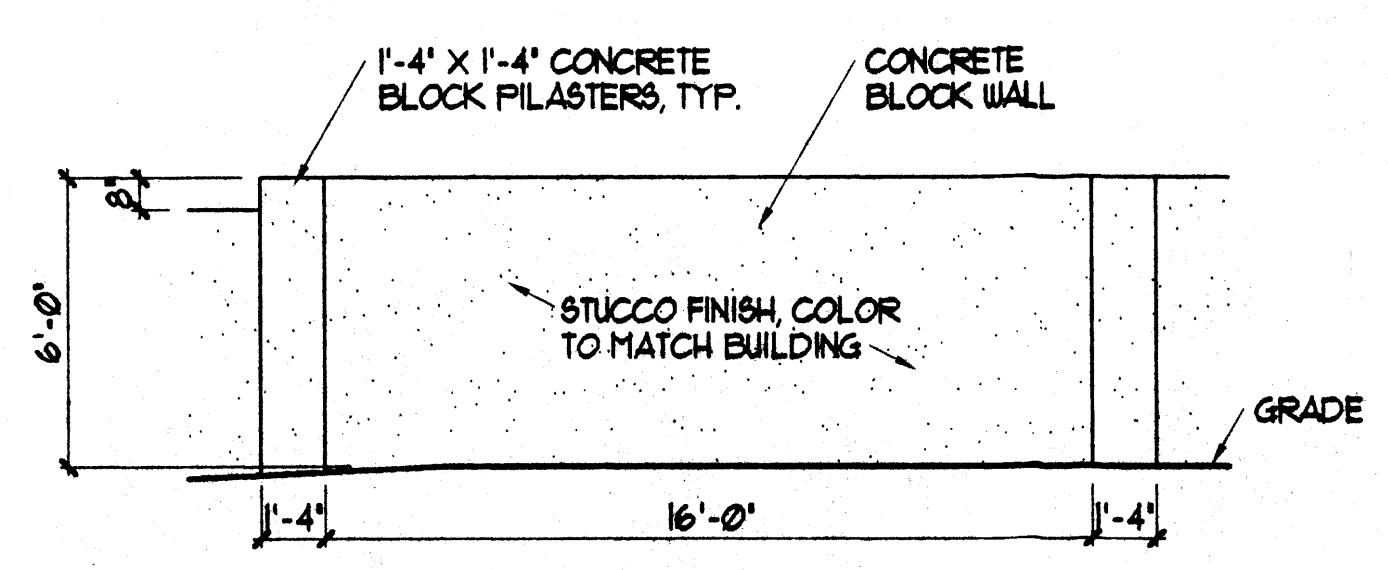
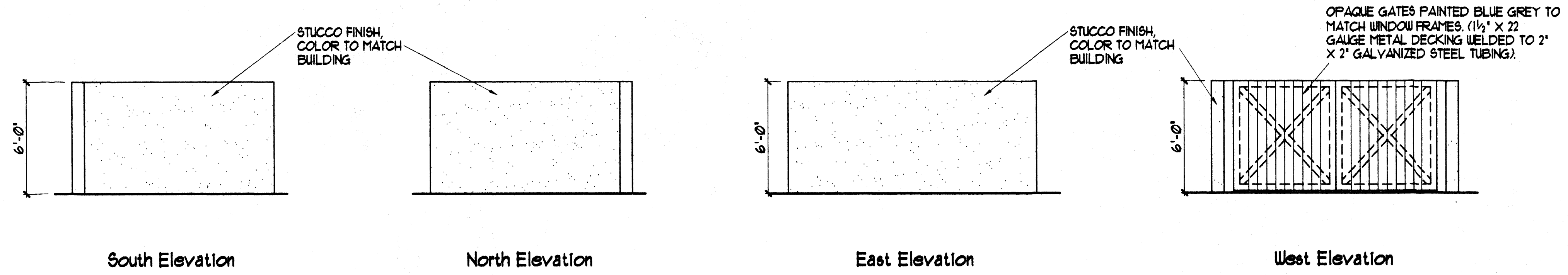
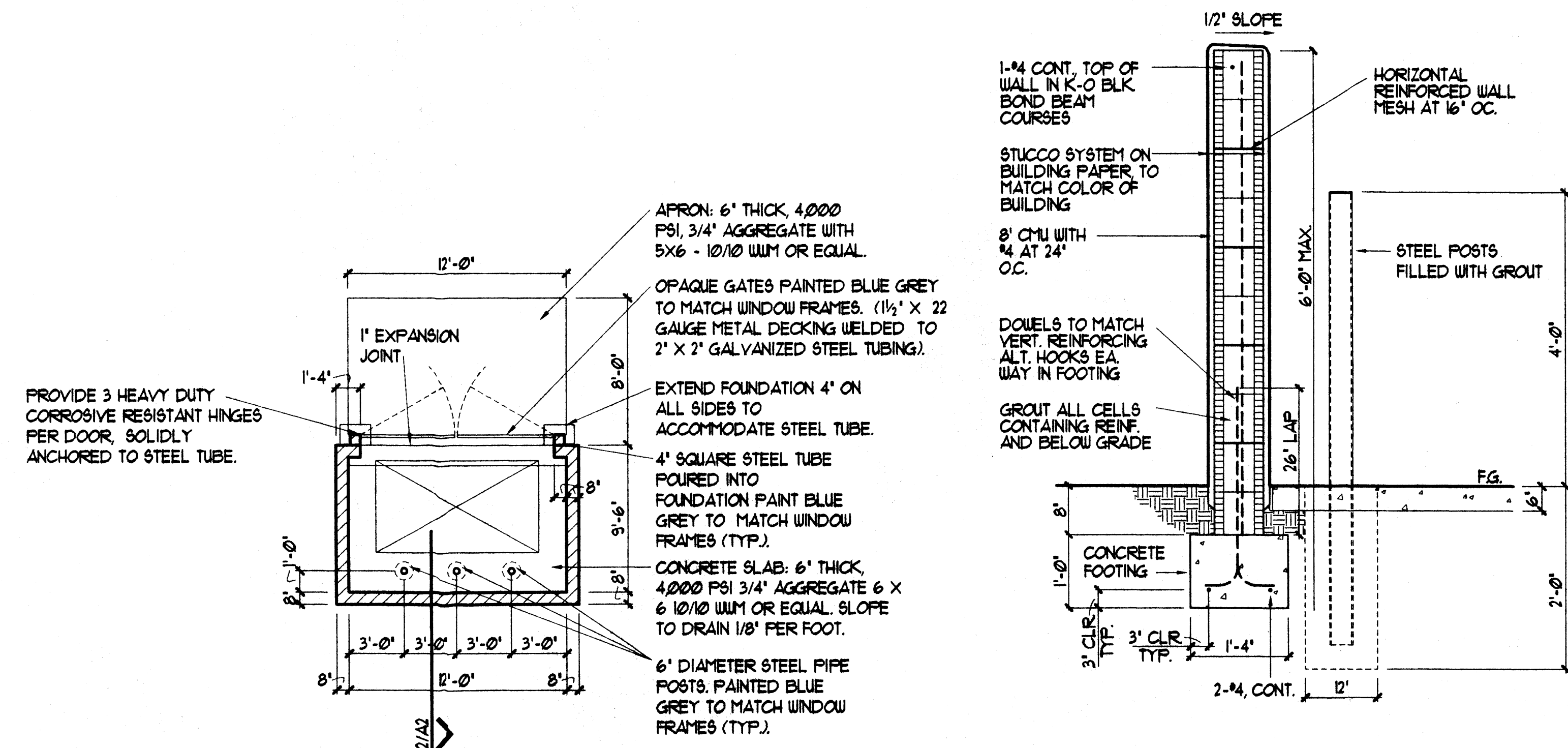
DRB Plans

Addition
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Project Title	
Drawn By	Checked By
EB	WS
Proj. No.	Date
200212	10/22/02
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Revisions	Architect
	Engineer



Keyed Notes A2:



DRB Plans

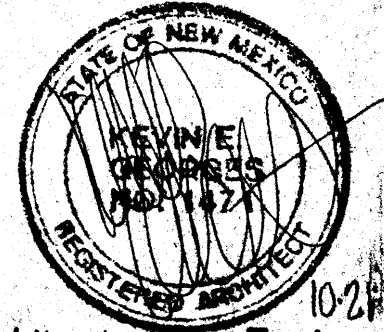
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Proj. No.	200212	Date	10/22/02
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Revisions

Architect: [Signature] Engineer: [Signature]



A2