



Supplemental Form (SF)

<p>SUBDIVISION</p> <p><input type="checkbox"/> Major subdivision action</p> <p><input type="checkbox"/> Minor subdivision action</p> <p><input type="checkbox"/> Vacation</p> <p><input type="checkbox"/> Variance (Non-Zoning)</p> <p>SITE DEVELOPMENT PLAN</p> <p><input checked="" type="checkbox"/> for Subdivision</p> <p><input checked="" type="checkbox"/> for Building Permit</p> <p><input type="checkbox"/> Administrative Amendment (AA)</p> <p><input type="checkbox"/> Administrative Approval (DRT, URT, etc.)</p> <p><input type="checkbox"/> IP Master Development Plan</p> <p><input type="checkbox"/> Cert. of Appropriateness (LUCC)</p> <p>STORM DRAINAGE (Form D)</p> <p><input type="checkbox"/> Storm Drainage Cost Allocation Plan</p>	<p>S Z ZONING & PLANNING</p> <p><input type="checkbox"/> Annexation</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/> Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)</p> <p><input type="checkbox"/> Adoption of Rank 2 or 3 Plan or similar</p> <p><input type="checkbox"/> Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations</p> <p><input type="checkbox"/> Street Name Change (Local & Collector)</p> <p>L A APPEAL / PROTEST of...</p> <p><input type="checkbox"/> Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other</p>
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PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): JAMES STOLLER | CONSENSUS PLANNING PHONE: (505) 764-9501
 ADDRESS: 302 8th St NW FAX: (505) 842-4295
 CITY: ALBUQUERQUE STATE NM ZIP 87107 E-MAIL: cp@consensusplanning.com
 APPLICANT: PAUL HEDGES | GUARDIAN STORAGE PHONE: (505) 450-6385
 ADDRESS: 9221 Eagle Ranch Rd NW FAX: (505) 898-1309
 CITY: ALBUQUERQUE STATE NM ZIP 87108 E-MAIL: pdhedges@hotmail.com
 Proprietary interest in site: _____ List all owners: RICHARD SMITH

DESCRIPTION OF REQUEST: DRB FINAL SIGN OFF FOR A SITE PLAN FOR SUBDIVISION AMENDMENT AND SITE PLAN FOR BUILDING PERMIT

Is the applicant seeking incentives pursuant to the Family Housing Development Program? Yes. No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. A-1, C Block: - Unit: -
 Subdiv/Addn/TBKA: Village Center No. 204
 Existing Zoning: SU-1 for Mixed Uses for C-1, Proposed zoning: SU-1 for Mixed Uses for MRGCD Map No -
 Zone Atlas page(s): A-11 0-1, 4000 UPC Code: C-1, 0-1, AND INDUSTR STORAGE USES
101106639844210103, 101106641943710135

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB-, AX_Z_, V_, S_, etc.): 1000936, 1002132, 2-97-120

CASE INFORMATION:

Within city limits? Yes Within 1000FT of a landfill? No
 No. of existing lots: 2 No. of proposed lots: 1 Total site area (acres): 2.6
 LOCATION OF PROPERTY BY STREETS: On or Near: UNSER BOULEVARD
 Between: SUMMER RIDGE DR and MCMAHON BOULEVARD
 Check if project was previously reviewed by: Sketch Plat/Plan or Pre-application Review Team(PRT) Review Date: _____

SIGNATURE

[Signature] DATE 5/10/16
 (Print Name) JAMES K STOLLER Applicant: Agent:

FOR OFFICIAL USE ONLY

<input type="checkbox"/> INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input type="checkbox"/> All checklists are complete	_____	_____	_____	\$ _____
<input type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____
	Hearing date _____			Total \$ _____

Project # _____

Staff signature & Date _____

FORM P(3): SITE PLAN REVIEW - D.R.B. MEETING (UNADVERTISED)

- SKETCH PLAT REVIEW AND COMMENT (DRB22)** **Maximum Size: 24" x 36"**
 - Scaled site sketch and related drawings showing proposed land use including structures, parking, Bldg. setbacks, adjacent rights-of-way and street improvements, etc. (folded to fit into an 8.5" by 14" pocket) **6 copies.**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB18)** **Maximum Size: 24" x 36"**
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Scaled site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Completed Site Plan for Subdivision Checklist
 - Infrastructure List, if relevant to the site plan
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB17)** **Maximum Size: 24" x 36"**
 - 5 Acres or more & zoned SU-1, IP, SU-2, PC, or Shopping Center: Certificate of No Effect or Approval
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Site Plan for Subdivision, if applicable, previously approved or simultaneously submitted. **6 copies.**
 - Solid Waste Management Department signature on Site Plan
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Copy of the document delegating approval authority to the DRB
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist
 - Copy of Site Plan with Fire Marshal's stamp
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**


- AMENDED SITE DEVELOPMENT PLAN FOR BUILDING PERMIT (DRB01)** **Maximum Size: 24" x 36"**
- AMENDED SITE DEVELOPMENT PLAN FOR SUBDIVISION (DRB02)** **Maximum Size: 24" x 36"**
 - Proposed amended Site Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - DRB signed Site Plan being amended (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter briefly describing, explaining, and justifying the request
 - Letter of authorization from the property owner if application is submitted by an agent
 - Infrastructure List, if relevant to the site plan
 - Completed Site Plan for Building Permit Checklist (not required for amendment of SDP for Subdivision)
 - Fee (see schedule)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR BUILDING PERMIT (DRB05)**
- FINAL SIGN-OFF FOR EPC APPROVED SDP FOR SUBDIVISION (DRB06)**
 - Site plan and related drawings (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Approved Grading and Drainage Plan (folded to fit into an 8.5" by 14" pocket) **6 copies**
 - Solid Waste Management Department signature on Site Plan for Building Permit
 - Zone Atlas map with the entire property(ies) clearly outlined
 - Letter carefully explaining how each EPC condition has been met **and** a copy of the EPC Notification of Decision
 - Infrastructure List, if relevant to the site plan
 - Copy of Site Plan with Fire Marshal's stamp (not required for SDP for Subdivision)
 - List any original and/or related file numbers on the cover application

Meetings are approximately 8 DAYS after the Tuesday noon filing deadline. **Bring the original to the meeting. Your attendance is required.**

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

JAMES K. STROZIER
 Applicant name (print)

 Applicant signature / date



Form revised **October 2007**

- Checklists complete
- Fees collected
- Case #s assigned
- Related #s listed

Application case numbers	
-	-
-	-
-	-

 Project # Planner signature / date

January 14, 2016

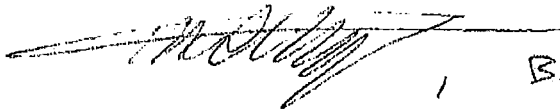
Mr. Peter D. Nicholls, Chair
Environmental Planning Commission
City of Albuquerque
600 Second Street NW
Albuquerque, New Mexico 87102

Dear Chairman Nicholls,

As owners of the property, Consensus Planning, Inc. is hereby authorized to represent us in all matters regarding the application, processing, and representation before the Environmental Planning Commission for our property on Unser Boulevard. This authorization shall include any subsequent action through DRB.

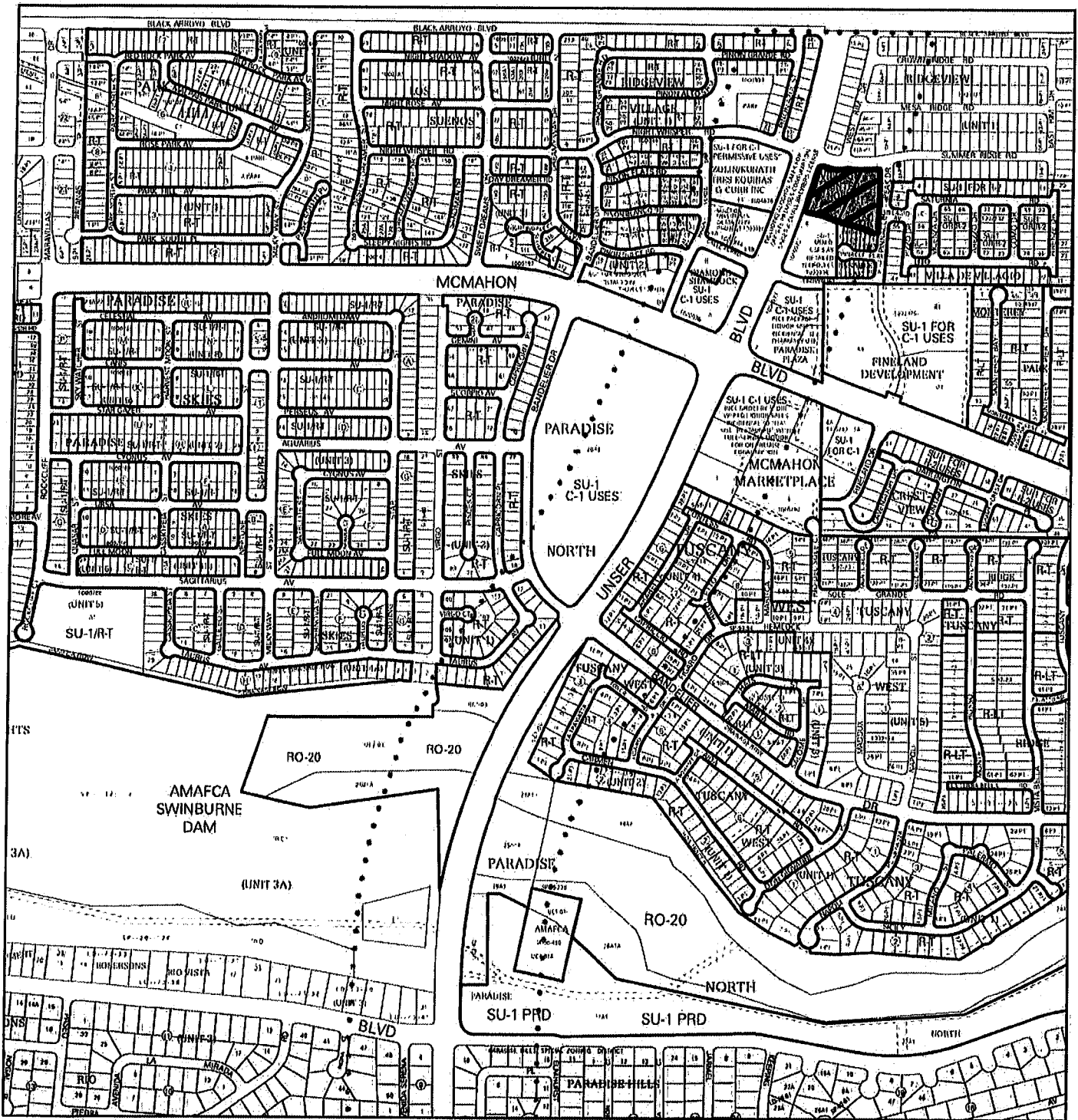
The property is legally described as Village Center North Subdivision, Lot A1 and C,
Albuquerque, Bernalillo County, New Mexico.

Sincerely,

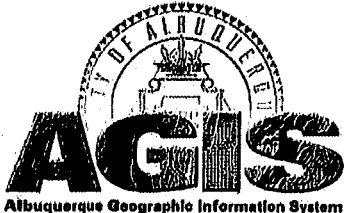
A handwritten signature in black ink, appearing to be "Richard Smith", written over a horizontal line.

Broker for Richard Smith

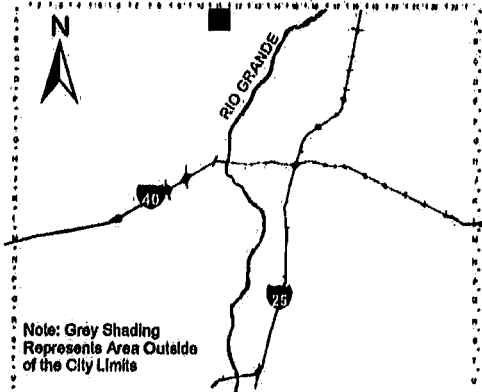
1/14/16



For more current information and details visit: <http://www.cabq.gov/gis>



Map amended through: 9/2/2014



Note: Grey Shading Represents Area Outside of the City Limits

Zone Atlas Page:
A-11-Z

Selected Symbols

SECTOR PLANS	Escarpment
Design Overlay Zones	2 Mile Airport Zone
City Historic Zones	Airport Noise Contours
H-1 Buffer Zone	Wall Overlay Zone
Petroglyph Mon.	

0 750 1,500 Feet



April 5, 2016

Mr. Jack Cloud, Chairman
Development Review Board
City of Albuquerque
600 Second Street NW
Albuquerque, NM 87102

**RE: Guardian Storage
Project #1002132**

Landscape Architecture
Urban Design
Planning Services

Dear Mr. Cloud:

302 Eighth St. NW
Albuquerque, NM 87102
(505) 764-9801
Fax 842-5495
cp@consensusplanning.com
www.consensusplanning.com

The purpose of this letter is to explain the modifications that have been made to the Site Development Plan for Building Permit and Site Development Plan for Subdivision Amendment. The project was approved by the Environmental Planning Commission (EPC) on March 10, 2016.

The Conditions of Approval and the applicant's responses are provided below:

Condition of Approval – 16EPC-40001 – March 10, 2016 – Zone Map Amendment

1. The Zone Map Amendment does not become effective until the accompanying Site Development Plan for Subdivision Amendment and Site Development Plan for Building Permit is approved by the DRB, pursuant to 14-16-4-1 (C)(16) of the Zoning Code. If such requirement is not met within six months after the date of EPC approval, the zone map amendment is void. The Planning Director may extend this time limit up to an additional six months upon request by the applicant.

Agreed.

Conditions of Approval – 16EPC-40002 – March 10, 2016 – Site Development Plan for Building Permit

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

Agreed.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

We met with staff planner, Vicente Quevado, on April 4, 2016 to ensure that all conditions of approval are met.

PRINCIPALS

James K. Strozier, AICP
Christopher J. Green, PLA,
ASLA, LEED AP
Jacqueline Fishman, AICP
Laurie Firor, PLA, ASLA



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3. The Landscaping Plan on Sheet 2 of 6 shall be revised to include site amenities such as benches and chairs within the proposed landscape and street tree area along Pinnacle Peak Dr. and Summer Ridge Rd. in order to meet the design parameters of the Unser / McMahon Village Center North Site Development Plan for Subdivision.

The Landscaping Plan has been updated accordingly to include benches along Pinnacle Peak Dr. and Summer Ridge Rd.

4. The Elevations on Sheet 6 of 6 shall be revised to include notations stating that the lighting plan for the subject site will conform to the Area Lighting Regulations of the Zoning Code 14-16-3-9, and that lighting fixtures must include a cut-off angle, not directly shine on any public right-of-way or any other residential premises and shall not have an off-site luminance greater than 200 foot-lamberts measured from any private property in a residential zone.

The Elevation sheet has been revised to include this notation.

5. The Elevations on Sheet 6 of 6 shall be revised to include detailed light pole and fixture dimensioned drawings demonstrating compliance with Area Lighting Regulations of the Zoning Code (16-16-3-9).

Agreed.

6. The Elevations on Sheet 6 of 6 shall be revised to include notations stating that the lighting plan for the subject site will conform to the State of New Mexico Night Sky Protection Act (74-12-1 to 74-12-10 NMSA 1978).

Agreed.

7. The Grading and Drainage Plan on Sheet 3 of 6 shall be revised to include a grading and drainage narrative that includes: site data (legal description and location), existing conditions, proposed improvements, first flush requirements calculations, and drainage approach.

The narrative has been updated to include site data, existing conditions, proposed improvements, first flush requirements calculations, and drainage approach.

8. The Elevation Sheet 6 of 6 shall be revised to include a 45 degree angle plane diagram to fulfill the design parameter requirements of the Unser/McMahon Village Center North Site Development Plan for Subdivision because the building is proposed to be taller than 26`.

Our setback is sufficient on all sides to allow the height of the proposed building.

9. Public Service Company of New Mexico, Conditions for Approval for Project #1002132:

A. An existing overhead distribution line is located along the western boundary of the subject property on the east side of Unser Boulevard NW. On Sheet 2 of 6, Guardian Storage Landscape Plan, the proposed tree selections are not a compatible height with the existing overhead electric distribution facility on Unser Boulevard NW. Shorter tree selections at mature height are necessary at



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this location. PNM's landscaping preference is for trees and shrubs to be planted outside the PNM easement; however, if within the easement, trees and shrubs should be located to minimize effects on electric facility maintenance and repair. New trees planted near PNM facilities should be no taller than 25 feet in height at maturity to avoid conflicts with existing electric infrastructure.

To respond to this condition, we have relocated the trees further east to help avoid the existing overhead distribution line. We have added a note that states "The street trees along Unser Boulevard have been adjusted to respond to the existing power lines and PNM comments." We are required by the Village Center North Site Plan for Subdivision to have Honey Locust and Urbanite Ash trees, which are 35' and 60' at full maturity, respectively. We are also required to have street trees along Unser Boulevard at a rate of one tree per 25 feet, and these trees must be within 20 feet from the back of the curb. Therefore, we cannot choose shorter tree selections or fully avoid the PNM easement.

B. It is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service regarding this project and to coordinate proposed sign location and height, tree location and height, and lighting height in order to ensure sufficient safety clearances from existing overhead electric distribution facilities. Contact:

Mike Moyer
PNM Service Center
4201 Edith Boulevard NE
Albuquerque, NM 87107

Agreed.

10. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.

Agreed.

11. The Villa De Villagio HOA and Westside Coalition of Neighborhood Associations along with property owners within 100 feet of the subject site were all notified of this request. As of the writing of this report, there is no known neighborhood opposition to this request. A facilitated meeting was not recommended or held.

Agreed.

Conditions of Approval – 16EPC-40003 – March 10, 2016 – Site Development Plan for Subdivision

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC



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Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.

Agreed.

2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.

We met with staff planner, Vicente Quevado, on April 4, 2016 to ensure that all conditions of approval are met.

3. The zoning designation contained on Sheet 1 of 3 of the Unser / McMahon Village Center North Site Development Plan for Subdivision shall be revised to read "SU-1 for Mixed Uses for C-1, O-1, and Indoor Storage Uses." It currently reads, "SU-1/Mixed Uses for C-1, O-1, and Storage Uses."

Sheet 1 has been updated to read "SU-1 for Mixed Uses for C-1, O-1, and Indoor Storage Uses".

4. The subject site is currently comprised of two separate lots. DRB approval of a re-platting action is required in order to consolidate the subject site into a single lot.

Agreed.

5. The subdivision of the site shall comply with the purpose, intent, and regulations of the Subdivision Ordinance (14-14-1-3).

Agreed.

6. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.

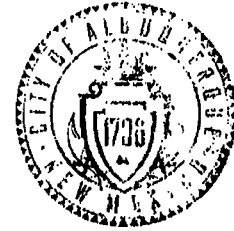
Agreed.

Thank you for considering our request. Please contact me at (505) 764-9801, if you have any questions.

Sincerely,

James K. Strozier, AICP
Principal

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

March 11, 2016

Guardian Storage
Paul Hedges
9221 Eagle Ranch Rd NW
ABQ, NM 87114

Project# 1002132
16EPC-40001 Zone Map Amendment
(Zone Change)
16EPC-40002 Site Development Plan for Building Permit
16EPC-40003 Site Development Plan for Subdivision

LEGAL DESCRIPTION:

The above actions for all or a portion of Tract A-1, plat of tracts A-1 and B-1 Village Center North Subdivision, zoned SU-1 for Mixed Use C-1, & Tract C, bulk land plat of Village Center North Subdivision, zoned SU-1 for Mixed Use, O-1 to SU-1 For Mixed Uses for C-1, O-1, and Storage Uses Indoor, located on Unser Boulevard, between Summer Ridge Dr. and McMahon Blvd., containing approximately 2.61 acre(s). (A-11)
Staff Planner: Vicente Quevedo

PO Box 1293

Albuquerque
New Mexico 87103
On March 10, 2016, the Environmental Planning Commission (EPC) voted to APPROVE Project #1002132/16EPC-40001, a Zone Map Amendment (Zone Change), 16EPC-40002, a Site Development Plan for Building Permit, 16EPC-40003, a Site Development Plan for Subdivision, based on the following findings and conditions:

FINDINGS 16EPC-40001 – a Zone Map Amendment (Zone Change):

1. This is a request for a Zone Map Amendment (Zone Change) for Tract A-1, plat of tracts A-1 and B-1 Village Center North Subdivision & Tract C, bulk land plat of Village Center North Subdivision located on Unser Boulevard, between Summer Ridge Dr. and McMahon Blvd. and containing approximately 2.61 acres.
2. The existing zoning for the subject site is SU-1 for Mixed Use, C-1 & SU-1 for Mixed Use, O-1. The applicant is requesting a zone change to SU-1 for Mixed Uses for C-1, O-1 and Indoor Storage Uses for the entire approximately 2.61 acre subject site.
3. The subject site is part of the Unser / McMahon Village Center North Site Development Plan for Subdivision. The existing zoning designation for the subject site was originally approved by the EPC on September 18, 1998 (Z-97-120). However, the applicant failed to obtain the necessary platting within one year as required by the site development plan for subdivision. Therefore, the zoning expired. The EPC reaffirmed the current zoning designation for the subject site on January 18, 2001 (00110 00000

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01623, refers to Project #1000936) and a certificate of zoning was issued. The subject site is currently vacant.

4. The Albuquerque/Bernalillo County Comprehensive Plan, West Side Strategic Plan, Unser Boulevard Design Overlay Zone and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.

5. The subject site is within the Established Urban Area of the Comprehensive Plan. The request furthers the following applicable goals and policies of the Comprehensive Plan:

A. Policy II.B.5.d.: The location, intensity and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, or recreational concern.

The request furthers Policy II.B.5.d. because the location, intensity and design of the proposed uses and development respects existing Seven Bar Ranch Community values through direct integration with existing residential uses. Carrying capacities shall be respected because Unser Blvd. & McMahon Blvd. are designated as Regional Principal Arterials produced by the Mid-Region Council of Governments and the proposed uses are considered low traffic generating service uses.

B. Policy II.B.5.e.: New growth shall be accommodated through development in areas where vacant land is contiguous to existing or programmed urban facilities and services and where the integrity of existing neighborhoods can be ensured.

The request furthers Policy II.B.5.e. because the subject site is vacant and contiguous to existing urban facilities thereby ensuring the integrity of existing neighborhoods.

C. Policy II.B.5.i.: Employment and service uses shall be located to complement residential areas and shall be sited to minimize adverse effects of noise, lighting, pollution, and traffic on residential environments.

The request furthers Policy II.B.5.i. because the proposed service uses will help minimize the effects of traffic noise on residential environments by serving as a buffer between the residential uses and nearby neighborhoods. All of the storage facility activities will occur indoors which will serve to minimize the effects of noise, lighting on nearby residential uses, and the retail uses will help promote employment opportunities.

D. Policy II.B.5.k.: Land adjacent to arterial streets shall be planned to minimize harmful effects of traffic; livability and safety of established residential neighborhoods shall be protected in transportation planning and operations.

The request furthers Policy II.B.5.k. because the subject site is located adjacent to a Regional Principal Arterial and the proposed site development plan indicates that no ingress or egress point off of Unser Blvd. is being proposed and thus will serve to minimize the harmful effects of traffic on nearby established residential neighborhoods.

E. II.C.4. Noise: The Goal is to protect the public health and welfare and enhance the quality of life by reducing noise and by preventing new land use/noise conflicts.

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- F. Policy II.C.4.b.: Construction of noise sensitive land uses near existing noise sources shall include strategies to minimize adverse noise effects.

The request furthers Policy II.C.4.b. because the proposed storage and retail uses will occur indoors and minimize adverse effects of noise on nearby noise sensitive residential land uses.

- G. II.C.8. Developed Landscape: The Goal is to maintain and improve the natural and the developed landscape's quality.

- H. Policy II.C.8.d.: Landscaping shall be encouraged within public and private rights-of-way to control water erosion and dust, and create a pleasing visual environment; native vegetation should be used where appropriate.

The request furthers Policy II.C.8.d. because the proposed site development plan includes landscaping within the public and private rights-of-way, includes native vegetation and will create a pleasing visual environment.

- I. II.D.8. Human Services: The Human Services Goal is to site human service facilities in locations that provide the greatest possible access to services and to consider human rights and human service needs in development and redevelopment throughout the Plan area.

- J. Policy II.D.8.c.: Development's negative effects upon individuals and neighborhoods shall be minimized.

The request furthers Policy II.D.8.c. because the development will serve as a buffer between the existing homes and traffic noise from Unser Blvd.

6. The request partially furthers the following applicable goals and policies of the Comprehensive Plan:

- A. Policy II.B.5.1.: Quality and innovation in design shall be encouraged in all new development; design shall be encouraged which is appropriate to the plan area.

The request partially furthers Policy II.B.5.1. because while the proposed development will utilize quality materials and design, the proposed storage facility is proposed to be three stories tall or a maximum height of 38' but no angle plane diagram has been included for the maximum proposed building height to fulfill the requirements of the Design Parameters of the Unser / McMahon Village Center North Site Development Plan for Subdivision and thereby demonstrate that the proposed design is appropriate to the plan area.

- B. II.D.6. Economic Development: The Goal is to achieve steady and diversified economic development balanced with other important social, cultural, and environmental goals.

- C. Policy II.D.6.g.: Concentrations of employment in Activity Centers should be promoted in an effort to balance jobs with housing and population and reduce the need to travel.

The request partially furthers Policy II.D.6.g. because while the subject site is not located within the boundaries of a designated Activity Center, its close proximity to the Unser/McMahon Neighborhood Center and proposed service and retail uses may contribute to reducing travel needs.

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7. The request furthers the following applicable goals and policies of the West Side Strategic Plan:

- A. WSSP Policy 1.3: Strip commercial developments shall not be approved on the West Side. Commercial development shall occur in concentrated clustered areas rather than new strip developments. Zone changes to commercial, industrial, or office uses for areas outside the centers are strongly discouraged, in order to reinforce the neighborhood and Community centers. Changes of commercial and office zoning outside the centers to residential use is encouraged. This policy is meant to impact the design and layout of commercial areas and their connections to adjacent development and to encourage clustering of commercial and office uses in activity centers. It is not intended to rezone allowed commercial uses.

The request furthers WSSP Policy 1.3 because it is not considered a strip commercial development and the proposed commercial and retail uses on the subject site will be located in a concentrated clustered area surrounded by residential development.

- B. Westside McMahon Study

Council Enactment 117-1999: Establishing a policy for key decisions on land use and transportation for the Westside-McMahon Corridor; receiving the Westside-McMahon land use and transportation guide; Amending the West Side Strategic Plan by adding reference to the Westside McMahon transportation and land use policy set forth herein (See attached legislation).

The request furthers Council Enactment 117-1999 because subject site is located within the Westside-McMahon Corridor and supports the intent of the enactment by proposing low intensity commercial uses that includes neighborhood scale development allowed under the C-1 zone. The submittal also conforms to the density, type and hierarchy of uses as illustrated in the Westside/McMahon Corridor Transportation and Land Use Guide.

8. The request partially furthers the following applicable goals and policies of the West Side Strategic Plan:

- A. The Community Concept: In this Plan, "communities" can be defined as separate areas with their own character and focal points. Community character is an important issue. Each area has a unique identity, specific characteristics that the resident's call "home". These aspects must be preserved.
- B. WSSP Policy 1.17: The City shall encourage co-location of public services such as schools, libraries, community/senior/multi-service service centers, parks, retail and commercial services in Community and Neighborhood Activity Centers.

The request partially furthers WSSP Policy 1.17 by locating commercial services near the Unser / McMahon Neighborhood Center.

- C. Seven Bar Ranch Community Policies

Seven Bar Ranch Community Policy 3.4: Several clusters of neighborhoods will develop within the Seven Bar Ranch Community. Each of these shall be served by a Neighborhood Center, so neighborhood commercial, public and quasi-public uses, and other uses appropriate for such Centers shall be encouraged. The lowest density single family residential development shall not occur within these Centers, but must have safe pedestrian and bicycle access to them.

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The request partially furthers Seven Bar Ranch Community Policy 3.4 because the proposed uses will be located near a neighborhood center and the commercial and retail businesses will complement the nearby neighborhood center and existing residential uses.

9. The request furthers the following applicable portion of the Unser Boulevard Design Overlay Zone (UBDOZ):
 - A. The applicable section of the UBDOZ related to the request includes on-premises signage regulations which allow one free standing sign per street frontage per premises, and does not allow free standing signage to exceed 75 sf. The request furthers the applicable signage design guidelines of the UBDOZ because the applicant is proposing a single free-standing sign along Unser Blvd. near the northwest corner of the subject site with a signage area of 40 sf and 4 feet in height and will therefore not exceed the maximum allowed signage area per the UBDOZ.
10. The applicant has justified the zone change request pursuant to *R-270-1980* as follows:
 - A. Consistency with the City's health, safety, morals and general welfare is shown by demonstrating that a request furthers a preponderance of applicable Goals and policies from the Comprehensive Plan and other applicable plans, which the applicant has done in the response to Section C. It's also important to note that the proposed zone change is limited to specified uses and will be site plan controlled. The response to Section A is sufficient.
 - B. The requested zone change combines a set of uses already approved as part of the approved Unser / McMahon Village Center North Site Development Plan for Subdivision and adds a storage use to the existing set of permissive uses. Therefore, stability of land use is maintained with this request. The response to Section B is sufficient.
 - C. Refer to Applicable Ordinances, Plans and Policies outlined in Findings 5 – 9 above. The test under Section C is whether or not there is "significant conflict" with an adopted element of the Comprehensive Plan or other City master plan such as a sector development plan. Staff finds no significant conflict with either.
 - D. The requested change of zone will combine a set of uses already approved as part of the approved Unser / McMahon Village Center North Site Development Plan for Subdivision and add a storage use to the existing set of permissive uses, thereby fulfilling a public need for commercial, retail and storage services to residents of the West Side of Albuquerque. The different use category also furthers a preponderance of applicable goals and policies as articulated in the Comprehensive Plan.
 - E. The proposed change of zone will not be harmful to adjacent property, the neighborhood or the community because the uses complement the surrounding residential uses and are site plan controlled and therefore limited to only the EPC approved uses for the subject site.
 - F. The City will not incur any un-programmed expenditures as a result of this zone change request.
 - G. Economic considerations are not the determining factor for the change of zone. Rather, the determining factor is an intent to fulfill a public need for commercial, retail and storage services to residents of the West Side of Albuquerque.

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- H. The applicant is not using the subject site's location on a collector or major street to justify the request. The need for services by the nearby residential uses and the fact that the proposed use complements those residential uses is being used to justify the request.
 - I. The SU-1 zone creates a spot zone by definition; however, the applicant has demonstrated in the response to Section C that the proposed change would facilitate realization of the Comprehensive Plan, Sector Plan, and MRA Plan. The response to Section I is sufficient.
 - J. The request will not result in a strip zone. The subject site does not constitute a "strip of land along street". The response to Section J is sufficient.
11. The Villa De Villagio HOA and Westside Coalition of Neighborhood Associations along with property owners within 100 feet of the subject site were all notified of this request. As of the writing of this report, there is no known neighborhood opposition to this request. A facilitated meeting was not recommended or held.

CONDITION 16EPC-40001 – a Zone Map Amendment (Zone Change):

- 1. The zone map amendment does not become effective until the accompanying Site Development Plan for Subdivision Amendment and Site Development Plan for Building Permit is approved by the DRB, pursuant to §14-16-4-1(C)(16) of the Zoning Code. If such requirement is not met within six months after the date of EPC approval, the zone map amendment is void. The Planning Director may extend this time limit up to an additional six months upon request by the applicant.

FINDINGS 16EPC-40002 – Site Development Plan for Building Permit:

- 1. This is a request for a Site Development Plan for Building Permit for Tract A-1, plat of tracts A-1 and B-1 Village Center North Subdivision & Tract C, bulk land plat of Village Center North Subdivision located on Unser Boulevard, between Summer Ridge Dr. and McMahon Blvd. and containing approximately 2.61 acres.
- 2. This is a request for a Site Development Plan for Building Permit for a 2.61 acre tract located on Unser Boulevard, between Summer Ridge Dr. and McMahon Blvd. to develop a climate controlled, three-story indoor storage facility with retail shops and office spaces on the subject site.
- 3. The subject site is part of the Unser / McMahon Village Center North Site Development Plan for Subdivision. The existing zoning designation for the subject site was originally approved by the EPC on September 18, 1998 (Z-97-120). However, the applicant failed to obtain the necessary platting within one year as required by the site development plan for subdivision. Therefore, the zoning expired. The EPC reaffirmed the current zoning designation for the subject site on January 18, 2001 (00110 00000 01623, refers to Project #1000936) and a certificate of zoning was issued. The subject site is currently vacant.

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4. The proposed storage facility is planned to be a three-story building with glass and finished building materials. The site will contain two access points; an entrance and exit from Summer Ridge P.d. and exit onto Pinnacle Peak Dr. Storage facility users will have access via a security gate on the southwest corner of the building. Two porte-cocheres are located on the south side of the building to provide covered access for customers to load and unload storage items. The retail shops and office will have storefronts facing Unser Blvd.
5. The Albuquerque/Bernalillo County Comprehensive Plan, West Side Strategic Plan, Unser Boulevard Design Overlay Zone and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The requested Site Development Plan for Building Permit meets all of the minimum requirements of the design parameters of the Unser / McMahon Village Center North Site Development Plan for Subdivision, the Unser Boulevard Design Overlay Zone and the Comprehensive Zoning Code.
7. The Villa De Villagio HOA and Westside Coalition of Neighborhood Associations along with property owners within 100 feet of the subject site were all notified of this request. As of the writing of this report, there is no known neighborhood opposition to this request. A facilitated meeting was not recommended or held.

CONDITIONS 16EPC-40002 – Site Development Plan for Building Permit:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The Landscaping Plan on Sheet 2 of 6 shall be revised to include site amenities such as benches and chairs within the proposed landscape and street tree area along Pinnacle Peak Dr. and Summer Ridge Rd. in order to meet the design parameters of the Unser / McMahon Village Center North Site Development Plan for Subdivision.
4. The Elevations on Sheet 6 of 6 shall be revised to include notations stating that the lighting plan for the subject site will conform to the Area Lighting Regulations of the Zoning Code (§ 14-16-3-9, and that lighting fixtures must include a cut-off angle, not directly shine on any public right-of-way or any other

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residential premises and shall not have an off-site luminance greater than 200 foot-lamberts measured from any private property in a residential zone.

5. The Elevations on Sheet 6 of 6 shall be revised to include detailed light pole and fixture dimensioned drawings demonstrating compliance with Area Lighting Regulations of the Zoning Code (§ 14-16-3-9).
6. The Elevations on Sheet 6 of 6 shall be revised to include notations stating that the lighting plan for the subject site will conform to the State of New Mexico Night Sky Protection Act (74-12-1 to 74-12-10 NMSA 1978).
7. The Grading and Drainage Plan on Sheet 3 of 6 shall be revised to include a grading and drainage narrative that includes: site data (legal description and location), existing conditions, proposed improvements, first flush requirements calculations, and drainage approach.
8. The Elevation Sheet 6 of 6 shall be revised to include a 45 degree angle plane diagram to fulfill the design parameter requirements of the Unser / McMahon Village Center North Site Development Plan for Subdivision because the building is proposed to be taller than 26'.
9. Public Service Company of New Mexico, Conditions for Approval for Project #1002132:
 - A. An existing overhead distribution line is located along the western boundary of the subject property on the east side of Unser Blvd NW. On Sheet 2 of 6, Guardian Storage Landscape Plan, the proposed tree selections are not a compatible height with the existing overhead electric distribution facility on Unser Blvd. NW. Shorter tree selections at mature height are necessary at this location. PNM's landscaping preference is for trees and shrubs to be planted outside the PNM easement; however, if within the easement, trees and shrubs should be located to minimize effects on electric facility maintenance and repair. New trees planted near PNM facilities should be no taller than 25 feet in height at maturity to avoid conflicts with existing electric infrastructure.
 - B. It is necessary for the developer to contact PNM's New Service Delivery Department to coordinate electric service regarding this project and to coordinate proposed sign location and height, tree location and height, and lighting height in order to ensure sufficient safety clearances from existing overhead electric distribution facilities. Contact:

Mike Moyer
PNM Service Center
4201 Edith Boulevard NE
Albuquerque, NM 87107

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10. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.
11. The Villa De Villagio HOA and Westside Coalition of Neighborhood Associations along with property owners within 100 feet of the subject site were all notified of this request. As of the writing of this report, there is no known neighborhood opposition to this request. A facilitated meeting was not recommended or held.
12. Additional screening of the parking areas along Unser Blvd. will be provided per the Unser / McMahon Village Center North Site Development Plan for Subdivision (Project 1000936).

FINDINGS 16EPC-40003 -- Site Development Plan for Subdivision:

1. This is a request for a Site Development Plan for Subdivision Amendment for Tract A-1, plat of tracts A-1 and B-1 Village Center North Subdivision & Tract C, bulk land plat of Village Center North Subdivision located on Unser Boulevard, between Summer Ridge Dr. and McMahon Blvd. and containing approximately 2.61 acres.
2. This is a request for approval of an amendment to the Unser / McMahon Village Center North Site Development Plan for Subdivision to create a new approximately 2.61 acre tract within the existing 17 acre subdivision boundary located north of Unser Blvd. and McMahon Blvd. The 2.61 acre tract is currently comprised of two separate lots and the requested amendment would create a single 2.61 tract within the subdivision boundary.
3. The subject site is part of the Unser / McMahon Village Center North Site Development Plan for Subdivision. The existing zoning designation for the subject site was originally approved by the EPC on September 18, 1998 (Z-97-120). However, the applicant failed to obtain the necessary platting within one year as required by the site development plan for subdivision. Therefore, the zoning expired. The EPC reaffirmed the current zoning designation for the subject site on January 18, 2001 (00110 00000 01623, refers to Project #1000936) and a certificate of zoning was issued. The subject site is currently vacant.
4. The Albuquerque/Bernalillo County Comprehensive Plan, West Side Strategic Plan, Unser Boulevard Design Overlay Zone and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
5. The proposed amendment to the Unser / McMahon Village Center North Site Development Plan for Subdivision furthers applicable goals and policies of the Comprehensive Plan by maintaining design parameters that ensure development of a quality urban environment which perpetuates the tradition of

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identifiable, individual but integrated communities within the metropolitan area and which offers a variety of choice in housing, transportation, work areas, and lifestyles, while creating a visually pleasing built environment.

6. The proposed amendment to the Unser / McMahon Village Center North Site Development Plan for Subdivision furthers the applicable policies and intent of the West Side Strategic Plan by maintaining design parameters that ensure development of near the Village Center with a land use and lot configuration that encourages neighborhood commercial and other uses appropriate near Village Centers.
7. The applicant is not requesting delegation of future Site Development Plans for Building Permit as part of this requested amendment to the Unser / McMahon Village Center North Site Development Plan for Subdivision.
8. The Villa De Villagio HOA and Westside Coalition of Neighborhood Associations along with property owners within 100 feet of the subject site were all notified of this request. As of the writing of this report, there is no known neighborhood opposition to this request. A facilitated meeting was not recommended or held.

CONDITIONS 16EPC-40003 – Site Development Plan for Subdivision:

1. The EPC delegates final sign-off authority of this site development plan to the Development Review Board (DRB). The DRB is responsible for ensuring that all EPC Conditions have been satisfied and that other applicable City requirements have been met. A letter shall accompany the submittal, specifying all modifications that have been made to the site plan since the EPC hearing, including how the site plan has been modified to meet each of the EPC conditions. Unauthorized changes to this site plan, including before or after DRB final sign-off, may result in forfeiture of approvals.
2. Prior to application submittal to the DRB, the applicant shall meet with the staff planner to ensure that all conditions of approval are met.
3. The zoning designation contained on Sheet 1 of 3 of the Unser / McMahon Village Center North Site Development Plan for Subdivision shall be revised to read "SU-1 for Mixed Uses for C-1, O-1 and Indoor Storage Uses." It currently reads, "SU-1/Mixed Uses for C-1, O-1 and Storage Uses."
4. The subject site is currently comprised of two separate lots. DRB approval of a re-platting action is required in order to consolidate the subject site into a single lot.
5. The subdivision of the site shall comply with the purpose, intent, and regulations of the Subdivision Ordinance (14-14-1-3)."

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6. The Site Development Plan shall comply with the General Regulations of the Zoning Code, the Subdivision Ordinance, and all other applicable design regulations, except as specifically approved by the EPC.

APPEAL: If you wish to appeal this decision, you must do so within 15 days of the EPC's decision or by **MARCH 25, 2016**. The date of the EPC's decision is not included in the 15-day period for filing an appeal, and if the 15th day falls on a Saturday, Sunday or Holiday, the next working day is considered as the deadline for filing the appeal.

For more information regarding the appeal process, please refer to Section 14-16-4-4 of the Zoning Code. A Non-Refundable filing fee will be calculated at the Land Development Coordination Counter and is required at the time the appeal is filed. It is not possible to appeal EPC Recommendations to City Council; rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision.

You will receive notification if any person files an appeal. If there is no appeal, you can receive Building Permits at any time after the appeal deadline quoted above, provided all conditions imposed at the time of approval have been met. Successful applicants are reminded that other regulations of the City Zoning Code must be complied with, even after approval of the referenced application(s).

ZONE MAP AMENDMENTS: Pursuant to Zoning Code Section 14-16-4-1(C)(16), a change to the zone map does not become official until the Certification of Zoning (CZ) is sent to the applicant and any other person who requests it. Such certification shall be signed by the Planning Director after appeal possibilities have been concluded and after all requirements prerequisite to this certification are met. If such requirements are not met within six months after the date of final City approval, the approval is void. The Planning Director may extend this time limit up to an additional six months.

SITE DEVELOPMENT PLANS: Pursuant to Zoning Code Section 14-16-3-11(C)(1), if less than one-half of the approved square footage of a site development plan has been built or less than one-half of the site has been developed, the plan for the undeveloped areas shall terminate automatically seven years after adoption or major amendment of the plan: within six months prior to the seven-year deadline, the property owners shall request in writing through the Planning Director that the Planning Commission extend the plan's life an additional five years. Additional design details will be required as a project proceeds through the Development Review Board and through the plan check of Building Permit submittals for construction. Planning staff may consider minor, reasonable changes that are consistent with an approved Site Development Plan so long as they can be shown to be in conformance with the original, approved intent.

DEFERRAL FEES: Pursuant to Zoning Code Section 14-16-4-1(B), deferral at the request of the applicant is subject to a \$110.00 fee per case.

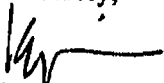
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Sincerely,


for Suzanne Lubar
Planning Director

SL/VQ

cc: Guardian Storage, Paul Hedges, 9221 Eagle Ranch Rd NW, ABQ, NM 87114
Consensus Planning, James Strozier, 302 8th St NW, ABQ, NM 87102
Marie Barron, Villa De Villagio HOA, 5619 Saturnia Rd. NW, ABQ, NM 87114
Jennifer Gallegos, Villa De Villagio HOA, 10840 Vicenza Dr. NW, ABQ, NM 87114
Gerald C. Worrall, Westside Coalition of NA's, 1039 Pinatubo Pl. NW, ABQ, NM 87120
Harry Hendriksen, Westside Coalition of NA's, 110592 Rio Del Sole Ct NW, ABQ, NM 87114-2701
Joshua Skarsgard, 8220 San Pedro, Suite 500, ABQ, NM 87113

INFRASTRUCTURE LIST

Date Site Plan Approved:

Date Preliminary Plat Approved: XX-XX-XX

Date Preliminary Plat Expires: XX-XX-XX

DRB Project No.: XXXXXXXXX

DRB Application No.: XXXXXXXXXX

EXHIBIT "A"

Guardian Storage - J. Ingersoll Summer Ridge

PROPOSED NAME OF SITE DEVELOPMENT PLAN

Tracts A-1 and C Village Center North Subdivision

EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

SIA Sequence #	COA BLDG PERMIT #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Chrt Engineer
		4' WIDE	SIDEWALK *****TRANSPORTATION*****	SUMMER RIDGE ROAD	UNSER BOULEVARD	PINNACLE PEAK DRIVE	/	/	/
		16' FL-CL	1/2 STREET SECTION, CURB AND GUTTER, SIDEWALK *****WATER*****	PINNACLE PEAK DRIVE	90' SOUTH OF VILLAGIO AVENUE	75' SOUTH OF SUMMER RIDGE ROAD	/	/	/
		6"	FIRE HYDRANT LINE	WESTSIDE PARKING LOT	SUMMER RIDGE ROAD	300' SOUTH OF SUMMER RIDGE	/	/	/
		6"	FIRE HYDRANT LINE	EAST OF STORAGE FACILITY	PINNACLE PEAK DRIVE	45' WEST OF PINNACLE PEAK DRIVE	/	/	/
		1 EA	FIRE HYDRANT	NORTHWEST CORNER OF FACILITY					
		1 EA	FIRE HYDRANT	SOUTHWEST CORNER OF THE FACILITY			/	/	/
		1 EA	FIRE HYDRANT	EAST SIDE OF THE FACILITY			/	/	/

SIA Sequence #	COA BLDG PERMIT #	Size	Type of Improvement	Location	From	To	Private Inspector	City Inspector	City Cost Engineer
							/	/	/
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NOTES

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AGENT / OWNER **DEVELOPMENT REVIEW BOARD MEMBER APPROVALS**

Jamod Likar
 NAME (print)
 Huik Zellers, Inc.
 SIGNATURE - date *Jamod Likar* 5/4/16
 MAXIMUM TIME ALLOWED TO CONSTRUCT THE IMPROVEMENTS WITHOUT A DRB EXTENSION: 1-YEAR

DRB CHAIR - date	PARKS & GENERAL RECREATION - date
TRANSPORTATION DEVELOPMENT - date	AMAFCA - date
UTILITY DEVELOPMENT - date	- date
CITY ENGINEER - date	- date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRG CHAIR	USER DEPARTMENT	AGENT OWNER